



THE CITY OF SAN DIEGO

## Report to the Historical Resources Board

DATE ISSUED: November 2, 2022 REPORT NO. HRB-22-044

HEARING DATE: November 17, 2022

SUBJECT: **ITEM# 02 – The Residences at 800 Coast Boulevard Coastal Development Permit/ Site Development Permit/ Tentative Map (HRB #1375 – Dorothy and Harriet Cottages)**

RESOURCE INFO: [California Historical Resources Inventory Database \(CHRID\) link](#)

APPLICANT: 800 Coast LLC

LOCATION: 811-827 Coast Boulevard South, La Jolla Community Plan Area, Council District 1, APN 350-070-1000 and 350-070-1100

DESCRIPTION: Recommend to the Planning Commission adoption of the mitigation measures and findings associated with the Site Development Permit as presented or recommend the inclusion of additional permit conditions related to a designated historical resource.

### STAFF RECOMMENDATION

Recommend to the Planning Commission approval of the findings and mitigation measures associated with the Site Development Permit (SDP) related to the designated resources located at 811-827 Coast Boulevard South (HRB #1375, the Dorothy and Harriet Cottages) as presented.

### BACKGROUND

San Diego Municipal Code (SDMC) [Section 126.0504\(b\)\(2\)](#) requires a recommendation from the Historical Resources Board (HRB) prior to the Planning Commission's decision on an SDP when a historical district or designated historical resource is present. The HRB has adopted the following procedure for making recommendations to decision-makers ([Historical Resources Board Procedures, Section II.D](#)):

When the HRB is taking action on a recommendation to a decision-maker, the Board shall make a recommendation on only those aspects of the matter that relate to the historical aspects of the project. The Board's recommendation action(s) shall relate to the cultural resources section, recommendations, findings, and mitigation measures of the final environmental document, the Permit Approval findings for historical purposes, and/or the project's compliance with the Secretary of the Interior's Standards for Treatment of Historic

Properties. If the Board desires to recommend the inclusion of additional conditions, the motion should include a request for staff to incorporate permit conditions to capture the Board's recommendations when the project moves forward to the decision maker.

The subject resources, known as the Dorothy and Harriet Cottages ("Resources") were designated by the HRB as Site #1375 on August 27, 2020, under HRB Criterion A as special elements of La Jolla's historical, cultural, social, economic, aesthetic and architectural development. The Dorothy Cottage, located at the rear of the parcel and addressed as 827 Coast Boulevard South, was designated with a period of significance of 1904-1909. The Harriet Cottage, 825 Coast Boulevard South, is situated at the front of the parcel and was designated with a period of significance of 1921-1926. Both buildings embody the character defining features of Beach Cottage architecture and are two of a finite and limited number of beach cottages remaining which reflect the early development history of La Jolla. The Dorothy Cottage is a one-story structure constructed in 1904 in the Queen Anne Free Classic style with front porch modifications prior to 1909. A shed roof addition on the east façade of the Dorothy cottage was constructed prior to 1909 and a smaller shed addition on the same façade constructed sometime between 1949 and 1952. The 1949-1952 addition was excluded from the designation. The Harriet Cottage was constructed in 1921 in the Craftsman style and is a one-story residential structure elevated above a garage. Alterations to the Harriet Cottage include the enclosure of the front porch and addition of the garage in 1926, a small rear porch enclosure in 1972 and an addition at the northern corner of the rear façade in 1972. The 1972 rear addition was excluded from the designation. Both cottages were analyzed under HRB Criterion C but were not designated under this Criteria due to modifications and only minimally representing an architectural style. The buildings are both currently being used as residential structures.

The Dorothy and Harriet Cottages were both constructed as residences during La Jolla's earliest period of development as a coastal community. The village of La Jolla began in the 1880s during the "boom" period of San Diego's history as a small coastal community and Beach Cottages were the dominant housing type during this early period through the 1930's. The Beach Cottage style was ideal for use as a summer or winter retreat or, even though lacking in many modern conveniences, they could be and were used as permanent residences. Early beach cottages were characterized (in part) as smaller dwellings, typically one story, with a low pitched roof and exposed rafters; wood siding; a small front porch and garden area; and an orientation toward any available beach or coastal view. Originally known by name, the cottages were not given proper addresses until 1913. Both the Dorothy and Harriet Cottages exhibit the primary characteristics typical of La Jolla Beach cottages; one story, small dwelling, low pitched roof, wood siding and orientation toward an available coastal view. By the 1920s, the population had increased to over 2,500 people and the tourism industry was firmly established. Hotels were constructed in increasing numbers, and as the famous and wealthy began to vacation there, the cottages were no longer seen as suitable accommodations. Increased population, tourism and wealth, coupled with shifting architectural preferences, caused Beach Cottages to fall out of favor through the late 1920s and 1930s. In the following decades, many of these early cottages were relocated to less desirable inland lots. A full discussion regarding the historic significance of the Resource is available in the Historical Resources Technical Report (Attachment 1).

The project site contains two parcels, APNs 350-070-1000 and 350-070-1100, which were reviewed by City Historical Resources staff for historic significance. The Dorothy and Harriet Cottages, located on APN 350-070-1000, were determined to be potentially significant by staff through a preliminary

review application and subsequently forwarded to the Historical Resources Board for a determination on historic significance. Both structures were designated by the Board as HRB #1375 on August 27, 2020. Historical Resources staff also reviewed the six structures on APN 350-070-1100 in conjunction with a preliminary review application and determined 811-815 Coast Boulevard South to not be historically significant. The remaining three structures, 817-821 Coast Boulevard South, were determined to be potentially significant under HRB Criterion A as La Jolla Beach Cottages and were forwarded to the Historical Resources Board for review. At a meeting held on January 23, 2020, staff recommended designation of the [Cuesta and Solana Cottages](#) located at 817 and 819-819½ Coast Boulevard South under HRB Criterion A. The recommendation excluded the 821 Coast Boulevard South building due to extensive modifications. At the hearing, a motion to designate the Cuesta and Solana Cottages failed by a vote of 3-6-1. That determination is good for 5 years absent significant new information and owner consent to reinitiate the designation process

### PROJECT DESCRIPTION

The project proposes the demolition of five (5) non-historic structures, the remodel/addition of 811 Coast Boulevard (non-historic), the remodel/addition of 825 Coast Boulevard (historic), the relocation/remodel/addition of 827 Coast Boulevard (historic), and construction of 6 new, 3-story, townhomes over an underground garage, for a total square footage of 23,591 square feet. The La Jolla Community Plan and Local Coastal Program (Community Plan) designate the 0.44-acre site for Medium Residential 15-30 Dwelling Units Per Acre. According to the Community Plan, this land use designation is characterized by medium density condominiums and apartments. Based on the recommended land use designation, 7 to 13 dwelling units would be allowed on site. As proposed, the project consisting of 3 cottages and 6 multi-story townhomes would be consistent with the community plan and implement the land use designation.

The project proposes deviations for an existing non-conforming front yard setback to remain on 821 Coast Boulevard when historic 827 Coast Boulevard is relocated onto existing base of 821 Coast Boulevard, a rear yard setback reduced from 10' to 7', access off Coast Boulevard and not from the alley, a 20' wide curb cut (smaller than existing) at 811 Coast Boulevard, and a driveway wider than 12' in the right-of-way at 825 Coast Boulevard.

### ANALYSIS

The Project proposes to relocate the Dorothy Cottage onsite and construct an addition to the historic structure. The project also proposes an addition to the Harriet Cottage and new construction at the rear of the site. The addition and new construction are consistent with the Secretary of the Interior's Standards and do not require a deviation from the City's Historical Resources Regulations. The full development plans are included as Attachment 3.

The proposed relocation of the Dorothy Cottage is not consistent with the Secretary of Interior Standards for the treatment of historical properties which is, by definition, a substantial alteration requiring a Site Development Permit (SDP), consistent with SDMC Section [143.0250\(a\)\(3\)](#). Specific SDP Supplemental Findings are required for projects proposing substantial alterations (including relocation) to a designated historical resource or within a historical district, including findings that require analysis of alternatives that could minimize the potential adverse effects on the Resources.

The required SDP Supplemental Findings regarding the Project’s proposed substantial alteration to the Dorothy Cottage and supporting information are below.

**1. There are no feasible measures, including maintaining the resource on site, that can further minimize the potential adverse effects on historical resources.**

The historical resources, the Dorothy and Harriet Cottages, HRB Site #1375, were designated based on their significance as a special element of La Jolla’s historical, cultural, social, economic, aesthetic and architectural development. The structures embody the character defining features of Beach Cottage architecture; one story, small dwellings with low pitched roofs, wood siding and orientation toward an available coastal view; and are two of a finite and limited number of beach cottages.

The current Project proposes the relocation of the Dorothy Cottage on site to allow for the construction of six new 3-story townhomes. The structure will be relocated from its current location at the rear of the project site to the front at the present location of 821 Coast Boulevard South. Additionally, the project includes the remodel of 811 Coast Boulevard South and additions to both the Dorothy and Harriet Cottages. The relocation of the Dorothy Cottage is not consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties due to the loss of integrity of location, setting, feeling and association.

The Applicant has conducted an Economic Alternatives Analysis (Attachment 6) of the proposed Project (“Base Project”) and three alternative designs. The designs were previously reviewed and approved by Historical Resources staff and the Historical Resources Board’s Design Assistance Subcommittee. A summary of the analyzed projects is located in the table below:

<b>Alternative</b>	<b>Description</b>	<b>Total Residential Square Footage</b>
<b>BASE</b>	Relocate and rehabilitate the Dorothy Cottage on site and construct an addition. Rehabilitate the Harriet Cottage and construct an addition. Remodel 811 Coast Blvd. S. Construct six, approximately 4,000 sqft 3-story townhomes. Nine total housing units.	30,688 sqft
1	Preserve the Dorothy and Harriet Cottages in their current locations. Construct five, approximately 3,000 sqft 2-story townhomes. Seven total housing units.	16,403 sqft
2	Relocate and rehabilitate the Dorothy Cottage on site. Rehabilitate the Harriet Cottage. Construct six, approximately 4,000 sqft 3-story townhomes.	24,201 sqft

	Eight total housing units.	
3	Retain all eight existing structures on site with no project. Eight total housing units.	Approx. 8,000 sqft

As demonstrated in the Economic Alternatives Analysis (see the Economic Alternative Analysis Summary Comparison table on page 6), the Base Project, which proposes relocation of the Dorothy Cottage, rehabilitation of the Harriet Cottage with the construction of an addition consistent with the Secretary of the Interior's Standards and a total output of nine housing units and 30,688 square feet of residential space, was the most economically feasible option. In contrast to the Base Project, the Economic Alternatives Analysis concluded that Alternatives 1 and 3, which included retaining the Dorothy and Harriet Cottages in their current locations and thus having a less adverse impact to the historical resources, are not economically feasible due to the reduced average sale price per square foot and the reduced amount of total square footage which result in a negative profit margin. The reduced average sale price for Alternative 1 is due to the limited coastal views associated with each unit. For Alternative 3, the limited coastal views combined with older construction results in a reduced sale price.

Alternative 2, which included retention of the Harriet Cottage in its current location and the relocation of the Dorothy Cottage to a different location on the project site, was found to be economically feasible but did not minimize the adverse impacts to the historical resource more than the Base Project. For the Base Project and Alternative 2 to be economically feasible, the Dorothy Cottage needs to be relocated. The relocation is necessary in both of these scenarios because it allows for the new townhomes to be constructed at the elevated rear of the lot which will provide the best views of the Pacific Ocean and a higher average sale price per square foot. The Base Project allows for the construction of three "cottage" houses at the front of the lot which minimizes the impacts to the Resource's integrity of setting, feeling and association by presenting the Dorothy and Harriet Cottages in a residential setting that is similar in massing, scale and design to the historic beach cottages. The larger, more modern townhouse construction will be confined to the rear of the project site. Similarly, Alternative 2 relocates the Dorothy Cottage to the front of the project site; however, access to the townhomes is provided from Coast Boulevard South between the Dorothy and Harriet Cottages. The necessary construction of an historically inappropriate access ramp between the two cottages results in impacts to the Resource's integrity of setting, feeling and association. The Base Project, while not the project that has the least adverse impacts to the integrity of the Resource, it is also not the most damaging alternative. Of the two economically feasible alternatives (the Base Project and Alternative 2), the Base Project has the lesser adverse impact to the integrity of the Resource and provides the best balance between development of the site and preservation of the historic structures. Therefore, there are no feasible measures, including maintaining the Dorothy Cottage on site in its current location, that can further minimize the potential adverse effects on the designated historical resource.

**2. The proposed relocation will not destroy the historical, cultural, or architectural values of the historical resource, and the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.**

The Project proposes to relocate the historically designated Dorothy Cottage from the rear of the project site behind the Harriet Cottage, to the front of the project site on Coast Boulevard South. The proposed relocation site is between the historically designated Harriet Cottage and 811 Coast Boulevard South which will be remodeled to be more compatible with the beach cottage aesthetic. The new configuration and setting of the designated Dorothy and Harriet Cottages will be comparable in scale to the residential historic setting of the structures originally constructed in 1904 and 1921. The project also allows for both the Dorothy and Harriet Cottages to remain in La Jolla with an orientation towards the ocean, critical aspects of their historical significance as Beach Cottages. Additionally, the Dorothy and Harriet Cottages will remain together and retain their historic association to one another.

An Environmental document was prepared with an associated MMRP (Attachment 7). In order to mitigate for the impacts to the Resource, the applicant will be required to submit Historic American Building Survey (HABS) documentation, a Treatment Plan and Monitoring Plan. A set of HABS drawings and photos documenting the historic resource (Attachment 3) will be created prior to relocation to document the architecturally significant building in its current condition. The Treatment Plan and accompanying drawings (Attachment 4) specifies the methodology behind relocation of the structure and its treatment at the new location. During relocation, the Dorothy Cottage will be moved in one piece from the rear of the project site to the current location of 821 Coast Boulevard South. The cottage will be placed on an existing foundation/garage which will raise the cottage to a height that is similar to its historic height. Once at the new location, the Dorothy Cottage will be rehabilitated consistent with the Secretary of the Interior's Standards including removal of the non-original 1949-1952 addition which was excluded from the designation. A 128 square foot addition will be constructed consistent with the Secretary of the Interior's Standards on the east façade to accommodate a master bedroom and bathroom suite. A Monitoring Plan (Attachment 5) will be established that requires a Historical Monitor to document the relocation of the historic structure and submit reports to City staff for review. Preconstruction meetings will also be held on the project site prior to the relocation. The Treatment and Monitoring plans outline the steps necessary to relocate the historic structure and monitor progress of this project. Therefore, the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.

The Harriet Cottage will be retained in its current location and rehabilitated consistent with the Secretary of the Interior's Standards. The 1972 addition excluded from the designation will be removed and an approximately 22x30 foot addition will be added to the east façade of the existing structure. The addition will be set back approximately 19 feet from the street elevation of the Harriet Cottage and will be visually separated by the use of a glass link. On the exterior, horizontal wood siding, a flat roof and metal windows will be used to differentiate the new construction from the historical resource. These modifications do not

impair the Harriet Cottage's ability to convey its historic significance as a La Jolla Beach Cottage.

The Dorothy and Harriet Cottages were designated based on their significance as a special element of the development of La Jolla and for their ability to convey their historic significance as La Jolla Beach Cottages. Through the HABS documentation, and implementation of the Treatment and Monitoring Plans, the proposed relocation of the Dorothy Cottage will not destroy the Resource's significance as a beach cottage. The project proposes to relocate the Dorothy Cottage to the front of the project site where it will be a part of a row of residential structures which are similar in massing, scale and architectural character. Both the Dorothy and Harriet Cottages will be rehabilitated consistent with the Secretary of the Interior's Standards. Therefore, the relocation of the Dorothy Cottage would not destroy the historical, cultural or architectural values of the designated historical resource.

**3. There are special circumstances or conditions apart from the existence of historical resources, applying to the land that are peculiar to the land and are not of the applicant's making, whereby the strict application of the provisions of the historical resources regulations would deprive the property owner of reasonable use of the land.**

The proposed Project includes relocation of the Dorothy Cottage from the rear of the project site to the front to allow for the construction of six townhouses. The project site is located on a steep slope with access constraints which make it physically challenging for new construction. Residential units must be accessed from either Coast Boulevard South or the alley at the rear of the project site. Strict application of the historical resources regulations and retaining both designated resources consistent with the Secretary of the Interior's Standards in their current locations would limit the buildable area of the project site. As demonstrated by the Economic Alternatives Analysis through the examination of Alternative 3, development of the site is necessary to justify the high purchase price of the property. Without improvements to the property the sale price will not be recuperated. Retention of the Dorothy Cottage in its current location, as illustrated by Alternative 1 (the only alternative that analyzes retention of the cottages in their current locations with the addition of new construction), would only physically allow for the construction of five new residential units on site in addition to the two historical structures for a total of 16,403 square feet of living space. Relocation of the Dorothy Cottage, as proposed by the Base Project, will result in the construction of six new residential units for a total of nine units and 30,688 square feet of living space. The relocation of the cottage will physically clear a large portion of land at the rear of the project site to accommodate the highest number of new units possible. Additionally, the construction of new units at a higher elevation will provide increased marketability of the project due to coastal views. Alternative 2 also analyzes relocation of the Dorothy Cottage with new construction at the rear of the property but this results in the need to construct an access ramp between the Dorothy and Harriet Cottages which impairs the historic integrity of the resources. Therefore, the topography of the lot is a special circumstance apart from the existence of the Resource that applies to the land that is peculiar and not of the applicant's making, whereby strict application of the provisions of the historical resource regulations and retention of the Dorothy Cottage in its current location

would prevent the development of a financially feasible project, thereby depriving the property owner of reasonable use of the land.

CONCLUSION

Staff recommends that the HRB recommend to the Planning Commission adoption of the mitigation measures and findings associated with the SDP related to the designated historical resource.



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Catherine Rom  
Development Project Manager  
Development Services Department



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Suzanne Segur  
Senior Planner / HRB Liaison  
Development Services Department

Attachment(s):

1. Historical Resources Technical Report
2. Development Plans
3. HABS Documentation
4. Treatment Plan
5. Monitoring Plan
6. Economic Feasibility Study
7. Mitigated Negative Declaration
8. Draft Permit



**HISTORICAL RESOURCE  
TECHNICAL REPORT FOR THE  
DOROTHY AND HARRIET COTTAGES**

**825-827 COAST BOULEVARD SOUTH  
LA JOLLA, CALIFORNIA 92037**

**Project No. 669143**

**Submitted to:**

**City of San Diego  
Development Services Department  
1222 First Avenue, MS 501  
San Diego, California 92101**

**Prepared for:**

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***December 11, 2020***

**Archaeological Database Information**

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**Report Date:** December 11, 2020

**Report Title:** Historical Resource Technical Report for the Dorothy and Harriet Cottages, 825-827 Coast Boulevard South, La Jolla, California 92037 (Project No. 669143)

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**USGS Quadrangle:** *La Jolla, California* (7.5 minute)

**Study Area:** 825 and 827 Coast Boulevard South

**Key Words:** USGS *La Jolla, California* topographic quadrangle; City of San Diego; historic structure evaluation; not eligible for listing on the CRHR or the NRHP; eligible for listing on the SDRHR under Criterion A; both buildings locally designated resources (HRB #1375); relocation of the Dorothy Cottage; additions proposed to the Dorothy and Harriet Cottages; mitigation, rehabilitation, and preservation required.

## Table of Contents

		<u>Page</u>
I.	EXECUTIVE SUMMARY .....	1
II.	INTRODUCTION .....	2
	<i>Report Organization</i> .....	2
	<i>Project Area</i> .....	2
	<i>Project Personnel</i> .....	2
III.	PROJECT SETTING .....	2
	<i>Physical Project Setting</i> .....	2
	<i>Historical Overview</i> .....	3
	<i>Project Area and Vicinity</i> .....	5
IV.	METHODS AND RESULTS .....	8
	<i>Archival Research</i> .....	8
	<i>Historic Context: La Jolla Park</i> .....	9
	<i>History of the Property: Ownership and Development</i> .....	15
	<i>Field Survey</i> .....	17
	<i>Description of Surveyed Resources</i> .....	18
V.	SIGNIFICANCE EVALUATIONS .....	28
	<i>City of San Diego HRB Eligibility Criteria</i> .....	46
	<i>City of San Diego HRB Evaluation</i> .....	47
	<i>CRHR/NRHP Criteria</i> .....	58
	<i>CRHR/NRHP Evaluation</i> .....	59
VI.	FINDINGS AND CONCLUSIONS .....	62
	<i>Impacts Discussion</i> .....	62
	<i>Mitigation Measures</i> .....	67
VII.	BIBLIOGRAPHY .....	68
VIII.	APPENDICES .....	75
	Appendix A: Building Development Information	
	Appendix B: Ownership and Occupant Information	
	Appendix C: Maps	
	Appendix D: DPR Forms	
	Appendix E: Preparers' Qualifications	

<b><u>Plates</u></b>		<b><u>Page</u></b>
Plate 1	La Jolla Cove in 1894 .....	6
Plate 2	The Spindrift Inn prior to completion in 1916 .....	7
Plate 3	La Jolla Beach and Yacht Club in 1927.....	7
Plate 4	The Marine Room during a storm in 1944.....	8
Plate 5	Circa 1897 view of La Jolla Cove.....	10
Plate 6	Circa 1906 view of the Marine Biological Association of San Diego building above La Jolla Cove.....	11
Plate 7	1922 Aerial Photograph, Facing East .....	13
Plate 8	1924 to 1926 Aerial Photograph, Facing Northeast.....	14
Plate 9	View of the West and South Façades of the Dorothy Cottage, Facing East.....	19
Plate 10	1924 to 1926 Aerial Photograph, Facing Southeast.....	20
Plate 11	View of the West (Left) and South (Right) Façades of the Dorothy Cottage, Facing East.....	21
Plate 12	Interior View of the Original Main Entry on the West Façade of the Dorothy Cottage, Facing Northwest.....	22
Plate 13	View of the Northwest Corner of the Dorothy Cottage, Facing South.....	23
Plate 14	View of the South (Left) and East (Right) Façades of the Dorothy Cottage Showing Modifications, Facing North.....	24
Plate 15	View of the South Façade of the Dorothy Cottage, Facing North.....	25
Plate 16	View of the North Façade of the 1949 to 1952 Addition (Left) and the East Façade of the Circa 1904 Dorothy Cottage (Right), Facing Southwest .....	26
Plate 17	Close-Up View of the South Façade of the Dorothy Cottage, Facing Northeast ..	27
Plate 18	View of the West Façade of the Harriet Cottage, Facing East .....	29
Plate 19	View of the West (Left) and South (Right) Façades of the Harriet Cottage, Facing Northeast .....	30
Plate 20	View of the Southwest Corner of the Harriet Cottage, Facing Northeast .....	31
Plate 21	View of the South Façade of the Harriet Cottage, Facing North.....	32
Plate 22	View of the South Façade of the Harriet Cottage, Facing Northwest .....	33
Plate 23	View of the East Façade of the 1921 Harriet Cottage (Left) and the South Façade of the 1972 Addition (Right), Facing West.....	34

**Plates (continued)**

	<b><u>Page</u></b>
Plate 24 View of the North Façade of the Harriet Cottage, Facing Southeast.....	35
Plate 25 View of the North Façade of the Harriet Cottage, Facing Southwest .....	36
Plate 26 View of the Northwest Corner of the Harriet Cottage, Facing Southeast .....	37
Plate 27 View of the South Façade of the 1972 Addition to the Harriet Cottage, Facing West .....	38
Plate 28 View of the East (Left) and North (Right) Façades of the 1972 Addition to the Harriet Cottage, Facing West.....	39
Plate 29 View of the North Façade of the Harriet Cottage Showing the 1972 Addition to the Left, Facing South.....	40
Plate 30 1924 to 1926 and Current Views of the North (Left) and West (Right) Façades of the Harriet Cottage, Facing Southeast .....	41
Plate 31 1952 Aerial Photograph, Facing North.....	44

**Tables**

	<b><u>Page</u></b>
Table 1 Title Records for 825-827 Coast Boulevard South.....	17

## I. EXECUTIVE SUMMARY

As part of a Site Development Permit, the City of San Diego has required the preparation of a Historical Resource Technical Report for a one-story, Queen Anne Free Classic-style, La Jolla Beach Cottage at 827 Coast Boulevard South (referred to herein as the Dorothy Cottage) and a one-story, Craftsman-style, La Jolla Beach Cottage at 825 Coast Boulevard South (referred to herein as the Harriet Cottage), both located within the La Jolla Park Subdivision in the city of San Diego. The owner, 800 Coast, LLC, is proposing to relocate the Dorothy Cottage to the parcel immediately to the south, on top of the garage of the existing 821 Coast Boulevard building, and additions to the Dorothy and Harriet Cottages.

The proposed project is located at 811-827 Coast Boulevard South in the La Jolla community of the city of San Diego, San Diego County, California. The property encompasses Assessor's Parcel Numbers (APNs) 350-070-10 and -11 with a legal description that describes the property as "Lots 9 through 11, excluding the southerly 12 feet, of Block 55 of La Jolla Park, in the city of San Diego, county of San Diego, state of California, according to Map thereof No. 352, filed in the office of the County Recorder of San Diego County, March 22, 1887."

Brian F. Smith and Associates, Inc. (BFSA) prepared a Historical Resources Research Report for the Dorothy and Harriett Cottages in 2020 to evaluate the buildings under City of San Diego HRB criteria and found both cottages as representative examples of early La Jolla Beach Cottages under City of San Diego Historical Resources Board (HRB) Criterion A (Stropes et al. 2020). As a result, both buildings have been locally designated as HRB #1375. Although previously evaluated as significant resources at the local level under City of San Diego HRB criteria, BFSA was contracted to evaluate the cottages to determine if they also constitute significant historic resources under National Register of Historic Places (NRHP) and California Register of Historical Resources (CRHR) criteria. This evaluation will also provide a determination as to whether the proposed relocation of the Dorothy Cottage and the proposed additions to both cottages would have an adverse effect upon the historic resources.

The current evaluation has determined that neither cottage is eligible for listing on the CRHR or NRHP under any significance criteria. However, because the cottages have been evaluated as significant under local criteria, the proposed project will constitute a negative impact to the historic resources (relocation and additions). Mitigation measures would reduce the impacts to less than significant since the new location for the Dorothy Cottage is within the same residential block, immediately south of its current location. In addition, the relocated Dorothy Cottage and the additions proposed for both cottages will be compatible with the original character and use of the historic resources. Adherence to *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (SOI's Standards for Historic Properties) for the proposed relocation and additions for the two cottages will enable the buildings to continue to convey their integrity of design, materials, workmanship, feeling, and association as La Jolla Beach cottages, for which they received their designation.

## II. INTRODUCTION

### Report Organization

The purpose of this study is to evaluate the potential historic and/or architectural significance of the Dorothy and Harriet Cottages located at 827 and 825 Coast Boulevard South, respectively, in the community of La Jolla, city of San Diego, California. As part of the environmental review of the buildings, the City of San Diego has required an evaluation of the cottages to determine if they are potentially significant, and to determine whether or not they are eligible for local, state, or national designation. Because this project requires approval from the City of San Diego, CEQA and City of San Diego HRB eligibility criteria were used for this evaluation. Therefore, criteria for listing on the SDRHR, the CRHR, and the NRHP are the appropriate measures of significance.

### Project Area

The entire proposed project area is located at 811-827 Coast Boulevard South and encompasses APNs 350-070-10 and -11. The Dorothy and Harriet Cottages evaluated in this study are only within the boundaries of APN 350-070-10. The property is located within a developed, coastal, residential neighborhood along the east side of the 800 block of Coast Boulevard South. The property is less than 0.50 acre, sloping to the west, and includes the two cottages and associated landscaping.

### Project Personnel

This evaluation was conducted by Brian F. Smith and Jennifer R.K. Stropes (Appendix E). Word processing, editing, and graphics production services were provided by BFSa staff.

## III. PROJECT SETTING

### Physical Project Setting

The project is located on a coastal bluff in the La Jolla Park neighborhood of La Jolla, north of the intersection of Coast Boulevard South and Eads Avenue. The open coast habitat at this part of the coast is characterized by alternating rocky foreshore and sandy beaches. The biological setting observed in the vicinity of the project currently consists of non-native ornamental trees, shrubs, and grasses.

The natural setting during the prehistoric occupation of the project area offered a rich nutritional resource base. Fresh water was probably obtainable on a year-round basis from the pond and springs at the foot of Ardat Canyon, located northeast of the project. Historically, the property may have contained species representative of the coastal sage scrub community (Beauchamp 1986). The La Jolla area provided a rich environment capable of supporting a moderately dense prehistoric population of hunter/gatherers, such as the La Jolla Complex cultural

horizon and the more recent Kumeyaay (Smith and Moriarty 1983, 1985; Smith and Pierson 1996). Such population densities likely required considerable foraging along the shoreline and in the surrounding drainages and mesas to sustain seasonal occupations. This would have included the area currently under study, as well as the adjacent mesas and shoreline.

### **Historical Overview**

#### **Exploration Period (1530 to 1769)**

The historic period around San Diego Bay began with the landing of Juan Rodriguez Cabrillo and his men in 1542 (Chapman 1921). Sixty years after the Cabrillo expeditions (1602 to 1603), an expedition under Sebastian Vizcaíno made an extensive and thorough exploration of the Pacific coast. Although his voyage did not extend beyond the northern limits of the Cabrillo track, Vizcaíno had the most lasting effect upon the nomenclature of the coast. Many of Vizcaíno's place names throughout the region have survived to the present time, whereas nearly every one of Cabrillo's has faded from use. For example, Cabrillo named the first port at which he stopped in the (now) United States "San Miguel"; 60 years later, Vizcaíno changed the port name to "San Diego" (Rolle 1969).

#### **Spanish Colonial Period (1769 to 1821)**

The Spanish occupation of the claimed territory of Alta California took place during the reign of King Carlos III of Spain (Engelhardt 1920). Jose de Gálvez, a powerful representative of the king in Mexico, conceived the plan to colonize Alta California and thereby secure the area for the Spanish (Rolle 1969). The effort involved both military and religious components, where the overall intent of establishing forts and missions was to gain control of the land and the native inhabitants through conversion. Actual colonization of the San Diego area began on July 16, 1769 when the first Spanish exploring party, commanded by Gaspar de Portolá (with Father Junípero Serra in charge of religious conversion of the native populations), arrived by the overland route to San Diego to secure California for the Spanish (Palou 1926). The natural attraction of the San Diego harbor and the establishment of a military presence solidified its importance to the Spanish colonization of the region and the growth of the civilian population.

Missions were constructed from San Diego to the area as far north as San Francisco. The mission locations were based upon a number of important territorial, military, and religious considerations. Grants of land were made to those who applied, but many tracts reverted back to the government due to lack of use. As an extension of territorial control by the Spanish Empire, each mission was placed so as to command as much territory and as large a population as possible. While primary access to California during the Spanish Period was by sea, the route of El Camino Real served as the land route for transportation, commercial, and military activities within the colony. This route was considered to be the most direct path between the missions (Rolle 1969; Caughey 1970). As increasing numbers of Spanish and Mexican peoples, as well as the later Americans during the Gold Rush, settled in the area, the Native American populations diminished



as they were displaced or decimated by disease (Carrico and Taylor 1983).

### Mexican Period (1821 to 1846)

On September 16, 1810, Father Miguel Hidalgo y Costilla started a revolt against Spanish rule. He and his untrained Native American followers fought against the Spanish but were unsuccessful and Father Hidalgo was executed. After this setback, Father José Morales led the revolutionaries, but he too failed and was executed. These two men are still symbols of Mexican liberty and patriotism. After the Mexican-born Spanish and the Catholic Church joined the revolution, Spain was finally defeated in 1821. Mexican Independence Day is celebrated on September 16 of each year, signifying the anniversary of the start of Father Hidalgo's revolt. The revolution had repercussions in the northern territories, and by 1834, all of the mission lands had been removed from the control of the Franciscan Order under the Acts of Secularization. Without proper maintenance, the missions quickly began to disintegrate, and after 1836, missionaries ceased to make regular visits inland to minister the needs of the Native Americans (Engelhardt 1920). Large tracts of land continued to be granted to those who applied or who had gained favor with the Mexican government. Grants of land were also made to settle government debts and the Mexican government was called upon to reaffirm some older Spanish land grants shortly before the Mexican-American War of 1846 (Moyer 1969).

### Anglo-American Period (1846 to Present)

California was invaded by United States troops during the Mexican-American War from 1846 to 1848. The acquisition of strategic Pacific ports and California land was one of the principal objectives of the war (Price 1967). At the time, the inhabitants of California were practically defenseless and they quickly surrendered to the United States Navy in July 1847 (Bancroft 1886).

The cattle ranchers of the "counties" of southern California prospered during the cattle boom of the early 1850s. They were able to "reap windfall profit ... pay taxes and lawyer's bills ... and generally live according to custom" (Pitt 1966). However, cattle ranching soon declined, contributing to the expansion of agriculture. With the passage of the "No Fence Act," San Diego's economy shifted from raising cattle to farming (Robinson 1948). The act allowed for the expansion of unfenced farms, which was crucial in an area where fencing material was practically unavailable. Five years after its passage, most of the arable lands in San Diego County had been patented as either ranchos or homesteads, and growing grain crops replaced raising cattle in many of the county's inland valleys (Blick 1976; Elliott 1883 [1965]).

By 1870, farmers had learned to dry farm and were coping with some of the peculiarities of San Diego County's climate (*San Diego Union* 1868; Van Dyke 1886). Between 1869 and 1871, the amount of cultivated acreage in the county rose from less than 5,000 acres, to more than 20,000 acres (*San Diego Union* 1872). Of course, droughts continued to hinder the development of agriculture (Crouch 1915; *San Diego Union* 1870; Shipek 1977). Large-scale farming in San Diego County was limited by a lack of water and the small size of arable valleys. The small urban

population and poor roads also restricted commercial crop growing. Meanwhile, cattle continued to be grazed in parts of inland San Diego County. In the Otay Mesa area, for example, the “No Fence Act” had little effect upon cattle farmers because ranches were spaced far apart and natural ridges kept the cattle out of nearby growing crops (Gordinier 1966).

During the first two decades of the twentieth century, the population of San Diego County continued to grow. The population of the inland county declined during the 1890s, but between 1900 and 1910, it rose by about 70 percent. The pioneering efforts were over, the railroads had broken the relative isolation of southern California, and life in San Diego County had become similar to other communities throughout the west. After World War I, the history of San Diego County was primarily determined by the growth of San Diego Bay. In 1919, the United States Navy decided to make the bay the home base for the Pacific Fleet (Pourade 1967), as did the aircraft industry in the 1920s (Heiges 1976). The establishment of these industries led to the growth of the county as a whole; however, most of the civilian population growth occurred in the north county coastal areas, where the population almost tripled between 1920 and 1930. During this time period, the history of inland San Diego County was subsidiary to that of the city of San Diego, which had become a Navy center and an industrial city (Heiges 1976). In inland San Diego County, agriculture became specialized and recreational areas were established in the mountain and desert areas. Just before World War II, urbanization spread to the inland parts of the county.

### **Project Area and Vicinity**

The origin of the name La Jolla, most researchers agree, is a variation of the original “La Hoya,” which literally translated from Spanish means “pit, hole, grave, or valley.” The equivalent American translation is “river basin” (Castillo and Bond 1975). The city surveyor, James Pascoe, spelled it “La Joya” on his map of city land in 1870, which translates as “the jewel.” The location of La Hoya (or La Joya) was consistently shown as the canyon in which the southern portion of Torrey Pines Road is presently located. The first post office was established on February 28, 1888 and closed on March 31, 1893, but reopened as “Lajolla” (one word) on August 17, 1894. On June 19, 1905, the name of the post office was changed to “La Jolla” (two words) (Salley 1977).

The first purchase of Pueblo Lands in this area occurred on February 27, 1869, when the City of San Diego sold Pueblo Lot 1261 to Samuel Sizer. On the same day, the City sold Pueblo Lot 1259 to Daniel Sizer. Both lots, which sold for \$1.25 per acre, were located south of “La Hoya Valley.” When Sizer’s agricultural development to the south is described in the *San Diego Union* (1869), the canyon is referred to as “La Hoya.” By the 1870s, excursions to the point and cove were offered by the Horton House in their Concord Coach, a stagecoach drawn by four horses (*San Diego Union* 1932).

The boom of the 1880s extended to La Jolla in the form of the construction of a hotel and rental cottages (Randolph 1955). Initially, water supplies were unreliable, consisting of only two sources: a small well in Rose Canyon and a small pipeline connected to the Pacific Beach water supply. Reliable transportation to La Jolla came with the extension of the San Diego, Old Town,

and Pacific Beach Railway to La Jolla in 1894. This narrow-gauge railroad was responsible for bringing passengers and prefabricated cottages (on flat cars) to the growing community (Randolph 1955). The railroad was dismantled in 1919, but not before an unsuccessful experiment with a gasoline-powered rail car (known locally as the “Red Devil”) was conducted.

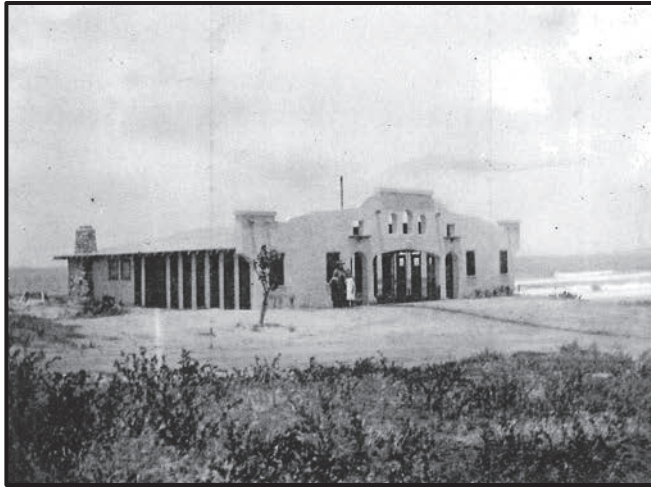
As the number of residences and businesses increased in La Jolla, so did the need for public services. On July 10, 1888, the San Diego City Council passed an ordinance providing for the disposal for garbage, night soil, dead animals, ashes, and rubbish (Document 101817). In 1909, natural gas was brought to La Jolla, and in 1911, electricity was made available to the community (Randolph 1955). An electric railway provided service to La Jolla between 1924 and 1940. In 1918, street paving began, and by 1922, the Girard Street business section was completely paved.

Visitors to La Jolla enjoyed the park at Alligator Head from the earliest days of stagecoach excursions. Trees and shrubs were planted around the park, but a months-long failure of the water supply in 1890 caused many of the plants to die. During the 1890s, the park was the focus of construction for guest cottages and hotels, such as the La Jolla Beach House, which indicates that developmental impacts to prehistoric archaeological resources, as well as impacts from increased visitation, occurred during this early period. Randolph (1955) wrote about a Native American settlement at La Jolla (probably archaeological Site SDI-39/W-1), which was supported by Native American informants and the recovery of several artifacts, including metates, stone utensils, and other relics from La Jolla Cove. As the development of La Jolla continued, other subdivisions and plots were converted from farming and/or grazing to residential use. A photograph showing La Jolla Cove in 1894 is provided in Plate 1.



**Plate 1: La Jolla Cove in 1894.**  
*(Photograph courtesy of the San Diego Historical Society)*

The earliest notable development in this area was the construction of the Spindrift Inn in 1916. Roy Clarke Rose built the inn as a bathhouse and restaurant using lumber salvaged from the ruins of the Congregational Church (Plate 2). Rose and the original renters, a Mr. and Mrs. Wilder, decided to name the inn “Spindrift” for “the wind driven foam from the breast of the waves” (Hannay n.d.).



**Plate 2: The Spindrift Inn prior to completion in 1916.**  
(*Photograph courtesy of Hannay n.d.*)

Peter and Margaret Hannay purchased the inn in 1922. According to Margaret Hannay, “at that time Spindrift was at the end of nowhere”; only a trail ran down to the inn, which was widened when homes began to be built in the area (Hannay n.d.).

The Pelican Club (a social club) was established around the same time as the inn, where the club members met approximately once a month before gathering afterward at different members’ residences for cocktails. The club was originally organized by W.L. Maloon, Dr. Truman A. Parker, W.L. Peete, and Ivan Rice. The original members included W.C. Crandall, John R.E. Sumner,

William Trump, and Billy Woods. Later members included Laurence Burdick, William McDonald, H.G. Lazelle, Remsen McGinnis, J. Lewis Morse, William E. Pate, Thomas A. Rothwell, F.P. Sherwood, A.B. Smith, E.C. Stimpson, H.U. Sverdup, Keith Trask, Dr. T. Wayland Vaughn, Morris T. Weeks, and William C. Zimmerman (Randolph 1955). The last meeting of the Pelican Club was held in 1937 and the Hannays sold the inn shortly thereafter (Hannay n.d.).

In 1926, the initial development of the La Jolla Beach and Yacht Club (Plate 3) took place immediately adjacent to the Spindrift Inn. The board of governors, who helped sponsor the \$1,000,000 project, included Charles H. Bencini, A.J. Bickerstaff, Arthur H. Braly, T.A. Davis, Arthur D. Dodworth, George Harbaugh, William Kettner, J.D. Marsden, Sherman A. Paddock, Robert B. Stacy-Judd, and Will J. Thayer (*San Diego Union* 1926a). Designed by Hollywood architect Robert B. Stacy-Judd as a “unique architectural adaptation of [an] ancient Mayan building method,” the La



**Plate 3: La Jolla Beach and Yacht Club in 1927.**  
(*Photograph courtesy of the San Diego Historical Society*)

Jolla Beach and Yacht Club facility was opened in 1927 (*San Diego Union* 1927). The La Jolla Beach and Yacht Club and the Spindrift Inn gained in popularity in the 1920s and 1930s and were successful in spite of the Depression that gripped the country between the stock market crash of 1929 and the opening of World War II.

In 1935, Frederick William Kellogg purchased the La Jolla Beach and Yacht Club and transferred ownership to himself and his wife, Florence Scripps Kellogg, niece of Ellen Browning Scripps. After taking ownership, Kellogg renamed the facility the La Jolla Beach and Tennis Club and built four tennis courts, an Olympic-sized swimming pool, and 42 apartments (Randolph 1955). Once the apartments were complete, Kellogg began a remodel of the Spindrift Inn to convert it into a restaurant. Kellogg “knocked a hole through the wall” of the Spindrift Inn and



**Plate 4: The Marine Room during a storm in 1944.**  
(*Photograph courtesy of the Marine Room*)

built the Marine Room dining room immediately adjacent to the inn (Daly-Lipe and Dawson 2002). However, Kellogg passed away in 1940 before the project was complete. His son, William J. Kellogg, ultimately finished the remodel and the new Marine Room restaurant opened in 1941 (Daly-Lipe and Dawson 2002) (Plate 4). A year later, the windows were smashed in by rising surf caused by a winter storm. Each time that the windows would be replaced after a storm, they were

smashed in again by the surf. In 1948, the Spindrift Lounge was constructed and the plate glass was replaced with Herculite three-fourth-inch glass (Olten et al. 2011).

During World War II, two military training camps came to La Jolla (Camp Callan and Camp Elliot) and two emplacements on Mount Soledad and one on the beach in La Jolla were established (Pierson 2001). Although these military installations were replaced after the Korean War with the University of California at San Diego campus and the expansion of the Scripps Institution of Oceanography, La Jolla’s economic base gained a substantial business element. This trend continues with ever-present tourism playing a significant part in the local economy. The residential population has historically included permanent and seasonal residents, many of whom have achieved a significant degree of financial and historical notoriety and success.

## **IV. METHODS AND RESULTS**

### **Archival Research**

Records relating to the ownership and developmental history of this project were sought to fulfill the requirements of Appendix E of the City of San Diego HRB guidelines, as well as to identify any associated historic persons and events or architectural significance. Records research

was conducted at the BFA research library, the San Diego Historical Society, and the offices of the San Diego Assessor/County Recorder/County Clerk. Title records for the property were also obtained, including documentation obtained from California Lot Book, Inc. Appendix C contains maps of the property, including a City of San Diego 800' Scale Engineering Map, historic USGS maps from 1904 and 1943, a current USGS project location map, the original subdivision map, the current Assessor's parcel map, and Sanborn Fire Insurance maps (Figures 1 to 9).

### **Historic Context: La Jolla Park**

The La Jolla Park subdivision was platted in 1887 by Frank T. Botsford and George W. Heald. According to Donaldson et al. (2004):

[In 1885], the Transcontinental Railroad came to San Diego bringing with it an influx of land speculators and permanent residents, and by 1890 San Diego's population totaled 16,159 an increase of population over 500% since San Diego's recorded population of 2,637 in the 1880s. In 1885, the first recorded La Jolla subdivision, located slightly north of present day La Jolla Scenic Heights, was filed with the San Diego County Recorders as the Leavitt's Addition Map No. 117. However, it was the La Jolla Park subdivision that was recorded on March 22, 1887 by Frank T. Botsford and George W. Heald under the auspice of the Pacific Coast Land Bureau from which the community of La Jolla evolved with the first successful efforts to construct community amenities.

The streets were laid out to follow the natural curves of the coastline, and all streets were 80' wide, with the exception of Grand (Girard), which was 100' feet wide. Two parks were identified on the La Jolla Park Subdivision map – La Jolla Park and Union Park (Park Row). Palms, cedar, eucalyptus and other tree species were planted to line the streets and define the two parks. The La Jolla Improvement Society was established to maintain the parks and the trees, but by 1893, the water supply and maintenance efforts diminished and most of the trees died. Lila Almina Hamilton acquired an interest in the Pacific Coast Land Bureau with the intent to plant trees in La Jolla Park in an artistic design. A reliable water supply continued to be a problem during the period. Prospectors were unsuccessful in drilling wells, most filled with salt water. In 1887, water was found in Rose Canyon. The water was piped to a reservoir for storage, but within a few years, the system failed and water was then hand-carried in barrels from Rose Canyon into La Jolla.

The La Jolla Park Subdivision's first public land auction was held in 1887, and due to the brisk pace of land sales, it was declared an early success. Once building began, after the short land boom and bust of the late 1880s, early structures began

appearing as summer cottages. These early cottages were built by the landowners themselves or by vacationing families who wished to spend their summers on the West Coast. Comprised of board-and-batten, these cottages were modest and simple in design and construction, and were outfitted with the basic essentials, as the residents spent the majority of their time outdoors [Plate 5]. The arrival of the railroad in La Jolla in 1894 also contributed to the growth of the La Jolla Park subdivision in the 1890s. The railroad was an extension of the San Diego, Old Town and Pacific Beach Railroad, with the alignment heading west along Grand Avenue in Pacific Beach, north parallel to La Jolla Boulevard crossing Pearl Street at Cuvier and up Prospect Street to Virginia Scripps Cottage. With mixed community reaction regarding the terminus of the line, a covert effort extended the line to Prospect and Fay Avenues where a terminal was constructed. In order to attract riders to La Jolla, the “Abalone Express” provided several activities at the end of the line in La Jolla, including a dancing pavilion. The dance pavilion was the social center of La Jolla until it was dismantled in 1907. In 1899, a stairway was built to Devil’s Slide so that passengers could visit the tidepools and gather abalone ...



**Plate 5: Circa 1897 view of La Jolla Cove.**  
*(Photograph courtesy of the University of San Diego Special Collections & Archives)*

By the turn of the 20th century, [an] influx of artists and educators, many guests of Anna Held's Green Dragon Colony [located at the north end of the La Jolla Park Subdivision], began to lay the foundation for the deep interest in culture and the arts, as well as cultural landscapes in community. Anna Held's friend, horticulturist Kate Sessions, planted eucalyptus trees at the Green Dragon Colony to beautify the property. Science and Education were also at the forefront for the community, which was felt by the influence of Ellen Browning Scripps who was responsible for funding the development of several institutions during this period. Such examples include the La Jolla Women's Club, the Bishop's School, and the Children's Playground and Recreation Center. The Recreation Center opened in 1915 and was the site of one of the first public playgrounds in the United States, and served as a model for other playgrounds throughout the country. The playground included basketball courts, tennis courts, play equipment, a sand box, and gym sets. In 1899, a nine-hole golf course was constructed at Cave and Prospect Streets.

The Marine Biological Association of San Diego moved from Coronado to a site just above the Cove at Alligator Head in 1905 [Plate 6]. A 170-acre parcel above La Jolla Shores was purchased at a public auction for the Scripps Institution for Biological Research (so named after 1912), and construction of the first structures occurred in 1909 and 1910. The land was barren, and there were no roads. Ellen Browning Scripps donated \$10,000 to build a road connecting the laboratory to La Jolla to the south and Del Mar to the north ...



**Plate 6: Circa 1906 view of the Marine Biological Association of San Diego building above La Jolla Cove. (Photograph courtesy of Scripps Institute of Oceanography)**



The railroad was extended in 1908 north along Ivanhoe to Prospect Street and back to Fay Avenue, forming a loop around the village. It was finally abandoned in 1918. The first cars arrived in La Jolla in 1912. A team of horses was used to pull cars up Biological Grade during the rain. Torrey Pines grade was paved in 1915, and was followed in 1918 by the paving of Prospect Street and construction of sidewalks ...

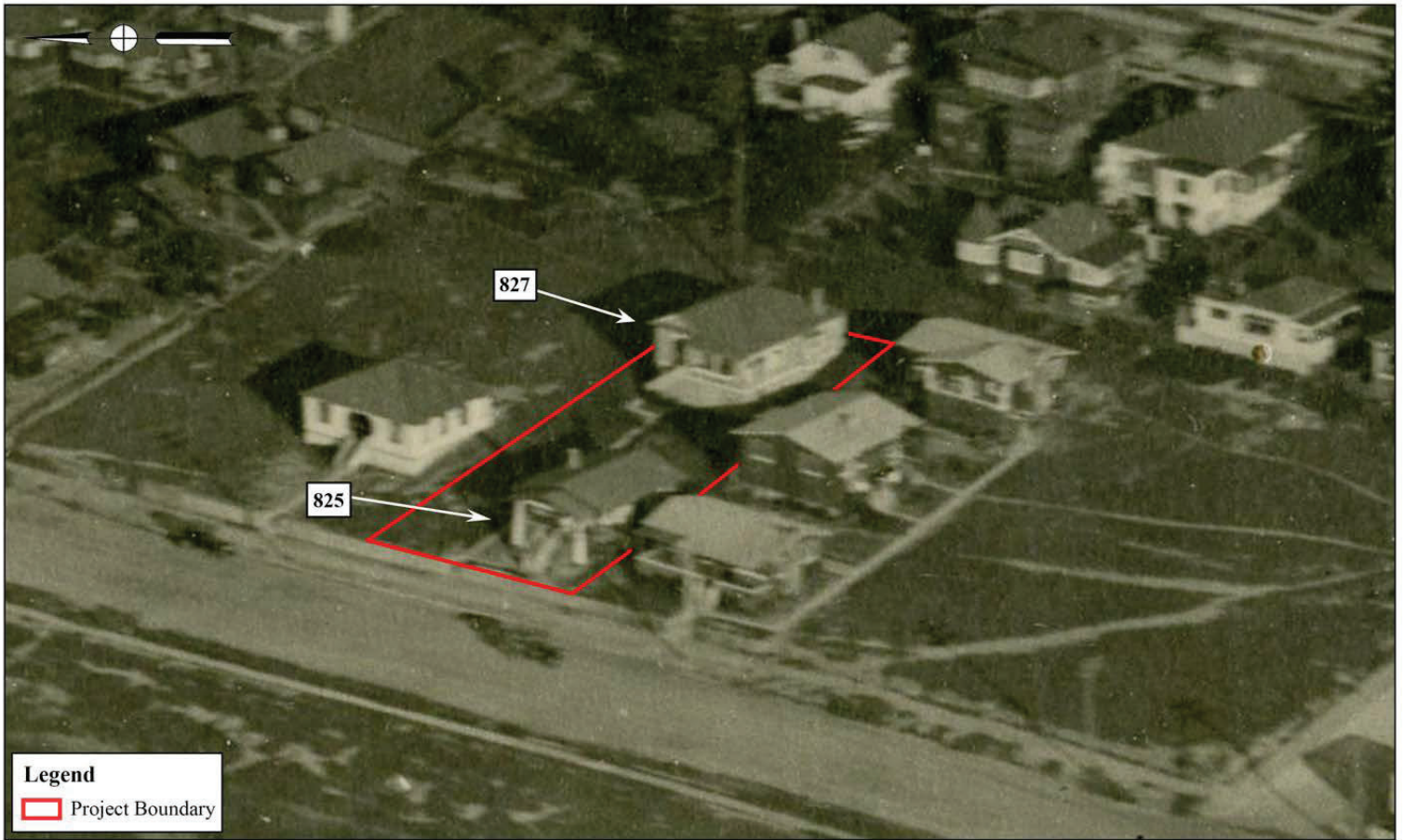
The road between La Jolla and San Diego was paved in 1920. The La Valencia Hotel was built [in the La Jolla Park Subdivision] in 1926, preserving the existing palm trees. La Jolla development began expanding southward and eastward from the La Jolla Park subdivision and included the re-subdivisions and new development of areas such as Bird Rock, City-by-the-Sea, La Jolla Hermosa, the Barber Tract, and the Muirlands ...

Electric rail services between San Diego and La Jolla started in 1924 to provide public transportation to La Jolla after the railroad stopped operating. A streetcar line (#16) was extended from Mission Beach to La Jolla ...

While the streetcar line brought many visitors to La Jolla, it also brought workers to La Jolla who lived elsewhere. This prompted the development of new subdivisions in La Jolla, along with the paving of additional streets and sidewalks in the area. (Donaldson et al. 2004).

Jenner Avenue and Coast Boulevard South were paved in 1924 (*Evening Tribune* 1924) (Plates 7 and 8) and through the 1920s, widespread and prolific development occurred within the La Jolla Park Subdivision. The setting around the 811-827 Coast Boulevard South property has substantially changed over time with the construction of new residential buildings and many remodeled homes in the immediate vicinity. Overall, the architectural styles currently represented in this area are extremely eclectic, including Craftsman, Spanish, French, Italian, Mediterranean, and Modern/Contemporary designs.

The 811-827 Coast Boulevard South property was identified in both the historic inventory of the La Jolla community prepared by Patricia Schaelchlin in 1977 and the La Jolla Historical Survey prepared by Architect Milford Wayne Donaldson, FAIA, KTU+A, and the La Jolla Historical Society (see Appendix A). Schaelchlin states that “Walter Lieber an 1904 arrival in La Jolla, invested heavily in rental properties. He had a penchant for naming his cottages whimsically; he may well have built [the Dorothy and Harriet cottages]” (Schaelchlin 1977). Although Lieber is known to have had several cottages constructed in La Jolla in the early 1900s (*San Diego Union* 1905a, 1905b, 1905c, 1906, 1913) and bought and sold property throughout San Diego (*San Diego Union* 1905c, 1906, 1908), no evidence could be found linking him to the subject property.

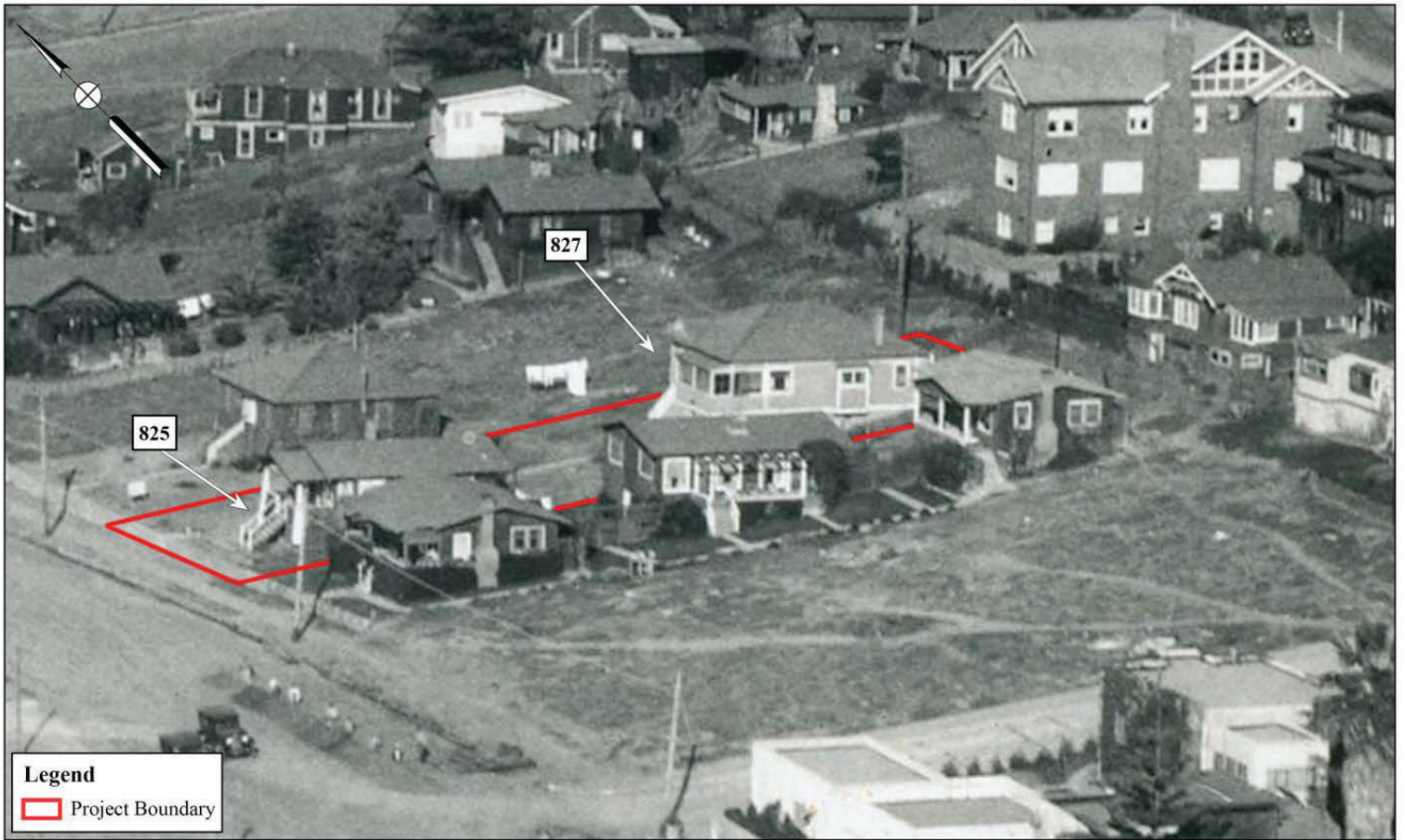


**Legend**  
[Red Box] Project Boundary




**Plate 7**  
**1922 Aerial Photograph, Facing East**  
825-827 Coast Boulevard South

*(Photograph courtesy of the La Jolla Historical Society Collection)*



14

**Legend**  
 Project Boundary



**Plate 8**  
**1924 to 1926 Aerial Photograph, Facing Northeast**  
 825-827 Coast Boulevard South  
*(Photograph courtesy of the La Jolla Historical Society Collection)*

A review of Howard S.F. Randolph's 1955 book, *La Jolla Year By Year*, which lists many of the "Old Cottages By Streets," identifies the 817 Coast Boulevard South building as "Cuesta," the "819 ½" Coast Boulevard South building as "Solana," the 821 Coast Boulevard South building as "Sea Dream," the 825 Coast Boulevard South building as "Dorothy," and the 827 Coast Boulevard South building as "Harriet."

While the 817, 819 ½, and 821 Coast Boulevard South buildings appear to be correctly identified by Randolph (1955), it appears that the addresses of the Dorothy and Harriet cottages were transposed. Both 825 and 827 Coast Boulevard South are not listed together in directories until 1923 and Randolph's address confusion may be due to the fact that the Dorothy Cottage was recorded as 825 Coast Boulevard South on the 1909 Sanborn Map, retaining that address until the Harriet Cottage was constructed in 1921 (as evidenced by the 1921 and 1926 Sanborn maps, which depict the Harriett Cottage at 825 Coast Boulevard South and the Dorothy Cottage at 825 ½ Coast Boulevard South). However, it is clear that the building with a current address of 827 Coast Boulevard South, constructed circa 1904, is the Dorothy Cottage, as newspaper articles from 1915 and 1916 refer to "the Dorothy cottage" in La Jolla (*San Diego Union* 1915a, 1915b, 1916) before the Harriett Cottage was constructed in 1921. While the 817, 819 ½, and 821 Coast Boulevard South buildings were extensively modified and previously determined to no longer be representative examples of the La Jolla Beach Cottage property type (Stropes and Smith 2019), inclusion of the subject buildings in Randolph's work strongly indicates that when originally constructed, they were characterized as La Jolla Beach Cottages.

### **History of the Property: Ownership and Development**

Although the subject property was owned by several individuals prior to its initial development, Grace Beattie Baillie was the owner from 1903 to 1914. Baillie was born in 1872 in Kansas where she lived with her mother, stepfather, and sisters until at least 1900. Her stepfather, Wesley Duncan, passed away in San Diego in 1902, leaving a "handsome estate" (*San Diego Union* 1902a). Likely with the money from her inheritance, Baillie purchased Lot 9 (the subject property) in 1903 from Joseph B. and Priscilla G. Treat. Joseph Treat, a banker and member of the Wisconsin State Senate, was reported as working in "the commission business" in San Diego until circa 1902, before moving to San Francisco (*San Diego Union* 1902b).

Although listed in the 1900 Federal Census as still living in Wisconsin, in July of that year Treat purchased the "estate of [Priscilla's uncle Hezekiah] W. Whitney" (Ancestry.com 2013), which included "six lots in Breed & Chase's addition, five lots in L.W. Kimball's addition, one in Culverwell & Taggart's addition, a number of lots at Coronado Heights, and several tracts of county property" (*Evening Tribune* 1900). In December 1901, Treat purchased "certain property situated in La Jolla Park," which appears to have included most of Block 55, from his brother Ezra P. Treat, who at the time was a "retired merchant" living in Wisconsin (*Evening Tribune* 1901).

Since ownership of the property transferred from Treat to Baillie in 1903, the Dorothy Cottage was constructed circa 1904, and no original building permits could be located, it is

unknown if the Dorothy Cottage was constructed by Treat or Baillie. After Baillie purchased the property, which also included several other adjoining lots in Block 55, she married William S. Rench circa 1906. Rench operated an unnamed grocery store on Fifth Avenue beginning in 1904. In 1905, he partnered with his father, Stull Rench, to run Rench & Son grocers from the same location until 1907, when it became Rench & Co. William Rench then operated the company as Rench & Co. grocers until sometime between 1916 and 1918, when he switched professions to manufacturing (Ancestry.com 2005, 2017). City directories and census records indicate that Baillie worked as a nurse at the Coronado Hotel upon arriving in San Diego circa 1903 and then became the bookkeeper for the grocery business and manufacturing shop after her marriage to Rench. Although Baillie owned the subject property, neither she nor her husband appear to have ever lived at the Dorothy Cottage. Directories and census records indicate that when the couple arrived in San Diego, they resided on Robinson Avenue and then Sixth Street.

The first individuals known to have lived at the cottage were journalist and real estate salesman Stanley R. Hofflund and his wife Dorothea (Dorothy) in 1914. Hofflund was born in Illinois in 1883 and had moved to San Diego by 1905, where he met Dorothea Power. The two were married in 1913 and had a son, Rolf Stanley Hofflund, a year later. Stanley Hofflund primarily worked in real estate throughout the 1910s and into the 1920s and was regarded as “a popular young real estate dealer” (*Evening Tribune* 1913). However, once the Hofflunds moved to Los Angeles between 1922 and 1924, Hofflund switched careers and became a newspaper reporter. It is possible that the Dorothy Cottage was named after Dorothea circa the 1910s, since she was the only Dorothy known to have been associated with the building.

John and Augusta Melzer owned the property from 1916 to 1926, during which time the Harriet Cottage was constructed in 1921. The Melzers immigrated from Russia (John) and Sweden (Augusta). John Melzer worked as a cook before becoming the proprietor of a restaurant by 1920. Although the family resided in San Diego while they owned the property, they were never listed in the city directory at either 825 or 827 Coast Boulevard South. John Melzer passed away in 1924 and Augusta Melzer sold the property to Frank and Harriet Ayer in 1926.

Frank Ashton Ayer worked as a copper mining engineer for most of his life after graduating from Columbia University in 1911. Ayer married Harriet Irwin Root in 1920 and the two owned the subject property from 1926 to 1932, and then from 1934 to 1964. It is possible that the Harriet Cottage acquired its name while owned by the Ayers; however, the Ayers are never listed in city directories at 825 or 827 Coast Boulevard South.

George and Viola Sanders owned the property in the 1960s and 1970s, but they lived on Silverado Street in La Jolla and are never listed in city directories as residing at either property. In 1981, Harry and Ida Neuman purchased the property and owned it until 2018, when the current owner purchased the property. City directories indicate that the Neumans also never lived at either address. Full ownership records are provided in Table 1.

**Table 1**  
Title Records for 825-827 Coast Boulevard South

<b>Seller</b>	<b>Buyer</b>	<b>Year</b>
J.B. Treat and P.G. Treat	Miss Grace Baillie	1903
Grace Baillie Rensch, formerly Grace Baillie and William S. Rensch	Gilbert L. Gates and Nettie E. Gates	1914
Gilbert L. Gates and Nettie E. Gates	H.S. Everts	1914
H.S. Everts and Alice M. Everts	John T. Melzer and Augusta Melzer	1916
John Theodore Melzer, sometimes known as John T. Melzer	Augusta Melzer	1925
Augusta Melzer	Frank Ashton Ayer and Harriet Root Ayer	1926
Frank Ashton Ayer and Harriet Root Ayer	John E. Sanders and Helen S. Sanders	1932
John E. Sanders and Helen S. Sanders	Frank Ashton Ayer and Harriet Root Ayer	1934
Frank Ashton Ayer and Harriet Root Ayer	George Sanders	1964
George Sanders	Viola Frances Sanders	1969
Viola Frances Sanders	George Sanders, Trustee	1969
George Sanders, Trustee; and George Sanders and Viola Frances Sanders	Viola Frances Sanders and Duane Strong, Trustees	1977
Viola Frances Sanders and Glen Darby, Successor Trustee to Duane Strong, as Co-Trustees	Harry I. Neuman and Ida Ruth Neuman	1981
Ida Ruth Neuman, Trustee	800 Coast, LLC	2018

### **Field Survey**

BFSA conducted a photographic documentation survey on January 13 and November 5, 2020 (Plates 9 to 30 [including supporting historic views]). Preparation of architectural descriptions was conducted in the field and supplemented using the photographic documentation. Additional information was drawn from supplemental research efforts and incorporated into this report.

### Description of Surveyed Resources

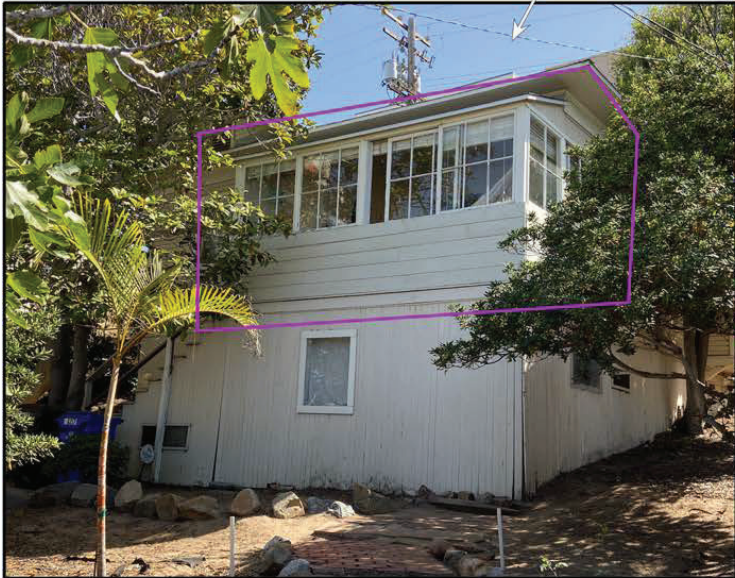
The Dorothy Cottage is located on the eastern (rear) portion of the property and was built using sub-standard frame and board and batten construction on a concrete and wood pier foundation. The building was finished in a combination of narrow and wide, horizontal, Cove-style siding and narrow vertical siding. The building possesses a medium-pitched, hipped roof covered in composite shingles with a moderate, boxed eave overhang and a wide frieze board and simple moulding at the cornice line. A flat-sided bay with two small casement windows and a shed-style roof is located on the south façade.

A non-original, partial-width, enclosed front porch is located at the southern end of the west façade (Plate 9). The porch extension appears to have been constructed prior to 1909, as it is visible on the 1909 Sanborn Map (see Figure 6 in Appendix C). Although no photographs exist prior to 1922, it is likely that the front porch extension currently remains unchanged, as it was drawn as an enclosed area on the 1909 Sanborn Map. While the 1922 aerial photograph (see Plate 7) is not of a high enough resolution to show details of the building, 1924 to 1926 historic photographs from the La Jolla Historical Society indicate that the sliding, multi-pane, wood-framed windows currently present on the west façade of the porch were added prior to 1924 (*Evening Tribune* 1924). As the photographs depict Jenner Avenue and Coast Boulevard South being paved, and according to the *Evening Tribune*, these streets were paved in 1924 (*Evening Tribune* 1924), it is likely that the photographs date to 1924 instead of 1924 to 1926 (see Plates 8 and 10). The front porch currently appears as it did in the 1924 photograph and exhibits a shed-style roof and is clad in wide, horizontal wood siding (Plate 11).

The original main entry was located on the west façade of the building (Plate 12) but is now located on the north façade of the enclosed front porch (Plate 13). Two small, shed-roofed additions are present on the east façade: the first addition was constructed prior to 1909, onto which the second addition was constructed between 1949 and 1952 (Plate 14). The 1949 to 1952 addition is clad in beveled, horizontal wood siding. A brick chimney is located above the roof off the south façade. A majority of the windows on the north, west, and south façades are single-hung with multiple diamond-shaped lites in the upper window and a single pane in the lower. Other fenestration includes wood-framed, casement windows (Plate 15), some with diamond-panes separated by heavy wood muntins (see Plates 14 and 16), as well as simple, single-pane, single-hung windows (Plate 17).

1904 to 1909 Enclosed Front Porch

1904 to 1909 Enclosed Front Porch



West Façade



South Façade

19



**Plate 9**  
**View of the West and South Façades of the Dorothy Cottage, Facing East**  
825-827 Coast Boulevard South





**Legend**  
 [Red Line] Project Boundary

20



**Plate 10**  
**1924 to 1926 Aerial Photograph, Facing Southeast**  
 825-827 Coast Boulevard South  
*(Photograph courtesy of the La Jolla Historical Society Collection)*



21



**Plate 11**

**View of the West (Left) and South (Right) Façades of the Dorothy Cottage, Facing East**

825-827 Coast Boulevard South



22

**Plate 12**

**Interior View of the Original Main Entry on the  
West Façade of the Dorothy Cottage, Facing Northwest**

825-827 Coast Boulevard South

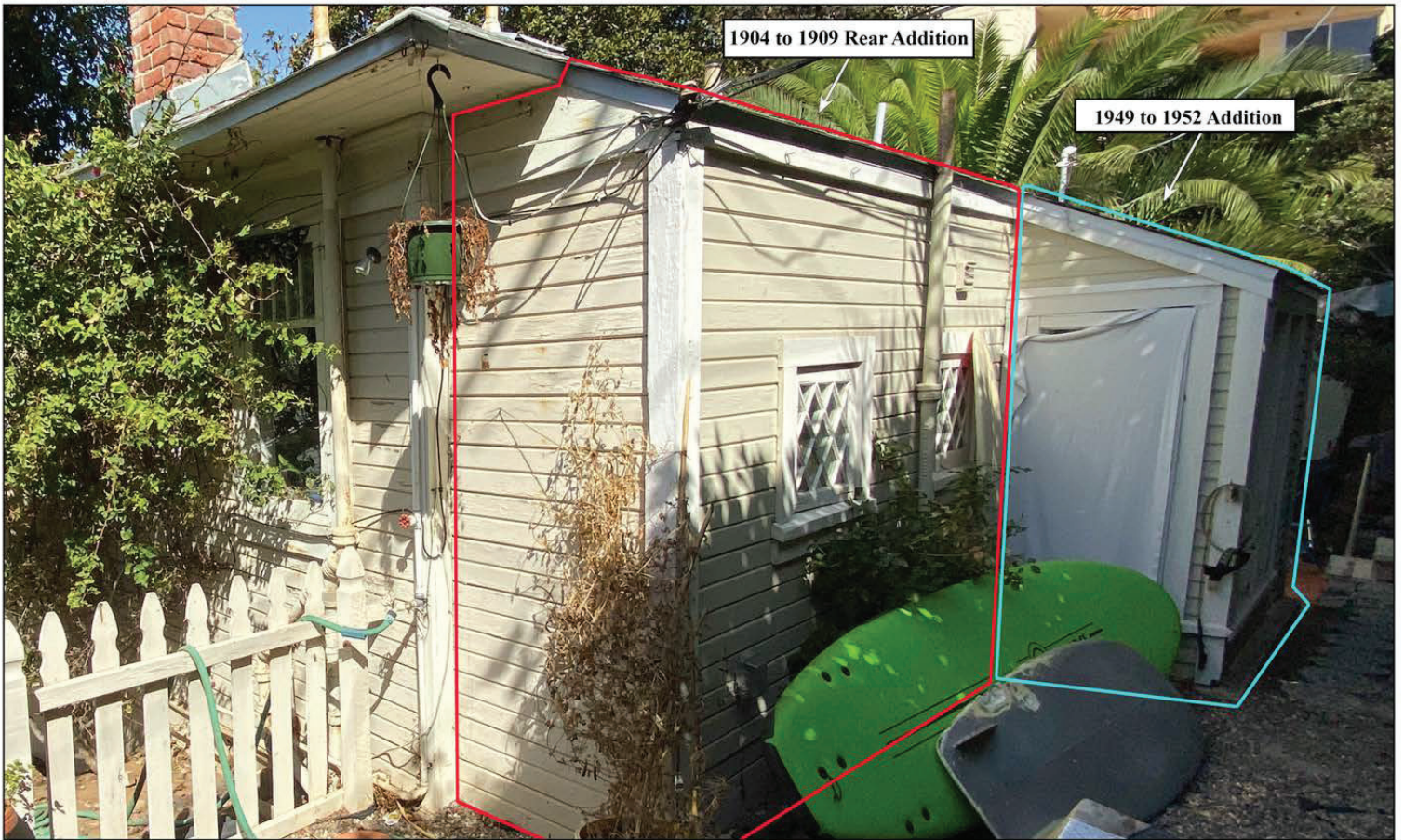




23



**Plate 13**  
**View of the Northwest Corner of the Dorothy Cottage, Facing South**  
825-827 Coast Boulevard South



1904 to 1909 Rear Addition

1949 to 1952 Addition

24

**Plate 14**

**View of the South (Left) and East (Right) Façades of the  
Dorothy Cottage Showing Modifications, Facing North**

825-827 Coast Boulevard South





25



**Plate 15**

**View of the South Façade of the Dorothy Cottage, Facing North**

825-827 Coast Boulevard South



**Plate 16**

**View of the North Façade of the 1949 to 1952 Addition (Left)  
and the East Façade of the Circa 1904 Dorothy Cottage (Right), Facing Southwest**

825-827 Coast Boulevard South





27



**Plate 17**

**Close-Up View of the South Façade of the Dorothy Cottage, Facing Northeast**

825-827 Coast Boulevard South



The Harriet Cottage is located on the western (front) portion of the property and was built using sub-standard board and batten construction on a concrete and wood pier foundation. The medium-pitched, front-gabled roof is covered in composite shingles and exhibits an open eave overhang with exposed rafters. The building also possesses exposed beams and decorative latticework in the gable ends (Plate 18). All façades, except an addition constructed at the northeast corner of the building in 1972, exhibit shingle siding (Plates 19 to 26); the 1972 addition exhibits a plywood and batten exterior cladding (Plates 27 to 29). Original wood-framed casement windows are located on the north, south, and east façades. The primary entrance to the building is accessed via a wood staircase on the north façade (see Plate 25).

The primary (west) façade features a garage with an enclosed porch addition above that were constructed in 1926 (*San Diego Union* 1926b), which replaced a full-length front porch but did not alter the original foundation, resulting in the extension of the main roof (Plate 30). The enclosed porch features wood-framed, single-hung pocket windows. Carriage-style garage doors with multi-lite window inserts are located on the west façade.

Portions of the original cobblestone wall that separated the property from the sidewalk (see Plate 10) are present on either side of the garage (see Plates 18 and 19). The 1972 addition was constructed with a shed-style roof with a wide eave overhang and exposed rafters. Windows in the 1972 addition are horizontal-sliding and aluminum-framed (see Plate 28) and the south façade features an aluminum-framed, sliding glass door. A small, recessed porch area at the northeast corner of the building, which possesses a fixed-pane window and a simple, solid wood door, was enclosed prior to the construction of the 1972 addition (see Plate 23).

## V. SIGNIFICANCE EVALUATIONS

When evaluating a historic resource, integrity is the authenticity of the resource's physical identity clearly indicated by the retention of characteristics that existed during its period of significance. It is important to note that integrity is not the same as condition. Integrity directly relates to the presence or absence of historic materials and character-defining features, while condition relates to the relative state of physical deterioration of the resource. In most instances, integrity is more relevant to the significance of a resource than condition; however, if a resource is in such poor condition that original materials and features may no longer be salvageable, then the resource's integrity may be adversely impacted. The seven aspects of integrity used in evaluating a historic resource are:

1. **Location** is the place where a resource was constructed or where an event occurred.
2. **Design** results from intentional decisions made during the conception and planning of a resource. Design includes form, plan, space, structure, and style of a property.



29



**Plate 18**

**View of the West Façade of the Harriet Cottage, Facing East**

825-827 Coast Boulevard South



30



**Plate 19**

**View of the West (Left) and South (Right) Façades of the Harriet Cottage, Facing Northeast**

825-827 Coast Boulevard South



**Plate 20**

**View of the Southwest Corner of the Harriet Cottage, Facing Northeast**

825-827 Coast Boulevard South



32



**Plate 21**

**View of the South Façade of the Harriet Cottage, Facing North**

825-827 Coast Boulevard South



33



**Plate 22**

**View of the South Façade of the Harriet Cottage, Facing Northwest**

825-827 Coast Boulevard South



34



**Plate 23**

**View of the East Façade of the 1921 Harriet Cottage (Left) and  
the South Façade of the 1972 Addition (Right), Facing West**

825-827 Coast Boulevard South



35



**Plate 24**  
**View of the North Façade of the Harriet Cottage, Facing Southeast**  
825-827 Coast Boulevard South





**Plate 25**

**View of the North Façade of the Harriet Cottage, Facing Southwest**

825-827 Coast Boulevard South



37



**Plate 26**  
**View of the Northwest Corner of the Harriet Cottage, Facing Southeast**  
825-827 Coast Boulevard South



**Plate 27**

**View of the South Façade of the 1972 Addition to the Harriet Cottage, Facing West**

825-827 Coast Boulevard South



39

**Plate 28**

**View of the East (Left) and North (Right) Façades of the  
1972 Addition to the Harriet Cottage, Facing West**

825-827 Coast Boulevard South





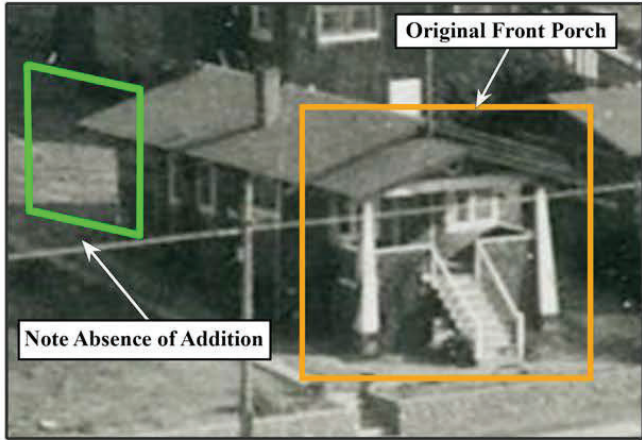
40

**Plate 29**

**View of the North Façade of the Harriet Cottage  
Showing the 1972 Addition to the Left, Facing South**

825-827 Coast Boulevard South





1924 to 1926 Aerial Photograph  
 (Photograph courtesy of the La Jolla Historical Society Collection)



Current Photograph

41



**Plate 30**  
**1924 to 1926 and Current Views of the North (Left) and West (Right) Façades of the Harriet Cottage, Facing Southeast**  
 825-827 Coast Boulevard South

3. **Setting** applies to a physical environment, the character of a resource's location, and a resource's relationship to the surrounding area.
4. **Materials** comprise the physical elements combined or deposited in a particular pattern or configuration to form a property.
5. **Workmanship** consists of the physical evidence of crafts employed by a particular culture, people, or artisan, which includes traditional, vernacular, and high styles.
6. **Feeling** relies upon present physical features of a property to convey and evoke an aesthetic or historic sense of past time and place.
7. **Association** directly links a property with a historic event, activity, or person of past time and place, and requires the presence of physical features to convey the property's character.

In order to assess each aspect of integrity when evaluating the Dorothy and Harriet Cottages, the following steps were taken, as required in the City of San Diego *Guidelines for the Application of Historical Resources Board Designation Criteria*, Land Development Manual, Historical Resources Guidelines, Appendix E, Part 2, Adopted August 27, 2009, and in accordance with the recommendations presented in the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* (Andrus and Shrimpton 2002):

1. ***Integrity of location*** is the place where a resource was constructed or where an event occurred (City of San Diego 2009a). Integrity of location was assessed by reviewing historical records and aerial photographs in order to determine if the buildings had always existed at their present locations or if they had been moved, rebuilt, or their footprints significantly altered. The Dorothy and Harriet Cottages were constructed in their current locations in circa 1904 and 1921, respectively. Therefore, the buildings retain integrity of location.
2. ***Integrity of design*** results from intentional decisions made during the conception and planning of a resource. Design includes form, plan, space, structure, and style of a property (City of San Diego 2009a). Integrity of design was assessed by evaluating the spatial arrangement of the buildings and any unique architectural features present.

The Dorothy Cottage was designed as a Queen Anne Free Classic-style La Jolla Beach Cottage. Between 1904 and 1909, a front porch extension and small rear addition were constructed and between 1949 and 1952, another small rear addition was built onto the east façade of the 1904 to 1909 addition. However, these modifications did not alter

the original style of the building. In addition, the 1904 to 1909 front porch extension and rear addition were constructed during the 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme (Crawford 2009) and function as an evolution of the resource. Therefore, the Dorothy Cottage retains integrity of design.

The Harriet Cottage was constructed in 1921 as a Craftsman-style La Jolla Beach Cottage. The only apparent modifications made to the building include the replacement of the original front porch with an enclosed, full-length front porch with a garage below in 1926 and the enclosure of a small rear porch and construction of a rear addition onto the enclosed rear porch in 1972. Because the garage and enclosed front porch modifications were made to the building during the 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme (Crawford 2009), they did not negatively impact the building's integrity of design as a La Jolla Beach Cottage. However, as a Craftsman-style residence, the loss of the front porch negatively impacted the building's integrity of design and the 1972 addition negatively impacted the building's integrity of design as both a La Jolla Beach Cottage and a Craftsman-style residence. Therefore, the Harriet Cottage does not retain integrity of design.

3. ***Integrity of setting*** applies to a physical environment, the character of a resource's location, and a resource's relationship to the surrounding area (City of San Diego 2009a). Integrity of setting was assessed by inspecting the elements of the property, which include topographic features, open space, views, landscapes, vegetation, man-made features, and relationships between buildings and other features. The Dorothy and Harriet Cottages have been remained in the same location since their original construction in circa 1904 and 1921, respectively (see Plate 7). Inspection of the surrounding neighborhood indicates the presence of very few original buildings. Many of the original homes that once existed in the nearby area have been removed and others have been substantially remodeled and altered. The 817, 819-819 ½, and 821 Coast Boulevard South buildings located immediately south of the Dorothy and Harriet Cottages have been so extensively modified that they no longer resemble La Jolla Beach Cottages. In addition, the buildings located at 811, 813-813 ½, and 815 Coast Boulevard South, located immediately south of the 817-821 Coast Boulevard South property, were not constructed until the early 1950s (Plate 31). The beach cottage located immediately north of the subject property was replaced with a multi-story apartment building after 1972. Currently, the overall surrounding environment includes an abundance of newer, multi-story, residential dwellings. The substantial changes to the overall physical environment of the area has resulted in an adverse impact to the original setting and, therefore, the Dorothy and Harriet Cottages do not retain integrity of setting.





44

**Legend**  
[Red Rectangle] Project Boundary



**Plate 31**  
**1952 Aerial Photograph, Facing North**  
825-827 Coast Boulevard South  
*(Photograph courtesy of the La Jolla Historical Society Collection)*

4. ***Integrity of materials*** comprise[s] the physical elements combined or deposited in a particular pattern or configuration to form a property (City of San Diego 2009a). Integrity of materials was assessed by determining the presence or absence of original building materials, as well as the possible introduction of materials, which may have altered the architectural design of the buildings.

