

# City of San Diego

CONTRACTOR'S NAME: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
TELEPHONE NO.: \_\_\_\_\_ FAX NO.: \_\_\_\_\_  
CITY CONTACT: Clementina Giordano - Contract Specialist, Email: [CGiordano@sandiego.gov](mailto:CGiordano@sandiego.gov)  
Phone No. (619) 533-3481, Fax No. (619) 533-3633  
Y.Hanna/R Taleghani/Lad

## CONTRACT DOCUMENTS



## FOR

### Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal

VOLUME 1 OF 2

BID NO.: \_\_\_\_\_ L-14-1194-DBB-1  
SAP NO. (WBS/IO/CC): \_\_\_\_\_ B-13022 / B-13020  
CLIENT DEPARTMENT: \_\_\_\_\_ 1714  
COUNCIL DISTRICT: \_\_\_\_\_ 7  
PROJECT TYPE: \_\_\_\_\_ BT

**THIS CONTRACT IS SUBJECT TO THE FOLLOWING:**

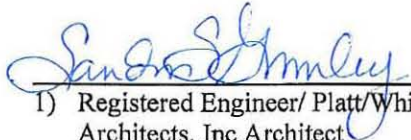
- THE CITY'S SUBCONTRACTING PARTICIPATION REQUIREMENTS FOR SLBE PROGRAM.
- COMPETITION RESTRICTED TO: SLBE-ELBE  or ELBE FIRMS ONLY .
- PREVAILING WAGE RATES: STATE  FEDERAL

**BID DUE DATE:**

**1:30 PM  
APRIL 17, 2014  
CITY OF SAN DIEGO  
PUBLIC WORKS CONTRACTING GROUP  
1010 SECOND AVENUE, 14<sup>th</sup> FLOOR, MS 614C  
SAN DIEGO, CA 92101**

# ENGINEER OF WORK

The engineering Specifications and Special Provisions contained herein have been prepared by or under the direction of the following Registered Engineer/ Platt/Whitelaw Architects, Inc Architect:



1) Registered Engineer/ Platt/Whitelaw Architects, Inc Architect

3.17.14

Date



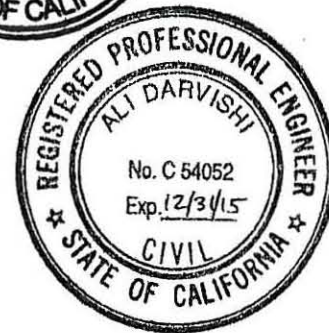


2) For City Engineer

3/17/14

Date

Seal



## TABLE OF CONTENTS

DESCRIPTION	PAGE NUMBER
1. NOTICE INVITING BIDS.....	4
2. CONTRACT FORMS .....	15
3. CONTRACT FORMS ATTACHMENTS:	
1. Performance Bond and Labor and Materialmen’s Bond .....	19
2. Drug-Free Workplace.....	21
3. American with Disabilities Act (ADA) Compliance Certification .....	22
4. Contractor Standards - Pledge of Compliance Certificate .....	23
5. Affidavit of Disposal Certificate .....	24
4. ATTACHMENTS:	
A. SCOPE OF WORK .....	26
B. INTENTIONALLY LEFT BLANK.....	28
C. EQUAL OPPORTUNITY CONTRACTING PROGRAM .....	29
D. INTENTIONALLY LEFT BLANK.....	34
E. SUPPLEMENTARY SPECIAL PROVISIONS .....	35
TECHNICALS .....	45
SUPPLEMENTARY SPECIAL PROVISIONS APPENDICES .....	142
1. Appendix A –Notice of Exemption.....	143
2. Appendix B - Fire Hydrant Meter Program .....	146
3. Appendix C - Materials Typically Accepted by Certificate of Compliance .....	160
4. Appendix D - Sample City Invoice .....	162
5. Appendix E - Location Map.....	164
6. Appendix F- Asbestos and Lead Report.....	166
F. INTENTIONALLY LEFT BLANK.....	179

# CITY OF SAN DIEGO, CALIFORNIA

## NOTICE INVITING BIDS

1. **LIMITED COMPETITION:** This contract may only be bid by the Contractors on the City's approved SLBE-ELBE Construction Contractors List. For information regarding the SLBE-ELBE Construction Program and registration visit the City's web site: <http://www.sandiego.gov>.
2. **RECEIPT AND OPENING OF BIDS:** Bids will be received at the Public Works Contracting Group at the location, time, and date shown on the cover of these specifications for performing work on **TIMKEN GALLERY and MORLEY FIELD TENNIS REGISTRATION CENTER ADA BARRIER REMOVAL**.
3. **SUMMARY OF WORK:** The Work involves furnishing all labor, materials, equipment, services, and other incidental works and appurtenances for the construction of the Project as described as described in ATTACHMENT A.
4. **BIDS ARE PUBLIC RECORDS:** Upon receipt by the City, Bids shall become public records subject to public disclosure. It is the responsibility of the respondent to clearly identify any confidential, proprietary, trade secret or otherwise legally privileged information contained within the Bid. General references to sections of the California Public Records Act (PRA) will not suffice. If the Contractor does not provide applicable case law that clearly establishes that the requested information is exempt from the disclosure requirements of the PRA, the City shall be free to release the information when required in accordance with the PRA, pursuant to any other applicable law, or by order of any court or government agency, and the Contractor will hold the City harmless for release of this information.
5. **SUBCONTRACTING PARTICIPATION PERCENTAGES .**
  - 5.1. The City has incorporated voluntary subcontractor participation percentage to enhance competition and maximize subcontracting opportunities as follows.
  - 5.2. The following voluntary subcontractor participation percentage for DBE, DVBE, WBE, MBE, SLBE, and ELBE certified Subcontractors shall apply to this contract:  
  
**Total voluntary subcontractor participation percentage for this project is 14.3%.**
6. **PRE-BID MEETING:**
  - 6.1. There will be a Pre-Bid Meeting to discuss the scope of the Project, bidding requirements, pre-qualification process, and Equal Opportunity Contracting Program requirements and reporting procedures in the Public Works Contracting Group, Conference Room at 1010 Second Avenue, 14<sup>th</sup> Floor, San Diego, CA 92101 at **10:00 A.M., on April 01, 2014.**
  - 6.2. **The Pre-Bid Meeting has been designated as MANDATORY. All potential bidders are required to attend.** Bid will be declared **non-responsive** if the Bidder fails to attend the Pre-Bid Meeting when specified to be mandatory. Attendance at the Pre-Bid Meeting will be evidenced by the representative's signature on the attendance roster. It shall be the responsibility of the Bidder's representative to

complete and sign the attendance roster. **No Bidder will be admitted after the specified start time of the mandatory Pre-Bid Meeting.**

- 6.3. To request a copy of the agenda on an alternative format, or to request a sign language or oral interpreter for this meeting, call the Public Works Contracting Group at (619) 533-3450 at least 5 Working Days prior to the Pre-Bid Meeting to ensure availability.

**7. CONTRACTOR REGISTRATION AND ELECTRONIC REPORTING SYSTEM:**

- 7.1. **Prior** to the Award of the Contract or each Task Order, you and your Subcontractors and Suppliers must register with the City's web-based contract compliance website, Prism®, located here:

<https://pro.prismcompliance.com/default.aspx>.

- 7.2. The City may not award the contract until registration of all subcontractors and suppliers is complete. In the event this requirement is not met within the time frame specified in the Notice of Intent to Award letter, the City reserves the right to rescind the Notice of Award / Intent to Award and to make the award to the next responsive and responsible bidder / proposer.

8. **PRE-BID SITE VISIT:** The Pre-Bid Site Visit has been designated as MANDATORY. The prospective Bidders are required to visit the Work Site with the Engineer. The purpose of the Site visit is to acquaint Bidders with the Site conditions. To request a sign language or oral interpreter for this visit, call the Public Works Contracting Group at (619) 533-3450 at least 5 Working Days prior to the meeting to ensure availability. A Pre-Bid Site Visit is offered when the details are provided as follows:

**Time:** Immediately following the Mandatory Pre-Bid Meeting 11:30 a.m.

**Date:** Note to PCP – Same date of the Pre-Bid Meeting

**Location:** 1500 El Prado, San Diego and 2221 Morley Field Drive, San Diego

9. **JOINT VENTURE CONTRACTORS.** Provide a copy of the Joint Venture agreement and the Joint Venture license to the City within 10 Working Days after receiving the Contract forms. See 2-1.1.2, "Joint Venture Contractors" in The WHITEBOOK for details.

10. **PREVAILING WAGE RATES:** Prevailing wage rates apply to this contract.

**10.1. STATE REQUIREMENTS FOR CONTRACTS SUBJECT TO STATE PREVAILING WAGE REQUIREMENTS.**

- 10.1.1. In accordance with the provisions of California Labor Code Sections 1770, et seq. as amended, the Director of the Department of Industrial Relations has determined the general prevailing rate of per diem wages in accordance with the standards set forth in such Sections for the locality in which the Work is to be performed. Copies of the prevailing rate of per diem wages may be found at [http://www.dir.ca.gov/dlsr/statistics\\_research.html](http://www.dir.ca.gov/dlsr/statistics_research.html). The Contractor shall post a copy of the above determination of the prevailing rate of per diem wages at each job site and shall make them available to any interested party on request.

- 10.1.2. Pursuant to Sections 1720 et seq., and 1770 et seq., of the California Labor Code the Contractor any Subcontractor shall pay not less than said specified rates determined by the Director of the California Department of Industrial Relations to all workmen employed by them in the execution of the Work.
- 10.1.3. The wage rates determined by the Director of Industrial Relations and published in the Department of Transportation publication entitled, "General Prevailing Wage Rates", refer to expiration dates. If the published wage rate does not refer to a predetermined wage rate to be paid after the expiration date, said published rate of wage shall be in effect for the life of this contract. If the published wage rate refers to a predetermined wage rate to become effective upon expiration of the published wage rate and the predetermined wage rate is on file with the Department of Industrial Relations, such predetermined wage rate shall become effective on the date following the expiration date and shall apply to this contract in the same manner as if it had been published in said publication. If the predetermined wage rate refers to one or more additional expiration dates with additional predetermined wage rates, which expiration dates occur during the life of this contract, each successive predetermined wage rate shall apply to this contract on the date following the expiration date of the previous wage rate. If the last of such predetermined wage rates expires during the life of this contract, such wage rate shall apply to the balance of the contract.
- 10.1.4. The successful bidder intending to use a craft or classification not shown on the prevailing rate determinations may be required to pay the rate of the craft or classification most closely related to it.

**11. INSURANCE REQUIREMENTS:**

- 11.1. All certificates of insurance and endorsements required by the contract are to be provided upon issuance of the City's Notice of Intent to Award letter.
- 11.2. Refer to sections 7-3, "LIABILITY INSURANCE", and 7-4, "WORKERS' COMPENSATION INSURANCE" of the Supplementary Special Provisions (SSP) for the insurance requirements which must be met.

**12. PREQUALIFICATION OF CONTRACTORS:**

- 12.1. Contractors submitting Bid must be pre-qualified for the total amount proposed, inclusive of all alternate items prior to the date of submittal. Bids from contractors who have not been pre-qualified as applicable and Bids that exceed the maximum dollar amount at which contractors are pre-qualified will be deemed **non-responsive** and ineligible for award. Complete information and prequalification questionnaires are available at:

<http://www.sandiego.gov/cip/bidopps/prequalification.shtml>

- 12.2. The completed questionnaire, financial statement, and bond letter or a copy of the contractor's SLBE-ELBE certification and bond letter, must be submitted no later

than 2 weeks prior to the bid opening to the Public Works Contracting Group, Prequalification Program, 1010 Second Avenue, Suite 1400, San Diego, CA 92101. For additional information or the answer to questions about the prequalification program, contact David Stucky at 619-533-3474 or [dstucky@sandiego.gov](mailto:dstucky@sandiego.gov).

- 13. REFERENCE STANDARDS:** Except as otherwise noted or specified, the Work shall be completed in accordance with the following standards:

Title	Edition	Document Number
Standard Specifications for Public Works Construction (“The GREENBOOK”)	2012	PITS070112-01
City of San Diego Standard Specifications for Public Works Construction (“The WHITEBOOK”)*	2012	PITS070112-02
City of San Diego Standard Drawings*	2012	PITS070112-03
Caltrans Standard Specifications	2010	PITS070112-04
Caltrans Standard Plans	2010	PITS070112-05
California MUTCD	2012	PITS070112-06
City Standard Drawings - Updates Approved For Use (when specified)*	Varies	Varies
Standard Federal Equal Employment Opportunity Construction Contract Specifications and the Equal Opportunity Clause Dated 09-11-84	1984	769023
California Building Code	2010	
California Code of Regulations Title 24	2010	
ADA Standards for Accessible Design and Department of Justice 28 CFR Parts 35 & 36	2010	
NOTE: *Available online under Engineering Documents and References at: <a href="http://www.sandiego.gov/publicworks/edocref/index.shtml">http://www.sandiego.gov/publicworks/edocref/index.shtml</a>		

- 14. CITY'S RESPONSES AND ADDENDA:** The City at its option, may respond to any or all questions submitted in writing, via letter, or FAX in the form of an addendum. No oral comment shall be of any force or effect with respect to this solicitation. The changes to the Contract Documents through addendum are made effective as though originally issued with the Bid. The Bidders shall acknowledge the receipt of Addenda on the form provided for this purpose in the Bid.
- 15. CITY'S RIGHTS RESERVED:** The City reserves the right to cancel the Notice Inviting Bids at any time, and further reserves the right to reject submitted Bids, without giving any reason for such action, at its sole discretion and without liability. Costs incurred by the Bidder(s) as a result of preparing Bids under the Notice Inviting Bids shall be the sole responsibility of each bidder. The Notice Inviting Bids creates or imposes no obligation upon the City to enter a contract.

- 16. CONTRACT PRICING FORMAT:** This solicitation is for a Lump Sum contract with Unit Price provisions as set forth in the Bid Proposal Form(s), Volume 2.
- 17. SUBMITTAL OF “OR EQUAL” ITEMS:** See Section 4-1.6, “Trade Names or Equals” in The WHITEBOOK and as amended in the SSP.
- 18. AWARD PROCESS:**
- 18.1.** The Award of this contract is contingent upon the Contractor’s compliance with all conditions precedent to Award.
- 18.2.** Upon acceptance of a Bid, the City will prepare contract documents for execution within approximately 21 days of the date of the Bid opening and award the Contract approximately within 7 days of receipt of properly executed Contract, bonds, and insurance documents.
- 18.3.** This contract will be deemed executed, and effective, only upon the signing of the Contract by the Mayor or designee of the City.
- 19. SUBCONTRACT LIMITATIONS:** The Bidder’s attention is directed to Standard Specifications for Public Works Construction, Section 2-3, “SUBCONTRACTS” in The GREENBOOK and as amended in the SSP which requires the Contractor to self-perform not less than the specified amount. Failure to comply with this requirement shall render the bid **non-responsive** and ineligible for award.
- 20. AVAILABILITY OF PLANS AND SPECIFICATIONS:** Contract Documents may be obtained by visiting the City’s website: <http://www.sandiego.gov/cip/>. Plans and Specifications for this contract are also available for review in the office of the City Clerk or Public Works Contracting Group.
- 21. SUBMISSION OF QUESTIONS:**
- 21.1.** The Director (or designee), of the Public Works Department is the officer responsible for opening, examining, and evaluating the competitive Bids submitted to the City for the acquisition, construction and completion of any public improvement except when otherwise set forth in these documents. All questions related to this solicitation shall be submitted to:
- Public Works Contracting Group  
1010 Second Avenue, 14<sup>th</sup> Floor  
San Diego, California, 92101  
Attention: [Contract Specialist listed on the front cover hereof]
- OR:
- Email address of the Contract Specialist listed on the front cover hereof.
- 21.2.** Questions received less than 14 days prior to the date for opening of Bids may not be considered.



- 21.3. Clarifications deemed by the City to be material shall be issued by Addenda and uploaded to the City's online bidding service.
- 21.4. Only questions answered by formal written addenda will be binding. Oral and other interpretations or clarifications will be without legal effect. It is the Bidder's responsibility to become informed of any Addenda that have been issued and to include all such information in its Bid.
22. **ELIGIBLE BIDDERS:** No person, firm, or corporation shall be allowed to make, file, or be interested in **more** than one (1) Bid for the same work unless alternate Bids are called for. A person, firm or corporation who has submitted a sub-proposal to a Bidder, or who has quoted prices on materials to a Bidder, is not hereby disqualified from submitting a sub-proposal or quoting prices to other Bidders or from submitting a Bid in its own behalf. Any Bidder who submits more than one bid will result in the rejection of all bids submitted.
23. **SAN DIEGO BUSINESS TAX CERTIFICATE:** The Contractor and Subcontractors, not already having a City of San Diego Business Tax Certificate for the work contemplated shall secure the appropriate certificate from the City Treasurer, Civic Center Plaza, first floor and submit to the Contract Specialist upon request or as specified in the Contract Documents. Tax Identification numbers for both the Bidder and the listed Subcontractors must be submitted on the City provided forms with the Notice Inviting Bids and Contract forms.
24. **PROPOSAL FORMS:** Bid shall be made only upon the Bidding Documents i.e., Proposal form attached to and forming a part of the specifications. The signature of each person signing shall be in longhand.
- 24.1. Bidder shall complete and submit all pages in the "Bidding Document" Section (see Volume 2) as their Bid per the schedule given under "Required Documents Schedule," (see Volume 1). Bidder is requested to retain for their reference other portions of the Contract Documents that are not required to be submitted with the Bid. The entire specifications for the bid package do not need to be submitted with the bid.
- 24.2. The City may require any Bidder to furnish a statement of experience, financial responsibility, technical ability, equipment, and references.
- 24.3. Bids and certain other forms and documents as specified in the Volume 2 of 2 of the Contract Documents shall be enclosed in a sealed envelope and shall bear the title of the work and name of the Bidder and the appropriate State Contractors License designation which the Bidder holds.
- 24.4. Bids may be withdrawn by the Bidder prior to, but not after, the time fixed for opening of Bids.
25. **BIDDER'S GUARANTEE OF GOOD FAITH (BID SECURITY):**
- 25.1. With the exception of the contracts valued \$5,000 or less, JOC and Design-Build contracts, and contracts subject to the Small and Local Business Program of \$250,000 or less e.g., ELBE contracts, each Bidder shall accompany its Bid with either a cashier's check upon some responsible bank, or a check upon such bank properly certified or an approved corporate surety bond payable to the City of San

Diego, for an amount of not less than 10% of the aggregate sum of the Bid, which check or bond, and the monies represented thereby shall be held by the City as a guarantee that the Bidder, if awarded the contract, will in good faith enter into such contract and furnish the required final bonds.

**25.2.** The Bidder agrees that in case of Bidder's refusal or failure to execute this contract and give required final bonds, the money represented by a cashier's or certified check shall remain the property of the City, and if the Bidder shall fail to execute this contract, the Surety agrees that it will pay to the City damages which the City may suffer by reason of such failure, not exceeding the sum of 10% of the amount of the Bid.

**25.3.** A Bid received without the specified bid security will be rejected as being **non-responsive**.

**26. AWARD OF CONTRACT OR REJECTION OF BIDS:**

**26.1.** This contract may be awarded to the lowest responsible and reliable Bidder.

**26.2.** Bidders shall complete the entire Bid schedule (also referred to as "schedule of prices" or Proposal form). Incomplete price schedules will be rejected as being non-responsive.

**26.3.** The City reserves the right to reject any or all Bids, and to waive any informality or technicality in Bids received and any requirements of these specifications as to bidding procedure.

**26.4.** Bidders will not be released on account of their errors of judgment. Bidders may be released only upon receipt by the City from the Bidder within 3 Working Days, excluding Saturdays, Sundays, and state holidays, after the opening of Bids, of written notice which includes proof of honest, credible, clerical error of material nature, free from fraud or fraudulent intent, and of evidence that reasonable care was observed in the preparation of the Bid.

**26.5.** A non-selected Bidder may protest award of the Contract to the selected Bidder by submitting a written "Notice of Intent to Protest" including supporting documentation which shall be received by Public Works Contracting Group no later than 10 days after the City's announcement of the selected Bidder or no later than 10 days from the date that the City issues notice of designation of a Bidder as non-responsive in accordance with San Diego Municipal Code Chapter 2, § 22.3029, "Protests of Contract Award."

**26.6.** The City of San Diego will not discriminate with regard to race, religious creed, color, national origin, ancestry, physical handicap, marital status, sex or age, in the award of contracts.

**26.7.** Each Bid package properly executed as required by these specifications shall constitute a firm offer, which may be accepted by the City within the time specified in the Proposal.

**26.8.** The City reserves the right to evaluate all Bids and determine the lowest Bidder on the basis of any proposed alternates, additive items or options, at its discretion that will be disclosed in the Volume 2 of 2.

**27. BID RESULTS:**

**27.1.** The Bid opening by the City shall constitute the public announcement of the Apparent Low Bidder. In the event that the Apparent Low Bidder is subsequently deemed non-responsive or non-responsible, a public announcement will be posted in the City's web page <http://www.sandiego.gov/cip/index.shtml>, with the name of the newly designated Apparent Low Bidder.

**27.2.** To obtain Bid results, either attend Bid opening, review the results on the City's web site, or provide a self-addressed, stamped envelope, referencing Bid number, and Bid tabulation will be mailed to you upon verification of extensions. Bid results cannot be given over the telephone.

**28. THE CONTRACT:**

**28.1.** The Bidder to whom award is made shall execute a written contract with the City of San Diego and furnish good and approved bonds and insurance certificates specified by the City within 14 days after receipt by Bidder of a form of contract for execution unless an extension of time is granted to the Bidder in writing.

**28.2.** If the Bidder takes longer than 14 days to fulfill these requirements, then the additional time taken shall be added to the Bid guarantee. The Contract shall be made in the form adopted by the City, which includes the provision that no claim or suit whatsoever shall be made or brought by Contractor against any officer, agent, or employee of the City for or on account of anything done or omitted to be done in connection with this contract, nor shall any such officer, agent, or employee be liable hereunder.

**28.3.** If the Bidder to whom the award is made fails to enter into the contract as herein provided, the award may be annulled and the Bidder's Guarantee of Good Faith will be subject to forfeiture. An award may be made to the next lowest responsible and reliable Bidder who shall fulfill every stipulation embraced herein as if it were the party to whom the first award was made.

**28.4.** Pursuant to the San Diego City Charter section 94, the City may only award a public works contract to the lowest responsible and reliable Bidder. The City will require the Apparent Low Bidder to (i) submit information to determine the Bidder's responsibility and reliability, (ii) execute the Contract in form provided by the City, and (iii) furnish good and approved bonds and insurance certificates specified by the City within 14 Days, unless otherwise approved by the City, in writing after the Bidder receives notification from the City, designating the Bidder as the Apparent Low Bidder and formally requesting the above mentioned items.

**28.5.** The award of the Contract is contingent upon the satisfactory completion of the above mentioned items and becomes effective upon the signing of the Contract by the Mayor or designee. If the Apparent Low Bidder does not execute the Contract or submit required documents and information, the City may award the Contract to the

next lowest responsible and reliable Bidder who shall fulfill every condition precedent to award. A corporation designated as the Apparent Low Bidder shall furnish evidence of its corporate existence and evidence that the officer signing the Contract and bond for the corporation is duly authorized to do so.

- 29. EXAMINATION OF PLANS, SPECIFICATIONS, AND SITE OF WORK:** The Bidder shall examine carefully the Project Site, the Plans and Specifications, other materials as described in the Special Provisions, Section 2-7, and the proposal forms (e.g., Bidding Documents). The submission of a Bid shall be conclusive evidence that the Bidder has investigated and is satisfied as to the conditions to be encountered, as to the character, quality, and scope of Work, the quantities of materials to be furnished, and as to the requirements of the Bidding Documents Proposal, Plans, and Specifications.
- 30. CITY STANDARD PROVISIONS.** This contract is subject to the following standard provisions. See The WHITEBOOK for details.
- 30.1.** The City of San Diego Resolution No. R-277952 adopted on May 20, 1991 for a Drug-Free Workplace.
  - 30.2.** The City of San Diego Resolution No. R-282153 adopted on June 14, 1993 related to the Americans with Disabilities Act.
  - 30.3.** The City of San Diego Municipal Code §22.3004 for Pledge of Compliance.
  - 30.4.** The City of San Diego’s Labor Compliance Program and the State of California Labor Code §§1771.5(b) and 1776.
  - 30.5.** Sections 1777.5, 1777.6, and 1777.7 of the State of California Labor Code concerning the employment of apprentices by contractors and subcontractors performing public works contracts.
  - 30.6.** The City’s Equal Benefits Ordinance (EBO), Chapter 2, Article 2, Division 43 of The San Diego Municipal Code (SDMC).
  - 30.7.** The City’s Information Security Policy (ISP) as defined in the City’s Administrative Regulation 90.63.
- 31. PRE-AWARD ACTIVITIES:**
- 31.1.** The selected contractor by the City to execute a contract for this Work shall provide the information required within the time specified in “Required Documents,” of this bid package. Failure to provide the information within the time specified may result in the Bid being rejected as **non-responsive**.
  - 31.2.** If the Bid is rejected as non-responsive, the selected contractor by the City to execute a contract for this Work shall forfeit the required Bid. The decision that the selected contractor by the City to execute a contract for this Work is non-responsive for failure to provide the information required within the time specified shall be at the sole discretion of the City.

**32. REQUIRED DOCUMENT SCHEDULE:**

**32.1.** The Bidder’s attention is directed to the City’s Municipal Code §22.0807(e), (3)-(5) for important information regarding grounds for debarment for failure to submit required documentation.

**32.2.** The specified Equal Opportunity Contracting Program (EOCP) forms are available for download from the City’s web site at:

<http://www.sandiego.gov/eoc/forms/index.shtml>

ITEM	WHEN DUE	FROM	DOCUMENT TO BE SUBMITTED
1.	BID SUBMITTAL DATE/TIME	ALL BIDDERS	Bid
2.	BID SUBMITTAL DATE/TIME	ALL BIDDERS	Non-collusion Affidavit to be Executed By Bidder and Submitted with Bid under 23 USC 112 and PCC 7106
3.	BID SUBMITTAL DATE/TIME	ALL BIDDERS	Contractors Certification of Pending Actions
4.	BID SUBMITTAL DATE/TIME	ALL BIDDERS	Equal Benefits Ordinance Certification of Compliance
5.	BID SUBMITTAL DATE/TIME	ALL BIDDERS	Form AA35 - List of Subcontractors
6.	BID SUBMITTAL DATE/TIME	ALL BIDDERS	Form AA40 - Named Equipment/Material Supplier List
7.	WITHIN 10 WORKING DAYS AFTER RECEIPT BY BIDDER OF CONTRACT FORMS	APPARENT LOW BIDDER	Names of the principal individual owners of the Apparent Low Bidder
8.	WITHIN 10 WORKING DAYS AFTER RECEIPT BY BIDDER OF CONTRACT FORMS	APPARENT LOW BIDDER	If the Contractor is a Joint Venture: <ul style="list-style-type: none"> <li>• Joint Venture Agreement</li> <li>• Joint Venture License</li> </ul>
9.	WITHIN 10 WORKING DAYS AFTER RECEIPT BY BIDDER OF CONTRACT FORMS	APPARENT LOW BIDDER	Form BB05 - Work Force Report
10.	WITHIN 10 WORKING DAYS AFTER RECEIPT BY BIDDER OF CONTRACT FORMS	APPARENT LOW BIDDER	Contract Forms - Agreement
11.	WITHIN 10 WORKING DAYS AFTER RECEIPT BY BIDDER OF CONTRACT FORMS	APPARENT LOW BIDDER	Contract Forms - Payment and Performance Bond

<b>ITEM</b>	<b>WHEN DUE</b>	<b>FROM</b>	<b>DOCUMENT TO BE SUBMITTED</b>
12.	WITHIN 10 WORKING DAYS AFTER RECEIPT BY BIDDER OF CONTRACT FORMS	APPARENT LOW BIDDER	Certificates of Insurance and Endorsements
13.	WITHIN 10 WORKING DAYS AFTER RECEIPT BY BIDDER OF CONTRACT FORMS	APPARENT LOW BIDDER	Contractor Certification - Drug-Free Workplace
14.	WITHIN 10 WORKING DAYS AFTER RECEIPT BY BIDDER OF CONTRACT FORMS	APPARENT LOW BIDDER	Contractor Certification - American with Disabilities Act
15.	WITHIN 10 WORKING DAYS AFTER RECEIPT BY BIDDER OF CONTRACT FORMS	APPARENT LOW BIDDER	Contractors Standards - Pledge of Compliance

**CONTRACT FORMS**  
**AGREEMENT**

# CONTRACT FORMS

## CONSTRUCTION CONTRACT

This contract is made and entered into between THE CITY OF SAN DIEGO, a municipal corporation, herein called "City", and **Choctaw Construction, Co., Inc.**, herein called "Contractor" for construction of **Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal**; Bid No. **L-14-1194-DBB-1**; in the amount of **Seventy-One Thousand Seven Hundred Sixty-Four Dollars and 00/100 (\$71,764.00)**, which is comprised of the Base Bid only.

IN CONSIDERATION of the payments to be made hereunder and the mutual undertakings of the parties hereto, City and Contractor agree as follows:

1. The following are incorporated into this contract as though fully set forth herein:
  - (a) The attached Faithful Performance and Payment Bonds.
  - (b) The attached Proposal included in the Bid documents by the Contractor.
  - (c) Reference Standards listed in the Notice Inviting Bids and the Supplementary Special Provisions (SSP).
  - (d) That certain documents entitled **Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal**, on file in the office of the Public Works Department as Document No. **B-13022** / **B-13020**, as well as all matters referenced therein.
2. The Contractor shall perform and be bound by all the terms and conditions of this contract and in strict conformity therewith shall perform and complete in a good and workmanlike manner **Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal**, Bid Number **L-14-1194-DBB-1**, San Diego, California.
3. For such performances, the City shall pay to Contractor the amounts set forth at the times and in the manner and with such additions or deductions as are provided for in this contract, and the Contractor shall accept such payment in full satisfaction of all claims incident to such performances.
4. No claim or suit whatsoever shall be made or brought by Contractor against any officer, agent, or employee of the City for or on account of anything done or omitted to be done in connection with this contract, nor shall any such officer, agent, or employee be liable hereunder.
5. This contract is effective as of the date that the Mayor or designee signs the agreement.



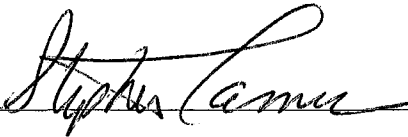
**CONTRACT FORMS (continued)**

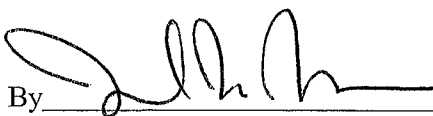
---

IN WITNESS WHEREOF, this Agreement is signed by the City of San Diego, acting by and through its Mayor or designee, pursuant to Municipal Code 22.3107 authorizing such execution.

**THE CITY OF SAN DIEGO**

**APPROVED AS TO FORM AND LEGALITY**

By 

Jan I. Goldsmith, City Attorney  
By 

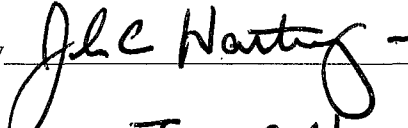
Print Name: Stephen Samara,  
Senior Contract Specialist

Print Name: Mark M. Uece  
Deputy City Attorney

Date: 6/18/14

Date: 6/18/14

**CONTRACTOR**

By   
Print Name: JOHN C HARTUNG

Title: PRESIDENT

Date: 5-5-14

City of San Diego License No.: 2014 005720

State Contractor's License No.: 645205

# CONTRACT FORMS ATTACHMENTS

Bond No.: 71542856

Premium: \$2,153

**CONTRACT FORMS ATTACHMENTS**  
**PERFORMANCE BOND AND LABOR AND MATERIALMEN'S BOND**

---

**FAITHFUL PERFORMANCE BOND AND LABOR AND MATERIALMEN'S BOND:**

**Choctaw Construction, Co., Inc.** \_\_\_\_\_, a corporation, as principal, and **Western Surety Company** \_\_\_\_\_, a corporation authorized to do business in the State of California, as Surety, hereby obligate themselves, their successors and assigns, jointly and severally, to The City of San Diego a municipal corporation in the sum of **Seventy-One Thousand Seven Hundred Sixty-Four Dollars and 00/100 (\$71,764.00)**, for the faithful performance of the annexed contract, and in the sum of **Seventy-One Thousand Seven Hundred Sixty-Four Dollars and 00/100 (\$71,764.00)**, for the benefit of laborers and materialmen designated below.

**Conditions:**

If the Principal shall faithfully perform the annexed contract **Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal**, Bid Number **L-14-1194-DBB-1**, San Diego, California then the obligation herein with respect to a faithful performance shall be void; otherwise it shall remain in full force.

If the Principal shall promptly pay all persons, firms and corporations furnishing materials for or performing labor in the execution of this contract, and shall pay all amounts due under the California Unemployment Insurance Act then the obligation herein with respect to laborers and materialmen shall be void; otherwise it shall remain in full force.

The obligation herein with respect to laborers and materialmen shall inure to the benefit of all persons, firms and corporations entitled to file claims under the provisions of Chapter 3 of Division 5 of Title I of the Government Code of the State of California or under the provisions of Section 3082 et seq. of the Civil Code of the State of California.

Changes in the terms of the annexed contract or specifications accompanying same or referred to therein shall not affect the Surety's obligation on this bond, and the Surety hereby waives notice of same.

**CONTRACT FORMS ATTACHMENTS (continued)**  
**PERFORMANCE BOND AND LABOR AND MATERIALMEN'S BOND**

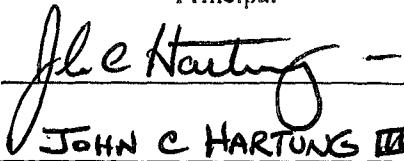
The Surety shall pay reasonable attorney's fees should suit be brought to enforce the provisions of this bond.

Dated May 7, 2014

Approved as to Form and Legality

Choctaw Construction Co Inc.

Principal

By 

Printed Name of Person Signing for Principal

Jan I. Goldsmith, City Attorney

By   
Deputy City Attorney

Western Surety Company

Surety

By 

Attorney-in-fact  
Blake A Pfister

24591 Del Prado #201

Local Address of Surety

Dana Point CA 92629

Local Address (City, State) of Surety

949-248-1543

Local Telephone No. of Surety

Premium \$ 2,153

Bond No. 71542856

Western Surety Company  
101 S Reid #300  
Sioux Falls SD 57117  
800-331-6053

Approved:

By   
Stephen Samara, Senior Contract Specialist

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

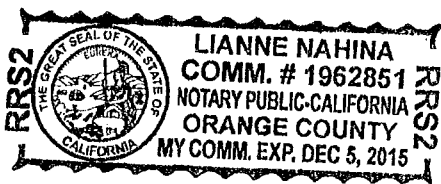
CIVIL CODE § 1189

State of California

County of Orange

On May 7, 2014 before me, Lianne Nahina, Notary Public

personally appeared Blake A. Pfister



who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: [Handwritten Signature] Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Bond 71542856

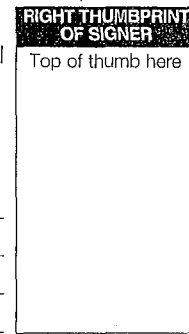
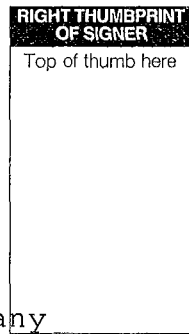
Document Date: May 7, 2014 Number of Pages: 2

Signer(s) Other Than Named Above: None

Capacity(ies) Claimed by Signer(s)

Signer's Name: Blake A. Pfister Signer's Name:

- Corporate Officer - Title(s):
Individual
Partner - Limited General
Attorney in Fact
Trustee
Guardian or Conservator
Other:



Signer Is Representing: Western Surety Company

# CONTRACT FORMS

## CONSTRUCTION CONTRACT

This contract is made and entered into between THE CITY OF SAN DIEGO, a municipal corporation, herein called "City", and **Choctaw Construction, Co., Inc.**, herein called "Contractor" for construction of **Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal**; Bid No. **L-14-1194-DBB-1**; in the amount of **Seventy-One Thousand Seven Hundred Sixty-Four Dollars and 00/100 (\$71,764.00)**, which is comprised of the Base Bid only.

IN CONSIDERATION of the payments to be made hereunder and the mutual undertakings of the parties hereto, City and Contractor agree as follows:

1. The following are incorporated into this contract as though fully set forth herein:
  - (a) The attached Faithful Performance and Payment Bonds.
  - (b) The attached Proposal included in the Bid documents by the Contractor.
  - (c) Reference Standards listed in the Notice Inviting Bids and the Supplementary Special Provisions (SSP).
  - (d) That certain documents entitled **Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal**, on file in the office of the Public Works Department as Document No. **B-13022** / **B-13020**, as well as all matters referenced therein.
2. The Contractor shall perform and be bound by all the terms and conditions of this contract and in strict conformity therewith shall perform and complete in a good and workmanlike manner **Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal**, Bid Number **L-14-1194-DBB-1**, San Diego, California.
3. For such performances, the City shall pay to Contractor the amounts set forth at the times and in the manner and with such additions or deductions as are provided for in this contract, and the Contractor shall accept such payment in full satisfaction of all claims incident to such performances.
4. No claim or suit whatsoever shall be made or brought by Contractor against any officer, agent, or employee of the City for or on account of anything done or omitted to be done in connection with this contract, nor shall any such officer, agent, or employee be liable hereunder.
5. This contract is effective as of the date that the Mayor or designee signs the agreement.

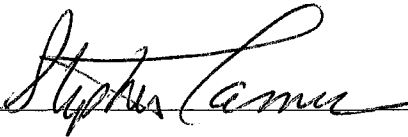
**CONTRACT FORMS (continued)**

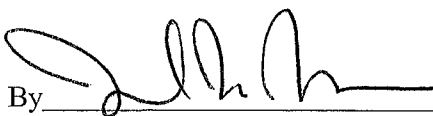
---

IN WITNESS WHEREOF, this Agreement is signed by the City of San Diego, acting by and through its Mayor or designee, pursuant to Municipal Code 22.3107 authorizing such execution.

**THE CITY OF SAN DIEGO**

**APPROVED AS TO FORM AND LEGALITY**

By 

Jan I. Goldsmith, City Attorney  
By 

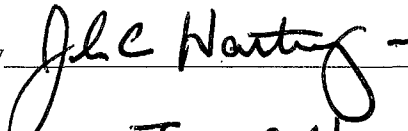
Print Name: Stephen Samara,  
Senior Contract Specialist

Print Name: Mark M. Uece  
Deputy City Attorney

Date: 6/18/14

Date: 6/18/14

**CONTRACTOR**

By   
Print Name: JOHN C HARTUNG

Title: PRESIDENT

Date: 5-5-14

City of San Diego License No.: 2014 005720

State Contractor's License No.: 645205

Bond No.: 71542856

Premium: \$2,153

**CONTRACT FORMS ATTACHMENTS**  
**PERFORMANCE BOND AND LABOR AND MATERIALMEN'S BOND**

---

**FAITHFUL PERFORMANCE BOND AND LABOR AND MATERIALMEN'S BOND:**

**Choctaw Construction, Co., Inc.** \_\_\_\_\_, a corporation, as principal, and **Western Surety Company** \_\_\_\_\_, a corporation authorized to do business in the State of California, as Surety, hereby obligate themselves, their successors and assigns, jointly and severally, to The City of San Diego a municipal corporation in the sum of **Seventy-One Thousand Seven Hundred Sixty-Four Dollars and 00/100 (\$71,764.00)**, for the faithful performance of the annexed contract, and in the sum of **Seventy-One Thousand Seven Hundred Sixty-Four Dollars and 00/100 (\$71,764.00)**, for the benefit of laborers and materialmen designated below.

**Conditions:**

If the Principal shall faithfully perform the annexed contract **Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal**, Bid Number **L-14-1194-DBB-1**, San Diego, California then the obligation herein with respect to a faithful performance shall be void; otherwise it shall remain in full force.

If the Principal shall promptly pay all persons, firms and corporations furnishing materials for or performing labor in the execution of this contract, and shall pay all amounts due under the California Unemployment Insurance Act then the obligation herein with respect to laborers and materialmen shall be void; otherwise it shall remain in full force.

The obligation herein with respect to laborers and materialmen shall inure to the benefit of all persons, firms and corporations entitled to file claims under the provisions of Chapter 3 of Division 5 of Title I of the Government Code of the State of California or under the provisions of Section 3082 et seq. of the Civil Code of the State of California.

Changes in the terms of the annexed contract or specifications accompanying same or referred to therein shall not affect the Surety's obligation on this bond, and the Surety hereby waives notice of same.



**CONTRACT FORMS ATTACHMENTS (continued)**  
**PERFORMANCE BOND AND LABOR AND MATERIAL MEN'S BOND**

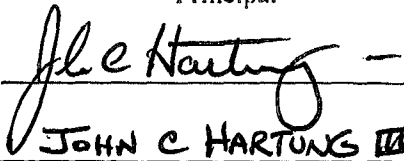
The Surety shall pay reasonable attorney's fees should suit be brought to enforce the provisions of this bond.

Dated May 7, 2014

Approved as to Form and Legality

Choctaw Construction Co Inc.

Principal

By 

Printed Name of Person Signing for Principal

Jan I. Goldsmith, City Attorney

By   
Deputy City Attorney

Western Surety Company

Surety

By 

Attorney-in-fact  
Blake A Pfister

24591 Del Prado #201

Local Address of Surety

Dana Point CA 92629

Local Address (City, State) of Surety

949-248-1543

Local Telephone No. of Surety

Premium \$ 2,153

Bond No. 71542856

Western Surety Company  
101 S Reid #300  
Sioux Falls SD 57117  
800-331-6053

Approved:

By   
Stephen Samara, Senior Contract Specialist

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

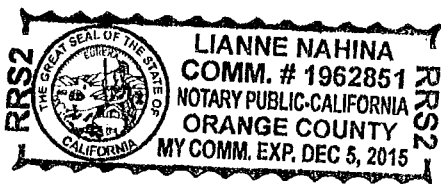
CIVIL CODE § 1189

State of California

County of Orange

On May 7, 2014 before me, Lianne Nahina, Notary Public

personally appeared Blake A. Pfister



who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: [Handwritten Signature] Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Bond 71542856

Document Date: May 7, 2014 Number of Pages: 2

Signer(s) Other Than Named Above: None

Capacity(ies) Claimed by Signer(s)

Signer's Name: Blake A. Pfister Signer's Name:

Corporate Officer - Title(s):

Individual

Partner - Limited General

Attorney in Fact

Trustee

Guardian or Conservator

Other:

Signer Is Representing:

Western Surety Company

RIGHT THUMBPRINT OF SIGNER Top of thumb here

RIGHT THUMBPRINT OF SIGNER Top of thumb here

# Western Surety Company

## POWER OF ATTORNEY - CERTIFIED COPY

Bond No. 71542856

Know All Men By These Presents, that WESTERN SURETY COMPANY, a corporation duly organized and existing under the laws of the State of South Dakota, and having its principal office in Sioux Falls, South Dakota (the "Company"), does by these presents make, constitute and appoint Blake A. Pfister

its true and lawful attorney(s)-in-fact, with full power and authority hereby conferred, to execute, acknowledge and deliver for and on its behalf as Surety, bonds for:

Principal: Choctaw Construction Company, Inc.

Obligee: City of San Diego

Amount: \$500,000.00

and to bind the Company thereby as fully and to the same extent as if such bonds were signed by the Senior Vice President, sealed with the corporate seal of the Company and duly attested by its Secretary, hereby ratifying and confirming all that the said attorney(s)-in-fact may do within the above stated limitations. Said appointment is made under and by authority of the following bylaw of Western Surety Company which remains in full force and effect.

"Section 7. All bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile."

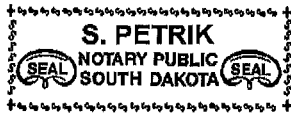
All authority hereby conferred shall expire and terminate, without notice, unless used before midnight of November 9, 2014, but until such time shall be irrevocable and in full force and effect.

In Witness Whereof, Western Surety Company has caused these presents to be signed by its Vice President, Paul T. Bruflat, and its corporate seal to be affixed this 7th day of May, 2014.



WESTERN SURETY COMPANY  
Paul T. Bruflat  
Paul T. Bruflat, Vice President

On this 7th day of May, in the year 2014, before me, a notary public, personally appeared Paul T. Bruflat, who being to me duly sworn, acknowledged that he signed the above Power of Attorney as the aforesaid officer of WESTERN SURETY COMPANY and acknowledged said instrument to be the voluntary act and deed of said corporation.



My Commission Expires August 11, 2016

S. Petrik  
Notary Public - South Dakota

I the undersigned officer of Western Surety Company, a stock corporation of the State of South Dakota, do hereby certify that the attached Power of Attorney is in full force and effect and is irrevocable, and furthermore, that Section 7 of the bylaws of the Company as set forth in the Power of Attorney is now in force.

In testimony whereof, I have hereunto set my hand and seal of Western Surety Company this 7th day of May, 2014.

WESTERN SURETY COMPANY  
Paul T. Bruflat  
Paul T. Bruflat, Vice President

# Western Surety Company

## POWER OF ATTORNEY - CERTIFIED COPY

Bond No. 71542856

Know All Men By These Presents, that WESTERN SURETY COMPANY, a corporation duly organized and existing under the laws of the State of South Dakota, and having its principal office in Sioux Falls, South Dakota (the "Company"), does by these presents make, constitute and appoint Blake A. Pfister

its true and lawful attorney(s)-in-fact, with full power and authority hereby conferred, to execute, acknowledge and deliver for and on its behalf as Surety, bonds for:

Principal: Choctaw Construction Company, Inc.

Obligee: City of San Diego

Amount: \$500,000.00

and to bind the Company thereby as fully and to the same extent as if such bonds were signed by the Senior Vice President, sealed with the corporate seal of the Company and duly attested by its Secretary, hereby ratifying and confirming all that the said attorney(s)-in-fact may do within the above stated limitations. Said appointment is made under and by authority of the following bylaw of Western Surety Company which remains in full force and effect.

"Section 7. All bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation shall be executed in the corporate name of the Company by the President, Secretary, any Assistant Secretary, Treasurer, or any Vice President or by such other officers as the Board of Directors may authorize. The President, any Vice President, Secretary, any Assistant Secretary, or the Treasurer may appoint Attorneys in Fact or agents who shall have authority to issue bonds, policies, or undertakings in the name of the Company. The corporate seal is not necessary for the validity of any bonds, policies, undertakings, Powers of Attorney or other obligations of the corporation. The signature of any such officer and the corporate seal may be printed by facsimile."

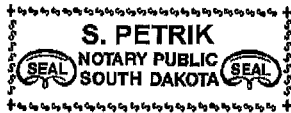
All authority hereby conferred shall expire and terminate, without notice, unless used before midnight of November 9, 2014, but until such time shall be irrevocable and in full force and effect.

In Witness Whereof, Western Surety Company has caused these presents to be signed by its Vice President, Paul T. Bruflat, and its corporate seal to be affixed this 7th day of May, 2014.



WESTERN SURETY COMPANY  
Paul T. Bruflat  
Paul T. Bruflat, Vice President

On this 7th day of May, in the year 2014, before me, a notary public, personally appeared Paul T. Bruflat, who being to me duly sworn, acknowledged that he signed the above Power of Attorney as the aforesaid officer of WESTERN SURETY COMPANY and acknowledged said instrument to be the voluntary act and deed of said corporation.



My Commission Expires August 11, 2016

S. Petrik  
Notary Public - South Dakota

I the undersigned officer of Western Surety Company, a stock corporation of the State of South Dakota, do hereby certify that the attached Power of Attorney is in full force and effect and is irrevocable, and furthermore, that Section 7 of the bylaws of the Company as set forth in the Power of Attorney is now in force.

In testimony whereof, I have hereunto set my hand and seal of Western Surety Company this 7th day of May, 2014.

WESTERN SURETY COMPANY  
Paul T. Bruflat  
Paul T. Bruflat, Vice President

# CONTRACTOR CERTIFICATION

---

## DRUG-FREE WORKPLACE

**PROJECT TITLE:** Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal

---

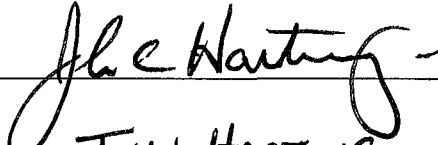
I hereby certify that I am familiar with the requirements of San Diego City Council Policy No. 100-17 regarding Drug-Free Workplace as outlined in the WHITEBOOK, Section 7-13.3, "Drug-Free Workplace", of the project specifications, and that;

CHOCTAW CONSTRUCTION COMPANY, INC.

(Name under which business is conducted)

has in place a drug-free workplace program that complies with said policy. I further certify that each subcontract agreement for this project contains language which indicates the subcontractor's agreement to abide by the provisions of subdivisions a) through c) of the policy as outlined.

Signed



Printed Name

JOHN HARTUNG

Title

PRESIDENT

## CONTRACTOR CERTIFICATION

---

### AMERICAN WITH DISABILITIES ACT (ADA) COMPLIANCE CERTIFICATION

**PROJECT TITLE:** Timken Gallery and Morley Field Tennis Registration Center ADA  
Barrier Removal

---

I hereby certify that I am familiar with the requirements of San Diego City Council Policy No. 100-4 regarding the American With Disabilities Act (ADA) outlined in the WHITEBOOK, Section 7-13.2, "American With Disabilities Act", of the project specifications, and that;

CHOCTAW CONSTRUCTION COMPANY, INC  
(Name under which business is conducted)

has in place workplace program that complies with said policy. I further certify that each subcontract agreement for this project contains language which indicates the subcontractor's agreement to abide by the provisions of the policy as outlined.

Signed John C Hartung -  
Printed Name JOHN HARTUNG  
Title PRESIDENT

## CONTRACTOR CERTIFICATION

### CONTRACTOR STANDARDS – PLEDGE OF COMPLIANCE

**PROJECT TITLE:** Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal

I declare under penalty of perjury that I am authorized to make this certification on behalf of CHOCTAW CONST. CO., INC., as Contractor, that I am familiar with the requirements of City of San Diego Municipal Code § 22.3224 regarding Contractor Standards as outlined in the WHITEBOOK, Section 7-13.4, ("Contractor Standards"), of the project specifications, and that Contractor has complied with those requirements.

I further certify that each of the Contractor's subcontractors whose subcontracts are greater than \$50,000 in value has completed a Pledge of Compliance attesting under penalty of perjury of having complied with City of San Diego Municipal Code § 22.3224.

Dated this 5<sup>th</sup> Day of MAY, 2014.

Signed John Hartung -

Printed Name JOHN HARTUNG

Title PRESIDENT

**AFFIDAVIT OF DISPOSAL**

**WHEREAS**, on the \_\_\_\_\_ DAY OF \_\_\_\_\_, 2\_\_\_\_ the undersigned entered into and executed a contract with the City of San Diego, a municipal corporation, for:

**Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal**

(Name of Project)

as particularly described in said contract and identified as Bid No. **L-14-1194-DBB-1**; SAP No. (WBS/IO/CC) **B-13022 / B-13020** and **WHEREAS**, the specification of said contract requires the Contractor to affirm that "all brush, trash, debris, and surplus materials resulting from this project have been disposed of in a legal manner"; and **WHEREAS**, said contract has been completed and all surplus materials disposed of:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**NOW, THEREFORE**, in consideration of the final payment by the City of San Diego to said Contractor under the terms of said contract, the undersigned Contractor, does hereby affirm that all surplus materials as described in said contract have been disposed of at the following location(s)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and that they have been disposed of according to all applicable laws and regulations.

Dated this \_\_\_\_\_ DAY OF \_\_\_\_\_, \_\_\_\_\_.

\_\_\_\_\_ Contractor

by

**ATTEST:**

State of \_\_\_\_\_

County of \_\_\_\_\_

On this \_\_\_\_\_ DAY OF \_\_\_\_\_, 2\_\_\_\_, before the undersigned, a Notary Public in and for said County and State, duly commissioned and sworn, personally appeared \_\_\_\_\_ known to me to be the \_\_\_\_\_ Contractor named in the foregoing Release, and whose name is subscribed thereto, and acknowledged to me that said Contractor executed the said Release.

Notary Public in and for said County and State



## ATTACHMENTS

**ATTACHMENT A**  
**SCOPE OF WORK**

## SCOPE OF WORK

1. **SCOPE OF WORK:** Upgrade existing buildings to current ADA and Title 24 requirements.

1.1. The Work shall be performed in accordance with:

1.1.1. This Notice Inviting Bids and Plans numbered **37595-1-D** through **37595-8-D** and **37596-1-D** through **37596-6-D** inclusive.

2. **CONSTRUCTION COST:** The City's estimated construction cost for this contract is \$ **112,872.00**.

3. **LOCATION OF WORK:** The location of the Work is as follows:

**1500 El Prado, San Diego and 2221 Morley Field Drive, San Diego. See Appendix E for location map**

4. **CONTRACT TIME:** The Contract Time for completion of the Work shall be **90 Working Days**.

5. **CONTRACTOR'S LICENSE CLASSIFICATION:** In accordance with the provisions of California Law, the Contractor shall possess valid appropriate licenses at the time that the Bid is submitted. Failure to possess the specified licenses shall render the Bid as **non-responsive** and shall act as a bar to award of the Contract to any Bidder not possessing required licenses at the time of Bid.

5.1. The City has determined the following licensing classifications for this contract:

Option	Classifications
1	CLASS A
2	CLASS B

5.2. The Bidder shall satisfy the licensing requirement by meeting **at least** one of the listed options.

**ATTACHMENT B**  
**INTENTIONALLY LEFT BLANK**

**ATTACHMENT C**  
**EQUAL OPPORTUNITY CONTRACTING PROGRAM**

## EQUAL OPPORTUNITY CONTRACTING PROGRAM

1. To The WHITEBOOK, Chapter 10, Sections D and E, DELETE each in its entirety, and SUBSTITUTE with the following:

### **D. CITY'S EQUAL OPPORTUNITY COMMITMENT.**

#### **1. Nondiscrimination in Contracting Ordinance.**

1. The Contractor, Subcontractors and Suppliers shall comply with requirements of the City's Nondiscrimination in Contracting Ordinance, San Diego Municipal Code §§22.3501 through 22.3517.

The Contractor shall not discriminate on the basis of race, gender, religion, national origin, ethnicity, sexual orientation, age, or disability in the solicitation, selection, hiring, or treatment of subcontractors, vendors, or suppliers. The Contractor shall provide equal opportunity for subcontractors to participate in subcontracting opportunities. The Contractor understands and agrees that violation of this clause shall be considered a material breach of the contract and may result in contract termination, debarment, or other sanctions.

The Contractor shall include the foregoing clause in all contracts between the Contractor and Subcontractors and Suppliers.

2. Disclosure of Discrimination Complaints. As part of its Bid or Proposal, the Bidder shall provide to the City a list of all instances within the past 10 years where a complaint was filed or pending against Bidder in a legal or administrative proceeding alleging that Bidder discriminated against its employees, subcontractors, vendors, or suppliers, and a description of the status or resolution of that complaint, including any remedial action taken.
3. Upon the City's request, the Contractor agrees to provide to the City, within 60 days, a truthful and complete list of the names of all Subcontractors and Suppliers that the Contractor has used in the past 5 years on any of its contracts that were undertaken within San Diego County, including the total dollar amount paid by the Contractor for each subcontract or supply contract.
4. The Contractor further agrees to fully cooperate in any investigation conducted by the City pursuant to the City's Nondiscrimination in Contracting Ordinance, Municipal Code §§22.3501 through 22.3517. The Contractor understands and

agrees that violation of this clause shall be considered a material breach of the Contract and may result in remedies being ordered against the Contractor up to and including contract termination, debarment and other sanctions for violation of the provisions of the Nondiscrimination in Contracting Ordinance. The Contractor further understands and agrees that the procedures, remedies and sanctions provided for in the Nondiscrimination in Contracting Ordinance apply only to violations of the Ordinance.

**E. EQUAL EMPLOYMENT OPPORTUNITY OUTREACH PROGRAM.**

1. The Contractor, Subcontractors and Suppliers shall comply with the City's Equal Employment Opportunity Outreach Program, San Diego Municipal Code §§22.2701 through 22.2707.

The Contractor shall not discriminate against any employee or applicant for employment on any basis prohibited by law. Contractor shall provide equal opportunity in all employment practices. Prime Contractor shall ensure their subcontractors comply with this program. Nothing in this section shall be interpreted to hold a prime contractor liable for any discriminatory practice of its subcontractors.

The Contractor shall include the foregoing clause in all contracts between the Contractor and Subcontractors and Suppliers.

2. If the Contract is competitively solicited, the selected Bidder shall submit a Work Force Report (Form BB05), within 10 Working Days after receipt by the Bidder of Contract forms to the City for approval as specified in the Notice of Intent to Award letter from the City.
3. If a Work Force Report is submitted, and the City determines there are under-representations when compared to County Labor Force Availability data, the selected Bidder shall submit an Equal Employment Opportunity Plan.
4. If the selected Bidder submits an Equal Employment Opportunity Plan, it shall include the following assurances:
  1. The Contractor shall maintain a working environment free of discrimination, harassment, intimidation and coercion at all sites and in all facilities at which the Contractor's employees are assigned to work.

2. The Contractor reviews its EEO Policy, at least annually, with all on-site supervisors involved in employment decisions.
3. The Contractor disseminates and reviews its EEO Policy with all employees at least once a year, posts the policy statement and EEO posters on all company bulletin boards and job sites, and documents every dissemination, review and posting with a written record to identify the time, place, employees present, subject matter, and disposition of meetings.
4. The Contractor reviews, at least annually, all supervisors' adherence to and performance under the EEO Policy and maintains written documentation of these reviews.
5. The Contractor discusses its EEO Policy Statement with subcontractors with whom it anticipates doing business, includes the EEO Policy Statement in its subcontracts, and provides such documentation to the City upon request.
6. The Contractor documents and maintains a record of all bid solicitations and outreach efforts to and from subcontractors, contractor associations and other business associations.
7. The Contractor disseminates its EEO Policy externally through various media, including the media of people of color and women, in advertisements to recruit, maintains files documenting these efforts, and provides copies of these advertisements to the City upon request.
8. The Contractor disseminates its EEO Policy to union and community organizations.
9. The Contractor provides immediate written notification to the City when any union referral process has impeded the Contractor's efforts to maintain its EEO Policy.
10. The Contractor maintains a current list of recruitment sources, including those outreaching to people of color and women, and provides written notification of employment opportunities to these recruitment sources with a record of the organizations' responses.



11. The Contractor maintains a current file of names, addresses and phone numbers of each walk-in applicant, including people of color and women, and referrals from unions, recruitment sources, or community organizations with a description of the employment action taken.
12. The Contractor encourages all present employees, including people of color and women employees, to recruit others.
13. The Contractor maintains all employment selection process information with records of all tests and other selection criteria.
14. The Contractor develops and maintains documentation for on-the-job training opportunities, participates in training programs, or both for all of its employees, including people of color and women, and establishes apprenticeship, trainee, and upgrade programs relevant to the Contractor's employment needs.
15. The Contractor conducts, at least annually, an inventory and evaluation of all employees for promotional opportunities and encourages all employees to seek and prepare appropriately for such opportunities.
16. The Contractor ensures the company's working environment and activities are non-segregated except for providing separate or single-user toilets and necessary changing facilities to assure privacy between the sexes.

**ATTACHMENT D**  
**INTENTIONALLY LEFT BLANK**

**ATTACHMENT E**  
**SUPPLEMENTARY SPECIAL PROVISIONS**

## **SUPPLEMENTARY SPECIAL PROVISIONS**

The following Supplementary Special Provisions (SSP) modifies the following documents:

- 1) Standard Specifications for Public Works Construction (The GREENBOOK) currently in effect.
  - 2) The City of San Diego Standard Specifications for Public Works Construction (The WHITEBOOK).
- 

### **SECTION 1 – TERMS, DEFINITIONS, ABBREVIATIONS, UNITS OF MEASURE, AND SYMBOLS**

#### **1-2 TERMS AND DEFINITIONS.**

**Normal Working Hours.** To the City Supplements, ADD the following:

The Normal Working Hours are 7:00 AM to 3:30 PM.

### **SECTION 2 - SCOPE AND CONTROL OF WORK**

#### **2-3.2 Self Performance.** DELETE in its entirety and SUBSTITUTE with the following:

1. You must perform, with your own organization, Contract work amounting to at least 20% of the base bid alone or base bid and any additive or deductive alternate(s) that together when added or deducted form the basis of award.

#### **2-5.3.1 General.** To the City Supplement, ADD the following

7. For products for which an AML is available, products listed in the AML shall be used. A submittal review will be conducted for products not identified on an AML on a case-by-case basis when:
  - a) The product type or category is not in the AML.
  - b) The AML does not list at least two available manufacturers of the product.
  - c) The material or manufacturer listed in the AML is no longer available. Documentation to substantiate the product is no longer available or in production is required as part of the submittal.

In the case of conducting a submittal review when required by the Plans or Special Provisions, or when requested by the Engineer, all submittals shall be accompanied by the City's submittal form.

The Product Submittal Form is available for download at:

<http://www.sandiego.gov/publicworks/edocref/index.shtml>

**2-9.2 Survey Service.**

DELETE in its entirety and SUBSTITUTE with the following:

The Contractor shall be responsible for all surveying services or as may be specified in these special provisions.

The payment for survey services shall be included in the various Bid items unless a Bid item for Survey Service has been provided.

**ADD:**

**2-18 Contractor Experience.** Contractor must demonstrate experience completing similar type of work within the past three (3) years.

**SECTION 4 - CONTROL OF MATERIALS**

**4-1.3.4 Inspection Paid by the Contractor.** To the City Supplement, ADD the following:

Welding Inspector.

**4-1.3.6 Preapproved Materials.** To the City Supplement, ADD the following:

3. You shall submit in writing a list of all products to be incorporated in the Work that are on the AML.

**4-1.6 Trade Names or Equals.** ADD the following:

You must submit your list of proposed substitutions for "an equal" ("or equal") item(s) **no less than 15 Working Days prior to Bid due date/** and on the City's Product Submittal Form available at.

<http://www.sandiego.gov/publicworks/edocref/index.shtml>

**SECTION 6 - PROSECUTION, PROGRESS AND ACCEPTANCE OF WORK**

**6-2.1 Moratoriums.** To the City Supplement, ADD the following:

Do not work in the areas where there is currently a moratorium issued by the City. The areas subject to moratorium are listed here:

- a) Timken Gallery from December 1, 2014 to January 2, 2016 (inclusive).
- b) Morley Field Tennis Registration Center from December 1, 2014 to January 2, 2016 (inclusive).

**SECTION 7 - RESPONSIBILITIES OF THE CONTRACTOR**

**7-3 LIABILITY INSURANCE.** DELETE in its entirety and SUBSTITUTE with the following:

The insurance provisions herein must not be construed to limit your indemnity obligations contained in the Contract.

**7-3.1 Policies and Procedures.**

- 1. You must procure the insurance described below, at its sole cost and expense, to provide coverage against claims for loss including injuries to persons or damage to property, which may arise out of or in connection with the performance of the Work by you, your agents, representatives, officers, employees or Subcontractors.
- 2. Insurance coverage for property damage resulting from your operations is on a replacement cost valuation. The market value will not be accepted.
- 3. You must maintain this insurance for the duration of this contract and at all times thereafter when you are correcting, removing, or replacing Work in accordance with this contract. Your liabilities under the Contract, e.g., your indemnity obligations, is not deemed limited to the insurance coverage required by this contract.
- 4. Payment for insurance is included in the various items of Work as bid by you, and except as specifically agreed to by the City in writing, you are not entitled to any additional payment. Do not begin any work under this contract until you have provided and the City has approved all required insurance.
- 5. Policies of insurance must provide that the City is entitled to 30 days (10 days for cancellation due to non-payment of premium) prior written notice of cancellation or non-renewal of the policy. Maintenance of specified insurance coverage is a material element of the Contract. Your failure to maintain or renew coverage or to provide evidence of renewal during the term of the Contract may be treated by the City as a material breach of the Contract.

**7-3.2 Types of Insurance.**

**7-3.2.1 Commercial General Liability Insurance.**

- 1. Commercial General Liability Insurance must be written on the current version of the ISO Occurrence form CG 00 01 07 98 or an equivalent form providing coverage at least as broad.

2. The policy must cover liability arising from premises and operations, XCU (explosions, underground, and collapse), independent contractors, products/completed operations, personal injury and advertising injury, bodily injury, property damage, and liability assumed under an insured’s contract (including the tort liability of another assumed in a business contract).
3. There must be no endorsement or modification limiting the scope of coverage for either “insured vs. insured” claims or contractual liability. You must maintain the same or equivalent insurance for at least 10 years following completion of the Work.
4. All costs of defense must be outside the policy limits. Policy coverage must be in liability limits of not less than the following:

<u>General Annual Aggregate Limit</u>	<u>Limits of Liability</u>
Other than Products/Completed Operations	\$2,000,000
Products/Completed Operations Aggregate Limit	\$2,000,000
Personal Injury Limit	\$1,000,000
Each Occurrence	\$1,000,000

**7-3.2.2 Commercial Automobile Liability Insurance.**

1. You must provide a policy or policies of Commercial Automobile Liability Insurance written on the current version of the ISO form CA 00 01 12 90 or later version or equivalent form providing coverage at least as broad in the amount of \$1,000,000 combined single limit per accident, covering bodily injury and property damage for owned, non-owned, and hired automobiles (“Any Auto”).
2. All costs of defense must be outside the limits of the policy.

**7-3.2.5 Contractors Builders Risk Property Insurance..**

1. You must provide at its expense, and maintain until Final Acceptance of the Work, a Special Form Builders Risk Policy or Policies. This insurance must be in an amount equal to the replacement cost of the completed Work (without deduction for depreciation) including the cost of excavations, grading, and filling. The policy or policies limits must be 100% of this contract value of the Work plus 15% to cover administrative costs, design costs, and the costs of inspections and construction management.
2. Insured property must include material or portions of the Work located away from the Site but intended for use at the Site, and must cover material or portions of the Work in transit. The policy or policies must include as insured property scaffolding, falsework, and temporary buildings located at the Site. The policy or policies must cover the cost of removing debris, including demolition.

3. The policy or policies must provide that all proceeds thereunder must be payable to the City as Trustee for the insured, and must name the City, the Contractor, Subcontractors, and Suppliers of all tiers as named insured. We as Trustee will collect, adjust, and receive all monies which may become due and payable under the policy or policies, may compromise any and all claims thereunder, and will apply the proceeds of such insurance to the repair, reconstruction, or replacement of the Work.
4. Any deductible applicable to the insurance must be identified in the policy or policies documents and responsibility for paying the part of any loss not covered because of the application of such deductibles must be apportioned among the parties except for the City as follows: if there is more than one claimant for a single occurrence, then each claimant must pay a pro-rata share of the per occurrence deductible based upon the percentage of their paid claim to the total paid for insured. The City must be entitled to 100% of its loss. The Contractor must pay the City any portion of that loss not covered because of a deductible, at the same time the proceeds of the insurance are paid to the City as trustee.
5. Any insured, other than the City, making claim to which a deductible applies must be responsible for 100% of the loss not insured because of the deductible. Except as provided for under California law, the policy or policies must provide that the City is entitled to 30 days prior written notice (10 days for cancellation due to non-payment of premium) of cancellation or non-renewal of the policy or policies.

**7-3.3 Rating Requirements.** Except for the State Compensation Insurance Fund, all insurance required by this contract as described herein must be carried only by responsible insurance companies with a rating of, or equivalent to, at least “A-, VI” by A.M. Best Company, that are authorized by the California Insurance Commissioner to do business in the State, and that have been approved by the City.

**7-3.3.1 Non-Admitted Carriers.** The City will accept insurance provided by non-admitted, “surplus lines” carriers only if the carrier is authorized to do business in the State and is included on the List of Approved Surplus Lines Insurers (LASLI list).

All policies of insurance carried by non-admitted carriers must be subject to all of the requirements for policies of insurance provided by admitted carriers described herein.

**7-3.4 Evidence of Insurance.** Furnish to the City documents e.g., certificates of insurance and endorsements evidencing the insurance required herein, and furnish renewal documentation prior to expiration of this insurance. Each required document must be signed by the insurer or a person authorized by the insurer to bind coverage on its behalf. We reserve the right to require complete, certified copies of all insurance policies required herein.

**7-3.5 Policy Endorsements.**

**7-3.5.1 Commercial General Liability Insurance**



**7-3.5.1.1 Additional Insured.**

- a) You must provide at your expense policy endorsement written on the current version of the ISO Occurrence form CG 20 10 11 85 or an equivalent form providing coverage at least as broad.
- b) To the fullest extent allowed by law e.g., California Insurance Code §11580.04, the policy must be endorsed to include the City and its respective elected officials, officers, employees, agents, and representatives as additional insured.
- c) The additional insured coverage for projects for which the Engineer’s Estimate is \$1,000,000 or more must include liability arising out of: (a) Ongoing operations performed by you or on your behalf, (b) your products, (c) your work, e.g., your completed operations performed by you or on your behalf, or (d) premises owned, leased, controlled, or used by you.
- d) The additional insured coverage for projects for which the Engineer’s Estimate is less than \$1,000,000 must include liability arising out of: (a) Ongoing operations performed by you or on your behalf, (b) your products, or (c) premises owned, leased, controlled, or used by you.

**7-3.5.1.2 Primary and Non-Contributory Coverage.** The policy must be endorsed to provide that the coverage with respect to operations, including the completed operations, if appropriate, of the Named Insured is primary to any insurance or self-insurance of the City and its elected officials, officers, employees, agents and representatives. Further, it must provide that any insurance maintained by the City and its elected officials, officers, employees, agents and representatives must be in excess of your insurance and must not contribute to it.

**7-3.5.1.3 Project General Aggregate Limit.**

The policy or policies must be endorsed to provide a Designated Construction Project General Aggregate Limit that will apply only to the Work. Only claims payments which arise from the Work must reduce the Designated Construction Project General Aggregate Limit. The Designated Construction Project General Aggregate Limit must be in addition to the aggregate limit provided for the products-completed operations hazard.

**7-3.5.2 Commercial Automobile Liability Insurance.**

**7-3.5.2.1 Additional Insured.** Unless the policy or policies of Commercial Auto Liability Insurance are written on an ISO form CA 00 01 12 90 or a later version of this form or equivalent form providing coverage at least as broad, the policy must be endorsed to include the City and its respective elected officials, officers, employees, agents, and representatives as additional insured, with respect to liability arising out of automobiles owned, leased, hired or borrowed by you or on your behalf. This endorsement is limited to the obligations permitted by California Insurance Code §11580.04.

**7-3.5.5 Builders Risk Endorsements.**

**7-3.5.5.1 Waiver of Subrogation.** The policy or policies must be endorsed to provide that the insurer will waive all rights of subrogation against the City, and its respective elected officials, officers, employees, agents, and representatives for losses paid under the terms of the policy or policies and which arise from work performed by the Named Insured for the City.

**7-3.5.5.2 Builders Risk – Partial Utilization.** If the City desire to occupy or use a portion or portions of the Work prior to Acceptance in accordance with this contract, the City will notify you and you must immediately notify your Builder's Risk insurer and obtain an endorsement that the policy or policies must not be cancelled or lapse on account of any such partial use or occupancy. You must obtain the endorsement prior to our occupation and use.

**7-3.6 Deductibles and Self-Insured Retentions.** You must pay for all deductibles and self-insured retentions. You must disclose deductibles and self-insured retentions to the City at the time the evidence of insurance is provided.

**7-3.7 Reservation of Rights.** The City reserves the right, from time to time, to review your insurance coverage, limits, deductibles and self-insured retentions to determine if they are acceptable to the City. The City will reimburse you, without overhead, profit, or any other markup, for the cost of additional premium for any coverage requested by the Engineer but not required by this contract.

**7-3.8 Notice of Changes to Insurance.** You must notify the City 30 days prior to any material change to the policies of insurance provided under this contract.

**7-3.9 Excess Insurance.** Policies providing excess coverage must follow the form of the primary policy or policies e.g., all endorsements.

**7-4 WORKERS' COMPENSATION INSURANCE.** DELETE in its entirety and SUBSTITUTE with the following:

**7-4.1 Workers' Compensation Insurance and Employers Liability Insurance.**

1. In accordance with the provisions of §3700 of the California Labor Code, you must provide at your expense Workers' Compensation Insurance and Employers Liability Insurance to protect you against all claims under applicable state workers compensation laws. The City, its elected officials, and employees will not be responsible for any claims in law or equity occasioned by your failure to comply with the requirements of this section.
2. Limits for this insurance must be not less than the following:

<u>Workers' Compensation</u>	<u>Statutory Employers Liability</u>
Bodily Injury by Accident	\$1,000,000 each accident
Bodily Injury by Disease	\$1,000,000 each employee
Bodily Injury by Disease	\$1,000,000 policy limit

3. By signing and returning the Contract you certify that you are aware of the provisions of §3700 of the Labor Code which require every employer to be insured against liability for worker's compensation or to undertake self-insurance in accordance with the provisions of that code and you must comply with such provisions before commencing the Work as required by §1861 of the California Labor Code.

**7-4.1.1 Waiver of Subrogation.**

The policy or policies must be endorsed to provide that the insurer will waive all rights of subrogation against the City, and its respective elected officials, officers, employees, agents, and representatives for losses paid under the terms of the policy or policies and which arise from work performed by the Named Insured for the City.

**7-8.6 Water Pollution Control. ADD the following:**

1. Based on a preliminary Assessment by the City, the Contractor is subject to WPCP and has a low priority designation.

**7-10.5.3 Steel Plate Covers.** Table 7-10.5.3(A), REVISE the plate thickness for 5'-3" trench width to read 1 3/4".

**7-15 INDEMNIFICATION AND HOLD HARMLESS AGREEMENT.** To the City Supplement,, fourth paragraph, last sentence, DELETE in its entirety and SUBSTITUTE with the following:

Your duty to indemnify and hold harmless does not include any claims or liability arising from the established active or sole negligence, or willful misconduct of the City, its officers, or employees.

