

# STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

This project shall comply with all current requirements of the State Permit; California Regional Water Quality Control Board (SRWQCB), San Diego Municipal Storm Water Permit, The City of San Diego Land Development Code, and the Storm Water Standards Manual.

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCL) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMP'S.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
- ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMP'S AND IMPLEMENT SUCH MEASURES FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREETS (AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY).
- THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
- IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON-SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
- THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR-ROUND.
- THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRAFFIC ON AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
- AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMP'S DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
- CONSTRUCTION ENTRANCE AND EXIT AREA.** TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-1 OR CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVEL WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE. (a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

## CONSTRUCTION NOTES

- Locations and classifications of extinguishers shall be in accordance with CFC 906 and California Code of Regulations (CCR), Title 19.
- During Construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 3315.1
- Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.
- Address identification shall be provided for all new and existing buildings in a location that is plainly visible and legible from the street or road fronting the property. Where access is by way of a private road and the building address cannot be viewed from the public way, an approved sign or means shall be used to identify the structure. Premises identification shall conform to CBC Section 5012
- Wall, floor, ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.9 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshall with appropriate documentation provided to the City of San Diego.
- Wall, floor, ceiling finishes and materials shall not exceed the interior finish classifications in CBC Table 803.9 and shall meet the flame propagation performance criteria of the California Code of Regulations, Title 19, Division 1. Decorative materials shall be properly treated by a product or process approved by the State Fire Marshall with appropriate documentation provided to the City of San Diego.
- Dumpsters and trash containers exceeding 1.5 cubic yards shall not be stored in buildings or placed within 5 feet of combustible walls, openings or combustible roof eave lines unless protected by an approved sprinkler system or located in a type I or IA structure separated by 10 feet from other structures. Containers larger than 1 cubic yard shall be of non-combustible materials or similarly protected or separated. CFC 304.3
- Open Flames, Fire, and burning on all premises is prohibited except as specifically permitted by the City of San Diego and CFC 308.
- The egress path shall remain free and clear of all obstructions at all times. No storage is permitted in any egress paths.

## DISTURBED AREA TABULATION

Total Disturbance Area = 526 Sq. Ft.  
Existing Impervious Area = 3,260 Sq. Ft.  
Proposed Impervious Area = 0 Sq. Ft.  
Total Impervious Area = 3,260 Sq. Ft.

Impervious areas include rooftop, deck, concrete, pavement, brick, etc

Amount of Cut = 50 Cubic Yards  
Amount of Fill = 44 Cubic Yards  
Import / Export = 6 Cubic Yards  
Max. Cut Depth = 2 Ft.  
Max. Fill Depth = 1.5 Ft.

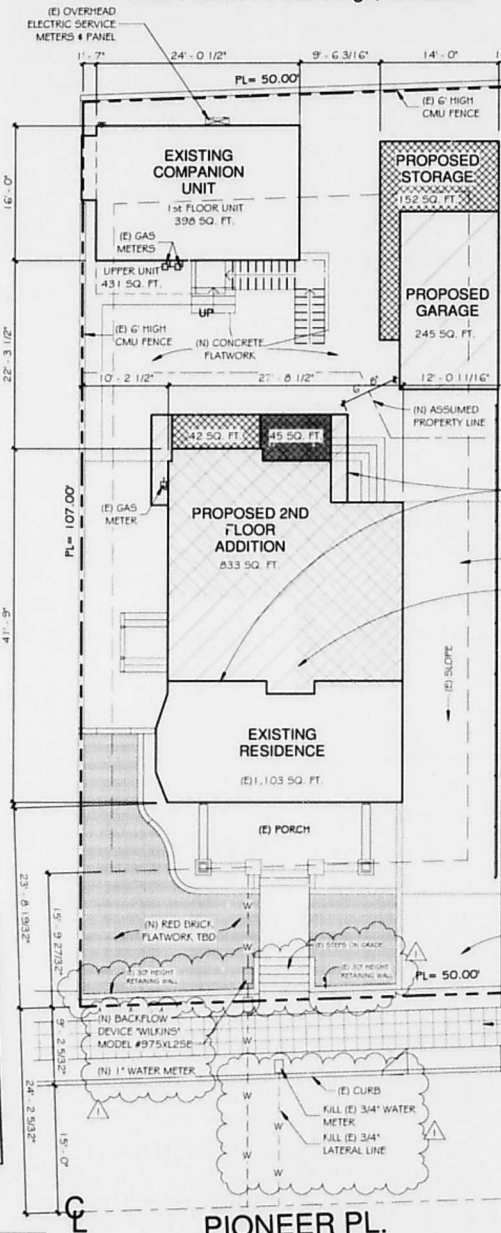
5 feet or more of cut / fill measured vertically that is not directly under the footprint / envelope of the proposed structure requires a separate grading permit per SDMC 129.0602

The project proposes to export 6 cubic yards of material from this site. All export material shall be discharged to a legal disposal site in accordance with the 2015 Greenbook and supplemental amendments. The approval of this project does not allow processing and sale of the material, all such activities require a separate conditional use permit.

The existing grade will not be modified.  
No work will be performed in the Right of Way.

# ZUBILLER Residence Remodel & Addition

3783 Pioneer Pl. San Diego, CA 92103



**Historical Resources Approval**  
This parcel contains a potentially significant historical resource. Approval is per SDMC Sec. 143.0220 for this scope of work only. Historic review is required for plan changes.

## SITE PLAN NOTES

- Runoff may not be concentrated within 5' of a structure.
- Surface water will drain away from building. The grade shall fall a minimum of 6" within the first 10 feet.
- All property lines real or assumed, easements and buildings both existing and proposed, are shown on this site plan.
- Storm water runoff from proposed impervious areas will be routed to landscape areas or planter boxes, prior to reaching the public drain system.
- Downspouts shall disconnect and discharge over landscape areas.

A pre-construction inspection is required due to the height of the proposed structure in relation to the FAA Part 77 Notification Surface requirements. The pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services office at (858) 492-5070, if you have any questions pertaining to the pre-construction inspection.



## SOILS NOTE

The structure(s) will be located entirely on undisturbed native soil.

If the Building Inspector suspects fill, expansive soils or any geologic instability based upon observation of the foundation/excavation, a soils or geological report, and resubmittal of plans to plan check to verify that report recommendations have been incorporated, may be required.

## FAA SELF CERTIFICATION:

"I, EVAN COLES, P.E. do hereby certify that the structure(s) or modification to existing structure(s) shown on these plans do not require Federal Aviation Administration notification because per Section 77.15(a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.

Note: A pre-construction inspection is required due to the height of the proposed structure in relation to the FAA Part 77 Notification Surface requirements. The pre-construction inspection must be scheduled and cleared by the field inspector before any subsequent inspections can be scheduled. Call (858) 581-7111 to schedule the pre-construction inspection. Contact the Inspection Services office at (858) 492-5070, if you have any questions pertaining to the pre-construction inspection.

## SHEET INDEX

SHEET	DESCRIPTION
A-1	Site Plan, Sheet Index, Project Summary, Vicinity Map
A-2	BMP's Forms
A-3	Door and Window Schedules and Notes
A-4	Existing/Demo Floor Plans
A-5	Exterior/Demo Elevations
A-6	Proposed Floor Plans
A-7	Proposed Exterior Elevations
A-8	Building Sections
A-10	Electrical Floor Plans
A-9	Building Sections
A-11	Garage Floor Plan, Roof Plan, Elevations & Section
A-12	Architectural Details
A-13	Title 24
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A-15	Title 24
S1	Structural General Notes
S2	Structural Foundation and Framing Plan
S3	Structural Foundation and Framing Plan
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S5	Structural Details
S6	Structural Details
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## PROJECT SUMMARY

### BUILDING AREA TABULATION

Existing Main House Floor Area = 1,103 Sq. Ft.  
Existing ADU First Floor Area = 398 Sq. Ft.  
Existing ADU Second Floor Area = 431 Sq. Ft.  
Total Existing Living Area = 1,932 Sq. Ft.

Proposed 1st Floor Addition = 45 Sq. Ft.  
Proposed 1st Storage Addition = 42 Sq. Ft.  
Proposed 2nd Floor Addition = 833 Sq. Ft.  
Proposed Garage Storage = 152 Sq. Ft.  
Proposed Garage = 245 Sq. Ft.  
Total Proposed Building Area = 3,249 Sq. Ft.

Existing Garage Storage to be Demo = 113 Sq. Ft.  
Existing Garage to be Demo = 381 Sq. Ft.

Area of Interior Remodel = 588 Sq. Ft.  
Allowable Floor Area Ratio = 0.59  
Existing FAR = 0.439  
Proposed FAR = 0.589

### PROJECT DATA

3783 Pioneer Pl. San Diego, CA 92103  
APN = 451-042-11-00  
Lot Area = 5,516 SQ. FT.  
Legal = TR 1569 Lot J  
Zone = RS-1-7  
Construction Type = V-B  
Occupancy = R-3 & U  
Year of Construction = 1925  
Sprinklers = NO

### PROJECT TEAM

OWNER:  
DreamTable LLC (Matt and Love Zubiller)  
3783 Pioneer Pl. San Diego, CA 92103  
619-441-9300

CONTRACTOR:  
Marrokal Design & Remodeling LLC  
9842 River Street  
Lakeside, CA 92040  
619-441-9300

## SCOPE OF WORK

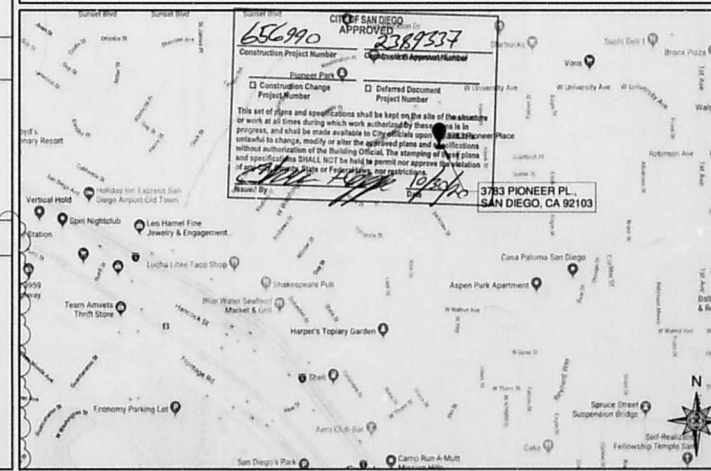
This project consists of First Floor kitchen and Bath Remodel to Main Dwelling and Proposed Second Floor Bedrooms and Bath Addition; Remove and Replace of Existing Detached Garage with Laundry and Storage

## APPLICABLE CODES

The design is according to the 2019 California Residential Code and, when applicable, the 2019 California Building Code. This project shall comply with the following codes:

- 2019 California Residential Code
- 2019 California Electrical Code
- 2019 California Green Building Code
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Building Energy Efficiency Standards
- 2019 California Building Code
- 2019 California Fire Code

## VICINITY MAP



REVISIONS	BY
03/04/20	GM

DESIGN CONSULTANT(S)  
Mike Centurlo  
Jennifer Melo  
PROJECT DESIGNER  
Enrique Covarrubias

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Fax: 619-988-5917  
License #1010116  
www.marrokal.com



A Home Remodel For:  
**DreamTable LLC (Matt and Love Zubiller)**  
3783 Pioneer Pl, San Diego, CA 92103  
Sheet Title:  
**Site Plan, Sheet Index, Project Summary, Vicinity Map**

DRAWN / CHECKED  
GM / MC / JM  
DATE / TIME  
8/27/2020  
11:07:50 AM  
PROJECT NUMBER  
19-0061  
JOB NAME  
ZUBILLER  
SHEET

FIRE PROTECTION

- 1. Smoke Alarms shall comply with NFPA 72 and Section R314. 5D
2. Smoke alarms shall be listed in accordance with UL 217. Combination smoke and carbon monoxide alarms shall be listed in accordance with UL 217 and UL 2034.
3. Smoke Alarms shall be installed in the following locations:
a. In each sleeping room
b. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
c. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and unfinished attics.
4. Smoke Alarms Specific location requirements:
a. Smoke alarms and smoke detectors shall not be located where ambient conditions, including humidity and temperature, are outside the limits specified by the manufacturer's published instructions.
5. Where more than one smoke alarm is required to be installed within an individual dwelling or sleeping unit, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit.