The Dorothy Cottage was designed as a Queen Anne Free Classic-style La Jolla Beach Cottage. Between 1904 and 1909, a front porch extension and small rear addition were constructed and between 1949 and 1952, another small rear addition was built onto the east façade of the 1904 to 1909 addition. However, these modifications did not alter the original style of the building. In addition, the 1904 to 1909 front porch extension and rear addition were constructed during the 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme (Crawford 2009) and utilized period-appropriate materials (Cove-style, horizontal, wood siding and wood-framed, diamond-paned windows). Therefore, the Dorothy Cottage retains integrity of materials.

The Harriet Cottage was constructed in 1921 as a Craftsman-style La Jolla Beach Cottage. The only apparent modifications made to the building include the replacement of the original front porch with an enclosed, full-length front porch with a garage below in 1926 and the enclosure of a small rear porch and construction of a rear addition onto the enclosed rear porch in 1972. Because the garage and enclosed front porch modifications were made to the building during the 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme (Crawford 2009), they did not result in the introduction of any inappropriate materials and did not negatively impact the integrity of materials within the La Jolla Beach Cottages period of significance; however, the removal of the original porch negatively impacted the building's ability to convey its original Craftsman style. The enclosure of the rear porch and construction of the 1972 addition negatively impacted the building's integrity of materials for both the La Jolla Beach Cottage and Craftsman periods of significance and utilized inappropriate design elements and materials (a shed-style roof, aluminum-framed windows, and a sliding glass door). Therefore, the Harriet Cottage does not retain integrity of materials.

5. ***Integrity of workmanship*** consists of the physical evidence of crafts employed by a particular culture, people, or artisan, which includes traditional, vernacular, and high styles (City of San Diego 2009a). Integrity of workmanship was assessed by evaluating the quality of the architectural features present. The workmanship displayed in the construction of the Dorothy and Harriet Cottages is average and the subsequent modifications have not negatively impacted the original workmanship. Therefore, the

Dorothy and Harriet Cottages retain integrity of workmanship.

6. ***Integrity of feeling*** *relies upon present physical features of a property to convey and evoke an aesthetic or historic sense of past time and place* (City of San Diego 2009a). Integrity of feeling was assessed by evaluating whether or not the resources' features, in combination with their setting, convey an aesthetic sense of the property between circa 1904 and the 1930s as part of the La Jolla Beach Cottage Theme. Although the Dorothy and Harriet Cottages no longer retain integrity of setting, they still retain integrity of location and workmanship. As such, the Dorothy Cottage still evokes an aesthetic and historical sense of the time period spanning from circa 1904 to the 1930s and the Harriet Cottage still evokes an aesthetic and historic sense from between 1921 and the 1930s. Therefore, the Dorothy and Harriet Cottages retain integrity of feeling.
7. ***Integrity of association*** *directly links a historic property with a historic event, activity, or person of past time and place; and requires the presence of physical features to convey the property's historic character* (City of San Diego 2009a). Integrity of association was assessed by evaluating whether the buildings were ever directly associated with important events or individuals. Historical research revealed that both buildings are associated with early La Jolla Beach Cottage development, which occurred between the 1880s and 1930s. Since the buildings both retain integrity of location, workmanship, and feeling, the Dorothy or Harriet Cottages retain integrity of association.

Because this project requires approval from the City of San Diego, CEQA and City of San Diego HRB eligibility criteria were used for this evaluation. Therefore, criteria for listing on the SDRHR, the CRHR, and the NRHP were used to measure the significance of the resources. The Dorothy and Harriet Cottages were previously evaluated as eligible for listing on the SDRHR under City of San Diego HRB Criterion A as representative examples of La Jolla Beach Cottages (Stropes et al. 2020), as is reiterated below.

#### **City of San Diego HRB Eligibility Criteria**

A historic resource must be significant at the local, state, or national level, under one or more of the following criteria in order to be eligible for designation on the SDRHR:

- **City of San Diego HRB Criterion A:**  
It exemplifies or reflects special elements of the city's, a community's, or a neighborhood's historical, archaeological, cultural, social, economic, political, aesthetic, engineering, landscaping, or architectural development;

- **City of San Diego HRB Criterion B:**  
It is identified with persons or events significant in local, state, or national history;
- **City of San Diego HRB Criterion C:**  
It embodies distinctive characteristics of a style, type, period, or method of construction, or is a valuable example of the use of indigenous materials or craftsmanship;
- **City of San Diego HRB Criterion D:**  
It is representative of the notable work of a master builder, designer, architect, engineer, landscape architect, interior designer, artist, or craftsman;
- **City of San Diego HRB Criterion E:**  
It is listed on or has been determined eligible by the National Park Service for listing on the NRHP, or is listed or has been determined eligible by the State Historic Preservation Office for listing on the State [California] Register of Historical Resources; or
- **City of San Diego HRB Criterion F:**  
It is a finite group of resources related to one another in a clearly distinguishable way or is a geographically definable area or neighborhood containing improvements, which have a special character, historical interest, or aesthetic value, or which represent one or more architectural period(s) or style(s) in the history and development of the city.

### **City of San Diego HRB Evaluation**

- **City of San Diego HRB Criterion A:**  
The key distinction provided by the City in HRB Criterion A is that in order for structures or built candidates to be considered historically significant they must be characterized as exemplifying or reflecting “special elements” of development. The *Guidelines for the Application of Historical Resources Board Designation Criteria* state:

Special elements of development refer to a resource that is distinct among others of its kind or that *surpass the usual in significance* [italics added]. It is not enough for a resource to simply reflect an aspect of development, as all buildings, structures, and objects do.

Consideration for designation, therefore, is established based upon whether or not the building exemplifies or reflects special elements of the types of development listed

under Criterion A.

The Dorothy Cottage was constructed circa 1904 as a Queen Anne Free Classic-style La Jolla Beach Cottage. No structures existed on the property prior to its construction. The Harriet Cottage was constructed in 1921 as a Craftsman-style La Jolla Beach Cottage. For the evaluation of the buildings under City of San Diego HRB Criterion A, the following aspects of development were considered:

- **Historical Development:** *Historical development shall exemplify or reflect a special or unique aspect of the city's general historical development; or shall exemplify or reflect a unique aspect of the city's history* (City of San Diego 2009a). The Dorothy Cottage was constructed circa 1904 on the hillside bounded by Coast Boulevard South to the west, Jenner Avenue to the north, Prospect Street to the east, and Daisy Row (later renamed Eads Avenue) to the south. The Dorothy Cottage was constructed as a vacation rental cottage within the 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme (Crawford 2009) and has been utilized as a rental property since that time. The building retains integrity of location, design, materials, workmanship, feeling, and association and, therefore, is reflective of a La Jolla Beach Cottage and is significant with respect to the historical development of La Jolla.

The Harriet Cottage was constructed in 1921 west of the Dorothy Cottage. Like the Dorothy Cottage, the Harriet Cottage was constructed as vacation rental within the 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme (Crawford 2009) and has been utilized as a rental property since that time. Although the 1972 addition negatively impacted the building's integrity of design and materials, the Harriet Cottage still retains integrity of location, workmanship, feeling, and association. Since the 1972 addition was constructed onto the northeast corner of the building, its removal would not likely result in an adverse impact to the remainder of the building. As such, the Harriet Cottage is reflective of a La Jolla Beach Cottage and is significant with respect to the historical development of La Jolla.

- **Archaeological Development:** *Archaeological development may be prehistoric or historic in nature but must exemplify archaeological development through subsurface deposits and may include associated surface features* (City of San Diego 2009a). No archaeological sites are associated with the Dorothy or Harriet Cottages. Therefore, the property is not significant with respect to any form of archaeological development.

- **Cultural/Social Development:** *Cultural development shall exemplify or reflect development that is associated with a group of people linked together by shared values, beliefs, and historical associations, or are properties associated with significant achievement in the visual and fine arts (painting, sculpture, architecture, theater, dance, music), literature, philosophy, religion, science, mathematics, the social studies, or any of the disciplines that are commonly associated with public and private institutions of higher learning and/or academic inquiry. Social development shall exemplify or reflect development that is associated with relations and interactions with others* (City of San Diego 2009a). No information was uncovered during historical research that associates the Dorothy or Harriet Cottages with any form of cultural or social development in San Diego. Therefore, the property is not significant with respect to any form of cultural or social development.
- **Economic Development:** *Economic development shall exemplify or reflect development associated with the local, regional, state, or national economy or economics, including manufacturing, labor and agriculture, maritime, and transportation industries* (City of San Diego 2009a). The Dorothy and Harriet cottages are not associated with any patterns of economic development reflecting local or regional economic patterns or industries. Therefore, the property is not significant with respect to any form of economic development.
- **Political Development:** *Political development shall exemplify or reflect development associated with politics or the political atmosphere, including women's suffrage, neighborhood activism, labor organizations, and the civil rights movement associated with ethnic and gay/lesbian issues* (City of San Diego 2009a). The Dorothy and Harriet Cottages are not associated with any political movements or individuals associated with politics. Therefore, the property is not significant with respect to any form of political development.
- **Aesthetic Development:** *Aesthetic development shall exemplify or reflect development associated with an artistic arrangement in theory or practice* (City of San Diego 2009a). The Dorothy and Harriet cottages are not associated with any aesthetic patterns or arrangements that reflect any noteworthy design elements. Therefore, the property is not significant with respect to any form of aesthetic development.
- **Engineering Development:** *Engineering development shall exemplify or reflect development associated with engineering* (City of San Diego 2009a).

The engineering design of the Dorothy and Harriet Cottages is not associated with any unusual or unique aspects of engineering design or development. Therefore, the property is not significant with respect to any form of engineering development.

- **Landscape Development:** *Landscape development shall exemplify or reflect development associated with garden and park design, subdivision design, or ecosystem/habitat restoration and may include professionally applied standards or design ingenuity within landscape disciplines* (City of San Diego 2009a). Historic photographs of the Dorothy and Harriet Cottages do not indicate that the buildings featured any associated landscaping when they were constructed in circa 1904 and 1921, respectively, and none of the current vegetation can be verified as being associated with the circa 1904 to 1930s period of significance for the cottages. Therefore, the property is not significant with respect to any form of landscape development.
- **Architectural Development:** *Architectural development shall exemplify or reflect development associated with the city's built environment, especially that designed and constructed by non-architects, including real estate developers, contractors, speculators, homeowners, and others associated with the building industry* (City of San Diego 2009a). Although the builders of the Dorothy and Harriet Cottages are unknown, like many La Jolla Beach Cottages, they were likely built by the owners of the property to serve as vacation homes and rental properties. According to Crawford (2009), who established the Early La Jolla Beach Cottage Context utilized by the City of San Diego HRB:

Beach cottages were once a common, and dominant, style of architecture in La Jolla from the late 1880s through the 1930s. At one point, there were over 450 beach cottages listed in local histories. In 2009, estimates are that approximately 19 of these cottages remain as part of the architectural heritage of La Jolla  
...

“The Arts and Crafts movement inspired American architects and craftsmen like the Greene brothers in Pasadena and Frank Lloyd Wright in Chicago, Gustav Stickley in Michigan and many others to rediscover the value in hand crafting buildings and their contents using natural materials, creating a more holistic lifestyle for their occupants. At the same time, there

were other notable movements, such as the first wave of nature conservancy and the establishment of national parks and social activism that was of a decidedly popularistic bent. The Industrial Age's backlash was a yearning desire among many Americans to own their own homes and have small gardens. The success of the bungalow was due to its providing a solution to this desire. Thus, we'll go out on a limb here and define the bungalow by its populist appeal, affordability, and easy livability and charm. The essential distinction between the Craftsman 'style' and the derivative bungalow is the level of fine detail and craftsmanship (calbungalow.com).”

Over time, the popularity of the bungalow style led to an increased demand. Companies such as Sears and Montgomery Ward created “home kits” and one could purchase a complete bungalow style home to construct on an empty lot. Affordable and easy to construct, the concept caught on with American home owners (calbungalow.com).

Bungalow homes are defined not by size, but by scale. Typical [exterior] features of a bungalow include:

- Small- to medium-sized residences
- One to one and one-half stories, occasionally two stories
- Low, sloping roof, hipped or gabled, sometimes with dormers
- Exposed roof structure (beams and rafters)
- Exterior proportions balanced rather than symmetrical in arrangement
- Modest front porch
- Front stoop
- Focus upon a garden, even if small
- Wood shingles, horizontal siding or stucco exteriors
- Brick or stone exterior chimneys
- Partial width front porch
- Asymmetrical “L” shaped porches ...
- Stained and leaded glass used for windows ...
- Windows typically double-hung with multiple lights in the upper window and a single pane in the lower, often seen in



- continuous banks, simple wide casings
- Artisan light fixtures. (Crawford 2009)
- ***Dorothy Cottage*** – The Dorothy Cottage is a small- to medium-sized, one-story residence with a medium-pitched, hipped roof built with a board and batten frame. Although the building’s roof structure is not exposed, its exterior proportions are balanced rather than symmetrical. It possesses a modest, partial-width, asymmetrical front porch that was extended westward between 1904 and 1909. Although the front porch extension is not original, the date of modification falls within the 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme (Crawford 2009), thereby reflecting the evolution of the resource within its period of significance. The building is covered in horizontal siding and possesses a brick chimney visible above the roofline. A majority of the windows on the north, west, and south façades are double-hung with multiple diamond-shaped lites in the upper window and a single pane in the lower. Other fenestration includes wood-framed, diamond-paned casement windows separated by heavy wood muntins. Of the 12 exterior characteristic features of bungalow homes, the Dorothy Cottage possesses eight:
    - Small- to medium-sized residence
    - One story
    - Balanced exterior proportions
    - Modest front porch
    - Horizontal siding
    - Brick exterior chimney
    - Partial-width front porch
    - Double-hung windows with multiple lites in the upper window and a single pane in the lower.

As a result, the Dorothy Cottage embodies distinctive architectural characteristics of a bungalow home.

- ***Harriet Cottage*** – The Harriet Cottage is a small- to medium-sized, one-story residence with a low-pitched, front-gabled roof that exhibits exposed beams and rafters. All façades, except for the 1972 addition, are covered in redwood shingle siding. The exterior

proportions of the building are balanced rather than symmetrical. An enclosed porch with a garage below was added in 1926, replacing an original, full-length front porch along the west façade. Original windows on the north, south, and east façades are wood-framed casement. Windows in the 1926 enclosed porch addition are double-hung and wood-framed. Of the 12 exterior characteristic features of bungalow homes, the Harriet Cottage possesses seven:

- Small- to medium-sized residence
- One story
- Low, sloping, front-gabled roof
- Exposed rafters and beams
- Balanced exterior proportions
- Wood shingle siding
- Double-hung windows

As a result, the Harriet Cottage building embodies distinctive architectural characteristics of a bungalow home.

The advent of the automobile necessitated modifications to some early La Jolla Beach Cottages, including the Harriet Cottage and the 821 Coast Boulevard South building located east of the subject property. While the modifications made to the adjacent 821 Coast Boulevard South building completely altered its original Craftsman beach cottage style into a Spanish Revival-style, single-family residence, the same is not true of the Harriet Cottage. The automobile-related modifications made to the Harriet Cottage only included the addition of the garage and enclosed front porch.

While the builders for both original cottages are unknown, Victor Maler is listed as the contractor for the 1926 garage addition to the Harriet Cottage and was “a prominent San Diego contractor” (*San Diego Union* 1939). He began working as a contractor in 1909 and continued until his death in 1939. According to local newspapers, Maler built seven cottages in La Jolla between 1923 and 1930 (*Evening Tribune* 1923, 1925, 1927, 1928, 1929a, 1929b, 1930a) and was contracted for a number of residences, additions, and modifications in the La Jolla area between 1930 and 1938 (*Evening Tribune* 1930b, 1930c, 1930d, 1931, 1938; *San Diego Union* 1935a, 1935b, 1936a, 1936b, 1937), which

made him experienced in the construction of La Jolla Beach Cottages during the period of significance for this building type. As a result, the modifications made to the Harriet Cottage were consistent with the La Jolla Beach Cottage type and are considered an evolution of the resource over time.

Therefore, the Dorothy and Harriet Cottages are both significant with respect to architectural development associated with La Jolla Beach Cottages.

The Dorothy and Harriet Cottages were constructed as vacation rental cottages within the late 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme and have been utilized as rental properties since that time. Further, the Dorothy Cottage retains integrity of location, design, materials, workmanship, feeling, and association during this period of significance and, although the 1972 addition negatively impacted the building's integrity of design and materials, the Harriet Cottage retains integrity of location, workmanship, feeling, and association. Therefore, since the Dorothy and Harriet Cottages are significant with respect to the historical development of La Jolla and for their architectural development as La Jolla Beach Cottages, both are eligible for designation under City of San Diego HRB Criterion A.

- **City of San Diego HRB Criterion B:**

Historical research revealed that the Dorothy and Harriet Cottages are not associated with any historic events in local, state, or national history. In addition, none of the individuals who owned or rented the property were found to have risen to a level of significance (see "History of the Property: Ownership and Development," above). Therefore, the building is not eligible for designation under City of San Diego HRB Criterion B.

- **City of San Diego HRB Criterion C:**

*According to the City of San Diego HRB designation guidelines, this criterion applies to resources significant for their physical design or method of construction. To embody the distinctive characteristics of a style, type, period, or method of construction refers to the way in which a property was conceived, designed, or fabricated by an individual, a group of people, or a culture. Distinctive characteristics are those physical features or traits that commonly recur in individual styles, types, periods, or methods of construction.*

*In order to qualify under this criterion, a resource must embody distinctive characteristics of an architectural style, a type of construction, a recognized construction period, or an identifiable method of construction, as established through accepted bodies of scholarly and professional work. Comparison to other resources of the same style, type, period, or method of construction is not required unless scholarly work has not been done on a particular property type or unless surviving examples of a property type are extremely rare.*

*It is important to note that Criterion C states that a resource must embody the distinctive characteristics of a style, type, period, or method of construction; it does not state that the resource must be a unique or distinguished example of a style, type, period, or method of construction. Resources that do not embody the distinctive characteristics of a style, type, period, or method of construction, as supported by established sources, do not qualify.*

- ***Dorothy Cottage*** – The Dorothy Cottage was constructed as a Queen Anne Free Classic-style La Jolla Beach Cottage. The Queen Anne style was popularized by a “group of English architects led by Richard Norman Shaw in the late 19<sup>th</sup> century despite having little to do with Queen Anne who reigned in England from 1702 to 1714” (McAlester 2015). The style owes its “popularity to the public’s enthusiastic embrace and the pattern books and mail-order house plans that allowed them to build a Queen Anne house” (McAlester 2015).

The Queen Anne style has four shape subtypes (Hipped Roof With Lower Cross Gables, Cross-Gabled Roof, Front-Gabled Roof, and Town House) and four decorative detailing subtypes (Spindlework, Free Classic, Half-Timbered, and Patterned Masonry). The characteristic elements of these subtypes vary greatly, but examples generally include a “steeply pitched roof of irregular shape, usually with a dominant front-facing gable; patterned shingles, cutaway bay windows, and other devices used to avoid a smooth-walled appearance; asymmetrical façade with partial or full-width porch which is usually one story high and extended along both side walls” (McAlester 2015). The Dorothy Cottage is best classified as the Hipped Roof With Lower Gables shape subtype and the Free Classic decorative detailing subtype and also exhibits a “steeply hipped roof” with a ridge that runs front to back, parallel to the side of the house, and a lower cross gable. McAlester (2015) states that “the roof form of this subtype is among the most distinctive Queen Anne characteristics and occurs in examples ranging from modest cottages to high-style landmarks.” As the front porch supports and railings “lack the delicate, turned balusters of the

spindework type of Queen Anne house,” the building is most representative of the Free Classic decorative detailing subtype (McAlester 2015).

Although the Dorothy Cottage retains integrity of design and materials, which are essential for conveying a building’s significance, it lacks several architectural elements that would make it a representative example of the Queen Anne Free Classic style. Specifically, because the front porch has been enclosed, it does not possess porch columns that are “the full height of the porch or raised on a pedestal to the level of the porch railing,” nor are the columns “grouped together in units of two or three” (McAlester 2015). The building also does not possess “Palladian windows, cornice-line details, swags and garlands and other classical details,” which are frequently seen in the style (McAlester 2015). The Dorothy Cottage also lacks “patterned shingles, cutaway bay windows, and other devices used to avoid a smooth-walled appearance” and the front porch does not extend “along one or both side walls” (McAlester 2015). As a result, while designed as a La Jolla Beach Cottage with Queen Anne Free Classic-style elements, the Dorothy Cottage is not considered a good example of the Queen Anne Free Classic style and is not eligible for designation under City of San Diego HRB Criterion C.

- ***Harriet Cottage*** – The Harriet Cottage was originally constructed as a Craftsman-style La Jolla Beach Cottage. The Craftsman architectural style was the dominant style for smaller houses built throughout the country from approximately 1905 to the early 1920s. Originating in southern California, the style quickly spread throughout the country via pattern books and popular magazines:

Craftsman houses were inspired primarily by the work of two California brothers – Charles Sumner Greene and Henry Mather Greene – who practiced together in Pasadena from 1893 to 1914. About 1903 they began to design simple Craftsman-type bungalows; by 1909 they had designed and executed several exceptional landmark examples that have been called the “ultimate bungalows.” Several influences – the English Arts and Crafts movement, an interest in oriental wooden architecture, and their early training in the manual arts – appear to have led the Greenes to design and build these intricately detailed buildings. These and similar residences were given extensive publicity in such magazines as the *Western Architect*, *The*

*Architect, House Beautiful, Good Housekeeping, Architectural Record, Country Life in America, and Ladies' Home Journal*, thus familiarizing the rest of the nation with the style. As a result, a flood of pattern books appeared, offering plans for Craftsman bungalows, some even offered completely pre-cut packages of lumber and detailing to be assembled by local labor. Through these vehicles, the one-story Craftsman house quickly became the most popular and fashionable smaller house in the country. High-style interpretations are rare except in California, where they have been called the Western Stick style. One-story vernacular examples are often called simply bungalows or the Bungaloid style. (McAlester 2015:568–578)

The general Craftsman style usually features a low-pitched, gabled roof with wide, unenclosed, overhanging eaves with multiple roof planes. Sometimes examples of this style also possess a hipped roof. The roof rafters of both roof styles are generally exposed, with decorative beams and knee braces added under the gables. Examples of the Craftsman style almost always exhibit a porch on the front façade that can either be full- or partial-width, the roof of which is supported by tapered square columns that extend to ground level without break. Many examples use natural materials such as cobblestones, clinker brick, wood shingles, and boulders, and are often used in combination with clapboard siding or stucco (McAlester 2015). In many cases, the line between the natural landscape and the beginnings of the structure is blurred in the more elaborate examples of the style. This is achieved through the use of natural materials and integrated landscaping. More simple, modest variations use the same materials but combine them in a much more restrained fashion. The home is given a natural, airy feeling through the use of large numbers of windows that vary in size and shape. Foundations are often sloped, and walls are clad with shingles, stucco, or shiplap siding. Often, brick and stone are used on chimneys, foundations, and as decorative elements (Crawford 2006).

The Harriet Cottage possesses most of the above elements; however, its original front porch and porch columns were removed during the addition of the garage and enclosed front porch in 1926. Since a front porch is one of the major character-defining features of the Craftsman style, its enclosure negatively impacted the building's embodiment of

the style. The 1972 rear addition also negatively impacted the building's integrity of design and materials, as the addition introduced a stylistically incompatible roof form (shed) and an aluminum-framed door and aluminum-framed windows. Due to the modifications made to the building since its initial construction that removed Craftsman-style elements, it does not retain enough integrity to be considered a good example of the style. Therefore, the Harriet Cottage is not eligible for designation under City of San Diego HRB Criterion C.

- **City of San Diego HRB Criterion D:**

The Dorothy and Harriet Cottages were designed and built by unknown individuals. The Dorothy Cottage was owned by either Joseph B. Treat or Grace B. Baillie when it was constructed, and the Harriet Cottage was owned by John and Augusta Melzer when constructed. None of the individuals that owned the property are known builders, designers, architects, engineers, or craftsmen, and no historical evidence was identified indicating that the cottages represent the “notable” work of a master. Therefore, the Dorothy and Harriet Cottages are not eligible for designation under City of San Diego HRB Criterion D.

- **City of San Diego HRB Criterion E:**

The Dorothy and Harriet Cottages are not listed on the NRHP or the CRHR, nor has the property been formally determined eligible for either register. Therefore, the Dorothy and Harriet Cottages are not eligible for designation under City of San Diego HRB Criterion E.

- **City of San Diego HRB Criterion F:**

Both the Dorothy and Harriet Cottages were built as La Jolla Beach Cottages and are related to one another in a clearly distinguishable way. However, the beach cottages located on adjacent parcels have been so substantially modified, primarily after the mid-1930s, that the area outside of the subject parcel is no longer reflective of the La Jolla Beach Cottage community. In addition, no historic district presently exists for the La Jolla Park Subdivision or the La Jolla community in general. Therefore, the Dorothy and Harriet Cottages are not eligible for designation under City of San Diego HRB Criterion F.

### **CRHR/NRHP Criteria**

In order for a historic resource to be considered eligible for listing on the CRHR or the NRHP, it must be determined significant at the local, state, or national level, under one or more of the following criteria:

- **CRHR Criterion 1/NRHP Criterion A:**  
It is associated with events that have made a significant contribution to the broad patterns of history and cultural heritage.
- **CRHR Criterion 2/NRHP Criterion B:**  
It is associated with the lives of persons important in our past.
- **CRHR Criterion 3/NRHP Criterion C:**  
It embodies the distinctive characteristics of a type, period, region, or method of construction; represents the work of an important creative individual; or possesses high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.
- **CRHR Criterion 4/NRHP Criterion D:**  
It has yielded, or may be likely to yield, information important in prehistory or history.

Resources significant under any of the above-named criteria must also possess integrity of location, design, setting, materials, workmanship, feeling, and association to be considered eligible for listing on the NRHP.

#### **CRHR/NRHP Evaluation**

- **CRHR Criterion 1/NRHP Criterion A:**  
As stated previously in the evaluation under City of San Diego HRB Criteria A and B, it was discovered through historical research that no significant events could be associated with the property. Because the property could not be associated with any specific historic event, the Dorothy and Harriet Cottages are not eligible for designation on the CRHR under Criterion 1 or the NRHP under Criterion A.
- **CRHR Criterion 2/NRHP Criterion B:**  
Historical research revealed that the Dorothy and Harriet Cottages are not associated with any historic events in local, state, or national history. None of the owners or renters of the property were found to be historically significant (see City of San Diego HRB Criterion B analysis, above). Therefore, the Dorothy and Harriet Cottages are not eligible for designation on the CRHR under Criterion 2 or the NRHP under Criterion B.
- **CRHR Criterion 3/NRHP Criterion C:**  
In order to evaluate the Dorothy and Harriet Cottages under CRHR Criterion 3 and NRHP Criterion C, BFA based the review upon the recommended criteria listed in



the *National Register Bulletin: How to Apply the National Register Criteria for Evaluation* (Andrus and Shrimpton 2002). This review is based upon the evaluation of the integrity of the buildings followed by the assessment of distinctive characteristics.

As discussed in the City of San Diego HRB Criterion C analysis above, the Dorothy Cottage was completed circa 1904 as a Queen Anne Free Classic-style La Jolla Beach Cottage. Most Queen Anne structures in the United States were built between 1880 and 1910. The most “fanciful examples” of the style were constructed in California and “the New South,” which refers to the modernization of the South after the Civil War (McAlester 2015). The Queen Anne style has four shape subtypes and four decorative detailing subtypes. The shape subtypes include: Hipped Roof With Lower Cross Gables, Cross-Gabled Roof, Front-Gabled Roof, and Town House. The decorative detailing subtypes include: Spindlework, Free Classic, Half-Timbered, and Patterned Masonry. The characteristic elements of the decorative detailing subtypes vary greatly, but examples generally include a “steeply pitched roof of irregular shape, usually with a dominant front-facing gable; patterned shingles, cutaway bay windows, and other devices used to avoid a smooth-walled appearance; asymmetrical façade with partial or full-width porch which is usually one story high and extended along both side walls” (McAlester 2015). Of these subtypes, the Dorothy Cottage is best classified as the Hipped Roof With Lower Gables shape subtype and the Free Classic decorative detailing subtype. The Dorothy Cottage also exhibits a “steeply hipped roof” with a ridge that runs front to back, parallel to the side of the house, and a lower cross gable. McAlester (2015) states that “the roof form of this subtype is among the most distinctive Queen Anne characteristics and occurs in examples ranging from modest cottages to high-style landmarks.” As the front porch supports and railings “lack the delicate, turned balusters of the spindlework type of Queen Anne house,” the building is most representative of the Free Classic decorative detailing subtype (McAlester 2015). Further, the Dorothy Cottage possesses a majority of the La Jolla Beach Cottage elements described by Crawford (2009). The only elements it does not possess are a low, sloping roof, an exposed roof structure, a focus upon a garden, and stained or leaded glass windows. However, while the Dorothy Cottage embodies distinctive characteristics of a La Jolla Beach Cottage, it lacks several architectural elements that would make it representative of the Queen Anne Free Classic style.

The Harriet Cottage was built in 1921 as a Craftsman-style La Jolla Beach Cottage. The general Craftsman style usually features a low-pitched, gabled roof with wide, unenclosed, overhanging eaves with multiple roof planes. Examples of this style sometimes also possess a hipped roof. The roof rafters of both roof styles are generally exposed with decorative beams and knee braces added under the gables. Examples of

the Craftsman style almost always exhibit a porch on the front façade that can either be full- or partial-width, the roof of which is supported by tapered, square columns that extend to ground level without break. Many examples use natural materials such as cobblestones, clinker brick, wood shingles, and boulders, and are often used in combination with clapboard siding or stucco (McAlester 2015). In many cases, the line between the natural landscape and the beginnings of the structure is blurred in the more elaborate examples of the style. This is achieved through the use of natural materials and integrated landscaping. More simple, modest variations use the same materials but combine them in a much more restrained fashion. The home is given a natural, airy feeling through the use of large numbers of windows that vary in size and shape. Foundations are often sloped and walls are clad with shingles, stucco, or shiplap siding. Often, brick and stone are used on chimneys, foundations, and as decorative elements (Crawford 2006). Further, the same features associated with La Jolla Beach Cottages or bungalow homes are also character-defining features of the Craftsman style. The Harriet Cottage possesses a majority of the La Jolla Beach Cottage elements described by Crawford (2009). The only elements it does not possess are a modest front porch or stoop, a focus upon a garden, a brick or stone exterior chimney, a partial-width front porch, and stained or leaded glass windows. Although the west façade of the Harriet Cottage was modified prior to the 1930s to include a garage addition with a full-length, enclosed front porch above, the work was conducted within the 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme (Crawford 2009). While the Harriet Cottage embodies distinctive characteristics of a La Jolla Beach Cottage, due to the garage modification and the 1972 rear addition, which negatively impacted the building's integrity of design, it is no longer reflective of the Craftsman style, specifically due to the loss of the original front porch and porch columns.

While the Dorothy and Harriet Cottages are considered representative examples of early La Jolla Beach Cottages and meet City of San Diego HRB Criterion A, the Dorothy Cottage lacks several architectural elements that would make it representative of the Queen Anne Free Classic style and the Harriet Cottage is no longer reflective of its original Craftsman-style design. Therefore, neither cottage is considered a good example of any specific architectural style and, therefore, neither is eligible for designation under on the CRHR under Criterion 3 or the NRHP under Criterion C.

- **CRHR Criterion 4/NRHP Criterion D:**

It is unlikely that the Dorothy and Harriet Cottages, as they presently exist, could contribute additional information beyond that which is presented in this report, which could be considered important to the history of the local area or the state, or would be of any scientific value. Therefore, the Dorothy and Harriet Cottages are not eligible

for designation on the CRHR under Criterion 4 or the NRHP under Criterion D.

## VI. FINDINGS AND CONCLUSIONS

The current evaluation has determined that neither cottage is eligible for listing on the CRHR or NRHP under any significance criteria. However, because the Dorothy and Harriet Cottages have been evaluated as significant under local criteria, the proposed project will constitute a negative impact to historic resources (relocation and building additions). Mitigation measures would reduce impacts to the historic resources to less than significant since the new location for the Dorothy Cottage is within the same residential block (immediately south) and the relocation and proposed additions will be compatible with the original character and use of the historic resources. Adherence to the SOI's Standards for Historic Properties for the proposed relocation and additions for the two cottages will enable the buildings to continue to convey their integrity of design, materials, workmanship, feeling, and association as La Jolla Beach cottages, for which they received their designation.

### Impacts Discussion

The development plan for the property, as proposed by 800 Coast, LLC, includes the relocation of the Dorothy Cottage and the construction of additions onto both the Dorothy and Harriet Cottages. The final location for the Dorothy Cottage will be on the property immediately south, on top of the garage of the existing 821 Coast Boulevard building. The additions proposed to the two buildings consist of the retention of the west and south façades, removal of all current additions, and the construction of attached additions (see Dorothy Cottage Relocation and Rehabilitation and Harriet Cottage Rehabilitation Treatment Plan under separate cover). In order to determine whether the planned additions would pose a negative impact to the historic resources, the proposed design of the additions has been evaluated under *The Secretary of the Interior's Standards for Rehabilitation* (SOI's Standards for Rehabilitation).

### CEQA Impacts

The proposed relocation of the Dorothy Cottage and the exterior additions to both buildings would be completed per the SOI's Standards for Rehabilitation and *National Park Service Preservation Brief 31: Mothballing Historic Buildings*. In determining potential impacts to historic resources under CEQA §15064.5, a "project with an effect that may cause a substantial adverse change in the significance of a historical resources is a project that may have significant effect on the environment." A "substantial adverse change" means "demolition, destruction, relocation, or alteration of the resource such that the significance of a historical resource would be materially impaired" (Public Resources Code § 5020.1[q]). Generally, a project that follows the SOI's Standards for Historic Properties shall be considered to have mitigated impacts to a historic resource to a level less than significant.

Direct or indirect effects can occur to eligible historic resources with the implementation of the project. Direct effects can include alteration, demolition, or removal of buildings, structures, and cultural landscape elements. Direct effects can also include the addition of new buildings, structures, or infill elements that would alter the historic setting, the site lines, or view corridors from one point to another by changing spatial relationships of buildings to each other along with landscape elements.

Implementation of the proposed project will result in significant impacts to historic resources with the relocation of the Dorothy Cottage and the additions proposed to the Dorothy and Harriet Cottages. Compliance with recommended mitigation measures would reduce the significance of any impacts to a level that is less than significant.

### City of San Diego Significance Thresholds

The City of San Diego's CEQA Significance Determination Thresholds identifies various activities that will cause damage or have an adverse effect upon the resources (City of San Diego 2011).

#### 1. Direct Impacts

- a. **Relocation From Original Site:** The proposed project includes the relocation of the Dorothy Cottage immediately south to 821 Coast Boulevard South, within the proposed project site.
- b. **Alteration or Repair of a Historic Structure:** Exterior alterations proposed for the Dorothy Cottage following its relocation will be completed in accordance with the SOI's Standards for Rehabilitation, and therefore, impacts upon the historic resource shall be considered to be mitigated to a level of less than significant. Further, the resource will then be mothballed following *National Park Service Preservation Brief 31: Mothballing Historic Buildings*.

Exterior alterations proposed for the Harriet Cottage will also be completed in accordance with the SOI's Standards for Rehabilitation and impacts upon the historic resource shall also be considered to be mitigated to a level of less than significant.

#### 2. Indirect Impacts

- a. Indirect impacts were considered to determine if the project would cause the introduction of visual, audible, or atmospheric effects that are out of character with a historic resource or alter its setting. The project is not expected to have a significant indirect or cumulative impact to historic resources due to the built-up nature of the area, new or recent development surrounding the property, lack of sensitive resources (including historic districts), and limited viewsheds.

The Secretary of the Interior's Standards for Rehabilitation

The SOI's Standards for Rehabilitation (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy, and encompass the exterior and the interior, related landscape features, and the building's site and environment, as well as attached, adjacent, or related new construction. The SOI's Standards for Rehabilitation are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. *A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.*

The Dorothy and Harriet Cottages were initially constructed as La Jolla Beach Cottages and both have been utilized as rental properties since their construction. The project proposes their continued use as rental properties.

2. *The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

Only those elements of the property that have been deemed not significant will be removed, such as the 1972 addition to the Harriet Cottage. In addition, no exterior features or spaces that characterize the Dorothy and Harriet Cottages will be removed or altered.

3. *Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.*

No changes will be made to the cottages that imply any sort of historical development. Although original windows from the Dorothy Cottage will be reused in the addition, these are not "from other buildings" and therefore do not create a false sense of history. No conjectural features or elements from other buildings are included in the rehabilitation design.

4. *Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.*

Although both cottages have been modified, many of the modifications occurred during

the La Jolla Beach Cottage Theme period of significance (1880s to 1930s). For the Dorothy Cottage, these modifications include the 1904 to 1909 enclosed front porch and the 1904 to 1909 rear addition. For the Harriet Cottage, early modifications include the enclosure of the original front porch and construction of the garage. All of these alterations were determined to have achieved significance in their own right and shall be retained and preserved. Only the 1943 to 1951 rear addition to the Dorothy Cottage and the 1972 addition to the Harriet Cottage will be removed. The new, proposed additions to both cottages will attach at these locations.

5. *Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

All distinctive features, finishes, construction techniques, and all examples of craftsmanship shall be preserved as part of the retention of the two cottages.

6. *Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.*

The cottages have been well maintained and at this time, no historic features on either building appear to be deteriorated.

7. *Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.*

The cottages have been well maintained and are not in need of any sort of deep cleaning or scaling. No chemical or physical treatments are planned for the cleansing of the cottages.

8. *Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.*

No known archaeological resources are located within the project boundaries.

9. *New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.*

Attached additions are planned for the property. As shown in the Dorothy Cottage Relocation and Rehabilitation and Harriet Cottage Rehabilitation Treatment Plan (under separate cover), both additions are differentiated from the historic buildings through specific design elements and the massing and scale are compatible with the historic cottages.

Specifically, the addition proposed for the north façade of the Dorothy Cottage will feature wide, horizontal wood siding in order to differentiate the addition from the original cottage, which primarily features narrow, Cove-style siding. The new addition will feature a shed roof in order to differentiate the addition from the original cottage, which features a hipped roof. Although the placement of the Dorothy Cottage onto the garage foundation of the 821 Coast Boulevard South building will result in the removal of the original stairs leading to the balcony, the new stairs, which will be rotated 90 degrees, will be constructed from concrete and will exhibit a metal and glass railing. The railing on the new balcony leading to the enclosed front porch will also feature a glass and metal railing.

The addition proposed for the Harriet Cottage will also feature wood siding and a flat roof in order to differentiate the addition from the original cottage, which features shingle siding and a front-gabled roof. The addition will attach to the Harriet Cottage on the eastern portion of the north façade via a hyphenated entryway that will be enclosed with glass, allowing the original north façade of the Harriet Cottage to be viewed from the street. Although the post-1926 entrance and stairs currently located on the north façade will be removed, the new stairs, located inside the glass entryway, will be constructed of concrete with a metal and glass railing in order to differentiate these from the original cottage.

10. *New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

All new additions and new construction proposed as part of the rehabilitation project could be easily removed in the future without impairing the essential form and integrity of the cottages. Because all new construction has been designed to follow the SOI's

Standards for Rehabilitation, no adverse impacts will occur as a result of the construction of the new additions, or from the potential removal of the new construction from the property at a later date.

### Mitigation Measures

To reduce the impacts caused by the relocation of the Dorothy Cottage and the additions proposed to the Dorothy and Harriet Cottages, mitigation measures may be employed. However, mitigation measures may not lower the impact to a level of less than significant under CEQA, if adherence to the SOI's Standards for Historic Properties is not feasible.

#### 1. Redesign

- a. Per the City of San Diego's Land Development Manual – Historical Resources Guidelines, preferred mitigation is to avoid impacts to the resource through project redesign. If the resource cannot be entirely avoided, all prudent and feasible measures to minimize harm to the resource shall be taken.
- b. Depending upon project impacts, measures can include, but not be limited to:
  - i. Preparing a historic resource management plan;
  - ii. Adding new construction that is compatible in size, scale, materials, color, and workmanship to the historic resource (such additions, whether portions of existing buildings or additions to historic districts, shall be clearly distinguishable from historic fabric);
  - iii. Repairing damage according to the SOI's Standards;
  - iv. Screening incompatible new construction from view through the use of berms, walls, and landscaping in keeping with the historic period and character of the resource;
  - v. Shielding historic properties from noise generators through the use of sound walls, double glazing, and air conditioning; and
  - vi. Removing industrial pollution at the source of production.

#### 2. Relocation

- a. If there are no other ways to save a building, structure, or object other than relocation, such measures shall be performed in accordance with National Park Service standards. Appropriate relocation sites shall duplicate, as closely as possible, the original location in terms of size, topography, neighborhood setting, orientation, and site landscaping.

#### 3. Recordation

- a. Prior to relocation of the Dorothy Cottage, SOI-qualified professionals (in



history or architectural history) (36 CFR Part 61) shall perform photo-recording and documentation consistent with the standards of the National Park Service Historic American Buildings Survey (HABS) documentation. HABS documentation is described by the National Park Service as “the last means of preservation of a property; when a property is to be demolished, its documentation provides future researchers access to valuable information that otherwise would be lost.” The HABS record for the Dorothy Cottage shall consist of measured drawings, digital photographs, and written data that provide a detailed record that reflects the Dorothy Cottage’s historic significance. Following completion of the HABS documentation and approval by the HRB, the materials shall be placed on file with the City of San Diego, the San Diego History Center, and the San Diego Central Library.

#### 4. Salvage Materials

- a. Prior to relocation, distinctive representative architectural features shall be identified and, if feasible, salvaged for reuse in relation to the proposed plan, or perhaps moved to another location on-site as provided in the SOI’s Standards. If reuse on-site is not feasible, opportunities shall be made for the features to be donated to various interested historical or archival depositories. No materials shall be salvaged or removed until HABS documentation is complete and an inventory of key exterior and interior features and materials is completed by SOI-qualified professionals. The materials shall be removed prior to or during relocation. Materials that are contaminated, unsound, or decayed would not be included in the salvage program and would not be available for future use or display.

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- 1929b 7703 Herschel, frame cottage per Victor Maler. 23 April:8. San Diego, California.
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- 1930b Building Permits: 1605 Spindrift, alterations per Victor Maler. 7 April:8. San Diego, California.
- 1930c Building Permits: 1021 Coast Boulevard, garage per Victor Maler. 13 June:7. San Diego, California.
- 1930d Building Permits: 1650 Torrey Road, remodeling per Victor Maler. 14 August:15. San Diego, California.
- 1931 Building Permits: 1314 Virginia Way, screened-in porch per Victor Maler. 12 February:6. San Diego, California.
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1906 Real Estate Transfers: Boudine Lieber, Walter S. Lieber to S.B. Hall. 24 June:15. San Diego, California.

1908 Real Estate Transfers: Walter S. Lieber to Estelle Reid. 21 April:5. San Diego, California.

1913 Building Permits: Walter S. Lieber, 1106 Prospect. 4 April:3. San Diego, California.

1915a La Jolla News: Mr. and Mrs. Dwight L. Moody and family in Dorothy cottage. 30 October:4. San Diego, California.

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- 1935b Building Permits: 1857 Spindrift Drive, addition per Victor Maler. 2 August:21. San Diego, California.
- 1936a Building Permits: 339 Nautilus, frame residence and garage per Victor Maler. 31 January:10. San Diego, California.
- 1936b Building Permits: 1650 Torrey Road, cellar and foundation per Victor Maler. 6 August:19. San Diego, California.
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## **VIII. APPENDICES**

Appendix A: Building Development Information

Appendix B: Ownership and Occupant Information

Appendix C: Maps

Appendix D: DPR Forms

Appendix E: Preparers' Qualifications



**APPENDIX A**

**Building Development Information**

**County Assessor's Building Records**

ADDRESS 825 COAST BLVD SO.

CLASS & SHAPE		DESCRIPTION OF BUILDING																	
		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF			LIGHTING		AIR CONDITION		ROOM AND FINISH DETAIL							
D.H.O.		Light	Frame	Stucco on	Flat	Pitch	Wiring	Heating	Cooling	ROOMS	FLOORS			FLOOR FINISH		TRIM	INTERIOR FINISH		
ARCHITECTURE		Sub-Standard	" x " "	" x "	Gable	4/12	K.T.	Conduit	Forced	Clean'g	All	B	I	2	Material	Grade		Walls	Ceilings
		Standard	Sheathing	Siding "x"	Hip	4	B.x.	Cable	Gravity	Humid.					D.P.	A	S	T & G	
1 Stories		Above-Standard	Concrete Block		Shed	4	Fixtures		Wall Unit										
TYPE		Special	B.&B.	T.&G.	Plv + B.P.	Cut Up	Few	Cheap			Ent Hall								
Use		Design	Brick	Shingle	Dormers		Avg.	Med.	Floor Unit		Living								
FOUNDATION			Adobe	Shake	Raft "x"		Many	Special	Zone Unit		Dining								
Single		Concrete	Floor Joist	B.&B.	T.&G.	Gutters	PLUMBING				Bed								
Double		Reinforced	" x " "				Par.	Sh.	Spec		Bed' Lab								
Duplex		Brick	2nd "x"	Brick	Shingle														
Apartment		Wood	Sub-Floor	Stone	Shake					Oil Burner									
Flat-Court		Piers	Concrete Floor	WINDOWS		Tile	Sink												
Motel				D.H.	Casement	Tile Trim	Laundry		M-B.T.U.										
			Insulated Ceilings	Metal Sash	Compa.	Water Hth.-Auto.	Fireplace	Kitchen							LIMP	A	S	T & G	
Units		Light	Heavy	Insulated Walls	Screens	Compa. Shingle	Water-Softner	Drain Bd.	Material: M.S.U.	Lgth:	Ft.	Splash:							

CONSTRUCTION RECORD				EFFEC. APPR. NORMAL % GOOD				RATING (E, G, A, F, P)				BATH DETAIL													
Permit No.	For	Amount	Date	YEAR	YEAR	Age	Remaining Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work-ship	Fl. No.	FINISH	FIXTURES	SHOWER					
																		Floors	Walls	Wc. Lo. Tub	Type	Grade	St. O.T.G.D.	Finish	
N.P. 406381	D+G ABB	Built 1602	6-72	1921	1964	43	18	P.S.	47	A	A	A	A	P	P	A	1	Like	T&G		O.C.	A	-	-	-

SPECIAL FEATURES			
Book Cases	Built in Rerrig.	Venetian Blinds	
Shutters	" " Oven & Plate		
Vent Fan	" " Dishwasher		

Appraiser & Date		COMPUTATION															
Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
RES.	920	6.40	5888.														
P.C.			180.														
W-UP STAIRS	45	1.50	67.														
G.A.P.	360	2.70	972.														
AS-073 ABB	180			10.00	1800												
TOTAL			7107.														
NORMAL % GOOD			47				47										
R.C.L.N.D			3340				RE										



ADDRESS 827 CORSET BLYD SO.

CLASS & SHAPE		CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL												
D.H.O.		Light	X Frame / Cat	Stucco on	Flat / Pitch	X Wiring	X Heating	Cooling	ROOMS	FLOORS			FLOOR FINISH		TRIM	INTERIOR FINISH				
ARCHITECTURE		Sub-Standard	" " "	" " "	Gable / Hip	K.T. / B.X.	Conduit / Cable	Forced / Gravity	Humid.	All	B	I	2	Material	Grade	S	Walls	7	9	6
1 Stories		Standard	Sheathing	X Siding 1" x 4"	X Hip 4/12									O.P.	A					
TYPE		Above-Standard	Concrete Block		Shed															
Use		Special	X B & B. T & G.		Cut Up	Few	Cheap													
Design		FOUNDATION	Brick	Shingle	Dormers	X Avg.	X Med.													
Single		X Concrete	X Floor Joist	B & B. T & G.	Gutters															
Double		X Reinforced	X 1 1/2" x 4"																	
Duplex		Brick	2" x 4"	Brick	Shingle	Part	X Std.	Spec												
Apartment		X Wood	Sub-Floor	Stone	Shake															
Flat-Court		X Piers	Concrete Floor		Tile															
Motel					X D.H. Casement	Tile Trim														
			Insulated Ceilings	Metal Sash	Compa.	Water Hth-Auta.	Fireplace	Kitchen												
Units		Light	Heavy	Insulated Walls	X Screens	X Compo. Shingle	Water-Softner	Drain Bd.	Material	Lgth	Ft	Splash								

CONSTRUCTION RECORD				EFFEC. YEAR	APPR. YEAR	NORMAL % GOOD			RATING (E, G, A, F, P)				BATH DETAIL														
No.	Permit For	Amount	Date	YEAR	YEAR	Age	Remaining Life	Table %	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Space	Work-Shop	Fl. No.	FINISH		FIXTURES		SHOWER							
																Floors	Walls	Wc.	La.	Tub	Type	Grade	St.	U.T.	G.D.	Finish	
N.P.	For	Built	1911	1911	1914	53	12	85	39	G	A	A			A												
																SPECIAL FEATURES											
																Book Cases	Built in Kerrig.		Venetian Blinds								
																Shutters	" " Oven & Plate										
																Vent Fan	" " Dishwasher										

L.A. MASON

Appraiser & Date		COMPUTATION															
Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
R.P.B.	1023	6.30	6445.														
A.C.			180.														
W-U-P & Steps	52	1.50	78														
TOTAL			6703														
NORMAL % GOOD			39														
R.C.L.N.D.			2614														



**Notice of Completion**

*(Could Not Be Located)*

**Water/Sewer Connection Records  
(Harriet Cottage [825 Coast Boulevard South])**

*(Could Not Be Located for  
Dorothy Cottage [827 Coast Boulevard South])*



# SEWER CONNECTION ORDER

Work and Service Order **L** 152

Location **825 Coast Blvd So**  
Make **STREET** Connection  
Lot **9** Blk. **55** Add. **L.S. PARK**

Owner **FRANK AYER**  
Amount Paid \$ **50<sup>00</sup>** Date **2/15/37**

Job Order No. Budget Allocation  
**CRP** Permit Clerk

**Service Taps**  
Main **22** Ft. **5** from **M.H** Line of Street

**Service Enters**  
Property **22** Ft. **5** from **M.H** Line of Street

Form 8

## OPERATING DEPT. SEWER CONNECTION ORDER

Location **825 Coast Blvd South** No. **24995**

Between \_\_\_\_\_ Date **1/19/36**

Lot \_\_\_\_\_ Block **57** Amt. Pd. **5<sup>00</sup>**

Addition **La Jolla Park**

Owner **Hotel Green & Manning**

SEWER INSPECTOR. You will make **P.P.**

sewer connection at above location--- Page \_\_\_\_\_

Remarks: **1/16/36**

**[Signature]** PERMIT CLERK

**1/4/27**  
**Service Taps**  
Main \_\_\_\_\_ ft. \_\_\_\_\_ from \_\_\_\_\_ line of \_\_\_\_\_ S

**Service Enters**  
Property \_\_\_\_\_ ft. \_\_\_\_\_ from \_\_\_\_\_ line of \_\_\_\_\_ S



ATTACHMENT 1

221 ✓

OPERATING DEPARTMENT CITY OF SAN DIEGO

APPLICATION AND ORDER FOR WATER SERVICE

Location 825 Quaker St. between Imperial St.  
and Quaker St. Lot 9, Blk. 55, Add.

The undersigned hereby applies to the City of San Diego, for water service and meter at the above location. And in consideration of the installation of such service and meter, agrees to pay all charges incurred upon such location for such water service and to abide by all rules, regulations and provisions prescribed by said city, by ordinance or otherwise, relating to water service, regulation or rates.

Date 10/2/28 Owner Frank Ayer by E. L. Bowen  
By [Signature]

GENERAL FOREMAN: Please install \_\_\_\_\_ service and \_\_\_\_\_

REMARKS

Transfer meter to service on new main

13. Date Completed 3-2-63

14. Work Completed By: [Signature]

Service Clerk

Line of

Receipt No. 27177

Amt. paid 30.00

Date 10/2-28

Completed 10/19 1928

Cost 28.47

Order No.

Checked By

Statistician

Investigator

Cost Clerk

Meter Clerk

Reading 1278177

St. 196

Ft. N of

and make

14

76

7

WORK ASSIGNMENT ORDER NO.

INSTALL SERVICE AND TRANSFER METER

GATE VALVE MAINTENANCE

OTHER

RENEW SERVICE

FIRE HYDRANT MAINTENANCE

Group 138

ISSUED		ASSIGNED	
BY	Hebertus	TO	
DATE	5-14-64	BY	
		DATE	

1. Account Number	2. Tap Number	3. Meter Identification
	A27177	5/8W 5181069
4. Service Address	5. Map Book & Page	
825 Coast Blvd South	A-10-A	
6. Legal Description		
Lot 9 Blk 55 La Jolla Park		
7. Present Location		
196 1/2 N 1/4 E on Coast Blvd South E		
8. New Location		
Same		

9. Field Rep	10. Location Approval (Signature—Property Owner)
Heb	JAC
11. New Location — As Installed	

12. Remarks

Transfer meter to service on new main

**Construction Permits  
(Harriet Cottage [825 Coast Boulevard South])**

*(Could Not Be Located for  
Dorothy Cottage [827 Coast Boulevard South])*



TRAVELING DE LUXE SHOWS GROWING PROSPERITY OF U. S.

By FREDERIC J. HAVEN WASHINGTON, D. C., Oct. 23.—(Union Staff) The fact that the traveling de luxe shows are to be held in the United States...

New Homes

- The following permits for new private homes, as cost \$2000 or more, were issued at the office of Owen...

JEALOUSY OF UNION LEADERS HAS TRAGIC EFFECT ON CAUSE OF LABOR IN GREAT BRITAIN

By ROBERT J. FREW (Special Staff) LONDON, Oct. 23.—The green-eyed jealousy working on the minds of trade union leaders in Great Britain...

Pine Valley's 4000 Feet Above Care! present water supply will care for 1000 people daily. Undeveloped resources will supply at least 1500 more. BUY IN PINE VALLEY WHERE THERE'S PLENTY OF WATER! Fine Hotel and Rental Cottages, Willard C. Braden, Leesoo.

OPEN KITCHEN WINDOWS AND LET IN ULTRA-VIOLET RAYS, ADVISES SCIENTIST

(Associated Press) NEW YORK, Oct. 23.—Sun rays as the housewife's friend especially in the kitchen, is a new representation of medical science to the everyday...

Not all of those who travel in this fashion are millionaires of course. For there are only 11,000 such fortune-tellers in the United States...

"ON June 23, 1926, on inspecting Talmadge Park, I was so impressed with the remarkably fine character of the property that I purchased Lot 209 at the price of \$1949, paying a down payment of only \$650.10." "Prices, as I knew they should, rapidly advanced and September 23, 1926, just three months later, I resold Lot 209 for \$2500 cash. My profit based on annual return was over 300%."

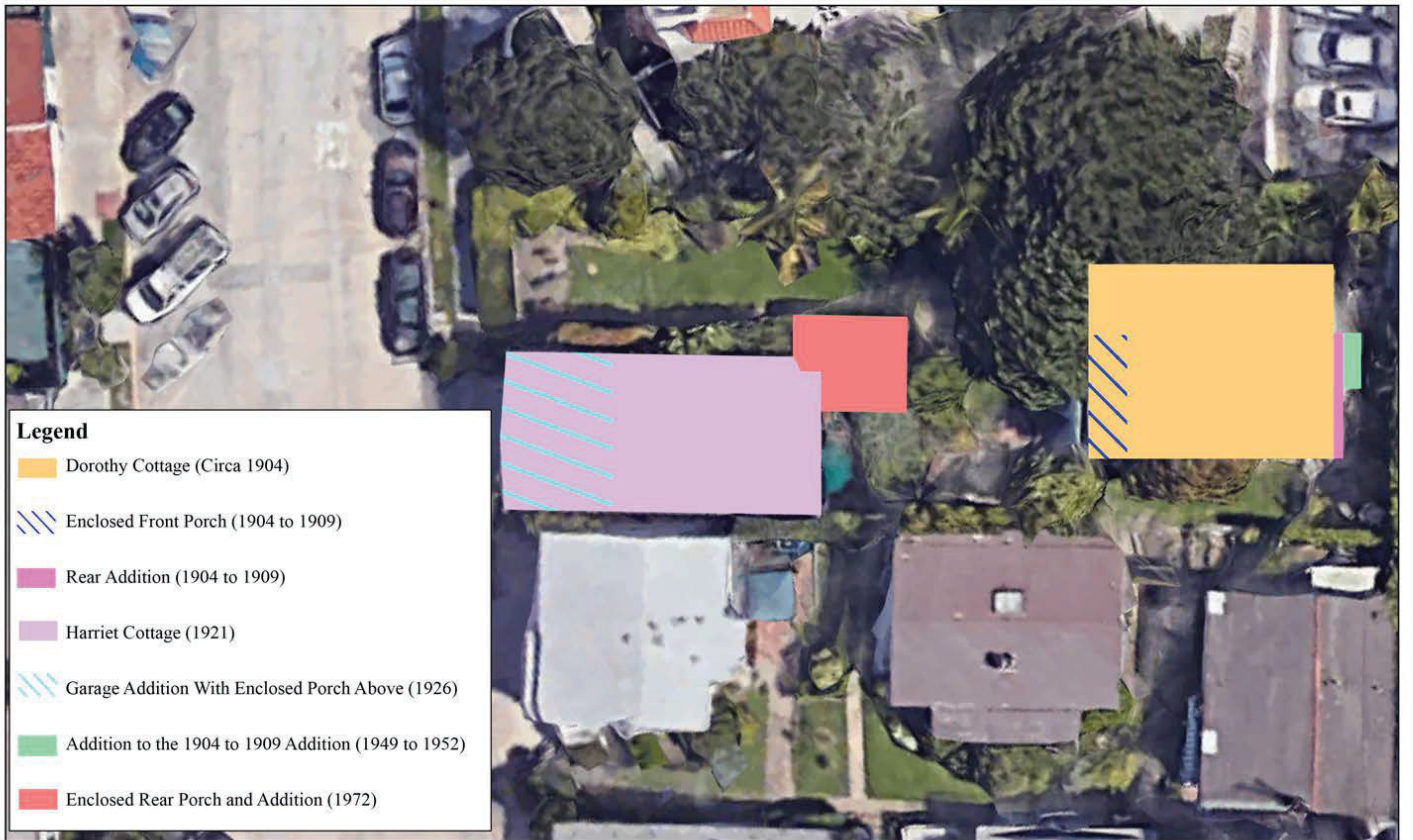
On All The Coast No Club Like This. A Word of Thanks. Our thanks to the hundreds of San Diegans who attended our ground-breaking ceremonies recently. We hope they were convinced that our promises will be speedily carried out.

REAL ESTATE BUYERS WANT SPEED. THE BUYER of Real Estate usually wants plenty of time for considering the deal... SOUTHERN TITLE & TRUST COMPANY. A. P. JOHNSON, JR., President



**Site Plan With Footprint**





- Legend**
-  Dorothy Cottage (Circa 1904)
  -  Enclosed Front Porch (1904 to 1909)
  -  Rear Addition (1904 to 1909)
  -  Harriet Cottage (1921)
  -  Garage Addition With Enclosed Porch Above (1926)
  -  Addition to the 1904 to 1909 Addition (1949 to 1952)
  -  Enclosed Rear Porch and Addition (1972)



**Site Plan With Footprint**

825-827 Coast Boulevard South



**Lot Block Book Page**



**Previous Historical Resource Survey Forms**

State of California - The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

HISTORIC RESOURCES INVENTORY

(State use only) Ser \_\_\_\_\_ Site \_\_\_\_\_ Mo. \_\_\_\_\_ Yr. \_\_\_\_\_  
 UTM \_\_\_\_\_ O \_\_\_\_\_ NR \_\_\_\_\_ SHL \_\_\_\_\_  
 Lat \_\_\_\_\_ Lon \_\_\_\_\_ Era \_\_\_\_\_ Sig \_\_\_\_\_  
 Adm \_\_\_\_\_ T2 \_\_\_\_\_ T3 \_\_\_\_\_ Cat \_\_\_\_\_ HABS \_\_\_\_\_ HAER \_\_\_\_\_ Fed \_\_\_\_\_

IDENTIFICATION

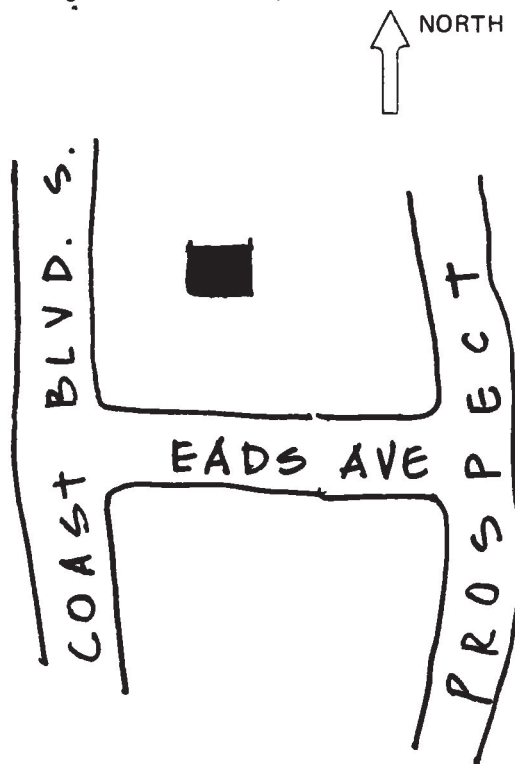
1. Common name: None known
2. Historic name, if known: "Cuesta", "Solana" "Dorothy", "Harriet"
3. Street or rural address 813-27 Coast Boulevard South  
 City: La Jolla ZIP: 92037 County: San Diego
4. Present owner, if known: George T. R. Sanders Address: 1287 Silverado Place  
 City: La Jolla, California ZIP: 92037 Ownership is: Public  Private
5. Present Use: Residential rental Original Use: Residential rental  
 Other past uses: None known

DESCRIPTION

6. Briefly describe the present physical appearance of the site or structure and describe any major alterations from its original condition:

This grouping of structures allow the passerby to catch a glimpse of old La Jolla. Of vernacular beach cottage architecture, these are buildings of one and two story wood construction. All have gabled roofs, most have verandas and all utilize combinations of double hung and casement windows. The cottages are built with the site in mind, with hillside structures having lower level storage or living below the main structure. There is little decorative detailing, with porch railings on two structures being particularly noteworthy. Shingles or lap siding give a horizontal emphasis to the cottages. The scale is very human amidst newer construction that violates the beach cottage atmosphere that prevailed in the early 1900's. All of the cottages and the landscaping are in very good condition.

7. Locational sketch map (draw and label site and surrounding streets, roads, and prominent landmarks):



8. Approximate property size:  
 Lot size (in feet) Frontage 50  
 Depth 100 ;  
 or approx. acreage -.
9. Condition: (check one)  
 a. Excellent  b. Good  c. Fair   
 d. Deteriorated  e. No longer in existence
10. Is the feature a. Altered?  b. Unaltered?
11. Surroundings: (Check more than one if necessary)  
 a. Open land  b. Scattered buildings   
 c. Densely built-up  d. Residential   
 e. Commercial  f. Industrial   
 g. Other
12. Threats to site:  
 a. None known  b. Private development   
 c. Zoning  d. Public Works project   
 e. Vandalism  f. Other
13. Date(s) of enclosed photograph(s): 1977

NOTE: The following (Items 14-19) are for structures only.

14. Primary exterior building material: a. Stone  b. Brick  c. Stucco  d. Adobe  e. Wood   
f. Other  \_\_\_\_\_
15. Is the structure: a. On its original site?  b. Moved?  c. Unknown?
16. Year of initial construction 1900's This date is: a. Factual  b. Estimated  on architectural evaluation
17. Architect (if known): Not known
18. Builder (if known): Not known
19. Related features: a. Barn  b. Carriage house  c. Outhouse  d. Shed(s)  e. Formal garden(s)   
f. Windmill  g. Watertower/tankhouse  h. Other  \_\_\_\_\_ i. None

## SIGNIFICANCE

20. Briefly state historical and/or architectural importance (include dates, events, and persons associated with the site when known):

This group of rental units is near the famous Casa de Manana. With its particular location, there is little doubt that they were constructed as rental units for tourist trade. They have such names as "Cuesta", "Solana", "Dorothy", and "Harriet". Walter Lieber an 1904 arrival in La Jolla, invested heavily in rental properties. He had a penchant for naming his cottages whimsically; he may well have built these. Today, they are permanent resident rentals and are located in one of La Jolla's most vulnerable demolition area.

21. Main theme of the historic resource: (Check only one): a. Architecture  b. Arts &  
c. Economic/Industrial  d. Exploration/Settlement  e. Government   
g. Religion  h. Social/Education

22. Sources: List books, documents, surveys, personal interviews, and their dates:

Interview: Robert Wilson  
La Jolla Historical Society Archival Material



23. Date form prepared: 11-15-77 By (name): Pat Schaelchlin, Supervisor  
Address: 1257 Virginia Way City La Jolla, California ZIP: 92037  
Phone: (714) 459-8409 Organization: La Jolla Research Program

(State Use Only)



State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary #  
HRI #  
Trinomial  
NRHP Status Code 7R

Other Listings  
Review Code Reviewer Date

Page 1 of 1

\*Resource Name or #: 825 Coast Blvd

**P1. Other Identifier:**\*P2. Location:  Not for Publication  Unrestricted

\*a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad: La Jolla

Date: 1975 T15S; R4W; ¼ of ¼ of Sec ; M.D.

B.M.

c. Address: 825 Coast Blvd

City: San Diego

Zip: 92037

d. UTM: Zone: ; mE/ mN

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate)

APN#

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Architect/Designer: unknown

Style: Craftsman

General Description: 2-story, linear plan, shingle siding, multi-pane double hung windows, decorative knee braces, overhanging eaves, exposed rafters, medium pitch front gabled roof

Condition: Good

\*P3b. Resource Attributes: (List attributes and codes) HP2 Single Family Property

\*P4. Resources Present:  Building  Structure  Object  Site  District  Element of District  Other (Isolates, etc.)

P5a. Photo or Drawing (Photo required for buildings, structures, and objects.) PICT0011



\*P5b. Description of Photo: (View, date, accession #)

Photo Date 20-Jun-02 Ref # 534

Roll 3

On file: City of San Diego, Planning Department

\*P6. Date Constructed/Age and Sources:

ca. 1930

 Prehistoric  Historic  Both

\*P7. Owner and Address:

\*P8. Recorded by: (Name, affiliation, and address)

T. Delcamp

City of San Diego, Planning Department  
202 C Street, San Diego, CA 92101

\*P9. Date Recorded: 20-Jun-02

\*P10. Survey Type: Reconnaissance

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.") La Jolla Historical Reconnaissance Survey, 2003 (Group6Records 51-75)

\*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List):

DPR 523A (1/95)

\*Required information

**APPENDIX B**

**Ownership and Occupant Information**





**Chain of Title**

**Chain of Title**

Title Records for 825-827 Coast Boulevard South (APN 350-070-10)

<b>Seller</b>	<b>Buyer</b>	<b>Year</b>
J.B. Treat and P.G. Treat	Miss Grace Baillie	1903
Grace Baillie Rench, formerly Grace Baillie and William S. Rench	Gilbert L. Gates and Nettie E. Gates	1914
Gilbert L. Gates and Nettie E. Gates	H.S. Everts	1914
H.S. Everts and Alice M. Everts	John T. Melzer and Augusta Melzer	1916
John Theodore Melzer, sometimes known as John T. Melzer	Augusta Melzer	1925
Augusta Melzer	Frank Ashton Ayer and Harriet Root Ayer	1926
Frank Ashton Ayer and Harriet Root Ayer	John E. Sanders and Helen S. Sanders	1932
John E. Sanders and Helen S. Sanders	Frank Ashton Ayer and Harriet Root Ayer	1934
Frank Ashton Ayer and Harriet Root Ayer	George Sanders	1964
George Sanders	Viola Frances Sanders	1969
Viola Frances Sanders	George Sanders, Trustee	1969
George Sanders, Trustee; and George Sanders and Viola Frances Sanders	Viola Frances Sanders and Duane Strong, Trustees	1977
Viola Frances Sanders and Glen Darby, Successor Trustee to Duane Strong, as Co-Trustees	Harry I. Neuman and Ida Ruth Neuman	1981
Ida Ruth Neuman, Trustee	800 Coast LLC	2018

**City Directory Listing of Occupants**

**City Directory**  
825-827 Coast Boulevard South

Year	Address	Name	Occupation			
1903	825 Coast Boulevard	Address Not Listed				
1904						
1905						
1906						
1907						
1908						
1909						
1910						
1911						
1912						
1913						
1914					Hofflund Stanley R (Dorothea)	Journalist
1915					Address Not Listed	
1916						
1917						
1918						
1919						
1920	827 South Coast Boulevard	Bailey Betty R Mrs	Bkpr Erling Rohde			
1921		Address Not Listed				
1922						
1923	825 South Coast Boulevard	Dreghorn Johanna Mrs	-			
	827 South Coast Boulevard	Abel Wm (Washburn & Abel)				
			Washburn Chas E (Naomi M) (Washburn & Abel)	Cigars at 930 Prospect		
	827 Coast Boulevard	Washburn Helen	-			
	Washburn Rosalind A (wid C E)					
1924	825 Coast Boulevard	Dreghorn Anna M Mrs				
	827 South Coast Boulevard	Abel Wm	(White Lunch)			
			Washburn Chas E (Naomi M)	(La Jolla Cigar Store) (White Lunch)		
			Washburn Rosalind A (wid C E)	(La Jolla Cigar Store)		
1925	825 South Coast Boulevard	Dreghorn Johanna Mrs	-			
	827 South Coast Boulevard	Washburn Chas E	Cigars at 934 Prospect			
			Washburn Helen	-		
1926	825 Coast Boulevard South	Address Not Listed				
	827 Coast Boulevard					

Year	Address	Name	Occupation		
	South				
1927	825 Coast Boulevard South				
	827 Coast Boulevard South				
1928	825 Coast Boulevard South	Vacant			
	827 Coast Boulevard South				
1929	825 Coast Boulevard South				
	827 Coast Boulevard South				
1930	825 Coast Boulevard South			Peate Kath Peate Minnie	
	827 Coast Boulevard South				
1931	825 Coast Boulevard South			Vacant	
	827 Coast Boulevard South				
1932	825 Coast Boulevard South				
	827 Coast Boulevard South				
1933	825 Coast Boulevard South				
	827 Coast Boulevard South				
1934	825 Coast Boulevard South				
	827 Coast Boulevard South				
1935	825 Coast Boulevard South				
	827 Coast Boulevard South				
1936	825 Coast Boulevard South				
	827 Coast Boulevard South				
1937	825 Coast Boulevard South				
	827 Coast Boulevard South				
1938	825 Coast Boulevard South				

Year	Address	Name	Occupation
	827 Coast Boulevard South		
1939	825 Coast Boulevard South		
	827 Coast Boulevard South		
1940	825 Coast Boulevard South	Address Not Listed	
	827 Coast Boulevard South	Vacant	
1941	825 Coast Boulevard South	Fredricksen Richd	
	827 Coast Boulevard South	Marberry W T	
1942	825 Coast Boulevard South	Vacant	
	827 Coast Boulevard South	Sussex L T	-
1943	825 Coast Boulevard South	McDonald Geo	
	827 Coast Boulevard South	Hailey Jessie	
1944-1945	825 Coast Boulevard South	Rypka E M Mrs	
	827 Coast Boulevard South	Hailey Jessie	
1946	Book Not Available		
1947-1948	825 Coast Boulevard South	Sampson Clara	
	827 Coast Boulevard South	Lind Dorothy	-
1949	Book Not Available		
1950	825 Coast Boulevard South	Vacant	
	827 Coast Boulevard South	Dempsey Kath Mrs	-
1951	Book Not Available		
1952	825 Coast Boulevard South	Herreshoff J B	
	827 Coast Boulevard South	Dempsey E A	
1953-1954	825 Coast Boulevard South	Vacant	-
	827 Coast Boulevard South	Dempsey Edwin A	
1955	Book Not Available		
1956	825 Coast Boulevard	Campbell Farris	-

Year	Address	Name	Occupation
	South		
	827 Coast Boulevard South	Vacant	
1957	825 Coast Boulevard South	McQueen Rex L	
	827 Coast Boulevard South	Wadman Kath D	
1958	825 Coast Boulevard South	Vacant	
	827 Coast Boulevard South	Wadman Kath D Mrs	
1959	Book Not Available		
1960	825 Coast Boulevard South	Ellis Elinor	
	827 Coast Boulevard South	Kingsley Kath Mrs	
1961	825 Coast Boulevard South	Vacant	
	827 Coast Boulevard South	Kingsley Kath Mrs Wadman Patk K	
1962	825 Coast Boulevard South	Vacant	
	827 Coast Boulevard South	Wadman Patk K	
1963-1964	825 Coast Boulevard South	Vacant	
	827 Coast Boulevard South		
1965	Book Not Available		
1966	825 Coast Boulevard South	Vacant	
	827 Coast Boulevard South	Simms James	
1967	825 Coast Boulevard South	Lodowe Steve	
	827 Coast Boulevard South	Kessler Peter	
1968	825 Coast Boulevard South	Osgood Wildred E Mrs	
	827 Coast Boulevard South	Phelan Fredk J Jr	
1969-1970	825 Coast Boulevard South	Hendershott Myrl C	
	827 Coast Boulevard South	Phelan Fredk J Jr	
1971	825 Coast Boulevard South	Hendershott Myrl C	

Year	Address	Name	Occupation
	827 Coast Boulevard South	Phelan Fredk J Jr	
1972	825 Coast Boulevard South	Darby J Grant (o)	
	827 Coast Boulevard South	Phelan F James	
1973	825 Coast Boulevard South	Darby J Grant (o)	
	827 Coast Boulevard South	Phelan F James	
1974	825 Coast Boulevard South	Darby J Grant (o)	
	827 Coast Boulevard South	Phelan F James	
1975	825 Coast Boulevard South	Darby J Grant (o)	
	827 Coast Boulevard South	Montejano Yolanda	
1976	825 Coast Boulevard South	Darby J Grant (o)	
	827 Coast Boulevard South	Montejano Yolanda	
1977	825 Coast Boulevard South	Darby J Grant (o)	
	827 Coast Boulevard South	Bennett Warren C	
1978	825 Coast Boulevard South	Darby J Grant (o)	
	827 Coast Boulevard South	Bennett Warren C	
1979	825 Coast Boulevard South	Darby J Grant (o)	
	827 Coast Boulevard South	Montelano Yolanda Mrs	
1980	825 Coast Boulevard South	Vacant	
	827 Coast Boulevard South	Montelano Yolanda Mrs	
1981	Book Not Available		
1982	825 Coast Boulevard South	XXXX	
	827 Coast Boulevard South	Montejano Yolanda	
1983	825 Coast Boulevard South	XXXX	
	827 Coast Boulevard South	Gombert Michael G Laiter Jean D	



Year	Address	Name	Occupation
1984	825 Coast Boulevard South	Vacant	
	827 Coast Boulevard South	Laiter Jean D	
1985	825 Coast Boulevard South	Address Not Listed	
	827 Coast Boulevard South	Gombert Michael G Laiter Jean D	-
1986	825 Coast Boulevard South	Address Not Listed	
	827 Coast Boulevard South	Gombert Michael G Laiter Jean D	-
1987	825 Coast Boulevard South	Address Not Listed	
	827 Coast Boulevard South		
1988	825 Coast Boulevard South		
	827 Coast Boulevard South		
1989	825 Coast Boulevard South	Nazari Mehrad	-
	827 Coast Boulevard South	Howell H	
1990	825 Coast Boulevard South	CA Real Estate Serv Nazari Mehrad	
	827 Coast Boulevard South	Howell H.	
1991	Book Not Available		
1992-1993	825 Coast Boulevard South	Nazari Mehrad Nazari Mehrad	-
	827 Coast Boulevard South	Howell H	
1993	825 Coast Boulevard South	Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	Howell H	
1994	825 Coast Boulevard South	Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	XXXX	
1995-1996	825 Coast Boulevard South	Nazari Mehrad Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	XXXX	
1996-1997	825 Coast Boulevard	Nazari M	

Year	Address	Name	Occupation
	South	Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	XXXX	
1997-1998	825 Coast Boulevard South	Nazari M Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	XXXX	
1998-1999	825 Coast Boulevard South	Nazari M Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	XXXX	
1999-2000	825 Coast Boulevard South	Nazari M Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	XXXX	
2001	825 Coast Boulevard South	Liaghat Shamssi Nazari M Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	Nalbandian Allen	
2002	825 Coast Boulevard South	Nazari M Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	Lapidus Deborah R PhD Resnikoff Roy MD Roy Resnikoff Piano Playing	
2003	825 Coast Boulevard South	Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	Lapidus Deborah R PhD Resnikoff Roy MD Fmly Psychtry Roy Resnikoff Piano Playing	
2004	825 Coast Boulevard South	Nazari Mehrad Nazari Michele	
	827 Coast Boulevard South	Lapidus Deborah R PhD Resnikoff Roy Resnikoff Roy MD Fmly Psychtry Roy Resnikoff Piano Playing	
2005	825 Coast Boulevard South	Nazari Mehrad	
	827 Coast Boulevard South	Lapidus Deborah R PhD Resnikoff Roy Resnikoff Roy MD Fmly Psychtry Roy Resnikoff Piano Playing	

Year	Address	Name	Occupation
2006	825 Coast Boulevard South	Harmony Ranch Nazari Michele	
	827 Coast Boulevard South	Lauvray T	
2007	825 Coast Boulevard South	Nazari Michele	
	827 Coast Boulevard South	Lauvray T	
2008	825 Coast Boulevard South	XXXX	
	827 Coast Boulevard South	Lauvray T	
2009	Book Not Available		
2010	825 Coast Boulevard South	XXXX	
	827 Coast Boulevard South	Lapidus Deborah R PhD Lauvray T	
2011	Book Not Available		
2012	825 Coast Boulevard South	Hebert Michelle Nazari Mehrad	
	827 Coast Boulevard South	Lapidus Deborah R PhD Lauvray T	
2013	Book Not Available		
2014	825 Coast Boulevard South	Nazari Mehrad	
	827 Coast Boulevard South	Lapidus Deborah R PhD Lauvray T Resnikoff Roy Family P MD Roy Rsnkff Pno Plyng For Prts	
2015	825 Coast Boulevard South	Nazari Mehrad	
	827 Coast Boulevard South	Lapidus Deborah R PhD Lauvray T Resnikoff Roy Family P MD Roy Rsnkff Pno Plyng For Prts	
2016	825 Coast Boulevard South	Nazari Mehrad	
	827 Coast Boulevard South	Deborah R. Lapidus PhD Lauvray T Resnikoff Roy Family P MD	
2017	825 Coast Boulevard South	Hebert Michele Nazari Mehrad Weeks Alison Weeks Alison	
	827 Coast Boulevard South	Deborah R. Lapidus PhD Lauvray T Resnikoff Roy	

Year	Address	Name	Occupation
		Resnikoff Roy Family P MD	
2018	825 Coast Boulevard South	Nazari Michele	
	827 Coast Boulevard South	Resnikoff Roy Rivet James R	
2019	Book Not Available		

**Copy of the Deed From Date of Construction  
(Dorothy Cottage [827 Coast Boulevard South])**

*(Could Not Be Located for  
Harriet Cottage [825 Coast Boulevard South])*

4/11/1903  
Deed Book 326, Page 376

J. B. Treat et ux.  
to  
Miss Grace Baillie  
of Monroe, Wisconsin. } We, J. B. Treat and P. G. Treat, his wife

For and in consideration of the sum of Five Hundred and Seventy Five and no/100 Dollars  
DO HEREBY Grant to Miss Grace Baillie, of San Diego, California

All that Real Property, situated in the City of San Diego County of San Diego,  
State of California, bounded and described as follows:

Lots Eight (8) Nine (9) and Ten (10) in Block Fifty Five (55) of a Jolla Park to the City of San Diego as per the official map on file in the Recorder's office of San Diego County State of California

To Have and to Hold the above granted and described premises, unto the said grantee, her heirs and assigns forever,

Witness our hands and seals this Thirty First day of March 1903  
Signed and executed in the presence of  
Com. Summadiis } J. B. Treat  
W. F. Trumbull } P. G. Treat  
STATE OF CALIFORNIA }  
County of San Diego } ss.

On this Thirty first day of March A. D. nineteen hundred and three  
before me, Com. Summadiis a Notary Public in and for said County, residing therein,  
duly commissioned and sworn, personally appeared J. B. Treat & P. G. Treat, his wife  
known to me to be  
the persons whose names are subscribed to the within instrument, and acknowledged to me that they  
executed the same.

In Witness Whereof, I have hereunto set my hand and affixed my official seal, at my office in  
Monroe County of San Diego, State of California, the day and year in this  
certificate first above written.



Com. Summadiis  
Notary Public in and for the County of San Diego, State of California.  
My Commission Expires Oct. 17<sup>th</sup> 1903

Recorded at Request of Grantee. Apr. 11, 1903, at 35 min. past 1 o'clock, P. M.  
Fee, \$ 80<sup>+</sup> By Geo. F. Howard, County Recorder.  
Chas. C. Chappell, Deputy Recorder.