**SECTION 8 - FACILITIES FOR AGENCY PERSONNEL**

**8-2 FIELD OFFICE FACILITIES.** To the City Supplement, DELETE in its entirety.

**SECTION 9 - MEASUREMENT AND PAYMENT**

**9-3.2.5 Withholding of Payment.** To the City Supplement, item i), DELETE in its entirety and SUBSTITUTE with the following:

- i) Your failure to comply with 7-2.3, "PAYROLL RECORDS" and 2-16, "CONTRACTOR REGISTRATION AND ELECTRONIC REPORTING SYSTEM."

**ADD:**

**9-3.7 Compensation Adjustments for Price Index Fluctuations.** This Contract is not subject to the provisions of The WHITEBOOK for Compensation Adjustments for Price Index Fluctuations for the paving asphalt.

## SECTION 707 – RESOURCE DISCOVERIES

### ADD:

- 707-1.1 Environmental Document.** The City of San Diego Environmental Analysis Section (EAS) of the Development Services Department has prepared Notice of Exemption for Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal, PTS No. 330915 and 330901, as referenced in the Contract Appendix. You must comply with all requirements of the Notice of Exemption as set forth in the Contract Appendix A.

Compliance with the City’s environmental document is included in the various Bid items, unless a bid item has been provided.

## SECTION 708 – ASBESTOS MATERIALS

- 708-5 Friable Asbestos.** To the City Supplement, ADD the following:

Asbestos to be removed by others. See Appendix F for the Asbestos and Lead Report.

### END OF SUPPLEMENTARY SPECIAL PROVISIONS (SSP)

## TECHNICALS

**TECHNICAL SPECIFICATIONS**  
**FOR**  
**TIMKEN MUSEUM ADA BARRIER REMOVAL**

## **TIMKEN MUSEUM ADA BARRIER REMOVAL**

### **TECHNICAL SPECIFICATIONS**

#### **DIVISION 01 – GENERAL REQUIREMENTS**

017300 EXECUTION

#### **DIVISION 02 – SITE CONDITIONS**

024119 SELECTIVE STRUCTURE DEMOLITION

#### **DIVISION 8 – OPENINGS**

081213 HOLLOW METAL FRAMES

#### **DIVISION 10 – SPECIALTIES**

101400 SIGNS

#### **DIVISION 22 – PLUMBING**

220500 COMMON WORK RESULTS FOR PLUMBING

224000 PLUMBING FIXTURES

#### **DIVISION 26 – ELECTRICAL**

260000 ELECTRICAL REQUIREMENTS

#### **DIVISION 28 – ELECTRONIC SAFETY AND SECURITY**

283111 DIGITAL, ADDRESSABLE FIRE-ALARM SYSTEM

**END TABLE OF CONTENTS**

## SECTION 017300 - EXECUTION

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section includes general administrative and procedural requirements governing execution of the Work including, but not limited to, the following:
  - 1. Installation of the Work.
  - 2. Cutting and patching.
  - 3. Progress cleaning.
  - 4. Starting and adjusting.
  - 5. Protection of installed construction.
  - 6. Correction of the Work.
- B. Related Requirements:
  - 1. Section 024119 "Selective Structure Demolition" for demolition and removal of selected portions of the building.

#### 1.2 DEFINITIONS

- A. Cutting: Removal of in-place construction necessary to permit installation or performance of other work.
- B. Patching: Fitting and repair work required to restore construction to original conditions after installation of other work.

#### 1.3 QUALITY ASSURANCE

- A. Cutting and Patching: Comply with requirements for and limitations on cutting and patching of construction elements.
  - 1. Structural Elements: When cutting and patching structural elements, notify Resident Engineer of locations and details of cutting and await directions from Resident Engineer before proceeding. Shore, brace, and support structural elements during cutting and patching. Do not cut and patch structural elements in a manner that could change their load-carrying capacity or increase deflection
  - 2. Operational Elements: Do not cut and patch operating elements and related components in a manner that results in reducing their capacity to perform as intended or that results in increased maintenance or decreased operational life or safety. Operational elements include the following:
    - a. Primary operational systems and equipment.
    - b. Fire-suppression systems.
    - c. Mechanical systems piping and ducts.
    - d. Control systems.



- e. Communication systems.
  - f. Fire-detection and -alarm systems.
  - g. Electrical wiring systems.
3. Visual Elements: Do not cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not cut and patch exposed construction in a manner that would, in Resident Engineer's opinion, reduce the building's aesthetic qualities. Remove and replace construction that has been cut and patched in a visually unsatisfactory manner.

## PART 2 - PRODUCTS

### 2.1 MATERIALS

- A. In-Place Materials: Use materials for patching identical to in-place materials. For exposed surfaces, use materials that visually match in-place adjacent surfaces to the fullest extent possible.
- 1. If identical materials are unavailable or cannot be used, use materials that, when installed, will provide a match acceptable to Resident Engineer for the visual and functional performance of in-place materials.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Existing Conditions: The existence and location of underground and other utilities and construction indicated as existing are not guaranteed. Before beginning sitework, investigate and verify the existence and location of underground utilities and other construction affecting the Work.
- 1. Before construction, verify the location and invert elevation at points of connection of sanitary sewer, storm sewer, and water-service piping; underground electrical services, and other utilities.
- B. Examination and Acceptance of Conditions: Before proceeding with each component of the Work, examine substrates, areas, and conditions, with Installer or Applicator present where indicated, for compliance with requirements for installation tolerances and other conditions affecting performance. Record observations.
- 1. Examine roughing-in for mechanical and electrical systems to verify actual locations of connections before equipment and fixture installation.
  - 2. Examine walls, floors, and roofs for suitable conditions where products and systems are to be installed.
  - 3. Verify compatibility with and suitability of substrates, including compatibility with existing finishes or primers.
- C. Proceed with installation only after unsatisfactory conditions have been corrected. Proceeding with the Work indicates acceptance of surfaces and conditions.

### 3.2 PREPARATION

- A. Field Measurements: Take field measurements as required to fit the Work properly. Recheck measurements before installing each product. Where portions of the Work are indicated to fit to other construction, verify dimensions of other construction by field measurements before fabrication. Coordinate fabrication schedule with construction progress to avoid delaying the Work.
- B. Space Requirements: Verify space requirements and dimensions of items shown diagrammatically on Drawings.
- C. Review of Contract Documents and Field Conditions: Immediately on discovery of the need for clarification of the Contract Documents caused by differing field conditions outside the control of Contractor, notify the Resident Engineer

### 3.3 CONSTRUCTION LAYOUT

- A. Verification: Before proceeding to lay out the Work, verify layout information shown on Drawings, in relation to the property survey and existing benchmarks. If discrepancies are discovered, notify Resident Engineer promptly.
- B. Site Improvements: Locate and lay out site improvements, including pavements, grading, fill and topsoil placement, utility slopes, and rim and invert elevations.

### 3.4 INSTALLATION

- A. General: Locate the Work and components of the Work accurately, in correct alignment and elevation, as indicated.
  - 1. Make vertical work plumb and make horizontal work level.
  - 2. Where space is limited, install components to maximize space available for maintenance and ease of removal for replacement.
  - 3. Conceal pipes, ducts, and wiring in finished areas unless otherwise indicated.
- B. Comply with manufacturer's written instructions and recommendations for installing products in applications indicated.
- C. Install products at the time and under conditions that will ensure the best possible results. Maintain conditions required for product performance until Substantial Completion.
- D. Conduct construction operations so no part of the Work is subjected to damaging operations or loading in excess of that expected during normal conditions of occupancy.
- E. Sequence the Work and allow adequate clearances to accommodate movement of construction items on site and placement in permanent locations.
- F. Tools and Equipment: Do not use tools or equipment that produce harmful noise levels.
- G. Templates: Obtain and distribute to the parties involved templates for work specified to be factory prepared and field installed. Check Shop Drawings of other work to confirm

that adequate provisions are made for locating and installing products to comply with indicated requirements.

- H. Attachment: Provide blocking and attachment plates and anchors and fasteners of adequate size and number to securely anchor each component in place, accurately located and aligned with other portions of the Work. Where size and type of attachments are not indicated, verify size and type required for load conditions.
  - 1. Mounting Heights: Where mounting heights are not indicated, mount components at heights directed by Resident Engineer.
  - 2. Allow for building movement, including thermal expansion and contraction.
  - 3. Coordinate installation of anchorages. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors, that are to be embedded in concrete or masonry. Deliver such items to Project site in time for installation.
- I. Joints: Make joints of uniform width. Where joint locations in exposed work are not indicated, arrange joints for the best visual effect. Fit exposed connections together to form hairline joints.
- J. Hazardous Materials: Use products, cleaners, and installation materials that are not considered hazardous.

### 3.5 CUTTING AND PATCHING

- A. Cutting and Patching, General: Employ skilled workers to perform cutting and patching. Proceed with cutting and patching at the earliest feasible time, and complete without delay.
  - 1. Cut in-place construction to provide for installation of other components or performance of other construction, and subsequently patch as required to restore surfaces to their original condition.
- B. Existing Warranties: Remove, replace, patch, and repair materials and surfaces cut or damaged during installation or cutting and patching operations, by methods and with materials so as not to void existing warranties.
- C. Temporary Support: Provide temporary support of work to be cut.
- D. Protection: Protect in-place construction during cutting and patching to prevent damage. Provide protection from adverse weather conditions for portions of Project that might be exposed during cutting and patching operations.
- E. Adjacent Occupied Areas: Where interference with use of adjoining areas or interruption of free passage to adjoining areas is unavoidable, coordinate cutting and patching.
- F. Existing Utility Services and Mechanical/Electrical Systems: Where existing services/systems are required to be removed, relocated, or abandoned, bypass such services/systems before cutting to minimize interruption to occupied areas.

- G. Cutting: Cut in-place construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction. If possible, review proposed procedures with original Installer; comply with original Installer's written recommendations.
1. In general, use hand or small power tools designed for sawing and grinding, not hammering and chopping. Cut holes and slots neatly to minimum size required, and with minimum disturbance of adjacent surfaces. Temporarily cover openings when not in use.
  2. Finished Surfaces: Cut or drill from the exposed or finished side into concealed surfaces.
  3. Concrete and Masonry: Cut using a cutting machine, such as an abrasive saw or a diamond-core drill.
  4. Excavating and Backfilling: Comply with requirements in applicable Sections where required by cutting and patching operations.
  5. Mechanical and Electrical Services: Cut off pipe or conduit in walls or partitions to be removed. Cap, valve, or plug and seal remaining portion of pipe or conduit to prevent entrance of moisture or other foreign matter after cutting.
  6. Proceed with patching after construction operations requiring cutting are complete.
- H. Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations following performance of other work. Patch with durable seams that are as invisible as practicable. Provide materials and comply with installation requirements specified in other Sections, where applicable.
1. Inspection: Where feasible, test and inspect patched areas after completion to demonstrate physical integrity of installation.
  2. Exposed Finishes: Restore exposed finishes of patched areas and extend finish restoration into retained adjoining construction in a manner that will minimize evidence of patching and refinishing.
    - a. Clean piping, conduit, and similar features before applying paint or other finishing materials.
    - b. Restore damaged pipe covering to its original condition.
  3. Floors and Walls: Where walls or partitions that are removed extend one finished area into another, patch and repair floor and wall surfaces in the new space. Provide an even surface of uniform finish, color, texture, and appearance. Remove in-place floor and wall coverings and replace with new materials, if necessary, to achieve uniform color and appearance.
    - a. Where patching occurs in a painted surface, prepare substrate and apply primer and intermediate paint coats appropriate for substrate over the patch, and apply final paint coat over entire unbroken surface containing the patch. Provide additional coats until patch blends with adjacent surfaces.
  4. Ceilings: Patch, repair, or rehang in-place ceilings as necessary to provide an even-plane surface of uniform appearance.

5. Exterior Building Enclosure: Patch components in a manner that restores enclosure to a weathertight condition and ensures thermal and moisture integrity of building enclosure.
- I. Cleaning: Clean areas and spaces where cutting and patching are performed. Remove paint, mortar, oils, putty, and similar materials from adjacent finished surfaces.

### 3.6 PROGRESS CLEANING

- A. General: Clean Project site and work areas daily, including common areas. Enforce requirements strictly. Dispose of materials lawfully.
  1. Comply with requirements in NFPA 241 for removal of combustible waste materials and debris.
  2. Do not hold waste materials more than seven days during normal weather or three days if the temperature is expected to rise above 80 deg F.
  3. Containerize hazardous and unsanitary waste materials separately from other waste. Mark containers appropriately and dispose of legally, according to regulations.
    - a. Use containers intended for holding waste materials of type to be stored.
- B. Site: Maintain Project site free of waste materials and debris.
- C. Work Areas: Clean areas where work is in progress to the level of cleanliness necessary for proper execution of the Work.
  1. Remove liquid spills promptly.
  2. Where dust would impair proper execution of the Work, broom-clean or vacuum the entire work area, as appropriate.
- D. Installed Work: Keep installed work clean. Clean installed surfaces according to written instructions of manufacturer or fabricator of product installed, using only cleaning materials specifically recommended. If specific cleaning materials are not recommended, use cleaning materials that are not hazardous to health or property and that will not damage exposed surfaces.
- E. Concealed Spaces: Remove debris from concealed spaces before enclosing the space.
- F. Exposed Surfaces in Finished Areas: Clean exposed surfaces and protect as necessary to ensure freedom from damage and deterioration at time of Substantial Completion.
- G. Waste Disposal: Do not bury or burn waste materials on-site. Do not wash waste materials down sewers or into waterways.
- H. During handling and installation, clean and protect construction in progress and adjoining materials already in place. Apply protective covering where required to ensure protection from damage or deterioration at Substantial Completion.

- I. Clean and provide maintenance on completed construction as frequently as necessary through the remainder of the construction period. Adjust and lubricate operable components to ensure operability without damaging effects.

### 3.7 PROTECTION OF INSTALLED CONSTRUCTION

- A. Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.

**END OF SECTION 017300**

## SECTION 024119 - SELECTIVE DEMOLITION

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section Includes:
  - 1. Demolition and removal of selected portions of building or structure.
  - 2. Salvage of existing items to be reused or recycled.
- B. Related Requirements:
  - 1. Section 017300 "Execution" for cutting and patching procedures.

#### 1.2 DEFINITIONS

- A. Remove: Detach items from existing construction and legally dispose of them off-site unless indicated to be removed and salvaged or removed and reinstalled.
- B. Remove and Salvage: Carefully detach from existing construction, in a manner to prevent damage, and deliver to Owner.
- C. Remove and Reinstall: Detach items from existing construction, prepare for reuse, and reinstall where indicated.
- D. Existing to Remain: Existing items of construction that are not to be permanently removed and that are not otherwise indicated to be removed, removed and salvaged, or removed and reinstalled.

#### 1.3 MATERIALS OWNERSHIP

- A. Unless otherwise indicated, demolition waste becomes property of Contractor.
- B. Historic items, relics, antiques, and similar objects including, but not limited to, cornerstones and their contents, commemorative plaques and tablets, and other items of interest or value to Owner that may be uncovered during demolition remain the property of Owner.
  - 1. Carefully salvage in a manner to prevent damage and promptly return to Owner.

#### 1.4 INFORMATIONAL SUBMITTALS

- A. Proposed Protection Measures: Submit report, including drawings, that indicates the measures proposed for protecting individuals and property, for dust control and for noise control. Indicate proposed locations and construction of barriers.
- B. Schedule of Selective Demolition Activities: Indicate the following:

1. Detailed sequence of selective demolition and removal work, with starting and ending dates for each activity. Ensure Owner's building manager's and other tenants' on-site operations are uninterrupted.
  2. Interruption of utility services. Indicate how long utility services will be interrupted.
  3. Coordination for shutoff, capping, and continuation of utility services.
  4. Use of elevator and stairs.
  5. Coordination of Owner's continuing occupancy of portions of existing building and of Owner's partial occupancy of completed Work.
- C. Inventory: Submit a list of items to be removed and salvaged and deliver to Owner prior to start of demolition.
- D. Predemolition Photographs or Video: Submit before Work begins.

#### 1.5 CLOSEOUT SUBMITTALS

- A. Inventory: Submit a list of items that have been removed and salvaged.
- B. Landfill Records: Indicate receipt and acceptance of hazardous wastes by a landfill facility licensed to accept hazardous wastes.

#### 1.6 FIELD CONDITIONS

- A. Owner will occupy portions of building immediately adjacent to selective demolition area. Conduct selective demolition so Owner's operations will not be disrupted.
- B. Notify Resident Engineer of discrepancies between existing conditions and Drawings before proceeding with selective demolition.
- C. Hazardous Materials: It is not expected that hazardous materials will be encountered in the Work.
  1. Hazardous materials will be removed by Owner before start of the Work.
  2. If suspected hazardous materials are encountered, do not disturb; immediately notify Resident Engineer and Owner. Hazardous materials will be removed by Owner under a separate contract.
- D. Historic Areas: Demolition and hauling equipment and other materials shall be of sizes that clear surfaces within historic spaces, areas, rooms, and openings, including temporary protection, by 12 inches or more.
- E. Storage or sale of removed items or materials on-site is not permitted.
- F. Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
  1. Maintain fire-protection facilities in service during selective demolition operations.



## PART 2 - PRODUCTS

### 2.1 PERFORMANCE REQUIREMENTS

- A. Regulatory Requirements: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.
  
- B. Standards: Comply with ANSI/ASSE A10.6 and NFPA 241.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Verify that utilities have been disconnected and capped before starting selective demolition operations.
- B. Review record documents of existing construction provided by Owner. Owner does not guarantee that existing conditions are same as those indicated in record documents.
- C. Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required.
- D. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Promptly submit a written report to Resident Engineer.
- E. Survey of Existing Conditions: Record existing conditions by use of preconstruction photographs or preconstruction videotapes.
  - 1. Inventory and record the condition of items to be removed and salvaged. Provide photographs or video of conditions that might be misconstrued as damage caused by salvage operations.
  - 2. Before selective demolition or removal of existing building elements that will be reproduced or duplicated in final Work, make permanent record of measurements, materials, and construction details required to make exact reproduction.

### 3.2 UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

- A. Existing Services/Systems to Remain: Maintain services/systems indicated to remain and protect them against damage.
- B. Existing Services/Systems to Be Removed, Relocated, or Abandoned: Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

1. Arrange to shut off indicated utilities with utility companies.
2. If services/systems are required to be removed, relocated, or abandoned, provide temporary services/systems that bypass area of selective demolition and that maintain continuity of services/systems to other parts of building.
3. Disconnect, demolish, and remove fire-suppression systems, plumbing, and HVAC systems, equipment, and components indicated to be removed.
  - a. Piping to Be Removed: Remove portion of piping indicated to be removed and cap or plug remaining piping with same or compatible piping material.
  - b. Piping to Be Abandoned in Place: Drain piping and cap or plug piping with same or compatible piping material.
  - c. Equipment to Be Removed: Disconnect and cap services and remove equipment.
  - d. Equipment to Be Removed and Reinstalled: Disconnect and cap services and remove, clean, and store equipment; when appropriate, reinstall, reconnect, and make equipment operational.
  - e. Equipment to Be Removed and Salvaged: Disconnect and cap services and remove equipment and deliver to Owner.
  - f. Ducts to Be Removed: Remove portion of ducts indicated to be removed and plug remaining ducts with same or compatible ductwork material.
  - g. Ducts to Be Abandoned in Place: Cap or plug ducts with same or compatible ductwork material.

### 3.3 PREPARATION

- A. Site Access and Temporary Controls: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.
- B. Temporary Facilities: Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain.
  1. Provide protection to ensure safe passage of people around selective demolition area and to and from occupied portions of building.
  2. Provide temporary weather protection, during interval between selective demolition of existing construction on exterior surfaces and new construction, to prevent water leakage and damage to structure and interior areas.
  3. Protect walls, ceilings, floors, and other existing finish work that are to remain or that are exposed during selective demolition operations.
  4. Cover and protect furniture, furnishings, and equipment that have not been removed.
  5. Provide temporary enclosures, dust control, heating, and cooling as needed.

### 3.4 SELECTIVE DEMOLITION, GENERAL

- A. General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:

1. Proceed with selective demolition systematically, from higher to lower level. Complete selective demolition operations above each floor or tier before disturbing supporting members on the next lower level.
  2. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.
  3. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.
  4. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.
  5. Maintain adequate ventilation when using cutting torches.
  6. Remove decayed, vermin-infested, or otherwise dangerous or unsuitable materials and promptly dispose of off-site.
  7. Dispose of demolished items and materials promptly.
- B. Work in Historic Areas: Selective demolition may be performed only in areas of the Project that are not designated as historic. Confirm with Resident Engineer the removal of any building elements that may be considered Historic.
- C. Removed and Salvaged Items:
1. Clean salvaged items.
  2. Pack or crate items after cleaning. Identify contents of containers.
  3. Store items in a secure area until delivery to Owner.
  4. Transport items to Owner's storage area designated by Resident Engineer.
  5. Protect items from damage during transport and storage.
- D. Removed and Reinstalled Items:
1. Clean and repair items to functional condition adequate for intended reuse.
  2. Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.
- E. Existing Items to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Resident Engineer, items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.

### 3.5 DISPOSAL OF DEMOLISHED MATERIALS

- A. General: Except for items or materials indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.

1. Do not allow demolished materials to accumulate on-site.
  2. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
  3. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent.
  4. Comply with requirements specified in City of San Diego "Whitebook."
- B. Disposal: Transport demolished materials off Owner's property and legally dispose of them.

### 3.6 CLEANING

- A. Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.

**END OF SECTION 024119**

## SECTION 081213 - HOLLOW METAL FRAMES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section includes hollow-metal frames.

#### 1.2 COORDINATION

- A. Coordinate anchorage installation for hollow-metal frames. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors. Deliver such items to Project site in time for installation.

#### 1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.
  - 1. Include construction details, material descriptions, and finishes.
- B. Shop Drawings: Include the following:
  - 1. Frame details for each frame type, including dimensioned profiles and metal thicknesses.
  - 2. Locations of reinforcement and preparations for hardware.
  - 3. Details of each different wall opening condition.
  - 4. Details of anchorages, joints, field splices, and connections.

#### 1.4 DELIVERY, STORAGE, AND HANDLING

- A. Deliver hollow-metal work palletized, packaged, or crated to provide protection during transit and Project-site storage. Do not use nonvented plastic.
  - 1. Provide additional protection to prevent damage to factory-finished units.
- B. Deliver welded frames with two removable spreader bars across bottom of frames, tack welded to jambs and mullions.
- C. Store hollow-metal work vertically under cover at Project site with head up. Place on minimum 4-inch- high wood blocking. Provide minimum 1/4-inch space between each unit to permit air circulation.

## PART 2 - PRODUCTS

### 2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
1. Ceco Door Products; an Assa Abloy Group company.
  2. Curries Company; an Assa Abloy Group company.
  3. Steelcraft; an Ingersoll-Rand company.
- B. Source Limitations: Obtain hollow-metal work from single source from single manufacturer.

### 2.2 INTERIOR FRAMES

- A. Construct interior frames to comply with the standards indicated for materials, fabrication, hardware locations, hardware reinforcement, tolerances, and clearances, and as specified.
- B. Heavy-Duty Frames: SDI A250.8, Level 2.
1. Physical Performance: Level B according to SDI A250.4.
  2. Materials: Uncoated steel sheet, minimum thickness of 0.053 inch.
  3. Construction: Slip-on drywall.
  4. Exposed Finish: Prime.

### 2.3 FRAME ANCHORS

- A. Jamb Anchors:
1. Stud-Wall Type: Designed to engage stud, welded to back of frames; not less than 0.042 inch thick.
  2. Compression Type for Drywall Slip-on Frames: Adjustable compression anchors.
- B. Floor Anchors: Formed from same material as frames, minimum thickness of 0.042 inch, and as follows:
1. Monolithic Concrete Slabs: Clip-type anchors, with two holes to receive fasteners.

### 2.4 MATERIALS

- A. Cold-Rolled Steel Sheet: ASTM A 1008/A 1008M, Commercial Steel (CS), Type B; suitable for exposed applications.
- B. Hot-Rolled Steel Sheet: ASTM A 1011/A 1011M, Commercial Steel (CS), Type B; free of scale, pitting, or surface defects; pickled and oiled.
- C. Metallic-Coated Steel Sheet: ASTM A 653/A 653M, Commercial Steel (CS), Type B.

- D. Frame Anchors: ASTM A 879/A 879M, Commercial Steel (CS), 04Z coating designation; mill phosphatized.
  - 1. For anchors built into exterior walls, steel sheet complying with ASTM A 1008/A 1008M or ASTM A 1011/A 1011M, hot-dip galvanized according to ASTM A 153/A 153M, Class B.
- E. Inserts, Bolts, and Fasteners: Hot-dip galvanized according to ASTM A 153/A 153M.
- F. Mineral-Fiber Insulation: ASTM C 665, Type I (blankets without membrane facing); consisting of fibers manufactured from slag or rock wool with 6- to 12-lb/cu. ft. density; with maximum flame-spread and smoke-developed indexes of 25 and 50, respectively; passing ASTM E 136 for combustion characteristics.

## 2.5 FABRICATION

- A. Fabricate hollow-metal work to be rigid and free of defects, warp, or buckle. Accurately form metal to required sizes and profiles, with minimum radius for metal thickness. Where practical, fit and assemble units in manufacturer's plant. To ensure proper assembly at Project site, clearly identify work that cannot be permanently factory assembled before shipment.
- B. Hollow-Metal Frames: Where frames are fabricated in sections due to shipping or handling limitations, provide alignment plates or angles at each joint, fabricated of same thickness metal as frames.
  - 1. Provide countersunk, flat- or oval-head exposed screws and bolts for exposed fasteners unless otherwise indicated.
  - 2. Floor Anchors: Weld anchors to bottoms of jambs with at least four spot welds per anchor; however, for slip-on drywall frames, provide anchor clips or countersunk holes at bottoms of jambs.
  - 3. Jamb Anchors: Provide number and spacing of anchors as follows:
    - a. Stud-Wall Type: Locate anchors not more than 18 inches from top and bottom of frame. Space anchors not more than 32 inches o.c. and as follows:
      - 1) Four anchors per jamb from 60 to 90 inches high.
    - b. Compression Type: Not less than two anchors in each frame.
  - 4. Door Silencers: Except on weather-stripped frames, drill stops to receive door silencers as follows. Keep holes clear during construction.
    - a. Single-Door Frames: Drill stop in strike jamb to receive three door silencers.
    - b. Double-Door Frames: Drill stop in head jamb to receive two door silencers.
- C. Hardware Preparation: Factory prepare hollow-metal work to receive templated mortised hardware; include cutouts, reinforcement, mortising, drilling, and tapping according to SDI A250.6, the Door Hardware Schedule, and templates.

1. Reinforce frames to receive nontemplated, mortised, and surface-mounted hardware.
2. Comply with applicable requirements in SDI A250.6 and BHMA A156.115 for preparation of hollow-metal work for hardware.

## 2.6 STEEL FINISHES

- A. Prime Finish: Clean, pretreat, and apply manufacturer's standard primer.
  1. Shop Primer: Manufacturer's standard, fast-curing, lead- and chromate-free primer complying with SDI A250.10; recommended by primer manufacturer for substrate; compatible with substrate and field-applied coatings despite prolonged exposure.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Examine roughing-in for embedded and built-in anchors to verify actual locations before frame installation.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 PREPARATION

- A. Remove welded-in shipping spreaders installed at factory. Restore exposed finish by grinding, filling, and dressing, as required to make repaired area smooth, flush, and invisible on exposed faces.
- B. Drill and tap frames to receive nontemplated, mortised, and surface-mounted hardware.

### 3.3 INSTALLATION

- A. General: Install hollow-metal work plumb, rigid, properly aligned, and securely fastened in place. Comply with Drawings and manufacturer's written instructions.
  1. Hollow-Metal Frames: Install hollow-metal frames of size and profile indicated. Comply with SDI A250.11 or NAAMM-HMMA 840 as required by standards specified.
  2. Set frames accurately in position; plumbed, aligned, and braced securely until permanent anchors are set. After wall construction is complete, remove temporary braces, leaving surfaces smooth and undamaged.



- a. Check plumb, square, and twist of frames as walls are constructed. Shim as necessary to comply with installation tolerances.
3. Floor Anchors: Provide floor anchors for each jamb and mullion that extends to floor, and secure with postinstalled expansion anchors.
    - a. Floor anchors may be set with power-actuated fasteners instead of postinstalled expansion anchors if so indicated and approved on Shop Drawings.
  4. Metal-Stud Partitions: Solidly pack mineral-fiber insulation inside frames.
  5. In-Place Metal or Wood-Stud Partitions: Secure slip-on drywall frames in place according to manufacturer's written instructions.
  6. Installation Tolerances: Adjust hollow-metal door frames for squareness, alignment, twist, and plumb to the following tolerances:
    - a. Squareness: Plus or minus 1/16 inch, measured at door rabbet on a line 90 degrees from jamb perpendicular to frame head.
    - b. Alignment: Plus or minus 1/16 inch, measured at jambs on a horizontal line parallel to plane of wall.
    - c. Twist: Plus or minus 1/16 inch, measured at opposite face corners of jambs on parallel lines, and perpendicular to plane of wall.
    - d. Plumbness: Plus or minus 1/16 inch, measured at jambs at floor.

#### 3.4 ADJUSTING AND CLEANING

- A. Final Adjustments: Remove and replace defective work, including hollow-metal work that is warped, bowed, or otherwise unacceptable.
- B. Prime-Coat Touchup: Immediately after erection, sand smooth rusted or damaged areas of prime coat and apply touchup of compatible air-drying, rust-inhibitive primer.
- C. Touchup Painting: Cleaning and touchup painting of abraded areas of paint are specified in painting Sections.

**END OF SECTION 081213**

## SECTION 101400 - SIGNS

### PART 1 - GENERAL

#### 1.1 SUMMARY

A. This Section includes the following types of signs:

1. Panel signs.

#### 1.2 SUBMITTALS

A. General: Submit the following according to the Conditions of the Contract.

B. Product data for each type of sign specified, including details of construction relative to materials, dimensions of individual components, profiles, and finishes.

C. Shop drawings showing fabrication and erection of signs. Include plans, elevations, and large-scale sections of typical members and other components. Show anchors, grounds, layout, reinforcement, accessories, and installation details.

1. Provide message list for each sign required, including large-scale details of wording and lettering layout.
2. Furnish full-size rubbings for metal plaques.

D. Samples: Provide the following samples of each sign component for initial selection of color, pattern and surface texture as required and for verification of compliance with requirements indicated.

1. Samples for selection of color, pattern, and texture:

- a. Cast Acrylic Sheet: Manufacturer's color charts consisting of actual sections of material including the full range of colors available for each material required.

#### 1.3 QUALITY ASSURANCE

A. Single-Source Responsibility: For each separate sign type required, obtain signs from one source of a single manufacturer.

### PART 2 - PRODUCTS

#### 2.1 MANUFACTURERS

- A. Manufacturers: Subject to compliance with requirements, available manufacturers offering products that may be incorporated into the Work include, but are not limited to, the following:
  - 1. Manufacturers of Panel Signs:
    - a. Andco Industries Corp.
    - b. ASI Sign Systems, Inc.
    - c. Best Manufacturing Company.
    - d. Mohawk Sign Systems.
    - e. Spanjer Brothers, Inc.
    - f. The Supersine Company.
    - g. Vomar Products, Inc.

## 2.2 MATERIALS

- A. Cast Acrylic Sheet: Provide cast (not extruded or continuous cast) methyl methacrylate monomer plastic sheet, in sizes and thicknesses indicated, with a minimum flexural strength of 16,000 psi when tested according to ASTM D 790, with a minimum allowable continuous service temperature of 176 deg F (80 deg C), and of the following general types:
  - 1. Opaque Sheet: Provide colored opaque acrylic sheet in colors and finishes as selected from the manufacturer's standards.
- B. Fasteners: Use concealed fasteners fabricated from metals that are not corrosive to the sign material and mounting surface.
- C. Anchors and Inserts: Use nonferrous metal or hot-dipped galvanized anchors and inserts for exterior installations and elsewhere as required for corrosion resistance. Use toothed steel or lead expansion bolt devices for drilled-in-place anchors. Furnish inserts, as required, to be set into concrete or masonry work.
- D. Colored Coatings for Acrylic Plastic Sheet: Use colored coatings, including inks and paints for copy and background colors, that are recommended by acrylic manufacturers for optimum adherence to acrylic surface and are nonfading for the application intended.

## 2.3 PANEL SIGNS

- A. Panel Signs: Comply with requirements indicated for materials, thicknesses, finishes, colors, designs, shapes, sizes, and details of construction.
  - 1. Produce smooth, even, level sign panel surfaces, constructed to remain flat under installed conditions within a tolerance of plus or minus 1/16 inch measured diagonally.
- B. Unframed Panel Signs: Fabricate signs with edges mechanically and smoothly finished to conform with the following requirements:

1. Edge Condition: Beveled.
  2. Corner Condition: Corners rounded to 3/8 inch radius.
- C. Graphic Content and Style: Provide sign copy that complies with the requirements indicated for size, style, spacing, content, position, material, finishes, and colors of letters, numbers, and other graphic devices.
- D. Raised Copy: Machine-cut copy characters from matte-finished opaque acrylic sheet and chemically weld onto the acrylic sheet forming sign panel face. Produce precisely formed characters with square cut edges free from burrs and cut marks.
1. Panel Material: Matte-finished opaque acrylic sheet.
  2. Raised Copy Thickness: Not less than 1/32 inch.
  3. Braille Symbols: Contracted Grade 2 Braille shall be used wherever Braille symbols are required. Dots shall be 1/10 inch on centers in each cell with 2/10 inch space between cells. Dots shall be raised a minimum of 1/40 inch above the background.

## 2.4 FINISHES

- A. Colors and Surface Textures: For exposed sign material that requires selection of materials with integral or applied colors, surface textures or other characteristics related to appearance, provide color matches indicated, or if not indicated, as selected by the Architect from the manufacturer's standards.

## PART 3 - EXECUTION

### 3.1 INSTALLATION

- A. General: Locate sign units and accessories where indicated, using mounting methods of the type described and in compliance with the manufacturer's instructions.
1. Install signs level, plumb, and at the height indicated, with sign surfaces free from distortion or other defects in appearance.
- B. Wall-Mounted Panel Signs: Attach panel signs to wall surfaces using both methods indicated below:
1. Mechanical and Adhesive Mounting: Use liquid silicone adhesive recommended by the sign manufacturer to attach sign units. Provide predrilled and countersunk holes. Attach the panel signs with fasteners and anchors suitable for secure attachment to the substrate.

### 3.2 CLEANING AND PROTECTION

- A. After installation, clean soiled sign surfaces according to the manufacturer's instructions. Protect units from damage until acceptance by the Resident Engineer.

**END OF SECTION 101400**

## SECTION 220500 - COMMON WORK RESULTS FOR PLUMBING

### PART 1 - GENERAL

#### 1.1 GENERAL CONDITIONS

- A. The General Conditions, Supplementary Conditions, and Division 01, are a part of this section and the contract for this work and apply to this section as fully as if repeated herein.

#### 1.2 SUBMITTALS

- A. Submit a minimum of six copies of shop drawings for all products. All submittal sheets shall be clearly marked or highlighted showing conformance to specifications and schedule. All submittals shall be crossed referenced to the requirements of each specification paragraph pertaining to the item being submitted. All requirements must be shown on manufacturer's literature. Manufacturer's representative's letterhead, or super-imposed notations, are not acceptable. This requirement pertains to all sections of Division 22. No exceptions. Submittals not so marked will be subject to rejection.

#### 1.3 CODES AND STANDARDS

- A. All work and materials shall be in full accordance with the latest rules and regulations of the State Fire Marshal, the Safety Orders of the Division of Industrial Safety, the California Building Code, the California Mechanical Code, the California Plumbing Code the California Electrical Code, Local Building Codes, and other applicable codes, laws or regulations of bodies lawfully empowered and having jurisdiction over this project. Nothing in the plans or specifications is to be construed to permit work not conforming to these codes.

#### 1.4 SEISMIC ANCHORAGE AND BRACING

- A. All equipment and piping shall be anchored or braced in accordance with the California Building Code. The contractor is responsible for providing anchorage or bracing for all equipment regardless of whether detailed or shown on the plans. All equipment and ductwork supports not detailed as shown on the plans, requires approval of a registered structural engineer.
- B. All piping shall be supported or braced in accordance with the SHL-A "Seismic Restraint Manual: Guideline for Mechanical Systems" latest approved edition, Superstrut "Seismic Restraint System", Unistrut Corp. "Seismic Bracing For Ductwork, Conduit, and Cable Tray Supports", or B-Line "Seismic Restraints." If the pipe size exceeds the size included in these manuals, custom designed supports are required. All custom supports

require the approval of a registered Structural Engineer. All shop drawings and calculations shall be submitted prior to fabrication.

- C. All flexibly mounted equipment shall be provided with seismic vibration isolation devices designed in accordance with the California Building Code. All anchors and equipment connections shall be submitted. All seismic vibration isolation devices shall be submitted with structural calculations signed by a Registered Structural Engineer in the State of California.

## 1.5 PERMITS

- A. The Contractor shall obtain all permits, patent rights, and licenses that are required for the performance of his work by all laws, ordinances, rules and regulations or orders of any officer and/or body, shall give all notices necessary in connection therewith, and pay all fees relating thereto and all costs and expenses incurred on account thereof. No work shall be covered before inspection by the jurisdictional inspector and the Architect.
- B. Contractor shall apply for and pay for all cost for the installation of water and gas meters, and for connection to gas, water, and sewer mains.

## 1.6 CUTTING AND PATCHING

- A. Perform all cutting and fitting required for work of this section in rough construction of the building.
- B. All patching of finished construction of building shall be performed under the sections of specifications covering these materials.
- C. All cutting of concrete work by this Contractor shall be by core drilling or concrete saw. No cutting or coring shall be done without first obtaining the permission of the Architect.

## 1.7 GENERAL

- A. Unless otherwise specified herein, all equipment and fixtures shall be installed in accordance with the manufacturer's recommendations.
- B. Before submitting his bid, the Contractor for the work under this section shall carefully study all drawings, and shall make a careful examination of the premises. He shall definitely determine in advance, the methods of installing and connecting the apparatus, the means to be provided for getting any equipment into place, and shall make himself thoroughly familiar with all the requirements of the contract. After award of the contract, no subsequent allowances will be made to the Contractor due to his failure to comply with the above requirements and any other conditions affecting the installation and completion of all work.
- C. Workmanship: All labor shall be carefully skilled for this kind of work, thorough and first class in all respects and under the direction of a competent foreman.

- D. Special Note: Any work called for on plans shall be installed whether or not mentioned in these specifications.

## 1.8 VERIFICATION OF LEAD CONTENT IN PLUMBING PRODUCTS

- A. Comply with California Health and Safety Code 116875 (AB 1953-2006) Lead Content in Plumbing Products for valves and fittings. All valves 2” and smaller and all fittings 2” and smaller for installation in the domestic water system, whether serving a fixture providing domestic water for human consumption or serving a fixture providing domestic water to a fixture not normally considered as for use for human consumption shall be provided with valve and fittings that have been verified by an independent evaluation service as meeting the requirements of the California Health and Safety Code 116875 (AB 1953-2006). When valves or fittings larger than 2” are required and verified products are available from the specified manufacturer(s), verified valves and fittings shall be submitted for approval and provided, as approved.
- B. Comply with California Health and Safety Code 116875 (AB 1953-2006) Lead Content in Plumbing Products for piping specialties installed in the domestic water system whether serving a fixture providing domestic water for human consumption or serving a fixture providing domestic water to a fixture not normally considered as for use for human consumption shall have been verified by an independent evaluation service as meeting the requirements of the California Health and Safety Code 116875 (AB 1953-2006). When piping specialty item larger than 2” is required, and a verified product is available from the specified manufacturer(s), the verified plumbing specialty item shall be submitted for approval and provided, as approved.

## 1.9 DAMAGE BY LEAKS

- A. This Contractor shall be responsible for damage to the grounds, walks, roads, buildings, piping systems, electrical systems and their equipment and contents, caused by leaks in the piping systems being installed or having been installed herein. He shall repair at his expense all damage so caused. All repair work shall be done as directed by the Architect.

## 1.10 EMERGENCY REPAIRS

- A. The Owner reserves the right to make emergency repairs as required to keep equipment in operation without voiding the Contractor's guarantee bond nor relieving the Contractor of his responsibilities.

## 1.11 EXPLANATION AND PRECEDENCE OF DRAWINGS

- A. For purposes of clearness and legibility, drawings are essentially diagrammatic, and, although size and location of equipment are drawn to scale wherever possible, Contractor shall make use of all data in all the contract documents and shall verify this information at building site.



- B. The drawings indicate required size and points of termination of pipes, and suggest proper routes to conform to structure, avoid obstructions and preserve clearances. However, it is not intended that drawings indicate all necessary offsets, and it shall be the work of the Contractor to make the installation in such a manner as to conform to structure, avoid obstructions, preserve headroom and keep openings and passageways clear, without further instructions or cost to the Owner.
- C. It is intended that all apparatus be located symmetrical with architectural elements. Refer to architectural details in completing the correlating work.
- D. The contractor shall be fully informed regarding any and all peculiarities and limitations of the spaces available for the installation of all work and materials furnished and installed under the contract. The contractor shall exercise due and particular caution to determine that all parts of his work are made quickly and easily accessible.
- E. The Contractor shall study all drawings and specifications to determine any conflict with ordinances and statutes. Any errors or omissions shall be reported, and any changes shall be shown in the as-built drawings and the additional work performed at no cost to the Owner.
- F. Submittal of bid shall indicate the Contractor has examined the site and drawings and has included all required allowances in his bid. No allowance shall be made for any error resulting from Contractor's failure to visit job site and to review drawings, and bid shall include costs for all required drawings and changes as outlined above, all at no cost to Owner.

#### 1.12 SUPERVISION AND COOPERATION

- A. This Contractor shall include the services of experienced superintendents for each sub-section who shall be constantly in charge of the work, together with the qualified journeymen, helpers and laborers, required to properly unload, install, connect, adjust, start, operate and test the work involved, including equipment and materials furnished by others and by the Owner.
- B. The work under this section shall be executed in cooperation with the work of other trades to prevent conflict or interference and to aid rapid completion of the overall project.

#### 1.13 OPERATION

- A. The Owner may require operation of parts or all of the installation for beneficial occupancy prior to final acceptance. Refer to General Conditions of the Contract.
- B. Cost of utilities for such operation shall be paid by the Owner. Said operation shall not be construed as acceptance of the work.

#### 1.14 UTILITY SERVICES DURING CONSTRUCTION

- A. All water and electric power used for construction shall be paid for by the Contractor.

#### 1.15 COORDINATION

- A. Coordinate layout and installation of piping and suspension system components with other construction, including light fixtures, HVAC ductwork / equipment, electrical conduit, fire suppression system components, and partition assemblies.
- B. Coordinate pipe sleeve installations for foundations wall penetrations.
- C. Coordinate installation of pipe sleeves for penetrations through exterior walls and floor assemblies.

### PART 2 - PRODUCTS

#### 2.1 ACCESS DOORS AND PANELS:

- A. Wherever valves, air vents, or other items or parts of the installation which require periodic inspection or adjustment are concealed by permanent non-removable construction, an access door or panel shall be provided. Installation of access doors to be coordinated by general contractor. Types to be submitted and approved for the surface, and construction in which it is installed. Access door to be manufactured by Mifab, Inc., or approved equal, and be Series CAD or UA, or series MFRU for fire rated walls.

### PART 3 - EXECUTION

#### 3.1 INSTALLATION OF PLUMBING SYSTEMS

- A. No holes for pipe or equipment will be allowed in any structural members without written consent of the Architect. Where pipes are to pass through or interfere with any member, or where notching, boring or cutting of the structure is necessary, the work shall be done by the Contractor as directed by the Architect.
- B. The Contractor shall, at a time in advance of the work, coordinate with other disciplines as to his requirements for openings, recesses, and chases in the walls, partitions, or framing. Should furnishing this information be neglected, delayed, or incorrect and additional cutting is found to be required, the costs of same shall be charged to the Contractor.
- C. Sleeves through foundation walls shall be standard weight black steel pipe, flush with walls and two pipe sizes larger than the pipe passing through. Sleeves shall be caulked with oakum to within 1" of the wall lines and then completely filled with an approved bitumastic compound. Sleeves for piping through masonry wall above grade or floor or through floors shall be #10 gauge galvanized sheet steel and shall extend completely

through the walls, or floor finishing flush on both sides. Sleeves shall be 1/2" larger than the pipe passing through with oakum caulking to make opening airtight. Sleeves through concrete firewalls or floors shall be packed with suitable non-combustible material. Provide and install polished chromium plate brass floor ceiling on wall plates for all pipes, exposed in finished portions of the buildings.

- D. All scaled and figured dimensions are approximate and are given for estimate purposes only. Before proceeding with any work, this Contractor shall carefully check and verify all dimensions, sizes, etc., and shall assume full responsibility for the installation with respect to other parts of the equipment, and to the structure.
- E. Any minor changes in work, which has not been installed, shall be made by this Contractor without additional compensation, except changes that are caused by architectural revisions that increase or decrease the size of the materials specified or indicated on the drawings.
- F. This Contractor shall submit an estimate of the cost of or credit for such changes he does not consider of a minor nature and shall proceed only upon the written authority of the Architect.
- G. Coordinate all sanitary vents through roof with HVAC equipment. Terminate all vents at least 10'-0" from any outside air intakes.
- H. Pipes Over Electrical Equipment: Where pipe joints or valves in pipes conveying water occur within 3' in a horizontal direction, of electrical panels and electronic equipment, provide a drip pan of galvanized steel construction of a size which will afford maximum protection.
  - 1. Pans: 24 gauge, edges turned up 2-1/2" all sides, reinforced with galvanized steel angles or by rolling edge over 1/4" diameter steel rod.
  - 2. Provide drain with 3/4" brass flange and copper pipe to floor.
  - 3. Support the pan with bars or angles, brace to prevent sagging or swaying.
- I. Install chrome plated split escutcheons around all pipes passing through finished walls, floors and ceilings.

### 3.2 TESTS AND ADJUSTMENTS

- A. No piping work, fixtures, or equipment shall be concealed or covered until inspected and approved by the Engineer, who shall be notified when the work is ready for inspection. All work shall be completely installed, tested as required by this section and the State Ordinances and State Safety Orders, and shall be leak-tight before inspection is requested. All tests shall be repeated upon request to the satisfaction of those making the inspection.
- B. Disinfection of the potable water system prior to use shall meet the requirements of the California Plumbing Code section 609.9. The method to be followed shall be that

prescribed by the Health Authority or, in case no method is prescribed by it, the following:

1. The piping system shall be flushed with clean, potable water until only potable water appears at the points of outlet.
2. The system or parts thereof shall be filled with a water-chlorine solution containing at least fifty (50) parts per million of chlorine, and the system or part thereof shall be valved-off and allowed to stand for twenty four (24) hours; or, the system or part thereof shall be filled with a water-chlorine solution containing at least two hundred (200) parts per million of chlorine and allowed to stand for three (3) hours.
3. Following the allowed standing time, the system shall be flushed with clean, potable water until the chlorine residual in the water coming from the system does not exceed the chlorine residual in the flushing water.
4. The procedure shall be repeated if it is shown by bacteriological examination made by an approved agency that contamination persists in the system.

C. Piping tests shall be made with the medium and under pressure listed below. Use a calibrated Bristol Pressure Recorder on all tests. Recorder range shall be 0 - 300 pounds or required range for specific test.

Gauge Pressure

<u>Type of System</u>	<u>(Lbs. per sq. inch, gauge)</u>	<u>Test Medium</u>
1. Soil, Waste, Vent Piping Within Building	Minimum of 5 psi for each joint, for duration of test with no loss in pressure.	Water
2. Fuel Gas	50 PSI	Compressed Air
3. Domestic Water	150 PSI	Water

- D. Test pressure in pounds per square inch, gauge, are given as initial pressure to be applied to lines being tested, together with test medium.
- E. Tests are to be applied for a minimum period of twenty-four (24) hours and until tests are complete.
- F. Final pressures at the end of test period shall be no more nor less than that caused by expansion or contraction of the test medium due to temperature changes.

### 3.3 DRAWINGS OF RECORD

- A. Provide reproducible "as-builts" for the purpose of showing a complete picture of the work as actually installed. Copies of the contract drawings can be made available upon request at cost to the contractor.

- B. These drawings shall serve as work progress report sheets and the Contractor shall make all notations, neat and legible, thereon daily as the work proceeds. The drawings shall be available for inspection at all times and shall be kept at the job at a location designated by the Architect.
- C. At completion of the work, these as-built drawings shall be signed by the Contractor indicating his approval, dated and returned to the Architect.
- D. Invert elevations for buried piping and conduit. The dimensions location of all concealed raceway shall be accurately recorded on the "as-built" drawings. Elevation, on Mean Sea Level base, of all piping and conduit runs outside the building shall be recorded.

### 3.4 FINAL INSPECTION

- A. If upon final completion of the final inspection and review of the maintenance manuals and "as-built" drawings, the list of required corrections is such that a re-inspection is required, the contractor will be subject to a charge of Ninety Dollars (\$90.00) per hour for any additional time required.

### 3.5 GUARANTEE

- A. All work under this section shall be guaranteed in writing in accordance with the General Provisions.
- B. All material except as otherwise noted shall be new, free from defect and of the quality and rating shown or specified.
- C. Any defect due to missing or improper material or faulty workmanship existing or developing during the warranty period shall be corrected and the resulting damage repaired without additional cost to the Owner.
- D. The warranty period shall be one year from date of acceptance of the project.

**END OF SECTION 220500**

## SECTION 224000 PLUMBING FIXTURES

### PART 1 - GENERAL

#### 1.1 GENERAL CONDITIONS

- A. The General Conditions, Supplementary Conditions, and Division 01, are a part of this section and the contract for this work and apply to this section as fully as if repeated herein. The system shall be complete in all respects including all labor, materials, equipment and services necessary, and shall be installed by personnel specifically experienced in plumbing systems.

#### 1.2 WORK INCLUDED

- A. Work included shall be as indicated on the drawings, including but not limited to the following:
  - 1. Plumbing Fixtures
  - 2. Fixture Supports

### PART 2 - PRODUCTS

#### 2.1 PLUMBING FIXTURES

- A. Plumbing fixtures shall be as shown in equipment schedule.
- B. Reference is made to American Standard, it is understood to mean that equivalent fixtures as manufactured by Toto or Kohler, are acceptable if used throughout. Faucets by Symmons, equivalents by Moen, or approved equal, are acceptable. Equivalent carrier, floor drains, etc. by J.R. Smith, Josam, Wade, Zurn, or approved equal, are acceptable.
- C. All sinks shall have a clean-out.

### PART 3 - EXECUTION

#### 3.1 FIXTURE INSTALLATION

- A. All plumbing fixtures shall be bedded and caulked along joint at walls, countertops, and other intersecting surfaces with Vulkem white silicone, use clear at stainless steel fixtures.

- B. Plumbing fixture trim and exposed supplies and waste shall be brass with polished chrome plated finish. Individual loose key stops, or, so specified, screw driver stops, shall be provided for all supplies, and unless integral with valves or faucets, unless otherwise approved by Architect, shall be mounted under the fixture. Exposed supplies and wastes through walls shall be provided with polished chrome plated cast brass wall escutcheons.
- C. Fixtures with hangers or supporting arms shall have hangers or arms securely mounted on a 1/4" thick x 6" wide steel wall plate which shall extend at least one stud beyond the first and last fixture mounting points. Concealed arm assemblies shall be attached to plates by four 3/8" x 1-1/4" steel bolts and nuts, and hangers and exposed arms by 5/16" minimum full thread steel studs and jamb nuts. Plates shall be drilled and tapped at the time of fixture installation.
- D. Wall plates shall be recessed flush with studs and shall be securely attached to each stud crossed. In steel stud construction, a 1-1/2" x 18" long furring channel shall be attached to each notched stud with fillet welds 1" long on 6" centers front and back. Plates shall be continuous fillet welded at both top and bottom to each furring channel.

**END SECTION 224000**

## SECTION 260000 - ELECTRICAL REQUIREMENTS

### PART 1 - GENERAL

#### 1.01 GENERAL CONDITIONS:

- A. The Bidding Requirements, Conditions of the Contract, General Provisions, Special Conditions and Division 1 are a part of this section and the contract for this work and apply to this Section as fully as if repeated herein.

#### 1.02 SCOPE:

- A. Work Included: All labor, materials, appliances, tools, equipment necessary for and incidental to performing all operations in connection with furnishing, delivery and installation of the work of this Section, complete, as shown on the drawings and/or specified herein. Work includes, but is not necessarily limited to the following:
  - 1. Examine all other sections for work related to those other sections and required to be included as work under this section.
  - 2. Examine the general provisions and requirements for electrical work.

#### 1.03 GENERAL SUMMARY OF ELECTRICAL WORK:

- A. These specifications and drawings are intended to cover a complete operation of systems. The omission of expressed references to any item of labor or material for the proper execution of the work in accordance with present practice of the trade shall not relieve the Contractor from providing such additional labor and materials.
- B. This specification, the drawings and General Conditions over the complete furnishing and installation of the electrical system and all related work including, but not limited to the following:
  - 1. Demolition and removal of existing outlets, conduit and wire.
  - 2. Install new outlet boxes, conduit and wire.
  - 3. Refer to Section 283111 DIGITAL, ADDRESSABLE FIRE ALARM SYSTEM for additional requirements.

#### 1.04 WORK NOT INCLUDED:

- A. The furnishing and/or installation of electrical motors are by Mechanical Division 23.
- B. The painting of any conduits, equipment or devices, unless specifically noted otherwise.



1.05 COORDINATION:

- A. Examine all other sections of these specifications and drawings to determine the complete scope of the electrical work and coordinate all of the electrical work required for the entire project. Provide the correct electrical service to each piece of electrical equipment, and check and coordinate the required electrical service and controls with the actual equipment provided under the other sections of the project.

1.06 INTERPRETATION OF DRAWINGS:

- A. These drawings showing the layout of the electrical system indicate approximate locations of outlets, apparatus and equipment. The routes of feeders and branch circuits shown on the drawings are schematic only and are not intended to shown the exact routing and location of conduits and conduit termination.

1.07 ORDINANCES AND REGULATIONS:

- A. All work and materials shall be in full accordance with the latest rules of the Municipal Agency, the National Board of Fire Underwriters and State of California Code of Regulations (CCR) Title 24.
- B. Nothing in these plans and specifications is to be construed as permitting work not conforming to these codes.

1.08 PERMITS AND INSPECTIONS:

- A. Apply and pay for all permits required by any of the legally constituted public authorities for the installation or construction of the work included under this Division.

1.09 REFERENCE STANDARDS:

- A. Materials and workmanship shall conform to the editions of the following standards, codes, or specifications in effect on the date of this specification, unless otherwise specified.

Codes and Regulations of the Jurisdictional Authorities

CEC 2010 California Electrical Code (CCR Title 24 Part 3), based on the 2008 National Electrical Code.

California Code of Regulations (CCR) Title 24 Parts 1 through 12.

NEMA National Electrical Manufacturers Association - applicable standards

NFPA National Fire Protection Association – applicable sections referenced by CCR Title 24

UL Underwriter's Laboratories, Inc. - applicable standards

- B. UL Label: All electrical materials and equipment falling within the scope of the underwriters' standards shall bear the UL Label.

1.10 EXAMINATION OF DRAWINGS AND SITE:

- A. Contractor shall carefully examine the site and existing building, shall compare the drawings with the existing electrical installations, and shall thoroughly familiarize himself with all existing conditions within the scope of this work.

1.11 SEQUENCING AND SCHEDULING OF WORK:

- A. Coordinate work with the work of the other trades, so that the work may proceed as expeditiously as possible.

1.12 ELECTRICAL CHARACTERISTICS:

- A. Electrical characteristics for this project are 120/208 volts, three phase, 4 wire, 60 hertz.

PART 2.00 - PRODUCTS

2.01 MATERIALS:

- A. All material shall be new unless specifically noted otherwise.

2.02 OUTLET BOXES:

- A. Outlet boxes shall be used as pull boxes wherever possible, and junction boxes or pull boxes shall be installed only as required by the drawings or specifications, or as directed.
- B. Unless otherwise specified or noted on the drawings, boxes for the various outlets shall be as follows:
  - 1. For any exposed wiring device box, use cast aluminum or feraloy boxes.
  - 2. Interior wiring device boxes and junction boxes shall be at least 4 inches square by 2-1/8 inch deep. Provide 3 inch or deeper boxes where required for fire alarm devices.
- C. All outlet boxes shall be accurately placed and securely fastened to the structure independent of the conduit.

2.03 CONNECTORS TERMINAL LUGS AND FITTINGS:

- A. All connectors shall be UL listed for the intended use.
- B. For #10 AWG and smaller conductor cable: Tin-plated copper pressure connectors with nonflammable, self-extinguishing insulation grip with temperature rating equal to that of conductor insulation.

- C. For #8 AWG to #4/0 AWG conductor cable: Tin-plated copper compression connectors and terminal lugs with nylon insulating sleeve for insulation grip.

2.04 INSULATING TAPE:

- A. Plastic tape: Vinyl plastic tape with rubber-based pressure-sensitive adhesive, pliable at zero degrees F.
- B. Rubber tape: Silicone-rubber tape with silicone pressure-sensitive adhesive.
- C. Acceptable Manufacturers: Minnesota Mining and Minerals Co. (3M) #33 or an approved equal.

2.05 RIGID & EMT CONDUIT:

- A. Listing and Labeling: Metal conduits, tubing, and fittings shall be listed and labeled as defined in CEC, by a qualified testing agency, and marked for intended location and application.

GRC: Comply with ANSI C80.1 and UL 6.

IMC: Comply with ANSI C80.6 and UL 1242.

EMT: Comply with ANSI C80.3 and UL 797.

FMC: Comply with UL 1; zinc-coated steel.

LFMC: Flexible steel conduit with PVC jacket and complying with UL 360.

Fittings for Metal Conduit: Comply with NEMA FB 1 and UL 514B.

- B. Fittings for EMT:

Material: Steel.

Type: Compression.

- C. Joint Compound for IMC, or GRC: Approved, as defined in CEC, by authorities having jurisdiction for use in conduit assemblies, and compounded for use to lubricate and protect threaded conduit joints from corrosion and to enhance their conductivity.

2.06 FLEXIBLE METALLIC CONDUIT:

- A. Flexible conduit exposed to weather or located in wet or damp locations shall be the weatherproof type with an extruded polyvinyl chloride jacket, as manufactured by American Brass Company, Columbia, Anaconda or Electri-Flex Co.
- B. Use only on motor connections and fixture tails, not over 6 feet in length.

## 2.07 WIRE AND CABLE:

- A. Furnish and install Anaconda, General Cable, General Electric, Habirshaw, Okonite, Paranite, Phelps-Dodge, Cerro, Collyer, Rome or Triangle Wire and Cable. All wire shall be delivered to the job in unbroken packages, and each package shall bear the Underwriters' and Manufacturer's labels, showing the date of manufacture and the maximum allowable voltage.
- B. Conductors shall be soft drawn annealed copper, ninety-eight (98%) percent conductivity, continuous from outlet to outlet, without welds, splices or joints.
- C. Wiring shall be stranded, copper THHN type, including all #12 AWG wire. Exception: wiring for fire alarm circuits shall be solid wire, not stranded.
- D. Provide a dedicated neutral for every one circuit pulled.

## 2.08 INSULATION:

- A. Conductors of the follow types shall be used in the following locations:
  - 1. Indoor branch circuit and feeder cables in all sizes shall have "THHN" " 600-volt insulation unless noted otherwise.
- B. All conductors supplied under the scope of this project shall be insulated for 600 volts minimum. Wire and cable shall meet the applicable requirements of CEC and UL 83 for the type of insulation, jacket, and conductor specified or indicated. Wires and cables manufactured more than 12 months prior to date of delivery to the site shall not be used.
- C. Temperature rating: comply with CEC 110.14(C).
- D. Color-Coding of Secondary Phase Conductors: Match existing facility color code.
- E. Color-Coding of Fire Alarm Conductors: Match existing system color code.

## 2.09 PANELBOARDS:

- A. Provide circuit breakers for existing panelboards where indicated. Circuit breakers shall match existing manufacturer, frame, type and short circuit ratings.
- B. All circuit breakers shall be fully rated to withstand the short circuit current available. Series rated breakers are not acceptable.

## 2.10 MARKING AND NAME PLATES:

- A. Name plates minimum 1" high x 3" wide by 3/32 inch thick matte white laminated phenolic nameplates with 1/4" white characters engraved in the plastic for all items for all electrical equipment including, but not limited to, panel boards, feeder circuit breakers, time switches, disconnect switches, exposed pull or junction boxes. Name plates will be attached with 2 cadmium-plated screws.

- B. Provide wire marker on each conductor in electrical panel pull box, outlet, and junction box. If more than one neutral conductor is present, mark each related circuit and panel number.
- C. Label outside of all cover plates of wiring devices and junction boxes with circuit and panel number. Each branch circuit device cover plate will be labeled (engraved or silk screen) to indicate the branch circuit and panel number. Devices will include, but not limited to, the following: toggle switches and receptacles.

## PART 3.00 - EXECUTION

### 3.01 INSTALLATION:

- A. All work shall be in conformance with recognized practices of the National Electrical Contractors Association (NECA) NECA 1 – Standard Practices for Good Workmanship in Electrical Contracting.
  - 1. The Contractor shall perform all cutting and patching of construction work that may be required for the proper installation of the electrical work. All patching shall be of the same materials, workmanship, and finish as, and shall accurately match all surrounding work.
  - 2. All work shall be done under the Owner's instructions, and, when so required, by the trade which performed the original work.
- B. Electrical outlets, devices and equipment furnished by disciplines under the scope of this project shall be installed and fully connected to the electric circuits.
  - 1. The Contractor shall furnish the necessary flexible conduit, connectors, cords, and other equipment that may be required for the proper connection of equipment.
  - 2. The Contractor shall furnish and install conduit, wiring, and connections required by the heating ventilating and air conditioning system for line and low voltage devices as required.

### 3.02 LOCATIONS AND DIMENSIONS:

- A. Install all material and equipment in such a manner as to avoid obstructions, preserve clearances, maintain code spacing and keep openings and passageways clear.
- B. These drawings are diagrammatic to the extent that many offsets, bends, fittings and exact locations are not shown. Determine the best methods, exact locations and routes for installation and note any conflicts or obstructions. The locations shown for conduits, outlets, materials and equipment may be refined to meet the architectural, structural and mechanical conditions with the approval of the Owner.

### 3.03. OUTLET BOXES:

- A. Outlet boxes shall be installed for each device and light fixture. All devices shall be installed in outlet boxes sized per CEC according to the conductor fill. Where oversized boxes are necessary due to the number of conductors, the contractor shall furnish the required box size.
- B. Outlet boxes shall be independently supported to framing, ceiling slabs or other structures in an approved manner. Conduit shall not be the sole support of outlet boxes.

### 3.04 EQUIPMENT GROUNDING:

- A. Comply with CEC and local amendments.
- B. A green insulated copper ground wire, sized per CEC shall be provided with each feeder or branch circuit of operating over 50 volts to ground. This ground wire shall be used for the grounding of all equipment.
- C. Ground conductors for branch circuit wiring shall be attached at each outlet to the back of the box using drilled and tapped holes and washer head screws, 6-32 or larger.
- D. Each panelboard, switchboard, pullbox or any other enclosure in which several ground wires are terminated shall be equipped with a ground bus secured to the interior of the enclosure. The bus ampacity shall be equal to the phase bus size and shall have a separate lug for each ground conductor. No more than one conductor shall be installed per lug.

### 3.05 FLEXIBLE METALLIC CONDUIT:

- A. Final connections of conduit systems to all motors and direct wired vibrating equipment (including transformers) for interior and exterior locations not to exceed three (3) foot length.
- B. Light fixture connections in accessible locations (6 feet maximum).

### 3.06 INSTALLING WIRE:

- A. All circuit and feeder wires shall be continuous from switch to terminal or farthest outlet. No joints shall be made except in pull, junction or outlet boxes, or in panel or switchboard.
- B. All branch circuit and fixture wiring joints, splices and tapes for conductors #10 and smaller shall be made with UL listed connectors listed for 600 volts. Connector bodies shall consist of a cone shape expandable coil spring insert, insulated with Teflon or plastic shell. The connectors shall be the "Wing Nut" as manufactured by "Ideal Industries" or "Scotchlok" as manufactured by Minnesota Mining Manufacturing Company.

- C. Make all connections and splices necessary to properly install and complete the work. All splices shall be taped. All connections and splices shall be electrically and mechanically perfect, and in strict accordance with all Code requirements.

**END OF SECTION 260000**

## SECTION 283111 - DIGITAL, ADDRESSABLE FIRE-ALARM SYSTEM

### PART 1 - GENERAL

#### 1.1 SUMMARY

A. Section Includes:

1. Replacement fire-alarm control unit.
2. Manual fire-alarm boxes.
3. Notification appliances.

B. Related Requirements:

1. Section 260000 "GENERAL ELECTRICAL REQUIREMENTS" for cables and conductors for fire-alarm systems.

#### 1.2 DEFINITIONS

A. EMT: Electrical Metallic Tubing.

B. FACP: Fire Alarm Control Panel.

C. NICET: National Institute for Certification in Engineering Technologies.

#### 1.3 ACTION SUBMITTALS

A. Product Data: For each type of product, including furnished options and accessories.

1. Include construction details, material descriptions, dimensions, profiles, and finishes.
2. Include rated capacities, operating characteristics, and electrical characteristics.
3. Include CSFM listing numbers.

B. Shop Drawings: For fire-alarm system.

1. Comply with recommendations and requirements in the "Documentation" section of the "Fundamentals" chapter in NFPA 72.
2. Include plans, elevations, sections, details, and attachments to other work.
3. Include details of equipment assemblies. Indicate dimensions, weights, loads, required clearances, method of field assembly, components, and locations. Indicate conductor sizes, indicate termination locations and requirements, and distinguish between factory and field wiring.
4. Detail assembly and support requirements.
5. Include voltage drop calculations for notification-appliance circuits.
6. Include battery-size calculations.



7. Include input/output matrix.
8. Include statement from manufacturer that all equipment and components have been tested as a system and meet all requirements in this Specification and in NFPA 72.
9. Include floor plans to indicate final outlet locations showing address of each addressable device. Show size and route of cable and conduits and point-to-point wiring diagrams.

C. General Submittal Requirements:

1. Submittals shall be approved by authorities having jurisdiction prior to construction.
2. Shop Drawings shall be prepared by persons with the following qualifications:
  - a. Trained and certified by manufacturer in fire-alarm system design.
  - b. NICET-certified, fire-alarm technician; Level IV minimum.
  - c. Licensed or certified by authorities having jurisdiction.

#### 1.4 INFORMATIONAL SUBMITTALS

- A. Qualification Data: For Installer.
- B. Seismic Qualification Certificates: For fire-alarm control unit, accessories, and components, from manufacturer.
  1. Basis for Certification: Indicate whether withstand certification is based on actual test of assembled components or on calculation.
  2. Dimensioned Outline Drawings of Equipment Unit: Identify center of gravity and locate and describe mounting and anchorage provisions.
  3. Detailed description of equipment anchorage devices on which the certification is based and their installation requirements.
- C. Field quality-control reports.
- D. Sample Warranty: For special warranty.

#### 1.5 CLOSEOUT SUBMITTALS

- A. Operation and Maintenance Data: For fire-alarm systems and components to include in emergency, operation, and maintenance manuals.
  1. Include the following and deliver copies to authorities having jurisdiction:
    - a. Comply with the "Records" section of the "Inspection, Testing and Maintenance" chapter in NFPA 72.
    - b. Provide "Fire Alarm and Emergency Communications System Record of Completion Documents" according to the "Completion Documents" Article in the "Documentation" section of the "Fundamentals" chapter in NFPA 72.

- c. Complete wiring diagrams showing connections between all devices and equipment. Each conductor shall be numbered at every junction point with indication of origination and termination points.
- d. Riser diagram.
- e. Device addresses.
- f. Record copy of site-specific software.
- g. Provide "Inspection and Testing Form" according to the "Inspection, Testing and Maintenance" chapter in NFPA 72, and include the following:
  - 1) Equipment tested.
  - 2) Frequency of testing of installed components.
  - 3) Frequency of inspection of installed components.
  - 4) Requirements and recommendations related to results of maintenance.
  - 5) Manufacturer's user training manuals.
- h. Manufacturer's required maintenance related to system warranty requirements.
- i. Abbreviated operating instructions for mounting at fire-alarm control unit and each annunciator unit.

B. Software and Firmware Operational Documentation:

- 1. Software operating and upgrade manuals.
- 2. Program Software Backup: On magnetic media or compact disk, complete with data files.
- 3. Device address list.
- 4. Printout of software application and graphic screens.

## 1.6 MAINTENANCE MATERIAL SUBMITTALS

- A. Furnish extra materials that match products installed and that are packaged with protective covering for storage and identified with labels describing contents.
  - 1. Lamps for Remote Indicating Lamp Units: Quantity equal to 10 percent of amount installed, but no fewer than one unit.
  - 2. Lamps for Strobe Units: Quantity equal to 10 percent of amount installed, but no fewer than one unit.
  - 3. Keys and Tools: One extra set for access to locked or tamperproofed components.
  - 4. Audible and Visual Notification Appliances: One of each type installed.
  - 5. Fuses: Two of each type installed in the system. Provide in a box or cabinet with compartments marked with fuse types and sizes.

## 1.7 QUALITY ASSURANCE.

- A. Installer Qualifications: Personnel shall be trained and certified by manufacturer for installation of units required for this Project.

- B. Installer Qualifications: Installation shall be by personnel certified by NICET as fire-alarm Level IV technician.
- C. NFPA Certification: Obtain certification according to NFPA 72 by an NRTL (nationally recognized testing laboratory).

## 1.8 PROJECT CONDITIONS

- A. Perform a full test of the existing system prior to starting work. Document any equipment or components not functioning as designed.
- B. Interruption of Existing Fire-Alarm Service: Do not interrupt fire-alarm service to facilities occupied by Owner or others unless permitted under the following conditions and then only after arranging to provide temporary guard service according to requirements indicated:
  - 1. Notify Owner representative no fewer than ten days in advance of proposed interruption of fire-alarm service.
  - 2. Do not proceed with interruption of fire-alarm service without Owner representative's written permission.
- C. Use of Devices during Construction: Protect devices during construction unless devices are placed in service to protect the facility during construction.

## 1.9 SEQUENCING AND SCHEDULE.

- A. Existing Fire-Alarm Equipment: Maintain existing equipment fully operational until new equipment has been tested and accepted. As new equipment is installed, label it "NOT IN SERVICE" until it is accepted. Remove labels from new equipment when put into service, and label existing fire-alarm equipment "NOT IN SERVICE" until removed from the building.
- B. Equipment Removal: After acceptance of new fire-alarm system, remove existing disconnected fire-alarm equipment and wiring.

## 1.10 WARRANTY

- A. Special Warranty: Manufacturer agrees to repair or replace fire-alarm system equipment and components that fail in materials or workmanship within specified warranty period.
  - 1. Warranty Extent: All equipment and components not covered in the Maintenance Service Agreement.
  - 2. Warranty Period: Five years from date of Substantial Completion.

## PART 2 - PRODUCTS

### 2.1 SYSTEM DESCRIPTION

- A. Source Limitations for Fire-Alarm System and Components: Components shall be compatible with, and operate as an extension of, the existing Notifier system. Provide system manufacturer's certification that all components provided have been tested as, and will operate as, a system.
- B. All components provided shall be listed for use with the existing system.
- C. Electrical Components, Devices, and Accessories: Listed and labeled as defined in NFPA 70, by a qualified testing agency, and marked for intended location and application.

### 2.2 FIRE-ALARM CONTROL UNIT

- A. The fire-alarm control unit is an existing Notifier AFP-200 fire alarm control panel.

### 2.3 MANUAL FIRE-ALARM BOXES

- A. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on Drawings.
- B. General Requirements for Manual Fire-Alarm Boxes: Comply with UL 38. Boxes shall be finished in red with molded, raised-letter operating instructions in contrasting color; shall show visible indication of operation; and shall be mounted on recessed outlet box. If indicated as surface mounted, provide manufacturer's surface back box.

### 2.4 NOTIFICATION APPLIANCES

- A. Basis-of-Design Product: Subject to compliance with requirements, provide product indicated on Drawings.
- B. General Requirements for Notification Appliances: Connected to notification-appliance signal circuits, zoned as indicated, equipped for mounting as indicated, and with screw terminals for system connections.
  - 1. Combination Devices: Factory-integrated audible and visible devices in a single-mounting assembly, equipped for mounting as indicated, and with screw terminals for system connections..
- C. Horns: Electric-vibrating-polarized type, 24-V dc; with provision for housing the operating mechanism behind a grille. Comply with UL 464. Horns shall produce a sound-pressure level of 90 dBA, measured 10 feet from the horn, using the coded signal prescribed in UL 464 test protocol.

- D. Visible Notification Appliances: Xenon strobe lights complying with UL 1971, with clear or nominal white polycarbonate lens mounted on an aluminum faceplate. The word "FIRE" is engraved in minimum 1-inch- high letters on the lens.
  - 1. Rated Light Output:
    - a. 15/30/75/110 cd, as indicated.
  - 2. Mounting: Wall or ceiling mounted as indicated.
  - 3. For units with guards to prevent physical damage, light output ratings shall be determined with guards in place.
  - 4. Flashing shall be in a temporal pattern, synchronized with other units.
  - 5. Strobe Leads: Factory connected to screw terminals.
  - 6. Mounting Faceplate: Factory finished, white.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Examine areas and conditions for compliance with requirements for ventilation, temperature, humidity, and other conditions affecting performance of the Work.
  - 1. Verify that manufacturer's written instructions for environmental conditions have been permanently established in spaces where equipment and wiring are installed, before installation begins.
- B. Examine roughing-in for electrical connections to verify actual locations of connections before installation.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

### 3.2 EQUIPMENT INSTALLATION

- A. Comply with NFPA 72, NFPA 101, and requirements of authorities having jurisdiction for installation and testing of fire-alarm equipment. Install all electrical wiring to comply with requirements in NFPA 70 including, but not limited to, Article 760, "Fire Alarm Systems."
  - 1. Devices placed in service before all other trades have completed cleanup shall be replaced.
  - 2. Devices installed but not yet placed in service shall be protected from construction dust, debris, dirt, moisture, and damage according to manufacturer's written storage instructions.
- B. Connecting to Existing Equipment: Verify that existing fire-alarm system is operational before making changes or connections.
  - 1. Connect new equipment to existing control panel in existing part of the building.

