



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: June 19, 2013 REPORT NO. HO 13-056

ATTENTION: Hearing Officer

SUBJECT: LAMONT STREET TOWNHOMES
PROJECT NUMBER: 304111

LOCATION: 3953-59 Lamont Street

APPLICANT: Dan Linn

SUMMARY

Issue(s): Should the Hearing Officer approve a Coastal Development and Tentative Parcel Map to construct four residential condominiums within the Pacific Beach community planning area?

Staff Recommendations - APPROVE Coastal Development Permit No. 1077654 and Tentative Parcel Map No. 1098945.

Community Planning Group Recommendation - On March 27, 2013, the Pacific Beach Planning Group voted 15-1-0 to recommend approval of the project with no conditions (Attachment 10).

Environmental Review - The proposed activity is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 and 15303 of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 5, 2013, and the opportunity to appeal that determination ended March 26, 2013.

The project proposes a Coastal Development Permit and Tentative Parcel Map to construct four residential condominiums and waive the requirement to underground existing overhead utilities. The project is located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan. The property is designated multi-family residential with a maximum density range of 29 dwelling units per acre. This would allow for four units to be built on this 5,950 square-foot lot. The site currently contains two detached single family residences and a detached garage constructed in 1946 and 1956. Surrounding this site are single story and multi-

story multi-family and single family dwelling units. Crown Point Park exists an eighth of a mile to the south and approximately one mile to the north is retail shopping.

A Coastal Development Permit is required for the proposed development of four condominiums in accordance with San Diego Municipal Code section 126.0702.

A Tentative Parcel Map is required in accordance with San Diego Municipal Code (SDMC) section 144.0210 for the creation of four condominiums.

DISCUSSION

The project proposes the demolition of two single family units and a detached garage for the construction four, two-bedroom residential condominiums. The proposed project design meets all requirements of the Land Development Code including setbacks, floor area ratio, landscaping, parking, and height. The proposed project will be three stories to include a total of 6,028 square feet of habitable area. The project will include four tandem parking spaces within two-car garages and one uncovered surface parking space. All parking will be accessed from the alley. The entire site will be landscaped with a mixture of trees, shrubs, and ground cover. Each unit will contain an open deck.

Project Related Issues

Undergrounding Waiver Request

San Diego Municipal Code Section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined the undergrounding waiver request qualifies under the guidelines SDMC section 144.0242, *Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities*, in that the conversion involves a short span of overhead facility (less than 600 feet in length) and the conversion would not represent a logical extension to an underground facility.

The applicant will be required to underground all existing service to the site per Condition No. 11 of the draft Tentative Parcel Map resolution (Attachment 8). The applicant would also be required to underground any new service run to any new or proposed structures within the subdivision per Condition No. 10 of the draft Map Waiver resolution (Attachment 8).

The neighborhood currently contains power poles and overhead utilities lines within the alley. The utility lines to these poles extend to other properties located north and south. As indicated above, all utilities serving this property will be required to be undergrounded. The waiver is being requested for the requirement to underground offsite adjacent utilities serving the surrounding properties. The City's Undergrounding Master Plan designates the site within Block 2BB1, and the date for undergrounding has been established for the year 2067 (Attachment 12).

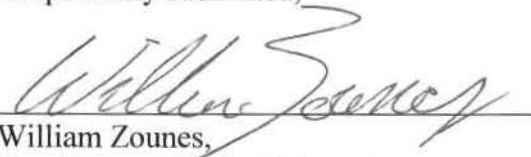
Conclusion:

Staff has reviewed the proposed project and has found it is consistent with the development standards in effect for the site and with the adopted Pacific Beach Community Plan, Local Coastal Program Land Use Plan, and the City of San Diego Progress Guide and General Plan. Staff recommends approval of the project.

ALTERNATIVES:

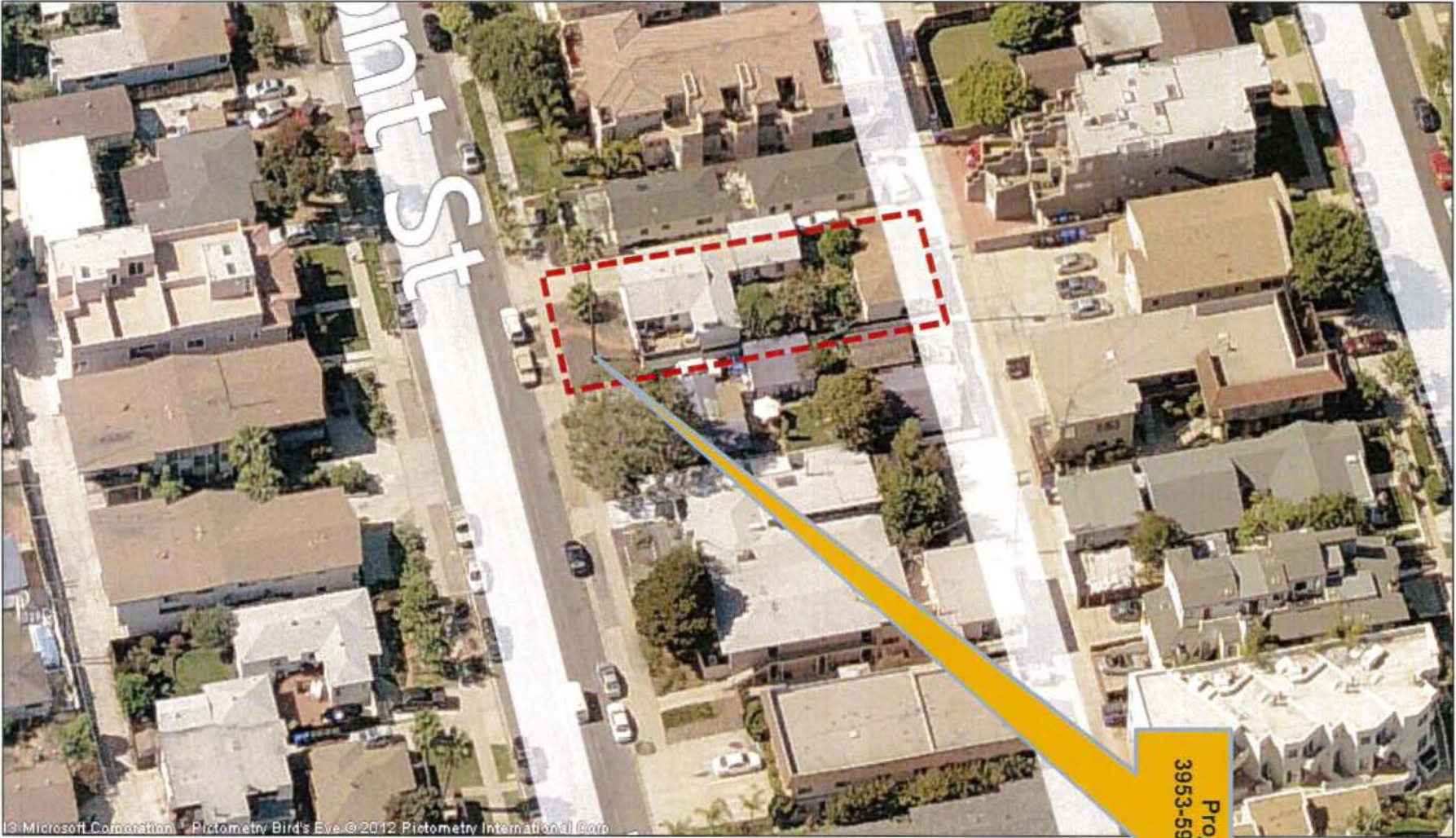
1. **Approve** Coastal Development Permit No. 1077654 and Tentative Parcel Map No. 1098945, with modifications.
2. **Deny** Coastal Development Permit No. 1077654 and Tentative Parcel Map No. 1098945, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,


William Zounes,
Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Draft Tentative Parcel Map Resolutions with Findings
8. Draft Tentative Parcel Map Conditions
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Utility Undergrounding Schedule
12. Project Chronology
13. Notice of Exemption
14. Project Plans



© 2012 Microsoft Corporation. Pictometry Bird's Eye. © 2012 Pictometry International Corp.

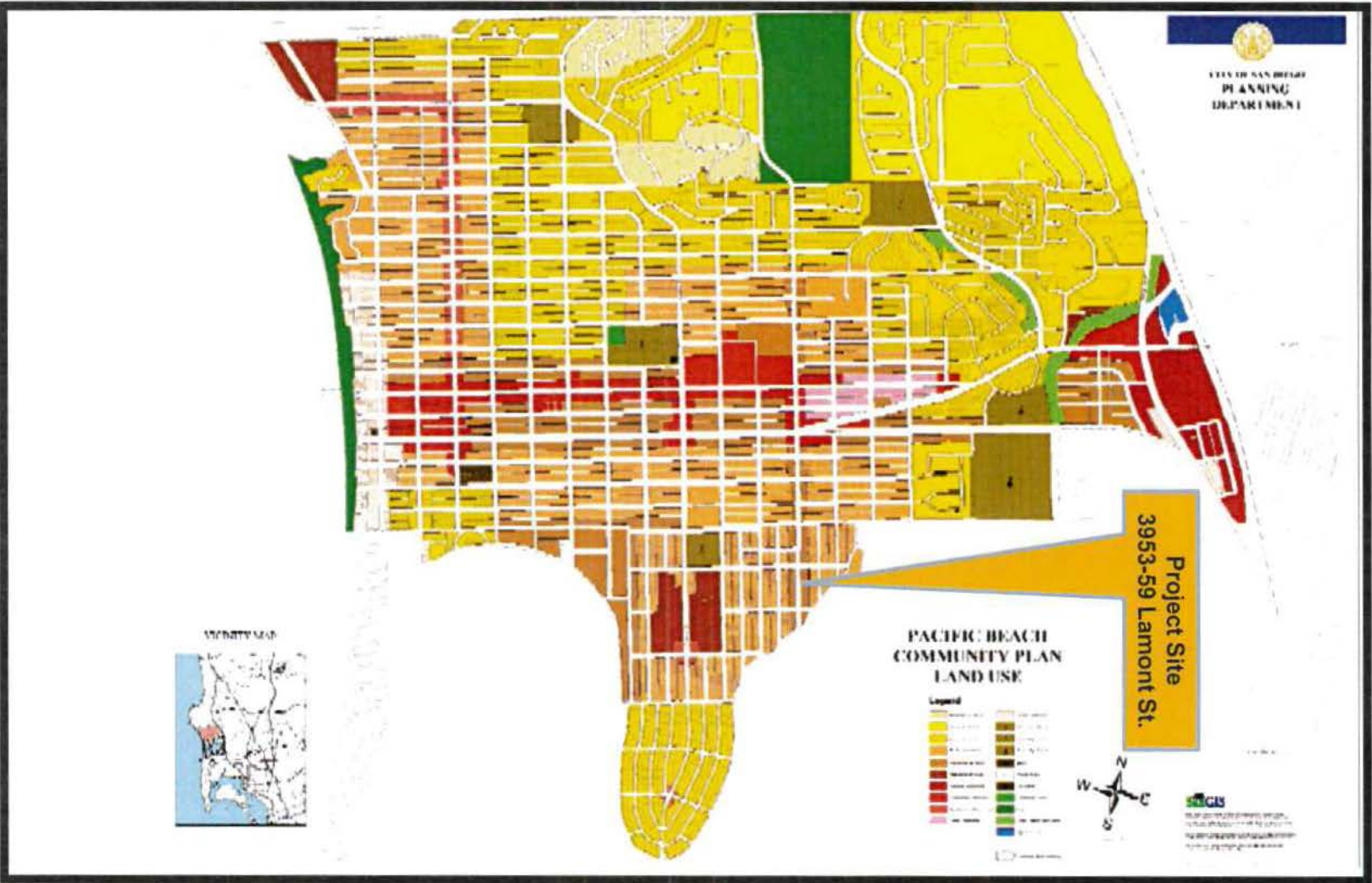


Aerial Photograph (Birds Eye)