**APPENDIX C**

**Maps**



**Figure 1**

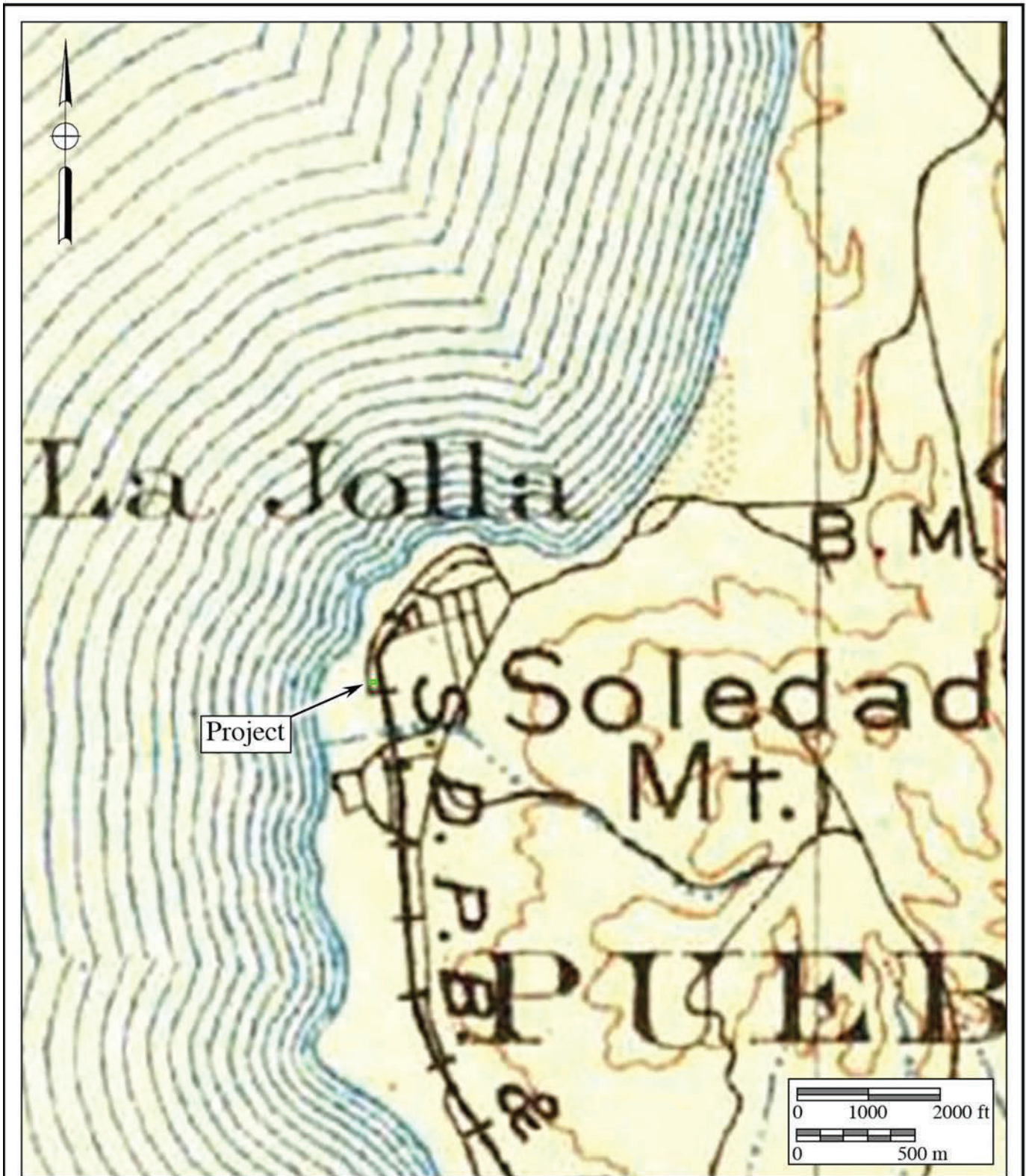
**Project Location Map**

825-827 Coast Boulevard South

Shown on The City of San Diego 1" to 800' Scale Engineering Map







**Figure 2**

**1904 USGS Map**

825-827 Coast Boulevard South

USGS *Southern California* Sheet No. 2 (1:250,000-minute series)





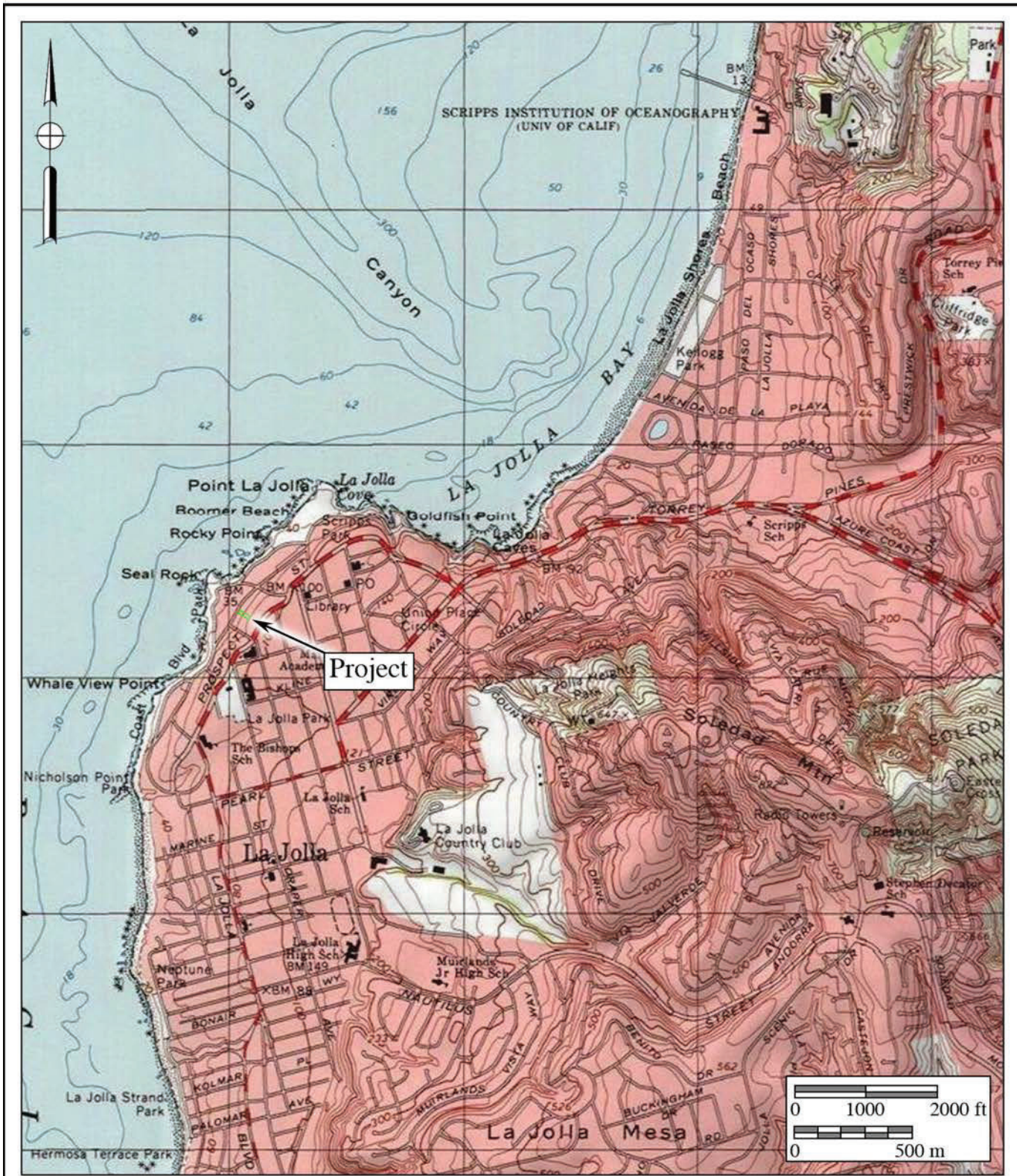
**Figure 3**

**1943 USGS Map**

825-827 Coast Boulevard South

USGS *La Jolla* Sheet Quadrangle (7.5-minute series)





Project

Figure 4

Current USGS Map

825-827 Coast Boulevard South

USGS La Jolla OE W Quadrangle (7.5-minute series)





**Figure 5**

**Original 1887 Subdivision Map With Site Location**

825-827 Coast Boulevard South

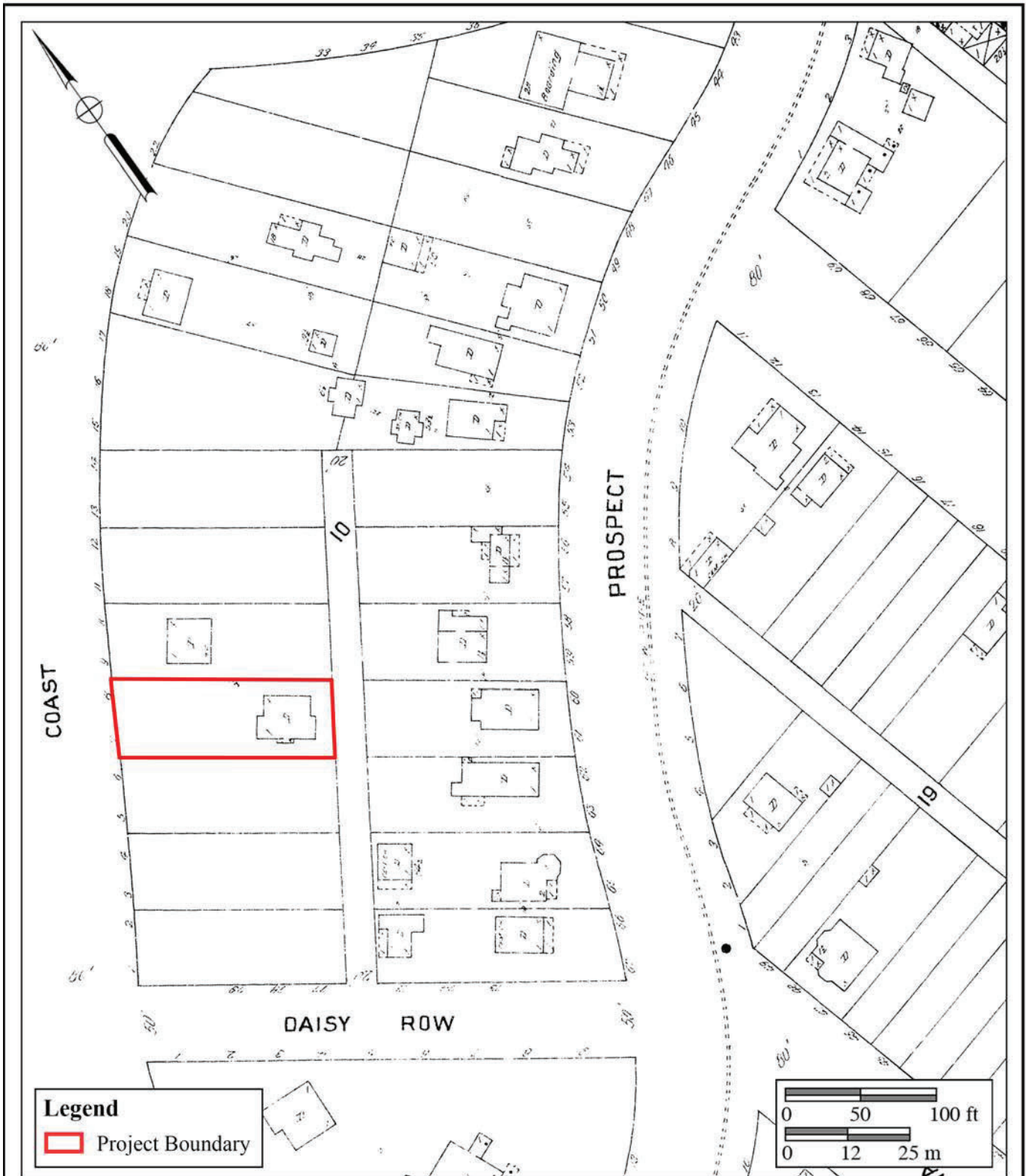


**1886/1887 Sanborn Map**

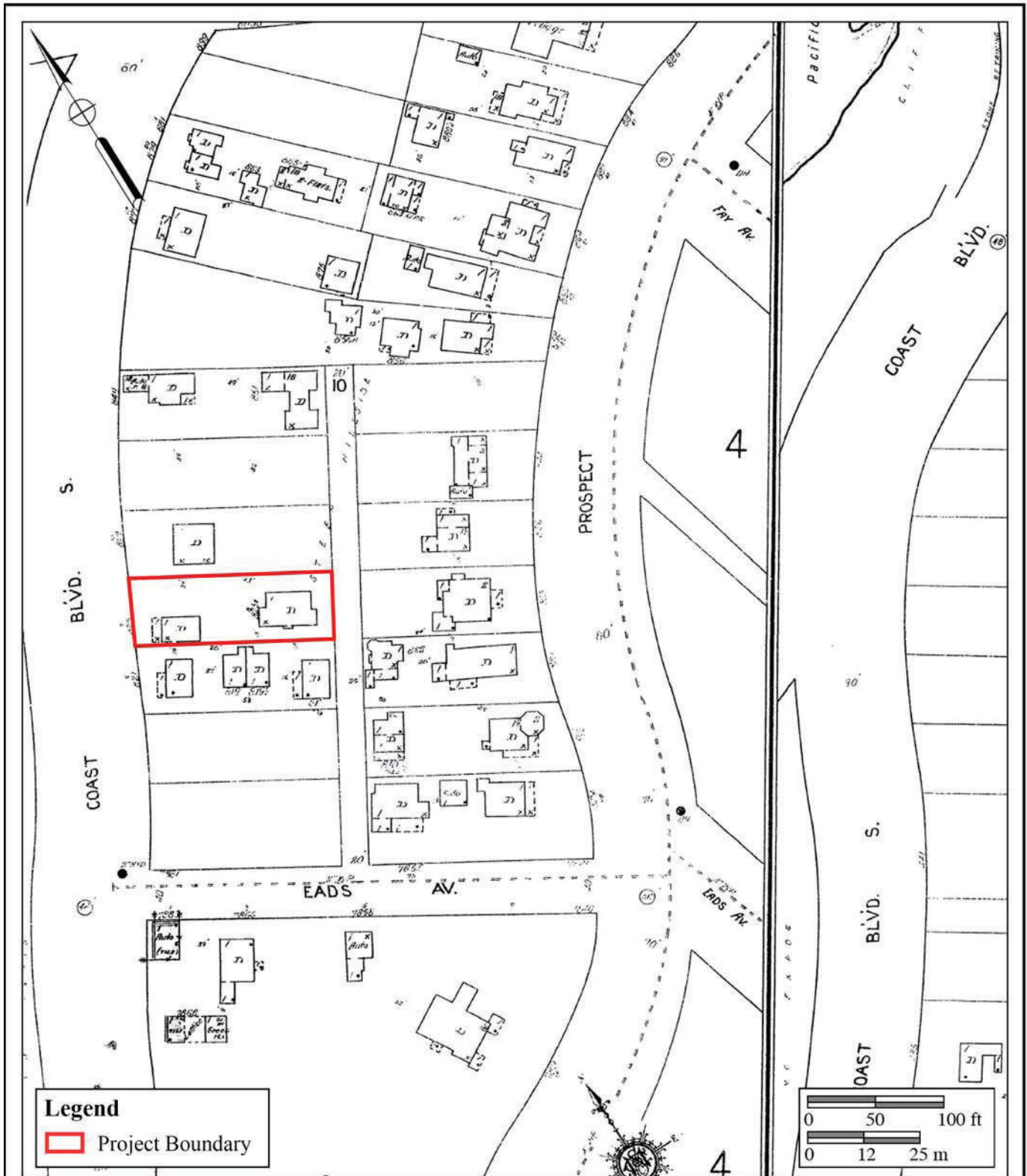
*(Map Not Available)*

**1906 Sanborn Map**

*(Map Not Available)*



**Figure 6**  
**1909 Sanborn Map**  
825-827 Coast Boulevard South



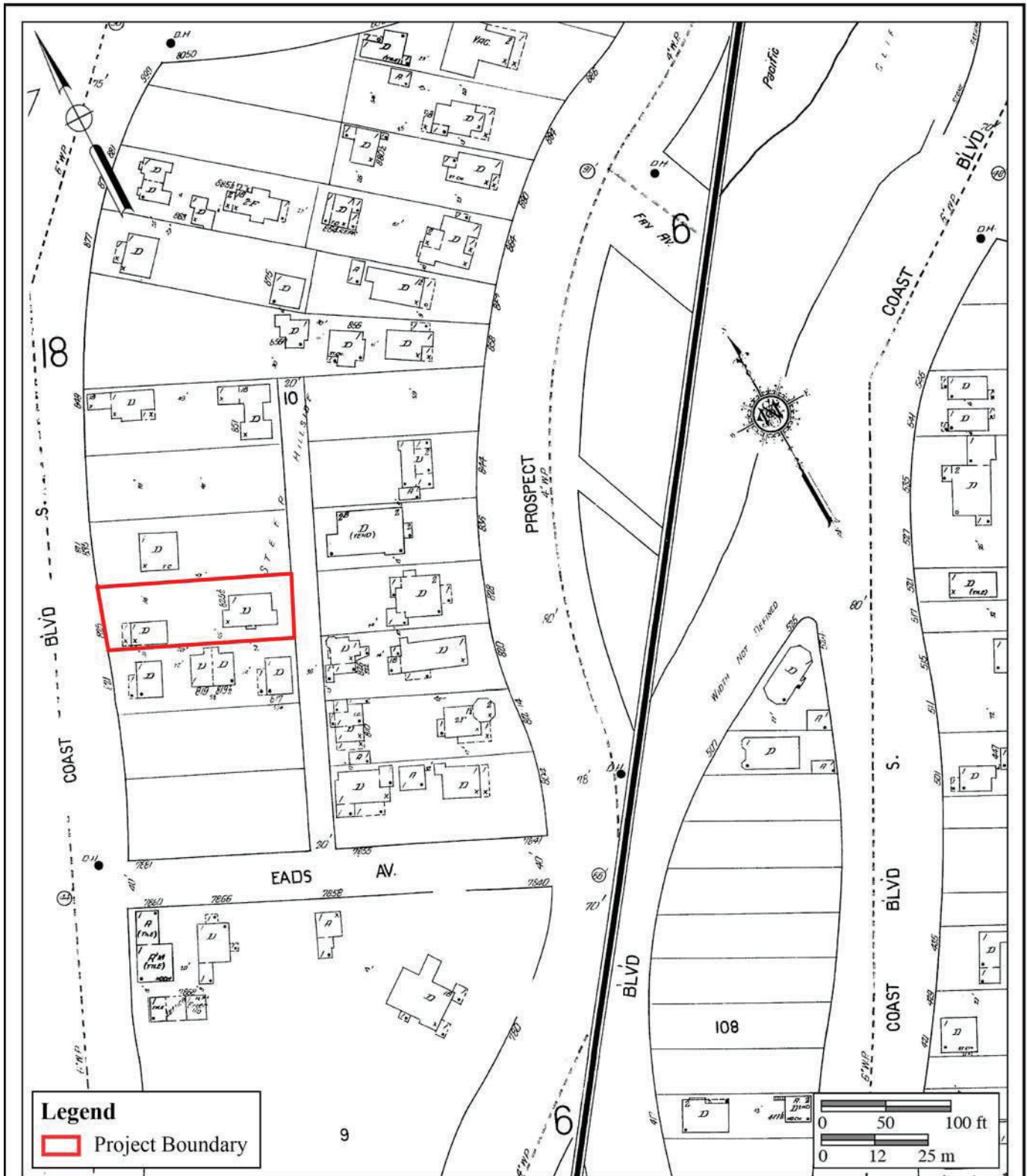
**Legend**  
Project Boundary

0 50 100 ft  
0 12 25 m



**Figure 7**  
**1921 Sanborn Map**  
825-827 Coast Boulevard South

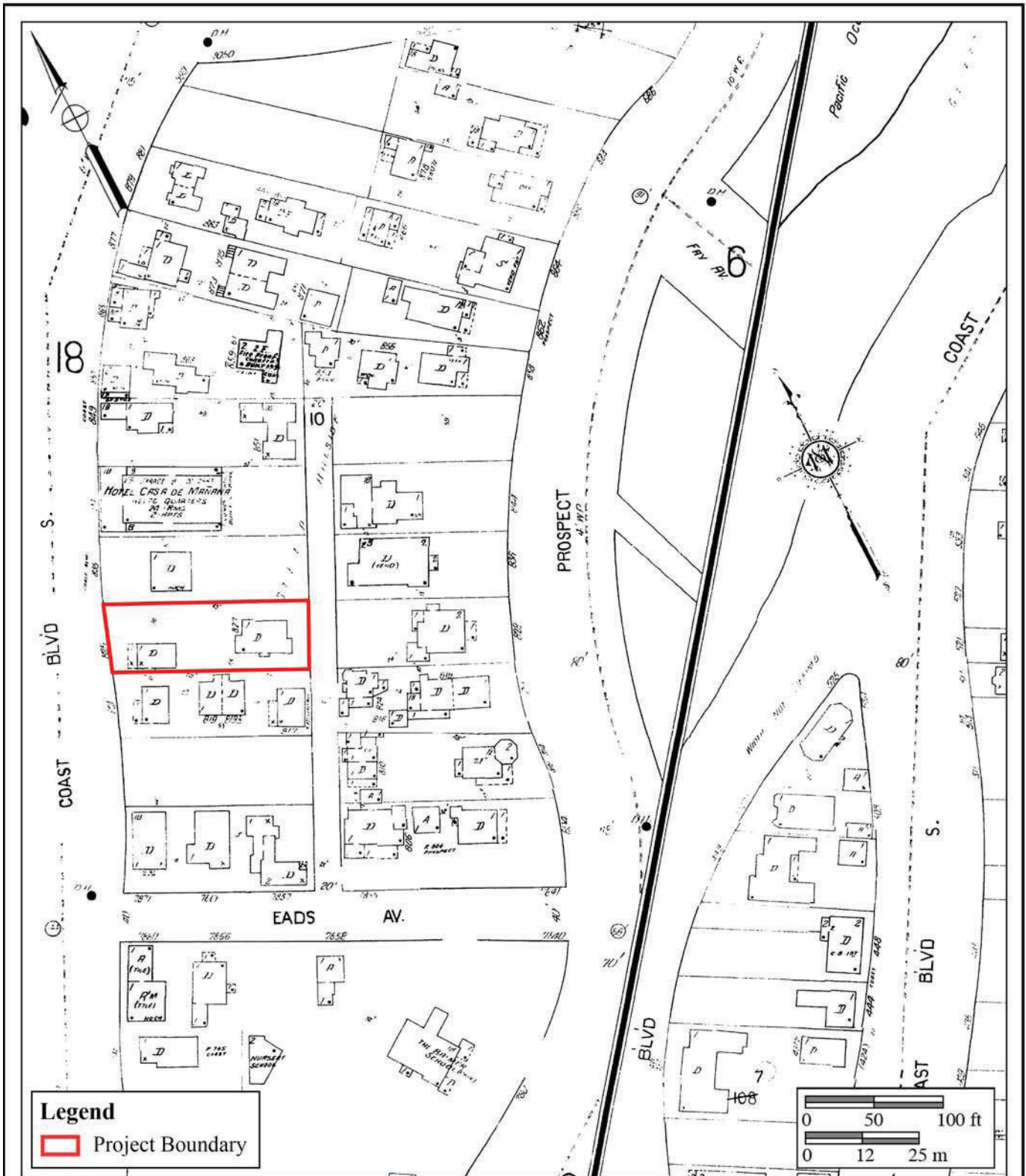




**Figure 8**  
**1926 Sanborn Map**  
825-827 Coast Boulevard South

**1940 Sanborn Map**

*(Map Not Available)*



**Figure 9**  
**1949 Sanborn Map**  
825-827 Coast Boulevard South

**1950 Sanborn Map**

*(Map Not Available)*

**1956 Sanborn Map**

*(Map Not Available)*

**APPENDIX D**

**DPR Forms**

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**PRIMARY RECORD**

Primary #  
HRI #  
Trinomial  
NRHP Status Code 5S1

Other Listings  
Review Code

Reviewer

Date

Page 1 of 3

\*Resource Name or #: Dorothy and Harriet Cottages (HRB #1375)

P1. Other Identifier: 825-827 Coast Boulevard South

\*P2. Location:  Not for Publication  Unrestricted

\*a. County: San Diego

and (P2b and P2c or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad: *Point Loma, California*

Date: 1975 T 16 S R 2 W (projected); M.D. B.M. San Bernardino

c. Address: 825-827 Coast Boulevard South

City: San Diego

Zip: 92037

d. UTM: Zone: mE/ mN (G.P.S.)

e. Other Locational Data: (e.g., parcel #, directions to resource, elevation, etc., as appropriate) The Dorothy and Harriet Cottages are located within Assessor's Parcel Number (APN) 350-070-10 with a legal description that describes the property as "Lot 9 in Block 55 of La Jolla Park, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 352 filed in the office of the recorder of San Diego County, March 22, 1887." The buildings are located at 825 and 827 Coast Boulevard South, northeast of the intersection of Eads Avenue and Coast Boulevard South in the community of La Jolla.

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The 825-827 Coast Boulevard South property contains a one-story, Queen Anne Free Classic-style, La Jolla Beach Cottage at 827 Coast Boulevard South (referred to herein as the Dorothy Cottage) and a one-story, Craftsman-style, La Jolla Beach Cottage at 825 Coast Boulevard South (referred to herein as the Harriet Cottage). The Residential Building Records indicate that the Harriet Cottage was completed in 1921 and the Dorothy Cottage was completed in 1911. However, the Lot Block Book Page for the Dorothy Cottage indicates that the first year with assessed improvements is 1904 and the building is depicted on the 1909 Sanborn Map; as such, the estimated year of construction for the Dorothy Cottage is circa 1904. Howard S.F. Randolph's 1955 book, *La Jolla Year by Year*, which lists many of the "Old Cottages by Streets," identifies both buildings as La Jolla Beach Cottages; however, the Dorothy Cottage is identified as "825 South Coast Boulevard" and the Harriet Cottage as "827 South Coast Boulevard." Both 825 and 827 Coast Boulevard South are not listed together in directories until 1923 and Randolph's address confusion may be due to the fact that the Dorothy Cottage was recorded as 825 Coast Boulevard South on the 1909 Sanborn Map, retaining that address until the Harriet Cottage was constructed in 1921 (as evidenced by the 1921 and 1926 Sanborn maps, which depict the Harriett Cottage at 825 Coast Boulevard South and the Dorothy Cottage at 825 ½ Coast Boulevard South). However, it is clear that the building with a current address of 827 Coast Boulevard South, constructed circa 1904, is the Dorothy Cottage, as newspaper articles from 1915 and 1916 refer to "the Dorothy cottage" in La Jolla (*San Diego Union* 1915a, 1915b, 1916) before the Harriett Cottage was constructed in 1921.

The Dorothy Cottage is located at 827 Coast Boulevard South on the eastern portion of the parcel. It was identified as a Queen Anne Free Classic-style building with a medium-pitched, hipped roof covered in composite shingles. It features a moderate, boxed eave overhang, wide frieze board, and simple cornice-line moulding. The Dorothy Cottage is clad in both wide and narrow, horizontal, Cove siding and narrow, vertical siding. The southern end of the west façade of the building features an enclosed front porch that was added onto the original front porch prior to 1909. The modified front porch is clad in wide, horizontal wood siding and features a shed roof. The windows in the front porch are wood-framed, horizontal-sliding windows. The south façade of the building features a flat-sided bay with a shed roof and two small casement windows. Two shed-roofed additions are located on the east façade, one of which was constructed between 1904 and 1909, with the other being constructed onto the first addition between 1949 and 1952. Fenestration on the building primarily consists of single-hung, wood-framed windows with multiple diamond-shaped lites in the upper window and a single pane in the lower. Other windows consist of wood-framed, diamond-shaped casements.

The Harriet Cottage is located at 825 Coast Boulevard South and currently consists of a front-gabled, single-story, single-family residence with a two-car garage situated beneath the western portion of the west façade. The building is located at the western portion of the parcel, which also contains the Dorothy Cottage (827 Coast Boulevard South). According to the Residential Building Record, the Harriet Cottage was completed in 1921. The building was originally designed as a single-story, Craftsman-style, La Jolla beach cottage with a front-gabled roof and no basement. Modifications made to the building in 1926, as indicated by the Residential Building Record and substantiated with historic photographs, enclosed the original front porch and added a two-car garage below. The building is clad in shingle siding. Fenestration consists of wood-framed casement windows that can be seen in a 1926 photograph of the building. In 1972, a flat-roofed addition was constructed onto the northeast corner of the building.

State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION  
**CONTINUATION SHEET**

Primary #  
HRI #  
Trinomial

Page 2 of 3

\*Resource Name or #: Dorothy and Harriet Cottages (HRB #1375)

\*Recorded by: J.R.K. Stropes and Brian F. Smith

\*Date: 12/11/20

Continuation  Update

P5a. Photo or Drawing



\*P3b. Resource Attributes: (List attributes and codes)

HP2: Single-Family Property

\*P4. Resources Present:  Building  Structure  Object  
 Site  District  Element of District  Other (Isolates, etc.)

\*P5b. Description of Photo: (View, date, accession #)

West façade of the Dorothy Cottage, January 2020

\*P6. Date Constructed/Age and Sources:

Dorothy Cottage circa 1904/Lot Block Book Page

Harriet Cottage 1921/Residential Building Record and Lot and Block Book Page

Historic  Prehistoric  Both

\*P7. Owner and Address:

800 Coast, LLC

c/o Design Line Interiors

1302 Camino Del Mar

Del Mar, California 92014

\*P8. Recorded by: (Name, affiliation, and address)

J.R.K. Stropes and Brian F. Smith

Brian F. Smith and Associates, Inc.

14010 Poway Road, Suite A

Poway, California 92064

\*P9. Date Recorded: 12/11/20

\*P10. Survey Type: (Describe) Historical Resource Technical Report

\*P11. Report Citation: (Cite survey report and other sources, or enter "none") "Historical Resource Technical Report for the Dorothy and Harriet Cottages, 825-827 Coast Boulevard South, La Jolla, California 92037"

\*Attachments:  NONE  Location Map  Sketch Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List):



State of California — The Resources Agency  
DEPARTMENT OF PARKS AND RECREATION

Primary #  
HRI #

## BUILDING, STRUCTURE, AND OBJECT RECORD

Page 3 of 3

\*NRHP Status Code: 5S1

\*Resource Name or #: Dorothy and Harriet Cottages (HRB #1375)

B1. Historic Name: Dorothy Cottage (827 Coast Boulevard South) and Harriet Cottage (825 Coast Boulevard South)

B2. Common Name: N/A

B3. Original Use: Single-family residential

B4. Present Use: Single-family residential

\*B5. **Architectural Style:** Queen Anne Free Classic-style La Jolla Beach Cottage (Dorothy Cottage); Craftsman-style La Jolla Beach Cottage (Harriet Cottage)

\*B6. **Construction History:** (Construction date, alterations, and date of alterations) Dorothy Cottage built circa 1904; enclosed front porch constructed onto the west façade and a rear addition constructed onto the east façade of Dorothy Cottage between 1904 and 1909; Harriet Cottage built in 1921; garage addition with an enclosed front porch above constructed onto the west façade of Harriet Cottage in 1926; addition constructed onto the east façade of the 1904 to 1909 rear addition of Dorothy Cottage between 1949 and 1952; rear porch at the northeast corner enclosed and a rear addition constructed onto the northeast corner of Harriet Cottage in 1972.

\*B7. **Moved?** No Yes Unknown **Date:** N/A **Original Location:** N/A

\*B8. **Related Features:** None

B9a. Architect: Unknown

b. Builder: Unknown/Victor Maler (1926 garage addition to Harriet Cottage)

\*B10. **Significance** **Theme:** La Jolla Beach Cottage **Area:** La Jolla

**Period of Significance:** Circa 1904 to 1930s **Property Type:** Single-family residential **Applicable Criteria:** HRB Criterion A  
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

Brian F. Smith and Associates, Inc. (BFSA) prepared a Historical Resources Research Report for the Dorothy and Harriett Cottages in 2020 to evaluate the 825 and 827 Coast Boulevard South buildings under City of San Diego Historical Resources Board criteria and found both cottages as representative examples of early La Jolla Beach Cottages under City of San Diego Historical Resources Board (HRB) Criterion A (Stropes et al. 2020). As a result, both buildings have been locally designated as HRB #1375. Although previously evaluated as significant resources at the local level under City of San Diego HRB criteria, BFSA prepared a Historical Resources Technical Report (HRTR) to evaluate the cottages to determine if they also constitute significant historic resources under National Register of Historic Places (NRHP) and California Register of Historical Resources (CRHR) criteria. The HRTR determined that while the buildings are eligible for listing on the City of San Diego HRB, neither cottage is eligible for listing on the CRHR or NRHP under any significance criteria.

As the cottages have been evaluated as significant under local criteria, the proposed project, which consists of the relocation of the Dorothy Cottage and the construction of additions to both cottages, will constitute a negative impact to the historic resources. Mitigation measures are recommended prior to the start of the project to reduce the impacts to a level less than significant. It is also recommended that the additions proposed for both cottages be compatible with the original character and use of the historic resources. Adherence to *The Secretary of the Interior's Standards for the Treatment of Historic Properties* for the proposed relocation and additions for the two cottages will enable the buildings to continue to convey their integrity of design, materials, workmanship, feeling, and association as La Jolla Beach cottages, for which they received their designation.

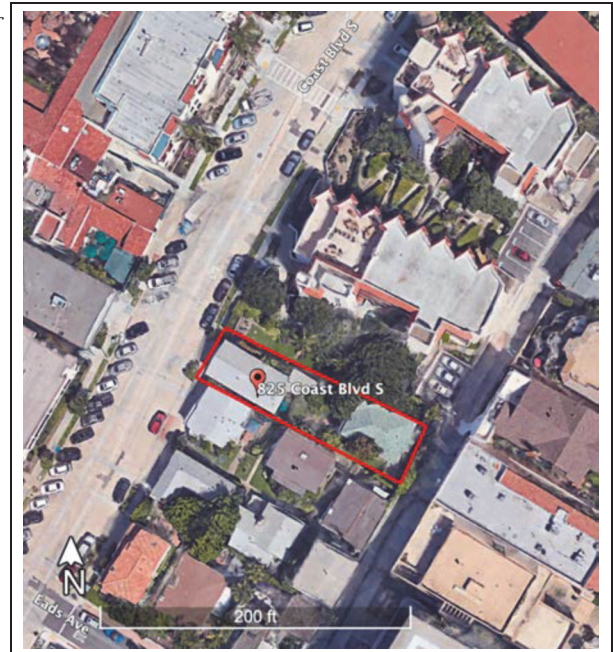
B11. Additional Resource Attributes (List attributes and codes): None

\*B12. **References:** See "Historical Resource Technical Report for the Dorothy and Harriet Cottages, 825-827 Coast Boulevard South, La Jolla, California. 92037"

B13. Remarks: None

\*B14. **Evaluator:** J.R.K. Stropes and Brian F. Smith

\***Date of Evaluation:** 12/15/20



**APPENDIX E**

**Preparers' Qualifications**

# Brian F. Smith, MA

## Owner, Principal Investigator

Brian F. Smith and Associates, Inc.  
 14010 Poway Road • Suite A •  
 Phone: (858) 679-8218 • Fax: (858) 679-9896 • E-Mail: bsmith@bfsa-ca.com



## Education

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<b>Master of Arts, History, University of San Diego, California</b>	<b>1982</b>
<b>Bachelor of Arts, History, and Anthropology, University of San Diego, California</b>	<b>1975</b>

## Professional Memberships

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Society for California Archaeology

## Experience

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<b>Principal Investigator</b> <b>Brian F. Smith and Associates, Inc.</b>	<b>1977–Present</b> <b>Poway, California</b>
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Brian F. Smith is the owner and principal historical and archaeological consultant for Brian F. Smith and Associates. Over the past 32 years, he has conducted over 2,500 cultural resource studies in California, Arizona, Nevada, Montana, and Texas. These studies include every possible aspect of archaeology from literature searches and large-scale surveys to intensive data recovery excavations. Reports prepared by Mr. Smith have been submitted to all facets of local, state, and federal review agencies, including the US Army Corps of Engineers, the Bureau of Land Management, the Bureau of Reclamation, the Department of Defense, and the Department of Homeland Security. In addition, Mr. Smith has conducted studies for utility companies (Sempra Energy) and state highway departments (CalTrans).

## Professional Accomplishments

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These selected major professional accomplishments represent research efforts that have added significantly to the body of knowledge concerning the prehistoric life ways of cultures once present in the Southern California area and historic settlement since the late 18th century. Mr. Smith has been principal investigator on the following select projects, except where noted.

Downtown San Diego Mitigation and Monitoring Reporting Programs: Large numbers of downtown San Diego mitigation and monitoring projects, some of which included Broadway Block (2019), 915 Grape Street (2019), 1919 Pacific Highway (2018), Moxy Hotel (2018), Makers Quarter Block D (2017), Ballpark Village (2017), 460 16<sup>th</sup> Street (2017), Kettner and Ash (2017), Bayside Fire Station (2017), Pinnacle on the Park (2017), IDEA1 (2016), Blue Sky San Diego (2016), Pacific Gate (2016), Pendry Hotel (2015), Cisterra Sempra Office Tower (2014), 15<sup>th</sup> and Island (2014), Park and G (2014), Comm 22 (2014), 7<sup>th</sup> and F Street Parking (2013), Ariel Suites (2013), 13<sup>th</sup> and Marker (2012), Strata (2008), Hotel Indigo (2008), Lofts at 707 10<sup>th</sup> Avenue Project (2007), Breeza (2007), Bayside at the Embarcadero (2007), Aria (2007), Icon (2007), Vantage Pointe (2007), Aperture (2007), Sapphire Tower (2007), Lofts at 655 Sixth Avenue (2007), Metrowork (2007), The Legend (2006), The Mark (2006), Smart Corner (2006), Lofts at 677 7<sup>th</sup> Avenue (2005), Aloft on Cortez Hill (2005), Front and Beech Apartments (2003), Bella Via Condominiums (2003), Acqua Vista Residential Tower (2003), Northblock Lofts (2003), Westin Park Place Hotel (2001), Parkloff

Apartment Complex (2001), Renaissance Park (2001), and Laurel Bay Apartments (2001).

1900 and 1912 Spindrift Drive: An extensive data recovery and mitigation monitoring program at the Spindrift Site, an important prehistoric archaeological habitation site stretching across the La Jolla area. The project resulted in the discovery of over 20,000 artifacts and nearly 100,000 grams of bulk faunal remains and marine shell, indicating a substantial occupation area (2013-2014).

San Diego Airport Development Project: An extensive historic assessment of multiple buildings at the San Diego International Airport and included the preparation of Historic American Buildings Survey documentation to preserve significant elements of the airport prior to demolition (2017-2018).

Citracado Parkway Extension: A still-ongoing project in the city of Escondido to mitigate impacts to an important archaeological occupation site. Various archaeological studies have been conducted by BFSa resulting in the identification of a significant cultural deposit within the project area.

Westin Hotel and Timeshare (Grand Pacific Resorts): Data recovery and mitigation monitoring program in the city of Carlsbad consisted of the excavation of 176 one-square-meter archaeological data recovery units which produced thousands of prehistoric artifacts and ecofacts, and resulted in the preservation of a significant prehistoric habitation site. The artifacts recovered from the site presented important new data about the prehistory of the region and Native American occupation in the area (2017).

The Everly Subdivision Project: Data recovery and mitigation monitoring program in the city of El Cajon resulted in the identification of a significant prehistoric occupation site from both the Late Prehistoric and Archaic Periods, as well as producing historic artifacts that correspond to the use of the property since 1886. The project produced an unprecedented quantity of artifacts in comparison to the area encompassed by the site, but lacked characteristics that typically reflect intense occupation, indicating that the site was used intensively for food processing (2014-2015).

Ballpark Village: A mitigation and monitoring program within three city blocks in the East Village area of San Diego resulting in the discovery of a significant historic deposit. Nearly 5,000 historic artifacts and over 500,000 grams of bulk historic building fragments, food waste, and other materials representing an occupation period between 1880 and 1917 were recovered (2015-2017).

Archaeology at the Padres Ballpark: Involved the analysis of historic resources within a seven-block area of the "East Village" area of San Diego, where occupation spanned a period from the 1870s to the 1940s. Over a period of two years, BFSa recovered over 200,000 artifacts and hundreds of pounds of metal, construction debris, unidentified broken glass, and wood. Collectively, the Ballpark Project and the other downtown mitigation and monitoring projects represent the largest historical archaeological program anywhere in the country in the past decade (2000-2007).

4S Ranch Archaeological and Historical Cultural Resources Study: Data recovery program consisted of the excavation of over 2,000 square meters of archaeological deposits that produced over one million artifacts, containing primarily prehistoric materials. The archaeological program at 4S Ranch is the largest archaeological study ever undertaken in the San Diego County area and has produced data that has exceeded expectations regarding the resolution of long-standing research questions and regional prehistoric settlement patterns.

Charles H. Brown Site: Attracted international attention to the discovery of evidence of the antiquity of man in North America. Site located in Mission Valley, in the city of San Diego.

Del Mar Man Site: Study of the now famous Early Man Site in Del Mar, California, for the San Diego Science Foundation and the San Diego Museum of Man, under the direction of Dr. Spencer Rogers and Dr. James R. Moriarty.

Old Town State Park Projects: Consulting Historical Archaeologist. Projects completed in the Old Town State Park involved development of individual lots for commercial enterprises. The projects completed in Old Town include Archaeological and Historical Site Assessment for the Great Wall Cafe (1992), Archaeological Study for the Old Town Commercial Project (1991), and Cultural Resources Site Survey at the Old San Diego Inn (1988).

Site W-20, Del Mar, California: A two-year-long investigation of a major prehistoric site in the Del Mar area of the city of San Diego. This research effort documented the earliest practice of religious/ceremonial activities in San Diego County (circa 6,000 years ago), facilitated the projection of major non-material aspects of the La Jolla Complex, and revealed the pattern of civilization at this site over a continuous period of 5,000 years. The report for the investigation included over 600 pages, with nearly 500,000 words of text, illustrations, maps, and photographs documenting this major study.

City of San Diego Reclaimed Water Distribution System: A cultural resource study of nearly 400 miles of pipeline in the city and county of San Diego.

Master Environmental Assessment Project, City of Poway: Conducted for the City of Poway to produce a complete inventory of all recorded historic and prehistoric properties within the city. The information was used in conjunction with the City's General Plan Update to produce a map matrix of the city showing areas of high, moderate, and low potential for the presence of cultural resources. The effort also included the development of the City's Cultural Resource Guidelines, which were adopted as City policy.

Draft of the City of Carlsbad Historical and Archaeological Guidelines: Contracted by the City of Carlsbad to produce the draft of the City's historical and archaeological guidelines for use by the Planning Department of the City.

The Mid-Bayfront Project for the City of Chula Vista: Involved a large expanse of undeveloped agricultural land situated between the railroad and San Diego Bay in the northwestern portion of the city. The study included the analysis of some potentially historic features and numerous prehistoric

Cultural Resources Survey and Test of Sites Within the Proposed Development of the Audie Murphy Ranch, Riverside County, California: Project manager/director of the investigation of 1,113.4 acres and 43 sites, both prehistoric and historic—including project coordination; direction of field crews; evaluation of sites for significance based on County of Riverside and CEQA guidelines; assessment of cupule, pictograph, and rock shelter sites, co-authoring of cultural resources project report. February- September 2002.

Cultural Resources Evaluation of Sites Within the Proposed Development of the Otay Ranch Village 13 Project, San Diego County, California: Project manager/director of the investigation of 1,947 acres and 76 sites, both prehistoric and historic—including project coordination and budgeting; direction of field crews; assessment of sites for significance based on County of San Diego and CEQA guidelines; co-authoring of cultural resources project report. May-November 2002.

Cultural Resources Survey for the Remote Video Surveillance Project, El Centro Sector, Imperial County: Project manager/director for a survey of 29 individual sites near the U.S./Mexico Border for proposed video surveillance camera locations associated with the San Diego Border barrier Project—project coordination and budgeting; direction of field crews; site identification and recordation; assessment of potential impacts to cultural resources; meeting and coordinating with U.S. Army Corps of Engineers, U.S. Border Patrol, and other government agencies involved; co-authoring of cultural resources project report. January, February, and July 2002.

Cultural Resources Survey and Test of Sites Within the Proposed Development of the Menifee West GPA, Riverside County, California: Project manager/director of the investigation of nine sites, both prehistoric and historic—including project coordination and budgeting; direction of field crews; assessment of sites

for significance based on County of Riverside and CEQA guidelines; historic research; co-authoring of cultural resources project report. January-March 2002.

Cultural Resources Survey and Test of Sites Within the Proposed French Valley Specific Plan/EIR, Riverside County, California: Project manager/director of the investigation of two prehistoric and three historic sites—included project coordination and budgeting; survey of project area; Native American consultation; direction of field crews; assessment of sites for significance based on CEQA guidelines; cultural resources project report in prep. July-August 2000.

Cultural Resources Survey and Test of Sites Within the Proposed Development of the Menifee Ranch, Riverside County, California: Project manager/director of the investigation of one prehistoric and five historic sites—included project coordination and budgeting; direction of field crews; feature recordation; historic structure assessments; assessment of sites for significance based on CEQA guidelines; historic research; co-authoring of cultural resources project report. February-June 2000.

Salvage Mitigation of a Portion of the San Diego Presidio Identified During Water Pipe Construction for the City of San Diego, California: Project archaeologist/director—included direction of field crews; development and completion of data recovery program; management of artifact collections cataloging and curation; data synthesis and authoring of cultural resources project report in prep. April 2000.

Enhanced Cultural Resource Survey and Evaluation for the Tyrian 3 Project, La Jolla, California: Project manager/director of the investigation of a single-dwelling parcel—included project coordination; assessment of parcel for potentially buried cultural deposits; authoring of cultural resources project report. April 2000.

Enhanced Cultural Resource Survey and Evaluation for the Lamont 5 Project, Pacific Beach, California: Project manager/director of the investigation of a single-dwelling parcel—included project coordination; assessment of parcel for potentially buried cultural deposits; authoring of cultural resources project report. April 2000.

Enhanced Cultural Resource Survey and Evaluation for the Reiss Residence Project, La Jolla, California: Project manager/director of the investigation of a single-dwelling parcel—included project coordination; assessment of parcel for potentially buried cultural deposits; authoring of cultural resources project report. March-April 2000.

Salvage Mitigation of a Portion of Site SDM-W-95 (CA-SDI-211) for the Poinsettia Shores Santalina Development Project and Caltrans, Carlsbad, California: Project archaeologist/ director—included direction of field crews; development and completion of data recovery program; management of artifact collections cataloging and curation; data synthesis and authoring of cultural resources project report in prep. December 1999-January 2000.

Survey and Testing of Two Prehistoric Cultural Resources for the Airway Truck Parking Project, Otay Mesa, California: Project archaeologist/director—included direction of field crews; development and completion of testing recovery program; assessment of site for significance based on CEQA guidelines; authoring of cultural resources project report, in prep. December 1999-January 2000.

Cultural Resources Phase I and II Investigations for the Tin Can Hill Segment of the Immigration and Naturalization Services Triple Fence Project Along the International Border, San Diego County, California: Project manager/director for a survey and testing of a prehistoric quarry site along the border—NRHP eligibility assessment; project coordination and budgeting; direction of field crews; feature recordation; meeting and coordinating with U.S. Army Corps of Engineers; co-authoring of cultural resources project report. December 1999-January 2000.

Mitigation of a Prehistoric Cultural Resource for the Westview High School Project for the City of San Diego, California: Project archaeologist/ director—included direction of field crews; development and completion of data recovery program including collection of material for specialized faunal and botanical analyses; assessment of sites for significance based on CEQA guidelines; management of artifact collections cataloging and curation; data synthesis; co-authoring of cultural resources project report, in prep. October 1999-January 2000.

Mitigation of a Prehistoric Cultural Resource for the Otay Ranch SPA-One West Project for the City of Chula Vista, California: Project archaeologist/director—included direction of field crews; development of data recovery program; management of artifact collections cataloging and curation; assessment of site for significance based on CEQA guidelines; data synthesis; authoring of cultural resources project report, in prep. September 1999-January 2000.

Monitoring of Grading for the Herschel Place Project, La Jolla, California: Project archaeologist/ monitor— included monitoring of grading activities associated with the development of a single- dwelling parcel. September 1999.

Survey and Testing of a Historic Resource for the Osterkamp Development Project, Valley Center, California: Project archaeologist/ director—included direction of field crews; development and completion of data recovery program; budget development; assessment of site for significance based on CEQA guidelines; management of artifact collections cataloging and curation; data synthesis; authoring of cultural resources project report. July-August 1999.

Survey and Testing of a Prehistoric Cultural Resource for the Proposed College Boulevard Alignment Project, Carlsbad, California: Project manager/director —included direction of field crews; development and completion of testing recovery program; assessment of site for significance based on CEQA guidelines; management of artifact collections cataloging and curation; data synthesis; authoring of cultural resources project report, in prep. July-August 1999.

Survey and Evaluation of Cultural Resources for the Palomar Christian Conference Center Project, Palomar Mountain, California: Project archaeologist—included direction of field crews; assessment of sites for significance based on CEQA guidelines; management of artifact collections cataloging and curation; data synthesis; authoring of cultural resources project report. July-August 1999.

Survey and Evaluation of Cultural Resources at the Village 2 High School Site, Otay Ranch, City of Chula Vista, California: Project manager/director —management of artifact collections cataloging and curation; assessment of site for significance based on CEQA guidelines; data synthesis; authoring of cultural resources project report. July 1999.

Cultural Resources Phase I, II, and III Investigations for the Immigration and Naturalization Services Triple Fence Project Along the International Border, San Diego County, California: Project manager/director for the survey, testing, and mitigation of sites along border—supervision of multiple field crews, NRHP eligibility assessments, Native American consultation, contribution to Environmental Assessment document, lithic and marine shell analysis, authoring of cultural resources project report. August 1997- January 2000.

Phase I, II, and III Investigations for the Scripps Poway Parkway East Project, Poway California: Project archaeologist/project director—included recordation and assessment of multicomponent prehistoric and historic sites; direction of Phase II and III investigations; direction of laboratory analyses including prehistoric and historic collections; curation of collections; data synthesis; coauthorship of final cultural resources report. February 1994; March-September 1994; September-December 1995.

## Jennifer R.K. Stropes, MS, RPA

Senior Archaeologist/Historian/Faunal Analyst

Brian F. Smith and Associates, Inc.

14010 Poway Road • Suite A •

Phone: (858) 484-0915 • Fax: (858) 679-9896 • E-Mail: jenni@bfsa-ca.com



### Education

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**Master of Science, Cultural Resource Management Archaeology** **2016**

St. Cloud State University, St. Cloud, Minnesota

**Bachelor of Arts, Anthropology** **2004**

University of California, Santa Cruz

### Specialized Education/Training

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**Archaeological Field School** **2014**

Pimu Catalina Island Archaeology Project

### Research Interests

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California Coastal / Inland Archaeology

Zooarchaeology

Historic Structure Significance Eligibility

Historical Archaeology

Human Behavioral Ecology

Taphonomic Studies

### Experience

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**Senior Archaeologist/Historian/Faunal Analyst**

**November 2006–Present**

**Brian F. Smith and Associates, Inc.**

Writing, editing, and producing cultural resource reports for both California Environmental Quality Act and National Environmental Policy Act compliance; recording and evaluating historic resources, including historic structure significance eligibility evaluations, Historical Resource Research Reports, Historical Resource Technical Reports, and Historic American Buildings Survey/Historic American Engineering Record preparation; faunal, prehistoric, and historic laboratory analysis; construction monitoring management; coordinating field surveys and excavations; and laboratory management.

**UC Santa Cruz Monterey Bay Archaeology Archives Supervisor**  
**Santa Cruz, California**

**December 2003–March 2004**

Supervising intern for archaeological collections housed at UC Santa Cruz. Supervised undergraduate interns and maintained curated archaeological materials recovered from the greater Monterey Bay region.



**Faunal Analyst, Research Assistant**  
**University of California, Santa Cruz**

**June 2003–December 2003**

Intern assisting in laboratory analysis and cataloging for faunal remains collected from CA-MNT-234. Analysis included detailed zoological identification and taphonomic analysis of prehistoric marine and terrestrial mammals, birds, and fish inhabiting the greater Monterey Bay region.

**Archaeological Technician, Office Manager**  
**Archaeological Resource Management**

**January 2000–December 2001**

Conducted construction monitoring, field survey, excavation, report editing, report production, monitoring coordination and office management.

## Certifications

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City of San Diego Certified Archaeological and Paleontological Monitor

40-Hour Hazardous Waste/Emergency Response OSHA 29 CFR 1910.120 (e)

## Scholarly Works

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*Big Game, Small Game: A Comprehensive Analysis of Faunal Remains Recovered from CA-SDI-11,521*, 2016, Master's thesis on file at St. Cloud University, St. Cloud, Minnesota.

## Technical Reports

---

Kraft, Jennifer R.

2012 *Cultural Resources Monitoring Report for the Pottery Court Project (TPM 36193) City of Lake Elsinore*. Prepared for BRIDGE Housing Corporation. Report on file at the California Eastern Information Center.

Kraft, Jennifer R. and Brian F. Smith

2016 *Cultural Resources Survey and Archaeological Test Plan for the 1492 K Street Project City of San Diego*. Prepared for Trestle Development, LLC. Report on file at the California South Coastal Information Center.

2016 *Focused Historic Structure Assessment for the Fredericka Manor Retirement Community City of Chula Vista, San Diego County, California APN 566-240-27*. Prepared for Front Porch Communities and Services – Fredericka Manor, LLC. Report on file at the City of Chula Vista Planning Department.

2016 *Historic Structure Assessment for 8585 La Mesa Boulevard City of La Mesa, San Diego County, California. APN 494-300-11*. Prepared for Silvergate Development. Report on file at the City of La Mesa Planning Department.

- 2016 *Phase I Cultural Resource Survey for the 9036 La Jolla Shores Lane Project City of San Diego Project No. 471873 APN 344-030-20.* Prepared for Eliza and Stuart Stedman. Report on file at the California South Coastal Information Center.
- 2016 *Phase I Cultural Resources Survey for the Beacon Apartments Project City of San Diego Civic San Diego Development Permit #2016-19 APN 534-210-12.* Prepared for Wakeland Housing & Development Corporation. Report on file at the California South Coastal Information Center.
- 2016 *A Phase I Cultural Resources Study for the State/Columbia/Ash/A Block Project San Diego, California.* Prepared for Bomel San Diego Equities, LLC. Report on file at the California South Coastal Information Center.
- 2015 *Cultural Resource Monitoring Report for the Sewer and Water Group 687B Project, City of San Diego.* Prepared for Ortiz Corporation. Report on file at the California South Coastal Information Center.
- 2015 *Cultural Resource Testing Results for the Broadway and Pacific Project, City of San Diego.* Prepared for BOSA Development California, Inc. Report on file at the California South Coastal Information Center.
- 2015 *Historic Structure Assessment for the StorQuest Project, City of La Mesa, (APN 494-101-14-00).* Prepared for Real Estate Development and Entitlement. Report on file at the City of La Mesa.
- 2015 *Mitigation Monitoring Report for the 1905 Spindrift Remodel Project, La Jolla, California.* Prepared for Brian Malk and Nancy Heitel. Report on file at the California South Coastal Information Center.
- 2015 *Mitigation Monitoring Report for the Cisterra Semptra Office Tower Project, City of San Diego.* Prepared for SDG-Left Field, LLC. Report on file at the California South Coastal Information Center.
- 2015 *Results of a Cultural Resources Testing Program for the 15<sup>th</sup> and Island Project City of San Diego.* Prepared for Lennar Multifamily Communities. Report on file at the City of San Diego Development Services Department.
- 2014 *Cultural Resource Monitoring Report for the Cesar Chavez Community College Project.* Prepared for San Diego Community College District. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Grantville Trunk Sewer Project, City of San Diego.* Prepared for Cass Construction, Inc. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Pacific Beach Row Homes Project, San Diego, California.* Prepared for Armstrong Builders, Inc. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Sewer and Water Group 761 Project, City of San Diego.* Prepared for Burtech Pipeline. Report on file at the California South Coastal Information Center.
- 2014 *Cultural Resource Monitoring Report for the Sewer and Water Group 770 Project (Part of Group*

- 3014), *City of San Diego*. Prepared for Ortiz Corporation. Report on file at the California South Coastal Information Center.
- 2014 *Historic Structure Assessment, 11950 El Hermano Road, Riverside County*. Prepared for Forestar Toscana, LLC. Report on file at the California Eastern Information Center.
- 2014 *Historic Structure Assessment, 161 West San Ysidro Boulevard, San Diego, California (Project No. 342196; APN 666-030-09)*. Prepared for Blue Key Realty. Report on file at the California South Coastal Information Center.
- 2014 *Historic Structure Assessment for 8055 La Mesa Boulevard, City of La Mesa (APN 470-582-11-00)*. Prepared for Lee Machado. Report on file at the City of La Mesa.
- 2014 *Historic Structure Inventory and Assessment Program for the Watson Corporate Center, San Bernardino County, California*. Prepared for Watson Land Company. Report on file at the San Bernardino Archaeological Information Center.
- 2014 *Mitigation Monitoring Report for the Celadon (9<sup>th</sup> and Broadway) Project*. Prepared for BRIDGE Housing Corporation. Report on file at the California South Coastal Information Center.
- 2014 *Mitigation Monitoring Report for the Comm 22 Project, City of San Diego*. Prepared for BRIDGE Housing Corporation. Report on file at the California South Coastal Information Center.
- 2014 *Mitigation Monitoring Report for the Pinnacle 15<sup>th</sup> & Island Project, City of San Diego*. Prepared for Pinnacle International Development, Inc. Report on file at the California South Coastal Information Center.
- 2014 *Phase I Cultural Resource Study for the Altman Residence Project, 9696 La Jolla Farms Road, La Jolla, California 92037*. Prepared for Steve Altman. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Alvarado Trunk Sewer Phase III Project, City of San Diego*. Prepared for Ortiz Corporation General Engineering Contractors. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Alvarado Trunk Sewer Phase IIIA Project, City of San Diego*. Prepared for TC Construction, Inc. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the F Street Emergency Water Main Replacement Project, City of San Diego*. Prepared for Orion Construction. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Harbor Drive Trunk Sewer Project, City of San Diego*. Prepared for Burtech Pipeline. Report on file at the California South Coastal Information Center.
- 2013 *Cultural Resource Monitoring Report for the Old Town Community Church Project, 2444 Congress Street, San Diego, California 92110*. Prepared for Soltek Pacific, Inc. Report on file at the California South Coastal Information Center.
- 2013 *Historic Structure Assessment, 2603 Dove Street, San Diego, California (APN) 452-674-32)*.

Prepared for Barzal and Scotti Real Estate Corporation. Report on file at the California South Coastal Information Center.

- 2013 *Historic Structure Assessment at the Western Christian School, 3105 Padua Avenue, Claremont, California 91711 (APN 8671-005-053).* Prepared for Western Christian School. Report on file at the City of Claremont.
- 2013 *Mitigation Monitoring Report for the 7th and F Street Parking Project, City of San Diego.* Prepared for DZI Construction. Report on file at the California South Coastal Information Center.
- 2013 *Mitigation Monitoring Report for the 1919 Spindrift Drive Project.* Prepared for V.J. and Uma Joshi. Report on file at the California South Coastal Information Center.

**Smith, Brian F. and Jennifer R. Kraft**

- 2016 *Historical Resource Research Report for the 2314 Rue Adriane Building, San Diego, California Project No. 460562.* Prepared for the Brown Studio. Report on file at the City of San Diego Development Services Department.
- 2016 *Historical Resource Research Report for the 4921 Voltaire Street Building, San Diego, California Project No. 471161.* Prepared for Sean Gogarty. Report on file at the City of San Diego Development Services Department.
- 2016 *Historical Resource Research Report for the 5147 Hilltop Drive Building, San Diego, California Project No. 451707.* Prepared for JORGA Home Design. Report on file at the City of San Diego Development Services Department.
- 2016 *Historical Resource Research Report for the Midway Drive Postal Service Processing and Distribution Center 2535 Midway Drive San Diego, California 92138 Project No. 507152.* Prepared for Steelwave, LLC. Report on file at the City of San Diego Development Services Department.
- 2016 *Historic Resource Technical Report for 9036 La Jolla Shores Lane La Jolla, California Project No. 471873.* Prepared for Eliza and Stuart Stedman. Report on file at the City of San Diego Development Services Department.
- 2015 *Cultural Resource Mitigation Monitoring Program for the Urban Discovery Academy Project.* Prepared for Davis Reed Construction, Inc. Report on file at the City of San Diego Development Services Department.
- 2015 *Cultural Resource Survey and Archaeological Test Plan for the 520 West Ash Street Project, City of San Diego.* Prepared for Lennar Multifamily Communities. Report on file at the City of San Diego Development Services Department.
- 2015 *Cultural Resource Survey and Archaeological Test Plan for the 1919 Pacific Highway Project City of San Diego City Preliminary Review PTS #451689 Grading and Shoring PTS #465292.* Prepared for Wood Partners. Report on file at the City of San Diego Development Services Department.
- 2015 *Historical Resource Research Report for 16929 West Bernardo Drive, San Diego, California.* Prepared for Rancho Bernardo LHP, LLC. Report on file at the City of San Diego Development Services Department.
- 2015 *Historical Resource Research Report for the 2002-2004 El Cajon Boulevard Building, San Diego,*

*California 92014.* Prepared for T.R. Hale, LLC. Report on file at the California South Coastal Information Center.

2015 *Historical Resource Research Report for the 4319-4321 Florida Street Building, San Diego, California 92104.* Prepared for T.R. Hale, LLC. Report on file at the California South Coastal Information Center.

2015 *Historic Resource Technical Report for 726 Jersey Court San Diego, California Project No. 455127.* Prepared for Chad Irwin. Report on file at the California South Coastal Information Center.

2015 *Islenair Historic Sidewalk Stamp Program for Sewer and Water Group 3014, City of San Diego.* Prepared for Ortiz Corporation. Report on file at the California South Coastal Information Center.

2014 *Historical Resource Research Report for 2850 Sixth Avenue, San Diego, California (Project No. 392445).* Prepared for Zephyr Partners – RE, LLC. Report on file at the City of San Diego Development Services Department.

Smith, Brian F., Tracy A. Stropes, Tracy M. Buday, and Jennifer R. **Kraft**

2015 *Mitigation Monitoring and Reporting Program for the 1900 Spindrift Drive – Cabana and Landscape Improvements Project, La Jolla, California.* Prepared for Darwin Deason. Report on file at the California South Coastal Information Center.

2015 *Mitigation Monitoring and Reporting Program for the 1912 Spindrift Drive – Landscape Improvements Project, La Jolla, California.* Prepared for Darwin Deason. Report on file at the California South Coastal Information Center.

Stropes, J.R.K. and Brian F. Smith

2020 *Historical Resource Research Report for the 4143 Park Boulevard Building, San Diego, California 92103.* Prepared for Bernardini Investments, LLC. Report on file at the City of San Diego.

2020 *Historical Resource Research Report for the 6375 Avenida Cresta Building, San Diego, California 92037.* Prepared for Jeffrey and Anne Blackburn. Report on file at the City of San Diego.

2019 *Mitigation Monitoring Report for the 915 Grape Street Project, City of San Diego. Prepared for Bayview SD, LLC.* Report on file at the City of San Diego Development Services Department.

2019 *Cultural Resources Survey Report for the Grove Residences Project, Rancho Santa Fe, San Diego County, California.* Prepared for Beach City Builders, Inc. Report on file at the County of San Diego.

2019 *Historical Resource Analysis Report for the 169 and 171 Fifth Avenue Buildings, City of Chula Vista, San Diego County, California.* Prepared for Turner Impact Capital. Report on file at the City of Chula Vista.

2019 *Historic Structure Assessment for the 1409 South El Camino Real Building, San Clemente, California.* Prepared for Shoreline Dental Studio. Report on file at the City of San Clemente.

2019 *Historical Resource Research Report for the 212 West Hawthorn Street Building, San Diego, California 92101.* Prepared for Jacob Schwartz. Report on file at the City of San Diego.

- 2019 *Historical Resource Research Report for the 1142-1142 ½ Prospect Street Building, San Diego, California 92037.* Prepared for LLJ Ventures. Report on file at the City of San Diego.
- 2019 *Historical Resource Research Report for the 3000-3016 University Avenue/3901-3915 30<sup>th</sup> Street Building, San Diego, California 92037.* Prepared for Cirque Hospitality. Report on file at the City of San Diego.
- 2019 *Historic Structure Assessment for the 125 Mozart Avenue Building, Cardiff, California.* Prepared for Brett Farrow. Report on file at the City of Encinitas.
- 2019 *Cultural Resources Study for the Fontana Santa Ana Industrial Center Project, City of Fontana, San Bernardino County, California.* Prepared for T&B Planning, Inc. Report on file at the California South Central Coastal Information Center.
- 2019 *Historical Resource Technical Report for 817-821 Coast Boulevard South, La Jolla, California.* Prepared for Design Line Interiors. Report on file at the City of San Diego.
- 2019 *Historical Resource Research Report for the 3829 Texas Street Building, San Diego, California 92014.* Prepared for Blue Centurion Homes. Report on file at the California South Coastal Information Center.
- 2018 *Historical Resource Research Report for the 3925-3927 Illinois Street Building, San Diego, California 92104.* Prepared for Park Pacifica, LLC. Report on file at the City of San Diego.

#### **Contributing Author /Analyst**

- 2015 Faunal Analysis and Report Section for *Cultural Resource Data Recovery and Mitigation Monitoring Program for Site SDI-10,237 Locus F, Everly Subdivision Project, El Cajon, California* by Tracy A. Stropes and Brian F. Smith. Prepared for Shea Homes. Report on file at the California South Coastal Information Center.
- 2011 Faunal Analysis and Report Section for *A Cultural Resource Data Recovery Program for SDI-4606 Locus B for St. Gabriel's Catholic Church, Poway, California* by Brian F. Smith and Tracy A. Stropes. Prepared for St. Gabriel's Catholic Church. Report on file at the California South Coastal Information Center.
- 2010 Faunal Analysis and Report Section for *An Archaeological Study for the 1912 Spindrift Drive Project, La Jolla, California* by Brian F. Smith and Tracy A. Stropes. Prepared for Island Architects. Report on file at the California South Coastal Information Center.
- 2010 Faunal Analysis and Report Section for *Results of a Cultural Mitigation and Monitoring Program for Robertson Ranch: Archaic and Late Prehistoric Camps near the Agua Hedionda Lagoon* by Brian F. Smith. Prepared for McMillan Land Development. Report on file at the California South Coastal Information Center.
- 2009 Faunal Identification for "An Earlier Extirpation of Fur Seals in the Monterey Bay Region: Recent Findings and Social Implications" by Diane Gifford-Gonzalez and Charlotte K. Sunseri. *Proceedings of the Society for California Archaeology, Vol. 21, 2009*



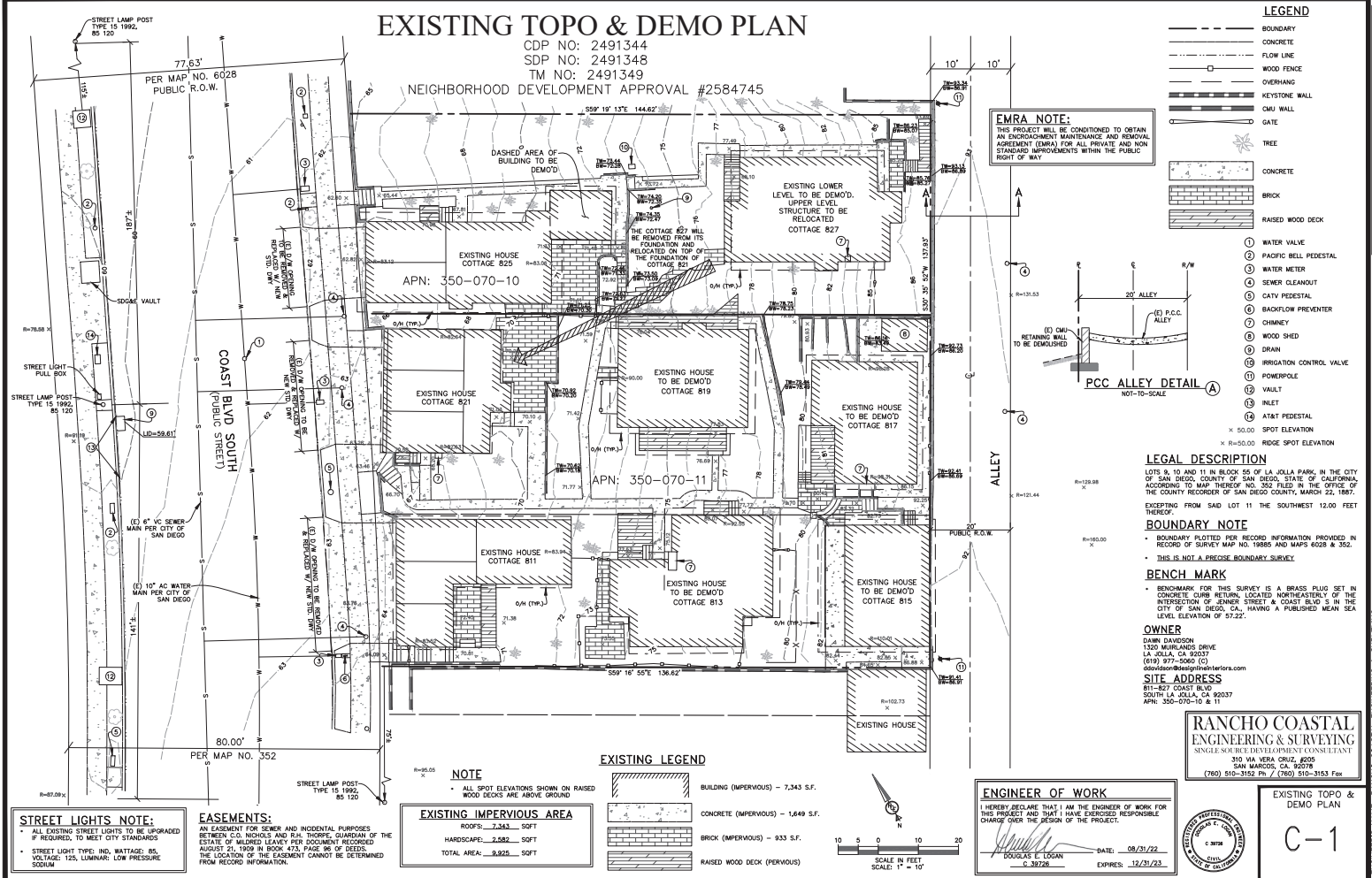
# EXISTING TOPO & DEMO PLAN

CDP NO: 2491344

SDP NO: 2491348

TM NO: 2491349

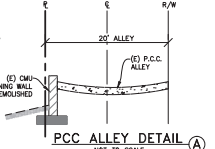
NEIGHBORHOOD DEVELOPMENT APPROVAL #2584745



### LEGEND

- BOUNDARY
  - CONCRETE
  - FLOW LINE
  - WOOD FENCE
  - OVERHANG
  - KEYSTONE WALL
  - CMU WALL
  - GATE
  - TREE
  - CONCRETE
  - BRICK
  - RAISED WOOD DECK
- ① WATER VALVE
  - ② PACIFIC BELL PEDESTAL
  - ③ WATER METER
  - ④ SEWER CLEANOUT
  - ⑤ CATV PEDESTAL
  - ⑥ BACKFLOW PREVENTER
  - ⑦ CHIMNEY
  - ⑧ WOOD SHED
  - ⑨ DRAIN
  - ⑩ IRRIGATION CONTROL VALVE
  - ⑪ POWDERPOLE
  - ⑫ INLET
  - ⑬ VALVE
  - ⑭ AT&T PEDESTAL
  - ⑮ SPOT ELEVATION
  - ⑯ RIDGE SPOT ELEVATION

**EMRA NOTE:**  
THIS PROJECT WILL BE CONDITIONED TO OBTAIN AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) FOR ALL PRIVATE AND NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY



### LEGAL DESCRIPTION

LOTS 9, 10 AND 11 IN BLOCK 55 OF LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 352 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 22, 1987.

### BOUNDARY NOTE

BOUNDARY PLOTTED FOR RECORD INFORMATION PROVIDED IN RECORD OF SURVEY MAP NO. 19865 AND MAPS 6028 & 352.

### BENCH MARK

BENCHMARK FOR THIS SURVEY IS A BRASS PLUG SET IN CONCRETE CURB RETURN LOCATED NORTHEASTERNLY OF THE INTERSECTION OF JENNER STREET & COAST BLVD S IN THE CITY OF SAN DIEGO, CA, HAVING A PUBLISHED MEAN SEA LEVEL ELEVATION OF 57.22'.

### OWNER

DANN DAVIDSON  
1320 MURKIN DRIVE  
LA JOLLA, CA 92037  
(619) 977-5060 (C)  
davidson@engrthetractor.com

### SITE ADDRESS

811-827 COAST BLVD  
SOUTH LA JOLLA, CA 92037  
APN: 350-070-10 & 11

**RANCHO COASTAL ENGINEERING & SURVEYING**  
SINGLE SOURCE DEVELOPMENT CONSULTANT  
310 VIA VERA CRUZ #205  
SAN MARCOS, CA 92078  
(760) 510-3152 Ph / (760) 510-3153 Fax

### NOTE

ALL SPOT ELEVATIONS SHOWN ON RAISED WOOD DECKS ARE ABOVE GROUND

### EXISTING LEGEND

- BUILDING (IMPERVIOUS) - 7,343 S.F.
- CONCRETE (IMPERVIOUS) - 1,649 S.F.
- BRICK (IMPERVIOUS) - 933 S.F.
- RAISED WOOD DECK (PERVIOUS)

### EXISTING IMPERVIOUS AREA

ROOFS: 7,343 SOFT  
HARDSCAPE: 2,582 SOFT  
TOTAL AREA: 9,925 SOFT

### STREET LIGHTS NOTE:

ALL EXISTING STREET LIGHTS TO BE UPGRADED IF REQUIRED, TO MEET CITY STANDARDS  
STREET LIGHT TYPE, H.W. WATTAGE, H.V. VOLTAGE, 125 LUMINARE LOW PRESSURE SODIUM

### EASEMENTS:

AN EASEMENT FOR SEWER AND INCIDENTAL PURPOSES BETWEEN C.O. HINKLE AND R.A. THORPE, GUARDIAN OF THE ESTATE OF MILDRED LEAVY PER DOCUMENT RECORDED AUGUST 21, 1959 IN BOOK 413, PAGE 96 OF DEEDS. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

**ENGINEER OF WORK**  
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.  
DOUGLAS E. LOGAN  
C. 30226  
DATE: 08/31/22  
EXPRES: 12/31/23

EXISTING TOPO & DEMO PLAN  
**C-1**

PRELIMINARY - NOT FOR CONSTRUCTION





# PROPOSED GRADING & DRAINAGE PLAN

CDP NO: 2491344  
SDP NO: 2491348  
TM NO: 2491349

NEIGHBORHOOD DEVELOPMENT APPROVAL #2584745

**MUNICIPAL CODE NOTE:**  
PER MUNICIPAL CODE 142.0010 (G) PUBLIC IMPROVEMENTS WILL BE REQUIRED

**EMRA NOTE:**  
THIS PROJECT WILL BE CONDITIONED TO OBTAIN AN EROSION CONTROL AGREEMENT (EMRA) FOR ALL PRIVATE AND NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY.

**NOTE:**  
ALL SPOT ELEVATIONS SHOWN ON RAISED WOOD DECKS ARE ABOVE GROUND

## EXISTING LEGEND

- BOUNDARY
- CONCRETE
- FLOW LINE
- KEYSTONE WALL
- CMU WALL
- TREE
- CONCRETE

- ① WATER VALVE
- ② PACIFIC BELL PEDESTAL
- ③ WATER METER
- ④ SEWER CLEANOUT
- ⑤ CATV PEDESTAL
- ⑥ BACKFLOW PREVENTER
- ⑦ CHIMNEY
- ⑧ WOOD SHED
- ⑨ DRAIN
- ⑩ IRRIGATION CONTROL VALVE
- ⑪ POWERPOLE
- ⑫ VAULT
- ⑬ INLET
- ⑭ AT&T PEDESTAL
- ⑮ SPOT ELEVATION
- ⑯ RIDE SPOT ELEVATION

## PROPOSED LEGEND

- AREA OF ADDITION
- PERVIOUS PAVERS
- AREA DRAINS
- 4" PVC DRAIN PIPES
- 3" SIDEWALK UNDERDRAIN PER D-27
- RETAINING WALL
- ROOF DRAINS

## PROPOSED IMPERVIOUS AREA

ROOFS	8,450	SQFT
DRIVEWAYS	0	SQFT
HANDSCAPE	0	SQFT
<b>TOTAL AREA</b>	<b>8,450</b>	<b>SQFT</b>
IMPERVIOUS AREA PRIOR TO CONSTRUCTION	9,925	SQFT
IMPERVIOUS AREA AFTER CONSTRUCTION	8,450	SQFT
<b>INCREASE IN IMPERVIOUS AREA</b>	<b>0</b>	<b>SQFT</b>
IMPERVIOUS AREA REPLACED	0	SQFT

## WATER & SEWER NOTE:

- THE EXISTING WATER SERVICE AND SEWER LATERALS WILL REMAIN AND BE USED FOR THE EXISTING FRONT 3 HOUSES.
- THE PROPOSED WATER AND SEWER WILL BE USED FOR THE NEW TOWNHOMES.

## WATER SERVICE NOTE:

- ALL PUBLIC DOMESTIC WATER SERVICE LINE DIAMETERS ARE PROVIDED FOR CLARITY OF INTENT ONLY. ACTUAL SERVICE LINE DIAMETERS WILL BE BASED UPON THE PRODUCTS APPROVED WATER METER DATA CARD.

**RANCHO COASTAL ENGINEERING & SURVEYING**  
SINGLE SOURCE DEVELOPMENT CONSULTANT  
310 WA VERA CRUZ, #205  
SAN MARCOS, CA 92078  
(760) 510-3152 Ph / (760) 510-3153 Fax

**ENGINEER OF WORK**  
I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT.  
DOUGLAS E. LOGAN  
DATE: 09/21/22  
EXPIRES: 12/31/23

**PROPOSED GRADING & DRAINAGE PLAN**  
C-3

## EARTHWORK QUANTITIES

CUT = 3,685 C.Y. +/-    FILL = 345 C.Y. +/-  
EXPORT = 3,340 C.Y. +/-

## EARTHWORK QUANTITIES NOTE:

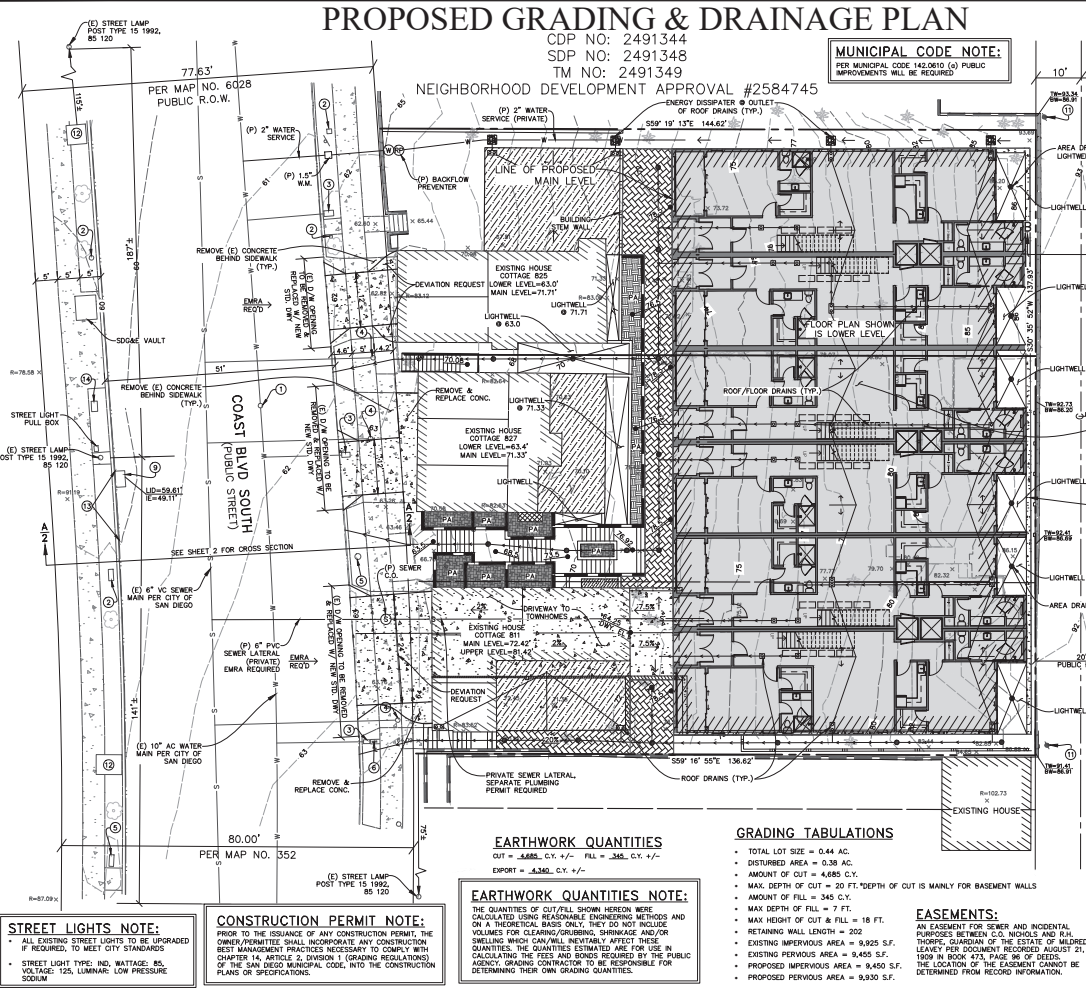
THE QUANTITIES OF CUT/FILL SHOWN HEREON WERE CALCULATED USING REASONABLE ENGINEERING METHODS AND ON A THEORETICAL BASIS ONLY. THEY DO NOT INCLUDE VOLUMES FOR CLEARING/GROUNDING, SHRINKAGE AND/OR SWELLING WHICH CAN HAVE INEVITABLY AFFECT THESE QUANTITIES. THE QUANTITIES ESTIMATED ARE FOR USE IN CALCULATING THE FEES AND BONDS REQUIRED BY THE PUBLIC AGENCY GRADING CONTRACTOR TO BE RESPONSIBLE FOR DETERMINING THEIR OWN GRADING QUANTITIES.

## GRADING TABULATIONS

- TOTAL LOT SIZE = 0.44 AC.
- DISTURBED AREA = 0.38 AC.
- AMOUNT OF CUT = 4,030 C.Y.
- MAX. DEPTH OF CUT = 20 FT. DEPTH OF CUT IS MAINLY FOR BASEMENT WALLS
- AMOUNT OF FILL = 345 C.Y.
- MAX. HEIGHT OF CUT & FILL = 18 FT.
- RETAINING WALL LENGTH = 202
- EXISTING IMPERVIOUS AREA = 9,925 S.F.
- EXISTING PERVIOUS AREA = 9,455 S.F.
- PROPOSED IMPERVIOUS AREA = 8,450 S.F.
- PROPOSED PERVIOUS AREA = 9,930 S.F.

## EASEMENTS:

AN EASEMENT FOR SEWER AND INCIDENTAL PURPOSES BETWEEN G.O. NICHOLS AND R.H. THORPE, GUARDIAN OF THE ESTATE OF MEREDITH LEAVY PER DOCUMENT RECORDED AUGUST 21, 1909 IN BOOK 473, PAGE 86 OF DEEDS. THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.



**STREET LIGHTS NOTE:**  
ALL EXISTING STREET LIGHTS TO BE UPGRADED IF REQUIRED, TO MEET CITY STANDARDS.  
STREET LIGHT TYPE, NO., WATTAGE, HS. VOLTAGE, LUMEN, LOW PRESSURE SODIUM

**CONSTRUCTION PERMIT NOTE:**  
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PRIORITIES SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

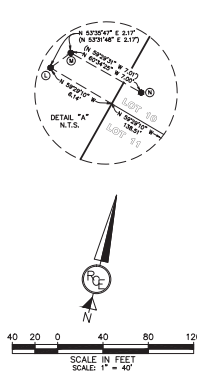
PRELIMINARY - NOT FOR CONSTRUCTION  
ENGINEER: DOUGLAS E. LOGAN  
PHONE NO. (760) 510-3152 // EMAIL: DOUGLAS@RANCHO-COASTAL.COM

# TENTATIVE MAP

CDP No.: 2491344  
SDP No.: 2491348  
TM No.: 2491349

NEIGHBORHOOD DEVELOPMENT APPROVAL #2584745

SHEET 1 OF 3 SHEETS



**LINE TABLE:**

L1 - N 89°23'10" E 3.00'
(N 88°48'31" W 77')
L2 - N 89°23'10" W 3.00'
L3 - S 89°27'47" E 3.00'
L4 - S 89°27'47" E 3.00'
L5 - N 30°23'32" E 4.00'
(N 30°23'32" W 4')
L6 - S 89°23'14" E 10.00'
L7 - S 89°23'10" E 10.00'
L8 - N 30°23'32" E 5.00'
(N 30°23'32" W 5.00')
(5.00' C.R. 500)

**CURVE TABLE:**

C1 - R=1077.83 Δ=01°01'40" L=19.30'
C2 - R=1077.83 Δ=02°02'50" L=37.30'
C3 - R=1077.83 Δ=03°04'00" L=55.30'
C4 - R=622.37 Δ=01°02'22" L=18.34'

**RANCHO COASTAL ENGINEERING & SURVEYING**  
SINGLE SOURCE DEVELOPMENT CONSULTANT  
310 WA VERA CRUZ, #205  
SAN MARCOS, CA 92078  
(760) 510-3152 PH / (760) 510-3153 FAX



**SURVEYOR OF WORK**  
I HEREBY DECLARE THAT I AM THE SURVEYOR OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE JUDGEMENT IN THE DESIGN OF THE PROJECT.  
DATE: 09/21/2022  
JAKE D. LOGAN  
L. 9092



**TENTATIVE MAP**  
CITY OF SAN DIEGO RCE-7779  
APRIL 2006-07-10 & 11  
PROJECT NAME & SITE ADDRESS:  
800 COAST, LLC  
811-827 COAST BOULEVARD SOUTH  
LA JOLLA, CA 92037  
C.C.S.: LC = 248-1683 / CCS 83 = 1888-6243

**BOUNDARY SURVEY**  
M-1

- BOUNDARY SURVEY LEGEND:**
- INDICATES FOUND MONUMENT; SEE FOUND MONUMENT LEGEND FOR DESCRIPTION.
  - INDICATES FUTURE SURVEY MONUMENT TO BE SET BY FINAL MAP.
  - INDICATES SEARCHED FOR AND NOT FOUND.
  - ⊙ - INDICATES RADIAL BEARING.
  - ( ) - RECORD DATA PER RECORD OF SURVEY NO. 19885
  - [ ] - RECORD DATA PER MAP NO. 6028
  - ⊕ - RECORD DATA PER RECORD OF SURVEY NO. 6252
- FOUND MONUMENT LEGEND:**
- ① FOUND 2" IRON PIPE W/ DISC "TRICE 7804" PER MAP NO. 6028
  - ② FOUND LEAD & DISC "TRICE 7804" PER MAP NO. 6028
  - ③ FOUND LEAD & DISC "TRICE 7804" ON A 7.00' OFFSET FROM THE FRONT OF WAY LINE PER MAP NO. 6028
  - ④ FOUND LEAD AND TACK AS SHOWN ON RECORD OF SURVEY NO. 19885, ACCEPTED AS POINT ON THE EXTENSION OF THE 12.00' OFFSET LINE TO THE SOUTHWESTERLY LINE OF LOT 71.
  - ⑤ FOUND LEAD AND TACK AS SHOWN ON RECORD OF SURVEY NO. 19885, ACCEPTED AS POINT OFFSET TO THE RIGHT 30' BY 1' EACH AVENUE.
  - ⑥ FOUND LEAD & DISC "TRICE 7804" PER RECORD OF SURVEY NO. 19885
  - ⑦ FOUND LEAD & TACK AS SHOWN ON CORNER RECORD 800L CORNER RECORD 471, MAP 558, MAP 574A, AND RECORD OF SURVEY 19885
  - ⑧ FOUND LEAD & DISC "TRICE 7804" AS SHOWN ON RECORD OF SURVEY NO. 19885
  - ⑨ FOUND LEAD & DISC "TRICE 5044" PER CORNER RECORD NO. 500 AS SHOWN ON MAP 55, 54A, RECORD OF SURVEY NO. 19885
  - ⑩ FOUND LEAD & DISC "TRICE 7804" AS SHOWN ON RECORD OF SURVEY NO. 19885
  - ⑪ FOUND HOLE IN CONCRETE ALLEY AT A 7.00' OFFSET FROM THE ALLEY RIGHT OF WAY ACCEPTED AS POINT ON THE EXTENSION OF THE NORTHEASTERLY LINE OF LOT 8 OF MAP NO. 552 PER MAP NO. 6028
  - ⑫ FOUND LEAD & TACK AS SHOWN ON RECORD OF SURVEY NO. 19885, ACCEPTED AS POINT ON EXTENSION OF LOT LINE OF LOTS 10/11
  - ⑬ FOUND LEAD & TACK AS SHOWN ON RECORD OF SURVEY NO. 19885
  - ⑭ FOUND LEAD & DISC "TRICE 2347" ON TOP OF WALL AS SHOWN ON RECORD OF SURVEY NO. 19885
  - ⑮ FOUND LEAD & TACK ON TOP OF WALL AS SHOWN ON RECORD OF SURVEY NO. 6252, ACCEPTED AS POINT ON LOT LINE OF LOTS 1/10

**BASIS OF BEARINGS:**  
THE BASIS OF BEARINGS FOR THIS SURVEY IS THE RECORD OF SURVEY NO. 19885 FILED SEPTEMBER 7, 2007 AS FILE NO. 2007-058213, I.E. NORTH SOUTHWEST EAST.