2. Connect new equipment to existing monitoring equipment at the supervising station.
  3. Expand, modify, and supplement existing control and monitoring equipment as necessary to extend existing control and monitoring functions to the new points. New components shall be capable of merging with existing configuration without degrading the performance of either system.
- C. Manual Fire-Alarm Boxes:
1. Install manual fire-alarm box in the normal path of egress within 60 inches of the exit doorway.
  2. Mount manual fire-alarm box on a background of a contrasting color.
  3. The operable part of manual fire-alarm box shall be between 42 inches and 48 inches above floor level. All devices shall be mounted at the same height unless otherwise indicated.
- D. Audible Alarm-Indicating Devices: Install as indicated on the drawings. Install horns on flush-mounted back boxes with the device-operating mechanism concealed behind a grille. Install all devices at the same height unless otherwise indicated.
- E. Visible Alarm-Indicating Devices: Install as indicated on the drawings. Install all devices at the same height unless otherwise indicated.

### 3.3 PATHWAYS

- A. Pathways shall be installed in EMT.
- B. Exposed EMT shall be painted red enamel.

### 3.4 IDENTIFICATION

- A. Identify system components, wiring, cabling, and terminals. Comply with requirements for identification specified in Section 260000 "GENERAL ELECTRICAL REQUIREMENTS."

### 3.5 GROUNDING

- A. Ground fire-alarm control unit and associated circuits; comply with IEEE 1100.
- B. Ground shielded cables at the control panel location only. Insulate shield at device location.

### 3.6 FIELD QUALITY CONTROL

- A. Field tests shall be witnessed by authorities having jurisdiction.

- B. RetaManufacturer's Field Service: Engage a factory-authorized service representative to test and inspect components, assemblies, and equipment installations, including connections.
- C. Perform tests and inspections.
- D. Perform the following tests and inspections:
  - 1. Visual Inspection: Conduct visual inspection prior to testing.
    - a. Inspection shall be based on completed record Drawings and system documentation that is required by the "Completion Documents, Preparation" table in the "Documentation" section of the "Fundamentals" chapter in NFPA 72.
    - b. Comply with the "Visual Inspection Frequencies" table in the "Inspection" section of the "Inspection, Testing and Maintenance" chapter in NFPA 72; retain the "Initial/Reacceptance" column and list only the installed components.
  - 2. System Testing: Comply with the "Test Methods" table in the "Testing" section of the "Inspection, Testing and Maintenance" chapter in NFPA 72.
  - 3. Test audible appliances for the public operating mode according to manufacturer's written instructions. Perform the test using a portable sound-level meter complying with Type 2 requirements in ANSI S1.4.
  - 4. Test audible appliances for the private operating mode according to manufacturer's written instructions.
  - 5. Test visible appliances for the public operating mode according to manufacturer's written instructions.
  - 6. Factory-authorized service representative shall prepare the "Fire Alarm System Record of Completion" in the "Documentation" section of the "Fundamentals" chapter in NFPA 72 and the "Inspection and Testing Form" in the "Records" section of the "Inspection, Testing and Maintenance" chapter in NFPA 72.
- E. Reacceptance Testing: Perform reacceptance testing to verify the proper operation of added or replaced devices and appliances.
- F. Fire-alarm system will be considered defective if it does not pass tests and inspections.
- G. Prepare test and inspection reports.

**END OF SECTION 283111**

**TECHNICAL SPECIFICATIONS**  
**FOR**  
**MORLEY FIELD TENNIS REGISTRATION ADA BARRIER REMOVAL**



**MORLEY FIELD TENNIS REGISTRATION ADA BARRIER REMOVAL  
TECHNICAL SPECIFICATIONS**

**DIVISION 01 – GENERAL REQUIREMENTS**

017300 EXECUTION

**DIVISION 02 – SITE CONDITIONS**

024119 SELECTIVE STRUCTURE DEMOLITION

**DIVISION 10 – SPECIALTIES**

101426 POST AND PANEL SIGNS

**DIVISION 31 – EARTHWORK**

310000 DEMOLITION AND REMOVAL

311000 SITE CLEARING

312000 EARTH MOVING

**DIVISION 32 – EXTERIOR IMPROVEMENTS**

321313 CONCRETE PAVING

329200 TURF AND GRASSES

**END TABLE OF CONTENTS**

## SECTION 017300 - EXECUTION

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section includes general administrative and procedural requirements governing execution of the Work including, but not limited to, the following:
  - 1. Installation of the Work.
  - 2. Cutting and patching.
  - 3. Progress cleaning.
  - 4. Starting and adjusting.
  - 5. Protection of installed construction.
  - 6. Correction of the Work.
- B. Related Requirements:
  - 1. Section 024119 "Selective Structure Demolition" for demolition and removal of selected portions of the building.

#### 1.2 DEFINITIONS

- A. Cutting: Removal of in-place construction necessary to permit installation or performance of other work.
- B. Patching: Fitting and repair work required to restore construction to original conditions after installation of other work.

#### 1.3 QUALITY ASSURANCE

- A. Cutting and Patching: Comply with requirements for and limitations on cutting and patching of construction elements.
  - 1. Structural Elements: When cutting and patching structural elements, notify Resident Engineer of locations and details of cutting and await directions from Resident Engineer before proceeding. Shore, brace, and support structural elements during cutting and patching. Do not cut and patch structural elements in a manner that could change their load-carrying capacity or increase deflection
  - 2. Operational Elements: Do not cut and patch operating elements and related components in a manner that results in reducing their capacity to perform as intended or that results in increased maintenance or decreased operational life or safety. Operational elements include the following:

- a. Primary operational systems and equipment.
  - b. Fire-suppression systems.
  - c. Mechanical systems piping and ducts.
  - d. Control systems.
  - e. Communication systems.
  - f. Fire-detection and -alarm systems.
  - g. Electrical wiring systems.
3. Visual Elements: Do not cut and patch construction in a manner that results in visual evidence of cutting and patching. Do not cut and patch exposed construction in a manner that would, in Resident Engineer's opinion, reduce the building's aesthetic qualities. Remove and replace construction that has been cut and patched in a visually unsatisfactory manner.

## PART 2 - PRODUCTS

### 2.1 MATERIALS

- A. In-Place Materials: Use materials for patching identical to in-place materials. For exposed surfaces, use materials that visually match in-place adjacent surfaces to the fullest extent possible.
1. If identical materials are unavailable or cannot be used, use materials that, when installed, will provide a match acceptable to Resident Engineer for the visual and functional performance of in-place materials.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Existing Conditions: The existence and location of underground and other utilities and construction indicated as existing are not guaranteed. Before beginning sitework, investigate and verify the existence and location of underground utilities and other construction affecting the Work.
1. Before construction, verify the location and invert elevation at points of connection of sanitary sewer, storm sewer, and water-service piping; underground electrical services, and other utilities.
- B. Examination and Acceptance of Conditions: Before proceeding with each component of the Work, examine substrates, areas, and conditions, with Installer or Applicator present where indicated, for compliance with requirements for installation tolerances and other conditions affecting performance. Record observations.
1. Examine roughing-in for mechanical and electrical systems to verify actual locations of connections before equipment and fixture installation.

2. Examine walls, floors, and roofs for suitable conditions where products and systems are to be installed.
  3. Verify compatibility with and suitability of substrates, including compatibility with existing finishes or primers.
- C. Proceed with installation only after unsatisfactory conditions have been corrected. Proceeding with the Work indicates acceptance of surfaces and conditions.

### 3.2 PREPARATION

- A. **Field Measurements:** Take field measurements as required to fit the Work properly. Recheck measurements before installing each product. Where portions of the Work are indicated to fit to other construction, verify dimensions of other construction by field measurements before fabrication. Coordinate fabrication schedule with construction progress to avoid delaying the Work.
- B. **Space Requirements:** Verify space requirements and dimensions of items shown diagrammatically on Drawings.
- C. **Review of Contract Documents and Field Conditions:** Immediately on discovery of the need for clarification of the Contract Documents caused by differing field conditions outside the control of Contractor, notify the Resident Engineer

### 3.3 CONSTRUCTION LAYOUT

- A. **Verification:** Before proceeding to lay out the Work, verify layout information shown on Drawings, in relation to the property survey and existing benchmarks. If discrepancies are discovered, notify Resident Engineer promptly.
- B. **Site Improvements:** Locate and lay out site improvements, including pavements, grading, fill and topsoil placement, utility slopes, and rim and invert elevations.

### 3.4 INSTALLATION

- A. **General:** Locate the Work and components of the Work accurately, in correct alignment and elevation, as indicated.
1. Make vertical work plumb and make horizontal work level.
  2. Where space is limited, install components to maximize space available for maintenance and ease of removal for replacement.
  3. Conceal pipes, ducts, and wiring in finished areas unless otherwise indicated.
- B. Comply with manufacturer's written instructions and recommendations for installing products in applications indicated.

- C. Install products at the time and under conditions that will ensure the best possible results. Maintain conditions required for product performance until Substantial Completion.
- D. Conduct construction operations so no part of the Work is subjected to damaging operations or loading in excess of that expected during normal conditions of occupancy.
- E. Sequence the Work and allow adequate clearances to accommodate movement of construction items on site and placement in permanent locations.
- F. Tools and Equipment: Do not use tools or equipment that produce harmful noise levels.
- G. Templates: Obtain and distribute to the parties involved templates for work specified to be factory prepared and field installed. Check Shop Drawings of other work to confirm that adequate provisions are made for locating and installing products to comply with indicated requirements.
- H. Attachment: Provide blocking and attachment plates and anchors and fasteners of adequate size and number to securely anchor each component in place, accurately located and aligned with other portions of the Work. Where size and type of attachments are not indicated, verify size and type required for load conditions.
  - 1. Mounting Heights: Where mounting heights are not indicated, mount components at heights directed by Resident Engineer.
  - 2. Allow for building movement, including thermal expansion and contraction.
  - 3. Coordinate installation of anchorages. Furnish setting drawings, templates, and directions for installing anchorages, including sleeves, concrete inserts, anchor bolts, and items with integral anchors, that are to be embedded in concrete or masonry. Deliver such items to Project site in time for installation.
- I. Joints: Make joints of uniform width. Where joint locations in exposed work are not indicated, arrange joints for the best visual effect. Fit exposed connections together to form hairline joints.
- J. Hazardous Materials: Use products, cleaners, and installation materials that are not considered hazardous

### 3.5 CUTTING AND PATCHING

- A. Cutting and Patching, General: Employ skilled workers to perform cutting and patching. Proceed with cutting and patching at the earliest feasible time, and complete without delay.
  - 1. Cut in-place construction to provide for installation of other components or performance of other construction, and subsequently patch as required to restore surfaces to their original condition.

- B. Existing Warranties: Remove, replace, patch, and repair materials and surfaces cut or damaged during installation or cutting and patching operations, by methods and with materials so as not to void existing warranties.
- C. Temporary Support: Provide temporary support of work to be cut.
- D. Protection: Protect in-place construction during cutting and patching to prevent damage. Provide protection from adverse weather conditions for portions of Project that might be exposed during cutting and patching operations.
- E. Adjacent Occupied Areas: Where interference with use of adjoining areas or interruption of free passage to adjoining areas is unavoidable, coordinate cutting and patching activities.
- F. Existing Utility Services and Mechanical/Electrical Systems: Where existing services/systems are required to be removed, relocated, or abandoned, bypass such services/systems before cutting to minimize interruption to occupied areas.
- G. Cutting: Cut in-place construction by sawing, drilling, breaking, chipping, grinding, and similar operations, including excavation, using methods least likely to damage elements retained or adjoining construction. If possible, review proposed procedures with original Installer; comply with original Installer's written recommendations.
  - 1. In general, use hand or small power tools designed for sawing and grinding, not hammering and chopping. Cut holes and slots neatly to minimum size required, and with minimum disturbance of adjacent surfaces. Temporarily cover openings when not in use.
  - 2. Finished Surfaces: Cut or drill from the exposed or finished side into concealed surfaces.
  - 3. Concrete and Masonry: Cut using a cutting machine, such as an abrasive saw or a diamond-core drill.
  - 4. Excavating and Backfilling: Comply with requirements in applicable Sections where required by cutting and patching operations.
  - 5. Mechanical and Electrical Services: Cut off pipe or conduit in walls or partitions to be removed. Cap, valve, or plug and seal remaining portion of pipe or conduit to prevent entrance of moisture or other foreign matter after cutting.
  - 6. Proceed with patching after construction operations requiring cutting are complete.
- H. Patching: Patch construction by filling, repairing, refinishing, closing up, and similar operations following performance of other work. Patch with durable seams that are as invisible as practicable. Provide materials and comply with installation requirements specified in other Sections, where applicable.

1. Inspection: Where feasible, test and inspect patched areas after completion to demonstrate physical integrity of installation.
  2. Exposed Finishes: Restore exposed finishes of patched areas and extend finish restoration into retained adjoining construction in a manner that will minimize evidence of patching and refinishing.
    - a. Clean piping, conduit, and similar features before applying paint or other finishing materials.
    - b. Restore damaged pipe covering to its original condition.
  3. Floors and Walls: Where walls or partitions that are removed extend one finished area into another, patch and repair floor and wall surfaces in the new space. Provide an even surface of uniform finish, color, texture, and appearance. Remove in-place floor and wall coverings and replace with new materials, if necessary, to achieve uniform color and appearance.
    - a. Where patching occurs in a painted surface, prepare substrate and apply primer and intermediate paint coats appropriate for substrate over the patch, and apply final paint coat over entire unbroken surface containing the patch. Provide additional coats until patch blends with adjacent surfaces.
  4. Ceilings: Patch, repair, or rehang in-place ceilings as necessary to provide an even-plane surface of uniform appearance.
  5. Exterior Building Enclosure: Patch components in a manner that restores enclosure to a weathertight condition and ensures thermal and moisture integrity of building enclosure.
- I. Cleaning: Clean areas and spaces where cutting and patching are performed. Remove paint, mortar, oils, putty, and similar materials from adjacent finished surfaces.

### 3.6 PROGRESS CLEANING

- A. General: Clean Project site and work areas daily, including common areas. Enforce requirements strictly. Dispose of materials lawfully.
1. Comply with requirements in NFPA 241 for removal of combustible waste materials and debris.
  2. Do not hold waste materials more than seven days during normal weather or three days if the temperature is expected to rise above 80 deg F.
  3. Containerize hazardous and unsanitary waste materials separately from other waste. Mark containers appropriately and dispose of legally, according to regulations.
    - a. Use containers intended for holding waste materials of type to be stored.

- B. Site: Maintain Project site free of waste materials and debris.
- C. Work Areas: Clean areas where work is in progress to the level of cleanliness necessary for proper execution of the Work.
  - 1. Remove liquid spills promptly.
  - 2. Where dust would impair proper execution of the Work, broom-clean or vacuum the entire work area, as appropriate.
- D. Installed Work: Keep installed work clean. Clean installed surfaces according to written instructions of manufacturer or fabricator of product installed, using only cleaning materials specifically recommended. If specific cleaning materials are not recommended, use cleaning materials that are not hazardous to health or property and that will not damage exposed surfaces.
- E. Concealed Spaces: Remove debris from concealed spaces before enclosing the space.
- F. Exposed Surfaces in Finished Areas: Clean exposed surfaces and protect as necessary to ensure freedom from damage and deterioration at time of Substantial Completion.
- G. Waste Disposal: Do not bury or burn waste materials on-site. Do not wash waste materials down sewers or into waterways.
- H. During handling and installation, clean and protect construction in progress and adjoining materials already in place. Apply protective covering where required to ensure protection from damage or deterioration at Substantial Completion.
- I. Clean and provide maintenance on completed construction as frequently as necessary through the remainder of the construction period. Adjust and lubricate operable components to ensure operability without damaging effects.

### 3.2 PROTECTION OF INSTALLED CONSTRUCTION

- A. Provide final protection and maintain conditions that ensure installed Work is without damage or deterioration at time of Substantial Completion.

**END OF SECTION 017300**



## SECTION 024119 - SELECTIVE DEMOLITION

### PART 1 - GENERAL

#### 1.1 SUMMARY

A. Section Includes:

1. Demolition and removal of selected portions of building or structure.
2. Salvage of existing items to be reused or recycled.

B. Related Requirements:

1. Section 017300 "Execution" for cutting and patching procedures.

#### 1.2 DEFINITIONS

- A. Remove: Detach items from existing construction and legally dispose of them off-site unless indicated to be removed and salvaged or removed and reinstalled.
- B. Remove and Salvage: Carefully detach from existing construction, in a manner to prevent damage, and deliver to Owner.
- C. Remove and Reinstall: Detach items from existing construction, prepare for reuse, and reinstall where indicated.
- D. Existing to Remain: Existing items of construction that are not to be permanently removed and that are not otherwise indicated to be removed, removed and salvaged, or removed and reinstalled.

#### 1.3 MATERIALS OWNERSHIP

- A. Unless otherwise indicated, demolition waste becomes property of Contractor.
- B. Historic items, relics, antiques, and similar objects including, but not limited to, cornerstones and their contents, commemorative plaques and tablets, and other items of interest or value to Owner that may be uncovered during demolition remain the property of Owner.
1. Carefully salvage in a manner to prevent damage and promptly return to Owner.

#### 1.4 INFORMATIONAL SUBMITTALS

- A. Proposed Protection Measures: Submit report, including drawings, that indicates the measures proposed for protecting individuals and property, for dust control and for noise control. Indicate proposed locations and construction of barriers.
- B. Schedule of Selective Demolition Activities: Indicate the following:

1. Detailed sequence of selective demolition and removal work, with starting and ending dates for each activity. Ensure Owner's building manager's and other tenants' on-site operations are uninterrupted.
  2. Interruption of utility services. Indicate how long utility services will be interrupted.
  3. Coordination for shutoff, capping, and continuation of utility services.
  4. Use of elevator and stairs.
  5. Coordination of Owner's continuing occupancy of portions of existing building and of Owner's partial occupancy of completed Work.
- C. Inventory: Submit a list of items to be removed and salvaged and deliver to Owner prior to start of demolition.
- D. Predemolition Photographs or Video: Submit before Work begins.

#### 1.5 CLOSEOUT SUBMITTALS

- A. Inventory: Submit a list of items that have been removed and salvaged.
- B. Landfill Records: Indicate receipt and acceptance of hazardous wastes by a landfill facility licensed to accept hazardous wastes.

#### 1.6 FIELD CONDITIONS

- A. Owner will occupy portions of building immediately adjacent to selective demolition area. Conduct selective demolition so Owner's operations will not be disrupted.
- B. Notify Resident Engineer of discrepancies between existing conditions and Drawings before proceeding with selective demolition.
- C. Hazardous Materials: It is not expected that hazardous materials will be encountered in the Work.
  1. Hazardous materials will be removed by Owner before start of the Work.
  2. If suspected hazardous materials are encountered, do not disturb; immediately notify Resident Engineer and Owner. Hazardous materials will be removed by Owner under a separate contract.
- D. Historic Areas: Demolition and hauling equipment and other materials shall be of sizes that clear surfaces within historic spaces, areas, rooms, and openings, including temporary protection, by 12 inches or more.
- E. Storage or sale of removed items or materials on-site is not permitted.

- F. Utility Service: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations.
  - 1. Maintain fire-protection facilities in service during selective demolition operations.

## PART 2 - PRODUCTS

### 2.1 PERFORMANCE REQUIREMENTS

- A. Regulatory Requirements: Comply with governing EPA notification regulations before beginning selective demolition. Comply with hauling and disposal regulations of authorities having jurisdiction.
- B. Standards: Comply with ANSI/ASSE A10.6 and NFPA 241.

## PART 3 - EXECUTION

### 3.1 EXAMINATION

- A. Verify that utilities have been disconnected and capped before starting selective demolition operations.
- B. Review record documents of existing construction provided by Owner. Owner does not guarantee that existing conditions are same as those indicated in record documents.
- C. Survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required.
- D. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Promptly submit a written report to Resident Engineer.
- E. Survey of Existing Conditions: Record existing conditions by use of preconstruction photographs or preconstruction videotapes.
  - 1. Inventory and record the condition of items to be removed and salvaged. Provide photographs or video of conditions that might be misconstrued as damage caused by salvage operations.
  - 2. Before selective demolition or removal of existing building elements that will be reproduced or duplicated in final Work, make permanent record of measurements, materials, and construction details required to make exact reproduction.

### 3.2 UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS

- A. Existing Services/Systems to Remain: Maintain services/systems indicated to remain and protect them against damage.
- B. Existing Services/Systems to Be Removed, Relocated, or Abandoned: Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.
  - 1. Arrange to shut off indicated utilities with utility companies.
  - 2. If services/systems are required to be removed, relocated, or abandoned, provide temporary services/systems that bypass area of selective demolition and that maintain continuity of services/systems to other parts of building.
  - 3. Disconnect, demolish, and remove fire-suppression systems, plumbing, and HVAC systems, equipment, and components indicated to be removed.
    - a. Piping to Be Removed: Remove portion of piping indicated to be removed and cap or plug remaining piping with same or compatible piping material.
    - b. Piping to Be Abandoned in Place: Drain piping and cap or plug piping with same or compatible piping material.
    - c. Equipment to Be Removed: Disconnect and cap services and remove equipment.
    - d. Equipment to Be Removed and Reinstalled: Disconnect and cap services and remove, clean, and store equipment; when appropriate, reinstall, reconnect, and make equipment operational.
    - e. Equipment to Be Removed and Salvaged: Disconnect and cap services and remove equipment and deliver to Owner.
    - f. Ducts to Be Removed: Remove portion of ducts indicated to be removed and plug remaining ducts with same or compatible ductwork material.
    - g. Ducts to Be Abandoned in Place: Cap or plug ducts with same or compatible ductwork material.

### 3.3 PREPARATION

- A. Site Access and Temporary Controls: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.

- B. Temporary Facilities: Provide temporary barricades and other protection required to prevent injury to people and damage to adjacent buildings and facilities to remain.
1. Provide protection to ensure safe passage of people around selective demolition area and to and from occupied portions of building.
  2. Provide temporary weather protection, during interval between selective demolition of existing construction on exterior surfaces and new construction, to prevent water leakage and damage to structure and interior areas.
  3. Protect walls, ceilings, floors, and other existing finish work that are to remain or that are exposed during selective demolition operations.
  4. Cover and protect furniture, furnishings, and equipment that have not been removed.
  5. Comply with requirements for temporary enclosures, dust control, heating, and cooling as needed.

### 3.4 SELECTIVE DEMOLITION, GENERAL

- A. General: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the Work within limitations of governing regulations and as follows:
1. Proceed with selective demolition systematically, from higher to lower level. Complete selective demolition operations above each floor or tier before disturbing supporting members on the next lower level.
  2. Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.
  3. Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.
  4. Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.
  5. Maintain adequate ventilation when using cutting torches.
  6. Remove decayed, vermin-infested, or otherwise dangerous or unsuitable materials and promptly dispose of off-site.

7. Dispose of demolished items and materials promptly.
- B. Work in Historic Areas: Selective demolition may be performed only in areas of the Project that are not designated as historic. Confirm with Resident Engineer the removal of any building elements that may be considered Historic.
  - C. Removed and Salvaged Items:
    1. Clean salvaged items.
    2. Pack or crate items after cleaning. Identify contents of containers.
    3. Store items in a secure area until delivery to Owner.
    4. Transport items to Owner's storage area designated by Resident Engineer.
    5. Protect items from damage during transport and storage.
  - D. Removed and Reinstalled Items:
    1. Clean and repair items to functional condition adequate for intended reuse.
    2. Reinstall items in locations indicated. Comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make item functional for use indicated.
  - E. Existing Items to Remain: Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by Resident Engineer, items may be removed to a suitable, protected storage location during selective demolition and cleaned and reinstalled in their original locations after selective demolition operations are complete.

### 3.5 DISPOSAL OF DEMOLISHED MATERIALS

- A. General: Except for items or materials indicated to be reused, salvaged, reinstalled, or otherwise indicated to remain Owner's property, remove demolished materials from Project site and legally dispose of them in an EPA-approved landfill.
  1. Do not allow demolished materials to accumulate on-site.
  2. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
  3. Remove debris from elevated portions of building by chute, hoist, or other device that will convey debris to grade level in a controlled descent.
  4. Comply with requirements specified in City of San Diego "Whitebook."
- B. Disposal: Transport demolished materials off Owner's property and legally dispose of them.

### 3.6 CLEANING

- A. Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.

**END OF SECTION 024119**

## SECTION 101426 - POST AND PANEL SIGNS

### PART 1- GENERAL

#### 1.1 SUMMARY

- A. This Section includes the following:
  - 1. Post and panel signs.
- B. Related Sections include the following:
  - 1. Division 10 Section "Signs" for wall-mounted signs.

#### 1.2 PERFORMANCE REQUIREMENTS

- A. Design Criteria: Design, fabricate, and install exterior post and panel signs to withstand a wind velocity of 100 mph on the total sign area, in all directions.

#### 1.3 SUBMITTALS

- A. Product Data: For each type of post and panel sign specified. Include details of construction relative to materials, dimensions of individual components, profiles, and finishes.
- B. Shop Drawings: For each type of post and panel sign indicated.
  - 1. Provide plans and elevations. Show layout and installation details.
  - 2. Provide message list, including details of wording and lettering layout, at least half size.

### PART 2 - PRODUCTS

#### 2.1 MATERIALS

- A. Galvanized Steel Sheet: ASTM A653, G90 coating, mill phosphatized.
- B. Steel Tubing: Cold-formed steel tubing conforming to ASTM A 500, Grade B, hot-dip galvanized after fabrication with a minimum of 2.0 oz. of zinc/sq. ft. of surface area conforming to ASTM A 123.
- C. Vinyl Film: Opaque, non-reflective vinyl film, 0.0035-inch minimum thickness, with pressure-sensitive adhesive backing, suitable for exterior applications.
- D. Concrete for Post Holes: Mix portland cement complying with ASTM C 150, aggregates complying with ASTM C 33, and clean water to obtain concrete with a minimum 28-day



compressive strength of 2500 psi. Use at least 4 sacks of cement/cu. yd., 1-inch maximum-size aggregate, maximum 3-inch slump, and 2 to 4 percent entrained air.

## 2.2 COMPONENTS

- A. Steel Posts: 0.120-inch-, galvanized, seamless, square steel posts in length adequate for mounting method specified. Include post caps, fillers, spacers, and related accessories required for a complete installation.
  - 1. Post Size: 2 by 2 inches square.
- B. Sign Panels: Provide smooth, even, level sign panel surfaces constructed to remain flat under installed conditions within a tolerance of plus or minus 1/16 inch measured diagonally from corner to corner.
  - 1. Single-Sheet Panels: Provide single-sheet sign panels with edges mechanically and smoothly finished to conform to the following:
    - a. Panel Material: 16 gage galvanized steel sheet.
    - b. Edge Condition: Square cut.
    - c. Corner Condition: Corners rounded.
- C. Graphic Content and Style: Provide sign copy to comply with requirements indicated for sizes, styles, spacing, content, positions, materials, finishes, and colors of letters, numbers, symbols, and other graphic devices.
  - 1. Surface-Applied, Die-Cut Vinyl Copy: Provide die-cut characters from nonreflective vinyl film with pressure-sensitive adhesive backing. Apply copy to exposed face of sign panel.

## 2.3 ACCESSORIES

- A. Fasteners: Use exposed fasteners fabricated from non-corrosive metals that are noncorrosive to sign material.

## 2.4 FINISHES

- A. Comply with NAAMM's "Metal Finishes Manual for Architectural and Metal Products" for recommendations relative to applying and designating finishes.
- B. Baked-Enamel Finish: Apply baked enamel complying with paint manufacturer's specifications for cleaning and painting.
  - 1. Color: As selected by Architect from manufacturer's full range of colors.

## PART 3- EXECUTION

### 3.1 INSTALLATION

- A. General: Locate sign units where indicated, using mounting methods of type described and complying with manufacturer's written instructions.
- B. Excavation: In firm, undisturbed or compacted soil, drill or (using a post-hole digger) hand-excavate holes for posts to diameters and spacing indicated.
  - 1. Excavate hole depths approximately 3 inches lower than required post bottom, with bottom of posts set at least 36 inches below finished grade.
- C. Setting Posts: Center and align posts in holes 3 inches above bottom of excavation.
  - 1. Protect portion of posts aboveground from concrete splatter. Place concrete around posts and vibrate or tamp for consolidation. Check posts for vertical and top alignment and hold in position until concrete has achieved its initial set.
- D. Install signs level, plumb, and at height indicated, with surfaces free from distortion or other defects in appearance.

### 3.2 CLEANING AND PROTECTING

- A. At completion of installation, clean soiled surfaces of sign units according to manufacturer's written instructions.
- B. Protect installed sign units from damage until acceptance by Resident Engineer.

**END OF SECTION 101426**

## SECTION 310000 - DEMOLITION AND REMOVAL

### PART 1 - GENERAL

#### 1.01 SUMMARY

This Section includes requirements for Demolition and Removal of existing asphalt and concrete pavements, clearing and grubbing, existing trees, and removal of all other existing improvements within the limits of work as indicated on the drawings. This Section also includes the installation of temporary construction fencing.

The engineer makes no representation that the survey information is complete or that it addresses every site condition, which may be significant to the proposed work. The provision of the survey information by the contract documents does not relieve the contractor of the responsibility to carefully examine the site and to take into account any conditions or variance with or in addition to the conditions shown on the survey. The contractor shall notify the owner prior to clearing, grubbing, grading or other ground disturbance if any such conditions or variance exist.

#### 1.02 REFERENCES

The publications listed below form a part of this specification to the extent referenced. The publications are referred to in the text by the basic designation only.

##### A. Standard Specifications

1. American National Standards Institute (ANSI), ANSI A10.6, Latest Demolition Operations-Safety Requirements.
2. Standard Specifications for Public Works Construction (Latest Edition), including the Latest Regional and Latest County of San Diego Supplemental Amendments.
3. Standard Specifications for Public Works Construction (Latest Edition), including the Latest Regional and Latest City of San Diego Supplemental Amendments.
4. State of California Department of Transportation (Caltrans) "Manual of Traffic Control for Construction and Maintenance Works Zones" (Latest Edition).

##### B. Standard Drawings

1. San Diego Regional Standard Drawings, as last amended, shall apply to the work to the extent referenced on the drawings.

2. City of San Diego Standard Drawings, as last amended, shall apply to the work to the extent referenced on the drawings.
  4. Standard Plans for Public Works Construction, as last amended, prepared by Southern California Chapter of the American Public Works Association.
- C. Geotechnical Report: A Geotechnical Report has not been prepared for this project.

#### 1.03 SITE INSPECTION AND LOCATION OF EXISTING ON-SITE UTILITIES:

- A. Prior to all work of this Section, carefully inspect the entire site and all existing items to be demolished and removed or to be left intact, and determine an orderly sequence for the performance of this work. Exact locations and alignment of existing buried utility lines are not known. Locate all existing utility lines and determine the requirements for disconnection and capping. Locate all active utilities traversing the area of work to be retained and determine the requirements for protection.
- B. Locate all overhead utilities and powerlines and determine height restrictions. Do not operate equipment in the vicinity of overhead utilities and powerlines, which may create a safety hazard.

#### 1.04 PROTECTION

- A. The contractor shall notify UNDERGROUND SERVICE ALERT (USA) at 1-800-227-2600 at least two days prior to starting work and shall coordinate all work with utility company representatives. The existence and locations of existing underground facilities shown on the drawings were obtained from a search of available records. The contractor shall take precautionary measures to protect any existing facility shown on the drawings, and any other which is not of record or not shown on the drawings. The Contractor shall determine the exact location of all existing utilities before commencing the work, and shall be fully responsible for any and all damages, which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities.
- B. Dewatering: Provide for the disposal of surface and subsurface water, which may accumulate in open excavations, unfinished fills, or other low areas. Remove water by trenching where approved, pumping, or other methods to prevent softening of exposed surfaces. Contractor is responsible for obtaining and paying for any permits for dewatering through all jurisdictional agencies, including the local Regional Water Quality Control Board. Surface dewatering plan shall include the rerouting of any storm water runoff or natural drainage, if necessary, and shall comply with requirements of the City and the California State Water Resources Control Board. Construction water from dewatering or any other construction source shall not be allowed to discharge untreated to the public right-of-way, public or private storm drain systems, creeks/streams/lakes/ponds, other surface waters, flood control facilities, or onto adjacent properties. California Storm Water Best Management Practices and the guidance provisions set forth in the City of San Diego Storm Water Pollution Prevention guidelines shall be complied with for all phases of the work.

- C. Protection and Restoration of Surface: Protect newly graded areas from traffic, erosion, and settlements. Repair and reestablish damaged or eroded slopes, elevations or grades and restore surface construction prior to acceptance. Provide appropriate erosion control and sediment control measures to prevent water-borne soil from leaving the site. The Storm Water Pollution Prevention Plan preparation will be the responsibility of the contractor which will provide erosion and sedimentation control guidance to the contractor and its subs; however, the contractor shall be responsible to use the most appropriate Best Management Practices as necessary to ensure pollution and/or illegal discharges of storm water and non-storm water do not occur from the site. The contractor shall be responsible to clean up any soil deposited in the public right-of-way, public or private storm drain systems, creeks/streams/lakes/ponds and other surface waters, flood control facilities, or on adjacent properties. The contractor shall be responsible to protect storm drain catch basins and to prevent sediment from entering the public or private storm drain system during construction.

#### 1.05 RELATED WORK IN OTHER SECTIONS

The following work specified in other sections applies to the work of this Section, including but not limited to:

- A. Section 311000, "Site Clearing"
- B. Section 312000, "Earth Moving".

#### 1.06 SAFETY DURING CONSTRUCTION

The Contractor shall assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours. Refer to General Provisions for additional requirements.

### PART 2 PRODUCTS

#### 2.01 TEMPORARY CONSTRUCTION FENCING

Comply with the requirements of Section 206-6 of the Standard Specifications. Fence height shall be 6', with appropriate access gates, which shall be lockable.

### PART 3 EXECUTION

#### 3.01 GENERAL

- A. Perform all demolition and removal in accordance with Section 300-1.3 of the Standard Specifications, and as described in this Section.

- B. Protect all facilities to remain.
- C. Comply with Federal, State, and local hauling and disposal regulations.
- D. Coordinate demolition and removal operations with the requirements of Section 311000, Section 312000.
- E. Coordinate demolition and removal operations for on-site work with demolition and removal required for construction of improvements. Comply with all traffic control requirements required by the Owner and the City of San Diego for construction traffic.
- F. Prevent the spread of dust and debris, and avoid the creation of a nuisance or hazard in the surrounding area.
- G. Provide weather protection during the construction period to prevent erosion of the site or deposition of sediment onto adjacent property.
- H. Noise shall be kept at a reasonable level (in the opinion of Owner) as related to specific items of equipment used, and their hours of use. This does not preclude the use of mechanical equipment, i.e., jackhammers, etc.
- I. Provide temporary construction fencing, in accordance with Section 206-6 of the Standard Specifications. Exact location of temporary construction fencing shall be approved by the Owner prior to construction.

**END OF SECTION 310000**

## SECTION 311000 - SITE CLEARING

### PART 1 - GENERAL

#### 1.1 SUMMARY

A. Section Includes:

1. Clearing and Grubbing.
2. Removing below-grade site improvements.
3. Temporary erosion- and sedimentation-control measures.

#### 1.2 MATERIAL OWNERSHIP

- A. Except for stripped topsoil and other materials indicated to be stockpiled or otherwise remain Owner's property, cleared materials shall become Contractor's property and shall be removed from Project site.

#### 1.3 REFERENCES

The publications listed below form a part of this specification to the extent referenced. The publications are referred to in the text by the basic designation only.

A. Standard Specifications

1. American National Standards Institute (ANSI), ANSI A10.6, Latest Demolition Operations-Safety Requirements.
2. Standard Specifications for Public Works Construction (Latest Edition), including the Latest Regional and Latest County of San Diego Supplemental Amendments.
3. Standard Specifications for Public Works Construction (Latest Edition), including the Latest Regional and Latest City of San Diego Supplemental Amendments.
4. State of California Department of Transportation (Caltrans) Standard Specifications, Latest Edition.
5. State of California Department of Transportation (Caltrans) "Manual of Traffic Control for Construction and Maintenance Works Zones" (Latest Edition).

B. Standard Drawings

1. San Diego Regional Standard Drawings, as last amended, shall apply to the work to the extent referenced on the drawings.
  2. City of San Diego Standard Drawings, as last amended, shall apply to the work to the extent referenced on the drawings.
  3. Standard Plans for Public Works Construction, as last amended, prepared by Southern California Chapter of the American Public Works Association.
- C. Geotechnical Report  
A Geotechnical Report has not been prepared for this project.

#### 1.4 PROJECT CONDITIONS

- A. Traffic: Minimize interference with adjoining roads, streets, walks, and other adjacent occupied or used facilities during site-clearing operations.
1. Do not close or obstruct streets, walks, or other adjacent occupied or used facilities without permission from Owner and authorities having jurisdiction.
  2. Provide alternate routes around closed or obstructed traffic ways if required by Owner or authorities having jurisdiction.
- B. Salvable Improvements: Carefully remove items indicated to be salvaged and store on Owner's premises where indicated on plans.
- C. Utility Locator Service: Notify utility locator service for area where Project is located before site clearing.
- D. Do not commence site clearing operations until temporary erosion- and sedimentation-control and plant-protection measures are in place.
- E. The following practices are prohibited within protection zones:
1. Storage of construction materials, debris, or excavated material.
  2. Parking vehicles or equipment.
  3. Foot traffic.
  4. Erection of sheds or structures.
  5. Impoundment of water.
  6. Excavation or other digging unless otherwise indicated.
  7. Attachment of signs to or wrapping materials around trees or plants unless otherwise indicated.

## PART 2 - PRODUCTS

### 2.1 MATERIALS

- A. Satisfactory Soil Material: Requirements for satisfactory soil material are specified in Division 31 Section "Earth Moving."



1. Obtain approved borrow soil material off-site when satisfactory soil material is not available on-site.

## PART 3 - EXECUTION

### 3.1 PREPARATION

- A. Protect and maintain benchmarks and survey control points from disturbance during construction.
- B. Locate and clearly identify trees, shrubs, and other vegetation to remain or to be relocated.
- C. Protect existing site improvements to remain from damage during construction.
  1. Restore damaged improvements to their original condition, as acceptable to Owner.

### 3.2 TEMPORARY EROSION AND SEDIMENTATION CONTROL

- A. Provide temporary erosion- and sedimentation-control measures to prevent soil erosion and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways, according to erosion- and sedimentation-control Drawings and requirements of authorities having jurisdiction.
- B. Verify that flows of water redirected from construction areas or generated by construction activity do not enter or cross protection zones.
- C. Inspect, maintain, and repair erosion- and sedimentation-control measures during construction until permanent vegetation has been established.
- D. Remove erosion and sedimentation controls and restore and stabilize areas disturbed during removal.

### 3.2 TREE AND PLANT PROTECTION

- A. General: Protect trees and plants remaining on-site according to requirements in Division 01 Section "Temporary Tree and Plant Protection."
- B. Repair or replace trees, shrubs, and other vegetation indicated to remain or be relocated that are damaged by construction operations, in a manner approved by Resident Engineer.

### 3.3 CLEARING AND GRUBBING

- A. Remove obstructions, trees, shrubs, and other vegetation to permit installation of new construction.

- a. Grind down stumps and remove roots, obstructions, and debris to a depth of 18 inches below exposed subgrade.
  - b. Use only hand methods for grubbing within protection zones.
- B. Fill depressions caused by clearing and grubbing operations with satisfactory soil material unless further excavation or earthwork is indicated.
- a. Place fill material in horizontal layers not exceeding a loose depth of 8 inches, and compact each layer to a density equal to adjacent original ground.

### 3.4 SITE IMPROVEMENTS

- A. Remove existing below-grade improvements as indicated and necessary to facilitate new construction.

### 3.5 DISPOSAL OF SURPLUS AND WASTE MATERIALS

- A. Remove surplus soil material, unsuitable topsoil, obstructions, demolished materials, and waste materials including trash and debris, and legally dispose of them off Owner's property.

Separate recyclable materials produced during site clearing from other nonrecyclable materials. Store or stockpile without intermixing with other materials and transport them to recycling facilities. Do not interfere with other Project work.

**END OF SECTION 311000**

## SECTION 312000 - EARTH MOVING

### PART 1 - GENERAL

#### 1.1 SUMMARY

A. Section Includes:

1. Preparing subgrades for slabs-on-grade, walks, and pavements.
2. Subbase course for concrete walks, pavements.
3. Excavating and backfilling for utility trenches.

#### 1.2 REFERENCES

The publications listed below form a part of this specification to the extent referenced. The publications are referred to in the text by the basic designation only.

A. Standard Specifications

1. American National Standards Institute (ANSI), ANSI A10.6, Latest Demolition Operations-Safety Requirements.
2. Standard Specifications for Public Works Construction (Latest Edition), including the Latest Regional and Latest County of San Diego Supplemental Amendments.
3. Standard Specifications for Public Works Construction (Latest Edition), including the Latest Regional and Latest City of San Diego Supplemental Amendments.

B. Standard Drawings

1. San Diego Regional Standard Drawings, as last amended, shall apply to the work to the extent referenced on the drawings.
2. City of San Diego Standard Drawings, as last amended, shall apply to the work to the extent referenced on the drawings.
3. Standard Plans for Public Works Construction, as last amended, prepared by Southern California Chapter of the American Public Works Association.

C. Geotechnical Report

A Geotechnical Report has not been prepared for this project.

### 1.3 DEFINITIONS

- A. Backfill: Soil material used to fill an excavation.
  - 1. Initial Backfill: Backfill placed beside and over pipe in a trench, including haunches to support sides of pipe.
  - 2. Final Backfill: Backfill placed over initial backfill to fill a trench.
- B. Borrow Soil: Satisfactory soil imported from off-site for use as fill or backfill.
- C. Drainage Course: Aggregate layer supporting the slab-on-grade that also minimizes upward capillary flow of pore water.
- D. Excavation: Removal of material encountered above subgrade elevations and to lines and dimensions indicated.
  - 1. Authorized Additional Excavation: Excavation below subgrade elevations or beyond indicated lines and dimensions as directed by Resident Engineer. Authorized additional excavation and replacement material will be paid for according to Contract provisions for changes in the Work.
  - 2. Unauthorized Excavation: Excavation below subgrade elevations or beyond indicated lines and dimensions without direction by Resident Engineer. Unauthorized excavation, as well as remedial work directed by Resident Engineer, shall be without additional compensation.
- E. Fill: Soil materials used to raise existing grades.
- F. Subbase Course: Aggregate layer placed between the subgrade and base course for hot-mix asphalt pavement, or aggregate layer placed between the subgrade and a cement concrete pavement or a cement concrete or hot-mix asphalt walk.
- G. Subgrade: Uppermost surface of an excavation or the top surface of a fill or backfill immediately below subbase, drainage fill, drainage course, or topsoil materials.

### 1.4 QUALITY ASSURANCE

- A. Preexcavation Conference: Conduct conference at Project site.

### 1.5 PROJECT CONDITIONS

- A. Utility Locator Service: Notify utility locator service for area where Project is located before beginning earth moving operations.

## PART 2 - PRODUCTS

### 2.1 SOIL MATERIALS

- A. General: Provide borrow soil materials when sufficient satisfactory soil materials are not available from excavations.
- B. Satisfactory Soils: Soil Classification Groups GW, GP, GM, SW, SP, and SM according to ASTM D 2487, or a combination of these groups; free of rock or gravel larger than 3 inches in any dimension, debris, waste, frozen materials, vegetation, and other deleterious matter.
- C. Unsatisfactory Soils: Soil Classification Groups GC, SC, CL, ML, OL, CH, MH, OH, and PT according to ASTM D 2487, or a combination of these groups.
  - 1. Unsatisfactory soils also include satisfactory soils not maintained within 2 percent of optimum moisture content at time of compaction.
- D. Subbase Material: Naturally or artificially graded mixture of natural or crushed gravel, crushed stone, and natural or crushed sand; ASTM D 2940; with at least 90 percent passing a 1-1/2-inch sieve and not more than 12 percent passing a No. 200 sieve.
- E. Base Course: Naturally or artificially graded mixture of natural or crushed gravel, crushed stone, and natural or crushed sand; ASTM D 2940; with at least 95 percent passing a 1-1/2-inch sieve and not more than 8 percent passing a No. 200 sieve.
- F. Engineered Fill: Naturally or artificially graded mixture of natural or crushed gravel, crushed stone, and natural or crushed sand; ASTM D 2940; with at least 90 percent passing a 1-1/2-inch sieve and not more than 12 percent passing a No. 200 sieve.
- G. Bedding Course: Naturally or artificially graded mixture of natural or crushed gravel, crushed stone, and natural or crushed sand; ASTM D 2940; except with 100 percent passing a 1-inch sieve and not more than 8 percent passing a No. 200 sieve.
- H. Drainage Course: Narrowly graded mixture of washed crushed stone, or crushed or uncrushed gravel; ASTM D 448; coarse-aggregate grading Size 57; with 100 percent passing a 1-1/2-inch sieve and 0 to 5 percent passing a No. 8 sieve.

### 2.2 ACCESSORIES

- A. Warning Tape: Acid- and alkali-resistant, polyethylene film warning tape manufactured for marking and identifying underground utilities, 6 inches wide and 4 mils thick, continuously inscribed with a description of the utility; colored to comply with local practice or requirements of authorities having jurisdiction.
- B. Detectable Warning Tape: Acid- and alkali-resistant, polyethylene film warning tape manufactured for marking and identifying underground utilities, a minimum of 6 inches wide and 4 mils thick, continuously inscribed with a description of the utility, with metallic core encased in a protective jacket for corrosion protection, detectable by metal

detector when tape is buried up to 30 inches deep; colored to comply with local practice or requirements of authorities having jurisdiction.

## PART 3 - EXECUTION

### 3.1 PREPARATION

- A. Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, washout, and other hazards created by earth moving operations.
- B. Protect and maintain erosion and sedimentation controls during earth moving operations.
- C. Protect subgrades and foundation soils from freezing temperatures and frost. Remove temporary protection before placing subsequent materials.

### 3.2 EXCAVATION, GENERAL

- A. Unclassified Excavation: Excavate to subgrade elevations regardless of the character of surface and subsurface conditions encountered. Unclassified excavated materials may include rock, soil materials, and obstructions. No changes in the Contract Sum or the Contract Time will be authorized for rock excavation or removal of obstructions.
  - 1. If excavated materials intended for fill and backfill include unsatisfactory soil materials and rock, replace with satisfactory soil materials.

### 3.3 EXCAVATION FOR WALKS AND PAVEMENTS

- A. Excavate surfaces under walks and pavements to indicated lines, cross sections, elevations, and subgrades.

### 3.4 SUBGRADE INSPECTION

- A. Proof-roll subgrade below the building slabs and pavements with a pneumatic-tired dump truck to identify soft pockets and areas of excess yielding. Do not proof-roll wet or saturated subgrades.
- B. Reconstruct subgrades damaged by freezing temperatures, frost, rain, accumulated water, or construction activities, as directed by Resident Engineer, without additional compensation.

### 3.5 UNAUTHORIZED EXCAVATION

- A. Fill unauthorized excavation under foundations or wall footings by extending bottom elevation of concrete foundation or footing to excavation bottom, without altering top

elevation. Lean concrete fill, with 28-day compressive strength of 2500 psi, may be used when approved by Resident Engineer.

1. Fill unauthorized excavations under other construction, pipe, or conduit as directed by Resident Engineer.

### 3.6 STORAGE OF SOIL MATERIALS

A. Stockpile borrow soil materials and excavated satisfactory soil materials without intermixing. Place, grade, and shape stockpiles to drain surface water. Cover to prevent windblown dust.

1. Stockpile soil materials away from edge of excavations. Do not store within drip line of remaining trees.

### 3.7 SOIL FILL

A. Plow, scarify, bench, or break up sloped surfaces steeper than 1 vertical to 4 horizontal so fill material will bond with existing material.

B. Place and compact fill material in layers to required elevations as follows:

1. Under grass and planted areas, use satisfactory soil material.
2. Under walks and pavements, use satisfactory soil material.
3. Under steps and ramps, use engineered fill.

### 3.8 SOIL MOISTURE CONTROL

A. Uniformly moisten or aerate subgrade and each subsequent fill or backfill soil layer before compaction to within 2 percent of optimum moisture content.

1. Do not place backfill or fill soil material on surfaces that are muddy, frozen, or contain frost or ice.
2. Remove and replace, or scarify and air dry, otherwise satisfactory soil material that exceeds optimum moisture content by 2 percent and is too wet to compact to specified dry unit weight.

### 3.9 COMPACTION OF SOIL BACKFILLS AND FILLS

A. Place backfill and fill soil materials in layers not more than 8 inches in loose depth for material compacted by heavy compaction equipment, and not more than 4 inches in loose depth for material compacted by hand-operated tampers.

B. Place backfill and fill soil materials evenly on all sides of structures to required elevations, and uniformly along the full length of each structure.

- C. Compact soil materials to not less than the following percentages of maximum dry unit weight according to ASTM D 1557:
  - 1. Under walkways, scarify and recompact top 12 inches below subgrade and compact each layer of backfill or fill soil material at 95 percent.
  - 2. Under turf or unpaved areas, scarify and recompact top 6 inches below subgrade and compact each layer of backfill or fill soil material at 85 percent.
  - 3. For utility trenches, compact each layer of initial and final backfill soil material at 85percent.

### 3.10 GRADING

- A. General: Uniformly grade areas to a smooth surface, free of irregular surface changes. Comply with compaction requirements and grade to cross sections, lines, and elevations indicated.
- B. Site Rough Grading: Slope grades to direct water away from buildings and to prevent ponding. Finish subgrades to required elevations within the following tolerances:
  - 1. Turf or Unpaved Areas: Plus or minus 1 inch.
  - 2. Walks: Plus or minus 1 inch.
  - 3. Pavements: Plus or minus 1/2 inch

### 3.11 SUBBASE AND BASE COURSES UNDER PAVEMENTS AND WALKS

- A. Place subbase course and base course on subgrades free of mud, frost, snow, or ice.
- B. On prepared subgrade, place subbase course and base course under pavements and walks as follows:
  - 1. Shape subbase course and base course to required crown elevations and cross-slope grades.
  - 2. Place subbase course and base course that exceeds 6 inches in compacted thickness in layers of equal thickness, with no compacted layer more than 6 inches thick or less than 3 inches thick.
  - 3. Compact subbase course and base course at optimum moisture content to required grades, lines, cross sections, and thickness to not less than **95** percent of maximum dry unit weight according to ASTM D 1557.

### 3.12 PROTECTION

- A. Protecting Graded Areas: Protect newly graded areas from traffic, freezing, and erosion. Keep free of trash and debris.
- B. Repair and reestablish grades to specified tolerances where completed or partially completed surfaces become eroded, rutted, settled, or where they lose compaction due to subsequent construction operations or weather conditions.



- C. Where settling occurs before Project correction period elapses, remove finished surfacing, backfill with additional soil material, compact, and reconstruct surfacing.
  - 1. Restore appearance, quality, and condition of finished surfacing to match adjacent work, and eliminate evidence of restoration to greatest extent possible.

### 3.13 DISPOSAL OF SURPLUS AND WASTE MATERIALS

- A. Remove surplus satisfactory soil and waste materials, including unsatisfactory soil, trash, and debris, and legally dispose of them off Owner's property.

**END OF SECTION 312000**

## SECTION 321313 - CONCRETE PAVING

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section Includes:
  - 1. Walks.

#### 1.2 SUBMITTALS

- A. Product Data: For each type of product indicated.
- B. Samples: For each exposed product and for each color and texture specified.
- C. Other Action Submittals:
  - 1. Design Mixtures: For each concrete paving mixture. Include alternate design mixtures when characteristics of materials, Project conditions, weather, test results, or other circumstances warrant adjustments.

#### 1.3 REFERENCES

The publications listed below form a part of this specification to the extent referenced. The publications are referred to in the text by the basic designation only.

- A. Standard Specifications
  - 1. American National Standards Institute (ANSI), ANSI A10.6, Latest Demolition Operations-Safety Requirements.
  - 2. Standard Specifications for Public Works Construction (Latest Edition), including the Latest Regional and Latest County of San Diego Supplemental Amendments.
  - 3. Standard Specifications for Public Works Construction (Latest Edition), including the Latest Regional and Latest City of San Diego Supplemental Amendments.
- B. Standard Drawings

1. San Diego Regional Standard Drawings, as last amended, shall apply to the work to the extent referenced on the drawings.
  2. City of San Diego Standard Drawings, as last amended, shall apply to the work to the extent referenced on the drawings.
  3. Standard Plans for Public Works Construction, as last amended, prepared by Southern California Chapter of the American Public Works Association.
- C. Geotechnical Report  
A Geotechnical Report has not been prepared for this project.

#### 1.4 QUALITY ASSURANCE

- A. Ready-Mix-Concrete Manufacturer Qualifications: A firm experienced in manufacturing ready-mixed concrete products and that complies with ASTM C 94/C 94M requirements for production facilities and equipment.
- B. ACI Publications: Comply with ACI 301 unless otherwise indicated.

### PART 2 - PRODUCTS

#### 2.1 STEEL REINFORCEMENT

- A. Recycled Content: Provide steel reinforcement with an average recycled content of steel so postconsumer recycled content plus one-half of preconsumer recycled content is not less than 25 percent.
- B. Plain-Steel Welded Wire Reinforcement: ASTM A 185/A 185M, fabricated from as-drawn steel wire into flat sheets.
- C. Deformed-Steel Welded Wire Reinforcement: ASTM A 497/A 497M, flat sheet.
- D. Reinforcing Bars: ASTM A 615/A 615M, Grade 60; deformed.
- E. Plain-Steel Wire: ASTM A 82/A 82M, as drawn.
- F. Deformed-Steel Wire: ASTM A 496/A 496M.
- G. Dowel Bars: ASTM A 615/A 615M, Grade 60 plain-steel bars; zinc coated (galvanized) after fabrication according to ASTM A 767/A 767M, Class I coating. Cut bars true to length with ends square and free of burrs.
- H. Bar Supports: Bolsters, chairs, spacers, and other devices for spacing, supporting, and fastening reinforcing bars, welded wire reinforcement, and dowels in place. Manufacture bar supports according to CRSI's "Manual of Standard Practice" from steel wire, plastic, or precast concrete of greater compressive strength than concrete specified.

## 2.2 CONCRETE MATERIALS

- A. Cementitious Material: Use the following cementitious materials, of same type, brand, and source throughout Project:
  - 1. Portland Cement: ASTM C 150, gray portland cement Type II. Supplement with the following:
    - a. Fly Ash: ASTM C 618, Class F.
    - b. Ground Granulated Blast-Furnace Slag: ASTM C 989, Grade 100 or 120.
- B. Normal-Weight Aggregates: ASTM C 33, Class 4S, uniformly graded. Provide aggregates from a single source.
- C. Water: Potable and complying with ASTM C 94/C 94M.
- D. Air-Entraining Admixture: ASTM C 260.
- E. Chemical Admixtures: Admixtures certified by manufacturer to be compatible with other admixtures and to contain not more than 0.1 percent water-soluble chloride ions by mass of cementitious material.

## 2.3 RELATED MATERIALS

- A. Joint Fillers: ASTM D 1752, cork or self-expanding cork in preformed strips.
- B. Slip-Resistive Aggregate Finish: Factory-graded, packaged, rustproof, nonglazing, abrasive aggregate of fused aluminum-oxide granules or crushed emery aggregate containing not less than 50 percent aluminum oxide and not less than 20 percent ferric oxide; unaffected by freezing, moisture, and cleaning materials.

## 2.4 CONCRETE MIXTURES

- A. Prepare design mixtures, proportioned according to ACI 301, with the following properties:
  - 1. Compressive Strength (28 Days): 3000 psi.
  - 2. Maximum Water-Cementitious Materials Ratio at Point of Placement: 0.45.
  - 3. Slump Limit: 4 inches, plus or minus 1 inch.
  - 4. Air Content: 5-1/2 percent plus or minus 1.5 percent.
- B. Chemical Admixtures: Use admixtures according to manufacturer's written instructions.
- C. Synthetic Fiber: Uniformly disperse in concrete mixture at manufacturer's recommended rate, but not less than 1.0 lb/cu. yd..
- D. Color Pigment: Add color pigment to concrete mixture according to manufacturer's written instructions.

## 2.5 CONCRETE MIXING

- A. Ready-Mixed Concrete: Measure, batch, and mix concrete materials and concrete according to ASTM C 94/C 94M. Furnish batch certificates for each batch discharged and used in the Work.

## PART 3 - EXECUTION

### 3.1 EXAMINATION AND PREPARATION

- A. Proof-roll prepared subbase surface below concrete paving to identify soft pockets and areas of excess yielding.
- B. Remove loose material from compacted subbase surface immediately before placing concrete.

### 3.2 EDGE FORMS AND SCREED CONSTRUCTION

- A. Set, brace, and secure edge forms, bulkheads, and intermediate screed guides to required lines, grades, and elevations. Install forms to allow continuous progress of work and so forms can remain in place at least 24 hours after concrete placement.
- B. Clean forms after each use and coat with form-release agent to ensure separation from concrete without damage.

### 3.3 STEEL REINFORCEMENT

- A. General: Comply with CRSI's "Manual of Standard Practice" for fabricating, placing, and supporting reinforcement.

### 3.4 JOINTS

- A. General: Form construction, isolation, and contraction joints and tool edges true to line, with faces perpendicular to surface plane of concrete. Construct transverse joints at right angles to centerline unless otherwise indicated.
- B. Construction Joints: Set construction joints at side and end terminations of paving and at locations where paving operations are stopped for more than one-half hour unless paving terminates at isolation joints.
- C. Isolation Joints: Form isolation joints of preformed joint-filler strips abutting concrete curbs, catch basins, manholes, inlets, structures, other fixed objects, and where indicated.
- D. Contraction Joints: Form weakened-plane contraction joints, sectioning concrete into areas as indicated. Construct contraction joints for a depth equal to at least one-fourth of the concrete thickness to match jointing of existing adjacent concrete paving:

- E. Edging: After initial floating, tool edges of paving, gutters, curbs, and joints in concrete with an edging tool to a 1/4-inch radius. Repeat tooling of edges after applying surface finishes. Eliminate edging-tool marks on concrete surfaces.

### 3.5 CONCRETE PLACEMENT

- A. Moisten subbase to provide a uniform dampened condition at time concrete is placed.
- B. Comply with ACI 301 requirements for measuring, mixing, transporting, placing, and consolidating concrete.
- C. Deposit and spread concrete in a continuous operation between transverse joints. Do not push or drag concrete into place or use vibrators to move concrete into place.
- D. Screed paving surface with a straightedge and strike off.
- E. Commence initial floating using bull floats or darbies to impart an open-textured and uniform surface plane before excess moisture or bleed water appears on the surface. Do not further disturb concrete surfaces before beginning finishing operations or spreading surface treatments.

### 3.6 LOAT FINISHING

- A. General: Do not add water to concrete surfaces during finishing operations.
- B. Float Finish: Begin the second floating operation when bleed-water sheen has disappeared and concrete surface has stiffened sufficiently to permit operations. Float surface with power-driven floats or by hand floating if area is small or inaccessible to power units. Finish surfaces to true planes. Cut down high spots and fill low spots. Refloat surface immediately to uniform granular texture.
  - 1. Burlap Finish: Drag a seamless strip of damp burlap across float-finished concrete, perpendicular to line of traffic, to provide a uniform, gritty texture.
  - 2. Medium-to-Fine-Textured Broom Finish: Draw a soft-bristle broom across float-finished concrete surface perpendicular to line of traffic to provide a uniform, fine-line texture.
  - 3. Medium-to-Coarse-Textured Broom Finish: Provide a coarse finish by striating float-finished concrete surface 1/16 to 1/8 inch deep with a stiff-bristled broom, perpendicular to line of traffic.
- C. Slip-Resistive Aggregate Finish: Before final floating, spread slip-resistive aggregate finish on paving surface according to manufacturer's written instructions.
  - 1. Cure concrete with curing compound recommended by slip-resistive aggregate manufacturer. Apply curing compound immediately after final finishing.

2. After curing, lightly work surface with a steel wire brush or abrasive stone and water to expose nonslip aggregate.

### 3.7 CONCRETE PROTECTION AND CURING

- A. General: Protect freshly placed concrete from premature drying and excessive cold or hot temperatures.
- B. Comply with ACI 306.1 for cold-weather protection.
- C. Evaporation Retarder: Apply evaporation retarder to concrete surfaces if hot, dry, or windy conditions cause moisture loss approaching 0.2 lb/sq. ft. x h before and during finishing operations. Apply according to manufacturer's written instructions after placing, screeding, and bull floating or darbying concrete but before float finishing.
- D. Begin curing after finishing concrete but not before free water has disappeared from concrete surface.
- E. Curing Methods: Cure concrete by moisture curing, moisture-retaining-cover curing, curing compound or a combination of these.

### 3.8 PAVING TOLERANCES

- A. Comply with tolerances in ACI 117 and as follows:
  1. Elevation: 3/4 inch.
  2. Thickness: Plus 3/8 inch, minus 1/4 inch.
  3. Surface: Gap below 10-foot- long, unlevelled straightedge not to exceed 1/2 inch.
  4. Joint Spacing: 3 inches.
  5. Contraction Joint Depth: Plus 1/4 inch, no minus.
  6. Joint Width: Plus 1/8 inch, no minus.

### 3.9 REPAIRS AND PROTECTION

- A. Remove and replace concrete paving that is broken, damaged, or defective or that does not comply with requirements in this Section. Remove work in complete sections from joint to joint unless otherwise approved by Resident Engineer.
- B. Protect concrete paving from damage. Exclude traffic from paving for at least 14 days after placement. When construction traffic is permitted, maintain paving as clean as possible by removing surface stains and spillage of materials as they occur.

- C. Maintain concrete paving free of stains, discoloration, dirt, and other foreign material. Sweep paving not more than two days before date scheduled for Substantial Completion inspections.

**END OF SECTION 321313**



## SECTION 329200 - TURF AND GRASSES

### PART 1 - GENERAL

#### 1.1 SUMMARY

- A. Section Includes:
  - 1. Sodding.
  - 2. Turf renovation.

#### 1.2 QUALITY ASSURANCE

- A. Installer Qualifications: A qualified landscape installer whose work has resulted in successful turf establishment.
  - 1. Experience: Three years' experience in turf installation."

#### 1.3 DELIVERY, STORAGE, AND HANDLING

- A. Sod: Harvest, deliver, store, and handle sod according to requirements in "Specifications for Turfgrass Sod Materials" and "Specifications for Turfgrass Sod Transplanting and Installation" sections in TPI's "Guideline Specifications to Turfgrass Sodding." Deliver sod within 24 hours of harvesting and in time for planting promptly. Protect sod from breakage and drying.
- B. Bulk Materials:
  - 1. Do not dump or store bulk materials near structures, utilities, walkways and pavements, or on existing turf areas or plants.
  - 2. Provide erosion-control measures to prevent erosion or displacement of bulk materials; discharge of soil-bearing water runoff; and airborne dust reaching adjacent properties, water conveyance systems, or walkways.
  - 3. Accompany each delivery of bulk materials with appropriate certificates.

#### 1.4 FIELD CONDITIONS

- A. Weather Limitations: Proceed with planting only when existing and forecasted weather conditions permit planting to be performed when beneficial and optimum results may be obtained. Apply products during favorable weather conditions according to manufacturer's written instructions.

## PART 2 - PRODUCTS

### 2.1 TURFGRASS SOD

- A. Turfgrass Sod: Certified, complying with "Specifications for Turfgrass Sod Materials" in TPI's "Guideline Specifications to Turfgrass Sodding." Furnish viable sod of uniform density, color, and texture that is strongly rooted and capable of vigorous growth and development when planted.
- B. Turfgrass Species: Provide Turf Sod acceptable to the City of San Diego Park and Rec Department. Furnish Tifway Bermuda; or Tifway II Bermuda, or GN-1 Bermuda. Hybrid Bermuda sods that do not contain perennial rye shall be over seeded with "Grand Slam" or 'Turfstar' Perennial Rye, at a rate of 5 lbs./1,000 square feet..

## 3. EXECUTION

### 3.1 EXAMINATION

- A. Examine areas to be planted for compliance with requirements and other conditions affecting installation and performance of the Work.
  - 1. Verify that no foreign or deleterious material or liquid such as paint, paint washout, concrete slurry, concrete layers or chunks, cement, plaster, oils, gasoline, diesel fuel, paint thinner, turpentine, tar, roofing compound, or acid has been deposited in soil within a planting area.
  - 2. Suspend planting operations during periods of excessive soil moisture until the moisture content reaches acceptable levels to attain the required results.
  - 3. Uniformly moisten excessively dry soil that is not workable or which is dusty.
- B. Proceed with installation only after unsatisfactory conditions have been corrected.
- C. If contamination by foreign or deleterious material or liquid is present in soil within a planting area, remove the soil and contamination as directed by Resident Engineer and replace with new planting soil.

### 3.2 PREPARATION

- A. Protect structures; utilities; sidewalks; pavements; and other facilities, trees, shrubs, and plantings from damage caused by planting operations.
  - 1. Protect grade stakes set by others until directed to remove them.
- B. Install erosion-control measures to prevent erosion or displacement of soils and discharge of soil-bearing water runoff or airborne dust to adjacent properties and walkways.

### 3.3 TURF AREA PREPARATION

- A. General: Prepare planting area for soil placement and mix planting soil according to generally accepted practices.
- B. Placing Planting Soil: Reduce elevation of planting soil to allow for soil thickness of sod.
- C. Moisten prepared area before planting if soil is dry. Water thoroughly and allow surface to dry before planting. Do not create muddy soil.
- D. Before planting, obtain Resident Engineer's acceptance of finish grading; restore planting areas if eroded or otherwise disturbed after finish grading.

### 3.4 SODDING

- A. Lay sod within 24 hours of harvesting unless a suitable preservation method is accepted by Resident Engineer prior to delivery time. Do not lay sod if dormant or if ground is frozen or muddy.
- B. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod; do not stretch or overlap. Stagger sod strips or pads to offset joints in adjacent courses. Avoid damage to soil or sod during installation. Tamp and roll lightly to ensure contact with soil, eliminate air pockets, and form a smooth surface. Work sifted soil or fine sand into minor cracks between pieces of sod; remove excess to avoid smothering sod and adjacent grass.
  - 1. Lay sod across slopes exceeding 1:3.
- C. Saturate sod with fine water spray within two hours of planting. During first week after planting, water daily or more frequently as necessary to maintain moist soil to a minimum depth of 1-1/2 inches below sod.

### 3.5 TURF RENOVATION

- A. Renovate existing turf where removed or damaged by construction activities.
- B. Renovate turf damaged by Contractor's operations, such as storage of materials or equipment and movement of vehicles.
  - 1. Reestablish turf where settlement or washouts occur or where minor regrading is required.
  - 2. Install new planting soil as required.
- C. Remove sod and vegetation from diseased or unsatisfactory turf areas; do not bury in soil.
- D. Remove topsoil containing foreign materials, such as oil drippings, fuel spills, stones, gravel, and other construction materials resulting from Contractor's operations, and replace with new planting soil.

- E. Mow, dethatch, core aerate, and rake existing turf.
- F. Remove weeds before seeding. Where weeds are extensive, apply selective herbicides as required. Do not use pre-emergence herbicides.
- G. Remove waste and foreign materials, including weeds, soil cores, grass, vegetation, and turf, and legally dispose of them off Owner's property.
- H. Till stripped, bare, and compacted areas thoroughly to a soil depth of 6 inches.
- I. Apply initial fertilizer required for establishing new turf and mix thoroughly into top 4 inches of existing soil. Install new planting soil to fill low spots and meet finish grades.
  - 1. Initial Fertilizer: Commercial fertilizer applied according to manufacturer's recommendations.
- J. Apply sod as required for new turf.
- K. Water newly planted areas and keep moist until new turf is established.

### 3.6 TURF MAINTENANCE

- A. General: Maintain and establish turf by watering, fertilizing, weeding, mowing, trimming, replanting, and performing other operations as required to establish healthy, viable turf. Roll, regrade, and replant bare or eroded areas and remulch to produce a uniformly smooth turf. Provide materials and installation the same as those used in the original installation.
  - 1. Fill in as necessary soil subsidence that may occur because of settling or other processes. Replace materials and turf damaged or lost in areas of subsidence.
  - 2. Apply treatments as required to keep turf and soil free of pests and pathogens or disease. Use integrated pest management practices whenever possible to minimize the use of pesticides and reduce hazards.
- B. Watering: Install and maintain temporary piping, hoses, and turf-watering equipment to convey water from sources and to keep turf uniformly moist to a depth of 4 inches.
  - 1. Schedule watering to prevent wilting, puddling, erosion, and displacement of seed or mulch. Lay out temporary watering system to avoid walking over muddy or newly planted areas.
  - 2. Water turf with fine spray at a minimum rate of 1 inch per week unless rainfall precipitation is adequate.
- C. Mow turf as soon as top growth is tall enough to cut. Repeat mowing to maintain specified height without cutting more than one-third of grass height. Remove no more than one-third of grass-leaf growth in initial or subsequent mowings. Do not delay mowing until grass blades bend over and become matted. Do not mow when grass is wet. Schedule initial and subsequent mowings to maintain the following grass height:

### 3.7 SATISFACTORY TURF

- A. Turf installations shall meet the following criteria as determined by Resident Engineer:
  - 1. Satisfactory Sodded Turf: At end of maintenance period, a healthy, well-rooted, even-colored, viable turf has been established, free of weeds, open joints, bare areas, and surface irregularities.
- B. Use specified materials to reestablish turf that does not comply with requirements, and continue maintenance until turf is satisfactory.

### 3.8 CLEANUP AND PROTECTION

- A. Promptly remove soil and debris created by turf work from paved areas. Clean wheels of vehicles before leaving site to avoid tracking soil onto roads, walks, or other paved areas.
- B. Remove surplus soil and waste material, including excess subsoil, unsuitable soil, trash, and debris, and legally dispose of them off Owner's property.
- C. Erect temporary fencing or barricades and warning signs as required to protect newly planted areas from traffic. Maintain fencing and barricades throughout initial maintenance period and remove after plantings are established.
- D. Remove nondegradable erosion-control measures after grass establishment period.

### 3.9 MAINTENANCE SERVICE

- A. Turf Maintenance Service: Provide full maintenance by skilled employees of landscape Installer. Maintain as required in "Turf Maintenance" Article. Begin maintenance immediately after each area is planted and continue until acceptable turf is established, but for not less than the following periods:
  - 1 Sodded Turf: 90 days from date of Substantial Completion.

**END OF SECTION 329200**

**SUPPLEMENTARY SPECIAL PROVISIONS**

**APPENDICES**

**APPENDIX A**

**Notice of Exemption**

NOTICE OF EXEMPTION

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422
OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

PROJECT NO.: PTS#330915/WBS# B-13022.02.06 PROJECT TITLE: TIMKEN ART GALLERY ADA BARRIER REMOVAL

PROJECT LOCATION-SPECIFIC: The project is located at 1500 El Prado, San Diego, CA 92101, within Balboa Park.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: The project would provide Americans with Disabilities Act (ADA) upgrades at the Timken Museum building in Balboa Park to accommodate people with disabilities. Improvements will include interior upgrades to the restrooms, new door hardware, compliant visual fire alarm signals, and directional signage. The changes to the restroom would include ADA compliant accessories, grab bars, toilet paper dispenser and a flush sink to meet ADA height requirements to comply with state and federal safety and accessibility guidelines, and International Symbol of Accessibility signage at the inaccessible east emergency exit.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: City of San Diego, E&CP Dept/Coselyn Goodrich
525 B Street, Suite 750 (MS 908A) San Diego, CA 92101 (619) 533- 4633

EXEMPT STATUS: (CHECK ONE)

- ( ) MINISTERIAL (SEC. 21080(b)(1); 15268);
(X) CATEGORICAL EXEMPTION: 15301(A) (EXISTING FACILITIES)
( ) STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review and determined the project meets the categorical exemption criteria set forth in the CEQA State Guidelines §15301(A) "Existing Facilities," which allows for the repair and maintenance of existing public facilities involving negligible or no expansion of use beyond that at the time of the lead agencies determination; and §15302 "Replacement or Reconstruction," which allows for the replacement of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity. The project does not trigger any of the exceptions to categorical exemptions found in State CEQA Guideline § 15300.2. This project has been reviewed by the Historical Resources Board staff and determined to be consistent with the Secretary of the Interior Standards.

LEAD AGENCY CONTACT PERSON: Jeff Szymanski

TELEPHONE: (619) 446-5324

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
( ) YES ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Signature/Title: Jeff Szymanski / SENIOR PLANNER

DATE: 1/14/14

CHECK ONE:

(X) SIGNED BY LEAD AGENCY

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



**NOTICE OF EXEMPTION**

(Check one or both)

TO:  X  RECORDER/COUNTY CLERK  
P.O. BOX 1750, MS A-33  
1600 PACIFIC HWY, ROOM 260  
SAN DIEGO, CA 92101-2422  
  OFFICE OF PLANNING AND RESEARCH  
1400 TENTH STREET, ROOM 121  
SACRAMENTO, CA 95814

FROM: CITY OF SAN DIEGO  
DEVELOPMENT SERVICES DEPARTMENT  
1222 FIRST AVENUE, MS 501  
SAN DIEGO, CA 92101

PROJECT NO.: PTS 330901/WBS #B-13022.02.06

PROJECT TITLE: MORLEY FIELD TENNIS REGISTRATION ADA UPGRADES

PROJECT LOCATION-SPECIFIC: The project is located at 2221 Morley Field Drive, San Diego, CA 92104.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: The project would provide voluntary ADA upgrades at the Tennis Registration Clubhouse in Morley Field in Balboa Park to remove barriers for people with disabilities. Improvements will include installation of a new registration counter, an accessible path of travel with directional signage from accessible parking area to the clubhouse’s exterior registration counter to comply with state and federal safety and accessibility guidelines, and concrete pads with appropriate signage to provide wheelchair seating in the Memorial Bench area.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Coselyn Goodrich/City of San Diego Public Works  
525 B Street, Suite 750 (MS 908A)  
San Diego, CA 92101  
(619) 533- 4633

EXEMPT STATUS: (CHECK ONE)

- ( ) MINISTERIAL (SEC. 21080(b)(1); 15268);
- (X) CATEGORICAL EXEMPTION: 15301(A) (EXISTING FACILITIES)
- ( ) STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego has conducted an environmental review and determined that this project meets the categorical exemption criteria set forth in the CEQA State Guidelines, Section 15301 (A), “Existing Facilities,” which allows for minor alteration of existing public structures, facilities, or mechanical equipment, involving negligible or no expansion of use beyond that existing at the time of the lead agency’s determination. This project does not trigger any of the exceptions to categorical exemptions listed in CEQA Guidelines §15300.2.