Lamont Street Townhomes- Project No. 304111
3953-59 Lamont St



Attachment 1
Aerial Photograph of Site

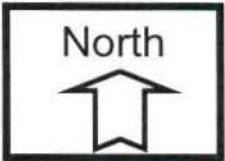


**Attachment 2
Community Plan Land Use Map**



Pacific Beach Community Plan Map

Lamont Street Townhomes- Project No. 304111
3953-59 Lamont Street





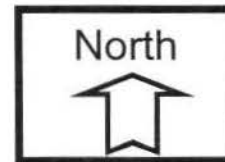
Attachment 3
Project Location Map



Location Map

Lamont Street Townhomes- Project No. 30411

3953-59 Lamont Street



PROJECT DATA SHEET		
PROJECT NAME:	Lamont Street Townhomes	
PROJECT DESCRIPTION:	The project proposes the demolition of two single family units and a detached garage for the construction four, two-bedroom residential condominiums.	
COMMUNITY PLAN AREA:	Pacific Beach	
DISCRETIONARY ACTIONS:	Tentative Parcel Map/Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Multi-Unit Residential	
<u>ZONING INFORMATION:</u>		
ZONE: RM-2-5 Zone HEIGHT LIMIT: 30 feet LOT SIZE: 0.14-acres FLOOR AREA RATIO: 1.35 FRONT SETBACK: 15/20 feet SIDE SETBACK: 5 feet STREETSIDE SETBACK: 15 feet REAR SETBACK: 15 feet PARKING: 5 spaces required		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Multi-Family, RM-2-5	Mixed Multi-Family and Single Family dwellings
SOUTH:	Multi-Family, RM-2-5	Mixed Multi-Family and Single Family dwellings
EAST:	Multi-Family, RM-1-1	Mixed Multi-Family and Single Family dwellings
WEST:	Multi-Family, RM-1-1	Mixed Multi-Family and Single Family dwellings
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 27, 2013, the Pacific Beach Planning Group voted 15-1-0 to recommend approval of the project with no conditions	

HEARING OFFICER
RESOLUTION NO. HO-XXXX
COASTAL DEVELOPMENT PERMIT NO. 1077654
LAMONT STREET TOWNHOMES NO. 304111

WHEREAS, PACIFIC BEACH 2012, LTD, Owner/Permittee, filed an application with the City of San Diego for a permit to construct four residential condominiums (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1077654), on portions of a 0.14-acre site;

WHEREAS, the project site is located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan;

WHEREAS, the project site is legally described as Lots 11 and 12 in block 4 of Venice Park, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 991, filed in the office of the County Recorder of San Diego County, May 24, 1906;

WHEREAS, on June 19, 2013, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1077654 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on March 5, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 and 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 19, 2013.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The property is located approximately 1/8 mile from the Mission Bay. The property is not located on or adjacent to an existing or proposed physical access way identified in the Local Coastal Program Land Use

Plan. The Pacific Beach Community Plan does not identify a public view corridor on or adjacent to the site. Therefore the coastal development permit will not encroach upon on existing or proposed access way nor affect existing views to and along the ocean or other scenic coastal areas.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The project is proposed for a site that is located in a built, urban environment, and does not contain environmentally sensitive lands. The site is not located adjacent to any sensitive resources, and not within, or adjacent to, the Multi-Habitat Planning Area (MHPA). The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(i)(1), Existing Facilities Demolition and 15303, New Construction. As the project is not located within or adjacent to, any sensitive resources areas, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The proposed project is consistent with the residential land use designations of the Pacific Beach Community Plan by continuing to maintain a density range of 14-29 dwelling units per acre. This density occurs primarily along Sail Bay, Grand Avenue, Hornblend Street and Lamont Street, and is characterized by four-unit condominiums.

The plan recommends that new multi-family residential developments conform to area-specific streetscape recommendations for landscape, lighting, sidewalk treatment and signage and be implemented through the citywide landscape ordinance. Additionally, the plan recommends that residential neighborhoods be enhanced by establishing and maintaining street tree patterns and promoting general maintenance and improvement of residential properties.

The proposed residential condominiums would meet the goals of the Pacific Beach Community Plan/Local Coastal Program by providing the appropriate residential density and implementing the community plan's street tree pattern. There are two existing fan palms adjacent to the site along the Lamont Street public right-of-way that will remain in place with the new development. These fan palms are the recommended street tree for Lamont Street pursuant to the Pacific Beach Community Plan Appendix D. Additionally, the project is required to install a street light adjacent to the site which is consistent with Pacific Beach Community Plan regarding lighting standards.

The proposed development will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, landscape, and, floor area ratio. Therefore, the proposed development is in conformity with the Pacific Beach Community Plan and Local Coastal Program and complies with the regulations of the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The site is not located between the sea or shoreline of any body of water and first public road.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department, Coastal Development Permit No. 1077654 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1077654, a copy of which is attached hereto and made a part hereof.

William Zounes
Development Project Manager
Development Services

Adopted on: June 19, 2013

Job Order No. 24003411

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003411

**COASTAL DEVELOPMENT PERMIT NO. 1077654
LAMONT STREET TOWNHOMES PROJECT NO. 304111
HEARING OFFICER**

This Coastal Development Permit No. 1077654 is granted by the Hearing Officer of the City of San Diego to PACIFIC BEACH 2012, LTD, Owner, and, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0502. The 0.14-acre site is located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan. The project site is legally described as: Lots 11 and 12 in Block 4 of Venice Park, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 991, filed in the office of the County Recorder of San Diego County, May 24, 1906;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for demolition of two single family dwellings with detached garage and construction of four two-bedroom condominiums described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 19, 2013, on file in the Development Services Department.

The project shall include:

- a. Demolition of two single family homes with one detached garage and construct four, two-bedroom condominiums with deck and garage;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality

Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July 3, 2016.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permit, the Owner/Permittee shall dedicate and improve an additional 2.5 feet of the adjacent alley, satisfactory to the City Engineer.

13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of the existing driveway with City standard curb, gutter and sidewalk, satisfactory to the City Engineer.

14. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

17. Prior to the issuance of any building permits, the Owner/Permittee shall submit an building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying the pad elevation based on USGS datum is consistent with Exhibit A', satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

18. Complete landscape and irrigation construction documents consistent with the Land Development Manual: Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square foot area around each tree that is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

19. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or a Final Landscape Inspection.

20. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15-gallon size or 60-inch box size /15 foot BTH material, respectively. Development Services may authorize adjustment of the size and quantity of replacement material where material replacement would occur in inaccessible areas or where the existing plant being replaced is larger than a 15-gallon shrub or 60-inch box.

21. A No-Fee Street Tree application shall be completed prior to occupancy.

22. Prior to issuance of construction permits for public right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall indicate adequate area equal to 40 square feet around each tree, which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
23. Prior to Final Inspection, it shall be the responsibility of the Owner/Permittee to install all required landscape. A "No Fee Street Tree Permit application shall be obtained for the installation, establishment, and on-going maintenance of all Street Trees. A minimum of one 24-inch box Jacaranda tree shall be planted in the parkway.
24. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual, Landscape Standards.
25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to the performance of a Final Landscape Inspection.

PLANNING/DESIGN REQUIREMENTS:

26. Owner/Permittee shall maintain a minimum of five off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
27. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.
28. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.
29. A topographical survey conforming to the provisions of the Municipal/Land Development Code may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this permit or a regulations of the underlying zone. The cost of any such survey shall be borne by the permittee

30. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

31. The uncovered parking space located behind Tandem Space #4 as shown on Exhibit A (dated 12-12-12) shall be assigned to the unit and garage it abuts.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 19, 2013.

Attachment 6
Draft Permit with Conditions

Permit Type/PTS Approval No.: CDP NO. 1077654
Date of Approval: June 19, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

By _____
Pacific Beach 2012, LTD

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER RESOLUTION NUMBER R-_____

TENTATIVE PARCEL MAP NO. 1098945, LAMONT STREET
TOWNHOMES- PROJECT NO. 304111.

WHEREAS, PACIFIC BEACH 2012, LTD, Subdivider, and VERNON V. FRANCK, Land Surveyor, submitted an application to the City of San Diego for a tentative parcel map (Map No. 1098945) to construct four residential condominiums, and to waive the requirement to underground existing offsite overhead utilities. The project site is located 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan. The property is legally described as Lots 11 and 12 in block 4 of Venice Park, in the City of San Diego, County of San Diego, State of California, According to Map thereof No. 991, filed in the office of the County Recorder of San Diego County, May 24, 1906; and

WHEREAS, the Map proposes the Subdivision of a 0.14-acre site into four residential condominiums; and

WHEREAS, on March 5, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 and 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to Subdivision Map Act section 66491(a) and San Diego Municipal Code sections 144.0220(a) and 144.0220(b); and

Attachment 7
Draft Tentative Parcel Map Resolution with Findings
(R-[Reso Code])

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 1351 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is four; and

WHEREAS, the request to waive the requirement to underground existing offsite overhead utilities, qualifies under the guidelines of guidelines SDMC section 144.0242, *Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities*, in that the conversion involves a short span of overhead facility (less than 600 feet in length) and the conversion would not represent a logical extension to an underground facility; and

WHEREAS, on June 19, 2013, the Hearing Officer of the City of San Diego considered Tentative Parcel Map No. 1098945, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section(s) 125.0440, 144.0240 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Hearing Officer having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Tentative Parcel Map No. 1098945:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Act § 66473.5, 66474(a), and 66474(b)).

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

Attachment 7
Draft Tentative Parcel Map Resolution with Findings
(R-[Reso Code])

The proposed project is consistent with the residential land use designations of the Pacific Beach Community Plan by continuing to maintain a density range of 14-29 dwelling units per acre. This density occurs primarily along Sail Bay, Grand Avenue, Hornblend Street and Lamont Street, and is characterized by four-plexes or four-unit condominiums.

The plan recommends that new multi-family residential developments conform to area-specific streetscape recommendations for landscape, lighting, sidewalk treatment and signage and be implemented through the citywide landscape ordinance. Additionally the plan recommends that residential neighborhoods be enhanced by establishing and maintaining street tree patterns and promoting general maintenance and improvement of residential properties.

The proposed residential condominiums would meet the goals of the Pacific Beach Community Plan/Local Coastal Program by providing the appropriate residential density and implementing the community plan's street tree pattern. There are two existing fan palms adjacent to the site along the Lamont Street public right-of-way that will remain in place with the new development. These fan palms are the recommended street tree for Lamont Street pursuant to the Pacific Beach Community Pan Appendix D. Additionally, the project is required to install a street light adjacent to the site which is consistent with Pacific Beach Community Plan regarding lighting standards.

The proposed development will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, setbacks, landscape, and, floor area ratio. Therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The project is consistent with the development regulations of the RM-2-5 zone. The proposed project meets all land development requirements of the Land Development Code to include setbacks, floor area ratio, landscaping, parking, storm water runoff, architectural design, and height. City staff has determined the undergrounding waiver request qualifies under the guidelines SDMC section 144.0242, *Waiver of the Requirements to Underground Privately Owned Utility Systems and Service Facilities*, in that the conversion involves a short span of overhead facility (less than 600 feet in length) and the conversion would not represent a logical extension to an underground facility. Therefore, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code.

3. The site is physically suitable for the type and density of development (San Diego Municipal Code § 125.0440(c) and Subdivision Map Act §§ 66474(c) and 66474(d)).

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The project site is flat and has been previously graded. The site has frontage on Lamont Street with alley access at the rear. Surrounding the site are one and two-story single family and multi-family developments. The RM-2-5 zone allows one dwelling unit for every 1,500 square feet of site area. The existing site is 5,459 square feet which will accommodate four dwelling units. The Pacific Beach Community Plan designates the site as residential allowing up to 29 dwelling units per acre. The addition of four units for the site is within the community plan's density range. Therefore, the site is physically suitable for the type and density of the development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

Minor land modifications are proposed with this Tentative Parcel Map to include the closure of an existing curb cut adjacent to the site. The Tentative Parcel Map was reviewed by the City of San Diego for conformance to the Land Development Regulations, Californian Building Code, and Land Use Policies. The Tentative Parcel Map included a review for compliance for storm water runoff requirements during and after construction. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 and 15303 of the State CEQA Guidelines. The project is located within an urbanized and built out environment where there are no watercourses on or adjacent to the site. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare (San Diego Municipal Code § 125.0440(e) and Subdivision Map Act § 66474(f)).

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The project has been reviewed and determined to be in compliance with the Municipal Code and Subdivision Map Act. The Tentative Parcel Map and associated development permit includes conditions and corresponding exhibits of approvals including undergrounding new utilities, storm water and construction water runoff, adequate parking, public improvements, and paying applicable taxes in order to achieve compliance with the regulations of the San Diego Municipal

Code. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301 and 15303 of the State CEQA Guidelines. Therefore the project will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)).

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The proposed subdivision does not contain or propose any new easements for the development. Lamont Street fronts the property to the west and an existing alley runs north and south adjacent to the site, both are not required to be vacated as a result of this Tentative Parcel Map. The subdivision proposes public improvements. The public improvements include the closure of an existing curb cut along Lamont Street adjacent to subject site and replacing it with a City standard curb, gutter and sidewalk satisfactory to the City Engineer. Therefore, the design of the subdivision and proposed improvements would not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (San Diego Municipal Code § 125.0440(g) and Subdivision Map Act § 66473.1).

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The potential and opportunity to implement sustainable building techniques during building permit review that utilize photovoltaic systems (solar panels) to generate a certain percentage of the project's energy needs exists. The project site is located on Lamont Street which runs north and south which will allow for maximum solar orientation for future solar hearing. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (San Diego Municipal Code § 125.0440(h) and Subdivision Map Act § 66412.3).