**LEGAL DESCRIPTION:**  
LOTS 8, 10 AND A PORTION OF 11 IN BLOCK 35 OF LA JOLLA PARK, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP 552, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 22, 1985, EXCEPTING FROM SAID LOT 11 THE SOUTHWEST LEAD FEET THEREOF.

**ZONING INFORMATION:**  
ZONING MAP - COMMUNITY PLAN LA JOLLA  
OVERLAY ZONING DISTRICT, HEIGHT LIMIT, COASTAL OVERLAY, PARKING IMPACT, RESIDENTIAL TANDEN PARKING, TRANSIT AREA

**BUILDING SETBACKS:**  
FRONT SETBACK: 15' IF 6' EASEMENT FOR MAX 10' / THREE SETBACK: 10' W/ 7' EASEMENT FOR MAX 10' / REAR SETBACK: 15' IF 6' EASEMENT 9' OFF / REAR SETBACK: 15' ALONG ALLEY MAY BE REDUCED TO 10'

**EASEMENTS:**  
AN EASEMENT FOR OTHER AND INCIDENTAL PURPOSES BETWEEN C.O. MOBILE AND R.H. HUNTER, SUNDOWN IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

**OWNERSHIP INFORMATION:**  
800 COAST, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY  
1330 MARLAND DRIVE  
LA JOLLA, CA 92037

**CONDOMINIUM NOTE:**  
THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 4125 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT, THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM UNITS IS 8.

**MAPPING NOTE:**  
A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE SUBMISSION OF THE TENTATIVE MAPS. IF APPROVED, A DETAILED PROCEDURE OF SURVEY SHALL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS SHALL BE MARKED WITH DURABLE SURVEY MONUMENTS.

**MAPPING AREA:**  
18,398.68 SQ. FT. / 0.445 ACRES

PRELIMINARY - NOT FOR CONSTRUCTION  
ENGINEER'S MARK: RANCHO COASTAL ENGINEERING & SURVEYING  
PHONE NO. (760) 510-3152 / EMAIL: DOUGRESS@RCE.COM

# TENTATIVE MAP

(EXISTING SITE CONDITIONS)

CDP No.: 2491344  
 SDP No.: 2491349  
 TM No.: 2491349  
 NEIGHBORHOOD DEVELOPMENT APPROVAL #2584745

## LEGEND

- BOUNDARY
- CONCRETE
- FLOW LINE
- WOOD FENCE
- OVERHANG
- KEYSTONE WALL
- CMU WALL
- GATE
- TREE
- CONCRETE
- BRICK
- RAISED WOOD DECK
- COTTAGE TO BE DEMOLISHED

- ① WATER VALVE
- ② PACIFIC BELL PEDESTAL
- ③ WATER METER
- ④ SEWER CLEANOUT
- ⑤ CATV PEDESTAL
- ⑥ BACKFLOW PREVENTER
- ⑦ CHIMNEY
- ⑧ WOOD SHED
- ⑨ DRAIN
- ⑩ IRRIGATION CONTROL VALVE
- ⊕ POWER POLE
- X 50.00 SPOT ELEVATION
- X 50.00 ROSE SPOT ELEVATION

**NOTE**  
 \* ALL SPOT ELEVATIONS SHOWN ON RAISED WOOD DECKS ARE ABOVE GROUND

## REMAINING COTTAGE INFORMATION

COTTAGE	LEVEL	SQ. FT.
811	GARAGE	249 SF
	LOWER MAIN	505 SF
825	GARAGE	380 SF
	LOWER MAIN	1,690 SF
827	GARAGE	435 SF
	LOWER MAIN	1,499 SF

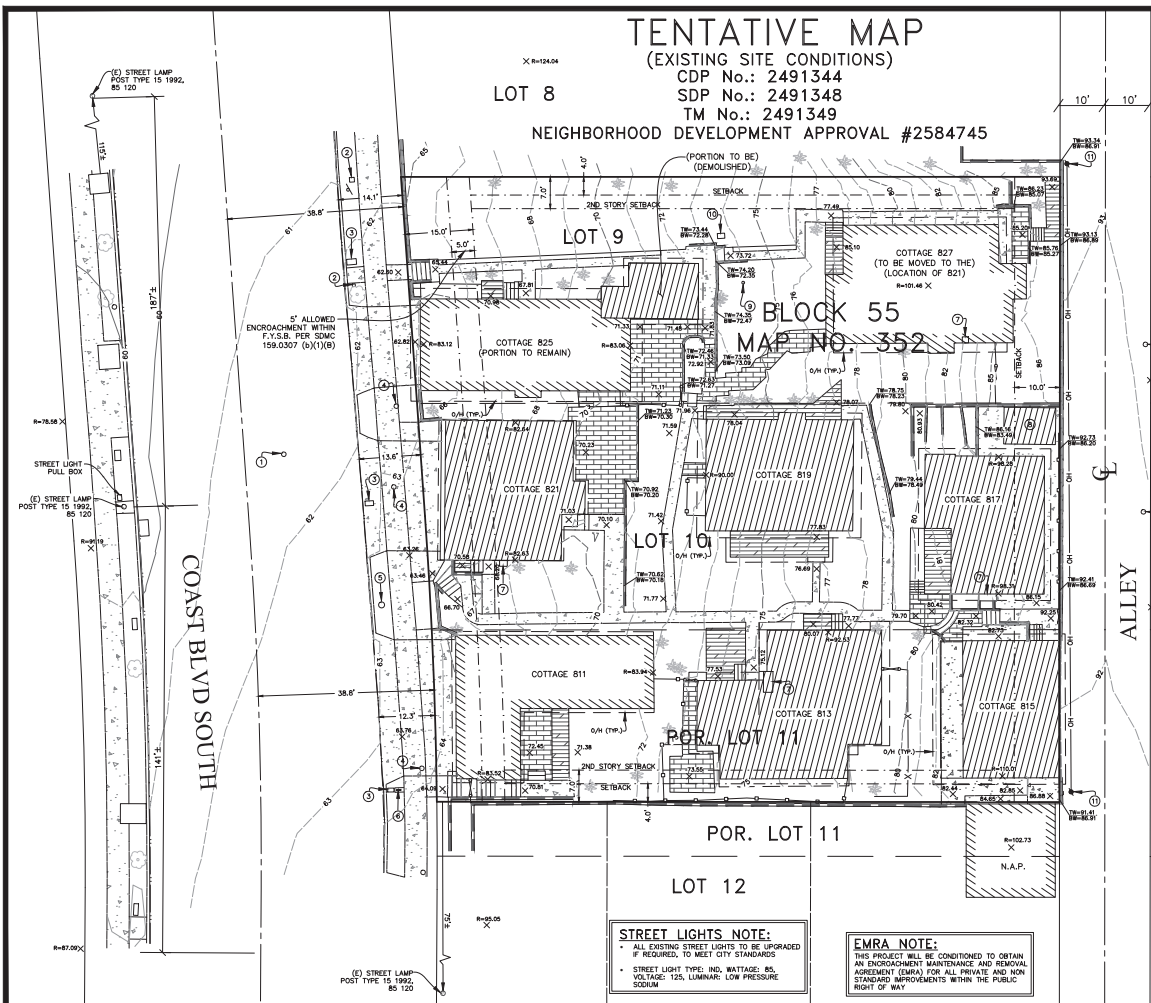
**BUILDING SETBACKS:**  
 FRONT SETBACK: 15' W/ 5' ENCROACHMENT FOR MAX 50'  
 STREET SETBACK: 10' W/ 5' ENCROACHMENT FOR MAX 50'  
 INT. SIDE SETBACK: 4' 7" FOR BUILDINGS > 20' TALL  
 REAR SETBACK: 15', ALONG ALLEY MAY BE REDUCED TO 10'

LOT 19

EXISTING SITE CONDITIONS  
**M-2**

**STREET LIGHTS NOTE:**  
 \* ALL EXISTING STREET LIGHTS TO BE UPGRADED IF REQUIRED, TO MEET CITY STANDARDS  
 \* STREET LIGHT TYPE, H.D., WATTAGE, 85 VOLTAGE, 125, LUMINAR: LOW PRESSURE SODIUM

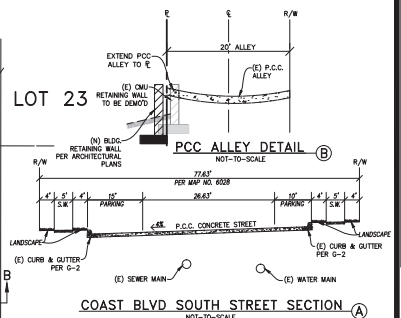
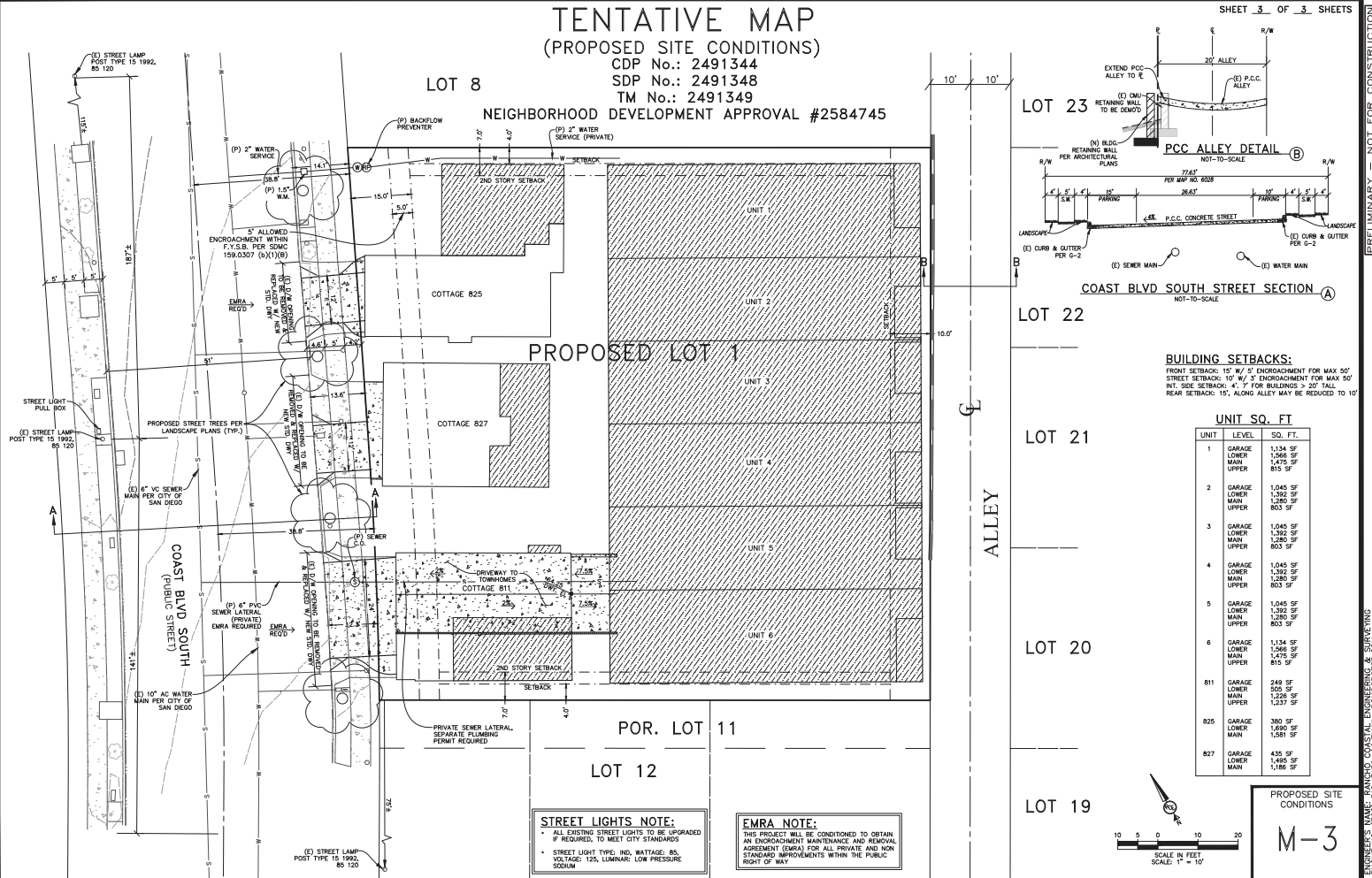
**EMRA NOTE:**  
 THIS PROJECT WILL BE CONDITIONED TO OBTAIN AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) FOR ALL PRIVATE AND NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY



PRELIMINARY - NOT FOR CONSTRUCTION  
 ENGINEER'S NAME: MARCO COSIALI ENGINEERING & SURVEYING  
 PHONE NO. (760) 510-3152 // EMAIL: DOUG@MCESS.COM

# TENTATIVE MAP (PROPOSED SITE CONDITIONS)

CDP No.: 2491344  
SDP No.: 2491348  
TM No.: 2491349  
NEIGHBORHOOD DEVELOPMENT APPROVAL #2584745



**BUILDING SETBACKS:**  
FRONT SETBACK: 15' W/ 5' ENCHANCEMENT FOR MAX 50'  
STREET SETBACK: 10' W/ 3' ENCHANCEMENT FOR MAX 50'  
INT. SIDE SETBACK: 4' 7" FOR BUILDINGS > 20' TALL TO 10'  
REAR SETBACK: 15' ALONG ALLEY MAY BE REDUCED TO 10'

UNIT	LEVEL	SQ. FT.
1	GARAGE	1,134 SF
	LOWER MAIN	1,475 SF
	UPPER	815 SF
2	GARAGE	1,045 SF
	LOWER MAIN	1,280 SF
	UPPER	803 SF
3	GARAGE	1,045 SF
	LOWER MAIN	1,280 SF
	UPPER	803 SF
4	GARAGE	1,045 SF
	LOWER MAIN	1,280 SF
	UPPER	803 SF
5	GARAGE	1,045 SF
	LOWER MAIN	1,280 SF
	UPPER	803 SF
6	GARAGE	1,134 SF
	LOWER MAIN	1,475 SF
	UPPER	815 SF
811	GARAGE	249 SF
	LOWER MAIN	1,238 SF
	UPPER	1,537 SF
825	GARAGE	380 SF
	LOWER MAIN	1,690 SF
	UPPER	1,581 SF
827	GARAGE	435 SF
	LOWER MAIN	1,465 SF
	UPPER	1,186 SF

**STREET LIGHTS NOTE:**  
\* ALL EXISTING STREET LIGHTS TO BE UPGRADED  
\* IF REQUIRED, TO MEET CITY STANDARDS  
\* STREET LIGHT TYPE AND WATTAGE: 85 VOLTAGE, 125 LUMENS, LOW PRESSURE SODIUM

**EMRA NOTE:**  
THIS PROJECT WILL BE CONDITIONED TO OBTAIN AN ENRICHMENT MAINTENANCE AND REMOVAL AGREEMENT (EMRA) FOR ALL PRIVATE AND NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY.

PROPOSED SITE CONDITIONS  
**M-3**

PRELIMINARY - NOT FOR CONSTRUCTION  
ENGINEER'S NAME: MANOJ KUMAR ENGINEERING & SURVEYING  
PHONE NO. (602) 510-3152 // EMAIL: DOUGRESS@CS.COM



WILL & FOTSCH ARCHITECTS  
1298 PROSPECT STREET, SUITE 25, LA JOLLA, CA 92037 - (619) 558-2244-2466



JOB # 1811

COAST BLVD  
811-827 COAST BLVD S, LA JOLLA, CA 92037

DATE	ISSUE
06/07/2022	FINAL SUBMITTAL
05/10/2022	PERMITS SUBMITTAL
05/03/2022	PERMITS SUBMITTAL
04/27/2022	PERMITS SUBMITTAL
04/20/2022	PERMITS SUBMITTAL
04/13/2022	PERMITS SUBMITTAL
04/06/2022	PERMITS SUBMITTAL
03/30/2022	PERMITS SUBMITTAL
03/23/2022	PERMITS SUBMITTAL
03/16/2022	PERMITS SUBMITTAL
03/09/2022	PERMITS SUBMITTAL
03/02/2022	PERMITS SUBMITTAL
02/25/2022	PERMITS SUBMITTAL
02/18/2022	PERMITS SUBMITTAL
02/11/2022	PERMITS SUBMITTAL
02/04/2022	PERMITS SUBMITTAL
01/28/2022	PERMITS SUBMITTAL
01/21/2022	PERMITS SUBMITTAL
01/14/2022	PERMITS SUBMITTAL
01/07/2022	PERMITS SUBMITTAL

**A0.0**  
DEMO SITE PLAN

06/07/2022

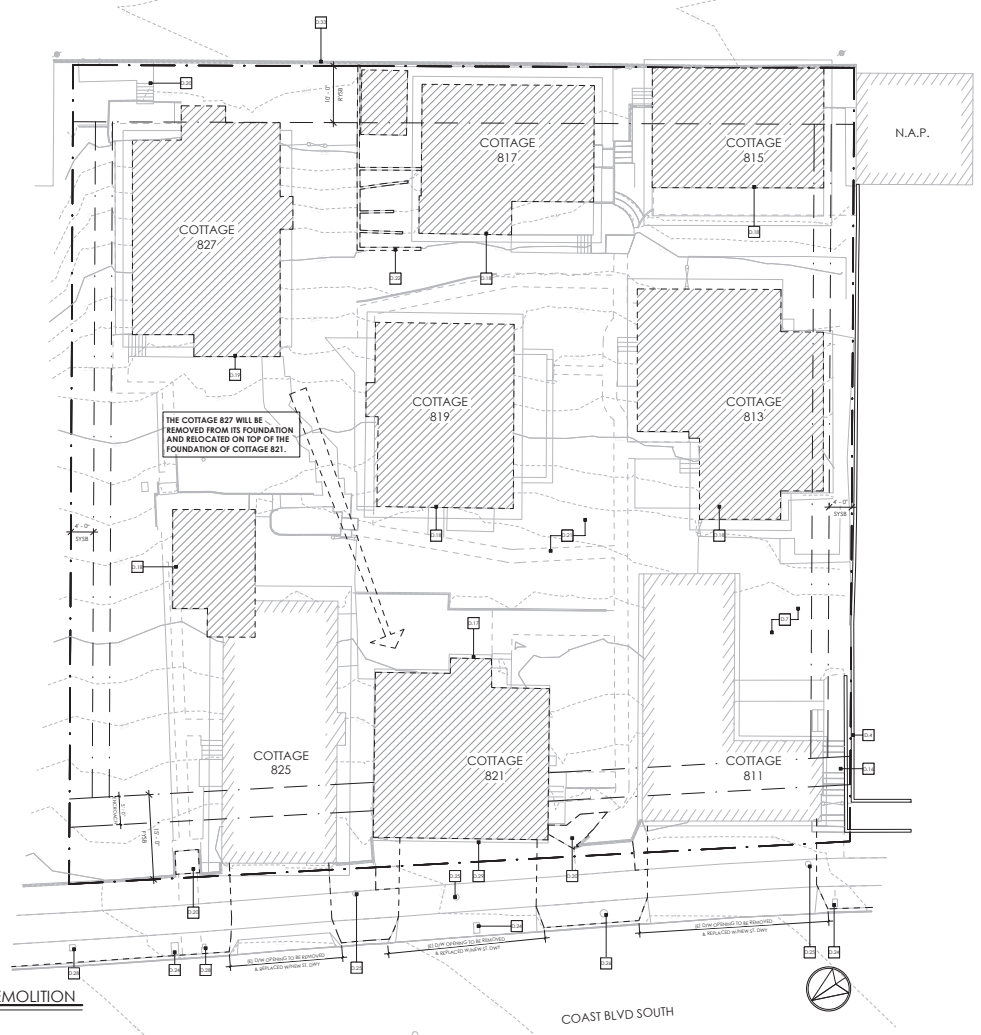
**WALL LEGEND**

- NEW CONSTRUCTION WALL
- - - EXISTING WALL TO REMAIN
- · - · - EXISTING WALL TO BE DEMOLISHED

PLEASE REFER TO SHEETS AD.1, AD.2, AD.3 AND AD.4 FOR FURTHER INFORMATION REGARDING DEMOLITION WORK FOR EXISTING COTTAGES

**KEYNOTES**

- D-4 EXISTING RETAINING WALL TO BE REMAIN
- D-7 EXISTING HARBORCASTER TO REMOVE TO RECEIVE NEW CONCRETE SLAB
- D-10 EXISTING SLAB TO REMAIN
- D-17 DASHED UPPER LEVEL IS TO BE REMOVED
- D-18 DASHED BELONGS TO BE DEMOLISHED
- D-19 FOUNDATION TO BE REMOVED
- D-20 EXISTING SLAB AND HARBORCASTER TO BE REMOVED
- D-21 DEMOLISHED COMPLETELY, PREP SITE FOR NEW PROPOSED WORK
- D-22 REMOVE ALL SITE WORK (LOIN, TYP.)
- D-24 EXISTING WATER METER
- D-25 EXISTING IDENTITY CLAMANT
- D-26 EXISTING GATE PEDESTAL
- D-28 PACIFIC BELL PEDESTAL
- D-29 GARAGE LEVELS TO REMAIN
- D-33 EXISTING RETAINING WALL IN ALLEY TO BE REMOVED WITH A PERMITTED EXCAV.



**1 SITE PLAN DEMOLITION**  
SCALE = 1/8" = 1'-0"

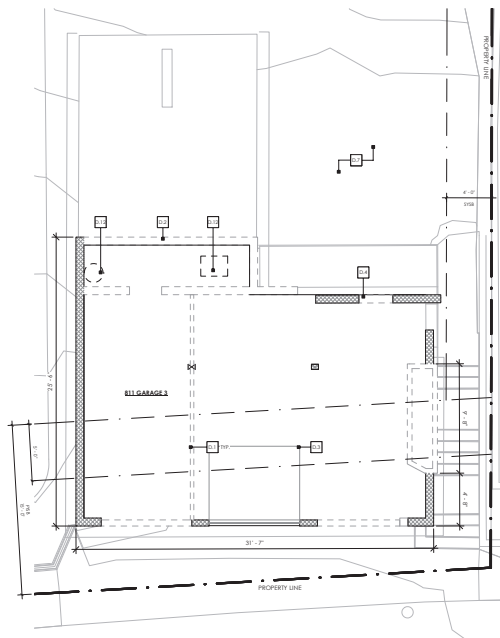
**CITY STANDARD TITLE BLOCK**

PREPARED BY: Revision 14  
 Name: WILL & FOTSCH ARCHITECTS Revision 13  
 Contract: Andre Fotsch Revision 12  
 1298 Prospect Street, Ste. 25 Revision 11  
 La Jolla, CA 92037 Revision 10  
 Phone: (619) 558-2466 Revision 09  
 Street Address: Revision 08  
 811-827 Coast Blvd South Revision 07  
 Los Jolla, CA 92037 Revision 06  
 APN: 320-010-15-000 Revision 05  
 336-070-11-00 Revision 04  
 Project Name: Revision 03  
 COAST BLVD Revision 02  
 Sheet Title: Revision 01  
 DEMO SITE PLAN Sheet 2 of 24

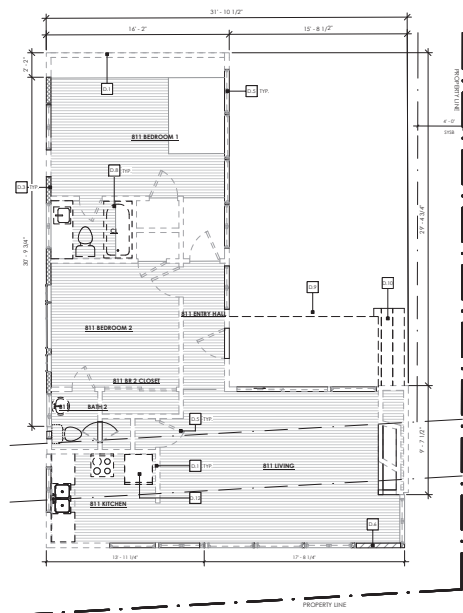
DATE: 06/07/2022  
 ISSUE: FINAL SUBMITTAL

DATE	ISSUE
06/07/2022	FINAL SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA

**A0.1**  
DEMOLITION  
PLANS COTTAGE  
811



1 COTTAGE 811 LOWER LEVEL - DEMO  
SCALE = 1/4" = 1'-0"



2 COTTAGE 811 MAIN LEVEL - DEMO  
SCALE = 1/4" = 1'-0"

WALL MATRIX CALCULATION

KEYNOTES

PLAN NOTES

WALL LEGEND

CITY STANDARD TITLE BLOCK

- D1.1 EXISTING INTERIOR EXTERIOR WALL TO BE REMOVED PROVIDE TEMPORARY SHORING AS REQUIRED.
- D2 EXISTING RETAINING WALL TO BE REMOVED PROVIDE TEMPORARY SHORING AS REQUIRED.
- D3 EXISTING INTERIOR EXTERIOR WALL TO REMAIN, PROTECTED IN PLACE.
- D4 EXISTING RETAINING WALL TO BE REMAIN.
- D5 EXISTING EXTERIOR WINDOW TO BE REMOVED.
- D6 EXISTING OPENING TO BE INFILLED.
- D7 EXISTING HISTORIC APERTURE TO REMOVE TO RECEIVE NEW CONCRETE SLAB.
- D8 EXISTING FLOORING TO BE REMOVED.
- D9 EXISTING WOOD DECK TO BE REMOVED.
- D10 EXISTING WOOD STAIR TO BE REMOVED.
- D12 EXISTING EQUIPMENT/APPLIANCE TO BE REMOVED.

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

DATE	ISSUE
06/07/2022	FINAL SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA
06/07/2022	PERMITS SUBMITTA

PREPARED BY: WILL & FOTSCH ARCHITECTS  
CONTACT: ANDY FOTSCH  
1298 PROSPECT STREET, SUITE 25  
LA JOLLA, CA 92037  
PHONE: (619) 558-2242-2486  
SHEET ADDRESS: 811-827 COAST BLVD, SOUTH  
LA JOLLA, CA 92037  
APN: 350-070-15-000  
PROJECT NUMBER: 350-070-11-00  
SHEET NAME: COAST BLVD  
SHEET SIZE: DEMOLITION PLANS COTTAGE 811

REVISION	DATE	DESCRIPTION
Revision 14	06/07/2022	FINAL SUBMITTA
Revision 13	06/07/2022	PERMITS SUBMITTA
Revision 12	06/07/2022	PERMITS SUBMITTA
Revision 11	06/07/2022	PERMITS SUBMITTA
Revision 10	06/07/2022	PERMITS SUBMITTA
Revision 09	06/07/2022	PERMITS SUBMITTA
Revision 08	06/07/2022	PERMITS SUBMITTA
Revision 07	06/07/2022	PERMITS SUBMITTA
Revision 06	06/07/2022	PERMITS SUBMITTA
Revision 05	06/07/2022	PERMITS SUBMITTA
Revision 04	06/07/2022	PERMITS SUBMITTA
Revision 03	06/07/2022	PERMITS SUBMITTA
Revision 02	06/07/2022	PERMITS SUBMITTA
Revision 01	06/07/2022	PERMITS SUBMITTA



**WILL & FOTSCH ARCHITECTS**  
 1298 PROSPECT STREET, SUITE 25, LA JOLLA, CA 92037 - (61) 858-2424



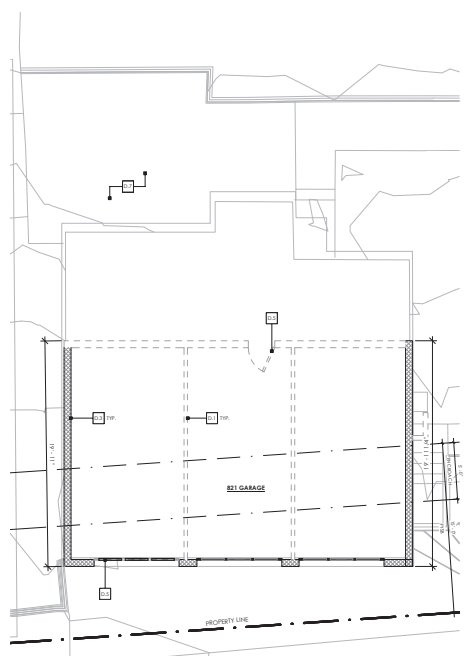
208 P. 1811

**COAST BLVD**  
 811-827 COAST BLVD S, LA JOLLA, CA 92037

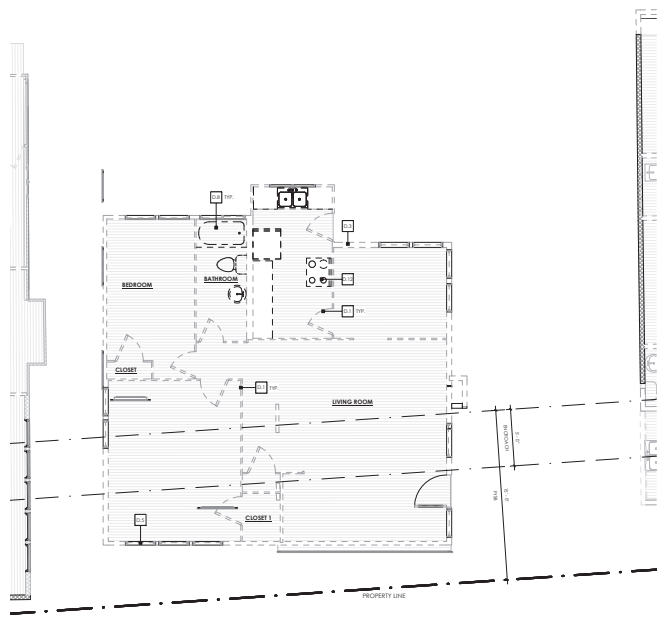
DATE	ISSUE
06/07/2022	FINAL SUBMITTA
05/10/2022	PERMITS SUBMITTA
05/03/2022	PERMITS SUBMITTA
4	
3	
2	
1	

**A0.2**  
 DEMOLITION  
 PLANS COTTAGE  
 821

06/07/2022



**1 COTTAGE 821 LOWER LEVEL - DEMO**  
 SCALE = 1/4" = 1'-0"



**2 COTTAGE 821 MAIN LEVEL - DEMO**  
 SCALE = 1/4" = 1'-0"

COTTAGE 821 UPPER LEVEL TO BE COMPLETELY DEMOLISHED TO RECEIVE COTTAGE 827 UPPER LEVEL

WALL MATRIX CALCULATION	KEYNOTES	PLAN NOTES	WALL LEGEND	CITY STANDARD TITLE BLOCK
	Q11 EXISTING INTERIOR/EXTERIOR WALL TO BE REMOVED PROVIDE SUFFICIENT FLOORING AS REQUIRED. Q13 EXISTING INTERIOR/EXTERIOR WALL TO REMAIN PROTECTED IN PLACE. Q15 EXISTING DOOR/F WINDOW TO BE REMOVED Q17 EXISTING HARDSHIP/PAVER/STAIR TO BE REMOVED TO RECEIVE NEW CONCRETE SLAB Q18 EXISTING PLUMBING TO BE REMOVED Q19 EXISTING EQUIPMENT/APPLIANCE TO BE REMOVED		[Solid Line] NEW CONSTRUCTION WALL [Dashed Line] EXISTING WALL TO REMAIN [Dotted Line] EXISTING WALL TO BE DEMOLISHED	PREPARED BY: Revision 14 Name: Revision 13 WILL & FOTSCH ARCHITECTS Revision 12 Contact: Andy Fotsch, Revision 11 1298 Prospect Street, Ste. 25 Revision 10 La Jolla, CA 92037 Revision 09 Phone: Revision 08 (858) 224-2484 Revision 07 Revision 06 Sheet Address: Revision 05 811-827 Coast Blvd, South Revision 04 La Jolla, CA 92037 Revision 03 APN: 330-070-10-00 Revision 02 330-070-11-00 Revision 01: 3-19-2021 Project Name: Revision 01: 10-16-2020 COAST BLVD Sheet Title: Original Date: 10-16-2020 DEMOLITION PLANS COTTAGE 821 Sheet: 4 of 24









204 4 1811

DATE: 06/07/2022

ISSUE: 01

REVISION: 01

REVISION: 02

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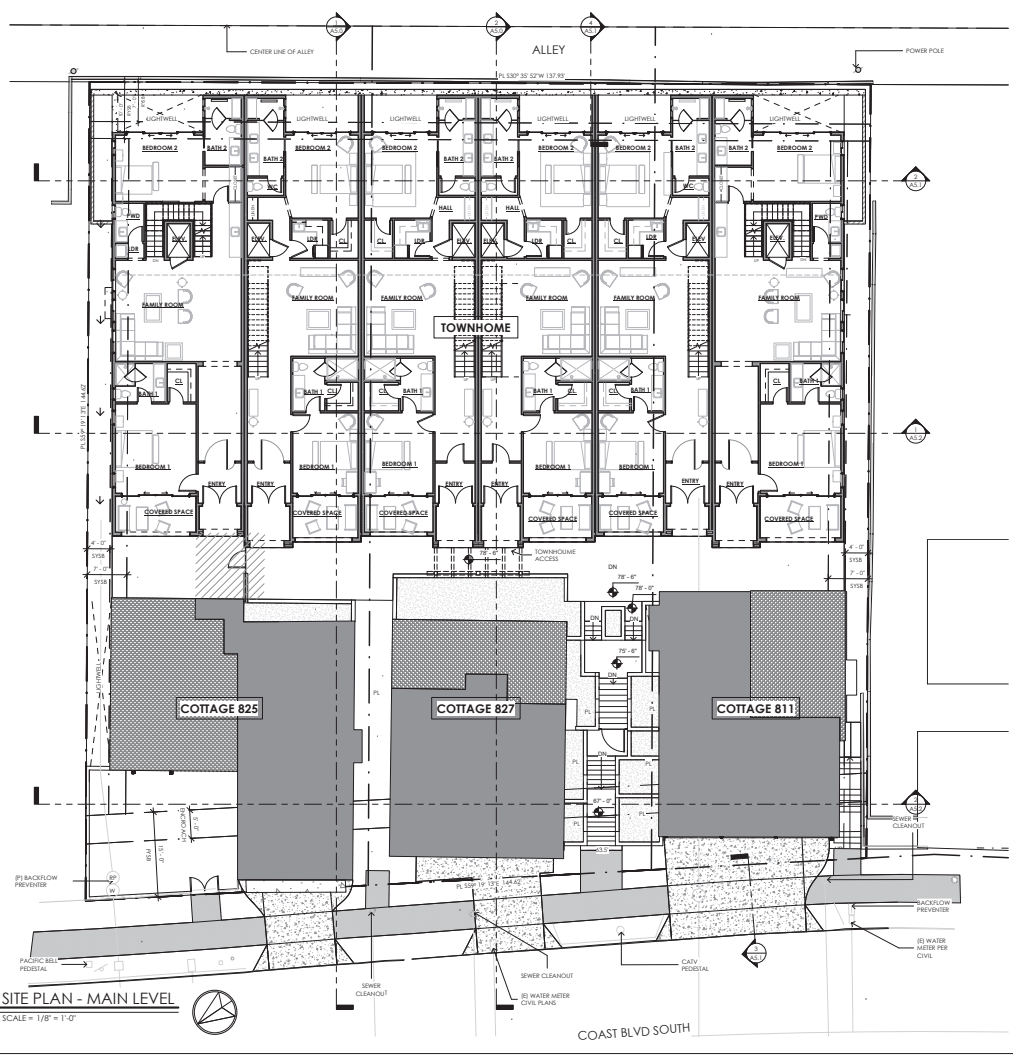
JOB # 1811

**COAST BLVD**  
 811-827 COAST BLVD S, LA JOLLA, CA 92037

DATE: 06/07/2022  
 DRAWN: ANNY FOTSCH  
 CHECKED: WILL FOTSCH  
 PROJECT: 1811

**A1.1**  
 SITE PLAN &  
 LOWER LEVEL

06/07/2022



**LEGEND**

- PROPOSED NEW BUILDING AREA (TOWNHOME)
- AREA OF EXISTING RESIDENCE
- AREA TO BE DEMOLISHED
- AREA OF ADDITION

**CITY STANDARD TITLE BLOCK**

PREPARED BY:	Revision 14:
Name:	Revision 13:
Company:	Revision 12:
Address:	Revision 11:
Phone:	Revision 10:
Sheet Number:	Revision 09:
Project Name:	Revision 08:
Client:	Revision 07:
Drawn By:	Revision 06:
Checked By:	Revision 05:
Project No.:	Revision 04:
Scale:	Revision 03:
Original Date:	Revision 02:
Drawn Title:	Revision 01:
Sheet No.:	Revision 00:

**1 SITE PLAN - MAIN LEVEL**  
 SCALE = 1/8" = 1'-0"



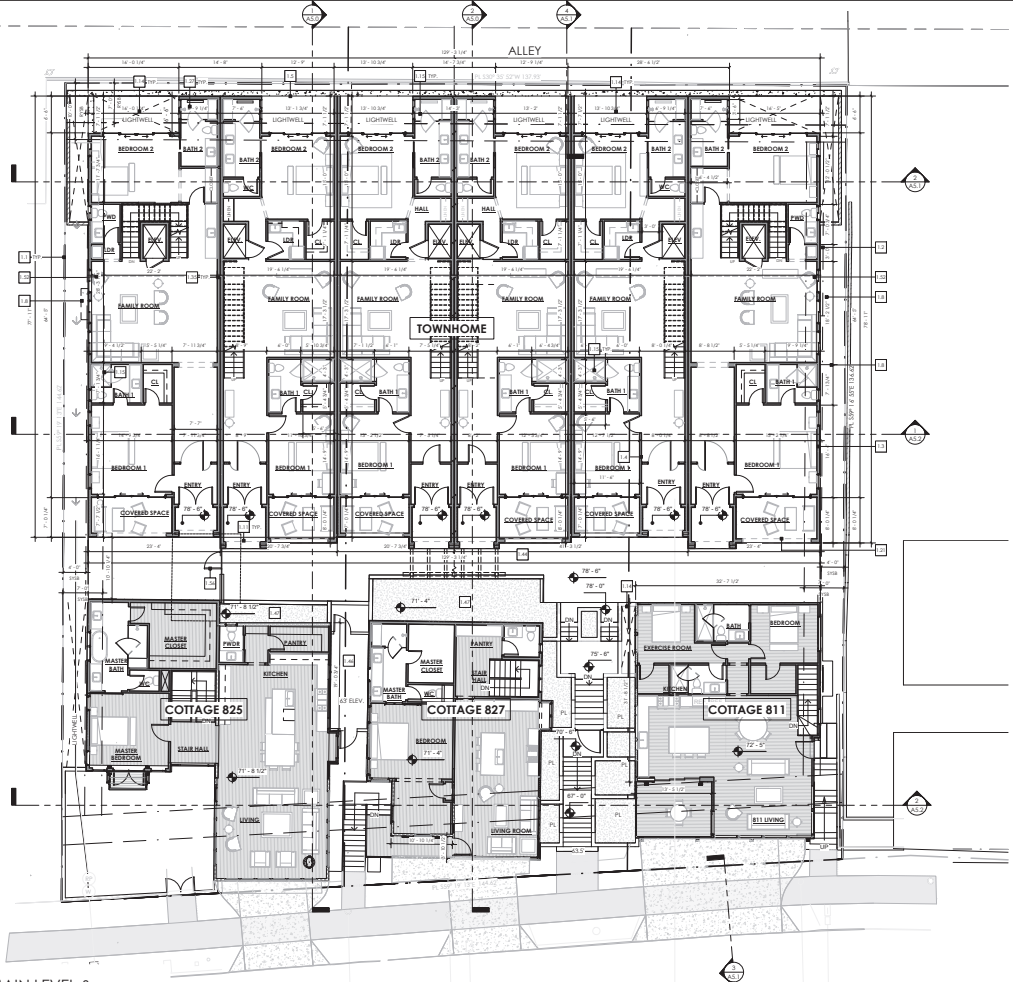


JOB # 1811

DATE	ISSUE
06/07/2022	FINAL SUBMITTAL
05/10/2022	SCHEMATIC DEVELOPMENT
04/15/2022	PRELIMINARY
03/15/2022	CONCEPT
02/15/2022	CONCEPT

**A2.1**  
 TOWNHOUSE  
 LOWER LEVEL AND  
 COTTAGES MAIN  
 LEVEL  
 06/07/2022

- KEYNOTES**
1. PROPERTY LINE
  2. STRACK LINE TOP
  3. EXTERIOR WALL/2X WOOD STUD FRAMING, 5/8" GWB THROUGHOUT EXTERIOR
  4. INTERIOR WALL/2X WOOD STUD FRAMING, 5/8" GWB THROUGHOUT
  5. REPARTING WALL
  6. LINE OF FLOOR ABOVE
  7. LINE OF REAR/SPLIT ABOVE
  8. LIGHTWELL
  9. WALL/2X STUD
  10. 4" GUARDRAIL FOR ELEVATIONS
  11. SPOKER DECK
  12. INTERIOR WALL/2X WOOD STUD FRAMING, 5/8" GWB THROUGHOUT
  13. WITH 2" FIRE RISE
  14. TOWNHOUSE WALKWAY ACCESS
  15. 2 STORY TALL LIGHTWELL
  16. FINISH FOR LANDSCAPE
  17. LINE OF FIRE EXISTANT
  18. UNDESIGNED PARKING



**CITY STANDARD TITLE BLOCK**

DATE	ISSUE
06/07/2022	FINAL SUBMITTAL
05/10/2022	SCHEMATIC DEVELOPMENT
04/15/2022	PRELIMINARY
03/15/2022	CONCEPT
02/15/2022	CONCEPT

PREPARED BY: Revision 14  
 WILL & FOTSCH ARCHITECTS Revision 12  
 1298 Prospect Street, Ste. 25 Revision 11  
 La Jolla, CA 92037 Revision 10  
 Phone: 619 558 2242 Revision 09  
 811-827 Coast Blvd, South Revision 08  
 La Jolla, CA 92037 Revision 07  
 APN: 330-070-12-00 Revision 06  
 330-070-11-00 Revision 05  
 Project Name: Revision 04  
 COAST BLVD Revision 03  
 Original Date: 10-16-2020 Revision 02  
 SHEET TITLE: Revision 01  
 SHEET: 18 OF 24

**1 COTTAGE MAIN LEVEL & TOWNHOUSES LOWER LEVEL PLAN**  
 SCALE = 1/8" = 1'-0"

COAST BLVD SOUTH



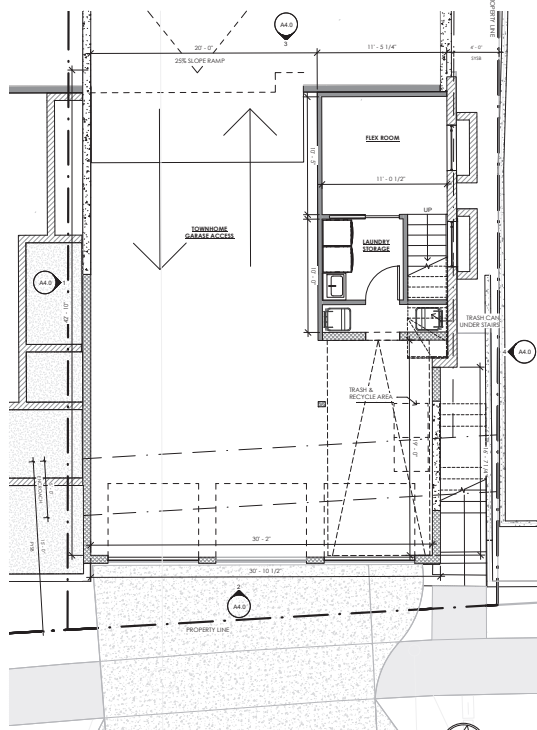






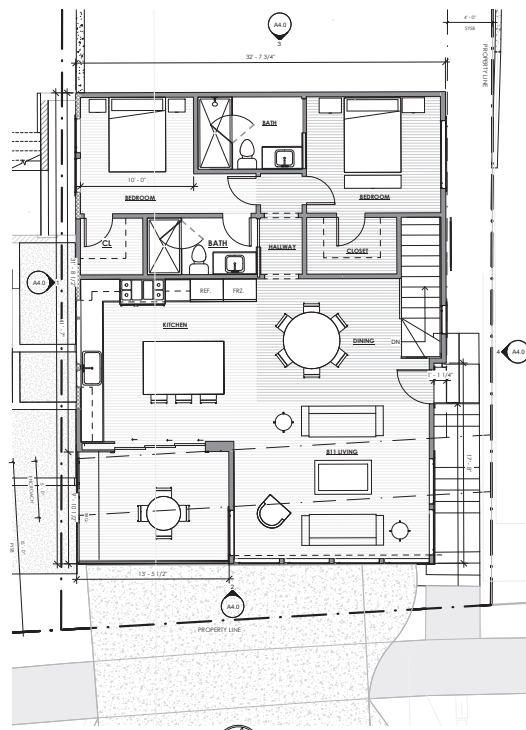


JOB # 1811



1 COTTAGE 811 LOWER LEVEL

SCALE = 1/4" = 1'-0"



2 COTTAGE 811 MAIN LEVEL

SCALE = 1/4" = 1'-0"

WALL LEGEND

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

CITY STANDARD TITLE BLOCK

PREPARED BY:	Revision 14:
WILL & FOTSCH ARCHITECTS	Revision 13:
CONTACT: ANTHONY FOTSCH	Revision 11:
1298 PROSPECT STREET, SUITE 25,	Revision 10:
LA JOLLA, CA 92037	Revision 09:
PHONE:	Revision 08:
(619) 558-2424	Revision 07:
SHEET ADDRESS:	Revision 06:
811-827 COAST BLVD, SOUTH	Revision 05:
LA JOLLA, CA 92037	Revision 04:
APR. 2020 (11-20)	Revision 03:
300-CITY (11-20)	Revision 02:
PROJECT NAME:	Revision 01:
COAST BLVD	Original Date: 10-14-2020
SHEET TITLE:	Sheet: 18 OF 24
COTTAGE 811	

DATE	ISSUE
10/14/2020	INITIAL SUBMITTAL
11/10/2020	PERMITS SUBMITTAL
11/10/2020	PERMITS SUBMITTAL
11/10/2020	PERMITS SUBMITTAL
11/10/2020	PERMITS SUBMITTAL

**A2.5a**  
COTTAGE 811  
PLANS



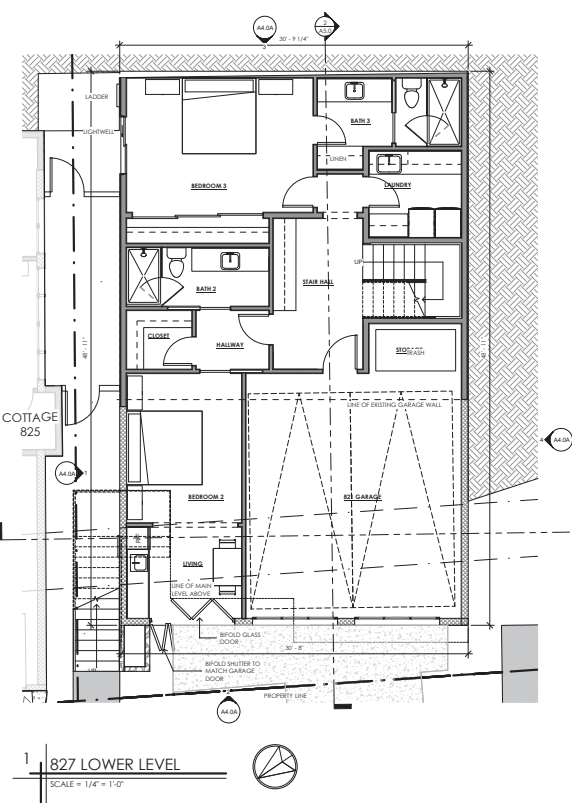


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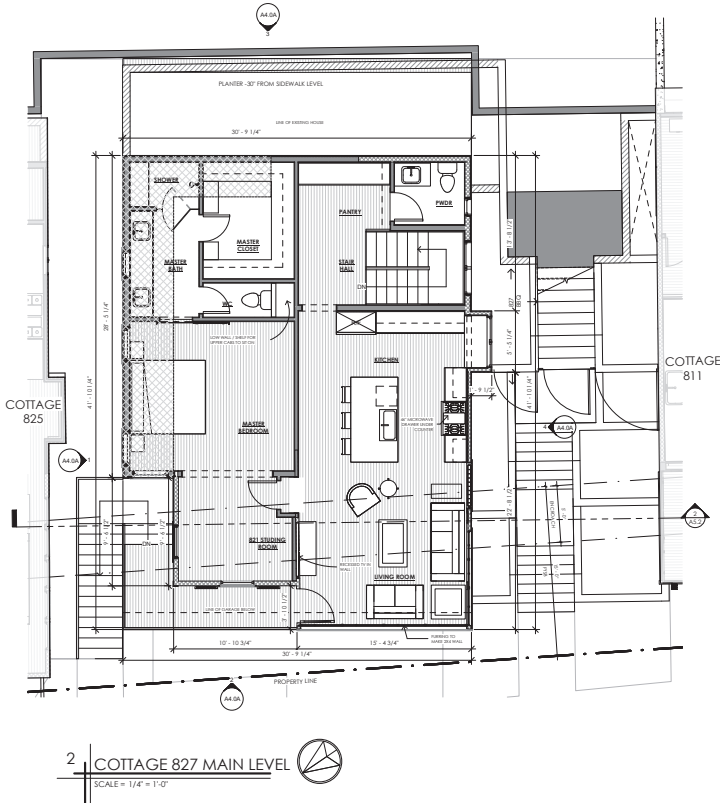
**COAST BLVD**  
 811-827 COAST BLVD S, LA JOLLA, CA 92037

DATE	ISSUE
10/14/2020	INITIAL SUBMITTAL
10/14/2020	PERMITS SUBMITTED
10/14/2020	PERMITS RECEIVED
10/14/2020	PERMITS ISSUED
10/14/2020	PERMITS EXPIRED
10/14/2020	PERMITS RENEWED
10/14/2020	PERMITS REVOKED
10/14/2020	PERMITS WITHDRAWN

**A2.6**  
 COTTAGE 827  
 PLANS



**1 | 827 LOWER LEVEL**  
 SCALE = 1/4" = 1'-0"

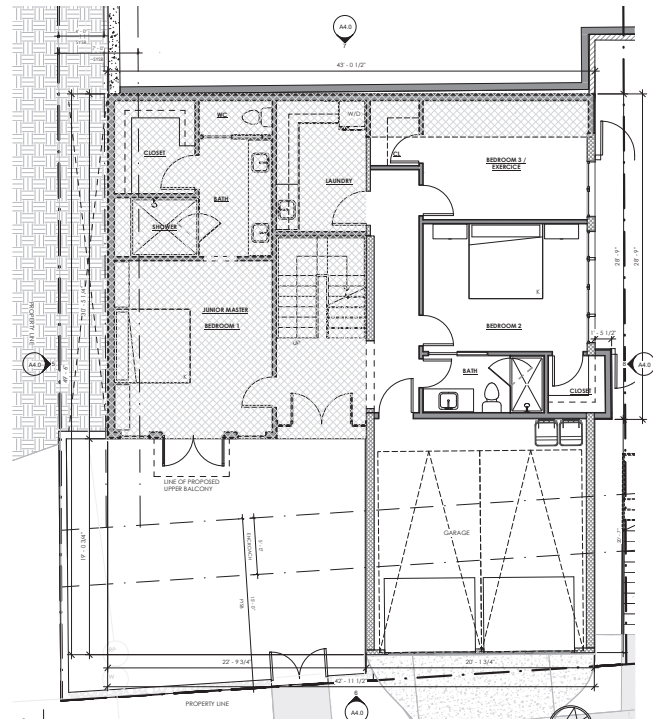


**2 | COTTAGE 827 MAIN LEVEL**  
 SCALE = 1/4" = 1'-0"

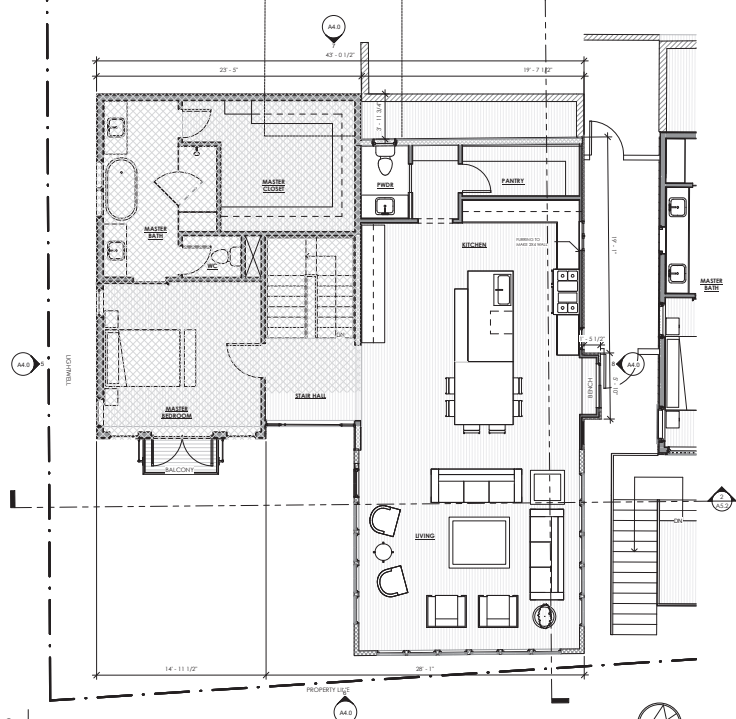
WALL LEGEND		CITY STANDARD TITLE BLOCK	
	NEW CONSTRUCTION WALL	PREPARED BY:	Revision 14:
	EXISTING WALL TO REMAIN	WILL & FOTSCH ARCHITECTS	Revision 13:
	EXISTING WALL TO BE DEMOLISHED	CONTRACT ARCHITECTS	Revision 11:
		1298 Prospect Street, Ste. 25	Revision 10:
		La Jolla, CA 92037	Revision 09:
		Phone: (619) 558-2242	Revision 08:
		Street Address:	Revision 07:
		811-827 Coast Blvd, South	Revision 06:
		La Jolla, CA 92037	Revision 04:
		APN: 330-070-1100	Revision 03:
		330-070-1100	Revision 02:
		Project Name:	Revision 01:
		COAST BLVD	3-19-2021
		Sheet Title:	Revision 01:
		COTTAGE 827	10-14-2020
		Original Date:	10-14-2020
		Sheet:	16 of 24



JOB # 1811



**1 COTTAGE 825 LOWER LEVEL**  
 SCALE = 1/4" = 1'-0"



**2 COTTAGE 825 MAIN LEVEL**  
 SCALE = 1/4" = 1'-0"

**WALL LEGEND**

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

**CITY STANDARD TITLE BLOCK**

PREPARED BY:	Revision 14:
WILL & FOTSCH ARCHITECTS	Revision 13:
CONTACT: ANTHONY FOTSCH	Revision 12:
1298 PROSPECT STREET, SUITE 25	Revision 11:
LA JOLLA, CA 92037	Revision 10:
PHONE:	Revision 09:
(619) 558-2242	Revision 08:
PROJECT ADDRESS:	Revision 07:
811-827 COAST BLVD, SOUTH	Revision 06:
LA JOLLA, CA 92037	Revision 05:
APR. 2020 (11-20)	Revision 04:
330-010-11-03	Revision 03:
PROJECT NAME:	Revision 02:
COAST BLVD	Revision 01:
SHEET TITLE:	Original Date:
COTTAGE 825	10-14-2020
	Sheet:
	17 of 24

DATE	ISSUE
10/14/2020	FINAL SUBMITTAL
10/14/2020	PERMITS SUBMITTAL
10/14/2020	PERMITS SUBMITTAL
10/14/2020	PERMITS SUBMITTAL
10/14/2020	PERMITS SUBMITTAL
10/14/2020	PERMITS SUBMITTAL
10/14/2020	PERMITS SUBMITTAL
10/14/2020	PERMITS SUBMITTAL
10/14/2020	PERMITS SUBMITTAL
10/14/2020	PERMITS SUBMITTAL

**A2.7**  
 COTTAGE 825  
 PLANS  
 06/07/2022

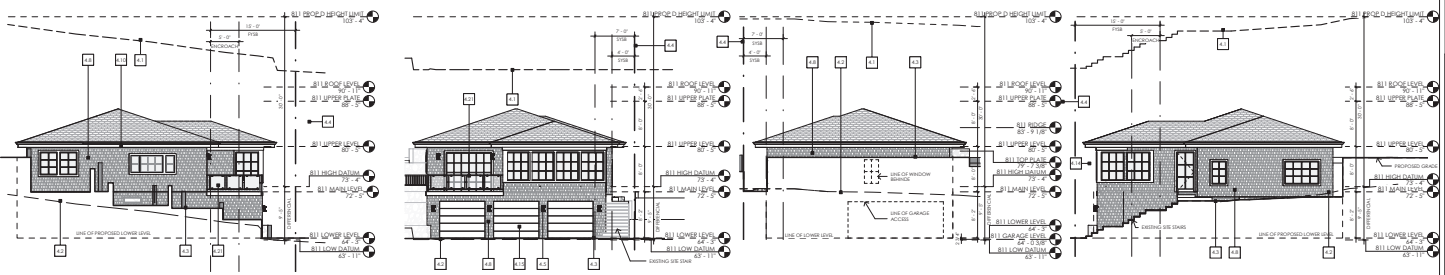


**WILL & FOTSCH ARCHITECTS**  
 1298 PROSPECT STREET, SUITE 25, LA JOLLA, CA 92037 • (619) 558-2242-2486

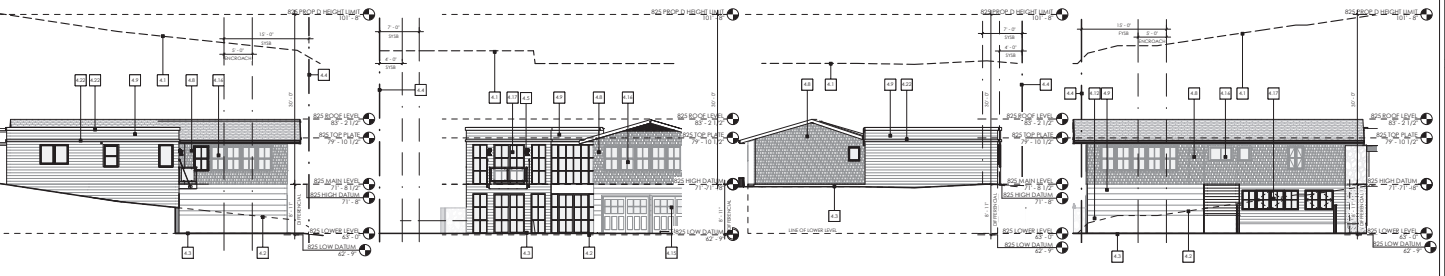


JOB # 1811

**COAST BLVD**  
 811-827 COAST BLVD S, LA JOLLA, CA 92037



**1 | COTTAGE 811 - EAST ELEVATION** SCALE = 1/8" = 1'-0"  
**2 | COTTAGE 811 - NORTH ELEVATION** SCALE = 1/8" = 1'-0"  
**3 | COTTAGE 811 - SOUTH ELEVATION** SCALE = 1/8" = 1'-0"  
**4 | COTTAGE 811 - WEST ELEVATION** SCALE = 1/8" = 1'-0"



**5 | COTTAGE 825 - EAST ELEVATION** SCALE = 1/8" = 1'-0"  
**6 | COTTAGE 825 - NORTH ELEVATION** SCALE = 1/8" = 1'-0"  
**7 | COTTAGE 825 - SOUTH 1/8** SCALE = 1/8" = 1'-0"  
**8 | COTTAGE 825 - WEST 1/8** SCALE = 1/8" = 1'-0"

KEYNOTES	CITY STANDARD TITLE BLOCK																																						
4.1 LINE OF SET-BACK HEIGHT LIMIT 4.2 LINE OF EXISTING GRADE AT BUILDING LINE 4.3 LINE OF PROPOSED GRADE AT BUILDING LINE 4.4 PROPOSED LINE 4.5 LIGHT FIXTURE PER RCP 4.6 WOOD SHINGLE FINISH 4.7 WOOD CLADDING 4.8 METAL MESH COLOR BLACK 4.9 PAINTED WHITE BRICK TYP. 4.10 METAL MESH TO MATCH WINDOW 4.11 (R) GARAGE DOOR TO REMAIN 4.12 (R) WINDOW TO REMAIN 4.13 (R) WINDOW TO REMAIN 4.14 (R) WINDOW TO REMAIN 4.15 (R) WINDOW TO REMAIN 4.16 (R) WINDOW TO REMAIN 4.17 (R) WINDOW TO REMAIN 4.18 (R) WINDOW TO REMAIN 4.19 (R) WINDOW TO REMAIN 4.20 (R) WINDOW TO REMAIN 4.21 (R) WINDOW TO REMAIN 4.22 (R) WINDOW TO REMAIN	<table border="0"> <tr> <td>PREPARED BY:</td> <td>Revision 14</td> </tr> <tr> <td>Name:</td> <td>Revision 13</td> </tr> <tr> <td>WILL &amp; FOTSCH ARCHITECTS</td> <td>Revision 12</td> </tr> <tr> <td>CONDUCT: ANDY FOTSCH</td> <td>Revision 11</td> </tr> <tr> <td>1298 PROSPECT STREET, SUITE 25</td> <td>Revision 10</td> </tr> <tr> <td>LA JOLLA, CA 92037</td> <td>Revision 09</td> </tr> <tr> <td>Phone:</td> <td>Revision 08</td> </tr> <tr> <td>(619) 558-2242</td> <td>Revision 07</td> </tr> <tr> <td>Sheet Address:</td> <td>Revision 06</td> </tr> <tr> <td>811-827 COAST BLVD, SOUTH</td> <td>Revision 05</td> </tr> <tr> <td>LA JOLLA, CA 92037</td> <td>Revision 04</td> </tr> <tr> <td>APN: 330-020-11-00</td> <td>Revision 03</td> </tr> <tr> <td>330-020-11-00</td> <td>Revision 02</td> </tr> <tr> <td>Project Name:</td> <td>Revision 01</td> </tr> <tr> <td>COAST BLVD</td> <td>Revision 00</td> </tr> <tr> <td>Original Date: 10-16-2020</td> <td></td> </tr> <tr> <td>Sheet Title:</td> <td>Revision 00</td> </tr> <tr> <td>COTTAGES EXTERIOR ELEVATIONS</td> <td>Revision 00</td> </tr> <tr> <td>Sheet: 18</td> <td>of 24</td> </tr> </table>	PREPARED BY:	Revision 14	Name:	Revision 13	WILL & FOTSCH ARCHITECTS	Revision 12	CONDUCT: ANDY FOTSCH	Revision 11	1298 PROSPECT STREET, SUITE 25	Revision 10	LA JOLLA, CA 92037	Revision 09	Phone:	Revision 08	(619) 558-2242	Revision 07	Sheet Address:	Revision 06	811-827 COAST BLVD, SOUTH	Revision 05	LA JOLLA, CA 92037	Revision 04	APN: 330-020-11-00	Revision 03	330-020-11-00	Revision 02	Project Name:	Revision 01	COAST BLVD	Revision 00	Original Date: 10-16-2020		Sheet Title:	Revision 00	COTTAGES EXTERIOR ELEVATIONS	Revision 00	Sheet: 18	of 24
PREPARED BY:	Revision 14																																						
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COTTAGES EXTERIOR ELEVATIONS	Revision 00																																						
Sheet: 18	of 24																																						

DATE	ISSUE
10/16/2020	INITIAL SUBMITTAL
10/16/2020	SCHEMATIC DEVELOPMENT
10/16/2020	PRELIMINARY
10/16/2020	PERMITS
10/16/2020	CONSTRUCTION
10/16/2020	AS-BUILT

**A4.0**  
 COTTAGES EXTERIOR ELEVATIONS  
 06/07/2022









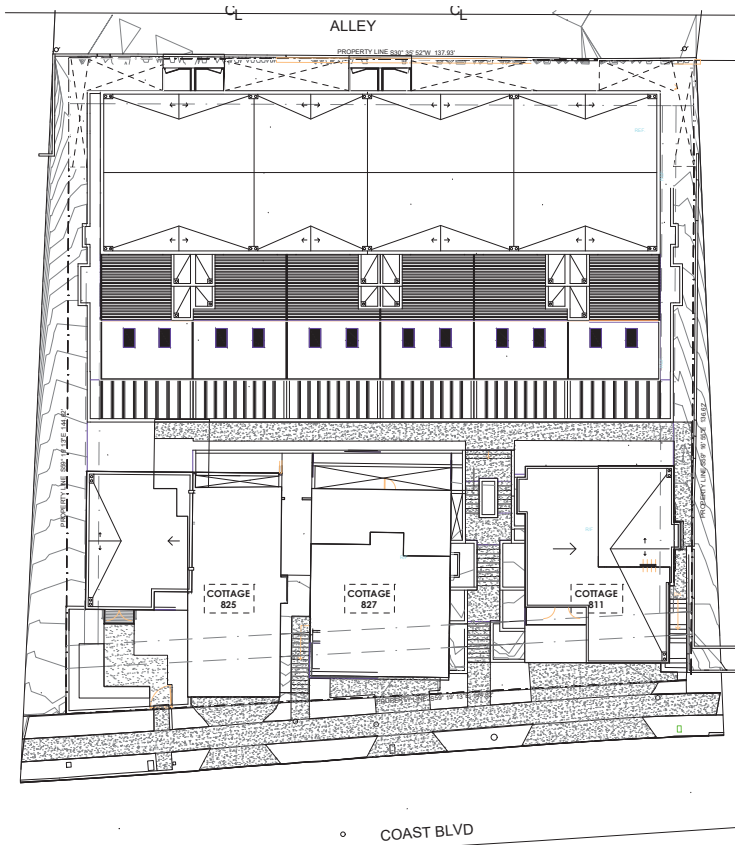






# LANDSCAPE ARCHITECTURAL PLANS FOR: COAST BLVD SOUTH PROJECT

811-827 COAST BLVD,  
LA JOLLA, CA 92037



**PROJECT INFO**  
 ARCHITECT  
 WILL & FOTSCH ARCHITECTS  
 1298 PROSPECT ST., SUITE 2S  
 LA JOLLA, CA 92037  
 858-224-2486  
 WWW.WILLANDFOTSCH.COM  
 LANDSCAPE ARCHITECT  
 OCOTILLO DESIGN GROUP  
 417 E CARMEL ST, STE 100  
 SAN MARCOS, CA 92078  
 OCOTILLODESIGNGROUP.COM

**CIVIL ENGINEER**  
 RANCHO COASTAL ENGINEERING  
 310 VIA VERA CRUZ, SUITE 205  
 SAN MARCOS, CA 92078  
 WWW.RCESD.COM  
 7605103152

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF NATIONAL CITY WATER EFFICIENT LANDSCAPE REGULATIONS (LIC CHAPTER 4 SECTION 18.44.190). I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THIS PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.  
  
 MARK LEONE  
 LANDSCAPE ARCHITECT RL#A 5724 EXP 9/30/19 DATE 03/02/21

A STATEMENT VERIFYING THAT THE LANDSCAPING AND IRRIGATION WERE INSTALLED AS ALLOWED IN THE APPROVED LANDSCAPE AND IRRIGATION PLAN. ALL RECOMMENDED APPROVED SOIL AMENDMENTS IDENTIFIED IN THE SOIL MANAGEMENT REPORT WERE IMPLEMENTED. THE INSTALLED IRRIGATION SYSTEM IS FUNCTIONING AS DESIGNED AND APPROVED. THE IRRIGATION CONTROL SYSTEM WAS PROPERLY PROGRAMMED IN ACCORDANCE WITH THE IRRIGATION SCHEDULE, AND THE PERSON OPERATING THE SYSTEM HAS RECEIVED ALL REQUIRED MAINTENANCE AND IRRIGATION PLANS.

\*AS-BUILT\* PLANS SUBMITTED BY THE LANDSCAPE DESIGN PROFESSIONAL OF RECORD SHOWING THE CHANGES WHEN THERE HAVE BEEN SIGNIFICANT CHANGES TO THE LANDSCAPE PLAN DURING THE INSTALLATION OF LANDSCAPING OR IRRIGATION DEVICES OR IRRIGATION SYSTEM COMPONENTS.  
  
 MARK LEONE  
 LANDSCAPE ARCHITECT RL#A 5724 EXP 9/30/19 DATE 03/02/21

**SHEET LEGEND**

LI-1.00	COVER SHEET
LI-1.01	IRRIGATION PLAN & LEGEND
LI-1.02	IRRIGATION NOTES & LEGEND
LI-1.03	IRRIGATION DETAILS
LI-1.04	IRRIGATION DETAILS
LI-1.05	HYDROZONE PLAN & WATER CALCS
LI-1.06	IRRIGATION SPECIFICATIONS
LP-2.01	PLANTING PLAN & LEGEND
LP-2.02	PLANTING DETAILS
LP-2.03	PLANTING NOTES & LANDSCAPE CALCS
LP-2.04	LANDSCAPE CALCS

**SCOPE OF WORK:**  
 1. NEW PROPOSED IRRIGATION AND PLANTING

- PROJECT NOTES:**
- ROUTINELY INSPECT IRRIGATION SYSTEM FOR FAILURE AND REPAIR PROMPTLY. REPLACE COMPONENTS WITH EQUAL OR BETTER THAN APPROVED MATERIALS.
  - ROUTINELY INSPECT PLANT MATERIAL FOR DISEASED/ DEAD PLANTS. REPLACE AS NEEDED.
  - ROUTINELY INSPECT LANDSCAPE AREAS TO GUARD AGAINST RUNOFF & EROSION.
  - ROUTINELY INSPECT LANDSCAPED AREA FOR INVASIVE SPECIES
  - REPLENISH MULCH AS NEEDED TO MAINTAIN 3" MINIMUM
  - ADD SOIL AMENDMENT TO LANDSCAPE AREAS AS NEEDED TO MAINTAIN PLANT HEALTH
  - OPERATE & MAINTAIN THE LANDSCAPING & IRRIGATION SYSTEM CONSISTENT WITH THE M&M.
  - PROPERTY OWNER WILL BE RESPONSIBLE FOR ALL MAINTENANCE.

**ABBREVIATIONS LEGEND**

TEXT/SYMBOL	DESCRIPTION	CMU	CONC.	MASONRY UNIT
R	EXIST. PROPERTY LINE			
O.C.	ON CENTER	ALT.		ALTERNATING
EXIST.	EXISTING	CLR.		CLEARANCE
CONC.	CONCRETE	FT.		FOOT
P.P.	POURED IN PLACE	IN.		INCH
D.G.	DECOMPOSED GRANITE	TYP.		TYPICAL
MIN.	MINIMUM	GPH		GALLON PER HOUR
MAX.	MAXIMUM	ASOP		AS SHOWN ON PLANS
ADJ.	ADJACENT	TBD		TO BE DETERMINED
H.P.	HIGH POINT	D.L.		DRAINLINE
L.P.	LOW POINT	TDS		TOP/TOE OF SLOPE
F.L.	FLOW LINE	PA		PLANTING AREA
T.O.W.	TOP OF WALL	WWM		WELDED WIRE MESH

LANDSCAPE ARCHITECT:  
 OCOTILLO DESIGN GROUP, INC.  
 417 E CARMEL ST., STE. 100  
 SAN MARCOS, CA 92078  
 OCOTILLODESIGNGROUP.COM  
 LIC. NO. 5724

**OCOTILLO**  
 DESIGN GROUP

**COAST BLVD SOUTH PROJECT**  
 811-827 COAST BLVD,  
 LA JOLLA, CA 92037

**REVISIONS:**

1	06-17-21
2	12-02-21

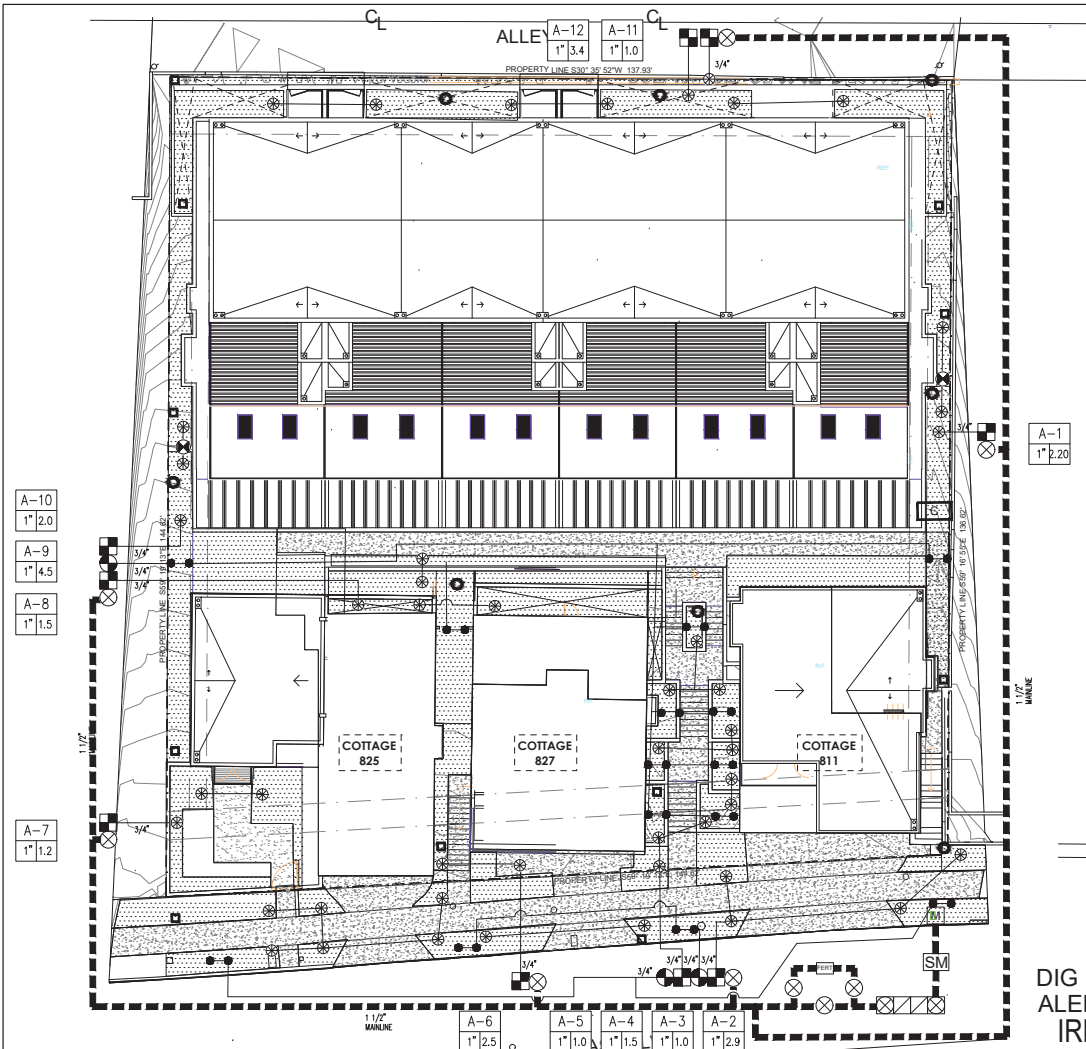
**SUBMITTALS:**

1	06-18-21
2	12-02-21

DATE: 06-03-22  
 SHEET NUMBER  
**LI-1.00**

**DIG ALERT** CALL: TWO WORKING DAYS BEFORE YOU DIG  
 Underground Service Alert North Scale: 0'-1" = 10'-0"

**COVER SHEET**



**DECLARATION OF RESPONSIBILITY**

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF SAN DIEGO LANDSCAPE WATER CONSERVATION REGULATIONS, IN TITLE 8, DIVISION 6, CHAPTER 7, OF THE SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

*Mark Leone*  
 MARK LEONE  
 LANDSCAPE ARCHITECT RLA# 5724

03/02/21  
 DATE

**DIG ALERT**



CALL: TWO WORKING DAYS BEFORE YOU DIG  
 Underground Service Alert North



Scale: 0'-1" = 8'-0"

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 SAN MARCOS, CA 92078  
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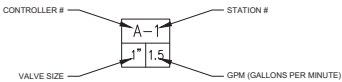
**COAST BLVD SOUTH PROJECT**  
 811-827 COAST BLVD,  
 LA JOLLA, CA 92037

DATE: 06-03-22  
 SHEET NUMBER: **LI-1.01**

**IRRIGATION SCHEDULE**

1. ALL IRRIGATION SYSTEMS SHALL MEET OR EXCEED THE CLCA INDUSTRY STANDARDS.
2. OVERHEAD IRRIGATION
  - 2.1. MPR ROTATOR HEADS NEXT TO DRIVEWAYS AND WALKWAYS MUST BE ADJUSTED TO NOT PRODUCE OVERSPRAY ONTO THE HARD SURFACES.
  - 2.2. ALL HEADS (15' RADIUS OR LESS) SHALL BE SPACED NO FURTHER THAN 45% OF THE SPRAY DIAMETER TO ACCOUNT FOR AREA WIND CONDITIONS. SPRINGS FOR LARGE MPR ROTATORS (25' RADIUS OR GREATER) SHALL NOT EXCEED 50% OF THE SPRAY DIAMETER. ALL OVERHEAD SPRAY IRRIGATION SYSTEMS SHALL BE LAID OUT AND INSTALLED TO ACHIEVE 100% DOUBLE COVERAGE.
  - 2.3. OVERHEAD IRRIGATION HEADS MAY NOT THROW WATER DIRECTLY ONTO ANY ROADWAY, WALKWAY, OR PAVED SURFACE.
3. IRRIGATION ZONING
  - 3.1. CONTRACTOR TO PROPOSE ZONE LAYOUT AND PROPOSED WATER SAVING IRRIGATION TYPE AND MANUFACTURER. INSTALL SYSTEMS THAT ACHIEVE FULL COVERAGE.
  - 3.2. IT IS RECOMMENDED THAT ALL PLANTER AREAS NEAR THE HOUSE AND ALL PLANTER AREAS THAT ARE FLAT GRADES, SHALL RECEIVE NETAFIM DRIP TUBING.
  - 3.3. IF THE OWNERS DOOS IS SEEN TO BE A POTENTIAL PROBLEM FOR DIGGING UP THE DRIP LINES THEN THE NEXT BEST OPTION WOULD BE UTILIZE HUNTER MPR POP UP SPRINKLERS THROUGHOUT - UTILIZING ALL DIFFERENT MATCHED PRECIPITATION RATE NOZZLES FOR EACH AREA. TURN AREAS INCLUDED.
4. 6.5.4 IRRIGATION EQUIPMENT
  - 4.1. PLANTED AREAS SHALL HAVE THE FOLLOWING GENERAL TYPES OF IRRIGATION EQUIPMENT INSTALLED:
    - 4.1.1. SHRUB AREAS: MPR POP UP HEADS, OR NETAFIM SUBSURFACE IRRIGATION SYSTEM. HEIGHT OF SPRINKLER HEAD, ABOVE GRADE, SHALL BE AS LOW AS POSSIBLE AND POSITIONED FROM WALKS AS NOT TO PRESENT A PEDESTRIAN SAFETY HAZARD. ALL HEADS SHALL BE ADJUSTABLE AS TO DIAMETER OF COVERAGE.
    - 4.1.2. LAWN AREAS: MPR ROTATOR POP UP, SET FLUSH WITH FINISHED GRADE. ALL HEADS SHALL BE ADJUSTABLE AS TO DIAMETER OF COVER.
    - 4.1.3. SLOPE AREAS: SHALL BE IRRIGATED WITH LOW PRECIPITATION MPR SPRINKLER HEADS AND CHECK VALVES SHALL BE PROVIDED TO PREVENT HYDROSTATIC RUNOFF. LATERAL LINES SHALL BE INSTALLED PARALLEL WITH CONTOURS. PROVIDE SEPARATE REMOTE CONTROL VALVES FOR SPRINKLER LINES OPERATING SYSTEMS AT THE TOP, TOE, AND INTERMEDIATE AREAS OF

- 4.1.4. DRIP IRRIGATION: INSTALL SUB SURFACE PVC LATERALS WITH RISERS AT APPROX EVERY ZONE. UTILIZE NETAFIM IRRIGATION DISBURSEMENT THAT PROVIDES THE BEST APPLICATION OF WATER TO THE PLANT, WITH THE LEAST POSSIBLE WASTE OF WATER.
- 4.2. ALL PIPING SHALL BE INSTALLED BELOW FINISH GRADE AS A PERMANENT FACILITY. UNLESS MAIN LINES ARE REQUIRED TO BE ELEVATED FOR BACKFLOW PREVENTION. PRESSURIZED MAIN LINES SHALL HAVE A MINIMUM 18 INCHES OF SOIL COVERING. NON-PRESSURIZED SPRINKLER LATERAL LINES SHALL HAVE A MINIMUM 12 INCHES OF SOIL COVERING. FITTINGS SHALL BE HEAVY WEIGHT OF COMPATIBLE MATERIALS TO THE PIPE. ALL PIPING IS TO BE GLEUED AT CONNECTIONS.
- 4.3. BACKFLOW ASSEMBLY SHALL MEET ALL LOCAL CODE REGULATIONS AND BE SUPPLIED WITH VALVES FOR TESTING. IT SHALL NOT BE INSTALLED IN LAWN AREAS OR FORM A PEDESTRIAN OBSTRUCTION, AND SHALL NOT BE HIGHLY VISIBLE.
- 4.4. IRRIGATION SYSTEM IS TO BE COMPLETELY SEPARATE FROM THE HOUSE SERVICE AND PROTECTED WITH AN APPROVED BACKFLOW PREVENTER.
- 4.5. SIZE ALL PIPE AFTER VALVES TO ACHIEVE LESS THAN 5 FT/SEC VELOCITY AND UTILIZE SCH 40 OR CLASS 315 FOR ALL MAINLINES AND SCHEDULE 40 FOR ALL LATERAL LINES.
- 4.6. PROVIDE SCH 40 SLEEVES OR SDR 35 SLEEVES 2X THE DIAMETER OF THE PVC PIPE TO BE INSTALLED UNDER ALL HARDSCAPE AND SCH. 80 UNDER ALL HARDSCAPE DRIVING AREAS.
- 4.7. PROVIDE LAMINATED MAP OF ACTUAL IRRIGATION ZONES INSTALLED. REDUCE TO 8-1/2" AND 11" SIZE TO BE MOUNTED INSIDE CONTROLLER.
5. IRRIGATION PLAN IS A GRAPHIC REPRESENTATION ONLY AS TO LOCATION OF EQUIPMENT AND VALVES. CONTRACTOR TO USE BEST JUDGEMENT IN THE FIELD AS TO EXACT LOCATION OF EQUIPMENT AND VALVES.
6. ALL REMOTE CONTROL VALVES SHALL BE LOCATED IN SHRUB AREAS UNLESS OTHERWISE NOTED.
7. ANY EXISTING IRRIGATION COMPONENTS ON SITE SHALL BE LOCATED BY THE CONTRACTOR PRIOR TO COMMENCING WORK AND SIZE AND WORKING CAPACITY SHALL BE FIELD VERIFIED.
8. ALL ABOVE GROUND IRRIGATION MUST BE 24" FROM ANY HARDSCAPE SURFACES.
9. DRIP IRRIGATION
  - 9.1. ALL DRIP LINE TUBING IS TO BE INSTALLED 2-3" BELOW FINISHED GRADE AND COVERED WITH 3" OF MULCH



SYMBOL	DESCRIPTION	MANUFACTURER	MODEL	PSI	GPM	DETAIL
1/4 1/2 1"	1/4 1/2 1"					
○	BUBBLER	HUNTER	RZV5X-25-CV	30	1.5	8/11/04
□	DRIP AREA	NETAFIM	18VCR-18 LATERAL SPACING	20	-	8/11/04
○	1" SUBMETER	DOMINGO	FR000000			
□	BACKFLOW	FISCO	859V-XX			C/11/03
□	PRESSURE REGULATOR	WILKING	1786XX			G/11/03
□	CONTROLLER	HUNTER	3000000000000000			A/11/03
□	SOLAR PUMP	HUNTER	985-800			A/11/03
□	MASTER VALVE	HUNTER	ICV-XXXX-PS			G/11/03
□	FLOW SENSOR	HUNTER	FLW-GLCK-FCV-XXX			H/11/03
□	LIQUID FERTILIZER INJECTOR/FLO	EE-XXX-CK				J/11/03
○	HOSE BIB	BUDNERS SUPERIOR	460			H/11/03
○	BALL VALVE	NIBCO	T-FP-800			D/11/03
□	VALVE BOX	CARBON	TRUS-XXXX			INSTALL PER DETAIL. SIZE BASED ON VALVE TO BE INSTALLED
○	REMOTE CONTROL VALVE	HUNTER	ICV-XXXX-PS			A/11/04
□	DRIP REMOTE CONTROL VALVE ASSEMBLY	HUNTER	ICZ-XXX			INSTALL PER DETAIL. SIZE PER CALLOUT
□	DRIP CONNECTION	NETAFIM	TLS08A			K/11/04
○	DRIP AIR RELEASE VALVE	NETAFIM	TLAURY			I/11/04
□	DRIP END FLUSH VALVE	NETAFIM	TLFV1			J/11/04
---	MANLINE	PVC	SCHEDULE 40 (3" x 1.125)			8/11/03
---	CONTROL WIRE	PAGE	#14 GAUGE			8/11/03
---	LATERAL LINE	PVC	SCHEDULE 40 PVC			8/11/03
---	SLEEVE	PVC	SCHEDULE 40 PVC			8/11/03

LANDSCAPE ARCHITECT:  
**OCOTILO DESIGN GROUP, INC**  
 417 CARMEL ST. STE 100  
 SAN MARCOS, CA 92078  
 OcotilloDesignGroup.com  
 LIC. NO. 5724

**OCOTILO**  
 DESIGN GROUP

COAST BLVD SOUTH  
 PROJECT  
 811-827 COAST BLVD,  
 LA JOLLA, CA 92037

**DECLARATION OF RESPONSIBILITY**

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF SAN DIEGO LANDSCAPE WATER CONSERVATION REGULATIONS, IN TITLE 8, DIVISION 6, CHAPTER 7, OF THE SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

*Mark Leone* 03/02/21  
 MARK LEONE LANDSCAPE ARCHITECT RLAI# 5724 DATE

**DIG ALERT** **811** CALL: TWO WORKING DAYS BEFORE YOU DIG  
 Underground Service Alert

**IRRIGATION WATER CALCULATIONS**

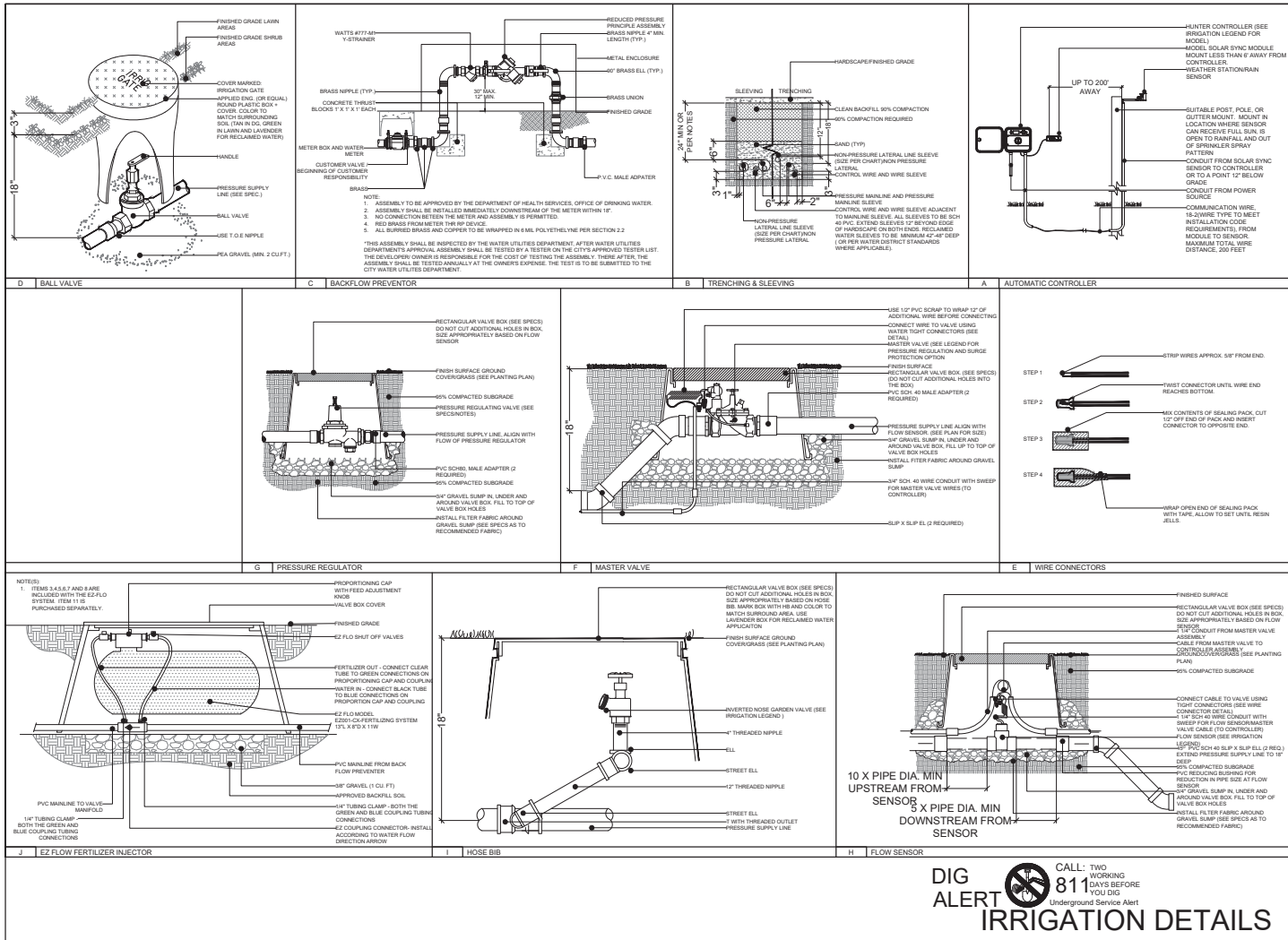
**REVISIONS:**

1	08-17-21
2	12-02-21

**SUBMITTALS:**

1	08-17-21
2	08-18-21
3	12-02-21

DATE: 08-03-22  
 SHEET NUMBER: **LI-1.02**



LANDSCAPE ARCHITECT:  
**OCOTILLO DESIGN GROUP, INC.**  
 417 E CARMEL ST. STE 100  
 SAN MARCOS, CA 92078  
 OCOTILLODESIGNGROUP.COM  
 LIC. NO. 5724

**OCOTILLO DESIGN GROUP**

**COAST BLVD SOUTH PROJECT**  
 811-827 COAST BLVD.  
 LA JOLLA, CA 92037

DATE: 08-03-22  
 SHEET NUMBER: **LI-1.03**

**DIG ALERT 81 DAYS BEFORE YOU DIG**  
 Underground Service Alert

**IRRIIGATION DETAILS**

**REVISIONS:**

1	08-17-21
2	12-02-21

**SUBMITTALS:**

1	08-18-21
2	08-18-21
3	12-02-21





but is not limited to: inspection, system tune-up, system test with distribution uniformity or emission uniformity, spotting, overwater or runoff that causes overflow flow, and preparation of an irrigator schedule.