- 4. An intermittently or continuously operating local mechanical exhaust system (with outdoor air) shall be installed in each kitchen and bathroom complying with ASHRAE Standard 62.2-2007 as adopted by the California Energy Commission.
5. Elements of appliances which create a glow or spark must be located a minimum of 18" above the floor.
6. Provide an unobstructed passage 24" wide, not more than 20 feet in length, with solid continuous flooring from attic access to FAU equipment/control panel.
7. The return air plenum serving the mechanical equipment must be fully ducted from the equipment to the conditioned space.
8. Screen louvers shall not be installed at dryer vent terminations per Sec. 504.3.1 CM.C.
9. Environmental air ducts and exhaust luminaires shall terminate not less than 3' feet from a property line and 3' feet from openings into the building.

PLUMBING

- 1. Permanent vacuum breakers shall be included with all new hose bibs.
2. State Health and Safety Code Sec 17921.9 bans the use of chlorinated polyvinyl chloride (CPVC) and crosslinked polyethylene (PEX) for interior water supply piping.
3. Shower and tub-shower combination control valve must be pressure balanced.
4. PEX piping is not an approved material for water supply and distribution systems in California for residential occupancies.
5. A 1/2" minimum access panel to bathtub trap connection is required unless plumbing is without slip joints.
6. Max. temperature of 120° to be provided by use of pressure balance or thermostatic mixing valves.
7. All metal piping systems and all grounded metal parts in contact with the circulating water shall be bonded together using a solid copper bonding jumper, insulated, covered, or bare, not smaller than #8WG.
8. Built-in Tubs with Showers shall have waterproof joints between the tub and adjacent wall.
9. Hot water piping between water heater and all kitchen fixtures shall be insulated.
10. New Bathroom and shower floors and walls above bathtubs with installed shower heads and in shower compartments shall be finished with a nonabsorbent surface.
11. Building drain and vent piping shall comply with sections 701.0 and 903.0 of the California Plumbing Code.
12. All sanitary system materials shall be listed by an approved listing agency.
13. Showers and tub-shower combinations shall be provided with mixing valves per section 408.3 CPC.
14. ALL ABS and PVC piping and fittings shall be enclosed within walls and floors covered with "Type X gypsum board" or similar assemblies that provide the same level of fire protection.
15. Existing "noncompliant" fixtures (toilets that use more than 1.6 gallons of water per flush, urinals that use more than one gallon of water per flush, showerheads that have a flow capacity of more than 2.5 gallons of water per minute, and interior faucets that emit more than 2.2 gallons of water per minute) shall be replaced.
16. Below grade hot water piping is required to be installed in a waterproof and non-crushable sleeve or casing that allows for replacement of both the piping and insulation per ES 150.0(j).
17. All domestic hot water piping to have the following minimum insulation installed: 1/2" pipe (1/2" insulation), 3/4" pipe (1" insulation), 1" to 1-1/2" pipe (1-1/2" insulation), CPC 609.11 & ES 150.0(j). Additionally, the 1/2" hot water pipe to the kitchen sink, and the cold water piping within 5 feet of the water heater both require 1" minimum insulation ES 150.0(j).

ELECTRICAL

- 1. Receptacle outlet locations shall comply with NEC Article 210.52
2. Tampered-Resistant Receptacles shall be installed for all receptacles in the dwelling unit.
3. All 125-volt, single-phase, 15- and 20-ampere branch circuits supplying outlets installed in dwelling unit family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, kitchens or similar rooms or areas shall be protected by a listed arc-fault circuit interrupter, combination type, installed to provide protection of the branch circuit.
4. AFCI protection required in rooms where power circuitry is modified, replaced or affected by new work.
5. AFCI-protected outlets and power points to be protected by a listed Arc Fault Circuit Interrupter, combination type installed to provide protection of branch circuit.
6. Receptacles in a damp or wet location shall comply with NEC Article 408.6
7. Two dedicated 20-ampere branch circuits are required in kitchen/dining area.
8. Bathroom circulating shall be either:
a) 20-ampere circuit dedicated to each bathroom, or
b) at least one 20-ampere circuit supplying only bathroom receptacle outlets.
9. All lights in closets shall comply with NEC 410.8 for clearance to combustibles.
10. In Kitchens and Dining areas of dwelling units a receptacle outlet shall be installed at each counter space wider than 12 inches. Receptacles shall be installed so that no point along the wall line is more than 24 inches measured horizontally from a receptacle outlet in that space.
11. Mounting of lighting control devices such as switches / dimmers / occupancy sensors in bathrooms shall comply with Art. 680.11(D). No light switch within 36 inches of bath / tub / shower edge.
12. Provide arc-fault circuit interrupter (AFCI) for outlets in residential units per NEC 210.12.

TITLE 24

- 1. An electronically signed and registered Installation Certificate(s) (CF-6R) posted by the installing contractor shall be submitted to the field inspector during construction at the building site.
2. An electronically signed and registered Certificate(s) of Field Verification and Diagnostic Testing (CF-4R) shall be posted at the building site by a certified HERS Rater.
3. 2008 EES Compliance Forms CF-1R and Installation Certificates to be assembled and posted weather-protected within structure.
4. Manufactured windows shall have a label attached certified by the National Fenestration Rating Council (NFRC) and showing compliance with energy calculations.

GREEN BUILDING

- 1. All Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) will be water conserving and will comply with the 2016 CGBC Sec. 4.303.1
2. Toilets shall not exceed 1.28 gallons per flush.
3. Single Showerheads shall have a maximum flow rate of not more than 2.0 gallons per minute at 80 psi.
4. Multiple Showerheads, when a shower is served by more than one showerhead, the combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to allow only one shower outlet to be in operation at a time.
5. Lavatory faucets shall have a maximum flow rate of not more than 1.2 gallons per minute at 60 psi.
6. Kitchen faucets shall have a maximum flow rate of not more than 1.8 gallons per minute at 60 psi.
7. Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 1701.1 of the California Plumbing Code.
8. Any installed gas fireplace shall be a directvent sealed-combustion type.
9. All mechanical exhaust system, supply system, or combination thereof shall be installed for each dwelling unit to provide whole-building ventilation with outdoor air complying with ASHRAE Standard 62.2-2007 as adopted by the California Energy Commission.

MECHANICAL

- 1. Exhaust fans FAN
Per 2016 Green Code Sec. 4.506.1 Mechanical exhaust fans which exhaust directly from bathrooms shall comply with the following:
a. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.
b. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.
2. Rooms containing bathtubs, showers, spas and similar bathing fixtures shall be mechanically ventilated.
3. A mechanical exhaust system, supply system, or combination thereof shall be installed for each dwelling unit to provide whole-building ventilation with outdoor air complying with ASHRAE Standard 62.2-2007 as adopted by the California Energy Commission.

ELECTRICAL LIGHTING

LOW-RISE RESIDENTIAL BUILDINGS - SECTION 150.0 - MANDATORY FEATURES AND DEVICES

- 150(k) Residential Lighting.
1. Luminare Requirements.
A. Luminare Efficacy: All installed luminaires shall be high efficacy in accordance with TABLE 150.0-A.
B. Blank Electrical Boxes. The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a luminaire or other device shall be no greater than the number of bedrooms.
C. Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings shall meet all of the following requirements:
i. Be listed, as defined in Section 100.1, for zero clearance insulation contact (IC) by Underwriters Laboratories or other nationally recognized testing/rating laboratory; and
ii. Have a label that certifies the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283.
D. Electronic Ballasts. Ballasts for fluorescent lamps rated 13 watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.
E. Night Lights. Permanently installed night lights and night lights integral to installed luminaires or exhaust fans shall be rated to consume no more than five watts of power per luminaire or exhaust fan as determined in accordance with Section 130.0(c).
F. Lighting Integral to Exhaust Fans.
G. Screw based luminaires.
H. Enclosed Luminaires.
I. Interior Lighting Switching Devices and Controls.
A. All forward phase cut dimmers installed with LED light sources shall comply with NEMA SSL 7A.
B. Exhaust fans shall be switched separately from lighting systems.
C. Luminaires shall be switched with readily accessible controls that permit the luminaires to be manually switched ON and OFF.
D. Lighting controls and equipment shall be installed in accordance with the manufacturer's instructions.
E. No controls shall bypass a dimmer or vacancy sensor function where that dimmer or vacancy sensor has been installed to comply with Section 150.0(k).
F. Lighting controls shall comply with the applicable requirements of Section 110.9.
G. An Energy Management Control System (EMCS) may be used to comply with dimmer requirements in Section 150.0(k) if at a minimum it provides the functionality of a dimmer in accordance with Section 110.9, meets the installation certificate requirements in Section 130.4, the EMCS requirements in Section 130.5(f), and complies with all other applicable requirements in Section 150.0(k).
H. An Energy Management Control System (EMCS) may be used to comply with vacancy sensor requirements in Section 150.0(k) if at a minimum it provides the functionality of a vacancy sensor in accordance with Section 110.9, meets the installation certificate requirements in Section 130.4, the EMCS requirements in Section 130.5(f), and complies with all other applicable requirements in Section 150.0(k).
I. A multiscene programmable controller may be used to comply with dimmer requirements in Section 150.0(k) if at a minimum it provides the functionality of a dimmer in accordance with Section 110.9, and complies with all other applicable requirements in Section 150.0(k).
J. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces shall be controlled by a vacancy sensor.
K. Dimmers or vacancy sensors shall control all luminaires required to have light sources compliant with Reference Joint Appendix JAB.
L. Undercabinet lighting shall be switched separately from other lighting systems.
SECTION 150.0 - MANDATORY FEATURES AND DEVICES
3. Residential Outdoor Lighting.
A. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or to other buildings on the same lot, shall meet the requirements in item i and the requirements in either item ii or item iii.
i. Controlled by a manual ON and OFF switch that does not override to ON the automatic actions of items ii or iii below; and
ii. Controlled by photocell and motion sensor. Controls that override to ON shall not be allowed unless the override automatically reactivates the motion sensor within 6 hours; or
iii. Controlled by one of the following methods:
a. Photocell and automatic time switch control. Controls that override to ON shall not be allowed unless the override shall automatically return the photocell and automatic time switch control to its normal operation within 6 hours; or
b. Astronomical time clock. Controls that override to ON shall not be allowed unless the override shall automatically return the astronomical clock to its normal operation within 6 hours and which is programmed to automatically turn the outdoor lighting OFF during daylight hours; or
c. Energy management control system which meets all of the following requirements:
At a minimum provides the functionality of an astronomical time clock in accordance with Section 110.9, meets the Installation Certification requirements in Section 130.4; does not have an override or bypass switch that allows the luminaire to be always ON, and is programmed to automatically turn the outdoor lighting OFF during daylight hours.

TABLE 150.0-A CLASSIFICATION OF HIGH EFFICACY LIGHT SOURCES

Table with columns: High Efficacy Light Sources, Light sources in this column other than those installed in ceiling recessed downlight luminaires are classified as high efficacy and are not required to comply with Reference Joint Appendix JAB. Light sources in this column shall be certified to the Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JAB and be marked as meeting JAB.

- 1. Pin-based linear or compact fluorescent light sources using electronic ballasts.
2. Pulse-start metal halide.
3. High pressure sodium.
4. GU-24 sockets containing light sources other than LEDs.
5. Luminaires with hardwired high frequency generator and induction lamp.
6. Inoperable SSL luminaires that are installed outdoors.
7. Inoperable SSL luminaires containing colored light sources that are installed to provide decorative lighting.
Notes:
a. GU-24 sockets containing light sources such as compact fluorescent lamps and induction lamps.
b. California Title 20 Section 1605(k)(3) does not allow incandescent sources to have a GU-24 base.

WINDOW SCHEDULE

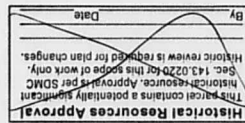
Table with columns: KEY, WIDTH, HEIGHT, COU, NT, FINISH, DESCRIPTION, U-factor, SHGC. Includes rows for various window types like wood or aluminum clad, double hung, etc.