Attachment 7
Draft Tentative Parcel Map Resolution with Findings
(R-[Reso Code])

The project proposes to demolish two single family homes with detached garage and replace it with four, two-bedroom condominiums with decks and garages on a 0.14-acre site located at 3953-59 Lamont Street in the RM-2-5 zone of the Pacific Beach Community Plan.

The site currently contains two dwelling units. The decision maker has reviewed the administrative record including the project plans, environmental documentation and public testimony to determine the effects of the proposed subdivision on the housing needs of the region. The decision maker has determined that the provision of four residential units and the associated increase in the need for public services and the available fiscal and environmental resources are balanced by adequate public transit in the immediate area, the proximity of shopping, and essential services and recreation in the nearby developed urban area. The Crown Point Community Park exists approximately an eighth of a mile to the south and retail shopping exists approximately four blocks north of the site. Therefore, the housing needs of the region are balanced against the needs for public services and the available fiscal and environmental resources.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Hearing Officer, Tentative Parcel Map No. 1098945, hereby granted to PACIFIC BEACH 2012, LTD subject to the attached conditions which are made a part of this resolution by this reference

By _____
William Zounes
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24003411

HEARINGING OFFICER
CONDITIONS FOR TENTATIVE PARCEL MAP NO. 1098945
LAMONT STREET TOWNHOMES- PROJECT NO. 304111
ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Tentative Parcel Map will expire July 3, 2016.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
3. Prior to the Tentative Parcel Map expiration date, a Parcel Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Parcel Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Tentative Parcel map shall conform to the provisions of Coastal Development Permit No. 1077654.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

Project No. 304111
TM No. 1098945

ENGINEERING

7. Compliance with all conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Parcel Map, unless otherwise noted.
8. The Subdivider shall install a City standard street light, adjacent to the project site on Lamont Street.
9. The subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.
10. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
11. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
12. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

WATER

13. The subdivider shall install appropriate private back flow prevention devices on all existing and proposed water services (domestic, irrigation, and fire) adjacent to the project site in a manner satisfactory to the Water Department Director.

INFORMATION:

- The approval of this Tentative Map by the Hearing Officer of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).

Project No. 304111
TM No. 1098945

Attachment 8
Draft Tentative Parcel Map Conditions

- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).
- This development may be subject to payment of School Impact Fees at the time of issuance of building permits, as provided by Education Code Section 17620, in accordance with procedures established by the Director of Building Inspection.

Internal Order No. 24003411

Project No. 304111
TM No. 1098945



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

C _____
Committee
Distribution Form Part 2

Project Name: Lamont Street Townhomes		Project Number: 304111	Distribution Date:	
Project Scope/Location: The proposed project is located in the RM-2-5 zone in the Coastal Height Limitation Overlay Zone, Coastal Overlay Zone, Parking Impact (coastal and beaches) Overlay Zone, Residential Tandem Parking Overlay Zone. The project proposes to demolish two existing dwelling units and construct two three story duplex buildings with an attached parking garage. Address is 3953-3959 Lamont Street.				
Applicant Name: Dan Linn			Applicant Phone Number:	
Project Manager: Will Zounes	Phone Number:	Fax Number: (619) 321-3200	E-mail Address: wzounes@sandiego.gov	
Committee Recommendations (To be completed for Initial Review):				
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 15	Members No 1	Members Abstain	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued	
CONDITIONS:				
NAME: Brian Curry		TITLE: PBPG Chair		
SIGNATURE:		DATE: 3/27/2013		
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.				

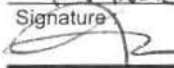
Project Title: LAMONT ST. TRAFFIC

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
~~2012~~ PACIFIC BEACH 3012 LTD
 Owner Tenant/Lessee
 Street Address:
1160 2ND ST. PMB 255
 City/State/Zip:
ENCINITAS, CA 92024
 Phone No: 760/036-7633 Fax No:
 Name of Corporate Officer/Partner (type or print):
TED Montag
 Title (type or print):
PARTNER
 Signature:  Date: Nov 26, 2012

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

THE CITY OF SAN DIEGO Home Contact the City

Business City Hall Community Departments Information Leisure Services A-Z Visiting Search

Utilities Undergrounding Mapping Application

Layers Legend Council Priorities Find Location Refresh Map Help

Identify Results

Council Districts
 Council District: 2
 Member Name: Kevin Faulconer
 Office Phone: (619) 236-6622
 AREA_: 1907095848.84

Utilities Undergrounding Projects
 Project Name: Project Block 2BB1
 Year Allocated: 2062
 Project Start: May 31, 2067
 Project End: May 31, 2069
 Contact Person: UNDERGROUND UTIL
 Phone #: (619) 533-3841
 Email: undergrounding@sa
 Website: www.sandiego.gov/
 Council District: 2
 Phase: unallocated

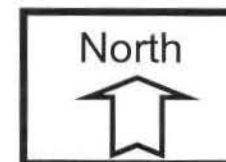
Copyright © SanGIS Map co N, 117° 13' 58.3" W

Attachment 11
City's Undergrounding Master Plan



Underground Master Plan

Lamont Street Townhomes- Project No. 30411
 3953-59 Lamont Street



**Project Chronology
Lamont Street Townhomes
Project No. 304111**

Date	Action	Description	City Review Time	Applicant Response
12/11/12	First Submittal	Project Deemed Complete and distributed		
2/1/13	First Submittal Assessment Letter out		52 days	
2/8/13	Second submittal In	Normal Submittal		7 days from First Assessment Letter
3/5/13	Second Submittal Assessment Letter out		25 days	
4/29/13	Third submittal In	Normal Submittal		55 days from second Assessment Letter
5/8/13	Third Submittal Assessment Letter out		8 days	
6/19/13	Hearing Officer Hearing		51 days	
TOTAL STAFF TIME**			4 month 16 days	
TOTAL APPLICANT TIME**				2 months 2 days
TOTAL PROJECT RUNNING TIME**		From Deemed Complete to HO Hearing	6months 18 days	

**Based on 30 days equals to one month.

NOTICE OF EXEMPTION

(Check one or both)

TO: RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 304111

PROJECT TITLE: LAMONT STREET TOWNHOMES

PROJECT LOCATION-SPECIFIC: 3953-3959 Lamont Street, San Diego, CA 92109 (Lots 11 and 12 of Block 4, Venice Park, Map 991)

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Coastal Development Permit (CDP) and Map Waiver to demolish two (2) single dwelling units and a detached garage and construct two (2), three (3) story duplex condominiums for a total of four condominiums on a 5,954-square-foot lot located at 3953-59 Lamont Street. The site is in the RM-2-5 Zone, the Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limit, and Residential Tandem Parking area within the Pacific Beach Community Planning area of Council District 2 of the City of San Diego.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Daniel Linn
5732 Bellevue Avenue
San Diego, CA, 92037
858-459-8108

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: This project is exempt pursuant to the California Environmental Quality Act Section 15301 (1)(1), Existing Facilities Demolition and 15303 New Construction.
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The project is located in an area known to contain archaeological resources. Qualified City staff conducted a California Historic Resources Information System (CHRIS) search and concluded that historical resources are not located on site and that the project would not have the potential to impact archeological resources. The existing structures were evaluated by the City of San Diego's Historical Resources Board staff for eligibility for historic designation and determined that the structures did not meet the designation criteria as a significant resources. No additional environmental resources would be impacted. Therefore the project is exempt pursuant to CEQA Sections 15301 (1)(1), Existing Facilities Demolition and 15303 – New Construction – and where the exceptions listed in CEQA section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: Lizzi

TELEPHONE: (619) 446-5159

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

[Handwritten Signature]
SIGNATURE/TITLE

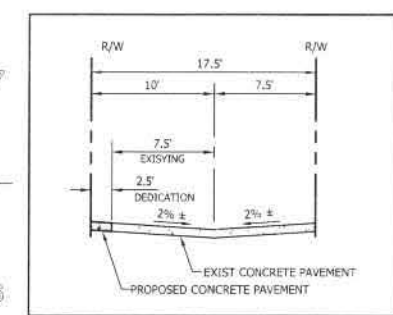
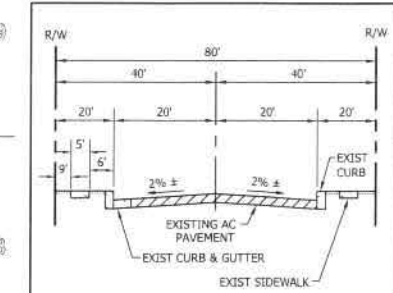
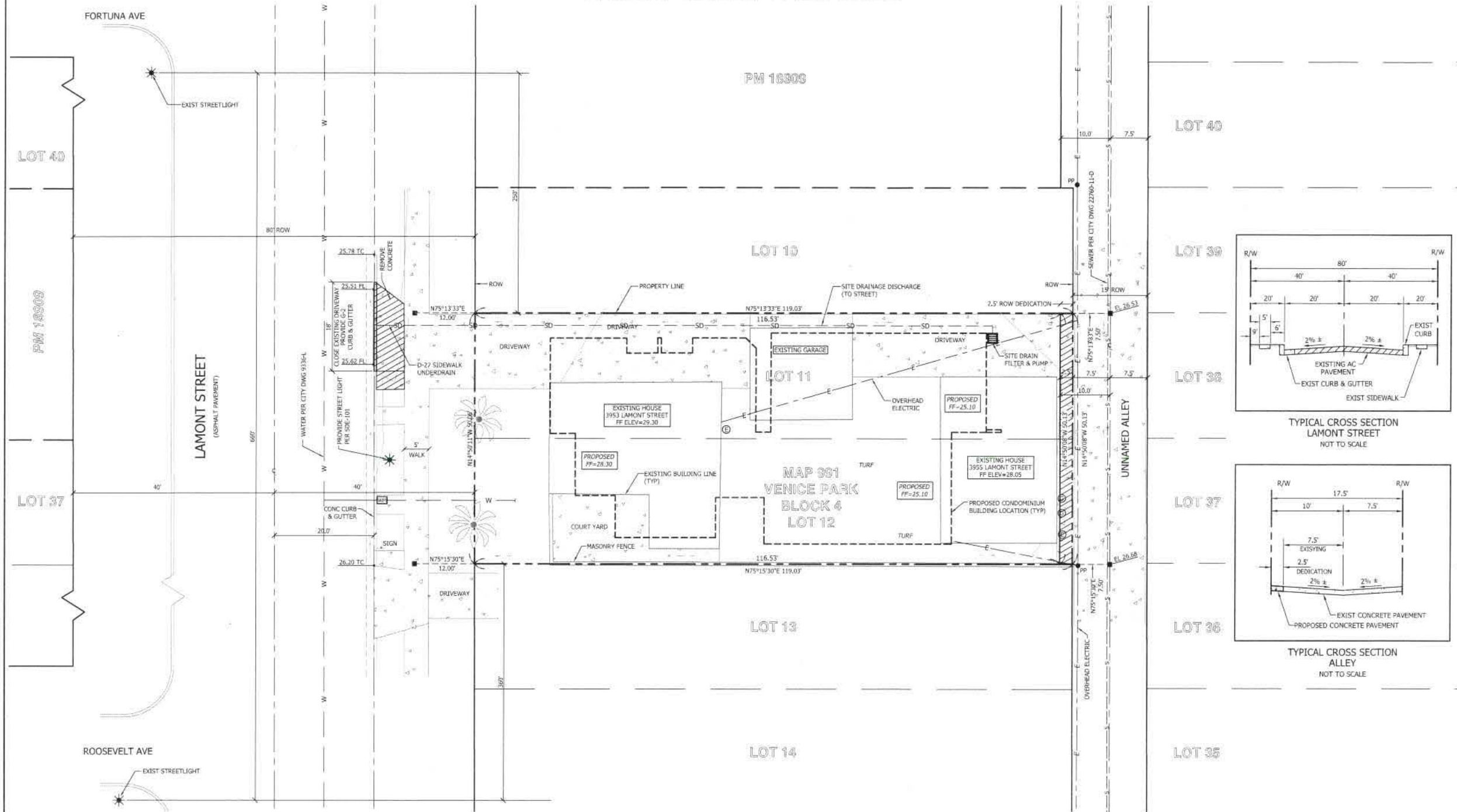
3/1/2013
DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

TENTATIVE PARCEL MAP NO. 1098945
 PROJECT NO. 304111
 LAMONT STREET TOWNHOMES



CITY OF SAN DIEGO DEVELOPMENT SUMMARY

SUMMARY OF REQUEST
 TENTATIVE PARCEL MAP (FOR CONDOMINIUM PURPOSES)
 TOTAL NUMBER OF EXISTING LOTS = 2
 TOTAL NUMBER OF PROPOSED LOTS = 1

SITE ADDRESS
 3953/55 LAMONT STREET, SAN DIEGO, CA 92109
 BETWEEN FORTUNA AVE AND ROOSEVELT AVE

SITE AREA
 5,950 SF / 0.137 ACRES

GROSS FLOOR AREA
 6,021 SF

EXISTING AND PROPOSED ZONING
 BASE ZONE: RM-2-5
 COMMUNITY PLAN: PACIFIC BEACH COMMUNITY PLAN

OVERLAY ZONES
 COASTAL (CITY), COASTAL HEIGHT LIMIT, BEACH PARKING IMPACT, TANDEM PARKING

BUILDING SETBACKS
 FRONT: 15'
 SIDE: 4'
 REAR: 7.5'

OFF-STREET PARKING SPACE REQUIREMENTS
 PARKING REQUIRED: 4 UNITS @ 2BR EACH (4 x 2.25) = 9 SPACES
 PARKING PROVIDED: 9 SPACES

DEVELOPMENT NOTES
 THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS 4.