**Landscape Area:** The entire premises less the area of building footprints, non-irrigated portions of parking lots, driveways, landscapes (as defined in Land Development Code Section 113.0103), and areas designated for habitat preservation or Brush Management Zone 2.

**Maximum Applied Water Allowance (MAWA) Water Budget:** The upper limit of annual applied water to the established landscaped area expressed in gallons per year. It is based upon the area's reference evapotranspiration (ET<sub>0</sub>), the evapotranspiration adjustment factor (ETAF), and 80% of the landscape area.

**Plant Factor:** A factor that when multiplied by the average inches per year evapotranspiration rate, estimates the amount of water used by plants. Plant water use calculations are based on the current Water Use Classification of Landscape Species (WUCOLS) list published by the University of California Cooperative Extension and the California Department of Water Resources: [http://agwr.caes.ucdavis.edu/WUCOLS/Download\\_WUCOLS\\_IV\\_List](http://agwr.caes.ucdavis.edu/WUCOLS/Download_WUCOLS_IV_List)

Plant Water Use	Plant Factor	Also includes
Very Low	0.0 to 0.1	
Low	0.1-0.3	Artificial Turf, Temporary Irrigation
Moderate	0.4-0.6	
High	0.7-1.0	Water features
Special Landscape Area	1.0	

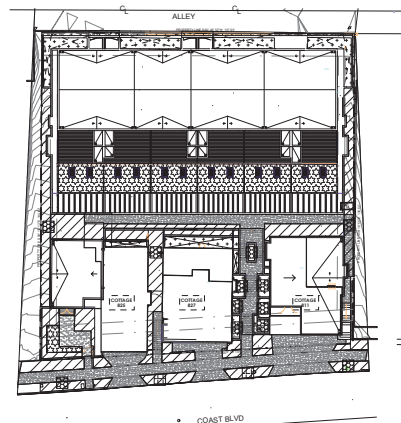
**Special Landscape Area:** Areas used for active and passive recreation areas, areas solely dedicated to the production of fruits and vegetables, and areas irrigated with reclaimed water.

Legend for MAWA Water Budget Calculation Formula

Symbol	Description of Symbol
ET <sub>0</sub>	Evapotranspiration (inches per year); see Table 6 or ET <sub>0</sub> Map
0.62	Conversion factor to gallons
ETAF	Evapotranspiration Adjustment Factor
0.55	0.55 for residential landscape areas; 0.45 for non-residential landscape areas
LA	Landscape Area (square feet)
1-ETAF	Additional Evapotranspiration Adjustment Factor for Special Landscape Areas and Reclaimed Water
0.45	0.45 for residential landscape areas; 0.55 for non-residential landscape areas
SLA	Special Landscape Area (square feet)

In the calculation below provide the values for the water budget calculation used for the proposed project. The ET<sub>0</sub> for the calculation may be based on the precise location of the project using the ET<sub>0</sub> Map or based on the ET<sub>0</sub> for the Community Planning Area in Table 6 of the Landscape Standards each of which follows.

MAWA Water Budget calculation =  $(ET_0 \times 0.62) [(ETAF \times LA) + (1-ETAF) \times SLA]$  = gallons per year



2. DETERMINE THE WATER BUDGET

MAWA Water Budget Calculation

The MAWA Water Budget is calculated using the following calculation formula:

MAWA Water Budget =  $(ET_0 \times 0.62) [(ETAF \times LA) + (1-ETAF) \times SLA]$  = gallons per year

For residential landscape areas =  $(ET_0 \times 0.62) [(0.55 \times LA) + (0.45 \times SLA)]$

For non-residential landscape areas =  $(ET_0 \times 0.62) [(0.45 \times LA) + (0.55 \times SLA)]$

MAWA =  $(ET_0 \times 0.62) [(0.45 \times 5373)]$   
 =  $(25.42 \times 2477)$   
 = 61,516

51

Legend for Estimated Total Water Use (ETWU) Calculation Formula

Symbol	Description of Symbol
ET <sub>0</sub>	Evapotranspiration (inches per year)
0.62	Conversion factor to gallons
PF	Plant Factor
HA	Hydrozone Area (square feet)
IE	Irrigation Efficiency (0.81 for Drip System devices) (0.75 for Overhead-Spray devices)
SLA	Special Landscape Area (square feet)

Then plug in the numbers from each controller/hydrozone into the ETWU equation. Then total the gallons per year of each controller/hydrozone for the Estimated Total Water Use per year. The total ETWU cannot exceed the total Water Budget-MAWA.

Controller No.	ETWU [(ET <sub>0</sub> × 0.62) [(PF × HA) × IE] + SLA]	Result in Gallons per Year
1	[(41) × 0.62] [(0.1 × 2350) × 0.81]	7370
2	[(41) × 0.62] [(0.4 × 953) × 0.81]	11,947
3	[(41) × 0.62] [(0.1 × 50) × 0.81]	157
4	[(41) × 0.62] [(0.4 × 300) × 0.81]	3765
5	[(41) × 0.62] [(0.1 × 1720) × 0.81]	5330
<b>Total ETWU gallons per year</b>		<b>28,569</b>

Use the following table to track information about each controller in the system.

Controller No.	Hydrozone No.	Valve Circuit	Plant Factor (PF)	Hydrozone Area (sq. ft.) (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
1	1	0.1	2350	DRIP	0.81	68	
2	2	0.4	953	DRIP	0.81	18	
3	3	0.1	50	BUBBLER	0.81	2	
4	4	0.4	300	BUBBLER	0.81	14	
5	5	0.1	1720	-	0.81	14	
							5373
							<b>Total 100</b>

54

55

HYDROZONE SCHEDULE

SYMBOL	HYDROZONE	PLANT WATER USE	IRRIGATION METHOD	AREA SF
[Symbol]	HYDROZONE 1	LOW SHRUBS	DRIP	2350 SF
[Symbol]	HYDROZONE 2	MOD SHRUBS	DRIP	953 SF
[Symbol]	HYDROZONE 3	LOW TREE	BUBBLERS	50 SF
[Symbol]	HYDROZONE 4	MOD TREES	BUBBLERS	300 SF
[Symbol]	HYDROZONE 5	ARTIFICIAL TURF	-	1720 SF
<b>TOTAL AREA</b>				<b>5373 SF</b>

DECLARATION OF RESPONSIBILITY

I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF SAN DIEGO LANDSCAPE WATER CONSERVATION REGULATIONS, IN TITLE 8, DIVISION 6, CHAPTER 7, OF THE SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

*Mark Leone*  
 MARK LEONE  
 LANDSCAPE ARCHITECT RLA# 5724  
 DATE 03/02/21

DIG ALERT



CALL: TWO WORKING DAYS BEFORE YOU DIG  
 Underground Services Alert



Scale: 0'-1" = 20'-0"

IRRIGATION HYDROZONE PLAN, LEGEND & NOTES

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COAST BLVD SOUTH PROJECT  
 811-827 COAST BLVD,  
 LA JOLLA, CA 92037

REVISIONS:

▲	06-17-21
▲	12-02-21

SUBMITTALS:

▲	06-08-21
▲	06-18-21
▲	12-02-21

DATE: 06-03-22  
 SHEET NUMBER: LI-1.05

**IRRIGATION NOTES:**


1. GENERAL
  - 1.1. ALL IRRIGATION SYSTEMS SHALL MEET OR EXCEED THE ICA INDUSTRY STANDARDS
  - 1.2. ALL LOCAL, MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR
  - 1.3. IRRIGATION PLAN IS A GRAPHIC REPRESENTATION ONLY AS TO LOCATION OF EQUIPMENT AND VALVES. CONTRACTOR TO USE BEST JUDGEMENT IN THE FIELD AS TO EXACT LOCATION OF EQUIPMENT AND VALVES
  - 1.4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE
  - 1.5. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK
  - 1.6. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK
  - 1.7. CONTRACTOR SHALL VERIFY STATIC WATER PRESSURE AT POINT OF CONNECTION PRIOR TO INSTALLING IRRIGATION SYSTEM. SHOULD STATIC WATER PRESSURE BE LESS THAN 60 PSI, CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT FOR INSTRUCTIONS PRIOR TO PROCEEDING WITH INSTALLATION
  - 1.8. CONTRACTOR SHALL VERIFY LOCATIONS OF AUTOMATIC CONTROLLERS EXISTING MAINS, LATERALS, SLEEVES AND CONTROL WIRING STUBOUTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL SAVE EXISTING IRRIGATION LATERAL LINES WHERE APPROPRIATE, AND SHALL PRESERVE TEST THESE LINES PER THE SPECIFICATIONS
  - 1.9. AS PROJECT PROGRESSES, CONTRACTOR SHALL MAINTAIN ALL AREAS IN A NEAT MANNER AND REMOVE UNWISHTLY DEBRIS AS NECESSARY. AFTER COMPLETION OF THE PROJECT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND CONTAINERS USED IN ACCOMPLISHING WORK. HE SHALL SWEEP AND CLEAN ALL SIDEWALKS, ASPHALT, AND CONCRETE AREAS ADJACENT TO THE PLANTINGS
  - 1.10. ACTUAL LOCATION FOR THE INSTALLATION OF THE AUTOMATIC CONTROLLER IS TO BE DETERMINED IN THE FIELD BY THE OWNERS AUTHORIZED REPRESENTATIVE
  - 1.11. CONTRACTOR IS TO PROVIDE AN ADDITIONAL PLOT WIRE FROM CONTROLLER ALONG ENTIRETY OF MAIN LINE TO THE LAST RCV ON EACH AND EVERY LEG OF MAIN LINE. LABEL SPARE WIRES AT BOTH ENDS
  - 1.12. THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS. SWEENEY AND ASSOCIATES RECOMMENDS MEASURING FOR PROPER GROUND AT LEAST ONCE ANNUALLY, AND NECESSARY ADJUSTMENTS MADE TO COMPLY WITH MANUFACTURER SPECIFICATIONS.
6. OVERHEAD IRRIGATION
  - 6.1. ALL ABOVE GROUND IRRIGATION MUST BE 24" FROM ANY HARDSCAPE SURFACES
  - 6.2. MPR ROTATOR HEADS NEXT TO DRIVEWAYS AND WALKWAYS MUST BE ADJUSTED TO NOT PRODUCE OVERSPRAY ONTO THE HARD SURFACES
  - 6.3. ALL HEADS (18" RADII OR LESS) SHALL BE SPACED NO FURTHER THAN 45% OF THE SPRAY DIAMETER TO ACCOUNT FOR AREA WIND CONDITIONS. SPACING FOR LARGE MPR ROTATORS (24" RADII) OR GREATER SHALL NOT EXCEED 50% OF THE SPRAY DIAMETER. ALL OVERHEAD SPRAY IRRIGATION SYSTEMS SHALL BE LAID OUT AND INSTALLED TO ACHIEVE 100% DOUBLE COVERAGE
  - 6.4. OVERHEAD IRRIGATION HEADS MAY NOT THROW WATER DIRECTLY ONTO ANY ROADWAY, WALKWAY, OR PAVED SURFACE
7. IRRIGATION ZONING
  - 7.1. CONTRACTOR TO PROPOSE ZONE LAYOUT AND PROPOSED WATER SAVING IRRIGATION TYPE AND MANUFACTURER. INSTALL SYSTEMS THAT ACHIEVE FULL COVERAGE
  - 7.2. IT IS RECOMMENDED THAT ALL PLANTER AREAS NEAR THE HOUSE AND ALL PLANTER AREAS THAT ARE FLAT GRASS SHALL RECEIVE NETAFIM DRIP TUBING
  - 7.3. IF THE OWNER'S DOG IS SEEN TO BE A POTENTIAL PROBLEM FOR DIGGING UP THE DRIP LINES THEN THE NEXT BEST OPTION WOULD BE UTILIZE HUNTER MPR POP UP SPRINKLERS THROUGHOUT - UTILIZING ALL DIFFERENT MATCHED PRECIPITATION RATE NOZZLES FOR EACH AREA. TURF AREAS INCLUDED.
8. IRRIGATION EQUIPMENT
  - 8.1. GENERAL
    - 8.1.1. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION
  - 8.2. AUTOMATIC CONTROL WIRE
    - 8.2.1. ELECTRIC WIRING RUNNING FROM CONTROLLER TO THE AUTOMATIC CONTROL VALVES SHALL BE NO. 14, SOLID, SINGLE CONDUCTOR, COPPER WIRE, 484 INCH INSULATION, 484 INCH NEOPRENE JACKET, STYLE BR (DIRECT BURIAL) OR EQUAL. COLOR CODE WIRES TO EACH VALVE. COMMON WIRE SHALL BE WHITE. NO SPlicing SHALL OCCUR BETWEEN CONTROLLER AND VALVES
  - 8.3. AUTOMATIC CONTROLLER
    - 8.3.1. CONTROLLER SHALL BE FURNISHED AND INSTALLED COMPLETE WITH ALL WATER, ELECTRICAL AND DRAINAGE SERVICES, READY FOR OPERATION. UNIT SHALL BE ELECTRIC, SELF-CONTAINED OUTDOOR TYPE, WALL-MOUNTED, OR APPROVED EQUAL. SEE DETAIL FOR CONTROLLER ENCLOSURE AND LEGEND FOR CONTROLLER ENCLOSURE REQUIREMENTS
    - 8.3.2. UNIT SHALL HAVE A MINIMUM OF STATIONS AS SHOWN ON THE IRRIGATION LEGEND
    - 8.3.3. CONTROLLER SHALL BE THE LATEST MODEL OF THE PARTICULAR

- 8.3.4. MANUFACTURER SUPPLIED. PROVIDE ALL WARRANTY DOCUMENTS TO OWNER
  - 8.3.4.1. UNIT SHALL BE A 120-VOLT, 60-CYCLE CONTROLLER, BE COMPLETELY AUTOMATIC AND SHALL FUNCTION OPTIMALLY WITH OR WITHOUT THE CLOCK
  - 8.3.5. STATIONS SHALL BE ADJUSTABLE FROM 1 TO 59 MINUTES
  - 8.3.7. CONTROL PANEL SHALL BE REMOVABLE PLUG-IN TYPE. MECHANISM SHALL BE HOUSED IN A STURDY, VANDAL-PROOF CASE, MANUFACTURED OF 1/4-INCH STEEL, OR CASE ALUMINUM, FURNISHED FOR MAXIMUM EXTERIOR PROTECTION. THE CLOCK AND ALL WORKING PARTS OF THE CONTROLLER SHALL BE CONTAINED WITHIN ONE PROTECTING COVER
  - 8.4. REMOTE CONTROL WIRING
    - 8.4.1. DIRECT BURIAL CONTROL WIRE SIZES AS SHOWN AND SPECIFIED HEREIN BEFORE
    - 8.4.2. PROVIDE ONE CONTROL WIRE AND ONE COMMON GROUND WIRE TO SERVICE EACH VALVE IN SYSTEM. PROVIDE 4-FOOT MINIMUM EXPANSION LOOP AT EACH VALVE TO RMTI REMOVAL AND MAINTENANCE OF VALVES
    - 8.4.3. INSTALL CONTROL WIRES AND IRRIGATION PIPING IN COMMON TRENCHES WHEREVER POSSIBLE
    - 8.4.4. CONTROL WIRE SPLICES ALLOW ONLY ON RUNS OF MORE THAN 300 FEET. SPLICES AS FOLLOWS:
      - 8.4.4.1. STRIP OFF MINIMUM OF 2-1/2 INCHES OF INSULATION FROM EACH WIRE
      - 8.4.4.2. TWIST ON SCOTCHLOCK ELECTRICAL SPRING CONNECTOR. MINIMUM FOUR COMPLETE TURNS
      - 8.4.4.3. SEAL CONNECTOR IN EPOXY RESIN
      - 8.4.4.4. TAPE COMPLETED SPRUCE WITH SCOTCH 33 ELECTRICAL TAPE
    - 8.4.5. NUMBERING AND TAGGING: IDENTIFY DIRECT BURIAL CONTROL WIRE FROM AUTOMATIC VALVES TO TERMINAL STRIPS OF CONTROLLER AT TERMINAL STRIP BY TAGGING WIRE WITH NUMBER OF CONNECTED VALVE
  - 8.5. VALVES
    - 8.5.1. REMOTE CONTROL VALVES SHALL BE LOCATED IN NON TURF AREAS UNLESS NOTED OTHERWISE
    - 8.5.2. CONTROL VALVES
      - 8.5.2.1. REMOTE CONTROL VALVES SHALL BE OF ALL PLASTIC BODY. VALVE SHALL BE PROVIDED WITH AN ADJUSTABLE FLOW CONTROL STEM AND SHALL BE OPERABLE MANUALLY WITHOUT ELECTRICITY
      - 8.5.2.2. ANTI-DRAIN EXCESS FLOW VALVES
        - 8.5.2.2.1. ANTI-DRAIN EXCESS FLOW VALVES SHALL BE MAINTENANCE FREE AND CONSTRUCTED OF HEAVY DUTY TYPE I PVC WITH STAINLESS STEEL AND NEOPRENE INTERNAL PARTS. VALVES SHALL BE ADJUSTABLE FROM 5 FEET TO 40 FEET OF HEAD AND SHALL PREVENT ALL LOW HEAD DRAINAGE QUICKLY AND POSITIVELY AFTER PVC SHUT-OFF. VALVES SHALL HAVE A FEMALE IPS THREADED INLET AND OUTLET AND BE OF THE SAME SIZE AS THE RISER. THE ANTI-DRAIN VALVES SHALL BE WALCOON RADV-X-S, OR APPROVED EQUAL
      - 8.5.2.3. BALL VALVES
        - 8.5.2.3.1. PRODUCT: 1" - 2" SIZE (KING BROS. LO-TORQUE BALL VALVE MODELS LT-1000 THRU LT-2000) 1/2" - 4" SIZE (KING BROS. BLOCK TRUE UNION BALL VALVE MODELS VALENCIA, CALIFORNIA 91384 PHONE: (800) 541-2872 OR (805) 257-3262
  - 8.6. VALVE BOX
    - 8.6.1. FOR REMOTE CONTROL VALVES 9-1/2" X 12" X 11" PLASTIC METER BOX
    - 8.6.2. FOR BALL AND QUICK COUPLER VALVES: 8-3/4" DIAMETER X 12" PLASTIC VALVE BOX WITH EITHER BV OR OC BRANDED ON LID IN 2" HIGH LETTERS
  - 8.7. IRRIGATION TYPES
    - 8.7.1. PLANTED AREAS SHALL HAVE THE FOLLOWING GENERAL TYPES OF IRRIGATION EQUIPMENT INSTALLED:
      - 8.7.1.1. SHRUB AREAS: MPR POP UP HEADS, OR NETAFIM SUBSURFACE IRRIGATION SYSTEM. HEIGHT OF SPRINKLER HEAD, ABOVE GRADE, SHALL BE AS LOW AS POSSIBLE AND POSITIONED FROM WALKS AS NOT TO PRESENT A PEDESTRIAN SAFETY HAZARD. ALL HEADS SHALL BE ADJUSTABLE AS TO DIAMETER OF COVERAGE
      - 8.7.1.2. LAWN AREAS: MPR ROTATOR POP UP, SET FLUSH WITH FINISHED GRADE. ALL HEADS SHALL BE ADJUSTABLE AS TO DIAMETER OF COVER
      - 8.7.1.3. SLOPE AREAS: SHALL BE IRRIGATED WITH LOW PRECIPITATION MPR SPRINKLER HEADS AND CHECK VALVES SHALL BE PROVIDED TO PREVENT HYDROSTATIC RUNOFF. LATERAL LINES SHALL BE INSTALLED PARALLEL WITH CONTOURS. PROVIDE SEPARATE REMOTE CONTROL VALVES FOR SPRINKLERS LINES OPERATING SYSTEMS AT THE TOP, TOE, AND INTERMEDIATE AREAS OF SLOPES WHEREVER PRACTICAL. ANTI-DRAIN VALVES IN LINE OR UNDER SPRINKLER HEADS SHALL BE INSTALLED ON ALL SLOPES GREATER THAN 5%
    - 8.7.2. DRIP IRRIGATION: INSTALL SUB SURFACE PVC LATERALS WITH RISERS AT APPROX EVERY ZONE. UTILIZE NETAFIM IRRIGATION DISBURSMENT THAT PROVIDES THE BEST APPLICATION OF WATER TO THE PLANT, WITH THE LEAST POSSIBLE WASTE OF WATER
    - 8.7.3. CONCRETE FOOTINGS SHALL BE 2,000 PSI CONCRETE AT 28 DAYS. BACKFILL SHALL BE CLEAN FILL SOIL
    - 8.7.4. CONTRACTOR SHALL PROVIDE TO THE OWNER:
      - 8.7.4.1. TWO (2) CONTROL VALVE KEYS
      - 8.7.4.2. TWO (2) WRENCHES FOR REMOVING EACH DIFFERENT TYPE OF SPRINKLER HEAD
      - 8.7.4.3. SIX (6) HOSE BIB ASSEMBLIES
      - 8.7.4.4. FIVE (5) KEYS FOR OPENING AND LOCKING EACH AUTOMATIC CONTROLLER
      - 8.7.4.5. ALL WARRANTY DOCUMENTS, ALL MANUALS, AS-BUILTS AND CONTROLLER CHARTS.
9. PIPING
  - 9.1. ALL PIPING SHALL BE INSTALLED BELOW FINISH GRADE AS A PERMANENT FACILITY. UNLESS MAIN LINES ARE REQUIRED TO BE ELEVATED FOR BACKFLOW PREVENTION. PRESSURIZED MAIN LINES SHALL HAVE A MINIMUM 18 INCHES OF SOIL COVERING.


- 9.2. NON-PRESSURIZED SPRINKLER LATERAL LINES SHALL HAVE A MINIMUM 12 INCHES OF SOIL COVERING. FITTINGS SHALL BE HEAVY WEIGHT OF COMPATIBLE MATERIALS TO THE PIPE. ALL PIPING IS TO BE GLUED AT CONNECTIONS
- 9.3. ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE PIPE CARRIED. SEE LEGEND FOR TYPE. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVE THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MINIMUM DEPTH AS SHOWN ON THE SLEEVING DETAILS. SLEEVES TO EXTEND AT LEAST 12" PAST THE EDGE OF THE PAVING
- 9.4. BACKFLOW ASSEMBLY SHALL MEET ALL LOCAL CODE REGULATIONS AND BE SUPPLIED WITH VALVES FOR TESTING. IT SHALL NOT BE INSTALLED IN LAWN AREAS OR FORM A PEDESTRIAN OBSTRUCTION, AND SHALL NOT BE HIGHLY VISIBLE. IRRIGATION SYSTEM IS TO BE COMPLETELY SEPARATE FROM THE HOUSE SERVICE AND PROTECTED WITH AN APPROVED BACKFLOW PREVENTER
- 9.5. SIZE ALL PIPE AFTER VALVES TO ACHIEVE LESS THAN 5 FT/SEC VELOCITY AND UTILIZE SCH 40 OR CLASS 315 FOR ALL MAINLINES AND SCHEDULE 40 FOR ALL LATERAL LINES
- 9.6. PROVIDE SCH 40 SLEEVES OR SDR 35 SLEEVES 2X THE DIAMETER OF THE PVC PIPE TO BE INSTALLED UNDER ALL HARDSCAPE AND SCH. 80 UNDER ALL HARDSCAPE DRIVING AREAS
- 9.7. PROVIDE LAMINATED MAP OF ACTUAL IRRIGATION ZONES INSTALLED. REDUCE TO 8-1/2 AND 11 SIZE TO BE MOUNTED INSIDE CONTROLLER.
- 9.8. PIPE SIZES SHOWN ARE NOMINAL INSIDE DIAMETER UNLESS OTHERWISE NOTED
- 9.8.1. POLYVINYL CHLORIDE PIPE
  - 9.8.1.1. PVC PLASTIC PRESSURE LINES: FOR PIPING UPSTREAM OF REMOTE CONTROL VALVES AND QUICK COUPLERS. ALL THREE (3) INCHES AND SMALLER SHALL BE TYPE I, GRADE 2 (IMPACT MODIFIED) AS DESIGNATED AS PVC 1220, CH. 40 BEARING THE SEAL OF THE NATIONAL SANITATION FOUNDATION
  - 9.8.1.2. PLASTIC NON-PRESSURE LINES: FOR PIPING DOWNSTREAM OF REMOTE CONTROL VALVES, TYPE I, GRADE 2 (IMPACT MODIFIED) AS DESIGNATED AS PVC 1220, CLASS 200 (SDR21), CONFORMING TO COMMERCIAL STANDARDS C5256-63
  - 9.8.1.3. IDENTIFICATION: FURNISH PLASTIC PIPE CONTINUOUSLY AND PERMANENTLY MARKED WITH FOLLOWING INFORMATION: MANUFACTURER'S NAME OR TRADE MARK, SIZE, CLASS AND TYPE OF PIPE, WORKING PRESSURE AT 73.4 DEGREES F, AND NATIONAL SANITATION FOUNDATION (NSF) RATING
- 9.8.2. BRASS PIPE SHALL BE IPS STANDARD WEIGHT 125 POUNDS, 80% RED BRASS
- 9.9. FITTINGS AND CONNECTIONS
  - 9.9.1. POLYVINYL CHLORIDE PIPE FITTINGS AND CONNECTIONS: TYPE II, GRADE 1, SCHEDULE 40, HIGH IMPACT MOLDED FITTINGS. MANUFACTURED FROM VIRGIN COMPOUNDS AS SPECIFIED FOR DRIPPIG, TAPERSD SCROET OR MOLDED THREADED TYPE. SUITABLE FOR EITHER SOLVENT WELD OR SCREWED CONNECTIONS. MACHINE THREADED FITTINGS AND PLASTIC SADDLE AND FLANGE FITTINGS ARE NOT ACCEPTABLE. FURNISH FITTINGS PERMANENTLY MARKED WITH FOLLOWING INFORMATION: NOMINAL PIPE SIZE, TYPE AND SCHEDULE OF MATERIAL, AND NATIONAL SANITATION FOUNDATION (NSF) SEAL OF APPROVAL. PVC FITTINGS SHALL CONFORM TO ASTM D2466 AND D2468
  - 9.9.2. BRASS PIPE FITTINGS AND CONNECTIONS: STANDARD 125 POUND, CLASS 80% RED BRASS FITTINGS AND CONNECTIONS
10. DRIP IRRIGATION
  - 10.1. ALL DRIP LINE TUBING IS TO BE INSTALLED 2-3" BELOW FINISHED GRADE AND COVERED WITH 2" OF MULCH
  - 10.2. ALL DRIP IRRIGATION TO BE INSTALLED IN SOA AREAS SHALL BE INSTALLED 1" BELOW FINISHED GRADE SUBSURFACE DRIP IRRIGATION INSTALLATION GUIDELINES
  - 10.3.1. THE TYPICAL RECOMMENDED PIPE DEPTH FOR THE DRIPLINE IS 4" BELOW FINISH GRADE
  - 10.3.2. TURF AREAS WHERE AERIFICATION IS A PART OF NORMAL MAINTENANCE OPERATIONS, TUBING MUST BE BURIED BELOW TH EREACH OF AERIFICATION EQUIPMENT
  - 10.3.3. USE 710 SERIES COMPRESSION FITTINGS FOR ALL DRIPLINE CONNECTIONS TO ENSURE THE INTEGRITY OF THE CONNECTION. IT IS IMPERATIVE THAT DL200 DRIPLINE IS INSTALLED AT A UNIFORM DEPTH AND WITH ACCORDING TO MANUFACTURER'S SPECIFICATIONS
11. INSTALLATION
  - 11.1. ALL LANDSCAPE AND IRRIGATION SHALL BE DEVELOPED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE LOCAL MUNICIPALITY
  - 11.2. IF ANY HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVED PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED OR REPLACED IN KIND WITH EQUIVALENT SIZE PER THE APPROVED PLANS
  - 11.3. TREES AND SHRUBS SHALL BE LOCATED AND MAINTAINED TO PRESERVE A CLEAR ZONE OF AT LEAST TEN FEET FROM FIRE HYDRANTS, OVERHEAD UTILITY WIRES, STREET LIGHT LUMINAIRES AND ABOVE GROUND UTILITY STRUCTURES SUCH AS TRANSFORMER ENCLOSURES
  - 11.4. TREES SHALL BE PLANTED AT LEAST FIVE FEET FROM ANY UNDERGROUND UTILITY SUCH AS SEWER, GAS, ELECTRIC AND TELEPHONE. RIPARIAN TREE SPECIES SHALL BE PLANTED AT LEAST 30 FEET FROM CITY SEWER, WATER AND DRAINLINES
  - 11.5. PROVIDE ROOT BARRIERS FOR TEN FEET TO BOTH SIDES OF ALL STREET TREES WITH IN FIVE FEET OF ANY HARDSCAPE PAVING
  12. SLEEVING
    - 12.1. CROSSING OF ROADS WITH IRRIGATION PIPE OR WIRING SHALL BE AVOIDED WHEREVER POSSIBLE. IF A CROSSING MUST BE MADE, SCHEDULE 80 PVC SLEEVES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 30" BELOW FINISH GRADE
    - 12.2. IRRIGATION LINES UNDER ASPHALT CONCRETE OR PORTLAND CONCRETE IMPROVEMENTS (OTHER THAN ROADS) SHALL BE INSTALLED IN SCHEDULE 40 PVC SLEEVES AT A MINIMUM DEPTH OF 18" BELOW FINISHED GRADE

- 12.3. SLEEVE SIZES FOR IRRIGATION LINES SHALL BE A MINIMUM OF TWO (2) TIMES THE SIZE OF THE LINE IT SERVES
- 12.4. CONTROLLER WIRES LOCATED UNDER STREETS OR OTHER PERMANENT IMPROVEMENTS SHALL BE INSTALLED IN SEPARATE PVC SLEEVES AND (CORRESPONDING TO TYPE AND DEPTH AS SPECIFIED IN N-1 AND N-2 ABOVE)
13. TESTING
  - 13.1. ALL PVC MAIN SHALL BE SUBJECTED TO A PRESSURE TEST OF 125 PSI FOR A PERIOD OF FOUR HOURS. ALL TESTING SHALL BE IN THE PRESENCE OF THE ARCHITECT AND CITY REPRESENTATIVE. APPROVAL SHALL BE RECEIVED BEFORE BACKFILLING ANY TRENCH. DO NOT COVER ANY LINES UNTIL THEY HAVE BEEN OBSERVED AND APPROVED

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COAST BLVD SOUTH PROJECT  
811-827 COAST BLVD,  
LA JOLLA, CA 92037



**DECLARATION OF RESPONSIBILITY**


I AM FAMILIAR WITH THE REQUIREMENTS FOR LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE CITY OF SAN DIEGO LANDSCAPE WATER CONSERVATION REGULATIONS, IN TITLE 8, DIVISION 6, CHAPTER 7, OF THE SAN DIEGO COUNTY CODE OF REGULATORY ORDINANCES. I HAVE PREPARED THIS PLAN IN COMPLIANCE WITH THOSE REGULATIONS. I CERTIFY THAT THE PLAN IMPLEMENTS THOSE REGULATIONS TO PROVIDE EFFICIENT USE OF WATER.

MARK LEONE  
LANDSCAPE ARCHITECT RLA# 5724

030221  
DATE

**DIG ALERT**



**IRRIGATION SPECIFICATIONS**

CALL: TWO WORKING  
811 DAYS BEFORE  
"YOU DIG"  
Underground Service Alert

REVISIONS:

NO.	DATE	DESCRIPTION
1	08-17-21	
2	12-02-21	

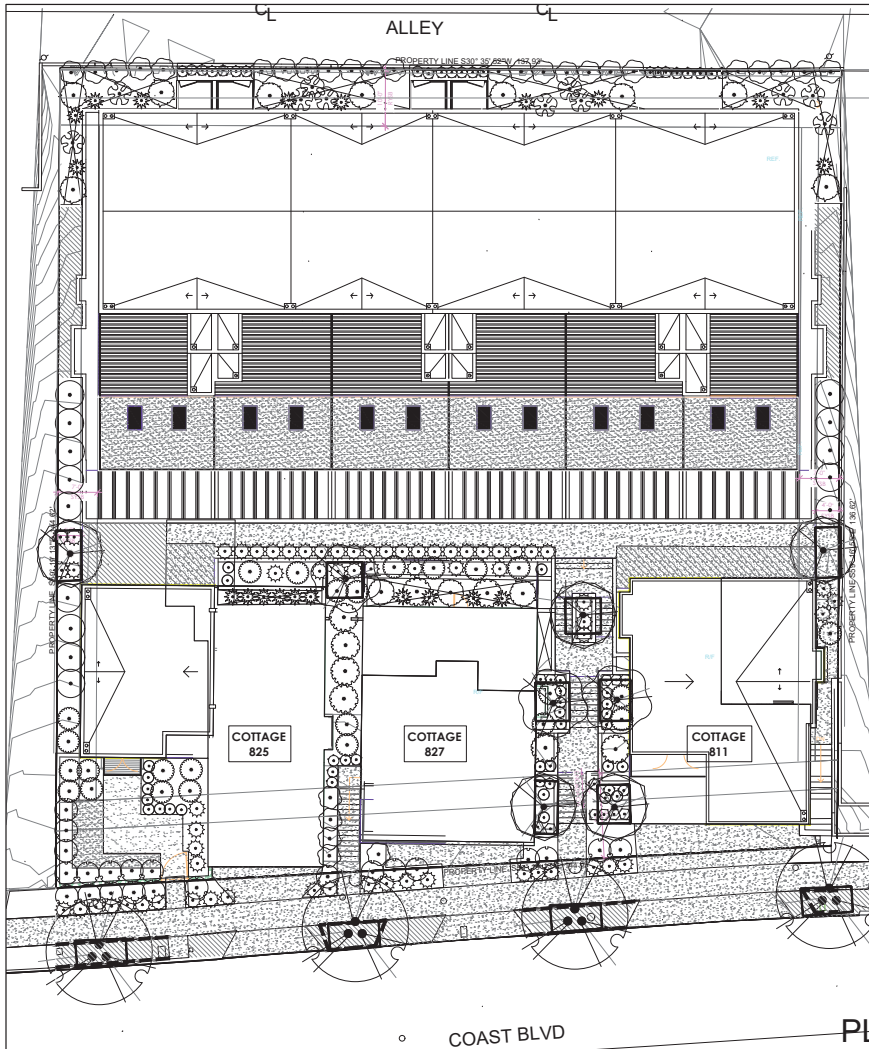
SUBMITTALS:

NO.	DATE	DESCRIPTION
1	08-18-21	
2	12-02-21	

DATE: 08-03-22

SHEET NUMBER

LI-1.06



PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY	REMARKS
	<i>Casia leptophylla</i>	Gold Medallion Tree	36" Box	M	4	
	<i>Lagerstroemia indica</i> x 'fouriel' 'Natchez'	Natchez Crape Myrtle Multi-Trunk	36" Box	M	3	
	<i>Magnolia grandiflora</i> 'Little Gem'	Dwarf Southern Magnolia	36" Box	M	5	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY	REMARKS
	<i>Agapanthus</i> x 'Little White Bird'	Little White Bird African Lily	5 gal.	M	40	
	<i>Buxus microphylla</i>	Littleleaf Boxwood	5 gal.	M	12	
	<i>Clivia miniata</i>	Bush Lily	5 gal.	M	20	
	<i>Dielys vegeta</i>	African Iris	5 gal.	L	65	
	<i>Gaura lindheimeri</i>	Gaura	5 gal.	L	19	
	<i>Hydrangea macrophylla</i>	Largeleaf Hydrangea	5 gal.	M	6	
	<i>Ligustrum japonicum</i> 'Teasium'	Wax Leaf Privet	15 gal.	M	29	
	<i>Olea europaea</i> 'Little Olive' TM	Little Olive Olive	5 gal.	L	14	
	<i>Polychidum munifolium</i>	Western Sword Fern	15 gal.	M	11	
	<i>Rhapis excelsa</i>	Lady Palm	15 gal.	M	12	
	<i>Rosa</i> x 'Iceburg'	Iceburg White Rose	5 gal.	M	25	
	<i>Westringia fruticosa</i> 'Smokely'	Smokely Westringia	15 gal.	L	22	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	WUCOLS	QTY	REMARKS
	Artificial Turf Tiger Turf Diamond Light Spring	Roll			1,515 sf	
	<i>Carlesia macrocarpa</i> 'Green Carpet'	Green Carpet Notal Plum	1 gal.	L	723 sf	
	<i>Rosa adiculata</i> 'Tower Carpet White' TM	White Groundcover Rose	1 gal.	L	256 sf	

- ROOT BARRIER**      **BIO BARRIER 24" DEPTH**
- 40 SQFT UNDISTURBED BY HARDSCAPE AND UTILITIES
- CITY OF SAN DIEGO NOTES:
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.
  - ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
  - TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL. PLEASE CLEARLY IDENTIFY THE INSTALLATION OF ROOT BARRIERS IN THE LOCATIONS SUBJECT TO THESE CONDITIONS PER 142.0403(B).
  - MULCH: ALL REQUIRED PLANTING AREAS AND ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION PER SDMC §142.0411.
  - IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY LDC §142.0403(C) FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALSO, INDICATE THE TYPE(S) OF IRRIGATION SYSTEM(S) PROPOSED, I.E. SPRAY, DRIP, ETC.
  - MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE AND IRRIGATION AREAS IN THE PUBLIC RIGHT-OF-WAY SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER, AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
  - TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 8 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE §142.0403(B)(10).
  - LANDSCAPING AND WATERING SYSTEM AS REQUIRED BY THE LA JOLLA SHORES REVIEW BOARD SHALL BE INSTALLED WITHIN 6 WEEKS FOLLOWING OCCUPANCY OF THE PREMISES.
  - ALL LANDSCAPED MATERIAL SHALL BE PERMANENTLY MAINTAINED IN A GROWING AND HEALTHY CONDITION INCLUDING TRIMMING AS APPROPRIATE TO THE LANDSCAPE MATERIAL.
  - A MINIMUM ROOT ZONE OF 40SF IN AREA SHALL BE PROVIDED FOR ALL TREES. THE MINIMUM DIMENSION FOR THIS AREA SHALL BE 5 FEET, PER SDMC §142.0403(B)(5).
  - EXISTING TREES TO REMAIN ON SITE WITHIN 10-FT OF THE AREA OF WORK WILL BE PROTECTED IN PLACE. THE FOLLOWING PROTECTION MEASURES WILL BE PROVIDED:
    - A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DRIP LINE.
    - STOCKPILING, TOPSOIL DISTURBANCE, VEHICLE USE, AND MATERIAL STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DRIP LINE.
    - A TREE WATERING SCHEDULE WILL BE MAINTAINED AND DOCUMENTED DURING CONSTRUCTION.
    - ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.
  - ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) FOR TREE CARE OPERATIONS AND THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) FOR TREE PRUNING. TOPPING OF TREES IS NOT PERMITTED.

**DIG ALERT** CALL: TWO WORKING 811 DAYS BEFORE YOU DIG  
Underground Service Alert North

Scale: 0'-1" = 8'-0"

LANDSCAPE ARCHITECT:  
OCOTILLO DESIGN GROUP, INC.  
417 CARMEL ST., STE. 100  
SAN MARCOS, CA 92078  
OCOTILLODESIGNGROUP.COM  
LIC. NO. 5724

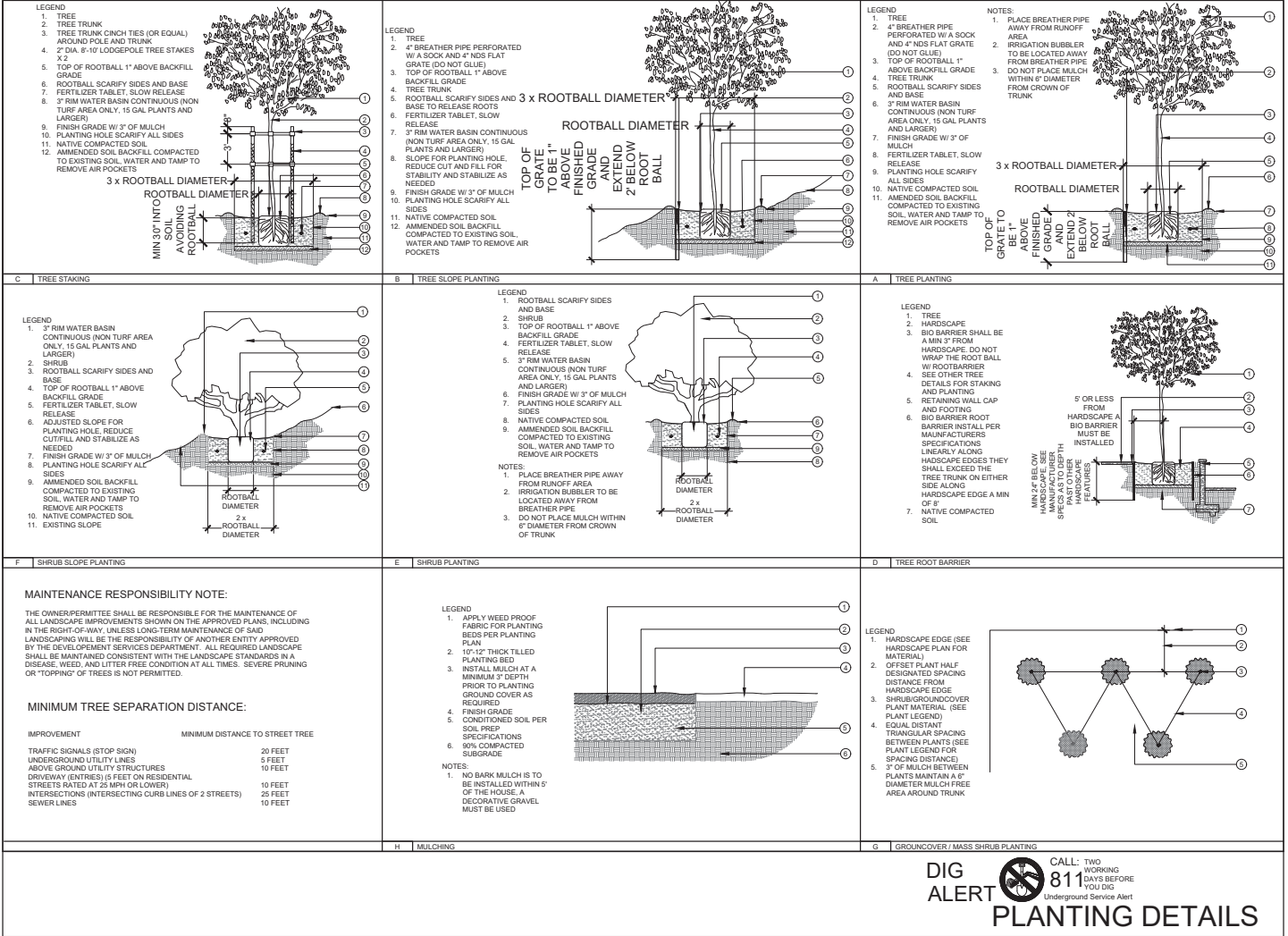
OCOTILLO DESIGN GROUP

COAST BLVD SOUTH PROJECT  
811-827 COAST BLVD,  
LA JOLLA, CA 92037

REVISIONS:  
A 08-17-21  
A 12-02-21

SUBMITTALS:  
A 08-08-21  
A 08-15-21  
A 12-02-21

DATE: 08-03-22  
SHEET NUMBER  
LP-2.01



LANDSCAPE ARCHITECT:  
 OCOTILLO DESIGN GROUP, INC  
 417 E CARMEL ST. STE 100  
 SAN MARCOS, CA 92078  
 OCOTILLODESIGNGROUP.COM  
 LIC. NO. 5724



**COAST BLVD SOUTH PROJECT**  
 811-827 COAST BLVD,  
 LA JOLLA, CA 92037

**REVISIONS:**

NO.	DATE	DESCRIPTION
1	06-17-21	
2	12-02-21	

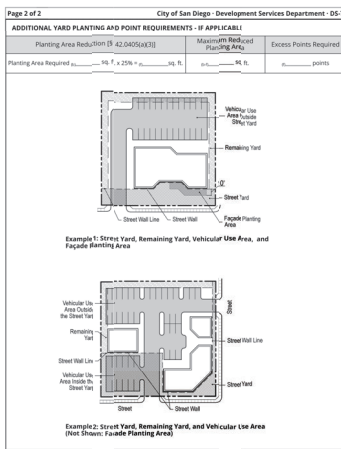
**SUBMITTALS:**

NO.	DATE	DESCRIPTION
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2	12-02-21	

DATE: 06-03-22  
 SHEET NUMBER  
**LP-2.02**

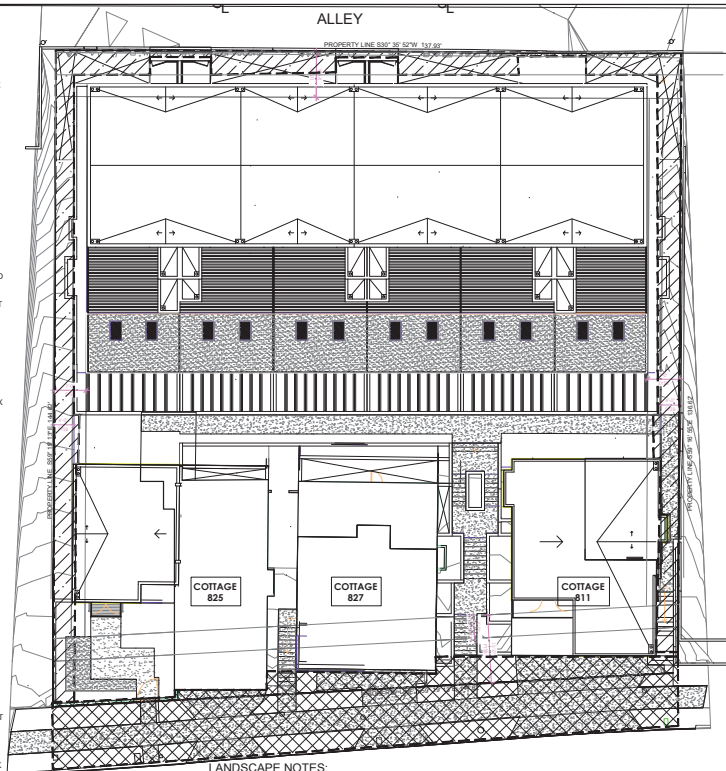
**DIG ALERT 811** CALL: TWO WORKING DAYS BEFORE YOU DIG  
 Underground Services Alert  
**PLANTING DETAILS**

Landscape Calculations Worksheet			FORM DS-7
City of San Diego Department of Public Works			August 2020
<p>Provide the following information on the Landscape Plan. The Landscape Calculations determine the planting area and plant points required by the Landscape Regulations, Chapter 14. Article 2, Division 4 of the Land Development Code. Refer to 14.0401 Tables 14.2-1(a) for proposed and 14.0501 for plant point schedule.</p> <p>At least one-half of the required planting points shall be achieved with trees. If any of the requirements of Landscape Regulations, Section 14.0402(a) 1, 2, and 3 apply to your project, provide a written summary explaining how requirements are being met.</p>			
<b>STREET YARD (14.04.004 - 14.02.060)</b>			
Planting Area Required	Planting Area Provided	Excess Area Provided	
Total Area 2220 sq. ft. x 25% = 555 sq. ft.	843 sq. ft.	288 sq. ft.	
Plant Points Required	Plant Points Provided	Excess Points Provided	
Total Area 2220 sq. ft. x 0.051 = 111 points	460 points	349 points	
*Minimum plant rate is 0.50 when planting pits are located along more than 20% of the street and length (14.04.040(2))			
Plant Points Achieved with Trees (50%)			
200 points			
<b>FAÇADE PLANTING AREA (14.04.004 - 14.02.045)</b>			
Planting Area Required	Planting Area Provided	Excess Area Provided	
Length of Street 111 ft. x 10' = 1110 sq. ft.	1110 sq. ft.	0 sq. ft.	
*Minimum area must have a minimum width of 10' (14.04.040(1))			
Plant Points Required	Plant Points Provided	Excess Points Provided	
Planting Area 1110 sq. ft. x 0.051 = 56.61 points	56.61 points	0 points	
**The facade planting area shall be planted with a combination of trees and shrubs. (14.04.040(1))			
<b>REMAINING YARD (14.02.504 - 14.02.040)</b>			
Planting Area Required	Planting Area Provided	Excess Area Provided	
Length of Property Line 370 ft. x 9' = 3330 sq. ft.	1780 sq. ft.	70 sq. ft.	
*Minimum area must have a minimum width of 9' (14.04.040(1))			
Plant Points Required	Plant Points Provided	Excess Points Provided	
Planting Area 3330 sq. ft. x 0.051 = 169.98 points	640 points	6 points	



**PLANTING SPECIFICATIONS:**

- A. TREE PROTECTION**
- ALL EXISTING TREES SHOWN ON THE PLAN SHALL BE TAGGED AND IDENTIFIED BY THE CONTRACTOR PRIOR TO START OF WORK.
  - ALL EXISTING TREES THAT ARE TO REMAIN SHALL BE PROTECTED AT ALL TIMES FROM DAMAGE. ALL DAMAGE BY THE CONTRACTOR TO THE EXISTING PLANTS SHALL BE REPLACED BY CONTRACTOR AT HIS EXPENSE.
- B. TREE SEPARATION**
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC WATER AND SEWER FACILITIES.
  - TREES INSTALLED WITHIN 10 FEET OF PRIVATE WATER LINES SHALL HAVE A ROOT BARRIER (BIO-BARRIER, 15" DEPTH) INSTALLED ADJACENT TO LINE FOR PROTECTION FROM TREE ROOTS.
- C. PLANT MATERIAL**
- ALL TREES, SHRUBS, AND GROUND COVER SHALL BE SHAPELY, HEALTHY, WELL ROOTED, AND FREE OF DISEASE.
  - PLANT ARE TO BE OF SIZE AND TYPE SPECIFIED ON THESE DRAWINGS. THE OWNER AND THE LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOES NOT COMPLY.
  - SUBSTITUTIONS FOR THE PLANT SPECIES AND SIZE WILL NOT BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER AND LANDSCAPE ARCHITECT.
  - ALL PLANTS SHALL BE CONTINUOUSLY MAINTAINED BY THE LANDSCAPE CONTRACTOR WHILE AWAITING PLANTING. ALL PLANTS SHALL BE STORED AND PROTECTED FROM DRYING AND ALL OTHER INJURY.
  - ALL ONE (1) GALLON PLANTS WILL BE PLANTED WITH AMENDED BACKFILL MIX AND TWO 5-GRAM FOOD TABS (USE 1/3 CUBIC FOOT BAG OF COMPOST PER (20) 1-GALLON PLANTS). ALL FIVE (5) GALLON PLANTS WILL BE PLANTED WITH AMENDED BACKFILL MIX AND FOUR 5-GRAM FOOD TABS. ALL 15 GALLONS WILL BE PLANTED WITH EIGHT 5-GRAM FOOD TABS. (24") BOX TREES WITH 16 5-GRAM FOOD TABS. ALL PLANT TABLETS WILL BE PLACED IN PLANTING PITS AT PROPER DEPTH DEPENDENT ON THE SPECIFIC PLANT SEE TREE PLANTING AND SHRUB PLANTING DETAILS.
  - 3" SOLID PIPES WITH 2" DRILLED HOLES EVERY 4" (2) WILL BE INSTALLED IN EACH 24" BOX AND ABOVE PLANT/TREE. A MIN. OF 4" BELOW THE ROOT BALL AND 2" ABOVE FINAL GRADE WITH A 3" CAP PER PIPE. 1" CONFIGURATION DRAIN PIPES MAY BE REQUIRED ON 36" AND LARGER BOX TREES.
  - DO NOT DAMAGE PLANT ROOT BALL DURING TRANSPORTATION OR PLANTING PROCESS.
  - CROWN OF PLANT SHALL BE MIN 1/2" HIGHER, AFTER THE NEW PLANTED PLAN HAS SETTLED IN THE PIT, THAN THE ADJACENT SOIL.
- D. FINISH GRADE**
- ALL PLANTS SHALL BE SO THAT THEY BARE THE SAME RELATIONSHIP OR HIGHER TO THE REQUIRED FINISHED GRADE AS THEY BORE TO THE NATURAL GRADE BEFORE BEING TRANSPLANTED. EACH PLANT SHALL BE PLANTED IN THE CENTER OF THE PIT AND BACKFILLED WITH PREPARED SOIL. NO PLANTS SHALL BE PLANTED WITHOUT DRAINAGE FROM CROWN.
  - PLANTING AREAS ADJACENT TO PAVED AREAS SHALL HAVE A FINISH GRADE 1" BELOW ADJACENT PAVED SURFACE.
  - ALL PLANTS AND TREES WILL HAVE WATER BASINS AROUND THE PERIMETER OF THE ROOT BALL SEE PLANTING DETAILS.
  - FINISH GRADE WILL BE 4" MINIMUM BELOW BUILDING FINISH FLOOR ELEVATION OR 2" BELOW SCREED UNLESS OTHERWISE SPECIFIED.
- E. PLANT PITS**
- PLANT PITS SHALL BE DUG WITH LEVEL BOTTOMS, TWICE THE WIDTH (2X) OF THE CONTAINER OR ROOTBALL.
  - GROUND COVER SHALL BE AT THE SPACING INDICATED, IN A TRIANGULAR PATTERN, AND NOT BE PLANTED IN STRAIT ROWS.
  - ALL ROCK AND DEBRIS 1/2" AND LARGER SHALL BE REMOVED FROM PLANTING HOLES.
- F. TREE STAKING**
- PLACE STAKE AS CLOSE AS POSSIBLE TO TREE WITHOUT DAMAGE TO ROOTBALL.
  - TREE SHALL BE SUPPORTED IN AT LEAST TWO LOCATIONS USING "CROWN TIES" OR EQUAL.
  - ALL SINGLE TRUNK AND STANDARD TREES THAT REQUIRE STAKING MUST BE STAKED WITH DOUBLE LODGE POLES AND TIED WITH APPROVED TIES.
- G. MULCHING**
- SHREDDED BARK MULCH SHALL BE INSTALLED AT A MINIMUM OF 3" THICK LAYER.
  - SHREDDED BARK MULCH SHALL NOT BE INSTALLED WITHIN 12" OF ANY STRUCTURES.
  - A GRAVEL OR DECORATIVE ROCK SHALL BE USED WITHIN 12" OF ANY STRUCTURES. GRAVEL MULCH SHALL BE A COHESIVE COLOR WITH THE HOUSE.
  - MULCH SHALL BE AGRI-SERVICE FOREST MULCH OR EQUAL PLEASE VERIFY WITH LANDSCAPE ARCHITECT PRIOR TO INSTALL IF DIFFERENT FROM SPECIFIED MULCH ABOVE.
- H. SOG**
- ALL SOG UNDER PROPOSED SOG IS TO BE ROLLED AND WATERED PRIOR TO SOG INSTALLATION.
  - ALL SOG SHALL BE DELIVERED AND INSTALLED SAME DAY.
- I. GROUND COVER**
- ALL GROUND COVER AREAS WILL BE PLANTED WITH TRIANGULAR SPACING SEE PLANTING LEGEND AS TO ON CENTER SPACING OF EACH SHRUB, STAKING A MINIMUM IF FROM ANY PLANT AND SURFACE EDGES (I.E. CONCRETE, BRICK, AND WALK ON BARK).
  - ALL GROUND COVER WILL BE PLANTED WITH ONE 5-GRAM FOOD TAB.
  - ALL GROUND COVER ROWS SHALL BE STRAIGHT.



**LANDSCAPE NOTES:**

- ALL TREES, SHRUBS, AND GROUND COVER SHALL BE SHAPELY, HEALTHY, WELL ROOTED, AND FREE OF DISEASE.
- PLANT ARE TO BE OF SIZE AND TYPE SPECIFIED ON THESE DRAWINGS. THE OWNER AND THE LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REJECT ANY PLANT MATERIAL THAT DOES NOT COMPLY.
- SUBSTITUTIONS FOR THE PLANT SPECIES AND SIZE WILL NOT BE ALLOWED WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER AND LANDSCAPE ARCHITECT.
- ALL PLANTS SHALL BE CONTINUOUSLY MAINTAINED BY THE LANDSCAPE CONTRACTOR WHILE AWAITING PLANTING. ALL PLANTS SHALL BE STORED AND PROTECTED FROM DRYING AND ALL OTHER INJURY.
- EACH PLANT SHALL BE PLANTED IN THE CENTER OF THE PIT AND BACKFILLED WITH PREPARED SOIL. NO PLANTS SHALL BE PLANTED WITHOUT DRAINAGE FROM CROWN.
- PLANT PITS SHALL BE DUG WITH LEVEL BOTTOMS, TWICE THE WIDTH (2X) OF THE CONTAINER OR ROOTBALL.
- GROUND COVER SHALL BE AT THE SPACING INDICATED, IN A TRIANGULAR PATTERN, AND NOT BE PLANTED IN STRAIT ROWS.
- IF ANY REQUIRED LANDSCAPE (INCLUDING EXISTING OR NEW PLANTING, HARDSCAPE, LANDSCAPE FEATURES, ETC) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

**DIG ALERT** CALL: TWO WORKING 811 DAYS BEFORE YOU DIG  
Underground Services Alert

**PLANTING NOTES & LANDSCAPE CALCS**

LANDSCAPE ARCHITECT:  
OCOTILLO DESIGN GROUP, INC.  
417 E CARMEL ST., STE. 100  
SAN MARCOS, CA 92078  
OCOTILLODESIGNGROUP.COM  
LIC. NO. 5724

OCOTILLO DESIGN GROUP

**COAST BLVD SOUTH PROJECT**  
811-827 COAST BLVD,  
LA JOLLA, CA 92037

REVISIONS:

1	08-17-21
2	12-02-21

SUBMITTALS:

1	08-18-21
2	08-18-21
3	12-02-21

DATE: 08-03-22

SHEET NUMBER: LP-2.03

## BUILDING DOCUMENTATION

DOROTHY COTTAGE  
(827 Coast Blvd. South)

- Location:** 827 Coast Blvd. South, La Jolla, San Diego County, California
- Present Owner/  
Occupant:** 800 Coast, LLC
- Present Use:** Rental property
- Significance:** The Dorothy Cottage was previously evaluated as eligible for local designation by the City of San Diego Historical Resources Board (HRB) under Criterion A.<sup>1</sup> The period of significance for the Dorothy Cottage is ca. 1904 (when the Queen Anne Free Classic-style La Jolla Beach Cottage was constructed) to the 1930s, the end of the period of significance for the La Jolla Beach Cottage Theme.<sup>2</sup>
- Historians:** Brian F. Smith, M.A., Senior Historian, Jennifer R.K. Stropes, M.S., Associate Historian, Leah Moradi, M.A., and Elena C. Goralogia, B.A of Brian F. Smith and Associates, Inc. Photography by Bob Hill of Photo Dark Room. This report was completed on December 11, 2020.

**PART I: HISTORICAL INFORMATION****A. Physical History**

1. **Date of erection:** The Dorothy Cottage was completed ca. 1904 as a Queen Anne Free Classic-style La Jolla Beach Cottage. Although the Residential Building Record for the property indicates that the building was constructed in 1911, the Lot Block Book Page for the property indicates that the first year with assessed improvements is 1904, and the building is depicted on the 1909 Sanborn Map; as such, the estimated year of construction for the Dorothy Cottage is ca. 1904.
2. **Architects:** The identity of the original architect, designer, or builder could not be ascertained. Historical research indicates that the residence was constructed by an unknown contractor for Grace Beattie Baillie, the original owner of the property.

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<sup>1</sup> J.R.K. Stropes, Leah Moradi, and Brian F. Smith, Historical Resource Research Report for the Dorothy and Harriet Cottages, 825-827 Coast Boulevard South, La Jolla, California 92037, prepared for the City of San Diego Development Services Department, 2020.

<sup>2</sup> Kathleen A. Crawford, Addendum to Archaeological and Historical Assessment of the Residence Located at 1263 Silverado Street, La Jolla, California 92037, prepared for the City of San Diego Historical Resources Board, 2009.

- 3. Original and subsequent owners, occupants, uses:** Although the subject property was owned by several individuals prior to its initial development, Grace Beattie Baillie was the owner from 1903-14. Baillie was born in 1872 in Kansas where she lived with her mother, stepfather, and sisters until at least 1900. Her stepfather, Wesley Duncan, passed away in San Diego in 1902, leaving a “handsome estate.”<sup>3</sup> Likely with the money from her inheritance, Baillie purchased Lot 9 (the subject property) in 1903 from Joseph B. and Priscilla G. Treat. Joseph Treat, a banker and member of the Wisconsin State Senate, was reported as having worked in “the commission business” in San Diego until ca. 1902, before moving to San Francisco.<sup>4</sup>

Although listed in the 1900 Federal Census as still living in Wisconsin, in July of that year, Treat purchased the “estate of [Priscilla’s uncle Hezekiah] W. Whitney,”<sup>5</sup> which included “six lots in Breed & Chase’s addition, five lots in L.W. Kimball’s addition, one in Culverwell & Taggart’s addition, a number of lots at Coronado Heights, and several tracts of county property.”<sup>6</sup> In December 1901, Treat purchased “certain property situated in La Jolla Park,” which appears to have included most of Block 55, from his brother Ezra P. Treat, who at the time was a “retired merchant” living in Wisconsin.<sup>7</sup>

Since ownership of the property transferred from Treat to Baillie in 1903, the Dorothy Cottage was constructed ca. 1904, and no original building permits could be located, it is unknown if the Dorothy Cottage was constructed by Treat or Baillie. After Baillie purchased the property, which also included several other adjoining lots in Block 55, she married William S. Rench ca. 1906. Rench operated an unnamed grocery store on Fifth Ave. beginning in 1904. In 1905, he partnered with his father, Stull Rench, to run Rench & Son grocers from the same location until 1907, when it became Rench & Co. William Rench then operated the company as Rench & Co. grocers<sup>8</sup> until sometime between 1916-18, when he switched professions to manufacturing.<sup>9</sup> City directories and census records indicate that Baillie worked as a nurse at the Coronado Hotel upon arriving in San Diego ca. 1903 and then became the bookkeeper for the grocery business and manufacturing shop after her marriage to Rench. Although Baillie owned the subject property, neither she nor her husband appear to have ever lived at the Dorothy Cottage. Directories and census records indicate that when the couple arrived in San Diego, they resided on Robinson Ave. and then Sixth St.

The first individuals known to have lived at the cottage were journalist and real estate salesman Stanley R. Hofflund and his wife Dorothea (Dorothy) in 1914. Hofflund was born in Illinois in 1883 and had moved to San Diego by 1905, where he met

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<sup>3</sup> *San Diego Union*, Death of W.H. Duncan, San Diego, California (September 25, 1902).

<sup>4</sup> *San Diego Union*, Treat Property Purchased, San Diego, California (March 19, 1902).

<sup>5</sup> State of California, *California Death Index, 1905-1939*, Sacramento, California.

<sup>6</sup> *Evening Tribune*, Real Estate Sales: H.W. Whitney to J.B. Treat, San Diego, California (July 7, 1900).

<sup>7</sup> *Evening Tribune*, Real Estate Transfers: F.P. Treat et al. to J.B. Treat, San Diego, California (December 4, 1901).

<sup>8</sup> State of California, *California, Voter Registrations, 1900-1968*, Sacramento, California.

<sup>9</sup> United States, Selective Service System, *World War I Selective Service System Draft Registration Cards, 1917-1918*, Washington, D.C.



Dorothea Power. The two were married in 1913 and had a son, Rolf Stanley Hofflund, a year later. In 1915, “the Dorothy cottage” began to appear in newspaper articles<sup>10</sup> describing various persons staying at the cottage for vacation. From the 1910s and into the 1920s, while the Hofflands owned the property and were renting it out to vacationers, Stanley Hofflund primarily worked in real estate and was regarded as “a popular young real estate dealer.”<sup>11</sup> However, once the Hofflunds moved to Los Angeles between 1922-24, Hofflund switched careers and became a newspaper reporter. It is possible that the Dorothy Cottage was named after Dorothea ca. the 1910s, since she was the only Dorothy known to have been associated with the building.

John and Augusta Melzer owned the property from 1916-26, during which time the Harriet Cottage, located on the western portion of the lot at 825 Coast Boulevard South, was constructed in 1921. The Melzers immigrated from Russia (John) and Sweden (Augusta). John Melzer worked as a cook before becoming the proprietor of a restaurant by 1920. Although the family resided in San Diego while they owned the property, they were never listed in city directories at either the 825 or 827 Coast Boulevard South addresses. John Melzer passed away in 1924 and Augusta Melzer sold the property to Frank and Harriet Ayer in 1926.

Frank Ashton Ayer worked as a copper mining engineer for most of his life after graduating from Columbia University in 1911. Ayer married Harriet Irwin Root in 1920 and the two owned the subject property from 1926-32, and then from 1934-64. It is possible that the Harriet Cottage acquired its name while owned by the Ayers; however, the Ayers are never listed in city directories at the 825 or 827 Coast Boulevard South addresses.

4. **Builder, contractor, suppliers:** The architects, builders, contractors, and suppliers for the original ca. 1904 cottage and subsequent additions are unknown.
5. **Original plans and construction:** Although no original plans for the building could be located, the Dorothy Cottage was designed ca. 1904 as a Queen Anne Free Classic-style La Jolla Beach Cottage. The cottage is located on the eastern (rear) portion of the property and was built using sub-standard frame and board and batten construction on a concrete and wood pier foundation. The building was finished in a combination of narrow and wide, horizontal, Cove-style siding and narrow, vertical siding. The building possesses a medium-pitched, hipped roof covered in composite shingles with a moderate, boxed eave overhang and a wide frieze board and simple moulding at the cornice line. A flat-sided bay with two small casement windows and a shed-style roof is located on the south façade. A non-original, partial-width, enclosed front porch is located at the southern end of the west façade. The original

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<sup>10</sup> *San Diego Union*, La Jolla News: Mr. and Mrs. Dwight L. Moody and family in Dorothy cottage, San Diego, California (October 30, 1915); *San Diego Union*, Miss C. D. Ellis and her friend Miss Rommel in Dorothy cottage, San Diego, California (January 23, 1915); *San Diego Union*, La Jolla Notes: Mrs. F. F. Dedereaux and maid in Dorothy cottage, San Diego, California (January 22, 1916).

<sup>11</sup> *Evening Tribune*, Power-Hofflund Wedding, San Diego, California (July 26, 1913).

main entry was located on the west façade of the building. While this door is still present, entry into the building is located on the north façade of the enclosed front porch. Two small, shed-roofed additions are present on the east façade, both of which are clad in beveled, horizontal wood siding. A brick chimney is located above the roof off the south façade. A majority of the windows on the north, west, and south façades are double-hung with multiple diamond-shaped lites in the upper window and a single pane in the lower. Other fenestration includes wood-framed, diamond-paned casement windows separated by heavy wood muntins.

- 6. Alterations and additions:** The porch extension on the west facade appears to have been constructed prior to 1909, as it is visible on the 1909 Sanborn Map. Although no photographs exist prior to 1922, it is likely that the front porch extension remains unchanged, as it was drawn as an enclosed area on the 1909 Sanborn Map. While the 1922 aerial photograph is not of a high enough resolution to show details of the building, 1924-26 historic photographs from the La Jolla Historical Society indicate that the sliding, multi-pane, wood-framed windows currently present on the west façade of the porch were added prior to 1924.<sup>12</sup> As the photographs depict Jenner Avenue and Coast Boulevard South being paved, and according to the *Evening Tribune*, these streets were paved in 1924,<sup>13</sup> it is likely that the photographs date to 1924 instead of 1924-26. The front porch appears as it did in the 1924 photograph and exhibits a shed-style roof and is clad in wide, horizontal wood siding.

Two small, shed-roofed additions are present on the east façade: the first addition was constructed prior to 1909, onto which the second addition was constructed between 1949-52. The 1949-52 addition is clad in beveled, horizontal wood siding.

## B. Historical Context

The Dorothy Cottage was constructed ca. 1904 as a La Jolla Beach Cottage. Howard S.F. Randolph's 1955 book, *La Jolla Year by Year*,<sup>14</sup> which lists many of the "Old Cottages by Streets," identifies the two buildings (the Dorothy Cottage and the building immediately west, which is named the Harriet Cottage) on the subject lot as La Jolla Beach Cottages, but identifies the 825 Coast Boulevard South building as "Dorothy," and the 827 Coast Boulevard South building as "Harriet." Both 825 and 827 Coast Boulevard South are not listed together in directories until 1923 and Randolph's address confusion may be due to the fact that the Dorothy Cottage was recorded as 825 Coast Boulevard South on the 1909 Sanborn Map, retaining that address until the Harriet Cottage was constructed in 1921 (as evidenced by the 1921 and 1926 Sanborn maps, which depict the Harriett Cottage at 825 Coast Boulevard South and the Dorothy Cottage at 825 ½ Coast Boulevard South). However, it is clear that the subject building, with an address of 827 Coast Boulevard South, which was constructed ca. 1904, is the Dorothy Cottage, as newspaper articles from 1915

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<sup>12</sup> *Evening Tribune*, Notice of Filing Assessment and Fixing Time for Hearing Appeals: Coast Boulevard, South Coast Boulevard, and Jenner Street, San Diego, California (December 12, 1924).

<sup>13</sup> *Evening Tribune*, Notice of Filing, 28.

<sup>14</sup> Howard Stelle Fitz Randolph, *La Jolla Year by Year*, Library Association of La Jolla, California, 1955.

and 1916 refer to “the Dorothy cottage” in La Jolla<sup>15</sup> before the Harriett Cottage was constructed in 1921.

According to Kathleen Crawford, who established the Early La Jolla Beach Cottage Context utilized by the City of San Diego HRB:

Beach cottages were once a common, and dominant, style of architecture in La Jolla from the late 1880s through the 1930s. At one point, there were over 450 beach cottages listed in local histories. In 2009, estimates are that approximately 19 of these cottages remain as part of the architectural heritage of La Jolla.

Patricia Schaechlin, noted La Jolla historian, discusses beach cottages in her history of La Jolla. She described the early years of La Jolla’s history as follows: “In 1888, the land collapse left a scraggly collection of cottages, few residents, no improvements and little hope ... La Jolla experienced a steady growth in the first two decades of the twentieth century, a time when the community became a village. It grew from a 350 population, some one hundred houses, to a village and a popular resort with a commercial base of tourism large enough to support its permanent residents (Schaechlin 1988:133)” ...

In the Appendices to the book, *La Jolla Year by Year*, Randolph listed all the beach cottages in La Jolla by name and address, when it was possible to include both elements of information. The list was notated by unknown persons in the copy of the book located at the La Jolla Historical Society. The annotated Randolph list documented approximately 466 beach cottages on approximately 25 streets in La Jolla and these structures dated from the 1890s to the 1920s.

In the annotated Randolph list, the list documented the following streets as containing beach cottages: Cave Street, Coast Boulevard, South Coast Boulevard, Draper Avenue, Eads Avenue, Kline Street, La Jolla Boulevard, Lookout Drive, Park Row, Pearl Street, Princess Street, Spindrift Drive, Torrey Pines Road, and Virginia Way ...

Originally most of the beach cottages had names, instead of street addresses. The post office delivered the mail by name, not street address. The names were replaced in 1913 by street numbers for the use of the post office and Western Union but local residents still referred to the cottages by name. Cottage names were short, diverse and very original ...

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<sup>15</sup> *San Diego Union*, La Jolla News, 4; *San Diego Union*, Miss C. D. Ellis, 3; *San Diego Union*, La Jolla Notes, 9.

By 1920, the population had increased to over 2500 people, with schools, roads, a commercial district, and an established tourist industry. Summer rentals of beach cottages were very popular and “practically every house and every room in La Jolla is already taken for the next two months ... (Schaechlin 1987:141).” Cottages were the popular choice for summer rentals and there were many to choose from. During the 1920s, hotels began to be constructed for tourists who did not want a cottage rental and gradually many of the rentals were converted to permanent homes for newcomers to the area ...

The decade of the 1920s also brought increased residential density. The automobile took over American society and soon roads north and south led to La Jolla.<sup>16</sup>

According to Kathleen Crawford, La Jolla Beach Cottages and bungalows are defined as:

... a form of residential architecture that became very popular in the twentieth century across America but were particularly suited to beach living. Popular primarily between 1890-1940, the style evolved from tropical beginnings. Various sources state that bungalow architecture began in Bengal, India. The indigenous one-story, “Bangla” style, tile or thatched roofed buildings with wide open verandas were adopted by the British during their period of control of India in the 1800s. The British built bungalow residences for their on-site administrators and as summer retreats. In India, these small houses were provided as rest houses for travelers so the association was created early on that these small houses [were intended] for a temporary retreat. Refined and popularized in California, the first California house labeled a “bungalow” was designed by San Francisco architect, A. Page Brown in the early 1890s (calbungalow.com).

At this time, the Arts and Crafts movement, emphasizing a horizontal link between the house and the land around it had begun to influence architecture. The use of local materials and colors from the surrounding landscape reinforced the home-earth relationship. In 1906, an article in *The Craftsman* magazine suggested “Possibilities of the Bungalow as a Permanent Dwelling.” Once they were accepted as full time, year round residences, the simplicity of a summer home fused with the idealistic philosophy of the Arts and Crafts movement (calbungalow.com).

“The Arts and Crafts movement inspired American architects and craftsmen like the Greene brothers in Pasadena and Frank Lloyd Wright in Chicago, Gustav Stickley in Michigan and many others to rediscover the value in hand crafting buildings and their contents using natural

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<sup>16</sup> Kathleen A. Crawford, Addendum, 1-3.

materials, creating a more holistic lifestyle for their occupants. At the same time, there were other notable movements, such as the first wave of nature conservancy and the establishment of national parks and social activism that was of a decidedly popularistic bent. The Industrial Age's backlash was a yearning desire among many Americans to own their own homes and have small gardens. The success of the bungalow was due to its providing a solution to this desire. Thus, we'll go out on a limb here and define the bungalow by its populist appeal, affordability, and easy livability and charm. The essential distinction between the Craftsman 'style' and the derivative bungalow is the level of fine detail and craftsmanship (calbungalow.com)."

Over time, the popularity of the bungalow style led to an increased demand. Companies such as Sears and Montgomery Ward created "home kits" and one could purchase a complete bungalow style home to construct on an empty lot. Affordable and easy to construct, the concept caught on with American home owners (calbungalow.com).

Bungalow homes are defined not by size, but by scale. Typical [exterior] features of a bungalow include:

- Small- to medium-sized residences
- One to one and one-half stories, occasionally two stories
- Low, sloping roof, hipped or gabled, sometimes with dormers
- Exposed roof structure (beams and rafters)
- Exterior proportions balanced rather than symmetrical in arrangement
- Modest front porch
- Front stoop
- Focus upon a garden, even if small
- Wood shingles, horizontal siding or stucco exteriors
- Brick or stone exterior chimneys
- Partial width front porch
- Asymmetrical "L" shaped porches ...
- Stained and leaded glass used for windows ...
- Windows typically double-hung with multiple lights in the upper window and a single pane in the lower, often seen in continuous banks, simple wide casings
- Artisan light fixtures.<sup>17</sup>

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<sup>17</sup> Kathleen A. Crawford, Addendum, 6-7.

## PART II: ARCHITECTURAL INFORMATION

### A. General Statement

**Architectural character:** The Dorothy Cottage is a small- to medium-sized, one-story residence with a medium-pitched, hipped roof built with a board and batten frame. Although the building's roof structure is not exposed, the exterior proportions of the building are balanced rather than symmetrical. It possesses a modest, partial-width, asymmetrical front porch that was extended westward between 1904-09. Although the front porch extension is not original, the date of modification falls within the 1880s-1930s period of significance for the La Jolla Beach Cottage Theme,<sup>18</sup> thereby reflecting the evolution of the resource within its period of significance. The building is covered in horizontal siding and possesses a brick chimney visible above the roofline. A majority of the windows on the north, west, and south façades are single-hung with multiple, diamond-shaped lites in the upper window and a single pane in the lower. Other fenestration includes wood-framed, diamond-paned casement windows separated by heavy wood muntins. Of the 12 exterior characteristic features of bungalow homes, the Dorothy Cottage possesses eight:

- Small- to medium-sized residence;
- One story;
- Balanced exterior proportions;
- Modest front porch;
- Horizontal siding;
- Brick exterior chimney;
- Partial-width front porch; and
- Double-hung windows with multiple lites in the upper window and a single pane in the lower.

As a result, the Dorothy Cottage embodies distinctive architectural characteristics of a bungalow home.

The Dorothy Cottage was constructed in the Queen Anne Free Classic style. The Queen Anne style was popularized by a “group of English architects led by Richard Norman Shaw in the late 19<sup>th</sup> century despite having little to do with Queen Anne who reigned in England from 1702 to 1714.”<sup>19</sup> The style owes its “popularity to the public’s enthusiastic embrace and the pattern books and mail-order house plans that allowed them to build a Queen Anne house” (McAlester 2015).

The Queen Anne style has four shape subtypes (Hipped Roof With Lower Cross Gables, Cross-Gabled Roof, Front-Gabled Roof, and Town House) and four

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<sup>18</sup> Kathleen A. Crawford, Addendum, 1.

<sup>19</sup> Virginia Savage McAlester, *A Field Guide to American Houses (Revised): The Definitive Guide to Identifying and Understanding America’s Domestic Architecture*, Alfred A. Knopf, New York, 2015.

decorative detailing subtypes (Spindlework, Free Classic, Half-Timbered, and Patterned Masonry). The characteristic elements of these subtypes vary greatly, but examples generally include a “steeply pitched roof of irregular shape, usually with a dominant front-facing gable; patterned shingles, cutaway bay windows, and other devices used to avoid a smooth-walled appearance; asymmetrical façade with partial or full-width porch which is usually one story high and extended along both side walls.”<sup>20</sup> The Dorothy Cottage is best classified as the Hipped Roof With Lower Gables shape subtype and the Free Classic decorative detailing subtype and also exhibits a “steeply hipped roof” with a ridge that runs front to back, parallel to the side of the house, and a lower cross gable. Virginia McAlester states that “the roof form of this subtype is among the most distinctive Queen Anne characteristics and occurs in examples ranging from modest cottages to high-style landmarks.”<sup>21</sup> As the front porch supports and railings “lack the delicate, turned balusters of the spindlework type of Queen Anne house,” the building is most representative of the Free Classic decorative detailing subtype.<sup>22</sup>

Although the Dorothy Cottage retains integrity of design and materials, which are essential for conveying a building’s significance, it lacks several architectural elements that would make it a representative example of the Queen Anne Free Classic style. Specifically, because the front porch has been enclosed, it does not possess porch columns that are “the full height of the porch or raised on a pedestal to the level of the porch railing,” nor are the columns “grouped together in units of two or three.”<sup>23</sup> The building also does not possess “Palladian windows, cornice-line details, swags and garlands and other classical details,” which are frequently seen in the style.<sup>24</sup> The Dorothy Cottage also lacks “patterned shingles, cutaway bay windows, and other devices used to avoid a smooth-walled appearance” and the front porch does not extend “along one or both side walls.”<sup>25</sup>

**Condition of fabric:** The condition of the original materials used to construct the Dorothy Cottage is generally good. The windows and doors are intact and appear operable. The original horizontal siding exhibits areas of missing paint but is otherwise in good condition. Some of the wood steps leading to the entryway on the west façade are damaged, as is the railing and many of the boards that make up the vertical wood siding that covers the pier foundation. If windows were originally resented on the lower level of the building, they have since been broken and replaced with plexiglass.