VERY HIGH FIRE SEVERITY ZONE NOTES

- 1. All exterior window and exterior glazing door assemblies shall comply with one of the following requirements [CRC R337.8.2.1]:
- Be constructed of multiple glazed with a minimum of one tempered pane meeting the requirements of CRC R308 for Safety Glazing
- Be constructed of glass block units
- Have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 257
- Be tested to meet the performance requirements of SFM Standard 12-7A-2
2. Glazing frames made of vinyl materials shall have welded corners, metal reinforcement in the interlock area, and be certified to the most current edition of ANSI/AAMA/NWDA 101/S.2 structural requirements.

Historical Resources Approval

This parcel contains a potentially significant historical resource. Approval is per SDMC Sec. 143.0220 for this scope of work only. Historic review is required for plan changes.



- NOTES:
1. ALL EXISTING WINDOW, SKYLIGHT SIZES AND ROUGH OPENINGS SHALL BE VERIFIED IN FIELD PRIOR TO ORDERING NEW WINDOWS.
2. WINDOW OPENING CONTROL DEVICES SERVING EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL COMPLY WITH ASTM F2090.

EXISTING WINDOW SCHEDULE

Table with columns: KEY, WIDTH, HEIGHT, COUNT, FINISH, DESCRIPTION, U-factor, SHGC. Lists existing window types and their specifications.

- NOTES:
1. ALL EXISTING WINDOW, SKYLIGHT SIZES AND ROUGH OPENINGS SHALL BE VERIFIED IN FIELD PRIOR TO ORDERING NEW WINDOWS.

DOOR SCHEDULE

Table with columns: KEY, WIDTH, HEIGHT, COUNT, FINISH, DESCRIPTION, U-factor, SHGC. Lists door types like hollow core, solid core, etc.

VERY HIGH FIRE SEVERITY ZONE NOTES

- 1. All exterior doors comply with one of the following [CRC R337.8.3]: The exterior surface or cladding shall be of noncombustible or ignition-resistant material
- Have a minimum 20-minute fire-resistance rating
- Be tested to meet the performance requirements of SFM Standard 12-7A-1
- Be constructed of solid core wood that complies with the following requirements:
1) Stiles and rails shall not be less than 1 3/8 inches thick
2) Raised panels shall not be less than 1 1/4 inches thick; the exterior perimeter of the raised panel may taper to a tongue not less than 3/8 inch thick

- NOTES:
1. ALL EXISTING DOOR SIZES AND ROUGH OPENINGS SHALL BE VERIFIED IN FIELD PRIOR TO ORDERING NEW DOORS.

REVISIONS table with columns: REVISIONS, BY, DATE. Shows revisions 1, 2, and 3.

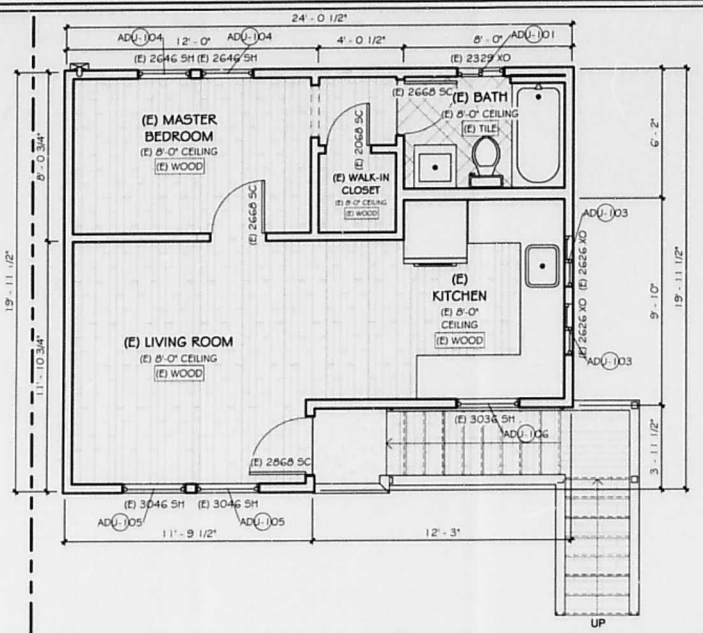
DESIGN CONSULTANT(S)
Mike Centurlo
Jennifer Melo
PROJECT DESIGNER
Enrique Covarrubias

Main Office
6642 River Street
Lanester, CA 95040
Tel: 619-441-9000
Fax: 619-586-5917
License #101016
www.marrokall.com

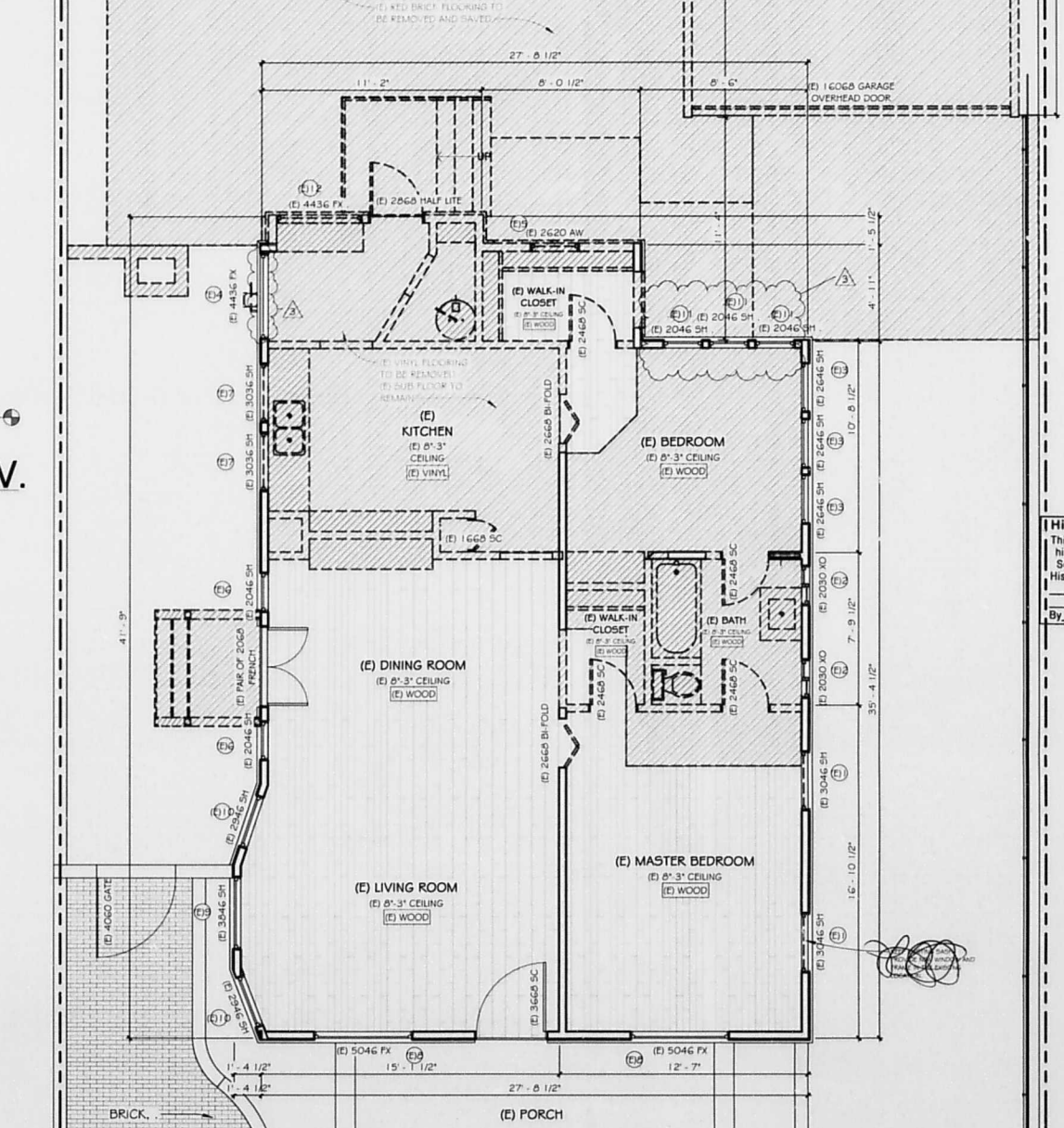
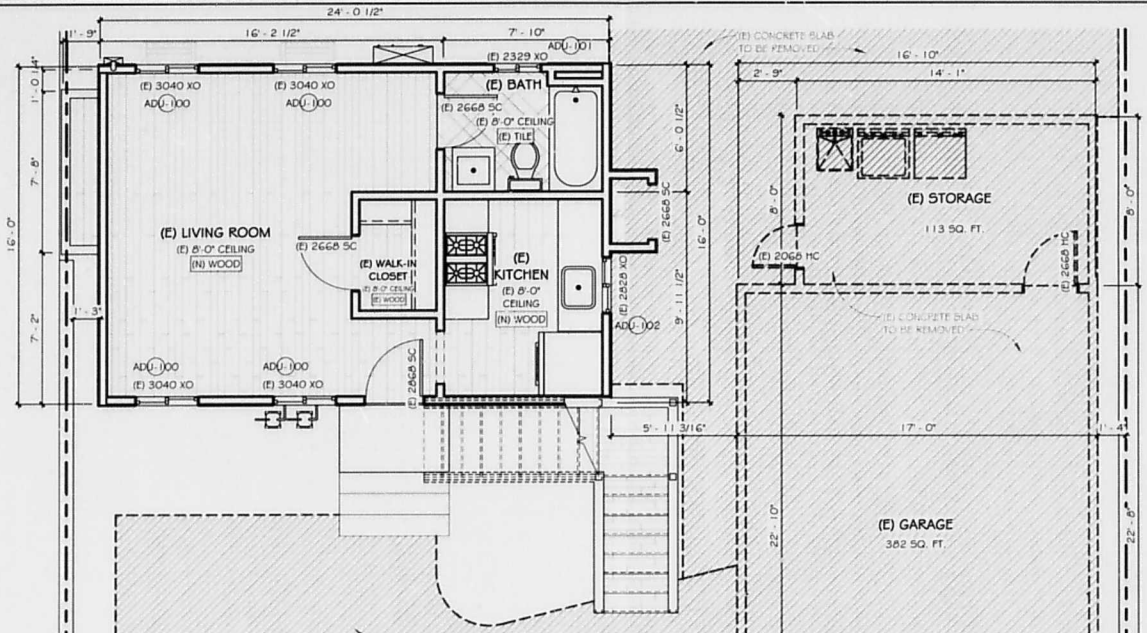
MARROKAL
DESIGN & REMODELING
LLC

A Home Remodel For:
DreamTable LLC (Matt and Love Zubiller)
3783 Pioneer Pl., San Diego, CA 92103
Sheet Title:
Door and Window Schedules and Notes

DRAWN / CHECKED
GM / MC / JM
DATE / TIME
8/27/2020
11:07:53 AM
PROJECT NUMBER
19-0061
JOB NAME
ZUBILLER
SHEET



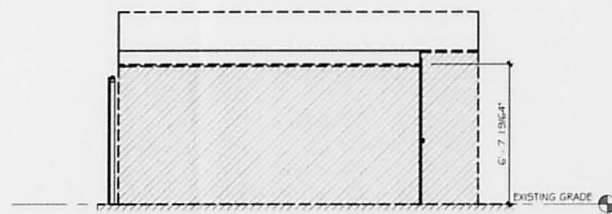
**EXISTING ADU SECOND FLOOR PLAN**  
1/4" = 1'-0"



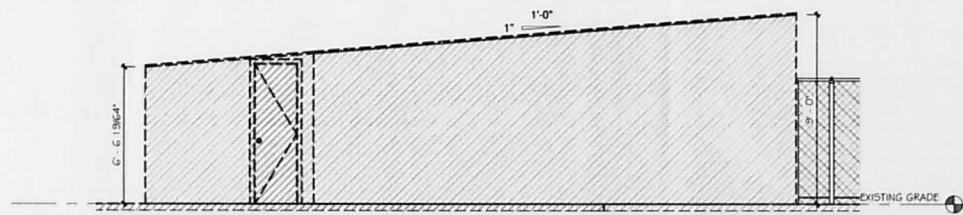
**EXISTING FLOOR PLAN**  
1/4" = 1'-0"



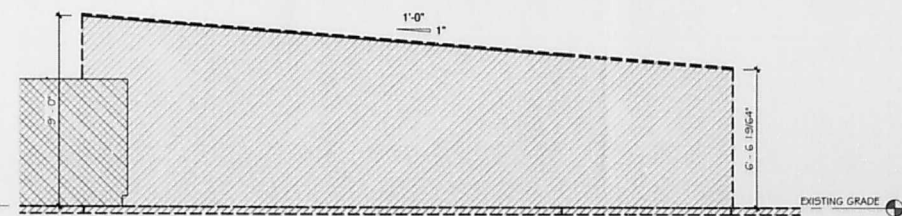
**EXISTING GARAGE FRONT ELEV.**  
1/4" = 1'-0"



**EXISTING GARAGE REAR ELEV.**  
1/4" = 1'-0"



**EXISTING GARAGE LEFT ELEV.**  
1/4" = 1'-0"



**EXISTING GARAGE RIGHT ELEV.**  
1/4" = 1'-0"

**Historical Resources Approval**  
This parcel contains a potentially significant historical resource. Approval is per SDMC Sec. 143.0220 for this scope of work only. Historic review is required for plan changes.