MONUMENTATION NOTES
 ALL PROPERTY CORNERS WILL BE SET AND A LOT CONSOLIDATION PARCEL MAP WILL BE FILED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE PARCEL MAP.

REFERENCE DRAWINGS
 MAP 991 (VENICE PARK)
 CORNER RECORD 32486

- NOTES**
- THE MAINTENANCE OF THE PRIVATE WATER AND SEWER FACILITIES SERVING THIS PROJECT SHALL BE GOVERNED BY PRIVATE COVENANTS, CONDITIONS, AND RESTRICTIONS.
 - EXISTING DRAINAGE PATTERNS SURFACE FLOW TO LAMONT STREET AND CONCRETE ALLEY
 - THE SUBDIVIDER SHALL INSTALL APPROPRIATE PRIVATE BACK FLOW PREVENTION DEVICES ON ALL EXISTING AND PROPOSED WATER SERVICES (DOMESTIC, IRRIGATION, AND FIRE) ADJACENT TO THE PROJECT SITE IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR.
 - THERE ARE NO KNOWN EASEMENTS ON THIS SITE.
 - THE PROJECT IS TO BE CONSTRUCTED/NEW CONSTRUCTION.

PROJECT DATA
 NUMBER OF RESIDENTIAL UNITS: 4
 TOTAL FLOOR AREA OF RESIDENTIAL UNITS: 6,021 SF

NUMBER OF STORIES: 3
 NUMBER OF BUILDINGS: 2
 EXISTING USE: MULTI-FAMILY RESIDENTIAL
 PROPOSED USE: MULTI-FAMILY RESIDENTIAL
 EXISTING ZONING: RM-2-5
 YEAR OF CONSTRUCTION: NEW CONSTRUCTION

PROJECT SOILS CONDITION
 EXISTING DEVELOPED SITE

PROJECT PERMITS REQUIRED
 TENTATIVE PARCEL MAP
 LOT CONSOLIDATION PARCEL MAP FOR CONDOMINIUM PURPOSES
 COASTAL PERMIT (CITY)

PROJECT ADDRESS
 3953/55 LAMONT STREET, SAN DIEGO, CA 92109

PROJECT OWNER
 PACIFIC BEACH 2012, LTD
 1106 2ND STREET NO. 255, ENCINITAS, CA 92024

TED MONTAG, PARTNER DATE

LEGAL DESCRIPTION
 LOTS 11 AND 12 IN BLOCK 4 OF VENICE PARK, IN THE CITY OF SAN DIEGO COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 991, FILED IN THE OFFICE OF THE COUNTY RECORDER OF DIEGO COUNTY, MAY 24, 1906.

SOURCE OF TOPOGRAPHY
 FIELD SURVEY BY METROPOLITAN MAPPING, NOVEMBER, 2012

BASIS OF ELEVATIONS
 CITY OF SAN DIEGO BENCHMARK DESCRIPTION: BRASS PLUG (NWBPT) TOP OF CURB, NORTHWEST CORNER LAMONT STREET & CROWN POINT C ELEVATION: 24.49 FEET M.S.L. DATUM: NAVD 29 (M.S.L.)

BASIS OF BEARINGS
 THE EASTERLY ROW OF LAMONT STREET AS SHOWN ON CORNER RECORD I.E., N14°50'11"W

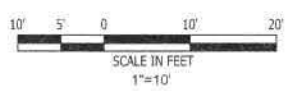
COORDINATES
 NAD 27: 228-1697 CS 83: 1868-6257

ASSESSOR'S PARCEL NUMBERS
 APN 424-504-18

PROJECT NAME
 LAMONT STREET TOWNHOMES

SHEET TITLE
 TENTATIVE PARCEL MAP NO. 1098945

PTS NO. 304111 I.O. NO. 24003411 SHEET



EXISTING FRANCHISE UTILITY TABLE

(TYPE)	(STATUS)
ELECTRIC	OVERHEAD
TELEPHONE	OVERHEAD
CABLE TELEVISION	OVERHEAD

LEGEND

	PROPERTY LINE		SURFACE FLOW
	RIGHT OF WAY		WATER METER
	LOT LINE		METER (G=GAS / E=ELECT.)
	SEWER LINE		STREET SIGN
	WATER LINE		TREE
	OVERHEAD ELECTRIC LINE		SPOT ELEVATION
	BOUNDARY DATA		
	FOUND BOUNDARY MONUMENT		
	LEAD & DISC "L.S. 3168"		
	PER CORNER RECORD 32486		
	EDGE OF CONCRETE		
	CONCRETE SURFACE		
	CONCRETE BLOCK WALL		

ABBREVIATIONS

ASPH	ASPHALT	H	HEIGHT
BLDG	BUILDING	PP	UTILITY POLE
CMU	CONCRETE MASONRY UNIT	R/W	RIGHT OF WAY
CO	CLEANOUT (SEWER)	SS	SANITARY SEWER
CONC.	CONCRETE	TC	TOP OF CURB
DWAY	DRIVEWAY	TW	TOP OF WALL
EL.	ELEVATION	TYP	TYPICAL
FF	FINISHED FLOOR	WM	WATER METER
FL	FLOWLINE		

SUBMITTAL DATE: DECEMBER 7, 2012

REVISIONS			
NO.	DESCRIPTION	BY	DATE
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-

PREPARED BY:
 METROPOLITAN MAPPING
 2421 INDIA STREET
 SAN DIEGO, CA 92101
 TEL: 619-564-6091
 FAX: 619-330-1830
 email: metromap.sd@gmail.com

PROFESSIONAL LAND SURVEYOR
 VERNON V. FRANCK
 NO. 7927
 EXPIRES 12-31-2013
 STATE OF CALIFORNIA

VERNON V. FRANCK, PLS 7927 DATE

GRADING NOTES

Total amount of site to be graded	3600 sq. ft. (foundations)
Percent of total site graded	60
Area of 25% or greater slope	0
Amount of cut	150 cu. yd. (footings)
Amount of fill	0
Max. hgt. of cut slope	0
Amount of export	(150 cu. yd. (subject to compaction))
Retaining walls	0

PLANNING NOTES

1. Trash/recycle cans to be kept in enclosure slab area per site plan.
2. There are no proposed or existing easements.
3. Plans have been designed to comply with disabled access requirements.
4. There are no existing or proposed bus stops.
5. No exterior mechanical equipment exists (gas meters to be screened by landscaping).
6. Provide recycle storage in cabinets of each kitchen of min. 2.5 cu. ft.
7. Provide non-recycle trash storage in each kitchen of min. 2.5 cu. ft.
8. Provide building address numbers that are visible and legible from the street for each unit.
9. Dwellings are for sale.

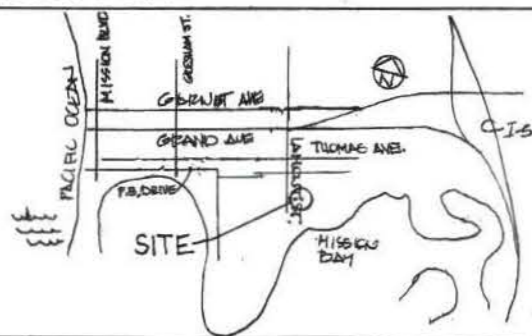
ENGINEERING NOTES

1. IF EXISTING IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE DAMAGED DURING CONSTRUCTION, THE REQUIRED PERMITS FOR THE REPLACEMENT OR REPAIR OF THE DAMAGE SHALL BE OBTAINED.
2. ALL EXCAVATED MATERIAL SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK), 2003 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.
3. PRIOR TO THE FOUNDATION INSPECTION, AN ELEVATION CERTIFICATE SIGNED BY A REGISTERED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED CERTIFYING THE PAD ELEVATION, BASED ON USGS DATUM, IS CONSISTENT WITH EXHIBIT 'A', SATISFACTORY TO THE CITY ENGINEER.
4. DRAINAGE SHOWN IS MINIMUM REQUIREMENT (1 & 2).
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR ANY ONGOING PERMANENT BMP MAINTENANCE.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CH. 14, ART. 2, DIV. 1 (GRADING REGULATIONS) OF THE SDCMG, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
8. TOPOGRAPHY BASED UPON SURVEY BY MICHAEL J. CURREN, L.S. 3958, DATED MARCH 2012.
9. SEE SHEET L1 FOR SITE PERMEABILITY NOTES.
10. ANY AND ALL WORK IN THE RIGHT-OF-WAY TO BE DONE UNDER SEPARATE PERMIT(S).
11. NO GRADING IS PROPOSED.
12. UNITS ARE FOR SALE.

SPRINKLER NOTES

1. The submittal of residential fire sprinkler plans required by Section R313 of the 2010 California Residential Code or when required by Section 903 of the 2010 California Building Code has been deferred. To avoid delay.
 2. In construction, plans for fire sprinkler plans shall be submitted not less than 30 calendar days prior to installation or prior to requesting a foundation inspection when the submittal of fire sprinkler plans is deferred. A fireproofing inspection shall not be requested prior to approval of the fire sprinkler plans.
 3. After the building permit has been issued, the owner shall be responsible for any costs incurred as a result of changes to the design of the fire sprinkler system which produce a higher GPM and a larger water size requirement.
- Owner Signature: _____
4. Water meters for combined domestic water and fire sprinkler systems shall not be installed until the fire sprinkler system has been submitted and approved by the Building Official.

VICINITY MAP



PROPOSED STATEMENT
THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE.
THIS PROJECT MUST COMPLY WITH MINIMUM CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF STRUCTURES NOT TO EXCEED 30'

SETBACK REQUIREMENTS (R1-2.5) (SEE PLAN FOR PROPOSED)
A. FRONT YARD (LAMONT STREET)
STANDARD 20'
MINIMUM 15' (MAX 50% OF BUILDING ENVELOPE WIDTH)
ENVELOPE WIDTH + 42' (SEE YARD REQUIREMENTS)
B. STREET SIDE YARD: N/A
C. SIDE YARD (TYPICAL OF TWO)
MINIMUM 4' WITH LOT WIDTH 50'
D. REAR YARD: MINIMUM 15' UP TO 10' OR 1/4 OF ALLEY WIDTH (IF ACTUAL)
CAN APPLY TO REQUIREMENT, SETBACK FROM PL. 7.5' (7.5' ALLEY + 7.5' 15')

PARCEL INFORMATION
1. SITE DOES NOT CONTAIN ENVIRONMENTALLY SENSITIVE LANDS
2. SITE IS NOT IN AN HISTORIC DISTRICT
3. SITE IS NOT IN THE FAA PART 77 NOTIFICATION AREA
4. GEOLOGICAL HAZARD CATEGORY IS 02 NOT AN EARTHQUAKE ZONE

PROJECT DATA

SCOPE OF WORK: REMOVE EXISTING DWELLING UNITS (2) (UNDER DEMO PERMIT); CONSTRUCT TWO, THREE STORY, DUPLEX CONDOMINIUM BUILDINGS (DETACHED) w/4 ATTACHED TANDEM GARAGE SPACES AND 1 SURFACE PARKING SPACE.

APN 424-804-18-00
LEGAL LOTS 1 & 12, BLOCK 4 OF VENICE PARK, MAP 891

ZONE RM-2.5 LOT AREA 5254 S.F.

