



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: October 16, 2013 REPORT NO. HO-13-076
ATTENTION: Hearing Officer
SUBJECT: SPRINT NEW HOPE CHURCH; PROJECT NO. 242675
LOCATION: 2205 Harrison Avenue
OWNER/
APPLICANT: New Hope Friendship Missionary Baptist Church, a Non-Profit California Corporation/ Sprint PCS

SUMMARY

Requested Action - Should the Hearing Officer approve an application to continue operating a Wireless Communication Facility located at 2205 Harrison Avenue within the Southeastern San Diego Community Plan area?

Staff Recommendation - **Approve** Conditional Use Permit No. 879315 and Site Development Permit No. 879316.

Community Planning Group Recommendation - On September 9, 2013, the Southeastern San Diego Planning Group voted 6-4-0 to recommend approval of the project with conditions (Attachment 12).

Environmental Review - This project is exempt from environmental review pursuant to Article 19, Section 15301, Existing Facilities, of the California Environmental Quality Act (CEQA). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on July 12, 2013, and the Notice of Right to Appeal (NORA) was posted on July 19, 2013 and the opportunity to appeal that determination ended August 2, 2013 (Attachment 13).

BACKGROUND

The project site is located at 2205 Harrison Avenue (Attachment 1 and 2) in the MF-2500 Zone of Southeastern San Diego Planned District (Attachment 3) within the Logan Heights Neighborhood of the Southeastern San Diego (SESD) Community Plan (Attachment 4). The community plan designates the site for Residential Use, Low-Medium Density (15-17 dwelling units/acre).

The site is currently developed with a church, the New Hope Friendship Missionary Baptist Church (“Church”) and has been in continuous use for religious purposes since 1900. In 1929, the existing church building was demolished and the current sanctuary with bell tower was built, along with a façade modification to the existing social hall to make it compatible the Spanish Eclectic style sanctuary. In May 2003, the Historical Resource Board (HRB) considered designation of the church under HRB Criteria A (Cultural Landscape) and C (Architecture), but the Church declared a substantial hardship consistent with Government Code Section 37361(c), which provides an exemption for designation of non-commercial property owned by a non-profit, religious organization. Because of this exemption, the church was not designated.

The site contains an existing wireless communication facility (WCF). On June 28, 2000, Sprint PCS was approved for six panel antennas mounted on the exterior of the existing church steeple and four equipment cabinets located in a 150 square foot wood fenced enclosure (a 163 square foot enclosure was constructed) along the southwestern corner of the church pursuant to Permit No. 99-0923-31 (Attachment 6), which expired on June 28, 2010. At the time of issuance of the permits in 2000, the regulations allowed for the project as a Process 1 Administrative Review, pursuant to Land Development Code (LDC) Section 141.0405.

DISCUSSION

Project Description:

Sprint is requesting a new permit to continue operating at this location with modifications to what was previously approved. The proposal is to remove the antennas attached to the exterior of the church steeple and install six antennas within eight new fiberglass faux columns around the top of the existing steeple. The fiberglass faux columns are architecturally integrated into the façade and will be textured and painted to match the existing church. The associated equipment will be located within an existing enclosure along the southwestern side of the church, not visible from the public perspective. Under the current WCF regulations pursuant to LDC Section 141.0420(e)(1), WCF’s on a premises containing a non-residential use within a Residential zone are permitted with a Process 3 Conditional Use Permit (CUP). The antennas are located approximately 73-feet from the closest residentially zoned property line. In addition, the project requires a Process 3 Site Development Permit (SDP) for development within the Southeastern San Diego Planned District (SESDPD) that requires a CUP, pursuant to Land Development Code (LDC) Section 1519.0202(a)(5).

The project as designed, complies with the WCF design requirements pursuant to LDC Section 141.0420 (g). The project is not requesting nor does it require any deviations to the development regulations. A Radio Frequency report was submitted by Sprint demonstrating compliance with the Federal Communication Commission’s regulations.

Historical Review:

As indicated above, the existing church is eligible for designation under HRB Criteria A (Cultural Landscape) and C (Architecture), but the Church declared a substantial hardship

consistent with Government Code Section 37361(c). Staff has determined that the proposed development is consistent with the Secretary of the Interior's Standards for the Treatment of Historic Properties and would not adversely impact the building's eligibility as a historic resource. Therefore, a condition has been added to the permit to assure that staff reviews the construction documents to be consistent with the Secretary of Interior Standards prior to issuance of any building permit.

Community Plan Analysis:

The project site is designated for Residential Use, Low-Medium Density (15-17 dwelling units/acre) within the SESD Community Plan. The community plan does not contain specific policies on wireless communication facility development; therefore, there are no community plan land use issues associated with the location of the proposed WCF.

General Plan:

The General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of the facility is to be aesthetically pleasing and respectful of the neighborhood context. The antennas will be located behind fiberglass faux columns around the top of the existing steeple, which have been designed to be architecturally integrated into the façade. Therefore, the WCF is in conformance with the purpose and intent of the General Plan.

Council Policy 600-43:

The guidelines establish a hierarchy from the most preferred location (Preference 1) to the least preferred location (Preference 4) for WCFs. The project is proposed in a Preference 3 location according to Council Policy 600-43, which categorizes WCF's according to the land use in which it is located. Sprint is requesting a new permit to continue operating at this location with modifications to what was previously approved. The project is located on a premise containing a non-residential use within a Residential zone and is permitted with a CUP. The antennas will be located approximately 73-feet from the closest residentially zoned property line. The applicant submitted a site justification letter explaining why a Preference 3 level site was selected over the lower Preference 1 level sites, and submitted existing and proposed coverage maps which demonstrate the need to continue service at this location (Attachment 7).

Community Planning Group: On September 9, 2013, the Southeastern San Diego Planning Group voted 6-4-0 to recommend approval of the project with conditions as follows (with staff responses):

1. Look into the possibility of redesigning a separate tower.

Staff Response: This condition/comment is for the applicant. A proposed redesign has not been presented to staff and is not before the Hearing Officer.

2. Existing Landscaping of the southwest portion of the site should be brought in to compliance.

Staff Response: The area in question is the existing parking lot behind the church and there is no nexus to the WCF. In accordance with LDC Section 142.0402 and Table 14204A (Landscape Regulations Applicability) the project would not be required to bring the site into compliance with the current landscape regulations.

3. Masonry block wall around equipment room should have textured finish to match the church.

Staff Response: The existing equipment cabinets are located in a 163 square foot wood fenced enclosure along the southwestern corner of the church. The proposal before the Hearing Officer is to retain the existing wood fenced enclosure, which is in compliance with the WCF regulations.

4. Rebars should be added to the top of the building to block access.

Staff Response: The proposal is to remove the antennas attached to the exterior of the church steeple and install six antennas within eight new fiberglass faux columns around the top of the existing steeple. Access to the tower is located inside the church. Adding rebars to the building would not be in compliance with the Secretary of Interior Standards for the Treatment of Historic Properties.

5. Screens will be painted to the same building.

Staff Response: This requirement is already included in the Draft Permit in Condition No. 17.

6. Recommendations from the SDPD and from the RF Report should be implemented.

Staff Response: The project is a WCF and is not reviewed by the SDPD for Crime Prevention Through Environmental Design (CEPTED), and no comments have been received from the SDPD on this project. A Radio Frequency (RF) Report dated May 10, 2013, was submitted by Sprint demonstrating compliance with the Federal Communication Commission's (FCC's) regulations.

7. Mandatory that access to antennas be locked and that RF hazard signs be posted at access points.

Staff Response: A Radio Frequency (RF) Report dated May 10, 2013, was submitted by Sprint demonstrating compliance with the FCC's regulations. Part of the FCC's RF Safety Guidelines requires the access must be kept locked and the installation RF advisory sign(s).

Conclusion:

The project meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, the purpose and intent of the design guidelines, and development standards in effect for this site per the WCF regulations, the LDC, and the General Plan. Staff recommends that the Hearing Officer approve the project as presented.

ALTERNATIVE

1. **APPROVE** Conditional Use Permit No. 879315 and Site Development Permit No. 879316, **with modifications**.
2. **DENY** Conditional Use Permit No. 879315 and Site Development Permit No. 879316, if the Hearing Officer makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,

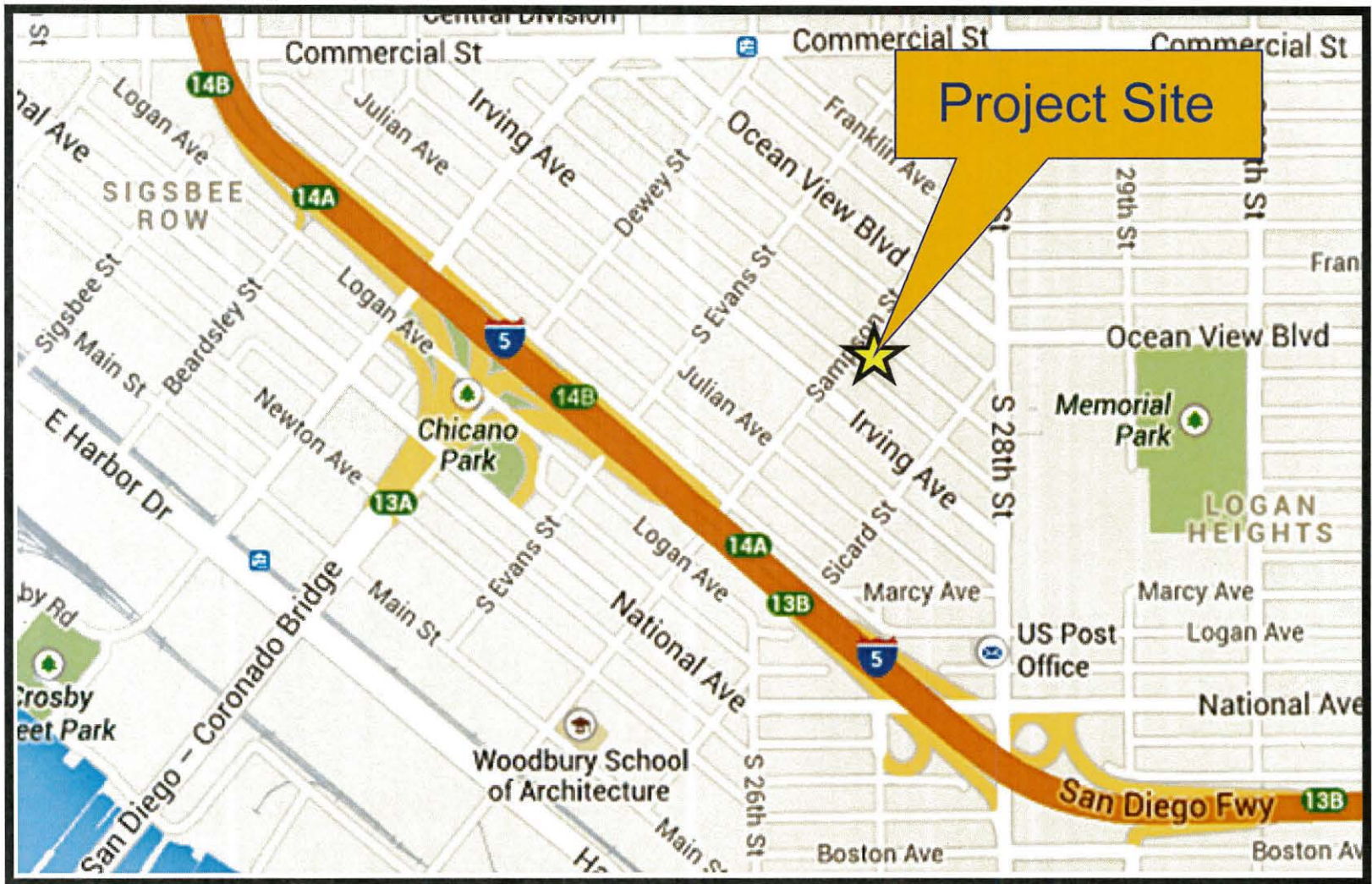


Jeffrey A. Peterson
Development Project Manager
Development Services Department

Attachments:

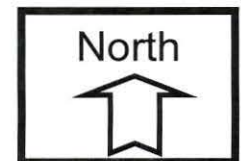
1. Location Map
2. Aerial Photograph
3. Zoning Plan
4. Community Plan Land Use Map
5. Project Data Sheet
6. Development Permit No. 99-0923-31
7. Site Justification Letter and Service Coverage Maps
8. Project Plan
9. Photo Simulations
10. Draft Permit with Conditions
11. Draft Resolution with Findings
12. Community Planning Group Recommendation
13. Environmental Exemption Determination
14. Ownership Disclosure Statement.
15. Project Chronology

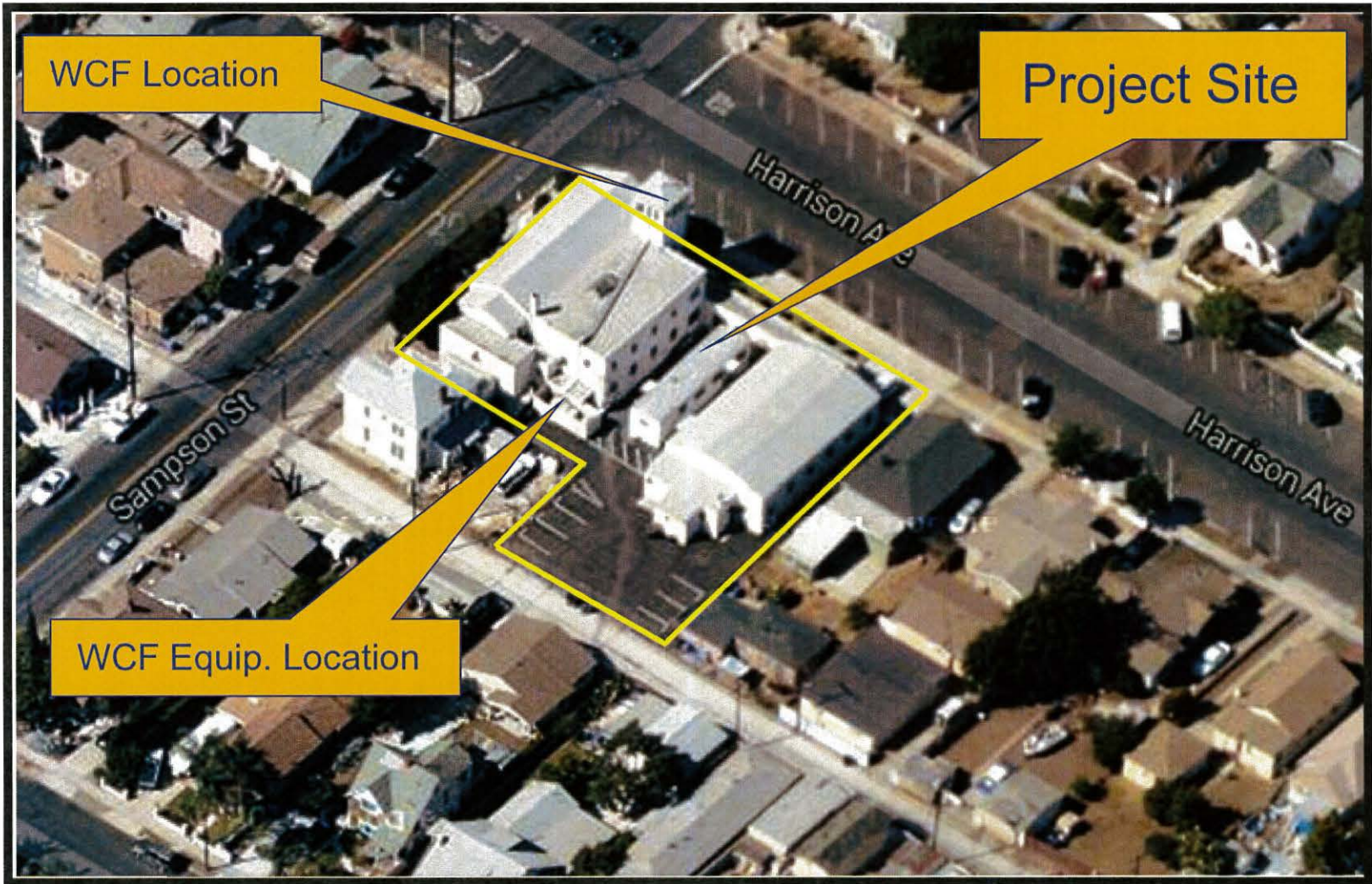
Internal Order No. 24001899



Location Map

Sprint Nextel New Hope Church-Project No. 242675
2205 Harrison Avenue

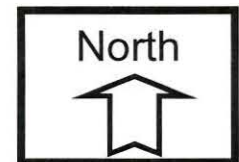


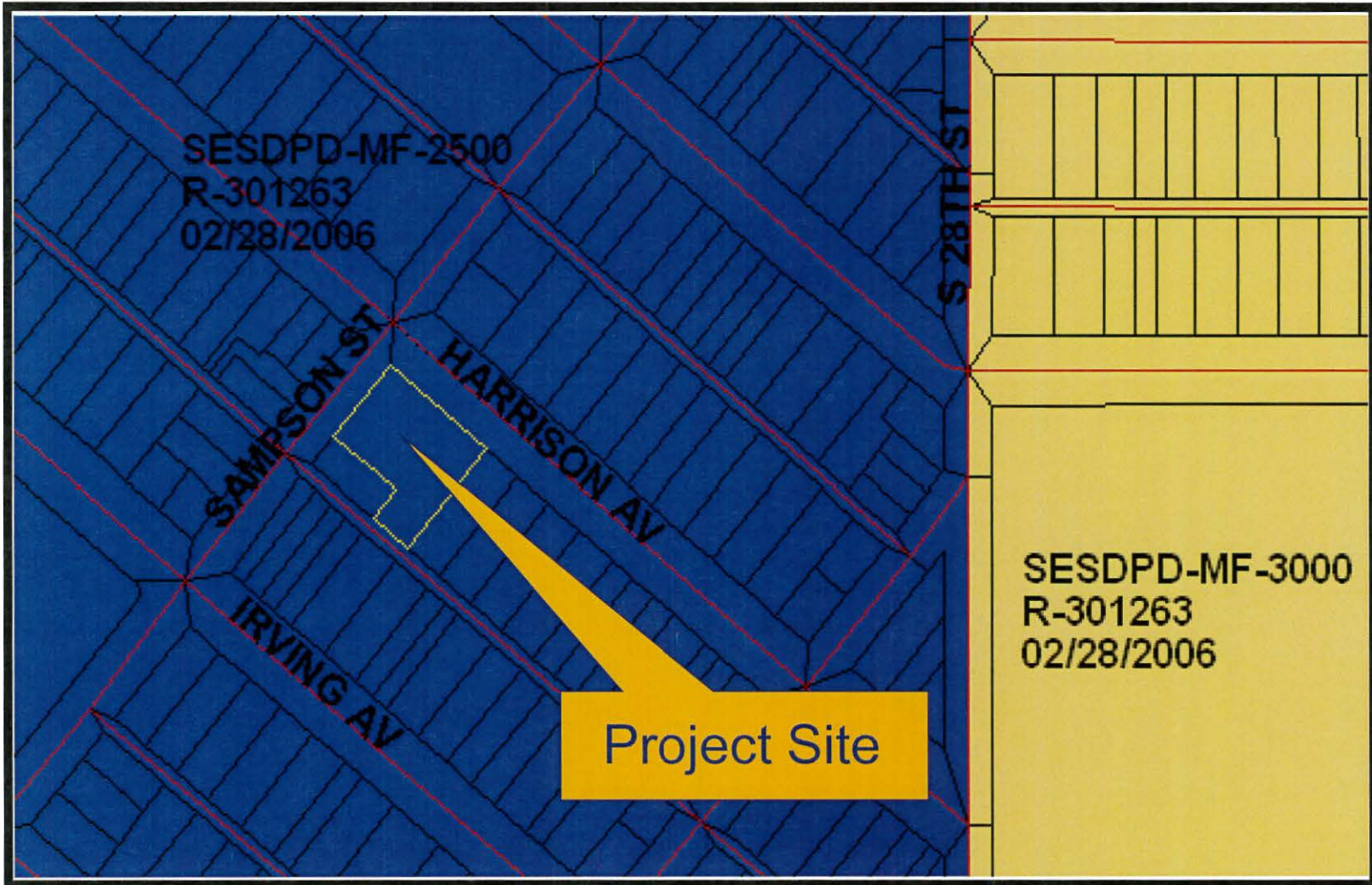


Aerial Photograph (Bird's eye view)