LEAD AGENCY CONTACT PERSON: MYRA HERRMANN

TELEPHONE: (619) 446-5372

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?  
( ) YES ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



SENIOR PLANNER

NOVEMBER 15, 2013

SIGNATURE/TITLE

DATE

CHECK ONE:

(X) SIGNED BY LEAD AGENCY  
Timken Gallery and Morley Field Tennis Registration Center  
ADA Barrier Removal

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

## **APPENDIX B**

### **Fire Hydrant Meter Program**

<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 1 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

1. **PURPOSE**

- 1.1 To establish a Departmental policy and procedure for issuance, proper usage and charges for fire hydrant meters.

2. **AUTHORITY**

- 2.1 All authorities and references shall be current versions and revisions.
- 2.2 San Diego Municipal Code (NC) Chapter VI, Article 7, Sections 67.14 and 67.15
- 2.3 Code of Federal Regulations, Safe Drinking Water Act of 1986
- 2.4 California Code of Regulations, Titles 17 and 22
- 2.5 California State Penal Code, Section 498B.0
- 2.6 State of California Water Code, Section 110, 500-6, and 520-23
- 2.7 Water Department Director

**Reference**

- 2.8 State of California Guidance Manual for Cross Connection Programs
- 2.9 American Water Works Association Manual M-14, Recommended Practice for Backflow Prevention
- 2.10 American Water Works Association Standards for Water Meters
- 2.11 U.S.C. Foundation for Cross Connection Control and Hydraulic Research Manual

3. **DEFINITIONS**

- 3.1 **Fire Hydrant Meter:** A portable water meter which is connected to a fire hydrant for the purpose of temporary use. (These meters are sometimes referred to as Construction Meters.)

<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 2 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

- 3.2 **Temporary Water Use:** Water provided to the customer for no longer than twelve (12) months.
- 3.3 **Backflow Preventor:** A Reduced Pressure Principal Assembly connected to the outlet side of a Fire Hydrant Meter.

4. **POLICY**

- 4.1 The Water Department shall collect a deposit from every customer requiring a fire hydrant meter and appurtenances prior to providing the meter and appurtenances (see Section 7.1 regarding the Fees and Deposit Schedule). The deposit is refundable upon the termination of use and return of equipment and appurtenances in good working condition.
- 4.2 Fire hydrant meters will have a 2 ½" swivel connection between the meter and fire hydrant. The meter shall not be connected to the 4" port on the hydrant. All Fire Hydrant Meters issued shall have a Reduced Pressure Principle Assembly (RP) as part of the installation. Spanner wrenches are the only tool allowed to turn on water at the fire hydrant.
- 4.3 The use of private hydrant meters on City hydrants is prohibited, with exceptions as noted below. All private fire hydrant meters are to be phased out of the City of San Diego. All customers who wish to continue to use their own fire hydrant meters must adhere to the following conditions:
  - a. Meters shall meet all City specifications and American Water Works Association (AWWA) standards.
  - b. Customers currently using private fire hydrant meters in the City of San Diego water system will be allowed to continue using the meter under the following conditions:
    - 1. The customer must submit a current certificate of accuracy and calibration results for private meters and private backflows annually to the City of San Diego, Water Department, Meter Shop.

<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 3 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

2. The meter must be properly identifiable with a clearly labeled serial number on the body of the fire hydrant meter. The serial number shall be plainly stamped on the register lid and the main casing. Serial numbers shall be visible from the top of the meter casing and the numbers shall be stamped on the top of the inlet casing flange.
3. All meters shall be locked to the fire hydrant by the Water Department, Meter Section (see Section 4.7).
4. All meters shall be read by the Water Department, Meter Section (see Section 4.7).
5. All meters shall be relocated by the Water Department, Meter Section (see Section 4.7).
6. These meters shall be tested on the anniversary of the original test date and proof of testing will be submitted to the Water Department, Meter Shop, on a yearly basis. If not tested, the meter will not be allowed for use in the City of San Diego.
7. All private fire hydrant meters shall have backflow devices attached when installed.
8. The customer must maintain and repair their own private meters and private backflows.
9. The customer must provide current test and calibration results to the Water Department, Meter Shop after any repairs.
10. When private meters are damaged beyond repair, these private meters will be replaced by City owned fire hydrant meters.

<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 4 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

11. When a private meter malfunctions, the customer will be notified and the meter will be removed by the City and returned to the customer for repairs. Testing and calibration results shall be given to the City prior to any re-installation.
  12. The register shall be hermetically sealed straight reading and shall be readable from the inlet side. Registration shall be in hundred cubic feet.
  13. The outlet shall have a 2 ½ “National Standards Tested (NST) fire hydrant male coupling.
  14. Private fire hydrant meters shall not be transferable from one contracting company to another (i.e. if a company goes out of business or is bought out by another company).
- 4.4 All fire hydrant meters and appurtenances shall be installed, relocated and removed by the City of San Diego, Water Department. All City owned fire hydrant meters and appurtenances shall be maintained by the City of San Diego, Water Department, Meter Services.
- 4.5 If any fire hydrant meter is used in violation of this Department Instruction, the violation will be reported to the Code Compliance Section for investigation and appropriate action. Any customer using a fire hydrant meter in violation of the requirements set forth above is subject to fines or penalties pursuant to the Municipal Code, Section 67.15 and Section 67.37.
- 4.6 Conditions and Processes for Issuance of a Fire Hydrant Meter**

Process for Issuance

- a. Fire hydrant meters shall only be used for the following purposes:
  1. Temporary irrigation purposes not to exceed one year.

<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 5 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

2. Construction and maintenance related activities (see Tab 2).
  - b. No customer inside or outside the boundaries of the City of San Diego Water Department shall resell any portion of the water delivered through a fire hydrant by the City of San Diego Water Department.
  - c. The City of San Diego allows for the issuance of a temporary fire hydrant meter for a period not to exceed 12 months (365 days). An extension can only be granted in writing from the Water Department Director for up to 90 additional days. A written request for an extension by the consumer must be submitted at least 30 days prior to the 12 month period ending. No extension shall be granted to any customer with a delinquent account with the Water Department. No further extensions shall be granted.
  - d. Any customer requesting the issuance of a fire hydrant meter shall file an application with the Meter Section. The customer must complete a "Fire Hydrant Meter Application" (Tab 1) which includes the name of the company, the party responsible for payment, Social Security number and/or California ID, requested location of the meter (a detailed map signifying an exact location), local contact person, local phone number, a contractor's license (or a business license), description of specific water use, duration of use at the site and full name and address of the person responsible for payment.
  - e. At the time of the application the customer will pay their fees according to the schedule set forth in the Rate Book of Fees and Charges, located in the City Clerk's Office. All fees must be paid by check, money order or cashiers check, made payable to the City Treasurer. Cash will not be accepted.
  - f. No fire hydrant meters shall be furnished or relocated for any customer with a delinquent account with the Water Department.
  - g. After the fees have been paid and an account has been created, the

<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 6 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

meter shall be installed within 48 hours (by the second business day). For an additional fee, at overtime rates, meters can be installed within 24 hours (within one business day).

#### 4.7 Relocation of Existing Fire Hydrant Meters

- a. The customer shall call the Fire Hydrant Meter Hotline (herein referred to as “Hotline”), a minimum of 24 hours in advance, to request the relocation of a meter. A fee will be charged to the existing account, which must be current before a work order is generated for the meter’s relocation.
- b. The customer will supply in writing the address where the meter is to be relocated (map page, cross street, etc). The customer must update the original Fire Hydrant Meter Application with any changes as it applies to the new location.
- c. Fire hydrant meters shall be read on a monthly basis. While fire hydrant meters and backflow devices are in service, commodity, base fee and damage charges, if applicable, will be billed to the customer on a monthly basis. If the account becomes delinquent, the meter will be removed.

#### 4.8 Disconnection of Fire Hydrant Meter

- a. After ten (10) months a “Notice of Discontinuation of Service” (Tab 3) will be issued to the site and the address of record to notify the customer of the date of discontinuance of service. An extension can only be granted in writing from the Water Department Director for up to 90 additional days (as stated in Section 4.6C) and a copy of the extension shall be forwarded to the Meter Shop Supervisor. If an extension has not been approved, the meter will be removed after twelve (12) months of use.
- b. Upon completion of the project the customer will notify the Meter Services office via the Hotline to request the removal of the fire hydrant meter and appurtenances. A work order will be generated



<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 7 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

for removal of the meter.

- c. Meter Section staff will remove the meter and backflow prevention assembly and return it to the Meter Shop. Once returned to the Meter Shop the meter and backflow will be tested for accuracy and functionality.
- d. Meter Section Staff will contact and notify Customer Services of the final read and any charges resulting from damages to the meter and backflow or its appurtenance. These charges will be added on the customer's final bill and will be sent to the address of record. Any customer who has an outstanding balance will not receive additional meters.
- e. Outstanding balances due may be deducted from deposits and any balances refunded to the customer. Any outstanding balances will be turned over to the City Treasurer for collection. Outstanding balances may also be transferred to any other existing accounts.

5. **EXCEPTIONS**

- 5.1 Any request for exceptions to this policy shall be presented, in writing, to the Customer Support Deputy Director, or his/her designee for consideration.

6. **MOBILE METER**

- 6.1 Mobile meters will be allowed on a case by case basis. All mobile meters will be protected by an approved backflow assembly and the minimum requirement will be a Reduced Pressure Principal Assembly. The two types of Mobile Meters are vehicle mounted and floating meters. Each style of meters has separate guidelines that shall be followed for the customer to retain service and are described below:

- a) **Vehicle Mounted Meters:** Customer applies for and receives a City owned Fire Hydrant Meter from the Meter Shop. The customer mounts the meter on the vehicle and brings it to the Meter Shop for

<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 8 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

inspection. After installation is approved by the Meter Shop the vehicle and meter shall be brought to the Meter Shop on a monthly basis for meter reading and on a quarterly basis for testing of the backflow assembly. Meters mounted at the owner's expense shall have the one year contract expiration waived and shall have meter or backflow changed if either fails.

b) **Floating Meters:** Floating Meters are meters that are not mounted to a vehicle. **(Note: All floating meters shall have an approved backflow assembly attached.)** The customer shall submit an application and a letter explaining the need for a floating meter to the Meter Shop. The Fire Hydrant Meter Administrator, after a thorough review of the needs of the customer, (i.e. number of jobsites per day, City contract work, lack of mounting area on work vehicle, etc.), may issue a floating meter. At the time of issue, it will be necessary for the customer to complete and sign the "Floating Fire Hydrant Meter Agreement" which states the following:

- 1) The meter will be brought to the Meter Shop at 2797 Caminito Chollas, San Diego on the third week of each month for the monthly read by Meter Shop personnel.
- 2) Every other month the meter will be read and the backflow will be tested. This date will be determined by the start date of the agreement.

If any of the conditions stated above are not met the Meter Shop has the right to cancel the contract for floating meter use and close the account associated with the meter. The Meter Shop will also exercise the right to refuse the issuance of another floating meter to the company in question.

Any Fire Hydrant Meter using reclaimed water shall not be allowed use again with any potable water supply. The customer shall incur the cost of replacing the meter and backflow device in this instance.

<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 9 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

7. **FEE AND DEPOSIT SCHEDULES**

7.1 **Fees and Deposit Schedules:** The fees and deposits, as listed in the Rate Book of Fees and Charges, on file with the Office of the City Clerk, are based on actual reimbursement of costs of services performed, equipment and materials. These deposits and fees will be amended, as needed, based on actual costs. Deposits, will be refunded at the end of the use of the fire hydrant meter, upon return of equipment in good working condition and all outstanding balances on account are paid. Deposits can also be used to cover outstanding balances.

All fees for equipment, installation, testing, relocation and other costs related to this program are subject to change without prior notification. The Mayor and Council will be notified of any future changes.

8. **UNAUTHORIZED USE OF WATER FROM A HYDRANT**

8.1 Use of water from any fire hydrant without a properly issued and installed fire hydrant meter is theft of City property. Customers who use water for unauthorized purposes or without a City of San Diego issued meter will be prosecuted.

8.2 If any unauthorized connection, disconnection or relocation of a fire hydrant meter, or other connection device is made by anyone other than authorized Water Department personnel, the person making the connection will be prosecuted for a violation of San Diego Municipal Code, Section 67.15. In the case of a second offense, the customer's fire hydrant meter shall be confiscated and/or the deposit will be forfeited.

8.3 Unauthorized water use shall be billed to the responsible party. Water use charges shall be based on meter readings, or estimates when meter readings are not available.

8.4 In case of unauthorized water use, the customer shall be billed for all applicable charges as if proper authorization for the water use had been obtained, including but not limited to bi-monthly service charges, installation charges and removal charges.

<b>CITY OF SAN DIEGO CALIFORNIA DEPARTMENT INSTRUCTIONS</b>	<b>NUMBER DI 55.27</b>	<b>DEPARTMENT Water Department</b>
<b>SUBJECT  FIRE HYDRANT METER PROGRAM (FORMERLY: CONSTRUCTION METER PROGRAM)</b>	<b>PAGE 10 OF 10</b>	<b>EFFECTIVE DATE  October 15, 2002</b>
	<b>SUPERSEDES DI 55.27</b>	<b>DATED April 21, 2000</b>

- 8.5 If damage occurs to Water Department property (i.e. fire hydrant meter, backflow, various appurtenances), the cost of repairs or replacements will be charged to the customer of record (applicant).

**Larry Gardner  
Water Department Director**

- Tabs: 1. Fire Hydrant Meter Application  
2. Construction & Maintenance Related Activities With No Return To Sewer  
3. Notice of Discontinuation of Service

### **APPENDIX**

**Administering Division:** Customer Support Division

**Subject Index:** Construction Meters  
Fire Hydrant  
Fire Hydrant Meter Program  
Meters, Floating or Vehicle Mounted  
Mobile Meter  
Program, Fire Hydrant Meter

**Distribution:** DI Manual Holders



# Application for Fire Hydrant Meter (EXHIBIT A)

(For Office Use Only)

NS REQ	FAC#
DATE	BY

METER SHOP (619) 527-7449

## Meter Information

Application Date	Requested Install Date:
------------------	-------------------------

Fire Hydrant Location: (Attach Detailed Map//Thomas Bros. Map Location or Construction drawing.) Zip:	T.B.	G.B. (CITY USE)
Specific Use of Water:		
Any Return to Sewer or Storm Drain, If so, explain:		
Estimated Duration of Meter Use:		Check Box if Reclaimed Water

## Company Information

Company Name:			
Mailing Address:			
City:	State:	Zip:	Phone: ( )
*Business license#		*Contractor license#	
A Copy of the Contractor's license OR Business License is required at the time of meter issuance.			
Name and Title of Billing Agent: <small>(PERSON IN ACCOUNTS PAYABLE)</small>			Phone: ( )
Site Contact Name and Title:			Phone: ( )
Responsible Party Name:			Title:
Cal ID#			Phone: ( )
Signature:		Date:	
<small>Guarantees Payment of all Charges Resulting from the use of this Meter. Insures that employees of this Organization understand the proper use of Fire Hydrant Meter</small>			

<b>Fire Hydrant Meter Removal Request</b>	Requested Removal Date:
Provide Current Meter Location if Different from Above:	
Signature:	Title: Date:
Phone: ( )	Pager: ( )

City Meter	Private Meter
Contract Acct #:	Deposit Amount: <b>\$ 936.00</b> Fees Amount: <b>\$ 62.00</b>
Meter Serial #	Meter Size: <b>05</b> Meter Make and Style: <b>6-7</b>
Backflow #	Backflow Size: Backflow Make and Style:
Name:	Signature: Date:

**WATER USES WITHOUT ANTICIPATED CHARGES FOR RETURN TO SEWER**

Auto Detailing  
Backfilling  
Combination Cleaners (Vactors)  
Compaction  
Concrete Cutters  
Construction Trailers  
Cross Connection Testing  
Dust Control  
Flushing Water Mains  
Hydro Blasting  
Hydro Seeing  
Irrigation (for establishing irrigation only; not continuing irrigation)  
Mixing Concrete  
Mobile Car Washing  
Special Events  
Street Sweeping  
Water Tanks  
Water Trucks  
Window Washing

**Note:**

1. If there is any return to sewer or storm drain, then sewer and/or storm drain fees will be charges.

Date

Name of Responsible Party  
Company Name and Address  
Account Number: \_\_\_\_\_

Subject:           Discontinuation of Fire Hydrant Meter Service

Dear Water Department Customer:

The authorization for use of Fire Hydrant Meter # \_\_\_\_\_, located at *(Meter Location Address)* ends in 60 days and will be removed on or after *(Date Authorization Expires)*. Extension requests for an additional 90 days must be submitted in writing for consideration 30 days prior to the discontinuation date. If you require an extension, please contact the Water Department, or mail your request for an extension to:

City of San Diego  
Water Department  
Attention: Meter Services  
2797 Caminito Chollas  
San Diego, CA 92105-5097

Should you have any questions regarding this matter, please call the Fire Hydrant Hotline at (619) \_\_\_\_\_ - \_\_\_\_\_.

Sincerely,

Water Department

## **APPENDIX C**

### **Materials Typically Accepted by Certificate of Compliance**



## **Materials Typically Accepted by Certificate of Compliance**

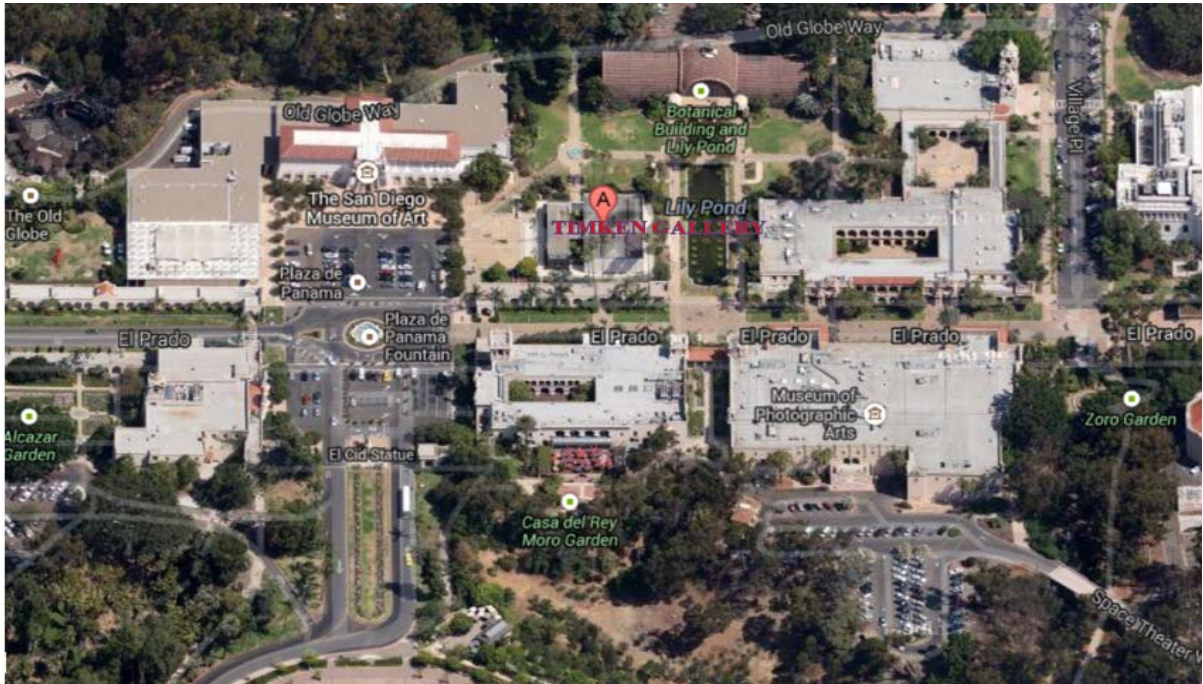
1. Soil amendment
2. Fiber mulch
3. PVC or PE pipe up to 16 inch diameter
4. Stabilizing emulsion
5. Lime
6. Preformed elastomeric joint seal
7. Plain and fabric reinforced elastomeric bearing pads
8. Steel reinforced elastomeric bearing pads
9. Waterstops (Special Condition)
10. Epoxy coated bar reinforcement
11. Plain and reinforcing steel
12. Structural steel
13. Structural timber and lumber
14. Treated timber and lumber
15. Lumber and timber
16. Aluminum pipe and aluminum pipe arch
17. Corrugated steel pipe and corrugated steel pipe arch
18. Structural metal plate pipe arches and pipe arches
19. Perforated steel pipe
20. Aluminum underdrain pipe
21. Aluminum or steel entrance tapers, pipe downdrains, reducers, coupling bands and slip joints
22. Metal target plates
23. Paint (traffic striping)
24. Conductors
25. Painting of electrical equipment
26. Electrical components
27. Engineering fabric
28. Portland Cement
29. PCC admixtures
30. Minor concrete, asphalt
31. Asphalt (oil)
32. Liquid asphalt emulsion
33. Epoxy

**APPENDIX D**  
**SAMPLE CITY INVOICE**

City of San Diego, Field Engineering Div., 9485 Aero Drive, SD CA 92123						Contractor's Name:					
Project Name:						Contractor's Address:					
Work Order No or Job Order No.											
City Purchase Order No.						Contractor's Phone #:			Invoice No.		
Resident Engineer (RE):						Contractor's Fax #:			Invoice Date:		
RE Phone#:			RE Fax#:			Contact Name:			Billing Period:		
Item #	Item Description	Contract Authorization				Previous Estimate		This Estimate		Totals to Date	
		Unit	Qty	Price	Extension	%/QTY	Amount	% / QTY	Amount	% / QTY	Amount
1	2 Parallel 4" PVC C900	LF	1,380	\$34.00	\$46,920.00						
2	48" Primary Steel Casing	LF	500	\$1,000.00	\$500,000.00						
3	2 Parallel 12" Secondary Steel	LF	1,120	\$53.00	\$59,360.00						
4	Construction and Rehab of PS 49	LS	1	\$150,000.00	\$150,000.00						
5	Demo	LS	1	\$14,000.00	\$14,000.00						
6	Install 6' High Chain Link Fence	LS	1	\$5,600.00	\$5,600.00						
7	General Site Restoration	LS	1	\$3,700.00	\$3,700.00						
8	10" Gravity Sewer	LF	10	\$292.00	\$2,920.00						
9	4" Blow Off Valves	EA	2	\$9,800.00	\$19,600.00						
10	Bonds	LS	1	\$16,000.00	\$16,000.00						
11	Field Orders	AL	1	80,000	\$80,000.00						
11.1	Field Order 1	LS	5,500	\$1.00	\$5,500.00						
11.2	Field Order 2	LS	7,500	\$1.00	\$7,500.00						
11.3	Field Order 3	LS	10,000	\$1.00	\$10,000.00						
11.4	Field Order 4	LS	6,500	\$1.00	\$6,500.00						
12	Certified Payroll	LS	1	\$1,400.00	\$1,400.00						
<b>CHANGE ORDERS</b>											
Change Order 1			4,890								
Items 1-4					\$11,250.00						
Item 5-Deduct Bid Item 3		LF	120	-\$53.00	(\$6,360.00)						
Change Order 2			160,480								
Items 1-3					\$95,000.00						
Item 4 Deduct Bid Item 1		LF	380	-\$340.00	(\$12,920.00)						
Item 5-Encrease bid Item 9		LF	8	\$9,800.00	\$78,400.00						
Change Order 3 (Close Out)			-121,500								
Item 1 Deduct Bid Item 3			53	-500.00	(\$26,500.00)						
Item 2 Deduct Bid Item 4		LS	-1	45,000.00	(\$45,000.00)						
Items 3-9			1	-50,500.00	(\$50,500.00)						
<b>SUMMARY</b>								Total This	\$ -	Total Billed	\$0.00
A. Original Contract Amount						<b>Retention and/or Escrow Payment Schedule</b>					
B. Approved Change Order 1 Thru 3						Total Retention Required as of this billing					
C. Total Authorized Amount (A+B)						Previous Retention Withheld in PO or in Escrow					
D. Total Billed to Date						Add'l Amt to Withhold in PO/Transfer in Escrow:					
E. Less Total Retention (5% of D)						Amt to Release to Contractor from PO/Escrow:					
F. Less Total Previous Payments											
<b>G. Payment Due Less Retention</b>						<b>Contractor Signature and Date:</b>					
H. Remaining Authorized Amount											

**APPENDIX E**  
**LOCATION MAP**

## LOCATION MAP



**APPENDIX F**  
**ASBESTOS AND LEAD REPORT**

6988 4614

CITY of SAN DIEGO  
WORK REQUEST FOR ASBESTOS & LEAD MANAGEMENT PROGRAM

Department: Public Works Dept#: 2112 Division: AE&P  
Work Requested By: Yovanna Hanna MS#: 908A Phone/Fax: 619-533-5130

Facility Name/Address: Timken Gallery 1500 El Prado, San Diego  
Facility #: 000169 Age of Facility: 1965 Plans Attached?  YES  NO Target Start: 5/14  
Description of Proposed Work (explain detail of work as well as where in facility):

The project would provide ADA upgrades at the Timken Museum building in Balboa Park to remove barriers for people with disabilities. Improvements will include interior upgrades to the restrooms, new door hardware, compliant visual alarm signals, and directional signage. The changes to the restroom would include compliant accessories, grab bars, toilet paper dispenser, and a flush sink to meet ADA height requirements to comply with state and federal safety and accessibility guidelines, ISA signage at the inaccessible east emergency exit.

Have internal order or WBS # opened to ALMP for labor cost. ALMP cost center 2115111111; fund 100000; revenue acct 424071. The following accounting #s are for laboratory, abatement, and/or other NPE. Request estimate if needed.

Accounting Numbers: \_\_\_\_\_ 400848 \_\_\_\_\_ B13022  
Cost Center Fund G/L # Internal Order/WBS

I have the authority to authorize ALMP to bill hourly inspection labor and laboratory expenses to the accounting numbers above for work related to this project.

Signature Yovanna J. Hanna Title Assistant Engineer Date 1/28/14  
Print Name \_\_\_\_\_ Div. Analyst Name AEP/Emily Perrone

Send completed form to: **ASBESTOS & LEAD MANAGEMENT PROGRAM** - 9601 Ridgehaven Court, Suite 310, San Diego, CA 92123 or MS 1103-A or Fax (858)492-5089

FOR OFFICE USE ONLY

Date Received 1-30-14 Inspector BRAD BLONDET

Records/Inspection Information \_\_\_\_\_

Impact on Project The Timken Gallery ADA proposed work areas do not have lead paint or suspect asbestos materials. No impact on this work. Please see attached spec language and Memo 2014/1576.

William B. Blondet 02-06-14 Ad Juh 2/6/14  
ASBESTOS & LEAD PROGRAM INSPECTOR DATE ASBESTOS & LEAD PROGRAM MANAGER DATE

Asbestos & Lead Management Program -- (858) 573-1262 (FAX) (858) 492-5089



THE CITY OF SAN DIEGO

MEMORANDUM

DATE: February 05, 2014

TO: Hanna Yovanna, Assistant Engineer Civil, Public Works Department, AE&P Division

FROM: Wm. Brad Blondet, Asbestos & Lead Program Inspector  
 via Alan J. Johanns, Asbestos & Lead Program Manager, Environmental Services  
 Department, Energy, Sustainability, and Environmental Protection Division

SUBJECT: **Timken Gallery ADA Upgrades**

Per your request, the Asbestos and Lead Management Program (ALMP) performed a limited asbestos and lead inspection for the proposed ADA upgrades on January 31<sup>st</sup>, 2014 at the Timken Gallery (Facility 169) located at 1500 El Prado, San Diego, CA 92104.

The investigation included sampling of suspect materials likely to be disturbed during the ADA renovations.

**Asbestos results**

No suspect asbestos materials were found at the proposed work locations. No samples collected.

**Lead results**

Please see the following table for lead sample result:

Sample #	Material	Lead
33	Yellow Paint on Interior Metal Restroom Door Frame	.01 mg/cm <sup>2</sup>

**Recommendations**

The above listed painted component does not have lead based paint or concentrations of lead at the threshold where abatement is necessary. The proposed work areas do not have asbestos or lead concerns. Please notify ALMP if the scope of work changes.



Page 2  
Hanna Yovanna  
February 5, 2014

If you have any questions regarding these results, please contact me at (858) 492-5086 or  
WBlondet@sandiego.gov

Sincerely,



Wm. Brad Blondet  
ALMP Inspector

Attachments: Lead Results

memo2014\1576

## ASBESTOS AND LEAD MATERIALS

### General

- A. The City of San Diego's Asbestos and Lead Management Program (ALMP) has performed an asbestos and lead inspection for the Timken Gallery ADA Upgrades involved with this contract. The Contractor that is awarded this contract shall not include any costs associated with mitigation of the asbestos and lead materials as it will be performed by a separate City contract with the work being performed at the beginning of each project. The results of the testing are summarized in Table 1.
  
- B. The inspection and sampling performed by the ALMP was conducted without using destructive methods. Therefore, it is possible for the Contractor to encounter additional suspected hazardous materials as the walls are opened during demolition. The Contractor and his staff shall continue looking for suspected materials throughout this process.
  1. If additional suspected asbestos materials or loose and flaky lead paint are identified, stop work in that area and immediately notify the Resident Engineer.
  2. As soon as possible, the City will undertake confirmation of the materials and determine if abatement is required. If abatement is required, the City will conduct such abatement at no cost to the Contractor.
  3. The Contractor shall remain out of that work area if abatement is required. There will be no additional financial compensation to the Contractor during the removal of this ACM or loose and flaky lead paint.

## TABLE 1

### Environmental Testing Results

The following is a summary of laboratory results for the Casa Del Prado. The investigation included sampling of suspect materials likely to be disturbed during the ADA renovations:

#### Asbestos results

No suspect asbestos materials were found at the proposed work locations. No samples collected.

#### Lead results

Please see the following table for lead sample result. The complete XRF data can be found on the following pages:

<b>Sample #</b>	<b>Material</b>	<b>Lead</b>
22	Gray Paint on South Exterior side Metal Door	.02 mg/cm <sup>2</sup>
23	Tan Paint on South Exterior side Metal Door	0 mg/cm <sup>2</sup>
24	Tan Paint on South Exterior side Metal Door	0 mg/cm <sup>2</sup>
25	Black Paint on East Exterior side Metal Handrail	.05 mg/cm <sup>2</sup>
26	Tan Paint on East Exterior side Metal Door	0 mg/cm <sup>2</sup>
27	Brown Paint on Interior Stairwell Concrete Landing	.02 mg/cm <sup>2</sup>
28	Tan Paint on Interior Stairwell Concrete Wall	0 mg/cm <sup>2</sup>
29	Black Paint on Interior North side Metal Handrail	0 mg/cm <sup>2</sup>
30	White Paint on Interior North side Drywall Wall	0 mg/cm <sup>2</sup>
31	Gray Paint on Interior Restroom Wood Door	0 mg/cm <sup>2</sup>
32	Gray Paint on Interior Restroom Metal Door Frame	0 mg/cm <sup>2</sup>
33	Yellow Paint on Interior Restroom Metal Partition	0 mg/cm <sup>2</sup>
34	Gray Coating on Interior Restroom Ceramic Floor Tile	0 mg/cm <sup>2</sup>
35	Gray Coating on Interior Restroom Ceramic Wall Tile	.01 mg/cm <sup>2</sup>
36	White Coating on Interior Restroom Ceramic Wall Tile	.01 mg/cm <sup>2</sup>
37	Brown Paint on Interior Restroom Concrete Floor	0 mg/cm <sup>2</sup>
38	Yellow Paint on Interior Restroom Drywall Wall	0 mg/cm <sup>2</sup>
39	Yellow Paint on Interior Restroom Metal Partition	.05 mg/cm <sup>2</sup>
40	Yellow Paint on Interior Restroom Wood Door	0 mg/cm <sup>2</sup>
41	Yellow Paint on Interior Restroom Metal Door Frame	0 mg/cm <sup>2</sup>



City of San Diego  
Lead Safety and Healthy Homes Program



Timken Gallery ADA Upgrades

**XRF Assay Results**

Reading No.	Time	Type	Duration	Units	Mode	Location	Room	Side	Component	Condition	Substrate	Color	Results	PbC
30	1/31/14 15:19	PAINT	20	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1
31	1/31/14 15:20	PAINT	20	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1.2
32	1/31/14 15:21	PAINT	20	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1
33	1/31/14 15:37	PAINT	20	mg / cm ^2	Std.	TIMKEN	RESTROOM HALLWAY	C	DOOR FRAME	INTACT	METAL	YELLOW	Negative	0.01
34	1/31/14 15:47	PAINT	13.08	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1.1
35	1/31/14 15:48	PAINT	19.98	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1
36	1/31/14 15:49	PAINT	4.62	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1.2

**CITY of SAN DIEGO**  
**WORK REQUEST FOR ASBESTOS & LEAD MANAGEMENT PROGRAM**

6983

4617

RECEIVED

1-30-14

Department: Public Works Dept#: 2112 Division: AE&P  
 Work Requested By: Yovanna Hanna MS#: 908A Phone/Fax: 619-533-5130

Env Sys  
ESF  
Dep  
lv

Facility Name/Address: Morley Field Tennis Registration Center 2221 Morley Field Drive, San Diego 92104

Facility #: 000485 Age of Facility: 1985 Plans Attached?  YES  NO Target Start: 5/14

Description of Proposed Work (explain detail of work as well as where in facility):  
 The project would provide ADA upgrades at the Tennis Registration Clubhouse in Morley Field in Balboa Park to remove barriers for people with disabilities. Improvements will include installation of a new registration counter, an accessible path of travel with directional signage from accessible parking area to the clubhouse's exterior registration counter to comply with state and federal safety and accessibility guidelines, and concrete pads with appropriate signage to provide wheelchair seating in the Memorial Beach area.

Have internal order or WBS # opened to ALMP for labor cost. ALMP cost center 2115111111; fund 100000; revenue acct 424071. The following accounting #s are for laboratory, abatement, and/or other NPE. Request estimate if needed.

Accounting Numbers: \_\_\_\_\_ 400848 \_\_\_\_\_ B13020  
 Cost Center Fund G/L # Internal Order/WBS

I have the authority to authorize ALMP to bill hourly inspection labor and laboratory expenses to the accounting numbers above for work related to this project.

Signature Yovanna J. Hanna Title Assistant Engineer Date 1/28/14

Print Name \_\_\_\_\_ Div. Analyst Name AEP/Emily Perrone

Send completed form to: **ASBESTOS & LEAD MANAGEMENT PROGRAM** - 9601 Ridgehaven Court, Suite 310, San Diego, CA 92123 or MS 1103-A or Fax (858)492-5089

**FOR OFFICE USE ONLY**

Date Received 1-30-14 Inspector BRAD BLONDET

Records/Inspection Information \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Impact on Project The Southside of the Morley Field Tennis Registration has lead paint on components scheduled for alteration. ALMP will use our "as-needed" abatement contractor to perform lead abatement ahead of the contracted ADA work. Please see attached spec language and Memo 2014/1575 with results.

William BlonDET 02-06-14 \_\_\_\_\_ 2/6/14  
 ASBESTOS & LEAD PROGRAM INSPECTOR DATE ASBESTOS & LEAD PROGRAM MANAGER DATE

Asbestos & Lead Management Program -- (858) 573-1262 (FAX) (858) 492-5089



THE CITY OF SAN DIEGO

MEMORANDUM

DATE: February 05, 2014

TO: Hanna Yovanna, Assistant Engineer Civil, Public Works Department, AE&P Division

FROM: Wm. Brad Blondet, Asbestos & Lead Program Inspector GB  
via Alan J. Johanns, Asbestos & Lead Program Manager, Environmental Services  
Department, Energy, Sustainability, and Environmental Protection Division

SUBJECT: **Morley Field Tennis Registration Center ADA Upgrades**

Per your request, the Asbestos and Lead Management Program (ALMP) performed a limited asbestos and lead inspection for the proposed ADA upgrades on January 31<sup>st</sup>, 2014 at the Morley Field Tennis Registration Center (Facility 485) located at 2221 Morley Field Drive., San Diego, CA 92104.

The investigation included sampling of suspect materials likely to be disturbed during the ADA renovations.

**Asbestos results**

No suspect asbestos materials were found at the proposed work locations. No samples collected.

**Lead results**

Please see the following tables for lead sample results:

Sample #	Material	Lead
25	Gray Paint on Interior Wood Window Sill	.6 mg/cm <sup>2</sup>
26	Brown Paint on Exterior Window Casing	3.7 mg/cm <sup>2</sup>
27	Tan Paint on Exterior Stucco Wall	.03 mg/cm <sup>2</sup>
28	Gray Paint on Exterior Wood Door	5.3 mg/cm <sup>2</sup>
29	Brown Paint on Exterior Wood Door Jamb	6.9 mg/cm <sup>2</sup>

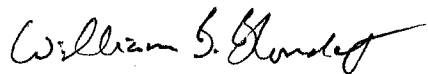
Page 2  
Hanna Yovanna  
February 5, 2014

**Recommendations**

Identified lead containing materials as listed in this report must be removed and disposed by a qualified abatement contractor. We will be using our "as needed" abatement contractor for the removal of door and window components to accommodate the ADA improvements, and I will get an estimate for the abatement work for you. ALMP will also help to coordinate the removal, and we will perform on-site air monitoring during the abatement to ensure the contractor performs the work safely. Please include ALMP in all construction meetings regarding this project and notify us if the scope of work changes.

If you have any questions regarding these results, please contact me at (858) 492-5086 or WBlondet@sandiego.gov

Sincerely,



Wm. Brad Blondet  
ALMP Inspector

Attachments: Lead Results

memo2014\1575

## ASBESTOS AND LEAD MATERIALS

### General

- A. The City of San Diego's Asbestos and Lead Management Program (ALMP) has performed an asbestos and lead inspection for Morley Field Tennis Registration Center ADA Upgrades involved with this contract. The Contractor that is awarded this contract shall not include any costs associated with mitigation of the asbestos and lead materials as it will be performed by a separate City contract with the work being performed at the beginning of each project. The results of the testing are summarized in Table 1.
  
- B. The inspection and sampling performed by the ALMP was conducted without using destructive methods. Therefore, it is possible for the Contractor to encounter additional suspected hazardous materials as the walls are opened during demolition. The Contractor and his staff shall continue looking for suspected materials throughout this process.
  1. If additional suspected asbestos materials or loose and flaky lead paint are identified, stop work in that area and immediately notify the Resident Engineer.
  2. As soon as possible, the City will undertake confirmation of the materials and determine if abatement is required. If abatement is required, the City will conduct such abatement at no cost to the Contractor.
  3. The Contractor shall remain out of that work area if abatement is required. There will be no additional financial compensation to the Contractor during the removal of this ACM or loose and flaky lead paint.



**TABLE 1**

**Environmental Testing Results**

The following is a summary of laboratory results for the Morley Field Tennis Registration Center. The investigation included sampling of suspect materials likely to be disturbed during the ADA renovations:

**Asbestos results**

No suspect asbestos materials were found at the proposed work locations. No samples collected.

**Lead results**

Please see the following tables for lead sample results. The complete XRF data can be found on the following pages:

<b>Sample #</b>	<b>Material</b>	<b>Lead</b>
25	Gray Paint on Interior Wood Window Sill	.6 mg/cm <sup>2</sup>
26	Brown Paint on Exterior Window Casing	3.7 mg/cm <sup>2</sup>
27	Tan Paint on Exterior Stucco Wall	.03 mg/cm <sup>2</sup>
28	Gray Paint on Exterior Wood Door	5.3 mg/cm <sup>2</sup>
29	Brown Paint on Exterior Wood Door Jamb	6.9 mg/cm <sup>2</sup>



City of San Diego  
Lead Safety and Healthy Homes Program



Morley Field Tennis Registration Center ADA Upgrades

**XRF Assay Results**

Reading No.	Time	Type	Duration	Units	Mode	Location	Room	Side	Component	Condition	Substrate	Color	Results	PbC
21	1/31/14 15:03	SHUTTER_CAL	76.08	cps										5.74
22	1/31/14 15:06	PAINT	20	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1.1
23	1/31/14 15:07	PAINT	20	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1.1
24	1/31/14 15:08	PAINT	20	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1.1
25	1/31/14 15:12	PAINT	1.92	mg / cm ^2	Std.	MORLEY FIELD	INTERIOR	SOUTH A	WINDOW SILL	INTACT	WOOD	GRAY	Negative	0.6
26	1/31/14 15:13	PAINT	1.16	mg / cm ^2	Std.	MORLEY FIELD	EXTERIOR	SOUTH A	WINDOW CASING	INTACT	WOOD	BROWN	Positive	3.7
27	1/31/14 15:15	PAINT	2.69	mg / cm ^2	Std.	MORLEY FIELD	EXTERIOR	SOUTH A	WALL	INTACT	STUCCO	TAN	Negative	0.03
28	1/31/14 15:16	PAINT	1.15	mg / cm ^2	Std.	MORLEY FIELD	EXTERIOR	SOUTH A	DOOR	INTACT	WOOD	GRAY	Positive	5.3
29	1/31/14 15:17	PAINT	0.77	mg / cm ^2	Std.	MORLEY FIELD	EXTERIOR	SOUTH A	DOOR JAMB	INTACT	WOOD	BROWN	Positive	6.9
30	1/31/14 15:19	PAINT	20	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1
31	1/31/14 15:20	PAINT	20	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1.2
32	1/31/14 15:21	PAINT	20	mg / cm ^2	K & L				CALIB. CHECK			RED	Positive	1

**ATTACHMENT F**  
**INTENTIONALLY LEFT BLANK**

# City of San Diego

CITY CONTACT: Clementina Giordano - Contract Specialist, Email: [CGiordano@sandiego.gov](mailto:CGiordano@sandiego.gov)  
Phone No. (619) 533-3481, Fax No. (619) 533-3633



## ADDENDUM "A"

## FOR

### Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal

BID NO.: \_\_\_\_\_ L-14-1194-DBB-1  
SAP NO. (WBS/IO/CC): \_\_\_\_\_ B-13022 / B-13020  
CLIENT DEPARTMENT: \_\_\_\_\_ 1714  
COUNCIL DISTRICT: \_\_\_\_\_ 7  
PROJECT TYPE: \_\_\_\_\_ BT

### **BID DUE DATE:**

**1:30 PM**  
**APRIL 17, 2014**  
**CITY OF SAN DIEGO**  
**PUBLIC WORKS CONTRACTING GROUP**  
**1010 SECOND AVENUE, 14<sup>th</sup> FLOOR, MS 614C**  
**SAN DIEGO, CA 92101**

**A. CHANGES TO CONTRACT DOCUMENTS**

The following changes to the Contract Documents are hereby made effective as though originally issued with the bid package. Bidders are reminded that all previous requirements to this solicitation remain in full force and effect.

**B. VOLUME 1**

1. To ATTACHMENT A, SCOPE OF WORK, Item 4, CONTRACT TIME, page 27, **DELETE** in its entirety and **SUBSTITUTE** with the following:

**4. CONTRACT TIME:** The Contract Time for completion of the Work shall be **80 Working Days.**

James Nagelvoort, Director  
Public Works Department

Dated: *March 27, 2014*  
San Diego, California

JN/RT/lad

# City of San Diego

CITY CONTACT: Clementina Giordano - Contract Specialist, Email: [CGiordano@saniego.gov](mailto:CGiordano@saniego.gov)  
Phone No. (619) 533-3481, Fax No. (619) 533-3633

## ADDENDUM "B"

### FOR

### Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal



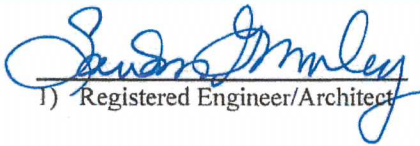
BID NO.: \_\_\_\_\_ L-14-1194-DBB-1  
SAP NO. (WBS/IO/CC): \_\_\_\_\_ B-13022 / B-13020  
CLIENT DEPARTMENT: \_\_\_\_\_ 1714  
COUNCIL DISTRICT: \_\_\_\_\_ 7  
PROJECT TYPE: \_\_\_\_\_ BT

### **BID DUE DATE:**

**1:30 PM  
APRIL 29, 2014  
CITY OF SAN DIEGO  
PUBLIC WORKS CONTRACTING GROUP  
1010 SECOND AVENUE, 14<sup>th</sup> FLOOR, MS 614C  
SAN DIEGO, CA 92101**

## ENGINEER OF WORK

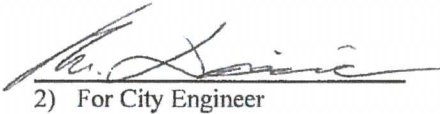
The engineering Specifications and Special Provisions contained herein have been prepared by or under the direction of the following Registered Engineer/Architect:

  
1) Registered Engineer/Architect

4.14.14

Date



  
2) For City Engineer

4/14/14

Date



**A. CHANGES TO CONTRACT DOCUMENTS**

The following changes to the Contract Documents are hereby made effective as though originally issued with the bid package. Bidders are reminded that all previous requirements to this solicitation remain in full force and effect.

THE SUBMITTAL DATE FOR THIS PROJECT HAS BEEN **EXTENDED AS STATED ON THE COVER PAGE.**

**B. BIDDER'S QUESTIONS**

**Question pertaining to Terms and Conditions**

Q1. Please check to see if we can use an installation floater insurance policy in lieu of the builders risk.  
If not, in order to obtain the builders risk policy my insurance company will need to know the square footage of each building and replacement value of the buildings and their contents.  
Please let me know as soon as possible so that we can get an estimate for the cost of the policy.

A1. Contractors Builders Risk Property Insurance requirement has been removed from the Contract Documents

Q2. Can any licensed fire alarm contractor replace the fixtures in the Timken Gallery, or is there a specific fire alarm company that we must use.  
If there is a specific company please provide the name and contact information.

A2. Fire Alarm Work has been removed from the Contract Documents.

**C. VOLUME 1**

1. To NOTICE INVITING BIDS, page 4, item 5, SUBCONTRACTING PARTICIPATION PERCENTAGES, **DELETE** in its entirety and **SUBSTITUTE** with the following.

**5. SUBCONTRACTING PARTICIPATION PERCENTAGES:**

**5.1** The City has incorporated voluntary subcontractor participation percentage to enhance competition and maximize subcontracting opportunities as follows.

**5.2** The following voluntary subcontractor participation percentage for DBE, DVBE, WBE, MBE, SLBE, and ELBE certified Subcontractors shall apply to this contract:

**Total voluntary subcontractor participation percentage for this project is 13.9%.**



2. To ATTACHMENT A, page 27, SCOPE OF WORK, Item 2, CONSTRUCTION COST, **DELETE** in its entirety and **SUBSTITUTE** with the following:
  - 2 **CONSTRUCTION COST:** The City's estimated construction cost for this contract is **\$126,263.00**.
3. To ATTACHMENT E, page 39, SUPPLEMENTARY SPECIAL PROVISIONS, Section 7 Responsibilities of the Contractor, Subsection 7-3.2.5 Contractors Builders Risk Property Insurance **DELETE** in its entirety.
4. To ATTACHMENT E, page 41, SUPPLEMENTARY SPECIAL PROVISIONS, Section 7 Responsibilities of the Contractor, Subsection 7-3.5.5 Builders Risk Endorsements **DELETE** in its entirety.
5. To ATTACHMENT E, pages 88 through 95, TECHNICALS Timken Gallery Technical Specification, Section 283111 Digital, Addressable Fire-Alarm System, **DELETE** in its entirety.

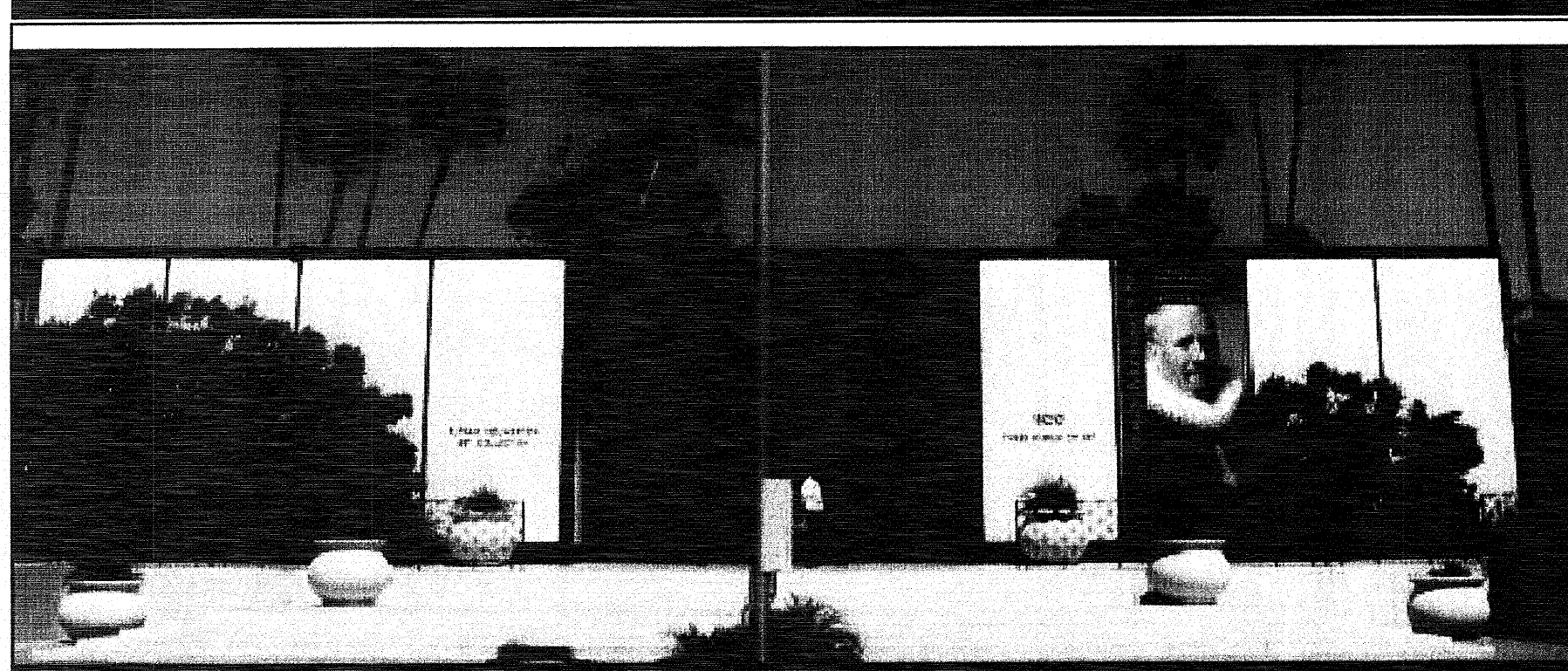
**D. PLANS**

1. To Drawings Numbered 37595-01-D, 37595-03-D, 37595-07-D, and 37595-08-D for Timken Gallery, **DELETE** in their entirety and **REPLACE** with pages 5 through 8 of this Addendum.
2. To Drawings Numbered 37596-01-D, 37596-04-D, and 37596-05-D for Morley field Tennis Registration Center, **DELETE** in their entirety and **REPLACE** with pages 9 through 11 of this Addendum.

James Nagelvoort, Director  
Public Works Department

Dated: *April 15, 2014*  
San Diego, California

JN/RT/lad



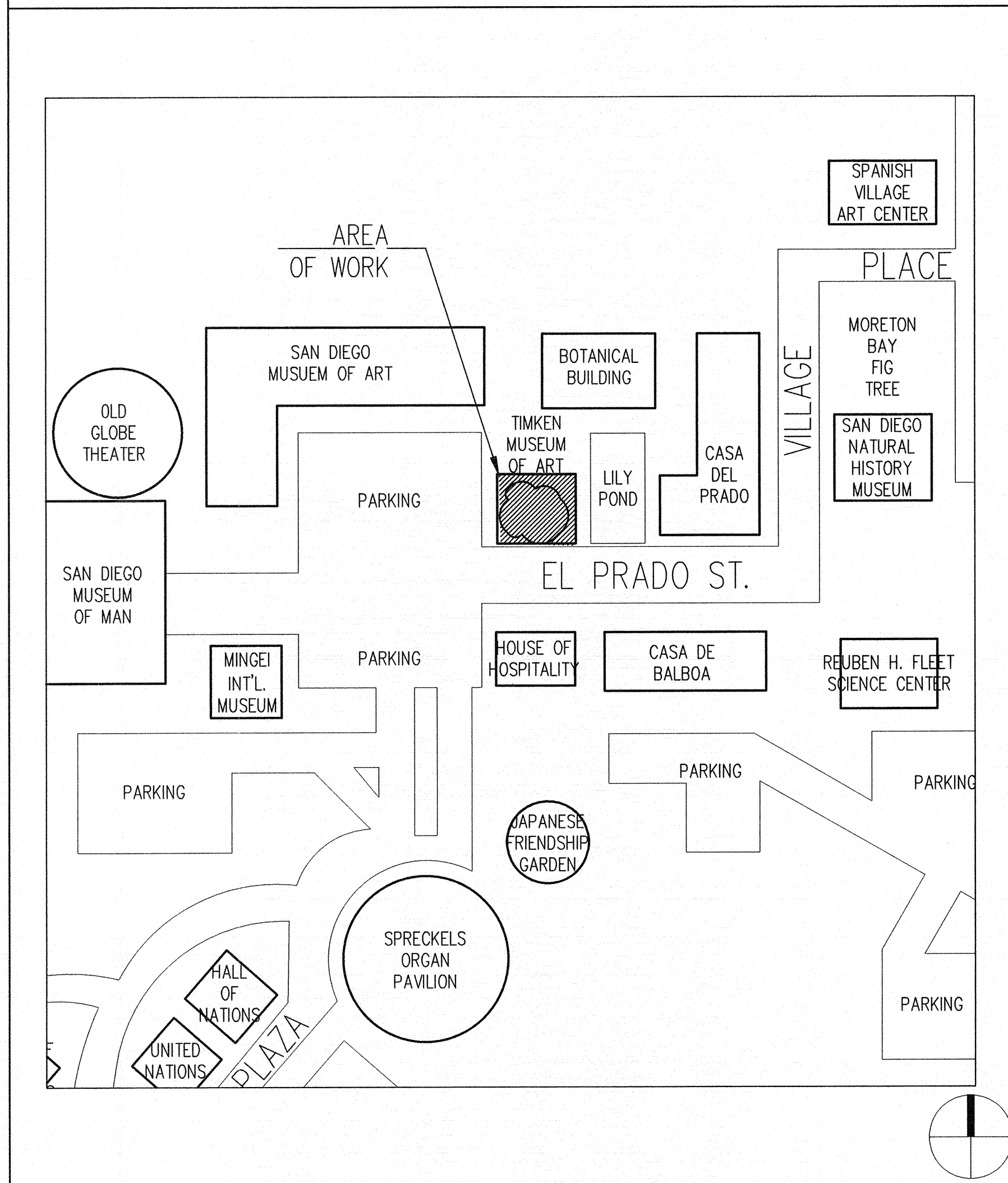
# BALBOA PARK ADA BARRIER REMOVAL TIMKEN GALLERY

1500 EL PRADO, SAN DIEGO, CA 92101

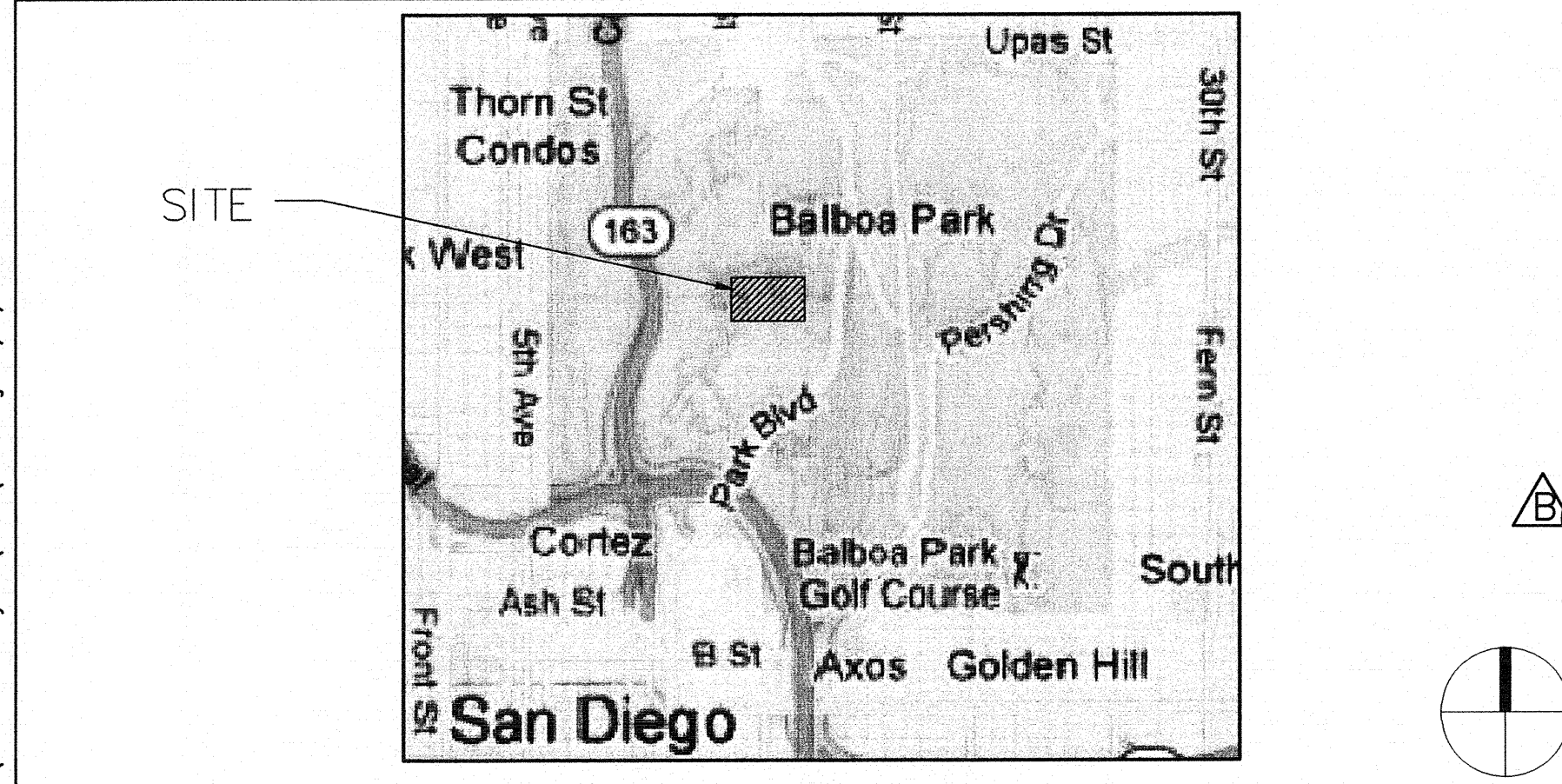
### SHEET INDEX

<b>GENERAL</b>	
1. G-001	TITLE SHEET, SHEET INDEX AND DIRECTORY
2. G-002	NOTES, CODES, LEGEND & ABBREVIATIONS
<b>ARCHITECTURAL</b>	
3. A-101	FLOOR PLAN
4. A-102	ENLARGED FLOOR PLANS & SCHEDULES
<b>PLUMBING</b>	
5. P-0.1	PLUMBING NOTES & LEGENDS
6. P-1.0	PLUMBING FLOOR PLANS
<b>ELECTRICAL</b>	
7. E-001	SYMBOLS & GENERAL NOTES
8. E-101	FIRST FLOOR PLAN

### LOCATION MAP



### VICINITY MAP



CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.
B	4/10/14	1, 3, 7, 8	

### PARK CONSTRUCTION INSPECTION STAGES AND INSPECTION TEAM

- PARK INSPECTION TEAM**
- A. SITE SUPERINTENDENT (CONTRACTOR/DEVELOPER'S REPRESENTATIVE)
  - B. CONTRACTOR(S)
  - C. RESIDENT ENGINEER FROM FIELD ENGINEERING DEPARTMENT
  - D. CITY PROJECT MANAGER
  - E. DESIGN CONSULTANT
  - F. PARK AND RECREATION DISTRICT MANAGER
  - G. PARK AND RECREATION ASSET MANAGER
- PARK CONSTRUCTION INSPECTION STAGES: (MINIMUM DEPENDING ON PROJECT)**
1. PRE-CONSTRUCTION MEETING.
  2. PROJECT CONSTRUCTION 90 PERCENT COMPLETE (DEVELOP PUNCH LIST AND SUBMIT RED-LINE AS-BUILTS).
  3. FINAL WALK-THROUGH, ACCEPTANCE BY THE CITY. CONTRACTOR TO SUBMIT FINAL APPROVED AS-BUILT DRAWINGS TO THE CITY.

### PROJECT DIRECTORY

**CLIENT/LEGAL OWNER**  
CITY OF SAN DIEGO  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & CAPITAL PROJECTS  
600 B STREET 8TH FLOOR,  
SAN DIEGO, CA 92101  
COSELYN GOODRICH, PROJECT MANAGER  
(619) 533-4633  
YOVANNA HANNA, PROJECT ENGINEER  
(619) 533-5130

**MECHANICAL ENGINEER**  
BENDER DEAN ENGINEERING  
438 CAMINO DEL RIO SOUTH, SUITE 217  
SAN DIEGO, CA 92108  
PH: (619) 704-1900  
FAX: (858) 427-1608  
HEATHER SCHOPPLEIN

**ELECTRICAL ENGINEER**  
TURPIN & RATTAN ENGINEERING, INC.  
4719 PALM AVENUE  
LA MESA, CA 91941  
PH: (619) 466-6224  
FAX: (619) 466-6233  
KARL PORTS

**ARCHITECT**  
PLATT/WHITELAW ARCHITECTS, INC.  
4034 30TH STREET  
SAN DIEGO, CA 92104  
PH: (619) 546-4326  
FAX: (619) 546-4350  
SANDRA GRAMLEY, PROJECT ARCHITECT

### REMODELING NOTES

**DESCRIPTION OF WORK:**  
THE WORK SHALL INCLUDE THE FURNISHING OF ALL NECESSARY MATERIALS AND EQUIPMENT, LABOR FOR DEMOLITION, CUTTING AND PATCHING AND RELATED WORK REQUIRED AS PREPARATION FOR TENANT IMPROVEMENTS. NEW WORK IS INDICATED IN THE DRAWINGS AND SPECIFICATIONS. WHERE A SPECIFIC ITEM IS NOT SPECIFIED OR SPECIFICALLY SHOWN, THE MATERIAL AND INSTALLATION SHALL MATCH THE EXISTING ADJACENT WORK. UPON COMPLETION OF THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS, LEAVE THE WORK BLENDED IN WITH AND BONDED OR SECURED TO EXISTING WORK. PATCHED AND REPAIRED AREAS SHALL BE IN TRUE PLANES WITH CLEAR LINES, SHARP CORNERS, TIGHT JOINTS, AND OTHER REQUIREMENTS AS REQUIRED FOR NEW CONSTRUCTION OF RESPECTIVE TRADES.

**SEQUENCING AND COORDINATION:**  
SOME OF THE EXISTING SPACES TO BE REMODELED ARE IN USE AND PART OF THE AREA MUST REMAIN IN USE DURING DEMOLITION AND CONSTRUCTION. ALL EXISTING FACILITIES SHALL BE PROTECTED FROM DUST AND WATER DURING DEMOLITION, RECONSTRUCTION, AND RENOVATION. THE CONTRACTOR SHALL COORDINATE PHASING OF WORK WITH THE RESIDENT ENGINEER TO ALLOW FOR EXISTING FACILITIES TO BE KEPT OPERATING AND PROTECTED.

**PHASING OF RESTROOM RENOVATIONS MUST BE UNDERTAKEN SUCH THAT ADEQUATE FACILITIES REMAIN AVAILABLE FOR USE BY THE PUBLIC. WHERE ADEQUATE FACILITIES CANNOT BE MAINTAINED ON SITE, APPROPRIATE ARRANGEMENTS SUCH AS PORTABLE FACILITIES OR DIRECTIONAL SIGNAGE TO GUIDE THE PUBLIC TO AVAILABLE FACILITIES MUST BE PROVIDED, TO THE SATISFACTION OF THE RESIDENT ENGINEER.**

**CONCEALED AND UNFORESEEN CONDITIONS**  
THE CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL UNFORESEEN AND CONCEALED CONDITIONS. THE REQUIRED PREBID INSPECTION BY THE CONTRACTOR SHALL THEREFORE BE CONSIDERED ACCEPTANCE BY THE CONTRACTOR OF ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ADEQUATE FUNDING FOR SUCH UNFORESEEN CONDITIONS AND ALL DEMOLITION, REPAIRS AND PATCHING OF SUCH UNFORESEEN CONDITIONS SHALL BE EXECUTED AT NO EXTRA COST TO THE OWNER.

**EXTENT OF WORK**  
WHERE EXISTING ITEMS OF WORK ARE TO BE CUT ALTERED OR REMOVED OR OTHERWISE WORKED UPON, CONTINUE REMOVAL AND PREPARATORY WORK UNTIL SOUND, SOLID AND FIRM SURFACES, STRUCTURAL OR SUPPORTING MEMBERS OR UNDERLAYMENT ARE CLEAN AND FULLY EXPOSED.

### CITY OF SAN DIEGO POLICY COMPLIANCE

1. BACKFLOW DEVICE IS EXISTING AND SHALL BE PROTECTED AS PART OF THIS PROJECT
2. COMPLY WITH HAZARDOUS MATERIALS PER CITY OF SAN DIEGO BULLETIN 116
3. COMPLY WITH CONSTRUCTION AND DEMOLITION DEBRIS PER CITY BULLETIN 119
4. COMPLY WITH STORM WATER REQUIREMENTS PER CITY OF SAN DIEGO STORM WATER MANAGEMENT PLAN AS DETERMINED BY FORM DS-560. PROJECT DOES NOT DISTURB MORE THAN 1 ACRE AND CREATES LESS THAN 5000 S.F. OF IMPERVIOUS SURFACE. PROJECT DOES NOT REQUIRE A N.P.D.E.S. PERMIT. PROJECT WILL REQUIRE CONSTRUCTION B.M.P. PER SECTION IV OF THE CITY OF SAN DIEGO'S STORM WATER STANDARDS MANUAL.

### BMP NOTES

1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL STOCK PILES OF UNCOMPACTED SOILS AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOILS MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

### DESCRIPTION OF WORK

- VARIOUS VOLUNTARY ACCESS BARRIER REMOVALS PER CBC SECTION 1134.B.2.1, INCLUDING:
1. RECONFIGURE RESTROOM DOORS TO PROVIDE COMPLIANT CLEARANCES.
  2. REMOUNT RESTROOM ACCESSORIES TO ACCESSIBLE HEIGHTS.
  3. RELOCATE VISUAL ALARMS (DEFERRED SUBMITTAL - SEE BELOW).
  4. PROVIDE COMPLIANT SIGNAGE.
- DEFERRED SUBMITTALS**
- DEFERRED SUBMITTAL ITEMS: PLANS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECK DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS. DEFERRED SUBMITTAL ITEMS IN THIS PROJECT INCLUDE:
  - EXISTING FIRE ALARM SYSTEM ALTERATIONS (ALSO REFER TO FIRE ALARM SYSTEMS BULLETIN 137).

### RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ARCHITECT OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED REASONABLE CARE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME AS ARCHITECT OR ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

*Sandra S. Gramley*  
SANDRA S. GRAMLEY C-21703  
PLATT/WHITELAW ARCHITECTS INC.  
FEBRUARY 7, 2014  
DATE

### CONSTRUCTION & BUILDING CODES

- APPLICABLE BUILDING CODES:**
- 2010 CA BLDG. STDS. ADMIN. CODE TITLE 24 OF CALIFORNIA CCR PART 1
  - 2010 CALIFORNIA BUILDING CODE TITLE 24 OF CALIFORNIA CCR PART 2
  - 2010 CALIFORNIA ELECTRICAL CODE TITLE 24 OF CALIFORNIA CCR PART 3
  - 2010 CALIFORNIA MECHANICAL CODE TITLE 24 OF CALIFORNIA CCR PART 4
  - 2010 CALIFORNIA PLUMBING CODE TITLE 24 OF CALIFORNIA CCR PART 5
  - 2010 CALIFORNIA ENERGY CODE TITLE 24 OF CALIFORNIA CCR PART 6
  - 2010 CALIFORNIA FIRE CODE TITLE 24 OF CALIFORNIA CCR PART 9
- ADDITIONAL APPLICABLE STANDARDS AND SPECIFICATIONS:**
- 2012 GREENBOOK - STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE CITY OF SAN DIEGO WHITEBOOK, DOCUMENT NUMBER PITS091011-1, 2012 EDITION.
  - CONSULTANT'S GUIDE TO PARK PLANNING AND DEVELOPMENT, 2011 EDITION
  - CITY OF SAN DIEGO STANDARD DRAWINGS, INCLUDING ALL REGIONAL STANDARD DRAWINGS, 2012
  - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND DEPARTMENT OF JUSTICE 28 CFR PARTS 35 & 36

**Platt/Whitelaw Architects, Inc.**  
4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350  
PWA PROJECT #: 0413

### CODE ANALYSIS

**CODE CLASSIFICATIONS:**

- OCCUPANCY TYPE A-3
- TYPE OF CONSTRUCTION I-B

**LEGAL DESCRIPTION**  
NO ASSESSOR'S PARCEL NUMBER AVAILABLE - SITE IS NON-PARCELLED GOVERNMENT LAND.

**CITY OF SAN DIEGO  
PUBLIC WORKS PROJECT**

**BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY**

SHEET TITLE: **COVER SHEET** SHEET NUMBER: **G-001**

CITY OF SAN DIEGO, CALIFORNIA  
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
SHEET 1 OF 8 SHEETS WBS **B-13022**

FOR CITY ENGINEER: *Ali Darvishi* 4/15/14 DATE  
DATE: 8/29/13  
DATE: 4/10/14

COSELYN GOODRICH  
PROJECT MANAGER  
206-1719  
CCS27 COORDINATE  
6280407-1846444  
CCS83 COORDINATE  
37595-01-D

CONTRACTOR: \_\_\_\_\_ DATE STARTED: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_  
ADDENDUM **A**: DELETE FIRE ALARM SCOPE & DEFERRED SUBMITTAL

A:\0413 Timken ADA03-Drawings\Timken AT Gallery ADA\Sheets\C-001.dwg 04/10/2014 17:01

BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY - ADDENDUM B

C:\0413 Timken ADA\Drawings\Timken A4 Gallery ADA\Sheets\A-101.dwg 04/10/2014 17:03



1 FIRST FLOOR PLAN  
 1/8" = 1'-0"

KEYNOTES

- 1 ADJUST EXISTING DOORS & HARDWARE TO OPEN WITH  $\leq 5$  LBS PRESSURE
- 2 EXISTING RAMP WAS BUILT IN CONFORMANCE WITH 1991 ADAAG REGULATIONS AND NO FURTHER UPGRADES ARE REQUIRED.
- 3 ALL NEW DOORS & HARDWARE TO OPEN WITH  $\leq 5$  LBS FORCE UNLESS NOTED OTHERWISE ON THE PLANS.

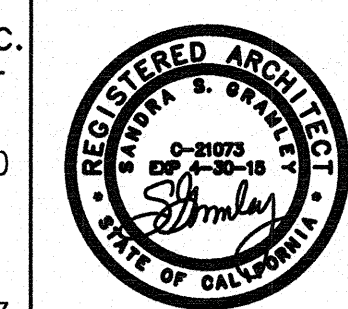
GENERAL NOTES

- 1. FINAL SIGNAGE LOCATIONS AND CONTENT WILL BE VERIFIED WITH RESIDENT ENGINEER PRIOR TO INSTALLATION.

LEGEND

- SIGNAGE SYMBOL SIGN. SEE DETAIL 2/A-102
- ROOM DESIGNATION

Platt/Whitelaw Architects, Inc.  
 4034 30th Street, SAN DIEGO CA 92104  
 (619) 546-4326 FAX (619) 546-4350



PWA PROJECT #: 0413

**BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY**

SHEET TITLE: **FLOOR PLAN** SHEET NUMBER: **A-101**  
 CITY OF SAN DIEGO, CALIFORNIA  
 ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
 SHEET 3 OF 8 SHEETS WBS: B-13022

FOR CITY ENGINEER: *[Signature]* DATE: 4/15/14  
 ALI DARVISHI  
 SECTION HEAD

DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	SG/SR			
ADDENDUM A	SG/SR	<i>[Signature]</i>	4/10/14	
ADDENDUM B	SG/SR			

COSELYN GOODRICH  
 PROJECT MANAGER  
 206-1719  
 CCS27 COORDINATE  
 6280407-1846444  
 CCS83 COORDINATE

CONTRACTOR: \_\_\_\_\_ DATE STARTED: \_\_\_\_\_  
 INSPECTOR: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_  
**37595-03-D**

ADDENDUM A: DELETE KEYNOTE 1 AND ASSOCIATED REFERENCES

BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY - ADDENDUM B

ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION		
	DASHED SYMBOL INDICATES EXISTING FIXTURE, OUTLET, DEVICE OR EQUIPMENT TO BE REMOVED.		
	FINE-LINED SYMBOL INDICATES EXISTING FIXTURE, OUTLET, DEVICE OR EQUIPMENT TO REMAIN.		
	SINGLE THROW, SINGLE THROW TOGGLE SWITCH, MOUNTED AT +45° ANGLE AT CENTER OF BOX U.O.N.		
ITEM DESCRIPTION	SYMBOL	MOUNTING	NOTIFIER AND WHEELLOCK CATALOG NO.
FIRE ALARM CONTROL PANEL "FACP" EXISTING NOTIFIER			AFP-200
MANUAL PULL STATION			MS-2
VISUAL DEVICE ON CEILING OUTLET (NUMBER INDICATES 75 CANDELA RATING)		CEILING	RSS-24MCC-FR 75cd
PHOTOELECTRIC SMOKE SENSOR WITH SOUNDER BASE.		CEILING	2451TH

**SUBSTITUTIONS:**  
 WHEN CONTRACTOR CHOOSES TO SUBSTITUTE A DEVICE, COMPONENTS, OR ASSEMBLIES HE SHALL BE FULLY RESPONSIBLE FOR THE FULL COORDINATION OF THE COMPLETED SYSTEM. THIS INCLUDES THE ADDITION OF ANY AND ALL EQUIPMENT MOUNTING, CONDUCTORS, AND RE-ENGINEERING AS NEEDED TO MAKE THE SUBSTITUTED SYSTEM(S) FULLY OPERATIONAL.

**NOTE**  
 CONTRACTOR SHALL COORDINATE HORIZONTAL PLACEMENT OF ALL DEVICES AT CASEWORK AREAS WITH ARCHITECTURAL CASEWORK ELEVATION DRAWINGS PRIOR TO ROUGH-IN.

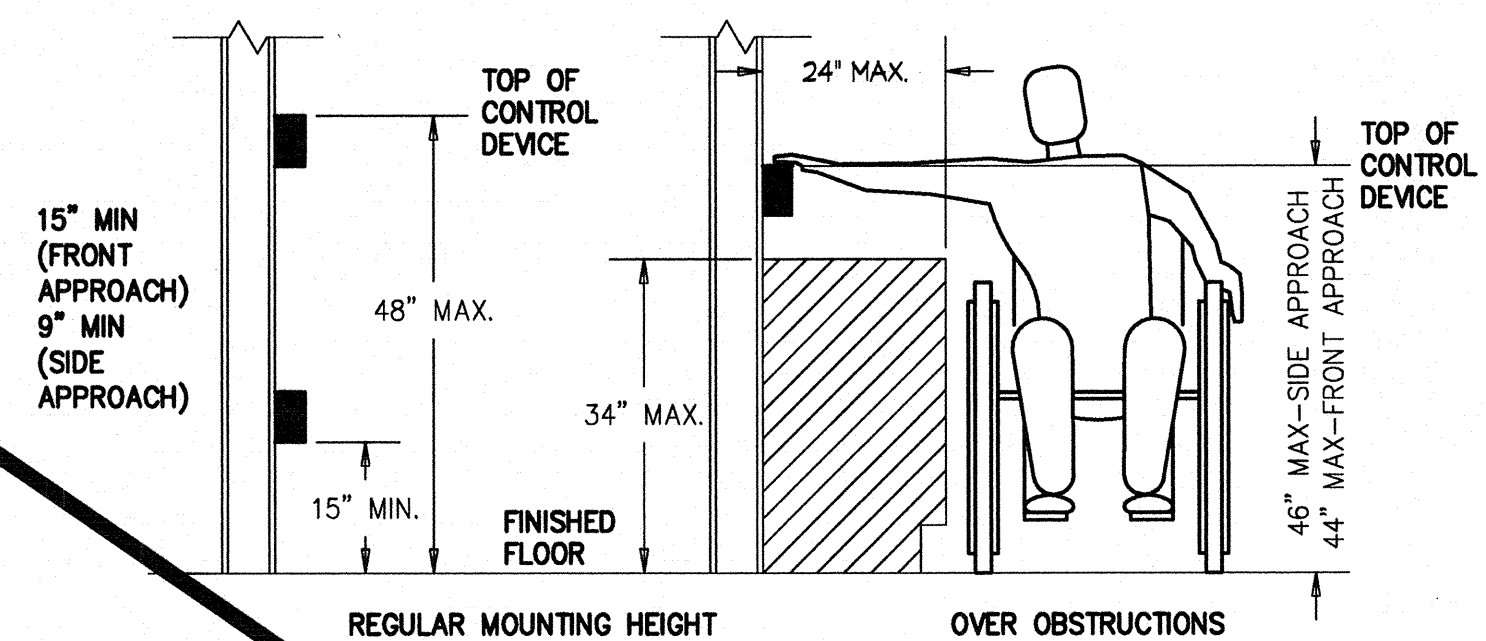
**ABBREVIATIONS LIST**

- A, AMP AMPERE
- AC ALTERNATING CURRENT
- AF AMPS FRAME, OR AMPS FUSE RATING
- AFF ABOVE FINISHED FLOOR
- AFG ABOVE FINISHED GRADE
- AIC AMPERE INTERRUPTING CAPACITY
- AT AMPS TRIP RATING
- AS AMPS SWITCH RATING
- C CONDUIT
- CEC CALIFORNIA ELECTRICAL CODE
- CIR CIRCUIT
- CMU CONCRETE MASONRY UNIT
- C.O. CONDUIT ONLY
- CU COPPER
- CW COLD WATER
- DWG DRAWING
- EA EACH
- EG EQUIPMENT GROUND
- ELEC ELECTRICAL
- EMERG. EMERGENCY
- EWC ELECTRIC WATER COOLER
- EWH ELECTRIC WATER HEATER
- GFCI GROUND-FAULT CIRCUIT INTERRUPTER
- GFI GROUND-FAULT INTERRUPTER
- GND GROUND
- HPF HIGH POWER FACTOR
- HPS HIGH PRESSURE SODIUM
- JB JUNCTION BOX
- KVA KILOVOLT AMPS (kva)
- KW KILOWATT (kw)
- KWH KILOWATT-HOUR (kwh)
- LPS LOW PRESSURE SODIUM
- LTG LIGHTING
- NEC NATIONAL ELECTRICAL CODE
- NEMA NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
- NIC NOT IN CONTRACT
- NTS NOT TO SCALE
- OC ON CENTER
- POC POINT OF CONNECTION
- REF REFERENCE
- SCCR SHORT CIRCUIT CURRENT RATING
- SW SWITCH
- SYM SYMMETRICAL
- T, TELE TELEPHONE
- TYP TYPICAL
- U.O.N. UNLESS OTHERWISE NOTED
- WP WEATHERPROOF

**GENERAL NOTES**

1. ALL WORK SHALL BE IN COMPLIANCE WITH THE 2010 CALIFORNIA ELECTRICAL CODE (CEC) AND WHERE APPLICABLE AS AMENDED BY LOCAL ORDINANCES AND CODES OF GOVERNING MUNICIPALITIES, AND ALL CALIFORNIA AMENDMENTS.
2. ALL ELECTRICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND ALL OTHER RELATED CONTRACT DRAWINGS.
3. THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DRAWINGS/SPECIFICATIONS AND BE RESPONSIBLE FOR THE PROPER FITTING OF MATERIALS AND EQUIPMENT AT EACH LOCATION AS INDICATED WITHOUT SUBSTANTIAL ALTERATION. IN AS MUCH AS THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND BECAUSE OF THE SMALL SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS AND ACCESSORIES WHICH MAY BE REQUIRED. FURNISHING FITTINGS REQUIRED TO MEET SUCH CONDITIONS SHALL BE AT NO COST TO THE OWNER.
4. CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY ONLY AND SHALL BE INSTALLED IN A MANNER TO PREVENT CONFLICTS WITH EQUIPMENT AND STRUCTURAL CONDITIONS. EXPOSED CONDUITS SHALL BE INSTALLED PARALLEL TO BEAMS AND WALLS.
5. CONDUITS SHALL BE TERMINATED SO AS TO PERMIT NEAT CONNECTIONS TO EQUIPMENT.
6. THE WIRING DIAGRAMS, QUANTITY AND SIZE OF WIRES AND CONDUITS ARE BASED UPON SELECTED STANDARD COMPONENTS OF ELECTRICAL EQUIPMENT. MODIFICATIONS APPROVED BY THE RESIDENT ENGINEER MAY BE MADE BY THE CONTRACTOR AT HIS EXPENSE TO ACCOMMODATE EQUIPMENT ACTUALLY PURCHASED. THE BASIC SEQUENCE AND METHOD OF CONTROL MUST BE MAINTAINED AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
7. OUTLET BOXES, UTILIZATION EQUIPMENT CABINETS, CONDUIT SYSTEMS, AND CONVENIENCE OUTLETS SHALL BE GROUNDED IN ALL ELECTRICAL SYSTEMS OPERATING AT 48 VOLTS AND ABOVE. EACH GROUND WIRE SHALL BE TERMINATED AT THE EQUIPMENT GROUND BAR. GROUND WIRES SHALL BE SIZED PER C.E.C. 250.122.
8. ALL CONDUITS SHALL BE A MINIMUM OF 3/4", UNLESS SPECIFICALLY STATED OTHERWISE.
9. WIRING FOR FIRE ALARM CIRCUITS SHALL BE SOLID WIRE THIN TYPE NOT STRANDED, PER SPECIFICATIONS, NO ALUMINUM WIRING SHALL BE USED.
10. FIELD VERIFY EXISTING CONDITIONS AND ADVISE RESIDENT ARCHITECT OF ANY DISCREPANCIES OR DEVIATIONS BETWEEN PLANS AND ACTUAL CONDITIONS PRIOR TO SUBMITTING BID.
11. MOUNTING HEIGHTS INDICATED FOR INDICATED DEVICES ARE MEASURED TO BOTTOM OF THE FIXTURE ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.
12. ALL WIRING SHALL BE IN CONDUIT. NO TYPE "MC" OR SIMILAR PRE-ASSEMBLED CABLE SHALL BE USED.

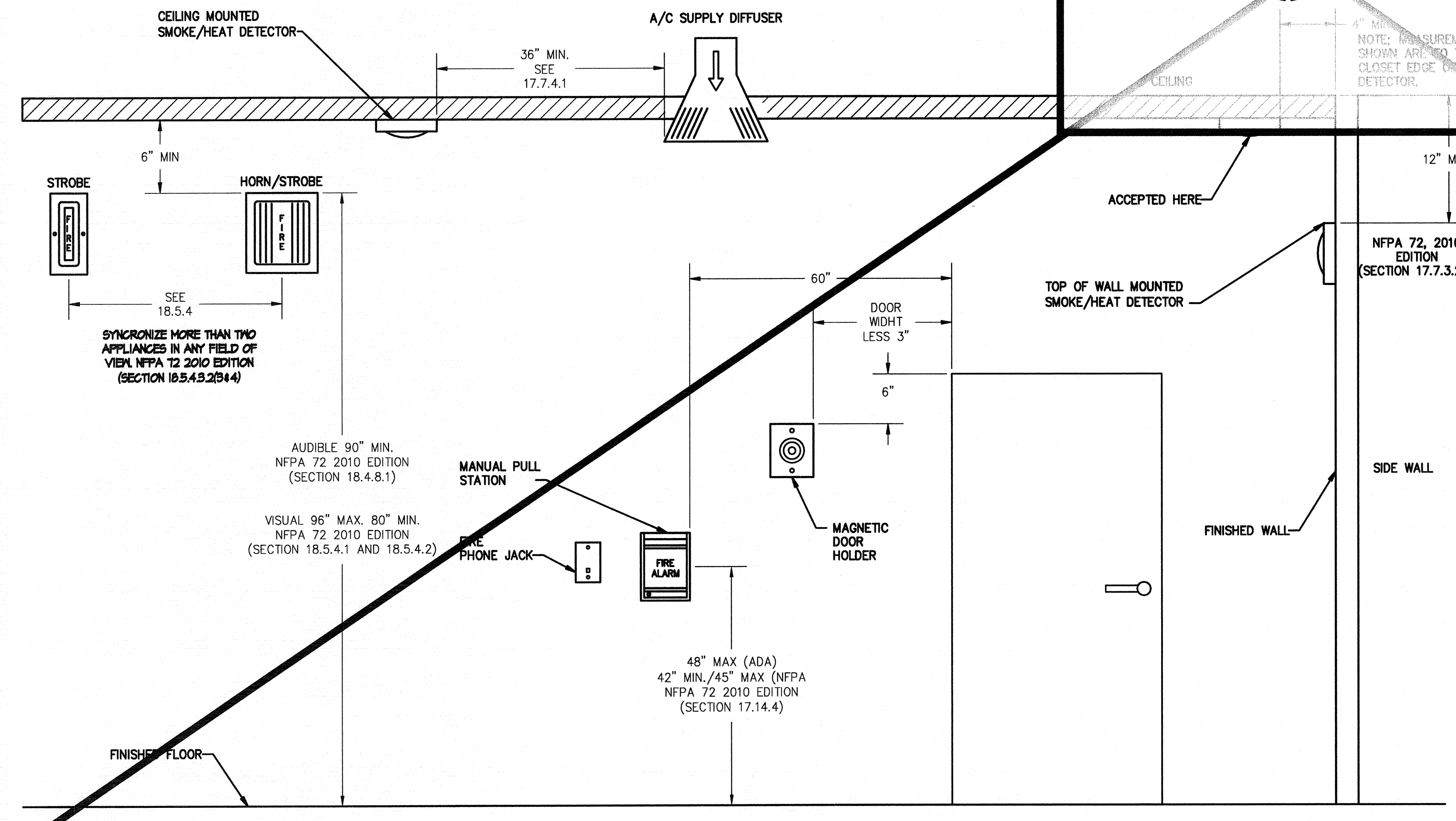
**FIRE ALARM EQUIPMENT SCHEDULE**



**NOTE**  
 WHERE LIGHT SWITCHES, RECEPTACLES, TELEPHONE/DATA OUTLETS, DIMMING CONTROL STATIONS, FIRE ALARM BELL STATIONS OR OTHER OPERABLE OUTLET DEVICES OCCUR OVER FIXED OBSTRUCTIONS (SUCH AS CASEWORK, ETC) RESPECTIVE DEVICE MOUNTING HEIGHT LIMITS AFF SHALL BE AS TYPICALLY DEPICTED ABOVE.

**MOUNTING HEIGHT LIMITS OVER OBSTRUCTIONS**

**VOID**



**FIRE ALARM DEVICE ELEVATIONS**

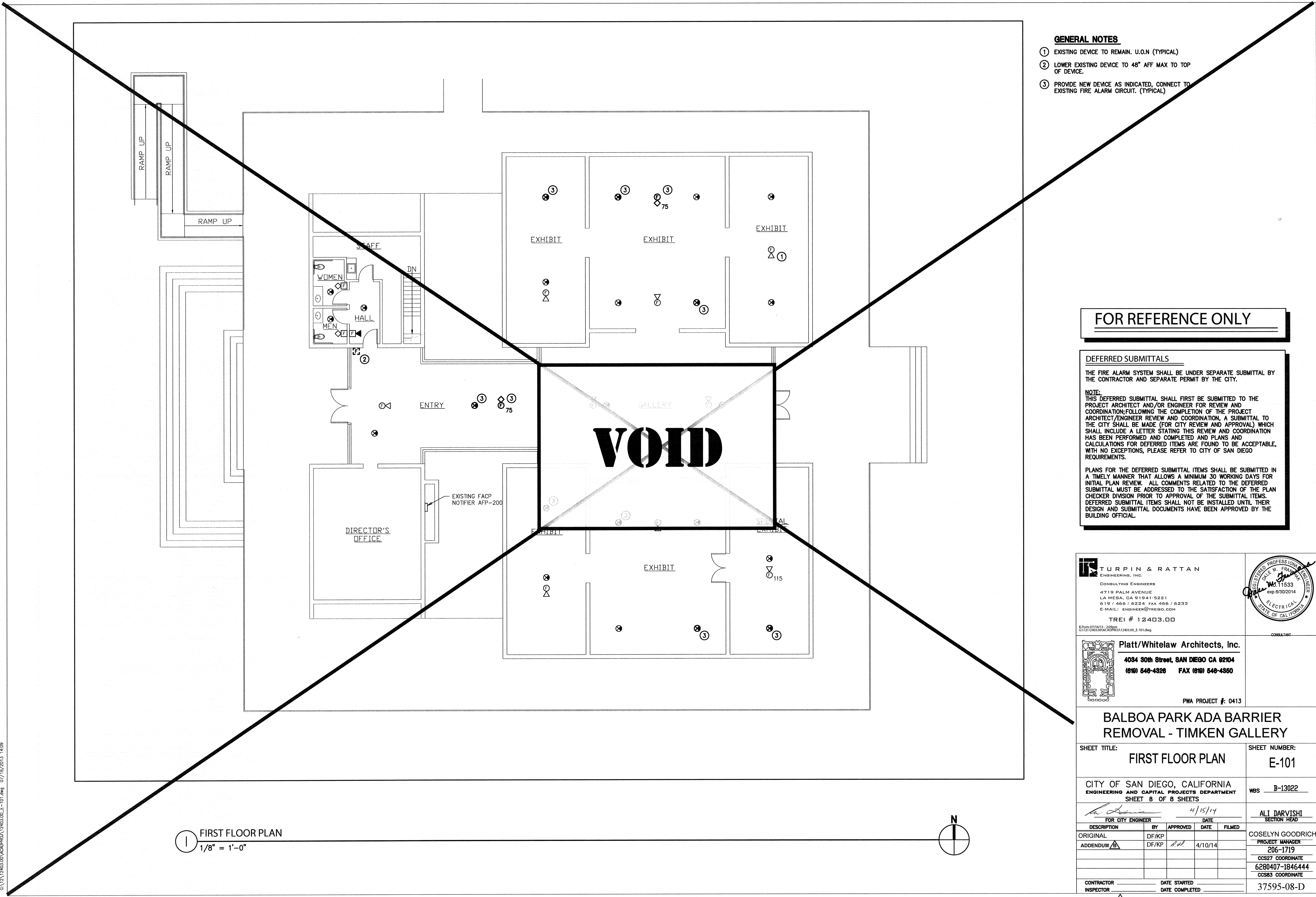
**FOR REFERENCE ONLY**

**DEFERRED SUBMITTALS**  
 THE FIRE ALARM SYSTEM SHALL BE UNDER SEPARATE SUBMITTAL BY THE CONTRACTOR AND SEPARATE PERMIT BY THE CITY.  
**NOTE:**  
 THIS DEFERRED SUBMITTAL SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF THE PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL) WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE, WITH NO EXCEPTIONS, PLEASE REFER TO CITY OF SAN DIEGO REQUIREMENTS.  
 PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECKER DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

 CONSULTING ENGINEERS 4719 PALM AVENUE LA MESA, CA 91941-5521 (619) 466-7524 FAX 466 / 6233 E-MAIL: ENGINEER@TRERD.COM TREI # 12403.00		 DALE M. FRANK No. 11533 exp. 6/30/2014 ELECTRICAL STATE OF CALIFORNIA CONSULTANT
 4034 30th Street, SAN DIEGO CA 92104 (619) 548-4326 FAX (619) 548-4360		PWA PROJECT #: 0413
<b>BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY</b>		
SHEET TITLE: <b>SYMBOL LIST/GENERAL NOTES</b>		SHEET NUMBER: <b>E-001</b>
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 7 OF 8 SHEETS		WBS B-13022
FOR CITY ENGINEER: <i>[Signature]</i> 4/15/14		ALI DARVISHI SECTION HEAD
DESCRIPTION ORIGINAL ADDENDUM A	BY DF/KP DF/KP	APPROVED <i>[Signature]</i> <i>[Signature]</i>
DATE 4/10/14		FILED COSELYN GOODRICH PROJECT MANAGER 206-1719 CCS27 COORDINATE 6280407-1846444 CCS83 COORDINATE
CONTRACTOR: _____ DATE STARTED: _____ INSPECTOR: _____ DATE COMPLETED: _____		37595-07-D
ADDENDUM A: DELETE THIS SHEET		

G:\1\1463\00\1463\00\_E-001.dwg 08/27/2013 09:37

BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY - ADDENDUM B



- GENERAL NOTES**
- ① EXISTING DEVICE TO REMAIN. U.O.N (TYPICAL)
  - ② LOWER EXISTING DEVICE TO 48" AFF MAX TO TOP OF DEVICE.
  - ③ PROVIDE NEW DEVICE AS INDICATED, CONNECT TO EXISTING FIRE ALARM CIRCUIT. (TYPICAL)

**FOR REFERENCE ONLY**

**DEFERRED SUBMITTALS**

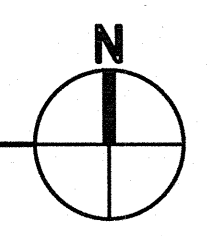
THE FIRE ALARM SYSTEM SHALL BE UNDER SEPARATE SUBMITTAL BY THE CONTRACTOR AND SEPARATE PERMIT BY THE CITY.

**NOTE:**  
THIS DEFERRED SUBMITTAL SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF THE PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL) WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE, WITH NO EXCEPTIONS, PLEASE REFER TO CITY OF SAN DIEGO REQUIREMENTS.

PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECKER DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

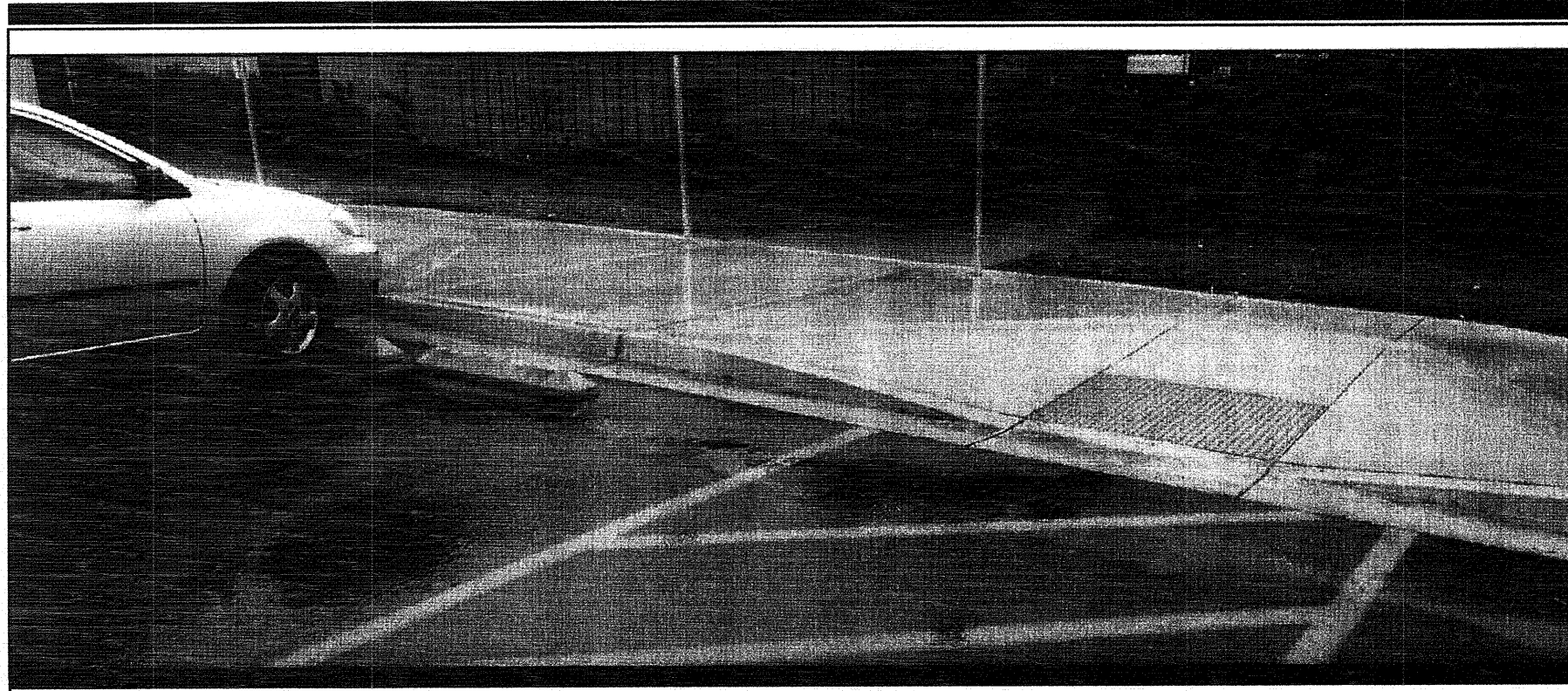
<p><b>TURPIN &amp; RATTAN</b> ENGINEERING, INC. CONSULTING ENGINEERS 4719 PALM AVENUE LA MESA, CA 91941-5521 619-466-6224 FAX 466-6233 E-MAIL: ENGINEER@TRRSD.COM TREI # 12403.00 <small>© 1995-2009 G:\212603.00\CAD\PROJ\12403.00_E-101.dwg</small></p>		<p>DALE M. FRANK No. 11533 exp 6/30/2014 REGISTERED PROFESSIONAL ENGINEER ELECTRICAL STATE OF CALIFORNIA</p>															
<p><b>Platt/Whitelaw Architects, Inc.</b> 4084 30th Street, SAN DIEGO CA 92104 (619) 546-4326 FAX (619) 546-4360</p>		<p>CONSULTANT</p>															
<p>PWA PROJECT #: 0413</p>																	
<p><b>BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY</b></p>																	
<p>SHEET TITLE: <b>FIRST FLOOR PLAN</b></p>		<p>SHEET NUMBER: <b>E-101</b></p>															
<p>CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 8 OF 8 SHEETS</p>		<p>WBS <b>B-13022</b></p>															
<p>FOR CITY ENGINEER</p> <table border="1"> <thead> <tr> <th>DESCRIPTION</th> <th>BY</th> <th>APPROVED</th> <th>DATE</th> <th>FILMED</th> </tr> </thead> <tbody> <tr> <td>ORIGINAL</td> <td>DF/KP</td> <td></td> <td></td> <td></td> </tr> <tr> <td>ADDENDUM <b>A</b></td> <td>DF/KP</td> <td><i>[Signature]</i></td> <td>4/10/14</td> <td></td> </tr> </tbody> </table>		DESCRIPTION	BY	APPROVED	DATE	FILMED	ORIGINAL	DF/KP				ADDENDUM <b>A</b>	DF/KP	<i>[Signature]</i>	4/10/14		<p><b>ALI DARVISHI</b> SECTION HEAD</p>
DESCRIPTION	BY	APPROVED	DATE	FILMED													
ORIGINAL	DF/KP																
ADDENDUM <b>A</b>	DF/KP	<i>[Signature]</i>	4/10/14														
<p>CONTRACTOR _____ DATE STARTED _____ INSPECTOR _____ DATE COMPLETED _____</p>		<p><b>COSELYN GOODRICH</b> PROJECT MANAGER 206-1719 CCS27 COORDINATE 6280407-1846444 CCS83 COORDINATE 37595-08-D</p>															
<p>ADDENDUM <b>A</b>: DELETE THIS SHEET</p>																	

① FIRST FLOOR PLAN  
1/8" = 1'-0"



G:\212603.00\CAD\PROJ\12403.00\_E-101.dwg 07/16/2013 14:09

BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY - ADDENDUM B



# BALBOA PARK ADA BARRIER REMOVAL MORLEY FIELD TENNIS REGISTRATION

2221 MORLEY FIELD DRIVE, SAN DIEGO, CA 92104

## SHEET INDEX

<b>GENERAL</b>		
1. G-001	TITLE SHEET, SHEET INDEX AND DIRECTORY	
2. G-002	GENERAL NOTES AND ABBREVIATIONS	
<b>SITE</b>		
3. A-001	SITE PLAN	
<b>CIVIL</b>		
4. C-1.0	EXISTING CONDITION & DEMOLITION PLAN	
5. C-2.0	GRADING & PAVING PLAN	
<b>ARCHITECTURAL</b>		
6. A-101	ENLARGED PLANS	

## CONTRACTOR'S RESPONSIBILITIES

- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENFORCE SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR SHALL DESIGN AND CONSTRUCT THESE MEASURES AND BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL DETAILS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CONTACT WITH THE RESIDENT ENGINEER.
- LOCATION AND ELEVATION OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
- BEFORE EXCAVATING FOR THIS PROJECT, CONTRACTOR WILL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY. THE CONTRACTOR SHALL VERIFY THE LOCATION(S) OF ALL UNDERGROUND UTILITIES. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE BY A SEARCH OF THE AVAILABLE RECORDS.
- CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND/OR BENCH MARK WHICH WILL BE DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LAND CORNER RECORD, OR RECORD OF SURVEY. THE RECORD SHALL BE FILED BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE LAND SURVEYOR'S ACT.
- CONTRACTOR SHALL NOTIFY THE CITY TRAFFIC ENGINEER AT LEAST FIVE (5) WORKING DAYS IN ADVANCE OF IMPLEMENTING ANY CONSTRUCTION DETOUR IN THE PUBLIC RIGHT OF WAY.
- IF CONSTRUCTION IS TO BE PERFORMED IN STAGES, ALL WORK SHALL BE COMPLETED IN EACH STAGE PRIOR TO BEGINNING WORK ON THE NEXT STAGE.
- THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULTS FROM HIS OPERATIONS BY APPROPRIATE MEANS (GRAVEL BAG, DIKES, ETC) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETE AND ACCEPTED FOR BY THE CITY OF SAN DIEGO.
- SEE ADDITIONAL NOTES AND CONTRACTOR REQUIREMENTS ON ALL SHEETS

## PARK CONSTRUCTION INSPECTION STAGES AND INSPECTION TEAM

### PARK INSPECTION TEAM

- SITE SUPERINTENDENT (CONTRACTOR/DEVELOPER'S REPRESENTATIVE)
- CONTRACTOR(S)
- RESIDENT ENGINEER FROM FIELD ENGINEERING DEPARTMENT
- CITY PROJECT MANAGER
- DESIGN CONSULTANT
- PARK AND RECREATION DISTRICT MANAGER
- PARK AND RECREATION ASSET MANAGER

### PARK CONSTRUCTION INSPECTION STAGES: (MINIMUM DEPENDING ON PROJECT)

- PRE-CONSTRUCTION MEETING.
- PROJECT CONSTRUCTION 90 PERCENT COMPLETE (DEVELOP PUNCH LIST AND SUBMIT RED-LINE AS-BUILTS).
- FINAL WALK-THROUGH, ACCEPTANCE BY THE CITY. CONTRACTOR TO SUBMIT FINAL APPROVED AS-BUILT DRAWINGS TO THE CITY.

## PROJECT DIRECTORY

### CLIENT/LEGAL OWNER

CITY OF SAN DIEGO  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & CAPITAL PROJECTS  
525 B STREET 7TH FLOOR,  
SAN DIEGO, CA 92101  
COSELYN GOODRICH, PROJECT MANAGER  
(619) 533-4633  
YOVANNA HAINNA, PROJECT ENGINEER  
(619) 533-5130

### CIVIL ENGINEER

FLORES LUND CONSULTANTS/BERGER ABAM  
10525 VISTA SORRENTO PARKWAY, SUITE 350  
SAN DIEGO, CA 92121  
PH: (858) 500-4500  
FAX: (858) 500-4501  
AHMAD KHAN

### ARCHITECT

PLATT/WHITELAW ARCHITECTS, INC.  
4034 30TH STREET  
SAN DIEGO, CA 92104  
PH: (619) 546-4326  
FAX: (619) 546-4350  
SANDRA GRAMLEY, PROJECT ARCHITECT

## CITY OF SAN DIEGO POLICY COMPLIANCE

- BACKFLOW DEVICE IS EXISTING AND SHALL BE PROTECTED AS PART OF THIS PROJECT
- COMPLY WITH HAZARDOUS MATERIALS PER CITY OF SAN DIEGO BULLETIN 116
- COMPLY WITH CONSTRUCTION AND DEMOLITION DEBRIS PER CITY BULLETIN 119
- COMPLY WITH STORM WATER REQUIREMENTS PER CITY OF SAN DIEGO STORM WATER MANAGEMENT PLAN AS DETERMINED BY FORM DS-560. PROJECT DOES NOT DISTURB MORE THAN 1 ACRE AND CREATES LESS THAN 5000 S.F. OF IMPERVIOUS SURFACE. PROJECT DOES NOT REQUIRE A N.P.D.E.S. PERMIT. PROJECT WILL REQUIRE CONSTRUCTION B.M.P. PER SECTION IV OF THE CITY OF SAN DIEGO'S STORM WATER STANDARDS MANUAL.

## UNDERGROUND UTILITIES

BEFORE EXCAVATING, VERIFY THE LOCATION OF UNDERGROUND UTILITIES. AT LEAST THREE (3) WORKING DAYS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL REQUEST A MARKOUT OF UNDERGROUND UTILITIES BY CALLING THE BELOW LISTED REGIONAL NOTIFICATION CENTER FOR AN INQUIRY IDENTIFICATION NUMBER:

UNDERGROUND SERVICE ALERT (GAS, ELECTRIC, TELEPHONE, WATER, SEWER, LIGHTING & T.V.)	800-422.4133
CITY IRRIGATION SYSTEMS & WIRING	619-533.5783
CITY FACILITIES MAINTENANCE DIVISION	619-525-8500

## RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ARCHITECT OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED REASONABLE CARE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME AS ARCHITECT OR ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

*Sandra S. Gramley*  
SANDRA S. GRAMLEY  
PLATT/WHITELAW ARCHITECTS INC.

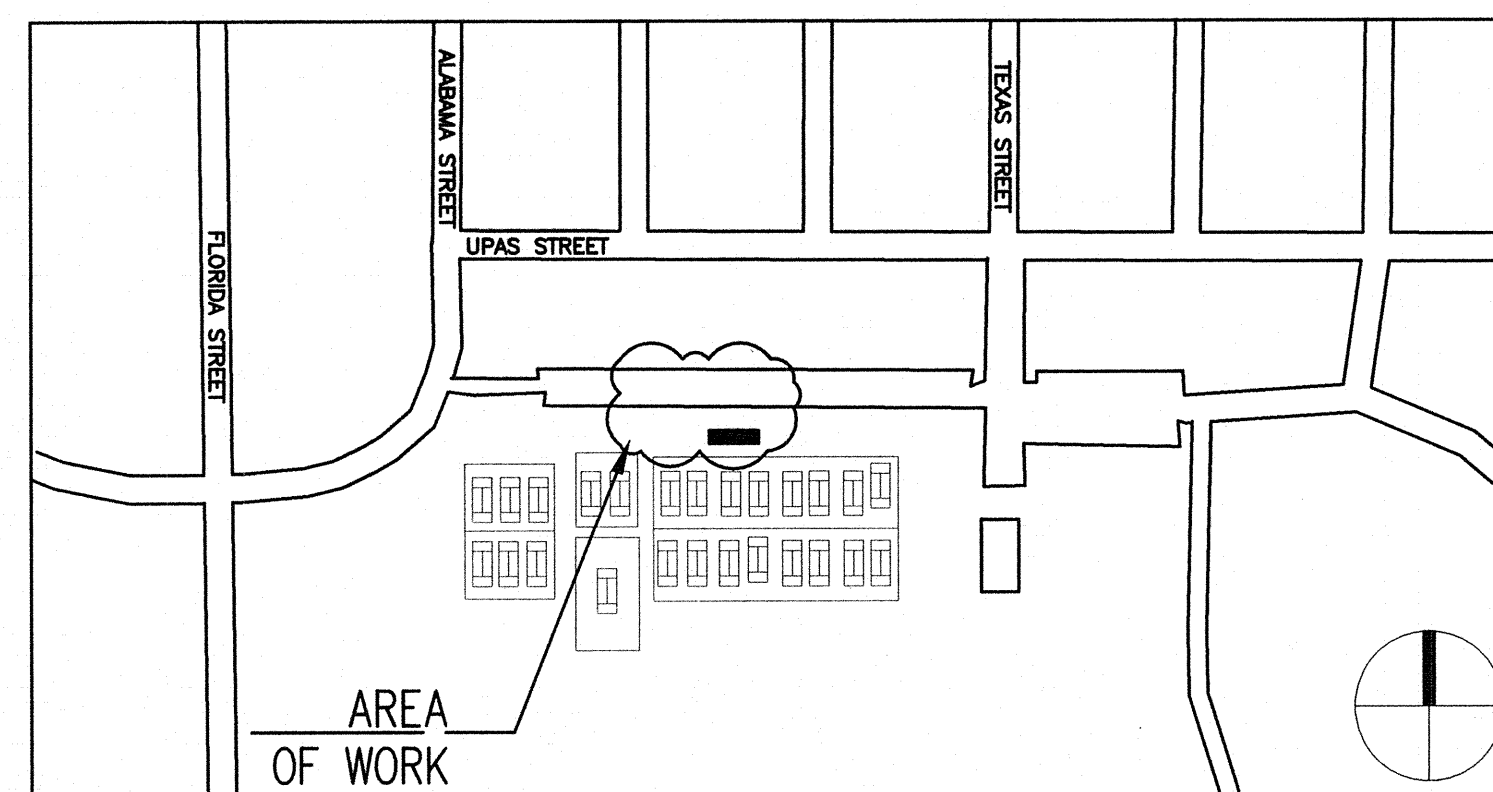
FEBRUARY 7, 2014  
DATE

## DESCRIPTION OF WORK

### VARIOUS VOLUNTARY BARRIER REMOVALS, INCLUDING:

- EXTERIOR PATH OF TRAVEL IMPROVEMENTS FROM EXISTING ACCESSIBLE PARKING.
  - SITE ACCESSIBILITY IMPROVEMENTS AT REGISTRATION COUNTER
  - COMPANION SEATING AT MEMORIAL BENCH.
  - DIRECTIONAL SIGNAGE
- AREA OF WORK LIMITED TO WHAT IS SHOWN ON PLANS.

## LOCATION MAP



## CONSTRUCTION & BUILDING CODES

### APPLICABLE BUILDING CODES:

- 2010 CA BLDG. STDS. ADMIN. CODE TITLE 24 OF CALIFORNIA CCR PART 1
- 2010 CALIFORNIA BUILDING CODE TITLE 24 OF CALIFORNIA CCR PART 2
- 2010 CALIFORNIA ELECTRICAL CODE TITLE 24 OF CALIFORNIA CCR PART 3
- 2010 CALIFORNIA MECHANICAL CODE TITLE 24 OF CALIFORNIA CCR PART 4
- 2010 CALIFORNIA PLUMBING CODE TITLE 24 OF CALIFORNIA CCR PART 5
- 2010 CALIFORNIA ENERGY CODE TITLE 24 OF CALIFORNIA CCR PART 6
- 2010 CALIFORNIA FIRE CODE TITLE 24 OF CALIFORNIA CCR PART 9

### ADDITIONAL APPLICABLE STANDARDS AND SPECIFICATIONS:

- 2012 GREENBOOK - STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE CITY OF SAN DIEGO WHITEBOOK, 2012 EDITION.
- CONSULTANT'S GUIDE TO PARK PLANNING AND DEVELOPMENT, 2011 EDITION
- CITY OF SAN DIEGO STANDARD DRAWINGS, INCLUDING ALL REGIONAL STANDARD DRAWINGS, 2012
- 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND DEPARTMENT OF JUSTICE 28 CFR PARTS 35 & 36

## LEGAL DESCRIPTION

ASSESSORS PARCEL NUMBER: 760-212-82-01

## CODE ANALYSIS

### CODE CLASSIFICATIONS:

- OCCUPANCY TYPE B
- TYPE OF CONSTRUCTION V-B

## REMODELING NOTES

### DESCRIPTION OF WORK:

THE WORK SHALL INCLUDE THE FURNISHING OF ALL NECESSARY MATERIALS AND EQUIPMENT, LABOR FOR DEMOLITION, CUTTING AND PATCHING AND RELATED WORK REQUIRED AS PREPARATION FOR TENANT IMPROVEMENTS. NEW WORK IS INDICATED IN THE DRAWINGS AND SPECIFICATIONS. WHERE A SPECIFIC ITEM IS NOT SPECIFIED OR SPECIFICALLY SHOWN, THE MATERIAL AND INSTALLATION SHALL MATCH THE EXISTING ADJACENT WORK. UPON COMPLETION OF THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS, LEAVE THE WORK BLENDED IN WITH AND BONDED OR SECURED TO EXISTING WORK. PATCHED AND REPAIRED AREAS SHALL BE IN TRUE PLANES WITH CLEAR LINES, SHARP CORNERS, TIGHT JOINTS, AND OTHER REQUIREMENTS AS REQUIRED FOR NEW CONSTRUCTION OF RESPECTIVE TRADES.

### SEQUENCING AND COORDINATION:

SOME OF THE EXISTING SPACES TO BE REMODELED ARE IN USE AND PART OF THE AREA MUST REMAIN IN USE DURING DEMOLITION AND CONSTRUCTION. ALL EXISTING FACILITIES SHALL BE PROTECTED FROM DUST AND WATER DURING DEMOLITION, RECONSTRUCTION, AND RENOVATION. THE CONTRACTOR SHALL COORDINATE PHASING OF WORK WITH THE RESIDENT ENGINEER TO ALLOW FOR EXISTING FACILITIES TO BE KEPT OPERATING AND PROTECTED.

PHASING OF RESTROOM RENOVATIONS MUST BE UNDERTAKEN SUCH THAT ADEQUATE FACILITIES REMAIN AVAILABLE FOR USE BY THE PUBLIC. WHERE ADEQUATE FACILITIES CANNOT BE MAINTAINED ON SITE, APPROPRIATE ARRANGEMENTS SUCH AS PORTABLE FACILITIES OR DIRECTIONAL SIGNAGE TO GUIDE THE PUBLIC TO AVAILABLE FACILITIES MUST BE PROVIDED, TO THE SATISFACTION OF THE RESIDENT ENGINEER.

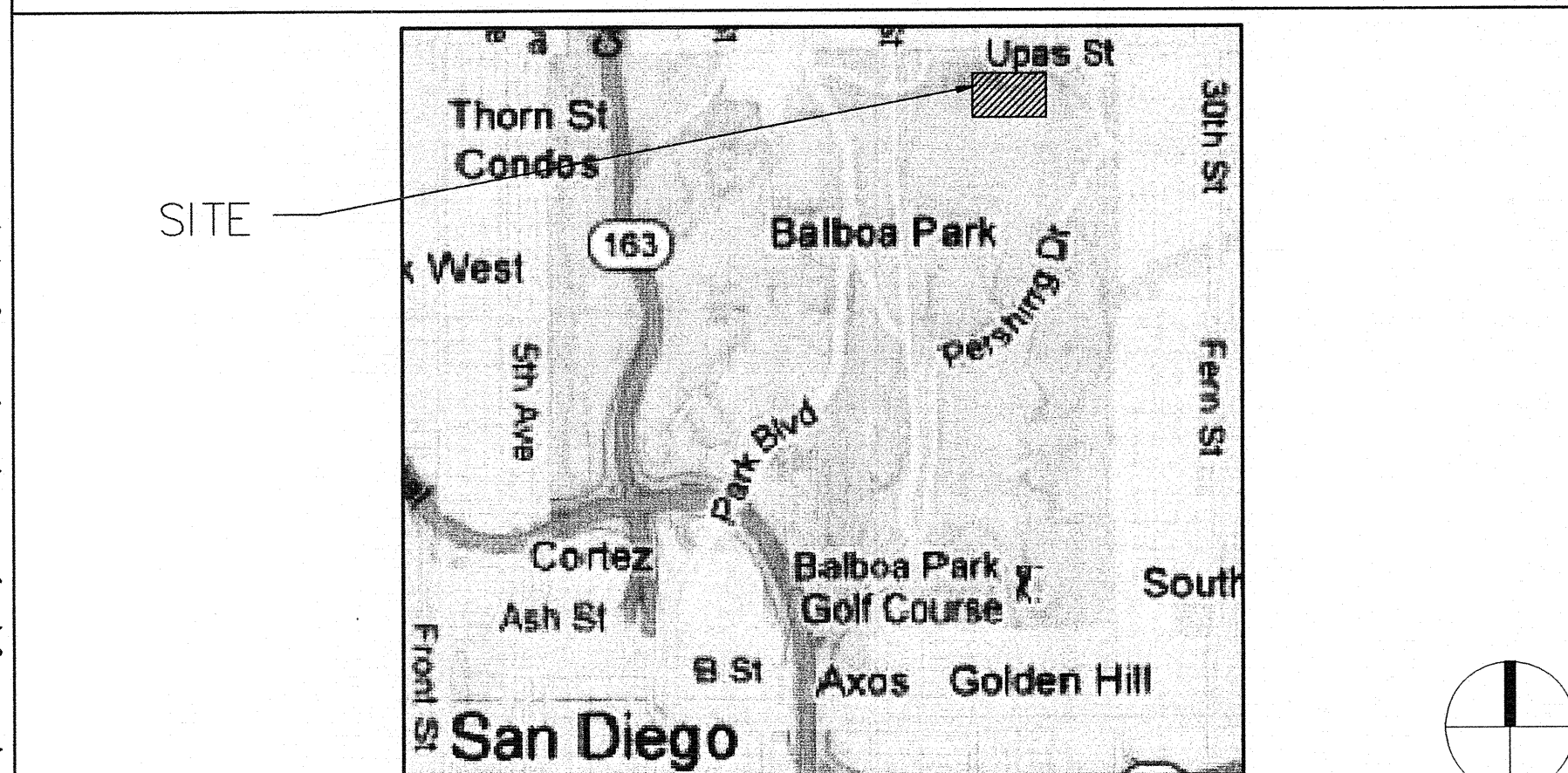
### CONCEALED AND UNFORESEEN CONDITIONS

THE CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL UNFORESEEN AND CONCEALED CONDITIONS. THE REQUIRED PREBID INSPECTION BY THE CONTRACTOR SHALL THEREFORE BE CONSIDERED ACCEPTANCE BY THE CONTRACTOR OF ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ADEQUATE FUNDING FOR SUCH UNFORESEEN CONDITIONS AND ALL DEMOLITION, REPAIRS AND PATCHING OF SUCH UNFORESEEN CONDITIONS SHALL BE EXECUTED AT NO EXTRA COST TO THE OWNER.

### EXTENT OF WORK

WHERE EXISTING ITEMS OF WORK ARE TO BE CUT ALTERED OR REMOVED OR OTHERWISE WORKED UPON, CONTINUE REMOVAL AND PREPARATORY WORK UNTIL SOUND, SOLID AND FIRM SURFACES, STRUCTURAL OR SUPPORTING MEMBERS OR UNDERLAYMENT ARE CLEAN AND FULLY EXPOSED.

J:\0410 Morley Field Registration ADA\05-Dwgs\Morley Field ADA\Sheets\C-001.dwg 04/09/2014 13:17



CONSTRUCTION CHANGE / ADDENDUM				WARNING	
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	0	1
B	4/9/14	4 & 5		IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.	

**CITY OF SAN DIEGO  
PUBLIC WORKS PROJECT**



Platt/Whitelaw Architects, Inc.  
4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350  
PWA PROJECT #: 0410

## BALBOA PARK ADA BARRIER REMOVAL - MORLEY FIELD

SHEET TITLE: <b>TITLE SHEET, SHEET INDEX AND DIRECTORY</b>	SHEET NUMBER: <b>G-001</b>
---	-------------------------------

CITY OF SAN DIEGO, CALIFORNIA  
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
SHEET 1 OF 6 SHEETS

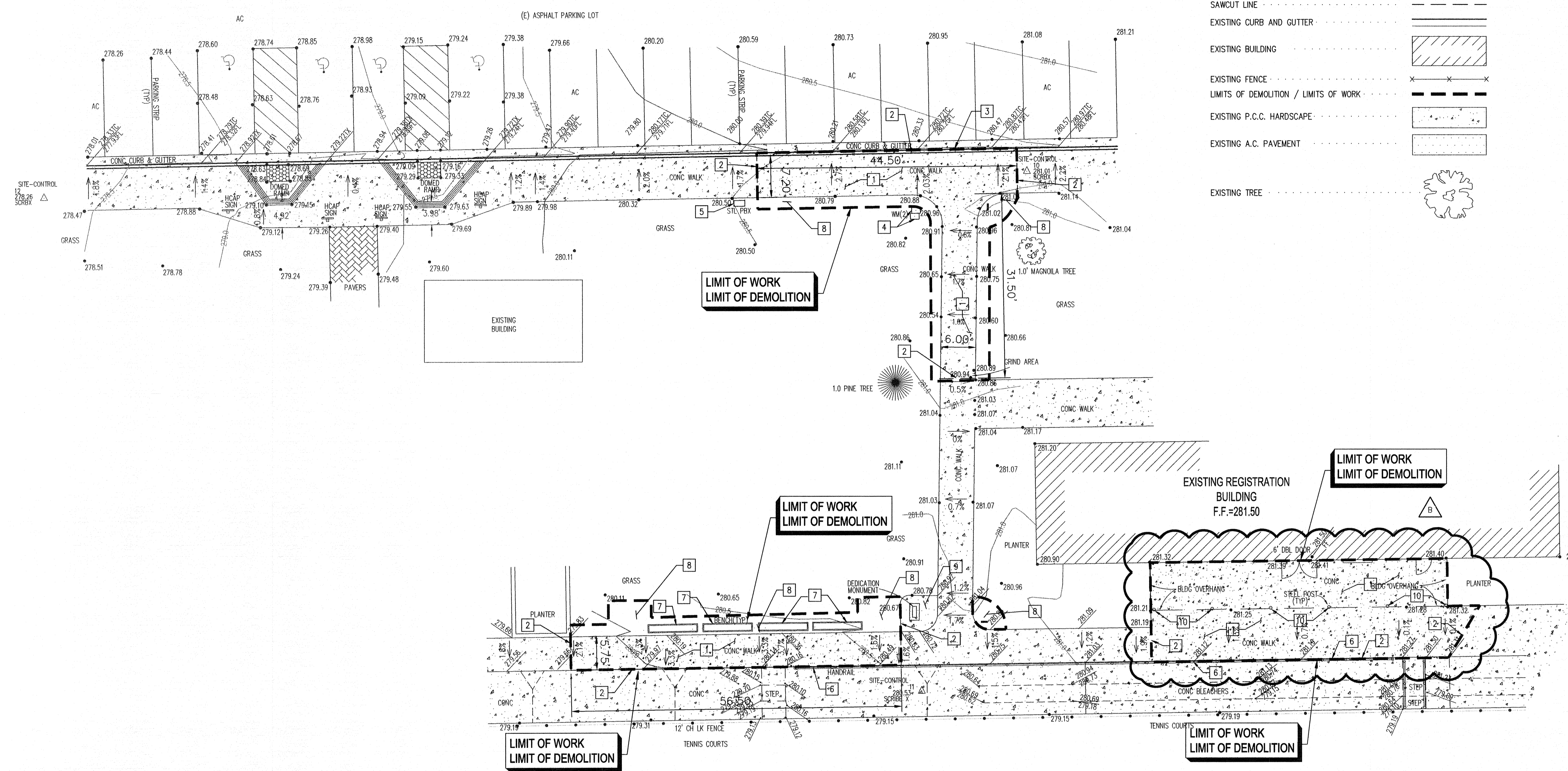
FOR CITY ENGINEER		4/15/14		ALI DARVISHI	
DESCRIPTION		BY	APPROVED	DATE	FILMED
ORIGINAL	SG/SR			8/29/13	
					COSELYN GOODRICH PROJECT MANAGER
					206-1719
					CC527 COORDINATE
					6280407-1846444
					CC583 COORDINATE
CONTRACTOR					DATE STARTED
INSPECTOR					DATE COMPLETED
					37596-01-D

**LEGEND**

DESCRIPTION	SYMBOL
SAWCUT LINE	---
EXISTING CURB AND GUTTER	=====
EXISTING BUILDING	[Hatched Box]
EXISTING FENCE	-----x-----
LIMITS OF DEMOLITION / LIMITS OF WORK	-----
EXISTING P.C.C. HARDSCAPE	[Dotted Box]
EXISTING A.C. PAVEMENT	[Stippled Box]
EXISTING TREE	[Tree Symbol]

**DEMOLITION KEY NOTES**

- 1 SAWCUT, DEMOLISH AND REMOVE EXISTING 6"± CONCRETE.
- 2 PROPOSED SAWCUT LINE TO THE NEAREST JOINT. IF EXPANSION JOINT IS ONE PANEL AWAY THEN REMOVE THE ADDITIONAL PANEL.
- 3 PROTECT IN PLACE EXISTING CURB AND GUTTER.
- 4 PROTECT IN PLACE EXISTING WATER METER.
- 5 PROTECT IN PLACE EXISTING PULL BOX.
- 6 PROTECT IN PLACE EXISTING RAILING.
- 7 PROTECT IN PLACE EXISTING BENCH.
- 8 CONTRACTOR TO FIELD VERIFY AND FLAG EXISTING IRRIGATION HEADS, WIRES AND LINES WITHIN AND ADJACENT TO LIMIT OF DEMOLITION. PROTECT IN PLACE AND SHUT DOWN HEADS DURING CONSTRUCTION. REPLACE IN KIND IF DAMAGED DUE TO CONSTRUCTION ACTIVITY. RESTART IRRIGATION SERVICE AFTER CONSTRUCTION IS COMPLETE.
- 9 PROTECT IN PLACE EXISTING CONCRETE AND APPURTENANCES.
- 10 PROTECT IN PLACE EXISTING COLUMN.

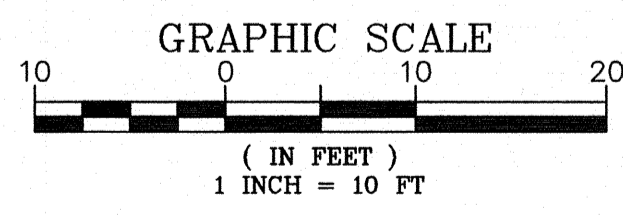


**DEMOLITION GENERAL NOTES**

1. DEMOLISH AND REMOVE ALL EXISTING IMPROVEMENTS WITHIN LIMITS OF WORK UNLESS INDICATED OTHERWISE. KEYNOTES REFER TO TYPICAL ITEMS OF DEMOLITION AND ARE NOT ALL-INCLUSIVE.
2. THE CONTRACTOR SHALL NOTIFY DIGALERT (1-800-227-2600) AT LEAST TWO DAYS PRIOR TO STARTING WORK AND SHALL ARRANGE FOR AND COORDINATE SHUT DOWN, DISCONNECTION AND CAPPING OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNERS PRIOR TO COMMENCING THE WORK.
3. PROTECT IN PLACE ALL EXISTING IMPROVEMENTS, STRUCTURES AND UNDERGROUND UTILITIES TO REMAIN.
4. THE LOCATION AND EXISTENCE OF EXISTING UNDERGROUND FACILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SEARCH OF AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL POHOLE EXISTING UTILITIES AT POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS TO DETERMINE EXACT LOCATION PRIOR TO STARTING ANY WORK.
5. COORDINATE LOCATION OF ALL UNDERGROUND UTILITIES AND STORM DRAINS WITH TREE LOCATIONS, MECHANICAL/ELECTRICAL FACILITIES, AND OTHER INSTALLATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
6. ALL EXISTING "DRY" UTILITIES SHOWN HEREON ARE FOR INFORMATION PURPOSES ONLY. REFER TO APPROPRIATE UTILITY COMPANY PLANS FOR ANY WORK ON OR WITH THESE UTILITIES.
7. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
8. WORK MAY OCCUR BEYOND THE LIMIT OF WORK LINE INDICATED ON THESE DRAWINGS. THIS ADDITIONAL WORK MAY INCLUDE, BUT IS NOT LIMITED TO, UTILITY INSTALLATION; FOOTING AND FOUNDATION CONSTRUCTION; TRENCH REPAIR; TRENCHING AND TRENCH RESURFACING; PCC/AC REPAIR; HARDSCAPE, LANDSCAPING AND/OR SHORING. IN ADDITION, REFER TO THE ARCHITECTURAL SHEETS FOR ITEMS THAT MAY NOT BE SHOWN ON THIS SHEET.

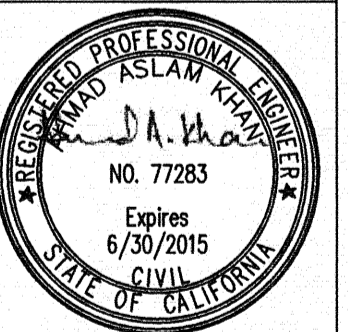


SCALE: 1"=10'



**Platt/Whitelaw Architects, Inc.**

4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350



PWA PROJECT #: 0410

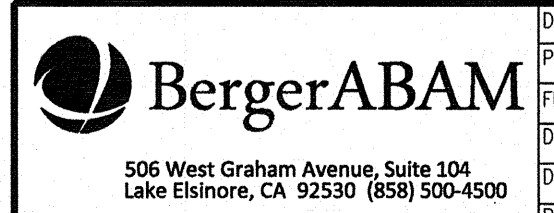
**BALBOA PARK MORLEY FIELD TENNIS REGISTRATION ADA**

SHEET TITLE: <b>EXISTING CONDITION AND DEMOLITION PLAN</b>	SHEET NUMBER: <b>C1.0</b>
---	------------------------------

CITY OF SAN DIEGO, CALIFORNIA  
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
SHEET 4 OF 6 SHEETS

FOR CITY ENGINEER: *[Signature]* DATE: 4/15/14  
ALI DARVISHI  
SECTION HEAD

DESCRIPTION	BY	APPROVED	DATE	FILED
100% PERMIT SET	AAK/SLL		8/29/13	
ADDENDUM	AAK/SLL	<i>[Signature]</i>	4/9/14	



DATE: 02/11/14  
PLOTTED: 9:26 A  
FLC PROJECT NO: A13.0274  
DESIGN BY: AAK  
DRAWN BY: SLL  
REVIEWED BY: AAK

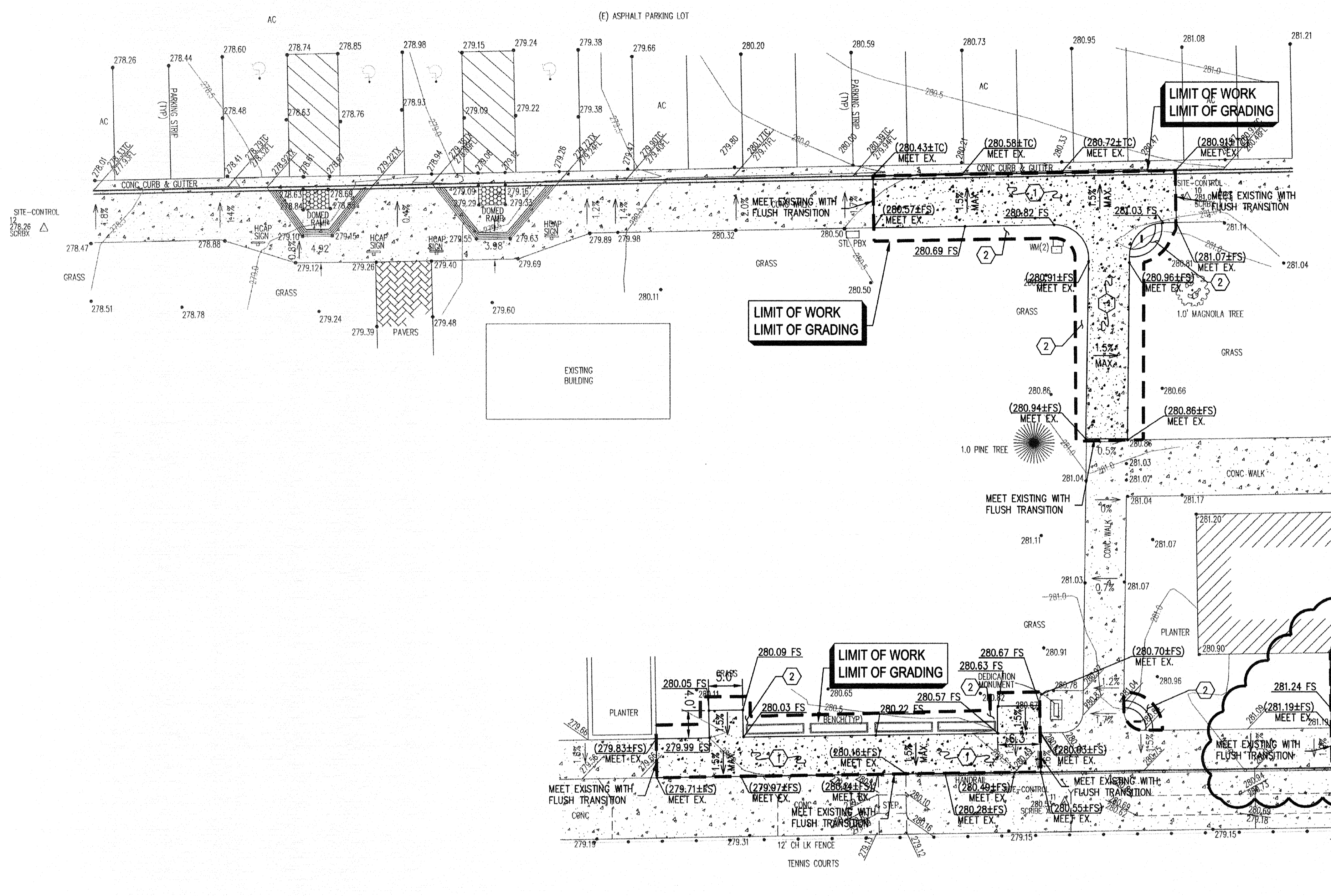
COSELYN GOODRICH  
PROJECT MANAGER  
206-1719  
CCS27 COORDINATE  
6280407-1846444  
CCS83 COORDINATE  
37596-04-D

CONTRACTOR: \_\_\_\_\_ DATE STARTED: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_  
ADDENDUM:  ADDITIONAL EXTENTS OF FLATWORK DEMO

C:\Users\lshelton\Documents\2013\A13.0274\000\Drawings\CI-DEMOL.dwg 02/11/2014 09:26

BALBOA PARK ADA BARRIER REMOVAL - MORLEY FIELD - ADDENDUM B

C:\LakeElinore\2013\11.0274\CADD\Drawn\C2.0-6940.dwg 02/11/2014 09:28

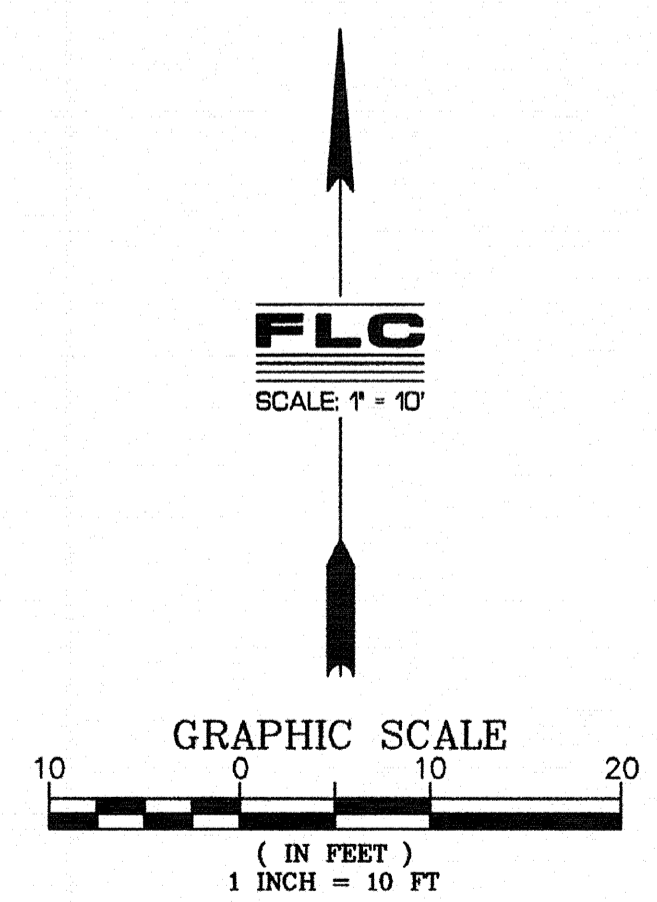
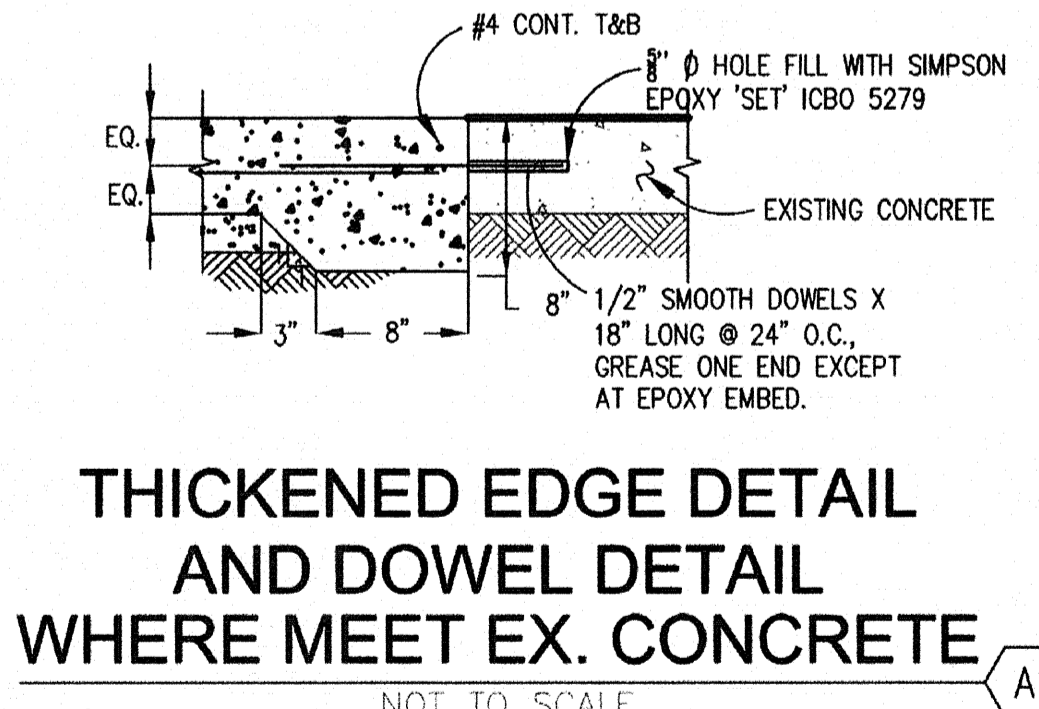


LEGEND	
ITEM	SYMBOL
APPROX. LIMIT OF WORK	--- --
EXISTING CONTOUR	-----
EXISTING PCC PAVEMENT	□
EXISTING AC PAVEMENT	▨
EXISTING BUILDING	▩
EXISTING CURB AND GUTTER	▬
EXISTING TREE	⊗
SAWCUT LINE	—
PROPOSED CONTOUR	-----
PROPOSED PCC PAVEMENT	□
PROPOSED TOP OF CURB ELEV.	77.00 TC
PROPOSED FINISHED SURFACE/ FLOW LINE	76.50 FS/FL
PROPOSED INVERT ELEV.	77.00 RIM
PROPOSED RIM ELEV.	69.00 IE

KEY NOTES	
①	FURNISH AND INSTALL 4" PCC HARDBASE WITH 6 X 6 W4XW4 WELDED WIRE FABRIC. THICKENED EDGE WHERE MEET EXISTING CONCRETE. SEE DETAIL "A" THIS SHEET. REFER TO SPECIFICATIONS FOR JOINTING AND SCORING PATTERN. MATCH EXISTING WALKWAY WIDTH.
②	REGRADE SURFACE WITHIN LIMIT OF WORK LINE TO PROVIDE DRAINAGE AWAY FROM SIDEWALK AND TOWARDS EXISTING DRAINAGE PATTERN. REFER TO C1.0 FOR IRRIGATION PROTECTION NOTE NO. 8. ADJUST IRRIGATION HEADS TO NEW GRADES.

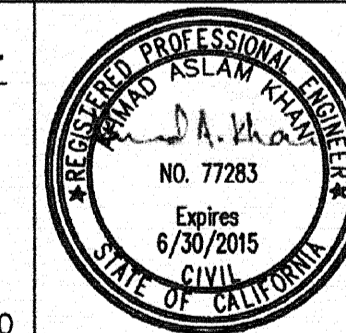
GENERAL NOTES	
1.	THE CONTRACTOR SHALL NOTIFY DIGALERT (1-800-227-2600) AT LEAST TWO DAYS PRIOR TO STARTING WORK AND SHALL ARRANGE FOR AND COORDINATE SHUT DOWN, DISCONNECTION AND CAPPING OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNERS PRIOR TO COMMENCING THE WORK.
2.	PROTECT IN PLACE ALL EXISTING IMPROVEMENTS, STRUCTURES AND UNDERGROUND UTILITIES TO REMAIN.
3.	THE LOCATION AND EXISTENCE OF EXISTING UNDERGROUND FACILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SEARCH OF AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL POT-HOLE EXISTING UTILITIES AT POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS TO DETERMINE EXACT LOCATION PRIOR TO STARTING ANY WORK.
4.	COORDINATE LOCATION OF ALL UNDERGROUND UTILITIES AND STORM DRAINS WITH TREE LOCATIONS AND MECHANICAL/ELECTRICAL FACILITIES.
5.	ALL EXISTING "DRY" UTILITIES SHOWN HEREON ARE FOR INFORMATION PURPOSES ONLY. REFER TO APPROPRIATE UTILITY COMPANY PLANS FOR ANY WORK ON OR WITH THESE UTILITIES.
6.	REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

ACCESSIBILITY NOTES	
A.	COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (2010 CBC) FOR ALL SITE IMPROVEMENTS.
B.	MAXIMUM CROSS SLOPE ON WALKWAYS SHALL BE 2%.
C.	NO CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE ALLOWED WITHOUT A CURB RAMP. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
D.	CATCH BASIN AND DRAIN INLET GRATES SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN ONE DIRECTION. IF GRATINGS HAVE ELONGATED OPENINGS, THEY SHALL BE PLACED SO THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
E.	CURB RAMPS SHALL BE REQUIRED WHEREVER ACCESSIBLE ACCESS ROUTES CROSS A CURB.
F.	ACCESSIBLE RAMPS AND HANDRAILS SHALL BE REQUIRED WHEREVER SLOPE EXCEEDS 5%. MAXIMUM SLOPE SHALL BE 8.33%. LEVEL LANDINGS SHALL BE INSTALLED AT TOP AND BOTTOM OF EACH RUN EQUAL TO THE WIDTH OF THE RAMP, 60" X 60" MINIMUM, AND INTERMEDIATE LANDINGS AT INTERVALS NOT EXCEEDING 30' OF VERTICAL RISE. BOTTOM LANDINGS AND INTERMEDIATE LANDINGS WITH DIRECTION CHANGES IN EXCESS OF 30 DEGREES SHALL BE MINIMUM 72" IN THE DIRECTION OF TRAVEL. RAMPS AND LANDINGS WITH VERTICAL SIDE DROP-OFFS SHALL HAVE WALLS, RAILINGS, PROTECTIVE SURFACES OR MINIMUM 6" HIGH CURBS.
G.	ALL PAVEMENT CROSS SLOPES (SLOPES PERPENDICULAR TO THE DIRECTION OF TRAVEL) SHALL BE A MAXIMUM OF 2%. ALL RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 IN 12. ALL LANDINGS AT STAIRS AND RAMPS SHALL HAVE A MAXIMUM SLOPE OF 2% (BOTH DIRECTIONS). ALL WALKWAYS SHALL HAVE A MAXIMUM SLOPE LESS THAN 5% IN THE DIRECTION OF TRAVEL. ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATION OR ELSEWHERE. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCE BUT SHALL NOT ADJUST GRADES TO LESS THAN 1% SLOPE OR GREATER THAN 2%. THE CONTRACTOR SHALL CONTACT THE RESIDENT ENGINEER REGARDING ANY GRADE REVISIONS PRIOR TO CONSTRUCTION OF PAVEMENT AREAS. THE PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND PAVEMENT OVER THE MAXIMUM SLOPES SPECIFIED ABOVE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.



**Platt/Whitelaw Architects, Inc.**  
 4034 30th Street, SAN DIEGO CA 92104  
 (619) 546-4328 FAX (619) 546-4350

PWA PROJECT #: 0410



**BALBOA PARK MORLEY FIELD TENNIS REGISTRATION ADA GRADING AND PAVING PLAN**

SHEET TITLE: <b>GRADING AND PAVING PLAN</b>	SHEET NUMBER: <b>C2.0</b>			
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 5 OF 6 SHEETS	WBS <b>B-13020</b>			
FOR CITY ENGINEER: <i>[Signature]</i> DATE: <b>4/15/14</b>	ALI DARVISHI SECTION HEAD			
DESCRIPTION	BY	APPROVED	DATE	FILMED
100% PERMIT SET	AAK/SLL		8/24/13	
ADDENDUM	AAK/SLL		4/9/14	
COSELYN GOODRICH PROJECT MANAGER				
206-1714 CCS27 COORDINATE				
6280407-1846444 CCS83 COORDINATE				
CONTRACTOR	DATE STARTED	37596-05-D		
INSPECTOR	DATE COMPLETED			

**BergerABAM**  
 506 West Graham Avenue, Suite 104  
 Lake Elsinore, CA 92530 (858) 500-4500

DATE: 02/11/14  
 PLOTTED: 9:28 A  
 FLC PROJECT NO. A13.0274  
 DESIGN BY: AAK  
 DRAWN BY: SLL  
 REVIEWED BY: AAK

BALBOA PARK ADA BARRIER REMOVAL - MORLEY FIELD - ADDENDUM B



4/30/14 CN

# City of San Diego

CONTRACTOR'S NAME: CHOCTAW CONSTRUCTION CO. INC.  
 ADDRESS: 23839 DAK MEADOW DR, RAMONA, CA. 92065  
 TELEPHONE NO.: 760-789-8713 FAX NO.: 760-789-3790  
 CITY CONTACT: Clementina Giordano - Contract Specialist, Email:CGiordano@sandiego.gov  
Phone No. (619) 533-3481, Fax No. (619) 533-3633  
Y.Hanna/RTaleghani/Lad

## CONTRACT DOCUMENTS



## FOR

### Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal

VOLUME 2 OF 2

BID NO.: L-14-1194-DBB-1  
 SAP NO. (WBS/IO/CC): B-13022 / B-13020  
 CLIENT DEPARTMENT: 1714  
 COUNCIL DISTRICT: 7  
 PROJECT TYPE: BT

**THIS CONTRACT IS SUBJECT TO THE FOLLOWING:**

- THE CITY'S SUBCONTRACTING PARTICIPATION REQUIREMENTS FOR SLBE PROGRAM.
- COMPETITION RESTRICTED TO: SLBE-ELBE  or ELBE FIRMS ONLY .
- PREVAILING WAGE RATES: STATE  FEDERAL

THIS BIDDING DOCUMENT TO BE SUBMITTED IN ITS ENTIRETY  
REFER TO VOLUME 1 COVER PAGE FOR TIME, DATE, AND LOCATION

**TABLE OF CONTENTS**

**DESCRIPTION**

**PAGE NUMBER**

**Volume 2 - Bidding Documents**

The following forms must be completed in their entirety and submitted with the Bid. Include the form(s) even if the information does not apply. Where the information does not apply write in N/A. Failure to include any of the forms may cause the Bid to be deemed **non-responsive**. If you are uncertain or have any questions about any required information, contact the City no later than 14 days prior to Bid due date.

1. Bid/Proposal.....	3
2. Non-Collusion Affidavit to be executed by Bidder and Submitted with Bid under 23 USC 112 and PCC 7106 .....	6
3. Contractors Certification of Pending Actions.....	7
4. Equal Benefits Ordinance Certification of Compliance.....	8
5. Proposal (Bid).....	9
6. Form AA35 - List of Subcontractors .....	12
7. Form AA40 - Named Equipment/Material Supplier List .....	13

**BIDDING DOCUMENTS**

**PROPOSAL**

**Bidder's General Information**

To the City of San Diego:

Pursuant to "Notice Inviting Bids", specifications, and requirements on file with the City Clerk, and subject to all provisions of the Charter and Ordinances of the City of San Diego and applicable laws and regulations of the United States and the State of California, the undersigned hereby proposes to furnish to the City of San Diego, complete at the prices stated herein, the items or services hereinafter mentioned. The undersigned further warrants that this bid is not made in the interest of, or on behalf of, any undisclosed person, partnership, company, association, organization, or corporation; that the bid is genuine and not collusive or sham; that the bidder has not directly or indirectly induced or solicited any other bidder to put in a false or sham bid, and has not directly or indirectly colluded, conspired, connived, or agreed with any bidder or anyone else to put in a sham bid, or that anyone shall refrain from bidding; that the bidder has not in any manner, directly or indirectly, sought by agreement, communication, or conference with anyone to fix the bid price of the bidder or any other bidder, or to fix any overhead, profit, or cost element of the bid price, or of that of any other bidder, or to secure any advantage against the public body awarding the contract of anyone interested in the proposed contract; that all statements contained in the bid are true; and, further, that the bidder has not, directly or indirectly, submitted his or her bid price or any breakdown thereof, or the contents thereof, or divulged information or data relative thereto, or paid, and will not pay, any fee to any corporation, partnership, company, association, organization, bid depository, or to any member or agent thereof to effectuate a collusive or sham bid.

The undersigned bidder(s) further warrants that bidder(s) has thoroughly examined and understands the entire Contract Documents (plans and specifications) and the Bidding Documents therefore, and that by submitting said Bidding Documents as its bid proposal, bidder(s) acknowledges and is bound by the entire Contract Documents, including any addenda issued thereto, as such Contract Documents incorporated by reference in the Bidding Documents.

**IF A SOLE OWNER OR SOLE CONTRACTOR SIGN HERE:**

- (1) Name under which business is conducted CHOCTAW CONST. CO. INC
- (2) Signature (Given and surname) of proprietor J. C. Hartung
- (3) Place of Business (Street & Number) 23839 OAK MEADOW DR
- (4) City and State RAMONA, CA. Zip Code 92065
- (5) Telephone No. 760-789-8713 Facsimile No. 760-789-3790
- (6) Email Address choctawco@cox.net

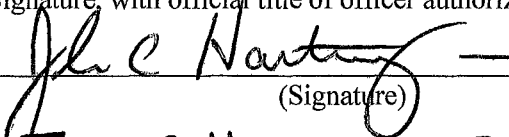
**BIDDING DOCUMENTS**

**IF A PARTNERSHIP, SIGN HERE:**

N/A

- (1) Name under which business is conducted \_\_\_\_\_
- (2) Name of each member of partnership, indicate character of each partner, general or special (limited):  
\_\_\_\_\_  
\_\_\_\_\_
- (3) Signature (Note: Signature must be made by a general partner)  
\_\_\_\_\_  
  
Full Name and Character of partner  
\_\_\_\_\_  
\_\_\_\_\_
- (4) Place of Business (Street & Number) \_\_\_\_\_
- (5) City and State \_\_\_\_\_ Zip Code \_\_\_\_\_
- (6) Telephone No. \_\_\_\_\_ Facsimile No. \_\_\_\_\_
- (7) Email Address \_\_\_\_\_

**IF A CORPORATION, SIGN HERE:**

- (1) Name under which business is conducted CHOCTAW CONST CO, INC
- (2) Signature, with official title of officer authorized to sign for the corporation:  
  
(Signature)  
JOHN C HARTUNG III  
(Printed Name)  
PRESIDENT  
(Title of Officer)

(Impress Corporate Seal Here)

- (3) Incorporated under the laws of the State of CALIFORNIA
- (4) Place of Business (Street & Number) 23839 OAK MEADOW DR  
RAMONA, CA 92065

**BIDDING DOCUMENTS**

(5) City and State RAMONA, CA. Zip Code 92065  
(6) Telephone No. 760-789-8713 Facsimile No. 760-789-3790  
(7) Email Address choctawco@cox.net

**THE FOLLOWING SECTIONS MUST BE FILLED IN BY ALL PROPOSERS:**

In accordance with the "NOTICE INVITING BIDS", the bidder holds a California State Contractor's license for the following classification(s) to perform the work described in these specifications:

LICENSE CLASSIFICATION B GEN  
LICENSE NO. 645205 EXPIRES JAN 31<sup>st</sup> 2016

This license classification must also be shown on the front of the bid envelope. Failure to show license classification on the bid envelope may cause return of the bid unopened.

TAX IDENTIFICATION NUMBER (TIN): [REDACTED]  
Email Address: choctawco@cox.net

**THIS PROPOSAL MUST BE NOTARIZED BELOW:**

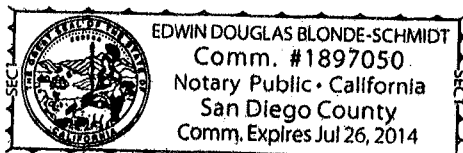
I certify, under penalty of perjury, that the representations made herein regarding my State Contractor's license number, classification and expiration date are true and correct.

Signature *J. Hartung* Title PRESIDENT

SUBSCRIBED AND SWORN TO BEFORE ME, THIS 28<sup>TH</sup> DAY OF APRIL, 2014.

Notary Public in and for the County of SAN DIEGO, State of CALIFORNIA

*Edwin Douglas Blonde-Schmidt*  
(NOTARIAL SEAL)



**BIDDING DOCUMENTS**

**EQUAL BENEFITS ORDINANCE  
CERTIFICATION OF COMPLIANCE**



For additional information, contact:  
**CITY OF SAN DIEGO**  
**EQUAL BENEFITS PROGRAM**  
 202 C Street, MS 9A, San Diego, CA 92101  
 Phone (619) 533-3948 Fax (619) 533-3220

COMPANY INFORMATION	
Company Name: <b>CHOCTAW CONST CO, INC</b>	Contact Name: <b>JOHN HARTUNG</b>
Company Address: <b>23839 OAK MEADOW DR RAMONA CA 92065</b>	Contact Phone: <b>760-789-8713</b>
	Contact Email: <b>choctawco@cox.net</b>

CONTRACT INFORMATION	
Contract Title: <b>TIMKEN GALLERY &amp; MORLEY FIELD ADA BARRIER</b>	Start Date:
Contract Number (if no number, state location): <b>L-14-1194-DBB-1</b>	End Date:

**SUMMARY OF EQUAL BENEFITS ORDINANCE REQUIREMENTS**

The Equal Benefits Ordinance [EBO] requires the City to enter into contracts only with contractors who certify they will provide and maintain equal benefits as defined in SDMC §22.4302 for the duration of the contract. To comply:

- Contractor shall offer equal benefits to employees with spouses and employees with domestic partners.
  - Benefits include health, dental, vision insurance; pension/401(k) plans; bereavement, family, parental leave; discounts, child care; travel/relocation expenses; employee assistance programs; credit union membership; or any other benefit.
  - Any benefit not offer an employee with a spouse, is not required to be offered to an employee with a domestic partner.
- Contractor shall post notice of firm's equal benefits policy in the workplace and notify employees at time of hire and during open enrollment periods.
- Contractor shall allow City access to records, when requested, to confirm compliance with EBO requirements.
- Contractor shall submit *EBO Certification of Compliance*, signed under penalty of perjury, prior to award of contract.

NOTE: This summary is provided for convenience. Full text of the EBO and Rules Implementing the EBO are available at [www.sandiego.gov/administration](http://www.sandiego.gov/administration).

**CONTRACTOR EQUAL BENEFITS ORDINANCE CERTIFICATION**

Please indicate your firm's compliance status with the EBO. The City may request supporting documentation.

I affirm **compliance** with the EBO because my firm (*contractor must select one reason*):

- Provides equal benefits to spouses and domestic partners.
- Provides no benefits to spouses or domestic partners.
- Has no employees.
- Has collective bargaining agreement(s) in place prior to January 1, 2011, that has not been renewed or expired.

I request the City's approval to pay affected employees a cash equivalent in lieu of equal benefits and verify my firm made a reasonable effort but is not able to provide equal benefits upon contract award. I agree to notify employees of the availability of a cash equivalent for benefits available to spouses but not domestic partners and to continue to make every reasonable effort to extend all available benefits to domestic partners.

It is unlawful for any contractor to knowingly submit any false information to the City regarding equal benefits or cash equivalent associated with the execution, award, amendment, or administration of any contract. [San Diego Municipal Code §22.4307(a)]

Under penalty of perjury under laws of the State of California, I certify the above information is true and correct. I further certify that my firm understands the requirements of the Equal Benefits Ordinance and will provide and maintain equal benefits for the duration of the contract or pay a cash equivalent if authorized by the City.

**JOHN HARTUNG, PRESIDENT** \_\_\_\_\_ **4-29-14**  
 Name/Title of Signatory Signature Date

FOR OFFICIAL CITY USE ONLY			
Receipt Date:	EBO Analyst:	<input type="checkbox"/> Approved	<input type="checkbox"/> Not Approved – Reason:

(Rev 02/15/2011)

**BIDDING DOCUMENTS**

**PROPOSAL (BID)**

The Bidder agrees to the construction **Timken Gallery and Morley Field Tennis Registration Center ADA Barrier Removal Projects**, for the City of San Diego, in accordance with these contract documents for the prices listed below. The Bidder guarantees the Contract Price for a period of 120 days (90 days for federally funded contracts and contracts valued at \$500,000 or less) from the date of Bid opening to Award of the Contract. The duration of the Contract Price guarantee shall be extended by the number of days required for the City to obtain all items necessary to fulfill all conditions precedent e.g., bond and insurance.

Item No.	Quantity	Unit	NAICS	Payment Reference	Description	Unit Price	Extension
1.	1	LS	524126	2-4.1	Bonds Payment & Performance	<del>                    </del>	\$ 1814.00
2.	1	AL	236220	7-5.3	Building Permits - Type I allowance	<del>                    </del>	\$6,000.00
3.	1	LS	236220	9-3.1	Construction of Timken Gallery ADA Barrier Removal Project	<del>                    </del>	\$ 16214.00
4.	1	LS	236220	9-3.1	Construction of Morley Field Tennis Registration Center ADA Barrier Removal Project	<del>                    </del>	\$ 43886.00
5.	1	AL		9-3.5	Field Orders - Type II allowance	<del>                    </del>	\$3,000.00
6.	1	LS	541330	701-13.9.5	Water Pollution Control Program Development	<del>                    </del>	\$ 450.00
7.	1	LS	237990	701-13.9.5	Water Pollution Control Program Implementation	<del>                    </del>	\$ 400.00
ESTIMATED TOTAL BASE BID:							\$ 71764.00

BIDDING DOCUMENTS

TOTAL BID PRICE FOR BID (Items 1 through 7 inclusive) amount written in words:

SEVENTY ONE THOUSAND SEVEN HUNDRED SIXTY FOUR & NO/100 —

The Bid shall contain an acknowledgment of receipt of all addenda, the numbers of which shall be filled in on the Bid form. If an addendum or addenda has been issued by the City and not noted as being received by the Bidder, this proposal shall be rejected as being non-responsive. The following addenda have been received and are acknowledged in this bid: A & B

The names of all persons interested in the foregoing proposal as principals are as follows:

JOHN C HARTUNG III PRES & TREASURER  
KAREN M HARTUNG VP & SECRETARY

IMPORTANT NOTICE: If Bidder or other interested person is a corporation, state secretary, treasurer, and manager thereof; if a co-partnership, state true name of firm, also names of all individual co-partners composing firm; if Bidder or other interested person is an individual, state first and last names in full.

Bidder: JOHN HARTUNG, PRES, CHOCTAW CONST CO, INC.

Title: PRESIDENT

Business Address: PO BOX 2308 RAMONA, CA, 92065

Place of Business: 23839 OAK MEADOW DR RAMONA CA. 92065

Place of Residence: 23839 OAK MEADOW DR RAMONA CA. 92065

Signature: J. C. Hartung



## BIDDING DOCUMENTS

---

### NOTES:

- A. The City shall determine the low Bid based on the Base Bid alone:
- B. Prices and notations shall be in ink or typewritten. All corrections (which have been initiated by the Bidder using erasures, strike out, line out, or "white-out") shall be typed or written in with ink adjacent thereto, and shall be initialed in ink by the person signing the bid proposal.
- C. Failure to initial all corrections made in the bidding documents shall cause the Bid to be rejected as **non-responsive** and ineligible for further consideration.
- D. Blank spaces must be filled in, using figures. Bidder's failure to submit a price for any Bid item that requires the Bidder to submit a price shall render the Bid **non-responsive** and shall be cause for its rejection.
- E. Unit prices shall be entered for all unit price items. Unit prices shall not exceed two (2) decimal places. If the Unit prices entered exceed two (2) decimal places, the City will only use the first two digits after the decimal points without rounding up or down.
- F. All extensions of the unit prices bid will be subject to verification by the City. In the case of inconsistency or conflict between the product of the Quantity x Unit Price and the Extension, the product shall govern.
- G. In the case of inconsistency or conflict, between the sums of the Extensions with the estimated total Bid, the sum of the Extensions shall govern.
- H. Bids shall not contain any recapitulation of the Work. Conditional Bids will be rejected as being **non-responsive**. Alternative proposals will not be considered unless called for.

**BIDDING DOCUMENTS**

**LIST OF SUBCONTRACTORS**

In accordance with the requirements provided in the "Subletting and Subcontracting Fair Practices Act", Division 2, Part 1, Chapter 4 of the Public Contract Code, the Bidder shall list below the name and address of each Subcontractor who will perform work, labor, render services or specially fabricates and installs a portion [type] of the work or improvement, in an amount in excess of 0.5% of the Contractor's total Bid. The Bidder shall also list below the portion of the work which will be done by each subcontractor under this Contract. The Contractor shall list only one Subcontractor for each portion of the Work. The DOLLAR VALUE of the total Bid to be performed shall be stated for all subcontractors listed. Failure to comply with this requirement shall result in the Bid being rejected as non-responsive and ineligible for award. The Bidder's attention is directed to the Special Provisions - General, Paragraph 2-3 Subcontracts, which stipulates the percent of the Work to be performed with the Bidders' own forces. The Bidder shall list all SLBE, ELBE, DBE, DVBE, MBE, WBE, OBE, SDB, WoSB, HUBZone, and SDVOSB Subcontractors that Bidders are seeking recognition towards achieving any mandatory, voluntary, or both subcontracting participation percentages.

NAME, ADDRESS AND TELEPHONE NUMBER OF SUBCONTRACTOR	CONSTRUCTOR OR DESIGNER	TYPE OF WORK	DOLLAR VALUE OF SUBCONTRACT	MBE, WBE, DBE, DVBE, OBE, ELBE, SLBE, SDB, WoSB, HUBZone, OR SDVOSB	WHERE CERTIFIED	CHECK IF JOINT VENTURE PARTNERSHIP
Name: <u>AMERICAN CONC CUTTING</u> Address: <u>DISTRIBUTION WAY</u> City: <u>VISTA</u> State: <u>CA</u> Zip: _____ Phone: <u>760-598-1904</u>	CONST	DEMOLITION	3800-			
Name: <u>DOOR TEK</u> Address: <u>26TH ST</u> City: <u>NATIONAL CITY</u> State: <u>CA</u> Zip: _____ Phone: <u>619 259 2200</u>	CONST	DOORS & HARDWARE	2473-			
Name: <u>CA COAST MECH</u> Address: <u>SAN DIEGO AVE</u> City: <u>RANCHO</u> State: <u>CA</u> Zip: _____ Phone: <u>858 395 5346</u>	CONST	PLUMB	1752-			

① As appropriate, Bidder shall identify Subcontractor as one of the following and shall include a valid proof of certification (except for OBE, SLBE and ELBE):

Certified Minority Business Enterprise	MBE	Certified Woman Business Enterprise	WBE
Certified Disadvantaged Business Enterprise	DBE	Certified Disabled Veteran Business Enterprise	DVBE
Other Business Enterprise	OBE	Certified Emerging Local Business Enterprise	ELBE
Certified Small Local Business Enterprise	SLBE	Small Disadvantaged Business	SDB
Woman-Owned Small Business	WoSB	HUBZone Business	HUBZone
Service-Disabled Veteran Owned Small Business	SDVOSB		

② As appropriate, Bidder shall indicate if Subcontractor is certified by:

City of San Diego	CITY	State of California Department of Transportation	CALTRANS
California Public Utilities Commission	CPUC	San Diego Regional Minority Supplier Diversity Council	SRMSDC
State of California's Department of General Services	CADoGS	City of Los Angeles	LA
State of California	CA	U.S. Small Business Administration	SBA

**The Bidder will not receive any subcontracting participation percentages if the Bidder fails to submit the required proof of certification.**

0.1118  
CW

**BIDDING DOCUMENTS**

**NAMED EQUIPMENT/MATERIAL SUPPLIER LIST**

The Bidder seeking the recognition of equipment, materials, or supplies obtained from Suppliers towards achieving any mandatory, voluntary, or both subcontracting participation percentages shall list the Supplier(s) on the Named Equipment/Material Supplier List. The Named Equipment/Material Supplier List, at a minimum, shall have the name, locations (City) and the **DOLLAR VALUE** of the Suppliers. The Bidder will be credited up to 60% of the amount to be paid to the Suppliers for such materials and supplies unless vendor manufactures or substantially alters materials and supplies in which case 100% will be credited. The Bidder is to indicate (Yes/No) whether listed firm is a supplier or manufacturer. In calculating the subcontractor participation percentages, vendors/suppliers will receive 60% credit of the listed **DOLLAR VALUE**, whereas manufacturers will receive 100% credit. If no indication provided, listed firm will be credited at 60% of the listed dollar value for purposes of calculating the Subcontractor Participation Percentage, Suppliers will receive 60% credit of the listed **DOLLAR VALUE**, whereas manufacturers will receive 100% credit. If no indication provided, listed firm will be credited at 60% of the listed **DOLLAR VALUE** for purposes of calculating the subcontractor participation percentages.

NAME, ADDRESS AND TELEPHONE NUMBER OF VENDOR/SUPPLIER	MATERIALS OR SUPPLIES	DOLLAR VALUE OF MATERIAL OR SUPPLIES	SUPPLIER (Yes/No)	MANUFACTURER (Yes/No)	MBE, WBE, DBE, DVBE, OBE, ELBE, SLBE, SDB, WoSB, HUBZone, OR SDVOSB®	WHERE CERTIFIED®
Name: <u>SUPERIOR CONCRETE</u> Address: _____ City: _____ State: _____ Zip: _____ Phone: _____	<u>MAT</u>	<u>4500-</u>	<u>YES</u>	<u>NO</u>		
Name: _____ Address: _____ City: _____ State: _____ Zip: _____ Phone: _____						
Name: _____ Address: _____ City: _____ State: _____ Zip: _____ Phone: _____						

① As appropriate, Bidder shall identify Vendor/Supplier as one of the following and shall include a valid proof of certification (except for OBE,SLBE and ELBE):

Certified Minority Business Enterprise	MBE	Certified Woman Business Enterprise	WBE
Certified Disadvantaged Business Enterprise	DBE	Certified Disabled Veteran Business Enterprise	DVBE
Other Business Enterprise	OBE	Certified Emerging Local Business Enterprise	ELBE
Certified Small Local Business Enterprise	SLBE	Small Disadvantaged Business	SDB
Woman-Owned Small Business	WoSB	HUBZone Business	HUBZone
Service-Disabled Veteran Owned Small Business	SDVOSB		

② As appropriate, Bidder shall indicate if Vendor/Supplier is certified by:

City of San Diego	CITY	State of California Department of Transportation	CALTRANS
California Public Utilities Commission	CPUC	San Diego Regional Minority Supplier Diversity Council	SRMSDC
State of California's Department of General Services	CADoGS	City of Los Angeles	LA
State of California	CA	U.S. Small Business Administration	SBA

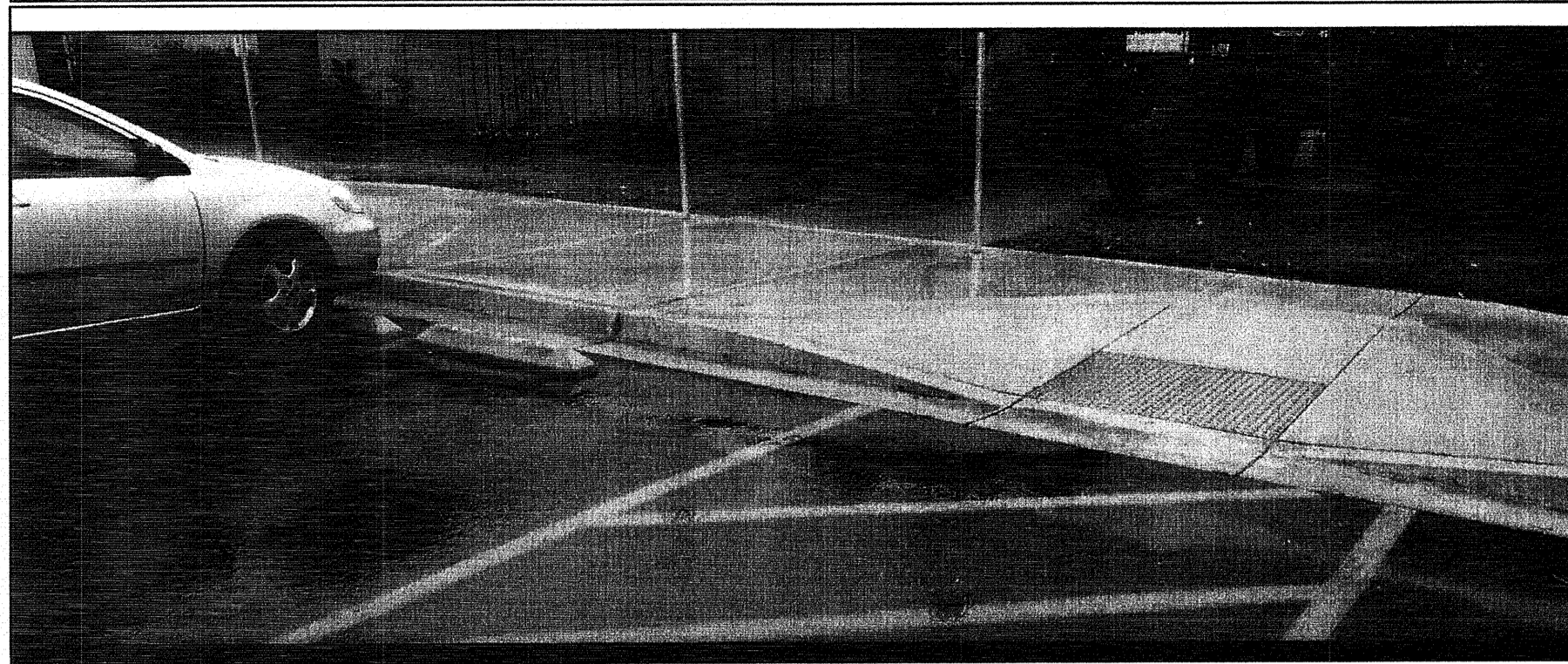
**The Bidder will not receive any subcontracting participation percentages if the Bidder fails to submit the required proof of certification.**

# BALBOA PARK ADA BARRIER REMOVAL MORLEY FIELD TENNIS REGISTRATION

2221 MORLEY FIELD DRIVE, SAN DIEGO, CA 92104

## SHEET INDEX

<b>GENERAL</b>		
1. G-001	TITLE SHEET, SHEET INDEX AND DIRECTORY	
2. G-002	GENERAL NOTES AND ABBREVIATIONS	
<b>SITE</b>		
3. A-001	SITE PLAN	
<b>CIVIL</b>		
4. C-1.0	EXISTING CONDITION & DEMOLITION PLAN	
5. C-2.0	GRADING & PAVING PLAN	
<b>ARCHITECTURAL</b>		
6. A-101	ENLARGED PLANS	

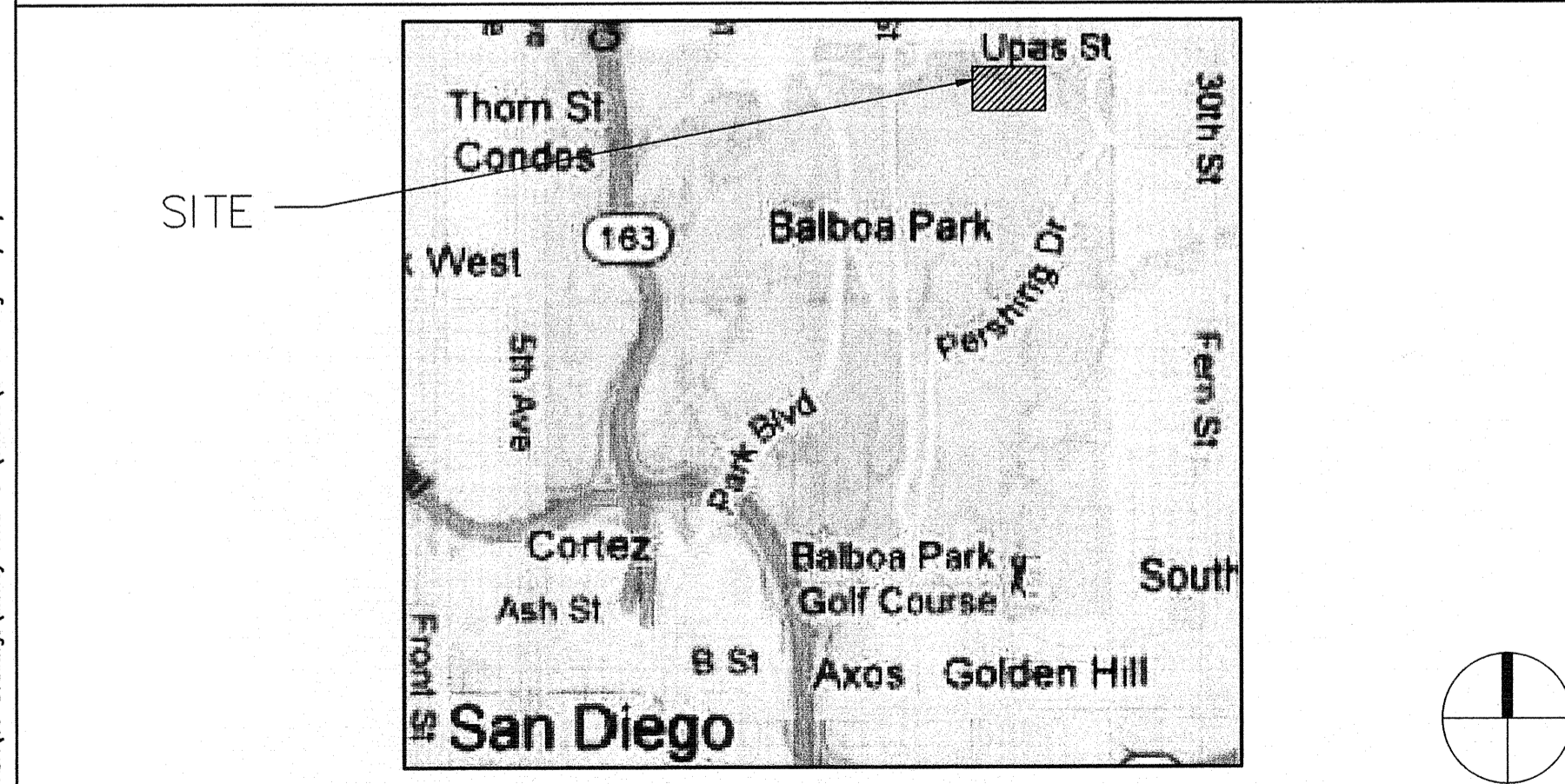


## CONTRACTOR'S RESPONSIBILITIES

- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENFORCE SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR SHALL DESIGN AND CONSTRUCT THESE MEASURES AND BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL DETAILS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CONTACT WITH THE RESIDENT ENGINEER.
- LOCATION AND ELEVATION OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
- BEFORE EXCAVATING FOR THIS PROJECT, CONTRACTOR WILL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY. THE CONTRACTOR SHALL VERIFY THE LOCATION(S) OF ALL UNDERGROUND UTILITIES. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE BY A SEARCH OF THE AVAILABLE RECORDS.
- CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND/OR BENCH MARK WHICH WILL BE DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LAND CORNER RECORD, OR RECORD OF SURVEY. THE RECORD SHALL BE FILED BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE LAND SURVEYOR'S ACT.
- CONTRACTOR SHALL NOTIFY THE CITY TRAFFIC ENGINEER AT LEAST FIVE (5) WORKING DAYS IN ADVANCE OF IMPLEMENTING ANY CONSTRUCTION DETOUR IN THE PUBLIC RIGHT OF WAY.
- IF CONSTRUCTION IS TO BE PERFORMED IN STAGES, ALL WORK SHALL BE COMPLETED IN EACH STAGE PRIOR TO BEGINNING WORK ON THE NEXT STAGE.
- THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULTS FROM HIS OPERATIONS BY APPROPRIATE MEANS (GRAVEL BAG, DIKES, ETC) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETE AND ACCEPTED FOR BY THE CITY OF SAN DIEGO.
- SEE ADDITIONAL NOTES AND CONTRACTOR REQUIREMENTS ON ALL SHEETS

## DESCRIPTION OF WORK

- VARIOUS VOLUNTARY BARRIER REMOVALS, INCLUDING:
- EXTERIOR PATH OF TRAVEL IMPROVEMENTS FROM EXISTING ACCESSIBLE PARKING.
  - SITE ACCESSIBILITY IMPROVEMENTS AT REGISTRATION COUNTER
  - COMPANION SEATING AT MEMORIAL BENCH.
  - DIRECTIONAL SIGNAGE
- AREA OF WORK LIMITED TO WHAT IS SHOWN ON PLANS.



CONSTRUCTION CHANGE / ADDENDUM			
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.

WARNING  
0 1  
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

## PARK CONSTRUCTION INSPECTION STAGES AND INSPECTION TEAM

- PARK INSPECTION TEAM**
- SITE SUPERINTENDENT (CONTRACTOR/DEVELOPER'S REPRESENTATIVE)
  - CONTRACTOR(S)
  - RESIDENT ENGINEER FROM FIELD ENGINEERING DEPARTMENT
  - CITY PROJECT MANAGER
  - DESIGN CONSULTANT
  - PARK AND RECREATION DISTRICT MANAGER
  - PARK AND RECREATION ASSET MANAGER

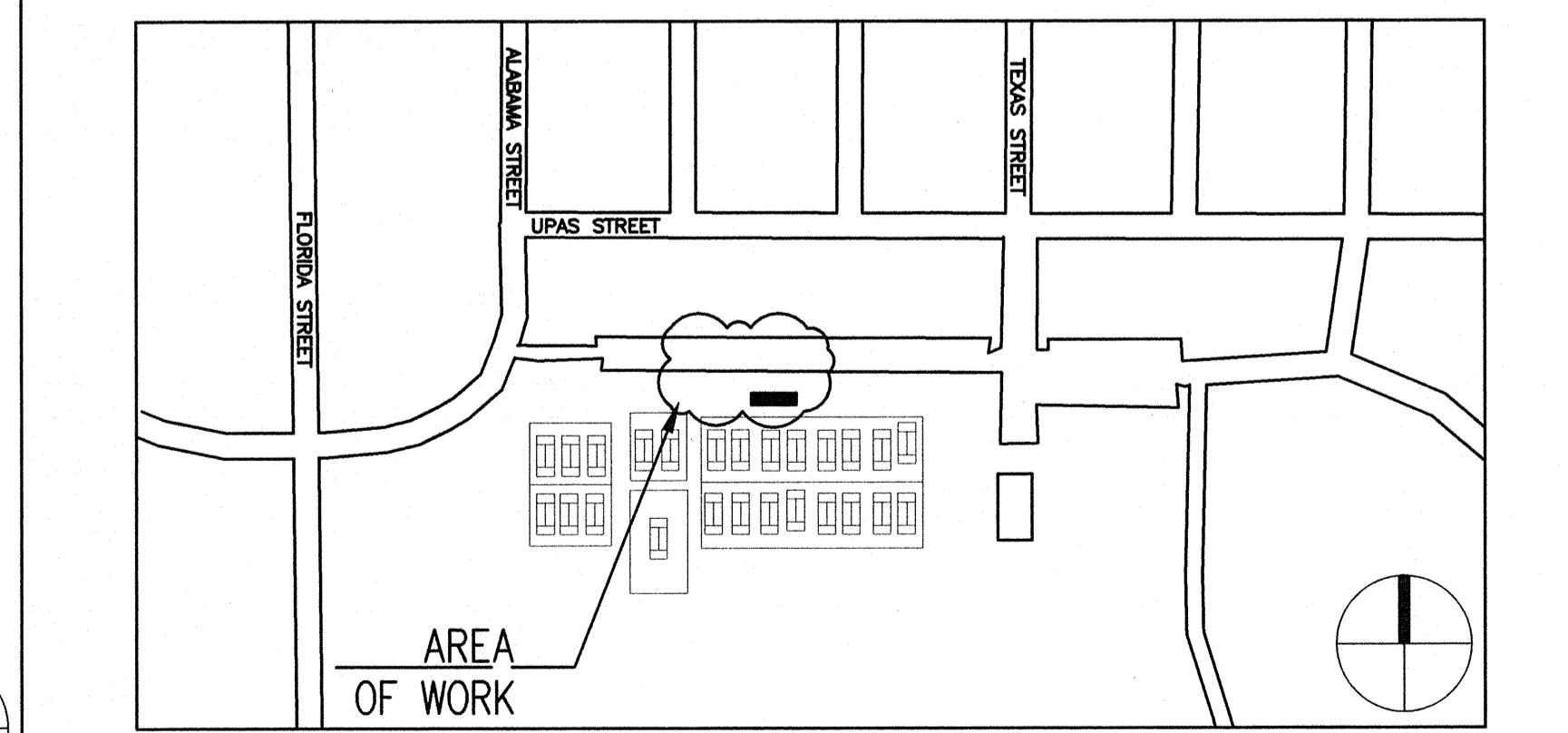
### PARK CONSTRUCTION INSPECTION STAGES: (MINIMUM DEPENDING ON PROJECT)

- PRE-CONSTRUCTION MEETING.
- PROJECT CONSTRUCTION 90 PERCENT COMPLETE (DEVELOP PUNCH LIST AND SUBMIT RED-LINE AS-BUILTS).
- FINAL WALK-THROUGH, ACCEPTANCE BY THE CITY. CONTRACTOR TO SUBMIT FINAL APPROVED AS-BUILT DRAWINGS TO THE CITY.

## UNDERGROUND UTILITIES

- BEFORE EXCAVATING, VERIFY THE LOCATION OF UNDERGROUND UTILITIES. AT LEAST THREE (3) WORKING DAYS PRIOR TO EXCAVATION, THE CONTRACTOR SHALL REQUEST A MARKOUT OF UNDERGROUND UTILITIES BY CALLING THE BELOW LISTED REGIONAL NOTIFICATION CENTER FOR AN INQUIRY IDENTIFICATION NUMBER:
- UNDERGROUND SERVICE ALERT 800-422.4133  
(GAS, ELECTRIC, TELEPHONE, WATER, SEWER, LIGHTING & T.V.)
- CITY IRRIGATION SYSTEMS & WIRING 619-533.5783
- CITY FACILITIES MAINTENANCE DIVISION 619-525-8500

## LOCATION MAP



**CITY OF SAN DIEGO  
PUBLIC WORKS PROJECT**

## PROJECT DIRECTORY

**CLIENT/LEGAL OWNER**  
CITY OF SAN DIEGO  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & CAPITAL PROJECTS  
525 B STREET 7TH FLOOR,  
SAN DIEGO, CA 92101  
COSELYN GOODRICH, PROJECT MANAGER  
(619) 533-4633  
YOVANNA HANNA, PROJECT ENGINEER  
(619) 533-5130

**CIVIL ENGINEER**  
FLORES LUND CONSULTANTS/BERGER ABAM  
10525 VISTA SORRENTO PARKWAY, SUITE 350  
SAN DIEGO, CA 92121  
PH: (858) 500-4500  
FAX: (858) 500-4501  
AHMAD KHAN

**ARCHITECT**  
PLATT/WHITELAW ARCHITECTS, INC.  
4034 30TH STREET  
SAN DIEGO, CA 92104  
PH: (619) 546-4326  
FAX: (619) 546-4350  
SANDRA GRAMLEY, PROJECT ARCHITECT

## CITY OF SAN DIEGO POLICY COMPLIANCE

- BACKFLOW DEVICE IS EXISTING AND SHALL BE PROTECTED AS PART OF THIS PROJECT
- COMPLY WITH HAZARDOUS MATERIALS PER CITY OF SAN DIEGO BULLETIN 116
- COMPLY WITH CONSTRUCTION AND DEMOLITION DEBRIS PER CITY BULLETIN 119
- COMPLY WITH STORM WATER REQUIREMENTS PER CITY OF SAN DIEGO STORM WATER MANAGEMENT PLAN AS DETERMINED BY FORM DS-560. PROJECT DOES NOT DISTURB MORE THAN 1 ACRE AND CREATES LESS THAN 5000 S.F. OF IMPERVIOUS SURFACE. PROJECT DOES NOT REQUIRE A N.P.D.E.S. PERMIT. PROJECT WILL REQUIRE CONSTRUCTION B.M.P. PER SECTION IV OF THE CITY OF SAN DIEGO'S STORM WATER STANDARDS MANUAL.

## RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ARCHITECT OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED REASONABLE CARE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME AS ARCHITECT OR ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

*Sandra S. Gramley*  
SANDRA S. GRAMLEY C-21703  
PLATT/WHITELAW ARCHITECTS INC. FEBRUARY 7, 2014  
DATE

## CONSTRUCTION & BUILDING CODES

- APPLICABLE BUILDING CODES:
- 2010 CA BLDG. STDS. ADMIN. CODE
  - 2010 CALIFORNIA BUILDING CODE
  - 2010 CALIFORNIA ELECTRICAL CODE
  - 2010 CALIFORNIA MECHANICAL CODE
  - 2010 CALIFORNIA PLUMBING CODE
  - 2010 CALIFORNIA ENERGY CODE
  - 2010 CALIFORNIA FIRE CODE
- TITLE 24 OF CALIFORNIA CCR PART 1  
TITLE 24 OF CALIFORNIA CCR PART 2  
TITLE 24 OF CALIFORNIA CCR PART 3  
TITLE 24 OF CALIFORNIA CCR PART 4  
TITLE 24 OF CALIFORNIA CCR PART 5  
TITLE 24 OF CALIFORNIA CCR PART 6  
TITLE 24 OF CALIFORNIA CCR PART 9
- ADDITIONAL APPLICABLE STANDARDS AND SPECIFICATIONS:
- 2012 GREENBOOK - STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE CITY OF SAN DIEGO WHITEBOOK, 2012 EDITION.
  - CONSULTANT'S GUIDE TO PARK PLANNING AND DEVELOPMENT, 2011 EDITION
  - CITY OF SAN DIEGO STANDARD DRAWINGS, INCLUDING ALL REGIONAL STANDARD DRAWINGS, 2012
  - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND DEPARTMENT OF JUSTICE 28 CFR PARTS 35 & 36

## LEGAL DESCRIPTION

ASSESSORS PARCEL NUMBER: 760-212-82-01

## CODE ANALYSIS

- CODE CLASSIFICATIONS:
- OCCUPANCY TYPE B
  - TYPE OF CONSTRUCTION V-B

## REMODELING NOTES

**DESCRIPTION OF WORK:**

THE WORK SHALL INCLUDE THE FURNISHING OF ALL NECESSARY MATERIALS AND EQUIPMENT, LABOR FOR DEMOLITION, CUTTING AND PATCHING AND RELATED WORK REQUIRED AS PREPARATION FOR TENANT IMPROVEMENTS. NEW WORK IS INDICATED IN THE DRAWINGS AND SPECIFICATIONS. WHERE A SPECIFIC ITEM IS NOT SPECIFIED OR SPECIFICALLY SHOWN, THE MATERIAL AND INSTALLATION SHALL MATCH THE EXISTING ADJACENT WORK. UPON COMPLETION OF THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS, LEAVE THE WORK BLENDED IN WITH AND BONDED OR SECURED TO EXISTING WORK. PATCHED AND REPAIRED AREAS SHALL BE IN TRUE PLANES WITH CLEAR LINES, SHARP CORNERS, TIGHT JOINTS, AND OTHER REQUIREMENTS AS REQUIRED FOR NEW CONSTRUCTION OF RESPECTIVE TRADES.

**SEQUENCING AND COORDINATION:**

SOME OF THE EXISTING SPACES TO BE REMODELED ARE IN USE AND PART OF THE AREA MUST REMAIN IN USE DURING DEMOLITION AND CONSTRUCTION. ALL EXISTING FACILITIES SHALL BE PROTECTED FROM DUST AND WATER DURING DEMOLITION, RECONSTRUCTION, AND RENOVATION. THE CONTRACTOR SHALL COORDINATE PHASING OF WORK WITH THE RESIDENT ENGINEER TO ALLOW FOR EXISTING FACILITIES TO BE KEPT OPERATING AND PROTECTED.

PHASING OF RESTROOM RENOVATIONS MUST BE UNDERTAKEN SUCH THAT ADEQUATE FACILITIES REMAIN AVAILABLE FOR USE BY THE PUBLIC. WHERE ADEQUATE FACILITIES CANNOT BE MAINTAINED ON SITE, APPROPRIATE ARRANGEMENTS SUCH AS PORTABLE FACILITIES OR DIRECTIONAL SIGNAGE TO GUIDE THE PUBLIC TO AVAILABLE FACILITIES MUST BE PROVIDED, TO THE SATISFACTION OF THE RESIDENT ENGINEER.

**CONCEALED AND UNFORESEEN CONDITIONS**

THE CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL UNFORESEEN AND CONCEALED CONDITIONS. THE REQUIRED PREBID INSPECTION BY THE CONTRACTOR SHALL THEREFORE BE CONSIDERED ACCEPTANCE BY THE CONTRACTOR OF ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ADEQUATE FUNDING FOR SUCH UNFORESEEN CONDITIONS AND ALL DEMOLITION, REPAIRS AND PATCHING OF SUCH UNFORESEEN CONDITIONS SHALL BE EXECUTED AT NO EXTRA COST TO THE OWNER.

**EXTENT OF WORK**

WHERE EXISTING ITEMS OF WORK ARE TO BE CUT ALTERED OR REMOVED OR OTHERWISE WORKED UPON, CONTINUE REMOVAL AND PREPARATORY WORK UNTIL SOUND, SOLID AND FIRM SURFACES, STRUCTURAL OR SUPPORTING MEMBERS OR UNDERLAYMENT ARE CLEAN AND FULLY EXPOSED.

Platt/Whitelaw Architects, Inc.  
4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350  
PWA PROJECT #: 0410

## BALBOA PARK ADA BARRIER REMOVAL - MORLEY FIELD

SHEET TITLE: **TITLE SHEET, SHEET INDEX AND DIRECTORY**  
CITY OF SAN DIEGO, CALIFORNIA  
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
SHEET 1 OF 6 SHEETS

SHEET NUMBER: **G-001**  
WBS: B-13020

FOR CITY ENGINEER		DATE		DATE	
DESCRIPTION	BY	APPROVED	DATE	FILED	
ORIGINAL	SG/SR		8/29/13		
CONTRACTOR: <b>ALT DARVISHI</b> INSPECTOR: <b>COSELYN GOODRICH</b> PROJECT MANAGER: <b>206-1719</b> CCS27 COORDINATE: <b>6280407-1846444</b> CCS83 COORDINATE: <b>37596-01-D</b>					

### GENERAL NOTES

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENFORCING ALL SAFETY MEASURES. CONFORM TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.
- THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, PRESCRIBED OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE DOCUMENTS.
- GENERAL BUILDING PERMIT SHALL BE OBTAINED BY CONTRACTOR.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, 2010 EDITION, AND CURRENT ADOPTED EDITIONS OF THE UNIFORM FIRE CODE, NFPA LIFE SAFETY CODE, NATIONAL ELECTRIC CODE, AMERICANS WITH DISABILITIES ACT REGULATIONS, AND ALL ANSI, ASTM AND OTHER STANDARDS.
- VERIFY ALL DIMENSIONS BEFORE STARTING WORK. NOTIFY THE RESIDENT ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND COORDINATION.
- VERIFY WITH RESIDENT ENGINEER WHETHER THESE NOTES OR SPECIFIC NOTES ON DRAWINGS SHALL TAKE PRECEDENCE IN CASE OF CONFLICT.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK SHOWN ON THE DRAWINGS. VERIFY WITH RESIDENT ENGINEER.
- PROVIDE DOUBLE BACK-TO-BACK 18 GAGE STEEL STUDS AT 48" O.C. IN ELECTRICAL SWITCHGEAR ROOM WALLS FOR EQUIPMENT SUPPORTS AND WHERE REQUIRED FOR STEEL LADDERS AND EQUIPMENT BACKING, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY PAINT LOCATIONS AND COLORS OF PAINTS AND STAINS WITH RESIDENT ENGINEER BEFORE APPLICATION.
- ICCES REPORT NUMBERS WHERE SHOWN ON DRAWINGS AND IN THE SPECIFICATIONS ARE SHOWN ONLY TO INDICATE THE REQUIREMENTS BY THE LOCAL BUILDING DEPARTMENT. OTHER PRODUCTS WITH APPROVED REPORT NUMBERS MAY BE USED IF SUBMITTED TO AND APPROVED BY THE RESIDENT ENGINEER AND THE BUILDING DEPARTMENT PRIOR TO INSTALLATION.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN.
- INTERIOR WALL AND CEILING FINISH FRAME-SPREAD RATINGS SHALL BE CLASS I AS REQUIRED BY CBC CHAPTER 804.1, 805 AND TABLE 8-B.
- IF THE BUILDING INSPECTOR DETERMINES NONCOMPLIANCE WITH ANY CURRENT ACCESSIBILITY PROVISIONS OF THE LAW, HE/SHE SHALL REQUIRE SUBMITTAL OF COMPLETE AND DETAILED PLANS TO THE PLAN REVIEW DIVISION OF THE DEVELOPMENT SERVICES DEPARTMENT FOR FURTHER REVIEW. PLANS MUST CLEARLY SHOW ALL EXISTING NONCOMPLIANCE CONDITIONS AFFECTED BY THE REMODEL (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC.) AND PROPOSED MODIFICATIONS OF DEFICIENCIES TO MEET CURRENT ACCESSIBILITY PROVISIONS. THE PLANS MUST BE STAMPED BY THE FIELD INSPECTOR PRIOR TO SUBMITTAL FOR PLAN REVIEW.
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87.
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION. (T 19, 3.08, 3.21.)
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10B:C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF OF EACH FLOOR. (CFC 1002.)
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. NO DEAD BOLTS OR SLIDING BOLTS ARE PERMITTED PER UBC. SEC. 3304(C), & UFC. SEC. 12.104(B). NO LATCH OR LOCKING DEVICE EXCEPT PANIC HARDWARE IS PERMITTED UBC. SEC. 3304(D), 3317(D), 3319(J), AND UFC SEC. 25.106.
- THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 4A:60B:C FOR PROTECTION DURING CONSTRUCTION.
- INFORMATION SHOWN BY CONSULTANTS OR DISCIPLINE DOCUMENTS IS NOT MEANT TO DEFINE SCOPE OF WORK OF SUBCONTRACTOR RESPONSIBILITY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE SCOPE OF WORK AMONG THE SUBCONTRACTORS DURING THE BIDDING PROCESS.
- ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF WORK. PROVIDE AND MAINTAIN TEMPORARY BARRICADES AND FACILITIES AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION. BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES OR EQUIPMENT. SUCH DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE UNDERGROUND UTILITIES INSTALLATION WITH THE UTILITY COMPANIES. UTILITY INSTALLATION SHOULD OCCUR PRIOR TO STREET PAVING OPERATIONS. CAUTION: BEFORE EXCAVATING, VERIFY THE LOCATION OF UNDERGROUND UTILITIES. MINIMUM OF 2 DAYS AND MAXIMUM OF 14 DAYS PRIOR TO EXCAVATION CONTACT FOR MARK-OUT SERVICE: 1-800-227-2600.

### ABBREVIATIONS

Ⓞ	AT	E.G.	FOR EXAMPLE	R.R.	RETURN REGISTER
A.B.	ANCHOR BOLT	E.J.	EXPANSION JOINT	REQ'D	REQUIRED
A.C.	ASPHALT CONCRETE	EL	ELEVATION	S.D.	SOAP DISH
A.COMP.	ASPHALT COMPOSITION	ELEC	ELECTRICAL	S.F.	SQUARE FEET
ACS	ACCESS COMPLIANCE (DSA)	ELEV	ELEVATOR	SHWR	SHOWER
A.C.T.	ACOUSTICAL TILE	EQ	EQUAL	SHT	SHEET
ADD'L	ADDITIONAL	E.R.	TACTILE "EXIT ROUTE" SIGN	SHT'G	SHEATHING
A/E	ARCHITECT/ENGINEER	ES	TACTILE "EXIT STAIRS" SIGN	SIM	SIMILAR
A.F.F.	ABOVE FINISH FLOOR	E.S.	EACH SIDE	SP	SPECIAL
ALT	ALTERNATE	EXHS'T	EXHAUST	SPC	SPACE
ALUM	ALUMINUM	EXP	EXPOSED	SQ	SQUARE
APPL	APPLICATION	E.J.	EXPANSION JOINT	S.R.	SUPPLY REGISTER
ARCH'L	ARCHITECTURAL	F/	FROM	SS	STRUCTURAL SAFETY (DSA)
ASPH	ASPHALT	FB	FIBERGLASS	S.S.	STAINLESS STEEL
BD	BOARD	F.D.	FLOOR DRAIN	STD	STANDARD
BLDG	BUILDING	F.H.	FIRE HYDRANT	STL	STEEL
B.O.B.	BOTTOM OF BEAM	F.E.C.	FIRE EXTINGUISHER	STRUCT	STRUCTURAL
BOT	BOTTOM	F.H.C	FIRE HOSE CABINET	SUSP	SUSPENDED
BM	BEAM	FIN	FINISH	T&B	TOP & BOTTOM
B.M.	BENCH MARK	FLASH'G	FLASHING	TEL	TELEPHONE
CLK'G	CAULKING	FLUOR	FLUORESCENT	THK	THICK
C.B.	CATCH BASIN	FLR	FLOOR	THRESH	THRESHOLD
CEM	CEMENT	FLR.T.	FLOOR TILE	T.STL	TOP OF
CHN'L	CHANNEL	FLS	FIRE & LIFE SAFETY (DSA)	T.P.H.	TOILET PAPER HOLDER
C.I.	CAST IRON	F.O.B.	FACE OF BUILDING	TRANS	TRANSVERSE
C.I.P.	CAST IN PLACE	F.O.C.	FACE OF CONCRETE	TLT	TOILET
C.J.	CONTROL JOINT	F.O.F.	FACE OF FINISH	TYP	TYPICAL
(-) / C.L.	CENTER LINE	F.O.M.	FACE OF MASONRY	O/	OVER
CLG	CEILING	F.O.P.	FACE OF POST	O.A.	OVERALL
CLR	CLEAR	F.O.S.	FACE OF STUD	O.C.	ON CENTER
C.M.U.	CONCRETE MASONRY UNIT	FT	FOOT	OCC	OCCUPANT/OCCUPANCY
COL	COLUMN	FTG	FOOTING	O.H.	OVERALL HEIGHT
CONC	CONCRETE	FURR'G	FURRING	OPN'G	OPENING
CONT	CONTINUOUS	F.V.	FIELD VERIFY	OPP.	OPPOSITE
CPT	CARPET	GA	GAUGE	OPP. H.	OPPOSITE HAND
CTR	CENTER	GRD	GRADE	PC	PIECE
CUB	CUBICLE	GEN	GENERAL	PERF	PERFORATED
		G.W.B.	GYPSON WALL BOARD	PLAS	PLASTIC
		GYP.	GYPSON	P.H.	PANIC HARDWARE
DBL	DOUBLE			P.L.	PLASTIC LAMINATE
DET	DETAIL			PLT	PLATE
D.F.	DRINKING FOUNTAIN	HARD'R	HARDENER	PLYWD	PLYWOOD
D.H.	DOUBLE HUNG	H.B.	HOSE BIB	P.O.A.	PATH OF TRAVEL
D.G.	DECOMPOSED GRANITE	HD	HEAD	(ACCESSIBLE)	(ACCESSIBLE)
DG. FIR	DOUGLAS FIR	HDWR	HARDWARE	P.S.A.	POUNDS PER SQUARE FOOT
(~) / DIA	DIAMETER	H.M.	HOLLOW METAL	P.T.	PRESSURE TREATED
DMG	DAMAGE	HORIZ	HORIZONTAL	(>)/P.L.	PROPERTY LINE
DR	DOOR	HT	HEIGHT	P.T.D.	PAPER TOWEL DISPENSER
DS	DOWNSPOUT	HW	HARDWOOD	Q.T.	QUARRY TILE
DSA	DIVISION OF STATE ARCHITECT	I.D.	INSIDE DIAMETER	QTY	QUANTITY
DWG	DRAWING	INSUL	INSULATION	RAD	RADIUS
E	TACTILE "EXIT" SIGN	INT	INTERIOR	REINF	REINFORCING
(E)	EXISTING	JAN	JANITOR	R.C.P.	REFLECTED CEILING PLAN
EA	EACH			R.O.	ROUGH OPENING
E.C.P.	EXTERIOR CEMENT PLASTER				

### BMP NOTES

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOILS AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOILS MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

### SYMBOLS

SYMBOL	USE
	SECTION CUT HORIZONTAL AND VERTICAL
	ELEVATION (EXTERIOR)
	ELEVATION (INTERIOR)
	DETAIL BOUNDARY
	DRAWING LABEL
	NORTH ARROW
	GRAPHIC SCALE
	CUT LINE
	DIMENSION (TO FACE OF)
	DIMENSION (TO CENTER OF)
	PLAN ELEVATION
	VERTICAL ELEVATION
	GRIDS • LETTERS (HORIZONTAL) • NUMBERS (VERTICAL) • TOP TO BOTTOM
	LEADER (W/ ARROW)
	LEADER (W/ DOT)
	KEYNOTE
	RESTROOM ACCESSORY
	WALL TYPE
	DOOR
	WINDOW
	ALTERNATIVE (LOUVER, ETC.)

**Platt/Whitelaw Architects, Inc.**  
 4034 30th Street, SAN DIEGO CA 92104  
 (619) 546-4326 FAX (619) 546-4350

PWA PROJECT #: 0410

## BALBOA PARK ADA BARRIER REMOVAL - MORLEY FIELD

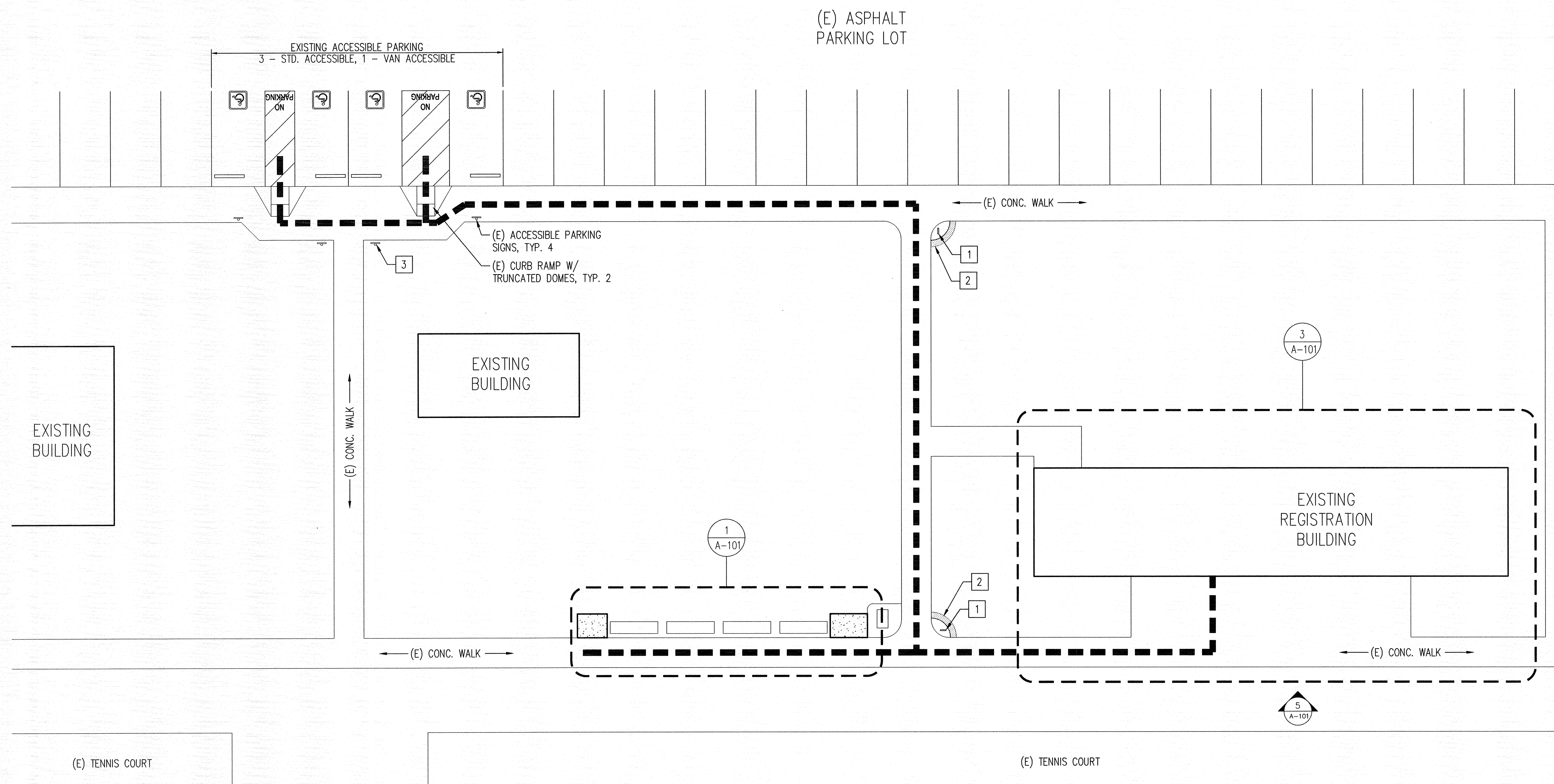
SHEET TITLE: <b>GENERAL NOTES &amp; ABBREVIATIONS</b>	SHEET NUMBER: <b>G-002</b>			
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 2 OF 6 SHEETS				
FOR CITY ENGINEER:  3/17/14	DATE: 3/17/14			
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	SG/SR		8/29/13	
COSELYN GOODRICH PROJECT MANAGER 206-1719 CCS27 COORDINATE 6280407-1846444 CCS83 COORDINATE				
CONTRACTOR	DATE STARTED	INSPECTOR		
		DATE COMPLETED		
<b>37596-02-D</b>				

KEYNOTES

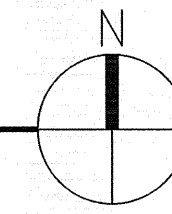
- 1 POST-MOUNTED DIRECTIONAL SIGNAGE PER 2/A-101
- 2 APPROXIMATE EXTENTS OF LANDSCAPE/IRRIGATION DISTURBANCE. SEE LANDSCAPE AND IRRIGATION NOTES THIS SHEET.
- 3 POST-MOUNTED DIRECTIONAL SIGNAGE ON EXISTING POST PER 2/A-101

GENERAL NOTES

ALL FLATWORK TO BE CONSTRUCTED WITH INTEGRAL COLORED CONCRETE TO MATCH EXISTING ADJACENT.



1 SITE PLAN  
1" = 10'-0"



LANDSCAPE AND IRRIGATION NOTES

1. ALL DISTURBED AREAS SHALL MATCH APPEARANCE OF ADJACENT AREAS AT END OF WORK. TURF SHALL BE REPLACED WITH SOD AS APPROVED BY PARK & RECREATION DEPARTMENT. SEE GREENBOOK AND WHITEBOOK SECTION 308 - LANDSCAPE AND IRRIGATION INSTALLATION.
2. PROJECT FOREMAN TO INSPECT PROJECT SITE PRIOR TO BEGINNING WORK AND MEET WITH SITE PERSONNEL TO DETERMINE WHICH EXISTING IRRIGATION FACILITIES ARE AFFECTED BY DEMOLITION/CONSTRUCTION OF SITE IMPROVEMENTS.
3. IRRIGATION MAINLINE, WIRE, VALVES AND CONTROLLERS WHICH SERVE PORTIONS OF THE CONSTRUCTION AREA OUTSIDE OF THE PROJECT SITE SHALL REMAIN OPERATIONAL.
4. EXERCISE CARE WHEN TRENCHING AROUND EXISTING LANDSCAPE AND PROTECT EXISTING LANDSCAPE DURING ALL PHASES OF WORK WHEN ENCOUNTERED, HAND TRENCH AROUND EXISTING TREE ROOTS OVER 2" DIA.
5. IT MAY BE NECESSARY TO RELOCATE AND/OR RECONNECT EXISTING IRRIGATION FACILITIES IN ORDER TO HAVE A FUNCTIONING SYSTEM. TAKE APPROPRIATE ACTION PRIOR TO DEMOLITION TO ENSURE THAT EXISTING PRESSURIZED WATER LINES, LATERAL LINES, AND

6. IRRIGATION CONTROL WIRES ARE PROPERLY DISCONNECTED, RELOCATED AND/OR CAPPED TO PREVENT WATER SPILLAGE OR POTENTIAL HAZARDS. VERIFY EXACT LOCATION OF FACILITIES WITHIN AND ADJACENT TO WORK AREAS.
7. HAVE A PROJECT FOREMAN ON SITE DURING DEMOLITION TO DISCONNECT AND CAP EXISTING IRRIGATION FACILITIES.
8. OBTAIN APPROVAL FROM RESIDENT ENGINEER FOR RELOCATION OF EXISTING FACILITIES PRIOR TO CONSTRUCTION.
9. VERIFY EXACT LOCATIONS AND STAKE ALL DISCONNECTED, CAPPED OR RELOCATED FACILITIES IN THE FIELD AFTER DEMOLITION HAS BEEN COMPLETED.
10. VERIFY LOCATIONS OF ALL PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER TRADES, INCLUDING PIPING AND WIRING. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT CITY RESIDENT ENGINEER FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
11. CONTRACTOR SHALL COORDINATE WITH THE CITY RESIDENT ENGINEER TO PRESERVE AND PROTECT EXISTING LANDSCAPE AND IRRIGATION SYSTEMS ADJACENT TO PROJECT SITE, AND

12. EXISTING IRRIGATION FACILITIES WITHIN PROJECT AREA AFFECTED BY THIS WORK. ALL TREES ADJACENT TO A CONSTRUCTION AREA SHALL BE PROTECTED BY PLACING ORANGE CAUTION FENCING AROUND THE TREE AT THE TREE'S DRIPLINE. ALL WORK, EQUIPMENT AND MATERIAL TO STAY CLEAR OF THESE AREAS.
13. ANY IRRIGATION SYSTEM COMPONENTS THAT NEED TO BE REROUTED OR RELOCATED, OR ARE DAMAGED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED. ALL IRRIGATION WORK SHALL CONFORM TO THE CITY OF SAN DIEGO'S JAN. 2011 ISSUE OF THE CONSULTANT'S GUIDE TO PARK DESIGN AND DEVELOPMENT AND ALL OTHER LANDSCAPE-RELATED CITY AND REGIONAL STANDARDS.
14. ALL IRRIGATION SYSTEM ADJUSTMENTS ARE TO BE INSPECTED BY THE PARK AND RECREATION DEPARTMENT AND SHALL BE SHOWN TO OPERATE SATISFACTORILY.

Platt/Whitelaw Architects, Inc.  
4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350

PWA PROJECT #: 0410

BALBOA PARK ADA BARRIER REMOVAL - MORLEY FIELD

SHEET TITLE: <b>SITE PLAN</b>		SHEET NUMBER: <b>A-001</b>	
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 3 OF 6 SHEETS		WBS # <b>B-13020</b>	
FOR CITY ENGINEER <i>[Signature]</i> 3/17/14		ALI DARVISHI SECTION HEAD	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	SG/SR		8/29/13
CONTRACTOR		DATE STARTED	
INSPECTOR		DATE COMPLETED	
		<b>37596-03-D</b>	

d:\0410 Morley Field Registration\04103-Drawings\Morley Field ADA\Shaw-V-301.dwg 05/07/2014 14:19

BALBOA PARK ADA BARRIER REMOVAL - MORLEY FIELD

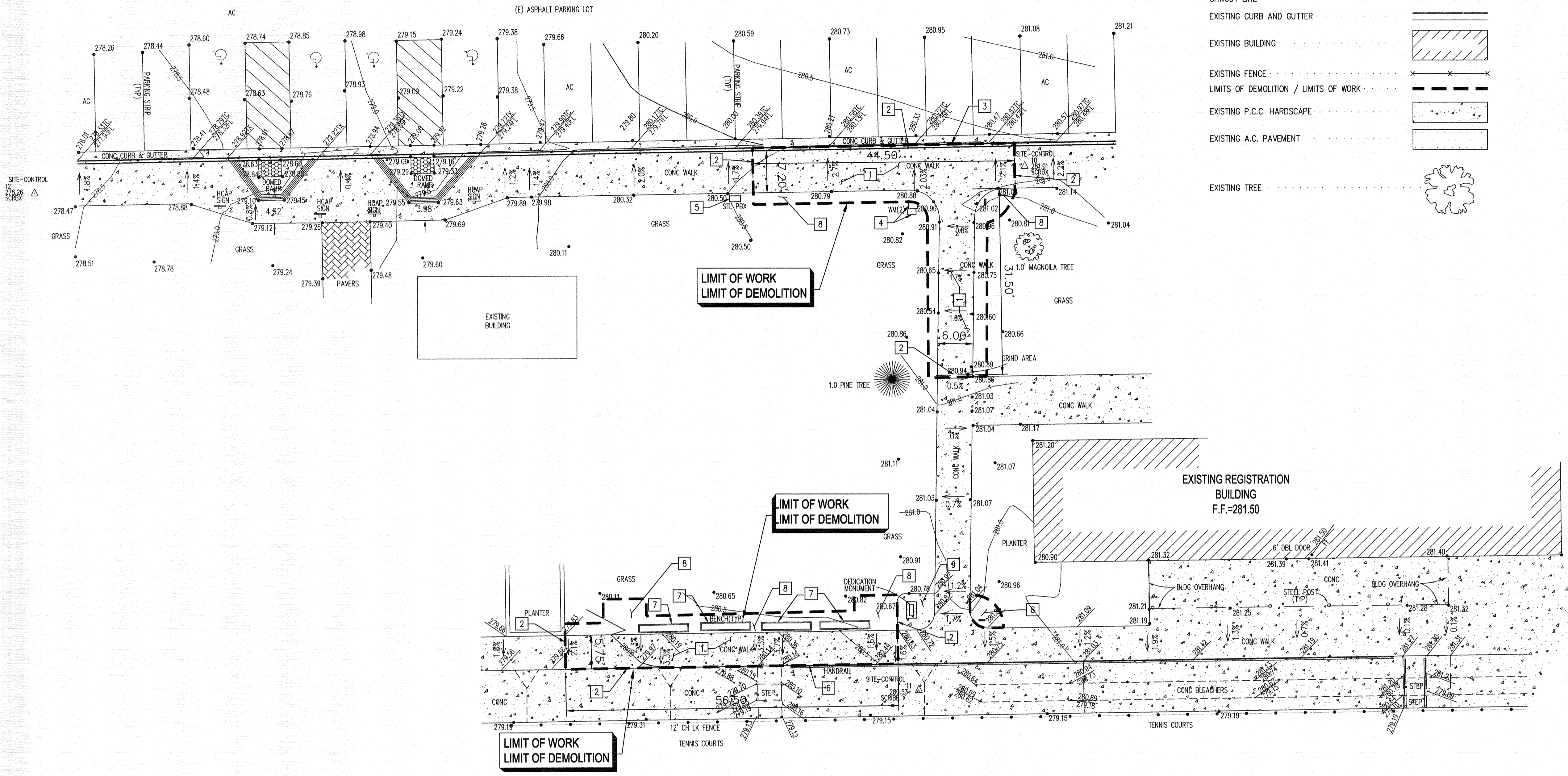
**LEGEND**

DESCRIPTION SYMBOL

- SAWCUT LINE - - - - -
- EXISTING CURB AND GUTTER - - - - -
- EXISTING BUILDING [Hatched Box Symbol]
- EXISTING FENCE - - - - -
- LIMITS OF DEMOLITION / LIMITS OF WORK [Dashed Line Symbol]
- EXISTING P.C.C. HARDSCAPE [Stippled Box Symbol]
- EXISTING A.C. PAVEMENT [Dotted Box Symbol]
- EXISTING TREE [Tree Symbol]

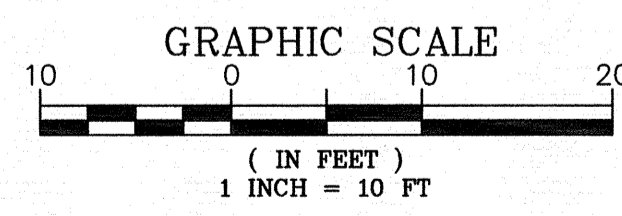
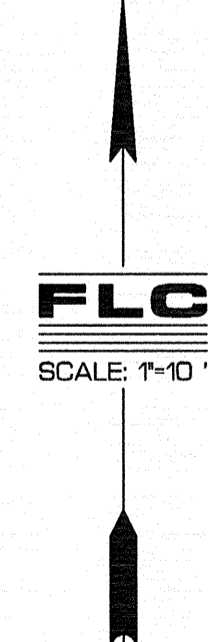
**DEMOLITION KEY NOTES**

1	SAWCUT, DEMOLISH AND REMOVE EXISTING 6"± CONCRETE.
2	PROPOSED SAWCUT LINE TO THE NEAREST JOINT. IF EXPANSION JOINT IS ONE PANEL AWAY THEN REMOVE THE ADDITIONAL PANEL.
3	PROTECT IN PLACE EXISTING CURB AND GUTTER.
4	PROTECT IN PLACE EXISTING WATER METER.
5	PROTECT IN PLACE EXISTING PULL BOX.
6	PROTECT IN PLACE EXISTING RAILING.
7	PROTECT IN PLACE EXISTING BENCH.
8	CONTRACTOR TO FIELD VERIFY AND FLAG EXISTING IRRIGATION HEADS, WIRES AND LINES WITHIN AND ADJACENT TO LIMIT OF DEMOLITION. PROTECT IN PLACE AND SHUT DOWN HEADS DURING CONSTRUCTION. REPLACE IN KIND IF DAMAGED DUE TO CONSTRUCTION ACTIVITY. RESTART IRRIGATION SERVICE AFTER CONSTRUCTION IS COMPLETE.
9	PROTECT IN PLACE EXISTING CONCRETE AND APPURTENANCES.



**DEMOLITION GENERAL NOTES**

- DEMOLISH AND REMOVE ALL EXISTING IMPROVEMENTS WITHIN LIMITS OF WORK UNLESS INDICATED OTHERWISE. KEYNOTES REFER TO TYPICAL ITEMS OF DEMOLITION AND ARE NOT ALL-INCLUSIVE.
- THE CONTRACTOR SHALL NOTIFY DIGALERT (1-800-227-2600) AT LEAST TWO DAYS PRIOR TO STARTING WORK AND SHALL ARRANGE FOR AND COORDINATE SHUT DOWN, DISCONNECTION AND CAPPING OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNERS PRIOR TO COMMENCING THE WORK.
- PROTECT IN PLACE ALL EXISTING IMPROVEMENTS, STRUCTURES AND UNDERGROUND UTILITIES TO REMAIN.
- THE LOCATION AND EXISTENCE OF EXISTING UNDERGROUND FACILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SEARCH OF AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL POTHOLE EXISTING UTILITIES AT POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS TO DETERMINE EXACT LOCATION PRIOR TO STARTING ANY WORK.
- COORDINATE LOCATION OF ALL UNDERGROUND UTILITIES AND STORM DRAINS WITH TREE LOCATIONS, MECHANICAL/ELECTRICAL FACILITIES, AND OTHER INSTALLATIONS. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL EXISTING "DRY" UTILITIES SHOWN HEREON ARE FOR INFORMATION PURPOSES ONLY. REFER TO APPROPRIATE UTILITY COMPANY PLANS FOR ANY WORK ON OR WITH THESE UTILITIES.
- REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- WORK MAY OCCUR BEYOND THE LIMIT OF WORK LINE INDICATED ON THESE DRAWINGS. THIS ADDITIONAL WORK MAY INCLUDE, BUT IS NOT LIMITED TO, UTILITY INSTALLATION; FOOTING AND FOUNDATION CONSTRUCTION; TRENCH REPAIR; TRENCHING AND TRENCH RESURFACING; PCC/AC REPAIR; HARDSCAPE, LANDSCAPING AND/OR SHORING. IN ADDITION, REFER TO THE ARCHITECTURAL SHEETS FOR ITEMS THAT MAY NOT BE SHOWN ON THIS SHEET.



**Platt/Whitelaw Architects, Inc.**  
 4034 30th Street, SAN DIEGO CA 92104  
 (619) 546-4326 FAX (619) 546-4350

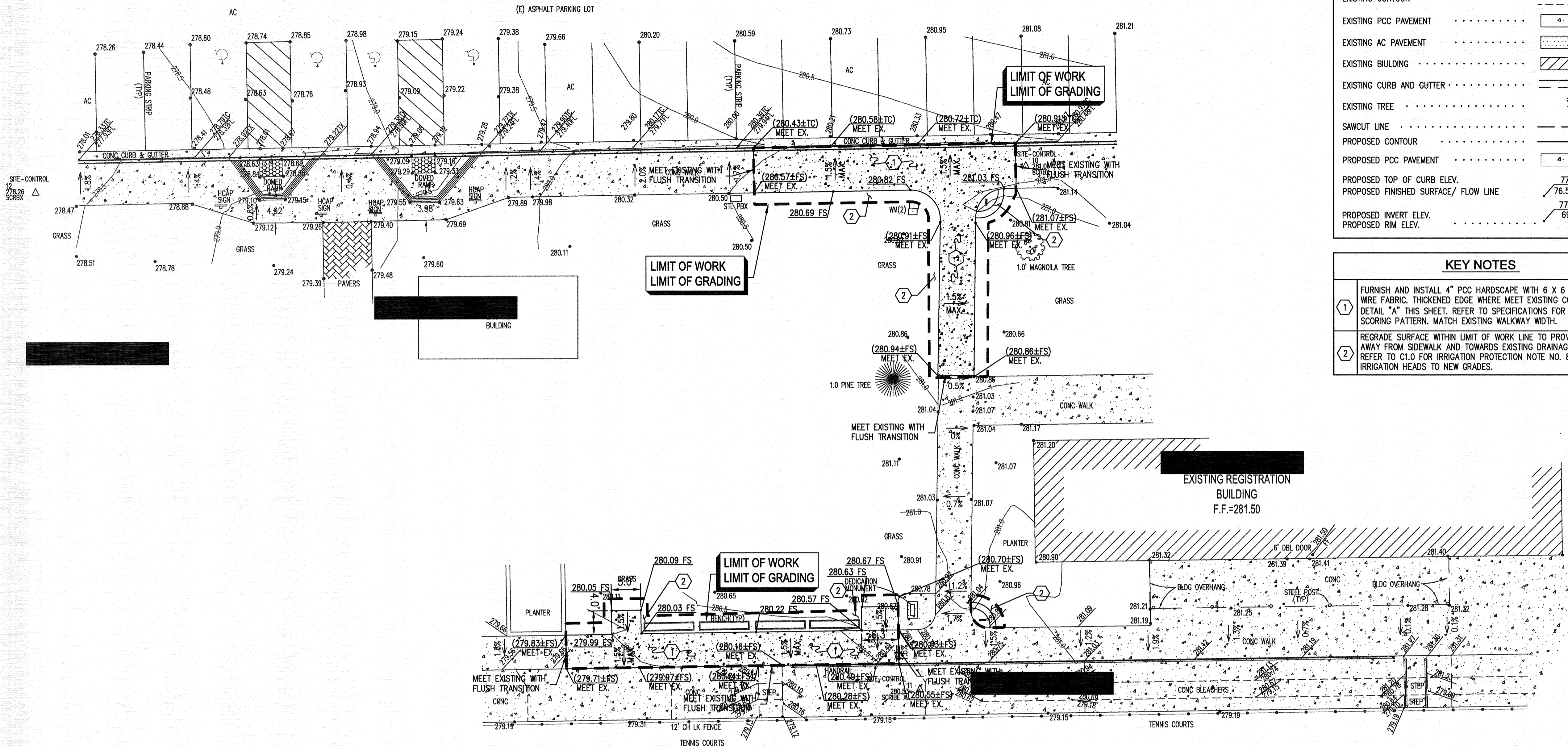
PWA PROJECT #: 0410

**BALBOA PARK MORLEY FIELD TENNIS REGISTRATION ADA**

SHEET TITLE: <b>EXISTING CONDITION AND DEMOLITION PLAN</b>	SHEET NUMBER: <b>C1.0</b>
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 4 OF 6 SHEETS	WBS <b>B-13020</b>
FOR CITY ENGINEER: <i>[Signature]</i> DATE: <b>3/17/14</b>	ALI DARVISHI SECTION HEAD
DESCRIPTION BY APPROVED DATE FILMED	COSELYN GOODRICH PROJECT MANAGER
ORIGINAL AAK - - - - -	206-1719
	CCS27 COORDINATE
	6280407-1846444
	CCS83 COORDINATE
CONTRACTOR _____ DATE STARTED _____	37596-04-D
INSPECTOR _____ DATE COMPLETED _____	

**BergerABAM**  
 506 West Graham Avenue, Suite 104  
 Lake Elsinore, CA 92530 (858) 500-4500

DATE: 08/26/13  
 PLOTTED: 2:26 P  
 FLC PROJECT NO. A13.0274  
 DESIGN BY: AAK  
 DRAWN BY: SLL  
 REVIEWED BY: AAK

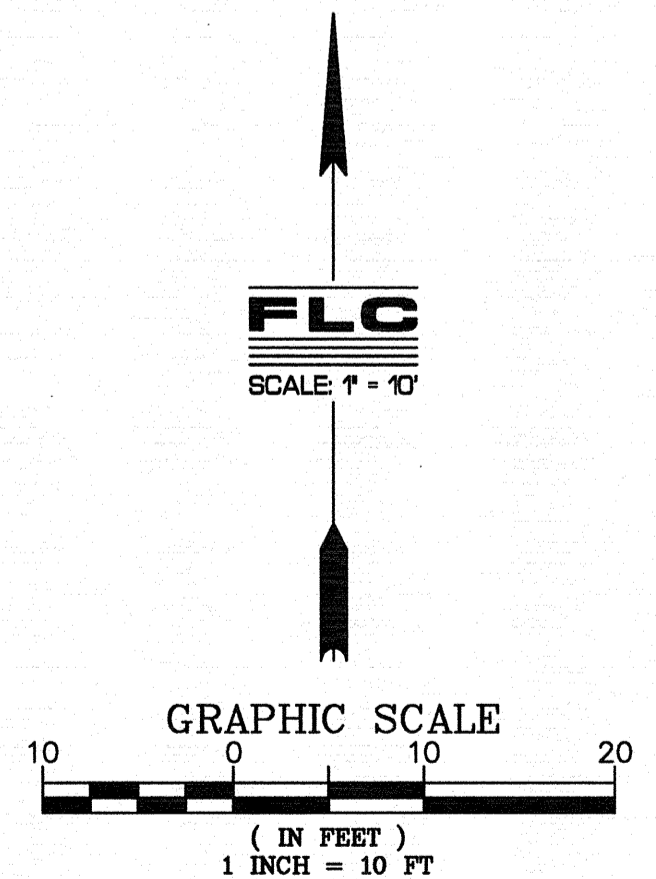
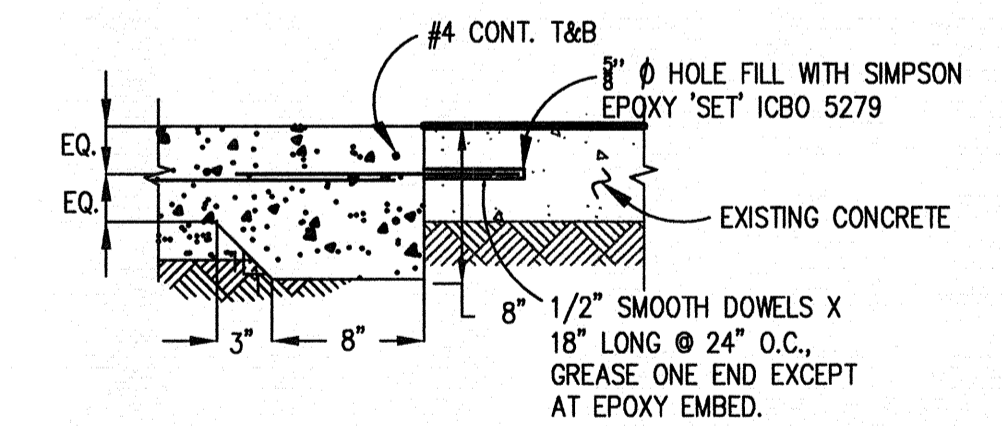


LEGEND	
ITEM	SYMBOL
APPROX. LIMIT OF WORK	---
EXISTING CONTOUR	---
EXISTING PCC PAVEMENT	▨
EXISTING AC PAVEMENT	▨
EXISTING BUILDING	▨
EXISTING CURB AND GUTTER	▨
EXISTING TREE	🌳
SAWCUT LINE	---
PROPOSED CONTOUR	---
PROPOSED PCC PAVEMENT	▨
PROPOSED TOP OF CURB ELEV.	77.00 TC
PROPOSED FINISHED SURFACE/ FLOW LINE	76.50 FS/FL
PROPOSED INVERT ELEV.	77.00 RIM
PROPOSED RIM ELEV.	69.00 IE

KEY NOTES	
1	FURNISH AND INSTALL 4" PCC HARDSCAPE WITH 6 X 6 W4XW4 WELDED WIRE FABRIC. THICKENED EDGE WHERE MEET EXISTING CONCRETE. SEE DETAIL "A" THIS SHEET. REFER TO SPECIFICATIONS FOR JOINTING AND SCORING PATTERN. MATCH EXISTING WALKWAY WIDTH.
2	REGRADE SURFACE WITHIN LIMIT OF WORK LINE TO PROVIDE DRAINAGE AWAY FROM SIDEWALK AND TOWARDS EXISTING DRAINAGE PATTERN. REFER TO C.I.O. FOR IRRIGATION PROTECTION NOTE NO. 8. ADJUST IRRIGATION HEADS TO NEW GRADES.

- GENERAL NOTES**
- THE CONTRACTOR SHALL NOTIFY DIGALERT (1-800-227-2600) AT LEAST TWO DAYS PRIOR TO STARTING WORK AND SHALL ARRANGE FOR AND COORDINATE SHUT DOWN, DISCONNECTION AND CAPPING OF EXISTING UTILITIES WITH THE APPROPRIATE UTILITY OWNERS PRIOR TO COMMENCING THE WORK.
  - PROTECT IN PLACE ALL EXISTING IMPROVEMENTS, STRUCTURES AND UNDERGROUND UTILITIES TO REMAIN.
  - THE LOCATION AND EXISTENCE OF EXISTING UNDERGROUND FACILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM A SEARCH OF AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL POHOLE EXISTING UTILITIES AT POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS TO DETERMINE EXACT LOCATION PRIOR TO STARTING ANY WORK.
  - COORDINATE LOCATION OF ALL UNDERGROUND UTILITIES AND STORM DRAINS WITH TREE LOCATIONS AND MECHANICAL/ELECTRICAL FACILITIES.
  - ALL EXISTING "DRY" UTILITIES SHOWN HEREON ARE FOR INFORMATION PURPOSES ONLY. REFER TO APPROPRIATE UTILITY COMPANY PLANS FOR ANY WORK ON OR WITH THESE UTILITIES.
  - REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.

- ACCESSIBILITY NOTES**
- COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE (2010 CBC) FOR ALL SITE IMPROVEMENTS.
  - MAXIMUM CROSS SLOPE ON WALKWAYS SHALL BE 2%.
  - NO CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE ALLOWED WITHOUT A CURB RAMP. CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2.
  - CATCH BASIN AND DRAIN INLET GRATES SHALL HAVE SPACES NO GREATER THAN 1/2" WIDE IN ONE DIRECTION. IF GRATINGS HAVE ELONGATED OPENINGS, THEY SHALL BE PLACED SO THE LONG DIMENSION IS PERPENDICULAR TO THE DOMINANT DIRECTION OF TRAVEL.
  - CURB RAMPS SHALL BE REQUIRED WHEREVER ACCESSIBLE ACCESS ROUTES CROSS A CURB.
  - ACCESSIBLE RAMPS AND HANDRAILS SHALL BE REQUIRED WHEREVER SLOPE EXCEEDS 5%. MAXIMUM SLOPE SHALL BE 8.33%. LEVEL LANDINGS SHALL BE INSTALLED AT TOP AND BOTTOM OF EACH RUN EQUAL TO THE WIDTH OF THE RAMP, 60" X 60" MINIMUM, AND INTERMEDIATE LANDINGS AT INTERVALS NOT EXCEEDING 30" OF VERTICAL RISE. BOTTOM LANDINGS AND INTERMEDIATE LANDINGS WITH DIRECTION CHANGES IN EXCESS OF 30 DEGREES SHALL BE MINIMUM 72" IN THE DIRECTION OF TRAVEL. RAMPS AND LANDINGS WITH VERTICAL SIDE DROP-OFFS SHALL HAVE WALLS, RAILINGS, PROTECTIVE SURFACES OR MINIMUM 6" HIGH CURBS.
  - ALL PAVEMENT CROSS SLOPES (SLOPES PERPENDICULAR TO THE DIRECTION OF TRAVEL) SHALL BE A MAXIMUM OF 2%. ALL RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 IN 12. ALL LANDINGS AT STAIRS AND RAMPS SHALL HAVE A MAXIMUM SLOPE OF 2% (BOTH DIRECTIONS). ALL WALKWAYS SHALL HAVE A MAXIMUM SLOPE LESS THAN 5% IN THE DIRECTION OF TRAVEL. ALL MAXIMUM SLOPES ARE ABSOLUTE AND SUPERSEDE CONSTRUCTION TOLERANCES STATED IN THE PROJECT SPECIFICATION OR ELSEWHERE. THE CONTRACTOR HAS THE OPTION OF ADJUSTING GRADES TO ALLOW FOR CONSTRUCTION TOLERANCE BUT SHALL NOT ADJUST GRADES TO LESS THAN 1% SLOPE OR GREATER THAN 2%. THE CONTRACTOR SHALL CONTACT THE RESIDENT ENGINEER REGARDING ANY GRADE REVISIONS PRIOR TO CONSTRUCTION OF PAVEMENT AREAS. THE PAVEMENT SLOPES WILL BE REVIEWED AFTER CONSTRUCTION AND PAVEMENT OVER THE MAXIMUM SLOPES SPECIFIED ABOVE SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.



**Platt/Whitelaw Architects, Inc.**  
 4034 30th Street, SAN DIEGO CA 92104  
 (619) 546-4326 FAX (619) 546-4350

**BALBOA PARK MORLEY FIELD TENNIS REGISTRATION ADA**

SHEET TITLE: GRADING AND PAVING PLAN SHEET NUMBER: C2.0

CITY OF SAN DIEGO, CALIFORNIA  
 ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
 SHEET 5 OF 6 SHEETS

FOR CITY ENGINEER: [Signature] DATE: 3/17/14

DESCRIPTION	BY	APPROVED	DATE	FILED
ORIGINAL	AAK	[Signature]	8/24/13	

CONTRACTOR: COSELYN GOODRICH PROJECT MANAGER: 206-1719  
 CCS27 COORDINATE: 6280407-1846444  
 CCS83 COORDINATE: 37596-05-D

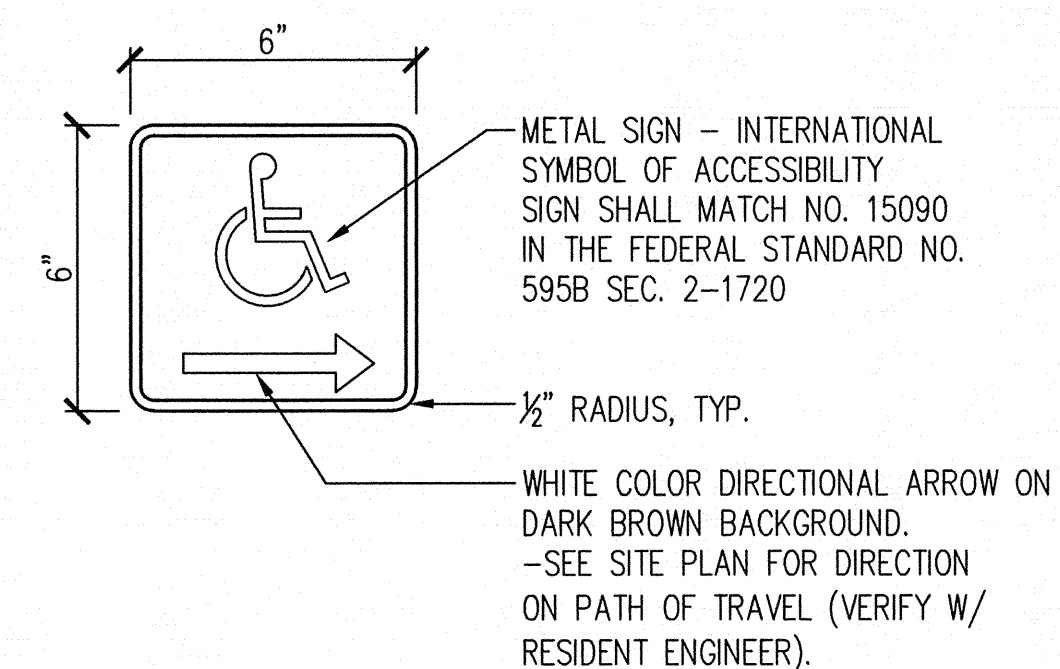
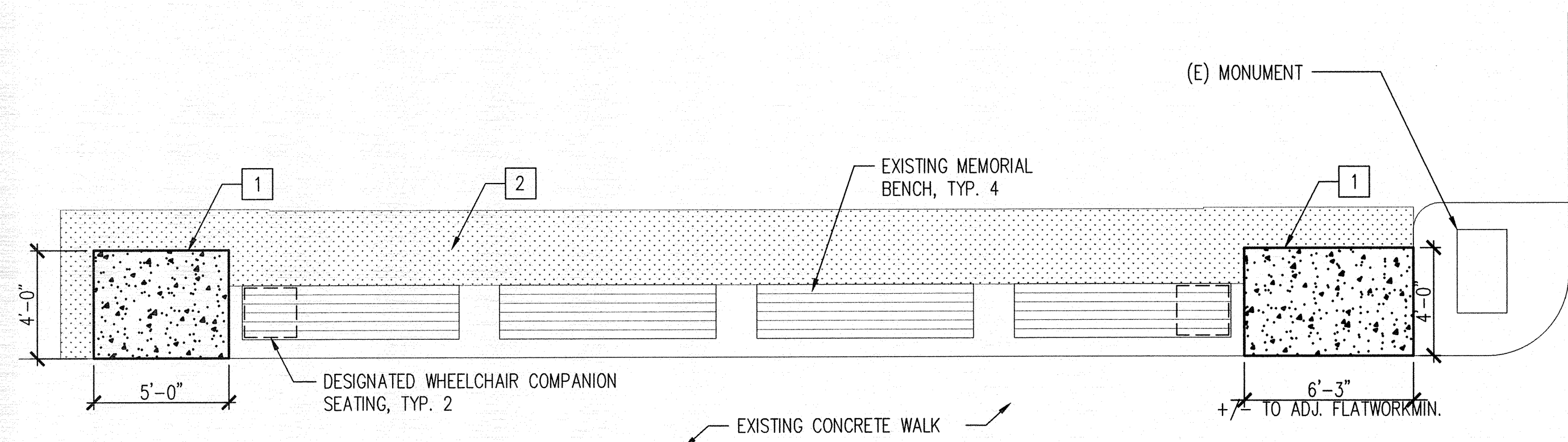
**BergerABAM**  
 506 West Graham Avenue, Suite 104  
 Lake Elsinore, CA 92530 (858) 500-4500

DATE: 08/26/13  
 PLOTTED: 2:49 P  
 FLC PROJECT NO: A13.0274  
 DESIGN BY: AAK  
 DRAWN BY: SLL  
 REVIEWED BY: AAK



KEYNOTES

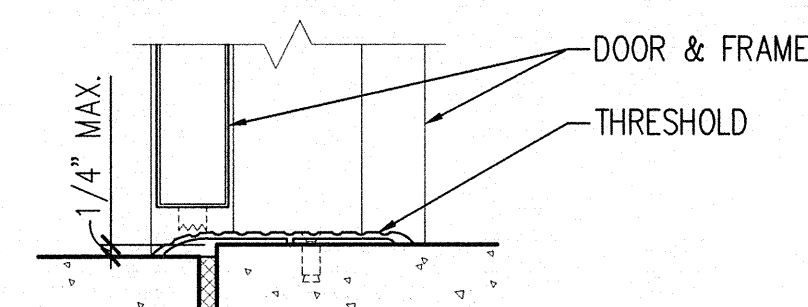
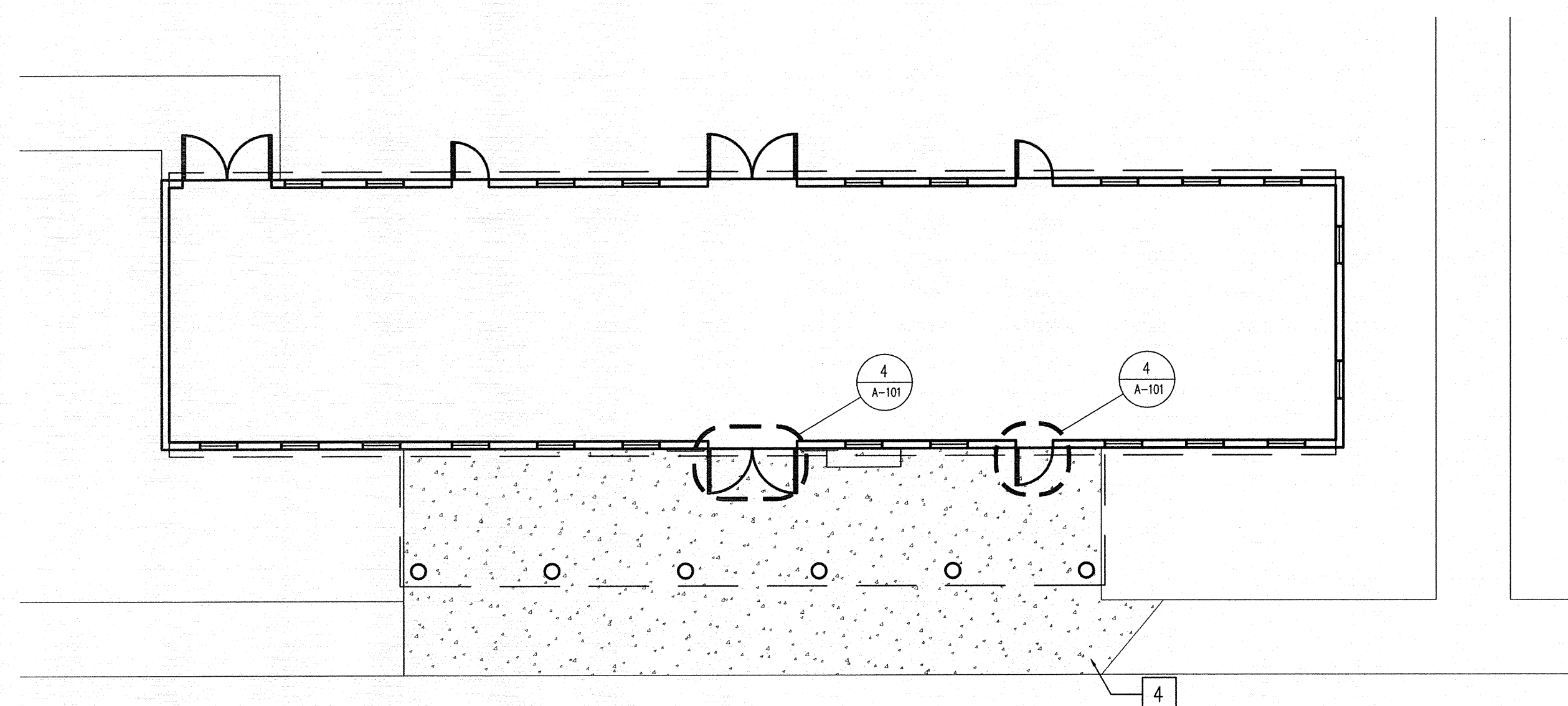
- 1 CONCRETE SLAB FOR WHEELCHAIR SEATING. ALL FLATWORK TO BE CONSTRUCTED WITH INTEGRAL COLORED CONCRETE TO MATCH EXISTING ADJACENT.
- 2 APPROXIMATE EXTENTS OF LANDSCAPE/IRRIGATION DISTURBANCE. SEE LANDSCAPE AND IRRIGATION NOTES SHEET A-001.
- 3 PROVIDE SADDLE THRESHOLD PER 4/A-101. TRIM DOOR BOTTOMS AND PROVIDE SWEEP TO MEET NEW ELEVATIONS AND THRESHOLDS.
- 4 NEW CONCRETE PAVEMENT PER C-2.0.



NOTE: MOUNTING SHALL BE ON A 2 1/2" SQ. GALV. STEEL TUBE WITH 80" TO BOTTOM OF SIGN WITH 1'-6" CONC. FTG. 15" DEEP. OR WALL AT 60" CENTER TO GRADE PERMANENTLY ATTACHED TO STRUCTURE U.O.N.

1 ENLARGED MEMORIAL BENCH SEATING PLAN  
1/4" = 1'-0"

2 DIRECTIONAL SIGN  
1/2" = 1'-0"

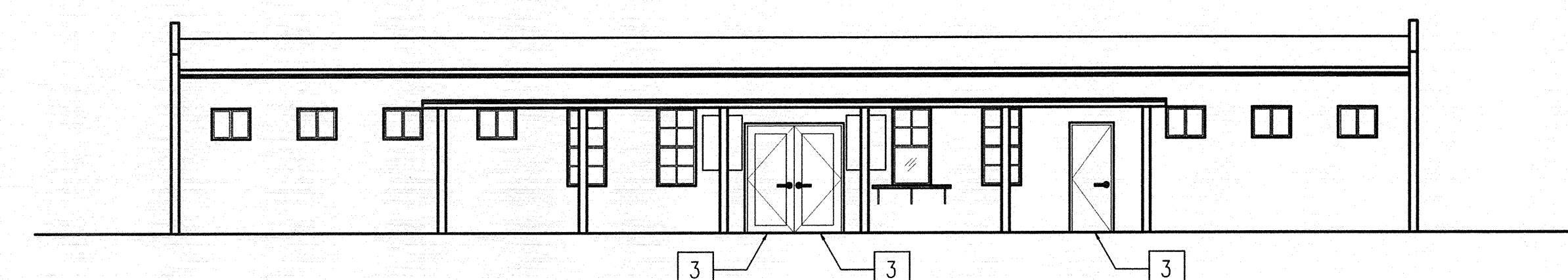


GENERAL NOTES:

OFFSET SADDLE THRESHOLDS SHOWN REQUIRE MAXIMUM 1/4" LEVEL CHANGE BETWEEN INTERIOR & EXTERIOR SLABS. IF TRANSITIONS BETWEEN SLABS IS FLUSH DUE TO LACK OF DROP OR THICKNESS OF FINISH MATERIALS, NOTIFY RESIDENT ENGINEER FOR CLARIFICATION REGARDING USE OF A SADDLE THRESHOLD IN LIEU OF OFFSET SADDLE.

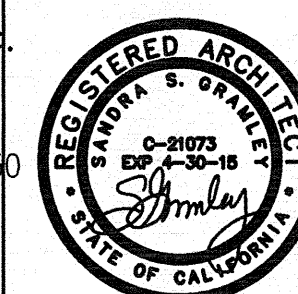
3 ENLARGED SITE PLAN  
1/8" = 1'-0"

4 ENLARGED COUNTER PLAN  
1/2" = 1'-0"



5 REGISTRATION BUILDING SOUTH ELEVATION  
1/8" = 1'-0"

Platt/Whitelaw Architects, Inc.  
4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350  
PWA PROJECT #: 0410



BALBOA PARK ADA BARRIER REMOVAL - MORLEY FIELD

SHEET TITLE: ENLARGED PLANS SHEET NUMBER: A-101

CITY OF SAN DIEGO, CALIFORNIA  
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
SHEET 6 OF 6 SHEETS WBS: B-13020

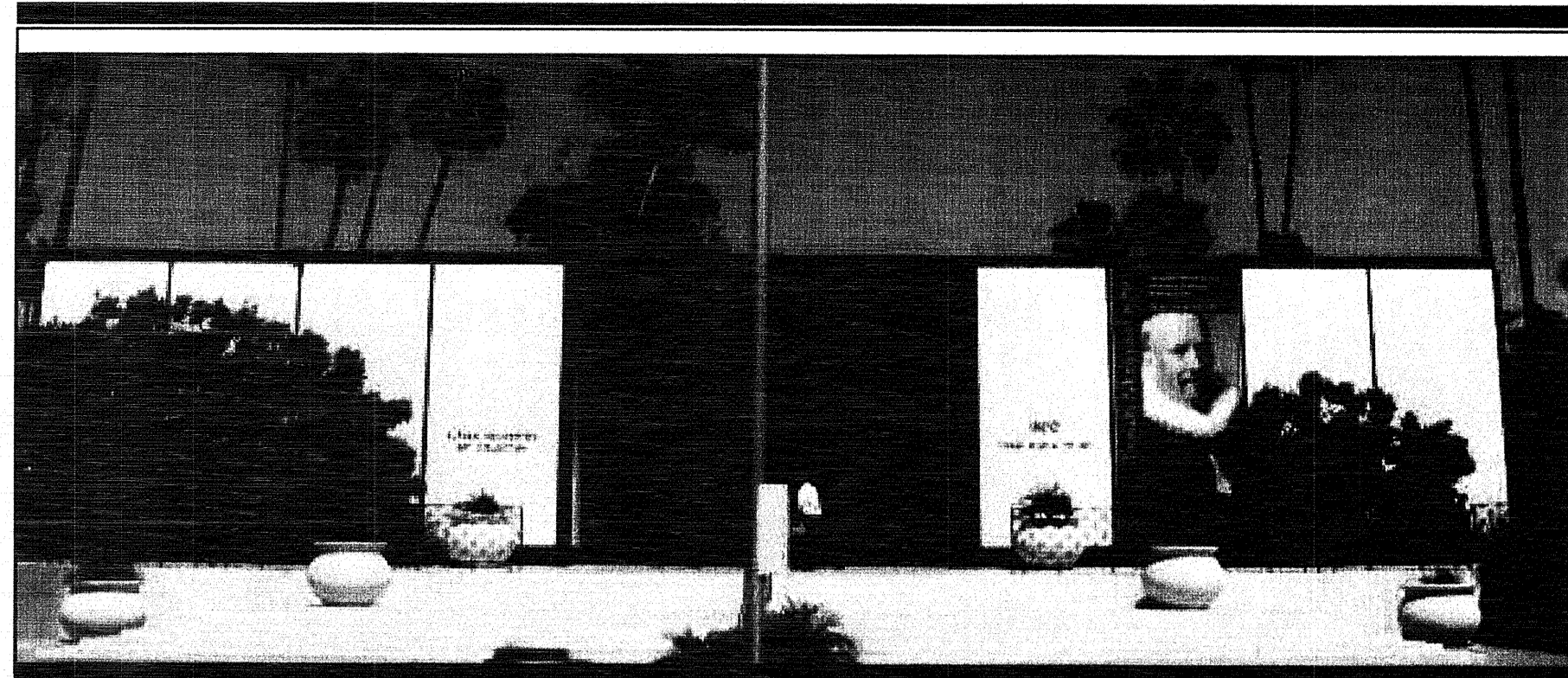
FOR CITY ENGINEER: [Signature] DATE: 3/17/14 ALI DARVISHI SECTION HEAD

DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	SG/SR		8/29/13	

COSELYN GOODRICH PROJECT MANAGER  
206-1719  
CCS27 COORDINATE 6280407-1846444  
CCS83 COORDINATE

CONTRACTOR: \_\_\_\_\_ DATE STARTED: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_

37596-06-D



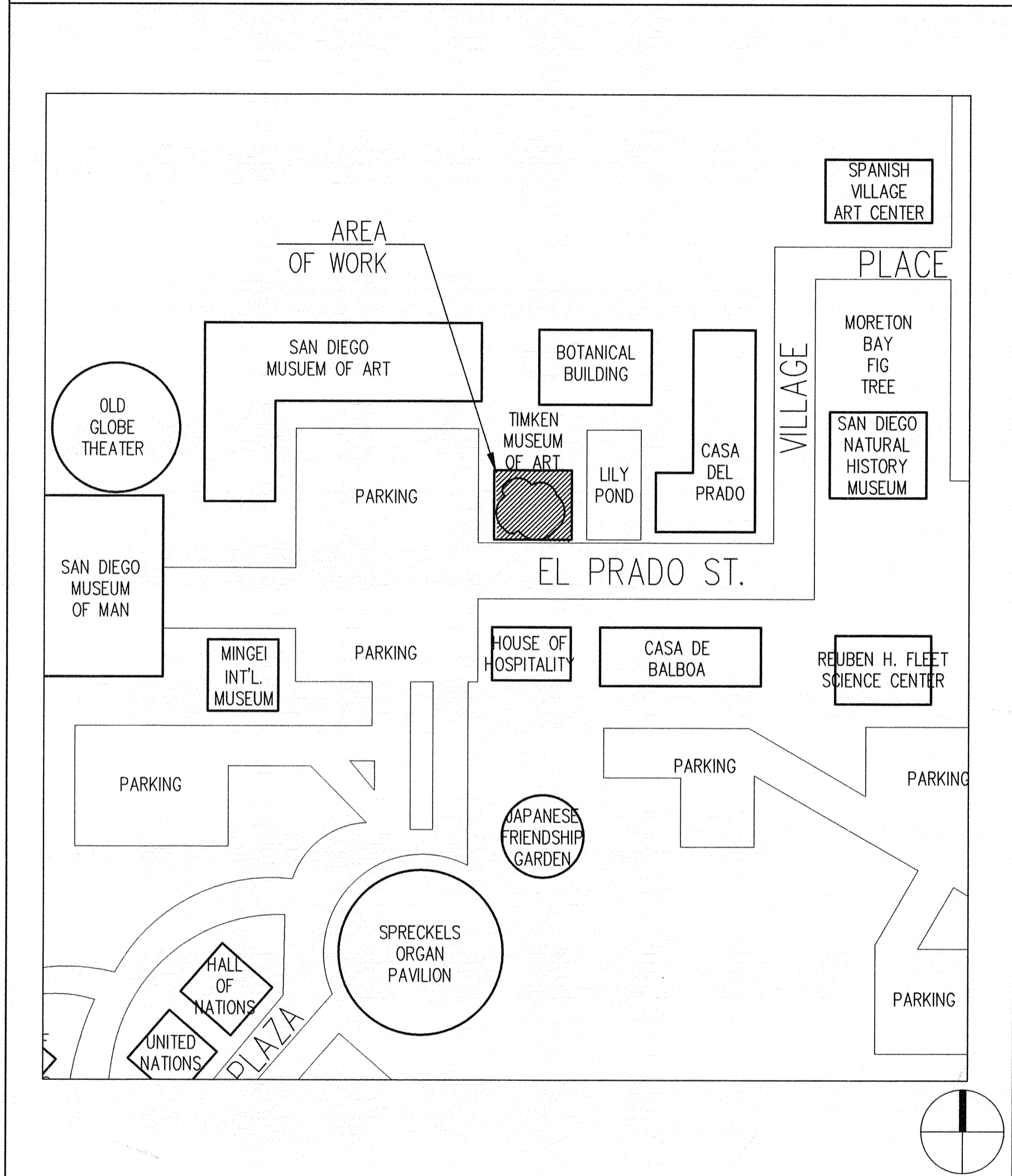
# BALBOA PARK ADA BARRIER REMOVAL TIMKEN GALLERY

1500 EL PRADO, SAN DIEGO, CA 92101

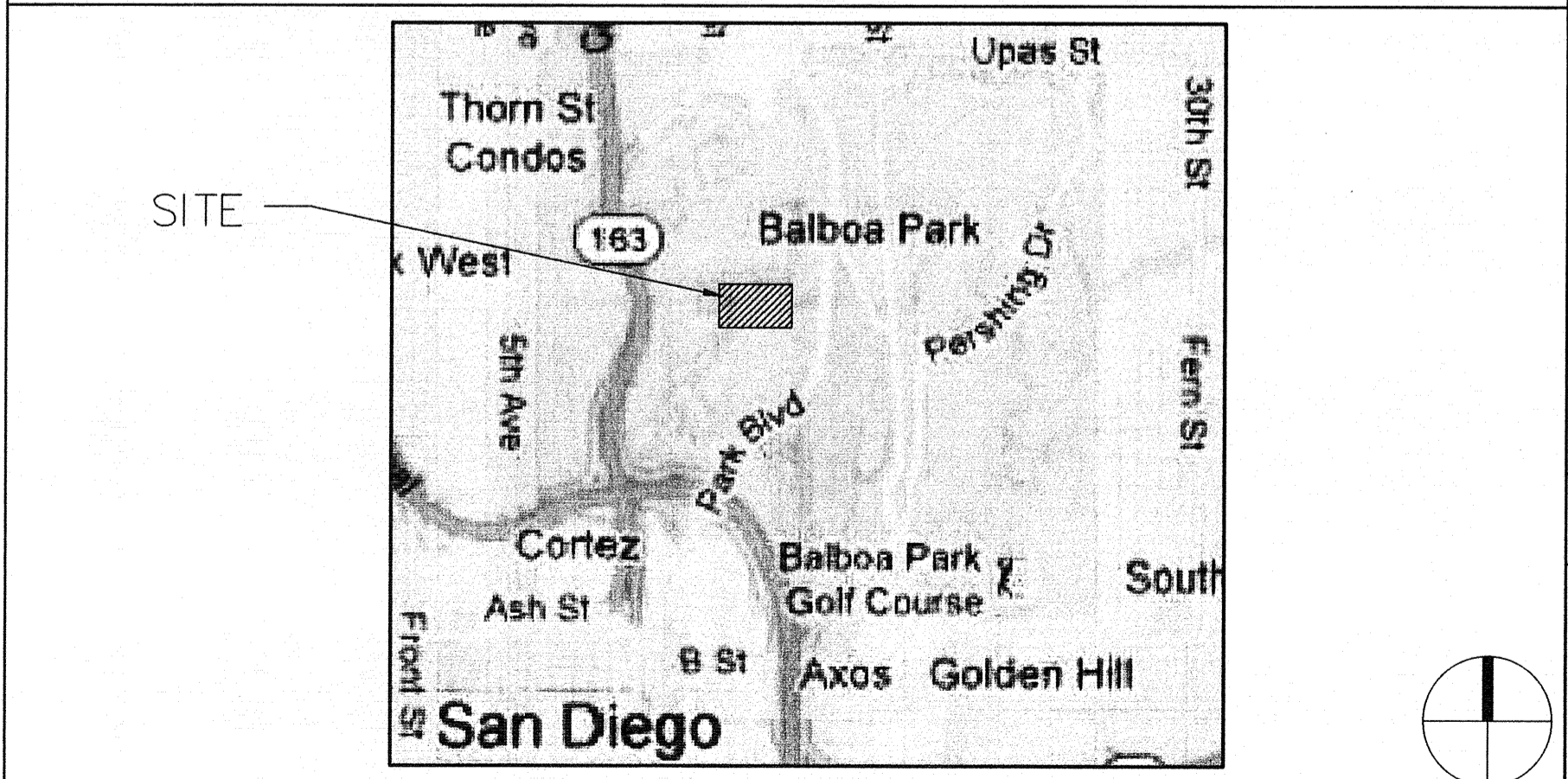
## SHEET INDEX

<b>GENERAL</b>	
1. G-001	TITLE SHEET, SHEET INDEX AND DIRECTORY
2. G-002	NOTES, CODES, LEGEND & ABBREVIATIONS
<b>ARCHITECTURAL</b>	
3. A-101	FLOOR PLAN
4. A-102	ENLARGED FLOOR PLANS & SCHEDULES
<b>PLUMBING</b>	
5. P-01	PLUMBING NOTES & LEGENDS
6. P-1.0	PLUMBING FLOOR PLANS
<b>ELECTRICAL</b>	
7. E-001	SYMBOLS & GENERAL NOTES
8. E-101	FIRST FLOOR PLAN

## LOCATION MAP



## VICINITY MAP



## PARK CONSTRUCTION INSPECTION STAGES AND INSPECTION TEAM

- PARK INSPECTION TEAM**
- A. SITE SUPERINTENDENT (CONTRACTOR/DEVELOPER'S REPRESENTATIVE)
  - B. CONTRACTOR(S)
  - C. RESIDENT ENGINEER FROM FIELD ENGINEERING DEPARTMENT
  - D. CITY PROJECT MANAGER
  - E. DESIGN CONSULTANT
  - F. PARK AND RECREATION DISTRICT MANAGER
  - G. PARK AND RECREATION ASSET MANAGER
- PARK CONSTRUCTION INSPECTION STAGES: (MINIMUM DEPENDING ON PROJECT)**
1. PRE-CONSTRUCTION MEETING.
  2. PROJECT CONSTRUCTION 90 PERCENT COMPLETE (DEVELOP PUNCH LIST AND SUBMIT RED-LINE AS-BUILTS).
  3. FINAL WALK-THROUGH, ACCEPTANCE BY THE CITY. CONTRACTOR TO SUBMIT FINAL APPROVED AS-BUILT DRAWINGS TO THE CITY.

## PROJECT DIRECTORY

**CLIENT/LEGAL OWNER**  
CITY OF SAN DIEGO  
PUBLIC WORKS DEPARTMENT  
ENGINEERING & CAPITAL PROJECTS  
600 B STREET 8TH FLOOR,  
SAN DIEGO, CA 92101  
COSELYN GOODRICH, PROJECT MANAGER  
(619) 533-4633  
YOVANNA HANNA, PROJECT ENGINEER  
(619) 533-5130

**MECHANICAL ENGINEER**  
BENDER DEAN ENGINEERING  
438 CAMINO DEL RIO SOUTH, SUITE 217  
SAN DIEGO, CA 92108  
PH: (619) 704-1900  
FAX: (858) 427-1608  
HEATHER SCHOPPLEIN

**ELECTRICAL ENGINEER**  
TURPIN & RATTAN ENGINEERING, INC.  
4719 PALM AVENUE  
LA MESA, CA 91941  
PH: (619) 466-6224  
FAX: (619) 466-6233  
KARL PORTS

**ARCHITECT**  
PLATT/WHITELAW ARCHITECTS, INC.  
4034 30TH STREET  
SAN DIEGO, CA 92104  
PH: (619) 546-4326  
FAX: (619) 546-4350  
SANDRA GRAMLEY, PROJECT ARCHITECT

## REMODELING NOTES

**DESCRIPTION OF WORK:**  
THE WORK SHALL INCLUDE THE FURNISHING OF ALL NECESSARY MATERIALS AND EQUIPMENT, LABOR FOR DEMOLITION, CUTTING AND PATCHING AND RELATED WORK REQUIRED AS PREPARATION FOR TENANT IMPROVEMENTS. NEW WORK IS INDICATED IN THE DRAWINGS AND SPECIFICATIONS. WHERE A SPECIFIC ITEM IS NOT SPECIFIED OR SPECIFICALLY SHOWN, THE MATERIAL AND INSTALLATION SHALL MATCH THE EXISTING ADJACENT WORK. UPON COMPLETION OF THE WORK PERFORMED UNDER THE CONTRACT DOCUMENTS, LEAVE THE WORK BLENDED IN WITH AND BONDED OR SECURED TO EXISTING WORK. PATCHED AND REPAIRED AREAS SHALL BE IN TRUE PLANES WITH CLEAR LINES, SHARP CORNERS, TIGHT JOINTS, AND OTHER REQUIREMENTS AS REQUIRED FOR NEW CONSTRUCTION OF RESPECTIVE TRADES.

**SEQUENCING AND COORDINATION:**  
SOME OF THE EXISTING SPACES TO BE REMODELED ARE IN USE AND PART OF THE AREA MUST REMAIN IN USE DURING DEMOLITION AND CONSTRUCTION. ALL EXISTING FACILITIES SHALL BE PROTECTED FROM DUST AND WATER DURING DEMOLITION, RECONSTRUCTION, AND RENOVATION. THE CONTRACTOR SHALL COORDINATE PHASING OF WORK WITH THE RESIDENT ENGINEER TO ALLOW FOR EXISTING FACILITIES TO BE KEPT OPERATING AND PROTECTED.

**PHASING OF RESTROOM RENOVATIONS MUST BE UNDERTAKEN SUCH THAT ADEQUATE FACILITIES REMAIN AVAILABLE FOR USE BY THE PUBLIC. WHERE ADEQUATE FACILITIES CANNOT BE MAINTAINED ON SITE, APPROPRIATE ARRANGEMENTS SUCH AS PORTABLE FACILITIES OR DIRECTIONAL SIGNAGE TO GUIDE THE PUBLIC TO AVAILABLE FACILITIES MUST BE PROVIDED, TO THE SATISFACTION OF THE RESIDENT ENGINEER.**

**CONCEALED AND UNFORESEEN CONDITIONS**  
THE CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL UNFORESEEN AND CONCEALED CONDITIONS. THE REQUIRED PREBID INSPECTION BY THE CONTRACTOR SHALL THEREFORE BE CONSIDERED ACCEPTANCE BY THE CONTRACTOR OF ALL EXISTING CONDITIONS. THE CONTRACTOR SHALL INCLUDE IN THE CONTRACT PRICE ADEQUATE FUNDING FOR SUCH UNFORESEEN CONDITIONS AND ALL DEMOLITION, REPAIRS AND PATCHING OF SUCH UNFORESEEN CONDITIONS SHALL BE EXECUTED AT NO EXTRA COST TO THE OWNER.

**EXTENT OF WORK**  
WHERE EXISTING ITEMS OF WORK ARE TO BE CUT ALTERED OR REMOVED OR OTHERWISE WORKED UPON, CONTINUE REMOVAL AND PREPARATORY WORK UNTIL SOUND, SOLID AND FIRM SURFACES, STRUCTURAL OR SUPPORTING MEMBERS OR UNDERLAYMENT ARE CLEAN AND FULLY EXPOSED.

## CITY OF SAN DIEGO POLICY COMPLIANCE

1. BACKFLOW DEVICE IS EXISTING AND SHALL BE PROTECTED AS PART OF THIS PROJECT
2. COMPLY WITH HAZARDOUS MATERIALS PER CITY OF SAN DIEGO BULLETIN 116
3. COMPLY WITH CONSTRUCTION AND DEMOLITION DEBRIS PER CITY BULLETIN 119
4. COMPLY WITH STORM WATER REQUIREMENTS PER CITY OF SAN DIEGO STORM WATER MANAGEMENT PLAN AS DETERMINED BY FORM DS-560. PROJECT DOES NOT DISTURB MORE THAN 1 ACRE AND CREATES LESS THAN 5000 S.F. OF IMPERVIOUS SURFACE. PROJECT DOES NOT REQUIRE A N.P.D.E.S. PERMIT. PROJECT WILL REQUIRE CONSTRUCTION B.M.P. PER SECTION IV OF THE CITY OF SAN DIEGO'S STORM WATER STANDARDS MANUAL.

## BMP NOTES

1. SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD, OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
2. ALL STOCK PILES OF UNCOMPACTED SOILS AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOILS MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

## RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ARCHITECT OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED REASONABLE CARE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME AS ARCHITECT OR ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

*Sandra S. Gramley*  
SANDRA S. GRAMLEY C-21703  
PLATT/WHITELAW ARCHITECTS INC.

FEBRUARY 7, 2014  
DATE

## CONSTRUCTION & BUILDING CODES

- APPLICABLE BUILDING CODES:**
- 2010 CA BLDG. STDS. ADMIN. CODE TITLE 24 OF CALIFORNIA CCR PART 1
  - 2010 CALIFORNIA BUILDING CODE TITLE 24 OF CALIFORNIA CCR PART 2
  - 2010 CALIFORNIA ELECTRICAL CODE TITLE 24 OF CALIFORNIA CCR PART 3
  - 2010 CALIFORNIA MECHANICAL CODE TITLE 24 OF CALIFORNIA CCR PART 4
  - 2010 CALIFORNIA PLUMBING CODE TITLE 24 OF CALIFORNIA CCR PART 5
  - 2010 CALIFORNIA ENERGY CODE TITLE 24 OF CALIFORNIA CCR PART 6
  - 2010 CALIFORNIA FIRE CODE TITLE 24 OF CALIFORNIA CCR PART 9
- ADDITIONAL APPLICABLE STANDARDS AND SPECIFICATIONS:**
- 2012 GREENBOOK - STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION INCLUDING THE CITY OF SAN DIEGO WHITEBOOK, DOCUMENT NUMBER PITS090110-1, 2012 EDITION.
  - CONSULTANT'S GUIDE TO PARK PLANNING AND DEVELOPMENT, 2011 EDITION
  - CITY OF SAN DIEGO STANDARD DRAWINGS, INCLUDING ALL REGIONAL STANDARD DRAWINGS, 2012
  - 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND DEPARTMENT OF JUSTICE 28 CFR PARTS 35 & 36

## DESCRIPTION OF WORK

- VARIOUS VOLUNTARY ACCESS BARRIER REMOVALS PER CBC SECTION 1134.B.2.1, INCLUDING:
1. RECONFIGURE RESTROOM DOORS TO PROVIDE COMPLIANT CLEARANCES.
  2. REMOUNT RESTROOM ACCESSORIES TO ACCESSIBLE HEIGHTS.
  3. RELOCATE VISUAL ALARMS (DEFERRED SUBMITTAL: SEE BELOW).
  4. PROVIDE COMPLIANT SIGNAGE.

## DEFERRED SUBMITTALS

DEFERRED SUBMITTAL ITEMS: PLANS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM OF 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECK DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS. DEFERRED SUBMITTAL ITEMS IN THIS PROJECT INCLUDE:

- EXISTING FIRE ALARM SYSTEM ALTERATIONS (ALSO REFER TO FIRE ALARM SYSTEMS BULLETING 137).

## CODE ANALYSIS

- CODE CLASSIFICATIONS:**
- OCCUPANCY TYPE A-3
  - TYPE OF CONSTRUCTION I-B

## LEGAL DESCRIPTION

NO ASSESSOR'S PARCEL NUMBER AVAILABLE - SITE IS NON-PARCELLED GOVERNMENT LAND.

**CITY OF SAN DIEGO  
PUBLIC WORKS PROJECT**

CONSTRUCTION CHANGE / ADDENDUM				WARNING
CHANGE	DATE	AFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	0 1
				IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE.

**Platt/Whitelaw Architects, Inc.**  
4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350  
PWA PROJECT #: 0413

**BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY**

SHEET TITLE: **COVER SHEET** SHEET NUMBER: **G-001**

CITY OF SAN DIEGO, CALIFORNIA  
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
SHEET 1 OF 8 SHEETS WBS: **B-13022**

*Ali Darvishi* 3/17/14  
FOR CITY ENGINEER DATE  
ALL DARVISHI SECTION HEAD

COSELYN GOODRICH PROJECT MANAGER  
206-1719  
CCS27 COORDINATE  
6280407-1846444  
CCS83 COORDINATE

CONTRACTOR INSPECTOR DATE STARTED DATE COMPLETED  
**37595-01-D**

### GENERAL NOTES

- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ENFORCING ALL SAFETY MEASURES. CONFORM TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS. ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.
- THE INTENT OF THESE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, PRESCRIBED OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE DOCUMENTS.
- GENERAL BUILDING PERMIT SHALL BE OBTAINED BY CONTRACTOR.
- ALL WORK AND MATERIALS SHALL CONFORM TO THE CALIFORNIA BUILDING CODE, 2007 EDITION, AND CURRENT ADOPTED EDITIONS OF THE UNIFORM FIRE CODE, NFPA LIFE SAFETY CODE, NATIONAL ELECTRIC CODE, AMERICANS WITH DISABILITIES ACT REGULATIONS, AND ALL ANSI, ASTM AND OTHER STANDARDS.
- VERIFY ALL DIMENSIONS BEFORE STARTING WORK. NOTIFY THE RESIDENT ENGINEER IMMEDIATELY OF ANY DISCREPANCIES FOUND.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SCHEDULING AND COORDINATION.
- VERIFY WITH RESIDENT ENGINEER WHETHER THESE NOTES OR SPECIFIC NOTES ON DRAWINGS SHALL TAKE PRECEDENCE IN CASE OF CONFLICT.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE THE SAME AS FOR SIMILAR WORK SHOWN ON THE DRAWINGS. VERIFY WITH RESIDENT ENGINEER.
- PROVIDE DOUBLE BACK-TO-BACK 18 GAGE STEEL STUDS AT 48" O.C. IN ELECTRICAL SWITCHGEAR ROOM WALLS FOR EQUIPMENT SUPPORTS AND WHERE REQUIRED FOR STEEL LADDERS AND EQUIPMENT BACKING, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY PAINT LOCATIONS AND COLORS OF PAINTS AND STAINS WITH RESIDENT ENGINEER BEFORE APPLICATION.
- ICCES REPORT NUMBERS WHERE SHOWN ON DRAWINGS AND IN THE SPECIFICATIONS ARE SHOWN ONLY TO INDICATE THE REQUIREMENTS BY THE LOCAL BUILDING DEPARTMENT. OTHER PRODUCTS WITH APPROVED REPORT NUMBERS MAY BE USED IF SUBMITTED TO AND APPROVED BY THE RESIDENT ENGINEER AND THE BUILDING DEPARTMENT PRIOR TO INSTALLATION.
- PROVIDE HORIZONTAL UNPUNCHED REINFORCING TO RECEIVE WALL MOUNTED DOOR STOPS TYPICALLY AT HINGE SIDE OF ALL DOORS AND HORIZONTAL BRACING BETWEEN STUDS, LENGTH TO BE 3'-0" MINIMUM FROM JAMB SPANNING THREE STUDS MINIMUM.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN.
- INTERIOR WALL AND CEILING FINISH FRAME-SPREAD RATINGS SHALL BE CLASS I AS REQUIRED BY CBC CHAPTER 804.1, 805 AND TABLE 8-B.
- FIRE AND/OR SMOKE DAMPER ASSEMBLIES, INCLUDING SLEEVES, AND INSTALLATION SHALL BE APPROVED BY BUILDING INSPECTOR PRIOR TO INSTALLATION.
- ELECTRICAL PANELS SHALL NOT BE LOCATED WITHIN FIRE-RATED CORRIDORS.
- IF THE BUILDING INSPECTOR DETERMINES NONCOMPLIANCE WITH ANY CURRENT ACCESSIBILITY PROVISIONS OF THE LAW, HE/SHE SHALL REQUIRE SUBMITTAL OF COMPLETE AND DETAILED PLANS TO THE PLAN REVIEW DIVISION OF THE DEVELOPMENT SERVICES DEPARTMENT FOR FURTHER REVIEW. PLANS MUST CLEARLY SHOW ALL EXISTING NONCOMPLIANCE CONDITIONS AFFECTED BY THE REMODEL (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC.) AND PROPOSED MODIFICATIONS OF DEFICIENCIES TO MEET CURRENT ACCESSIBILITY PROVISIONS. THE PLANS MUST BE STAMPED BY THE FIELD INSPECTOR PRIOR TO SUBMITTAL FOR PLAN REVIEW.
- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87.
- DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION. (T 19, 3.08, 3.21.)
- AT LEAST ONE FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2-A-10B:C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 6,000 SQUARE FEET OR PORTION THEREOF OF EACH FLOOR. (CFC 1002.)
- INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH CFC 1007.
- PLANS FOR ALL FIXED FIRE PROTECTION EQUIPMENT SUCH AS STANDPIPES, SPRINKLER SYSTEM AND FIRE ALARM SYSTEM, MUST BE SUBMITTED TO, AND APPROVED BY, THE FIRE PREVENTION BUREAU BEFORE THIS EQUIPMENT IS INSTALLED.
- ALL EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. NO DEAD BOLTS OR SLIDING BOLTS ARE PERMITTED PER UBC. SEC. 3304(C), & UFC. SEC. 12.104(B). NO LATCH OR LOCKING DEVICE EXCEPT PANIC HARDWARE IS PERMITTED UBC. SEC. 3304(D), 3317(D), 3319(J), AND UFC SEC. 25.106.
- THE CONTRACTOR SHALL PROVIDE AN APPROPRIATE NUMBER OF PORTABLE FIRE EXTINGUISHERS WITH A RATING OF NOT LESS THAN 4A:60B:C FOR PROTECTION DURING CONSTRUCTION.
- DOORS IN THE MEANS OF EGRESS SYSTEM TO BE OPENABLE FROM THE INSIDE WITHOUT USE OF ANY SPECIAL KNOWLEDGE OR EFFORT.
- STATE HEALTH & SAFETY CODE SECTION 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING.
- INFORMATION SHOWN BY CONSULTANTS OR DISCIPLINE DOCUMENTS IS NOT MEANT TO DEFINE SCOPE OF WORK OF SUBCONTRACTOR RESPONSIBILITY. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO DETERMINE SCOPE OF WORK AMONG THE SUBCONTRACTORS DURING THE BIDDING PROCESS.
- ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF WORK. PROVIDE AND MAINTAIN TEMPORARY BARRICADES AND FACILITIES AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION. BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES OR EQUIPMENT. SUCH DAMAGE SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE RESIDENT ENGINEER.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE UNDERGROUND UTILITIES INSTALLATION WITH THE UTILITY COMPANIES. UTILITY INSTALLATION SHOULD OCCUR PRIOR TO STREET PAVING OPERATIONS. CAUTION: BEFORE EXCAVATING, VERIFY THE LOCATION OF UNDERGROUND UTILITIES. MINIMUM OF 2 DAYS AND MAXIMUM OF 14 DAYS PRIOR TO EXCAVATION CONTACT FOR MARK-OUT SERVICE: 1-800-227-2600.

### CONTRACTOR'S RESPONSIBILITIES

- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENFORCE SAFETY MEASURES AND REGULATIONS. THE CONTRACTOR SHALL DESIGN AND CONSTRUCT THESE MEASURES AND BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL DETAILS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CONTACT WITH THE RESIDENT ENGINEER.
- LOCATION AND ELEVATION OF IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
- BEFORE EXCAVATING FOR THIS PROJECT, CONTRACTOR WILL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY. THE CONTRACTOR SHALL VERIFY THE LOCATION(S) OF ALL UNDERGROUND UTILITIES, THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE BY A SEARCH OF THE AVAILABLE RECORDS.
- CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MONUMENTATION AND/OR BENCH MARK WHICH WILL BE DISTURBED OR DESTROYED BY CONSTRUCTION. SUCH POINTS SHALL BE REFERENCED AND REPLACED WITH APPROPRIATE MONUMENTATION BY A LAND CORNER RECORD, OR RECORD OF SURVEY. THE RECORD SHALL BE FILED BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AS REQUIRED BY THE LAND SURVEYOR'S ACT.
- CONTRACTOR SHALL NOTIFY THE CITY TRAFFIC ENGINEER AT LEAST FIVE (5) WORKING DAYS IN ADVANCE OF IMPLEMENTING ANY CONSTRUCTION DETOUR IN THE PUBLIC RIGHT OF WAY.
- IF CONSTRUCTION IS TO BE PERFORMED IN STAGES, ALL WORK SHALL BE COMPLETED IN EACH STAGE PRIOR TO BEGINNING WORK ON THE NEXT STAGE.
- THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULTS FROM HIS OPERATIONS BY APPROPRIATE MEANS (GRAVEL BAG, DIKES, ETC) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETE AND ACCEPTED FOR BY THE CITY OF SAN DIEGO.
- SEE ADDITIONAL NOTES AND CONTRACTOR REQUIREMENTS ON ALL SHEETS

### ABBREVIATIONS

⊙	AT	F.V.	FIELD VERIFY	S.S.	STAINLESS STEEL
A.B.	ANCHOR BOLT			STD	STANDARD
A.C.	ASPHALT CONCRETE	GA	GAUGE	STL	STEEL
A.COMP.	ASPHALT COMPOSITION	GRD	GRADE	STRUCT	STRUCTURAL
ACS	ACCESS COMPLIANCE (DSA)	GEN	GENERAL	SUSP	SUSPENDED
A.C.T.	ACOUSTICAL TILE	G.W.B.	GYP. GYPSUM WALL BOARD		
ADD'L	ADDITIONAL	GYP.	GYP. GYPSUM	T&B	TOP & BOTTOM
A/E	ARCHITECT/ENGINEER	HARD'R	HARDENER	TEL	TELEPHONE
A.F.F.	ABOVE FINISH FLOOR	H.B.	HOSE BIB	THK	THICK
ALT	ALTERNATE	HD	HEAD	THRESH	THRESHOLD
ALUM	ALUMINUM	HDWR	HARDWARE	T.S.T.	TOP OF
APPL	APPLICATION	H.M.	HOLLOW METAL	T.P.H.	TOILET PAPER HOLDER
ARCH'L	ARCHITECTURAL	HORIZ	HORIZONTAL	TRANS	TRANSVERSE
ASPH	ASPHALT	HT	HEIGHT	TLT	TOILET
		HW	HARDWOOD	TYP	TYPICAL
BD	BOARD			U.N.O.	UNLESS NOTED OTHERWISE
BLDG	BUILDING			U.O.N.	UNLESS OTHERWISE NOTED
B.O.B.	BOTTOM OF BEAM	I.D.	INSIDE DIAMETER		
BOT	BOTTOM	INSUL	INSULATION		
BM	BEAM	INT	INTERIOR	V.A.T.	VINYL ASBESTOS TILE
B.M.	BENCH MARK	JAN	JANITOR	V.C.T.	VINYL COMPOSITION TILE
				VERT	VERTICAL
CLK'G	CAULKING	KN	KEYNOTE	W/	WITH
C.B.	CATCH BASIN			W.C.U.	WATER CLOSET
CEM	CEMENT	LAM	LAMINATE	WD	WOOD
CHN'L	CHANNEL	LAV	LAVATORY	W/O	WITHOUT
C.I.	CAST IRON	L.F.	LINEAR FEET	WDW	WINDOW
C.I.P.	CAST IN PLACE	L.L.V.	LONG LEG VERTICAL	WP	WATERPROOF
C.J.	CONTROL JOINT			W.W.F.	WELDED WIRE FABRIC
(C) / C.L.	CENTER LINE	MACH	MACHINE	W.M.S.	WIRE MESH SCREEN
CLG	CEILING	MAS	MASONRY	(L)	ANGLE
CLR	CLEAR	MAT	MATERIAL	(I)	CHANNEL
C.M.U.	CONCRETE MASONRY UNIT	MAX	MAXIMUM	(#)	POUND OR NUMBER
COL	COLUMN	M.B.	MACHINE BOLT		
CONC	CONCRETE	MECH	MECHANICAL		
CONT	CONTINUOUS	MET	METAL		
CPT	CARPET	MH	MANHOLE		
CTR	CENTER	MIN	MINIMUM		
CUB	CUBICLE	MFR	MANUFACTURER		
		M.O.	MASONRY OPENING		
DBL	DOUBLE	MR.B.	MARKER BOARD		
DET	DETAIL	MTD	MOUNTED		
D.F.	DRINKING FOUNTAIN				
D.H.	DOUBLE HUNG				
D.G.	DECOMPOSED GRANITE	N.I.C.	NOT IN CONTRACT		
DG. FIR	DOUGLAS FIR	(#) / NO	NUMBER		
(~) / DIA	DIAMETER	NOM	NOMINAL		
DMG	DAMAGE	N.T.S.	NOT TO SCALE		
DR	DOOR	(N)	NEW		
DS	DOWNSPOUT				
DSA	DIVISION OF STATE ARCHITECT	O/	OVER		
DWG	DRAWING	O.A.	OVERALL		
		O.C.	ON CENTER		
E	TACTILE "EXIT" SIGN	OCC	OCCUPANT/OCCUPANCY		
(E)	EXISTING	O.H.	OVERALL HEIGHT		
EA	EACH	OPN'G	OPENING		
E.C.P.	EXTERIOR CEMENT PLASTER	OPP.	OPPOSITE		
E.G.	FOR EXAMPLE	OPP. H.	OPPOSITE HAND		
E.J.	EXPANSION JOINT				
EL	ELEVATION	PC	PIECE		
ELEC	ELECTRICAL	PERF	PERFORATED		
ELEV	ELEVATOR	PLAS	PLASTIC		
EQ	EQUAL	P.H.	PANIC HARDWARE		
E.R.	TACTILE "EXIT ROUTE" SIGN	P.L.	PLASTIC LAMINATE		
ES	TACTILE "EXIT STAIRS" SIGN	PLT	PLATE		
E.S.	EACH SIDE	PLYWD	PLYWOOD		
EXHS'T	EXHAUST	P.O.A.	PATH OF TRAVEL (ACCESSIBLE)		
EXP	EXPOSED				
E.J.	EXPANSION JOINT	P.S.A.	POUNDS PER SQUARE FOOT		
		P.T.	PRESSURE TREATED		
F/	FROM	(>)/P.L.	PROPERTY LINE		
FB	FIBERGLASS	P.T.D.	PAPER TOWEL DISPENSER		
F.D.	FLOOR DRAIN	Q.T.	QUARRY TILE		
F.H.	FIRE HYDRANT	QTY	QUANTITY		
F.E.C.	FIRE EXTINGUISHER				
	CABINET	RAD	RADIUS		
F.H.C	FIRE HOSE CABINET	REINF	REINFORCING		
FIN	FINISH	R.C.P.	REFLECTED CEILING PLAN		
FLASH'G	FLASHING	R.O.	ROUGH OPENING		
FLUOR	FLUORESCENT	R.R.	RETURN REGISTER		
FLR	FLOOR	REQ'D	REQUIRED		
FLR.T.	FLOOR TILE				
FLS	FIRE & LIFE SAFETY (DSA)	S.D.	SOAP DISH		
F.O.B.	FACE OF BUILDING	S.F.	SQUARE FEET		
F.O.C.	FACE OF CONCRETE	SHWR	SHOWER		
F.O.F.	FACE OF FINISH	SHT	SHEET		
F.O.M.	FACE OF MASONRY	SHT'G	SHEATHING		
F.O.P.	FACE OF POST	SIM	SIMILAR		
F.O.S.	FACE OF STUD	SP	SPECIAL		
FT	FOOT	SPC	SPACE		
FTG	FOOTING	SQ	SQUARE		
FURR'G	FURRING	S.R.	SUPPLY REGISTER		
		SS	STRUCTURAL SAFETY (DSA)		

### LEGEND

SYMBOL	USE
	SECTION CUT HORIZONTAL AND VERTICAL
	ELEVATION (EXTERIOR)
	ELEVATION (INTERIOR)
	DETAIL BOUNDARY
	DRAWING LABEL
	NORTH ARROW
	GRAPHIC SCALE
	SCALE: 1/8" = 1'-0"
	CUT LINE
	DIMENSION (TO FACE OF)
	DIMENSION (TO CENTER OF)
	PLAN ELEVATION
	VERTICAL ELEVATION
	GRIDS • LETTERS (HORIZONTAL) • LEFT TO RIGHT • NUMBERS (VERTICAL) • TOP TO BOTTOM
	LEADER (W/ ARROW) LEADER (W/ DOT)
	KEYNOTE
	RESTROOM ACCESSORY
	WALL TYPE
	DOOR
	WINDOW

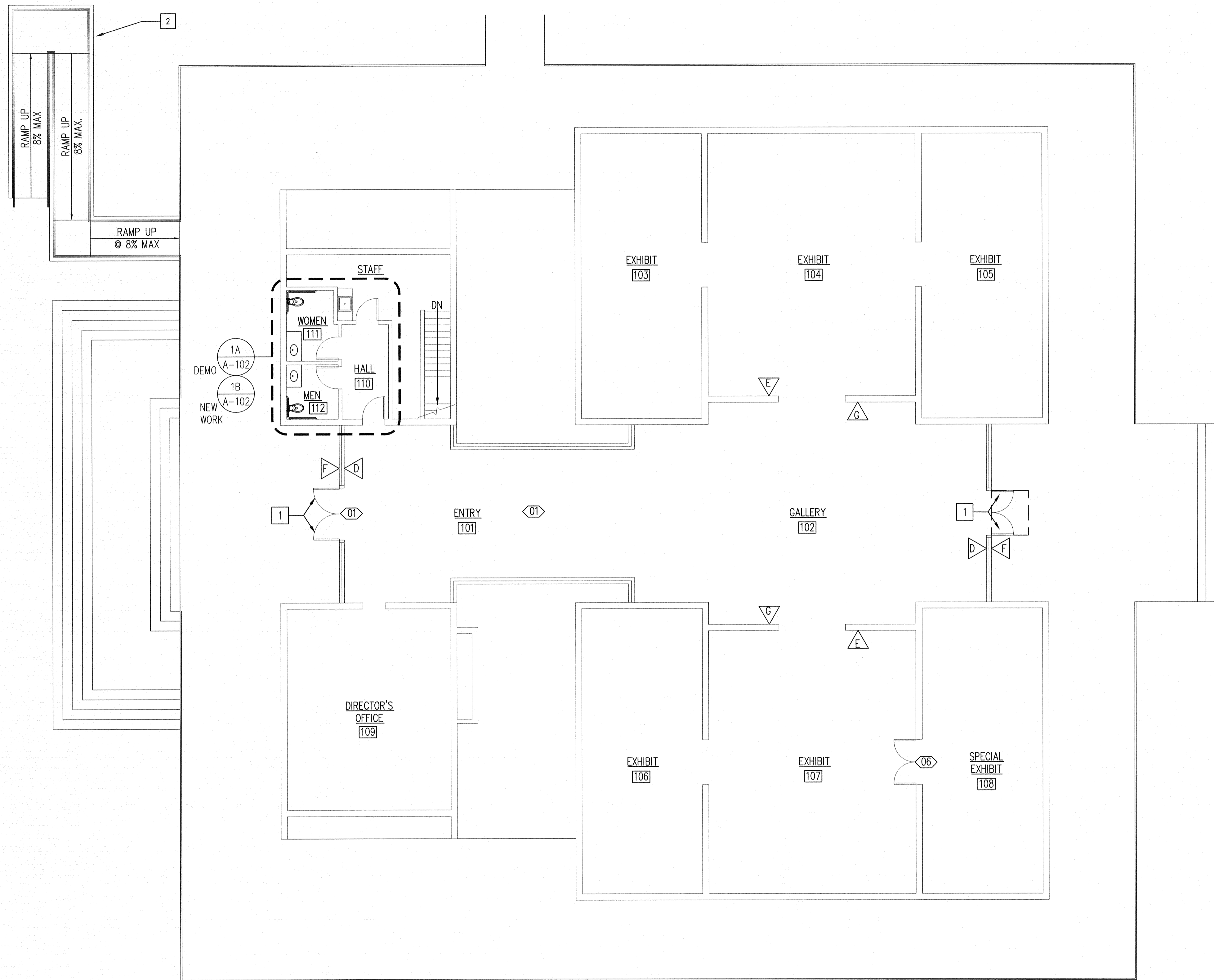
**Platt/Whitelaw Architects, Inc.**  
 4034 30th Street, SAN DIEGO CA 92104  
 (619) 546-4326 FAX (619) 546-4350

PWA PROJECT #: 0413

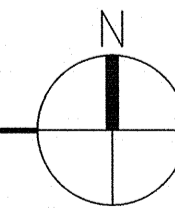
## BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY

SHEET TITLE: <b>GENERAL NOTES &amp; ABBREVIATIONS</b>	SHEET NUMBER: <b>G-002</b>
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 2 OF 8 SHEETS	WBS <b>B-13022</b>
FOR CITY ENGINEER <u>3/17/14</u> DATE	ALT DARVISHI SECTION HEAD
DESCRIPTION BY APPROVED DATE FILMED	COSELYN GOODRICH PROJECT MANAGER
ORIGINAL SG/SR 8/29/13	206-1719
	CCS27 COORDINATE
	6280407-1846444
	CCS83 COORDINATE
CONTRACTOR _____ DATE STARTED _____	<b>37595-02-D</b>
INSPECTOR _____ DATE COMPLETED _____	

u:\0413 Timken ADA\05-Drawings\Timken Art Gallery ADA\Shows\A-101.dwg 05/07/2014 11:48



1 FIRST FLOOR PLAN  
1/8" = 1'-0"



KEYNOTES

- 1 ADJUST EXISTING DOORS & HARDWARE TO OPEN WITH ≤ 5 LBS PRESSURE.
- 2 EXISTING RAMP WAS BUILT IN CONFORMANCE WITH 1991 ADAAG REGULATIONS AND NO FURTHER UPGRADES ARE REQUIRED.
- 3 ALL NEW DOORS & HARDWARE TO OPEN WITH ≤ 5 LBS FORCE UNLESS NOTED OTHERWISE ON THE PLANS.

GENERAL NOTES

- 1. FINAL SIGNAGE LOCATIONS AND CONTENT WILL BE VERIFIED WITH RESIDENT ENGINEER PRIOR TO INSTALLATION.

LEGEND

- SIGNAGE SYMBOL SIGN. SEE DETAIL 2/A-102
- ROOM DESIGNATION

Platt/Whitelaw Architects, Inc.  
4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350

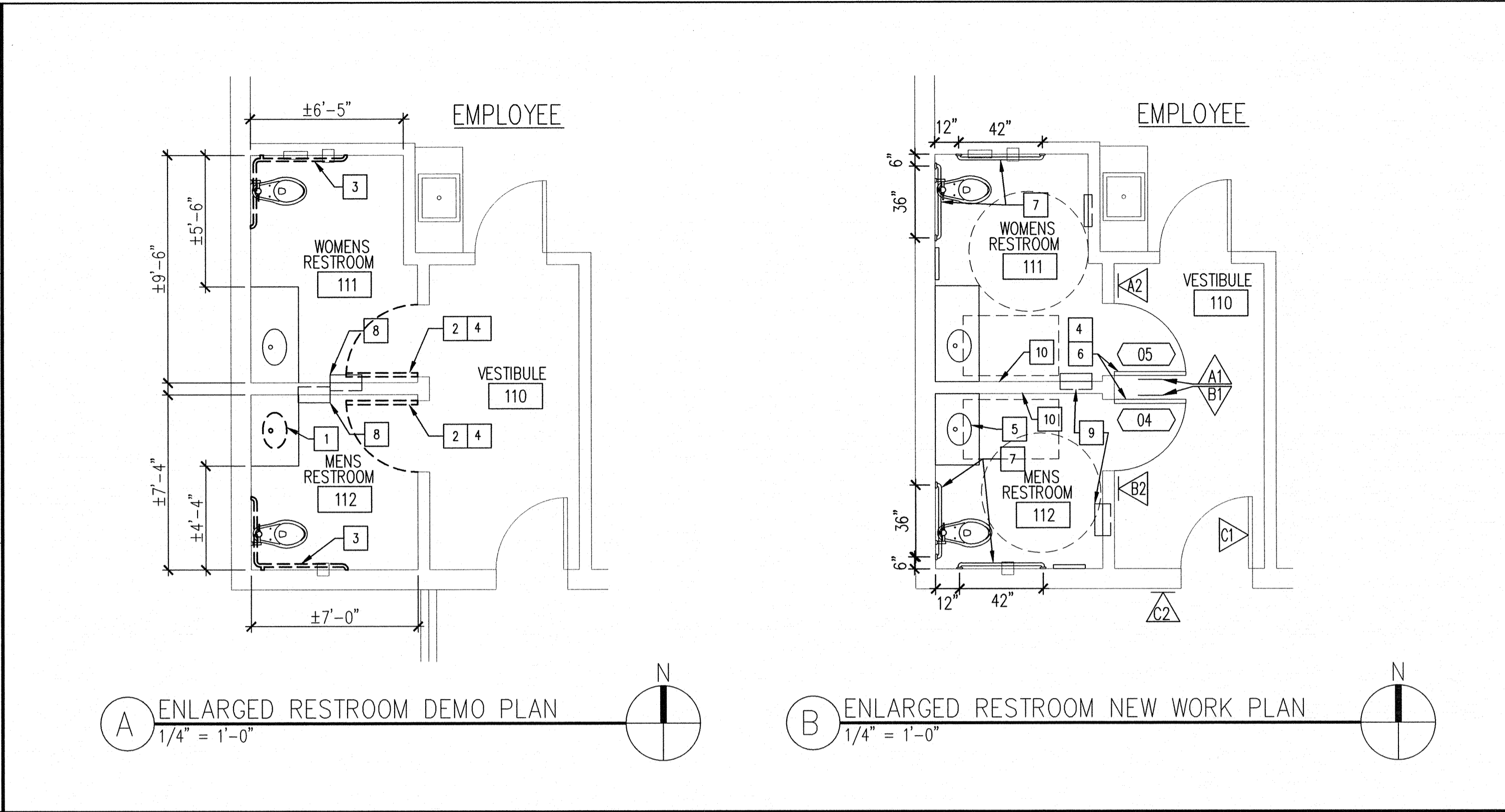
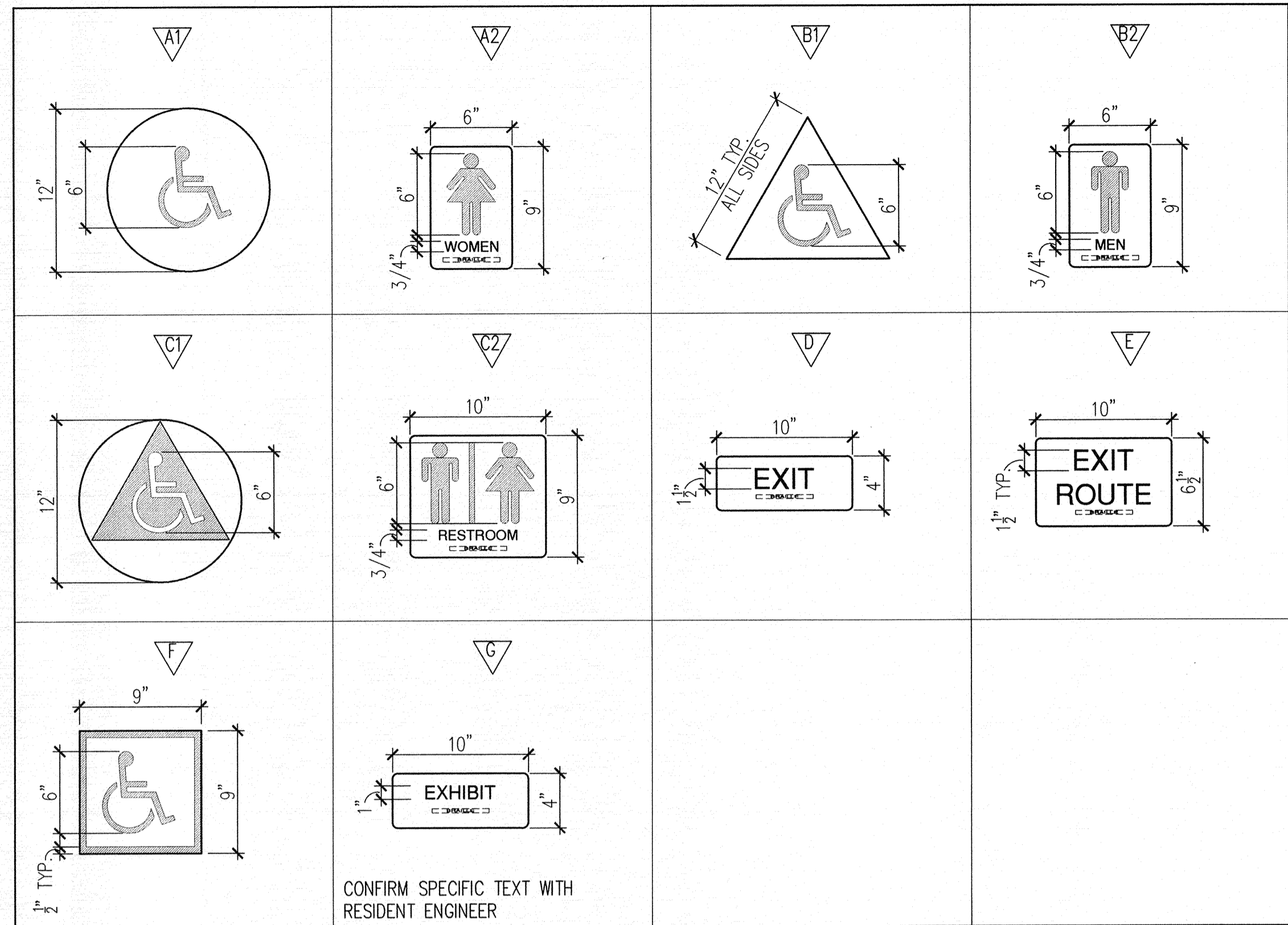


PWA PROJECT #: 0413

**BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY**

SHEET TITLE: <b>FLOOR PLAN</b>		SHEET NUMBER: <b>A-101</b>	
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 3 OF 8 SHEETS		WBS <b>B-13022</b>	
FOR CITY ENGINEER: <i>[Signature]</i> 3/17/14		ALI DARVISHI SECTION HEAD	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	SG/SR		8/29/13
COSELYN GOODRICH PROJECT MANAGER		206-1719	
CCS27 COORDINATE		6280407-1846444	
CCS83 COORDINATE		37595-03-D	
CONTRACTOR	DATE STARTED	INSPECTOR	DATE COMPLETED

BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY

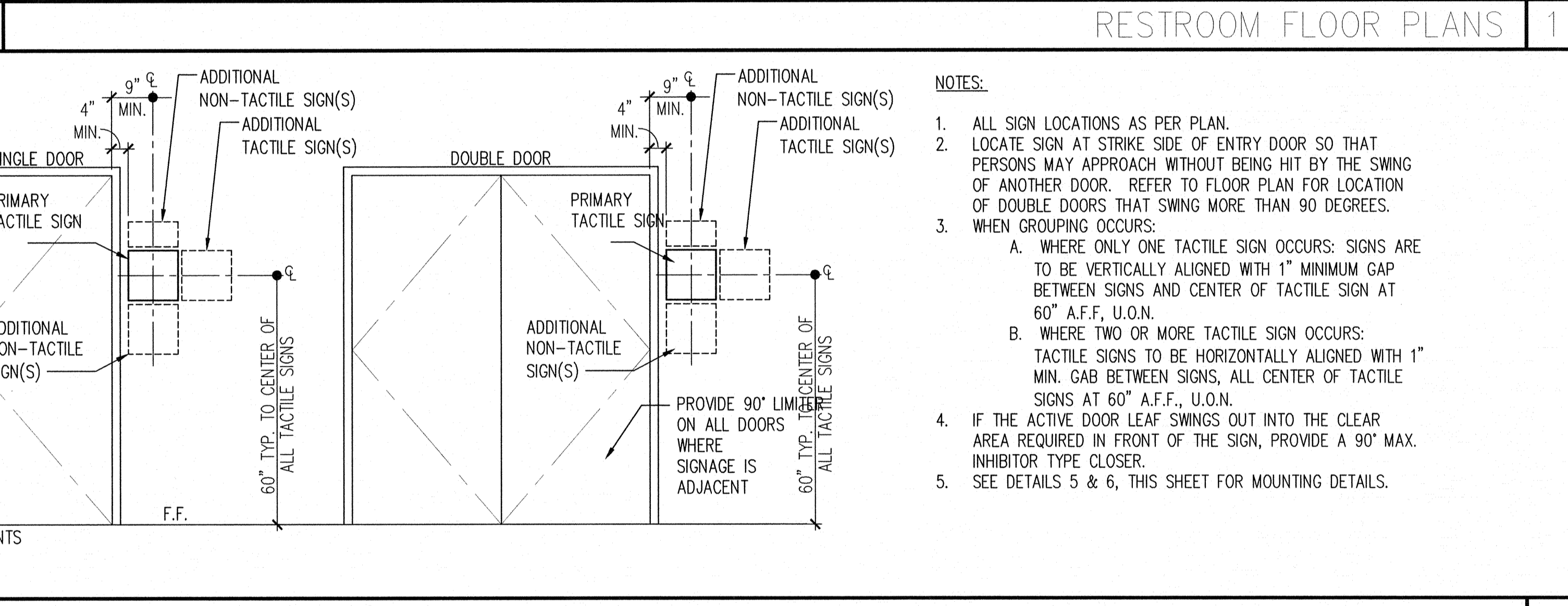
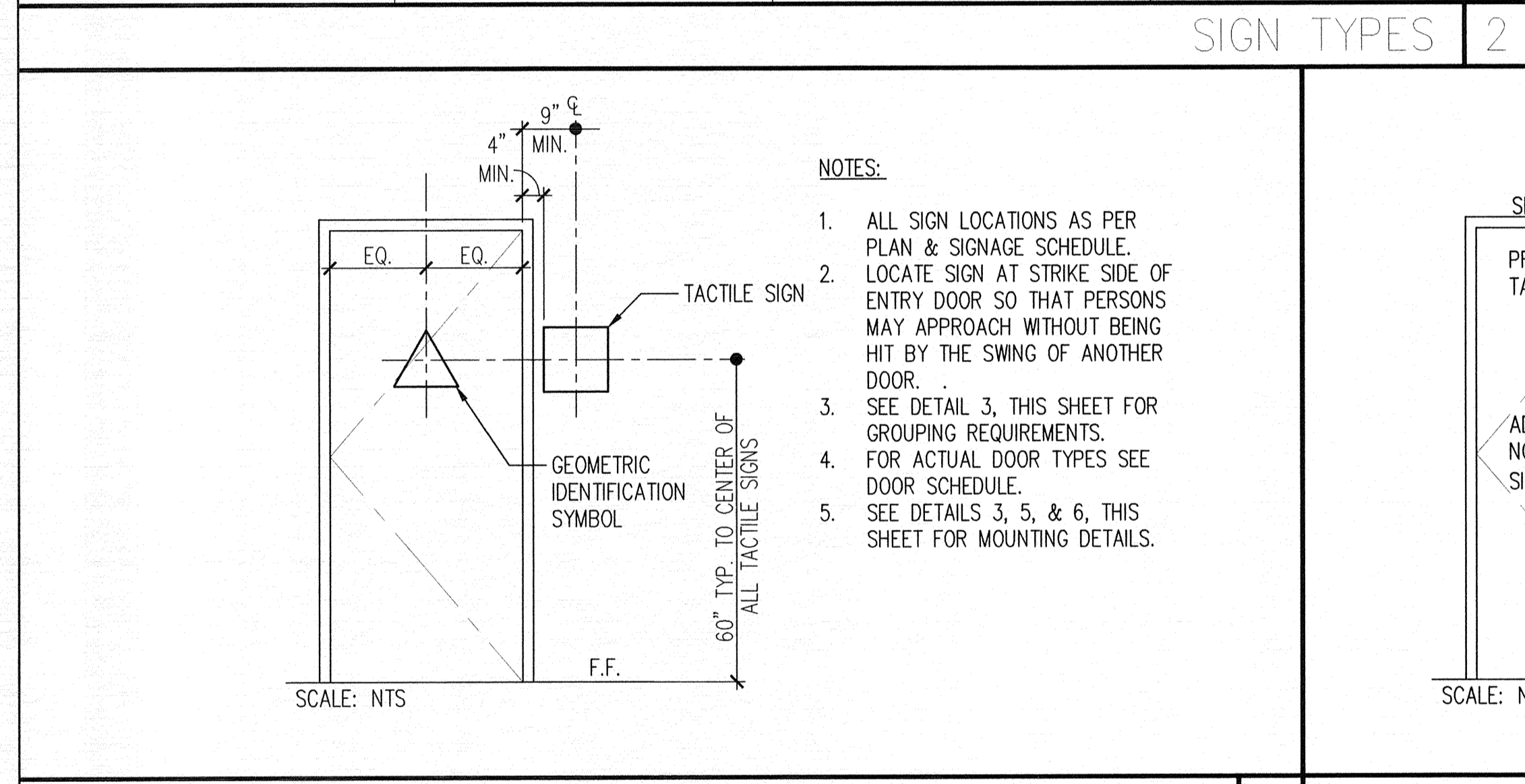


**KEYNOTES**

- REMOVE EXISTING MEN'S ROOM SINK
- REMOVE EXISTING DOORS, FRAMES & HARDWARE. SAVE DOORS & HARDWARE FOR REINSTALLATION.
- REMOVE GRAB BARS
- NEW HOLLOW METAL FRAME. REPAIR WALL & REPAIR FINISH.
- PROVIDE FLUSH MOUNT SINK IN EXISTING COUNTER PER P-1.0 & INSULATE PIPES UNDER COUNTER.
- REINSTALL EXISTING DOORS, REVERSE EXISTING HARDWARE & PROVIDE NEW CLOSERS PER SCHEDULE.
- PROVIDE COMPLIANT GRAB BARS. BOBRICK SERIES 5806 1-1/2" O.D. W/ MOUNTING FLANGE & CONCEALED FASTENERS.
- REMOVE RECESSED PAPER TOWEL/WASTE UNIT FOR RELOCATION.
- REINSTALL RECESSED TOWEL DISPENSER/WASTE UNIT. REPAIR WALL FINISH PER GENERAL NOTE BELOW.
- REPAIR WALL WHERE RECESSED FIXTURE WAS REMOVED & REPLACE TILE FINISH CORNER TO CORNER.

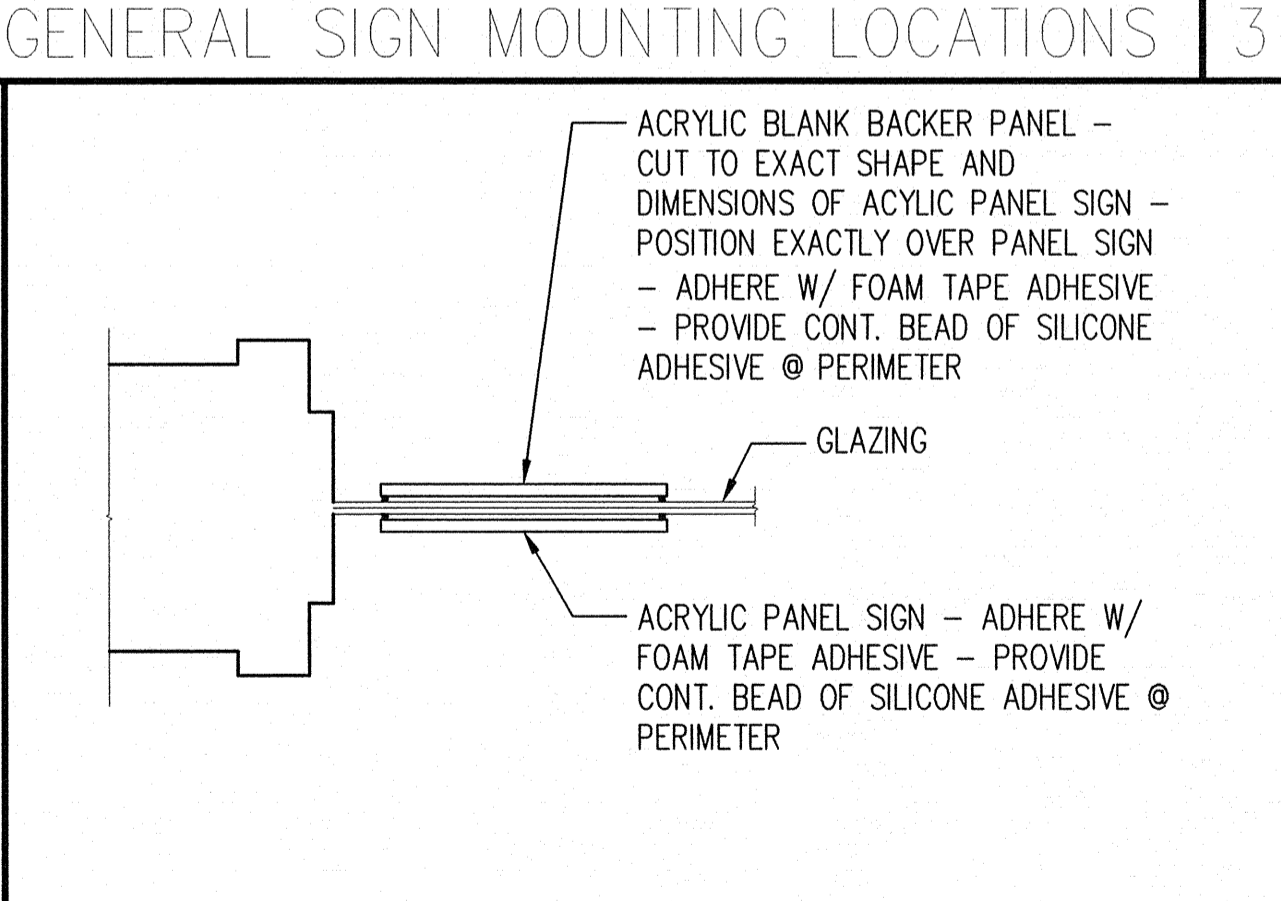
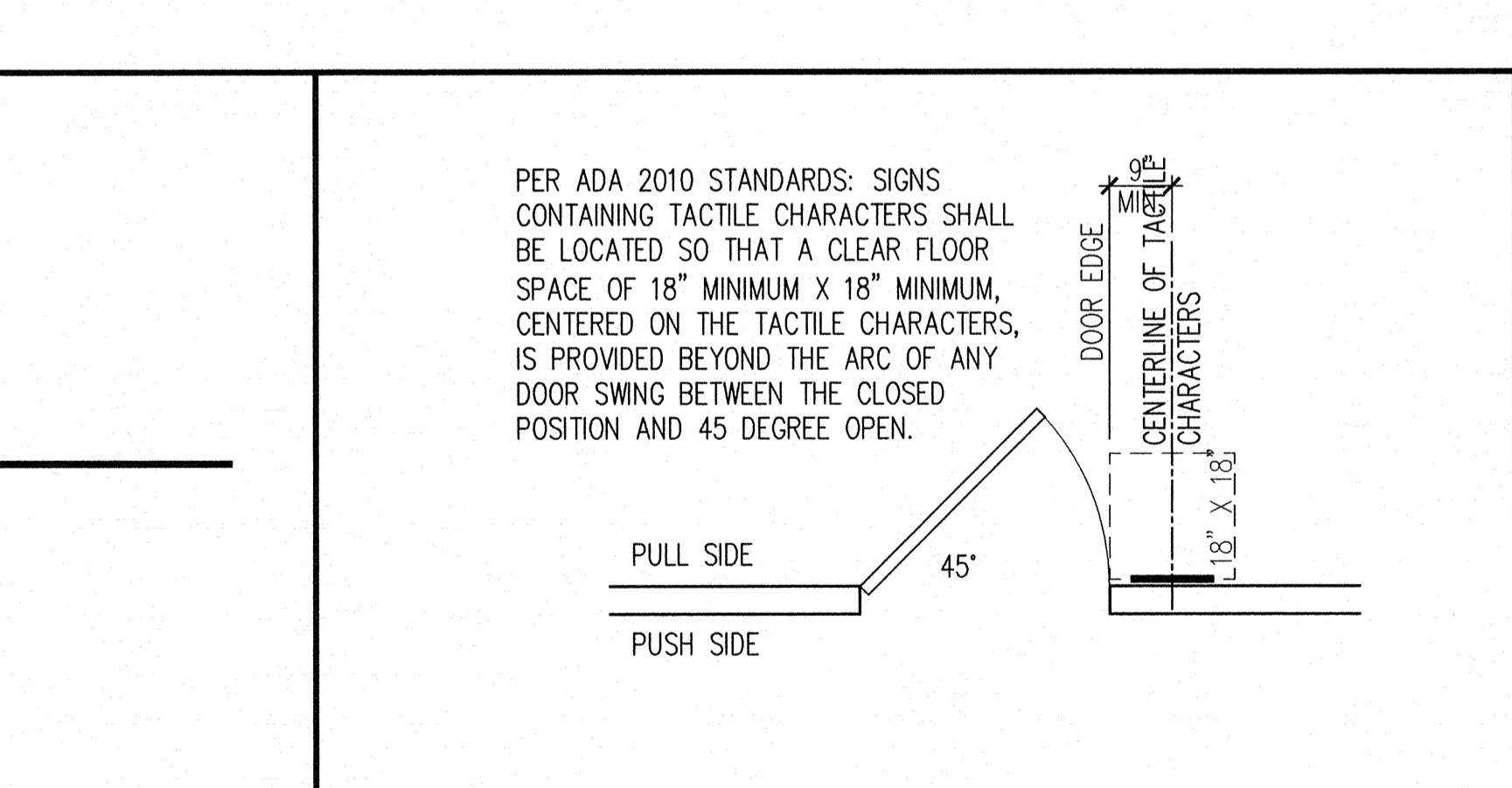
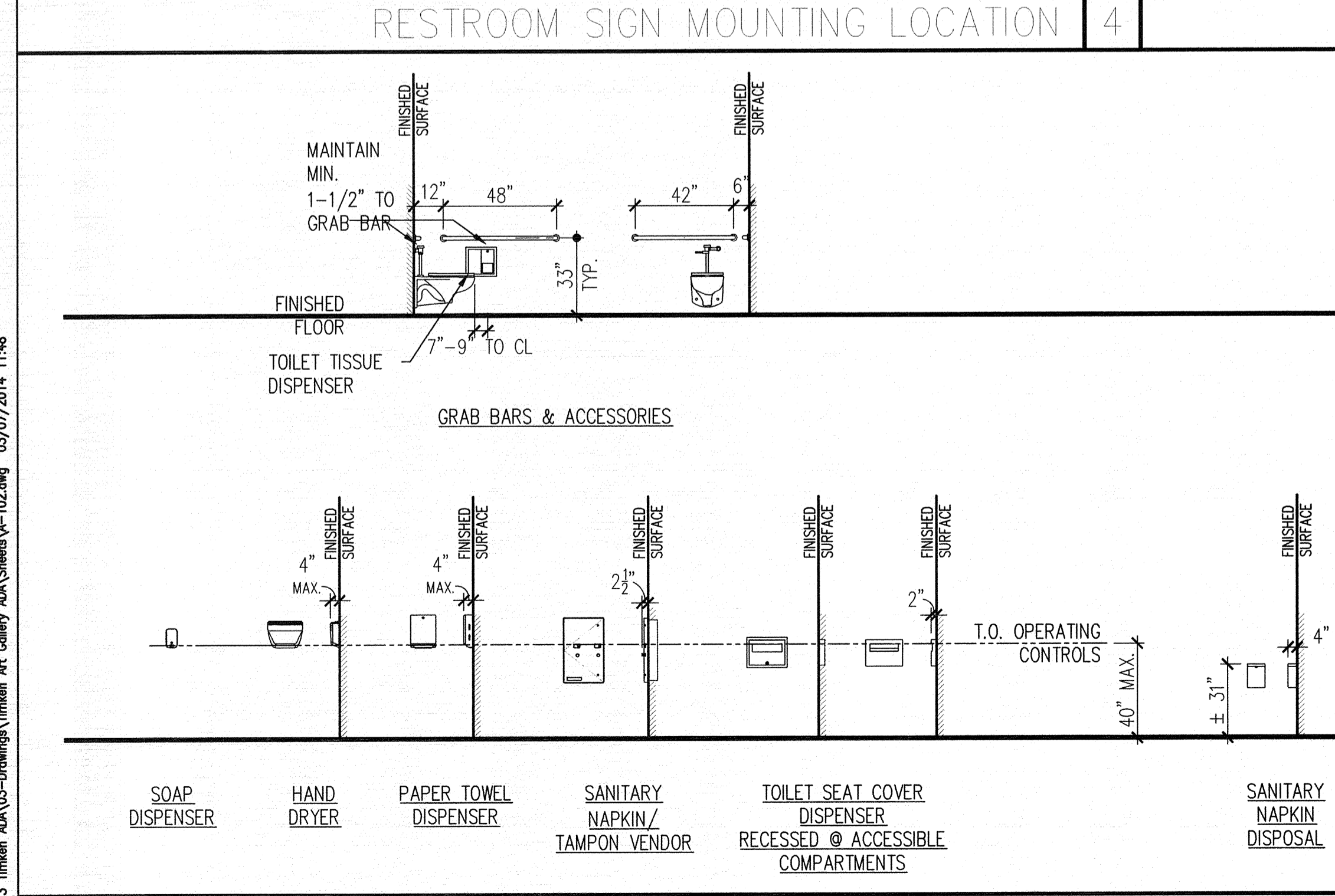
**GENERAL NOTES**

PATCH & REPAIR ALL WALL TILE DISRUPTED BY CONSTRUCTION.. MATCH ADJACENT TILE. IF TILE CANNOT BE MATCHED, RE-TILE AFFECTED WALL FROM CORNER TO CORNER.



**LEGEND**

▽ SIGNAGE SYMBOL SIGN



**TYPICAL MOUNTING HEIGHTS 8**

**BALBOA PARK TIMKEN ART GALLERY DOOR SCHEDULE**

MARK	DOOR COND.		TYPE	DOOR SIZE			MAT'L	FINISH	FRAME DETAIL			RATING	HWDR SET NO	NOTES	
	(N) NEW	(E) EXISTING		WIDTH	HEIGHT	THK			HEAD	JAMB	THRESH				MAT'L
04	-	E	A	3'-0"	7'-0"	3/4"	WD	STAIN	NEW	NEW	EXISTING	H.M.	P	NON-RTD	* REVERSE & REUSE EXISTING HARDWARE WITH NEW CLOSER
05	-	E	A	3'-0"	7'-0"	3/4"	WD	STAIN	NEW	NEW	EXISTING	H.M.	P	NON-RTD	* REVERSE & REUSE EXISTING HARDWARE WITH NEW CLOSER

\*NOTE: PROVIDE NEW CLOSER. STANLEY D3550 S 689 (ALUMINUM COLOR) OR EQUAL.

**DOOR SCHEDULE 7**

DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	SG/SR		8/29/13	

**BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY**

**ENLARGED FLOOR PLANS, SIGNAGE, AND DOORS**

CITY OF SAN DIEGO, CALIFORNIA  
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
SHEET 4 OF 8 SHEETS

Platt/Whitelaw Architects, Inc.  
4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350  
PWA PROJECT #: 0413

REGISTERED ARCHITECT  
STATE OF CALIFORNIA  
C-2073  
06-30-15  
Platt/Whitelaw

SHEET TITLE: ENLARGED FLOOR PLANS, SIGNAGE, AND DOORS  
SHEET NUMBER: A-102

FOR CITY ENGINEER: 3/17/14  
DATE: 3/17/14

ALI DARVISHI  
SECTION HEAD

COSELYN GOODRICH  
PROJECT MANAGER  
206-1719  
CCS27 COORDINATE  
6280407-1846444  
CCS83 COORDINATE

CONTRACTOR: \_\_\_\_\_ DATE STARTED: \_\_\_\_\_  
INSPECTOR: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_

37595-04-D

U:\0413 Timken ADA\03-Drawings\Timken Art Gallery ADA\Sheet\A-102.dwg 05/07/2014 11:46

BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY

PIPE SIZE	COLD WATER (8 FPS MAX. VELOCITY)				HOT WATER (5 FPS MAX. VELOCITY)		
	GPM	VELOCITY (FPS)	FLUSH TANK FU	FLUSH VALVE FU	GPM	VELOCITY (FPS)	FIXTURE UNITS
	1/2"	2.5	3.4	2	0	2.5	3.4
3/4"	6	5.3	7	0	7	5.0	8
1"	14	5.5	20	0	12	4.7	16
1-1/4"	25	6.8	42	18	20	5.0	30
1-1/2"	40	7.2	86	28	30	5.0	54
2"	70	7.3	225	108	50	5.0	127
2-1/2"	110	7.4	431	295	78	5.0	264
3"	170	8.0	748	700	110	5.0	431
4"	300	8.0	1755	1755	190	5.0	874

- ENERGY CONSERVATION NOTES:**
1. PIPING IS TO BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123 AND 124 OF THE ENERGY EFFICIENCY STANDARDS.
  2. LAVATORY FAUCETS IN RESTROOMS ARE TO BE OF THE SELF CLOSING TYPE WITH .25 GALLONS PER CYCLE.
  3. PROVIDE VACUUM BREAKERS AT DOMESTIC WATER HOSE BIBBS.
  4. SINK FAUCETS TO BE 2.2 GALLONS PER MINUTE MAX.
  5. PROVIDE ULTRA LOW (1.6 G.P.M. MAX.) FLUSH TOILETS.
  6. PROVIDE ULTRA LOW (1.0 G.P.M. MAX.) FLUSH URINALS.
  7. WATER HEATER / BOILER WILL COMPLY WITH SECTION 608.3(C) C.P.C. THERMAL EXPANSION REQUIREMENTS.
  8. SHOULD CONTRACTOR PROPOSE AND/OR INSTALL ALTERNATIVE EQUIPMENT OR SYSTEMS, THE CONTRACTOR WILL SECURE APPROVALS OF ALL REVIEWING AGENCIES AS REGARDS TO PLAN CHECK, CODE COMPLIANCE AND TITLE 24 COMPLIANCE.
  9. ALL PLUMBING FIXTURE CONTROLS MUST NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE TO ACTIVATE THE CONTROLS TO BE LESS THAN OR EQUAL TO 5 lbs.
  10. PIPING BELOW ACCESSIBLE SINKS AND LAVATORIES ARE TO BE INSULATED. SEE SPECIFICATIONS.
  11. WHERE SELF-CLOSING VALVES ARE USED, THEY WILL REMAIN OPEN FOR 10 SECONDS.
  12. ALL PIPING SHALL BE INSULATED CONSISTENT WITH THE REQUIREMENTS OF SECTION 118, 123 AND 124 E.E.S. INSULATION SHALL HAVE THE FLAME SPREAD RATING OF 25 OR LESS AND, A SMOKE DEVELOPED RATING OF 50 OR LESS.
  13. SHOULD CONTRACTOR PROPOSE AND/OR INSTALL ALTERNATIVE EQUIPMENT OR SYSTEMS, IT WILL BE HIS RESPONSIBILITY TO SECURE APPROVALS OF ALL REVIEWING AGENCIES AS REGARDS TO PLANCHECK, CODE COMPLIANCE AND TITLE 24 COMPLIANCE.

**PLUMBING FIXTURE SCHEDULE**

MARK	MIN. BRANCH SIZE				TRAP OR ARM	FIXTURE
	C.W.	H.W.	VENT	WASTE		
L-1	1/2"	1/2"	1-1/2"	2"	1-1/4"	LAVATORY: JUST OLR-ADA-17521-18GA 21"x17-5/8" OVAL COUNTERTOP LAVATORY, TYPE 304 STAINLESS STEEL, 1-1/4" O.D. WASTE, 6" DEEP, (3) HOLES ON 4" CENTERS. PROVIDE SYMMONS ULTRA-SENSE S-6080-G-FR SENSOR ACTIVATED LAVATORY FAUCET. 4" CENTERS DECK PLATE, CHROME FINISH, WITH 0.5 GPM FLOW RESTRICTOR, TEMPERATURE LIMIT STOP, VANDAL RESISTANT AERATOR, GRID STRAINER DRAIN ASSEMBLY, 6-VOLT LITHIUM BATTERY POWER PACK, AND 3/8" COMPRESSION HOT AND COLD WATER CONNECTIONS. PROVIDE P-TRAP, STOP WITH FLEXIBLE SUPPLIES, & ADA KNEE PROTECTION. AB1953 COMPLIANT FAUCET. PROVIDE BRASSCRAFT KTR-C 17C QUARTER TURN BALL VALVES. ADA COMPLIANT WHEN MOUNTING HEIGHT SET AT 34" AFF, 2" MINIMUM FROM FRONT COUNTER EDGE TO PROVIDE 27" KNEE CLEARANCE. CLEAN OUT REQUIRED FOR EACH LAVATORY.

- PROVIDE ALL FIXTURES WITH ALL VANDAL PROOF OPTIONS.
- SEE ARCHITECTURAL FOR ACCESSIBILITY MOUNTING HEIGHTS
- CONTROLS FOR WATER CLOSETS AND LAVATORIES SHALL BE ON THE WIDE SIDE OF THE FIXTURE (CBC 1115B.2)

- GENERAL NOTES:**
1. CONTRACTOR IS REQUIRED TO VERIFY ALL EQUIPMENT MODEL NUMBERS, CAPACITIES, SIZES, VOLTAGES, AND ALL OTHER SCHEDULED INFORMATION WITH OTHER APPLICABLE TRADES AND WITH THE MANUFACTURER PRIOR TO INSTALLATION.
  2. CONTRACTOR IS REQUIRED TO CAREFULLY REVIEW THESE PLANS AND SPECIFICATIONS PRIOR TO BID. CONTRACTOR IS REQUIRED TO ALSO REVIEW PLANS AND SPECIFICATIONS OF OTHER RELATED TRADES (INCLUDING CIVIL, STRUCTURAL, AND ELECTRICAL) PRIOR TO BID TO INSURE AN ACCURATE UNDERSTANDING OF EXACT SCOPE OF WORK. ANY ITEMS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER IN SUFFICIENT TIME TO BE INCORPORATED INTO THE BID.
  3. THESE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC, AND ARE NOT INTENDED TO INDICATE ALL DETAILS AND NECESSARY OFFSETS OF PIPING. THE CONTRACTOR IS REQUIRED TO INSTALL MATERIAL AND EQUIPMENT IN A MANNER AS TO CONFORM TO STRUCTURE, AVOID OBSTRUCTIONS, PRESERVE HEADROOM, AND KEEP OPENINGS AND PASSAGEWAYS CLEAR. ALL INSTALLATIONS SHALL BE CONSISTENT WITH NORMALLY ACCEPTABLE INDUSTRY STANDARDS. THE CONTRACTOR IS REQUIRED TO NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES OR CONFLICTS THAT WOULD AFFECT THE SYSTEM PERFORMANCE OR INCUR ADDITIONAL COSTS. THIS NOTIFICATION SHALL BE SUBMITTED PRIOR TO INSTALLATION OF THE ITEMS CONCERNED.
  4. NEW AND/OR EXISTING EQUIPMENT INDICATED ON THIS DRAWING IS SHOWN IN APPROXIMATE POSITION(S). CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS, INCLUDING EQUIPMENT LOCATIONS, P.O.C.'S AND STRUCTURAL MEMBERS PRIOR TO INSTALLATION. IN ALL CASES, ADEQUATE ACCESS (PER MANUFACTURER'S RECOMMENDATIONS AND CODE COMPLIANCE) FOR MAINTENANCE AND REPLACEMENT OF EQUIPMENT SHALL BE PROVIDED.
  5. CONTRACTOR IS RESPONSIBLE TO CUT AND PATCH WALLS, CEILINGS AND FLOORS AS REQUIRED TO MAKE CONNECTIONS TO EXISTING SURFACE. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR LOCATION AND MATERIALS.
  6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES. NOTHING SHOWN ON THE PLANS OR STATED IN THE SPECIFICATIONS IS INTENDED TO INDICATE THAT THE INSTALLATIONS OR CONNECTIONS OF ANY ITEM OR DEVICE SHOULD BE DONE CONTRARY TO MANUFACTURER'S INSTRUCTIONS AND ALL APPLICABLE CODES AND REGULATIONS.
  7. IF THE CONTRACTORS' USE OF SUBSTITUTE MATERIALS, EQUIPMENT OR METHODS OF INSTALLATION REQUIRES ANY CHANGES IN OTHER TRADES' WORK FROM THAT SHOWN ON THE DRAWINGS, THE EXTRA COST OF THE OTHER TRADES WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR INITIATING THE SUBSTITUTION.
  8. SUBMITTALS: APPROVAL OF THE SUBMITTALS DOES NOT RELEASE THE CONTRACTOR FROM OBLIGATIONS TO FULLY COMPLY WITH ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS OR APPLICABLE CODE REGULATIONS. CONTRACTOR IS RESPONSIBLE TO CUT AND PATCH WALLS, CEILINGS AND FLOORS AS REQUIRED TO MAKE CONNECTIONS TO EXISTING SURFACE. SEE ARCHITECTURAL DRAWINGS AND SPECIFICATIONS FOR LOCATION AND MATERIALS.
  9. ALL WORK SHALL CONFORM TO 2010 C.B.C. PART 5, TITLE 24 C.C.R. REFER TO SMACNA FOR DUCT & PIPE BRACING.
  10. AIR FILTERS SHALL BE A STATE FIRE MARSHAL APPROVED AND LISTED TYPE. PREFORMED FILTERS HAVING COMBUSTIBLE FRAMING SHALL BE TESTED AS A COMPLETE ASSEMBLY. AIR FILTERS IN ALL OCCUPANCIES SHALL BE CLASS 2 OR BETTER (AS SHOWN IN THE STATE FIRE MARSHAL LISTING). AIR FILTERS SHALL BE ACCESSIBLE FOR CLEANING OR REPLACEMENT.
  11. ALL DUCTWORK AND PIPING SHALL BE SUPPORTED AND BRACED IN ACCORDANCE WITH SMACNA GUIDELINES CONFORMING TO SEISMIC HAZARD LEVEL "AA" TYPICAL.
  12. PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOORS-CEILINGS AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED BY CBC SECTIONS 712 AND 713.
  13. ALL PLUMBING EQUIPMENT, MATERIAL, AND ALL CONNECTIONS THERETO SHALL BE INSTALLED COMPLETE PER MANUFACTURER'S INSTRUCTIONS TO PROVIDE A COMPLETE AND FULLY OPERATIONAL SYSTEM.
  14. SOIL, SEWER AND WASTE PIPING SHALL SLOPE AT 1/4" PER FOOT MINIMUM, UNLESS OTHERWISE NOTED.
  15. ALL PLUMBING SOLDER SHALL BE LEAD FREE.
  16. CROSS CONNECTION PROTECTION SHALL BE PROVIDED AT ALL POTABLE WATER SUPPLIED APPLIANCES AND EQUIPMENT. BACKFLOW PREVENTERS SHOWN ON THESE PLANS, WHICH ARE USED FOR EQUIPMENT (I.E. MEDICAL, PROCESS, AIR CONDITIONING, KITCHEN EQUIPMENT, LANDSCAPE, ETC.) SHALL BE APPROVED BY THE FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH (FCCCHR) AT THE UNIVERSITY OF SOUTHERN CALIFORNIA.
  17. ALL VENT-THROUGH-ROOF PIPES SHALL TERMINATE NO LESS THAN 10'-0" MIN FROM ALL OUTSIDE AIR AND BUILDING OPENINGS.
  18. A WATER HAMMER ARRESTOR SHALL BE INSTALLED AT LOCATIONS OF SELF-CLOSING VALVES PER UPC 609.10. PROVIDE 8X8 ACCESS PANEL.
  19. INSTALL FLUSH VALVE HANDLES ON WIDE SIDE OF ACCESSIBLE TOILETS PER ADA STANDARDS.
  20. BUILDING DRAIN AND VENT PIPING MATERIALS SHALL COMPLY WITH SECTION 710.0 AND 903.0 OF THE 2010 CALIFORNIA PLBG. CODE.
  21. ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY.
  22. ALL DRAINPIPES AND ALL HOT WATER PIPES, UNDER LAVATORIES, ARE TO BE COVERED WITH FACTORY SUPPLIED VITREOUS CHINA SHROUD. THERE SHALL BE NO SHARP OR ABRASIVE SURFACES UNDER LAVATORIES.
  23. FLOOR DRAINS SHALL NOT SLOPE MORE THAN 1.5% IF THEY ARE LOCATED ON THE PATH OF TRAVEL.

**PLUMBING LEGEND**

SYMBOL	ABBREV.	DESCRIPTION
	POC	POINT OF CONNECTION
	CW	COLD WATER
	HW	HOT WATER (120°F)
	HWR	HOT WATER RETURN
	S OR W	SOIL OR WASTE ABOVE SLAB
	S OR W	SOIL OR WASTE BELOW SLAB
	V	SANITARY VENT
	DN	DOWN OR DROP
	UP	RISE OR RISER
	SOV	SHUT-OFF VALVE ON RISE OR DROP
	WCO	WALL CLEAN-OUT
	FCO	FLOOR CLEAN-OUT
	FD	FLOOR DRAIN
	HB	HOSE BIBB
	ABV	ABOVE
	BEL	BELOW
	CONN	CONNECT OR CONNECTION
	CONT	CONTINUATION
	CLG	CEILING
	DN	DOWN
	EXIST	EXISTING
	FFE	FINISHED FLOOR ELEVATION
	FIN	FINISH
	FLR	FLOOR
	GPM	GALLONS PER MINUTE
	LAV	LAVATORY
	MAX	MAXIMUM
	MIN	MINIMUM
	PLBG	PLUMBING
	TYP	TYPICAL
	U.N.O.	UNLESS NOTED OTHERWISE

- PIPING MATERIAL NOTES:**
1. SOIL, WASTE AND DOWNSPOUTS ABOVE AND BELOW GRADE WITHIN 5' OF BUILDING LINE: CAST IRON SOIL PIPE AND FITTINGS CONFORMING TO THE LATEST ISSUE OF CISPI 301, ASTM A-888, OR SERVICE WEIGHT HUB AND SPIGOT CONFORMING TO ASTM A-74. PIPE AND FITTINGS SHALL BE GREENSPEC LISTED. MANUFACTURER SHALL BE CHARLOTTE, TYLER, AB&I OR RECEIVE PRIOR APPROVAL OF THE ENGINEER.
  2. SEWER FROM 5' OUTSIDE BUILDING EXCEPT AS OTHERWISE NOTED ON PLANS: SCHEDULE 40 PVC PIPING CONFORMING TO ASTM D 2665, FITTINGS CONFORMING TO ASTM D 2466 WITH SOLVENT WELDED JOINTS CONFORMING TO ASTM D2564.
  3. VENT PIPING: SERVICE WEIGHT CAST-IRON WITH SAME JOINT AS USED FOR SOIL AND WASTE ABOVE GRADE.
  4. ALL DOMESTIC WATER PIPING: ABOVE GRADE SHALL BE TYPE "L" COPPER TUBING HARD DRAWN WITH WROUGHT COPPER SOLDER SWEAT FITTINGS. WHERE BELOW GRADE AND WITHIN 5' OF BUILDING LINE, SHALL BE TYPE "K" COPPER TUBING IN SINGLE CONTINUOUS LENGTH WITH POLYETHYLENE OUTER TUBING.
  5. ALL SANITARY SYSTEM MATERIALS SHALL BE LISTED BY AN APPROVED LISTING AGENCY.

Platt/Whitelaw Architects, Inc.  
 4034 30th Street, SAN DIEGO CA 92104  
 (619) 546-4326 FAX (619) 546-4350  
 PWA PROJECT #: 0413

**BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY**

SHEET TITLE: PLUMBING NEW FLOOR PLAN SHEET NUMBER: P-0.1

CITY OF SAN DIEGO, CALIFORNIA  
 ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
 SHEET 5 OF 8 SHEETS

FOR CITY ENGINEER: *[Signature]* DATE: 3/17/14  
 SECTION HEAD: ALI DARVISHI

DESCRIPTION: ORIGINAL BY: MB/HS APPROVED: DATE: 7/18/2013 FILMED: -

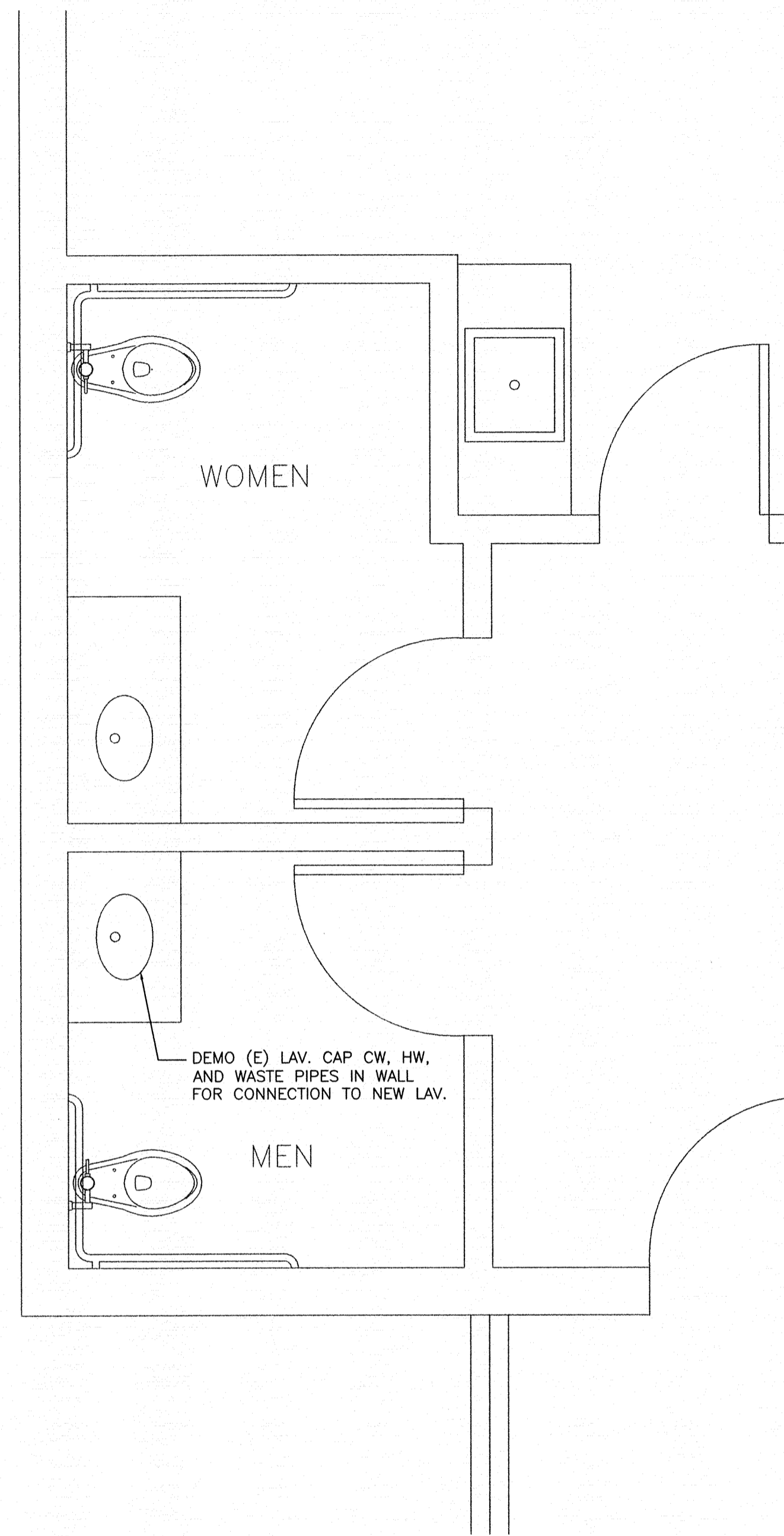
PROJECT MANAGER: COSELYN GOODRICH  
 PROJECT NUMBER: 206-1719  
 CCS27 COORDINATE: 6280407-1846444  
 CCS83 COORDINATE: 37595-05-D

CONTRACTOR: DATE STARTED: INSPECTOR: DATE COMPLETED:

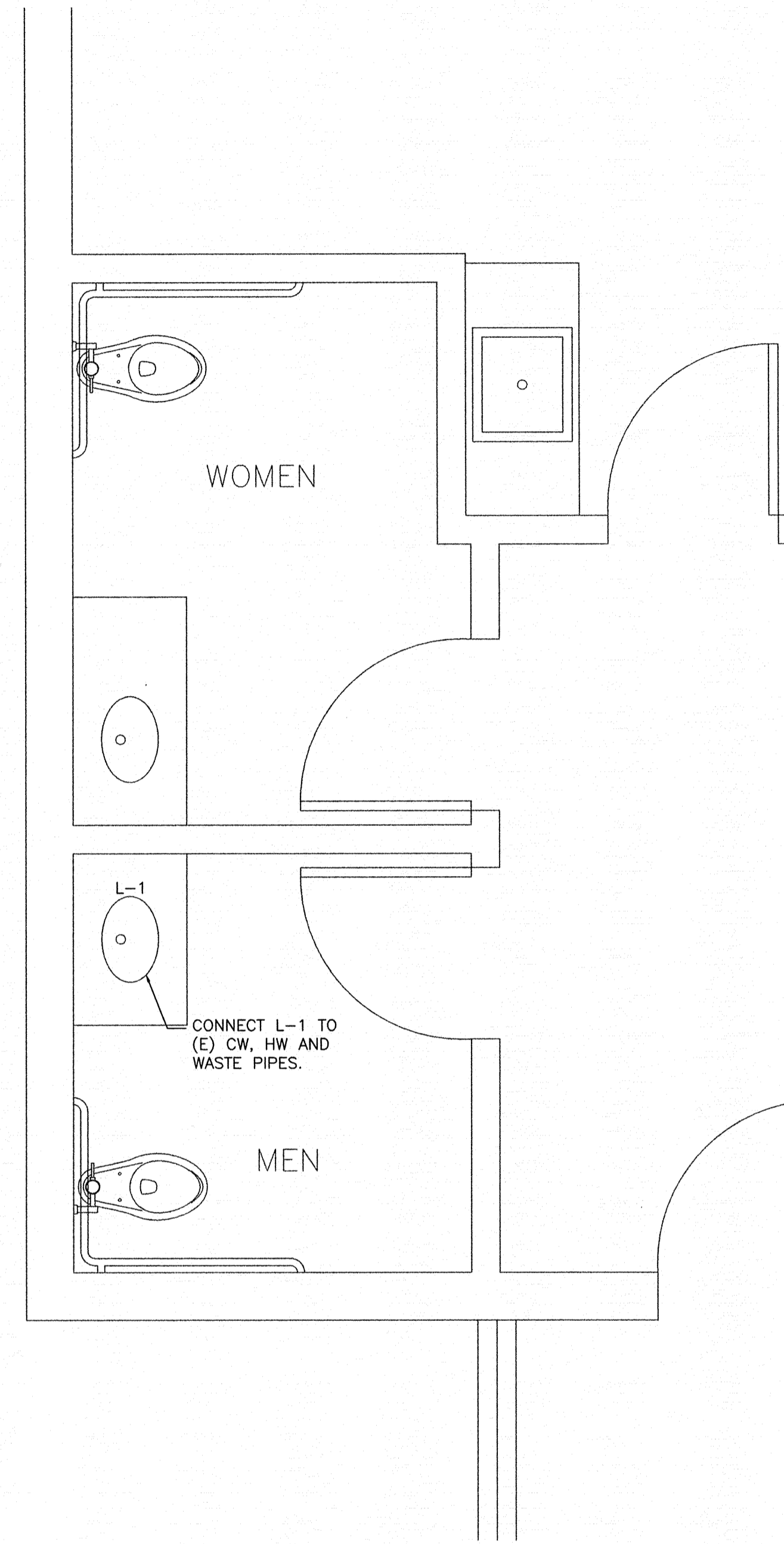
**BENDER & DEAN ENGINEERING**  
 438 Camino Del Rio South  
 Suite 217  
 San Diego, CA 92108-3547  
 Phone: (619) 704-1900 Fax: (619) 427-1608



© Projects - DMW\2013 Projects\1302 Timken Museum Removal of ADA Barriers\Working Drawings\1302 Timken Museum.dwg 07/16/2013 15:31



SCALE: 1/2"=1'-0" **ENLARGED DEMO FLOOR PLAN**



SCALE: 1/2"=1'-0" **ENLARGED NEW FLOOR PLAN**

Platt/Whitelaw Architects, Inc.  
4034 30th Street, SAN DIEGO CA 92104  
(619) 546-4326 FAX (619) 546-4350  
PWA PROJECT #: 0413

**BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY**

SHEET TITLE: **PLUMBING FLOOR PLAN** SHEET NUMBER: **P-1.0**

CITY OF SAN DIEGO, CALIFORNIA  
ENGINEERING AND CAPITAL PROJECTS DEPARTMENT  
SHEET 6 OF 8 SHEETS WBS **B-13022**

*Ali Darvishi* 3/17/14 FOR CITY ENGINEER DATE ALI DARVISHI SECTION HEAD

DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	MB/HS		7/18/2013	

CONTRACTOR \_\_\_\_\_ DATE STARTED \_\_\_\_\_  
INSPECTOR \_\_\_\_\_ DATE COMPLETED \_\_\_\_\_

**BENDER & DEAN ENGINEERING**  
438 Camino Del Rio South  
Suite 217  
San Diego, CA 92108-3547  
Phone: (619) 704-1900 Fax: (619) 427-1608



BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY

37595-06-D

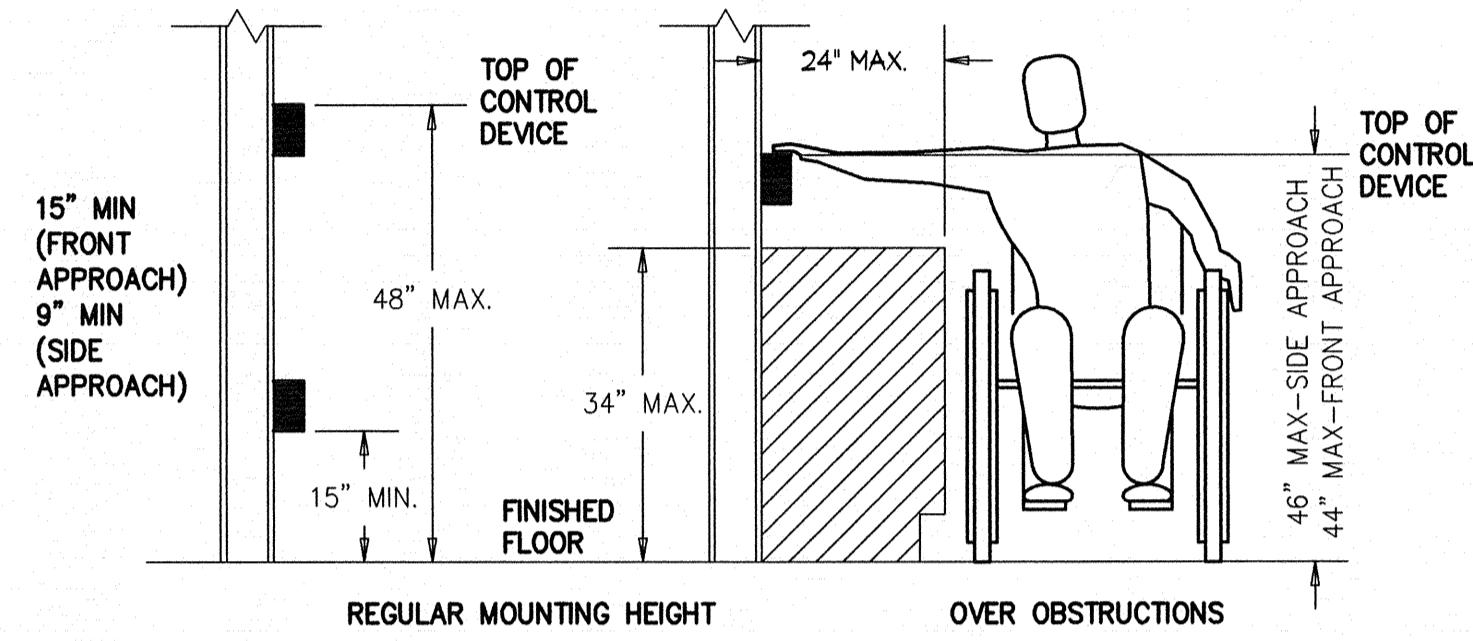
ELECTRICAL LEGEND			
SYMBOL	DESCRIPTION		
	DASHED SYMBOL INDICATES EXISTING FIXTURE, OUTLET, DEVICE OR EQUIPMENT TO BE REMOVED.		
	FINE-LINED SYMBOL INDICATES EXISTING FIXTURE, OUTLET, DEVICE OR EQUIPMENT TO REMAIN.		
S	SINGLE POLE, SINGLE THROW TOGGLE SWITCH, MOUNTED AT +45° AFF AT CENTER OF BOX U.O.N.		
ITEM DESCRIPTION	SYMBOL	MOUNTING	NOTIFIER AND WHEELLOCK CATALOG NO.
FIRE ALARM CONTROL PANEL "FACP" EXISTING NOTIFIER			AFP-200
MANUAL PULL STATION		+48"	MS-2
VISUAL DEVICE ON CEILING OUTLET (NUMBER INDICATES 75 CANDELA RATING)		CEILING	RSS-24MCC-FR 75cd
PHOTOELECTRIC SMOKE SENSOR WITH SOUNDER BASE.		CEILING	2451TH

### FIRE ALARM EQUIPMENT SCHEDULE

A  
E-001

**SUBSTITUTIONS:**  
WHEN CONTRACTOR CHOOSES TO SUBSTITUTE A DEVICE, COMPONENTS, OR ASSEMBLIES HE SHALL BE FULLY RESPONSIBLE FOR THE FULL COORDINATION OF THE COMPLETED SYSTEM. THIS INCLUDES THE ADDITION OF ANY AND ALL EQUIPMENT MOUNTING, CONDUCTORS, AND RE-ENGINEERING AS NEEDED TO MAKE THE SUBSTITUTED SYSTEM(S) FULLY OPERATIONAL.

**NOTE**  
CONTRACTOR SHALL COORDINATE HORIZONTAL PLACEMENT OF ALL DEVICES AT CASEWORK AREAS WITH ARCHITECTURAL CASEWORK ELEVATION DRAWINGS PRIOR TO ROUGH-IN.

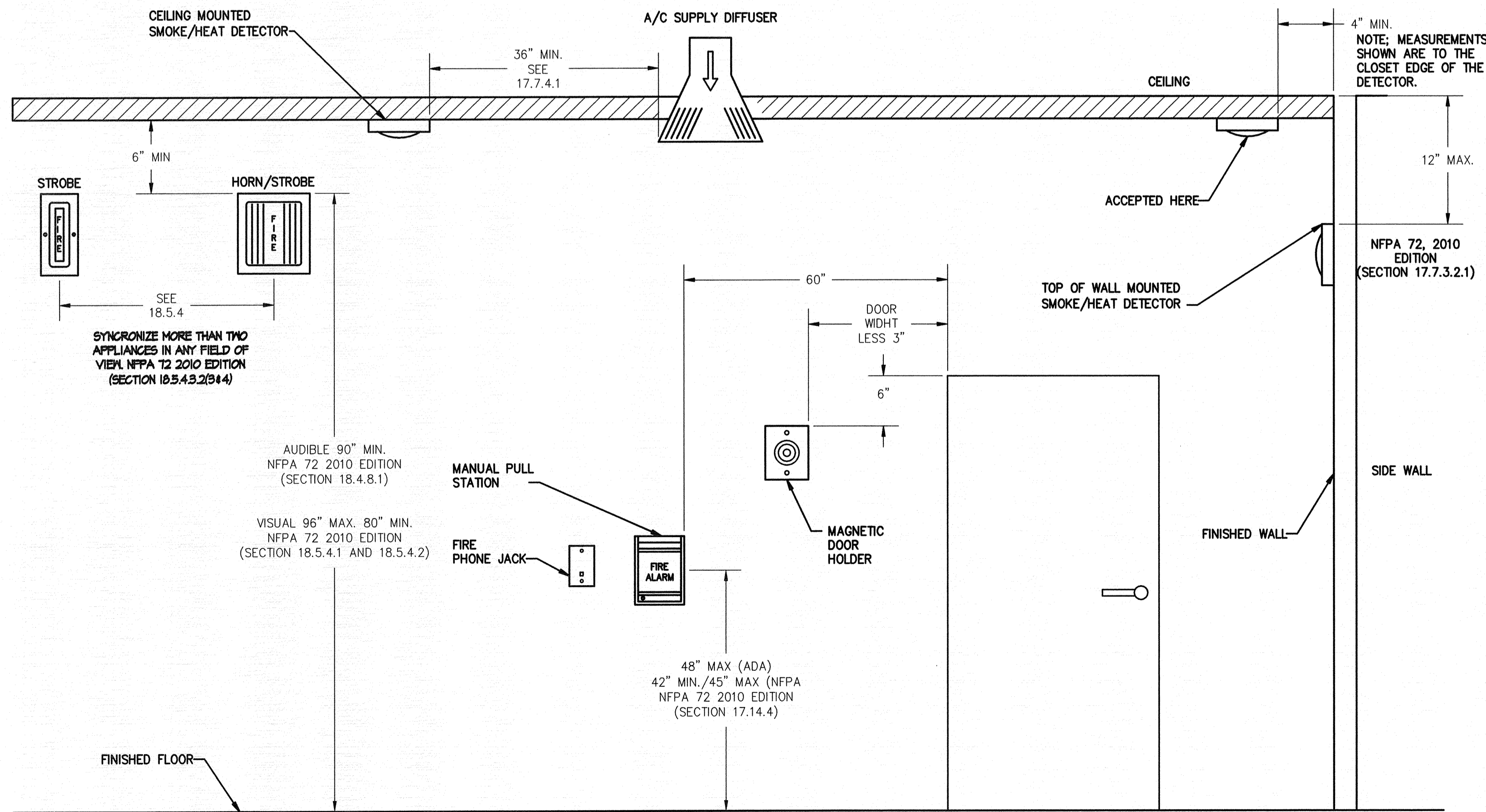


**NOTE**  
WHERE LIGHT SWITCHES, RECEPTACLES, TELEPHONE/DATA OUTLETS, DIMMING CONTROL STATIONS, FIRE ALARM PULL STATIONS OR OTHER OPERABLE OUTLET DEVICES OCCUR OVER FIXED OBSTRUCTIONS (SUCH AS CASEWORK, ETC) RESPECTIVE DEVICE MOUNTING HEIGHT LIMITS AFF SHALL BE AS TYPICALLY DEPICTED ABOVE.

### MOUNTING HEIGHT LIMITS OVER OBSTRUCTIONS

NO SCALE

B  
E-001



### FIRE ALARM DEVICE ELEVATIONS

NO SCALE

C  
E-001

### ABBREVIATIONS LIST

A, AMP	AMPERE
AC	ALTERNATING CURRENT
AF	AMPS FRAME, OR AMPS FUSE RATING
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
AIC	AMPERE INTERRUPTING CAPACITY
AT	AMPS TRIP RATING
AS	AMPS SWITCH RATING
C	CONDUIT
CEC	CALIFORNIA ELECTRICAL CODE
CIR	CIRCUIT
CMU	CONCRETE MASONRY UNIT
C.O.	CONDUIT ONLY
CU	COPPER
CW	COLD WATER
DWG	DRAWING
EA.	EACH
EG	EQUIPMENT GROUND
ELEC	ELECTRICAL
EMERG.	EMERGENCY
EWC	ELECTRIC WATER COOLER
EW	ELECTRIC WATER HEATER
GFCI	GROUND-FAULT CIRCUIT INTERRUPTER
GFI	GROUND-FAULT INTERRUPTER
GND	GROUND
HPF	HIGH POWER FACTOR
HPS	HIGH PRESSURE SODIUM
JB	JUNCTION BOX
KVA	KILOVOLT AMPS (kva)
KW	KILOWATT (kw)
KWH	KILOWATT-HOUR (kwh)
LPS	LOW PRESSURE SODIUM
LTG	LIGHTING
NEC	NATIONAL ELECTRICAL CODE
NEMA	NATIONAL ELECTRICAL MANUFACTURERS ASSOCIATION
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
OC	ON CENTER
POC	POINT OF CONNECTION
REF	REFERENCE
SCOR	SHORT CIRCUIT CURRENT RATING
SW	SWITCH
SYM	SYMMETRICAL
T, TELE	TELEPHONE
TYP	TYPICAL
U.O.N.	UNLESS OTHERWISE NOTED
WP	WEATHERPROOF

### GENERAL NOTES

- ALL WORK SHALL BE IN COMPLIANCE WITH THE 2010 CALIFORNIA ELECTRICAL CODE (CEC) AND WHERE APPLICABLE AS AMENDED BY LOCAL ORDINANCES AND CODES OF GOVERNING MUNICIPALITIES, AND ALL CALIFORNIA AMENDMENTS.
- ALL ELECTRICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATIONS AND ALL OTHER RELATED CONTRACT DRAWINGS.
- THE CONTRACTOR SHALL CAREFULLY EXAMINE ALL CONTRACT DRAWINGS/SPECIFICATIONS AND BE RESPONSIBLE FOR THE PROPER FITTING OF MATERIALS AND EQUIPMENT AT EACH LOCATION AS INDICATED WITHOUT SUBSTANTIAL ALTERATION. IN AS MUCH AS THE DRAWINGS ARE GENERALLY DIAGRAMMATIC AND BECAUSE OF THE SMALL SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS AND ACCESSORIES WHICH MAY BE REQUIRED. FURNISHING FITTINGS REQUIRED TO MEET SUCH CONDITIONS SHALL BE AT NO COST TO THE OWNER.
- CONDUIT RUNS ARE SHOWN DIAGRAMMATICALLY ONLY AND SHALL BE INSTALLED IN A MANNER TO PREVENT CONFLICTS WITH EQUIPMENT AND STRUCTURAL CONDITIONS. EXPOSED CONDUITS SHALL BE INSTALLED PARALLEL TO BEAMS AND WALLS.
- CONDUITS SHALL BE TERMINATED SO AS TO PERMIT NEAT CONNECTIONS TO EQUIPMENT.
- THE WIRING DIAGRAMS, QUANTITY AND SIZE OF WIRES AND CONDUITS ARE BASED UPON SELECTED STANDARD COMPONENTS OF ELECTRICAL EQUIPMENT. MODIFICATIONS APPROVED BY THE RESIDENT ENGINEER MAY BE MADE BY THE CONTRACTOR AT HIS EXPENSE TO ACCOMMODATE EQUIPMENT ACTUALLY PURCHASED. THE BASIC SEQUENCE AND METHOD OF CONTROL MUST BE MAINTAINED AS INDICATED ON THE DRAWINGS AND SPECIFICATIONS.
- OUTLET BOXES, UTILIZATION EQUIPMENT CABINETS, CONDUIT SYSTEMS, AND CONVENIENCE OUTLETS SHALL BE GROUNDED IN ALL ELECTRICAL SYSTEMS OPERATING AT 48 VOLTS AND ABOVE. EACH GROUND WIRE SHALL BE TERMINATED AT THE EQUIPMENT GROUND BAR. GROUND WIRES SHALL BE SIZED PER C.E.C. 250.122.
- ALL CONDUITS SHALL BE A MINIMUM OF 3/4", UNLESS SPECIFICALLY STATED OTHERWISE.
- WIRING FOR FIRE ALARM CIRCUITS SHALL BE SOLID WIRE THHN TYPE NOT STRANDED, PER SPECIFICATIONS, NO ALUMINUM WIRING SHALL BE USED.
- FIELD VERIFY EXISTING CONDITIONS AND ADVISE RESIDENT ARCHITECT OF ANY DISCREPANCIES OR DEVIATIONS BETWEEN PLANS AND ACTUAL CONDITIONS PRIOR TO SUBMITTING BID.
- MOUNTING HEIGHTS INDICATED FOR INDICATED DEVICES ARE MEASURED TO BOTTOM OF THE FIXTURE ABOVE FINISHED FLOOR, UNLESS OTHERWISE NOTED.
- ALL WIRING SHALL BE IN CONDUIT. NO TYPE 'MC' OR SIMILAR PRE-ASSEMBLED CABLE SHALL BE USED.

### FOR REFERENCE ONLY

#### DEFERRED SUBMITTALS

THE FIRE ALARM SYSTEM SHALL BE UNDER SEPARATE SUBMITTAL BY THE CONTRACTOR AND SEPARATE PERMIT BY THE CITY.

**NOTE:**  
THIS DEFERRED SUBMITTAL SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF THE PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL) WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE, WITH NO EXCEPTIONS, PLEASE REFER TO CITY OF SAN DIEGO REQUIREMENTS.

PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECKER DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

<p><b>TURPIN &amp; RATTAN</b> ENGINEERING, INC. CONSULTING ENGINEERS 4719 PALM AVENUE LA MESA, CA 91941-5221 619-465-1522 ext 465 / 6233 E-MAIL: ENGINEER@TRRSD.COM TREI # 12403.00 8/20/02/013_7/27/09 CALIFORNIA PROFESSIONAL ENGINEER No. 11533 exp. 6/30/2014 ELECTRICAL STATE OF CALIFORNIA</p>																							
<p><b>Platt/Whitelaw Architects, Inc.</b> 4034 30th Street, SAN DIEGO CA 92104 (619) 546-4326 FAX (619) 546-4360</p>		<p>PWA PROJECT #: 0413</p>																					
<h2>BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY</h2>																							
SHEET TITLE:		SHEET NUMBER:																					
SYMBOL LIST/GENERAL NOTES		E-001																					
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 7 OF 8 SHEETS		WBS B-13022																					
<p>FOR CITY ENGINEER 3/17/14</p>		<p>ALI DARVISHI SECTION HEAD</p>																					
<table border="1"> <thead> <tr> <th>DESCRIPTION</th> <th>BY</th> <th>APPROVED</th> <th>DATE</th> <th>FILMED</th> </tr> </thead> <tbody> <tr> <td>ORIGINAL</td> <td>DF/KP</td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table>		DESCRIPTION	BY	APPROVED	DATE	FILMED	ORIGINAL	DF/KP														<p>COSELYN GOODRICH PROJECT MANAGER 206-1719 CCS27 COORDINATE 6280407-1846444 CCS83 COORDINATE</p>	
DESCRIPTION	BY	APPROVED	DATE	FILMED																			
ORIGINAL	DF/KP																						
CONTRACTOR		DATE STARTED																					
INSPECTOR		DATE COMPLETED																					
		37595-07-D																					





- GENERAL NOTES**
- ① EXISTING DEVICE TO REMAIN. U.O.N (TYPICAL)
  - ② LOWER EXISTING DEVICE TO 48" AFF MAX TO TOP OF DEVICE.
  - ③ PROVIDE NEW DEVICE AS INDICATED, CONNECT TO EXISTING FIRE ALARM CIRCUIT. (TYPICAL)

**FOR REFERENCE ONLY**

**DEFERRED SUBMITTALS**

THE FIRE ALARM SYSTEM SHALL BE UNDER SEPARATE SUBMITTAL BY THE CONTRACTOR AND SEPARATE PERMIT BY THE CITY.

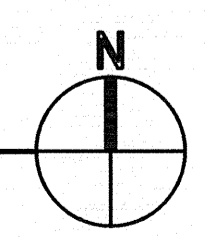
**NOTE:**  
THIS DEFERRED SUBMITTAL SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND/OR ENGINEER FOR REVIEW AND COORDINATION. FOLLOWING THE COMPLETION OF THE PROJECT ARCHITECT/ENGINEER REVIEW AND COORDINATION, A SUBMITTAL TO THE CITY SHALL BE MADE (FOR CITY REVIEW AND APPROVAL) WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND COMPLETED AND PLANS AND CALCULATIONS FOR DEFERRED ITEMS ARE FOUND TO BE ACCEPTABLE, WITH NO EXCEPTIONS, PLEASE REFER TO CITY OF SAN DIEGO REQUIREMENTS.

PLANS FOR THE DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER THAT ALLOWS A MINIMUM 30 WORKING DAYS FOR INITIAL PLAN REVIEW. ALL COMMENTS RELATED TO THE DEFERRED SUBMITTAL MUST BE ADDRESSED TO THE SATISFACTION OF THE PLAN CHECKER DIVISION PRIOR TO APPROVAL OF THE SUBMITTAL ITEMS. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

<p><b>TURPIN &amp; RATTAN</b> ENGINEERING, INC. CONSULTING ENGINEERS 4719 PALM AVENUE LA MESA, CA 91941-5221 619 / 465 / 6224 FAX 465 / 6233 E-MAIL: ENGINEER@TREIBO.COM TREI # 12403.00 <small>© 12/12/2013 12:00:00 CADPROJ12403.00_E-101.dwg</small></p>	
<p><b>Platt/Whitelaw Architects, Inc.</b> 4034 30th Street, SAN DIEGO CA 92104 (619) 548-4328 FAX (619) 548-4350</p>	<p>CONSULTANT</p> <p>PWA PROJECT #: 0413</p>

<b>BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY</b>					
SHEET TITLE: <b>FIRST FLOOR PLAN</b>	SHEET NUMBER: <b>E-101</b>				
CITY OF SAN DIEGO, CALIFORNIA ENGINEERING AND CAPITAL PROJECTS DEPARTMENT SHEET 8 OF 8 SHEETS					
FOR CITY ENGINEER BY: <i>[Signature]</i> DATE: 3/17/14	ALI DARVISHI SECTION HEAD				
DESCRIPTION	BY	APPROVED	DATE	FILMED	COSELYN GOODRICH PROJECT MANAGER 206-1719 CCS27 COORDINATE 6280407-1846444 CCS83 COORDINATE
ORIGINAL					
CONTRACTOR	DATE STARTED				37595-08-D
INSPECTOR	DATE COMPLETED				

① FIRST FLOOR PLAN  
1/8" = 1'-0"



G:\12\12403.00\CADPROJ\12403.00\_E-101.dwg 07/16/2013 14:09

BALBOA PARK ADA BARRIER REMOVAL - TIMKEN GALLERY