BUILDING AREAS (SQ. FT.):
LIVING: (SFA 622) CBC 5045
GARAGE: (SFA 1619) CBC 3330
DECK: +1381

(SEE TABLE ON SHEET A1 FOR PER UNIT AND PER FLOOR DATA)

FAR ALLOWED: 135 w/ 10%25 FOR LIVING AREA (6026 S.F.) and 0.33675 FOR GARAGE (2009 S.F.)
FAR ACTUAL: 27 PARKING (819 S.F.), 101 LIVING (6021 S.F.)
COVERAGE N/R

NOTE: +XXX = NON-SFA PER MC

OCCUPANCY CLASS: R2 AND U
CONSTRUCTION TYPE: VB SPRINKLERED
ZONING OVERLAYS: COASTAL (CITY), COASTAL HEIGHT LIMIT, BEACH PARKING IMPACT, TANDEM PARKING

PERMITS REQUIRED: COP, DEMO (SEPARATE), BUILDING (NO GRADING PROPOSED)
CODES IN EFFECT: 2010 CBC, 2010 CFC, CMC, CRC, 2010 NSC, CAC TITLE 24

PARKING REQUIREMENTS:
4 UNITS @ 2 BEDROOMS EACH = 4 x 2.25 = 9 SPACES
PARKING PROVIDED 9 SPACES

ALLOWABLE AREA: R2/VB: 14,000 PER 2010 CBC TABLE 503 (N/SPRINKLERS)
U/VB OCCUPANCY: UP TO 3000 S.F. PER CBC 406.1
ALLOWABLE HEIGHT: (STORIES): R2/VB: 3 (N/SPRINKLERS)

DRAWING INDEX

T	SITE PLAN, PROJECT DATA
A1	FIRST FLOOR PLAN
A2	SECOND FLOOR PLAN
A3	THIRD FLOOR PLAN
A4	ROOF PLAN
A5	EXTERIOR ELEVATIONS
A6	EXTERIOR ELEVATIONS
A7	BUILDING SECTIONS
L1	LANDSCAPE DEVELOPMENT PLAN
TM	TENTATIVE MAP

PROJECT PRINCIPALS

OWNER
PACIFIC BEACH 2012, LTD
610 SAN DIEGUITO DEVELOPMENT
1106 SECOND STREET PHB 255
ENCINITAS, CA 92024
760/635-7633

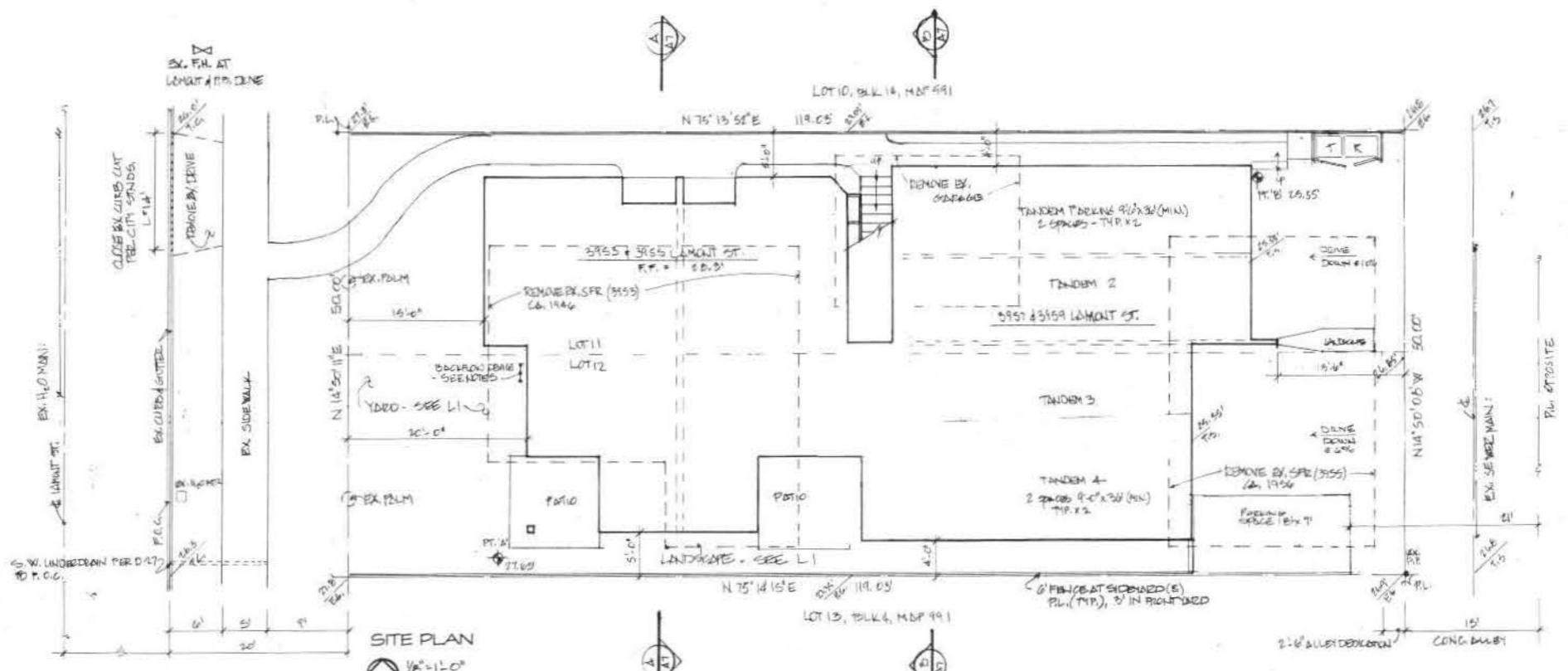
ARCHITECT:
DAN LINN
5732 BELLEVUE AVE
LA JOLLA, CA 92037
858/459-8108

LANDSCAPE ARCHITECT:
OUTSIDE DIMENSIONS
STEVEN AMES
15748 PASEO PENASCO
ESCONDIDO, CA 92025
619/977-2943

CIVIL ENGINEERING/SURVEYOR:
MICHAEL J. CURREN
2965 MISSION BLVD.
SAN DIEGO, CA 92109
858/488-0782

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PROJECT ADDRESS: 3953-3959 LAMONT STREET
SAN DIEGO, CA 92109
PROJECT TITLE: LAMONT STREET TOWNHOMES
SHEET TITLE: _____
ORIGINAL DATE: _____
PROJECT NUMBER: _____
SHEET: 1 OF 10

REVISION 1: 11/11/12 REVISION 4: _____
REVISION 2: _____ REVISION 5: _____
REVISION 3: _____ REVISION 6: _____



SITE PLAN

1/8" = 1'-0"
CLIMATE ZONE 7

BENCHMARK:
BRASS PLUS AT THE TOP OF CURB AT THE NORTHEAST CORNER OF LAMONT ST. AND PACIFIC BEACH DR. ELEVATION = 40.81' MSL DATUM

POINT 'A': HIGH POINT WITHIN 5' (or if P.L. less than 5') AT EXISTING OR FINISHED GRADE (whichever is lower) FROM BUILDING

POINT 'B': LOW POINT WITHIN 5' (or if P.L. less than 5') AT EXISTING OR FINISHED GRADE (whichever is lower) FROM BUILDING

KEY:
B.G. = FINISHED GRADE
F.G. = FINISHED GRADE
T.C. = TOP CURB
T.S. = TOP SAND
EX. = EXISTING
P.L. = PROPERTY LINE

NOTE: PER PDS 218460, THE EXISTING STRUCTURES ON THE PROPERTY WERE DETERMINED TO NOT MEET LOCAL DESIGNATION CRITERIA FOR HISTORICAL STRUCTURES.

- BACKFLOW PROTECTION**
1. PROVIDE APPROVED BACKFLOW DEVICE FOR THE WATER SERVICE TO THE BUILDING.
 2. ASSEMBLY FOR DOMESTIC METER TO BE 75" PER CITY STD. DRAWS 50W-27.
 3. LOCATE ASSEMBLY DOWNSTREAM FROM METER PRIOR TO THE FIRST USE OF THE WATER.
 4. DEVICE TO BE LOCATED ON PRIVATE PROPERTY, LOCATE IN SCISSOR OR NEXT TO THE BUILDING OUTSIDE OF ANY EASEMENTS (SEE PLAN).

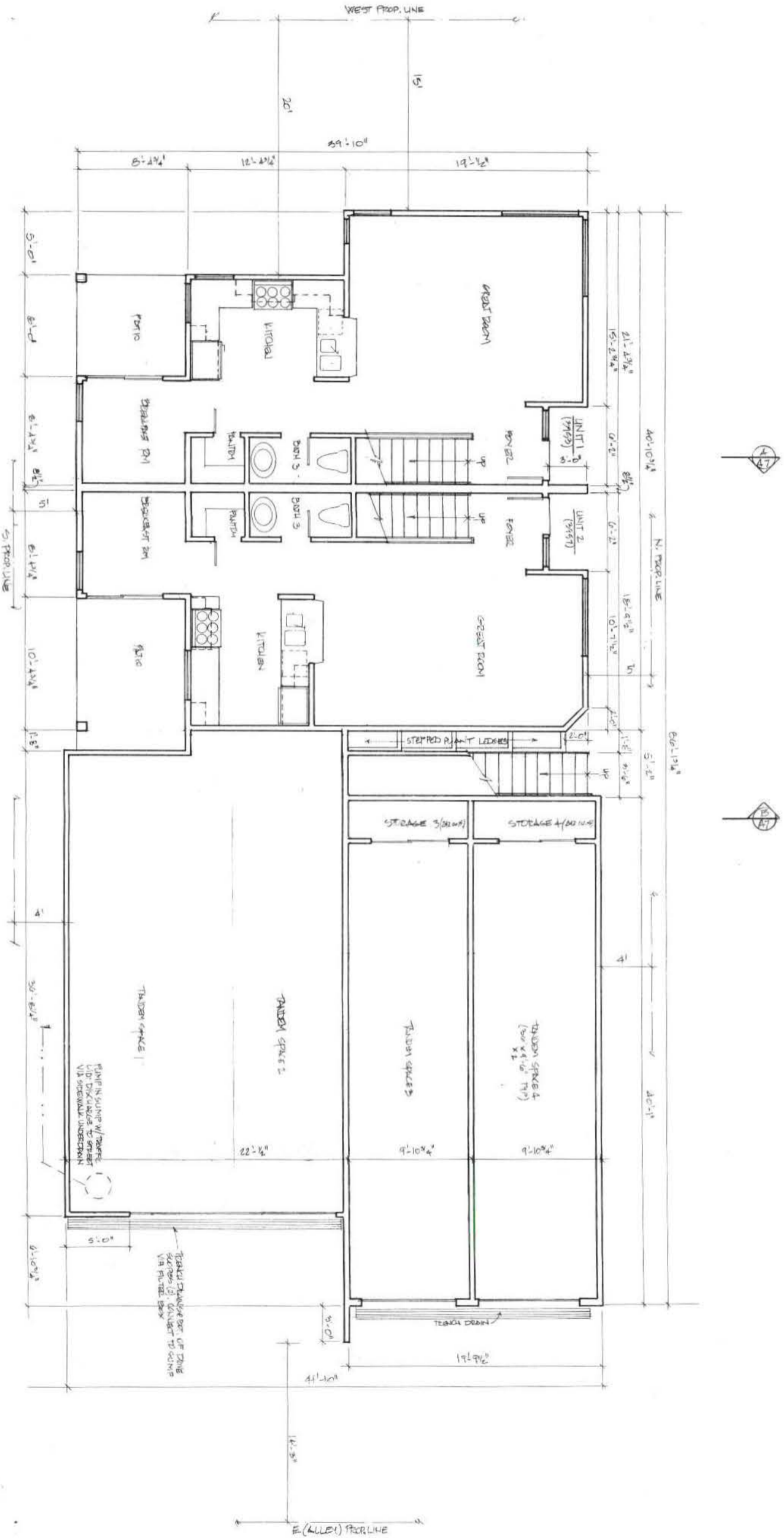
Daniel Linn architect
5732 Bellevue Avenue
La Jolla, CA 92037
858 459-8108 fax 858 459-8116
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LAMONT STREET TOWNHOMES
FOUR TOWNHOME APARTMENTS
3953-3959 LAMONT STREET
SAN DIEGO, CALIFORNIA

DATE: 11/11/12

REVISIONS:

1	11/11/12
2	
3	
4	
5	
6	



FIRST FLOOR PLAN

UNIT AND BUILDING FLOOR AREA TABULATIONS

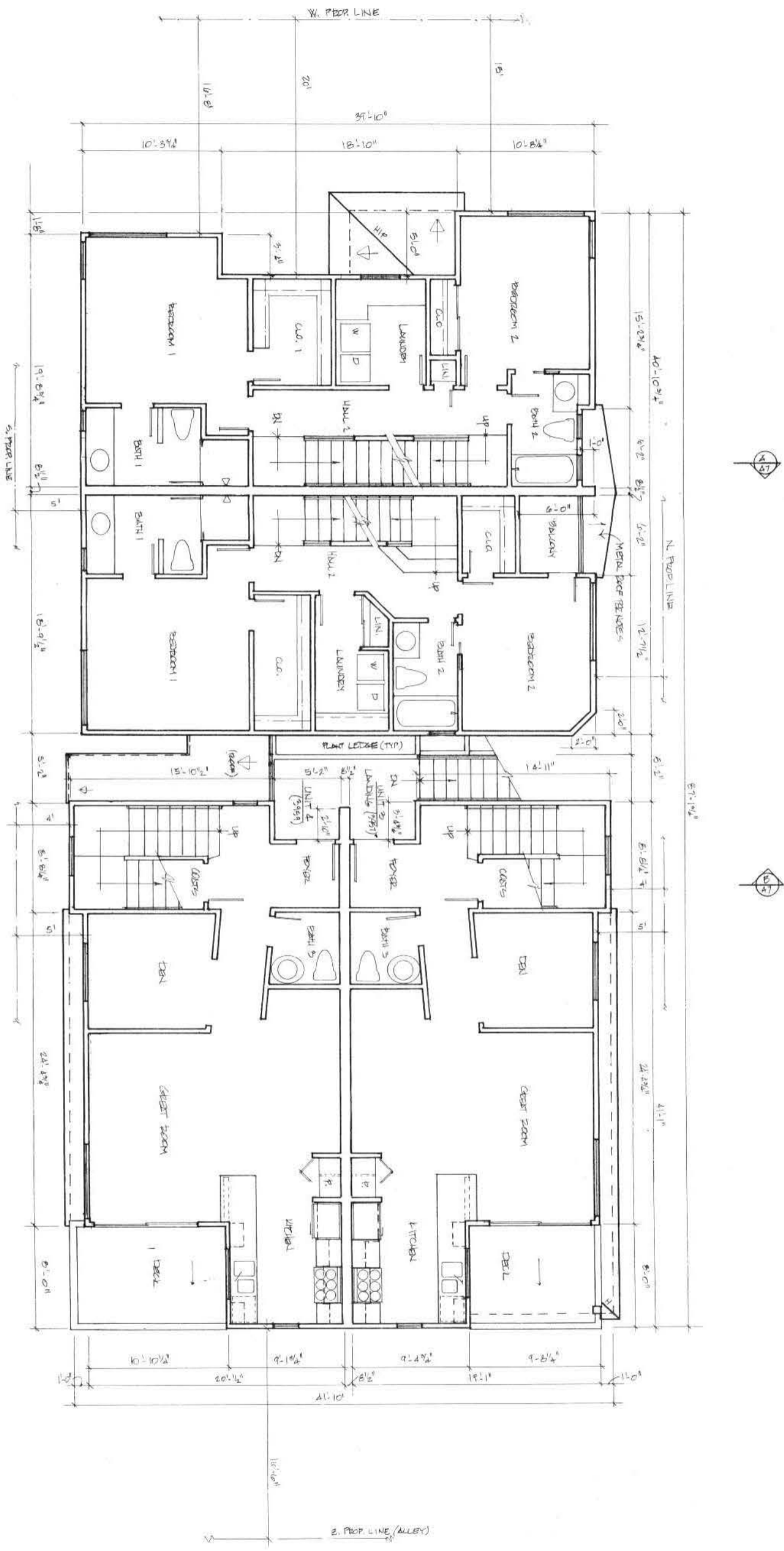
	UNIT 1	FRONT BUILDING 2	BACK BUILDING 3	4	TOTAL
1 ST FLOOR	679	647	0	0	2692
2 ND FLOOR	747	715	704	726	2803
3 RD FLOOR	187	208	684	713	1803
LIVING TOTAL	1613	1570	1388	1439	6027
BUILDING TOTAL	3194	2877			
DECKS	201	230	450	460	1341
GARAGES	211	368	400	410	1609

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 SAN DIEGO, CA 92108
 PROJECT TITLE: LAMONT STREET TOWNHOMES
 SHEET NO: 14
 PROJECT NUMBER: 14
 REVISION 1: 11/21/17
 REVISION 2: _____
 REVISION 3: _____
 REVISION 4: _____
 REVISION 5: _____
 REVISION 6: _____

LAMONT STREET TOWNHOMES
 FOUR TOWNHOME APARTMENTS
 3953-3959 LAMONT STREET SAN DIEGO, CALIFORNIA

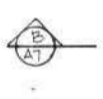
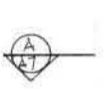
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A1



SECOND FLOOR PLAN

- SEE A4 FOR ROOF & CEILING NOTES



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 SAN DIEGO, CA 92109
 PROJECT TITLE: LAMONT STREET TOWNHOMES
 SHEET NUMBER: _____
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 REVISION 2: _____
 REVISION 3: _____
 REVISION 4: _____
 REVISION 5: _____
 REVISION 6: _____

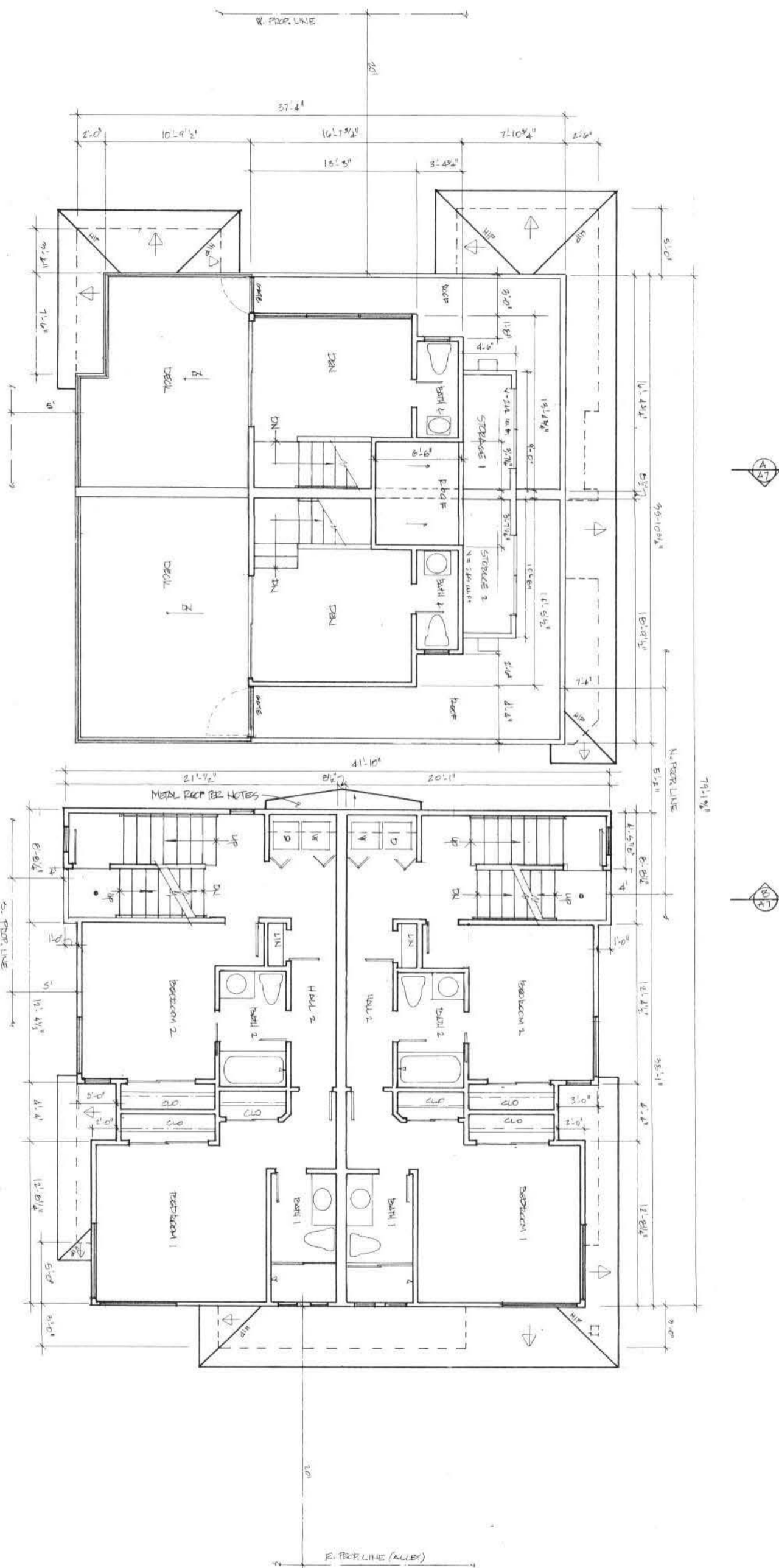
LAMONT STREET TOWNHOMES
 FOUR TOWNHOME APARTMENTS

3953-3959 LAMONT STREET SAN DIEGO, CALIFORNIA

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A2



THIRD FLOOR PLAN

SEE AT THE REEF DECK NOTES



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 PROJECT TITLE: LAMONT STREET TOWNHOMES
 ORIGINAL DATE: 11/11/11
 PROJECT NUMBER: 11-11-11
 SHEET: 11-11-11
 REVISION 1: 11/11/11
 REVISION 2: 11/11/11
 REVISION 3: 11/11/11
 REVISION 4: 11/11/11
 REVISION 5: 11/11/11
 REVISION 6: 11/11/11

LAMONT STREET TOWNHOMES
 FOUR TOWNHOME APARTMENTS

3953-3959 LAMONT STREET SAN DIEGO, CALIFORNIA

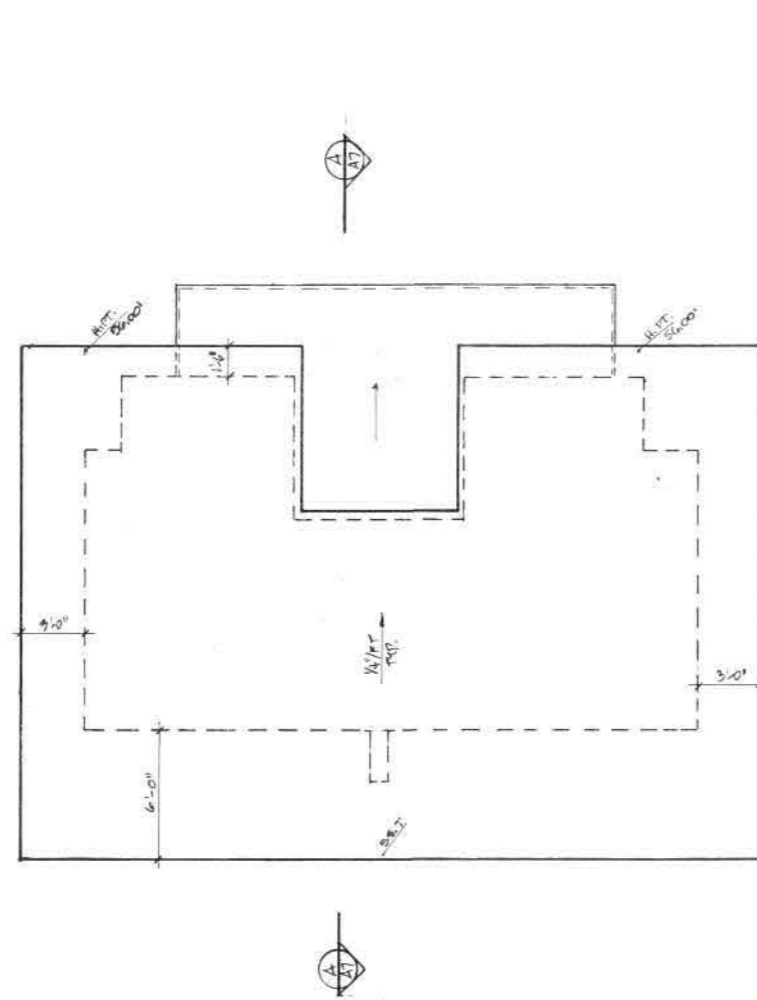
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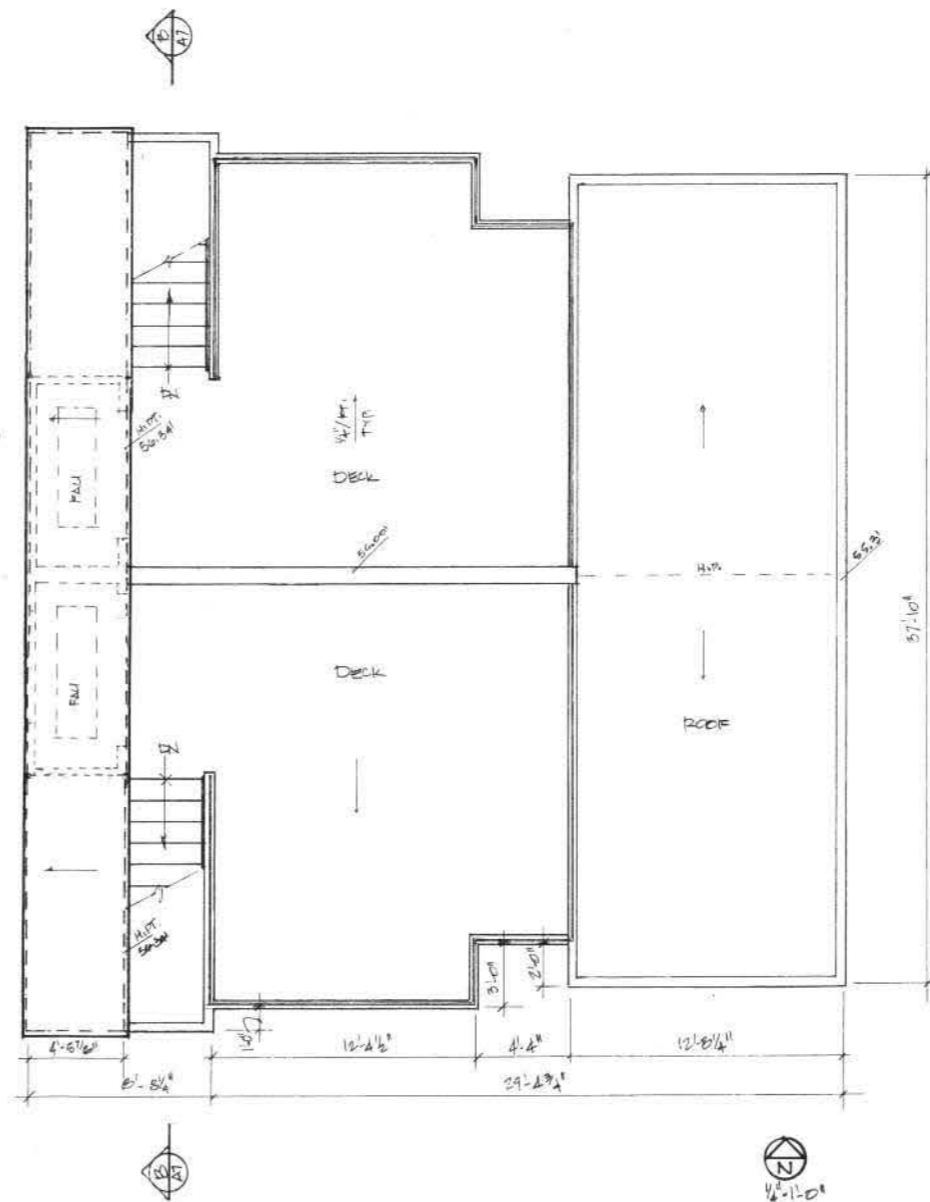