Sprint Nextel New Hope Church-Project No. 242675

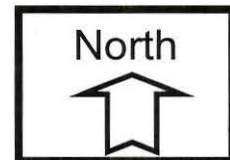
2205 Harrison Avenue

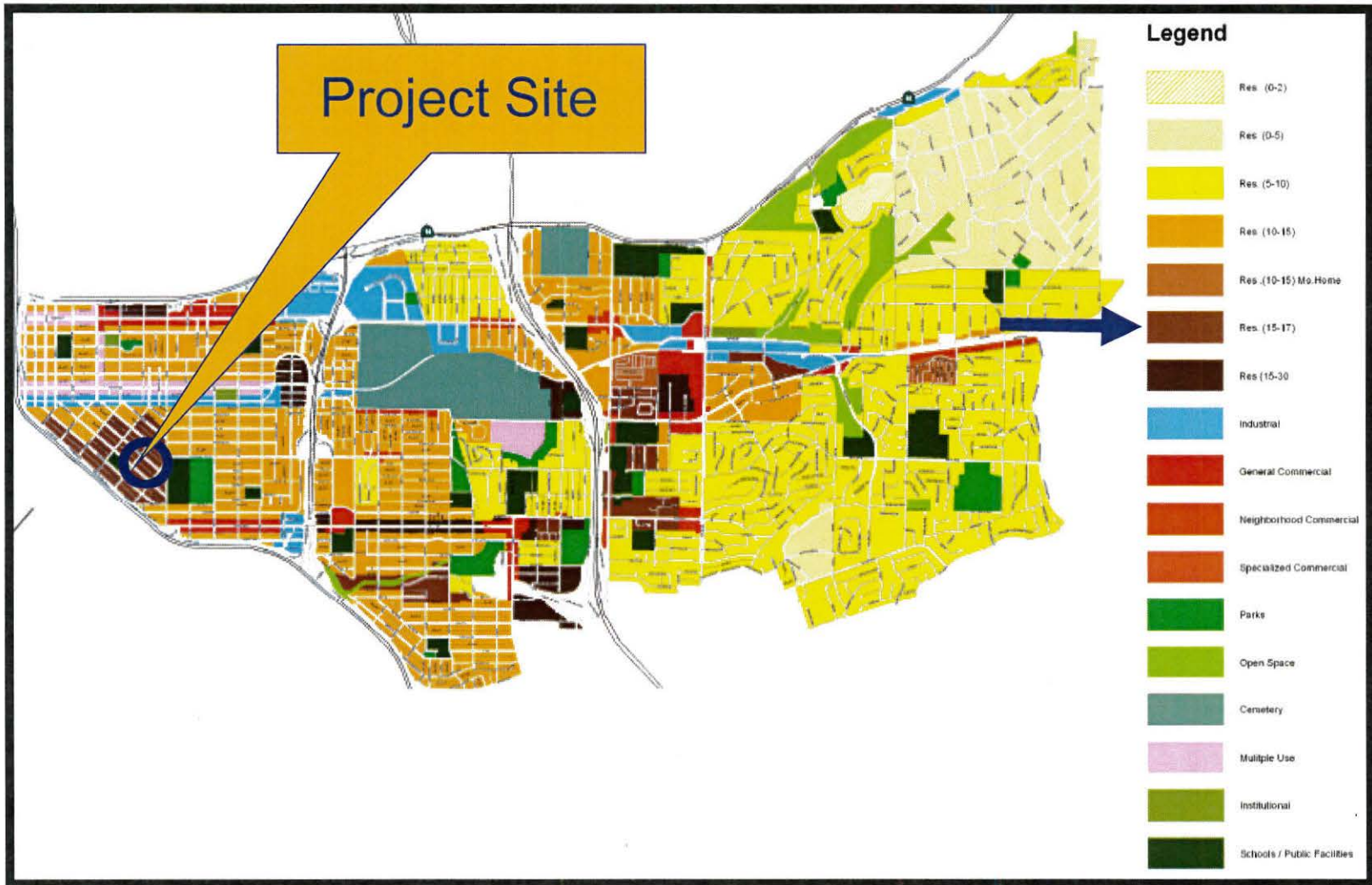




Zoning Map

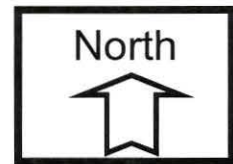
Sprint Nextel New Hope Church-Project No. 242675
2205 Harrison Avenue





Community Land Use Map (SESD)

Sprint Nextel New Hope Church-Project No. 242675
 2205 Harrison Avenue



PROJECT DATA SHEET

PROJECT NAME:	Sprint New Hope Church-Project No. 242675	
PROJECT DESCRIPTION:	Sprint Nextel is requesting a new permit to continue operating at this location with modifications to what was previously approved. The proposal is to remove the antennas attached to the exterior of the church steeple and install six antennas within eight new fiberglass faux columns around the top of the existing steeple.	
COMMUNITY PLAN AREA:	Southeastern San Diego	
DISCRETIONARY ACTIONS:	Conditional Use Permit and Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential Use, Low-Medium Density (15-17 dwelling units/acre)	
ZONING INFORMATION		
ZONE:	MF-2500 Zone of Southeastern San Diego Planned District	
HEIGHT LIMIT:	30'0"	
LOT SIZE:	NA for Wireless Communication Facility	
FLOOR AREA RATIO:	NA for Wireless Communication Facility	
LOT COVERAGE:	NA for Wireless Communication Facility	
FRONT SETBACK:	10'0"	
SIDE SETBACK:	5'0"	
STREETSIDE SETBACK:	8'0"	
REAR SETBACK:	5'0" (with alley)	
PARKING:	NA for Wireless Communication Facility	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential, Low-Medium Density (15-17 D.U./Gross Acre) / MF-2500	Single- and Multi-Family Residential
SOUTH:	Residential, Low-Medium Density (15-17 D.U./Gross Acre) / MF-2500	Single- and Multi-Family Residential
EAST:	Residential, Low-Medium Density (15-17 D.U./Gross Acre) / MF-2500	Single- and Multi-Family Residential
WEST:	Residential, Low-Medium Density (15-17 D.U./Gross Acre) / MF-2500	Single- and Multi-Family Residential
DEVIATIONS OR VARIANCES REQUESTED:	None with this action.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 9, 2013, the Southeastern San Diego Planning Group voted 6-4-0 to recommend approval of the project with conditions.	



THE CITY OF SAN DIEGO

Date: June 28, 2000

Applicant: Wireless Facilities Inc., Agent for:
Sprint PCS
9665 Chesapeake Drive, Suite 320
San Diego, CA 92123
Attn: Shelly Kilbourn

Permit No.: 99-0923-31 Telecommunication Administration Review, New Hope Friendship Church

Address: 2205 Harrison Avenue

Subject: **PROPOSED MINOR TELECOMMUNICATION FACILITY**

PLANNING AND DEVELOPMENT REVIEW ACTION:

It has been determined by **Planning & Development Review** that this proposal does not substantiate a major telecommunication facility and therefore will not be required to proceed with the Conditional Use Permit (Process Two). This decision is based on the City of San Diego's Telecommunication Antenna Policy, City Council Policy 600-43. This proposal has been reviewed with the California Environmental Quality Act (CEQA) and has been determined to be exempt per Section 15061 (b)(3).

Planning and Development Review grants **APPROVAL** of your application subject to the following:

- The facility shall be designed and constructed in accordance with the approved Exhibit "A", dated June 28, 2000. No modification or alteration shall be permitted to the approved Exhibit "A" unless revised plans are submitted and approved by Planning and Development Review.
- The facility will consist of a total of six (6) panel antennas, 3-arrays. All antennas to be attached to existing church steeple on the North, West, and East sides. All antennas to be flushed mounted and painted to match the existing structure.



Planning and Development Review

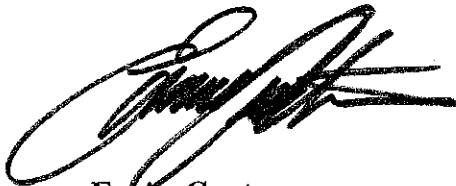
1222 First Avenue, MS 501 • San Diego, CA 92101-4155

Tel (619) 446-5460

Sprint New Hope Friendship Church
June 28, 2000
page 2

- The facility shall include approximately a 150 square-foot equipment area, wood fenced enclosure constructed on the grounds behind the church. The equipment storage will be screened per Exhibit "A" and house up to four (4) equipment cabinets, one GPS antenna, and associated electronic equipment.
- This Conditional Use Permit and corresponding use of this site **shall expire on June 28, 2010**. Upon expiration of this permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to it's original condition preceding approval of this permit.
- Prior to the expiration date of this Conditional Use Permit, the Permit Holder may submit a new Conditional Use Permit application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time

All work authorized by this permit shall be in conformance with the description of work contained herein and as indicated on the plans submitted to the Building Services Division and stamped with the Planning & Development Review "CONFORMS" stamp. All modifications to this structure or site not directly approved by this permit shall require further review by Planning and Development Review. Building permits must be obtained within six months from the date of this approval or this authorization shall be null and void.



Ernie Contreras
Project Manager

**SD34XC513 New Hope Church
TELECOM SITE JUSTIFICATION LETTER**

1. Description of the location, type, capacity, field strength or power density, and calculated geographic service area of the existing antenna or antenna array.

LOCATION AND TYPE

Sprint Nextel continue the operation of and existing communications facility at the New Hope Church, 2205 Harrison Ave. The renewal consists of 8 panel antennas façade mounted the existing steeple. There are 2 antennas on 3 sector, with all sectors façade mounted to the existing walls. Proposing to change out all antenna to new flush mounted to be skirt the antenna on all sides to incorporate into the building hiding airspace behind with addition of 2 antenna to balance out the steeple. The existing cabinets ground mounted within a shared space with fire station generator behind CMU enclosure. This existing facility is unmanned, operating 24 hours a day. The only visits to the site will consist of any emergency calls as well as regular maintenance visits once every four to six weeks.

FREQUENCY AND POWER SPECIFICATIONS

The transmitting frequency for the Sprint Nextel system is 1990-1995 Megahertz. The receiving frequency is 1910-1915 Megahertz.

COVERAGE AND CAPACITY

The objective of this existing site is to provide coverage and capacity within the residential area to the south, north and west, covering 54th to the south and North to connect to surrounding sites. Please refer to the existing coverage map that illustrates the existing coverage gap. The site will provide coverage in a current gap and provide additional capacity, allowing more users to use the system simultaneously and will provide "off-load" capacity for adjacent sites currently operating within a 1-mile radius from this existing site (see attached map).

2. Location of all existing and anticipated wireless communications facilities in the Applicant/Permittee's network located within a 1 mile radius from existing site.

Please see refer to justification and to coverage maps.

3. A description of how the existing facility fits into, and is a necessary part of, the Applicant/Permittee's network.

The objective of this existing site is to continue to provide coverage and capacity within the residential area to the south, east and west. Please refer to the

SD34XC513 New Hope Church
Telecom Site Justification

existing coverage map that illustrates the existing coverage gap. The site provides coverage in a current gap and provide current capacity, allowing users to use the system simultaneously and will provide "off-load" capacity for adjacent sites currently operating within a 1-mile radius from this existing site (see attached map).

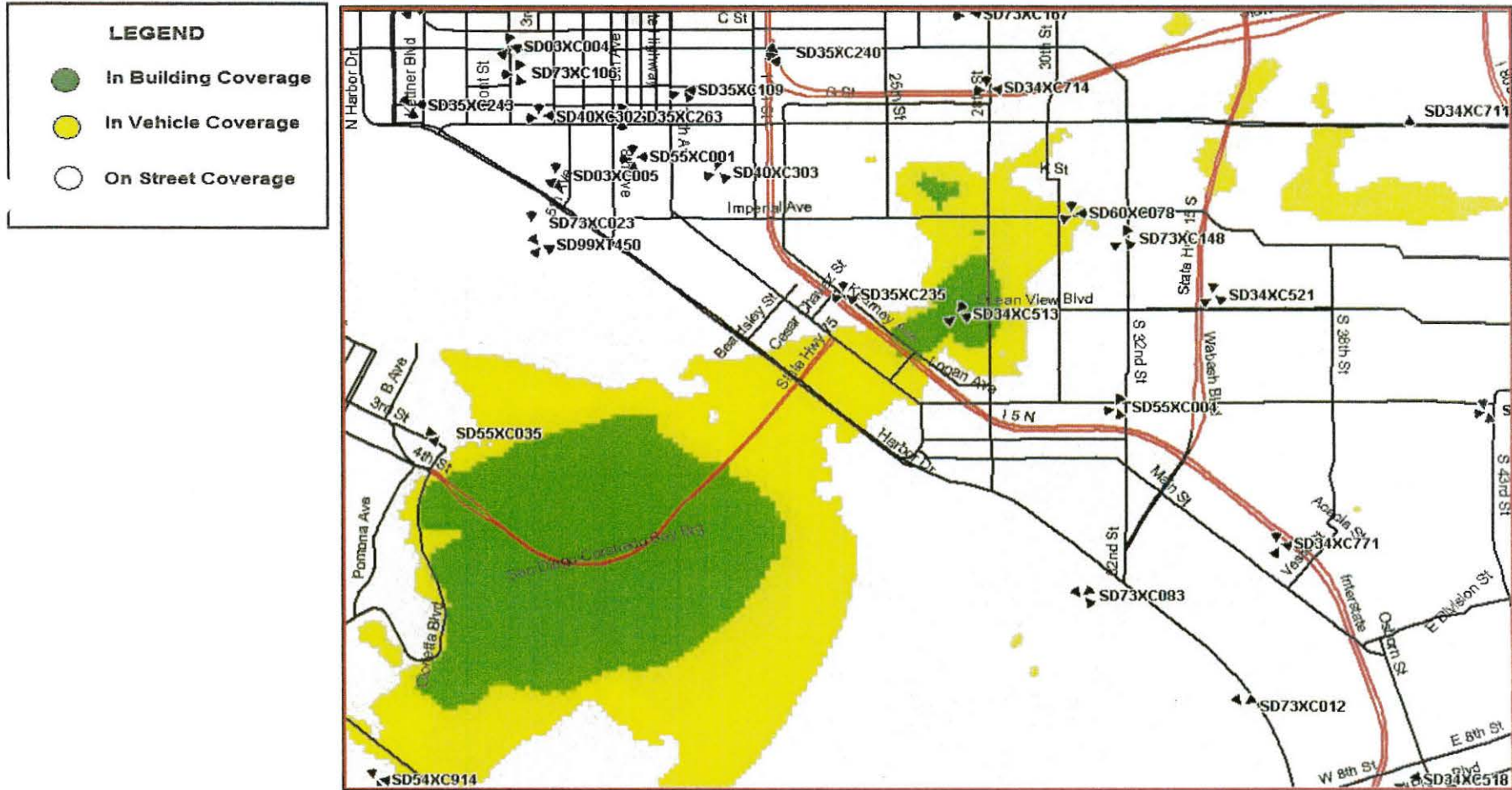
4. If the proposal does not include co-location, written documentation of all efforts made to co-locate at another site, and a justification for the decision not to co-locate.

There is a second telecommunications facility at this property.

5. Discuss Alternative Sites and why they were not selected.

This site is located on a residential use within a residential zone surrounded by single and multi-family residential. The search ring is entirely residential. This site is on-air and no alternatives were reviewed. The existing site was selected because of its height above the coverage area and ability to fill the coverage gap and connect to surrounding sites. There were no other non-residential alternatives reviewed.

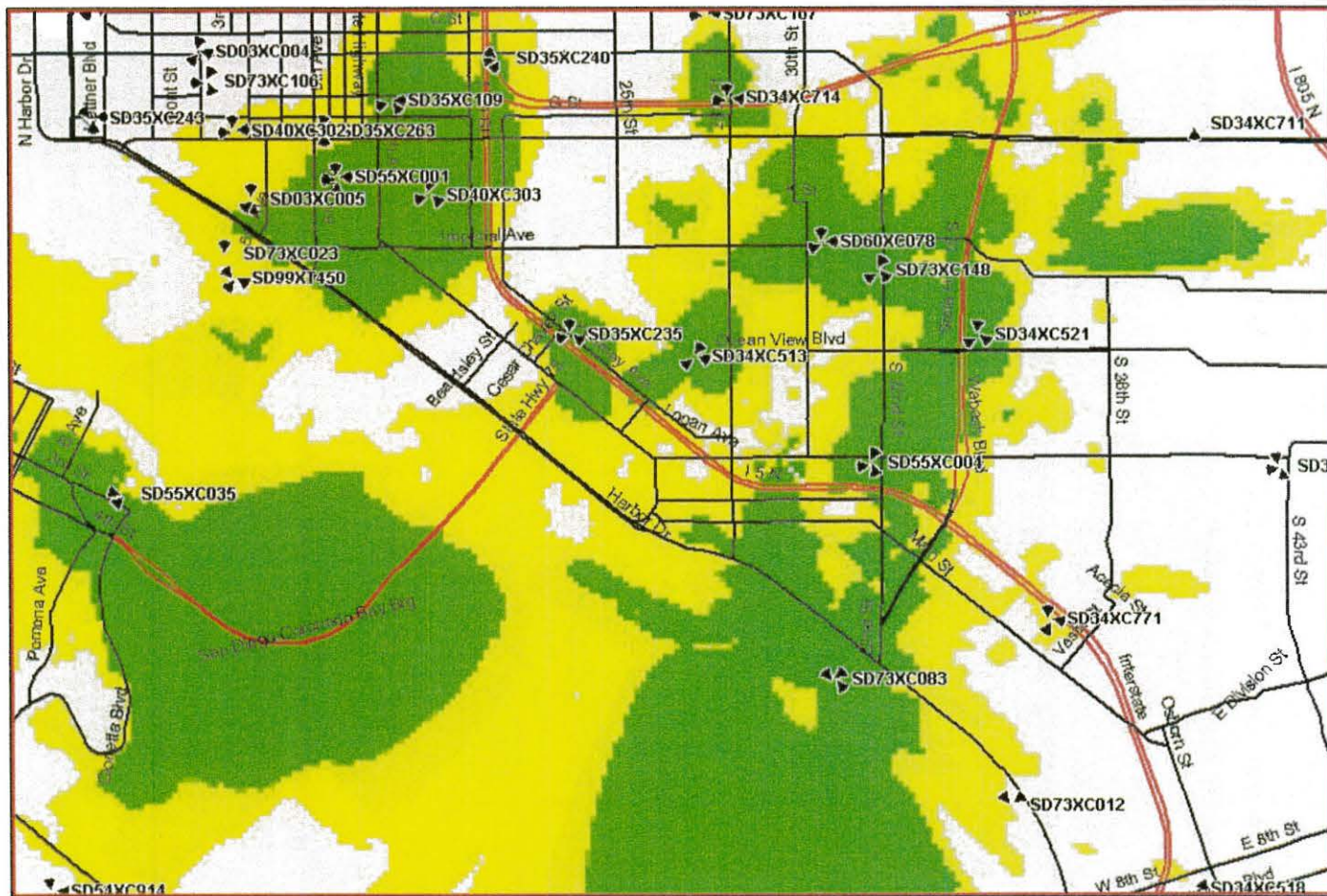
COVERAGE OF SITE SD34XC513



COVERAGE IN THE AREA WITH SITE ON AIR SD34XC513

LEGEND

-  In Building Coverage
-  In Vehicle Coverage
-  On Street Coverage





Together with NEXTEL
NETWORK VISION MMBTS LAUNCH
NEW HOPE CHURCH
SD34XC513
 2205 HARRISON AVENUE
 SAN DIEGO, CA 92113

THIS WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES

DCI PACIFIC
 A/E/C WORKS
 ARCHITECTURE | ENGINEERING | CONSULTING
 32 EXECUTIVE PARK | SUITE 110 | IRVINE, CA 92614
 T: 949 475.1000 | 949 475.1001 F



Sprint
 Together with NEXTEL
 330 COMMERCE, SUITE 100
 IRVINE, CA 92602
 PHONE: (714) 617-8342
 FAX: (714) 368-3501

PROJECT IDENTIFIER:
NEW HOPE CHURCH
SD34XC513
 2205 HARRISON AVENUE
 SAN DIEGO, CA 92113
 SAN DIEGO COUNTY

CURRENT ISSUE DATE:
06/26/13

ISSUED FOR:
PERMIT

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APP:
HH	BOK	DMD

ISSUE STATUS:

DATE:	DESCRIPTION:	BY:
11/17/12	90% CD	HH
03/08/13	100% CD	HH
04/29/13	REVISED PER RFDS 4/26/13	HH
04/29/13	REVISED CD	HH

SHEET TITLE:
TITLE SHEET

SHEET NUMBER:
T1
 NEW HOPE CHURCH
 SD34XC513

DEVELOPMENT SUMMARY

PROJECT DESCRIPTION: ZONING FOR AN EXISTING "SPRINT" UNMANNED TELECOMMUNICATION FACILITY (PERMIT NO.: 99-0923-31)

ANTENNAS	ENTITLEMENT	EXISTING	PROPOSED
ANTENNAS	(6) 4'H PANEL ANTENNAS ON (E) CHURCH STEEPLE AND (1) GPS ANTENNA	(4) 4'H PANEL ANTENNAS ON (E) CHURCH STEEPLE AND (1) GPS ANTENNA	REMOVE (4) 4'H ANTENNAS. INSTALL (6) 4'H ANTENNAS INSIDE FRP SCREEN BOXES ON (E) CHURCH STEEPLE.
CABINETS	(4) EQUIPMENT CABINETS INSIDE (E) LEASE AREA AT GROUND LEVEL.	(3) EQUIPMENT CABINETS INSIDE (E) LEASE AREA AT GROUND LEVEL.	NO EQUIPMENT CABINETS CHANGE.
CABLES	COAX CABLE INSIDE CABLE TRAY/RACEWAY	COAX CABLES INSIDE CABLE TRAY/RACEWAY	INSTALL FIBER OPTIC CABLES INSIDE (E) CABLE TRAY/RACEWAY.
OTHERS	** NO STRUCTURAL CHANGE ** NO ELECTRICAL CHANGE		INSTALL (3) NEW FRP & (1) NEW JUNCTION BOX BEHIND STEEPLE. (1) NEW CIEMA FIBER BOX INSIDE LEASE AREA.

PROPERTY INFORMATION:
 LEGAL DESCRIPTION:
 ALL OF LOTS 43 AND 44 AND THE NORTH 100 FEET OF LOTS 45, 46, 47 AND 48 IN BLOCK 242 OF SAN DIEGO LAND AND TOWN'S COMPANY ADDITION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THERE OF NO. 378, FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 20, 1896.
 ASSESSOR PARCEL NUMBER: 538-400-31
 LEASE AREA: 163 SQ. FT. EXISTING

OWNER:
 OWNER: MISSIONARY BAPTIST
 ADDRESS: P.O. BOX 13489
 SAN DIEGO, CA 92170
 CONTACT: PAUL A. GAYWOOD
 PHONE: (619) 234-5506

EXISTING WCFs ON SAME PROPERTY:
 SPRINT-NEXTEL

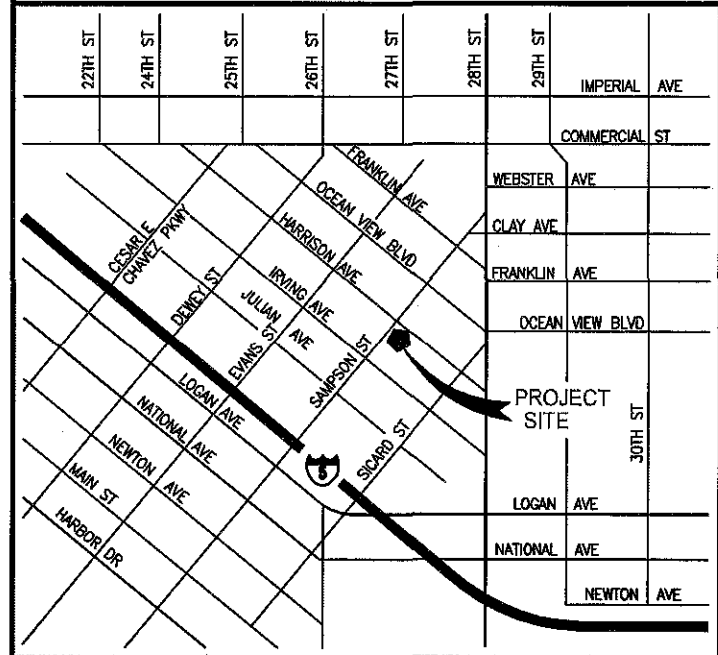
BUILDING CODE INFORMATION:
 EXISTING BUILDING/STRUCTURE:
 OCCUPANCY = S-2
 CONSTRUCTION TYPE = II-1HR
 SPRINKLER SYSTEM = NONE
 BUILDING CONSTRUCTED= 1929
 PROPOSED STRUCTURE:
 OCCUPANCY = N/A
 CONSTRUCTION TYPE = N/A
 SPRINKLER SYSTEM = N/A

ZONING INFORMATION:
 JURISDICTION: CITY OF SAN DIEGO
 ZONING DESIGNATION: MF-2500 (SESOPD, SDA, HAS, AND COUNCIL DISTRICT 8)
 EXISTING ZONING NO.: 99-0923-31
 LATITUDE: 32° 42' 3.668" N
 LONGITUDE: 117° 08' 9.913" W
 TOP OF (E) STRUCTURE: ±42'-0" AGL

CODE COMPLIANCE

- 2010 CALIFORNIA ADMINISTRATIVE CODE (CAC)
- 2010 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2 (2009 EDITION INTRENICATION BUILDING CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2010 CALIFORNIA ELECTRICAL CODE (2008 EDITION NATIONAL ELECTRICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2010 CALIFORNIA MECHANICAL CODE (CMC) (2009 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2010 CALIFORNIA ENERGY CODE (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS)
- 2010 CALIFORNIA FIRE CODE (CFC) (2009 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)
- 2010 CALIFORNIA GREEN CODE
- 2010 CALIFORNIA REFERENCES STANDARDS CODE

VICINITY MAP COORDINATES: 32° 42' 3.668" N 117° 08' 9.913" W



DRIVING DIRECTIONS

- DEPART FROM SAN DIEGO INTERNATIONAL AIRPORT:
- START OUT GOING EAST TOWARD N HARBOR DR.
 - TURN LEFT ONTO N HARBOR DR.
 - TURN LEFT ONTO W GRAPE ST.
 - MERGE ONTO I-5 S.
 - TAKE EXIT 14B TOWARD CESAR E CHAVEZ PARKWAY.
 - TURN LEFT ONTO LOGAN AVE.
 - TURN LEFT ONTO SAMPSON ST.
 - TURN RIGHT ONTO HARRISON AVE.
 - END AT 2205 HARRISON AVE IS ON THE RIGHT.

APPROVAL	DATE	SIGNATURE
P.M.:		
LANDLORD:		
CONIST:		
S/A:		
R.F.:		
ZONING:		
AME:		
R.F.:		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

DRAWING INDEX

SHEET	DESCRIPTION
T1	TITLE SHEET
T2	GENERAL NOTES, LEGENDS, ABBREVIATIONS
T3	PHOTO-SIMS
A1	SITE PLAN
A2	ANTENNA LAYOUT PLAN
A3	ELEVATIONS
A4	ELEVATIONS
A5	ANTENNA SPECIFICATIONS
A6	ANTENNA SPECIFICATIONS
A7	RRU SPECIFICATION
D1	SITE DEVELOPMENT NOTES & DETAIL

APPLICANT INFORMATION

APPLICANT:
 SPRINT
 330 COMMERCE, #100
 IRVINE, CA 92602
 CONTACT: STEPHEN DENARS
 PHONE: (760) 250-3706
 FAX: (858) 650-4202

ARCHITECT:
 DCI PACIFIC
 32 EXECUTIVE PARK, SUITE 110
 IRVINE, CA 92614
 CONTACT: D.K. DO, RA
 PHONE: (949) 475-1000
 FAX: (949) 475-1001
 E-MAIL: DK@DCIPACIFIC.COM

SITE ACQUISITION:
 DEPRATTI INC.
 13948 CALLE BUENO GANAR
 JAMUL, CA 91935
 CONTACT: SEE PROJECT TEAM FOR INFO.
 PHONE: (619) 726-8110

ABBREVIATIONS

A/C	AIR CONDITIONING	GA	GAUGE	OC	ON CENTER
AGL	ABOVE FINISH GRADE	GALV	GALVANIZED	OD	OUTSIDE DIAMETER
APPROX	APPROXIMATELY	GC	GENERAL CONTRACTOR	FLYWD	PLYWOOD
BLDG	BUILDING	GRND	GROUND	PROJ	PROJECT
BLK	BLOCKING	GYP BD	GYPSPUM WALL BOARD	PROP	PROPERTY
CLR	CLEAR	HORZ	HORIZONTAL	R	RADIUS
CONC	CONCRETE	HR	HOUR	REQ	REQUIRED
CONST	CONSTRUCTION	HT	HEIGHT	RM	ROOM
CONT	CONTINUOUS	HVAC	HEATING, VENTILATION, AIR CONDITIONING	RO	ROUGH OPENING
DBL	DOUBLE	ID	INSIDE DIAMETER	SHT	SHEET
DIA	DIAMETER	IN	INCH	SM	SIMILAR
DIAG	DIAGONAL	INFO	INFORMATION	SPEC	SPECIFICATION
DN	DOWN	INSUL	INSULATION	SF	SQUARE FOOT
DET	DETAIL	INT	INTERIOR	SS	STAINLESS STEEL
DWG	DRAWING	INT	INTERIOR CALIFORNIA BUILDING CODE	STL	STEEL
E	EXISTING	L	LENGTH	STRUCT	STRUCTURAL
EA	EACH	MAX	MAXIMUM	SUSP	SUSPENDED
ELEV	ELEVATION	MECH	MECHANICAL	THRU	THROUGH
ELEC	ELECTRICAL	MTL	METAL	T.O.	TOP OF
EQ	EQUAL	MFR	MANUFACTURE	TYP	TYPICAL
EQUIP	EQUIPMENT	MGR	MANAGER	UNO	UNLESS NOTED OTHERWISE
EXT	EXTERIOR	MIN	MINIMUM	VERT	VERTICAL
FIN	FINISH	MISC	MISCELLANEOUS	VF	VERIFY IN FIELD
FLUOR	FLUORESCENT	NA	NOT APPLICABLE	W/	WITH
FLR	FLOOR	NIC	NOT IN CONTRACT	W/O	WITHOUT
FT	FOOT	NTS	NOT TO SCALE	WP	WATER PROOF

A.B.	ANCHOR BOLT ABOVE	HGR.	HEADER HANGER
ABV.	ANTENNA CABLE COVER ASSEMBLY	H.	HIGH/HEIGHT
ADCA	ADDITIONAL	ICGB.	ISOLATED COPPER GROUND BUS
ADD'L	ADDITIONAL	IN.(")	INCH(ES)
A.F.F.	ABOVE FINISHED FLOOR	IN.(')	INCH(ES)
A.F.G.	ABOVE FINISHED GRADE	INT.	INTERIOR
ALUM.	ALUMINUM	LB.(#)	POUND(S)
ALT.	ALTERNATE	L.B.	LAG BOLTS
ANT.	ANTENNA	L.F.	LINEAR FEET (FOOT)
APPRX.	APPROXIMATE(LY)	L.	LONG(ITUDINAL)
ARCH.	ARCHITECT(URAL)	MAS.	MASONRY
AWG.	AMERICAN WIRE GAUGE	MAX.	MAXIMUM
BLDG.	BUILDING	M.B.	MACHINE BOLT
BLK.	BLOCK	MECH.	MECHANICAL
BLKG.	BLOCKING	MFR.	MANUFACTURER
BM.	BEAM	MIN.	MINIMUM
B.N.	BOUNDARY NAILING	MISC.	MISCELLANEOUS
BTOW.	BARE TINNED COPPER WIRE	MTL.	METAL
B.O.F.	BOTTOM OF FOOTING	N.	NEW
B/U	BACK-UP CABINET	NO.(#)	NUMBER
CAB.	CABINET	N.T.S.	NOT TO SCALE
CANT.	CANTILEVER(ED)	O.C.	ON CENTER
C.I.P.	CAST IN PLACE	OPNG.	OPENING
C	CENTERLINE	P/C	PRECAST CONCRETE
CLC.	CEILING	PCS	PERSONAL COMMUNICATION SERVICES
CLR.	CLEAR	P	PROPERTY LINE
COL.	COLUMN	PL.	PLATE
CONC.	CONCRETE	PLY.	PLYWOOD
CONN.	CONNECTION(OR)	PPC	POWER PROTECTION CABINET
CONST.	CONSTRUCTION	PRC	PRIMARY RADIO CABINET
CONT.	CONTINUOUS	P.S.F.	POUNDS PER SQUARE FOOT
d	DOUBLE	P.S.I.	POUNDS PER SQUARE INCH
DBL.	DOUBLE	P.T.	PRESSURE TREATED
DEPT.	DEPARTMENT	PWR.	POWER (CABINET)
D.F.	DOUGLAS FIR	QTY.	QUANTITY
DIA.	DIAMETER	RAD.(R)	RADIUS
DIAG.	DIAGONAL	REF.	REFERENCE
DIM.	DIMENSION	REINF.	REINFORCEMENT(ING)
DWG.	DRAWING(S)	REQ'D.	REQUIRED
DWL.	DOWEL(S)	RGS.	RIGID GALVANIZED STEEL
EA.	EACH	SCH.	SCHEDULE
EFS	EXTERIOR INSULATION FINISH SYSTEM	SHT.	SHEET
EL.	ELEVATION	SIM.	SIMILAR
ELEC.	ELECTRICAL	SPEC.	SPECIFICATION(S)
ELEV.	ELEVATOR	SQ.	SQUARE
EMT.	ELECTRICAL METALLIC TUBING	S.S.	STAINLESS STEEL
E.N.	EDGE NAIL	STD.	STANDARD
ENG.	ENGINEER	STL.	STEEL
EQ.	EQUAL	STRUC.	STRUCTURAL
EXP.	EXPANSION	TEMP.	TEMPORARY
EXST.(E)	EXISTING	THK.	THICK(NESS)
EXT.	EXTERIOR	T.N.	TOE NAIL
FAB.	FABRICATION(OR)	T.O.A.	TOP OF ANTENNA
F.F.	FINISH FLOOR	T.O.C.	TOP OF CURB
F.G.	FINISH GRADE	T.O.F.	TOP OF FOUNDATION
FIN.	FINISH(ED)	T.O.P.	TOP OF PLATE (PARAPET)
FLR.	FLOOR	T.O.S.	TOP OF STEEL
FDN.	FOUNDATION	T.O.W.	TOP OF WALL
F.O.C.	FACE OF CONCRETE	TP.	TYPICAL
F.O.M.	FACE OF MASONRY	U.G.	UNDER GROUND
F.O.S.	FACE OF STUD	U.L.	UNDERWRITERS LABORATORY
F.O.W.	FACE OF WALL	U.N.O.	UNLESS NOTED OTHERWISE
F.S.	FINISH SURFACE	V.I.F.	VERIFY IN FIELD
FT.(')	FOOT(FEET)	W.	WIDE/WIDTH
FTG.	FOOTING	W/	WITH
G.	GROWTH (CABINET)	WD.	WOOD
GA.	GAUGE	W.P.	WEATHERPROOF
G.C.	GENERAL CONTRACTOR	WT.	WEIGHT
GI.	GALVANIZE(D)		
G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER		
GFRG	GLASS FIBER REINFORCED CONCRETE		
GLB	GLUE LAMINATED BEAM		
GLU-LAM	GLUE LAMINATED BEAM		
GPS	GLOBAL POSITIONING SYSTEM		
GRND.	GROUND		

ABBREVIATIONS

	NEW ANTENNA
	EXISTING ANTENNA
	GROUND ROD
	GROUND BUS BAR
	MECHANICAL GRND. CONN.
	CADWELD
	GROUND ACCESS WELL
	ELECTRIC BOX
	TELEPHONE BOX
	THERMOSTAT
	LIGHT POLE
	FOUND MONUMENT
	DATUM ELEVATION POINT/LINE
	SET POINT
	REVISION
	SWITCH
	110V DUPLEX RECEPTACLE
	GRID REFERENCE
	DETAIL REFERENCE
	ELEVATION REFERENCE
	SECTION REFERENCE
	GROUT OR PLASTER
	(E) BRICK
	(E) MASONRY
	CONCRETE
	EARTH
	GRAVEL
	PLYWOOD
	SAND
	WOOD CONTINUOUS
	WOOD BLOCKING
	STEEL
	CENTERLINE
	PROPERTY/LEASE LINE
	MATCH LINE
	WORK POINT
	-G-S- GROUND CONDUCTOR
	-T- TELCO CONDUIT
	-E- POWER CONDUIT
	-A- COAXIAL CABLE
	-E/T- POWER & TELCO CONDUITS
	-X- CHAIN LINK FENCING

LEGENDS

GENERAL CONSTRUCTION NOTES:

1. THE FACILITY IS AN UNOCCUPIED ELECTRONIC TELECOMMUNICATION FACILITY.
2. PLANS ARE NOT TO BE SCALED AND ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS SHALL VISIT THE JOB SITE AND BE RESPONSIBLE FOR ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS, AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK.
4. THE GENERAL CONTRACTOR SHALL RECEIVE, IN WRITING, AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
5. THE GENERAL CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA (USA/DIG-ALERT) BEFORE PROCEEDING WITH ANY EXCAVATION, SITE WORK OR CONSTRUCTION.
6. THE GENERAL CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS UNLESS SPECIFICALLY INDICATED OTHERWISE OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
7. ALL WORK PERFORMED AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. THE GENERAL CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AGENCY REGARDING THE PERFORMANCE OF THE WORK. MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE BEST SKILLS AND ATTENTION. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT INCLUDING CONTACT AND COORDINATION WITH THE CONSTRUCTION MANAGER AND WITH THE LANDLORD'S AUTHORIZED REPRESENTATIVE.
9. SEAL PENETRATIONS THROUGH FIRE RATED AREAS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS.
10. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA DURING CONSTRUCTION.
11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CHAPTER 16 OF THE CBC REGARDING EARTHQUAKE PIPING, LIGHT FIXTURES, CEILING GRID, INTERIOR PARTITIONS AND MECHANICAL EQUIPMENT. ALL WORK MUST BE IN ACCORDANCE WITH LOCAL EARTHQUAKE CODES AND REGULATIONS.
12. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
13. THE GENERAL CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, PAVING, CURBS, VEGETATION, GALVANIZED SURFACES, ETC., AND UPON COMPLETION OF WORK REPAIR ANY DAMAGE THAT OCCURRED DURING CONSTRUCTION TO THE SATISFACTION OF THE NEXTEL CONSTRUCTION MANAGER.
14. KEEP GENERAL AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE.
15. REPRESENTATIONS OF TRUE NORTH, OTHER THAN THOSE FOUND ON THE SURVEY DRAWING (SHEET LS1 OR C1), SHALL NOT BE USED TO IDENTIFY OR ESTABLISH THE BEARING OF TRUE NORTH AT THE SITE. THE GENERAL CONTRACTOR SHALL RELY SOLELY ON THE SURVEY DRAWING AND ANY SURVEYOR'S MARKINGS AT THE SITE FOR THE ESTABLISHMENT OF TRUE NORTH. THE GENERAL CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER AND THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THE WORK IF ANY DISCREPANCY IS FOUND BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND THE TRUE NORTH ORIENTATION AS DEPICTED ON THE SURVEY OR BY SURVEYOR MARKINGS AT THE SITE. THE GENERAL CONTRACTOR SHALL ASSUME SOLE LIABILITY FOR ANY FAILURE TO NOTIFY THE ARCHITECT/ENGINEER.
16. PENETRATIONS OF ROOF MEMBRANES SHALL BE PATCHED/FLASHED/SEALED AND MADE WATERTIGHT USING LIKE MATERIALS IN ACCORDANCE WITH NRCA ROOFING STANDARDS AND DETAILS. GENERAL CONTRACTOR SHALL OBTAIN DETAILING CLARIFICATION FOR SITE-SPECIFIC CONDITIONS FROM ARCHITECT/ENGINEER, AS NECESSARY, BEFORE PROCEEDING.

STANDARD STRUCTURAL STEEL NOTES:

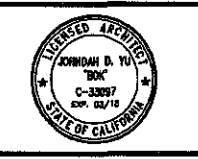
1. ALL METAL WORK SHALL BE GALVANIZED IN ACCORDANCE WITH THE ASTM A36 SPECIFICATION, UNLESS NOTED OTHERWISE.
2. STRUCTURAL TUBING MEMBERS SHALL CONFORM TO ASTM A500, GRADE A OR A501.
3. ALL WELDING SHALL BE DONE USING E70XX ELECTRODES AND WELDING SHALL CONFORM TO AISC AND AWS D1.1. WHERE FILLET WELD SIZES ARE NOT SHOWN, PROVIDE THE MINIMUM SIZE PER TABLE J2.4 IN THE AISC "MANUAL OF STEEL CONSTRUCTION", 9TH EDITION.
4. BOLTED CONNECTIONS SHALL USE BEARING TYPE GALVANIZED ASTM A325 BOLTS (3/4" DIA.) AND SHALL HAVE A MINIMUM OF TWO BOLTS, UNLESS OTHERWISE SPECIFIED.
5. NON-STRUCTURAL CONNECTIONS FOR HANDRAIL, LADDERS AND STEEL GRATING MAY USE 5/8" DIA. GALVANIZED ASTM A307 BOLTS, UNLESS OTHERWISE SPECIFIED.

GENERAL NOTES

GENERAL STRUCTURAL NOTES:

1. WHERE A CONSTRUCTION DETAIL IS NOT SHOWN OR NOTED, THE DETAIL SHALL BE THE SAME AS FOR OTHER SIMILAR WORK, AND/OR SHALL CONFORM TO STANDARD PRACTICE IN THE TRADE(S) OR DISCIPLINES RELATED TO THE FABRICATION, MANUFACTURE, AND/OR INSTALLATION THEREOF.
2. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES.
3. NO PIPES, DUCTS, SLEEVES, CHASES, ETC., SHALL BE PLACED IN SLABS, BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED; NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC., UNLESS OTHERWISE NOTED. GENERAL CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.
4. THE GENERAL CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE GENERAL CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD 'NEXTEL' AND THE ARCHITECT/ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF 'NEXTEL' OR THE ARCHITECT/ENGINEER.
5. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKERS AND PEDESTRIANS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO BRACING, SHORING FOR LOADS DUE TO CONSTRUCTION EQUIPMENT, TEMPORARY STRUCTURES, AND PARTIALLY COMPLETED WORK, ETC. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTION OF SUCH ITEMS.
6. ASTM SPECIFICATIONS NOTED ON THE DRAWINGS SHALL BE OF THE LATEST REVISION.
7. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOOR OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING/BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
8. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE GENERAL CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF DAMAGED UTILITIES IN CONJUNCTION WITH THE PROSECUTION OF THIS WORK.
9. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALES SHOWN ON DRAWINGS.
10. THESE NOTES SHALL BE CONSIDERED A PART OF THE WRITTEN SPECIFICATIONS.
11. ALL ITEMS REMOVED DURING CONSTRUCTION WORK (I.E., DRYWALL, PLYWOOD, CEILING PANELS, ETC.) SHALL BE REPLACED TO MATCH EXISTING.
12. THE FOLLOWING REQUIREMENTS SHALL BE MET FOR SPECIAL INSPECTION:
 - A. THE SPECIAL INSPECTOR SHALL BE UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.
 - B. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE ARCHITECT/ENGINEER, AND OTHER DESIGNATED PERSONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE GENERAL CONTRACTOR FOR CORRECTION; THEN, IF UNCORRECTED, TO THE PROPER DESIGN AUTHORITY AND THE BUILDING OFFICIAL.
 - C. THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT SIGNED BY BOTH HE AND HIS SUPERVISOR STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE GOVERNING CODES.
 - D. COMPLY WITH ALL CITY SPECIAL INSPECTION REQUIREMENTS

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PROJECT IDENTIFICATION
NEW HOPE CHURCH
SD34XC513
2205 HARRISON AVENUE
SAN DIEGO, CA 92113
SAN DIEGO COUNTY

CURRENT ISSUE DATE:
06/26/13

ISSUED FOR:
PERMIT

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEADING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APP:
NH	BOK	DWD

ISSUE STATUS:

Δ	DATE:	DESCRIPTION:	BY:
---	11/17/12	90% CD	NH
---	01/08/13	100% CD	NH
---	04/28/13	REVISED PER RFDS 4/28/13	NH
---	06/26/13	REVISED CD	NH

SHEET TITLE:
GENERAL NOTES, LEGENDS, ABBREVIATIONS

SHEET NUMBER:
T2
ISSUE LEVEL:
NEW HOPE CHURCH SD34XC513

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CM		

DRAWN BY:	CHK:	APP:
HH	BOK	DKD

ISSUE STATUS:

Δ	DATE:	DESCRIPTION:	BY:
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---	03/08/13	100% CD	HH
---	04/29/13	REVISED PER RFDS 4/29/13	HH
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SHEET TITLE:
PHOTO-SIMS

SHEET NUMBER:
T3

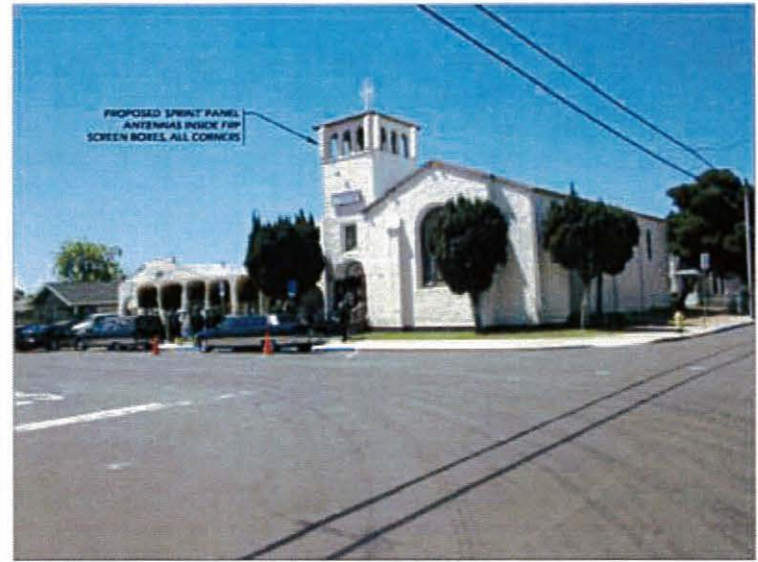
ISSUE LEVEL:
NEW HOPE CHURCH
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AERIAL MAP



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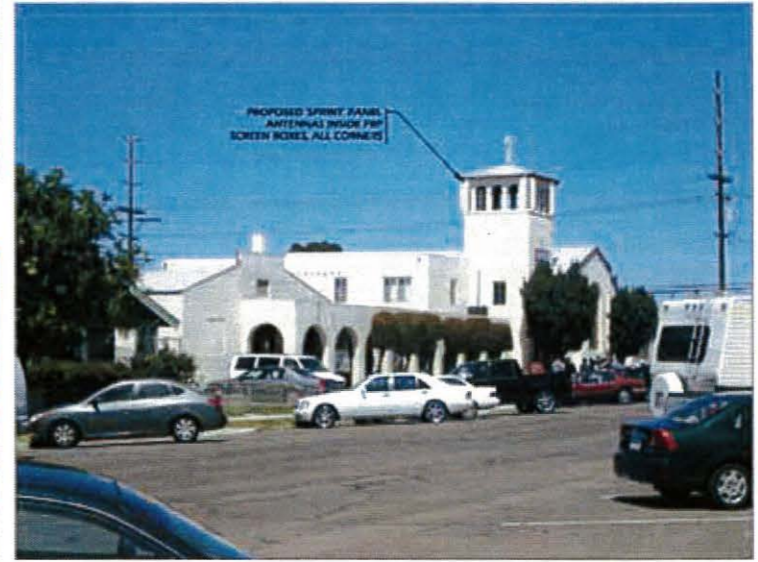
VIEW SHEET
A 1/3

AERIAL MAP



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SAN DIEGO COUNTY

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DRAWN BY:	CHK:	APP:
HH	BOK	DND

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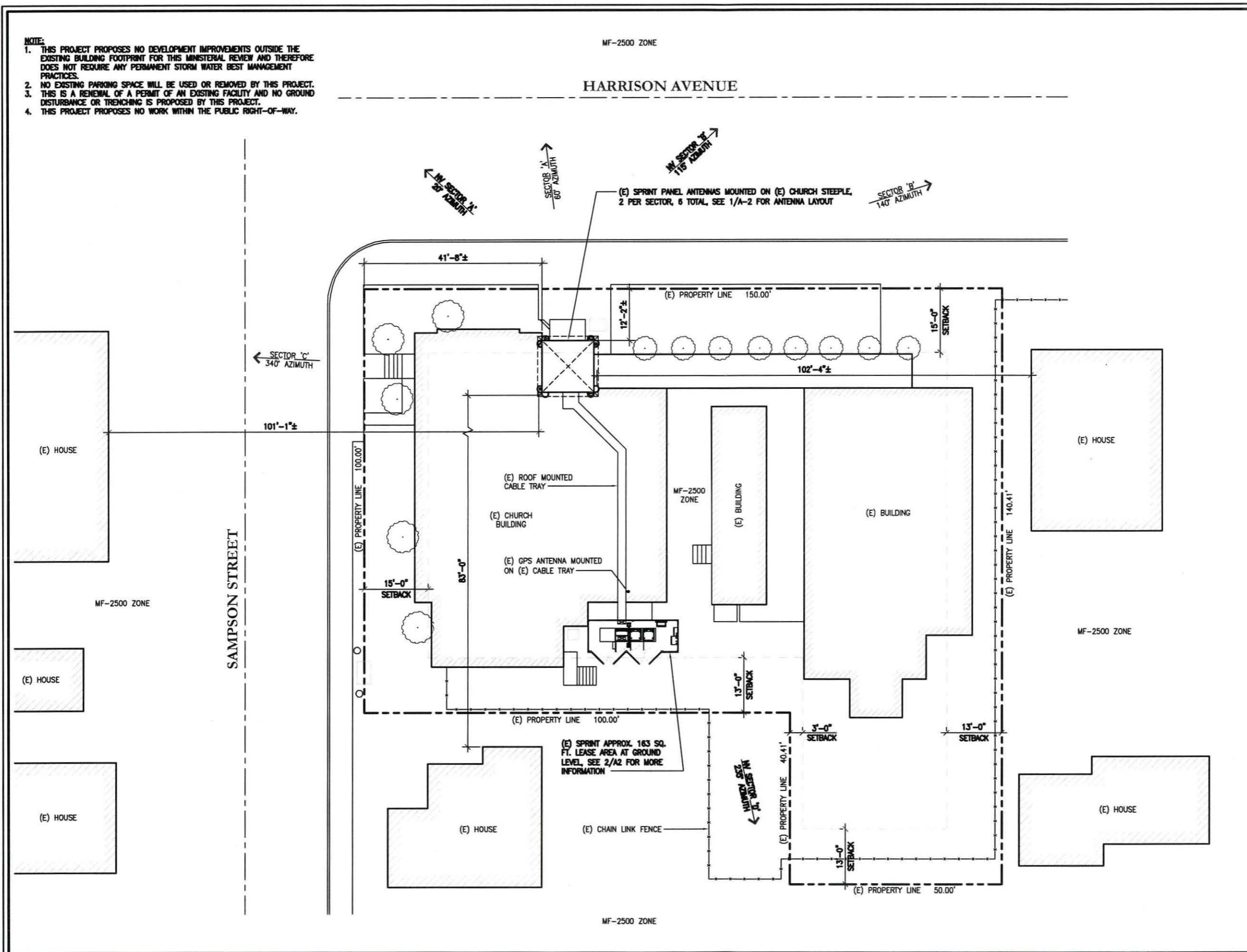
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11/17/12	BOX CD	HH
03/08/13	100K CD	HH
04/20/13	REVISED PER RFDS 4/26/13	HH
06/26/13	REVISED CD	HH

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
A1

ISSUE LEVEL:
NEW HOPE CHURCH
SD34XC513

- NOTE:**
1. THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS MINISTERIAL REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT PRACTICES.
 2. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
 3. THIS IS A RENEWAL OF A PERMIT OF AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT.
 4. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.



SITE PLAN



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PROJECT IDENTIFICATION:

**NEW HOPE CHURCH
SD34XC513**

2205 HARBOR AVENUE
SAN DIEGO, CA 92113
SAN DIEGO COUNTY

CURRENT ISSUE DATE:

06/26/13

ISSUED FOR:

PERMIT

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APP:
HN	BOK	DKD

ISSUE STATUS:

DATE	DESCRIPTION	BY:
11/17/12	BOX CD	HN
03/08/13	100K CD	HN
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06/26/13	REVISED CD	HN

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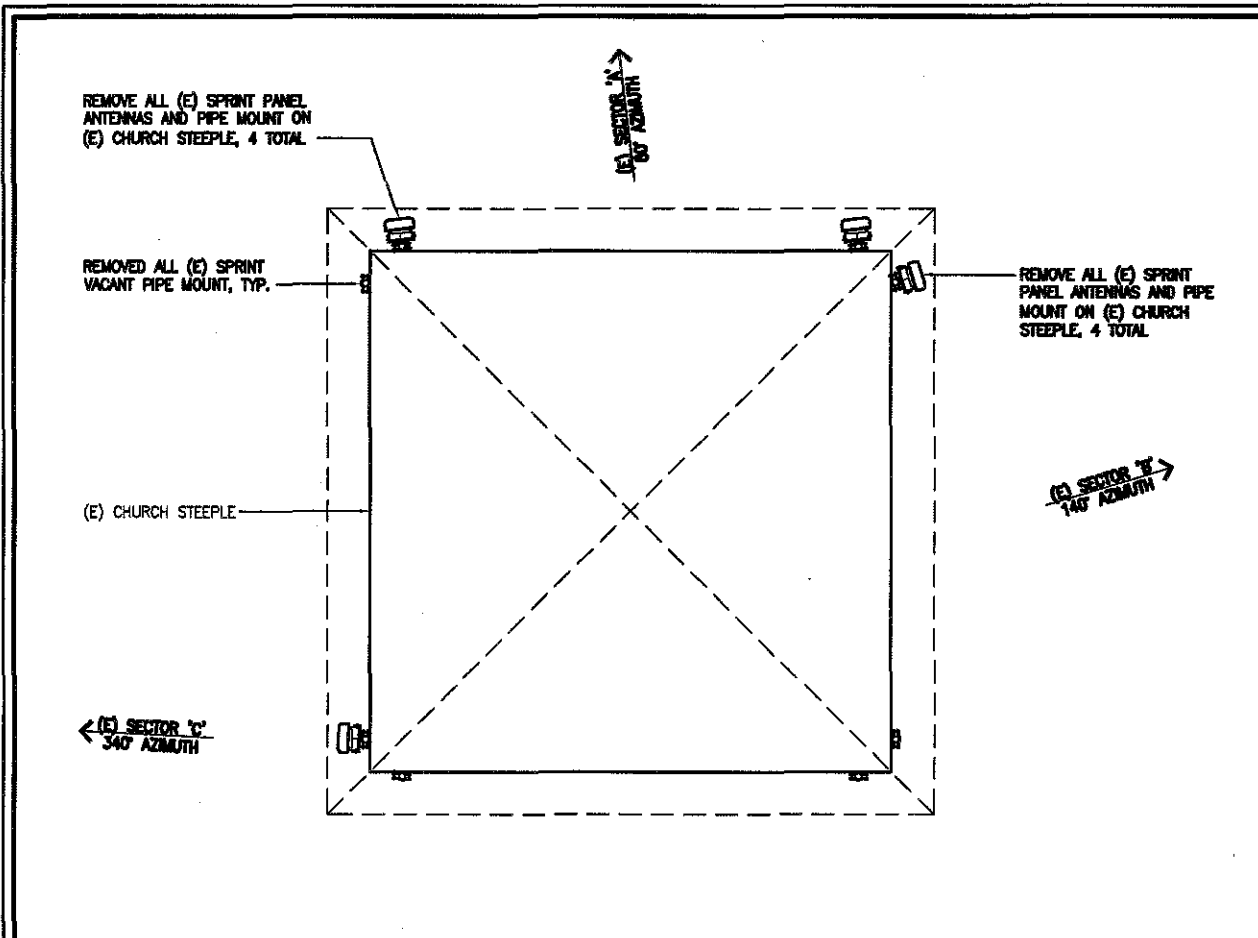
**ANTENNA & EQUIPMENT
LAYOUT PLANS**

SHEET NUMBER:

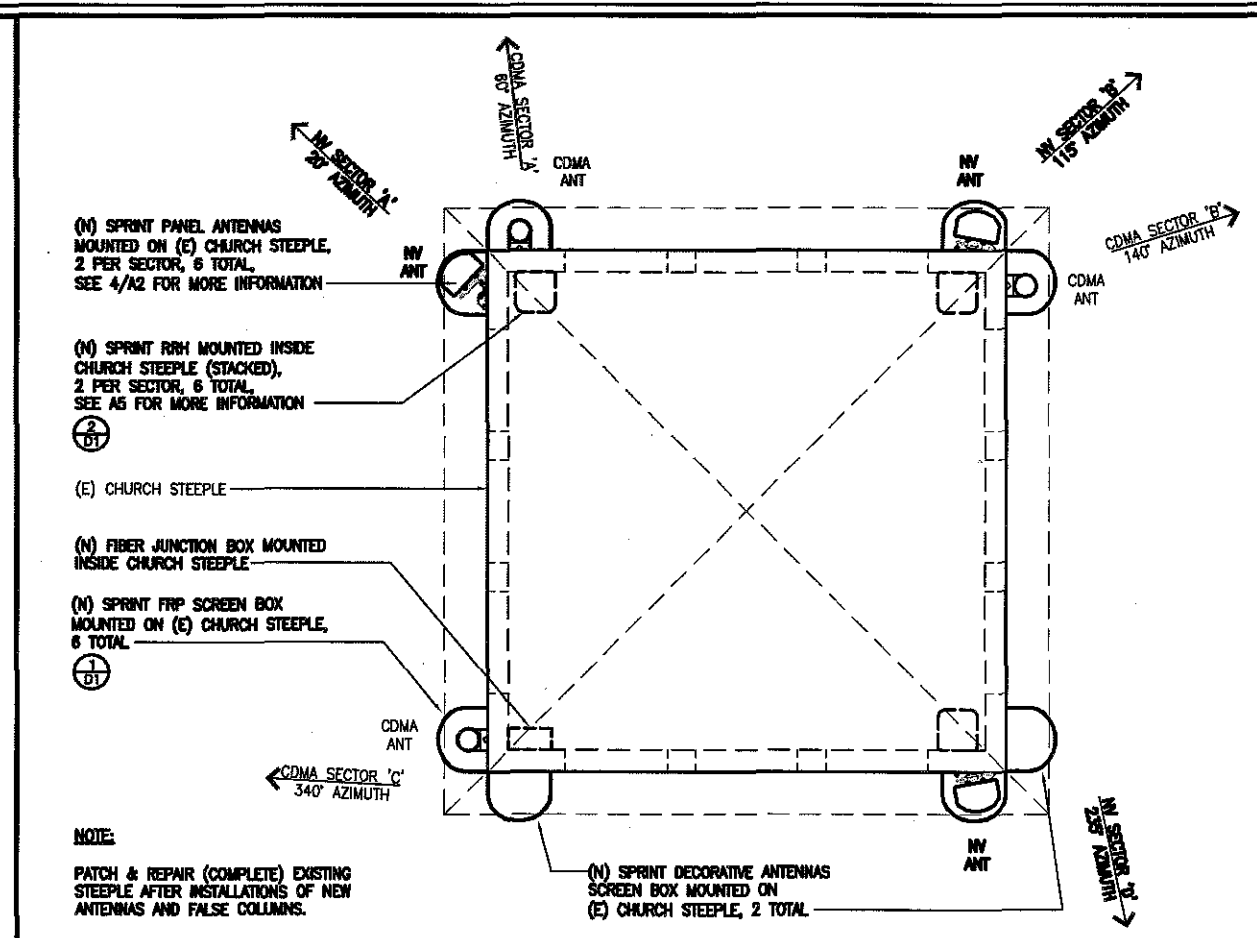
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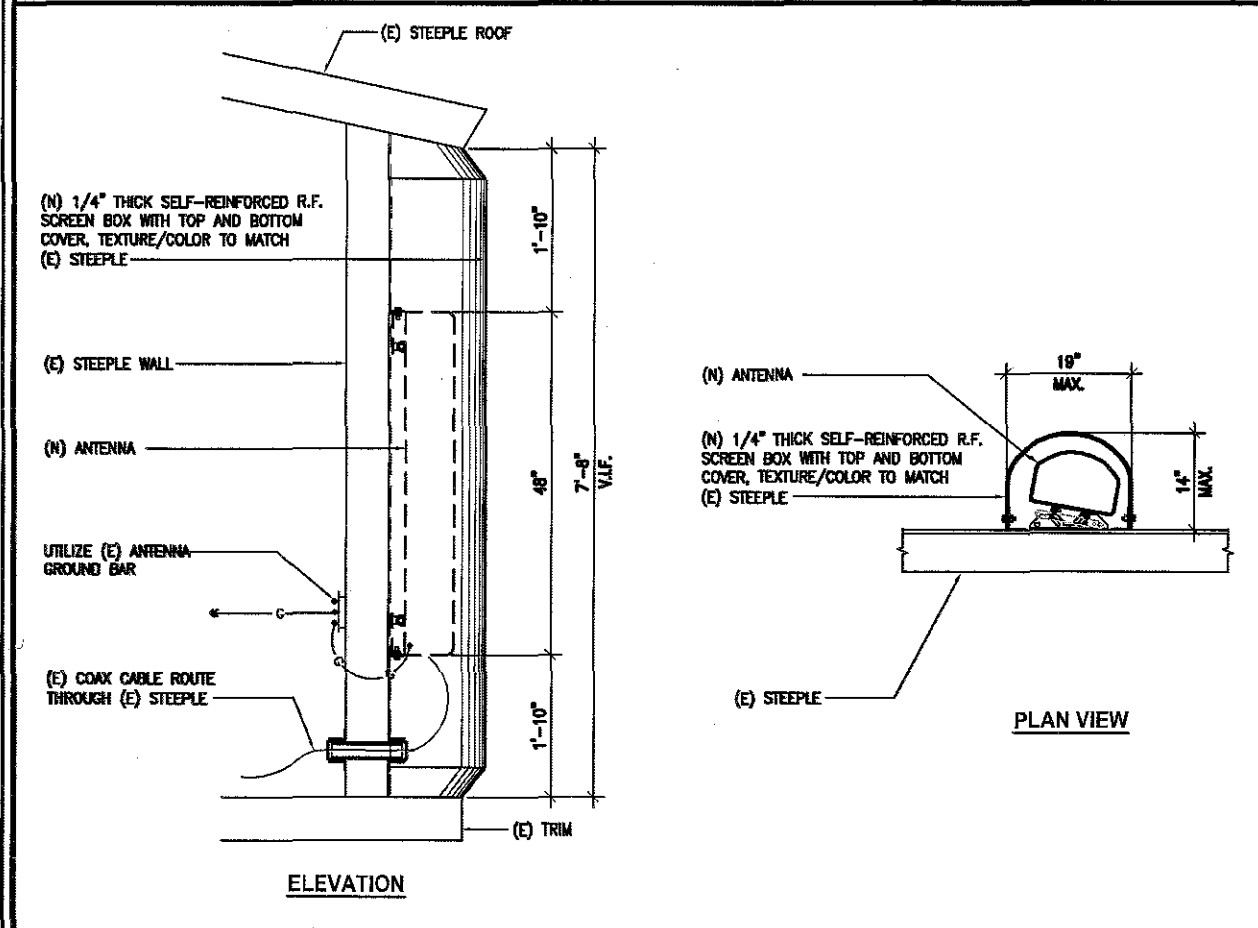
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SD34XC513



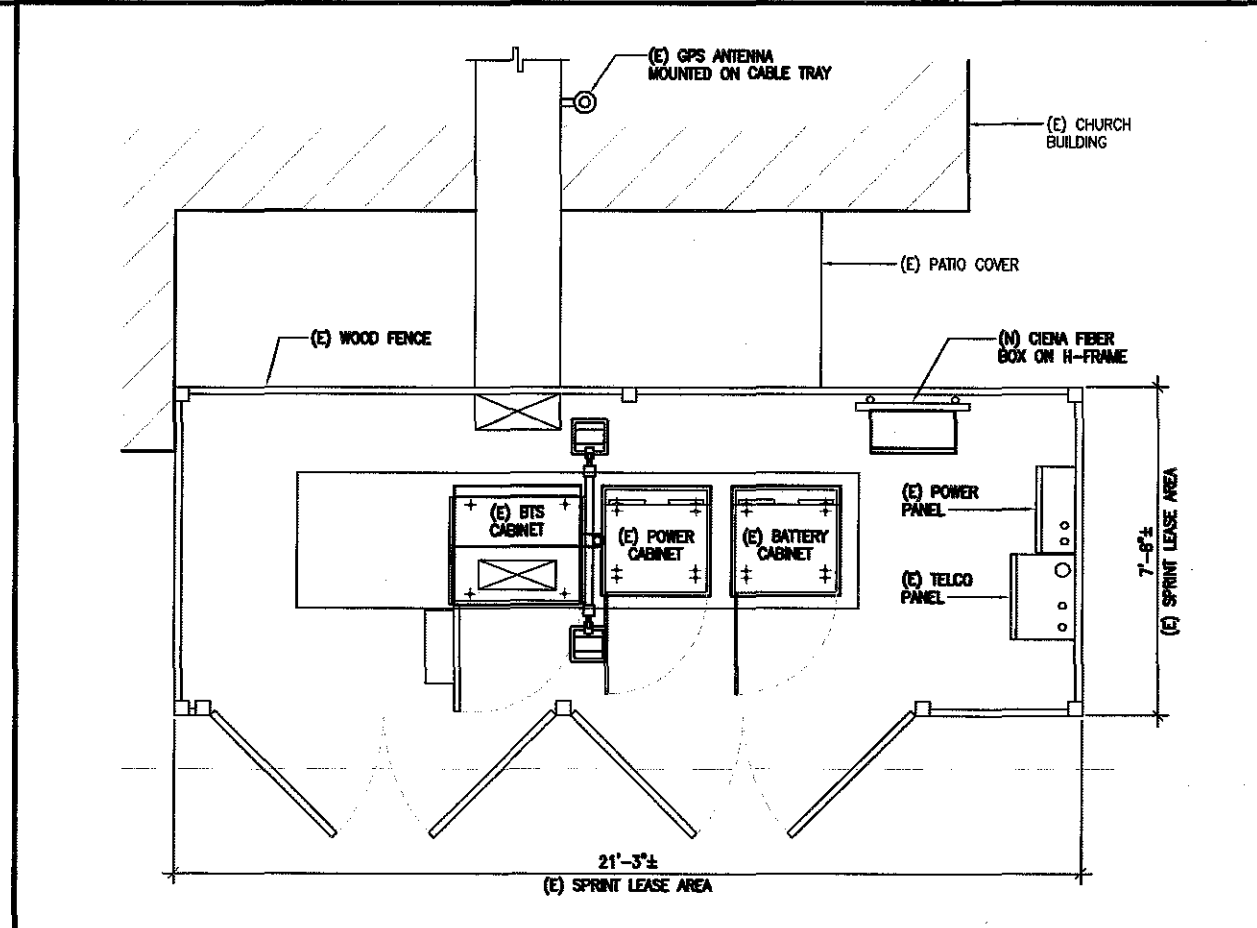
(E) ANTENNA LAYOUT PLAN



(N) ANTENNA LAYOUT PLAN



ANTENNA & SCREEN BOX DETAIL



EQUIPMENT LAYOUT PLAN

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2205 HARRISON AVENUE
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SAN DIEGO COUNTY

CURRENT ISSUE DATE:

06/26/13

ISSUED FOR
PERMIT

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APP:
NH	BOK	DND

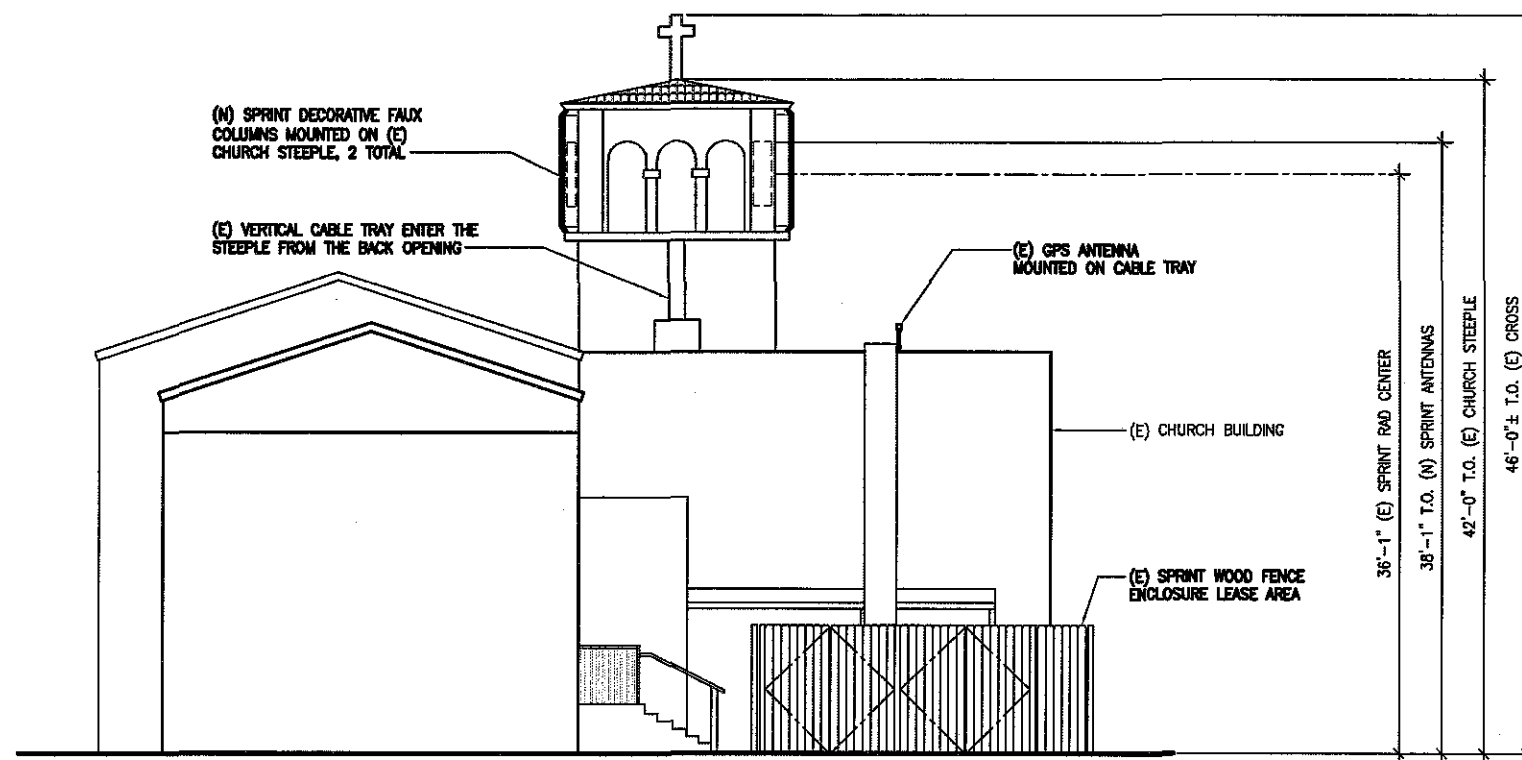
ISSUE STATUS:

△	DATE:	DESCRIPTION:	BY:
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---	03/08/13	100% CD	NH
---	04/29/13	REVISED PER RFDS 4/29/13	NH
---	06/26/13	REVISED CD	NH

SHEET TITLE:
ELEVATIONS

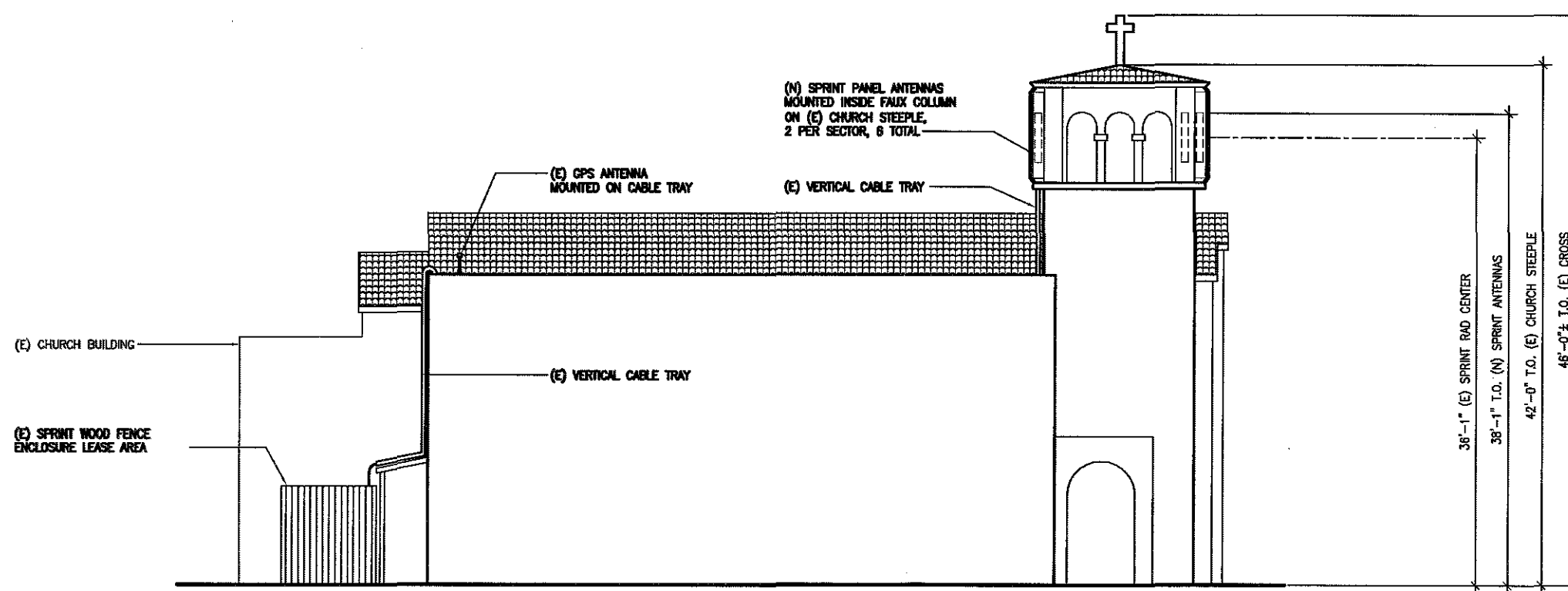
SHEET NUMBER:
A3

ISSUE LEVEL:
NEW HOPE CHURCH
SD34XC513



SOUTHWEST ELEVATION

SCALE: 1/8"=1'-0" 1



SOUTHEAST ELEVATION

SCALE: 1/8"=1'-0" 2

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Sprint

Together with NEXTEL

330 COMMERCE, SUITE 100
IRVINE, CA 92602
PHONE: (714) 617-8342
FAX: (714) 368-3501

PROJECT IDENTIFICATION:

**NEW HOPE CHURCH
SD34XC513**

2308 HARRISON AVENUE
SAN DIEGO, CA 92113
SAN DIEGO COUNTY

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LEASING		
ZONING		
RF		
CM		

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HH	SKK	DKD

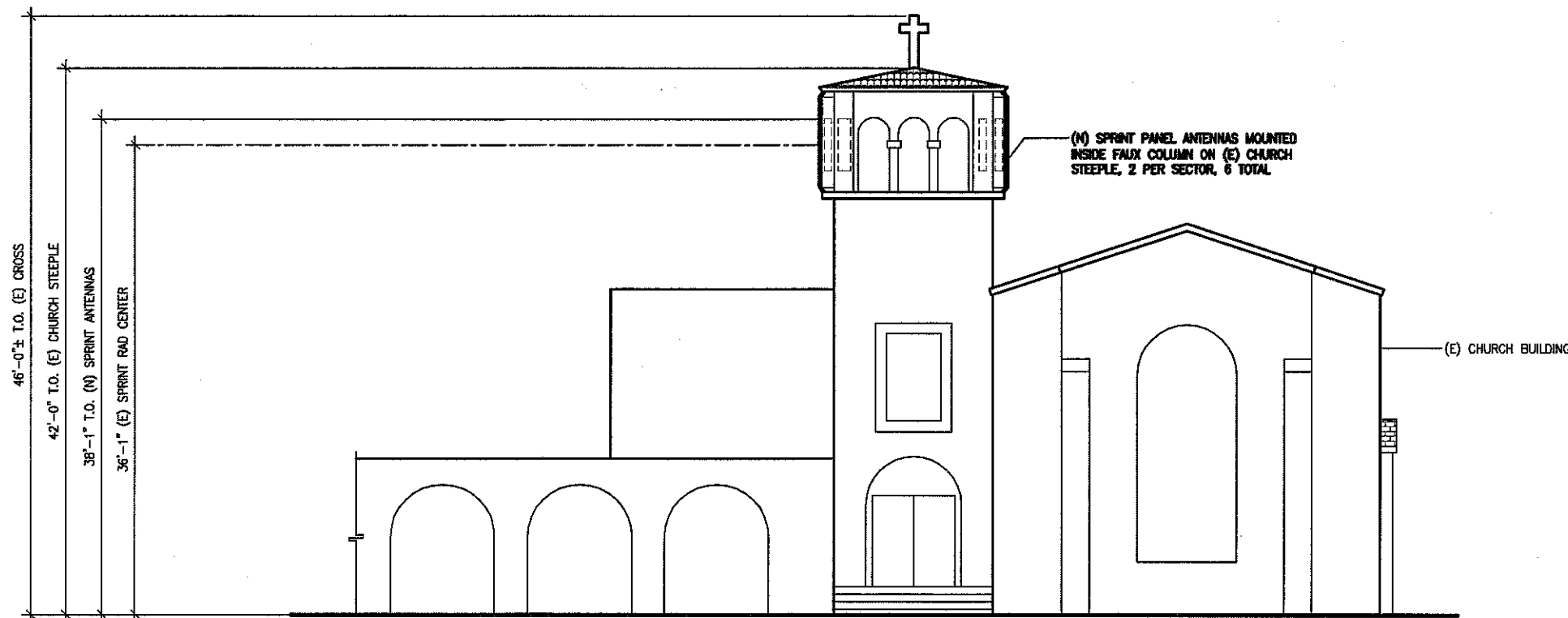
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---	06/26/13	REVISED CD	HH

SHEET TITLE:
ELEVATIONS

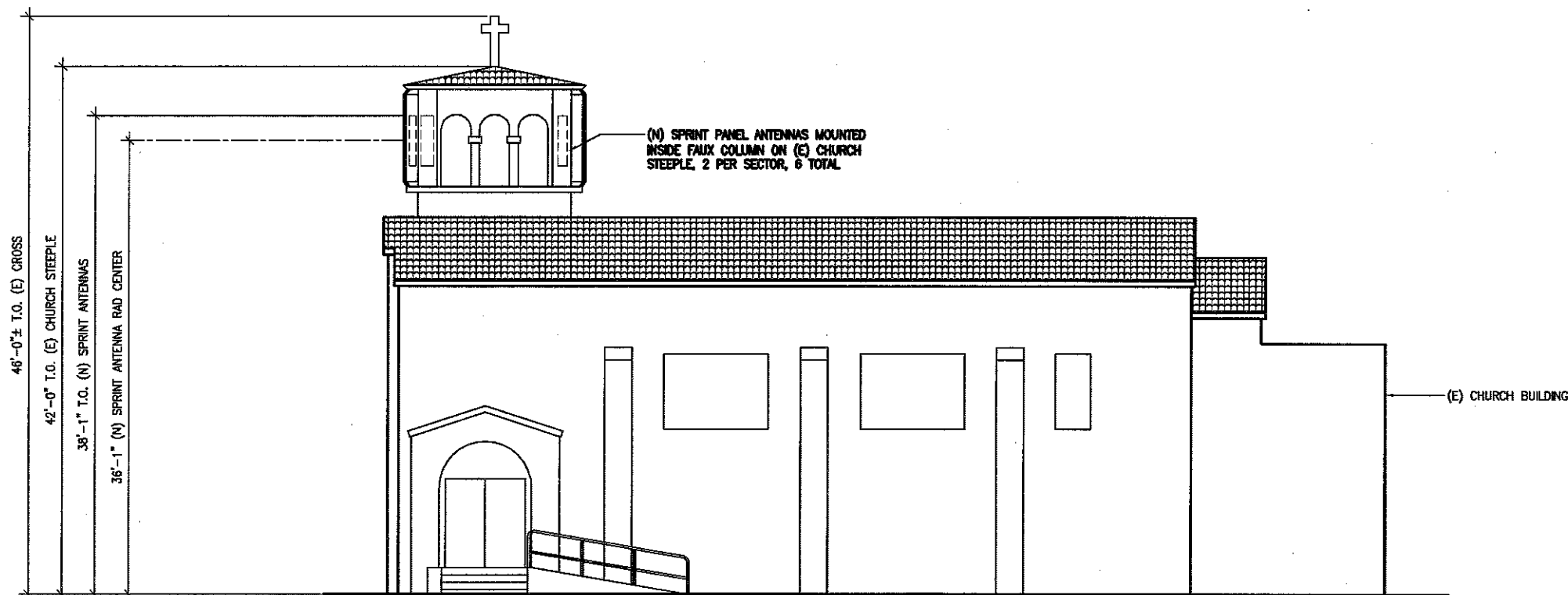
SHEET NUMBER:
A4

ISSUE LEVEL:
NEW HOPE CHURCH
SD34XC513



NORTHEAST ELEVATION

SCALE: 1/8"=1'-0" 1



NORTHWEST ELEVATION

SCALE: 1/8"=1'-0" 2



EDTA (Electrical Down Tilt Antenna)

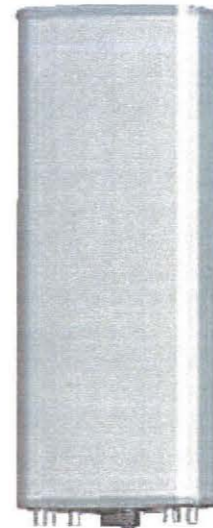
Field Replaceable Internal RET

806~869MHz, X-pol., H42°/ V18°, ET0~10°
1850~1995MHz, XX-pol., H37°/ V8.0°, ET0~10°



Electrical Specifications

Product Number	FT-X-TU-42-15-37-18-IR-6P	
Frequency Range	806-869MHz	1850-1995MHz
3dB Beam-Width	Horizontal	42°
	Vertical	18.0°
Gain (dBi / dBd)	15.0 / 12.9	15.0 / 15.9
Electrical Down Tilt Range	0° ~ 10°	0° ~ 10°
1 st Upper Sidelobe Suppression	> 18dB	> 18dB
Front-to-Back Ratio	≥ 20dB	≥ 27dB
Polarization Type	Dual, Slant ±45°	Quad, Slant ±45°
Cross-Polar Discrimination	Boresight > 48dB	> 18dB
Input Maximum CW Power	260W	250W
Impedance	50Ω	50Ω
VSWR (Return Loss)	≤ 1.4dB	≤ 1.4dB
Isolation Between Ports	> 28dB T0, > 28dB T2-T10	
Passive Intermodulation, IM3	≤ -150dBc @ 2x43c Rm	
Antenna Control Interface	Field Replaceable Internal RET A 502 P	



Mechanical Specifications

Dimension (Length x Width x Depth)	1219mm x 460mm x 180mm (48" x 18" x 7.1")
Weight without Clamp	22.6kg (50.0lbs)
Max. Wind Speed	67m/s (150mph)
Wind Load (@100mph), Front / Side / Rear	660.5N / 235.7N / 890.5N (149.5lb) / 75.7lb / 199.5lb)
Connector (Type / Position)	5 x 7/16" DIN Female / Bottom

* Specifications are subject to change without notice. February 6th, 2013

http://www.rfworld.com



Product Data Sheet

APXVFRR12X-C



RF X-TREME™ Cross Polarized Triple Band Antenna, 698-2170MHz, 65deg, 13 5/16 0/16.3dBi, 1.2m, VET, 0-10deg

Product Description

The new RF X-TREME base station antenna design provides the highest gain and cross polar discrimination combined with the best vertical pattern control of any triple band antenna of its size in the industry. It is an ideal choice for site upgrades and new deployments where three frequency bands, or MIMO/4 RX diversity, is used to add capacity and increase coverage. Only 12 inches wide and 1.2 meters high, it maintains the size of a dual band antenna, while adding a third antenna path with no compromise in RF performance. Reflecting RFS' on-going commitment for 4G technologies, it can be used for multiple bands such as LTE700, CDMA850, PCS1900 and AWS2100. This multi-band antenna features superior pattern symmetry and a phase shifter for each radiating dipole providing exceptional patterns at all tilt settings. It is also available with an optional, integrated and field replaceable AISG 2.0 antenna control unit (ACU) for remote electrical tilt (RET) compatibility.



Features/Benefits

- Cross polarization – triple band version with 6 ports (2x 698-894 MHz and 4x 1710-2170 MHz)
- One phase shifter per radiating element – improves radiating patterns
- Superior X-Pol Discrimination – Improves Rx diversity
- High suppression of upper sidelobes – reduces cell interference
- Enhanced tilt range from 0 to 10 degrees – ideal for applications in dense areas
- Variable electrical downtilt – provides enhanced precision in controlling intercell interference
- High reliability – designed to last in a tower top environment
- Design incorporates low windload and low weight – minimizes tower loading
- Quick and easy to install – reduces installation time and costs

Technical Specifications

Electrical Specifications	698-806	806-894	1710-1880	1850-1990	1920-2170
Frequency Range, MHz	698-806	806-894	1710-1880	1850-1990	1920-2170
Horizontal Beamwidth, deg	72	72	65	65	65
Vertical Beamwidth, deg	20	17.5	6.7	8.5	8.0
Electrical Downtilt Range, deg	0-10				
Gain, dBi (dBd)	12.6 (10.5)	13.5 (11.4)	15.5 (13.4)	16 (13.9)	16.3 (14.2)
1st Upper Sidelobe Suppression, dB	18				
Front-To-Back Ratio, dB	27				
Polarization	Dual pol +/-45°				
VSWR	< 1.5:1				
Isolation between Ports, dB	>30 typ				
3rd Order IMP @ 2 x 43 dBm, dBc	>153				
Impedance, Ohms	50				
Maximum Power Input, W	300				
Lightning Protection	Direct Ground				
Connector Type/Location	(6) 7-16 Long Neck Female/Bottom				

Mechanical Specifications

Dimensions - HxWxD, mm (in)	1220 x 299 x 200 (48 x 11.8 x 7.9)
Weight w/o Mtg Hardware, kg (lb)	19.5 (43)
Survival/Rated Wind Speed, km/h (mph)	249 (150) / 150 (93.2)
Applied Wind Load Standard	DIN 1055-4
Wind Load @ Rated Wind, Front, N (lbf)	275 (62)
Wind Load @ Rated Wind, Max, N (lbf)	340 (77)
Wind Load @ Rated Wind, Side, N (lbf)	340 (77)
Wind Load @ Rated Wind, Rear, N (lbf)	312 (71)
Operation temperature, °C (°F)	-40 to +60 (-40 to +140)
Radome Material/Color	ASA/Light Grey RAL7035
Mounting Hardware Material	Diecasted Aluminum and Galvanized Steel

Ordering Information

Mounting Hardware	APM40-2
Mounting Pipe Diameter, mm (in)	60-120 (2.36-4.72)
Mounting Hardware Weight, kg (lb)	3.4 (7.5)

All information contained in the present datasheet is subject to confirmation at time of ordering.

RFS The Clear Choice®

APXVFRR12X-C

Rev: P3

Print Date: 14.09.2012

Please visit us on the internet at <http://www.rfworld.com>

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LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHK:	APP:
HH	BOK	DKD

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—	03/08/13	100% CD	HH
—	04/28/13	REMOVED PER RFDS 4/28/13	HH
—	06/28/13	REMOVED CD	HH

SHEET TITLE:

ANTENNA SPECIFICATIONS

SHEET NUMBER:

A5

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SD34XC513

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CM		

DRAWN BY:	CHK:	APP:
HH	BOK	DND

ISSUE STATUS:

DATE:	DESCRIPTION:	BY:
11/17/12	90% CD	HH
03/08/13	100% CD	HH
04/28/13	REVISED PER RFDG 4/28/13	HH
06/28/13	REVISED CD	HH

SHEET TITLE:

ANTENNA SPECIFICATIONS

SHEET NUMBER: ISSUE LEVEL:

A6

NEW HOPE CHURCH
SD34XC513

Product Data Sheet APXV9RR13-C

Optimizer® Dual Polarized Antenna, 1710-2170, 90deg, 16.5dBi, 1.3m, VET, 0-10deg



Product Description

This X-Polarized side-by-side variable tilt antenna provides exceptional suppression of all upper sidelobes at all downtilt angles. It also features a wide downtilt range.

Features/Benefits

- Variable electrical downtilt – provides enhanced precision in controlling intercell interference. The tilt is infield adjustable 0-10 deg.
- High Suppression of all Upper Sidelobes (Typically <-18dB)
- Low profile for low visual impact
- Dual polarization
- Broadband design
- Optional AISG 2.0 Compatible ACU-A20-N antenna control unit – add -NA20 suffix



Technical Specifications

Electrical Specifications

	1710-1900	1900-2170
Frequency Range, MHz	1710-1900	1900-2170
Horizontal Beamwidth, deg	88	94
Vertical Beamwidth, deg	7.0	6.4
Electrical Downtilt, deg	0-10	0-10
Gain, dB, dBi	16.5 (14.4)	16.5 (14.4)
1st Upper Sidelobe Suppression, dB	> 19 (typical > 22)	> 19 (typical > 22)
Upper Sidelobe Suppression, dB	> 17 all other (typical > 20)	> 17 all other (typical > 20)
Front-to-Back Ratio, dB	> 26	> 26
Polarization	Dual pol (45°)	Dual pol (45°)
VSWR	< 1.5:1	< 1.5:1
Cross Polar Discrimination (XPD) @ 0°, dB	> 15	> 15
Cross Polar Discrimination (XPD) @ 5°, dB	> 10	> 10
ISW Squared across same band ports, °	< 5	< 5
Isolation between Ports, dB	> 30	> 30
1st Order IM @ 2 x 43 dBm, dBc	> 57	N/A
2nd Order IM @ 2 x 46 dBm, dBc	N/A	> 170
Impedance, Ohm	50	50
Maximum Power Input, W	300	300
Lightning Protection	Direct Ground	Direct Ground
Connector Type/Location	2 x 7/16 Long Neck Female/Bottom	2 x 7/16 Long Neck Female/Bottom

Mechanical Specifications

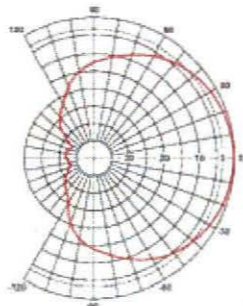
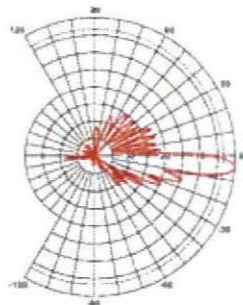
Dimensions (HxWxD, mm (in))	1349 x 356 x 89 (53 x 14 x 3.5)
Weight w/o Mtg Hardware, kg (lb)	9.7 (21.6)
Max Wind Speed, km/h (mph)	243 (150)
Rated Wind Speed, km/h (mph)	140 (87)
Rodome Material	Fiberglass
Rodome Color	Light Gray RAJ 2033
Mounting Hardware Material	Diecasted Aluminum

Ordering Information

Mounting Hardware	APX46-1 + 40019995
Mounting Pole Diameter, mm (in)	60-120 (2.36-4.72)

External Document Links

- APM40 Series Datasheet
- APM40 Series Installation Instructions



DualPhase™ 2-way Antenna
With Electrical Down Tilt &
Beam Steering

AIR INTERFACE SOLUTIONS

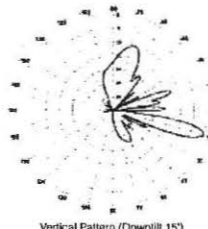
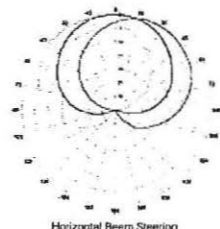
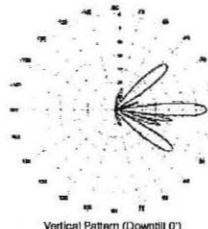
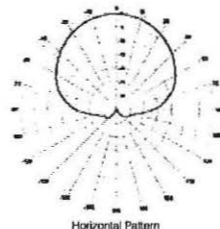
1710 ~ 2170MHz, X-pol., H65° / V7°

Electrical Specification

Frequency Range	1710-1880MHz	1850-1990MHz	1920-2170MHz
Gain	17.0 dBi	17.2 dBi	17.5 dBi
Beam Width	Horizontal	67°	65°
	Vertical	7.8°	7.5°
Impedance	50Ω		
VSWR	<1.4:1		
Polarization	Dual, Slant ±45°		
Upper 1 st Sidelobe Suppression	>18 dB (@ downtilt 0°)		
Front-to-Back Ratio	>25 dB		
Cross Polarization Ratio	>16 dB		
Adjustable Downtilt Range	0° - 15°		
Horizontal Beam Steering	-30° - 30°		
Port-to-port Isolation	>30 dB		
Passive Intermodulation, IM3	< -150 dBc		
Input Maximum CW Power	250 W		
Control Interface	Feeder Line through Bias-T		

Mechanical Specification

Dimension (DiameterxH)	156x1219mm (6.2x48inch)
Weight (Without Clamp)	9.0 kg (19.84 lb)
Connector	2 x 7/16" Din(F) / Bottom
Max Wind Speed	60m/s (135mph)
Wind Load (@ 100mph)	43.82 lbf (194.85 N)



RFS The Clear Choice®

APXV9RR13-C

Rev: P2

Print Date: 29.11.2012

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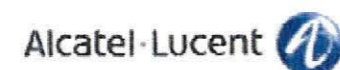
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SHEET TITLE:
RRH SPECIFICATION

SHEET NUMBER:	ISSUE LEVEL:
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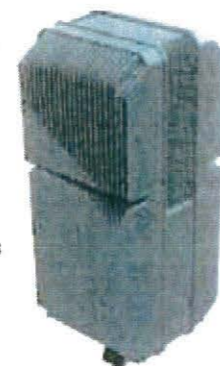
NEW HOPE CHURCH
SD34XC513



Product: 1900MHz RRH (65MHz)

Product Description:

This Remote Radio Head (RRH) supports the 1900MHz spectrum with a Quad Transmit and Quad Receiver configuration supporting 4x45W of output power in a dual head configuration



Features / Benefits:

- Supports up to 6 carriers of CDMA in the 1900MHz spectrum and is hardware ready for 4x4 LTE MIMO (dual technology)
- Supports up to 8 carriers of CDMA (single technology)
- Supports AISG
- -48V DC may be powered from Alcatel-Lucent cabinet
- Supports Hybriflex fiber / power cable bundle

Technical Specifications:

Physical Dimensions (HxWxD):	25" x 11.1" x 11.4"
Weight:	60 pounds
Output Power:	4x45W (180W Total)
Frequency Range:	1930-1995MHz Tx / 1850 - 1915 Rx
Consumed Power (Typ):	680W
Instantaneous Bandwidth:	65 MHz
Rx Noise Figure:	3.0dB
Antenna Interface :	7/16 DIN Female
Operating Temperature Range:	-40C to +55C
Supports AISG 2.0	

THE ARCHITECT/ENGINEER AND REPRESENTATIVES OF THE LESSEE AND OWNER, MUST BE NOTIFIED AT LEAST TWO FULL DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

DO NOT EXCAVATE OR DISTURB SOILS BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS SPECIFICALLY INSTRUCTED, IN WRITING, BY THE ARCHITECT/ENGINEER AND LESSEE.

DO NOT SCALE BUILDING DIMENSIONS FROM DRAWINGS.

ANY DRAIN AND/OR FIELD TILE ENCOUNTERED DURING CONSTRUCTION SHALL BE RETURNED TO ITS ORIGINAL CONDITION PRIOR TO COMPLETION OF WORK. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-CONSTRUCTED DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.

ALL EXISTING UTILITIES, FACILITIES, CONDITIONS, AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ARCHITECT/ENGINEER, LESSEE, AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL EXISTING UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING EXISTING UTILITIES.

CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHOULD BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT HIS/HER OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL LOCAL DIGGER HOT LINE FOR UTILITY LOCATIONS 48 HOURS PRIOR TO START OF CONSTRUCTION.

ALL NEW AND EXISTING UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK.

THE BUILDING DEPARTMENT ISSUING THE BUILDING PERMIT SHALL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO THE COMMENCEMENT OF WORK OR AS STIPULATED BY THE CODE ENFORCEMENT OFFICIAL HAVING JURISDICTION.

GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO EXISTING GRADES AT THE GRADING LIMITS.

ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 100% OF MAXIMUM STANDARD PROCTOR DRY DENSITY.

NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.

ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. EACH LIFT'S THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.

ANY FILLS PLACED ON EXISTING SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE EXISTING SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.

THE GRADES WITHIN FENCED AREAS ARE TO BE ACHIEVED BY COMPACTING CLEAN FILL TO A DENSITY OF 90% OF STANDARD PROCTOR COVERING THE AREA WITH GEO-TECH CLOTH (16" MIN. OVERLAP AT ALL SEAMS) FOR WEED SUPPRESSION, THEN ACHIEVING FINISH GRADE BY ADDING 6" OF 3/4" CRUSHED STONE, NO FINES.

CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO PAPERS, TRASH, WEEDS, BRUSH OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.

ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE TRIMMED AS REQUIRED AND PROTECTED IN PLACE BY THE GENERAL CONTRACTOR.

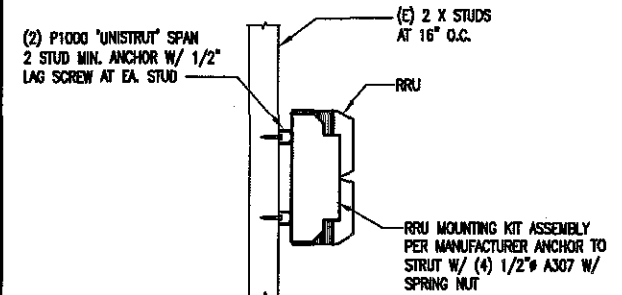
DRIVEWAY CONSTRUCTION, GRADING AND DRAINAGE WORK SHALL CONFORM TO CALIFORNIA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION", LATEST EDITIONS, AND ALL APPLICABLE PROVISIONS OF LOCAL COUNTY ORDINANCES.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN, READ, AND FOLLOW THE GEO-TECHNICAL REPORT FOR EACH PROJECT SITE. ALL PROVISIONS WITHIN SAID REPORT SHALL BE ACCOMMODATED BY THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS. CONTINUOUS ONSITE SUPERVISION BY THE GEO-TECHNICAL/SOILS ENGINEER SHALL BE ARRANGED FOR BY THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATION AND/OR GRADING OPERATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE GEO-TECHNICAL/SOILS ENGINEER PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FROM THE SUPERVISING GEO-TECHNICAL ENGINEER PRIOR TO PROCEEDING WITH PLACEMENT OF ANY FORMS AND/OR MATERIALS.

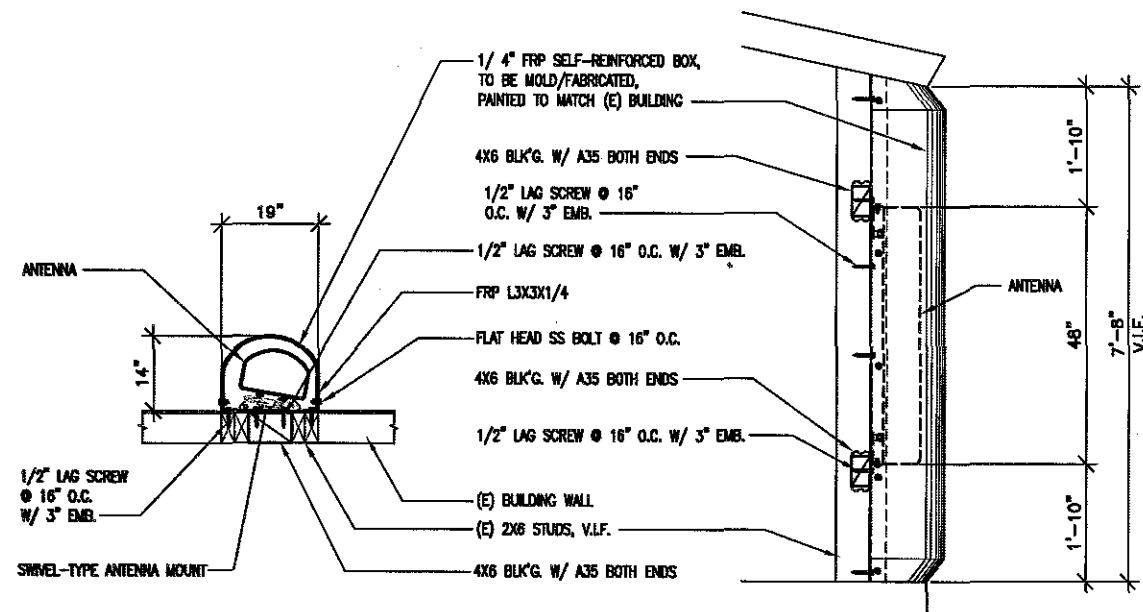
IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE AND INSTALL ALL REQUIRED SIGNS FOR THIS PROJECT. THE CONTRACTOR SHALL OBTAIN WRITTEN INSTRUCTIONS FROM THE CONSTRUCTION MANAGER AS TO THE EXACT MATERIAL, SIZE, WORDING, AND LOCATION FOR ALL SIGNS.

SIGNS THAT MAY BE REQUIRED INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

- a. 7x24 ACCESS SIGN.
- b. SITE ENTRY SIGN.
- c. ANTENNA STRUCTURE COMPLIANCE SIGN.
- d. NEPA RF EXPOSURE SIGN(S).
- e. ANY ADDITIONAL SIGNS AS REQUIRED BY "METRO PCS" AND/OR GOVERNMENTAL AGENCIES.



RRU MOUNTING DETAIL SCALE: N.T.S. 2



ANTENNA MOUNTING DETAIL SCALE: N.T.S. 1

SITE DEVELOPMENT NOTES

ANTENNA MOUNTING DETAIL

DCI PACIFIC
AJE|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
T. 949 475.1000 | 949 475.1001 F



Sprint
Together with NEXTEL

330 COMMERCE, SUITE 100
IRVINE, CA 92602
PHONE: (714) 617-9342
FAX: (714) 368-3501

PROJECT IDENTIFICATION:
NEW HOPE CHURCH
SD34XC513

2208 HARRISON AVENUE
SAN DIEGO, CA 92113
SAN DIEGO COUNTY

CURRENT ISSUE DATE:
06/26/13

ISSUED FOR:
PERMIT

APPROVALS:

APPROVED BY:	INITIALS:	DATE:
LANDLORD		
LEASING		
ZONING		
RF		
CM		

DRAWN BY:	CHECK:	APPV:
JH	BOB	DKD

ISSUE STATUS:

DATE:	DESCRIPTION:	BY:
11/17/12	90% CD	JH
03/08/13	100% CD	JH
04/28/13	REVISED PER RFDS 4/28/13	JH
06/26/13	REVISED CD	JH

SHEET TITLE:
SITE DEVELOPMENT NOTES & DETAILS

SHEET NUMBER:	ISSUE LEVEL:
D1	FOR NEW HOPE CHURCH SERVICES

AERIAL MAP



COPYRIGHT: GOOGLE MAPS, 2012

PROPOSED



EXISTING



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NEW HOPE CHURCH
SD34XC513
 2205 HARRISON AVENUE
 SAN DIEGO, CA 92113

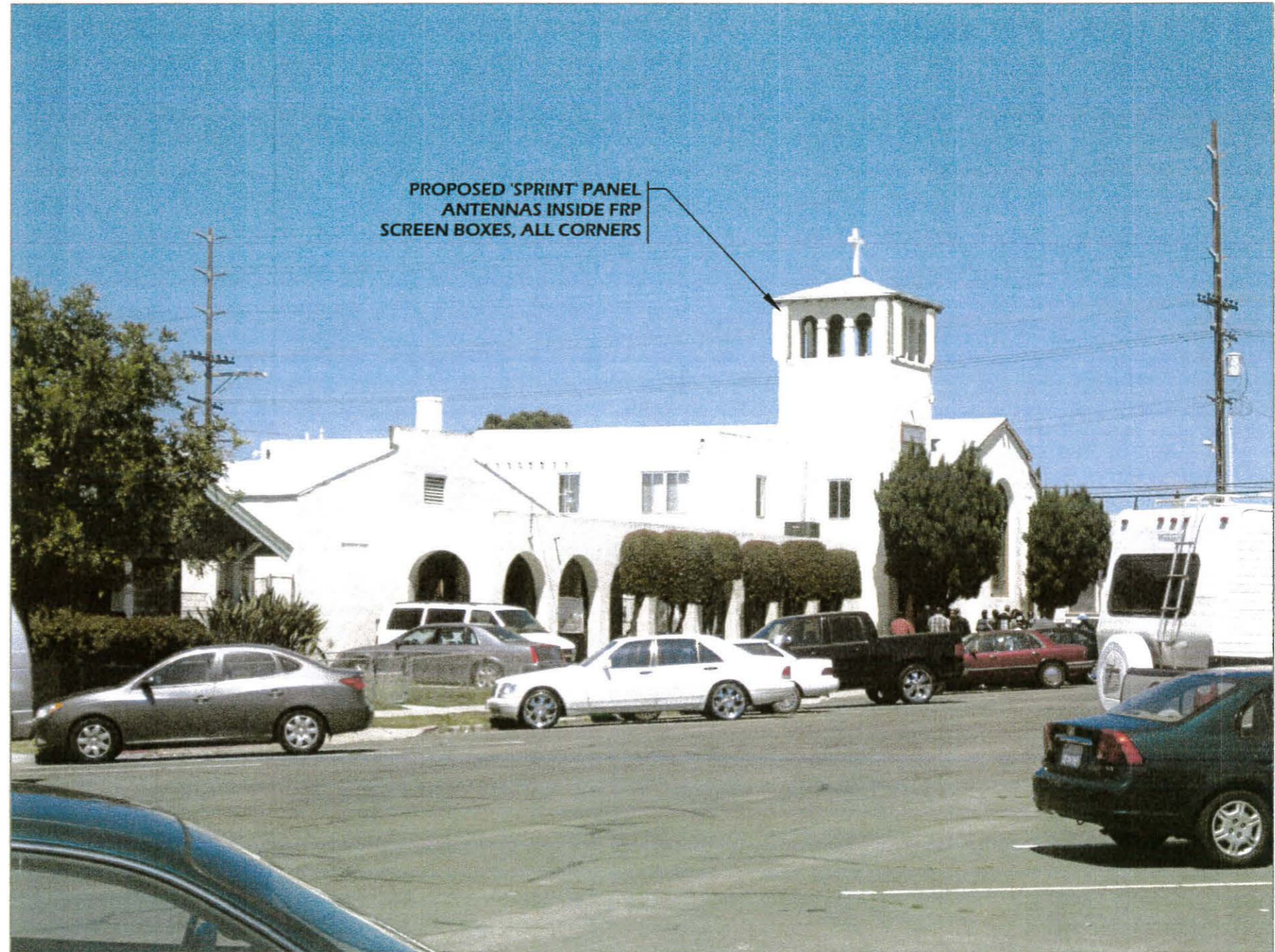
VIEW	SHEET
A	1 / 3

AERIAL MAP



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NEW HOPE CHURCH
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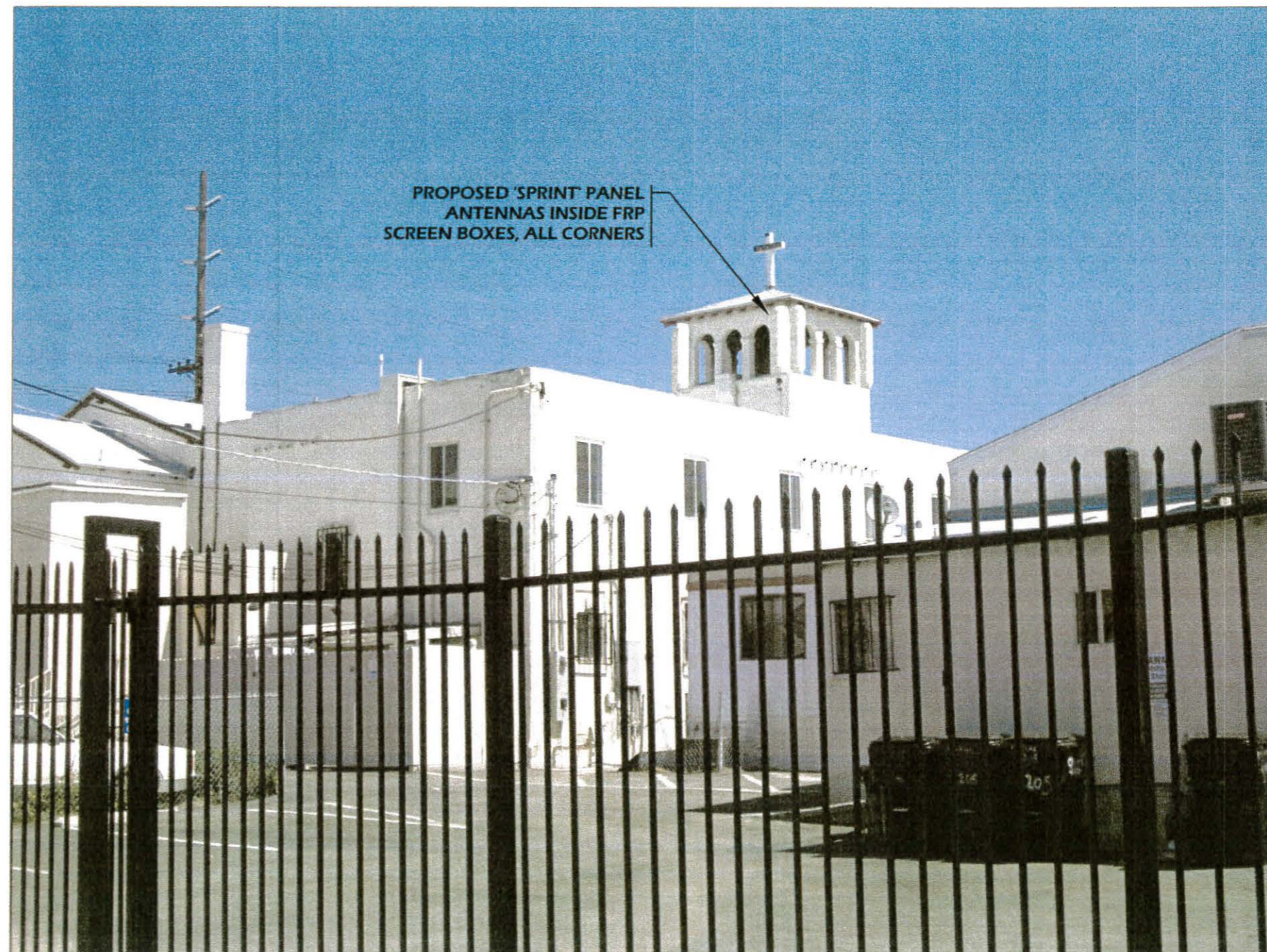
VIEW	SHEET
B	2 / 3

AERIAL MAP

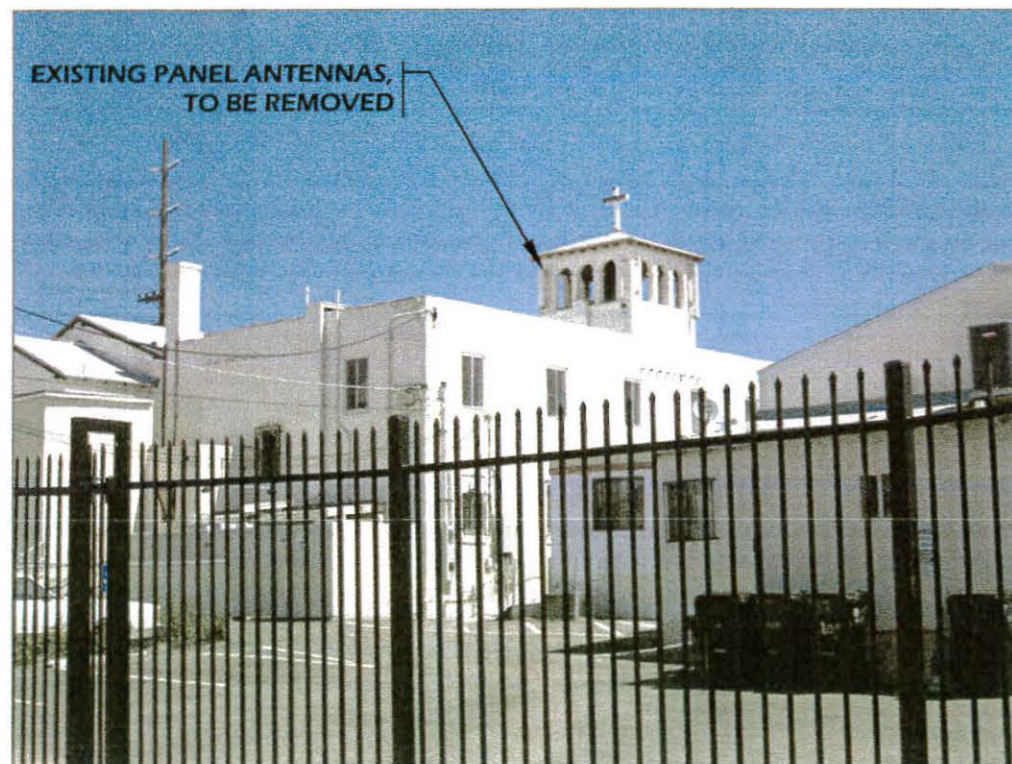


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NEW HOPE CHURCH
SD34XC513
 2205 HARRISON AVENUE
 SAN DIEGO, CA 92113

VIEW	SHEET
C	3 / 3

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24001899

CONDITIONAL USE PERMIT NO. 879315
SITE DEVELOPMENT PERMIT NO. 879316
SPRINT NEW HOPE CHURCH-PROJECT NO. 242675
 HEARING OFFICER

This Conditional Use Permit No. 879315 and Site Development Permit No. 879316 is granted by the Hearing Officer of the City of San Diego to the NEW HOPE FRIENDSHIP MISSIONARY BAPTIST CHURCH, a Non-Profit California Corporation, Owner and SPRINT PCS, Permittee, pursuant to San Diego Municipal Code [SDMC] Section 141.0420, 126.0305, 126.0504 and 1519.0202. The site is located at 2205 Harrison Avenue in the MF-2500 Zone of Southeastern San Diego Planned District within the Logan Heights Neighborhood of the Southeastern San Diego Community Plan. The project site is legally described as: All of Lots 43 and 44, and the north 100 feet of Lots 45, 46, 47, and 48 in Block 242 of San Diego Land and Town's Company Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 379, filed in the Office of the County Recorder of San Diego County on October 20, 1886.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 16, 2013, on file in the Development Services Department.

The project shall include:

- a. A Wireless Communication Facility (WCF) containing a total of six panel antennas (48" x 18.1" x 7.1" and 48" x 11.8" x 7.9") behind fiberglass faux columns around the top of the existing steeple, three Remote Radio Units (RRUs), and a 163-square foot equipment enclosure that contains four equipment cabinets and associated equipment.
- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in

accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **October 30, 2016**.
2. Upon utilization of this Permit, corresponding use of this site shall **expire on October 16, 2023**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to,

settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

HISTORICAL REQUIREMENTS:

14. Prior to Issuance of any building permit(s) for current and future improvements to the existing potentially historic structure(s) on the property, the Owner/Permittee shall submit construction documents to the Historical Resources Section within the Development Services Department for review. The construction documents shall show all proposed improvements and shall be consistent with the Secretary of Interior Standards due to the historic nature of the structure(s).

PLANNING/DESIGN REQUIREMENTS:

15. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.

16. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."

17. The Owner/Permittee shall paint and texture all fiberglass faux columns to match the original building.

18. No overhead cabling is permitted.

19. At no point in time, shall the approved Owner/Permittee antennas located on the building be different in sizes (length, width, or height) other than the ones shown on the stamped approved Exhibit "A."

20. The Owner/Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department. The Owner/Permittee shall be responsible for complying with all State and Federal regulations, as applicable.

21. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

22. All facilities and related equipment shall be maintained in good working order and free from trash, debris, graffiti and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

23. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

24. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5237 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on October 16, 2013 and Resolution Number HO-XXXXX.

Permit Type/PTS Approval No.: CUP No. 879315 & SDP No. 879316
Date of Approval: October 16, 2013

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Jeffrey A. Peterson
Development Project Manager
Development Services Department

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

NEW HOPE FRIENDSHIP MISSIONARY BAPTIST CHURCH,
a Non-Profit California Corporation
Owner

By _____
Name:
Title:

SPRINT PCS
Permittee

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
 RESOLUTION NO. HO-_____
 CONDITIONAL USE PERMIT NO. 879315
 SITE DEVELOPMENT PERMIT NO. 879316
SPRINT NEW HOPE CHURCH-PROJECT NO. 242675

WHEREAS, NEW HOPE FRIENDSHIP MISSIONARY BAPTIST CHURCH, a Non-Profit California Corporation, Owner and SPRINT PCS, Permittee, filed an application with the City of San Diego for a Conditional Use Permit and Site Development Permit for a wireless communication facility (WCF) on an existing church. The WCF shall contain a total of six panel antennas behind fiberglass faux columns around the top of the existing steeple, three Remote Radio Units (RRUs), and a 163-square foot equipment enclosure containing four equipment cabinets (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 879315 and Site Development Permit No. 879316);

WHEREAS, the project site is located at 2205 Harrison Avenue in the MF-2500 Zone of Southeastern San Diego Planned District within the Logan Heights Neighborhood of the Southeastern San Diego Community Plan;

WHEREAS, the project site is legally described as: All of Lots 43 and 44, and the north 100 feet of Lots 45, 46, 47, and 48 in Block 242 of San Diego Land and Town's Company Addition, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 379, filed in the Office of the County Recorder of San Diego County on October 20, 1886;

WHEREAS, on July 12, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301, Existing Facilities, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on October 16, 2013, the Hearing Officer of the City of San Diego considered Conditional Use Permit No. 879315 and Site Development Permit No. 879316 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated October 16, 2013.

FINDINGS:

I. Conditional Use Permit - Section 126.0305

- 1. The proposed development will not adversely affect the applicable land use plan;**

The project site is located at 2205 Harrison Avenue in the MF-2500 Zone of the Southeastern San Diego Planned District (SESDPD) within the Logan Heights Neighborhood of the Southeastern San Diego (ESD) Community Plan and is currently developed with a church and a wireless communication facility (WCF). Sprint is requesting a new permit to continue operating at this location with modifications to the original project. The project includes removal of the existing antennas attached to the exterior of the church steeple and installation of six antennas within eight new fiberglass faux columns around the top of the existing steeple. The fiberglass faux columns are architecturally integrated into the façade and will be textured and painted to match the existing church.

WCFs are allowed on a premises containing a non-residential use within a residential zone with a Conditional Use Permit (CUP) pursuant to Land Development Code (LDC) Section 141.0420(e)(1). In addition, the proposed project would require a Site Development Permit (SDP), for development within the SESDPD that requires a CUP pursuant to LDC Section 1519.0202(a)(5). The project site is located within the ESD Community Plan, which designates the site for Residential Use, Low-Medium Density (15-17 dwelling units/acre). The ESD Community Plan does not contain specific policies on WCF development.

The project complies with all applicable development regulations of the LDC and the City of San Diego WCF Regulations (LDC Section 141.0420). This section of the Code requires all wireless communication facilities to be minimally visible through the use of architecture, landscape architecture and siting solutions. In addition, the General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area.

The antennas are proposed to be located within new fiberglass faux columns around the top of the existing steeple, concealing the mounting brackets and the wires. The associated equipment will be located within an existing enclosure along the southwestern side of the church, not visible from the public perspective.

The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the WCF Regulations, LDC, SESDPD, and the General Plan. No deviations from the development regulations or variances are requested with this application. Therefore, the proposed development would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The Telecommunications Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” Sprint submitted an RF Report, which concluded that the project complies with FCC RF Standards. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

The project complies with all applicable development regulations of the LDC and the City of San Diego WCF Regulations (LDC Section 141.0420). This section of the Code requires all wireless communication facilities to be minimally visible through the use of architecture, landscape architecture and siting solutions. In addition, the General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area.

The antennas are proposed to be located within new fiberglass faux columns around the top of the existing steeple, concealing the mounting brackets and the wires. The associated equipment will be located within an existing enclosure along the southwestern side of the church, not visible from the public perspective. The WCF is located on a premises containing a non-residential use within a residential zone and as such, requires a CUP pursuant to LDC Section 141.0420(e)(1). In addition, the proposed project would require an SDP, for development within the SESDPD that requires a CUP pursuant to LDC Section 1519.0202(a)(5). No deviations from the development regulations or variances are requested with this application. Therefore, the project is in full compliance with the applicable regulations of the LDC.

4. The proposed use is appropriate at the proposed location.

The City of San Diego encourages wireless carriers to locate on non-residential properties. As designed, the project is located on a non-residential use within a residential zone and as such, requires a CUP pursuant to LDC Section 141.0420(e)(1). In addition, the proposed project would require an SDP, for development within the SESDPD that requires a CUP, pursuant to LDC Section 1519.0202(a)(5). The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the WCF Regulations, LDC, SESDPD, and the General Plan. No deviations from the development regulations or variances are requested with this application. Additionally, the proposed facility would continue to provide wireless communication services at this location, which is essential to network operations. Therefore, the proposed use is appropriate for this site.

II. Site Development Permit - Section 126.0504(A)

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 2205 Harrison Avenue in the MF-2500 Zone of the SESDPD within the Logan Heights Neighborhood of the SESD Community Plan and is currently developed with a church and a WCF. Sprint is requesting a new permit to continue operating at this location with modifications to the original project. The project includes removal of the existing antennas attached to the exterior of the church steeple and installation of six antennas within eight new fiberglass faux columns around the top of the existing steeple. The fiberglass

faux columns are architecturally integrated into the façade and will be textured and painted to match the existing church.

WCFs are allowed on a premises containing a non-residential use within a residential zone with a CUP pursuant to LDC Section 141.0420(e)(1). In addition, the proposed project would require a SDP, for development within the SESDPD that requires a CUP pursuant to LDC Section 1519.0202(a)(5). The project site is located within the SESD Community Plan, which designates the site for Residential Use, Low-Medium Density (15-17 dwelling units/acre). The SESD Community Plan does not contain specific policies on WCF development.

The project complies with all applicable development regulations of the LDC and the City of San Diego WCF Regulations (LDC Section 141.0420). This section of the Code requires all wireless communication facilities to be minimally visible through the use of architecture, landscape architecture and siting solutions. In addition, the General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area.

The antennas are proposed to be located within new fiberglass faux columns around the top of the existing steeple, concealing the mounting brackets and the wires. The associated equipment will be located within an existing enclosure along the southwestern side of the church, not visible from the public perspective.

The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the WCF Regulations, LDC, SESDPD, and the General Plan. No deviations from the development regulations or variances are requested with this application. Therefore, the proposed development would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The Telecommunications Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of RF emissions to the extent that such facilities comply with the FCC standards for such emissions.” Sprint submitted an RF Report, which concluded that the project complies with FCC RF Standards. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project complies with all applicable development regulations of the LDC and the City of San Diego WCFs Regulations (LDC Section 141.0420). This section of the Code requires all wireless communication facilities to be minimally visible through the use of architecture,

landscape architecture and siting solutions. The antennas are proposed to be located within new fiberglass faux columns around the top of the existing steeple, concealing the mounting brackets and the wires. The associated equipment will be located within an existing enclosure along the southwestern side of the church, not visible from the public perspective. The WCF is located on a premises containing a non-residential use within a residential zone and as such, requires a CUP pursuant to LDC Section 141.0420(e)(1). In addition, the proposed project would require an SDP, for development within the SESDPD that requires a CUP, pursuant to LDC Section 1519.0202(a)(5). No deviations from the development regulations or variances are requested with this application. Therefore, the project is in full compliance with the applicable regulations of the LDC.

III. Southeastern San Diego (PDO) - Section 1519.0202(c)

1. The proposed use and project design meet the purpose and intent of the Southeastern San Diego Planned District Ordinance, comply with the recommendations of the Southeastern San Diego Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council;

The project site is located at 2205 Harrison Avenue in the MF-2500 Zone of the SESDPD within the Logan Heights Neighborhood of the SESD Community Plan and is currently developed with a church and a WCF. Sprint is requesting a new permit to continue operating at this location with modifications to the original project. The project includes removal of the existing antennas attached to the exterior of the church steeple and installation of six antennas within eight new fiberglass faux columns around the top of the existing steeple. The fiberglass faux columns are architecturally integrated into the façade and will be textured and painted to match the existing church.

WCFs are allowed on a premises containing a non-residential use within a residential zone with a CUP pursuant to LDC Section 141.0420(e)(1). In addition, the proposed project would require a SDP, for development within the SESDPD that requires a CUP pursuant to LDC Section 1519.0202(a)(5). The project site is located within the SESD Community Plan, which designates the site for Residential Use, Low-Medium Density (15-17 dwelling units/acre). The SESD Community Plan does not contain specific policies on WCF development.

The project complies with all applicable development regulations of the LDC and the City of San Diego WCF Regulations (LDC Section 141.0420). This section of the Code requires all wireless communication facilities to be minimally visible through the use of architecture, landscape architecture and siting solutions. In addition, the General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area.

The antennas are proposed to be located within new fiberglass faux columns around the top of the existing steeple, concealing the mounting brackets and the wires. The associated equipment will be located within an existing enclosure along the southwestern side of the church, not visible from the public perspective.

The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the WCF Regulations, LDC, SESDPD, and the General Plan. No deviations from the development regulations or variances are requested with this application. Therefore, the proposed use will not adversely affect the General Plan or other applicable plan adopted by the City Council and complies with the SESDPD.

2. The proposed development shall be compatible with existing and planned land use on adjoining properties and shall not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community shall be achieved as far as practicable;

The project site is located at 2205 Harrison Avenue in the MF-2500 Zone of the SESDPD within the Logan Heights Neighborhood of the SESDCP and is currently developed with a church and a WCF. The surrounding property are zoned MF-2500 and are developed with single- and Multi-family dwelling units. Sprint is requesting a new permit to continue operating at this location with modifications to the original project. The project includes removal of the existing antennas attached to the exterior of the church steeple and installation of six antennas within eight new fiberglass faux columns around the top of the existing steeple. The fiberglass faux columns are architecturally integrated into the façade and will be textured and painted to match the existing church. The associated equipment will be located within an existing enclosure along the southwestern side of the church, not visible from the public perspective.

The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the WCF Regulations, LDC, SESDPD, and the General Plan. No deviations from the development regulations or variances are requested with this application. Additionally, the proposed facility would continue to provide wireless communication services at this location, which are essential to network operations. Therefore, the proposed development would be in architectural harmony with the surrounding neighborhood and community shall be achieved as far as practicable.

3. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity; and

The Telecommunications Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of RF emissions to the extent that such facilities comply with the FCC standards for such emissions.” Sprint submitted an RF Report, which concluded that the project complies with FCC RF Standards. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City and will not adversely affect other property in the vicinity.

4. The proposed use will comply with the relevant regulations of the Municipal Code.

The project complies with all applicable development regulations of the LDC and the City of San Diego WCF Regulations (LDC Section 141.0420). This section of the Code requires all wireless communication facilities to be minimally visible through the use of architecture, landscape architecture and siting solutions. The antennas are proposed to be located within new fiberglass faux columns around the top of the existing steeple, concealing the mounting brackets and the wires. The associated equipment will be located within an existing enclosure along the southwestern side of the church, not visible from the public perspective. The WCF is located on a premises containing a non-residential use within a residential zone and as such, requires a CUP, pursuant to LDC Section 141.0420(e)(1). In addition, the proposed project would require an SDP, for development within the SESDPD that requires a CUP, pursuant to LDC Section 1519.0202(a)(5). No deviations from the development regulations or variances are requested with this application. Therefore, the project is in full compliance with the applicable regulations of the MC and LDC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Conditional Use Permit No. 879315 and Site Development Permit No. 879316 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 879315 and No. 879316, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services Department

Adopted on: October 16, 2013

Internal Order No. 24001899



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

THE CITY OF SAN DIEGO

Community Planning Committee Distribution Form Part 2

Project Name: Sprint Nextel New Hope Church (SD34XC513)		Project Number: 242675	Distribution Date: 9/9/2013
Project Scope/Location: Conditional Use Permit (CUP) and Site Development Permit (SDP) to allow for a wireless communication facility (WCF) consisting of a total of six (6) new antennas within screened boxes mounted on the exterior of an existing church steeple for a total of eight boxes. Associated existing equipment cabinets are located within a wooden fenced enclosure consisting of 163 square feet.			
Applicant Name: Anne Wulfange Regan DePratti Incorporated for Sprint		Applicant Phone Number: (858) 602-6522	
Project Manager: Jeffrey Peterson	Phone Number: (619) 446-5237	Fax Number: (619) 321-3200	E-mail Address: JAPeterson@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input type="checkbox"/> Vote to Approve	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> Vote to Approve With Conditions Listed Below	6	4	0
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below			
<input type="checkbox"/> Vote to Deny			
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: See Statement Attached.			
NAME: Maria Riveroll		TITLE: Chair	
SIGNATURE:		DATE: 9/11/2013	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			

Page 1 of 2

Southeastern San Diego Planning Group September 9, 2013

Motion for Conditional approval for Sprint wireless Project No. 242675, New Hope Church, with the following conditions:

1. Look into the possibility of redesigning a separate tower.
2. Existing landscaping of the southwest portion of the site, should be brought to compliance.
3. Masonry block wall around equipment room should have textured finish to match the Church.
4. Rebars should be added to the top of the building to block access.
5. Screens will be painted to the same building.
6. Recommendations from the SDPD and from the RF Report should be implemented.
7. Mandatory that access to antennas be locked, and that RF hazard signs be posted at access points.

MSC 6-4-0

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT NO.: 242675

PROJECT TITLE: SPRINT NEXTEL NEW HOPE CHURCH

PROJECT LOCATION-SPECIFIC: 2205 Harrison Avenue, San Diego, California 92113

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit (CUP) and Site Development Permit (SDP) to allow for a wireless communication facility (WCF) consisting of a total of six (6) new antennas within screened boxes mounted on the exterior of an existing church steeple for a total of eight boxes. Associated existing equipment cabinets are located within a wooden fenced enclosure consisting of 163 square feet.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Debra DePratti (Agent), Deprattinc (Firm), 13948 Calle Bueno Ganar,
 Jamul, CA 91935, Phone: (619) 222-3869

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
 DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
 EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
 CATEGORICAL EXEMPTION: CEQA EXEMPTION 15301-(EXISTING FACILITIES)
 STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The proposed project is exempt from CEQA pursuant to Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private) involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, CUP, and SDP to allow a WCF consisting of a total of 6 new antennas within screened boxes mounted on the exterior of an existing church steeple, and associated equipment cabinets involves a negligible expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: Rhonda Benally

TELEPHONE: (619) 446-5468

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Amel. McPherson AICP/Senior Planner
 SIGNATURE/TITLE

JULY 12, 2013
 DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: July 19, 2013

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT
SAP. No. 24001899

PROJECT NAME/NUMBER: Sprint Nextel New Hope Church/242675
COMMUNITY PLAN AREA: Logan Heights Neighborhood of the Southeastern San Diego
Community Planning area
COUNCIL DISTRICT: 8
LOCATION: 2205 Harrison Avenue, San Diego, California 92113

PROJECT DESCRIPTION: Conditional Use Permit (CUP) and Site Development Permit (SDP) to allow for a wireless communication facility (WCF) consisting of a total of six (6) new antennas within screened boxes mounted on the exterior of an existing church steeple for a total of eight boxes. Associated existing equipment cabinets are located within a wooden fenced enclosure consisting of 163 square feet.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: CEQA Exemption 15301-(Existing Facilities)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego staff

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The proposed project is exempt from CEQA pursuant to Section 15301, which allows for the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing facilities (public or private) involving negligible or no expansion of use beyond that existing at the time of the determination. The proposed project, CUP, and SDP to allow a WCF consisting of a total of 6 new antennas within screened boxes mounted on the exterior of an existing church steeple, and associated equipment cabinets involves a negligible expansion of use. No environmental impacts were identified for the proposed project. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

DEVELOPMENT PROJECT MANAGER: Jeff Peterson
MAILING ADDRESS: 1222 First Avenue, MS 501
San Diego, CA 92101
PHONE NUMBER: (619) 446-5237

On July 12, 2013, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determinations made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (August 2, 2013). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

09/13/2012 14:15

6192345506

NEW HOPE FRIENDSHIP



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title

SD34XCS13 Sprint Nextel New Hope Church

Project No. For City Use Only

242075

Project Address:

2205 Harrison Ave, San Diego, CA 92113

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached: Yes No

Name of individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

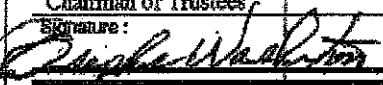
Signature:

Date:

09/13/2012 14:15

16192345506

NEW HOPE FRIENDSHIP

Project Title: SD34XC513 Sprint Nextel New Hope Church	Project No. (For City Use Only) 242675
Legal Status (please check):	
<input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General) What State? <u>CA</u> Corporate Identification No. <u>33-0032915</u> <input type="checkbox"/> Partnership STATE LA 23 0268410	
<p>By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	
Corporate/Partnership Name (type or print): New Hope Friendship Missionary Baptist Church, Inc <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 2205 Harrison Avenue City/State/Zip: San Diego, CA 92113 Phone No: Fax No: (619) 234-5506 (619) 234-8732 Name of Corporate Officer/Partner (type or print): Osephine Washington Title (type or print): Chairman of Trustees Signature:  Date: 09/12/2012	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date:

Sprint



Sprint – Network Supplier Performance Management

Mailstop: KSOPHD0204 - 2D579

6220 Sprint Parkway

Overland Park, KS 66251

RE: Sprint Ericsson Management Association

To Whom It May Concern:

In September of 2009 Sprint Nextel (Sprint) entered into a contractual arrangement with Ericsson Services, Inc (Ericsson) to perform certain management functions pertaining to the acquisition of new sites and installation of new facilities for its wireless telecommunications network. Pursuant to that agreement, Sprint has authorized Ericsson's site development managers to act as a representative of Sprint in the performance of all field activities in this regard, including the authority sign site lease agreements, amendments and other documents necessary to complete these real estate development projects.

Please be advised that Ericsson has contractually agreed to adhere to all the applicable Sprint and customer security policies and confidentiality commitments, and that Ericsson is committed to, and maintains high confidentiality standards of its own. We can, therefore, assure you that the services provided in these matters will be delivered with the same level of care and professionalism as though Sprint were performing these functions through its own employees.

Thank you very much for your acceptance of Sprint's representative, Ericsson Services Inc.

Sincerely,

A handwritten signature in cursive script that reads "John Harrison".

on behalf of

John Harrison, Vice President

Network Performance Management

Executive Team

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Responsibility](#)[Inclusion & Diversity](#)[Partnerships](#)[History](#)[Awards & Recognition](#)[Sprint Experience](#)[Dan Hesse](#)

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Sprint Nextel Corporation

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Chief Financial Officer

[Danny Bowman](#)

President, Integrated Solutions Group

[Paet L. Alves](#)

President, Business Markets Group

[Matt Carter](#)

President, Global Wholesale Solutions

[Keith Cowan](#)

President, Strategy and Corporate Initiatives

[Steve Elfman](#)

President, Network Operations and Wholesale

[Bob Johnson](#)

Chief Service Officer

Sprint Newsroom | Executive Team



Robert H. Johnson
President, Consumer Business Unit



William Morgan
Senior Vice President, Corporate Marketing



Sandra J. Price
Senior Vice President, Human Resources



Bill White
Senior Vice President, Corporate Communications and Corporate Social Responsi



Charles Wunsch
General Counsel and Corporate Secretary

articles 1

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
 SPRINT NEXTEL NEW HOPE CHURCH-PROJECT NO. 242675

Date	Action	Description	City Review Time (Working Days)	Applicant Response
4/19/2012	First Submittal	Project Deemed Complete	-	-
5/21/2012	First Assessment Letter		22 days	
5/21/2012 – 2/5/2013	Extension of Time	The applicant received 5 extension of times to resubmit		174 days
2/5/2013	Second Submittal		-	-
3/1/2013	Second Assessment Letter		17 days	
5/20/2013	Third Submittal			55 days
6/14/2013	Third Assessment Letter		18 days	
6/27/2013	Fourth Submittal			9 days
7/12/2013	Environmental Determination	Exemption and NORA posted on July 19, 2013	10 days	
7/15/2013	Fourth Assessment Letter	Only outstanding issue is Community Group Recommendation	1 day	
8/2/2013	Environmental Determination	NORA-Appeal period ended at 5:00 PM		14 days
9/9/2013	Community Group Recommendation	Received Recommendation		25 days
10/16/2013	Public Hearing	First available date	27 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	95 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		277 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	372 working days (545 calendar days)	