## B. Description of Exterior

**1. Overall dimensions:** The Dorothy Cottage originally measured 26' north to south,

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<sup>20</sup> Virginia Savage McAlester, *A Field Guide*, 345-346.

<sup>21</sup> Virginia Savage McAlester, *A Field Guide*, 345-346.

<sup>22</sup> Virginia Savage McAlester, *A Field Guide*, 345-346.

<sup>23</sup> Virginia Savage McAlester, *A Field Guide*, 345-346.

<sup>24</sup> Virginia Savage McAlester, *A Field Guide*, 345-346.

<sup>25</sup> Virginia Savage McAlester, *A Field Guide*, 348.

not including the 2' x 6', flat-sided bay on the south façade, and 34' east to west. The enclosed front porch extension measures 4' x 13' and the two rear additions measure 3' x 17' and 3' x 8'. Altogether, the Dorothy Cottage measures approximately 1,023 square feet.

2. **Foundations:** The Dorothy Cottage features a wood pier foundation.
3. **Walls:** The Dorothy Cottage was constructed with wood-framed walls covered in a Cove-style, horizontal wood siding with vertical wood siding below the floor level covering the wood pier foundation.
4. **Structural system, framing:** The Dorothy Cottage features a wood-frame structural system.
5. **Openings:**
  - a. **Doorways and doors:** The original front entry door of the Dorothy Cottage was likely located on the west façade inside the enclosed porch and consists of a half-lite, wood-paneled door with two rectangular panes separated by a vertical muntin. Hardware consists of a simple bronze plate with keyhole and a round bronze doorknob, all of which have been painted white.

The doors at the entrance to the enclosed front porch on the west façade and the entrance to the 1949-52 addition on the east façade are not original and feature 10-lite French doors with modern chrome hardware.
  - b. **Windows and shutters:** On the original portion of the Dorothy Cottage, windows are single-hung and wood-framed with multiple diamond-shaped lites in the upper window and a single pane in the lower. Fenestration on the enclosed porch consists of four-lite, wood-framed, horizontal-sliding windows. The rear additions exhibit wood-framed casement windows that feature multiple diamond-shaped lites separated by heavy wood muntins. None of the windows on the Dorothy Cottage possess shutters.
6. **Roof:**
  - a. **Shape, covering:** The roof of the original portion of the Dorothy Cottage is medium-pitched, hipped, and covered in composite shingles. It exhibits a moderate, boxed eave overhang, a wide frieze board, and simple moulding at the cornice line. The flat-sided bay window on the south façade and the 1949-52 addition on the east façade feature shed roofs covered in composite shingles.

## C. Description of Interior

1. **Floor plans:** The main entrance to the Dorothy Cottage is located on the north



façade of the enclosed front porch at the west side of the building. The original entry door is located on the west façade of the building, inside the enclosed front porch and leading into the living room. On the north side of the living room are three bedrooms. To the east of the living room are two doorways. The southern doorway leads into the kitchen and the northern into a short hallway that terminates at the laundry/mudroom. The bathroom is located on the north side of the hallway leading to the laundry/mudroom.

2. **Stairways:** The Dorothy Cottage does not feature any interior stairways.
3. **Flooring:** Hardwood strip flooring covers the main living areas and bedrooms in the original portion of the Dorothy Cottage. The kitchen, laundry/mudroom, and bathroom floors exhibit a newer, wide plank wood flooring.
4. **Wall and ceiling finish:** Interior walls in the original portion of the Dorothy Cottage are finished in plaster and painted white. Interior wall finishes in the enclosed front porch and laundry/mudroom consist of horizontal and vertical wood siding painted a light cream color. Wall finish in the 1904-09 and 1949-52 kitchen addition is drywall that has been painted white.

Ceilings throughout consist of wood shiplap panels and exposed beams that have been painted white.

5. **Openings:**
  - a. **Doorways and doors:** Inside the original portion of the Dorothy Cottage are paneled, solid wood doors. Hardware on the interior doors consists of bronze knobs and plates that have been painted white.
  - b. **Windows:** There are no interior windows in the Dorothy Cottage.
6. **Decorative features and trim:** The southeast corner of the living room of the Dorothy Cottage features a brick fireplace and chimney with a wood shelf and mantel. The chimney protrudes diagonally from the corner. The hearth of the fireplace exhibits three large ceramic tiles, two of which have been cut in half and placed at the ends. The tile is a modern modification; it is unknown what it may have replaced.

Directly west of the fireplace along the south wall is the flat-sided bay window. A built-in buffet with drawers at the center and two cabinets on each side is present in the recess of the bay.

Door and window trim throughout the interior consist of flat, simple, square-edge profiles. Simple, heavy baseboards are present throughout the building, except for in the enclosed front porch.

7. **Hardware:** Door hardware on the interior doors consists of bronze doorknobs and plates that have been painted white. Doors are equipped with brass Mortise hinges.
8. **Mechanical equipment:**
  - a. **Heating, air conditioning, ventilation:** The building does not feature a heating, ventilation, and air conditioning (HVAC) system. A single floor vent is present in the living room for heating and a ceiling fan has been installed onto one of the beams in the living room.
  - b. **Lighting:** Very few light fixtures are present in the Dorothy Cottage. A non-original, semi-flush mount fixture is located in the living room and another in the laundry/mudroom. Non-original, overhead, recessed lighting is present in the kitchen. The three lighting systems are operated via wall switches.
  - c. **Plumbing:** Water supply pipes to the Dorothy Cottage are primarily copper. The kitchen sink is located in the 1904-09 addition but is not original. The bathroom sink, toilet, bathtub, and outdoor shower are also not original.
9. **Original furnishings:** The Dorothy Cottage is a rental property and does not contain any original furnishings.

#### D. Site

1. **Historic landscape design:** Historic photographs do not depict any associated landscaping.

### PART III: SOURCES OF INFORMATION

#### A. Architectural drawings:

1. **As-Built Plans, Dorothy Cottage, 827 Coast Boulevard South, La Jolla, California**

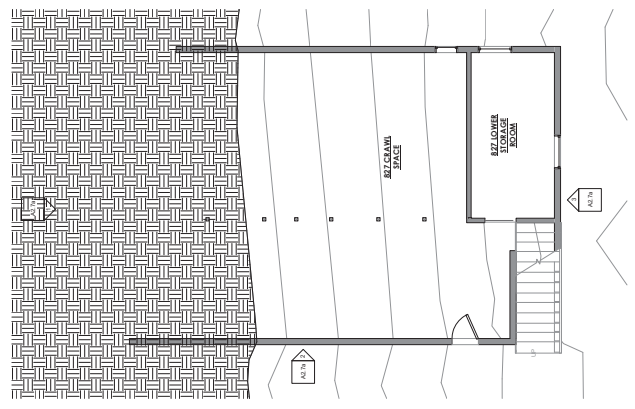
#### B. Early views:

1. **La Jolla Historical Society, La Jolla, California:** 1920s, 1930s, and 1950s aerial photographs showing the Dorothy Cottage available at the La Jolla Historical Society in La Jolla, California.
2. **Milford Wayne Donaldson, KTU+A, and La Jolla Historical Society, c/o David Marshall:** Ca. 1925 Casa De Manana postcard showing the Dorothy Cottage available in the Draft La Jolla Historical Survey at [https://www.sandiego.gov/sites/default/files/la\\_jolla\\_2004\\_volume\\_01\\_survey\\_report.pdf](https://www.sandiego.gov/sites/default/files/la_jolla_2004_volume_01_survey_report.pdf).
3. **Scripps Institute of Oceanography, Special Collections, University of California at San Diego:** 1949 aerial photograph showing the Dorothy Cottage available at <https://library.ucsd.edu/research-and-collections/collections/special-collections-and->

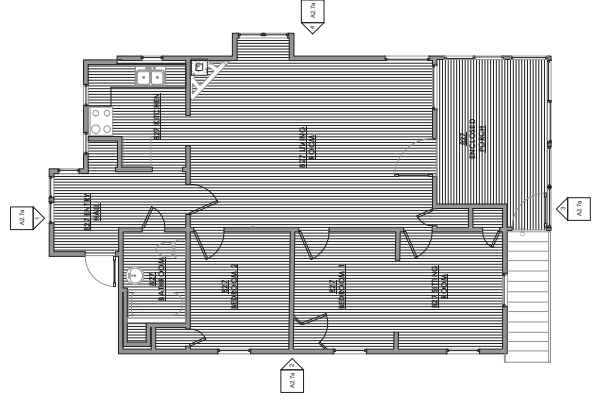
archives/manuscripts/scripps-archives.html.

- C. Interviews:** No interviews were conducted.
- D. Selected sources:** All sources are included herein.
- E. Likely sources not yet investigated:** There are no known sources to be investigated.
- F. Supplemental material:**
  - 1. Site Plan, Prepared by Brian F. Smith and Associates, Inc. (2020)**
  - 2. 1909, 1921, 1926, and 1949 Sanborn Fire Insurance Maps**

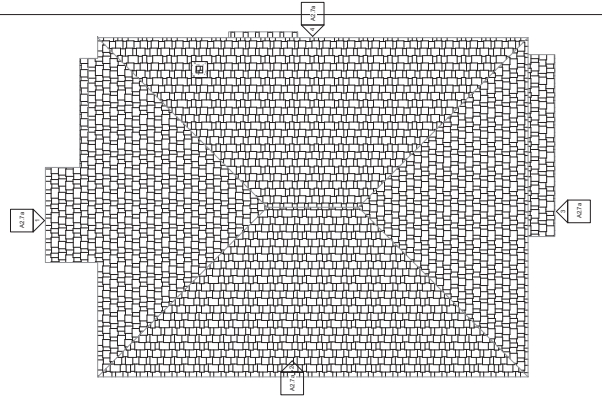
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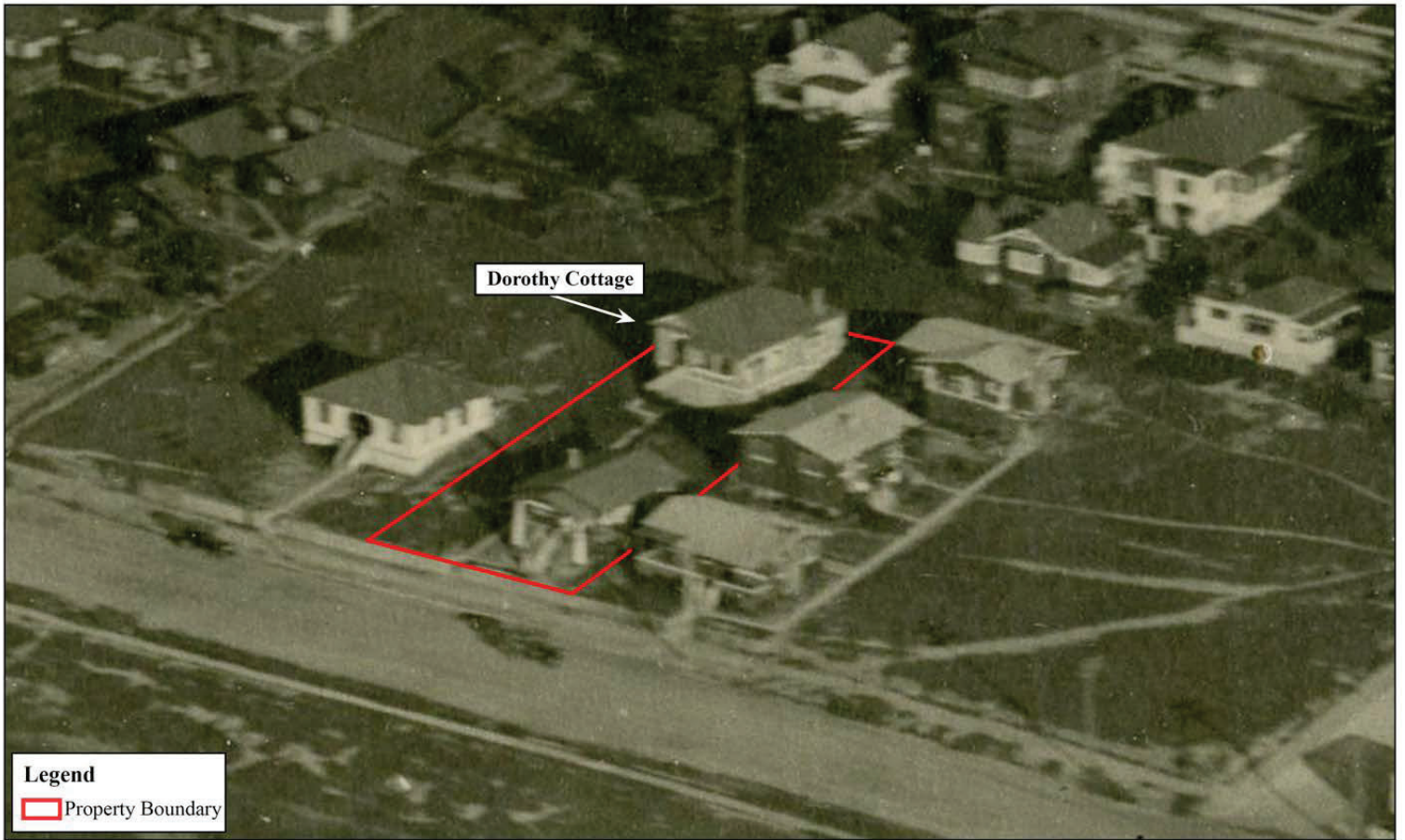
2 | 827 MAIN LEVEL  
SCALE = 1/8" = 1'-0"



3 | 827 ROOF  
SCALE = 1/8" = 1'-0"

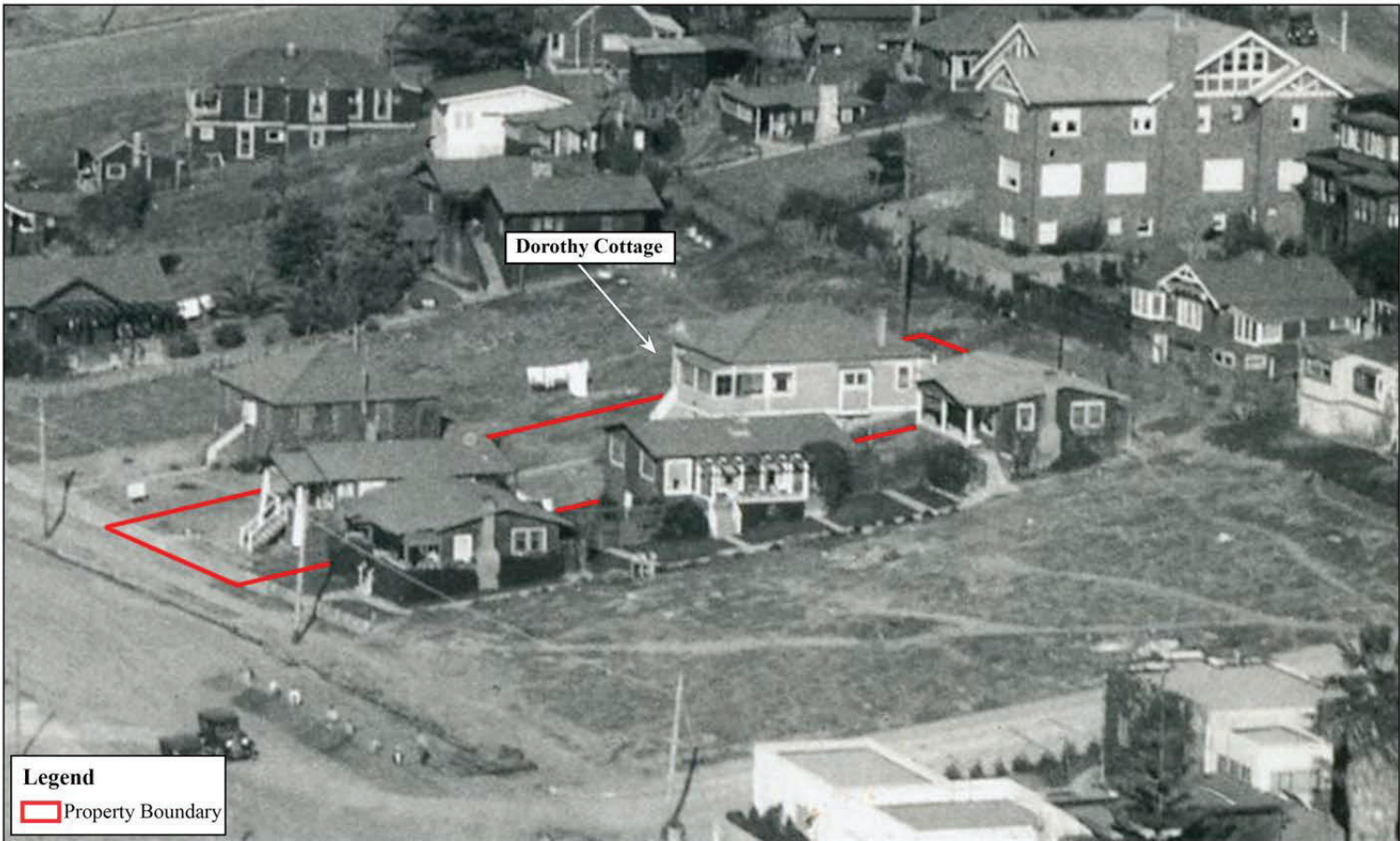






**1922 Aerial Photograph Showing the  
West (Left) and South (Right) Façades of the Building**  
Dorothy Cottage  
*(Photograph courtesy of the La Jolla Historical Society Collection)*

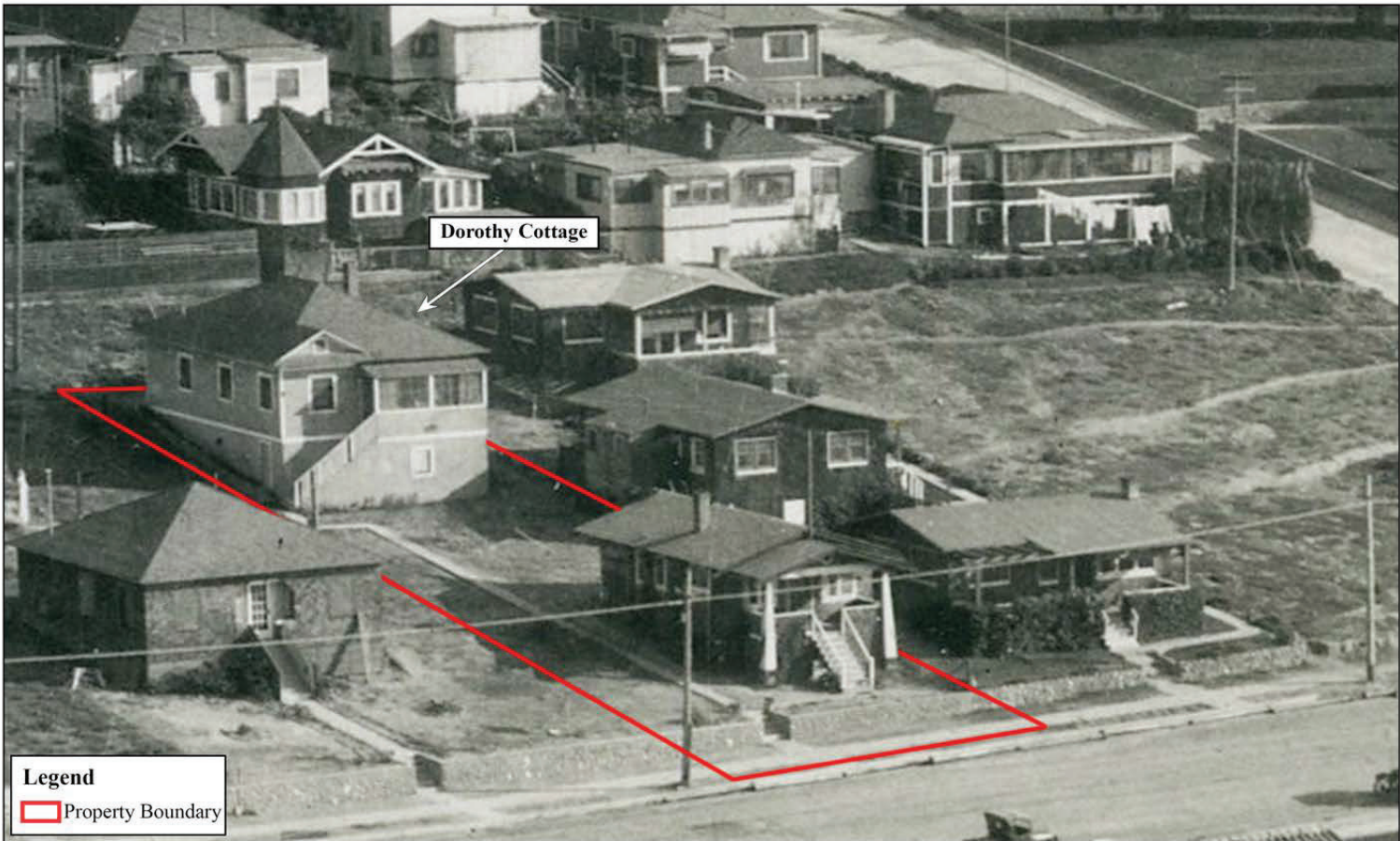




**1924-26 Aerial Photograph Showing the  
West (Left) and South (Right) Façades of the Building**

Dorothy Cottage

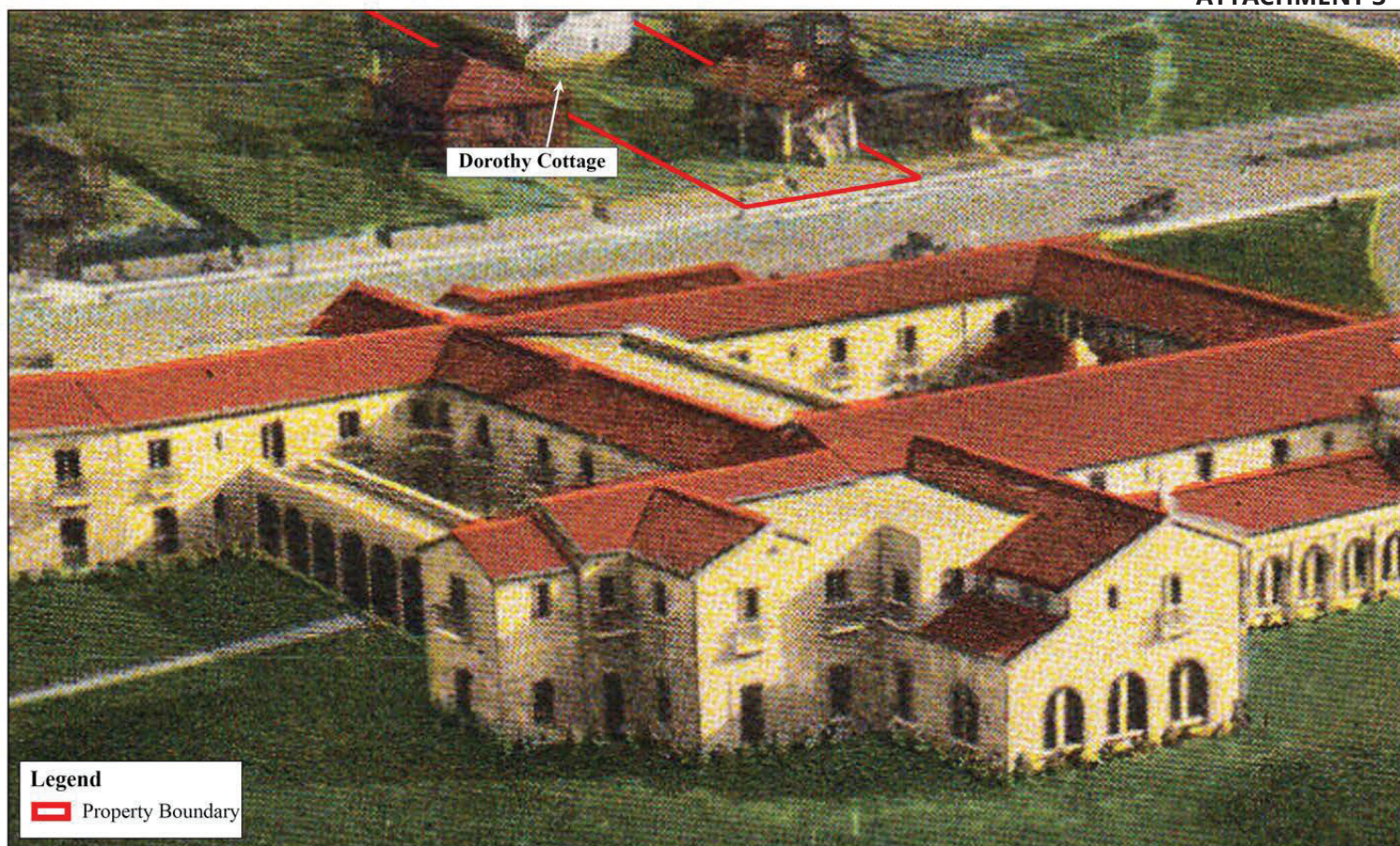
*(Photograph courtesy of the La Jolla Historical Society Collection)*



**1924-26 Aerial Photograph Showing the  
North (Left) and West (Right) Façades of the Building**  
Dorothy Cottage  
*(Photograph courtesy of the La Jolla Historical Society Collection)*







**Legend**  
— Property Boundary



**Ca. 1925 Casa De Manana Postcard Showing the  
North (Left) and West (Right) Façades of the Building**

Dorothy Cottage

*(Image courtesy of Donaldson et al. 2004)*



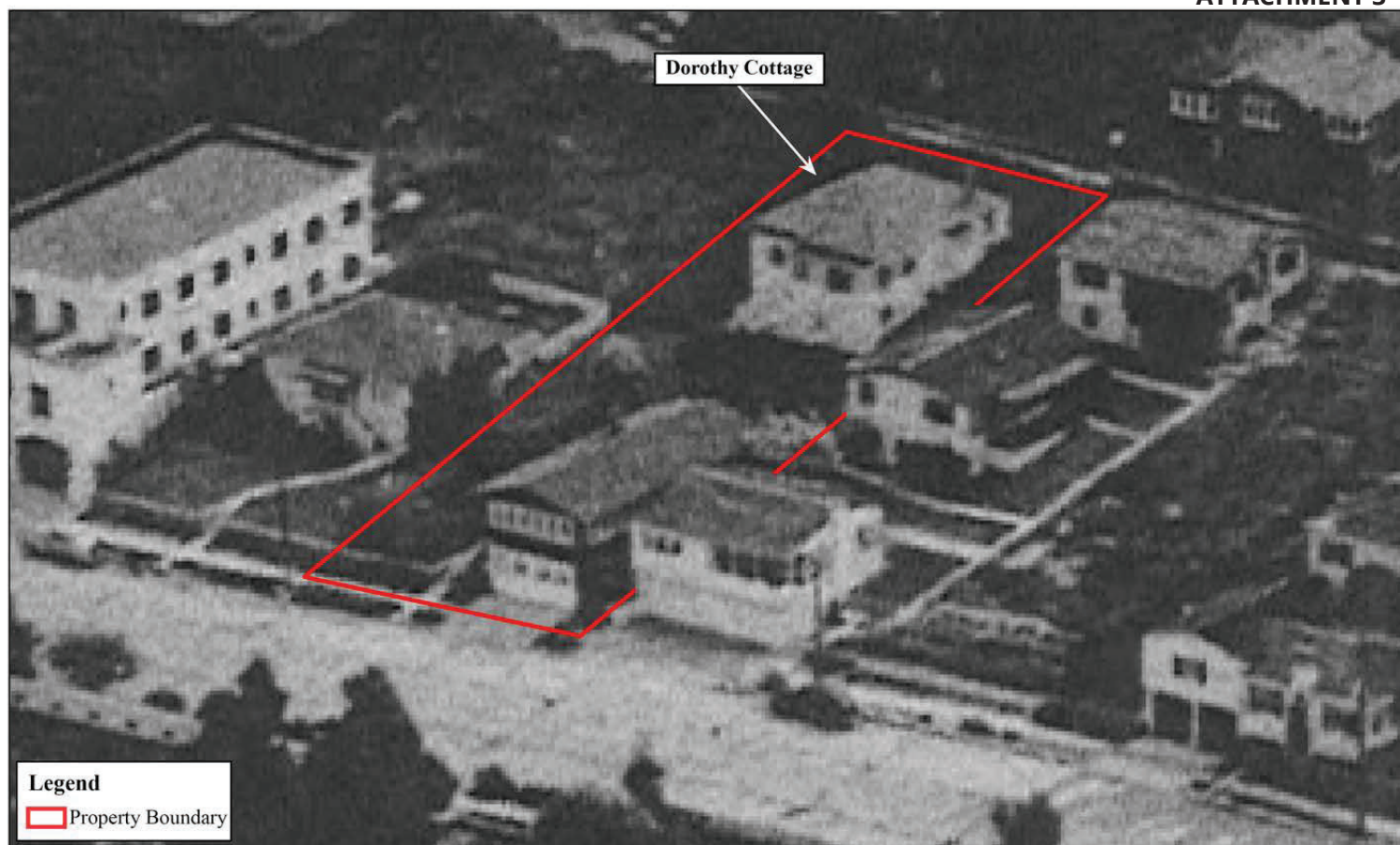
**Legend**  
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**Late 1930s Aerial Photograph Showing the  
West (Left) and South (Right) Façades of the Building**

Dorothy Cottage

*(Photograph courtesy of the La Jolla Historical Society Collection)*



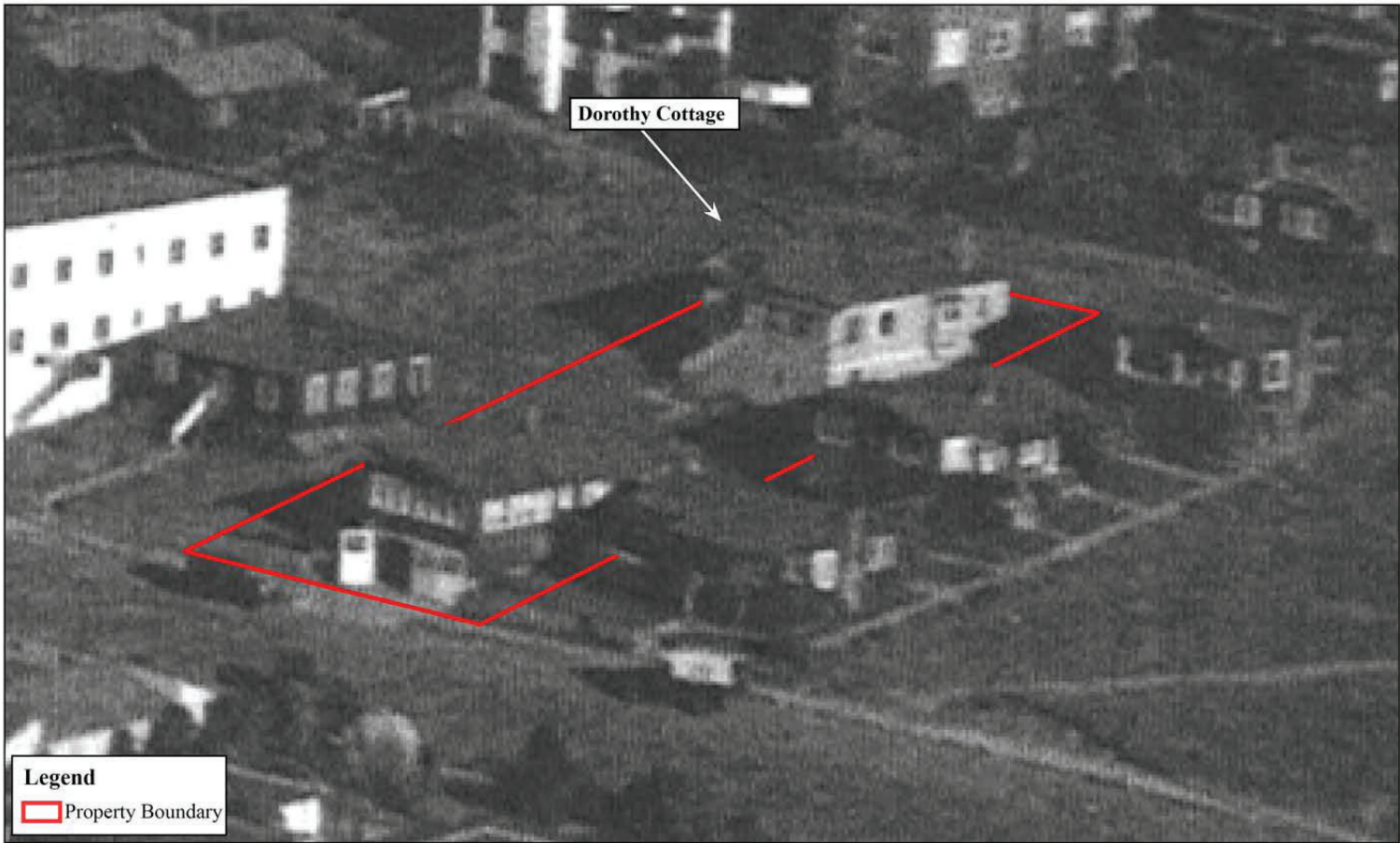
**Legend**  
■ Property Boundary



**1930-34 Aerial Photograph Showing the  
West (Left) and South (Right) Façades of the Building**

Dorothy Cottage

*(Photograph courtesy of the La Jolla Historical Society Collection)*



**Legend**  
Property Boundary



**Ca. 1931 Aerial Photograph Showing the  
West (Left) and South (Right) Façades of the Building**  
Dorothy Cottage  
*(Photograph courtesy of the La Jolla Historical Society Collection)*



**1935 Aerial Photograph Showing the  
West Façade of the Building, Facing East**  
Dorothy Cottage

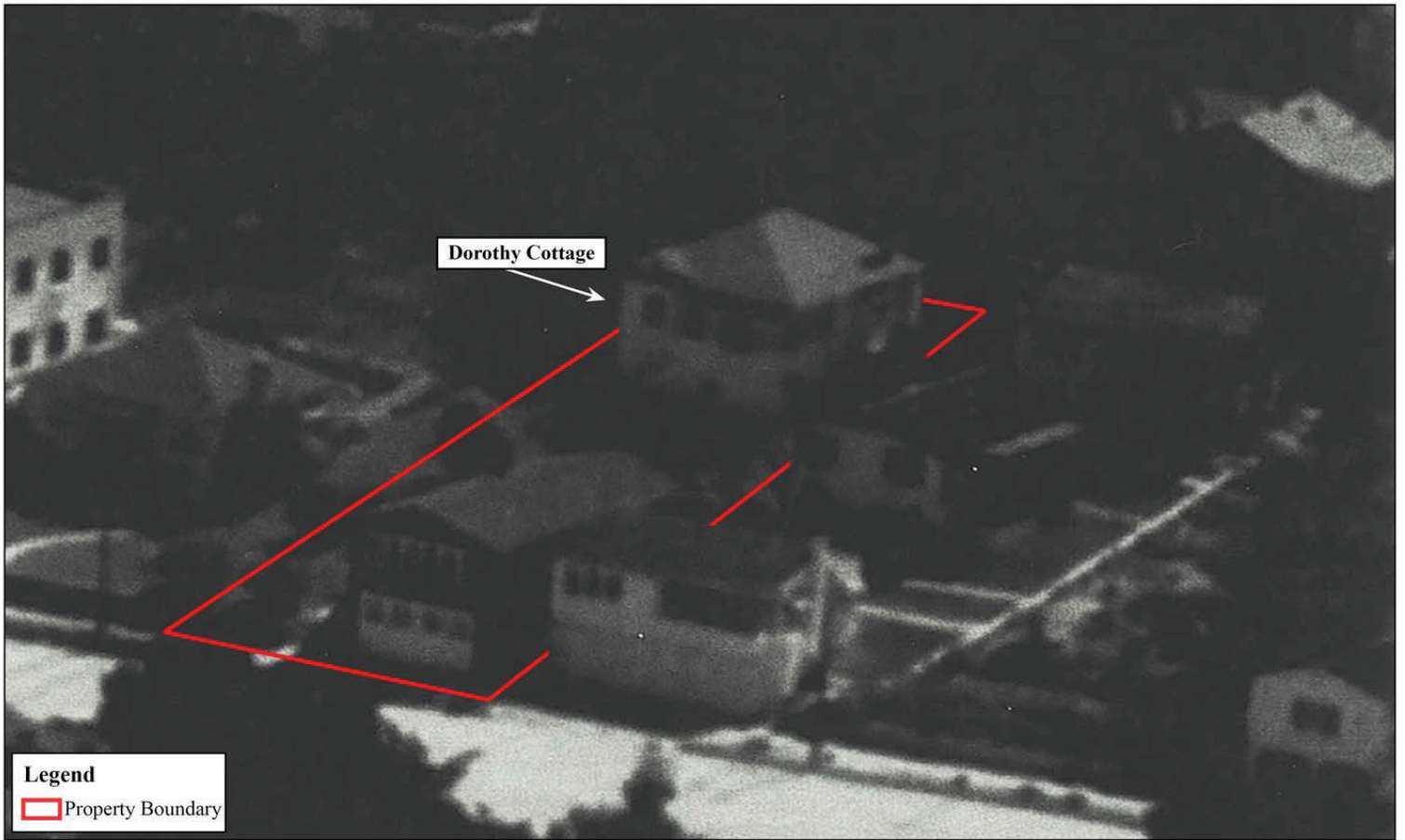
*(Photograph courtesy of the La Jolla Historical Society Collection)*



**1949 Aerial Photograph Showing the  
West Façade of the Building, Facing East**

Dorothy Cottage

*(Photograph courtesy of the Scripps Institute of Oceanography, Special Collections, University of California at San Diego)*



**Legend**  
□ Property Boundary



**1951 Aerial Photograph Showing the  
West (Left) and South (Right) Façades of the Building**  
Dorothy Cottage

*(Photograph courtesy of the La Jolla Historical Society Collection)*

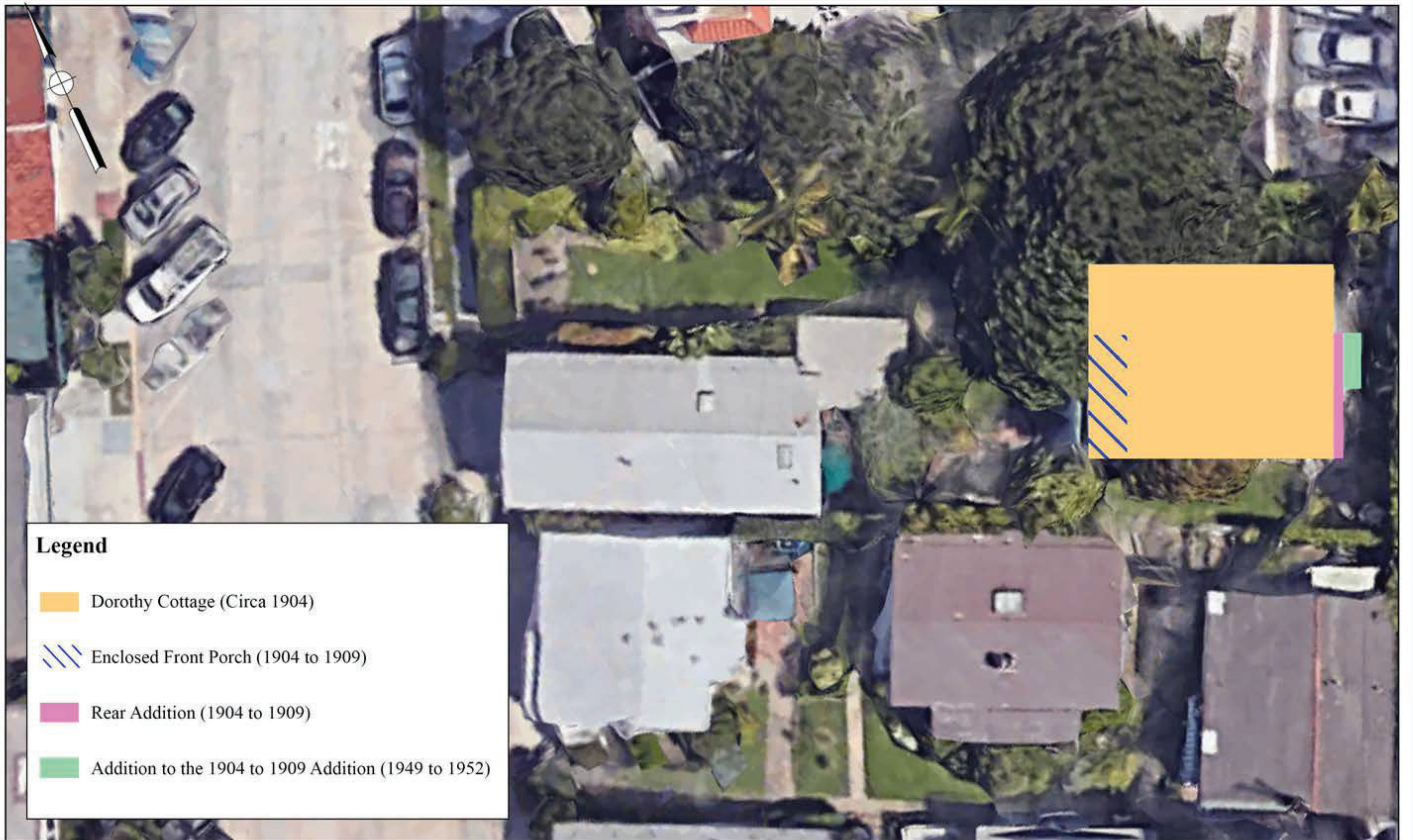


**1952 Aerial Photograph, Facing Northwest**





Dorothy Cottage

*(Photograph courtesy of the La Jolla Historical Society Collection)*





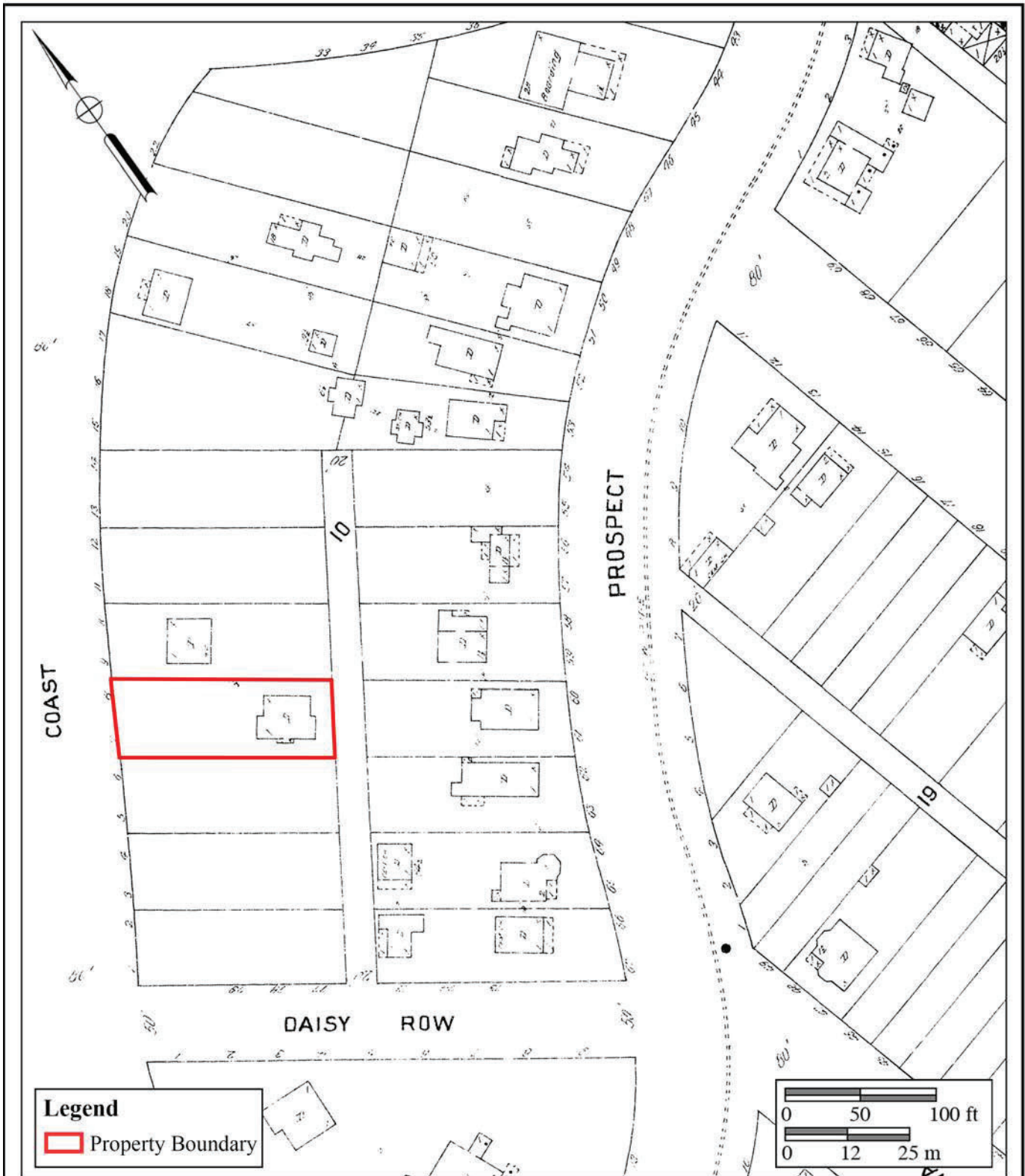
**Legend**

-  Dorothy Cottage (Circa 1904)
-  Enclosed Front Porch (1904 to 1909)
-  Rear Addition (1904 to 1909)
-  Addition to the 1904 to 1909 Addition (1949 to 1952)



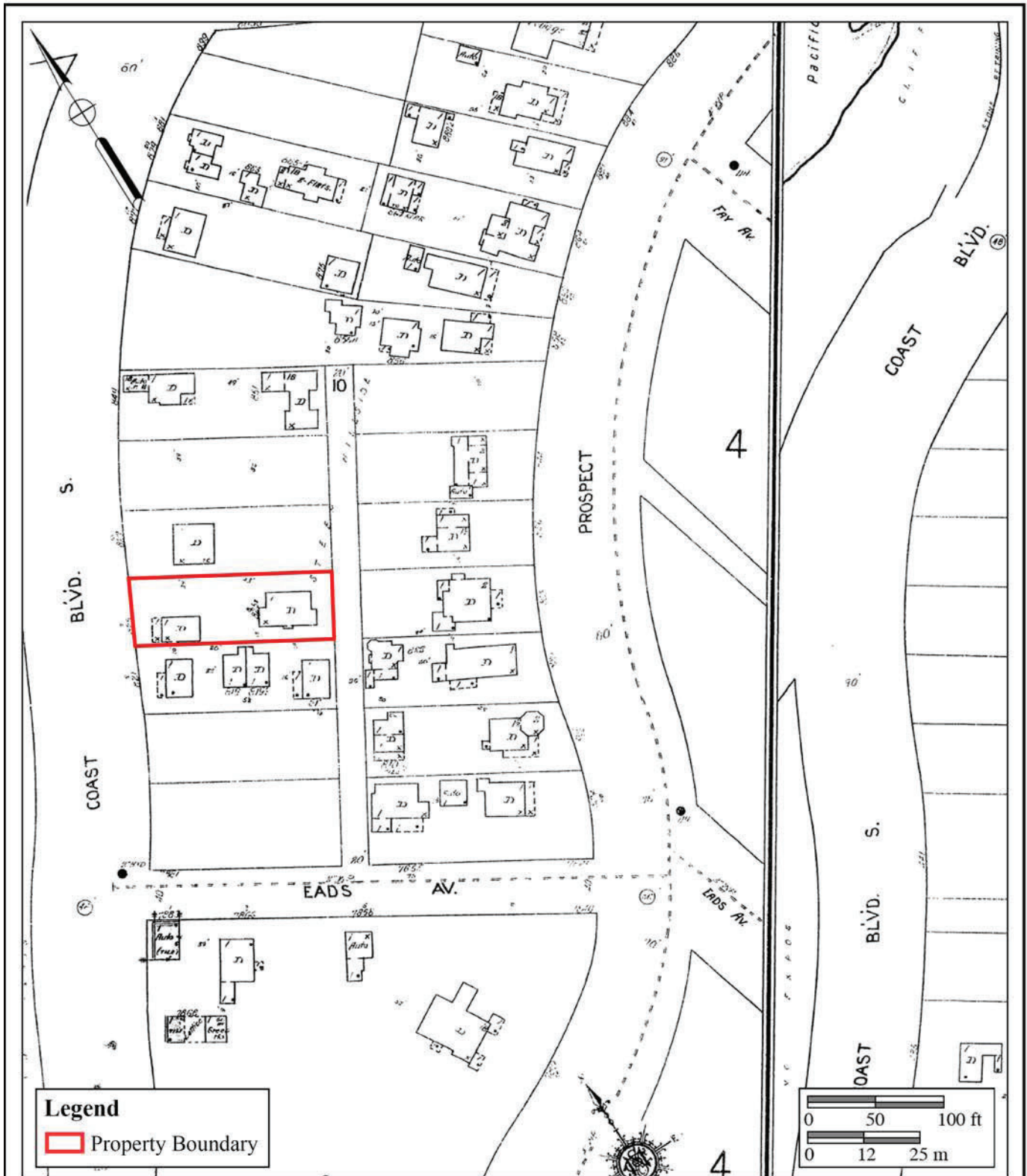
**Site Plan With Footprint**

Dorothy Cottage



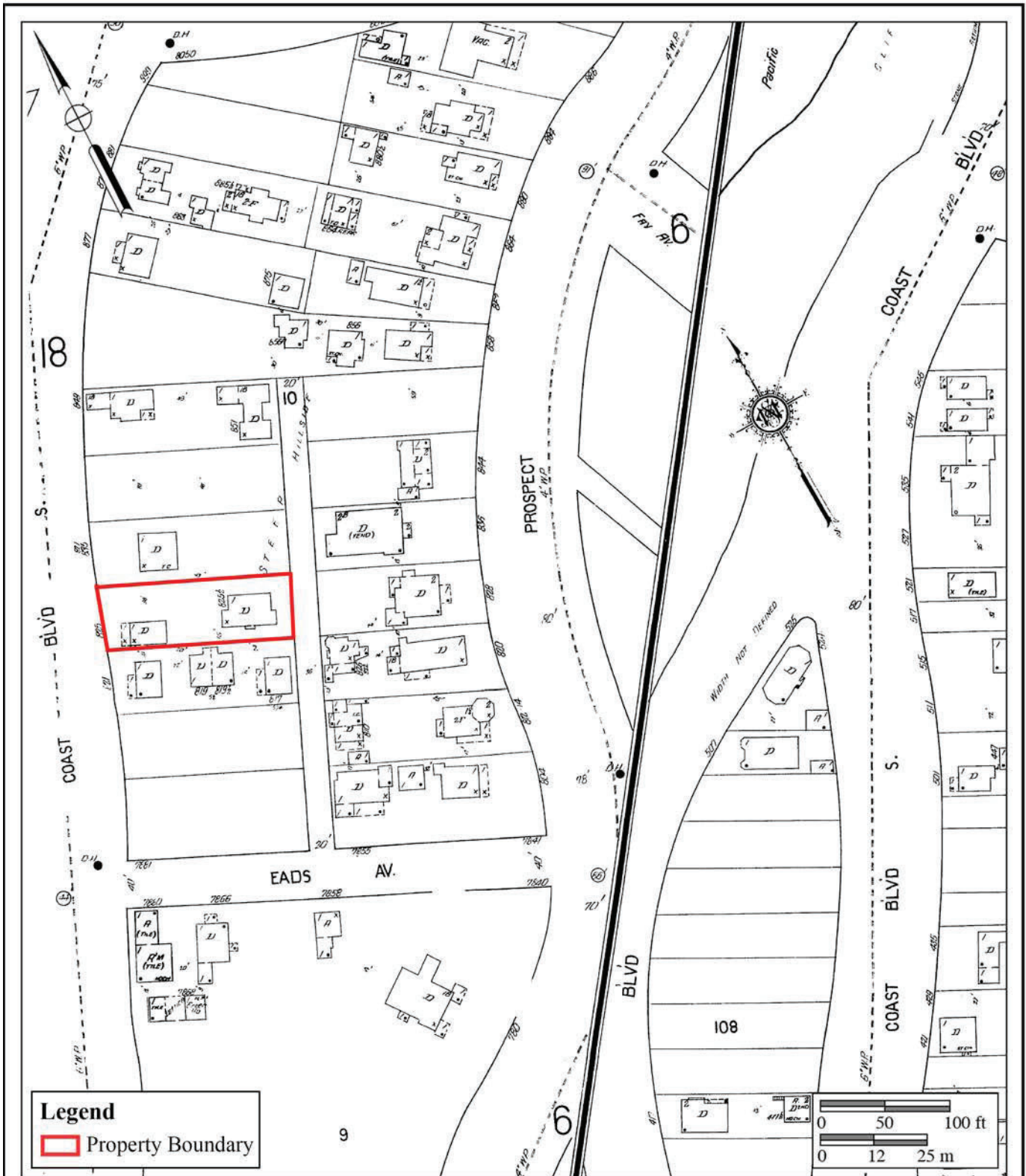
1909 Sanborn Map

Dorothy Cottage



1921 Sanborn Map

Dorothy Cottage

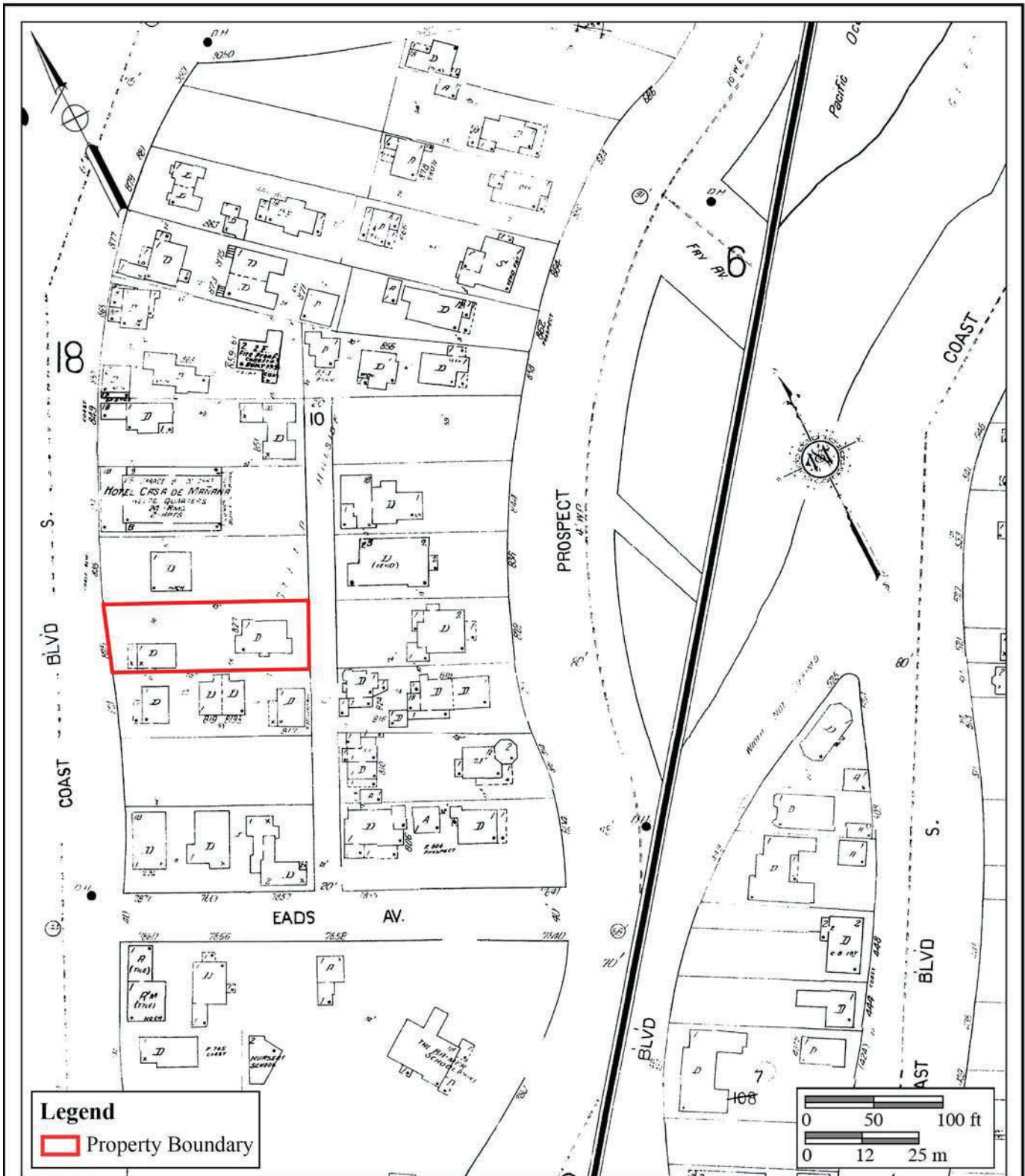


**Legend**  
[Red Outline] Property Boundary

0 50 100 ft  
0 12 25 m



1926 Sanborn Map  
Dorothy Cottage



**Legend**  
[Red Outline] Property Boundary

0 50 100 ft  
0 12 25 m



**1949 Sanborn Map**  
Dorothy Cottage

## HISTORIC AMERICAN BUILDINGS SURVEY

## INDEX TO PHOTOGRAPHS

DOROTHY COTTAGE (827 Coast Blvd. South)  
 827 Coast Blvd. South  
 San Diego  
 San Diego County  
 California

HABS No.

## INDEX TO BLACK AND WHITE PHOTOGRAPHS

Bob Hill, Photo Dark Room, November 2020

- \_\_\_\_\_ -1 WEST FAÇADE, FACING SOUTHEAST
- \_\_\_\_\_ -2 NORTHWEST CORNER, FACING SOUTH
- \_\_\_\_\_ -3 ENTRYWAY TO ENCLOSED PORCHAT THE NORTHWEST CORNER,  
FACING SOUTHWEST
- \_\_\_\_\_ -4 NORTH FAÇADE, FACING SOUTH
- \_\_\_\_\_ -5 SOUTHEAST CORNER, FACING NORTH
- \_\_\_\_\_ -6 SOUTH FAÇADE, FACING NORTHEAST
- \_\_\_\_\_ -7 EAST FAÇADE, FACING NORTHEAST
- \_\_\_\_\_ -8 EAST FAÇADE, FACING WEST
- \_\_\_\_\_ -9 EAST FAÇADE, FACING NORTHWEST
- \_\_\_\_\_ -10 WEST FAÇADE, FACING SOUTHEAST
- \_\_\_\_\_ -11 SOUTH FAÇADE, FACING NORTHWEST
- \_\_\_\_\_ -12 SOUTH FAÇADE, FACING NORTHWEST
- \_\_\_\_\_ -13 SOUTH FAÇADE, FACING NORTHEAST
- \_\_\_\_\_ -14 SOUTH FAÇADE, FACING NORTHEAST
- \_\_\_\_\_ -15 INTERIOR OF THE ENCLOSED PORCH ON THE WEST FAÇADE, FACING  
SOUTH

- \_\_\_\_\_-16 INTERIOR OF THE LIVING ROOM, FACING SOUTH
- \_\_\_\_\_-17 INTERIOR OF THE LIVING ROOM, FACING SOUTH
- \_\_\_\_\_-18 INTERIOR OF THE LIVING ROOM, FACING THE ENCLOSED PORCH TO  
THE WEST
- \_\_\_\_\_-19 INTERIOR OF THE LIVING ROOM, FACING SOUTHWEST
- \_\_\_\_\_-20 INTERIOR OF THE 1949-52 ADDITION, FACING SOUTHEAST
- \_\_\_\_\_-21 INTERIOR OF THE 1949-52 ADDITION, FACING EAST

HABS No. \_\_\_\_\_ -1



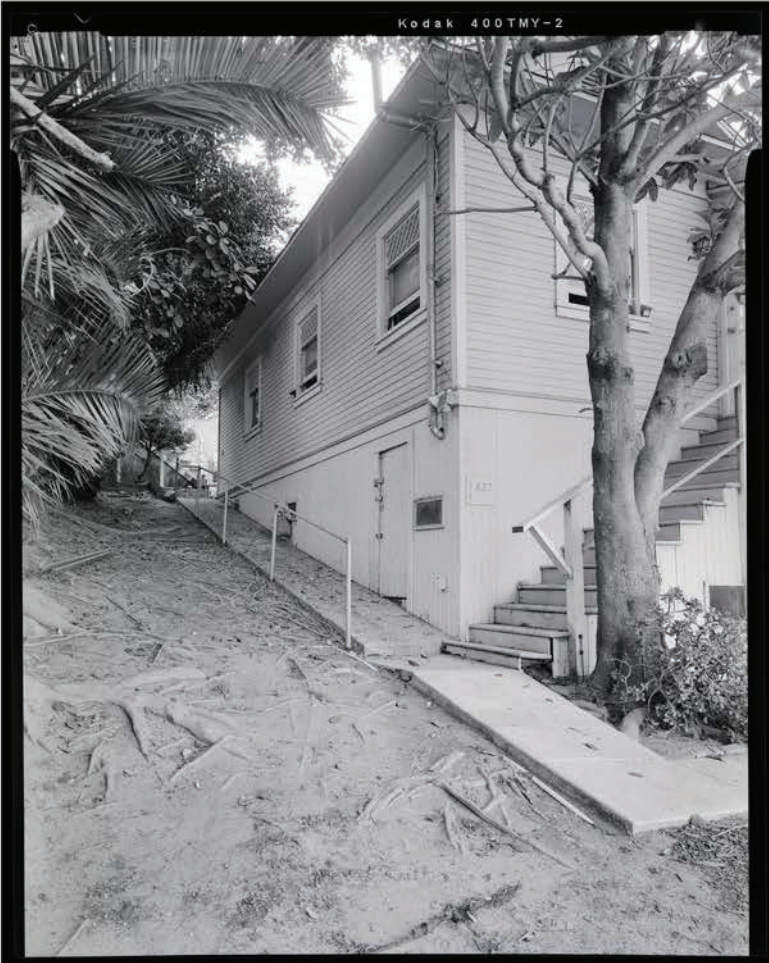


HABS No. \_\_\_\_\_-2





HABS No. \_\_\_\_\_-4



HABS No. \_\_\_\_\_-5





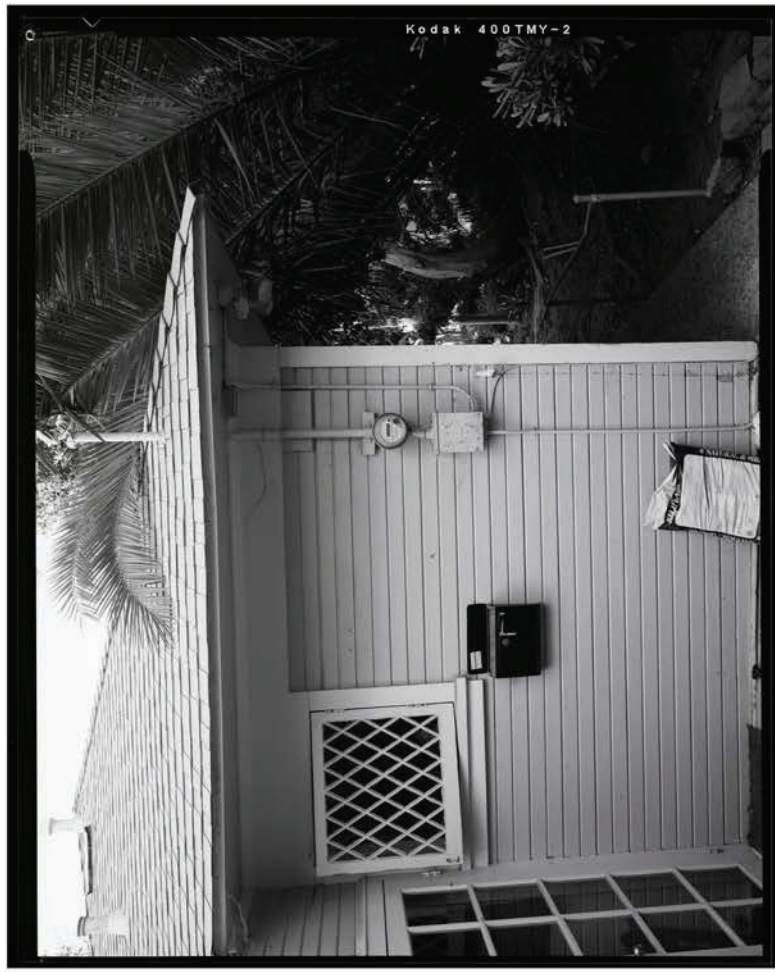
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HABS No. \_\_\_\_\_-8



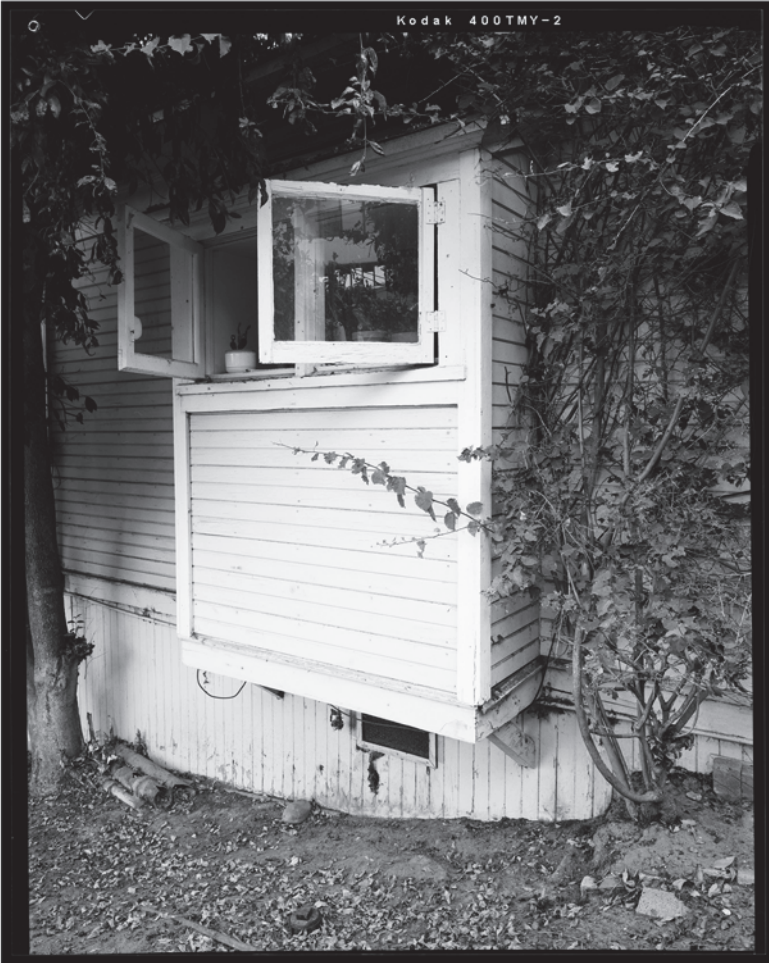
HABS No. \_\_\_\_\_-9





HABS No. \_\_\_\_\_-10





HABS No. \_\_\_\_\_-12





HABS No. \_\_\_\_\_-14





HABS No. \_\_\_\_\_-16



HABS No. \_\_\_\_\_-17





HABS No. \_\_\_\_\_-18



HABS No. \_\_\_\_\_-19





HABS No. \_\_\_\_\_-21





**DOROTHY COTTAGE RELOCATION AND REHABILITATION  
AND  
HARRIET COTTAGE REHABILITATION  
  
TREATMENT PLAN**

**January 27, 2022**

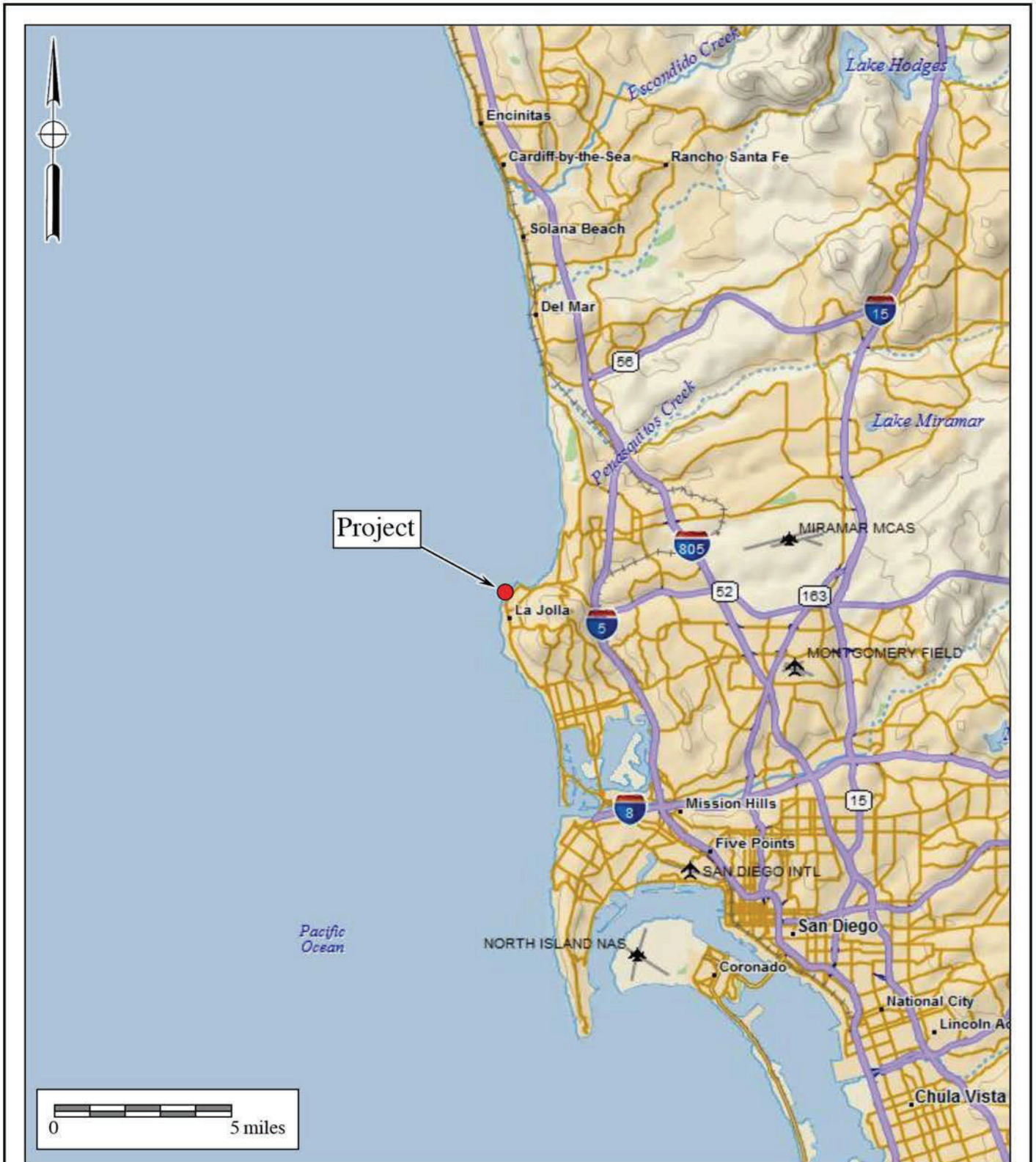
**PROJECT DESCRIPTION**

The Dorothy Cottage is a one-story, Queen Anne Free Classic-style La Jolla Beach Cottage that was constructed circa 1904 and is currently located at 827 Coast Boulevard South (Assessor's Parcel Number [APN] 350-070-10) in the La Jolla neighborhood of the city of San Diego, California (Figures 1 and 2). The owner, 800 Coast, LLC, is proposing to relocate the building, which is one of two La Jolla Beach Cottages that were designated as City of San Diego HRB Site No. 1375 (the other being located at 825 Coast Boulevard South). The Dorothy Cottage building has recently been used as a rental property.

The Dorothy Cottage will be moved and placed on top of the existing garage of the building located at 821 Coast Boulevard South, which is within the parcel immediately south, at APN 350-070-011 (Figure 3). The building currently located at 821 Coast Boulevard South will be completely demolished except for the garage level. Once relocated, the Dorothy Cottage will undergo an exterior rehabilitation per *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (SOI's Standards for Historic Properties) and will be mothballed to await interior improvements by 800 Coast, LLC.

The Harriet Cottage is a one-story, Craftsman-style La Jolla Beach Cottage that was constructed in 1921 and is currently located at 825 Coast Boulevard South (Assessor's Parcel Number [APN] 350-070-10) in the La Jolla neighborhood of the city of San Diego, California (see Figures 1 and 2). The owner, 800 Coast, LLC, is proposing to rehabilitate the building, which is one of two La Jolla Beach Cottages that were designated as City of San Diego HRB Site No. 1375 (the other being located at 827 Coast Boulevard South). The Harriet Cottage building has recently been used as a rental property.

The Harriet Cottage will undergo an exterior rehabilitation per the SOI's Standards for Historic Properties and will be mothballed to await interior improvements by 800 Coast, LLC.



Project

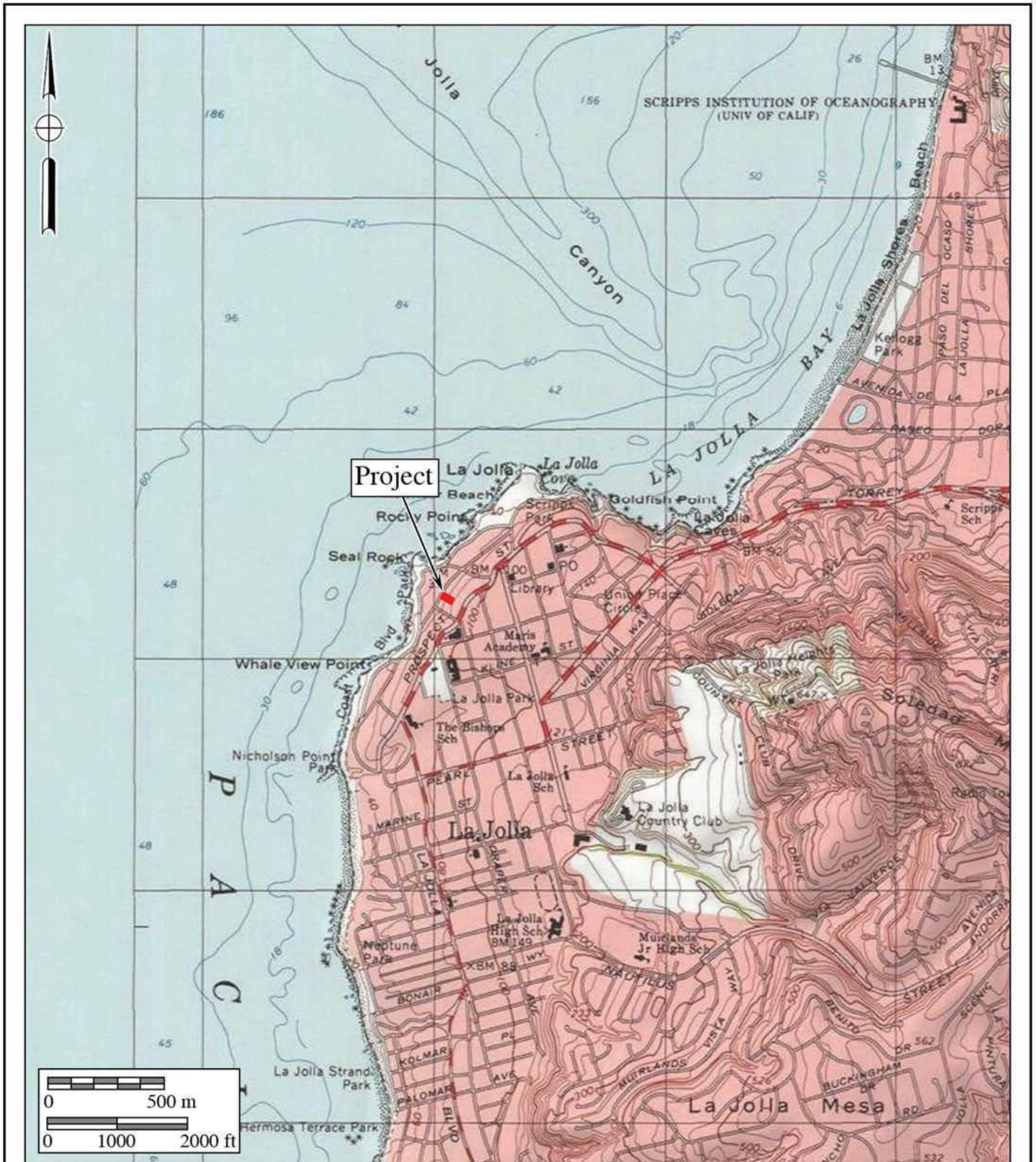
### Figure 1

### General Location Map

The Dorothy Cottage Relocation and  
Rehabilitation and Harriet Cottage Rehabilitation Project

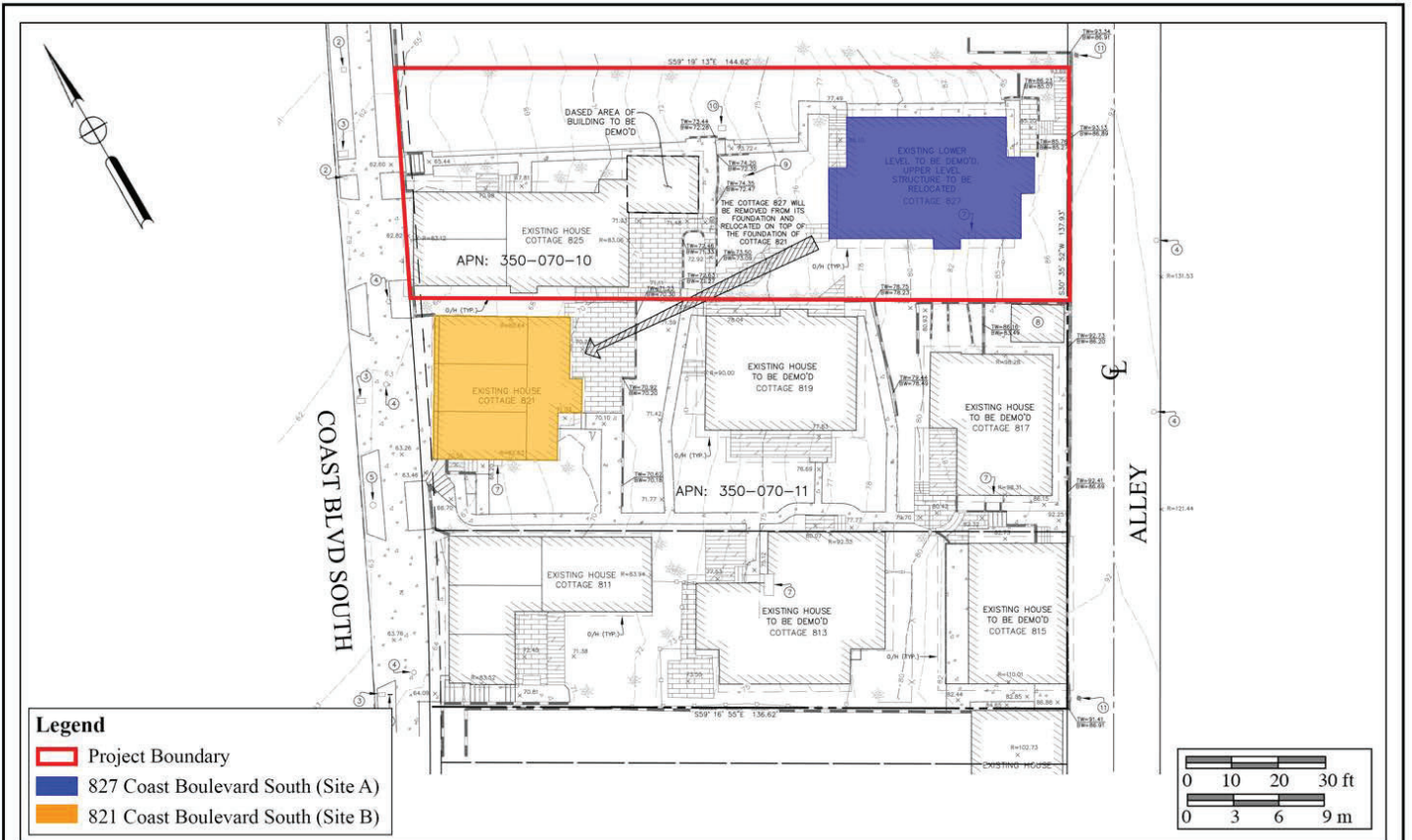
DeLorme (1:250,000)





**Figure 2**  
**Project Location Map**  
The Dorothy Cottage Relocation and  
Rehabilitation and Harriet Cottage Rehabilitation Project  
USGS *La Jolla* Quadrangle (7.5-minute series)





**Figure 3**

**Project Relocation Map Showing Existing Topography and Demolition Plan**

The Dorothy Cottage Relocation and Rehabilitation and Harriet Cottage Rehabilitation Project







## **INTRODUCTION**

The implementation of this Treatment Plan for the relocation and exterior rehabilitation of the Dorothy Cottage will be facilitated by a qualified historic structure mover. Construction observation services will be provided by the project architect, Will & Fotsch Architects, and the architectural historian/monitor, Brian F. Smith and Associates, Inc. The project will be completed in accordance with the Mitigation Monitoring and Reporting Program for this project. This Treatment Plan is accompanied by Historic American Buildings Survey drawings, which depict the current floorplan and exterior elevations of the house. The proposed rehabilitation of the Dorothy Cottage will include placing the relocated building on top of the existing foundation/garage of the 821 Coast Boulevard South building, removal of the 1948 to 1952 rear addition, construction of an approximately 128-square-foot addition along the north and east façades, and an interior remodel (attached). The proposed rehabilitation of the Harriet Cottage will include removal of the 1972 addition, construction of an approximately 22x30-foot addition. The addition will attach to the Harriet Cottage on the eastern portion of the north façade via a hyphenated entryway that will be enclosed with glass, allowing the original north façade of the Harriet Cottage to be viewed from the street (attached).

## **RELOCATION/REHABILITATION PROCEDURES**

The Dorothy Cottage will be moved approximately 100 feet southwest to 821 Coast Boulevard South. The mover shall outline the details of the route, schedule, and sequence of the move, as well as the means by which the house will be secured for the relocation. The architectural historian and city staff shall approve the plan prior to the relocation date. Construction monitoring shall be provided during the relocation process. Following each site visit, the monitor shall provide a Consultant Site Visit Record (CSVR) form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Historic Properties.

After the completion or preparation of the foundation/garage located at 821 Coast Boulevard South, the Dorothy Cottage will be moved. The orientation of the house will match its current orientation, with the front door facing west. The move of the Dorothy Cottage will consist of the following steps:

1. The house can be moved in one piece, so no cutting or dismantling above the foundation walls will occur.
2. Exterior door and window openings will not need to be braced.
3. The front steps will need to be dismantled prior to the relocation.
4. The front steps will be transported to the new site for later restoration and reconstruction.



5. Steel beams will be used under the house to raise and support the structure during relocation. The final number and configuration of beams will depend upon the existing floor joists and if they are full length or spliced.
6. The moving company will use rolling dollies. Once the house has been raised and can be weighed, the exact number of dollies will be determined. The method used to transport the house is currently undetermined.

The future use of the rehabilitated buildings will be rental properties. As designated resources, modifications to the cottages must be in compliance with the SOI's Standards, specifically those for rehabilitation. Additional review and approval by the City of San Diego Development Services Department and the Historical Resources Board will be required for the proposed exterior alterations.

The owner, 800 Coast, LLC, will be responsible for future interior improvements (attached). If feasible, representative examples of character-defining interior features will be preserved and reused in the rehabilitated buildings, such as paneled doors, decorative woodwork, and built-in cabinetry. The interior is not included in the local designation.

## **PREPARATION, RELOCATION, AND REHABILITATION REQUIREMENTS**

### **1. Preparation of the Structure Prior to Relocation**

- a. Coordination Meeting and Monitoring: Prior to the start of any work, the project architect and architectural historian/monitor shall meet on-site with the moving contractor to review the scope of demolition, removal, salvage, temporary shoring, and relocation. Through the course of all work, the moving contractor shall notify the architectural historian/monitor of the discovery of any architectural elements on the site. The architectural historian/monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with the SOI's Standards for Historic Properties.

All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located on-site, adjacent to the Dorothy Cottage. Construction monitoring shall be provided prior to preparation of the building for relocation. The construction monitor shall provide a CSV form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Historic Properties.

- b. Temporary Shoring: The moving contractor shall provide and maintain



necessary shoring to protect and stabilize the building during the relocation. Means and methods for temporary shoring will be determined by the moving contractor and the implementation of these procedures shall occur only after review by the architectural historian/monitor. The mover shall outline any proposed attachment points for anchors or beams. Historic siding or trim affected by the attachment of temporary shoring shall be removed prior to the installation of shoring and then cataloged, labeled, and securely stored.

- c. *Doors and Windows:* All doors and windows shall be protected by three-fourth-inch, exterior grade plywood prior to relocation. The plywood will be installed without causing damage to the existing historic doors and windows, frames, and trim.
- d. *Front Steps and Railing:* Prior to relocation, the wood front steps and railing will be salvaged to facilitate the relocation. Prior to disassembly, the steps and railing shall be measured and photographed. All documentation will be submitted to the City of San Diego for review and approval prior to removal.

## 2. Protection Measures at the New Site

- a. *Security:* As the Dorothy Cottage will not be used as a rental property at the new site until the north and east façade additions and interior remodel have been completed, security measures will need to be implemented to ensure that the building is not vandalized or damaged by the elements. The plywood installed over the doors and windows prior to relocation should remain. Monitoring and visual inspection of the exterior of the building will be provided by 800 Coast, LLC until the house is reoccupied. All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located on-site, adjacent to the Dorothy Cottage.
- b. *Mothballing:* During temporary storage, and until the building is successfully rehabilitated, it shall be securely mothballed. Mothballing essentially means temporarily closing up the building to protect it from weather and vandalism. Mothballing would include adequately eliminating and controlling pests, protecting the interior from moisture, providing adequate security, ensuring adequate interior ventilation, and following a maintenance and monitoring plan to ensure that the house is adequately secured and routinely inspected. Mothballing will follow the recommendations in *National Park Service Preservation Brief 31: Mothballing Historic Buildings*.



The owner, 800 Coast, LLC, will have the building mothballed at the conclusion of the rehabilitation work. They will then be responsible for all maintenance, monitoring, and inspections of the Dorothy Cottage.

- c. Monitoring: Construction monitoring shall be provided to ensure that the building is securely stored and adequately mothballed at the new site. The monitor shall complete a CSV form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Historic Properties.

### 3. Dorothy Cottage Rehabilitation

Following the relocation of the Dorothy Cottage, the exterior of the structure will be rehabilitated and repaired in accordance with *The Secretary of the Interior's Standards for Rehabilitation* (SOI's Standards for Rehabilitation).

- a. Construction Monitoring: Periodic construction monitoring shall be provided during the rehabilitation process. Following periodic site visits, the construction monitor shall provide a CSV form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Rehabilitation (see Dorothy Cottage Relocation and Rehabilitation Monitoring Plan).
- b. Alteration and Rehabilitation Design: The future rehabilitation and any additions made to the building shall be completed in accordance with the SOI's Standards for Rehabilitation. The design team includes an architectural historian that meets the SOI's Professional Qualifications Standards. The rehabilitation design will require review and approval by the City of San Diego's Development Services Department and the Historical Resources Board and/or Design Assistance Subcommittee.

### 4. Harriet Cottage Rehabilitation

The exterior of the structure will be rehabilitated and repaired in accordance with the SOI's Standards for Rehabilitation.

- a. Mothballing: During temporary storage, and until the building is successfully rehabilitated, it shall be securely mothballed. Mothballing essentially means temporarily closing up the building to protect it from weather and vandalism. Mothballing would include adequately eliminating and controlling pests,



protecting the interior from moisture, providing adequate security, ensuring adequate interior ventilation, and following a maintenance and monitoring plan to ensure that the house is adequately secured and routinely inspected. Mothballing will follow the recommendations in *National Park Service Preservation Brief 31: Mothballing Historic Buildings*.

- b. *Alteration and Rehabilitation Design*: The future rehabilitation and any additions made to the building shall be completed in accordance with the SOI's Standards for Rehabilitation. The design team includes an architectural historian that meets the SOI's Professional Qualifications Standards. The rehabilitation design will require review and approval by the City of San Diego's Development Services Department and the Historical Resources Board and/or Design Assistance Subcommittee.

## **REHABILITATION RECOMMENDATIONS**

The following is a list of the general rehabilitation recommendations for the Dorothy and Harriet Cottages in compliance with the SOI's Standards for Rehabilitation:

- *Roof*
  - *Dorothy Cottage*: The current roof is in good condition and does not require immediate replacement.
  - *Harriet Cottage*: The current roof is in good condition and does not require immediate replacement.
  
- *Exterior Walls*
  - *Dorothy Cottage*: Holes need to be patched, deteriorated wood siding needs to be retained and repaired, and the building needs to be primed and repainted using the historic color scheme or a scheme appropriate to the home's period and style.
  - *Harriet Cottage*: Holes need to be patched, deteriorated wood siding needs to be retained and repaired, and the building needs to be primed and repainted using the historic color scheme or a scheme appropriate to the home's period and style.
  
- *Foundation Walls*
  - *Dorothy Cottage*: The building relocation will require the dismantling of the existing foundation and placement of the building on the existing garage/foundation of the 821 Coast Boulevard South building.



- Windows
  - Dorothy Cottage: Existing historic windows need to be restored to working condition and weather stripping needs to be added.
  - Harriet Cottage: Existing historic windows need to be restored to working condition and weather stripping needs to be added.
  
- Doors
  - Dorothy Cottage: Existing historic doors need to be retained.
  - Harriet Cottage: As part of the proposed plan the door on the north façade will be removed and infilled.
  
- Interior: While the interior is not part of the current scope of work, the recommendations below are provided to guide the owners once they are able to proceed with restoration/rehabilitation.
  - Historic doors should be retained and restored.
  - Original wood flooring should be restored and refinished.
  - Existing lath and plaster wall and ceiling finishes should be maintained where feasible. Where new walls are required, the existing plaster should be matched where feasible.
  - Existing historic lighting and switches should be restored and reused where feasible.
  - Historic features such as stairs, guardrails, posts, benches, fireplaces, beams, built-ins, trim, and finishes should be restored and reused.
  - On wood features, non-historic overpaint should be removed and the original stain and varnish finish should be restored.
  
- Mechanical, Plumbing, and Electrical Systems
  - Not in the current scope. Remaining fixtures will be retained pending future upgrades.
  
- Additions
  - In accordance with the SOI's Standards for Rehabilitation, new additions shall not destroy historic materials, features, and spatial relationships that characterize the property. They should be differentiated from the historic construction and compatible in materials, features, size, scale, proportions, and massing. They should also be constructed in such a manner that, if removed in the future, the essential form and integrity of the building would be unimpaired. The proposed



additions to the Dorothy and Harriet Cottages meet the SOI's Standards for Rehabilitation.

## **SUMMARY OF EXISTING HISTORIC FEATURES**

The Dorothy Cottage is a representative example of a La Jolla Beach Cottage constructed within the late 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme and retains a high degree of historic integrity. Remaining historic features that should be preserved and restored per the SOI's Standards for Rehabilitation include:

- Exterior
  - Hipped roof with lower, front-facing gable
  - Horizontal wood siding
  - Wood-framed, double-hung windows with multiple lites in the upper window and a single pane in the lower
  - Partial-width, modest front porch
  - Balanced exterior proportions
  
- Interior
  - Wood floors and baseboards
  - Wood panel doors
  - Wood built-in cabinets in the dining room
  - Brick fireplace with hearth and wood mantle

The Harriet Cottage is a representative example of a La Jolla Beach Cottage constructed within the late 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme and retains a high degree of historic integrity. Remaining historic features that should be preserved and restored per the SOI's Standards for Rehabilitation include:

- Exterior
  - One story
  - Low, sloping, front-gabled roof
  - Exposed rafters and beams
  - Balanced exterior proportions
  - Wood shingle siding
  - Double-hung windows



- Interior
  - Wood floors and baseboards
  - Wood panel doors

## **SUMMARY OF APPLICABLE STANDARDS AND GUIDELINES**

Any work undertaken on the historic Dorothy and Harriet Cottages, including the proposed relocation and subsequent rehabilitation, shall be completed in compliance with the SOI's Standards for Historic Properties. There are separate standards for acquisition, protection, stabilization, preservation, rehabilitation, restoration, and reconstruction. Rehabilitation has been identified as the appropriate treatment for the Dorothy and Harriet Cottages. Rehabilitation is defined as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values." The 10 standards for rehabilitation are:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and





- preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
  10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The City of San Diego will use the SOI's Standards for Historic Properties and Rehabilitation as a guideline for confirming the appropriateness of proposed rehabilitation work for the buildings. Rehabilitation work and proposed alterations and modifications to the buildings will also need to comply with the current (2013) California Building Code and the Americans with Disabilities Act. Additionally, since the Dorothy and Harriet Cottages are designated historic resources, the provisions of the California Historical Building Code are also applicable to all future relocation and rehabilitation work.



**WILL & FOTSCH ARCHITECTS**  
 1298 PROSPECT STREET, SUITE 25, LA JOLLA, CA 92037 • (619) 558-2244-2466

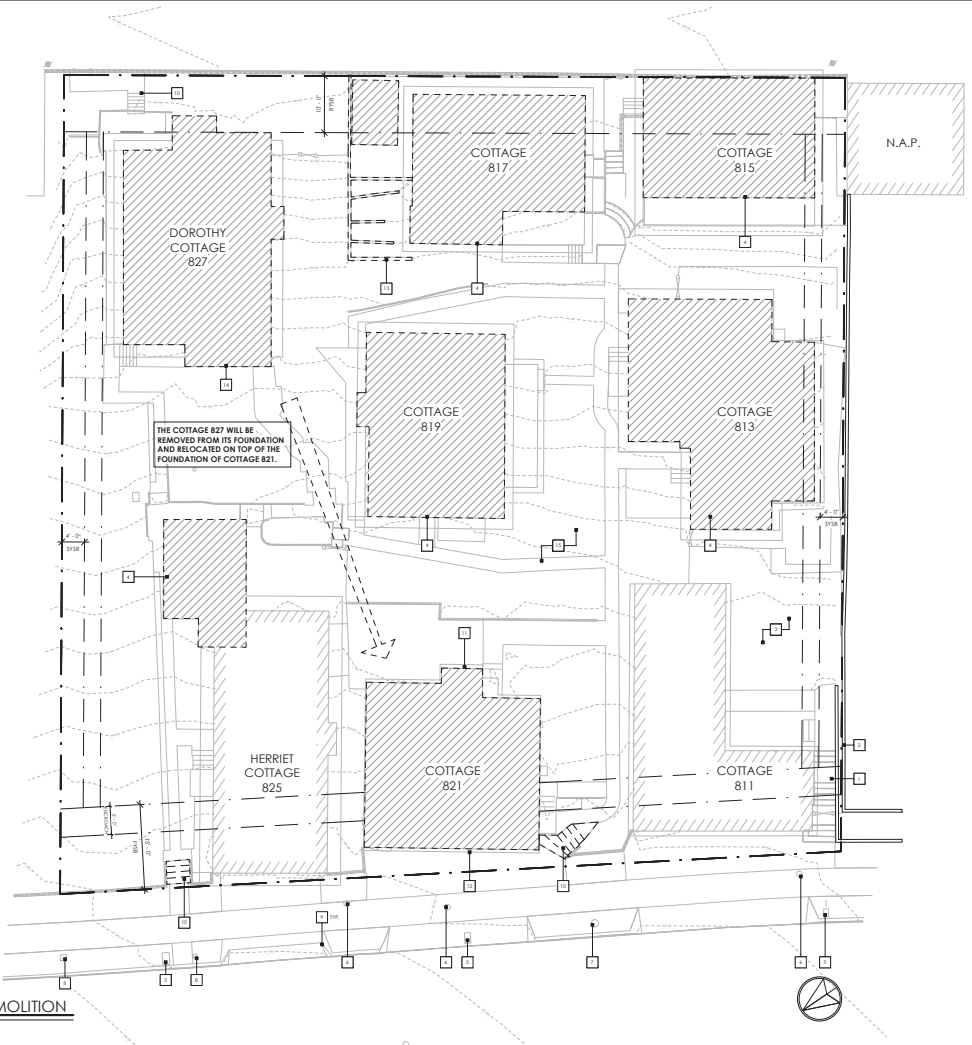


**DOROTHY & HARRIET COTTAGES**  
 825-827 COAST BLVD. LA JOLLA, CA 92037

DATE	ISSUE

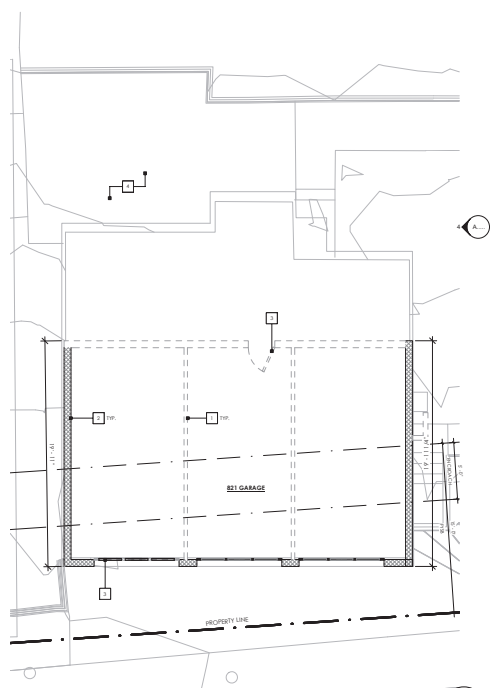
**A0.0**  
 TREATMENT SITE PLAN  
 11/08/21

- WALL LEGEND**
- NEW CONSTRUCTION WALL
  - EXISTING WALL TO REMAIN
  - EXISTING WALL TO BE DEMOLISHED
- PLEASE REFER TO SHEETS A0.1, A0.2 AND A0.3 FOR FURTHER INFORMATION REGARDING DEMOLITION WORK FOR EXISTING COTTAGES
- KEYNOTES**
1. EXISTING STAIR TO REMAIN
  2. EXISTING RETAINING WALL TO BE REMAIN
  3. EXISTING HARDWARE/APPURTENANCES TO REMOVE TO RECEIVE NEW CONCRETE SLAB
  4. DAMAGED BUILDINGS TO BE DEMOLISHED
  5. EXISTING WATER METER
  6. EXISTING SEWER CLEANOUT
  7. EXISTING CANYON PESTICIDE
  8. EXISTING BELL PEDESTAL
  9. EXISTING CURB CUT AND DRIVEWAYS TO REMAIN AS IS, TYP.
  10. EXISTING STAIR AND HARDWARE TO BE REMOVED
  11. DAMAGED UPPER LEVEL 821 TO BE REMOVED
  12. GARAGE LEVEL TO REMAIN
  13. REMOVE ALL SITE WORK U.G./N. TYP.
  14. FOUNDATION TO BE REMOVED
  15. DEMOLISHED COMPLETELY. PREP SITE FOR NEW PROPOSED WORK

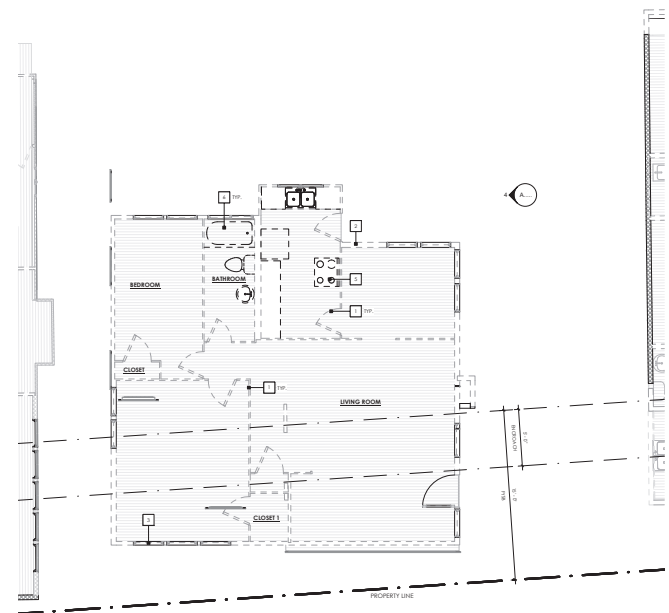


**1 SITE PLAN DEMOLITION**  
 SCALE = 1/8" = 1'-0"

DATE	ISSUE
11/08/21	FINAL SUBMITTAL
08/18/21	SCHEMATIC DEVELOPMENT
05/20/21	PRELIMINARY
4	
3	
2	
1	



**1 COTTAGE 821 LOWER LEVEL - DEMO**  
 SCALE = 1/4" = 1'-0"



**2 COTTAGE 821 MAIN LEVEL - DEMO**  
 SCALE = 1/4" = 1'-0"

COTTAGE 821 UPPER LEVEL TO BE COMPLETELY DEMOLISHED TO RECEIVE COTTAGE 827 UPPER LEVEL

**WALL LEGEND**

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

**KEYNOTES**

1. EXISTING INTERIOR/EXTERIOR WALL TO BE REMOVED PROVIDE TEMPORARY SHORING AS REQUIRED.
2. EXISTING INTERIOR/EXTERIOR WALL TO REMAIN PROTECTED IN PLACE.
3. EXISTING DOOR / WINDOW TO BE REMOVED.
4. EXISTING LANDSCAPE/VEGETATION TO BE REMOVED TO RECEIVE NEW CONCRETE SLAB.
5. EXISTING EQUIPMENT/APPLIANCE TO BE REMOVED.
6. EXISTING PLUMBING TO BE REMOVED.



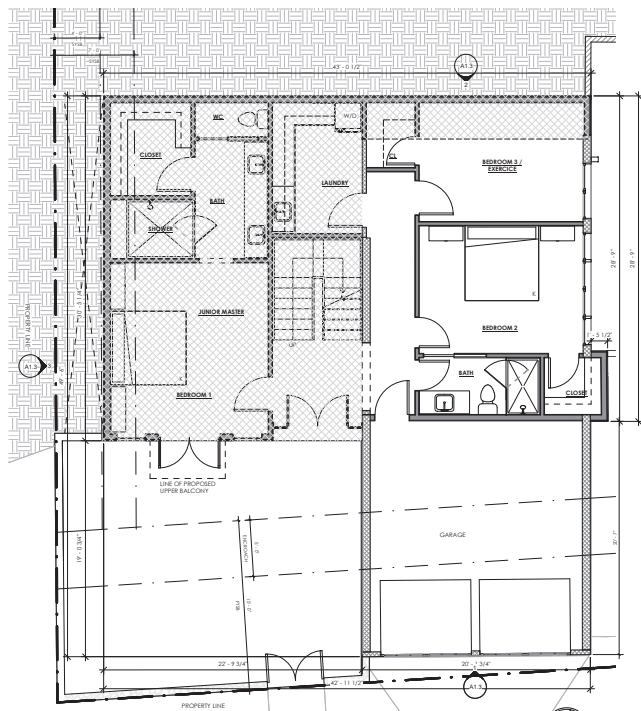




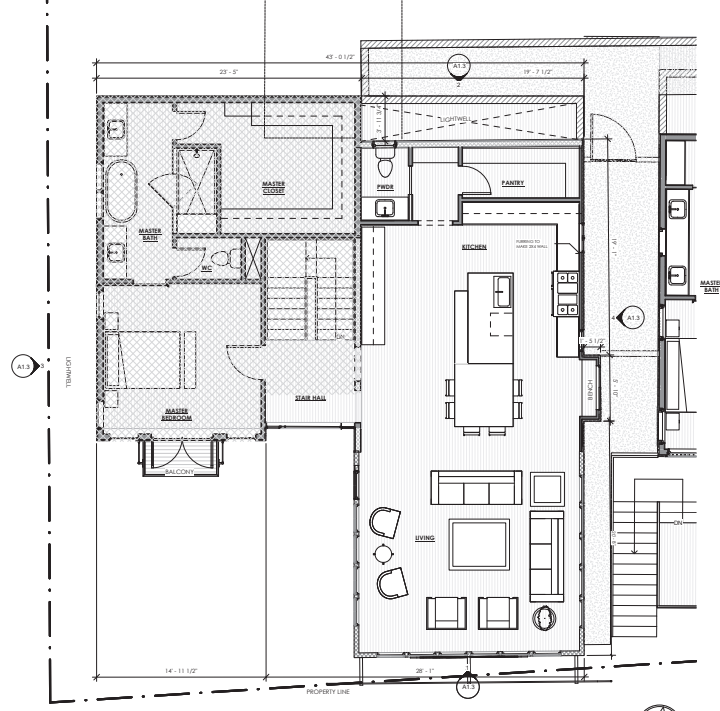




JOB # 1811



1 COTTAGE 825 LOWER LEVEL  
 SCALE = 1/4" = 1'-0"



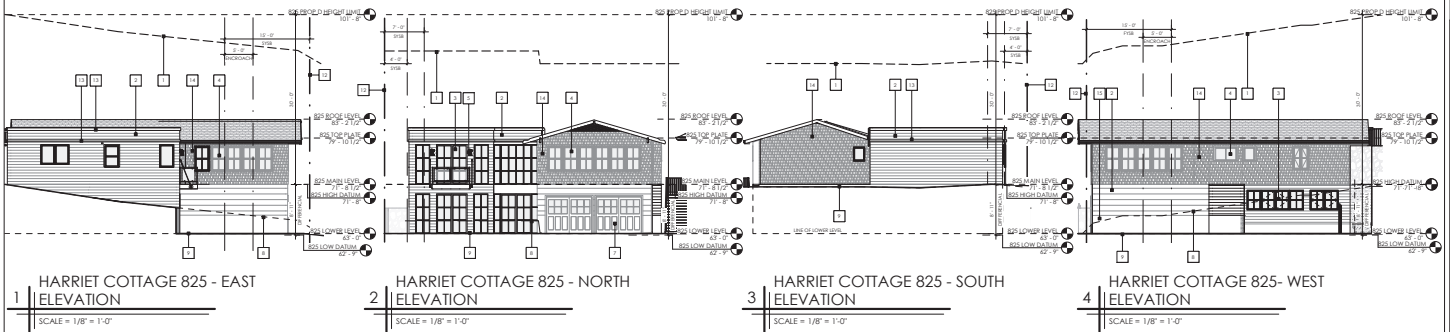
2 COTTAGE 825 MAIN LEVEL  
 SCALE = 1/4" = 1'-0"

WALL LEGEND

- NEW CONSTRUCTION WALL
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE DEMOLISHED

DATE	ISSUE



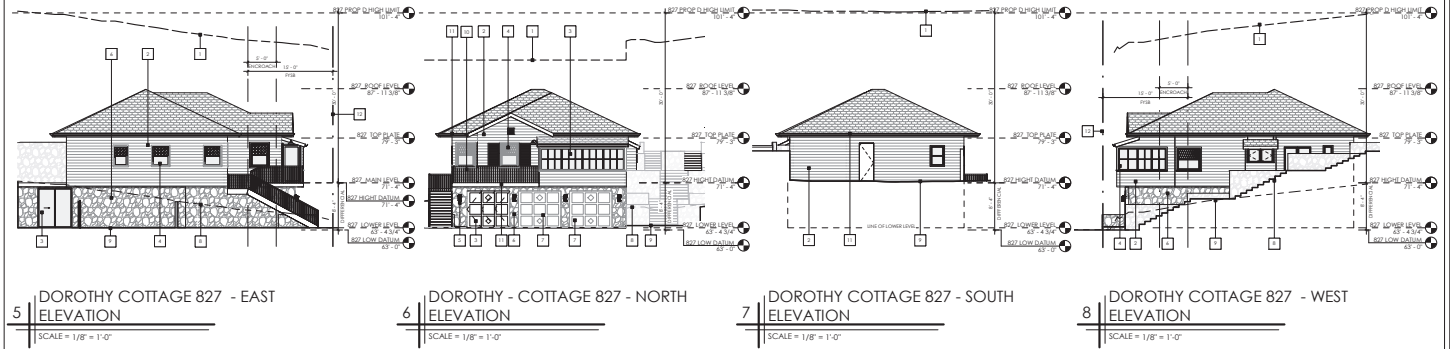


1 HARRIET COTTAGE 825 - EAST  
 ELEVATION  
 SCALE = 1/8" = 1'-0"

2 HARRIET COTTAGE 825 - NORTH  
 ELEVATION  
 SCALE = 1/8" = 1'-0"

3 HARRIET COTTAGE 825 - SOUTH  
 ELEVATION  
 SCALE = 1/8" = 1'-0"

4 HARRIET COTTAGE 825 - WEST  
 ELEVATION  
 SCALE = 1/8" = 1'-0"



5 DOROTHY COTTAGE 827 - EAST  
 ELEVATION  
 SCALE = 1/8" = 1'-0"

6 DOROTHY - COTTAGE 827 - NORTH  
 ELEVATION  
 SCALE = 1/8" = 1'-0"

7 DOROTHY COTTAGE 827 - SOUTH  
 ELEVATION  
 SCALE = 1/8" = 1'-0"

8 DOROTHY COTTAGE 827 - WEST  
 ELEVATION  
 SCALE = 1/8" = 1'-0"

KEYNOTES

- 1 LINE OF 30'-0" HEIGHT LIMIT
- 2 WOOD CLADDING
- 3 (S) WINDOW PER SCHEDULE
- 4 (S) WINDOW TO BOARD
- 5 LOCK FUTURE PER ECP
- 6 COBBLE STONE FINISH PER ARCHITECT
- 7 (S) GARAGE DOOR TO REMAIN
- 8 LINE OF FINISH GRADE AT BUILDING LINE
- 9 LINE OF PROPOSED GRADE AT BUILDING LINE
- 10 VERTICAL FICET BRASS
- 11 METAL GUTTER
- 12 PROPERTY LINE
- 13 STUCCO MOLDING
- 14 WOOD SHINGLE FINISH
- 15 PAINTED WHITE BRICK TYP.

DATE	ISSUE
11/08/21	FINAL SUBMITAL
08/05/21	SCHEMATIC DEVELOPMENT
05/05/21	FINAL SUBMITAL
4	
3	



## DOROTHY COTTAGE RELOCATION AND REHABILITATION

### MONITORING PLAN

- Date:** December 11, 2020
- Project:** Dorothy Cottage Relocation and Rehabilitation  
*Current Address* – 827 Coast Boulevard South, La Jolla, California 92037  
*Current APN* – 350-070-10  
*Future Address* – 821 Coast Boulevard South, La Jolla, California 92037  
*Future APN* – 350-070-11  
*City of San Diego HRB Site No.* – 1375  
*Year Built* – Circa 1904  
*Period of Significance* – Circa 1904 to 1930s
- Subject:** Monitoring plan for a historic resource
- Project Team:** *D/CM (Developer/Construction Manager)* – 800 Coast, LLC  
*PA (Project Architect)* – Will & Fotsch Architects  
*AH (Architectural Historian and Monitor)* – Brian F. Smith and Associates, Inc.  
*RC (Relocation Contractor)* – Davidson Construction  
*GC (General Contractor)* – Davidson Construction  
*BI (Building Inspector)* – City of San Diego Development Services (environmental and historic staff)
- Locations:** *Current Site (Site A)* – 827 Coast Boulevard South, La Jolla, California 92037  
*Future Site (Site B)* – 821 Coast Boulevard South, La Jolla, California 92037



## **PROPERTY DESCRIPTION**

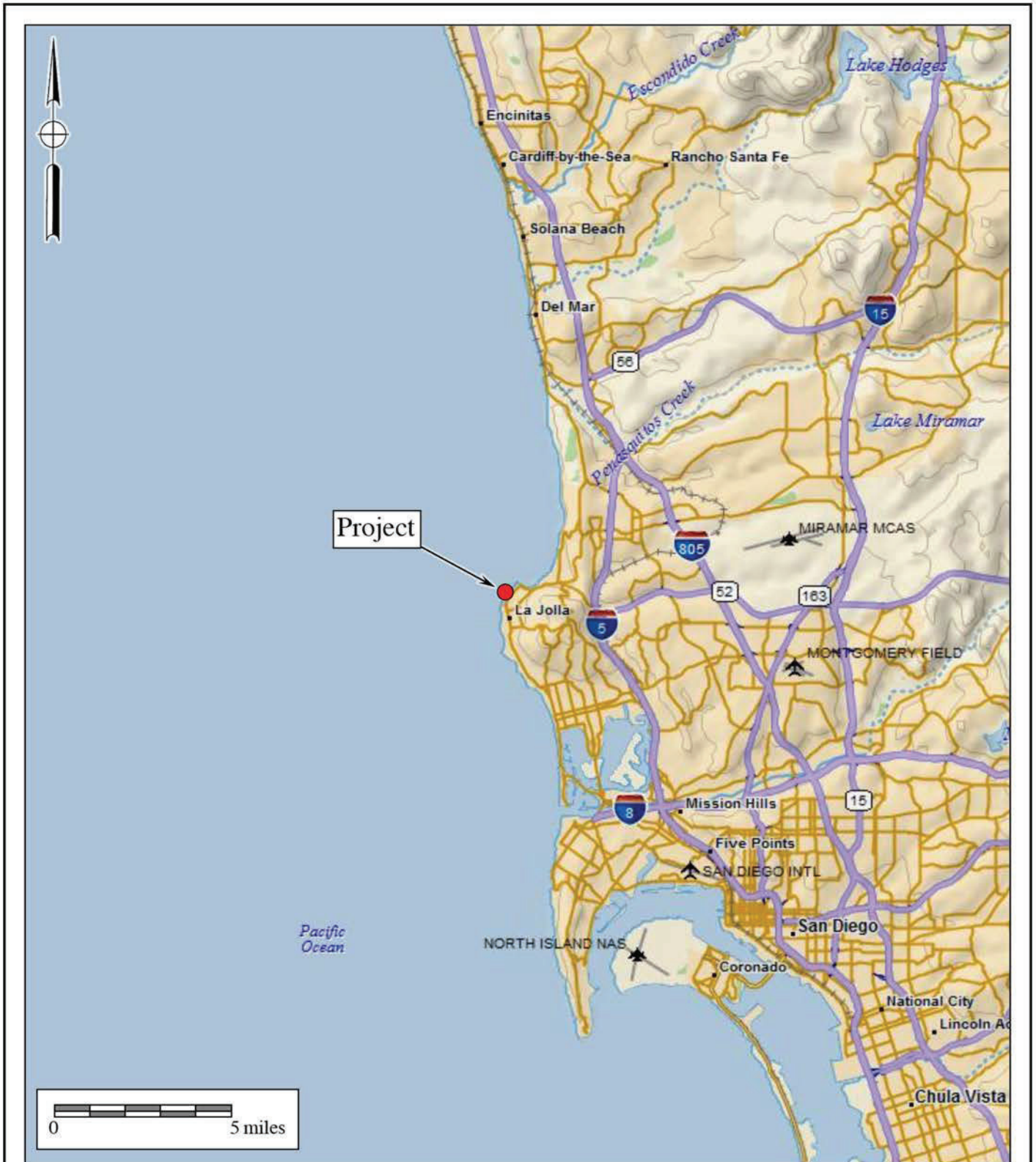
The Dorothy Cottage is a one-story, Queen Anne Free Classic-style La Jolla Beach Cottage located at 827 Coast Boulevard South (Figures 1 and 2). The building was constructed circa 1904 by an unknown architect and builder. The Dorothy Cottage is one of two La Jolla Beach Cottages that were designated as City of San Diego HRB Site No. 1375 (the other being located at 825 Coast Boulevard South). Historical research and the site evaluation conducted for the building determined that the Dorothy Cottage is a representative example of a La Jolla Beach Cottage constructed within the late 1880s to 1930s period of significance for the La Jolla Beach Cottage Theme. It is considered a Historical Resource under the California Environmental Quality Act.

After the Dorothy Cottage is restored at 821 Coast Boulevard South, the building will be secured via mothballing. The mothballing process will follow the recommendations in *National Park Service Preservation Brief 31: Mothballing Historic Buildings*, which is included in the Treatment Plan. After completion of the mothballing process, 800 Coast, LLC will be responsible for all maintenance, monitoring, and inspections of the Dorothy Cottage.

The Monitoring Plan will follow the Treatment Plan and supporting architectural documents prepared to move the historic structure from its current location at Site A to the new Site B (Figures 3 and 4) and to conduct the exterior rehabilitation and mothballing processes.

## **MONITORING**

1. Preconstruction Meeting (D/CM, PA, AH, RC, GC, BI)
  - a. Overview of Treatment Plan and Monitoring Plan as related to the historic resource on Site A.
  - b. Overview of architectural, landscape, and engineering documents as related to Site B.
  - c. Review work required to prepare Site B for the arrival of the Dorothy Cottage.
2. Preparation of the Dorothy Cottage for Relocation (D/CM, AH)
  - a. Historic architect/monitor to be present to observe the removal of the foundation, and front steps. Other items, including disconnection and capping of utility connection, removal of exterior plumbing and electrical lines, which are required for relocation, shall be complete prior to the meeting.



Project

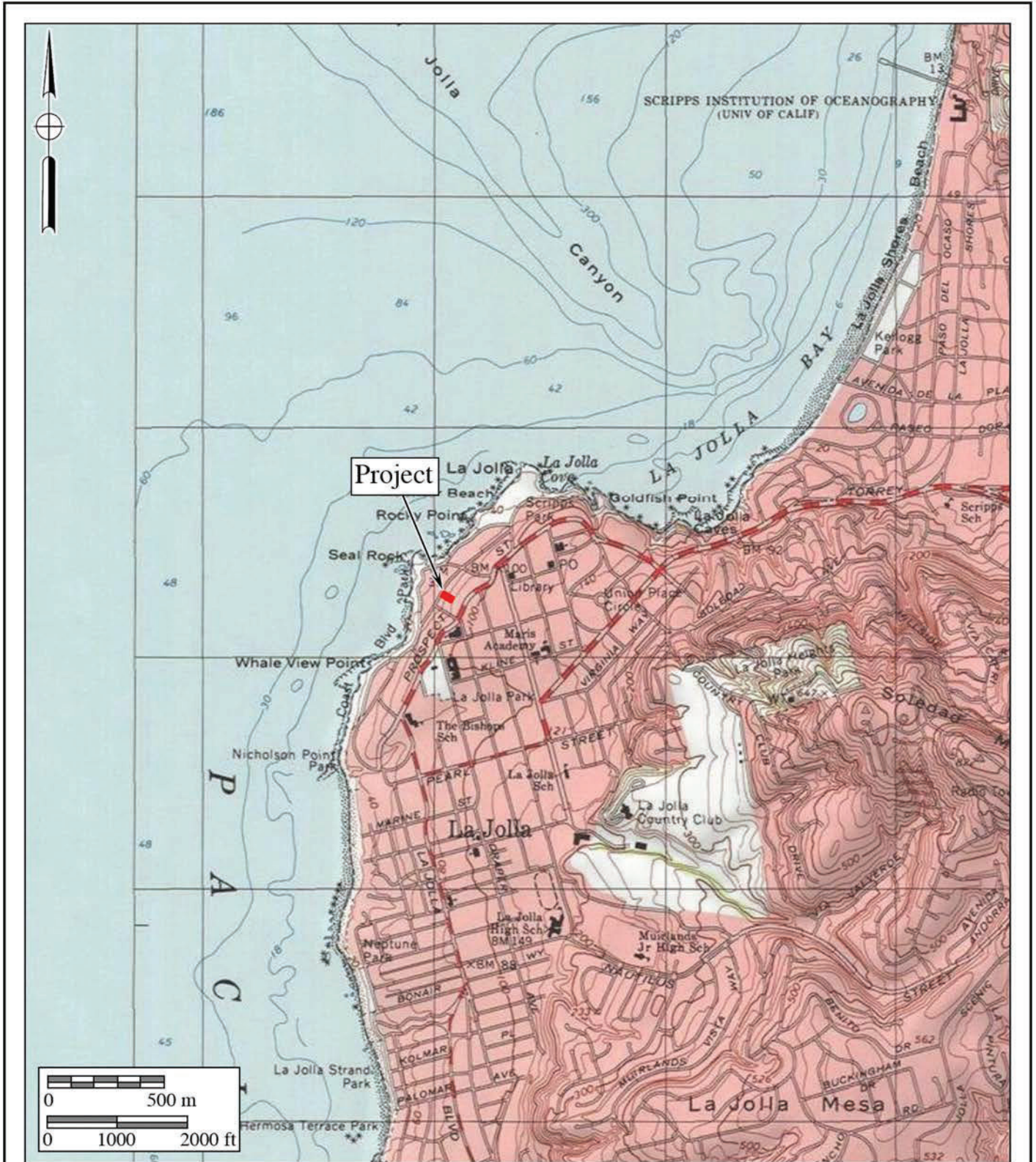
### Figure 1

### General Location Map

The Dorothy Cottage Relocation and Rehabilitation Project

DeLorme (1:250,000)





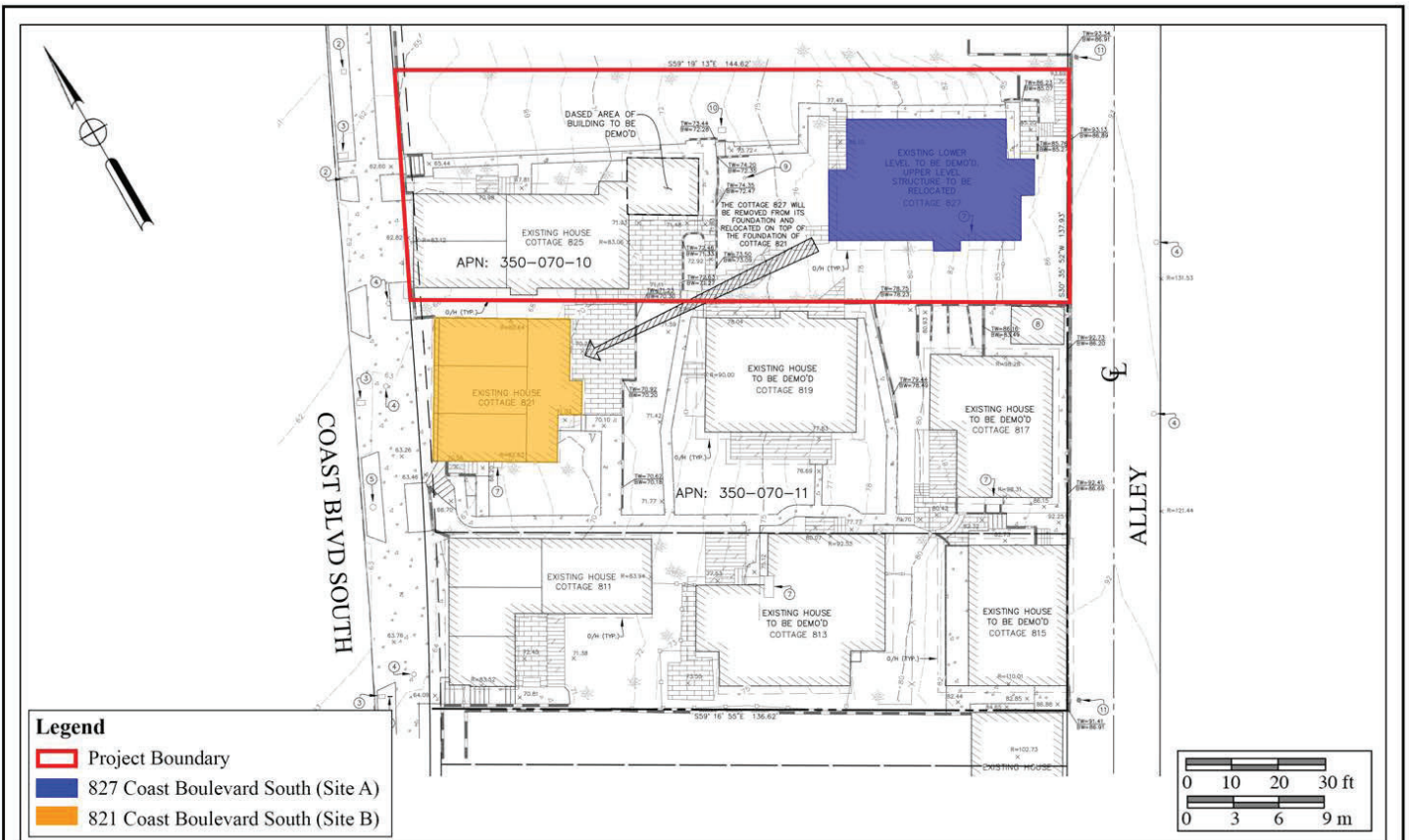
**Figure 2**

**Project Location Map**

The Dorothy Cottage Relocation and Rehabilitation Project

USGS *La Jolla* Quadrangle (7.5-minute series)





**Figure 3**

**Project Relocation Map Showing Existing Topography and Demolition Plan**

The Dorothy Cottage Relocation and Rehabilitation Project





**Figure 4**

**Relocation Plan Showing the Existing (Site A)  
and Future (Site B) Locations of the Dorothy Cottage**

The Dorothy Cottage Relocation and Rehabilitation Project





3. Pre-Move (D/CM, AH, RC)
  - a. Observe temporary shoring and protection.
  - b. Review storage of salvaged building materials.
  - c. Approve structure as ready for relocation.
  
4. New Footings, Foundation, Utilities, and Site Preparation at Site B (CM, AH, RC, GC)
  - a. Review preparation work at Site B prior to relocation of the Dorothy Cottage.
  
5. Move to Site B (D/CM, AH, RC, BI)
  - a. Review building relocation.
  - b. Review the overall Treatment Plan for the rehabilitation of the Dorothy Cottage, as well as architectural, landscape, and engineering documents.
  
6. Continued Monitoring During Rehabilitation (D/CM, PA, AH, GC)
  - a. Monitoring to occur as required by the construction activity.
  - b. Complete Consultant Site Visit Record (CSV) forms, as needed.
  - c. Observe the rehabilitation of the Dorothy Cottage in accordance with the Treatment Plan and approved architectural, landscape, and engineering documents.
  
7. Final Monitoring (D/CM, PA, AH)
  - a. Final list of items to complete according to the Treatment Plan and approved architectural, landscape, and engineering documents.
  
8. Draft Monitoring Report (AH, BI)
  - a. Draft report of the monitoring process to be submitted to the BI for review.
  
9. Final Monitoring Report (D/CM, AH, BI)
  - a. Preparation of the final monitoring report.
  - b. Review relevant documents with the BI to confirm compliance with the Site Development Permit.

### **CONSULTANT SITE VISIT RECORD**

A CSV form shall be used by the AH to document progress of the rehabilitation. A sample CSV form is included below for reference.





Brian F. Smith and Associates, Inc.

Archaeology / Biology / History / Paleontology / Air Quality / Traffic / Acoustics

### Consultant Site Visit Record

**PROJECT:** *(Name and address)*

**REPORT NUMBER:**

**CONTRACT:**

DATE	TIME	WEATHER	TEMP. RANGE
EST. % COMPLETION		CONFORMANCE WITH SCHEDULE (+/-)	
WORK IN PROGRESS			

OBSERVATIONS

ITEMS TO VERIFY

INFORMATION OR ACTION REQUIRED

ATTACHMENTS

**REPORT BY:**

**REPORT DATE:**

**TITLE:** Historic Monitor

811-827 COAST  
BOULEVARD SOUTH  
ECONOMIC ALTERNATIVE ANALYSIS  
MAY, 2022

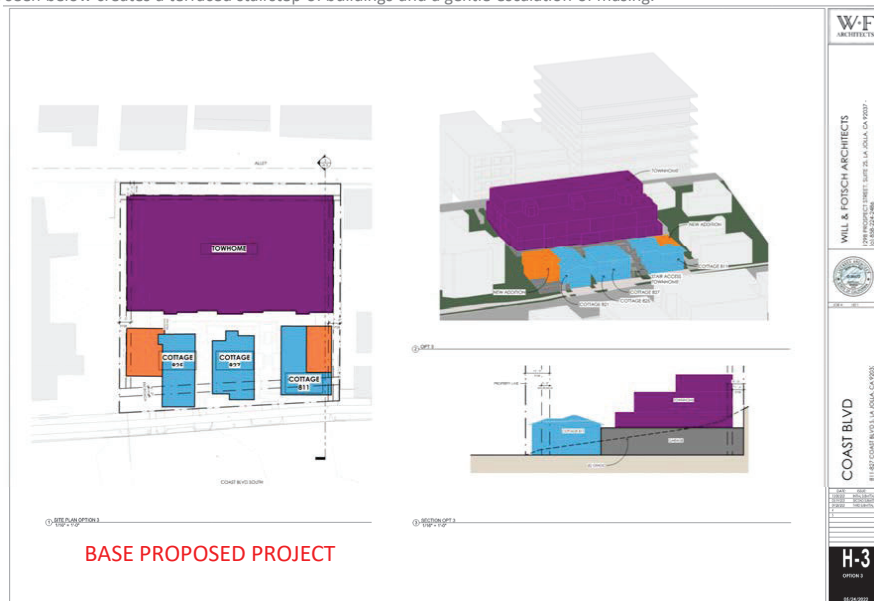


## ATTACHMENT 6

800 Coast LLC is currently in the entitlement phase of redeveloping two adjoining parcels that house 2 designated historical cottages, Harriet (825) and Dorothy (827) Coast Boulevard South. The site is in the Village of La Jolla surrounded by high rise, mid-rise and commercial buildings to the East, North and West. The South side is comprised of small cottages and intimate homes including other historic homes, the La Jolla Historical Society and the cottages it inhabits on Eads Ave. The owners have been diligently processing the property since 2018. Dorothy and Harriet Cottages received historic designation in August of 2020. The owners have since continued their commitment to the property and are *patiently and eagerly* awaiting approval of the proposed development.

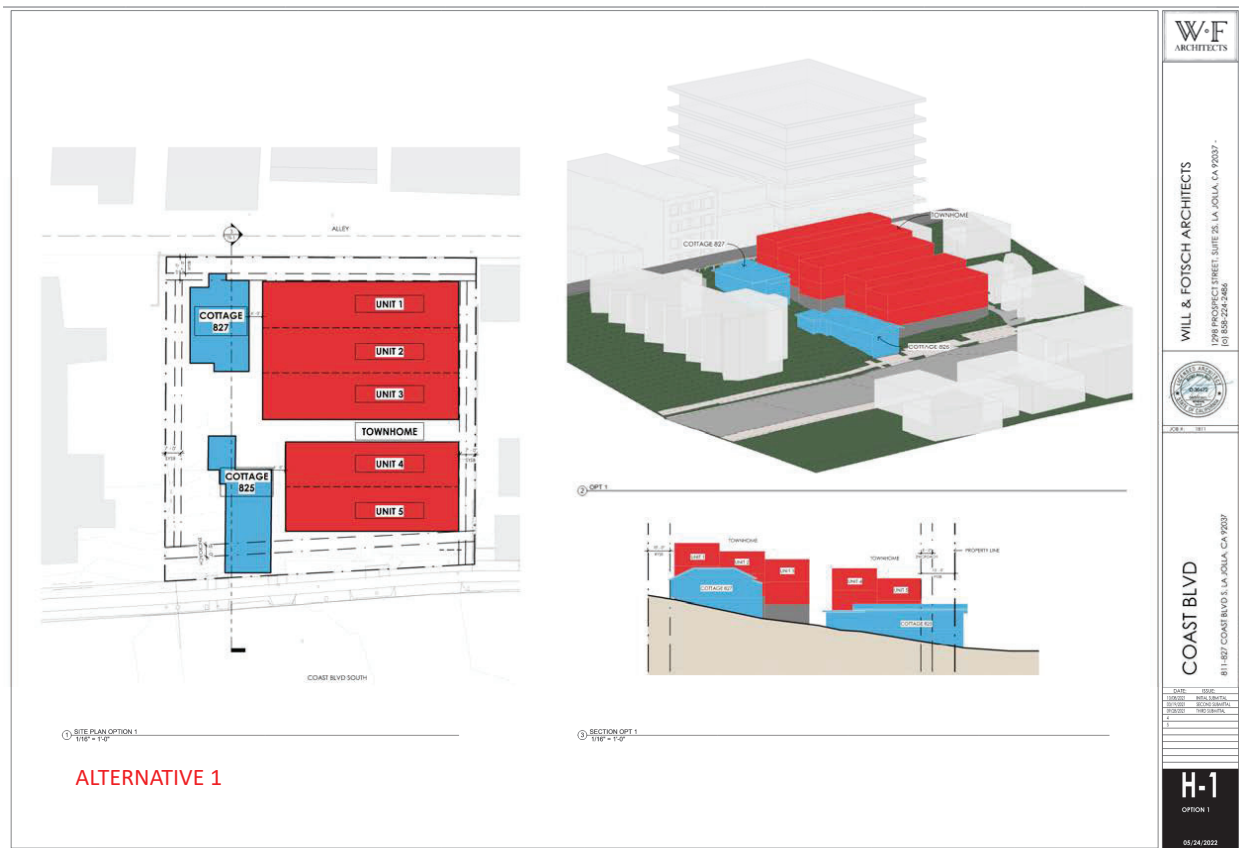
Davidson Communities in consultation with Will & Fotsch Architects and Real Estate expert Ross Clark with Compass Realty in La Jolla has completed an economic analysis of various development alternatives for the property. The purpose of this analysis is to analyze the proposed Base Project and the financial impacts and economic feasibility of the development alternatives. They identified 3 alternatives.

**Base Proposed Project:** The owner's intent is to restore the Harriet and Dorothy Cottages (825 & 827) with the proposed remodels. This requires moving 827 to the foundation of 821 which is on the street level. Moving Dorothy (827) to the street on Coast Boulevard South will allow the public a close and enjoyable view of the both the Dorothy and Harriet Cottages. Dorothy is currently located at the rear of the property, below the alley with no public view. The owner intends to remodel a third cottage at 811 Coast Boulevard South similar in sizing and charm. The three cottages on Coast will create a continuance of those on Eads. A "Cottage Row", if you will. A stroll down Eads Avenue past La Jolla Historical Society buildings, other intimate cottages on Eads, and a quick turn on Coast will feel like a stroll around La Jolla in the early 1900's. The appearance and careful planning will result in a delicate and pleasing reminder of La Jolla in its very beginnings. The backdrop to the charming "Cottage Row" will be the 3 story townhomes that sit comfortably back from the street and cottages and cushion the entire property from the tall buildings that surround it on all three sides. The plan as seen below creates a terraced staircase of buildings and a gentle escalation of masing.



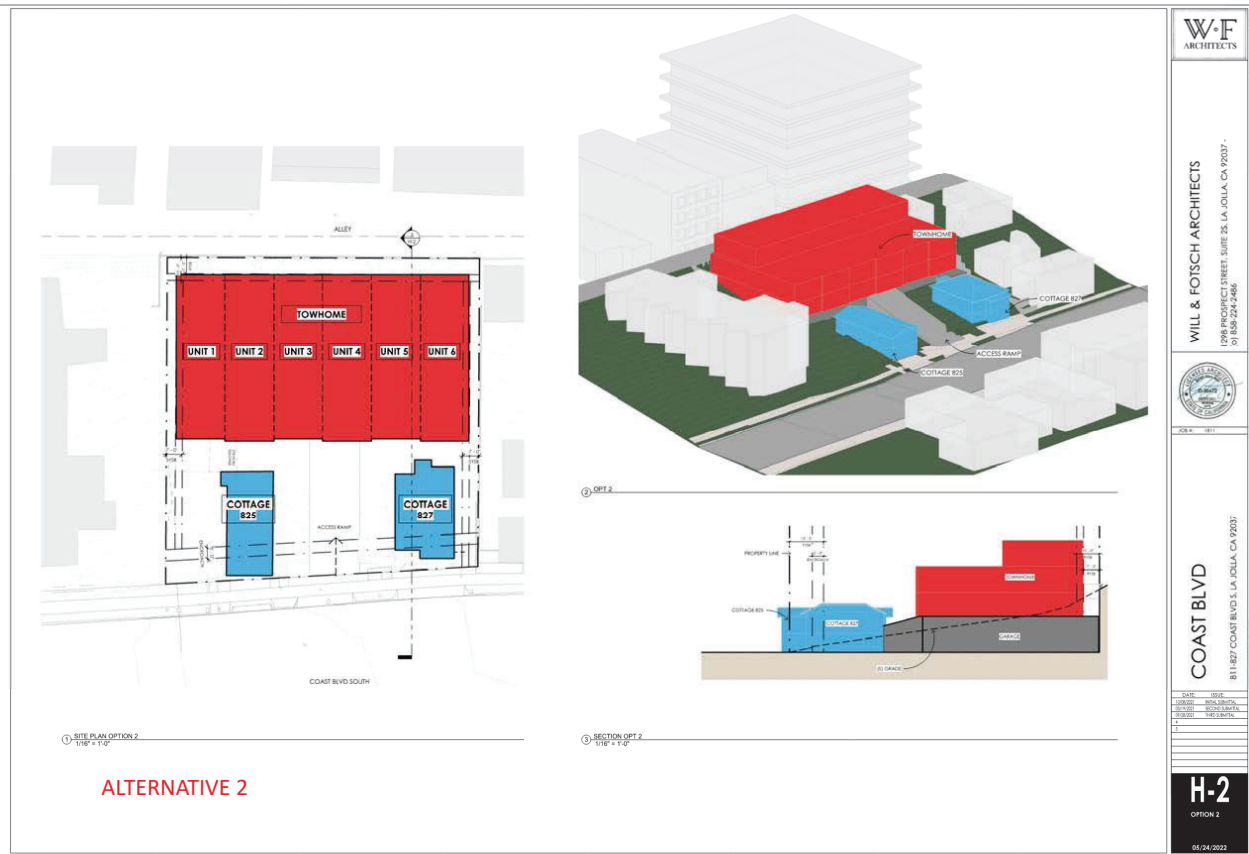
# ATTACHMENT 6

**Alternative 1:** Leave the Dorothy and Harriet Cottages as is and build 5 two story condos on the adjacent lot. The 5 condos would have a side entry, windows on the North and South sides only, and parking would be partially subterranean with shared open parking. Access to the condos would be via a single elevator and long artificially lighted corridors. Light in the living space of the condos would be compromised, and there would be no views. The massing of the new building would be huge at the street level. This combined with the mid-rise building to the North, the high-rise building to the East and South would dwarf both Dorothy and Harriet. The above would decrease square footage and the per foot sales opportunity significantly.



# ATTACHMENT 6

**Alternative 2:** Leave 825 as is, move 827 to the foundation of 811 and build a ramped drive between the two historic cottages. However, the footprint of 827 does not fit on the foundation of 811 and would require significant rehabilitation and construction to locate the cottage in this location. The square footage would be reduced, and this alternative would eliminate Cottage 811. This alternative would be aesthetically less pleasing from the street level. The "Cottage Row" street scene would be eliminated. Dorothy and Harriet would be separated by a long, hard driveway. The intimate "little neighborhood" feel would be interrupted, and the massing of the condos exposed to the street and public view would dwarf both Dorothy and Harriet. The above would decrease the per foot sales opportunity significantly.



W.F. ARCHITECTS

WILL & FOTSCH ARCHITECTS  
 10900 PINECREEK STREET, SUITE 25, LA JOLLA, CA 92037  
 (760) 524-8400



JOB # 1811

COAST BLVD  
 811-827 COAST BLVD S, LA JOLLA, CA 92037

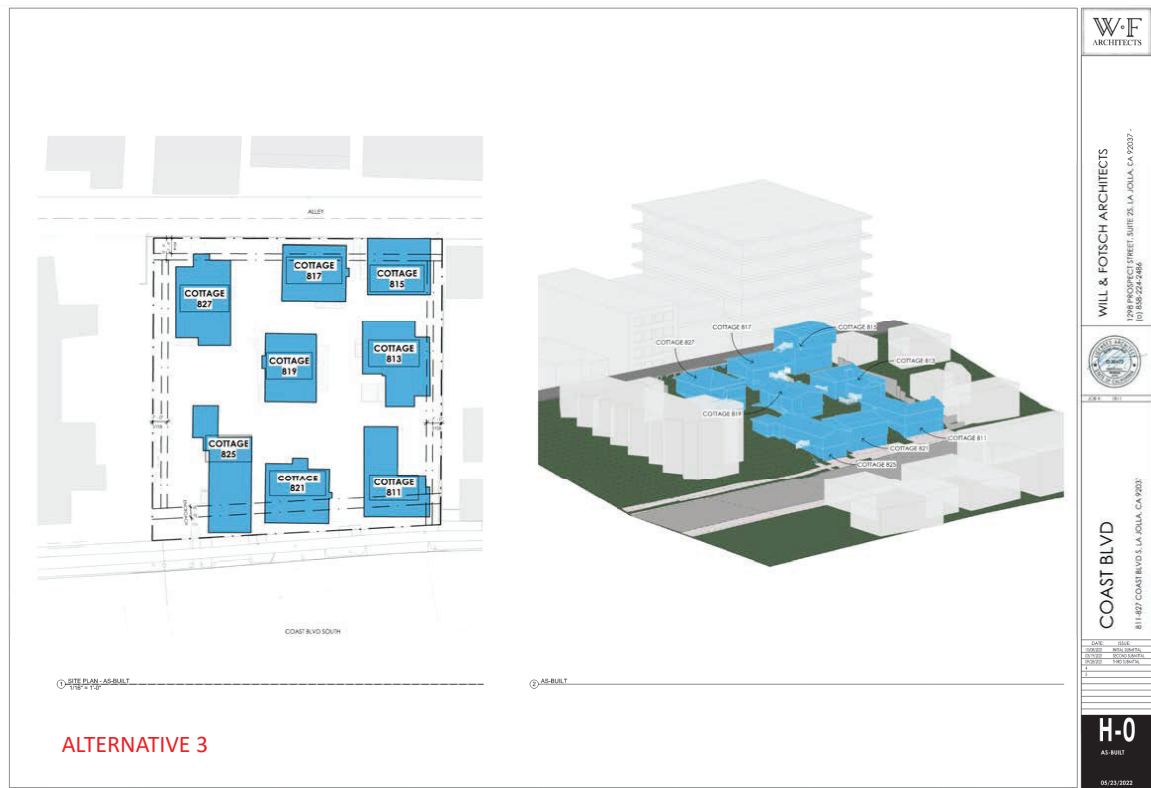
DATE	02/04
ISSUED FOR PERMITS	
ISSUED FOR CONSTRUCTION	
ISSUED FOR RECORDS	
NO. OF SHEETS	1
TOTAL NO. OF SHEETS	1

**H-2**  
 OPTION 2

05/04/2022

**ATTACHMENT 6**

**Alternative 3:** Rehabilitate and restore all cottages. This alternative does not allow for any expansion to add value to the property. Limited ocean views are provided and the cottages in general are a smaller size than what is expected in the area of La Jolla.



**W-F ARCHITECTS**

**WILL & FOISCH ARCHITECTS**  
 12786 PROSPERITY STREET, SUITE 215, LA JOLLA, CA 92037  
 (619) 594-0400

**COAST BLVD**  
 811-827 COAST BLVD S, LA JOLLA, CA 92037

DATE	ISSUE
06/23/2012	REVISED
06/23/2012	REVISED
06/23/2012	REVISED
06/23/2012	REVISED
06/23/2012	REVISED
06/23/2012	REVISED
06/23/2012	REVISED
06/23/2012	REVISED
06/23/2012	REVISED
06/23/2012	REVISED

**H-O**  
 A1-BUILD  
 06/23/2012

**800 Coast LLC**  
**811-827 Coast Blvd.**  
**Economic Alternative Analysis Summary Comparison**

	Base Project	Alternative 1	Alternative 2	Alternative 3
<b>Pre-Tax Margin</b>	<b>40.70%</b>	<b>-8.00%</b>	<b>33.50%</b>	<b>-23.50%</b>
<i>Gross Sales Revenue</i>	\$62,213,000	\$23,013,300	\$47,958,300	\$8,907,000
<i>Avg Sale Price psft</i>	\$2,028	\$1,403	\$1,957	\$1,100
<i>Total Land Price</i>	\$11,000,000	\$11,000,000	\$11,000,000	\$11,000,000
<i>Direct Construction Costs</i>	\$18,409,800	\$9,841,800	\$14,700,600	\$0
<i>Direct Construction Cost psf</i>	\$600	\$600	\$600	\$600

**800 Coast LLC**  
**811-827 Coast Blvd.**  
**BASE PROJECT**

	1	2	3	4	5	6	811	825 Harriett	827 Dorothy	WEIGHTED AVERAGE	TOTAL	% OF REVENUE
UNITS	1	1	1	1	1	1	1	1	1	na	9	na
MIX PERCENTAGE	11.1%	11.1%	11.1%	11.1%	11.1%	11.1%	11.1%	11.1%	11.1%	na	100.0%	na
Home Size (sf)	4,235	3,887	3,887	3,887	3,887	4,235	1,553	2,228	2,884	3,409	30,683	na
<b>SALES PRICE</b>												
Base Sales Price	\$8,893,500	\$7,774,000	\$7,774,000	\$7,774,000	\$7,774,000	\$8,893,500	\$3,106,000	\$4,456,000	\$5,768,000	\$6,912,556	\$62,213,000	100.0%
<b>BASE SALES PRICE</b>	<b>\$8,893,500</b>	<b>\$7,774,000</b>	<b>\$7,774,000</b>	<b>\$7,774,000</b>	<b>\$7,774,000</b>	<b>\$8,893,500</b>	<b>\$3,106,000</b>	<b>\$4,456,000</b>	<b>\$5,768,000</b>	<b>\$6,912,556</b>	<b>\$62,213,000</b>	<b>100.0%</b>
Lot Premiums	-	-	-	-	-	-	-	-	-	-	-	0.0%
<b>BASE SALES PRICE (w. Premiums)</b>	<b>\$8,893,500</b>	<b>\$7,774,000</b>	<b>\$7,774,000</b>	<b>\$7,774,000</b>	<b>\$7,774,000</b>	<b>\$8,893,500</b>	<b>\$3,106,000</b>	<b>\$4,456,000</b>	<b>\$5,768,000</b>	<b>\$6,912,556</b>	<b>\$62,213,000</b>	<b>100.0%</b>
<b>NET SALES PRICE/ SQFT</b>	<b>\$2,100.00</b>	<b>\$2,000.00</b>	<b>\$2,000.00</b>	<b>\$2,000.00</b>	<b>\$2,000.00</b>	<b>\$2,100.00</b>	<b>\$2,000.00</b>	<b>\$2,000.00</b>	<b>\$2,000.00</b>	<b>\$2,027.60</b>		
<b>LAND ACQUISITION COSTS</b>												
Land Payments	\$1,222,222	\$1,222,222	\$1,222,222	\$1,222,222	\$1,222,222	\$1,222,222	\$1,222,222	\$1,222,222	\$1,222,222	\$1,222,222	\$11,000,000	17.7%
<b>TOTAL LAND ACQUISITION COSTS</b>	<b>\$1,222,222</b>	<b>\$1,222,222</b>	<b>\$1,222,222</b>	<b>\$1,222,222</b>	<b>\$1,222,222</b>	<b>\$1,222,222</b>	<b>\$1,222,222</b>	<b>\$1,222,222</b>	<b>\$1,222,222</b>	<b>\$1,222,222</b>	<b>\$11,000,000</b>	<b>17.7%</b>
<b>LAND DEVELOPMENT COSTS</b>												
Site Improvements	55,556	55,556	55,556	55,556	55,556	55,556	55,556	55,556	55,556	55,556	500,000	0.8%
Fees Paid at Home Start	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	270,000	0.4%
Other Soft Costs	55,556	55,556	55,556	55,556	55,556	55,556	55,556	55,556	55,556	55,556	500,000	0.8%
<b>TOTAL LAND DEVELOPMENT COSTS</b>	<b>\$141,111</b>	<b>\$141,111</b>	<b>\$141,111</b>	<b>\$141,111</b>	<b>\$141,111</b>	<b>\$141,111</b>	<b>\$141,111</b>	<b>\$141,111</b>	<b>\$141,111</b>	<b>\$141,111</b>	<b>\$1,270,000</b>	<b>2.0%</b>
<b>IMPLIED FINISHED LOT</b>	<b>\$1,363,333</b>	<b>\$1,363,333</b>	<b>\$1,363,333</b>	<b>\$1,363,333</b>	<b>\$1,363,333</b>	<b>\$1,363,333</b>	<b>\$1,363,333</b>	<b>\$1,363,333</b>	<b>\$1,363,333</b>	<b>\$1,363,333</b>	<b>\$12,270,000</b>	<b>19.7%</b>
<b>HOUSING COSTS</b>												
Direct Construction Costs	\$2,541,000	\$2,332,200	\$2,332,200	\$2,332,200	\$2,332,200	\$2,541,000	\$931,800	\$1,336,800	\$1,730,400	2,045,533	18,409,800	29.6%
Building Permits and Fees	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	45,000	0.1%
Indirects	24,844	22,803	22,803	22,803	22,803	24,844	9,111	13,070	16,919	20,000	180,000	0.3%
Architectural Design	48,309	44,339	44,339	44,339	44,339	48,309	17,715	25,415	32,898	38,889	350,000	0.6%
Property Taxes	15,278	15,278	15,278	15,278	15,278	15,278	15,278	15,278	15,278	15,278	137,500	0.2%
Legal, Accounting & Other	34,563	34,563	34,563	34,563	34,563	34,563	34,563	34,563	34,563	34,563	311,065	0.5%
Insurance	21,467	19,703	19,703	19,703	19,703	21,467	7,872	11,294	14,619	17,281	155,533	0.3%
<b>TOTAL HOUSING COSTS</b>	<b>\$2,690,461</b>	<b>\$2,473,886</b>	<b>\$2,473,886</b>	<b>\$2,473,886</b>	<b>\$2,473,886</b>	<b>\$2,690,461</b>	<b>\$1,021,338</b>	<b>\$1,441,419</b>	<b>\$1,849,676</b>	<b>\$2,176,544</b>	<b>\$19,588,898</b>	<b>31.5%</b>
Direct Construction Costs per SQFT	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00		
<b>SALES &amp; MARKETING</b>												
Sales Commissions/Temps	207,377	207,377	207,377	207,377	207,377	207,377	207,377	207,377	207,377	207,377	1,866,390	3.0%
Closing Costs	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	67,500	0.1%
HOA / DRE Costs	3,889	3,889	3,889	3,889	3,889	3,889	3,889	3,889	3,889	3,889	35,000	0.1%
<b>TOTAL SALES &amp; MARKETING COSTS</b>	<b>\$218,766</b>	<b>\$218,766</b>	<b>\$218,766</b>	<b>\$218,766</b>	<b>\$218,766</b>	<b>\$218,766</b>	<b>\$218,766</b>	<b>\$218,766</b>	<b>\$218,766</b>	<b>\$218,766</b>	<b>\$1,968,890</b>	<b>3.2%</b>
<b>TOTAL COSTS</b>	<b>\$4,272,560</b>	<b>\$4,055,984</b>	<b>\$4,055,984</b>	<b>\$4,055,984</b>	<b>\$4,055,984</b>	<b>\$4,272,560</b>	<b>\$2,603,437</b>	<b>\$3,023,518</b>	<b>\$3,431,775</b>	<b>\$3,758,643</b>	<b>\$33,827,788</b>	<b>54.4%</b>
<b>PROFIT BEFORE G&amp;A</b>	<b>\$4,620,940</b>	<b>\$3,718,016</b>	<b>\$3,718,016</b>	<b>\$3,718,016</b>	<b>\$3,718,016</b>	<b>\$4,620,940</b>	<b>\$502,563</b>	<b>\$1,432,482</b>	<b>\$2,336,225</b>	<b>\$3,153,913</b>	<b>\$28,385,213</b>	<b>45.6%</b>
<b>MANAGEMENT FEES</b>												
G&A	\$85,869	\$78,813	\$78,813	\$78,813	\$78,813	\$85,869	\$31,489	\$45,175	\$58,476	\$69,126	\$622,130	1.0%
<b>TOTAL BUILDER MANAGEMENT FEE</b>	<b>\$85,869</b>	<b>\$78,813</b>	<b>\$78,813</b>	<b>\$78,813</b>	<b>\$78,813</b>	<b>\$85,869</b>	<b>\$31,489</b>	<b>\$45,175</b>	<b>\$58,476</b>	<b>\$69,126</b>	<b>\$622,130</b>	<b>1.0%</b>
<b>PROJECT CASH FLOW before financing</b>	<b>\$4,535,071</b>	<b>\$3,639,203</b>	<b>\$3,639,203</b>	<b>\$3,639,203</b>	<b>\$3,639,203</b>	<b>\$4,535,071</b>	<b>\$471,074</b>	<b>\$1,387,307</b>	<b>\$2,277,749</b>	<b>\$3,084,787</b>	<b>\$27,763,083</b>	<b>44.6%</b>
Interest, Points & Other Financing Costs	\$340,332	\$312,366	\$312,366	\$312,366	\$312,366	\$340,332	\$124,802	\$179,046	\$231,763	\$273,971	\$2,465,740	4.0%
<b>PROJECT CASH FLOW after financing</b>	<b>\$4,194,739</b>	<b>\$3,326,836</b>	<b>\$3,326,836</b>	<b>\$3,326,836</b>	<b>\$3,326,836</b>	<b>\$4,194,739</b>	<b>\$346,272</b>	<b>\$1,208,261</b>	<b>\$2,045,986</b>	<b>\$2,810,816</b>	<b>\$25,297,342</b>	<b>40.7%</b>
<b>PRETAX MARGIN</b>												<b>40.7%</b>



**800 Coast LLC**  
**811-827 Coast Blvd.**  
**ALTERNATIVE 1**

	1	2	3	4	5	825 Harriett	827 Dorothy	WEIGHTED AVERAGE	TOTAL	% OF REVENUE
UNITS	1	1	1	1	1	1	1	na	7	na
MIX PERCENTAGE	14.3%	14.3%	14.3%	14.3%	14.3%	14.3%	14.3%	na	100.0%	na
Home Size (sf)	3,000	3,000	3,000	2,600	2,600	1,080	1,123	2,343	16,403	na
<b>SALES PRICE</b>										
Base Sales Price	\$4,350,000	\$4,350,000	\$4,350,000	\$3,770,000	\$3,770,000	\$1,188,000	\$1,235,300	\$3,287,614	\$23,013,300	100.0%
<b>BASE SALES PRICE</b>	<b>\$4,350,000</b>	<b>\$4,350,000</b>	<b>\$4,350,000</b>	<b>\$3,770,000</b>	<b>\$3,770,000</b>	<b>\$1,188,000</b>	<b>\$1,235,300</b>	<b>\$3,287,614</b>	<b>\$23,013,300</b>	<b>100.0%</b>
Lot Premiums	-	-	-	-	-	-	-	-	-	0.0%
<b>BASE SALES PRICE (w. Premiums)</b>	<b>\$4,350,000</b>	<b>\$4,350,000</b>	<b>\$4,350,000</b>	<b>\$3,770,000</b>	<b>\$3,770,000</b>	<b>\$1,188,000</b>	<b>\$1,235,300</b>	<b>\$3,287,614</b>	<b>\$23,013,300</b>	<b>100.0%</b>
<b>NET SALES PRICE/ SQFT</b>	<b>\$1,450.00</b>	<b>\$1,450.00</b>	<b>\$1,450.00</b>	<b>\$1,450.00</b>	<b>\$1,450.00</b>	<b>\$1,100.00</b>	<b>\$1,100.00</b>	<b>\$1,402.99</b>		
<b>LAND ACQUISITION COSTS</b>										
Land Payments	\$1,571,429	\$1,571,429	\$1,571,429	\$1,571,429	\$1,571,429	\$1,571,429	\$1,571,429	\$1,571,429	\$11,000,000	47.8%
<b>TOTAL LAND ACQUISITION COSTS</b>	<b>\$1,571,429</b>	<b>\$1,571,429</b>	<b>\$1,571,429</b>	<b>\$1,571,429</b>	<b>\$1,571,429</b>	<b>\$1,571,429</b>	<b>\$1,571,429</b>	<b>\$1,571,429</b>	<b>\$11,000,000</b>	<b>47.8%</b>
<b>LAND DEVELOPMENT COSTS</b>										
Site Improvements	71,429	71,429	71,429	71,429	71,429	71,429	71,429	71,429	500,000	2.2%
Fees Paid at Home Start	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	210,000	0.9%
Other Soft Costs	71,429	71,429	71,429	71,429	71,429	71,429	71,429	71,429	500,000	2.2%
<b>TOTAL LAND DEVELOPMENT COSTS</b>	<b>\$ 172,857</b>	<b>172,857</b>	<b>172,857</b>	<b>172,857</b>	<b>172,857</b>	<b>172,857</b>	<b>172,857</b>	<b>\$172,857</b>	<b>\$1,210,000</b>	<b>5.3%</b>
<b>IMPLIED FINISHED LOT</b>	<b>\$ 1,744,286</b>	<b>\$ 1,744,286</b>	<b>\$ 1,744,286</b>	<b>\$ 1,744,286</b>	<b>\$ 1,744,286</b>	<b>\$ 1,744,286</b>	<b>\$ 1,744,286</b>	<b>\$1,744,286</b>	<b>\$12,210,000</b>	<b>53.1%</b>
<b>HOUSING COSTS</b>										
Direct Construction Costs	\$ 1,800,000	\$ 1,800,000	\$ 1,800,000	\$ 1,560,000	\$ 1,560,000	\$ 648,000	\$ 673,800	1,405,971	9,841,800	42.8%
Building Permits and Fees	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	35,000	0.2%
Indirects	32,921	32,921	32,921	28,531	28,531	11,851	12,323	25,714	180,000	0.8%
Architectural Design	64,013	64,013	64,013	55,478	55,478	23,045	23,962	50,000	350,000	1.5%
Property Taxes	19,643	19,643	19,643	19,643	19,643	19,643	19,643	19,643	137,500	0.6%
Legal, Accounting & Other	16,438	16,438	16,438	16,438	16,438	16,438	16,438	16,438	115,067	0.5%
Insurance	10,522	10,522	10,522	9,119	9,119	3,788	3,939	8,219	57,533	0.3%
<b>TOTAL HOUSING COSTS</b>	<b>\$1,948,537</b>	<b>\$1,948,537</b>	<b>\$1,948,537</b>	<b>\$1,694,209</b>	<b>\$1,694,209</b>	<b>\$727,765</b>	<b>\$755,105</b>	<b>\$1,530,986</b>	<b>\$10,716,900</b>	<b>46.6%</b>
Direct Construction Costs per SQFT	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00		
<b>SALES &amp; MARKETING</b>										
Sales Commissions/Temps	98,628	98,628	98,628	98,628	98,628	98,628	98,628	98,628	690,399	3.0%
Closing Costs	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	52,500	0.2%
HOA / DRE Costs	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	35,000	0.2%
<b>TOTAL SALES &amp; MARKETING COSTS</b>	<b>\$111,128</b>	<b>\$111,128</b>	<b>\$111,128</b>	<b>\$111,128</b>	<b>\$111,128</b>	<b>\$111,128</b>	<b>\$111,128</b>	<b>\$111,128</b>	<b>\$777,899</b>	<b>3.4%</b>
<b>TOTAL COSTS</b>	<b>\$3,803,951</b>	<b>\$3,803,951</b>	<b>\$3,803,951</b>	<b>\$3,549,624</b>	<b>\$3,549,624</b>	<b>\$2,583,179</b>	<b>\$2,610,519</b>	<b>\$3,386,400</b>	<b>\$23,704,799</b>	<b>103.0%</b>
<b>PROFIT BEFORE G&amp;A</b>	<b>\$546,049</b>	<b>\$546,049</b>	<b>\$546,049</b>	<b>\$220,376</b>	<b>\$220,376</b>	<b>(\$1,395,179)</b>	<b>(\$1,375,219)</b>	<b>(\$98,786)</b>	<b>(\$691,499)</b>	<b>-3.0%</b>
<b>MANAGEMENT FEES</b>										
G&A	\$42,090	\$42,090	\$42,090	\$36,478	\$36,478	\$15,152	\$15,756	\$32,876	\$230,133	1.0%
<b>TOTAL BUILDER MANAGEMENT FEE</b>	<b>\$42,090</b>	<b>\$42,090</b>	<b>\$42,090</b>	<b>\$36,478</b>	<b>\$36,478</b>	<b>\$15,152</b>	<b>\$15,756</b>	<b>\$32,876</b>	<b>\$230,133</b>	<b>1.0%</b>
<b>PROJECT CASH FLOW before financing</b>	<b>\$503,959</b>	<b>\$503,959</b>	<b>\$503,959</b>	<b>\$183,899</b>	<b>\$183,899</b>	<b>(\$1,410,332)</b>	<b>(\$1,390,975)</b>	<b>(\$131,662)</b>	<b>(\$921,632)</b>	<b>-4.0%</b>
Interest, Points & Other Financing Costs	\$ 174,000	\$ 174,000	\$ 174,000	\$ 150,800	\$ 150,800	\$ 47,520	\$ 49,412	\$ 131,505	\$ 920,532	4.0%
<b>PROJECT CASH FLOW after financing</b>	<b>\$329,959</b>	<b>\$329,959</b>	<b>\$329,959</b>	<b>\$33,099</b>	<b>\$33,099</b>	<b>(\$1,457,852)</b>	<b>(\$1,440,387)</b>	<b>(\$263,166)</b>	<b>(\$1,842,164)</b>	<b>-8.0%</b>
<b>PRETAX MARGIN</b>										<b>-8.0%</b>

**800 Coast LLC**  
**811-827 Coast Blvd.**  
**ALTERNATIVE 2**

	1	2	3	4	5	6	825 Harriett	827 Dorothy	WEIGHTED AVERAGE	TOTAL	% OF REVENUE
UNITS	1	1	1	1	1	1	1	1	na	8	na
MIX PERCENTAGE	12.5%	12.5%	12.5%	12.5%	12.5%	12.5%	12.5%	12.5%	na	100.0%	na
Home Size (sf)	3,975	3,627	3,627	3,627	3,627	3,975	1,080	963	3,063	24,501	na
<b>SALES PRICE</b>											
Base Sales Price	\$8,347,500	\$7,254,000	\$7,254,000	\$7,254,000	\$7,254,000	\$8,347,500	\$1,188,000	\$1,059,300	\$5,994,788	\$47,958,300	100.0%
<b>BASE SALES PRICE</b>	<b>\$8,347,500</b>	<b>\$7,254,000</b>	<b>\$7,254,000</b>	<b>\$7,254,000</b>	<b>\$7,254,000</b>	<b>\$8,347,500</b>	<b>\$1,188,000</b>	<b>\$1,059,300</b>	<b>\$5,994,788</b>	<b>\$47,958,300</b>	<b>100.0%</b>
Lot Premiums	-	-	-	-	-	-	-	-	-	-	0.0%
<b>BASE SALES PRICE (w. Premiums)</b>	<b>\$8,347,500</b>	<b>\$7,254,000</b>	<b>\$7,254,000</b>	<b>\$7,254,000</b>	<b>\$7,254,000</b>	<b>\$8,347,500</b>	<b>\$1,188,000</b>	<b>\$1,059,300</b>	<b>\$5,994,788</b>	<b>\$47,958,300</b>	<b>100.0%</b>
<b>NET SALES PRICE/ SQFT</b>	<b>\$2,100.00</b>	<b>\$2,000.00</b>	<b>\$2,000.00</b>	<b>\$2,000.00</b>	<b>\$2,000.00</b>	<b>\$2,100.00</b>	<b>\$1,100.00</b>	<b>\$1,100.00</b>	<b>\$1,957.40</b>		
<b>LAND ACQUISITION COSTS</b>											
Land Payments	\$1,375,000	\$1,375,000	\$1,375,000	\$1,375,000	\$1,375,000	\$1,375,000	\$1,375,000	\$1,375,000	\$1,375,000	\$11,000,000	22.9%
<b>TOTAL LAND ACQUISITION COSTS</b>	<b>\$1,375,000</b>	<b>\$1,375,000</b>	<b>\$1,375,000</b>	<b>\$1,375,000</b>	<b>\$1,375,000</b>	<b>\$1,375,000</b>	<b>\$1,375,000</b>	<b>\$1,375,000</b>	<b>\$1,375,000</b>	<b>\$11,000,000</b>	<b>22.9%</b>
<b>LAND DEVELOPMENT COSTS</b>											
Site Improvements	62,500	62,500	62,500	62,500	62,500	62,500	62,500	62,500	62,500	500,000	1.0%
Fees Paid at Home Start	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	30,000	240,000	0.5%
Other Soft Costs	62,500	62,500	62,500	62,500	62,500	62,500	62,500	62,500	62,500	500,000	1.0%
<b>TOTAL LAND DEVELOPMENT COSTS</b>	<b>\$155,000</b>	<b>\$155,000</b>	<b>\$155,000</b>	<b>\$155,000</b>	<b>\$155,000</b>	<b>\$155,000</b>	<b>\$155,000</b>	<b>\$155,000</b>	<b>\$155,000</b>	<b>\$1,240,000</b>	<b>2.6%</b>
<b>IMPLIED FINISHED LOT</b>	<b>\$1,530,000</b>	<b>\$1,530,000</b>	<b>\$1,530,000</b>	<b>\$1,530,000</b>	<b>\$1,530,000</b>	<b>\$1,530,000</b>	<b>\$1,530,000</b>	<b>\$1,530,000</b>	<b>\$1,530,000</b>	<b>\$12,240,000</b>	<b>25.5%</b>
<b>HOUSING COSTS</b>											
Direct Construction Costs	\$2,385,000	\$2,176,200	\$2,176,200	\$2,176,200	\$2,176,200	\$2,385,000	\$648,000	\$577,800	1,837,575	14,700,600	30.7%
Building Permits and Fees	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	5,000	40,000	0.1%
Indirects	29,203	26,646	26,646	26,646	26,646	29,203	7,934	7,075	22,500	180,000	0.4%
Architectural Design	56,783	51,812	51,812	51,812	51,812	56,783	15,428	13,757	43,750	350,000	0.7%
Property Taxes	17,188	17,188	17,188	17,188	17,188	17,188	17,188	17,188	17,188	137,500	0.3%
Legal, Accounting & Other	29,974	29,974	29,974	29,974	29,974	29,974	29,974	29,974	29,974	239,792	0.5%
Insurance	19,452	17,749	17,749	17,749	17,749	19,452	5,285	4,712	14,987	119,896	0.3%
<b>TOTAL HOUSING COSTS</b>	<b>\$2,542,599</b>	<b>\$2,324,569</b>	<b>\$2,324,569</b>	<b>\$2,324,569</b>	<b>\$2,324,569</b>	<b>\$2,542,599</b>	<b>\$728,809</b>	<b>\$655,505</b>	<b>\$1,970,973</b>	<b>\$15,767,787</b>	<b>32.9%</b>
Direct Construction Costs per SQFT	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00	\$600.00		
<b>SALES &amp; MARKETING</b>											
Sales Commissions/Temps	179,844	179,844	179,844	179,844	179,844	179,844	179,844	179,844	179,844	1,438,749	3.0%
Closing Costs	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	7,500	60,000	0.1%
HOA / DRE Costs	4,375	4,375	4,375	4,375	4,375	4,375	4,375	4,375	4,375	35,000	0.1%
<b>TOTAL SALES &amp; MARKETING COSTS</b>	<b>\$191,719</b>	<b>\$191,719</b>	<b>\$191,719</b>	<b>\$191,719</b>	<b>\$191,719</b>	<b>\$191,719</b>	<b>\$191,719</b>	<b>\$191,719</b>	<b>\$191,719</b>	<b>\$1,533,749</b>	<b>3.2%</b>
<b>TOTAL COSTS</b>	<b>\$4,264,318</b>	<b>\$4,046,287</b>	<b>\$4,046,287</b>	<b>\$4,046,287</b>	<b>\$4,046,287</b>	<b>\$4,264,318</b>	<b>\$2,450,527</b>	<b>\$2,377,224</b>	<b>\$3,692,692</b>	<b>\$29,541,536</b>	<b>61.6%</b>
<b>PROFIT BEFORE G&amp;A</b>	<b>\$4,083,182</b>	<b>\$3,207,713</b>	<b>\$3,207,713</b>	<b>\$3,207,713</b>	<b>\$3,207,713</b>	<b>\$4,083,182</b>	<b>(\$1,262,527)</b>	<b>(\$1,317,924)</b>	<b>\$2,302,095</b>	<b>\$18,416,764</b>	<b>38.4%</b>
<b>MANAGEMENT FEES</b>											
G&A	\$77,807	\$70,995	\$70,995	\$70,995	\$70,995	\$77,807	\$21,140	\$18,850	\$59,948	\$479,583	1.0%
<b>TOTAL BUILDER MANAGEMENT FEE</b>	<b>\$77,807</b>	<b>\$70,995</b>	<b>\$70,995</b>	<b>\$70,995</b>	<b>\$70,995</b>	<b>\$77,807</b>	<b>\$21,140</b>	<b>\$18,850</b>	<b>\$59,948</b>	<b>\$479,583</b>	<b>1.0%</b>
<b>PROJECT CASH FLOW before financing</b>	<b>\$4,005,375</b>	<b>\$3,136,718</b>	<b>\$3,136,718</b>	<b>\$3,136,718</b>	<b>\$3,136,718</b>	<b>\$4,005,375</b>	<b>(\$1,283,667)</b>	<b>(\$1,336,774)</b>	<b>\$2,242,148</b>	<b>\$17,937,181</b>	<b>37.4%</b>
Interest, Points & Other Financing Costs	\$300,834	\$274,497	\$274,497	\$274,497	\$274,497	\$300,834	\$81,736	\$72,881	\$231,784	\$1,854,272	3.9%
<b>PROJECT CASH FLOW after financing</b>	<b>\$3,704,541</b>	<b>\$2,862,221</b>	<b>\$2,862,221</b>	<b>\$2,862,221</b>	<b>\$2,862,221</b>	<b>\$3,704,541</b>	<b>(\$1,365,403)</b>	<b>(\$1,409,655)</b>	<b>\$2,010,364</b>	<b>\$16,082,909</b>	<b>33.5%</b>
									<b>PRETAX MARGIN</b>		<b>33.5%</b>



THE CITY OF SAN DIEGO

## MITIGATED NEGATIVE DECLARATION

Project No. 677297  
SCH No. TBD

**SUBJECT:** **Digital Residences 800 Coast:** Coastal Development Permit, Site Development Permit, and Tentative Map to consolidate two lots into one, demolition of five residential structures, with some currently being used as offices, located at 813–821 Coast Boulevard, the remodel/addition of a non-historic structure located at 811 Coast Boulevard, remodel/addition to a designated historic structure at 825 Coast Boulevard and the relocation/remodel/addition of a historic structure at 827 Coast Boulevard. In addition, the project would construct six new, three-story townhomes over an underground garage, for a total square footage of 23,591-square-feet. The 0.44-acre site is in the La Jolla Planned District-5 Zone, Coastal Height, Coastal (Non-Appealable-2), and Parking Impact (Beach/Coastal) Overlay Zones within the La Jolla Community Plan Area. Council District 1. (LEGAL DESCRIPTION: Block 55, Lot 11, Lot 10 and Exc Sly 12 ft) APPLICANT: Dawn Davidson, 800 Coast LLC

I. PROJECT DESCRIPTION:

See attached Initial Study.

II. ENVIRONMENTAL SETTING:

See attached Initial Study.

III. DETERMINATION:

The City of San Diego conducted an Initial Study which determined that the proposed project could have a significant environmental effect in the following areas(s): Cultural Resources (Archaeology), Cultural Resources (Built Environment) and, Tribal Cultural Resources. Subsequent revisions in the project proposal create the specific mitigation identified in Section V of this Mitigated Negative Declaration. The project as revised now avoids or mitigates the potentially significant environmental effects previously identified, and the preparation of an Environmental Impact Report will not be required.

IV. DOCUMENTATION:

The attached Initial Study documents the reasons to support the above Determination.

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

**A. GENERAL REQUIREMENTS – PART I  
Plan Check Phase (prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.

2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, **"ENVIRONMENTAL/MITIGATION REQUIREMENTS."**

3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.

5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II  
Post Plan Check (After permit issuance/Prior to start of construction)**

**1. PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

***Qualified Archaeologist, Native American Monitor, Historic Monitor***

**Note:**

**Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.**

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call **RE and MMC at 858-627-3360**

**2. MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) #677297 and /or Environmental Document #677297, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc

**Note:**

**Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.**

**3. OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

***None Required***

**4. MONITORING EXHIBITS**

All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

**NOTE:**

**Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.**

**5. OTHER SUBMITTALS AND INSPECTIONS:**

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

<b>DOCUMENT SUBMITTAL/INSPECTION CHECKLIST</b>		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Tribal Cultural and Archaeological Resources	Monitoring Report(s)	Monitoring Report Approval
Historic Resources (Built Environment)	Monitoring Report(s)	Monitoring Report Approval
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

**C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS**

**TRIBAL CULTURAL RESOURCES AND CULTURAL RESOURCES (ARCHAEOLOGY) MITIGATION**

**I. Prior to Permit Issuance**

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the applicable construction documents through the plan check process.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG.
3. Prior to the start of work, the applicant must obtain written approval from MMC for any personnel changes associated with the monitoring program.

**II. Prior to Start of Construction**

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

3. The PI may submit a detailed letter to MMC requesting a reduction to the ¼ mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.

a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.

2. Identify Areas to be Monitored

a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) (with verification that the AME has been reviewed and approved by the Native American consultant/monitor when Native American resources may be impacted) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.

b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur

a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.

b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

### III. During Construction

A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

1. The Archaeological Monitor shall be present fulltime during all soil disturbing and grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the AME.**

2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME and provide that information to the PI and MMC. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall

stop and the Discovery Notification Process detailed in Section III.B-C and IV.A-D shall commence.

3. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.
4. The archaeological and Native American consultant/monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly **(Notification of Monitoring Completion)**, and in the case of ANY discoveries. The RE shall forward copies to MMC.

#### B. Discovery Notification Process

1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to digging, trenching, excavating or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered.

#### C. Determination of Significance

1. The PI and Native American consultant/monitor, where Native American resources are discovered shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.
  - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
  - b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor, and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. **Note: If a unique archaeological site is also an historical resource as defined in CEQA, then the limits on the amount(s) that a project applicant may be required to pay to cover mitigation costs as indicated in CEQA Section 21083.2 shall not apply.**
  - c. If the resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

#### IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public



Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery notification process.
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenance.
3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.

C. If Human Remains **ARE** determined to be Native American

1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e), the California Public Resources and Health & Safety Codes.
4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and, if:
  - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
  - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,
  - c. In order to protect these sites, the Landowner shall do one or more of the following:
    - (1) Record the site with the NAHC;
    - (2) Record an open space or conservation easement on the site;
    - (3) Record a document with the County.
  - d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to

agree on the appropriate treatment measures the human remains and items associated and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.

D. If Human Remains are **NOT** Native American

- 1.The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
- 2.The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
- 3.If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner, any known descendant group, and the San Diego Museum of Man.

**V. Night and/or Weekend Work**

A. If night and/or weekend work is included in the contract

- 1.When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
- 2.The following procedures shall be followed.
  - a. No Discoveries

In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.

b. Discoveries

All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV - Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery.

c. Potentially Significant Discoveries

If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of Human Remains shall be followed.

- d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

B. If night and/or weekend work becomes necessary during the course of construction

- 1.The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
- 2.The RE, or BI, as appropriate, shall notify MMC immediately.

C. All other procedures described above shall apply, as appropriate.

**VI. Post Construction**

A. Preparation and Submittal of Draft Monitoring Report

- 1.The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring. **It should be noted that if the PI is unable to submit the Draft Monitoring Report within the**

**allotted 90-day timeframe resulting from delays with analysis, special study results or other complex issues, a schedule shall be submitted to MMC establishing agreed due dates and the provision for submittal of monthly status reports until this measure can be met.**

- a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
  - b. Recording Sites with State of California Department of Parks and Recreation  
The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.
- 2.MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
  - 3.The PI shall submit revised Draft Monitoring Report to MMC for approval.
  - 4.MMC shall provide written verification to the PI of the approved report.
  - 5.MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Artifacts
- 1.The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
  - 2.The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
  - 3.The cost for curation is the responsibility of the property owner.
- C. Curation of artifacts: Accession Agreement and Acceptance Verification
- 1.The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with MMC and the Native American representative, as applicable.
  - 2.The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
  3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance occurs in accordance with Section IV – Discovery of Human Remains, Subsection 5.
- D. Final Monitoring Report(s)
- 1.The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
  - 2.The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final

Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

**CULTURAL RESOURCES (BUILT ENVIRONMENT)**

1. Redesign

a. Per the City of San Diego's Land Development Manual – Historical Resources Guidelines, preferred mitigation is to avoid impacts to the resource through project redesign. If the resource cannot be entirely avoided, all prudent and feasible measures to minimize harm to the resource shall be taken.

b. Depending upon project impacts, measures can include, but not be limited to:

- i. Preparing a historic resource management plan;
- ii. Adding new construction that is compatible in size, scale, materials, color, and workmanship to the historic resource (such additions, whether portions of existing buildings or additions to historic districts, shall be clearly distinguishable from historic fabric);
- iii. Repairing damage according to the SOI's Standards;
- iv. Screening incompatible new construction from view through the use of berms, walls, and landscaping in keeping with the historic period and character of the resource;
- iv. Shielding historic properties from noise generators through the use of sound walls, double glazing, and air conditioning; and
- v. Removing industrial pollution at the source of production.

2. Relocation

a. If there are no other ways to save a building, structure, or object other than relocation, such measures shall be performed in accordance with National Park Service standards. Appropriate relocation sites shall duplicate, as closely as possible, the original location in terms of size, topography, neighborhood setting, orientation, and site landscaping.

3. Recordation

a. Prior to relocation of the Dorothy Cottage, SOI-qualified professionals (in history or architectural history) (36 CFR Part 61) shall perform photorecordation and documentation consistent with the standards of the National Park Service Historic American Buildings Survey (HABS) documentation. HABS documentation is described by the National Park Service as "the last means of preservation of a property; when a property is to be demolished, its documentation provides future researchers access to valuable information that otherwise would be lost." The HABS record for the Dorothy Cottage shall consist of measured drawings, digital photographs, and written data that provide a

detailed record that reflects the Dorothy Cottage's historic significance. Following completion of the HABS documentation and approval by the HRB, the materials shall be placed on file with the City of San Diego, the San Diego History Center, and the San Diego Central Library.

#### 4. Salvage Materials

a. Prior to relocation, distinctive representative architectural features shall be identified and, if feasible, salvaged for reuse in relation to the proposed plan, or perhaps moved to another location on-site as provided in the SOI's Standards. If reuse on-site is not feasible, opportunities shall be made for the features to be donated to various interested historical or archival depositories. No materials shall be salvaged or removed until HABS documentation is complete and an inventory of key exterior and interior features and materials is completed by SOI-qualified professionals. The materials shall be removed prior to or during relocation. Materials that are contaminated, unsound, or decayed would not be included in the salvage program and would not be available for future use or display.

#### **MONITORING**

##### 1. Preconstruction Meeting (D/CM, PA, AH, RC, GC, BI)

- a. Overview of Treatment Plan and Monitoring Plan as related to the historic resource on Site A.
- b. Overview of architectural, landscape, and engineering documents as related to Site B.
- c. Review work required to prepare Site B for the arrival of the Dorothy Cottage.

##### 2. Preparation of the Dorothy Cottage for Relocation (D/CM, AH)

a. Historic architect/monitor to be present to observe the removal of the foundation, and front steps. Other items, including disconnection and capping of utility connection, removal of exterior plumbing and electrical lines, which are required for relocation, shall be complete prior to the meeting.

#### **PREPARATION, RELOCATION, AND REHABILITATION REQUIREMENTS**

##### 1. **Preparation of the Structure Prior to Relocation**

- a. *Coordination Meeting and Monitoring:* Prior to the start of any work, the project architect and architectural historian/monitor shall meet on-site with the moving contractor to review the scope of demolition, removal, salvage, temporary shoring, and relocation. Through the course of all work, the moving contractor shall notify the architectural historian/monitor of the discovery of any architectural elements on the site. The architectural historian/monitor shall evaluate the significance of such material prior to determining the appropriate treatment in compliance with the SOI's Standards for Historic Properties. All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located on-site, adjacent to the Dorothy Cottage. Construction monitoring shall be provided prior to preparation of the building for relocation. The construction monitor shall provide a CSV form

summarizing the field conditions and any recommendations for compliance with the SOL's Standards for Historic Properties.

- b. *Temporary Shoring:* The moving contractor shall provide and maintain necessary shoring to protect and stabilize the building during the relocation. Means and methods for temporary shoring will be determined by the moving contractor and the implementation of these procedures shall occur only after review by the architectural historian/monitor. The mover shall outline any proposed attachment points for anchors or beams. Historic siding or trim affected by the attachment of temporary shoring shall be removed prior to the installation of shoring and then cataloged, labeled, and securely stored.
- c. *Doors and Windows:* All doors and windows shall be protected by three-fourth inch, exterior grade plywood prior to relocation. The plywood will be installed without causing damage to the existing historic doors and windows, frames, and trim.
- d. *Front Steps and Railing:* Prior to relocation, the wood front steps and railing will be salvaged to facilitate the relocation. Prior to disassembly, the steps and railing shall be measured and photographed. All documentation will be submitted to the City of San Diego for review and approval prior to removal.

## 2. **Protection Measures at the New Site**

- a. *Security:* As the Dorothy Cottage will not be used as a rental property at the new site until the north and east façade additions and interior remodel have been completed, security measures will need to be implemented to ensure that the building is not vandalized or damaged by the elements. The plywood installed over the doors and windows prior to relocation should remain. Monitoring and visual inspection of the exterior of the building will be provided by 800 Coast, LLC until the house is reoccupied. All salvaged items will be stored on labeled and wrapped pallets and secured in a weather-tight, lockable, steel container that will be located on-site, adjacent to the Dorothy Cottage.
- b. *Mothballing:* During temporary storage, and until the building is successfully rehabilitated, it shall be securely mothballed. Mothballing essentially means temporarily closing up the building to protect it from weather and vandalism. Mothballing would include adequately eliminating and controlling pests, protecting the interior from moisture, providing adequate security, ensuring adequate interior ventilation, and following a maintenance and monitoring plan to ensure that the house is adequately secured and routinely inspected. Mothballing will follow the recommendations in *National Park Service Preservation Brief 31: Mothballing Historic Buildings*. The owner, 800 Coast, LLC, will have the building mothballed at the conclusion of the rehabilitation work. They will then be responsible for all maintenance, monitoring, and inspections of the Dorothy Cottage.
- c. *Monitoring:* Construction monitoring shall be provided to ensure that the building is securely stored and adequately mothballed at the new site. The monitor shall complete a

CSV form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Historic Properties.

### 3. **Dorothy Cottage Rehabilitation**

Following the relocation of the Dorothy Cottage, the exterior of the structure will be rehabilitated and repaired in accordance with *The Secretary of the Interior's Standards for Rehabilitation* (SOI's Standards for Rehabilitation).

- a. *Construction Monitoring*: Periodic construction monitoring shall be provided during the rehabilitation process. Following periodic site visits, the construction monitor shall provide a CSV form summarizing the field conditions and any recommendations for compliance with the SOI's Standards for Rehabilitation (see Dorothy Cottage Relocation and Rehabilitation Monitoring Plan).
- b. *Alteration and Rehabilitation Design*: The future rehabilitation and any additions made to the building shall be completed in accordance with the SOI's Standards for Rehabilitation. The design team includes an architectural historian that meets the SOI's Professional Qualifications Standards. The rehabilitation design will require review and approval by the City of San Diego's Development Services Department and the Historical Resources Board and/or Design Assistance Subcommittee.

### 4. **Harriet Cottage Rehabilitation**

The exterior of the structure will be rehabilitated and repaired in accordance with the SOI's Standards for Rehabilitation.

- a. *Mothballing*: During temporary storage, and until the building is successfully rehabilitated, it shall be securely mothballed. Mothballing essentially means temporarily closing up the building to protect it from weather and vandalism. Mothballing would include adequately eliminating and controlling pests, protecting the interior from moisture, providing adequate security, ensuring adequate interior ventilation, and following a maintenance and monitoring plan to ensure that the house is adequately secured and routinely inspected. Mothballing will follow the recommendations in *National Park Service Preservation Brief 31: Mothballing Historic Buildings*.
- b. *Alteration and Rehabilitation Design*: The future rehabilitation and any additions made to the building shall be completed in accordance with the SOI's Standards for Rehabilitation. The design team includes an architectural historian that meets the SOI's Professional Qualifications Standards. The rehabilitation design will require review and approval by the City of San Diego's Development Services Department and the Historical Resources Board and/or Design Assistance Subcommittee.

VI. PUBLIC REVIEW DISTRIBUTION:

Draft copies or notice of this Mitigated Negative Declaration were distributed to:

State of California

State Clearinghouse  
Native American Heritage Commission  
Office of Historic Preservation

City of San Diego

Councilmember Joe LaCava, District 1  
City Attorney  
Corrine Neuffer  
Central Library  
La Jolla Riford Branch Library  
Historical Resources Board  
Development Services Department  
    Courtney Holowach, EAS  
    Jeff Szymanski, EAS  
    Catherine Rom, Project Manager  
    Hoss Floresabihi, LDR-Engineering  
    Jacob Washburn, LDR-Geology  
    Jill Chorak, LDR-Landscaping  
    Kyle Gossens, LDR-Planning  
    Pedro Valera, LDR-Transportation  
    Suzanne Segur, Plan Historic  
Parks and Recreation  
Plan Facilities  
PUD Water & Sewer  
Long Range Planning

Other Interested Organizations, Groups, and Individuals

Carmen Lucas  
South Coastal Information Center  
San Diego History Center  
San Diego Archaeological Center  
Save Our Heritage Organization  
Ron Christman  
Clint Linton  
Frank Brown – Inter-Tribal Cultural Resources  
Campo Band of Mission Indians  
San Diego County Archaeological Society, Inc.  
Kummeyaay Cultural Heritage Preservation  
Kumemeyaay Cultural Repatriation Committee



Native American Distribution  
Richard Drury  
Molly Greene  
John Stump  
La Jolla Village News  
La Jolla Shores Association  
La Jolla Town Council  
La Jolla Historical Society  
La Jolla Community Planning Association  
La Jolla Light  
Patricia K. Miller  
Frank & Elizabeth Piscitelli

VII. RESULTS OF PUBLIC REVIEW:

- ( ) No comments were received during the public input period.
- ( ) Comments were received but did not address the accuracy or completeness of the draft environmental document. No response is necessary and the letters are incorporated herein.
- ( ) Comments addressing the accuracy or completeness of the draft environmental document were received during the public input period. The letters and responses are incorporated herein.

Copies of the draft Mitigated Negative Declaration, the Mitigation, Monitoring and Reporting Program and any Initial Study material are available in the office of the Development Services Department for review, or for purchase at the cost of reproduction.

\_\_\_\_\_  
Jeff Szymanski  
Senior Planner  
Development Services Department

\_\_\_\_\_  
Date of Draft Report

Analyst: Courtney Holowach

\_\_\_\_\_  
Date of Final Report

Attachments: Location Map  
Site Plan

## INITIAL STUDY CHECKLIST

1. Project title/Project number: 800 Coast Blvd / 677297
2. Lead agency name and address: City of San Diego, 1222 First Avenue, MS-501, San Diego, California 92101
3. Contact person and phone number: Courtney Holowach / (619) 446-5187
4. Project location: 811-827 Coast Blvd S., San Diego, CA 92037
5. Project Applicant/Sponsor's name and address: Dawn Davidson, 800 Coast LL, 1302 Camino Del Mar, Del Mar, CA 92014
6. General/Community Plan designation: La Jolla Community Plan
7. Zoning: LJPD-5
8. Description of project (Describe the whole action involved, including but not limited to, later phases of the project, and any secondary, support, or off-site features necessary for its implementation.):
 

Coastal Development Permit (CDP), Site Development Permit (SDP), Neighborhood Development Permit (NDP), and Tentative Map (TM) to remodel a non-historic cottage at 811 Coast Boulevard South, remodel a historic cottage located at 825 Coast Boulevard South, relocate and remodel a historic cottage located at 827 Coast Boulevard South (Collectively HRB Site #1375), construct six (6) new residential condominium units over an underground garage and consolidate two lots into one. The 0.44-acre site is in the La Jolla Planned District-5 Zone, Coastal Height, Coastal (Non-Appealable-2), and Parking Impact (Beach/Coastal) Overlay Zones within the La Jolla Community Plan Area in Council District 1.

The structure located at 811 Coast Boulevard South is currently 937 square feet. It would be remodeled to be a 5,212-square-foot structure. The 825 Coast Boulevard South structure is currently 1123 square feet and would be renovated to be 2,884 square feet. The 827 Coast Boulevard South structure is currently 2,123 square feet and would be remodeled to be 2,228 square feet. The structures presently located at 813-821 Coast Boulevard South, ranging in square footage from 600-square-feet to 937-square feet, would be demolished. The six new residential condominium units would range in square footage from 3041-square-feet to 3,337 -square-feet. Grading for the proposed project would be 4,685 cubic yards cut to a maximum depth of 20 feet. The depth of cut is mainly for the basement walls. The existing water and sewer service laterals will remain for the existing front three houses. The new townhomes will use new proposed water and sewer lines. Planned landscaping for the proposed project includes Gold Medallion Trees, Dwarf Southern Magnolia, and White Groundcover Rose.
9. Surrounding land uses and setting:

The project sites are located at 811-827 Coast S Blvd within the La Jolla Community Plan. The sites are zoned LJPD-5 with overlay zones including Coastal Height Limit Overlay Zone, Coastal Overlay Zone (Non-Appealable Area 2), Parking Impact Overlay Zone (Beach Impact), Transit Area Overlay Zone and Transit Priority Area.

10. Other public agencies whose approval is required (e.g., permits, financing approval, or participation agreement):

None required

11. Have California Native American tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code section 21080.3.1? If so, has consultation begun?

Yes, three Native American Tribes traditionally and culturally affiliated with the project area requested consultation pursuant to Public Resources Code Section 21080.3.1. The City of San Diego sent notification to these three Native American Tribes on April 27, 2021. Only the Jamul Indian Village responded within the 30-day consultation period. They responded on April 27, 2021 and agreed with the proposed mitigation measures. The Lipay Nation of Santa Ysabel and the San Pascual Band of Mission Indians did not respond within the 30-day consultation period.

Note: Conducting consultation early in the CEQA process allows tribal governments, lead agencies, and project proponents to discuss the level of environmental review, identify and address potential adverse impacts to tribal cultural resources, and reduce the potential for delay and conflict in the environmental review process. (See Public Resources Code section 21083.3.2.) Information may also be available from the California Native American Heritage Commission's Sacred Lands File per Public Resources Code section 5097.96 and the California Historical Resources Information System administered by the California Office of Historic Preservation. Please also note that Public Resources Code section 21082.3(c) contains provisions specific to confidentiality.

**ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:**

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a "Potentially Significant Impact" as indicated by the checklist on the following pages.

- |   |  |   |
|---|--|---|
| <input type="checkbox"/> Aesthetics                         | <input type="checkbox"/> Greenhouse Gas Emissions      | <input type="checkbox"/> Public Services                            |
| <input type="checkbox"/> Agriculture and Forestry Resources | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Recreation                                 |
| <input type="checkbox"/> Air Quality                        | <input type="checkbox"/> Hydrology/Water Quality       | <input type="checkbox"/> Transportation                             |
| <input type="checkbox"/> Biological Resources               | <input type="checkbox"/> Land Use/Planning             | <input checked="" type="checkbox"/> Tribal Cultural Resources       |
| <input checked="" type="checkbox"/> Cultural Resources      | <input type="checkbox"/> Mineral Resources             | <input type="checkbox"/> Utilities/Service System                   |
| <input type="checkbox"/> Energy                             | <input type="checkbox"/> Noise                         | <input type="checkbox"/> Wildfire                                   |
| <input type="checkbox"/> Geology/Soils                      | <input type="checkbox"/> Population/Housing            | <input checked="" type="checkbox"/> Mandatory Findings Significance |

**DETERMINATION: (To be completed by Lead Agency)**

On the basis of this initial evaluation:

- The proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared.
- Although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared.
- The proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
- The proposed project MAY have a "potentially significant impact" or "potentially significant unless mitigated" impact on the environment, but at least one effect (a) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and (b) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but must analyze only the effects that remain to be addressed.
- Although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or (MITIGATED) NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or (MITIGATED) NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required.

## EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis.)
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses”, as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or (mitigated) negative declaration. *Section 15063(c)(3)(D)*. In this case, a brief discussion should identify the following:
  - a. Earlier Analysis Used. Identify and state where they are available for review.
  - b. Impacts Adequately Addressed. Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
  - c. Mitigation Measures. For effects that are “Less Than Significant With Mitigation Measures Incorporated”, describe the mitigation measures that were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.
- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) This is only a suggested form, and lead agencies are free to use different formats; however, lead agencies should normally address the questions from this checklist that are relevant to a project’s environmental effects in whatever format is selected.
- 9) The explanation of each issue should identify:
  - a. The significance criteria or threshold, if any, used to evaluate each question; and
  - b. The mitigation measure identified, if any, to reduce the impact to less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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I. AESTHETICS – Except as provided in Public Resources Code Section 21099, would the project:

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Have a substantial adverse effect on a scenic vista? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

Development of the project would introduce new permanent visual features to the community. Per the City of San Diego CEQA Significance Determination Thresholds (Thresholds) projects that would block public views from designated open space areas, roads, or parks or significant visual landmarks or scenic vistas may result in a significant impact. City staff reviewed the proposed project for consistency with all applicable zoning regulations and land use plans including the La Jolla Community Plan (LJCP). The LJCP addresses the need to retain and enhance public views of the ocean from identified public vantage points. These vantage points include visual access across private properties at yards and setbacks.

The project proposes to demolish five existing structures and construct six new dwelling units, in a residential neighborhood with similar development. In addition, the project would relocate an existing historic structure and rehabilitate the relocated structure as well as two additional existing historic structures. No scenic vista is designated on or near the property in the La Jolla Community Plan. Per the La Jolla Community Plan, Coast Blvd S is a road in which coastal body of water can be seen. However, as the project is on the East side of Coast Blvd South, there would be no impeding of visual access to the coast, and furthermore the project complies with all applicable height and setback regulations. No impact would result.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is situated within a developed neighborhood comprised of residential uses. There are no scenic resources (trees, rock outcroppings, or historic buildings) within a state scenic highway located on the project site.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) In non-urbanized areas, substantially degrade the existing visual character or quality of public views of the site and its surroundings? (Public views are those that are experienced from publicly accessible vantage point). If the project is in an urbanized area, would the project conflict with applicable zoning and other regulations governing scenic quality? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

According to the City's Thresholds projects that severely contrast with the surrounding neighborhood character may result in a significant impact. To meet this threshold one or more of the following conditions must apply: the project would have to exceed the allowable height or bulk regulations and the height or bulk of the existing patterns of development in the vicinity of the project by a substantial margin; have an architectural style or use building materials in stark contrast to adjacent development where the adjacent development follows a single or common architectural theme (e.g., Gaslamp Quarter, Old Town); result in the physical loss, isolation or degradation of a

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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community identification symbol or landmark (e.g., a stand of trees, coastal bluff, historical landmark) which is identified in the General Plan, applicable community plan or local coastal program; be located in a highly visible area (e.g., on a canyon edge, hilltop or adjacent to an interstate highway) and would strongly contrast with the surrounding development or natural topography through excessive height, bulk signage or architectural projections; and/or the project would have a cumulative effect by opening up a new area for development or changing the overall character of the area. None the above conditions apply to the project.

Existing development in the neighborhood does not have a unifying theme of architecture. The new development would be constructed to comply with all height and bulk regulations and is consistent with Visual Resource recommendations as outlined in the LJCP. The structure height is consistent with building envelope regulations which preserve public views through the height, setback, landscaping, and fence transparency parameters of the Land Development Code that limit the building profile and maximize view opportunities. The project would not result in the physical loss, isolation or degradation of a community identification symbol or landmark which is identified in the General Plan, applicable community plan or local coastal program.

No public view is designated on or near the property in the La Jolla Community Plan. The project would be required to meet all required setback and height requirements. Therefore, the project would not have a substantial adverse effect on a scenic vista. Impacts would be less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Per the City's Thresholds, projects that would emit or reflect a significant amount of light and glare may have a significant impact. To meet this significance threshold, one or more of the following must apply:

- a. The project would be moderate to large in scale, more than 50 percent of any single elevation of a building's exterior is built with a material with a light reflectivity greater than 30 percent (see LDC Section 142.07330(a)), and the project is adjacent to a major public roadway or public area.
- b. The project would shed substantial light onto adjacent, light-sensitive property or land use, or would emit a substantial amount of ambient light into the nighttime sky. Uses considered sensitive to nighttime light include, but are not limited to, residential, some commercial and industrial uses, and natural areas.

Neither of the above conditions apply to the proposed project.

The most prominent light sources from the proposed project would be interior lighting for the six new dwelling units and two remodeled dwelling units, and exterior and landscaping lighting. All new lighting would be compatible with existing lighting in the project vicinity. The project would be subject to the City's Outdoor Lighting Regulations per SDMC Section 142.0740, which are intended to minimize negative impacts from light pollution, including light trespass, glare, and urban sky glow, in order to preserve enjoyment of the night sky and minimize conflict caused by unnecessary illumination. Light fixtures would be required to be directed away from

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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adjacent properties and shielded, as necessary. Outdoor lighting would be located and arranged in a manner consistent with City requirements, to promote public safety, and minimize unnecessary light and glare effects to the surrounding community.

The project would comply with Municipal Code Section 142.0730 (Glare Regulations) that requires exterior materials utilized for proposed structures be limited to specific reflectivity ratings. No large surface areas of reflective building materials or finishes are proposed that could create glare effects on surrounding properties. Additional light or glare from the proposed project would be consistent with the other development in the area and therefore would not substantially affect day or nighttime views. Impacts would be less than significant.

II. AGRICULTURAL AND FOREST RESOURCES: In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effects, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and forest carbon measurement methodology provided in Forest Protocols adopted by the California Air Resources Board. – Would the project:

- a) Converts Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?
 

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Agricultural land is rated according to soil quality and irrigation status; the best quality land is called Prime Farmland. Unique farmland is land, other than prime farmland, that has combined conditions to produce sustained high quality and high yields of specialty crops. Farmland of Statewide Importance may include tracts of land that have been designated for agriculture by State law. In some areas that are not identified as having national or statewide importance, land is considered to be Farmland of Local Importance. The Farmland Mapping and Monitoring Program (FMMP) maintained by the California Department of Conservation (CDC) is the responsible state agency for overseeing the farmland classification. In addition, the City's Thresholds state that in relation to converting designated farmland, a determination of substantial amount cannot be based on any one numerical criterion (i.e., one acre), but rather on the economic viability of the area proposed to be converted. Another factor to be considered is the location of the area proposed for conversion.

The project site is not classified as farmland by the California Department of Conservation's Farmland Mapping and Monitoring Program (FMMP). No Prime Farmland, Unique Farmland, or Farmland of Statewide Importance occurs on site of within the area immediately surrounding the project site. Therefore, the project would not result in impacts related to the conversion of farmland to a non-agricultural use. No impact would occur.

- b) Conflict with existing zoning for agricultural use, or a Williamson Act Contract?
 

<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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The Williamson Act, also known as the California Land Conservation Act of 1965, enables local governments to enter into contracts with private landowners for the purpose of restricting specific parcels of land to agricultural or related open space use; in return, landowners receive property tax assessments which are much lower than normal because they are based upon farming and open space uses as opposed to full market value. The Williamson Act is only applicable to parcels within an established agricultural preserve consisting of at least 20 acres of Prime Farmland, or at least 40 acres of land not designated as Prime Farmland. The Williamson Act is designed to prevent the premature and unnecessary conversion of open space lands and agricultural areas to urban uses.

As stated in response II (a) above. The proposed project site is not zoned for agricultural use. There are no Williamson Act Contract lands on or within the vicinity of the project. The project would not affect properties zoned for agricultural use or conflict with a Williamson Act Contract. No impact would occur.

c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 1220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project would not conflict with existing zoning for, or cause rezoning of, forest land, timberland, or timberland zoned Timberland Production. The project site is zoned for residential use; no designated forest land or timberland occurs within the boundaries of the project. No impact would occur.

d) Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Refer to response II (c) above. The project would not convert forest land to non-forest use. No impact would occur.

e) Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Refer to responses II (a) and II (c) above. No existing farmland or forest land are located in the proximity of the project site. No changes to any such lands would result from project implementation. No impact would occur.

III. AIR QUALITY – Where available, the significance criteria established by the applicable air quality management district or air pollution control district may be relied on to make the following determinations – Would the project:

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
a) Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

According to the City's Thresholds, a project may have a significant air quality impact if it could conflict with or obstruct implementation of the applicable air quality plan.

The San Diego Air Pollution Control District (SDAPCD) and San Diego Association of Governments (SANDAG) are responsible for developing and implementing the clean air plan for attainment and maintenance of the ambient air quality standards in the San Diego Air Basin (SDAB). The County Regional Air Quality Strategy (RAQS) was initially adopted in 1991 and is updated on a triennial basis (most recently in 2016). The RAQS outlines the SDAPCD's plans and control measures designed to attain the state air quality standards for ozone (O3). The RAQS relies on information from the California Air Resources Board (CARB) and SANDAG, including mobile and area source emissions, as well as information regarding projected growth in San Diego County and the cities in the county, to project future emissions and then determine the strategies necessary for the reduction of emissions through regulatory controls. CARB mobile source emission projections and SANDAG growth projections are based on population, vehicle trends, and land use plans developed by San Diego County and the cities in the county as part of the development of their general plans.

As such, projects that propose development that is consistent with the growth anticipated by local plans would be consistent with the RAQS. However, if a project proposes development that is greater than that anticipated in the local plan and SANDAG's growth projections, the project might conflict with the RAQS and may contribute to a potentially significant cumulative impact on air quality.

The project would develop six new dwelling units and remodel two existing dwelling units in an established neighborhood. The project is consistent with the General Plan, community plan, and the underlying zoning for residential development. Therefore, the project would be consistent at a sub-regional level with the underlying growth forecasts in the RAQs and would not obstruct implementation of the RAQs. As such no impacts would occur.

b) Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The City's Thresholds state that a significant impact may occur if a project violates any air quality standard or contribute substantially to an existing or projected air quality violation.

#### Short-term Emissions (Construction)

Project construction activities would potentially generate combustion emissions from on-site heavy-duty construction vehicles and motor vehicles transporting the construction crew and necessary construction materials. Exhaust emissions generated by construction activities would generally result from the use of typical construction equipment that may include excavation equipment, forklift, skip loader, and/or dump truck. Variables that factor into the total construction

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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emissions potentially generated include the level of activity, length of construction period, number of pieces and types of equipment in use, site characteristics, weather conditions, number of construction personnel, and the amount of materials to be transported on or off site. It is anticipated that construction equipment would be used on site for four to eight hours a day; however, construction would be short-term and impacts to neighboring uses would be minimal and temporary.

Fugitive dust emissions are generally associated with land clearing and grading operations. Due to the nature and location of the project, construction activities are expected to create minimal fugitive dust, because of the disturbance associated with grading. Construction operations are subject to the requirements established in Regulation 4, Rules 52, 54, and 55 of the SDAPCD rules and regulations. The project would include standard measures as required by the City grading permit to minimize fugitive dust and air pollutant emissions during the temporary construction period. Therefore, impacts associated with fugitive dust are considered less than significant and would not violate an air quality standard or contribute substantially to an existing or projected air quality violation. Impacts related to short-term emissions would be less than significant.

Long-term Emissions (Operational)

Long-term air pollutant emission impacts are those associated with stationary sources and mobile sources related to any change caused by a project. The project would produce minimal stationary source emissions. Once construction of the project is complete, long-term air emissions would potentially result from such sources as heating, ventilation, and cooling (HVAC) systems and other motorized equipment typically associated with residential uses. The project is compatible with the surrounding development and is permitted by the community plan and zone designation. Project emissions over the long term are not anticipated to violate an air quality standard or contribute substantially to an existing or projected air quality violation.

The project would not result in a cumulatively considerable net increase of criteria pollutants for which the project region is non-attainment under applicable federal or state ambient air quality standards. Impacts would be less than significant.

- c) Expose sensitive receptors to substantial pollutant concentrations?

As described above, construction operations could temporarily increase the emissions of dust and other pollutants. However, construction emissions would be temporary and short-term in duration; implementation of Best Management Practices (BMPs) would reduce potential impacts related to construction activities to a less than significant level. Operation of a single-family residence with an ADU would produce minimal stationary source emissions. Therefore, the project would not result in the exposure of sensitive receptors to substantial pollutant concentrations. Impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
d) Result in other emissions (such as those leading to odors) adversely affecting a substantial number of people?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

**Short-term (Construction)**

Odors would be generated from vehicles and/or equipment exhaust emissions during construction of the project. Odors produced during construction would be attributable to concentrations of unburned hydrocarbons from tailpipes of construction equipment and architectural coatings. Such odors are temporary and generally occur at magnitudes that would not affect a substantial number of people. Therefore, impacts would be less than significant.

**Long-term (Operational)**

Typical long-term operational characteristics of the project are not associated with the creation of such odors nor anticipated to generate odors affecting a substantial number of people. Residential units, in the long-term operation, are not typically associated with the creation of such odors nor are they anticipated to generate odors affecting a substantial number or people. Therefore, project operations would result in less than significant impacts.

IV. BIOLOGICAL RESOURCES – Would the project:

a) Have substantial adverse effects, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project site is located in a developed residential neighborhood and is currently developed with single-family residences. On-site landscaping in non-native, and the project site does not contain any sensitive biological resources nor does it contain any candidate, sensitive special status species. No impacts would occur, and no mitigation measures are required.

b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project site is within an urbanized developed residential setting, and no such habitats exist on or near the project site. Refer to Response IV (a), above. The project site does not contain any riparian habitat or other identified community, as the site currently supports non-native landscaping. No impacts would occur, and no mitigation measures are required.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
c) Have a substantial adverse effect on federally protected wetlands (including but not limited to marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project site does not contain federally protected wetlands as defined by Section 404 of the Clean Water Act. Wetlands or waters as regulated by the United States Army Corps of Engineers (USACE), the Regional Water Quality Control Board (RWQCB) or the California Department of Fish and Wildlife (CDFW) do not occur on-site and therefore will not be impacted by the project. The project site is located within a developed residential neighborhood and is currently developed with structures, hardscape, and landscaping. No impacts would occur, and no mitigation measures are required.

d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Please see response IV(a) above. The project would not interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors or impede the use of native wildlife nursery sites. No impacts would occur.

e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project is consistent with the City's Biology Guidelines (2018) and ESL Regulations; no conflict with local policies or ordinances protecting biological resources would occur.

f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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Please see response IV(a) above. The project would not conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan. No impacts would occur.

V. CULTURAL RESOURCES - Would the project:

a) Cause a substantial adverse change in the significance of an historical resource as defined in §15064.5?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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The purpose and intent of the Historical Resources Regulations of the Land Development Code (Chapter 14, Division 3, and Article 2) is to protect, preserve and, where damaged, restore the historical resources of San Diego. The regulations apply to

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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all proposed development within the City of San Diego when historical resources are present on the premises. Before approving discretionary projects, CEQA requires the Lead Agency to identify and examine the significant adverse environmental effects which may result from that project. A project that may cause a substantial adverse change in the significance of a historical resource may have a significant effect on the environment (sections 15064.5(b) and 21084.1). A substantial adverse change is defined as demolition, destruction, relocation, or alteration activities, which would impair historical significance (sections 15064.5(b)(1)). Any historical resource listed in, or eligible to be listed in the California Register of Historical Resources, including archaeological resources, is considered to be historically or culturally significant.

### Archaeological Resources

The project site is in an area known to contain sensitive archaeological resources and is located on the City's Historical Sensitivity map. Therefore, a record search of the California Historic Resources Information System (CHRIS) digital database was reviewed by qualified archaeological City staff to determine presence or absence of potential resources within the project site. The CHRIS search did not identify any archaeological resources within or adjacent to the site.

While the CHRIS search was negative, based on the amount of grading proposed and high sensitivity for resources within the area, there is a potential for the project to impact buried archaeological resources and mitigation measures related to Cultural Resources (Archaeology) are required. All potential impacts related to the presence of archeological resources at the site would be reduced and addressed through the purview of a qualified Archaeologist and Native American monitor. Monitoring by this individual would occur at all stages of ground-disturbing activities at the site. Furthermore, a Mitigation, Monitoring, and Reporting Program (MMRP), as detailed within Section V of the Mitigated Negative Declaration (MND), would be implemented to address this issue specifically. With implementation of the cultural resources monitoring program, potential impacts on historical resources would be reduced to less than significant.

### Built Environment

The project site currently occupied with designated historic resources, known as the Dorothy and Harriet Cottages ("Resources") were designated by the HRB as Site #1375 on August 27, 2020 under HRB Criterion A as special elements of La Jolla's historical, cultural, social, economic, aesthetic and architectural development. The Dorothy Cottage, located at the rear of the parcel and addressed as 827 Coast Boulevard South, was designated with a period of significance of 1904-1909. The Harriet Cottage, 825 Coast Boulevard South, is situated at the front of the parcel and was designated with a period of significance of 1921-1926. Both buildings embody the character defining features of Beach Cottage architecture and are two of a finite and limited number of beach cottages remaining which reflect the early development history of La Jolla. The Dorothy Cottage is a one-story structure constructed in 1904 in the Queen Anne Free Classic style with front porch modifications prior to 1909. A shed roof addition on the east façade of the Dorothy cottage was constructed prior to 1909 and a smaller shed addition on the same façade constructed sometime between 1949 and 1952. The 1949-1952 addition was excluded from the designation. The Harriet Cottage was constructed in 1921 in the Craftsman style and is a one-story residential structure elevated above a garage. Alterations to the Harriet Cottage include the enclosure of the front porch and addition of the garage in 1926, a small rear porch enclosure in 1972 and an addition at the northern corner of the rear façade in 1972. The 1972 rear addition was excluded from the designation. Both cottages were analyzed under HRB Criterion C but were not designated under this Criteria due to modifications

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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and only minimally representing an architectural style. The buildings are both currently being used as residential structures.

The Dorothy and Harriet Cottages were both constructed as residences during La Jolla's earliest period of development as a coastal community. The village of La Jolla began in the 1880s during the "boom" period of San Diego's history as a small coastal community and Beach Cottages were the dominant housing type during this early period through the 1930's. The Beach Cottage style was ideal for use as a summer or winter retreat or, even though lacking in many modern conveniences, they could be and were used as permanent residences. Early beach cottages were characterized (in part) as smaller dwellings, typically one story, with a low pitched roof and exposed rafters; wood siding; a small front porch and garden area; and an orientation toward any available beach or coastal view. Originally known by name, the cottages were not given proper addresses until 1913. Both the Dorothy and Harriet Cottages exhibit the primary characteristics typical of La Jolla Beach cottages; one story, small dwelling, low pitched roof, wood siding and orientation toward an available coastal view. By the 1920s, the population had increased to over 2,500 people and the tourism industry was firmly established. Hotels were constructed in increasing numbers, and as the famous and wealthy began to vacation there, the cottages were no longer seen as suitable accommodations. Increased population, tourism and wealth, coupled with shifting architectural preferences, caused Beach Cottages to fall out of favor through the late 1920s and 1930s. In the following decades, many of these early cottages were relocated to less desirable inland lots. A Historical Resources technical report was submitted for the project (Brian F. Smith and Associates, Inc., December 2020).

The project site contains two parcels, APNs 350-070-1000 and 350-070-1100, which were reviewed by City Historical Resources staff for historic significance. The Dorothy and Harriet Cottages, located on APN 350-070-1000, were determined to be potentially significant by staff through a preliminary review application and subsequently forwarded to the Historical Resources Board for a determination on historic significance. Both structures were designated by the Board as HRB #1375 on August 27, 2020. Historical Resources staff also reviewed the six structures on APN 350-070-1100 in conjunction with a preliminary review application and determined 811-815 Coast Boulevard South to not be historically significant. The remaining three structures, 817-821 Coast Boulevard South, were determined to be potentially significant under HRB Criterion A as La Jolla Beach Cottages and were forwarded to the Historical Resources Board for review. At a meeting held on January 23, 2020, staff recommended designation of the [Cuesta and Solana Cottages](#) located at 817 and 819-819½ Coast Boulevard South under HRB Criterion A. The recommendation excluded the 821 Coast Boulevard South building due to extensive modifications. At the hearing, a motion to designate the Cuesta and Solana Cottages failed by a vote of 3-6-1. That determination is good for 5 years absent significant new information.

Since the cottages have been evaluated as significant under local criteria, the proposed project will constitute a negative impact to the historic resources (relocation and additions). Mitigation measures would reduce the impacts to less than significant since the new location for the Dorothy Cottage is within the same residential block, immediately south of its current location. In addition, the relocated Dorothy Cottage and the additions proposed for both cottages will be compatible with the original character and use of the historic resources. Adherence to *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (SOI's Standards for Historic Properties) for the proposed relocation and additions for the two cottages will enable the buildings to continue to

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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convey their integrity of design, materials, workmanship, feeling, and association as La Jolla Beach cottages, for which they received their designation. Furthermore, a Mitigation, Monitoring, and Reporting Program (MMRP), as detailed within Section V of the Mitigated Negative Declaration (MND), would be implemented to address this issue specifically. With implementation of the historic monitoring program, potential impacts on historical resources would be reduced to less than significant.

- |   |                          |                                     |                          |                          |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to §15064.5? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Refer to response V (a) above.

- |   |                          |                                     |                          |                          |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| c) Disturb any human remains, including those interred outside of dedicated cemeteries? | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Section IV of the MMRP contains provisions for the discovery of human remains. If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures as set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken. Based upon the required mitigation measure impacts would be less than significant.

VI. ENERGY – Would the project:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Result in potentially significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources, during project construction or operation? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The proposed project would be required to meet energy standards of the current California Energy code (Title 24). In addition, the proposed project would be conditioned to meet building design measures per City code that energy conservation features (window treatments, efficient HVAC systems etc). The project would also be required to implement CAP strategies which are energy reducing (cool roof, etc.). The proposed project is the remodel of two dwelling units and construction of six new dwelling units which would not have any out of the ordinary energy consumption. Less than significant impact.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Conflict with or obstruct a state or local plan for renewable energy or energy efficiency? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The proposed project is consistent with the General Plan and Community Plan land use designations. Please refer to VI(b) for further information on energy efficiency strategies.



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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VII. GEOLOGY AND SOILS – Would the project:

- a) Directly or indirectly cause potential substantial adverse effects, including the risk of loss, injury, or death involving:
- i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.

The project is not located within an Alquist-Priolo Fault Zone. In addition, the project submitted a Geotechnical Report (Report of Preliminary Geotechnical Investigation, Davidson Residential Developments, Geotechnical Exploration Inc., Sept. 2020) that has been reviewed by City Geology staff. Per staff review, the geotechnical consultant has adequately addressed the soil and geologic conditions potentially affecting the proposed project. Furthermore, the project would be required to comply with seismic requirement of the California Building Code, utilize proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, in order to ensure that potential impacts based on regional geologic hazards would remain less than significant and mitigation is not required.

- ii) Strong seismic ground shaking?

Refer to response VII (a). The site could be affected by seismic activity as a result of earthquakes on major active faults located throughout the Southern California area. The project would utilize proper engineering design and utilization of standard construction practices, to be verified at the building permit stage, in order to ensure that potential impacts from regional geologic hazards would remain less than significant and mitigation is not required.

- iii) Seismic-related ground failure, including liquefaction?

Refer to response VII (a). Liquefaction occurs when loose, unconsolidated, water-laden soils are subject to shaking, causing the soils to lose cohesion. Implementation of the project would not result in an increase in the potential for seismic-related ground failure, including liquefaction. Impacts would be less than significant.

- iv) Landslides?

Refer to response VII (a). Furthermore, staff reviewed the USGS U.S. Landslide Inventory (<https://usgs.maps.arcgis.com/apps/webappviewer/index.html?id=ae120962f459434b8c904b456c82669d>) which demonstrated that the project site is not mapped within a landslide zone and no landslides have been identified within the site or in the immediate vicinity. No impact would occur.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
b) Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Refer to response VII (a). The project includes a landscape plan that has been reviewed and approved by City staff that precludes erosion of topsoil. In addition, standard construction BMPs necessary to comply with SDMC Grading Regulations (Chapter 14, Article 2, Division 1) would be in place to ensure that the project would not result in a substantial amount of topsoil erosion. Impacts would be less than significant.

c) Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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Refer to response VII (a). Proper engineering design and utilization of standard construction practices would be verified at the construction permitting stage and would ensure that impacts in this category would not occur.

d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial direct or indirect risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The proposed project is located on Urban Land soil. This soil is not defined as expansive. No impacts would occur. Furthermore, proper engineering design and utilization of standard construction practices would be verified at the construction permitting stage and would ensure that impacts in this category would not occur.

e) Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The proposed project does not propose the use of septic tanks or alternative water disposal systems. No impacts would occur.

f) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
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The proposed project is grading 4,685 CY cut to a maximum depth of 18 feet. The proposed project will require paleontological monitoring as permit condition. Regulatory compliance will reduce impacts to a less than significant level.

VIII. GREENHOUSE GAS EMISSIONS – Would the project:

a) Generate greenhouse gas emissions, either directly or indirectly, that may	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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have a significant impact on the environment?

On July 12, 2016, the City of San Diego adopted the Climate Action Plan (CAP) Consistency Checklist, which requires all projects subject to discretionary review to demonstrate consistency with the Climate Action Plan.

The CAP is a plan for the reduction of GHG emissions in accordance with CEQA Guidelines Section 15183.5. Pursuant to CEQA Guidelines Sections 15604 (h) (3), 15130 (d), and 15183 (b), a project's incremental contribution to a cumulative GHG emissions effect may be determined not to be cumulatively considerable if it complies with the requirements of the CAP.

Projects that are consistent with the CAP as determined through the use of this Checklist may rely on the CAP for the cumulative impacts of GHG emissions.

The submitted Climate Action Plan (CAP) Consistency Checklist was reviewed by EAS staff and found to be acceptable. The CAP Consistency Checklist includes a three-step process to determine project if the project would result in a GHG impact. Step 1 consists of an evaluation to determine the project's consistency with existing General Plan, Community Plan, and zoning designations for the site. Step 2 consists of an evaluation of the project's design features compliance with the CAP strategies. Step 3 is only applicable if a project is not consistent with the land use and/or zone, but is also in a transit priority area to allow for more intensive development than assumed in the CAP.

Under Step 1 of the CAP Consistency Checklist, the project is consistent with the existing General Plan and La Jolla Community Plan land use designations and zoning for the site. Therefore, the project is consistent with the growth projections and land use assumptions used in the CAP. Furthermore, completion of Step 2 of the CAP Consistency Checklist demonstrates that the project would be consistent with applicable strategies and actions for reducing GHG emissions. This includes project features consistent with the energy and water efficient buildings strategy, as well as bicycling, walking, transit, and land use strategy. These project features would be assured as a condition of project approval. Thus, the project is consistent with the CAP. Step 3 of the CAP Consistency Checklist would not be applicable, as the project is not proposing a land use amendment or a rezone.

Based on the project's consistency with the City's CAP Consistency Checklist, the project's contribution of GHGs to cumulative statewide emissions would be less than cumulatively considerable. Therefore, the project's direct and cumulative GHG emissions would have a less than significant impact on the environment.

- b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?

The project would not conflict with an applicable plan, policy, or regulation adopted for the purposes of reducing the emissions of GHGs. The project is consistent with the existing General Plan and Community Plan land use and zoning designations. Further based upon review and evaluation of the completed CAP Consistency Checklist for the project, the project is consistent with the applicable strategies and actions of the CAP. Therefore, the project would be consistent with the assumptions

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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for relevant CAP strategies toward achieving the identified GHG reduction targets. Impacts would be less than significant.

IX. HAZARDS AND HAZARDOUS MATERIALS – Would the project:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Create a significant hazard to the public or the environment through routine transport, use, or disposal of hazardous materials? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The City's Thresholds states that significant impacts may occur if a project proposes the handling, storage and treatment of hazardous materials.

Construction activities for the project would involve the use of potentially hazardous materials including vehicle fuels, oils, transmission fluids, paint, adhesives, surface coatings and other finishing materials, cleaning solvents, and pesticides for landscaping purposes. However, the use of these hazardous materials would be temporary, and all potentially hazardous materials would be stored, used, and disposed of in accordance with manufacturers' specifications, applicable federal, state, and local health and safety regulations. As such, impacts associated with the transport, use, or disposal of hazardous materials would be less than significant during construction.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The City's Thresholds state that project sites on or near known contamination sources and/ or that meet one or more of the following criteria may result in a significant impact:

- A project is located within 1,000 feet of a known contamination site;
- A project is located within 2,000 feet of a known "border zone property" (also known as a "Superfund" site) or a hazardous waste property subject to corrective action pursuant to the Health and Safety Code;
- The project has a closed Department of Environmental Health (DEH) site file;
- A project is located in Centre City San Diego, Barrio Logan, or other areas known or suspected to contain contamination sites;
- A project is located on or near an active or former landfill;
- A project is located on properties historically developed with industrial or commercial uses which involved dewatering (the removal of groundwater during excavation), in conjunction with major excavation in an area with high groundwater;

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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- A project is located in a designated airport influence area and where the Federal Aviation Administration (FAA) has reached a determination of "hazard" through FAA Form 7460-1, "Notice of Proposed Construction or Alteration" , inconsistent with an Airport's Land Use Compatibility Plan (ACLUP), within the boundaries of an Airport Land Use Plan (ALP), or two nautical miles of a public or public use airport; or
- A project is located on a site presently or previously used for agricultural purposes.

The project site does not meet any of the criteria outlined in the City's Thresholds stated above. The project site was not listed in any of the databases for hazardous materials including being listed in the State Water Resources Control Board GeoTracker system, which includes leaking underground fuel tank sites inclusive of spills, leaks, investigations, and cleanups Program or the Department of Toxic Substances Control EnviroStor Data Management System, which includes CORTESE sites. Impacts would be less than significant.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The City's Thresholds states that significant impacts may occur if a project proposes the handling, storage and treatment of hazardous materials. The proposed project location is not within one-quarter mile of an existing or proposed school. Therefore, project would not emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school. No impact would result.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code section 65962.5 and, as a result, would it create a significant hazard to the public or the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

See VIII(b) above for applicable City Threshold related to listed hazardous materials sites. A hazardous waste site records search was completed in September 2022 using Geotracker <https://geotracker.waterboards.ca.gov/>. The records search showed that no hazardous waste sites exist onsite or in the surrounding area. No impacts would result.

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two mile of a public airport or public use airport, would the project result in a safety hazard or excessive noise for people residing or working in the project area? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The City's Thresholds state that a project may result in a significant impact if it is located in a designated airport influence area and where the FAA has reached a determination of "hazard" through FAA Form 7460-1, "Notice of Proposed Construction or Alteration" , inconsistent with an

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Airport's Land Use Compatibility Plan (ACLUP), within the boundaries of an Airport Land Use Plan (ALP), or two nautical miles of a public or public use airport.

The project is not located in a Safety Zone of the adopted 2014 Airport Land Use Compatibility Plan (ALUCP); therefore, the use and density are consistent with the ALUCP. The project would not result in a safety hazard for people residing or working in the project area. No impacts would occur.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| f) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The proposed project is residential development in an established neighborhood. It would not impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan. No impacts would result.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| g) Expose people or structures, either directly or indirectly, to a significant risk of loss, injury or death involving wildland fires? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is not located adjacent to wildlands or where residences are intermixed with wildlands. It would not expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands. No impact would result.

X. HYDROLOGY AND WATER QUALITY - Would the project:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Violate any water quality standards or waste discharge requirements or otherwise substantially degrade surface or groundwater quality? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would comply with all storm water quality standards during and after construction, and appropriate Best Management Practices (BMP's) will be utilized and provided for on-site. Implementation of these BMP's would preclude any violations of existing standards and discharge regulations. This will be addressed through the project's Conditions of Approval; therefore, impacts would be less than significant, and no mitigation measures are required.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that the project may impede sustainable groundwater management of the basin? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project does not require the construction of wells. The construction of the project may generate an incremental use of water, but it would not substantially deplete groundwater supplies or

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level. Impacts would be less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or through the addition of impervious surfaces, in a manner which would: | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would not substantially alter the existing drainage pattern of the site or the area. Streams or rivers do not occur on or adjacent to the site. Although grading is proposed, the project would implement on-site BMPs, therefore ensuring that substantial erosion or siltation on- or off-site would not occur. Impacts would be less than significant, and no mitigation measures are required.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| i) result in substantial erosion or siltation on- or off-site; | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

Proper landscaping would prevent substantial erosion onsite. No streams or rivers are located on or adjacent to the site, the project will utilize drainage swales in order to manage runoff. The proposed project will not have a significant impact on downstream properties and the drainage system is engineered to adequately manage site stormwater and would therefore not substantially alter existing drainage patterns. The project would be required to implement BMPs to ensure that substantial erosion or siltation on or off-site during construction activities would not occur. Impacts would be less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| ii) substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site; | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Refer to response X (c)(i) above. the project would not substantially increase the rate or amount of surface runoff which would result in flooding on or off site. Impacts would be less than significant.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| iii) create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff; or | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would be required to comply with all City storm water standards during and after construction. Appropriate BMPs would be implemented to ensure that water quality is not degraded; therefore, ensuring that project runoff is directed to appropriate drainage systems. Any runoff from the site is not anticipated to exceed the capacity of existing storm water systems or provide substantial additional sources of polluted runoff. Impacts would be less than significant, and no mitigation measures are required.

- |                                     |                          |                          |                                     |                          |
|-------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|
| iv) impede or redirect flood flows? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|-------------------------------------|--------------------------|--------------------------|-------------------------------------|--------------------------|

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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Project construction would occur within a developed site surrounded by existing residential development. The project would not impede or redirect flood flows. The project would be required to comply with all City storm water standards during and after construction ensuring that project runoff is directed to appropriate drainage systems. Impacts would be less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) In flood hazard, tsunami, or seiche zones, risk release of pollutants due to project inundation? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project site is not located within a flood hazard zone, and it is not likely that a tsunami or seiche could impact the site due to the site elevation. Therefore, impacts would be less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| e) Conflict with or obstruct implementation of a water quality control plan or sustainable groundwater management plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would be required to comply with all City storm water standards during and after construction. Appropriate best management practices would be implemented to ensure that water quality is not degraded; therefore, ensuring that project runoff is directed to appropriate drainage systems. Any runoff from the site is not anticipated to exceed the capacity of existing storm water systems or provide substantial additional sources of polluted runoff. Additionally, the project does not require the construction of wells or the use of groundwater. Therefore, the project would not conflict with or obstruct implementation of a sustainable groundwater management plan. Impacts would be less than significant.

XI. LAND USE AND PLANNING – Would the project:

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Physically divide an established community? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project is consistent with the General Plan and La Jolla Community Plan land use designation. The project site is located within a developed residential neighborhood and surrounded by similar residential development. The development of two dwelling units would not affect adjacent properties and is consistent with surrounding land uses. Therefore, the project would not physically divide an established community. No impact would result due to implementation of the project.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Cause a significant environmental impact due to a conflict with any applicable land use plan, policy, or regulation adopted for the purpose of avoiding or mitigating an environmental effect? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

See response XI(a) above. The project is compatible with the area designated for residential development by the General Plan and Community Plan and is consistent with the existing underlying zone and surrounding land uses. Construction of the project would occur within an urbanized neighborhood with similar development. Furthermore, the project would not conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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(including but not limited to the general plan community plan, or zoning ordinance) adopted for avoiding or mitigating an environmental effect. No conflict would occur and this, no impacts would result.

XII. MINERAL RESOURCES – Would the project:

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Result in the loss of availability of a locally important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not result in the loss of availability of a known mineral resource recovery site delineated on a local general plan, specific plan, or other land use plan.

XIII. NOISE – Would the project result in:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Generation of a substantial temporary or permanent increase in ambient noise levels in the vicinity of the project in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The City's Thresholds identify that a significant impact would occur if:

Traffic generated noise would result in noise levels that exceed a 45 weighted decibel (dB) Community Noise Equivalent Level (CNEL) interior of 65 dB CNEL exterior for single- and multi-family land uses, 75 dbA exterior for office, churches, and professional uses, and 75 dbA exterior for commercial land uses.

- A project which would generate noise levels at the property line which exceed the City's Noise Ordinance Standards is also considered a potentially significant impact. Additionally, Temporary construction noise which exceeds 75 dB (A)  $L_{EQ}$  at a sensitive receptor would be considered significant.
- Temporary construction noise which exceeds 75 dB (A)  $L_{eq}$  at a sensitive receptor. Construction noise levels measured at or beyond the property lines of any property zoned residential shall not exceed an average sound level greater than 75-decibels (dB) during the 12-hour period from 7:00 a.m. to 7:00 p.m. In addition, construction activity is prohibited between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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holidays as specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington’s Birthday, or on Sundays, that would create disturbing, excessive, or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator, in conformance with San Diego Municipal Code Section 59.5.0404.

- If noise levels during the breeding season for the California gnatcatcher, least Bell’s vireo, southern willow flycatcher, least tern, cactus wren, tricolored blackbird or western snowy plover would exceed 60dB(A) or existing ambient noise level if above 60dB(A).

None of the above apply.

The project would not result in the generation of, noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies. Any short-term noise impacts related to construction activities would be required to comply with the construction hours specified in the City's Municipal Code (Section 59.5.0404, Construction Noise), which are intended to reduce potential adverse effects resulting from construction noise. Impacts remain less than significant.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Generation of, excessive groundborne vibration or groundborne noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

See response XII (a) above. Potential short-term effects from construction noise would be reduced through compliance with City restrictions. No significant long-term impacts would occur, and no mitigation measures are required. Impacts remain less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) For a project located within the vicinity of a private airstrip or an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

See response XII (a) above. Potential short-term effects from construction noise would be reduced through compliance with City restrictions. No significant long-term impacts would occur, and no mitigation measures are required. Impacts remain less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XIV. POPULATION AND HOUSING – Would the project:

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Induce substantial unplanned population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The proposed project is remodeling existing dwelling units and constructing new dwelling units. The construction of six new units would not induce substantial population growth. Infrastructure already exists on the project site to account for both dwelling units. Impacts remain less than significant.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| b) Displace substantial numbers of existing people or housing, necessitating the construction of replacement housing elsewhere? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The proposed project would not displace substantial numbers of people, necessitating the construction of replacement housing elsewhere. The proposed project would result in the remodel of two dwelling units and the construction of six new dwelling units on a currently developed parcel. Therefore, the result of the project is a net addition to available housing.

XV. PUBLIC SERVICES

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Would the project result in substantial adverse physical impacts associated with the provisions of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service rations, response times or other performance objectives for any of the public services: |                          |                          |                          |                                     |
| i) Fire protection;   | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

The project site is located in an urbanized and developed area where fire protection services are already provided. The proposed project would not require the construction of new fire protection facilities.

- |                        |                          |                          |                          |                                     |
|------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| ii) Police protection; | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project site is located in an urbanized and developed area within the City of San Diego where police protection services are already provided. The proposed project would not require the construction of new police protection facilities.

- |               |                          |                          |                          |                                     |
|---------------|--------------------------|--------------------------|--------------------------|-------------------------------------|
| iii) Schools; | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---------------|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not affect existing levels of public services and would not require the construction or expansion of a school facility. The project site is located in an urbanized and developed area where public school services are available. The project would not significantly increase the demand on public schools over that which currently exists and is not anticipated to result in a significant increase in demand for public educational services.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
iv) Parks;	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

The project site is located in an urbanized and developed area where City-operated parks are available. The project would not significantly increase the demand on existing neighborhood or regional parks or other recreational facilities over that which presently exists and is not anticipated to result in a significant increase in demand for parks or other offsite recreational facilities

v) Other public facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
-----------------------------	--------------------------	--------------------------	--------------------------	-------------------------------------

The project site is located in an urbanized and developed area where City services are already available. The project would not adversely affect existing levels of public services and not require the construction or expansion of an existing governmental facility. Therefore, no new public facilities beyond existing conditions would be required.

#### XVI. RECREATION

a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
--	--------------------------	--------------------------	--------------------------	-------------------------------------

The project would not increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated.

b) Does the project include recreational facilities or require the construction or expansion of recreational facilities, which might have an adverse physical effect on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
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The project is not construction recreational facilities, nor does it require the expansion of recreation facilities.

#### XVII. TRANSPORTATION-

a) Would the project or plan/policy conflict with an adopted program, plan, ordinance or policy addressing the transportation system, including transit, roadways, bicycle and pedestrian facilities?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
---	--------------------------	--------------------------	--------------------------	-------------------------------------

The construction of six new dwelling units would not change road patterns or congestion. The project would not conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account of all modes transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit. In addition, the project would not require the

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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redesign of streets, traffic signals, stop signs, striping or any other changes to the existing roadways or existing public transportation routes or types are necessary. No impact would result due to implementation of the project.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Would the project or plan/policy result in VMT exceeding thresholds identified in the City of San Diego Transportation Study Manual? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

The proposed project is the development of a total of eight dwelling units and would not result in VMT exceeding thresholds identified in the City of San Diego Transportation Study Manual.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Would the project or plan/policy substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The proposed project would not substantially increase hazards due to a design feature or incompatible uses.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| d) Result in inadequate emergency access? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not result in inadequate emergency access.

XVIII. TRIBAL CULTURAL RESOURCES – Would the project cause a substantial adverse change in the significance of a tribal cultural resource, defined in Public Resources Code section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:

- |  |                          |                          |                          |                                     |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|
| a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k), or | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|--|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project proposes the relocation and rehabilitation of the historically designated Dorothy Cottage within a built-out neighborhood of the City of San Diego. There are no tribal cultural structures on either the donor or receiving sites, and no impacts to tribal historic resources would occur. No tribal cultural resources are located on the project site that meet the criteria for listing on the local, State, or Federal registers as defined in PRC Section 5020.1(k). No impact would result.

- |   |                          |                                     |                          |                          |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code section 5024.1. In applying the criteria set forth in subdivision (c) of Public Resource Code section 5024.1, the lead agency shall consider the | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
significance of the resource to a California Native American tribe.				

Tribal Cultural Resources include sites, features, places, cultural landscapes, and sacred places or objects that have cultural value or significance to a Native American Tribe. Tribal Cultural Resources include “non-unique archaeological resources” that, instead of being important for “scientific” value as a resource, can also be significant because of the sacred and/or cultural tribal value of the resource. Tribal representatives are considered experts appropriate for providing substantial evidence regarding the locations, types, and significance of tribal cultural resources within their traditionally and cultural affiliated geographic area (PRC § 21080.3.1(a)). The City, as Lead Agency, determined that there are no sites, features, places or cultural landscapes that would be substantially adversely impacted by the proposed project. Although no Tribal Cultural Resources were identified within the project site, there is a potential for the construction of the project to impact buried and unknown Tribal Cultural Resources due to its location to known recorded resources in the near vicinity.

In accordance with the requirements of Assembly Bill (AB) 52, The City of San Diego sent notification to the Native American Tribes traditionally and culturally affiliated with the project area on April 27, 2021. On April 27, 2021, Jamul Indian Village, responded concurring with staff’s recommendation to require monitoring. Iipay Nation of Santa Ysabel and San Pasqual Band of Mission Indians did not respond. A Mitigation Monitoring and Reporting Program, as detailed within Section V of the Mitigated Negative Declaration would be implemented to reduce impacts related to Tribal Cultural Resources to below a level of significance.

XIX. UTILITIES AND SERVICE SYSTEMS – Would the project:

- a) Require or result in the relocation or construction of new or expanded water, wastewater treatment or storm water drainage, electric power, natural gas, or telecommunications facilities, the construction or relocation of which would cause significant environmental effects?

The project is not anticipated to generate significant amount of wastewater or stormwater. As discussed in VI (a), the project would not result in a significant environmental impact due to wasteful, inefficient, or unnecessary consumption of energy resources. Wastewater facilities used by the project would be operated in accordance with the applicable wastewater treatment requirements of the Regional Water Quality Control Board (RWQCB). Existing sewer infrastructure exists within roadways surrounding the project site and adequate services are available to serve the project. Thus, impacts would be less than significant.

- b) Have sufficient water supplies available to serve the project and reasonably foreseeable future development during normal, dry and multiple dry years?

The 2020 City Urban Water Management Plan (UWMP) serves as the water resources planning document for the City’s residents, businesses, interest groups, and public officials. The UWMP assess

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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the current and future water supply and needs for the City. The 2020 UWMP emphasizes a crossfunctional, systems approach that is intended to better guide and integrate any subsequent water resources studies, facilities master planning, and various regulatory reporting and assessment activities at the City, regional and state levels beyond a basic profiling of the City's water system. (City of San Diego 2020). The project does not meet Senate Bill 610 requirements for the project to prepare a water supply assessment. Implementation of the project would not result in new or expanded water entitlements from the water service provider, as the project is consistent with existing demand projections contained in the UWMP (which are based on the allowed land uses for the project site). Therefore, the project would not require new or expanded entitlements. No impacts would result.

- |   |                          |                          |                          |                                     |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|
| c) Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's demand in addition to the provider's existing commitments? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
|---|--------------------------|--------------------------|--------------------------|-------------------------------------|

The project would not exceed the capacity of the existing storm water system and require the construction of new or expanded treatment facilities of which would cause significant environmental effects. The project was reviewed by qualified City staff who determined that the existing facilities are adequately sized to accommodate the proposed development. No impacts would result.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Generate solid waste in excess of State or local standards, or in excess of the capacity of local infrastructure, or otherwise impair the attainment of solid waste reduction goals? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Construction debris and waste would be generated from the construction of the project. All construction waste from the project site would be transported to an appropriate facility, which would have sufficient permitted capacity to accept that generated by the project. Long-term operation of the residential use is anticipated to generate typical amounts of solid waste associated with residential uses. Furthermore, the project would be required to comply with the City's Municipal Code requirement for diversion of both construction waste during the short-term, construction phase and solid waste during the long-term, operational phase. Impacts are considered to be less than significant.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| e) Comply with federal, state, and local management and reduction statutes and regulations related to solid waste? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project would comply with all Federal, State, and local statutes and regulations related to solid waste. The project would not result in the generation of large amounts of solid waste, nor generate or require the transport of hazardous waste materials, other than minimal amounts generated during the construction phase. All demolition activities would comply with any City of San Diego requirements for diversion of both construction waste during the demolition phase and solid waste during the long-term, operational phase. Impacts would be less than significant.

Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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XX. WILDFIRE – If located in or near state responsibility area or lands classified as very high fire hazard severity zones, would the project:

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| a) Substantially impair an adopted emergency response plan or emergency evacuation plan? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The City of San Diego participates in the San Diego County Multi-Jurisdictional Hazard Mitigation Plan. The project complies with the General Plan and is consistent with the Torrey Pines Community Plan land use and the Land Development Code zoning designation. The project is located in an urbanized area of San Diego and construction of six dwelling units would not disrupt any emergency evacuation routes as identified in the Hazard Mitigation Plan. Therefore, the project would have a less-than-significant impact on an emergency response and evacuation plan during construction and operation.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| b) Due to slope, prevailing winds, and other factors, exacerbate wildfire risks, and thereby expose project occupants to, pollutant concentrations from a wildfire or the uncontrolled spread of wildfire? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project is located in an urbanized neighborhood of similar residential development and is not located in a Very High Fire Severity Zone. Due to the location of the project, the project would not have the potential to expose occupants to pollutant concentrations from a wildfire or the uncontrolled spread of wildfire. Therefore, impacts would remain below a level of significance.

- |  |                          |                          |                                     |                          |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|
| c) Require the installation or maintenance of associated infrastructure (such as roads, fuel breaks, emergency water sources, power lines or other utilities) that may exacerbate fire risk or that may result in temporary or ongoing impacts to the environment? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|--|--------------------------|--------------------------|-------------------------------------|--------------------------|

The project is located in a residential neighborhood with similar development. The site is currently serviced by existing infrastructure which would service the site after construction is completed. No new construction of roads, fuel breaks, emergency water sources, power lines, or other utilities would be constructed that would exacerbate fire risk, therefore impacts would be less than significant.

- |   |                          |                          |                                     |                          |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|
| d) Expose people or structures to significant risks, including downslope or downstream flooding or landslides, as a result of runoff, post-fire slope instability, or drainage changes? | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|--------------------------|-------------------------------------|--------------------------|

Refer to response XX (b) above. The site is bounded by a rear yard descending slope. However, as described in the Geotechnical Study, project site is not located within a seismic hazard zone for potential slope instability or within a landslide hazard zone. Additionally, the project would comply with the City's appropriate Best Management Practices (BMP) for drainage and would not expose



Issue	Potentially Significant Impact	Less Than Significant with Mitigation Incorporated	Less Than Significant Impact	No Impact
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people or structures to significant risks as a result of run-off, post-fire slope instability, or drainage changes. Therefore, a less than significant impact would result.

XXI. MANDATORY FINDINGS OF SIGNIFICANCE –

- |   |                          |                                     |                          |                          |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| <p>a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?</p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

This analysis has determined that there is the potential of significant impacts related to Cultural Resources (Built Environment), Cultural Resources (Archaeology), and Tribal Cultural Resources. As such, mitigation measures included in this document would reduce these potential impacts to a less than significant level as outlined within the Mitigated Negative Declaration.

- |   |                          |                                     |                          |                          |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| <p>b) Does the project have impacts that are individually limited but cumulatively considerable (“cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?</p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

As documented in this Initial Study, the project may have the potential to degrade the quality of the environment, notably with respect to Cultural Resources (Archaeology) and Tribal Cultural Resources, which may have cumulatively considerable impacts. As such, mitigation measures have been incorporated to reduce impacts to less than significant. Other future projects within the surrounding neighborhood or community would be required to comply with applicable local, State, and Federal regulations to reduce the potential impacts to less than significant, or to the extent possible. As such, the project is not anticipated to contribute potentially significant cumulative environmental impacts.

- |   |                          |                                     |                          |                          |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|
| <p>c) Does the project have environmental effects that will cause substantial adverse effects on human beings, either directly or indirectly?</p> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--------------------------|-------------------------------------|--------------------------|--------------------------|

The project is consistent with the environmental setting and with the use as anticipated by the City. Based on the analysis presented above, implementation of the mitigation measures would reduce environmental impacts such that no substantial adverse effects on humans would occur.

**INITIAL STUDY CHECKLIST  
REFERENCES**

**I. Aesthetics / Neighborhood Character**

- City of San Diego General Plan
- Community Plans:

**II. Agricultural Resources & Forest Resources**

- City of San Diego General Plan
- U.S. Department of Agriculture, Soil Survey - San Diego Area, California, Part I and II, 1973
- California Agricultural Land Evaluation and Site Assessment Model (1997)
- Site Specific Report:

**III. Air Quality**

- California Clean Air Act Guidelines (Indirect Source Control Programs) 1990
- Regional Air Quality Strategies (RAQS) - APCD
- Site Specific Report:

**IV. Biology**

- City of San Diego, Multiple Species Conservation Program (MSCP), Subarea Plan, 1997
- City of San Diego, MSCP, "Vegetation Communities with Sensitive Species and Vernal Pools" Maps, 1996
- City of San Diego, MSCP, "Multiple Habitat Planning Area" maps, 1997
- Community Plan - Resource Element
- California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered, Threatened, and Rare Plants of California," January 2001
- California Department of Fish and Game, California Natural Diversity Database, "State and Federally-listed Endangered and Threatened Animals of California," January 2001
- City of San Diego Land Development Code Biology Guidelines
- Site Specific Report:

**V. Cultural Resources (includes Historical Resources and Built Environment)**

- City of San Diego Historical Resources Guidelines
- City of San Diego Archaeology Library
- Historical Resources Board List
- Community Historical Survey:
- Site Specific Report:

**VI. Geology/Soils**

- City of San Diego Seismic Safety Study
- U.S. Department of Agriculture Soil Survey - San Diego Area, California, Part I and II, December 1973 and Part III, 1975
- Site Specific Report:

**VII. Greenhouse Gas Emissions**

- Site Specific Report:

**VIII. Hazards and Hazardous Materials**

- San Diego County Hazardous Materials Environmental Assessment Listing
- San Diego County Hazardous Materials Management Division
- FAA Determination
- State Assessment and Mitigation, Unauthorized Release Listing, Public Use Authorized
- Airport Land Use Compatibility Plan
- Site Specific Report:

**IX. Hydrology/Drainage**

- Flood Insurance Rate Map (FIRM)
- Federal Emergency Management Agency (FEMA), National Flood Insurance Program-Flood Boundary and Floodway Map
- Clean Water Act Section 303(b) list, [http://www.swrcb.ca.gov/tmdl/303d\\_lists.html](http://www.swrcb.ca.gov/tmdl/303d_lists.html)
- Site Specific Report:

**X. Land Use and Planning**

- City of San Diego General Plan
- Community Plan
- Airport Land Use Compatibility Plan
- City of San Diego Zoning Maps
- FAA Determination:
- Other Plans:

**XI. Mineral Resources**

- California Department of Conservation - Division of Mines and Geology, Mineral Land Classification
- Division of Mines and Geology, Special Report 153 - Significant Resources Maps
- City of San Diego General Plan: Conservation Element
- Site Specific Report:

**XII. Noise**

- City of San Diego General Plan
- Community Plan
- San Diego International Airport - Lindbergh Field CNEL Maps
- Brown Field Airport Master Plan CNEL Maps
- Montgomery Field CNEL Maps
- San Diego Association of Governments - San Diego Regional Average Weekday Traffic Volumes
- San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG
- Site Specific Report:

**XIII. Paleontological Resources**

- City of San Diego Paleontological Guidelines
- Deméré, Thomas A., and Stephen L. Walsh, "Paleontological Resources City of San Diego," Department of Paleontology San Diego Natural History Museum, 1996
- Kennedy, Michael P., and Gary L. Peterson, "Geology of the San Diego Metropolitan Area, California. Del Mar, La Jolla, Point Loma, La Mesa, Poway, and SW 1/4 Escondido 7 1/2 Minute Quadrangles," *California Division of Mines and Geology Bulletin* 200, Sacramento, 1975
- Kennedy, Michael P., and Siang S. Tan, "Geology of National City, Imperial Beach and Otay Mesa Quadrangles, Southern San Diego Metropolitan Area, California," Map Sheet 29, 1977
- Site Specific Report:

**XIV. Population / Housing**

- City of San Diego General Plan
- Community Plan
- Series 11/Series 12 Population Forecasts, SANDAG
- Other:

**XV. Public Services**

- City of San Diego General Plan
- Community Plan

**XVI. Recreational Resources**

- City of San Diego General Plan
- Community Plan
- Department of Park and Recreation
- City of San Diego - San Diego Regional Bicycling Map
- Additional Resources:

**XVII. Transportation / Circulation**

- City of San Diego General Plan
- Community Plan:
- San Diego Metropolitan Area Average Weekday Traffic Volume Maps, SANDAG
- San Diego Region Weekday Traffic Volumes, SANDAG
- Site Specific Report:

**XVIII. Utilities**

- Site Specific Report:

**XIX. Water Conservation**

- Sunset Magazine, *New Western Garden Book*, Rev. ed. Menlo Park, CA: Sunset Magazine

**XX. Water Quality**

- Clean Water Act Section 303(b) list, [http://www.swrcb.ca.gov/tmdl/303d\\_lists.html](http://www.swrcb.ca.gov/tmdl/303d_lists.html)
- Site Specific Report:

Revised: April 2021

DRAFT

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION  
501

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

INTERNAL ORDER NUMBER: 24008749

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2491344

SITE DEVELOPMENT PERMIT NO. 2491348

NEIGHBORHOOD DEVELOPMENT PERMIT NO. 2584745

**THE RESIDENCES AT 800 COAST BOULEVARD - PROJECT NO. 677297 [MMRP]**  
PLANNING COMMISSION

This Coastal Development Permit No. 2491344, Site Development Permit No. 2491348, Neighborhood Development Permit No. 2584745 is granted by the Planning Commission of the City of San Diego to 800 COAST, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0707, Section 143.0210(e)(2), and Section 126.0402(a). The 0.45-acre site is located at 811-821 and 825-827 Coast Boulevard South in the LJPD-Area 5 Zone, and the Coastal (non-appealable), Coastal Height, Beach Parking Impact, Residential Tandem Parking, and Transit Area Overlay Zones of the La Jolla Community Plan. The project site is legally described as: Lots 9, 10 and a Portion of 11 In Block 55 of La Jolla Park, in the City of San Diego, County of San Diego, State of California according to Map thereof No. 352, filed in the office of the County Recorder of San Diego County, March 22, 1887. Excepting from said Lot 11 The Southwest 12.00 feet thereof.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish five (5) structures, remodel three (3) historic cottages, and construct six (6) new residential condominium units subject to the City's land use regulations] described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [INSERT Approval Date], on file in the Development Services Department. The project shall include:

- a. The demolition of 813-821 Coast Boulevard (5 structures), remodel/addition of 811 Coast Boulevard (non-historic), remodel/addition of 825 Coast Boulevard (historic), relocation/remodel/addition of 827 Coast Boulevard (historic), and construction of 6 new, 3-story, townhomes over an underground garage, for a total square footage of 23,591 square feet.
- b. **Deviations:**
  - Existing non-conforming front yard setback to remain on Cottage 821 when historic cottage 827 is relocated onto existing base of Cottage 821;

- A rear yard setback reduced from 10' to 7';
  - Access off Coast Boulevard. and not from the alley;
  - A 20' wide curb cut (smaller than existing) at cottage 811; and
  - A driveway wider than 12' in the right-of-way at cottage 825
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by [ENTER DATE typically 3 years, including the appeal time].
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but

not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

10. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

11. The mitigation measures specified in the MMRP and outlined in **MITIGATED NEGATIVE DECLARATION, NO. 677297**, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

12. The Owner/Permittee shall comply with the MMRP as specified in **MITIGATED NEGATIVE DECLARATION, NO. 677297** to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

**Cultural Resources and Tribal Cultural Resources**



**CLIMATE ACTION PLAN REQUIREMENTS:**

13. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

**ENGINEERING REQUIREMENTS:**

14. The Coastal Development Permit and Site Development Permit and Neighborhood Development Permit shall comply with all Conditions of the Final Map for the Tentative Map No. 2491349.

15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of three driveways per current City standards, along Coast Boulevard South as shown on Exhibit A, satisfactory to the City Engineer.

16. Prior to the issuance of any building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for non-standard driveways, street trees and landscaping/irrigation along South Coast Boulevard frontage.

17. The project proposes to export 4340 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book") and Regional Supplement Amendments adopted by Regional Standards Committee.

18. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City Engineer.

19. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

**HISTORICAL RESOURCES REQUIREMENTS**

20. Prior to the issuance of any construction permits, the Owner/Permittee shall submit drawings that incorporate the Treatment Plan as approved by the Historical Resources Board (HRB) and City Historical Resources Staff.

21. Prior to the issuance of any construction permits, the Historic American Building Survey (HABS) documentation as approved by HRB and City Historical Resources Staff shall be submitted for archival storage with the City of San Diego HRB, South Coastal Information Center, the California Room of the City of San Diego Public Library, the San Diego Historical Society, and/or other historical society or group(s).

22. During construction of the Project, the Owner/Permittee shall implement the Monitoring Plan as approved by HRB and City Historical Resources staff. The Project's Principal Investigator shall send monitoring reports as described in the Monitoring Plan to the City's Mitigation Monitoring staff and Historical Resources staff. The Principal Investigator may submit a detailed letter to City staff prior to the start of work or during construction requesting a modification to the Monitoring Plan. This request shall be based on relevant information and site conditions.

**LANDSCAPE REQUIREMENTS:**

23. Prior to issuance of any grading permit, the Owner/Permittee shall submit complete construction documents for the revegetation and hydro-seeding of all disturbed land in accordance with the City of San Diego Landscape Standards, Storm Water Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Development Services Department.

24. Prior to issuance of any public improvement permit, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall show, label, and dimension a 40-square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

25. Prior to issuance of any building permit (including shell), the Owner/Permittee shall submit complete landscape and irrigation construction documents, which are consistent with the Landscape Standards, to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. Construction plans shall provide a 40-square-foot area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per §142.0403(b)6.

26. If a foundation-only permit is requested by the Owner/Permittee, a site plan or staking layout plan, shall be submitted to the Development Services Department identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of another entity approved by the Development Services Department. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

28. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents to the Development Services Department for approval. The construction documents shall be consistent with approved Exhibit "A,"

the La Jolla Shores Planned District Ordinance, the La Jolla Community Plan, and the Land Development Manual - Landscape Standards.

29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. All required landscape shall be maintained consistent with the Landscape Standards in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

**PLANNING/DESIGN REQUIREMENTS:**

31. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS**

34. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.

35. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of three driveways per current City standards, along Coast Boulevard South as shown on Exhibit A, satisfactory to the City Engineer.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

36. Prior to the issuance of any Building Construction Permit, the Owner/Permittee shall have constructed, or ensured the construction of via permit and bond, all proposed public and private water and sewer facilities within the public ROW, and/or public easement, in accordance with Exhibit

'A' and the criteria established in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and all applicable City regulations, standards and practices.

37. Prior to any Certificate of Occupancy being issued, all proposed water and sewer facilities associated with the Project's development (as detailed within the Project's PUD approved Water and Sewer Studies and/or on the Project's City approved Exhibit 'A' ) shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

38. Prior to any Certificate of Occupancy being issued, any private improvements which lie within a public ROW fronting the development, or within a public easement inside the development, which could inhibit the City's right to access, maintain, repair, or replace its public water and sewer facilities must be removed unless the Owner/Permittee has or obtains a City approved/County Recorded Encroachment and Maintenance Removal Agreement (EMRA) specific to that encroachment.

39. Prior to any Certificate of Occupancy being issued, any damages caused to the City of San Diego's public water and sewer facilities, which are due to the activities associated with this project, shall be repaired or reconstructed in a manner satisfactory to the Public Utilities Director and the City Engineer in accordance with Municipal Code section 142.0607.

**INFORMATION ONLY:**

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on [INSERT Approval Date] and [Approved Resolution Number].

**ATTACHMENT 8**

Coastal Development Permit No. 2491344  
Site Development Permit No. 2491348  
Neighborhood Development Permit No. 2584745  
Date of Approval: XX

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
CATHERINE ROM  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**800 COAST, LLC**  
Owner/Permittee

By \_\_\_\_\_  
DAWN DAVIDSON  
MANAGER

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**