ROOF NOTES

- 1 SLOPED ROOF, PITCHES TO BE 2 1/2 / 12 UNO
- 2 FLAT ROOFS TO SLOPE MIN. 1/8" PER FT.
- 3 ROOFING MATERIAL: AT 2 1/2 / 12 ROOFS AND FASCIA PER PLAN STANDING SEAM METAL, CLASS 'A' RATED ASSEMBLY. INSTALL PER MFG. SPEC. AND LOCAL CODE. ROOFING OVER 1 LAYER OF 30# BUILDING PAPER OR PER MFG. SPEC.
- 4 FLAT ROOF: 3-PLY BUILT-UP ROOFING, CLASS 'A' RATED ASSEMBLY OR SINGLE PLY 'TORCH-DOWN' BY DIBITEN, ICBO NR485 OR EQUAL, CLASS 'A' RATED ASSEMBLY.
- 5 ALL PENETRATIONS TO BE TOWARDS REAR OF BUILDINGS
- 6 ALL PENETRATIONS TO BE FULLY FLASHED/COUNTER FLASHED WITH 16 OZ. COPPER
- 7 ALL VALLEYS TO BE FLASHED W/ 16 OZ. COPPER
- 8 PROVIDE ROOF DRAINS TO EXTERNAL DOWNSPOUTS AND OVERFLOWS TO DAYLIGHT AT 'FLAT' AREAS PER PLAN
- 9 DECK COATING: 'DEX-O-TEX' (CC/ESR 1757) OR EQUAL. INSTALL PER MFG. SPEC. AND LOCAL CODE



ROOF PLAN



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 SAN DIEGO, CA 92109
 PROJECT TITLE: LAMONT STREET TOWNHOMES
 SHEET TITLE: _____
 ORIGINAL DATE: _____
 PROJECT NUMBER: _____
 SHEET 3 OF 10

REVISION 1 _____ REVISION 4 _____
 REVISION 2 _____ REVISION 5 _____
 REVISION 3 _____ REVISION 6 _____

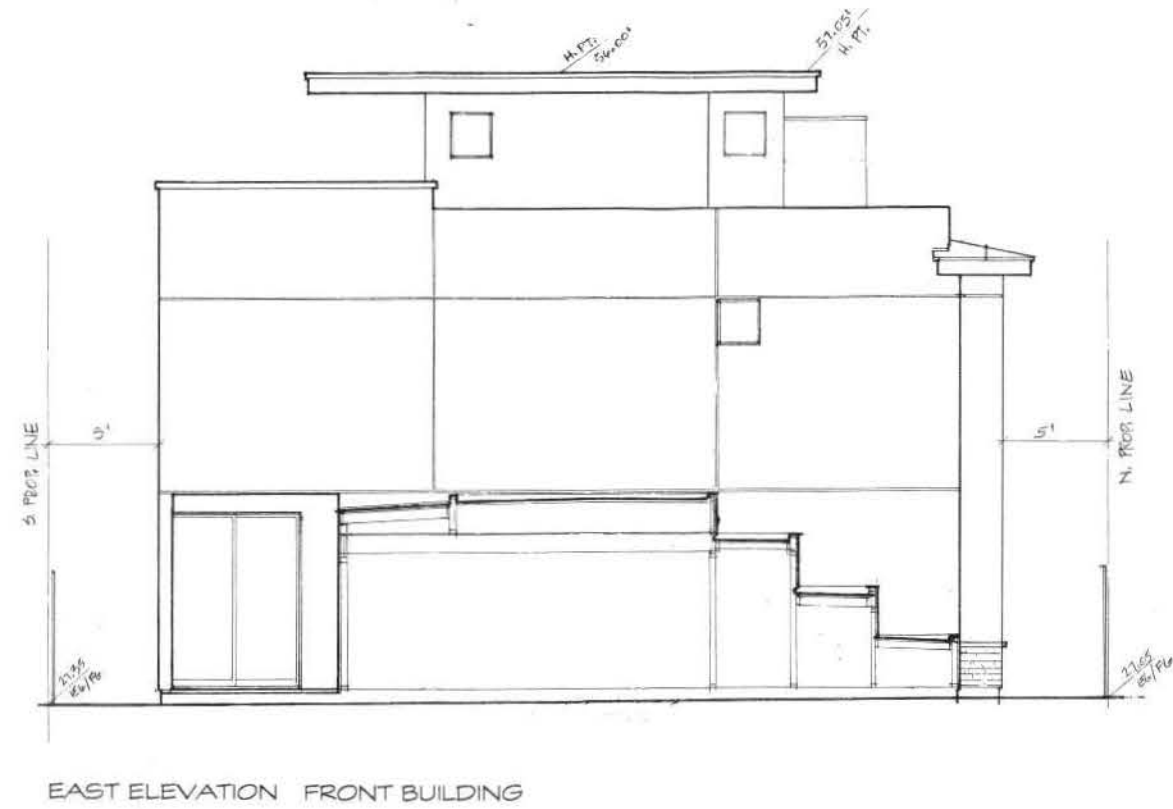
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LAMONT STREET TOWNHOMES
 FOUR TOWNHOME APARTMENTS
 3953-3959 LAMONT STREET
 SAN DIEGO, CALIFORNIA





WEST ELEVATION FRONT BUILDING



EAST ELEVATION FRONT BUILDING



NORTH ELEVATION BACK BUILDING

NORTH ELEVATION FRONT BUILDING

REVISION 1	1/16/15	REVISION 4	
REVISION 2		REVISION 5	
REVISION 3		REVISION 6	

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 SAN DIEGO, CA 92109
 PROJECT TITLE: LAMONT STREET TOWNHOMES
 SHEET TITLE: _____
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 SHEET: _____ OF _____

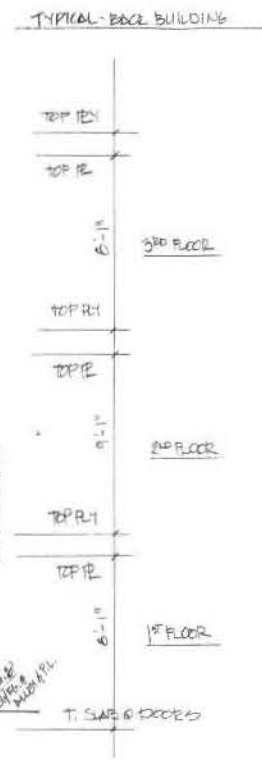
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LAMONT STREET TOWNHOMES
 FOUR TOWNHOME APARTMENTS
 3953-3959 LAMONT STREET SAN DIEGO, CALIFORNIA

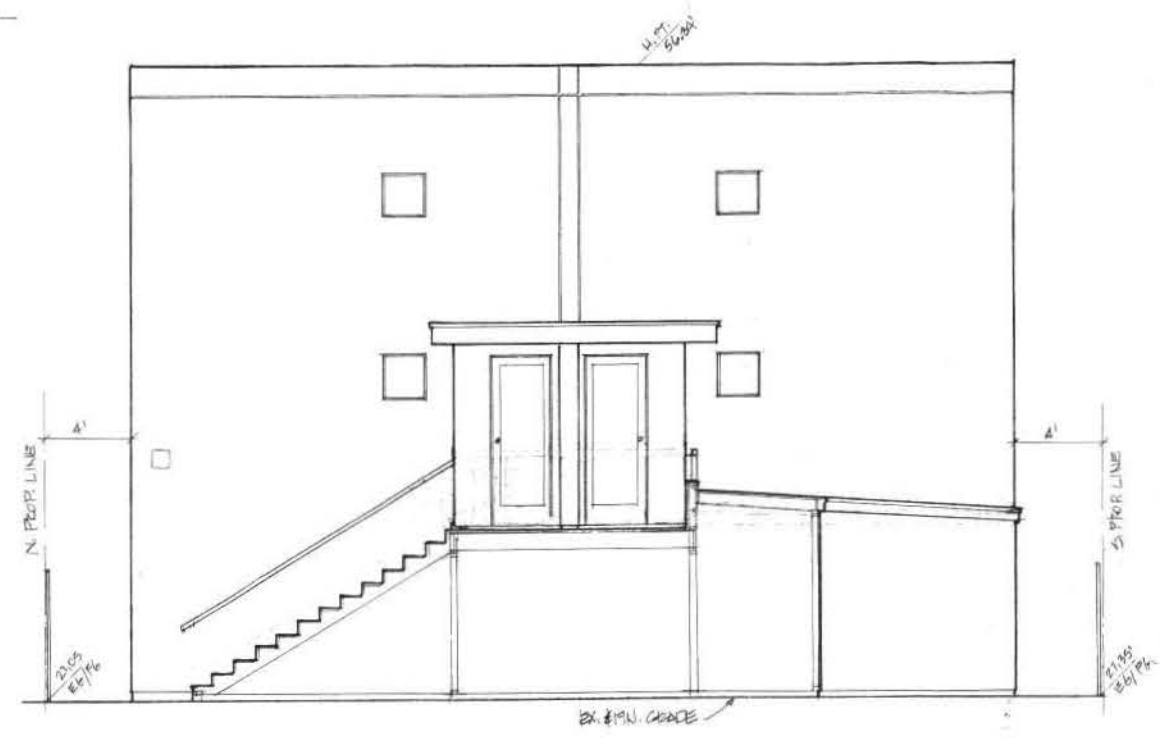
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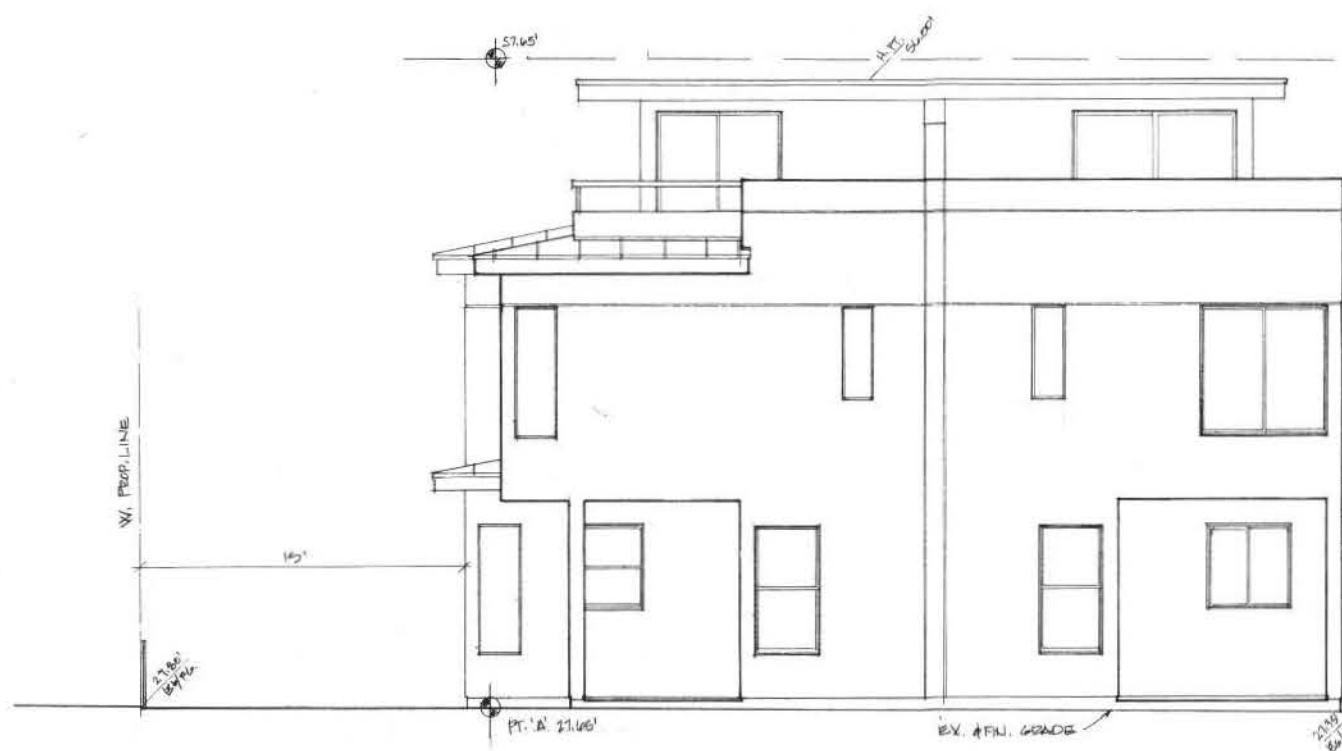
EAST ELEVATION BACK BUILDING