By: GRT Date: 8/14/2020  
3 of 5

**PLAN APPROVAL**  
PLANS AND SPECIFICATIONS APPROVED AS SHOWN WITH CHANGES NOTED IN RED AND INITIALED.  
OWNER: \_\_\_\_\_  
OWNER: \_\_\_\_\_  
DATE: \_\_\_\_\_

REVISIONS	BY
3	8-19-202
0	RL

DESIGN CONSULTANT(S)  
**Mike Centurlo**  
**Jonifer Melo**  
PROJECT DESIGNER  
**Enrique Covarrubias**

Plans Prepared By:  
**Marrokal Design Center**  
9474 Kearny Villa Rd., Suite 205 San Diego, CA 92126  
**Ron LaBarbera**  
Phone (659) 549-9000 ext. 27 Fax (659) 549-9011  
Ron@marrokal.com

**Main Office**  
9942 River Street  
Lakeside, CA 92040  
tel: 619-441-9300  
fax: 619-598-5917  
License #1010116  
www.marrokal.com



A Home Remodel For:  
**DreamTable LLC (Matt and Love Zubiller)**  
3783 Pioneer Pl. San Diego, CA 92103  
Sheet Title:  
**Existing/Demo Floor Plans**

DRAWN / CHECKED	GM/ MC/ JM
DATE / TIME	8/27/2020
PROJECT NUMBER	19-0061
JOB NAME	ZUBILLER
SHEET	A-4
OF	1 SHEETS

REVISIONS	BY
1	GM
2	
3	

DESIGN CONSULTANT(S)  
**Mike Centullo**  
**Jenifer Melo**  
 PROJECT DESIGNER  
**Enrique Covarrubias**

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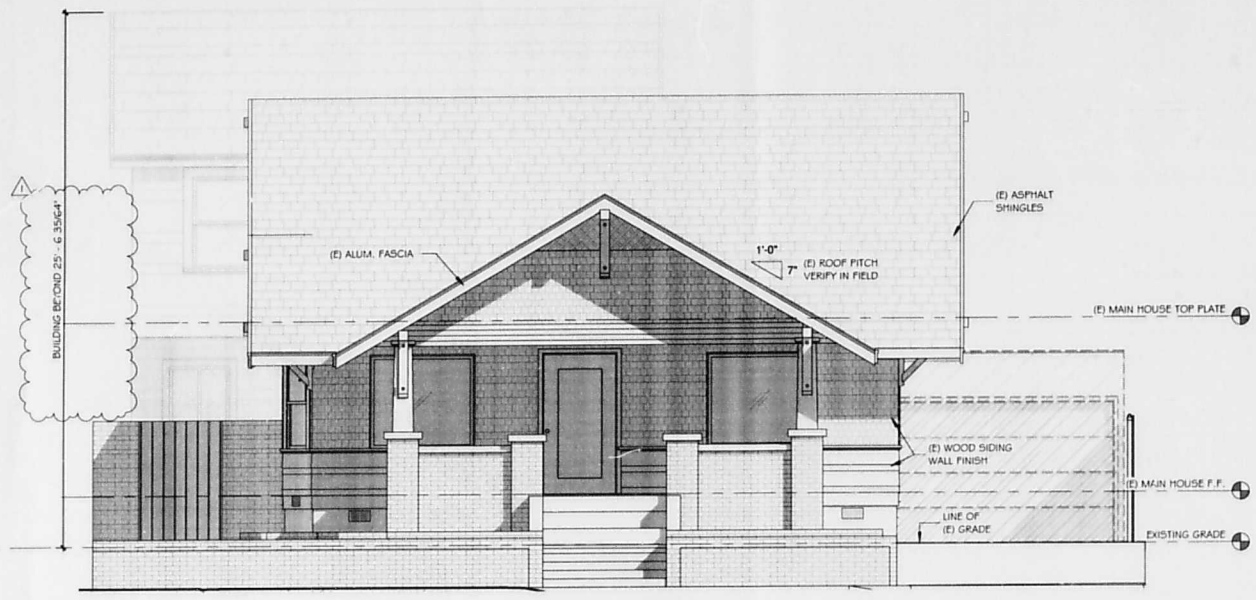
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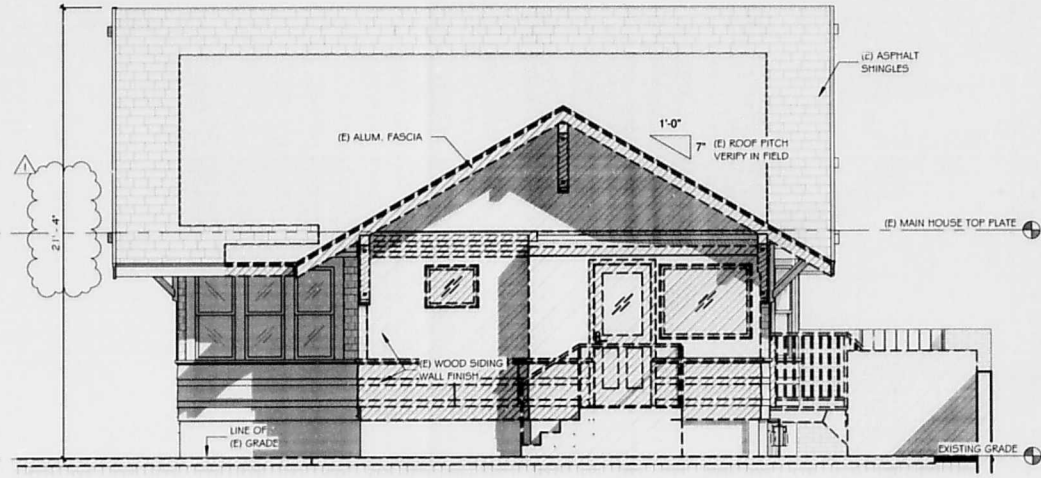
A Home Remodel For:  
**DreamTable LLC (Matt and Love Zubiller)**  
 3783 Pioneer Pl. San Diego, CA 92103  
 Sheet Title:  
**Exterior/Demo Elevations**

DRAWN / CHECKED  
 GM / MC / JM  
 DATE / TIME  
 8/27/2020  
 11:08:04 AM  
 PROJECT NUMBER  
 19-0061  
 JOB NAME  
 ZUBILLER  
 SHEET

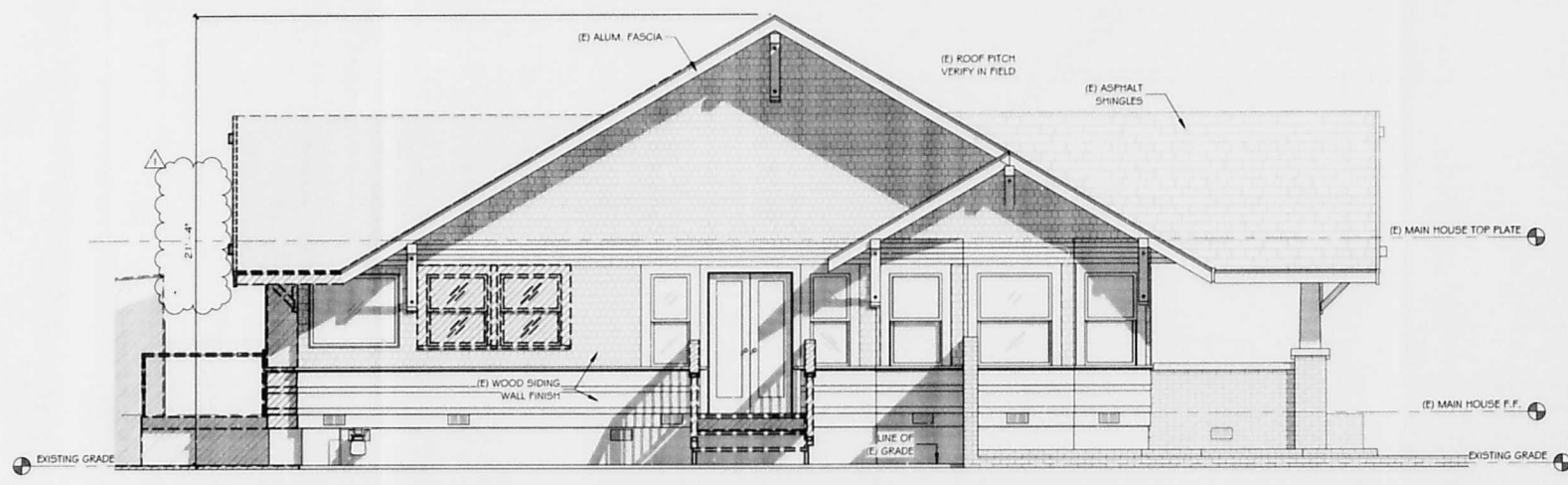
PLAN APPROVAL  
 PLANS AND SPECIFICATIONS  
 APPROVED AS SHOWN WITH  
 CHANGES NOTED IN RED,  
 AND INITIALED  
 OWNER \_\_\_\_\_  
 DATE \_\_\_\_\_



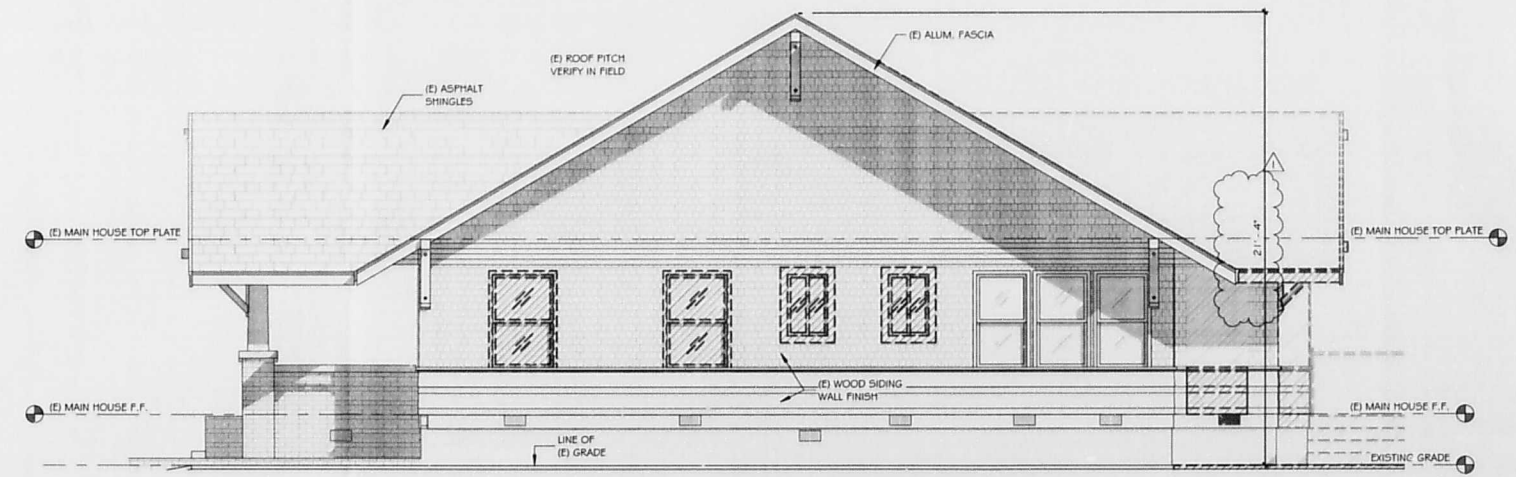
**EXISTING ELEVATION (FRONT)**  
 1/4" = 1'-0"



**EXISTING ELEVATION (REAR)**  
 1/4" = 1'-0"

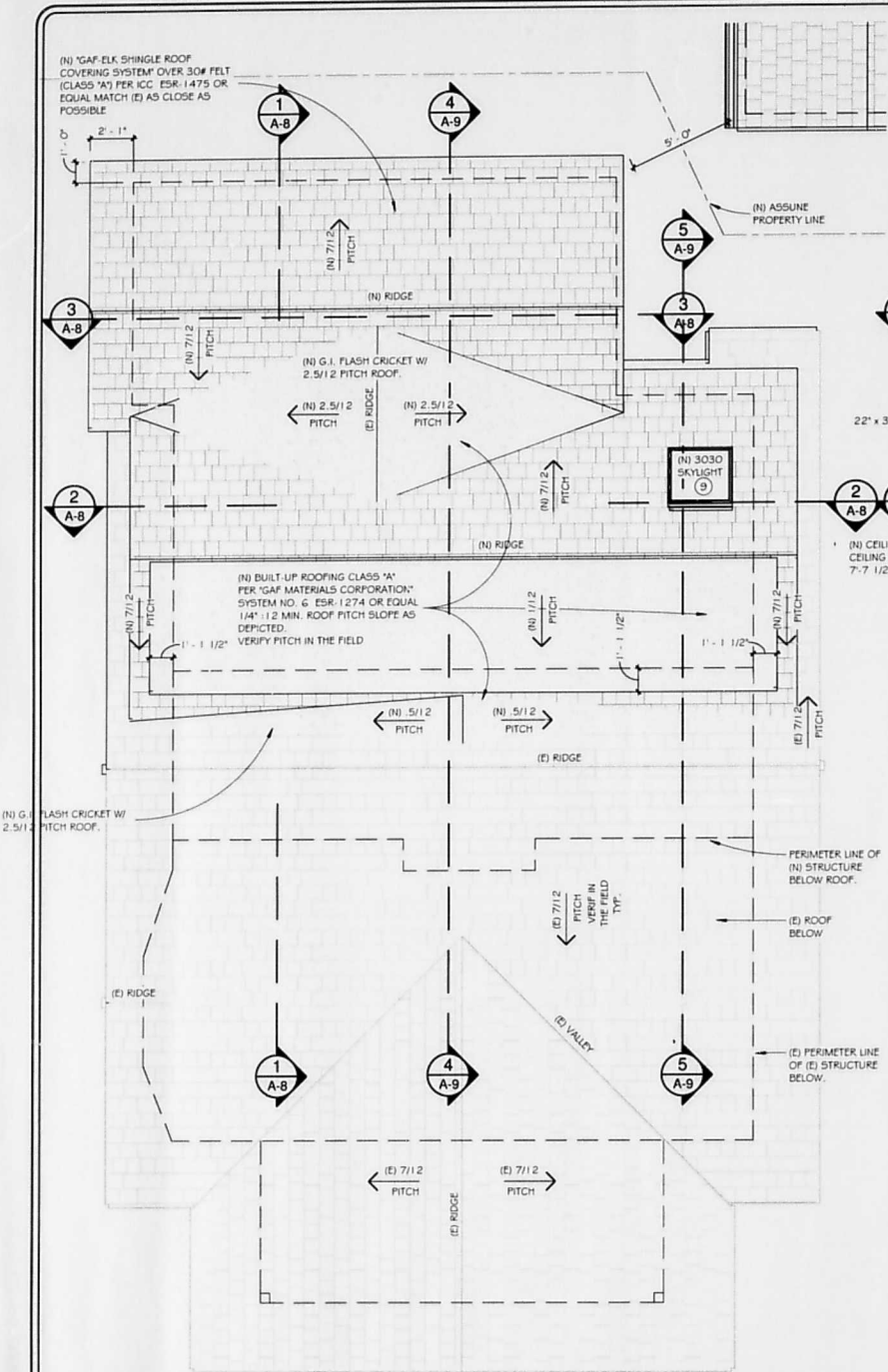


**EXISTING ELEVATION (LEFT SIDE)**  
 1/4" = 1'-0"

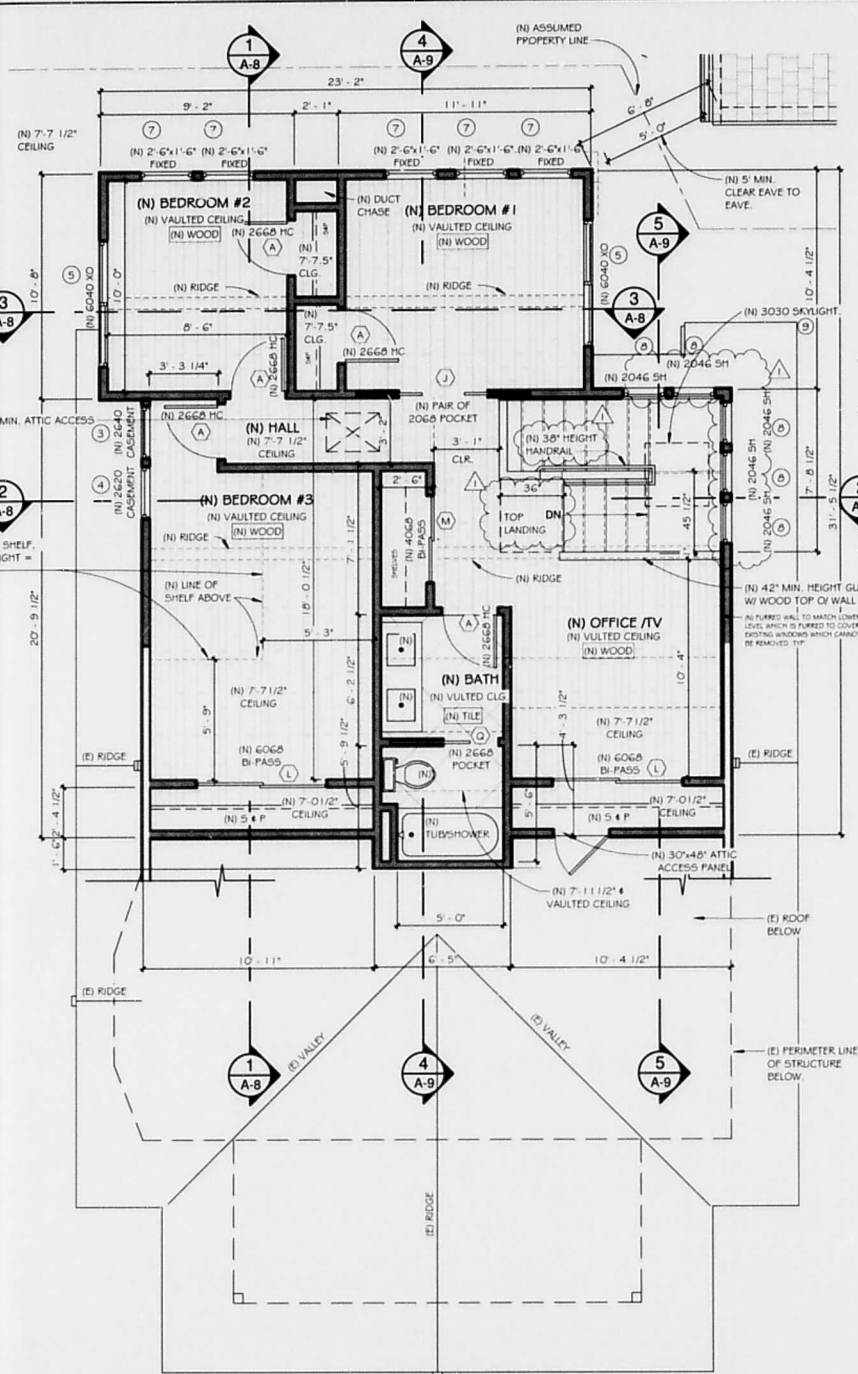


**EXISTING ELEVATION (RIGHT SIDE)**  
 1/4" = 1'-0"

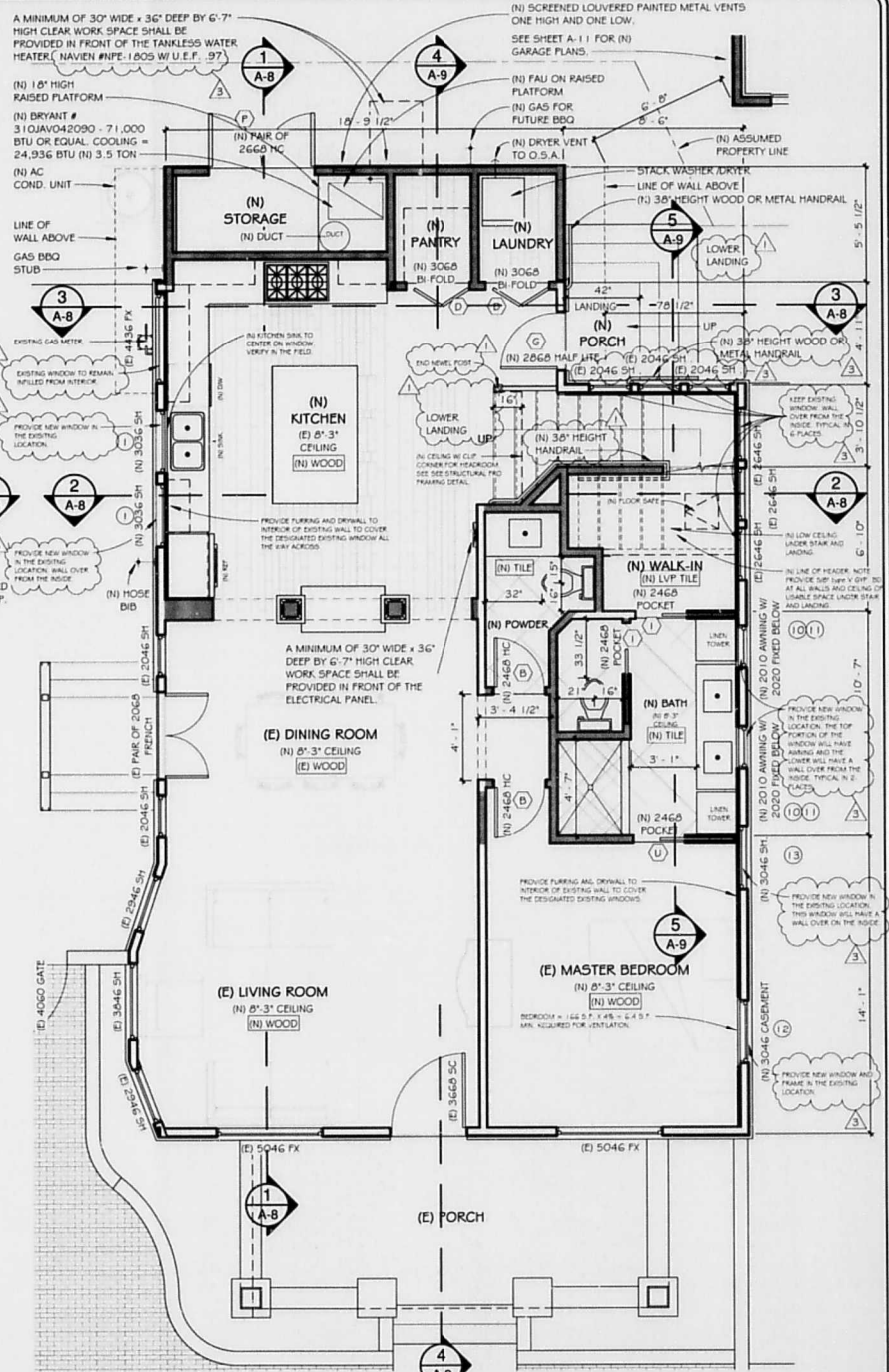
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**PROPOSED ROOF PLAN**  
1/4" = 1'-0"



**PROPOSED SECOND FLOOR PLAN**  
1/4" = 1'-0"



**PROPOSED FIRST FLOOR PLAN**  
1/4" = 1'-0"

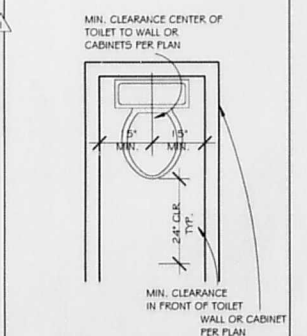
ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. ALL ROOF GUTTERS AND DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS.

DRIP EDGE FLASHING USED AT THE FREE EDGES OF ROOFING MATERIALS SHALL BE NON-COMBUSTIBLE.

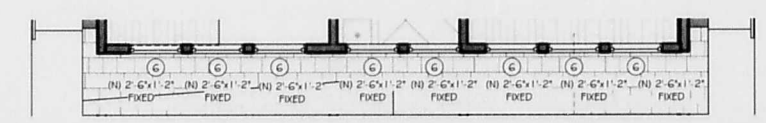
VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM GAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.

CHIMNEYS, FLUES OR STOVEPIPES ATTACHED TO ANY FIREPLACE, STOVE, BARBECUE OR OTHER SOLID OR LIQUID FUEL BURNING EQUIPMENT OR DEVICE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.

TURBINE ATTIC VENTS SHALL BE EQUIPPED TO ALLOW ONE-WAY DIRECTION ROTATION ONLY AND SHALL NOT FREE SPIN IN BOTH DIRECTIONS.



**MIN. TOILET CLEARANCES APPLICABLE FOR ALL TOILETS**



**PROPOSED SECOND FLOOR PLAN**  
1/4" = 1'-0"

DEVELOPMENT SERVICES  
STRUCTURAL REVIEW  
**Roberto Franco**  
10-04-20

Each pane of safety glazing installed in hazardous locations shall bear the permanent manufacturer's mark designating the type and thickness of the glass or glazing material, specifying who applied the designation, the manufacturer or installer who applied the safety glazing standard with which it complies. This identification mark shall be acid etched, sand blasted, ceramic fired, laser etched, embossed or of a type that, once applied, cannot be removed without being destroyed.

Hand rail ends shall be returned or terminating in newel post or safety terminals.

Shower compartments and bathtubs with installed shower heads shall be finished with a nonabsorbent surface that extends to a height of not less than 6 feet above the floor.

During construction, at least one extinguisher shall be provided on each floor level at each stairway, in all storage and construction sheds, in locations where flammable or combustible liquids are stored or used, and where other special hazards are present per CFC Section 33.15.1.

Buildings undergoing construction, alteration, or demolition shall conform to CFC Chapter 33. Welding, cutting, and other hot work shall be in conformance with CFC Chapter 35.

**Historic Resources Approval**  
This parcel contains a potentially significant historical resource. Approval is per SDMC Sec. 143.0220 for this scope of work only. Historic review is required for plan changes.  
By: GRT Date: 8/19/2020  
4 of 5

**WALL LEGEND**

(E) TO REMAIN	[Symbol]
(N) 2 x 4 WALLS	[Symbol]
(N) ONE HOUR WALLS PER DET. G/A-1.1	[Symbol]

**PLAN APPROVAL**  
PLANS AND SPECIFICATIONS APPROVED AS SHOWN WITH CHANGES NOTED IN RED AND INITIALED.  
OWNER: \_\_\_\_\_  
OWNER: \_\_\_\_\_  
DATE: \_\_\_\_\_

REVISIONS

03/04/20	GM
8-19-202	RL
0	

DESIGN CONSULTANT(S)  
**Mike Centurlo**  
**Jenifer Melo**  
PROJECT DESIGNER  
**Enrique Covarrubias**

Plans Prepared By:  
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**Ron LaBarbera**  
Phone (858) 549-9000 ext 27 Ron@marrokal.com Fax (858) 549-9011

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9842 River Street  
Lakeside, CA 92040  
Tel: 619-441-9000  
Fax: 619-588-5817  
License #1010116  
www.marrokal.com



A Home Remodel For:  
**DreamTable LLC (Matt and Love Zubiller)**  
3783 Pioneer Pl. San Diego, CA 92103  
Sheet Title:  
**Proposed Floor Plans**

DRAWN / CHECKED  
**GM / MC / JM**  
DATE / TIME  
**8/27/2020 11:08:06 AM**  
PROJECT NUMBER  
**19-0061**  
JOB NAME  
**ZUBILLER**  
SHEET  
**A-6**  
OF 1 SHEETS

REVISIONS	BY
3	8-19-202 RL
0	

DESIGN CONSULTANT(S)  
**Mike Centurlo**  
**Janifer Melo**  
PROJECT DESIGNER  
**Enrique Covarrubias**

Plans Prepared By:  
**Marrakol Design Center**  
9474 Kearny Villa Rd., Suite 205 San Diego, CA 92126  
**Ron LaBarbera**  
Phone (656) 449-9000 ext. 27 Ron@mmarroll.com Fax (656) 549-9011

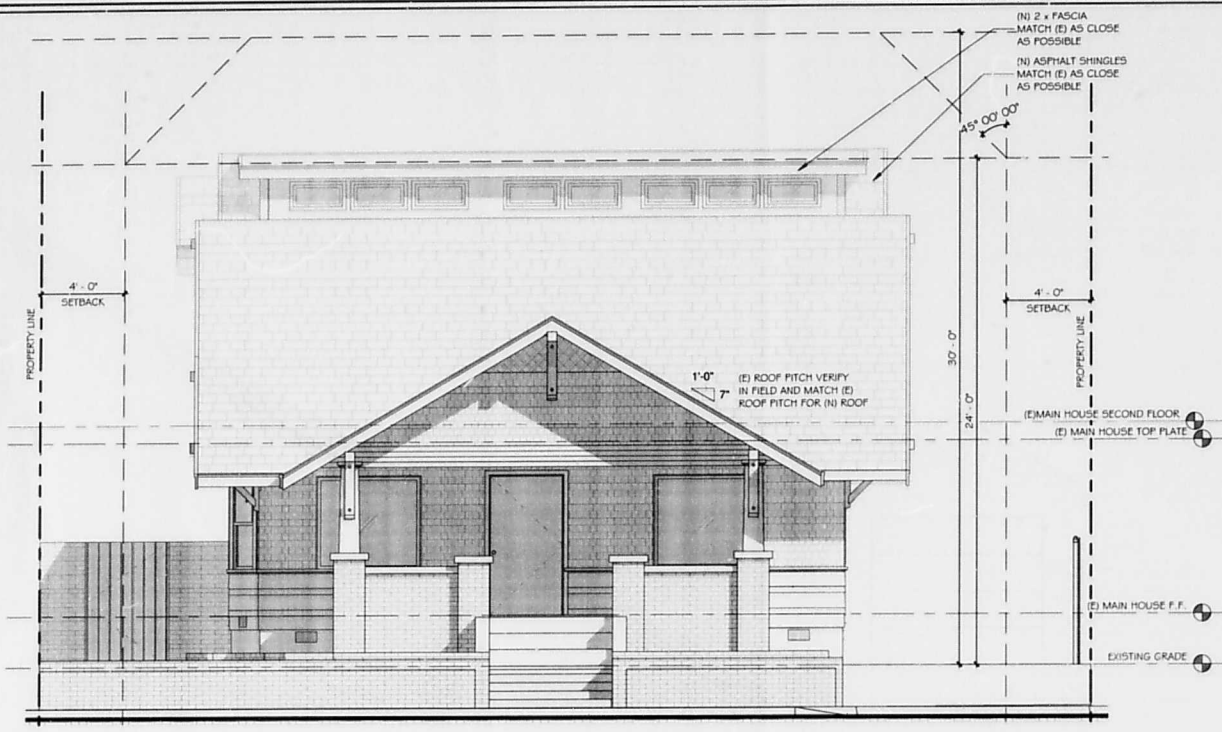
Main Office  
8842 River Street  
Lakeside, CA 92040  
tel: 619-441-9900  
fax: 619-586-5917  
License #1010116  
www.marrakol.com



A Home Remodel For:  
**DreamTable LLC (Matt and Love Zubiller)**  
3783 Pioneer Pl. San Diego, CA 92103  
Sheet Title:  
**Proposed Exterior Elevations**

DRAWN / CHECKED  
GM / MC / JM  
DATE / TIME  
8/27/2020  
11:08:14 AM  
PROJECT NUMBER  
19-0061  
JOB NAME  
ZUBILLER  
SHEET

**A-7**  
OF 1 SHEETS



**PROPOSED ELEVATION (FRONT)**  
1/4" = 1'-0"

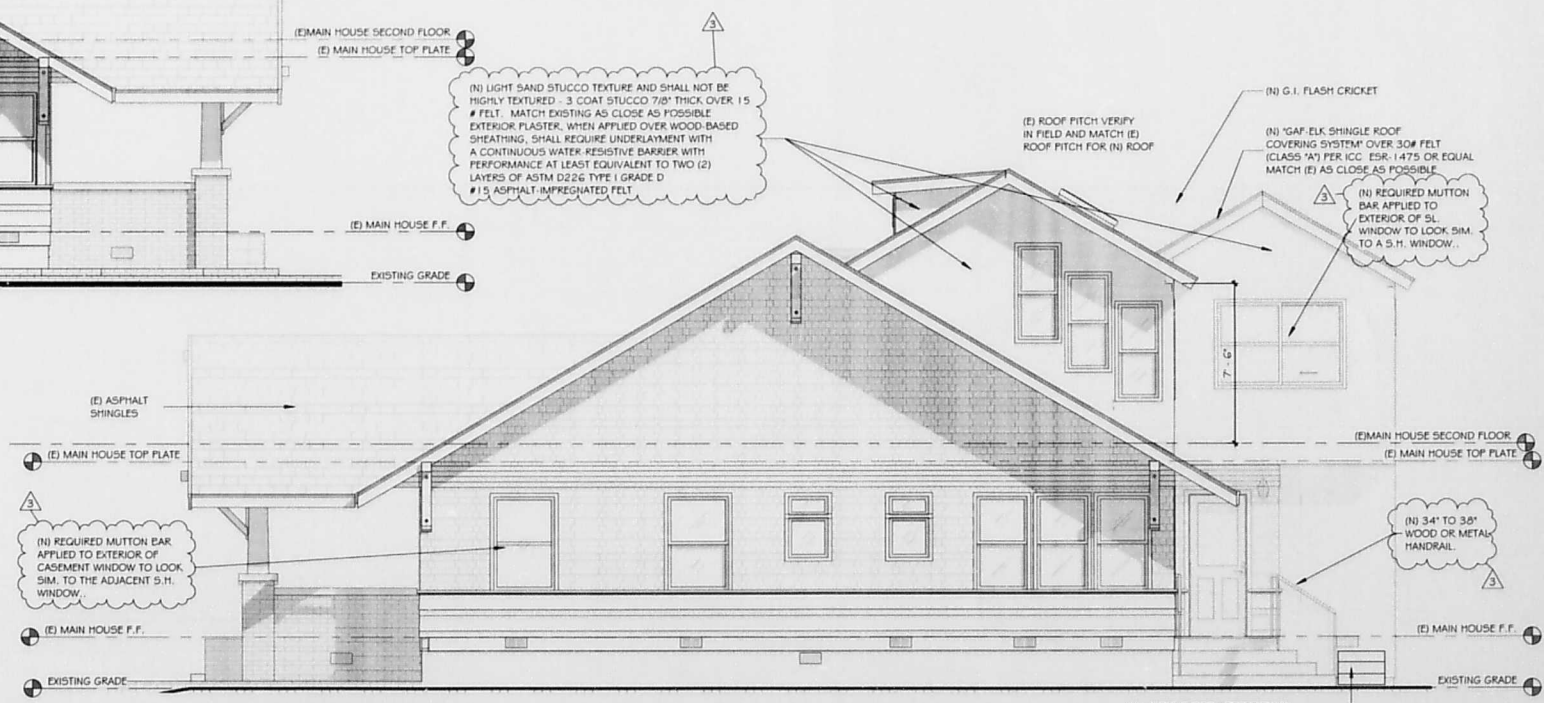


**PROPOSED ELEVATION (REAR)**  
1/4" = 1'-0"



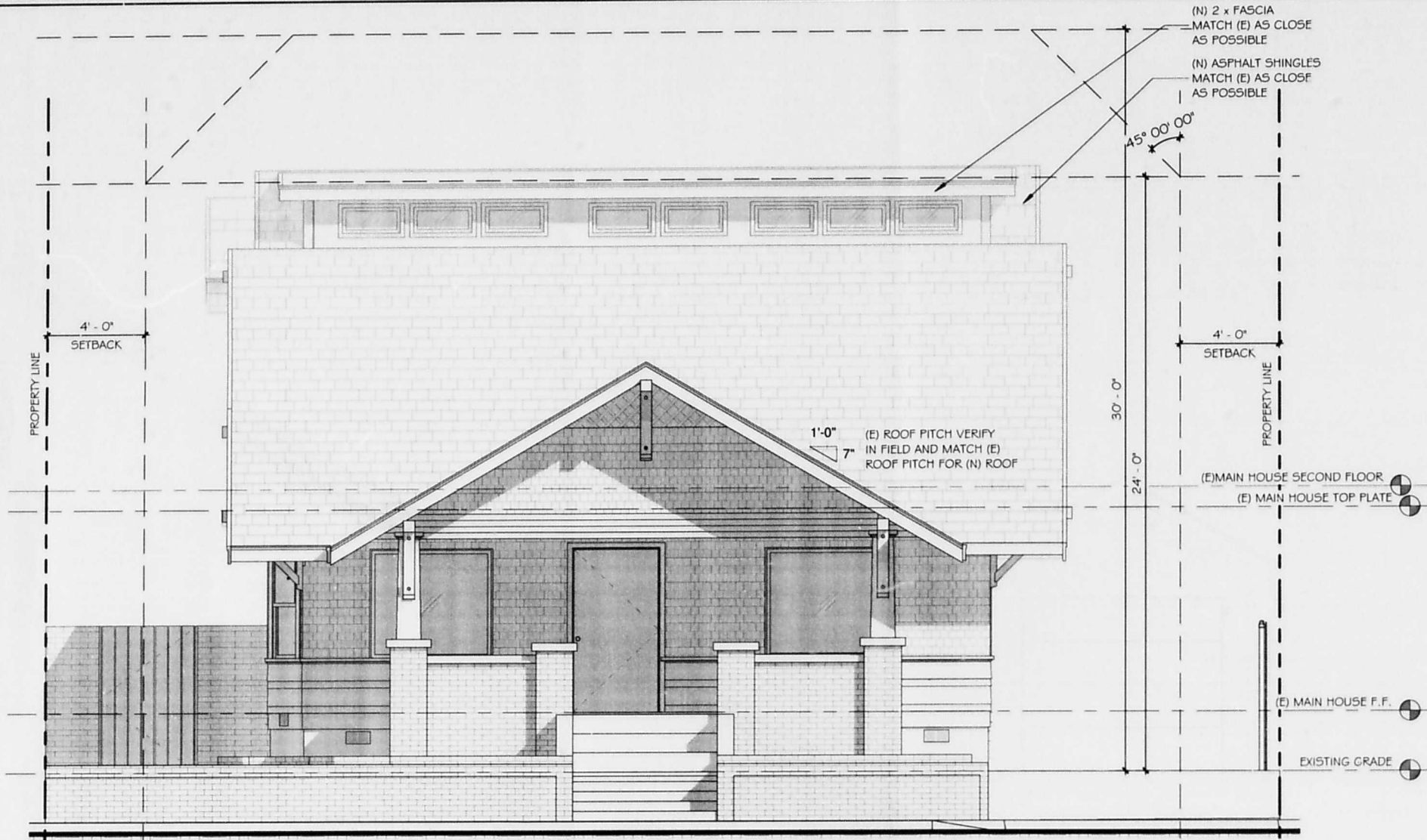
**PROPOSED ELEVATION (LEFT SIDE)**  
1/4" = 1'-0"

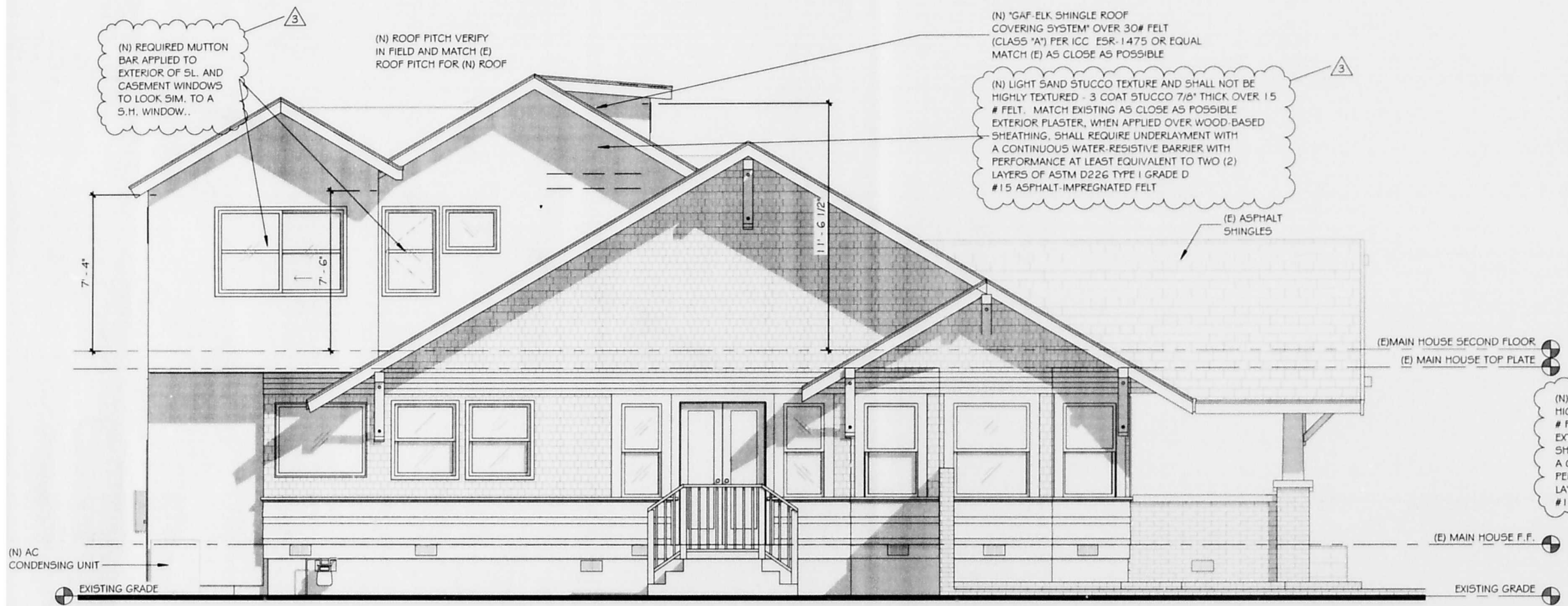
**Historical Resources Approval**  
This parcel contains a potentially significant historical resource. Approval is per SDMC Sec. 143.0220 for this scope of work only. Historic review is required for plan changes.  
By: CRT Date: 8/17/2020  
5 of 5



**PROPOSED ELEVATION (RIGHT SIDE)**  
1/4" = 1'-0"

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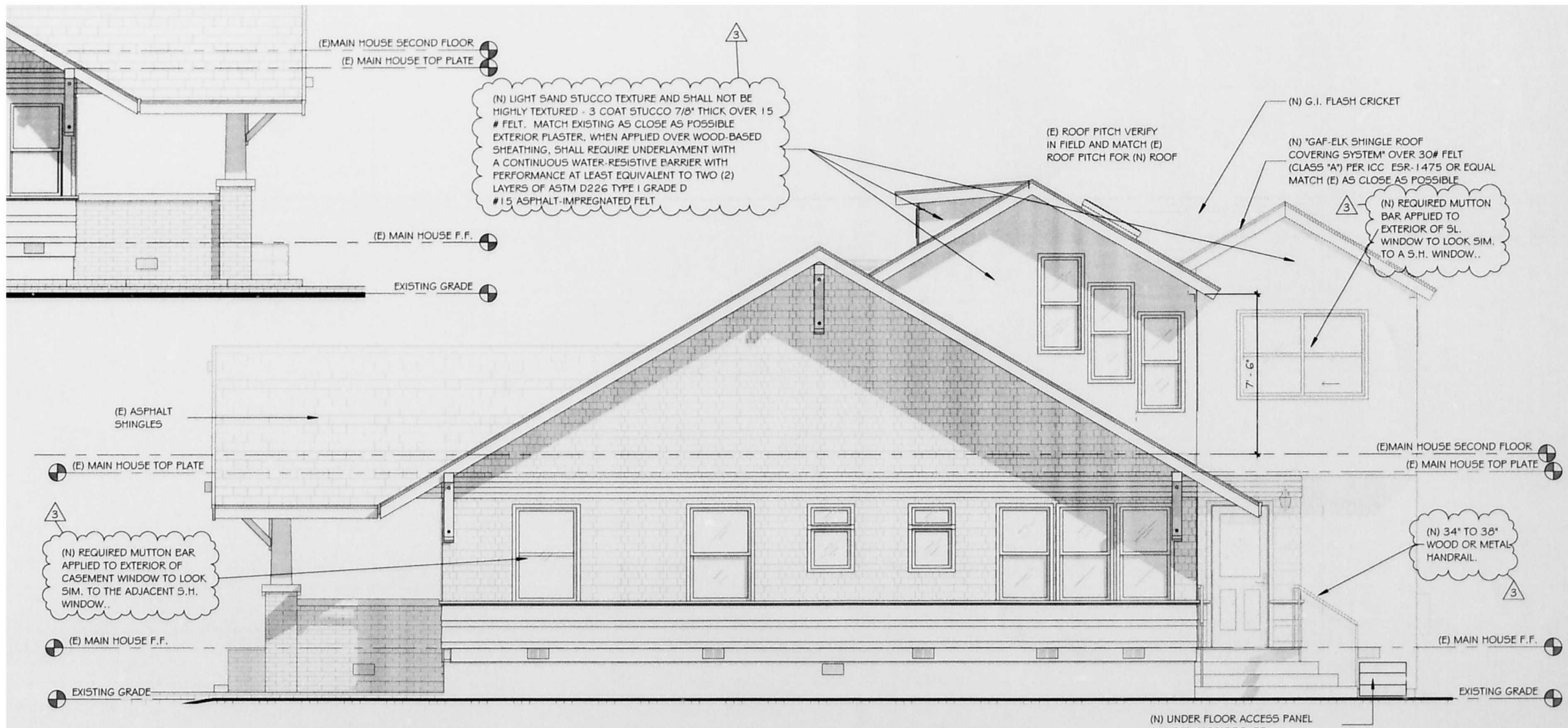




# PROPOSED ELEVATION (LEFT SIDE)

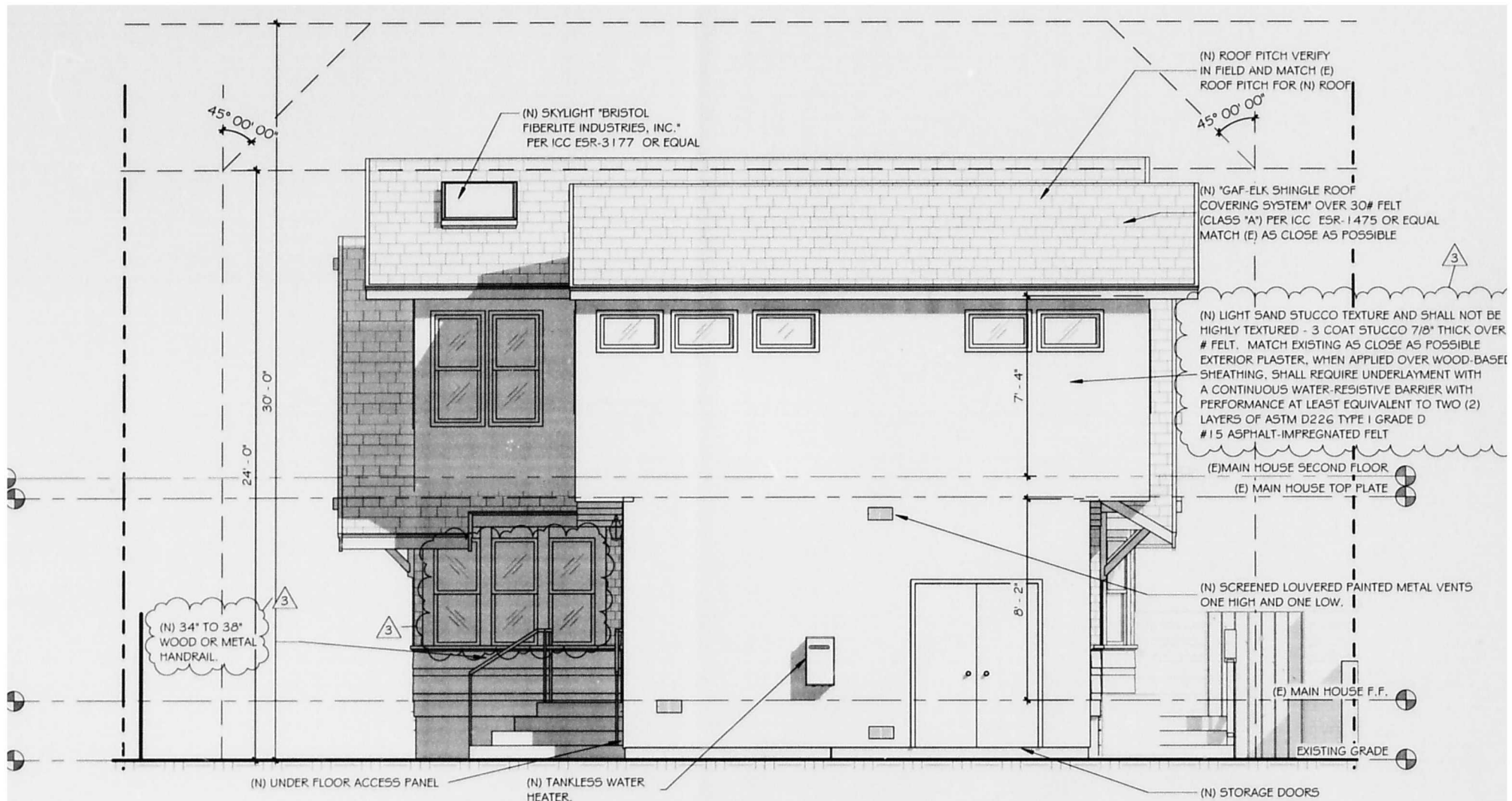
1/4" = 1'-0"





# PROPOSED ELEVATION (RIGHT SIDE)

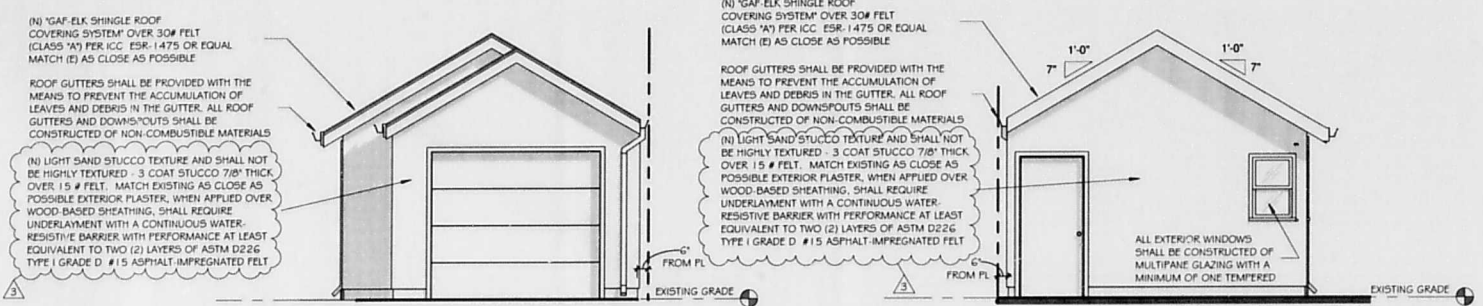
1/4" = 1'-0"



# PROPOSED ELEVATION (REAR)

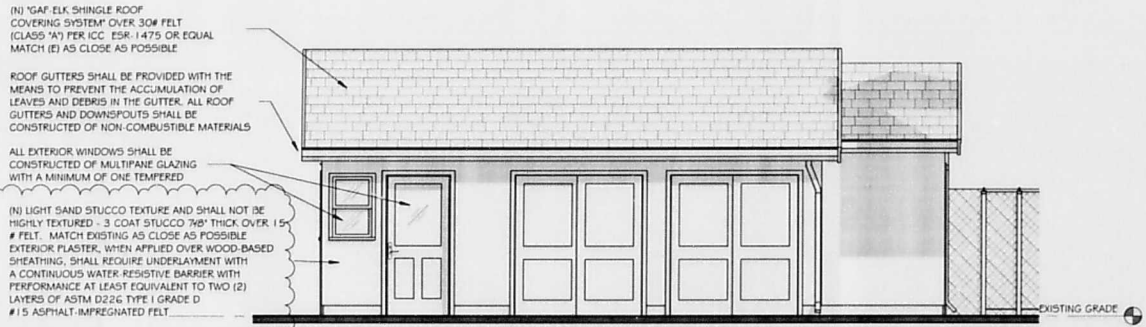
REVISIONS	BY
1 03/04/20	GM
3 8-19-202	RL
0	

DESIGN CONSULTANT(S)  
**Mike Centullo**  
**Jenifer Melo**  
 PROJECT DESIGNER  
**Enrique Covarrubias**

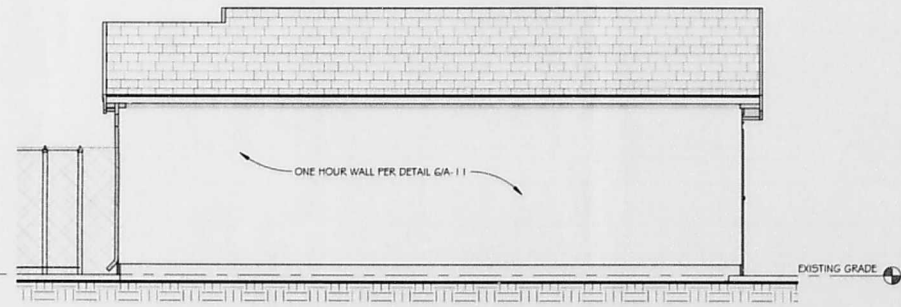


**EXISTING ELEVATION (REAR)**  
1/4" = 1'-0"

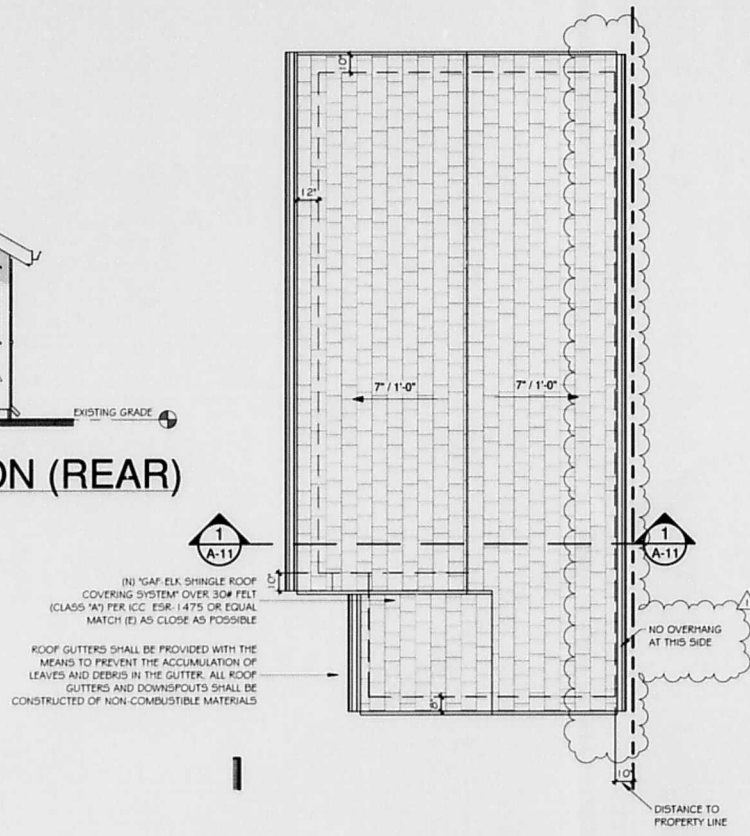
**PROPOSED ELEVATION (REAR)**  
1/4" = 1'-0"



**PROPOSED ELEVATION (LEFT SIDE)**  
1/4" = 1'-0"

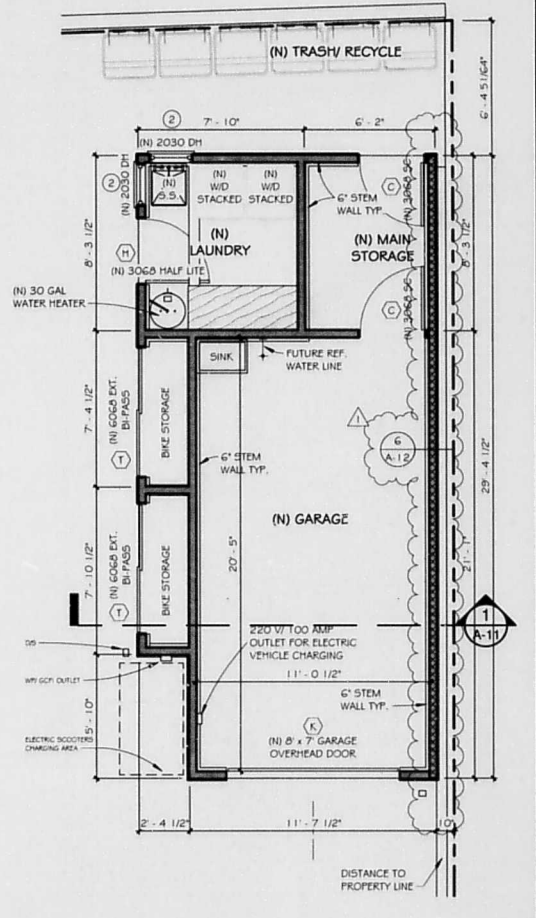


**PROPOSED ELEVATION (RIGHT SIDE)**  
1/4" = 1'-0"



**PROPOSED ROOF PLAN**  
1/4" = 1'-0"

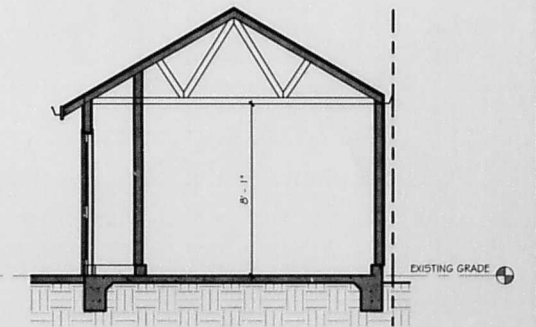
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**PROPOSED FLOOR PLAN**  
1/4" = 1'-0"

**WALL LEGEND**

(E) TO REMAIN	[Symbol]
(N) 2 x 4 WALLS	[Symbol]
(N) ONE HOUR WALLS PER DET. G/A-11	[Symbol]



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**MARROKAL**  
 DESIGN & REMODELING LLC

A Home Remodel For:  
**DreamTable LLC (Matt and Love Zubiller)**  
 3783 Pioneer Pl., San Diego, CA 92103  
 Sheet Title:  
**Garage Floor Plan, Roof Plan, Elevations & Section**

DRAWN / CHECKED  
 GM/ MC/ JM  
 DATE / TIME  
 8/27/2020  
 11:08:27 AM  
 PROJECT NUMBER  
 19-0061  
 JOB NAME  
 ZUBILLER  
 SHEET

**A-11**

OF 1 SHEETS