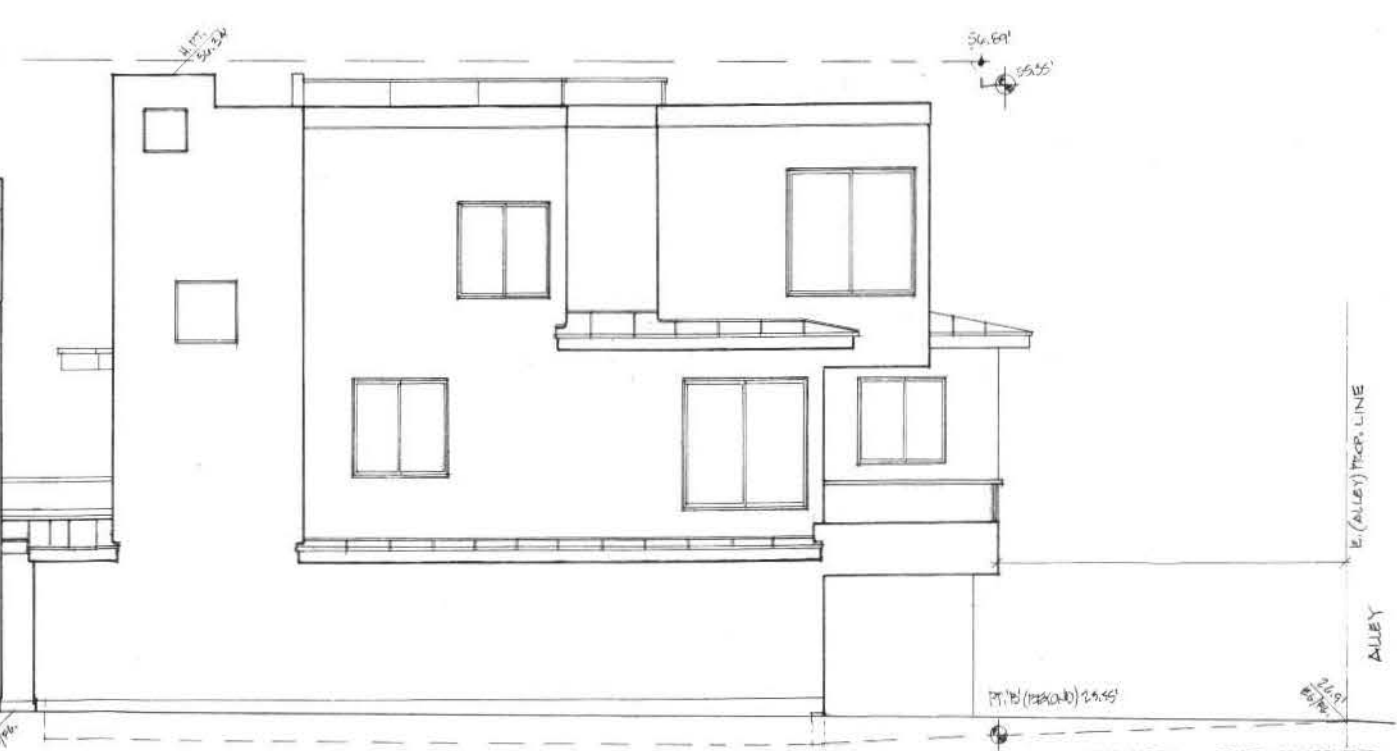
1/4" = 1'-0" (R.O.)



WEST ELEVATION BACK BUILDING



SOUTH ELEVATION FRONT BUILDING



SOUTH ELEVATION BACK BUILDING

REVISION 1	1/16/19	REVISION 4	
REVISION 2		REVISION 5	
REVISION 3		REVISION 6	

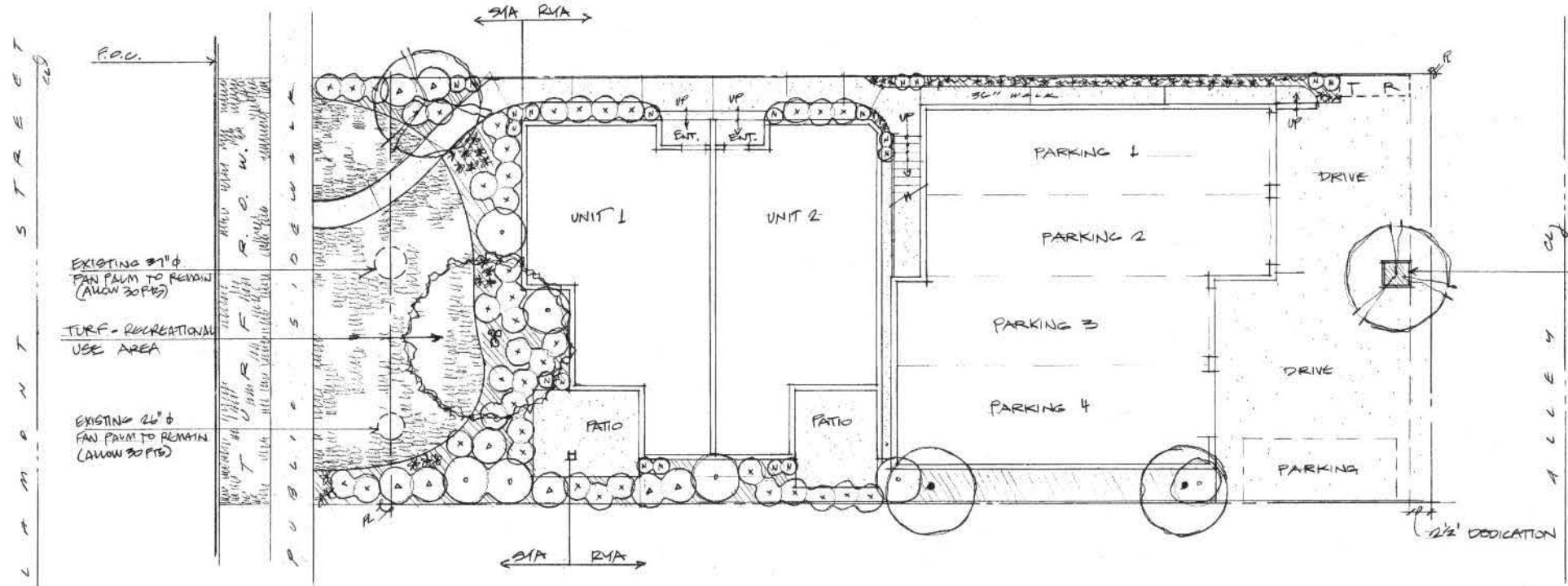
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 PROJECT ADDRESS: 3953-3959 LAMONT STREET
 SAN DIEGO, CA 92108
 PROJECT TITLE: LAMONT STREET TOWNHOMES
 ORIGINAL DATE: _____
 PROJECT NUMBER: _____
 SHEET: _____ OF _____

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LAMONT STREET TOWNHOMES
 FOUR TOWNHOME APARTMENTS

3953-3959 LAMONT STREET SAN DIEGO, CALIFORNIA





SVA REQ.	
AREA TOTAL	875 #
REQ LANDSCAPE	438 #
HARDSCAPE	60 #
ACHIEVED	815 #
S4 PLANT PTS REQ	
ACHIEVED	165 PTS
RYA REQ	
ACHIEVED	60 PTS

SUGGESTED PLANT LIST

FORM/FUNCTION	QUAN	BOTANICAL	COMMON	SIZE	MATURE HT.	SPREAD
TREES						
Street Tree	(2 existing)	Washingtonia	Fan Palm	37"/26" Dia	40'	8'
Canopy Tree	(1)	Jacaranda	Jacaranda	24" bx	25'	18'
		Tipuana Tipu	Tipu	24" bx	24'	16'
Patio tree	(3)	Bauhinia	Orchid	24" bx	16'	12'
		Eriobotrya	Loquat	24" bx	16'	12'
Vertical Evergreen	(2)	Tristania Conferta	Brisbane Box	24" bx	18'	12'
SHRUBS/GROUND COVER						
Background/Screen		Leptospermum	var: 'Ruby Glow'	15G	6'	4'
		Phorumeum Tenax	Flax	15G	6'	5'
		Photinia	Photinia	15G	6'	5'
Mounding		Raphiolepis Indica	var: 'Jack Evans'	5G	4'	4'
		Pittosporum Tobira	var: 'Variegata'	5G	4'	4'
		Cistus	Rockrose	5G	4'	4'
Low Mounding		Lavandula Dentata	Lavender	5G	3'	3'
		Raphiolepis Indica	var: 'Ballerina'	5G	3'	3'
		Trachelospermum Jas.	Star jas. (bush form)	5G	2'	3'
		Lantana mont.	Purple Lantana	5G	2'	3'
Perennial Color		Agapanthus	Lily of the Nile	1G	1.5'	1.5'
Turf		Marathon II	Fescue Grass	Sod		
Mulch			Shredded bark mulch Min. 2" deep all planter areas			
VERT. SCREEN		NANDINA DOM.	Heavenly Bamboo 5g			4'

NOTE: ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ FT FOOT SPACE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA, MIN. 10" DIA. S

Note: All landscape and irrigation shall conform to the standards of the City Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.

Note: All landscape installation shall be maintained in accordance with the City of San Diego's Land Development Manual Landscape Standards.

Note: Maintenance: All required landscape areas shall be maintained by the owner. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.

Note: Root barriers shall be placed at all trees within 5' of walks or driveways.

Note: If any existing hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired or replaced in kind and of equivalent size per the approved plans.

MINIMUM TREE SEPARATION DISTANCES

Improvement	Min. distance to street tree
Signage	10'
Traffic signal/street sign	20'
Underground utility lines	5'
Above ground utility structures	10'
Driveway entries	10'
Intersecting curbs of 2 streets	25'

Note: Irrigation: An irrigation system shall be provided as required for proper irrigation, development and maintenance of the vegetation. The design shall provide adequate support for the vegetation selected.

Note: Irrigation systems are to be installed as shown on the plans and in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards.

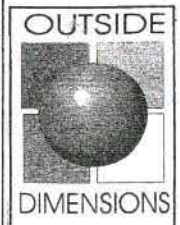
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 Project Address: **3953-59 LAMONT ST**
SAN DIEGO
 Sheet Title: **LANDSCAPE DEV. PLAN**

Rev #
 Rev. 2
 Rev. 1
 Orig date: 10/15/12
 Sheet of
 Dep#



LANDSCAPE DEVELOPMENT PLAN

3953-59 Lamont Street
 San Diego, California



landscape design
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 15748 Paseo Penasco
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Date: 10/15/12
 Scale: 1/8" = 1'
 Drawn: Steve
 Rev:

