



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: October 15, 2014

REPORT NO. HO 14-059

ATTENTION: Hearing Officer

SUBJECT: BC CAMINO
Project Number: 325514

LOCATION: 6106 Camino De La Costa

APPLICANT: Claude-Anthony Marengo, Marengo Morton Architects

SUMMARY

Issue(s): Should the Hearing Officer approve a Coastal Development Permit (Amendment to Coastal Development Permit No. 91-0332) and Site Development Permit to construct a 2,472 square-foot addition and deck to an existing single family home located at 6106 Camino De La Costa within the La Jolla Community Plan area?

Staff Recommendation(s) - APPROVE Coastal Development Permit No. 1137216.

Community Planning Group Recommendation - On December 5, 2013, the La Jolla Community Planning Association voted 17-0-1 to recommend approval of the project without conditions

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303(a). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on August 26, 2014 and the opportunity to appeal that determination ended September 10, 2014.

BACKGROUND

The project proposes an amendment to Coastal Development Permit (CDP) No. 91-0332 to construct a 2,472 square-foot addition to an existing 5,948 square-foot single family home. The project is located at 6106 Camino De La Costa within RS-1-5 zone in the Coastal Height Limitation Overlay Zone (Prop D, CHLOZ), Coastal Overlay Zone, Sensitive (appealable area), Coastal Resource Overlay Zone (SCROZ), Parking Impact (coastal and beach) Overlay Zone (PIOZ), Residential Tandem Parking Overlay Zone (RTPOZ), and Transit Area Overlay Zone within the first public roadway of the La Jolla Community Plan and Local Coastal Program Land

Use Plan. Currently on the site is a single family home constructed in 1994 in accordance with Coastal Development Permit (CDP)/Sensitive Coastal Resource (SCR)/Variance No. 91-0332. The prior development permit allowed for the construction of a 5,865 square-foot, single family residence and two-car garage adjacent to coastal bluffs and the observance of a 1'0" front yard setback where 15'0" is required. Surrounding the site are single family homes and the Pacific Ocean to the west.

A Coastal Development Permit is required for improvements to any structure that would result in an increase of 10-percent or more of interior floor area or an additional improvement of 10 percent or less where an improvement to the structure had previously been exempted from the California Environmental Quality Act (CEQA) and are located within 300 feet of an inland extent of a beach or of the mean high tide line where there is no beach in accordance with San Diego Municipal Code section 126.0704.

A Site Development Permit is required in accordance with SDMC section 143.0110, Table 143-01A, for development on Sensitive Coastal Bluffs.

DISCUSSION

The project proposes the remodel and addition to an existing 5,948 square-foot home. The proposed addition includes the remodel of an existing basement to be converted into a bedroom by adding a bathroom and closet. The first floor will include the conversion of an existing 561 square-foot garage into a den and the addition of a new four car 887 square-foot garage with tandem parking. The second floor proposes a new bedroom above the new garage with bathroom and roof deck and the remodel of an existing master bedroom with his and her bathroom. There also is proposed a cantilever deck on the first floor which will extend beyond the 25-foot bluff setback but within the 5-foot bluff setback. The footing supporting the deck will not be placed within the 25-foot setback area and the deck will not exceed 36-inches above the natural grade in compliance with the Land Development Code section 143.0143(f)(2).

The proposed four-car car garage will observe a 1-foot setback where 15 feet is required. However the CDP/SCR/Variance No. 91-0332 established the 1-foot setback in which the new development will be adhering to. It was determined from CDP/SCR/Variance No. 91-0332 that unusual circumstances existing in the topography of the subject property limiting reasonable use of the land such as developing the property within the 25-foot bluff setback area. The project is not encroaching in a view corridor. The nearest view corridor identified in the adapted La Jolla Community Plan Local Coastal Program is located approximately 100 feet to the south at the end of Mira Monte Place. However, as conditioned by the new permit, a Deed Restriction preserving a visual corridor 4-feet, 7-inches wide (east side yard) running the full length of property in accordance with the requirements of the Land Development Code section 132.0403(b) and as described in exhibit "A" dated October 15, 2014, will be required.

Conclusion

Staff has determined that the project complies with the development regulations of all applicable sections of the Land Development Code. Staff has determined that the required findings can be made as the project meets the applicable San Diego Municipal Code regulations and requirements. Staff recommends approval of the project as proposed.

ALTERNATIVES

1. **Approve** Coastal Development Permit No. 1137216/Site Development Permit No. 1358703 with modifications or;
2. **Deny** Coastal Development Permit No. 1137216/Site Development Permit No. 1358703 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



William Zounes,
Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Project Plans
6. Draft Permit with Conditions
7. Draft Resolution with Findings
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. CDP/SCR/Variance No. 91-0332



Aerial Photograph (Birds Eye)

BC Camino- Project No. 315514

6106 Camino De La Costa

Project Site
6106 Camino De La Costa



Attachment 1
Aerial Photograph of Site



Map ONE

La Jolla

Existing Conditions

Land Use

Legend

- Single Family Residential
- Multi-Family Residential
- Office/Institution
- Medium Density Residential
- Medium Density Residential
- Commercial, Medium-Density Residential
- Institutional, Healthcare/Medical
- Communication/Utilities, Transportation/Storage
- Institutional
- Medium-Density Residential
- Medium-Density Residential
- Park, Open Space, Recreation, 1000'
- Public Recreation
- Unimproved

Single Family Residential - Single family detached housing units, up to two units per lot. Excludes duplexes, townhomes, and mobile home parks. Excludes all other uses.

Multi-Family Residential - Multi-family detached housing units, including duplexes, triplexes, and fourplexes. Excludes all other uses.

Office/Institution - Office buildings, banks, insurance, and other professional services. Excludes all other uses.

Medium Density Residential - Medium density residential uses, including townhomes, row houses, and small lot single-family detached units. Excludes all other uses.

Commercial, Medium-Density Residential - Commercial uses, including retail, food service, and other commercial uses. Excludes all other uses.

Institutional, Healthcare/Medical - Hospitals, medical offices, and other healthcare facilities. Excludes all other uses.

Communication/Utilities, Transportation/Storage - Communication facilities, utility buildings, and transportation facilities. Excludes all other uses.

Institutional - Schools, libraries, and other institutional uses. Excludes all other uses.

Medium-Density Residential - Medium density residential uses, including townhomes, row houses, and small lot single-family detached units. Excludes all other uses.

Public Recreation - Parks, open space, and other recreational facilities. Excludes all other uses.

Unimproved - Unimproved land, including vacant lots and undeveloped areas. Excludes all other uses.



City of San Diego
Planning Department
April 1, 2004

Project Site
6106 Camino De La Costa



La Jolla Community Plan Map

BC Camino- Project No. 315514
6106 Camino De La Costa



Attachment 2
Community Plan Land Use Map



Project Site
6106 Camino De La Costa



Location Map
BC Camino- Project No. 315514
6106 Camino De La Costa



Attachment 3
Project Location Map

PROJECT DATA SHEET

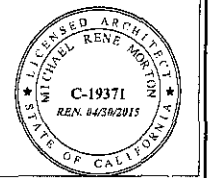
PROJECT NAME:	BC Camino	
PROJECT DESCRIPTION:	The project proposes an amendment to Coastal Development Permit (CDP) No. 91-0332 to construct a 2,472 square-foot addition to an existing 5,948 square-foot single family home.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit/Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential	
<u>ZONING INFORMATION:</u>		
ZONE: RS-1-5 Zone		
HEIGHT LIMIT: 30 feet		
LOT SIZE: 0.38-acres		
FLOOR AREA RATIO: varies		
FRONT SETBACK: 20 feet(normal)/1-foot with pre-existing variance.		
SIDE SETBACK: 0.08 of lot frontage		
STREETSIDE SETBACK: 0.10 of lot frontage		
REAR SETBACK: 20 feet		
PARKING: 2 spaces required		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Single Family, RM-1-4	Single Family dwellings
SOUTH:	Single Family, RM-1-5	Single Family dwellings
EAST:	Single Family, RM-1-4	Single Family dwellings
WEST:	Single Family, RM-1-4	Single Family dwellings
DEVIATIONS OR VARIANCES REQUESTED:	1-foot setback approved with CDP/Variance No. 91-0332	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On December 5, 2013, the La Jolla Community Planning Association voted 17-0-1 to recommend approval of the project.	

BC CAMINO LLC RESIDENCE

6106 CAMINO DE LA COSTA
LA JOLLA, CA 92037
REMODEL & ADDITION



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DSA



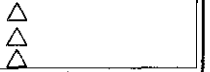
All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and are specific to the project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the written consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

BC CAMINO LLC
6106 CAMINO DE LA COSTA
LA JOLLA, CA 92037

CDP CONDITIONS	PERMANANT STORM WATER BMP'S	VICINITY MAP	SCOPE OF WORK	PROJECT DATA																																																																	
<ol style="list-style-type: none"> At grade accessory structures and landscape features customary and incidental to residential uses shall not be closer than five feet to the coastal bluff edge, in accordance with the requirements of the Land Development Code. The use of texture or enhanced paving shall meet applicable City standards as to location, noise and friction values. Prior to issuance of construction permits, the Owner/Permittees shall record a deed restriction preserving a visual corridor 4 feet 7 inches wide (East) running full length of property in accordance with the requirements of the San Diego Municipal Code section 132.0403(b) and as described in Exhibit "A". Prior to commencement of any work or activity authorized by this permit, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement, in a form and content acceptable to the Development Services Department Director, or designated representative which shall provide: <ol style="list-style-type: none"> that the applicant understands that no new accessory structures and landscape features customary and incidental to residential uses shall be developed within five feet of the Bluff Top (as illustrated on approved plan Exhibit "A", on file in the Office of the Development Services Department) or on the face of the bluff; that the applicant understands that the site may be subject to extraordinary hazards from coastal bluff erosion and applicant assumes the liability from such hazards; the applicant unconditionally waives any claim of liability against the City of San Diego and agrees to defend, indemnify and hold harmless the City of San Diego and its advisors relative to the City of San Diego's approval of this project and for any damages due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successors and assigns. Open fencing and landscaping may be permitted within the visual corridor, provided such improvements do not significantly obstruct public views of the ocean. Landscaping within the visual corridor shall be planted and maintained not to exceed 3'-0" in height in order to preserve public views. No Development shall be permitted on the coastal bluff face. All new development, including the post proposed for the cantilevered roof deck, first floor dock and new living area shall be set back at least 25 feet from the coastal bluff edge. All drainage from the improvements on the premises shall be directed away from any coastal bluff and either into an existing or improved public storm drain system or onto a street developed with a gutter system or public right-of-way designed to carry surface drainage run-off. All drainage from unimproved areas shall appropriately be collected and discharge in order to reduce, control, or mitigate erosion of the coastal bluff. Prior to the issuance of any building permits the Owner/Permittee shall record a Deed Restriction waiving all future rights to shoreline protective devices associated with the subject property, in accordance with the Land Development Code Section 143.01437(f). This condition applies only if LDR-Geology determines that the project can provide a 25' bluff edge setback. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located. 	<ol style="list-style-type: none"> Minimize sidewalk widths and hardscape proposed to reduce impervious surfaces. Tandem parking proposed to minimize driveway width to 12'-0". All public sidewalks in right of way are existing. Direct rooftop runoff to pervious areas such as yards, open channels, or vegetated areas, and avoid routing rooftop runoff to the roadway or the urban runoff conveyance system Maximizing canopy interception and water conservation by preserving existing native trees and shrubs. Draining rooftops into adjacent landscaping prior to discharging to the storm water conveyance system. Property is not located abutting or near storm drain inlet. Draining driveway, sidewalks, and impervious trails into adjacent landscaping. <p>STORM WATER QUALITY NOTES CONSTRUCTION BMP'S</p> <p>This project shall comply with all requirements of the state permit; California Regional Water Quality Control Board, San Diego Region, order NO. 2001-01 NPDES NO. CAS010875 (http://www.swrcb.ca.gov/rwqcb9/programs/sd_stormwater.html)</p> <p>Notes 1-6 below represent key minimum requirements for construction BMP's.</p> <ol style="list-style-type: none"> Sufficient BMP's must be installed to prevent silt, mud or other construction debris from being tracked into the adjacent street(s) or storm water conveyance systems due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMP's. All stock piles of uncompacted soil and/or building materials that are intended to be left unprotected for a period greater than seven calendar days are to be provided with erosion and sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site. All erosion/sediment control devices shall be maintained in working order at all times. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment. 	<p>● FIRE HYDRANTS WITHIN A 600' RADIUS OF THE PROJECT PROPERTY</p>	<p>PROPOSED ADDITIONS TO AN EXISTING 5,387.1 S.F., 2 STORY OVER BASEMENT, SINGLE FAMILY DWELLING UNIT & 561.5 S.F. 2 CAR GARAGE, INCLUDING ADDITIONS TO THE BASEMENT, 1ST & 2ND FLOORS & A NEW 4 CAR TANDEM GARAGE. ADDITION OF A NEW CANTILEVERED DECK TO THE WEST OF THE EXISTING STRUCTURE & SITE IMPROVEMENTS. PROPOSED CLOSURE OF THE EXISTING DRIVEWAY PER CITY STANDARD DRAWINGS & THE CONSTRUCTION OF A NEW DRIVEWAY PER CITY STANDARD DRAWINGS.</p> <p>PERMITS REQUESTED: AMENDMENT TO THE EXISTING COASTAL DEVELOPMENT PERMIT TO ADD 1,584.4 S.F. OF HABITABLE SPACE & A NEW 887.9 S.F. 4 CAR TANDEM GARAGE TO AN EXISTING 5,387.1 S.F. SINGLE FAMILY DWELLING UNIT & 561.5 S.F. GARAGE. EXISTING VARIANCE 91-0332 WILL REMAIN TO ALLOW A 1'-0" FRONT YARD SETBACK.</p> <p>PROPOSED ADDITIONS: BASEMENT: 69.5 S.F. FIRST FLOOR: 949.8 S.F. SECOND FLOOR: 565.2 S.F. GARAGE: 887.9 S.F.</p>	<p>PROJECT INFORMATION <i>BC Camino LLC Residence</i></p> <p>PROJECT ADDRESS: 6106 Camino De La Costa La Jolla, CA 92037 357-141-06-00</p> <p>ASSESSORS PARCEL NUMBER: 357-141-06-00</p> <p>LEGAL DESCRIPTION: Lot 11, Block 1A of La Jolla Herrerosa, in the City of San Diego, County of San Diego, State of California, according to Map # 1810.</p> <p>YEAR BUILT: 1994</p> <p>BUILDING CODE: CALIFORNIA BUILDING CODE (CBC), 2010 EDITION CALIFORNIA ELECTRICAL CODE (CEC), 2010 EDITION CALIFORNIA MECHANICAL CODE (CMC), 2010 EDITION CALIFORNIA FLEWBING CODE (CFC), 2010 EDITION SAN DIEGO COUNTY MUNICIPAL CODE (CSDMC)</p> <p>OCCUPANCY TYPE: Single Family Residential R-3 & L-1 Private Garage</p> <p>CONSTRUCTION TYPE: TYPE V-B-Non Mixed</p> <p>LOT AREA: 16,768.0 S.F. 0.38 ACRES</p> <p>ZONING INFORMATION ZONE: RS-1-3 Coastal Height Limit, City Council First Public Road-Way, Parking Impact, Residential Tanker Parking, Tennis Area</p> <p>GEOLOGIC HAZARD CATEGORY: 43 & 53</p> <p>NUMBER OF STORIES: 2-Story Over Basement</p> <p>SETBACKS:</p> <table border="1"> <thead> <tr> <th></th> <th>REQUIRED</th> <th>EXISTING</th> <th>PROPOSED (New Construction)</th> </tr> </thead> <tbody> <tr> <td>FRONT:</td> <td>1'-0"</td> <td>2'-0"</td> <td>1'-4" 5'-8"</td> </tr> <tr> <td>SIDE (West):</td> <td>6'-8 3/4"</td> <td>6'-0"</td> <td>6'-0"</td> </tr> <tr> <td>SIDE (East):</td> <td>6'-8 3/4"</td> <td>4'-7 7/8"</td> <td>6'-8 3/4"</td> </tr> <tr> <td>REAR:</td> <td>2'-4 1/4"</td> <td>10'-8 5/8"</td> <td>11'-6 3/8"</td> </tr> </tbody> </table> <p>* Front setback per existing variance 91-0332, existing and proposed setbacks less than the required setbacks are previously conforming.</p> <p>BUILDING HEIGHT LIMIT: 24'-0" / 24'-0"</p> <p>LOT AREA: 16,768.0 S.F.</p> <p>ALLOWABLE FAR: 8.448 S.F. 48%</p> <p>ACTUAL FAR: 8.479 S.F. 48% 8.7</p> <p>MAXIMUM PAVING & HARDSCAPE: ACTUAL PAVING & HARDSCAPE:</p> <table border="1"> <thead> <tr> <th>BUILDING AREAS</th> <th>EXISTING</th> <th>ADDITION</th> <th>TOTAL</th> <th>NEW FAR</th> </tr> </thead> <tbody> <tr> <td>BASEMENT AREA:</td> <td>389.1 S.F.</td> <td>69.5 S.F.</td> <td>458.6 S.F.</td> <td>85.6 S.F.</td> </tr> <tr> <td>FIRST FLOOR AREA:</td> <td>2,875.5 S.F.</td> <td>949.8 S.F.</td> <td>3,825.3 S.F.</td> <td>3,337.2 S.F.</td> </tr> <tr> <td>SECOND FLOOR AREA:</td> <td>2,410.6 S.F.</td> <td>565.2 S.F.</td> <td>2,975.8 S.F.</td> <td>2,975.8 S.F.</td> </tr> <tr> <td>RESIDENTIAL AREA:</td> <td>5,387.1 S.F.</td> <td>1,584.4 S.F.</td> <td>6,971.5 S.F.</td> <td>6,298.6 S.F.</td> </tr> <tr> <td>GARAGE AREA:</td> <td>361.5 S.F.</td> <td>887.9 S.F.</td> <td>1,249.4 S.F.</td> <td>1,449.4 S.F.</td> </tr> <tr> <td>BASEMENT AREA:</td> <td>0.0 S.F.</td> <td>0.0 S.F.</td> <td>0.0 S.F.</td> <td>0.0</td> </tr> <tr> <td>NON-RESIDENTIAL AREA:</td> <td>561.5 S.F.</td> <td>887.9 S.F.</td> <td>1,449.4 S.F.</td> <td>1,449.4 S.F.</td> </tr> <tr> <td>PROJECT TOTAL:</td> <td>5,348.6 S.F.</td> <td>2,472.3 S.F.</td> <td>8,420.9 S.F.</td> <td>8,479.9 S.F. FAR</td> </tr> </tbody> </table> <p>PARKING: REQUIRED: 2 PROVIDED: 4 * All Parking Spaces are 9'-0" Wide and 18'-0" Long * 4 Spaces marked in images</p>		REQUIRED	EXISTING	PROPOSED (New Construction)	FRONT:	1'-0"	2'-0"	1'-4" 5'-8"	SIDE (West):	6'-8 3/4"	6'-0"	6'-0"	SIDE (East):	6'-8 3/4"	4'-7 7/8"	6'-8 3/4"	REAR:	2'-4 1/4"	10'-8 5/8"	11'-6 3/8"	BUILDING AREAS	EXISTING	ADDITION	TOTAL	NEW FAR	BASEMENT AREA:	389.1 S.F.	69.5 S.F.	458.6 S.F.	85.6 S.F.	FIRST FLOOR AREA:	2,875.5 S.F.	949.8 S.F.	3,825.3 S.F.	3,337.2 S.F.	SECOND FLOOR AREA:	2,410.6 S.F.	565.2 S.F.	2,975.8 S.F.	2,975.8 S.F.	RESIDENTIAL AREA:	5,387.1 S.F.	1,584.4 S.F.	6,971.5 S.F.	6,298.6 S.F.	GARAGE AREA:	361.5 S.F.	887.9 S.F.	1,249.4 S.F.	1,449.4 S.F.	BASEMENT AREA:	0.0 S.F.	0.0 S.F.	0.0 S.F.	0.0	NON-RESIDENTIAL AREA:	561.5 S.F.	887.9 S.F.	1,449.4 S.F.	1,449.4 S.F.	PROJECT TOTAL:	5,348.6 S.F.	2,472.3 S.F.	8,420.9 S.F.	8,479.9 S.F. FAR
	REQUIRED	EXISTING	PROPOSED (New Construction)																																																																		
FRONT:	1'-0"	2'-0"	1'-4" 5'-8"																																																																		
SIDE (West):	6'-8 3/4"	6'-0"	6'-0"																																																																		
SIDE (East):	6'-8 3/4"	4'-7 7/8"	6'-8 3/4"																																																																		
REAR:	2'-4 1/4"	10'-8 5/8"	11'-6 3/8"																																																																		
BUILDING AREAS	EXISTING	ADDITION	TOTAL	NEW FAR																																																																	
BASEMENT AREA:	389.1 S.F.	69.5 S.F.	458.6 S.F.	85.6 S.F.																																																																	
FIRST FLOOR AREA:	2,875.5 S.F.	949.8 S.F.	3,825.3 S.F.	3,337.2 S.F.																																																																	
SECOND FLOOR AREA:	2,410.6 S.F.	565.2 S.F.	2,975.8 S.F.	2,975.8 S.F.																																																																	
RESIDENTIAL AREA:	5,387.1 S.F.	1,584.4 S.F.	6,971.5 S.F.	6,298.6 S.F.																																																																	
GARAGE AREA:	361.5 S.F.	887.9 S.F.	1,249.4 S.F.	1,449.4 S.F.																																																																	
BASEMENT AREA:	0.0 S.F.	0.0 S.F.	0.0 S.F.	0.0																																																																	
NON-RESIDENTIAL AREA:	561.5 S.F.	887.9 S.F.	1,449.4 S.F.	1,449.4 S.F.																																																																	
PROJECT TOTAL:	5,348.6 S.F.	2,472.3 S.F.	8,420.9 S.F.	8,479.9 S.F. FAR																																																																	
		<p>PROJECT TEAM</p> <p>OWNERS BC Camino LLC 6106 Camino De La Costa La Jolla, CA 92037</p> <p>ARCHITECT Marengo Morton Architects 7724 Girard Ave. La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo cmarengo@mmarc.com Cell: (619) 417-7111</p> <p>STRUCTURAL ENGINEER Naraghi Engineering 16340 Chaparral Way, Ridge 8 Poway, CA 92064 Telephone: (619) 435-1077 Fax: (619) 486-3938 Contact: Tom Naraghi</p> <p>GEO-TECHNICAL CONSULTANT Chapman Wheeler Engineering 4925 Marquay Street San Diego, CA 92111 Telephone: (619) 496-9700 Fax: (619) 496-9734 Contact: Dave Ravel</p> <p>SURVEYOR ALTA Land Surveying, Inc. 9517 Grossmont Summit Dr La Mesa, CA 91941 Telephone: (619) 579-2582 Contact: Miguel Martinez miguels@alталs.com</p>	<p>SHEET INDEX</p> <p>ARCHITECTURAL</p> <table border="1"> <tbody> <tr><td>T-1.1</td><td>TITLE SHEET</td></tr> <tr><td>TOPO</td><td>TOPOGRAPHIC SURVEY</td></tr> <tr><td>A-1.1</td><td>SITE PLAN</td></tr> <tr><td>A-1.2</td><td>CODE COMPLIANCE PLAN</td></tr> <tr><td>L-1.1</td><td>LANDSCAPE PLAN</td></tr> <tr><td>A-2.1</td><td>BASEMENT DEMOLITION PLAN</td></tr> <tr><td>A-2.2</td><td>FIRST FLOOR DEMOLITION PLAN</td></tr> <tr><td>A-2.3</td><td>SECOND FLOOR DEMOLITION PLAN</td></tr> <tr><td>A-2.4</td><td>BASEMENT FLOOR PLAN</td></tr> <tr><td>A-2.5</td><td>FIRST FLOOR PLAN</td></tr> <tr><td>A-2.6</td><td>SECOND FLOOR PLAN</td></tr> <tr><td>A-4.1</td><td>PROPOSED ROOF PLAN</td></tr> <tr><td>A-5.1</td><td>PROPOSED EXTERIOR ELEVATIONS</td></tr> <tr><td>A-5.2</td><td>PROPOSED EXTERIOR ELEVATIONS</td></tr> <tr><td>A-5.3</td><td>PROPOSED EXTERIOR ELEVATIONS</td></tr> <tr><td>A-5.4</td><td>PROPOSED EXTERIOR ELEVATIONS</td></tr> <tr><td>A-6.1</td><td>PROPOSED SECTION</td></tr> <tr><td>A-6.2</td><td>PROPOSED SECTION</td></tr> </tbody> </table> <p>18 SHEETS ARCHITECTURAL</p>	T-1.1	TITLE SHEET	TOPO	TOPOGRAPHIC SURVEY	A-1.1	SITE PLAN	A-1.2	CODE COMPLIANCE PLAN	L-1.1	LANDSCAPE PLAN	A-2.1	BASEMENT DEMOLITION PLAN	A-2.2	FIRST FLOOR DEMOLITION PLAN	A-2.3	SECOND FLOOR DEMOLITION PLAN	A-2.4	BASEMENT FLOOR PLAN	A-2.5	FIRST FLOOR PLAN	A-2.6	SECOND FLOOR PLAN	A-4.1	PROPOSED ROOF PLAN	A-5.1	PROPOSED EXTERIOR ELEVATIONS	A-5.2	PROPOSED EXTERIOR ELEVATIONS	A-5.3	PROPOSED EXTERIOR ELEVATIONS	A-5.4	PROPOSED EXTERIOR ELEVATIONS	A-6.1	PROPOSED SECTION	A-6.2	PROPOSED SECTION																														
T-1.1	TITLE SHEET																																																																				
TOPO	TOPOGRAPHIC SURVEY																																																																				
A-1.1	SITE PLAN																																																																				
A-1.2	CODE COMPLIANCE PLAN																																																																				
L-1.1	LANDSCAPE PLAN																																																																				
A-2.1	BASEMENT DEMOLITION PLAN																																																																				
A-2.2	FIRST FLOOR DEMOLITION PLAN																																																																				
A-2.3	SECOND FLOOR DEMOLITION PLAN																																																																				
A-2.4	BASEMENT FLOOR PLAN																																																																				
A-2.5	FIRST FLOOR PLAN																																																																				
A-2.6	SECOND FLOOR PLAN																																																																				
A-4.1	PROPOSED ROOF PLAN																																																																				
A-5.1	PROPOSED EXTERIOR ELEVATIONS																																																																				
A-5.2	PROPOSED EXTERIOR ELEVATIONS																																																																				
A-5.3	PROPOSED EXTERIOR ELEVATIONS																																																																				
A-5.4	PROPOSED EXTERIOR ELEVATIONS																																																																				
A-6.1	PROPOSED SECTION																																																																				
A-6.2	PROPOSED SECTION																																																																				

REVISIONS

06-03-13	IST Coastal Submittal
06-03-13	2ND Coastal Submittal
12-02-13	3RD Coastal Submittal
01-27-14	4TH Coastal Submittal
06-03-14	5TH Coastal Submittal
07-08-14	Geology Submittal
08-12-14	Planning Resubmittal



PHASE COASTAL

PROJECT NO. 2009-36

REVIEWED BY CAM

DRAWN BY MJG

DATE 08-12-2014

Standard Practice Acknowledgement: In providing this information, the architect warrants that the information is true and correct to the best of his knowledge and belief at the time of preparation. The architect does not warrant that the information is complete or that it is suitable for any purpose other than that for which it was prepared. The architect shall not be responsible for any errors or omissions in the information provided, or for any consequences arising therefrom, whether or not such consequences were reasonably foreseeable at the time of preparation. The architect shall not be responsible for any errors or omissions in the information provided, or for any consequences arising therefrom, whether or not such consequences were reasonably foreseeable at the time of preparation.

SHEET TITLE

TITLE SHEET

T-1

SHEET 1 OF 18

TOPOGRAPHICAL SURVEY

6106 CAMINO DE LA COSTA, LA JOLLA CA. 92037

BENCHMARK
 THE BENCHMARK USED FOR THIS SURVEY IS THE BRASS PLUG ON THE CURB RETURN OF THE INTERSECTION OF AVENIDA CORTEZ AND CAMINO DE LA COSTA AS PUBLISHED IN THE CITY OF SAN DIEGO VERTICAL CONTROL BENCHBOOK, OCTOBER 2011.
 ELEVATION: 42.765
 DATUM: MEAN SEA LEVEL

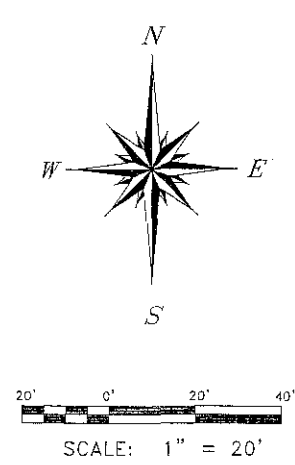
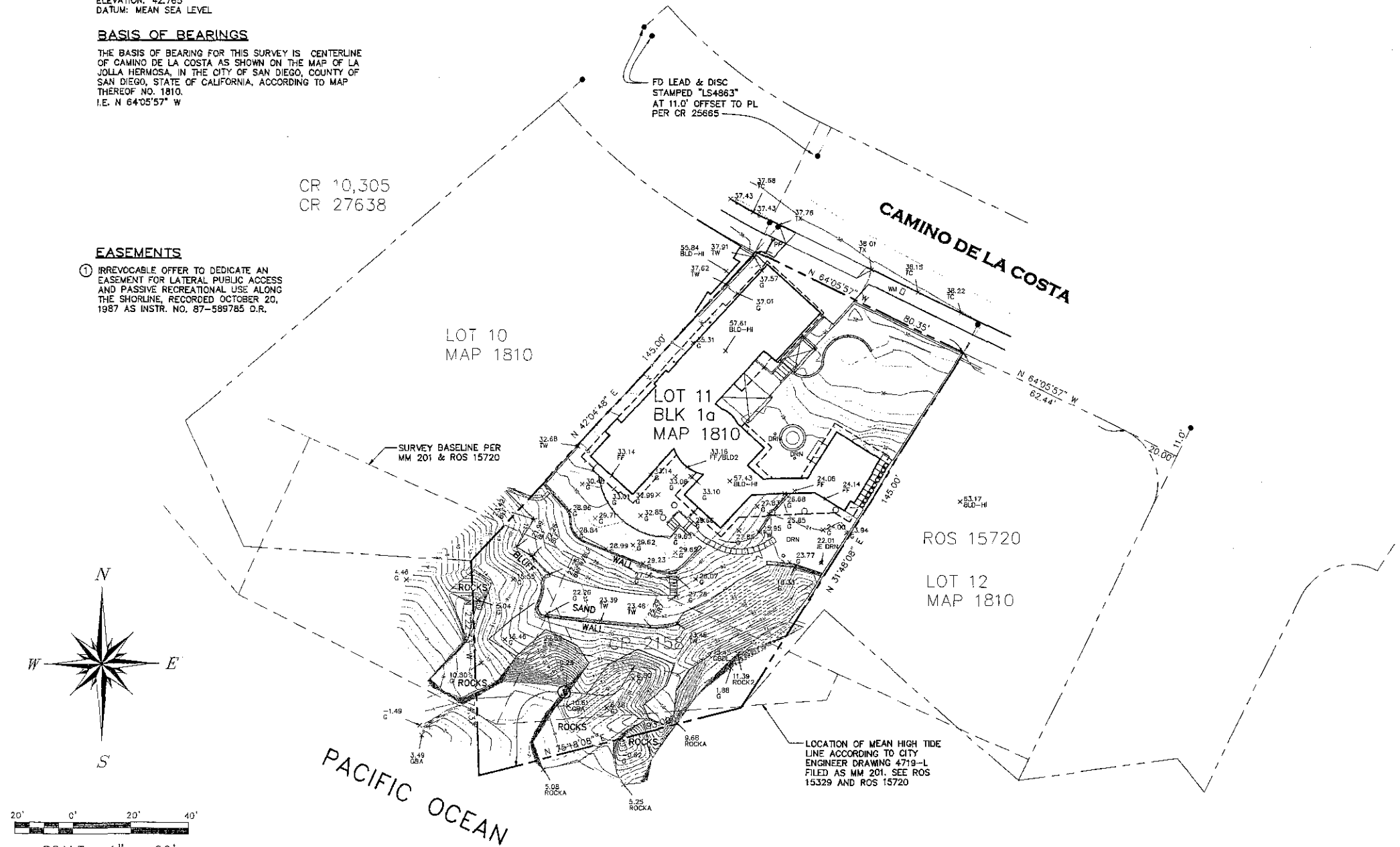
BASIS OF BEARINGS
 THE BASIS OF BEARING FOR THIS SURVEY IS CENTERLINE OF CAMINO DE LA COSTA AS SHOWN ON THE MAP OF LA JOLLA HERMOSA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810.
 I.E. N 64°05'57" W

EASEMENTS
 ① IRREVOCABLE OFFER TO DEDICATE AN EASEMENT FOR LATERAL PUBLIC ACCESS AND PASSIVE RECREATIONAL USE ALONG THE SHORLINE, RECORDED OCTOBER 20, 1987 AS INSTR. NO. 87-589785 D.R.

OWNER:
 BCS CAMINO, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

LEGAL DESCRIPTION:
 LOT 11 IN BLOCK 1-A OF LA JOLLA HERMOSA, IN THE CITY OF LA JOLLA, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 1924.
 357-141-06

- LEGEND/ABBREVIATIONS**
- — — — — PROPERTY LINE
 - — — — — ADJOINER LINE
 - - - - - EXISTING EASEMENT
 - — — — — ELEVATION CONTOUR LINE
 - FOUND LEAD AND DISC STAMPED "LS 4830" IN CONCRETE AT 11.0' OFFSET TO PL, UNLESS OTHERWISE NOTED.
 - — □ — □ — IRON FENCING
 - — ○ — ○ — CHAIN LINK FENCING
 - X 465.24' = SPOT ELEVATION
 - A/C= AIR CONDITIONING
 - BLD-HI= BUILDING HEIGHT ELEVATION
 - CONC.= CONCRETE
 - DRN= DRAIN INLET
 - EM= ELECTRIC METER
 - FF= FINISH FLOOR
 - GB= GRADE BREAK
 - GRD= ELEVATION AT GRADE
 - GM= GAS METERS/REGULATORS
 - PL= PROPERTY LINE
 - PP= POWER POLE
 - SLB= STREET LIGHT BOX
 - SMH= SEWER MANHOLE
 - TC= TOP FACE OF CURB
 - TX= TOP FACE OF CURB AT DRIVEWAY TRANSITION
 - TW= TOP OF WALL



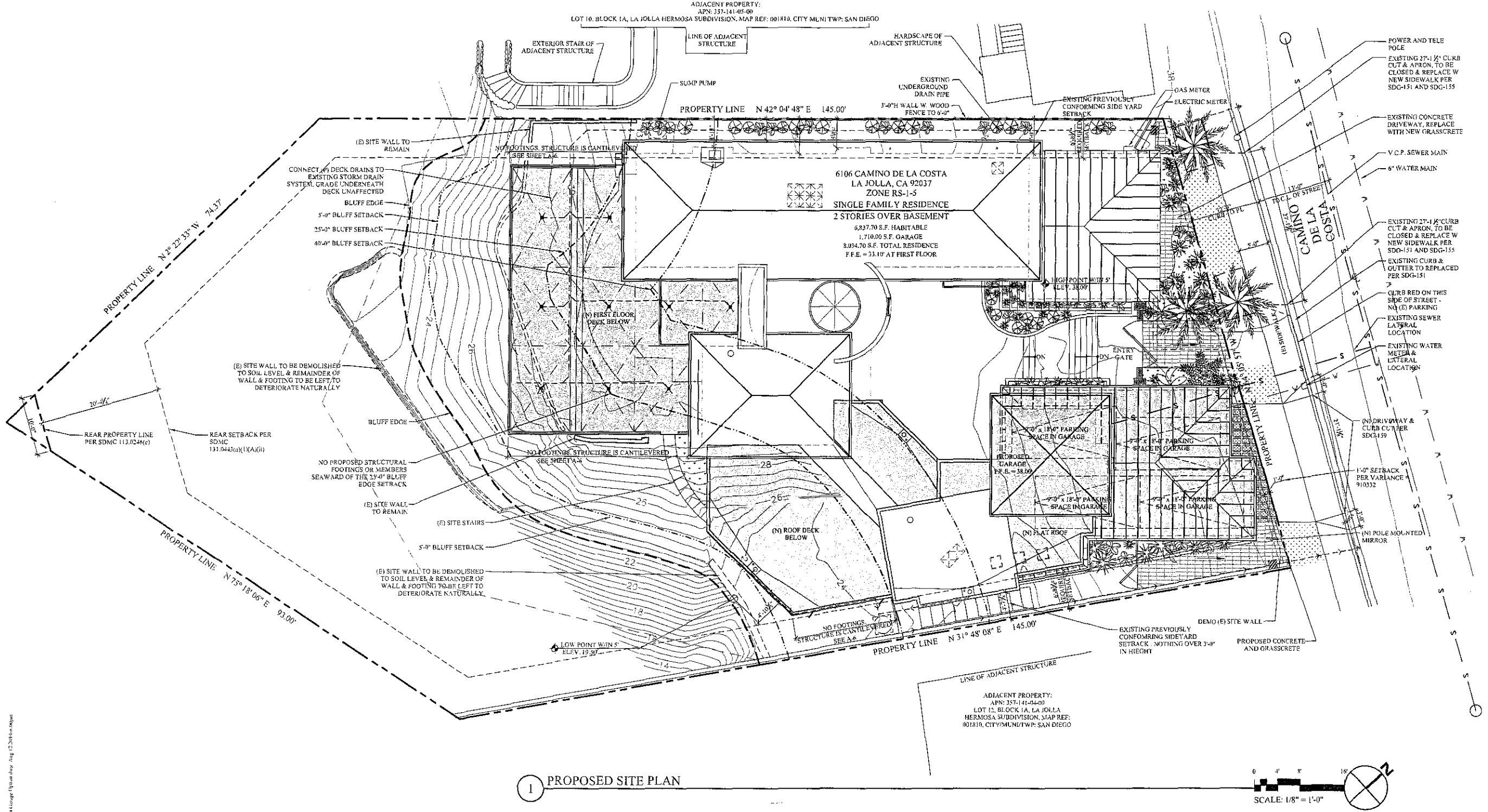
LOCATION OF MEAN HIGH TIDE LINE ACCORDING TO CITY ENGINEER DRAWING 4719-L FILED AS MM 201. SEE ROS 15329 AND ROS 15720

ALTA LAND SURVEYING, INC.
 8517 Grossmont Summit Dr.
 La Mesa, CA 91941
 Phone/fax: (619) 679-2582
 altaandsurveying.com

Miguel A. Martinez
 MIGUEL A. MARTINEZ
 L.S. 7443
 LIC. EXP. 6/30/14

DATE: 09/19/13





FRONT YARD LANDSCAPING	
FRONT YARD AREA	1,018 SF
MIN LANDSCAPE AREA (PER SDMC 131.0447(a))	1,018 SF x .4 = 407.2 SF
AREA OF LANDSCAPING (GRASSCRETE IN DRIVEWAY)	347.5 SF
	404.4 SF (40% GRASS) = 161.8 SF
TOTAL LANDSCAPING	533.3 SF (>407.2 SF)

GRADING TABLE	
EXCAVATION	29.6 CU. YARDS
FILL	80.5 CU. YARDS
NET IMPORT	65.9 CU. YARDS
MAX. FILL HEIGHT	6'-0" HEIGHT

GENERAL SITE NOTES

- The site plan is for general site reference only. Refer to other construction documents for complete scope of work.
- This is an Interior Tenant Improvement plan only, only new or relocation of non-bearing walls are allowed. Minor alterations to existing electrical, water, phone and other existing utilities to the tenant space are proposed.
- Before commencing any site foundation or slab cutting or excavation the contractor shall verify locations of all site utilities, dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any) underground utilities, and indicate utility type.
- All conditions or dimensions on these plans shall be verified in the field by the General Contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Subcontractors.
- The Contractor or sub-contractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawing until written or verbal instructions are issued by the Architect office.
- Protect and mark all existing building structure including walls, beams, columns, area separation walls, and other items that are part of the existing structure and not part of the scope of the tenant improvement, and mark perimeter of construction zone.
- Coordinate with other tenants the temporary shut-off of any site utilities, including but not limited to electrical service, gas service, water service, sewer service, telephone service, cable or other data links with are connected to the building.
- Locate refuse bin at approved on-site location. Contractor shall dispose of all site refuse at city-approved locations.
- Provide building address numbers, visible and legible from street or road fronting the property.
- Vary the level and plumb of existing floors, walls, ceilings and other items, which will not be changed, so that any attached structure, walls, ceiling or other components can be installed level and plumb.
- The structure surrounding the Tenant Improvement are existing as per the exterior, windows, doors, HVAC system, site utilities, walkways and sidewalk conditions. The Architect has not done any research into the condition of the existing structure as to its condition, construction or suitability.
- Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
- Prove to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix F of the City's Storm Water Standards.

STORM WATER QUALITY NOTES & CONSTRUCTION BMP'S

This project shall comply with all requirements of the state permit, California Regional Water Quality Control Board, San Diego Region, order NO. 309141, NPDES NO. CA50100A (http://www.sandag.ca.gov/water/programs/sd_waterqaicrb/)

Notes 1-4 below represent key minimum requirements for construction BMP's.

- Sufficient BMP's must be installed to prevent all mud or other construction debris from being tracked into the adjacent streets or storm water conveyance systems due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMP's.
- All stock piles of uncompacted soil and/or building materials that are intended to be left unproctored for a period greater than seven calendar days are to be provided with erosion and sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater.
- A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on site.
- All erosion sediment control devices shall be maintained in working order at all times.
- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
- The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

SOILS REPORT RECOMMENDATIONS

PER CONFLICT RESOLUTION MEETING, THE EXISTING 27-1/2" CURB CUT & APRONS AT THE NORTH END OF THE PROPERTY WILL BE REMOVED & REPLACED WITH NEW CURB, GUTTER & SIDEWALK, A NEW CURB CUT & APRONS, NOT TO EXCEED THE SIZE OF THE EXISTING, WILL BE CONSTRUCTED AT THE SOUTH END OF THE PROPERTY.

SOILS REPORT RECOMMENDATIONS

PRELIMINARY FOUNDATION DESIGN RECOMMENDATIONS

- As previously recommended by B&A (1992), an allowable bearing value of 2,000 pounds per square foot (psf) may be used for design of footings that maintain a minimum width of 12 inches and a minimum depth of 12 inches, and founded into compacted fill or unweathered formation earth materials. Isolated pad footings should have a minimum dimension of at least 24 inches square and a minimum embedment of 24 inches into compacted fill or formation earth materials, excluding any landscaped zone or topsoil/colluvium or weathered bedrock.

- The foundation for the proposed residential additions should be landward of the existing approved setback from the top of the bluff.

VERY LOW EXPANSION POTENTIAL:

- Concrete slabs should be a minimum of 5 inches thick and should be minimally reinforced with No. 3 reinforcing bars at 18 inches on center in both directions.

SITE PLAN LEGEND

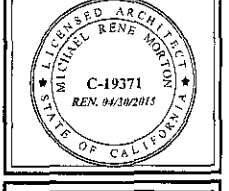
- OUTLINE OF EXISTING RESIDENCE
- VISIBILITY TRIANGLE, NOTHING OVER 3'-0" H PROPOSED IN THIS AREA
- 3" PVC SUBTERRANEAN DRAIN PIPE, SIDEWALK UNDERDRAIN & CURB OUTLET, & DIRECTION OF FLOW DRAINAGE CATCH BASIN WITH BMP FILTER
- AREAS OF NEW CONSTRUCTION, SEE FLOOR PLANS A-2.4 - A-2.6
- PROPOSED SUMP PUMP
- DIRECTION OF SURFACE DRAINAGE

FIRE NOTES

- Building address numbers, visible & legible from the street, shall be provided per FHPS Policy P-00-6 (UFC 901.4.4).
- An approved vehicle strobe detector system, with Knox Keystroke override, satisfactory to the Fire Marshal, shall be provided on all vehicle main entry and emergency entry points to the project(s) per FHPS Policy K-00-2 (UFC 902.4).



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo Desa



All design ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects. In preparation and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any means, in whole or part, without the express written consent of Marengo Morton Architects, is prohibited. There shall be no change, substitution, modification or deviation from these drawings or accompanying specifications without the consent of Marengo Morton Architects. Unapproved, visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

BC CAMINO LLC
 6106 CAMINO DE LA COSTA
 LA JOLLA, CA 92037

REVISIONS

06-05-13	1ST Coastal Submittal
10-12-13	2ND Coastal Submittal
12-02-13	3RD Coastal Submittal
01-27-14	4TH Coastal Submittal
06-05-14	Geology Submittal
07-08-14	Geology Resubmittal
08-12-14	Planning Resubmittal

PHASE: COASTAL
 PROJECT NO: 2009-36
 REVIEWED BY: CAM
 DRAWN BY: MJG
 DATE: 08-12-2014

Attachment 5
 Project Plans
 Page 2 of 18

A-1.1
 SHEET 3 OF 18



Marengo Morton Architects

7724 Girard Ave.

Second Floor

La Jolla, CA 92037

Tel. (858) 459-3769

Fax. (858) 459-3768

Michael Morton AIA

Claude Anthony Marengo DESA



All design ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any means, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

BC CAMINO LLC
6106 CAMINO DE LA COSTA
LA JOLLA, CA 92037

REVISIONS
06-03-13 1ST Coastal Submittal
10-03-13 2ND Coastal Submittal
12-02-13 3RD Coastal Submittal
01-27-14 4TH Coastal Submittal
06-03-14 Geology Submittal
07-08-14 Geology Resubmittal
08-12-14 Planning Resubmittal



PHASE COASTAL

PROJECT NO. 2009-36

REVIEWED BY CAM

DRAWN BY MJG

DATE 08-12-2014

Marengo Morton Architects, Inc. is prepared with certain public use and shall remain the property of Marengo Morton Architects, Inc. All other rights are reserved. This drawing has been prepared by the architect and is not to be used for any other purpose without the written consent of Marengo Morton Architects, Inc. All other rights are reserved. This drawing has been prepared by the architect and is not to be used for any other purpose without the written consent of Marengo Morton Architects, Inc. All other rights are reserved.

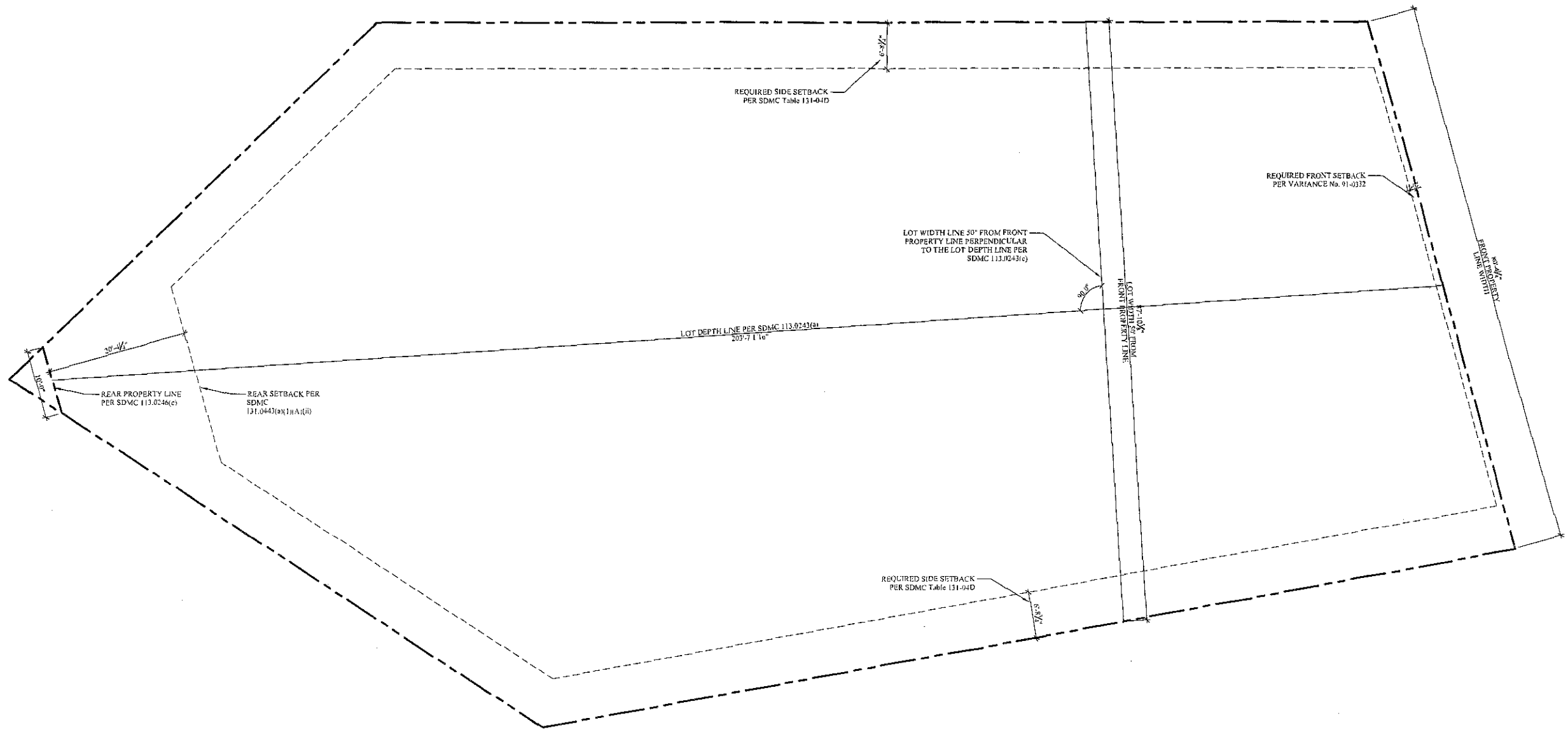
SHEET TITLE

CODE COMPLIANCE SITE PLAN

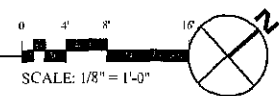
A-1.2

SHEET 4 OF 18

Attachment 5
Project Plans
Page 3 of 18



1 CODE COMPLIANCE SITE PLAN



SIDE SETBACK REQUIREMENTS

- Footnotes for Table 131-04D**
- For lots where at least one-half of the front 50 feet of the lot depth has a minimum slope gradient of 25 percent, the setback closest to the street frontage may be reduced to a minimum 6 feet.
 - For lots greater than 50 feet in width, the required side setbacks may be reallocated where the combined dimension of such side setbacks would not exceed the combined total required in Table 131-04D, in which case side setbacks shall not be reduced to less than 4 feet, and street side setbacks shall not be reduced to less than 10 feet. Once a side setback is reallocated and established at a dimension less than the percentage indicated in Table 131-04D, all additions to the primary structure thereat shall maintain the established side setback.

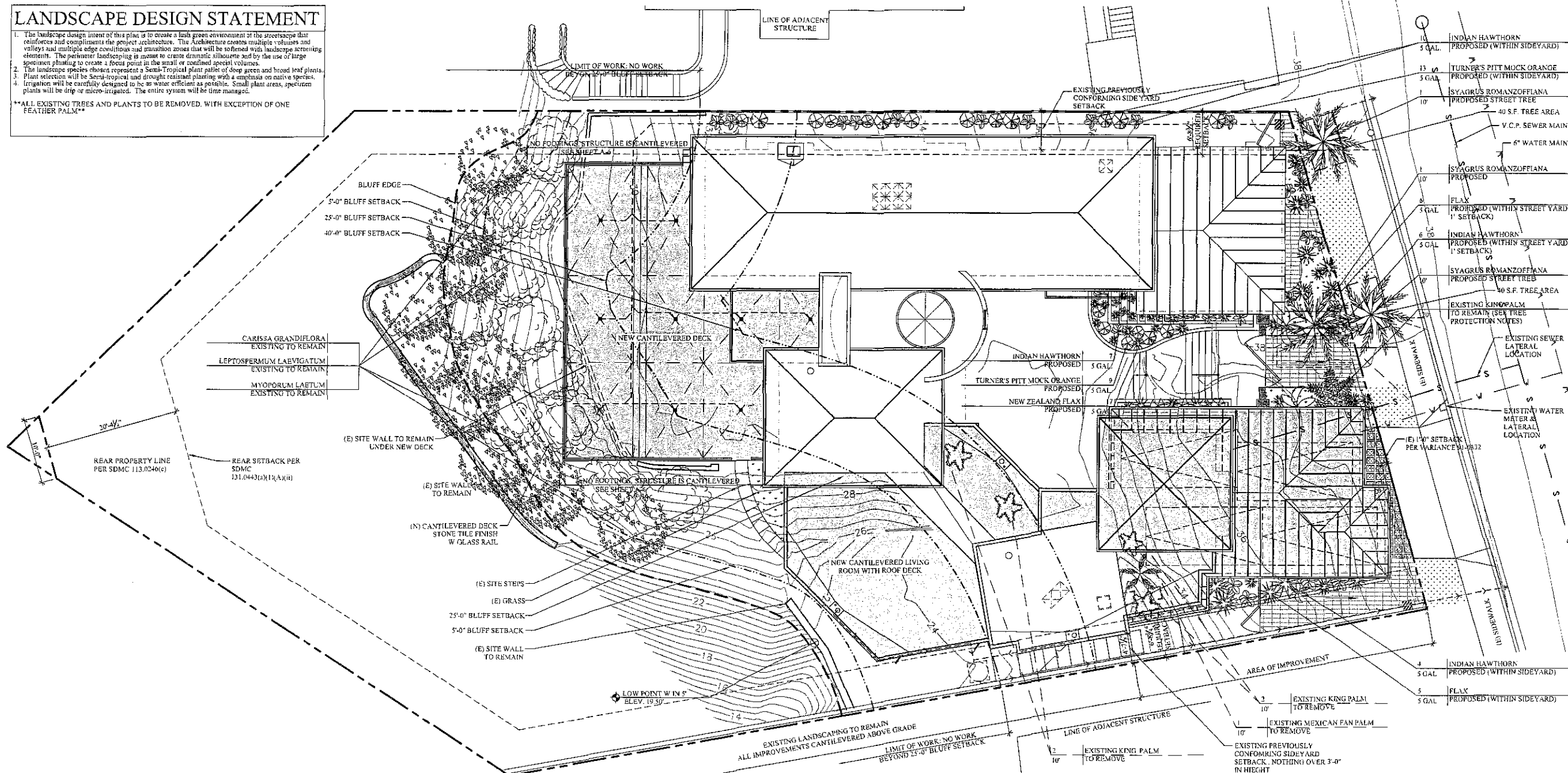
LOT WIDTH AT FRONT PL	=	80.25'
LOT WIDTH 50'-0" BACK FROM FRONT PL	=	87.89'
TOTAL	=	108.24'
AVERAGE (DIVIDE BY 2)	=	54.12'
REQUIRED SIDE SETBACK (6%)	=	6.73'
TOTAL REQUIRED SETBACK (10%)	=	13.46'

X:\2009 Projects\2009-36 BC Camino LLC\Drawings\Architectural\Code Compliance\A-1.2-14-1.dwg Aug 12 2014 11:16am

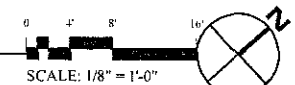
LANDSCAPE DESIGN STATEMENT

- The landscape design intent of this plan is to create a lush green environment of the streetscape that reinforces and complements the project architecture. The Architecture creates multiple volumes and valleys and multiple edge conditions and transition zones that will be softened with landscape screening elements. The perimeter landscaping is meant to create dramatic silhouette and by the use of large specimen planting to create a focus point in the small or confined special volumes.
- The landscape species chosen represent a Semi-tropical plant palette of deep green and broad leaf plants. Plant selection will be Semi-tropical and drought resistant planting with an emphasis on native species. Irrigation will be carefully designed to be as water efficient as possible. Small plant areas, specimen plants will be drip or micro-irrigated. The entire system will be time managed.

ALL EXISTING TREES AND PLANTS TO BE REMOVED, WITH EXCEPTION OF ONE FEATHER PALM



1 PROPOSED LANDSCAPE PLAN



LANDSCAPE NOTES

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE LA JOLLA PLANNED DISTRICT ORDINANCE, THE LA JOLLA COMMUNITY PLAN AND THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- LONG TERM MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT. ALL LANDSCAPE AND IRRIGATION IN THE PUBLIC RIGHT OF WAY SHALL ALSO BE MAINTAINED BY THE OWNER.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5' OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENT.
- TREE GRATES AROUND STREET TREES SHALL BE A MINIMUM OF 40 S.F. WITH A MINIMUM 5" INSIDE DIMENSION.
- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2", EXCLUDING AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- MINIMUM TREE SEPARATION DISTANCE:

TRAFFIC SIGNALS (STOP SIGN)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
STREET INTERSECTIONS	25 FEET
SEWER LINES	10 FEET
- PRIOR TO ISSUANCE OF ANY BUILDING PERMITS, A COMPLETE SET OF LANDSCAPING AND IRRIGATION PLANS SHALL BE SUBMITTED TO THE CITY MANAGER FOR APPROVAL. THE LANDSCAPING AND IRRIGATION PLANS SHALL BE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LA JOLLA PLANNED DISTRICT ORDINANCE, THE LA JOLLA COMMUNITY PLAN AND THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL.
- ALL REQUIRED LANDSCAPED AREAS SHALL BE PERMANENTLY IRRIGATED AND MAINTAINED IN ACCORDANCE WITH THE LANDSCAPE GUIDELINES OF THE LAND DEVELOPMENT MANUAL, PER THE COASTAL BLUFFS AND BEACHES GUIDELINES. NO PERMANENT IRRIGATION IS ALLOWED ON OR ADJACENT TO COASTAL BLUFFS (WITHIN 40 FEET).
- TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER PEDESTRIAN WALKWAYS ARE 6 FEET ABOVE THE WALKWAY GRADE AND BRANCHES OVER VEHICULAR TRAVEL WAYS ARE 16 FEET ABOVE THE GRADE OF THE TRAVEL WAY PER THE SAN DIEGO MUNICIPAL CODE, SECTION 142.040(b)(1)(i).
- IF ANY REQUIRED LANDSCAPE INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE.

TREE PROTECTION NOTES

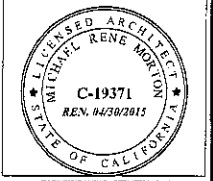
- Prior to any disturbance to the site, the Owner/Permittee shall make arrangements for a Pre-Construction meeting with the City of San Diego Mitigation Monitoring Coordination Section (MMC), the Resident Engineer (RE) and/or Building Inspector, Certified Consulting Arborist, Construction Manager, and Landscape Professional.
- The Certified Consulting Arborist is responsible for preventing damage to trees:
 - Construction and maintenance shall avoid unnecessary activities within the dripline of trees.
 - Fines shall be assessed to those individuals found to be responsible for the illegal removal or damage of protected trees.
- Any damage or injury to trees shall be reported within 24 hours to MMC by the Certified Consulting Arborist.
- The Certified Consulting Arborist shall be responsible for establishing, implementing, and maintaining the Tree Protection Zone as shown on these plans during the entire construction period:
 - Stake the complete drip line.
 - Roots shall be clearly cut back approx. 6" from the limit of disturbance, unless otherwise directed by the Certified Consulting Arborist.
 - Install a temporary 6-8' high chain link fence around the identified dripline, unless otherwise directed by the Certified Consulting Arborist.
 - Attach an orange or yellow protective fence (max. 3' high) to the chain link fence.
 - When areas under the tree canopy cannot be fenced, another method shall be required, as recommended by the Certified Consulting Arborist and approved by MMC.
 - Post "KEEP OUT" signs in both Spanish and English to the chain link fence.
 - Place story poles where proposed buildings and tree branches intersect.
 - Submit to MMC a tree maintenance schedule prepared by the Certified Consulting Arborist.
 - If a tree is adjacent to or in the immediate proximity to a grade slope of 3% (3 degrees) or more, provide adequate erosion control.
- The Certified Consulting Arborist shall verify in writing to the Owner/Permittee that the Tree Protection Zone has been established.
- The Owner/Permittee shall submit the Certified Consulting Arborist's verification letter to MMC before scheduling a site inspection with MMC, the RE and/or Building Inspector, Certified Consulting Arborist, and Landscape Professional.
- Restrictions within the Tree Protection Zone to be monitored by the Certified Consulting Arborist as follows:
 - Tree pruning or root pruning will only occur under the guidance of the Certified Consulting Arborist with written approval from MMC.
 - Pruning for vertical clearance of buildings, traffic, and construction equipment shall be performed by the Certified Consulting Arborist only.
 - Construction equipment and materials such as stockpiling of soil, vehicle use, foot traffic, utility containers, and storage of any kind, are prohibited.
 - The existing grade shall not be disturbed unless otherwise approved by MMC, the RE, and/or Building Inspector.
 - Root systems shall be protected from flooding, erosion, chemical spills, and excessive vibrations in soil moisture by construction activity.
 - Any modifications and/or additions to the approved Tree Protection Zone shall be submitted by the Certified Consulting Arborist with adequate information to MMC for approval.
 - The Owner/Permittee shall be responsible for a minimum 3 year monitoring and maintenance period, designed by the Certified Consulting Arborist after construction to ensure the success of protected and/or replacement trees.
 - The Certified Consulting Arborist shall provide annual reports to and request inspection from MMC during the monitoring and maintenance period.

LANDSCAPE LEGEND

	PROPOSED QUEEN PALM <i>Syagrus Romanzoffiana</i> Height: 45-60'; spread: 10'; Type: Accent caliper: 1'-2"; drip line: 11-31' circumference
	EXISTING KING PALM (TO REMAIN) <i>Arrecaceae Coccothrinax</i> Height: 25'; spread: 5-10'; Type: Accent caliper: 1'; drip line: 11-31' circumference
	EXISTING MEXICAN FAN PALM (REMOVED) <i>Arrecaceae Washingtonia</i> Height: 35'; spread: 10'; Type: Accent caliper: 1'-2"; drip line: 31' circumference
	EXISTING KING PALM (REMOVED) <i>Arrecaceae Coccothrinax</i> Height: 25'; spread: 5-10'; Type: Accent caliper: 1'; drip line: 11-31' circumference
	TURNER'S PITT MOCK ORANGE <i>Platanus tobinii</i> Height: 25'; spread: 10'; Type: Screen caliper: 1'-2"; drip line: 11-31' circumference
	FLAX <i>Linum catharticum</i> Height: 18"; spread: 12"; Type: Accent drip line: 9' x 12' circumference
	INDIAN HAWTHORN 'BALLERINA' <i>Raphanocarpus indica</i> Height: 24"; spread: 3'; Type: Small Scale drip line: 9' x 9' circumference
	GRASS PLANTING AREA



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo Desa



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any means in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic copies or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

BC CAMINO LLC
 6106 CAMINO DE LA COSTA
 LA JOLLA, CA 92037

REVISIONS:
 06-01-13 1ST Coastal Submittal
 06-01-13 2ND Coastal Submittal
 06-01-13 3RD Coastal Submittal
 01-27-14 4TH Coastal Submittal
 06-05-14 Ecology Submittal
 07-08-14 Geology Resubmittal
 08-12-14 Planning Resubmittal

PHASE: COASTAL
 PROJECT NO. 2009-36

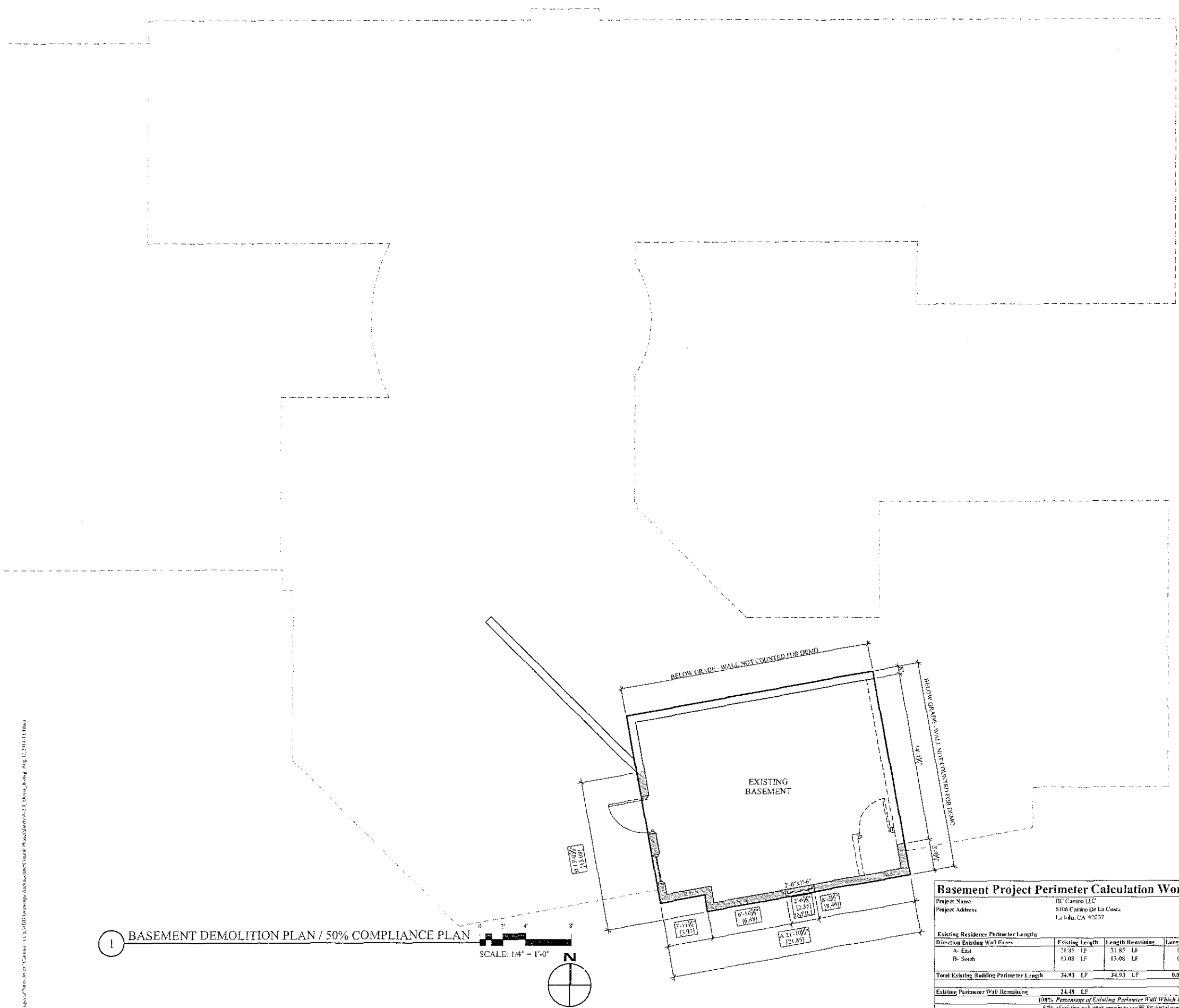
REVIEWED BY: CAM
 DRAWN BY: MJG

DATE: 08-12-2014

SHEET TITLE: PROPOSED LANDSCAPE PI

L-1.1
 SHEET 5 OF 18

Attachment 5
 Project Plans
 Page 17 of 18



Basement Project Perimeter Calculation Worksheet

Project Name: BC Camino LLC
 Project Address: 6106 Camino De La Costa, La Jolla, CA 92037

Existing Residence Perimeter Length	Existing Length	Length Remaining	Length Removed
Direction Existing Wall Faces			
A- East	21.85 LF	21.85 LF	0.00 LF
B- South	13.08 LF	13.08 LF	0.00 LF
Total Existing Building Perimeter Length	34.93 LF	34.93 LF	0.00 LF
Existing Perimeter Wall Remaining	24.48 LF		
100% Percentage of Existing Perimeter Wall Which Remains			
50% of existing wall must remain to qualify for coastal exemption			

DEMOLITION NOTES FOR COASTAL EXEMPTION

- A. At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure.
- B. The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall)
- C. Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
- D. The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption) and is not to be done.
- E. Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
- F. Reinforcement in the form of sistering members (studs and plates) is permitted as long as they do not interrupt the assembly of top plate studs and sill.
- G. Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4 going through the top plate will deduct that amount)
- H. Cripple walls are permitted (Placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
- I. Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
- J. A window may be replaced or may be reduced in area or dimension or may be covered over (filled in) provided that the existing studs and headers are retained in their original position.
- K. Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward. All furring is to the interior & verified by the Architect.

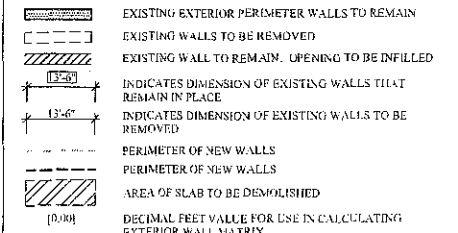
DEMOLITION NOTES

1. Architect shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
2. Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
3. Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences.
4. Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
5. All demolition material shall be transported off site and properly disposed of at city-approved locations by the contractor.
6. Contractor to verify dump location with Architect before demolition commences.
7. Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
8. Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
9. Contractor shall notify architect if any of the exposed wood shows evidence of active water leaks, termites, or dry rot.
10. Prepare existing window framing openings (to remain) to receive new window units. See new floor plan and elevations for new window size.
11. When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
12. Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
13. Demolition of openings in roof and exterior walls shall be covered each night with plastic tarp and secured to prevent water and dust from entering the building.
14. Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary walls shall be built and sealed if needed or shown on plans.
15. Should any portion of the structure being removed produce unstable or unsafe conditions the contractor shall provide shoring and bracing.
16. Existing FUEL & Water Heaters shall be turned off and salvaged units removed and stored for reuse. Existing natural gas service shall be turned off and lines responsibly capped at residence.
17. Electrical service shall be turned off at residence and provisions for temporary power made during construction.
18. Please be advised this is a remodel project. Concealed conditions of all types shall be taken into account and verified prior to completion of final project bid.
19. Contractor shall verify in the field the condition of all foundations, stem walls, all attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the Architect and Structural Engineer.
20. Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled upon notification to the Architect and a written approval has been documented. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
21. Elevation changes between door openings and adjacent grade shall be verified in the field. Contractor shall, if discrepancies exist between field conditions and plans, notify the Architect to make modifications and/or other corrective measures.
22. If soils report or survey are not included with this set of documents, the Architect will not be held responsible for any changes, modifications, ordered reports or survey or other additional issues caused by lack of information from those documents.
23. Existing slab to be demolished and replaced with 1000 PSI concrete per structural foundation plans, see sheet S3.

COASTAL PROJECTS ADDITIONAL NOTES

- A. This is a COASTAL PROJECT. No exterior walls shall be demolished other than those specified on the demolition sheet without prior written instruction from Architect.
- B. It is the General Contractors site responsibility that all existing wall shown to remain shall be protected and maintained at all times during the project construction.

DEMOLITION LEGEND



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3769
 Michael Morton AIA
 Claude Anthony Marengo DSSA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deletions from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic control or use of these drawings and electronic specifications shall constitute the acceptance of all these restrictions.

BC CAMINO LLC
 6106 CAMINO DE LA COSTA
 LA JOLLA, CA 92037

REVISIONS

06-03-13	1ST Coastal Submittal
10-03-13	2ND Coastal Submittal
12-02-13	3RD Coastal Submittal
01-27-14	4TH Coastal Submittal
04-05-14	Geology Submittal
07-08-14	Geology Resubmittal
08-12-14	Planning Resubmittal

PHASE: COASTAL

PROJECT NO: 2009-36

REVIEWED BY: CAM

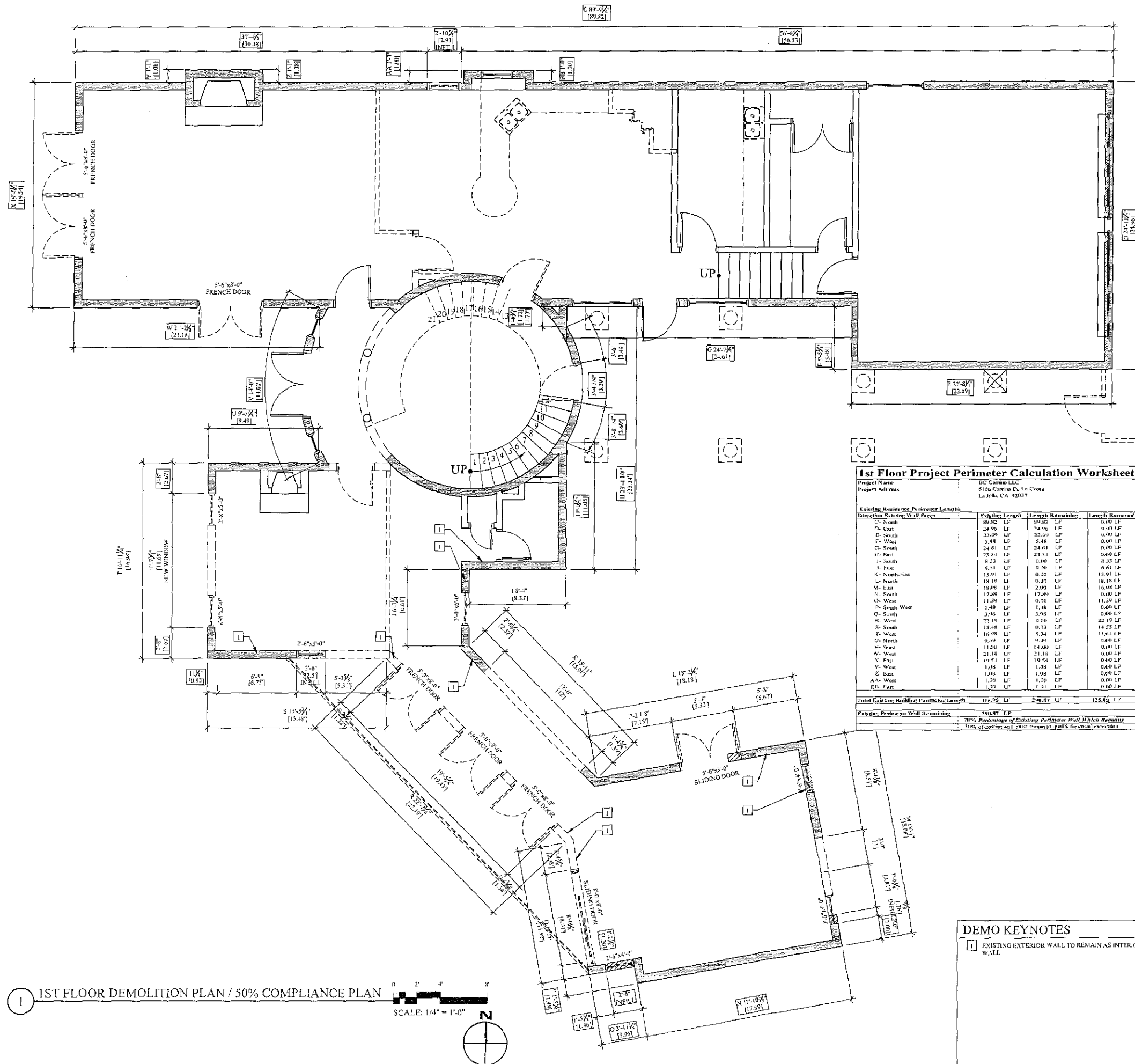
DRAWN BY: MJG

DATE: 08-12-201

A-2.1
 SHEET 6 OF 18

Attachment 5
 Project Plans
 Page 4 of 18

\2009 Project\2009-36 BC Camino\1.3-COASTAL Drawings\Architectural\Basement Demolition\A-2.1_Basement Demolition Plan.dwg, Aug 12, 2014 11:18 AM



1 1ST FLOOR DEMOLITION PLAN / 50% COMPLIANCE PLAN
 SCALE: 1/4" = 1'-0"
 NORTH ARROW

1st Floor Project Perimeter Calculation Worksheet

Project Name: BC Camino LLC
 Project Address: 6106 Camino De La Costa, La Jolla, CA 92037

Direction	Existing Wall Faces	Existing Length	Length Remaining	Length Removed
C - North		89.82 LF	89.82 LF	0.00 LF
D - East		24.96 LF	24.96 LF	0.00 LF
E - South		23.69 LF	23.69 LF	0.00 LF
F - West		5.48 LF	5.48 LF	0.00 LF
G - South		24.61 LF	24.61 LF	0.00 LF
H - East		23.34 LF	23.34 LF	0.00 LF
I - South		8.33 LF	0.00 LF	8.33 LF
J - East		6.61 LF	0.00 LF	6.61 LF
K - North-East		13.91 LF	0.00 LF	13.91 LF
L - North		18.18 LF	0.00 LF	18.18 LF
M - East		18.08 LF	2.00 LF	16.08 LF
N - South		17.89 LF	17.89 LF	0.00 LF
O - West		11.39 LF	0.00 LF	11.39 LF
P - South-West		1.48 LF	1.48 LF	0.00 LF
Q - South		3.96 LF	3.96 LF	0.00 LF
R - West		22.19 LF	0.00 LF	22.19 LF
S - South		13.48 LF	0.03 LF	14.51 LF
T - West		16.98 LF	5.34 LF	11.64 LF
U - North		9.49 LF	9.49 LF	0.00 LF
V - West		14.00 LF	14.00 LF	0.00 LF
W - West		21.18 LF	21.18 LF	0.00 LF
X - East		19.54 LF	19.54 LF	0.00 LF
Y - West		1.08 LF	1.08 LF	0.00 LF
Z - East		1.08 LF	1.08 LF	0.00 LF
AA - West		1.00 LF	1.00 LF	0.00 LF
BB - East		1.00 LF	1.00 LF	0.00 LF
Total Existing Building Perimeter Length		418.95 LF	390.87 LF	128.08 LF
Existing Perimeter Wall Remaining		390.87 LF		
78% Percentage of Existing Perimeter Wall Which Remains				
30% of existing wall must remain to qualify for coastal exemption				

DEMOLITION NOTES FOR COASTAL EXEMPTION

- At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure.
- The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall).
- Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
- The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption) and is not to be done.
- Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
- Reinforcement in the form of sistering members (studs and plates) is permitted as long as they do not interrupt the assembly of top plate studs and sill.
- Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4 going through the top plate will deduct that amount).
- Cripple walls are permitted (Placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
- Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
- A window may be replaced or may be reduced in area or dimension or may be covered over (filled in) provided that the existing studs and headers are retained in their original position.
- Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward. All furring is to the interior & verified by the Architect.

DEMOLITION NOTES

- Architect shall be notified immediately when any discrepancy with Architectural or Structural Drawings are found at the project site. All drawings may have to be indicated upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
- Contractor shall verify layout of existing structures, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before start of demolition contractor shall verify with the owner any items to be saved (S), covered, or stored, verify storage locations with owner before demolition commences.
- Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed of at city approved locations by the contractor.
- Contractor to verify dumpster location with Architect before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plans. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify architect if any of the exposed wood shows evidence of active water leaks, termites or dry rot.
- Prepare existing window framing openings (to remain) to receive new window units. See new floor plan and elevations for new window size.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
- Demolition of openings in roof and exterior walls shall be covered each night with plastic curbs and secured to prevent water and dust from entering the building. Existing floors shall be covered during construction. Openings shall be taped and sealed to walls at edges of construction zone to minimize dust. Temporary walls shall be built and sealed if needed or shown on plan.
- Should any portion of the structure being removed produce unstable of unsafe conditions the contractor shall provide shoring and bracing.
- Existing FAU & Water Heater shall be turned off and salvaged units removed and stored for re-use. Existing natural gas service shall be turned off and lines temporarily capped at residence.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Please be advised this is a remodel project. Concealed conditions of all types shall be taken into account and/or verified prior to completion of final project bid.
- Contractor shall verify in the field the condition of all foundations, stem walls, sill attachments, pier-footing conditions and attachments to framing. Deficiencies, cracks or other structural issues in foundations or loadings or load transfer shall be brought to the attention of the Architect and Structural Engineer.
- Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled upon notification to the Architect and a written approval has been documented. Wood framing adjacent to soil may be encountered and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field. Contractor shall, if discrepancies exist between field conditions and plans, notify the Architect to make modifications and/or other corrective measures.
- If soils report or survey are not included with this set of documents, the Architect will not be held responsible for any changes, modifications, ordered reports or survey or other additional issues caused by lack of information from those documents.
- Existing slab to be demolished and replaced with 3000 PSI concrete per structural foundation plans, see sheet S3.

COASTAL PROJECTS ADDITIONAL NOTES

- This is a COASTAL PROJECT. No exterior walls shall be demolished other than those specified on the demolition sheet without prior written instruction from Architect.
- It is the General Contractor's responsibility that all existing wall shown to remain shall be protected and maintained at all times during the project construction.

DEMO KEYNOTES

[Symbol] EXISTING EXTERIOR WALL TO REMAIN AS INTERIOR WALL

[Symbol] EXISTING EXTERIOR PERIMETER WALLS TO REMAIN

[Symbol] EXISTING WALLS AND CONSTRUCTION TO BE REMOVED

[Symbol] EXISTING WALL TO REMAIN, OPENING TO BE INFILLED

[Symbol] INDICATES DIMENSION OF EXISTING WALLS THAT REMAIN IN PLACE

[Symbol] INDICATES DIMENSION OF EXISTING WALLS TO BE REMOVED

[Symbol] PERIMETER OF NEW WALLS

[Symbol] PERIMETER OF NEW WALLS

[Symbol] AREA OF SLAB TO BE DEMOLISHED

[Symbol] DECIMAL FEET VALUE FOR USE IN CALCULATING EXTERIOR WALL MATRIX

Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo DRA

LICENSED ARCHITECT
 MICHAEL RENE MORTON
 C-19371
 REN. 04/30/2015
 STATE OF CALIFORNIA

All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects. Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any individual, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changing, substitutions, modifications or deletions from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic content or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

BC CAMINO LLC
 6106 CAMINO DE LA COSTA
 LA JOLLA, CA 92037

REVISIONS

06-03-13	1ST Coastal Submittal
07-03-13	2ND Coastal Submittal
07-03-13	3RD Coastal Submittal
01-27-14	4TH Coastal Submittal
05-05-14	Coastal Submittal
07-08-14	Coastal Re-submittal
08-12-14	Planning Re-submittal

PHASE: COASTAL
 PROJECT NO: 2009-36
 REVIEWED BY: CAM
 DRAWN BY: MJG
 DATE: 08-12-2014

Attachment 5
 Project Plans
 Page 5 of 18

Sheet T218 1ST FLOOR DEMOLITION P 50% COMPLIANCE
A-2.2
 SHEET 7 OF 18



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo Desa



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the proper title block. Reproduction, publication or reuse by any means, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated, is prohibited. There shall be no changes, substitutions, modifications or deletions from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

BC CAMINO LLC
 6106 CAMINO DE LA COSTA
 LA JOLLA, CA 92037

REVISIONS
 06-03-13 1ST Coastal Submittal
 11-03-13 2ND Coastal Submittal
 12-02-13 3RD Coastal Submittal
 01-27-14 4TH Coastal Submittal
 06-05-14 Geology Submittal
 07-08-14 Geology Resubmittal
 08-12-14 Planning Resubmittal

PHASE: COASTAL
 PROJECT NO. 2009-36
 REVIEWED BY: CAM
 DRAWN BY: MJG

DATE: 08-12-2014
 SHEET TITLE: 2ND FLOOR DEMOLITION PI 50% COMPLIANCE
 SHEET NO.: A-2.3
 SHEET 8 OF 18

Attachment 5
 Project Plans
 Page 6 of 18

DEMOLITION NOTES FOR COASTAL EXEMPTION

- At least 50% of the existing exterior walls (from the foundation to the top plate) of the principal habitable floor must be left standing and in place throughout construction and incorporated into the completed structure.
- The wall must continue to be used as exterior walls in the completed project (may not be used as interior walls or used in a "double wall" configuration with any new wall).
- Any door or window located within a segment of the wall which is counted toward the length of an existing exterior wall to be left standing (at least 50%) cannot have their location or size modified.
- The surface of the wall can be modified or removed down to the studs but with both the top and bottom plates in place. Removal of the stud walls, even on a temporary basis does not meet exemption criteria (for coastal exemption) and is not to be done.
- Walls, which are designated to remain, cannot be replaced, heightened or relocated for any reason, including reasons of structural integrity (dry rot, termites).
- Reinforcement in the form of sistering members (studs and plates) is permitted as long as they do not interrupt the assembly of top plate studs and sill.
- Penetration through top plate is permitted - only the width of the actual cut will be included in the calculation (e.g. only actual width of a 2x4 or a 4x4 going through the top plate will deduct that amount).
- Cripple walls are permitted (Placing a new bottom plate on an existing top plate together with new studs and a new top plate for the purposes of increasing floor to ceiling height).
- Foundation replacement is acceptable only if existing walls can be properly supported in their pre-existing position during replacement or repair.
- A window may be replaced or may be reduced in area or dimension or may be covered over (filled in) provided that the existing studs and headers are retained in their original position.
- Reinforcement in the form of furring is permitted for single wall construction only if it is done in such a manner that the wall is not extended outward. All furring is to the interior & verified by the Architect.

DEMOLITION NOTES

- Architect shall be notified immediately when any discrepancy with Architectural or Structural drawings are found at the project site. All drawings may have to be modified upon removal of existing construction. Do not proceed with work in question until the architect issues directions.
- Contractor shall verify layout of existing structure, property boundaries, location of site utilities - underground and overhead, and field conditions as shown on the plans prior to demolition.
- Before start of demolition contractor shall verify with the owner any item to be saved (S), covered, or stored, verify storage locations with owner before demolition commences.
- Any outdoor structures or landscaping marked to be saved, shall be protected, fenced and/or covered to avoid damage.
- All demolition material shall be transported off site and properly disposed of at city-approved locations by the contractor.
- Contractor to verify dumpster location with Architect before demolition commences.
- Contractor shall also refer to floor plans and other construction plans for new work to be incorporated into the project and to proceed with demolition accordingly.
- Carefully remove structure as shown on plan. Remove all materials carefully to avoid damage to adjacent surfaces.
- Contractor shall notify architect if any of the exposed wood shows evidence of active decay, leaks, termites or dry rot.
- Prepare existing window framing openings (to remove) to receive new window units. See new floor plan and elevations for new window size.
- When demolition is complete, the structure and site shall be broom clean and ready to receive new work.
- Remove all existing landscape and tree roots within 3 feet of the outline of new structure. If the removal of tree roots produces potentially unstable trees, the contractor shall immediately contact a tree specialist to make a recommendation.
- Demolition of openings in roof and exterior walls shall be covered each night with plastic tarp and secured to prevent water and dust from entering the building.
- Existing floors shall be covered during construction. Openings shall be roped and sealed to walls at edges of construction zone to minimize dust. Temporary walls shall be built and sealed if needed or above as plans.
- Should any portion of the structure being removed produce unstable or unsafe conditions the contractor shall provide shoring and bracing.
- Existing FAU & Water Heater shall be turned off and salvaged units removed and stored for reuse. Existing natural gas service shall be turned off and lines temporarily capped at residences.
- Electrical service shall be turned off at residence and provisions for temporary power made during construction.
- Please be advised this is a remodel project. Concealed conditions of all types shall be taken into account and verified prior to completion of final project bid.
- Contractor shall verify in the field the condition of all foundations, stem walls, all attachments, pier-footing conditions and attachment to framing. Deficiencies, cracks or other structural issues in foundations or footings or lack thereof shall be brought to the attention of the Architect and Structural Engineer.
- Existing framing and floor surfaces may be out of plumb and not level. They shall be inspected and made plumb and leveled upon notification to the Architect and a written approval has been documented. Wood framing adjacent to soil may be concentrated and modifications and/or protection measures shall be taken.
- Elevation changes between door openings and adjacent grade shall be verified in the field. Contractor shall, if discrepancies exist between field conditions and plans, notify the Architect to make modifications and/or other corrective measures.
- If wells report or survey are not included with this set of documents, the Architect will not be held responsible for any changes, modifications, ordered reports or survey or other additional issues caused by lack of information from those documents.
- Existing slab to be demolished and replaced with 3000 PSI concrete per structural foundation plans, see sheet SS.

COASTAL PROJECTS ADDITIONAL NOTES

- This is a COASTAL PROJECT. No exterior walls shall be demolished other than those specified on the demolition sheet without prior written instruction from Architect.
- It is the General Contractors sole responsibility that all existing wall shown to remain shall be protected and maintained at all times during the project construction.

DEMOLITION LEGEND

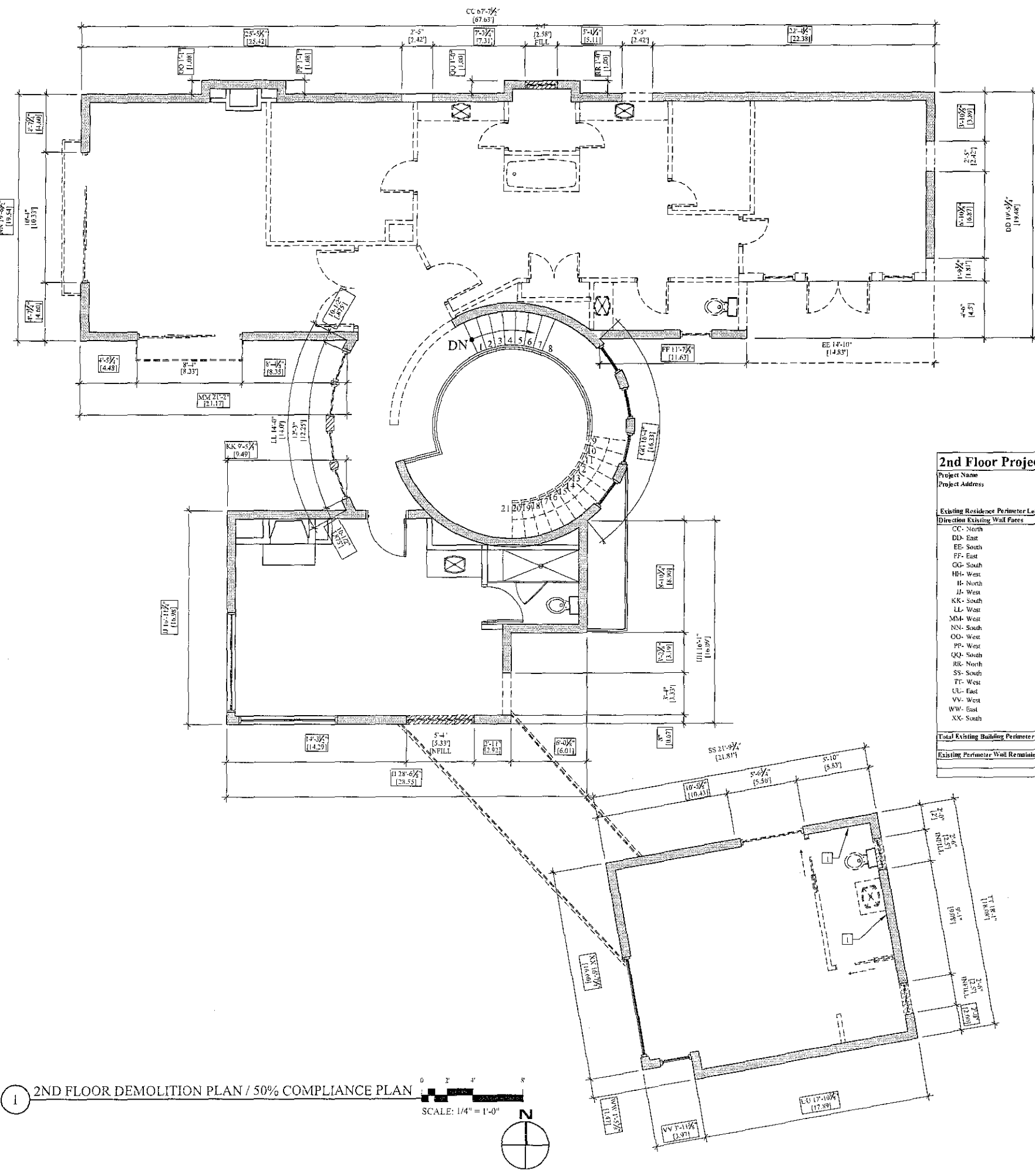
- [Solid line] EXISTING EXTERIOR PERIMETER WALLS TO REMAIN
- [Dashed line] EXISTING WALLS TO BE REMOVED
- [Hatched box] EXISTING WALL TO REMAIN. OPENING TO BE INFILLED
- [Dimension line with 'S'] INDICATES DIMENSION OF EXISTING WALLS THAT REMAIN IN PLACE
- [Dimension line with 'R'] INDICATES DIMENSION OF EXISTING WALLS TO BE REMOVED
- [Dotted line] PERIMETER OF NEW WALLS
- [Solid line] PERIMETER OF NEW WALLS
- [Hatched box] AREA OF SLAB TO BE DEMOLISHED
- [Dimension line with 'P'] DECIMAL FEET VALUE FOR USE IN CALCULATING EXTERIOR WALL MATRIX

DEMÓ KEYNOTES

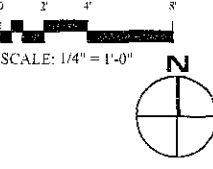
- [Box with '1'] EXISTING EXTERIOR WALL TO REMAIN AS INTERIOR WALL

2nd Floor Project Perimeter Calculation Worksheet

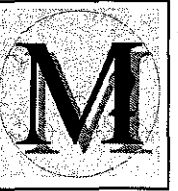
Project Name: BC Camino LLC 6106 Camino De La Costa La Jolla, CA 92037			
Existing Resident Perimeter Lengths			
Direction Existing Wall Faces	Existing Length	Length Remaining	Length Removed
CC- North	67.63 LF	63.79 LF	4.84 LF
DD- East	19.48 LF	15.23 LF	4.23 LF
EE- South	14.83 LF	0.00 LF	14.83 LF
FF- East	11.63 LF	11.63 LF	0.00 LF
GG- South	16.33 LF	16.33 LF	0.00 LF
HH- West	16.09 LF	12.76 LF	3.33 LF
II- North	28.55 LF	28.55 LF	0.00 LF
JJ- South	16.98 LF	16.98 LF	0.00 LF
KK- West	9.39 LF	9.39 LF	0.00 LF
LL- West	14.06 LF	1.75 LF	12.31 LF
MM- West	21.17 LF	21.17 LF	0.00 LF
NN- South	19.54 LF	19.54 LF	0.00 LF
OO- West	1.08 LF	1.08 LF	0.00 LF
PP- West	1.08 LF	1.08 LF	0.00 LF
QQ- South	1.00 LF	1.00 LF	0.00 LF
RR- North	1.00 LF	1.00 LF	0.00 LF
SS- South	21.81 LF	10.43 LF	11.38 LF
TT- West	18.08 LF	2.00 LF	16.08 LF
UU- East	17.89 LF	17.89 LF	0.00 LF
VV- West	3.97 LF	3.97 LF	0.00 LF
WW- East	1.47 LF	1.47 LF	0.00 LF
XX- South	16.60 LF	16.60 LF	0.00 LF
Total Existing Building Perimeter Length	339.79 LF	272.76 LF	66.94 LF
Existing Perimeter Wall Remaining	272.76 LF		
	80% Percentage of Existing Perimeter Wall Which Remains		
	50% of Existing wall must remain to qualify for coastal exemption		



1 2ND FLOOR DEMOLITION PLAN / 50% COMPLIANCE PLAN

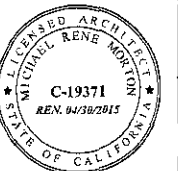


X:\3009 Project\2009-36 BC Camino LLC\2014\11\10\working\Architectural\2014\2nd Floor\2014\11\10\2nd Floor Demolition Plan.dwg (12/26/14) 11:11 AM



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA



All design, title and arrangement is contained on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical or electronic consent or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

BC CAMINO LLC
6106 CAMINO DE LA COSTA
LA JOLLA, CA 92037

06-03-13 (1st Coastal) Submittal
10-02-13 (2nd Coastal) Submittal
12-02-13 (3rd Coastal) Submittal
01-27-14 (4th Coastal) Submittal
05-05-14 (Ecology) Submittal
07-02-14 (Geology) Resubmittal
08-12-14 Planning Resubmittal

PHASE COASTAL

PROJECT NO. 2009-36

REVIEWED BY CAM

DRAWN BY MJG

DATE 08-12-2014

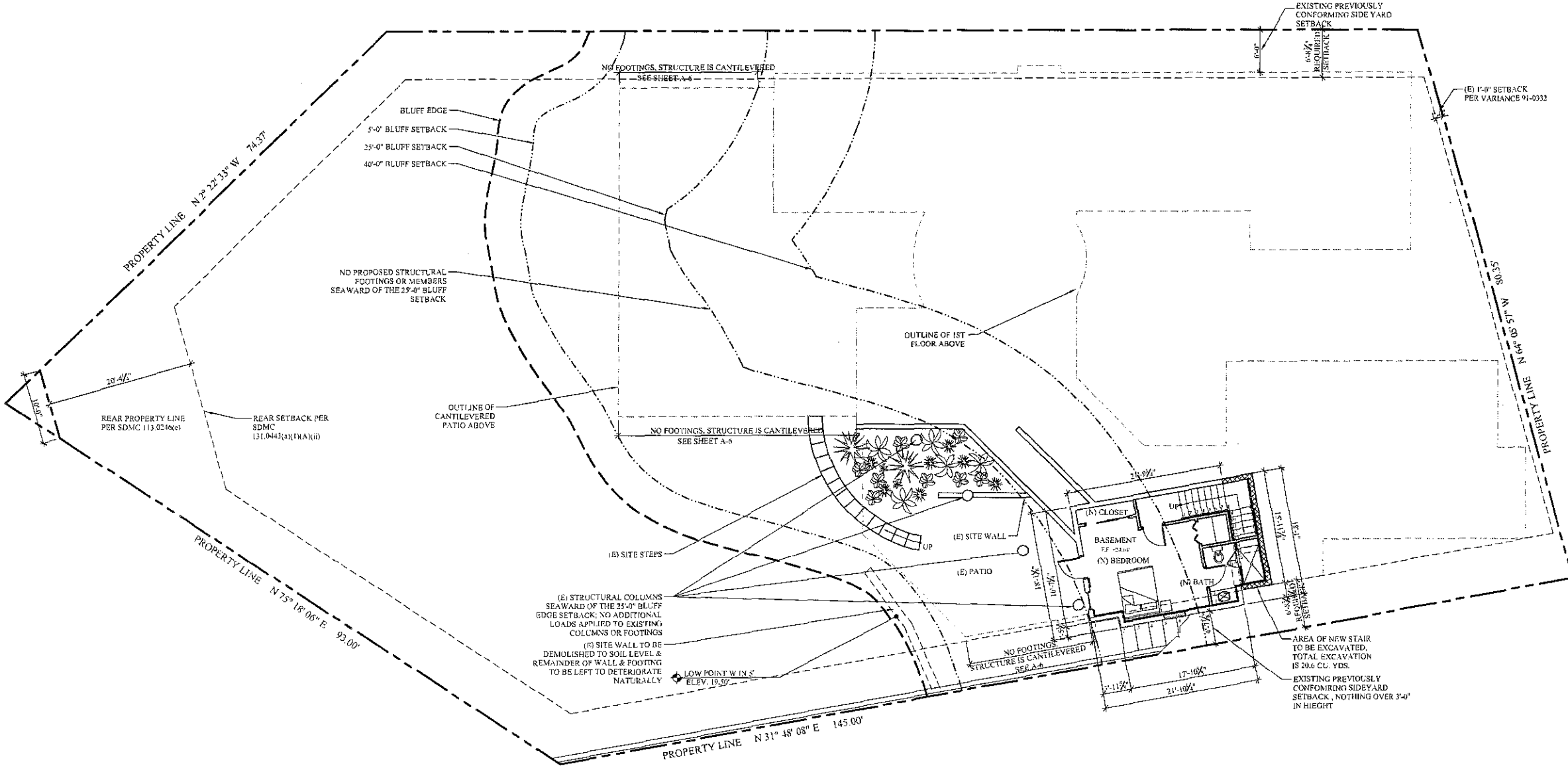
Marengo Morton Architects, Inc. is not responsible for any errors, omissions, or inaccuracies in these drawings or specifications. It is the responsibility of the client to verify all information and conditions in the field before construction begins. No field changes or modifications shall be made without the written approval of the architect. The architect's responsibility is limited to the design and construction of the project as shown on these drawings and specifications. The architect does not warrant the accuracy or completeness of the information provided by the client or other sources. The architect's liability is limited to the design and construction of the project as shown on these drawings and specifications. The architect does not warrant the accuracy or completeness of the information provided by the client or other sources.

SHEET TITLE PROPOSE BASEMENT FLOOR

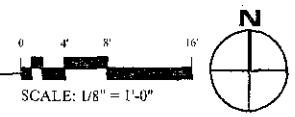
A-2.4

SHEET 9 OF 18

Attachment 5
Project Plans
Page 7 of 18



1 PROPOSED BASEMENT FLOOR PLAN



FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows, See Schedules On Sheet A-8.1
- D. For Interior Finish, See Schedule On Sheet A-8.2
- E. For Lighting/RCP, See A-3.1 to A-3.2; For Electrical, See E-1.1 to E-1.4
- F. For Demolition, See Sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures, See Schedule on Sheet 8.2
- H. INSULATION: R-15 Batt Insulation At All New Exterior 2X4 Walls.
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas
R-13 Batt Insulation at all accessible interior walls for sound control.
R-30 Batt Insulation at Ceiling & Roof Areas.
R-4.5 Insulation Wrap On All New Hot Water Piping.
R-4.5 Insulation Wrap On All New Supply Ducts.
- I. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- J. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- L. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- M. WATER HEATER: New Aquastar 240Exng instant gas water heater, .81 EF (or eq) typ of 1. TANKLESS
- N. HVAC: New Rheem RGP110N/AMER, 80,000 BTU gas FAU, .80 AFUE (or eq) typ of 1

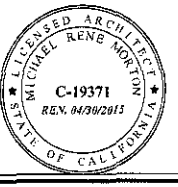
FLOOR PLAN LEGEND

	NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.		NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
	NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE		EXISTING STRUCTURE DIMENSION
	NEW 4" CONCRETE WALL		PROPOSED STRUCTURE DIMENSION
	EXISTING 8" CONCRETE WALL		EXTERIOR WALL DIMENSIONS TO FACE OF STUD EDTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.
	ONE HOUR CONSTRUCTION 2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE, SEE DETAIL 5/A10.3.		FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
	NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1		FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
	NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1		
	SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS		

V:\2009 Projects\2009-36 BC Camino LLC\Architectural Plans\Sheet\A-2.4_Prop_Bldg_Aug_12_2014.rvt



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo Desa



All design, fees and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all their resolution.

BC CAMINO LLC
 6106 CAMINO DE LA COSTA
 LA JOLLA, CA 92037

REVISIONS
 06-03-11 1ST Coastal Submittal
 08-03-11 2ND Coastal Submittal
 12-05-11 3RD Coastal Submittal
 01-27-12 4TH Coastal Submittal
 06-03-12 5TH Coastal Submittal
 07-06-12 6TH Coastal Submittal
 08-12-12 Planning Resubmittal

PHASE **COASTAL**

PROJECT NO. **2009-36**

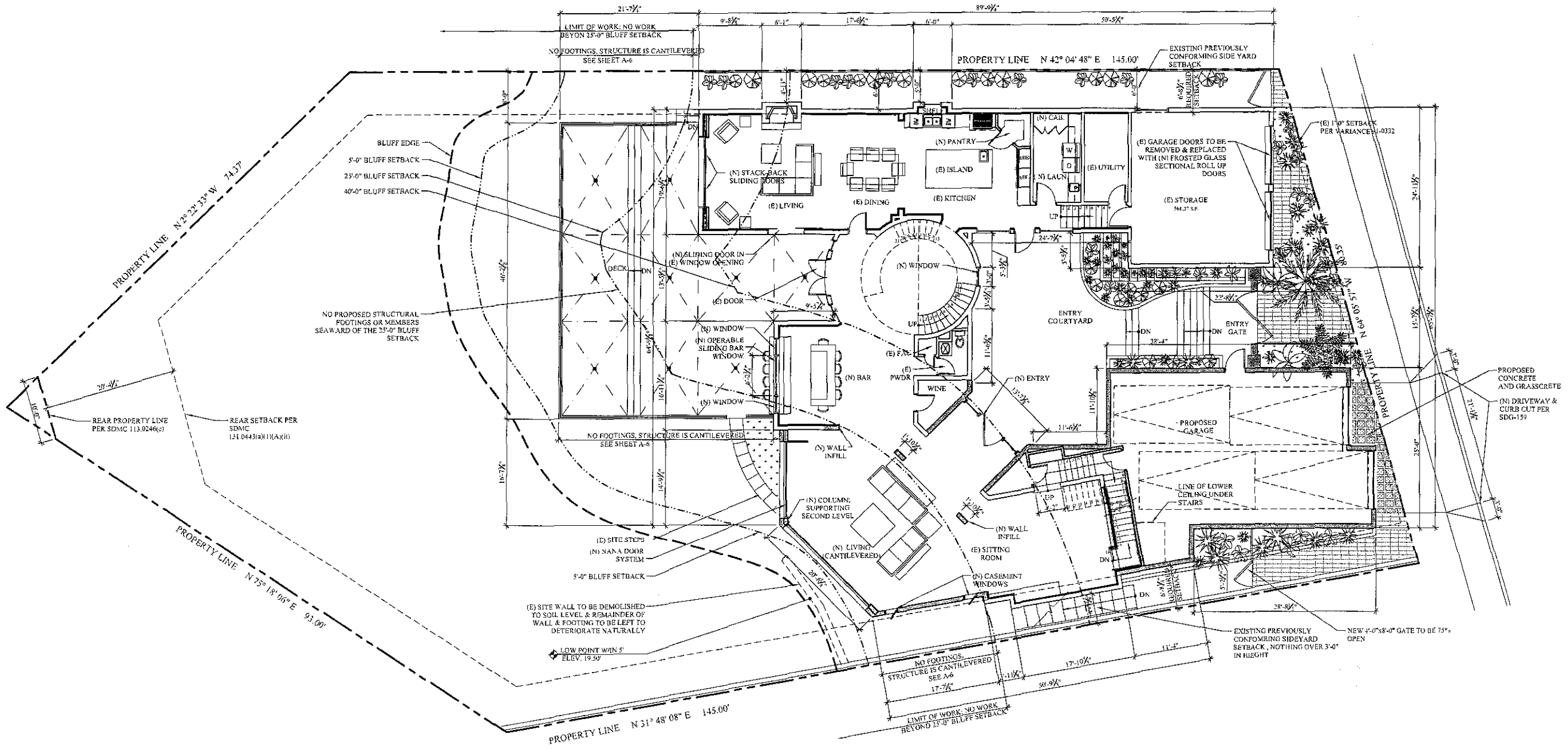
REVIEWED BY **CAM**

DRAWN BY **MJG**

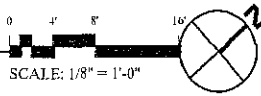
DATE **08-12-2014**

Sheets: 10 OF 18
 SHEET TITLE: **PROPOSED FIRST FLOOR PLAN**

A-2.5
 SHEET 10 OF 18



1 PROPOSED FIRST FLOOR PLAN

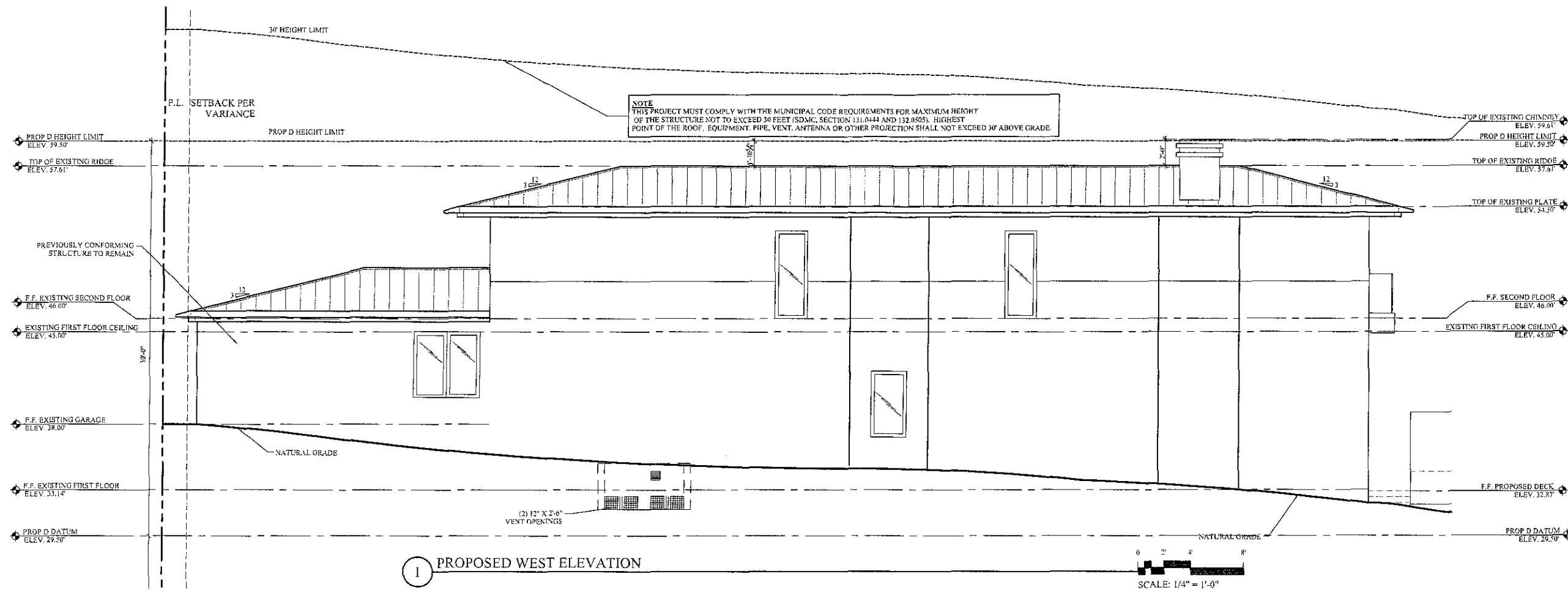


FLOOR PLAN NOTES

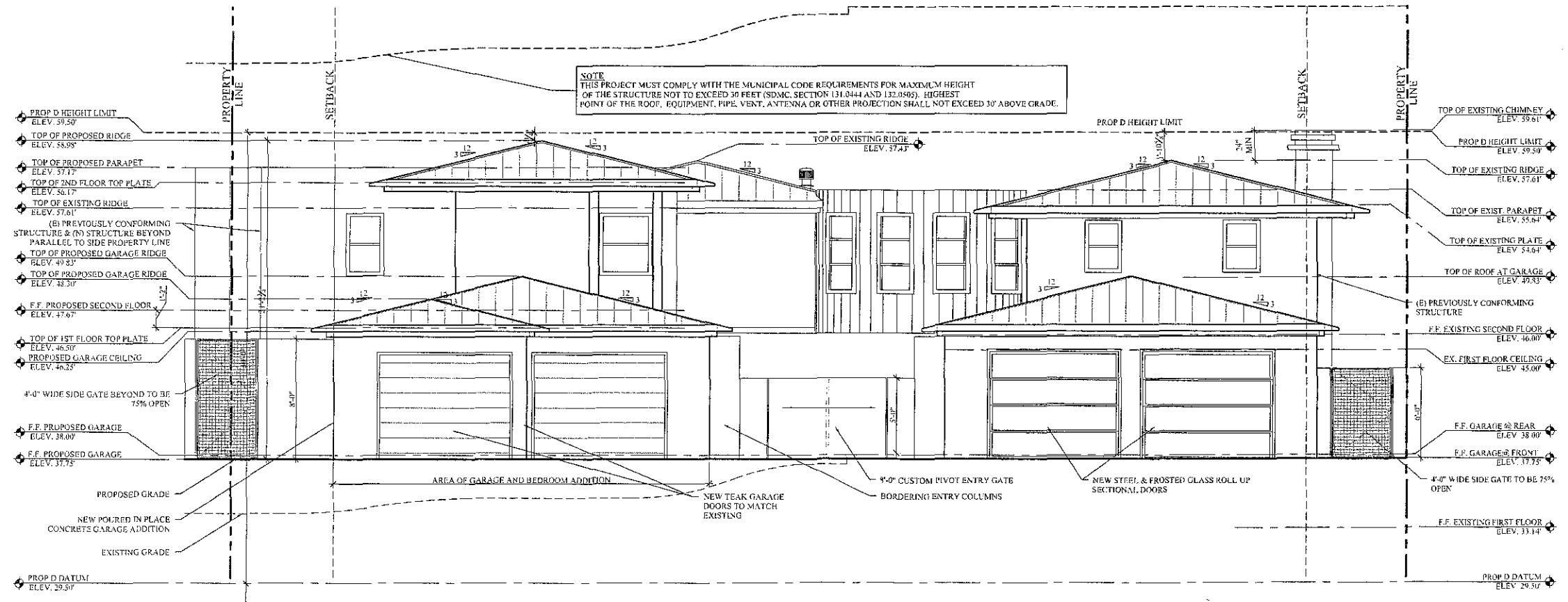
- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows, See Schedules On Sheet A-8.1
- D. For Interior Finish, See Schedule On Sheet A-8.2
- E. For Lighting/RCP, See A-3.1 to A-3.2; For Electrical, See E-1.1 to E-1.4
- F. For Demolition, See Sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures, See Schedule on Sheet R.2
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.
 R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas
 R-13 Batt Insulation at all accessible interior walls for sound control.
 R-30 Batt Insulation at Ceiling & Roof Areas.
 R-4.5 Insulation Wrap On All New Hot Water Piping.
 R-4.5 Insulation Wrap On All New Supply Ducts.
- I. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- J. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- L. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- M. WATER HEATER: New Aquasart 240 (xng) instant gas water heater, .81 EF (or eq) typ of 1, TANKLESS
- N. HVAC: New Rheem RGP110NA.MER, 80,000 BTU/gas FUAU, .80 AFUE (or eq) typ of 1

FLOOR PLAN LEGEND

- NEW 2X4 STUD WALL @ 16" O.C. W PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
- NEW 2X6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
- NEW 8" CONCRETE WALL
- EXISTING 8" CONCRETE WALL
- ONE HOUR CONSTRUCTION
 2X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE DETAIL. SAI10.3.
- NEW DOORS AND DOOR SYMBOL. SEE SCHEDULE ON AS.1
- NEW WINDOW AND WINDOW SYMBOL. SEE SCHEDULE ON AS.1
- SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP. VERIFY IN FIELD FOR EXISTING CONDITIONS
- NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- EXISTING STRUCTURE DIMENSION
- PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD-FDTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.
- FLOOR DRAIN (FD) SLOPE 1/2" PER 1'-0"
- FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS



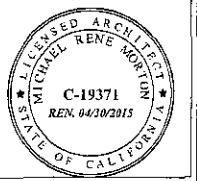
1 PROPOSED WEST ELEVATION



2 PROPOSED NORTH ELEVATION



Marengo Morton Architects
 7724 Girard Ave.
 La Jolla, CA 92037
 Tel. (858) 459-3769
 Fax. (858) 459-3768
 Michael Morton AIA
 Claude Anthony Marengo Desa



All design, plans and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the express consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute acceptance of all these restrictions.

BC CAMINO LLC
 6106 CAMINO DE LA COSTA
 LA JOLLA, CA 92037

REVISIONS
 06-07-13 1ST Coastal Submittal
 10-03-13 2ND Coastal Submittal
 12-02-13 3RD Coastal Submittal
 01-27-14 4TH Coastal Submittal
 06-05-14 (Geology) Submittal
 07-06-14 Geology Resubmittal
 08-12-14 Permit Resubmittal

PHASE
 COASTAL

PROJECT NO. 2009-36

REVIEWED BY: CAM

DRAWN BY: MJG

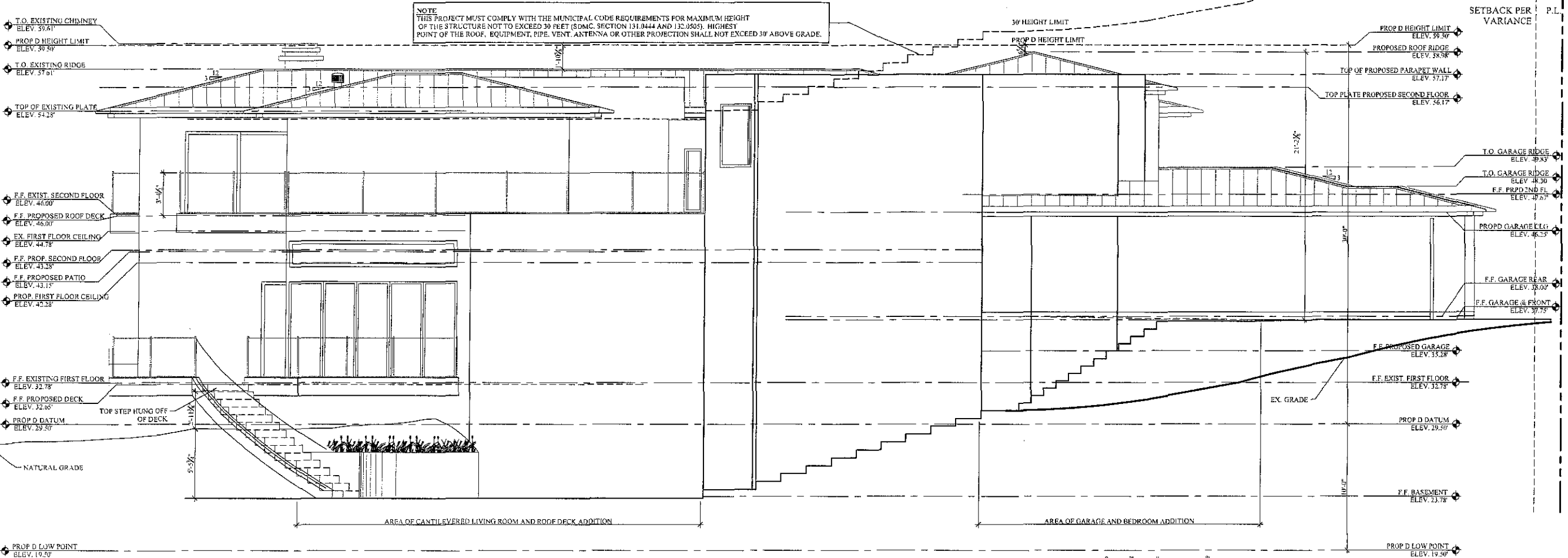
DATE: 08-12-2014

ATTORNEY: [Small text regarding legal disclaimer]

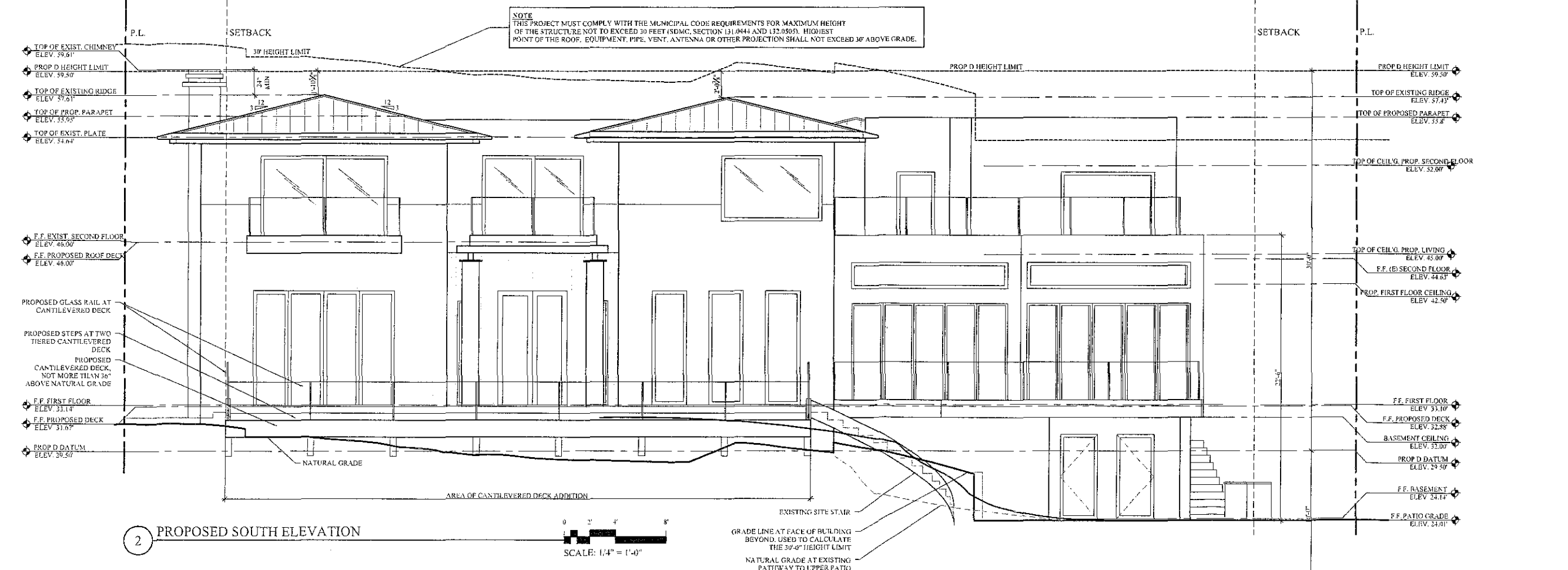
SHEET TITLE: PROPOSED NORTH & EA ELEVATION

A-5.1
 SHEET 13 OF 18

Attachment 5
 Project Plans
 Page 11 of 18



1 PROPOSED EAST ELEVATION



2 PROPOSED SOUTH ELEVATION

Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo Desa

REGISTERED ARCHITECT
MICHAEL RENE MORTON
C-19371
REV. 04/30/2013
STATE OF CALIFORNIA

All design, detail and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or omissions from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

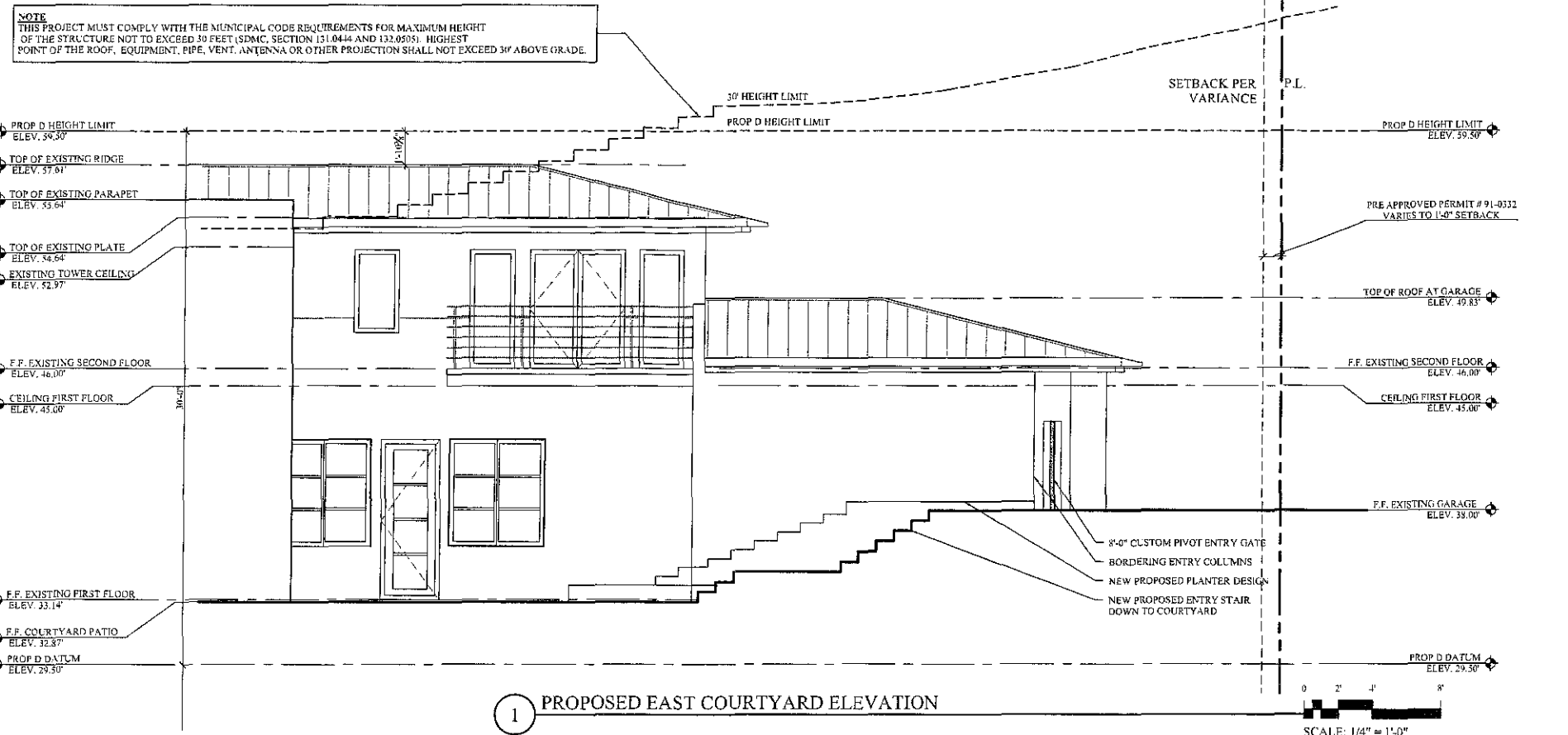
BC CAMINO LLC
6106 CAMINO DE LA COSTA
LA JOLLA, CA 92037

REVISONS

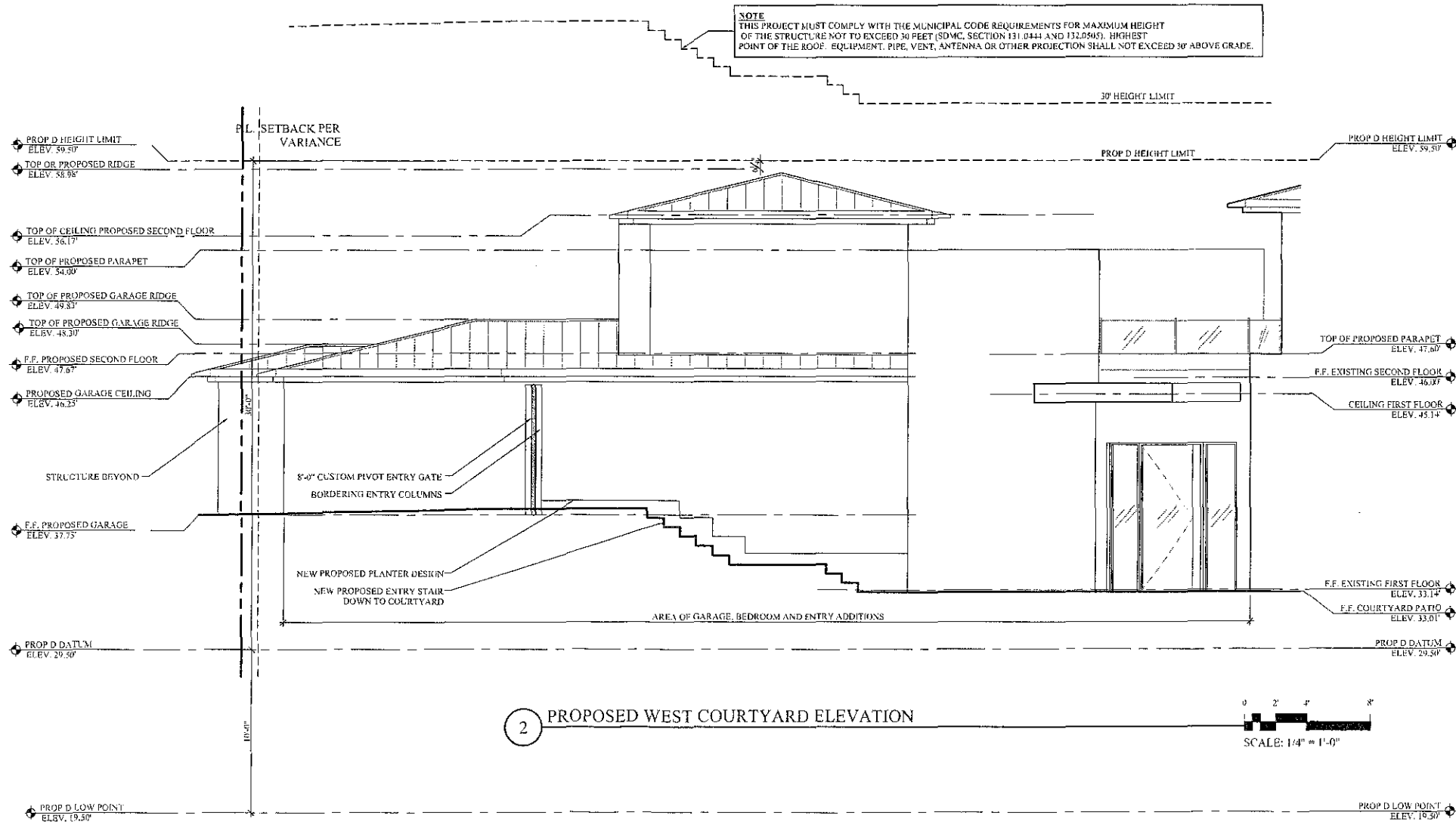
06-03-13	1ST Coastal Submittal
10-03-13	2ND Coastal Submittal
12-02-13	3RD Coastal Submittal
01-27-14	1TH Coastal Submittal
06-05-14	Geology Submittal
07-08-14	Geology Resubmittal
08-12-14	Planning Resubmittal

PHASE: COASTAL
PROJECT NO.: 2009-36
REVIEWED BY: CAM
DRAWN BY: MJG
DATE: 08-12-2014

SHEET TITLE: PROPOSE SOUTH & W. ELEVATIONS
SHEET NO.: A-5.2
SHEET TOTAL: 14 OF 18



1 PROPOSED EAST COURTYARD ELEVATION



2 PROPOSED WEST COURTYARD ELEVATION



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo Desa



All design ideas and arrangements indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and are specific to the project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these restrictions.

BC CAMINO LLC
6106 CAMINO DE LA COSTA
LA JOLLA, CA 92037

REVISIONS
06-03-13 1ST Coastal Submittal
12-03-13 2ND Coastal Submittal
01-27-14 3RD Coastal Submittal
06-25-14 4TH Coastal Submittal
07-08-14 5TH Coastal Submittal
08-12-14 Planning Resubmittal

PHASE COASTAL

PROJECT NO. 2009-36

REVIEWED BY CAM

DRAWN BY MJG

DATE 08-12-2011

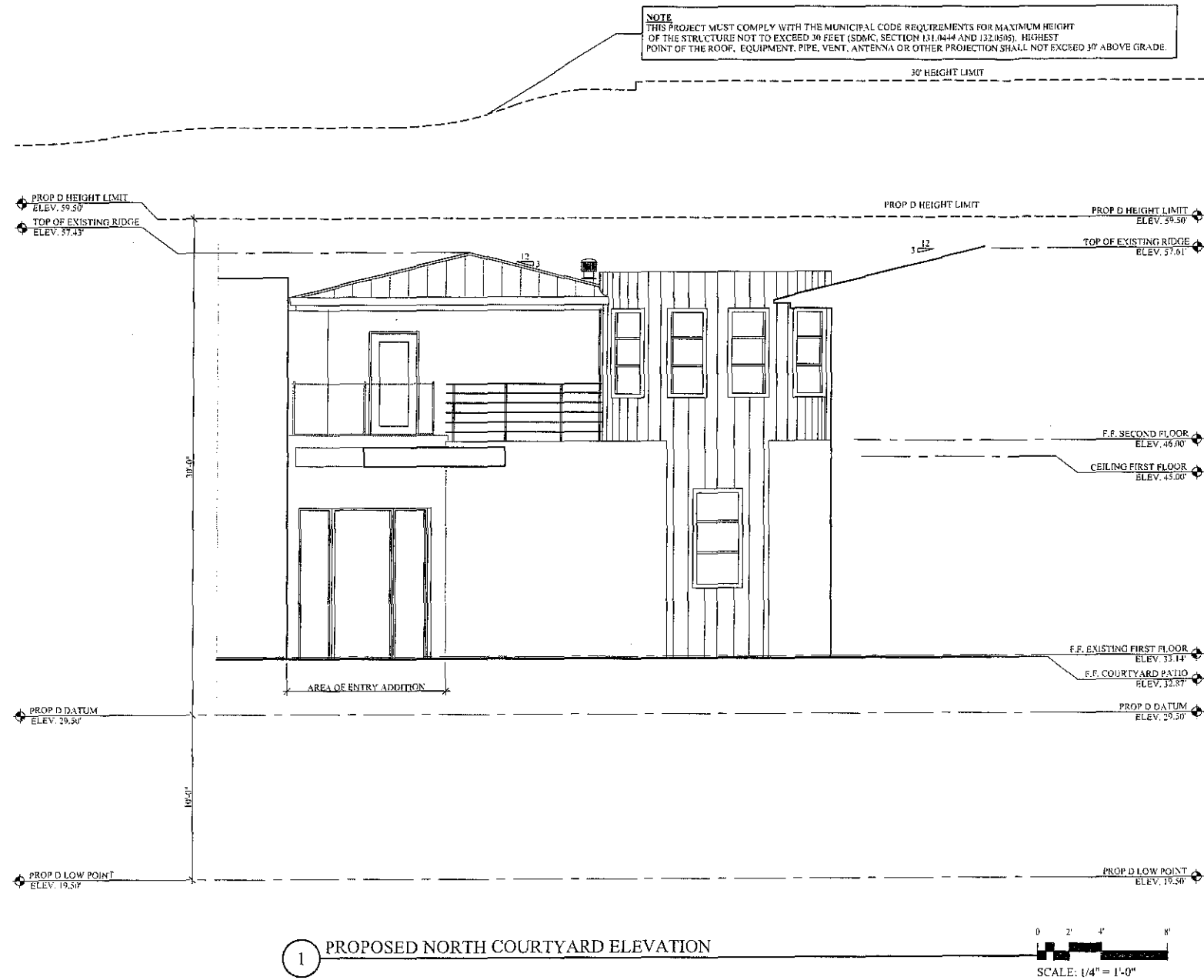
Marengo Morton Architects, Inc. is a professional architectural firm. The drawings are prepared by the architect and are subject to the professional seal and signature of the architect. The drawings are not to be used for any other purpose without the written consent of Marengo Morton Architects, Incorporated. The drawings are the property of Marengo Morton Architects, Incorporated and shall remain the property of Marengo Morton Architects, Incorporated. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Marengo Morton Architects, Incorporated.

SHEET TITLE PROPOSED ENTRY COURTYARD ELEVATIONS

A-5.3
SHEET 15 OF 18

Attachment 5
Project Plans
Page 13 of 18

A:\2009 Projects\2009-36-18-Camino LLC\A-5.4-Proposed North Courtyard Elevation.dwg, Aug. 22, 2014 11:03am



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. No reproduction, publication or re-use by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or omissions from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic copies or use of these drawings and attached specifications shall constitute the acceptance of all these conditions.

BC CAMINO LLC
6106 CAMINO DE LA COSTA
LA JOLLA, CA 92037

REVISIONS
06-03-13 1ST Coastal Submittal
10-02-13 2ND Coastal Submittal
12-02-13 3RD Coastal Submittal
01-27-14 4TH Coastal Submittal
05-05-14 Geology Submittal
07-08-14 Geology Resubmittal
08-12-14 Planning Resubmittal



PLEASE: COASTAL

PROJECT NO. 2009-36

REVIEWED BY: CAM

DRAWN BY: MIG

DATE: 08-12-2014

Marengo Morton Architects, Inc. is a professional corporation, authorized to practice architecture in the State of California. The firm does not discriminate in employment on the basis of race, sex, religion, national origin, or ancestry. It is an equal opportunity employer. All persons are encouraged to apply. Marengo Morton Architects, Inc. is an Equal Opportunity Employer. All persons are encouraged to apply. Marengo Morton Architects, Inc. is an Equal Opportunity Employer. All persons are encouraged to apply.

REPORT TITLE: PROPOSED ENTRY COURTYARD ELEVATIONS

A-5.4

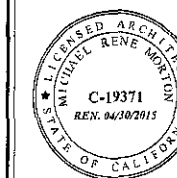
SHEET 16 OF 18



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768

Michael Morton AIA
Claude Anthony Marengo DESA



All design, ideas and arrangements indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any architect, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these conditions.

BC CAMINO LLC
6106 CAMINO DE LA COSTA
LA JOLLA, CA 92037

REVISIONS
06-03-13 1ST Coastal Submittal
10-01-13 2ND Coastal Submittal
12-05-13 3RD Coastal Submittal
01-27-14 4TH Coastal Submittal
08-05-14 Coastal Submittal
07-08-14 Geology Resubmittal
08-12-14 Planning Resubmittal

PHASE COASTAL

PROJECT NO. 2009-36

REVIEWED BY CAM

DRAWN BY MJG

DATE 08-12-201

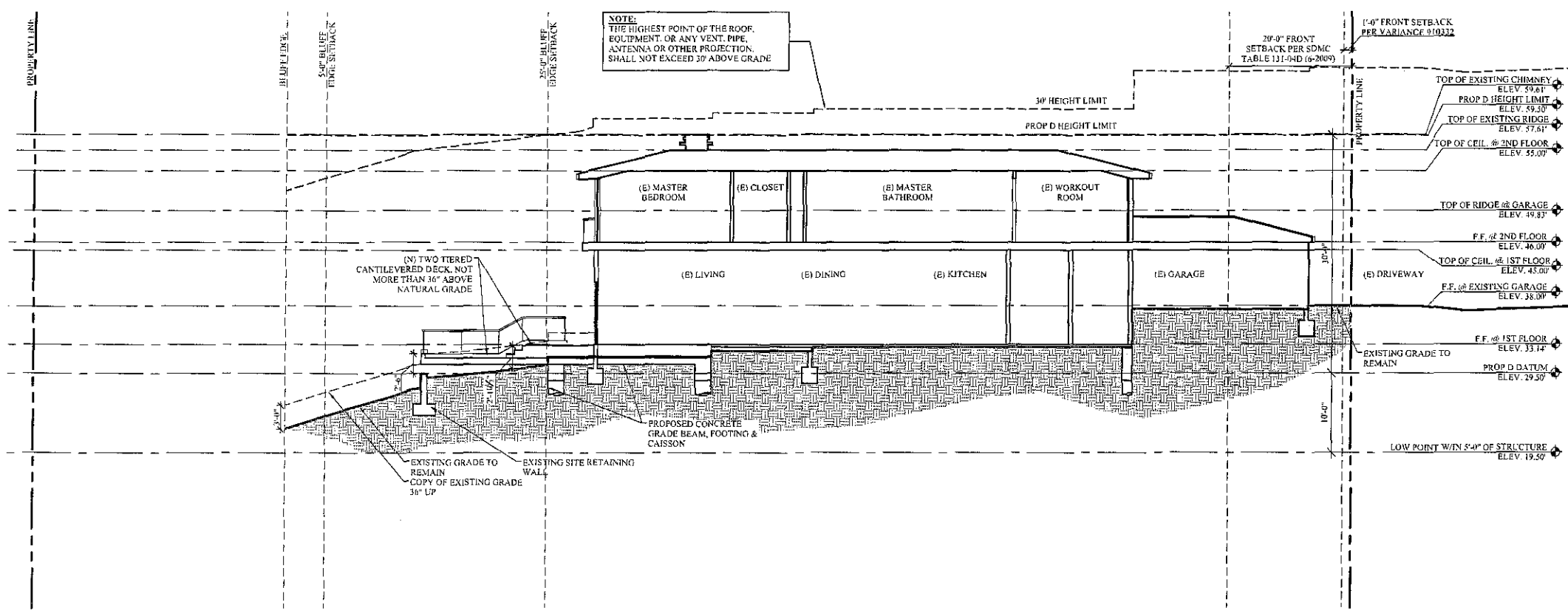
Marengo Morton Architects, Inc. is not responsible for any errors or omissions in these drawings or specifications, or for any consequences arising therefrom, which may be caused by any person or organization other than Marengo Morton Architects, Inc. or its employees, agents, or subcontractors. The user of these drawings and specifications shall be deemed to have accepted the responsibility for any such errors or omissions, and for any consequences arising therefrom. Marengo Morton Architects, Inc. shall not be held responsible for any such errors or omissions, or for any consequences arising therefrom, which may be caused by any person or organization other than Marengo Morton Architects, Inc. or its employees, agents, or subcontractors.

SHEET TITLE PROPOSED BUILDING SECTIONS

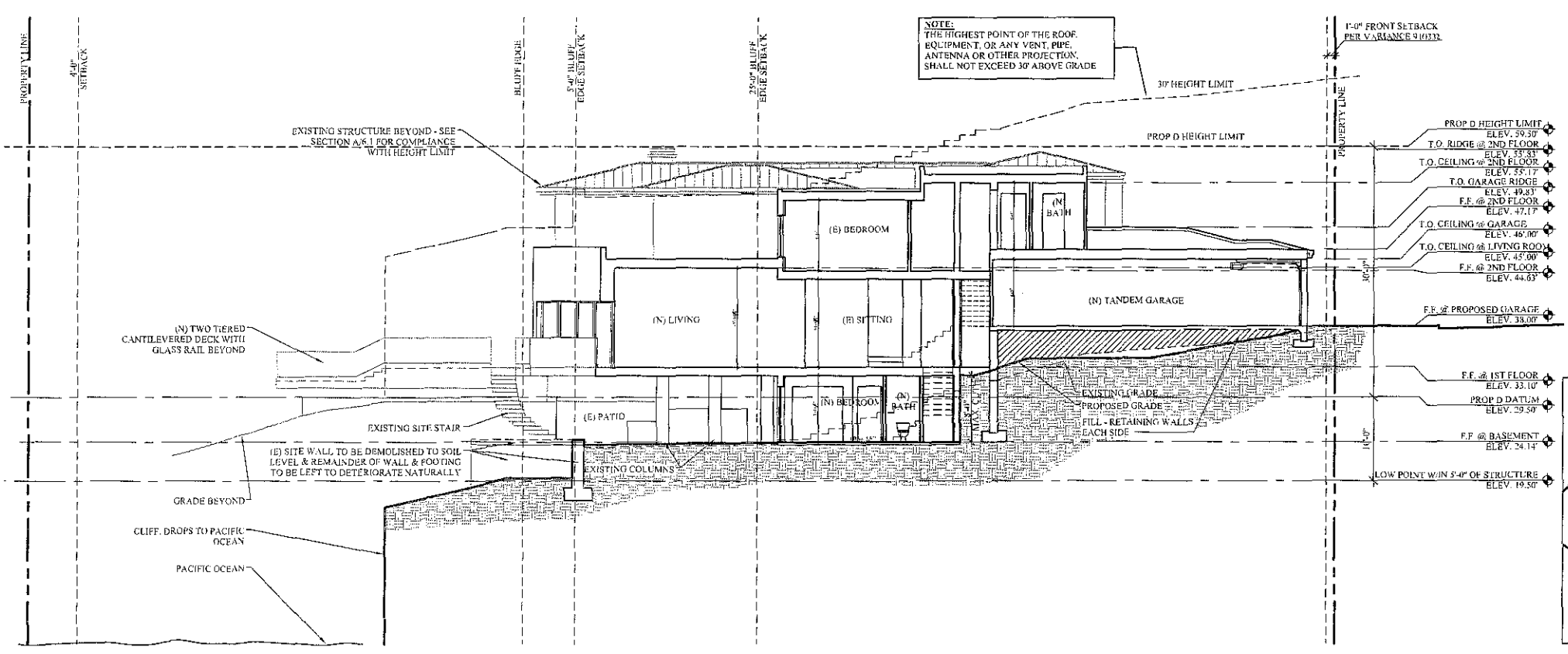
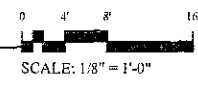
A-6.1

SHEET 17 OF 18

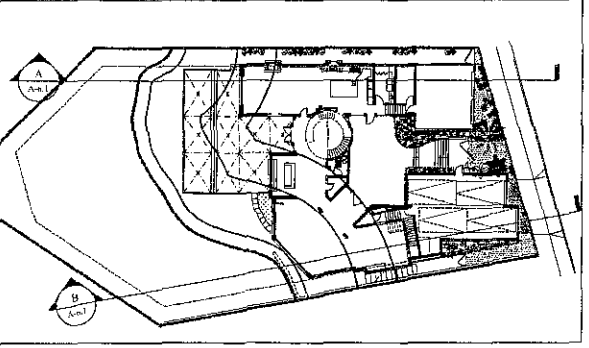
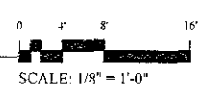
Attachment 5
Project Plans
Page 15 of 18



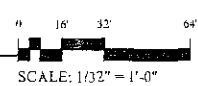
A SITE/BUILDING SECTION



B SITE/BUILDING SECTION

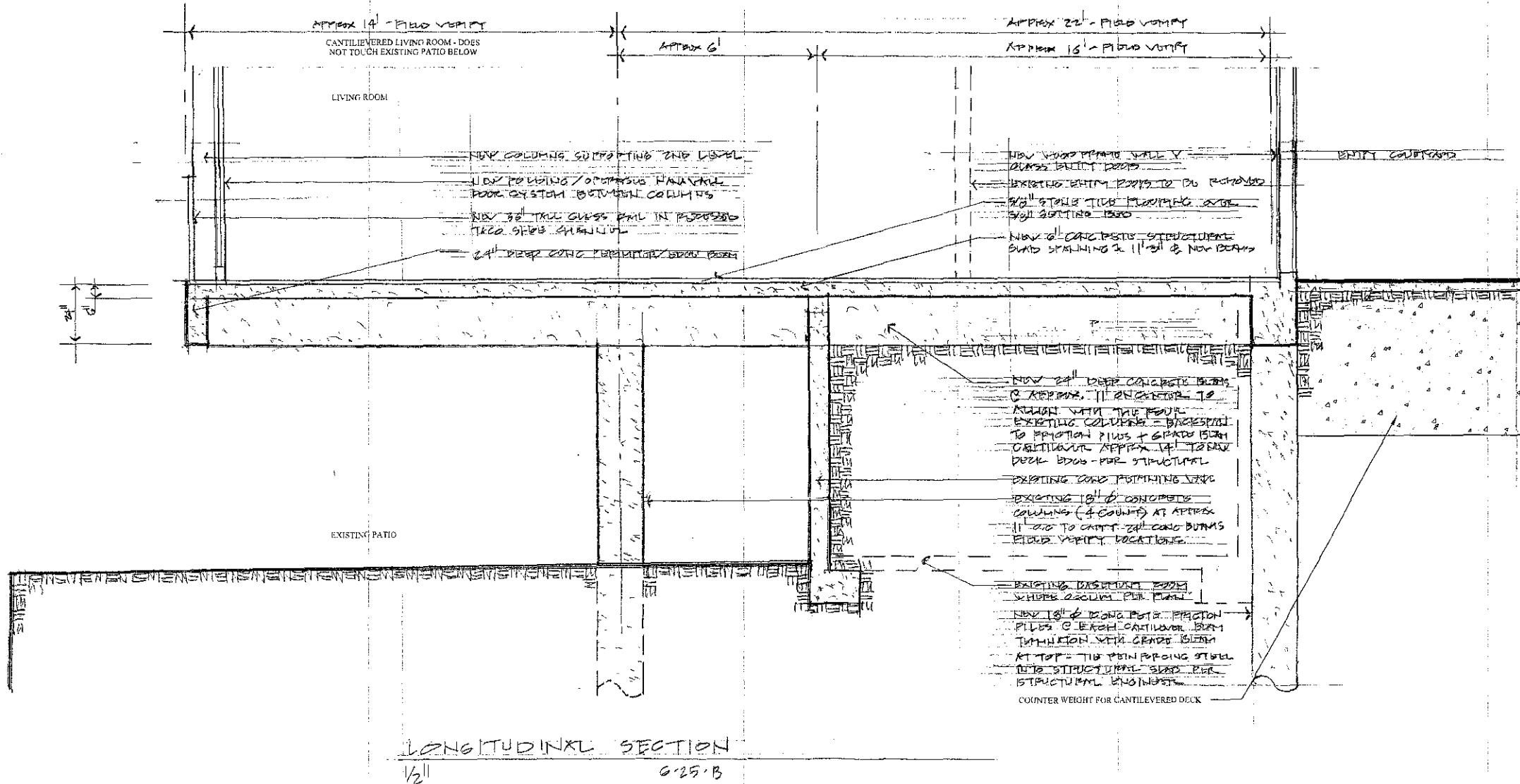


KEY MAP



3:28p Project\2009-36 BC Camino LLC\A-6.1 Building\Architectural\Coastal\Phase\Submittal\A_6.1_SBU_DDMS_1.mxd - Aug 12, 2011 1:44:58pm

1/10/09 Project 2009-36 BC Camino LLC Camino 11 N.V.A.D.D. Drawing: Proposed Coastal Phase 2/09/09, L. S.H. TRANS Transfer Change Plans/09/09 Aug. 12, 2011 11:41:17 AM



Marengo Morton Architects

7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768

Michael Morton AIA
Claude Anthony Marengo DESA



All design, ideas and arrangements as indicated on these drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or accompanying specifications without the written consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic contact or use of these drawings and attached specifications shall constitute the acceptance of all these provisions.

BC CAMINO LLC
6106 CAMINO DE LA COSTA
LA JOLLA, CA 92037

REVISIONS
04-03-13 1ST Coastal Submittal
10-03-13 2ND Coastal Submittal
11-02-13 3RD Coastal Submittal
01-07-14 4TH Coastal Submittal
04-05-14 Coastal Submittal
07-08-14 Coastal Submittal
08-12-14 Planning Resubmittal

PHASE COASTAL

PROJECT NO. 2009-36

REVIEWED BY CAM

DRAWN BY MJG

DATE 08-12-2014

Marengo Morton Architects, Inc. is a professional corporation, duly licensed under the laws of the State of California. The undersigned, Michael Morton, is a duly licensed Architect in the State of California. The undersigned, Claude Anthony Marengo, is a duly licensed Designer in the State of California. The undersigned, Michael Morton, is a duly licensed Architect in the State of California. The undersigned, Claude Anthony Marengo, is a duly licensed Designer in the State of California. The undersigned, Michael Morton, is a duly licensed Architect in the State of California. The undersigned, Claude Anthony Marengo, is a duly licensed Designer in the State of California.

SHEET TITLE PROPOSED BUILDING SECTIONS

A-6.2

SHEET 18 OF 18

Attachment 5
Project Plans
Page 16 of 18

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003804

COASTAL DEVELOPMENT PERMIT NO. 1137216
SITE DEVELOPMENT PERMIT NO. 1358703
BC CAMINO PROJECT NO. 325514
(AMENDMENT TO COASTAL DEVELOPMENT PERMIT/SENSITIVE COASTAL
RESOURCE PERMIT/VARIANCE NO. 91-0332)
HEARING OFFICER

This Coastal Development Permit No. 1137216/Site Development Permit No. 1358703 Amendment to Coastal Development Permit/Sensitive Coastal Resource Permit/Variance No. 91-0332 is granted by the Hearing Officer of the City of San Diego to BC5 CAMINO, LLC, Owner, and, Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone(s) of the La Jolla Community Plan. The project site is legally described as: Lot 11, Block 1A, La Jolla Hermosa, Map No. 1810;

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to remodel an existing 5,948 square-foot single family home by adding room additions, decks and a tandem garage described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 15, 2014, on file in the Development Services Department.

The project shall include:

- a. 949 square-foot addition to the first floor;
- b. 566 square-foot addition to the second floor;
- c. 887 square-foot garage addition;
- d. 69 square-foot basement addition;

- e. Cantilevered deck;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Closure of one existing driveway; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

Attachment 6
Draft Permit with Conditions

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to

control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of the existing driveway with City standard curb, gutter and sidewalk, adjacent to the site on Camino De La Costa, satisfactory to the City Engineer.

13. Prior to issuance of any building permit, the Owner/Permittee shall assure by permit and bond to install a maximum of 12-foot wide City standard driveway, on Camino De La Costa, per Standard Drawing SDG-159, satisfactory to the City Engineer.

14. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb with City standard full-height curb and gutter, along the project frontage on Camino De La Costa, per Standard Drawing SDG-151, satisfactory to the City Engineer.

15. The drainage system for this project shall be private and will be subject to approval by the City Engineer.

16. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix G of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any construction permits for structures, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the

Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

21. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

22. If any landscaping, especially bluff or slope landscaping (including existing or new plantings, hardscape, landscape features, etc.) is damaged or removed during demolition or construction, the Owner/Permittee shall repair and/or replace it in kind and equivalent size to the satisfaction of the Development Services Department within 30 days of damage.

23. The Owner/Permittee shall ensure that all proposed and existing landscaping, especially landscaping adjacent to the coastal bluffs and steep slopes, shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

PLANNING/DESIGN REQUIREMENTS:

24. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

25. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

26. At grade accessory structures and landscape features customary and incidental to residential uses shall not be closer than five feet to the coastal bluff edge, in accordance with the requirements of the Land Development Code.

27. The use of textured or enhanced paving shall meet applicable City standards as to location, noise and friction values.

28. Prior to the issuance of construction permits, the Owners/Permittees shall record a deed restriction preserving a visual corridor 4-feet, 7-inches wide (East) along the side yard running full length of property in accordance with the requirements of the San Diego Municipal Code section 132.0403(b) and identified on exhibit "A" for Coastal Development Permit No. 1137216/Site Development Permit NO. 1358703 dated October 15, 2014.

29. No development shall be permitted on the coastal bluff face.
30. All drainage from the improvements on the premises shall be directed away from any coastal bluff and either into an existing or improved public storm drain system or onto a street developed with a gutter system or public right-of-way designated to carry surface drainage run-off. All drainage from unimproved areas shall be appropriately collected and discharge in order to reduce, control, or mitigate erosion of the coastal bluff.
31. Prior to the issuance of any building permits the Owner/Permittee shall record a deed restriction waving all future rights to shoreline protective devices associated with the subject property.
32. Prior to the issuance of any construction permits, the Owner/Permittee shall execute a Notice of Hazardous Condition-Indemnification and Hold Harmless Agreement for Sensitive Coastal Bluffs in accordance with SDMC section 143.0143, in a form and content acceptable to the Director of the Development Services Department, or designated representative, which shall provide: (a) that the Owner/Permittee understands that new accessory structures or landscape features customary and incidental to residential uses are prohibited within 5 feet of the Coastal Bluff Edge or on the face of the Bluff, as illustrated on approved plan Exhibit "A;" (b) that the Owner/Permittee understands that the site may be subject to extraordinary hazard from coastal bluff erosion, and the Owner/Permittee assumes all liability from such hazards; and (c) the Owner/Permittee unconditionally waives any claim of liability against the City of San Diego and agrees to defend, indemnify, and hold harmless the City of San Diego and its advisors relative to the City of San Diego's approval of the project and for any damage due to natural hazards. This Notice of Hazardous Conditions-Indemnification and Hold Harmless Agreement shall be recorded against title to the property and shall run with the land, binding upon all successors and assigns.

GEOLOGY REQUIREMENTS

33. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of

**Attachment 6
Draft Permit with Conditions**

the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Development Services Department of the City of San Diego on October 15, 2014

DRAFT

**Attachment 6
Draft Permit with Conditions**

Permit Type/PTS Approval No.: CDP No. 1137216/SDP No. 1358703
Date of Approval: October 15, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By _____
BC5 CAMINO, LLC

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO. XXXXXX
COASTAL DEVELOPMENT PERMIT NO. 1137216
SITE DEVELOPMENT PERMIT NO. 1358703
BC CAMINO PROJECT NO. 325514

WHEREAS, BC5 CAMINO, LLC Owner/Permittee, filed an application with the City of San Diego for a permit to remodel an existing single family home by adding room additions, decks and a tandem garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 1137216/Site Development Permit No. 1358703), on a portions of a 0.38-acre site;

WHEREAS, the project site is located at 6106 Camino De La Costa in the RS-1-5 zone(s) of the La Jolla Community Plan;

WHEREAS, the project site is legally described as Lot 11, Block 1A. La Jolla Hermosa, Map No. 1810;

WHEREAS, on October 15, 2014, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1137216 pursuant to the Land Development Code of the City of San Diego;

The City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303(a) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated October 15, 2014.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

**Attachment 7
Draft Resolution with Findings**

All of the proposed development will be contained within the existing disturbed, previously developed and graded site. The project site has no existing physical coastal access used legally or otherwise by the public, nor does it have any public access identified in the Local Coastal Program. The subject property is not identified in the City of San Diego's adopted Local Coastal Program (LCP) Land Use Plan as a public accessway. The project is surrounded by single family homes and the Pacific Ocean to the west. The project is completely contained within the private property, and as such, the project would not encroach upon any existing physical access way.

In accordance with San Diego Municipal Code Section 132.0403(b), there is a potential view to the Pacific Ocean through the side yard of the property. Therefore a deed restriction will be required as a condition of the Coastal Development Permit preserving a visual corridor 4-feet, 7-inches wide (east side yard) running full length of property from Camino De La Costa to the Pacific Ocean. Therefore, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway and will enhance views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

The proposed project is located in a built, urban environment. The project site contains Environmentally Sensitive Lands in the form of Coastal Bluffs. A portion of the existing home currently extends into the 40-foot bluff setback area. A portion of the addition will be located within of the coastal bluff area but within the established footprint of the existing home and will not affect any established view corridors or the coastal bluff face. A cantilever deck will extend above the 25-foot bluff setback area at a maximum height three feet but without penetrating footings into the bluff area. Because of the aforementioned development restrictions to the coastal bluff area, the proposed remodel and building additions including a new deck will not impact environmental resources adjacent and on the site. The project was exempt from the California Environmental Quality Act (CEQA) under section 15303(a). Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

Attachment 7
Draft Resolution with Findings

The proposed project is consistent with the land use designations of the Community Plan by continuing to maintain an existing single family residence without increasing the density range of 5-9 dwelling units per acre as identified within the La Jolla Community Plan. The additions would meet the goals of the La Jolla/Local Coastal Program by maintaining residential development and not interfering with public access or public views to the beaches. The proposed addition will meet the land use regulations of the certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, landscape, and, floor area ratio. Therefore, the proposed development is in conformity with the La Jolla Community Plan and Local Coastal Program and complies with the regulations of the certified Land Development Code.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

The project site is located between the nearest public road and the shoreline of a body of water. The project conforms to the public access and public recreation policies of Chapter 3 of the California Coastal Act as the site does not contain a physical public access way. The project does not propose to encroach into any public access way to the ocean and all improvements and additions will be contained on site. The project is a private development on privately owned land. Therefore, the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Site Development Permit - Section 126.0504

- 1. The proposed development will not adversely affect the applicable land use plan;**

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

The proposed project is consistent with the land use designations of the Community Plan by continuing to maintain an existing single family residence without increasing the density range of 5-9 dwelling units per acre as identified within the La Jolla Community Plan. The additions would meet the goals of the La Jolla/Local Coastal Program by maintaining residential development and not interfering with public access or public views to the beaches. The proposed addition will meet the land use regulations of the

Attachment 7
Draft Resolution with Findings

certified Implementation Program including compliance to the San Diego Municipal Code development regulations to include but not limited to height, landscape, and, floor area ratio. Therefore, the proposed development is in conformity with the La Jolla Community Plan and Local Coastal Program and complies with the regulations of the certified Land Development Code. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

The project was exempt from the California Environmental Quality Act (CEQA) in accordance with section 15301(a) (new construction) which allows for the construction of one single family in a residential zone. The project is adding square footage to an existing single-family residence on a site where there will be no impact sensitive environmental resources.

The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, public improvements, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The permit for the project will require a deed restricting required side yard setback areas to form functional view corridors and prevent future development from obstructing views to the ocean and creating a walled effect. Therefore, the proposed project conforms to the development regulations and will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

The proposed project is located entirely within private property. The project does not exceed the 30 foot height limit and conforms to the required zoning regulations to include parking, wall and fence height, and landscaping. A one-foot front yard setback was established in accordance with CDP/SCR/Variance NO. 91-0223 when the existing home was constructed. The proposed addition will maintain the established front yard setback. Therefore the project is in conformance with the underlying zone and land use plan and is not requesting new deviations or variances to the Land Development Code. The proposed development will comply with the applicable regulations of the Land Development Code.

Supplemental Findings--Environmentally Sensitive Lands

- 1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;**

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

The project site contains Environmentally Sensitive Lands in the form of Coastal Bluffs. A portion of the existing home currently extends into the 40-foot bluff setback area. A portion of the addition will be located within of the coastal bluff area but within the established footprint of the existing home and will not affect any established view corridors. A cantilever deck will extend above the 25-foot bluff setback area at a maximum height three feet but without penetrating footings into the bluff area. The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The project is adding BMP filters to collect all run-off and avoid any potential drainage from happening on the public areas from private improvements. The project site is currently developed with an approximate 5,948-square-foot, two-story, single-family residence. The project site is located in an established urban neighborhood and is supplied with all utilities. The land supports no native vegetation and is not in or adjacent to the City's Multiple Habitat Planning Area. Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

- 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;**

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

It was determined that site is mapped as Geologic Hazard No. 43 which indicates generally unstable, unfavorable jointing, and local high erosion. However, the sites Geotechnical Report dated May 27, 2014 with addendum dated July 10, 2014 by Christian Wheeler Engineering states, that based on the

results from the bluff stability analyses, the existing coastal bluff along the south side of the site is considered to possess minimum factors-of-safety against failure in excess of 1.5, which is the minimum that is generally considered to be stable and there is no undue risk. It's the engineers professional opinion and judgment that the proposed structure will not be subject to significant geologic instability and will not require construction of on shoreline protection measures throughout the economic lifespan of the home. The project is not within a flood overlay zone or a potentially sensitive area for fire hazards. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

The project site contains Environmentally Sensitive Lands in the form of Coastal Bluff. The proposed development will takes place entirely within private property and not encroach on to the coastal bluff or any environmentally sensitive lands. The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The project is adding BMP filters to collect all run off and avoid any potential drainage from spilling on to the public areas from private improvements. Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA). Therefore the project is not inconsistent with the City's MSCP.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

Attachment 7
Draft Resolution with Findings

The proposed development takes place entirely within private property. The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The project is adding catch basins and BMP filters to collect all runoff and avoid any potential drainage from happening on to the public areas from private improvements. Due to the nature of the existing site the project will be excavating 20.6 cubic yards with a net import or of 65.9 cubic yards. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The project proposes a Coastal Development Permit/Site Development Permit (Amendment to CDP/SCR/Variance No. 91-0332) to remodel an existing 5,948 square-foot single family home to include a 949 square-foot addition to the first floor, 566 square-foot addition to the second floor, 887 square-foot garage addition, 69 square-foot basement addition, cantilevered deck, and the closure of one driveway. The 0.38-acre site is located at 6106 Camino De La Costa in the RS-1-5 zone of the La Jolla Community Plan.

The project was exempt from the California Environmental Quality Act (CEQA) in accordance with section 15301(a) (new construction) which allows for the construction of one single family in a residential zone. The project is adding square footage to an existing single-family residence on a site where there will be no impact to sensitive environmental resources.

The permit controlling this development contains conditions addressing compliance with the City's regulations and other regional, State and Federal regulations to prevent detrimental impacts to the health, safety, and welfare of persons residing in the area. These conditions address requirements relating to storm water runoff, runoff during construction, and landscaping. All Uniform Building, Fire, and Mechanical Codes governing the construction and continued operation of the development will apply to this site to prevent adverse affects to those persons or other properties in the vicinity. The project proposes catch basins and BMP filters to collect all run-off and avoid any potential drainage from happening on to the public areas from private improvements. A deed restriction will be required as a condition of the Coastal Development Permit preserving a visual corridor 4-feet, 7-inches wide (East side yard) running full length of property in accordance with the requirements of the San Diego Municipal Code section 132.0403(b) and identified on exhibit "A" for Coastal Development Permit No. 1137216/Site Development Permit NO. 1358703 dated October 15, 2014. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

**Attachment 7
Draft Resolution with Findings**

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Costal Development Permit No. 1137216/Site Development Permit No. 1358703 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Costal Development Permit No. 1137216/Site Development Permit No. 1358703, a copy of which is attached hereto and made a part hereof.

William Zounes
Development Project Manager
Development Services

Adopted on: October 15, 2014

Job Order No. 24003804



PO BOX 889
LA JOLLA
CALIFORNIA 92038

LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900

<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 5 December 2013

Attention: Sandra Teasley, PM
City of San Diego

Project: BC Camino
6106 Camino De La Costa
PN: 325514

Motion: To accept the recommendation of the DPR Committee:
That Findings can be made for an amendment to the
Coastal Development Permit and Site Development
Permit and Variance (Process 3) to amend CDP, SCR &
Variance 91-0332 for an addition to a single-family
residence 6-0-1

Vote: 17-0-1

A handwritten signature in black ink, appearing to read "Tony Crisafi".

11 December 2013

Submitted by: Tony Crisafi, President
La Jolla CPA

Date



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title _____ Project No. For City Use Only _____

BC Camino

325514

Project Address:

6106 Camiono de la Costa, La Jolla, CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Project Title: BC Camino	Project No. (For City Use Only) <u>325514</u>
-----------------------------	--

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. 200929310128
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print): <u>BC5 Camino</u> <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: <u>402 W. Broadway, Suite 1320</u> City/State/Zip: <u>San Diego, CA 92101</u> Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): <u>Bruce Tabb</u> <u>Managing Member</u> Title (type or print): <u>As Title 5-2-13</u> Signature : _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____
Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____	Corporate/Partnership Name (type or print): _____ <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: _____ City/State/Zip: _____ Phone No: _____ Fax No: _____ Name of Corporate Officer/Partner (type or print): _____ Title (type or print): _____ Signature : _____ Date: _____

Recording requested by
and mail to:
City of San Diego
Planning Department
202 C Street, M.S. 4A
San Diego, CA 92101-3864

TO: COUNTY RECORDER, PLEASE
RESTRICTION ON USE OR DEVELOPMENT
OF REAL PROPERTY AFFECTING THE TITLE
OR POSSESSION THEREOF.

Attachment 10
CDP/SCR/Variance 91-.0332
Page 1 of 10

COASTAL DEVELOPMENT PERMIT, SENSITIVE COASTAL RESOURCE AND
VARIANCE NO. ~~91-0332~~
FOXLEY RESIDENCE
PLANNING DIRECTOR

This Coastal Development Permit, Sensitive Coastal Resource and Variance No. 91-0332 is granted by the Planning Director of the City of San Diego to William C. Foxley, Owner/Permittee, pursuant to Section 105.0201 of the Municipal Code of the City of San Diego.

1. Permission is hereby granted to Owner/Permittee to construct a new 5,865-square-foot single-family residence. The variance allows a 1' 0" front yard setback where 15' 0" is required. Coastal Development located at 6106 Camino de la Costa, described as Lot 11, Block 1A, La Jolla Hermosa, Map No. 1810, in the R1-8000 Zone.

2. The facility shall consist of the following:

- a. a 5,865-square-foot, single-family residence and a two-car garage. The garage will be allowed to be at a 1' 0" front yard setback where 15' 0" is required.
- b. Landscaping;
- c. Off-street parking; and
- d. Incidental accessory uses as may be determined incidental and approved by the Planning Director.

3. Not fewer than two off-street parking spaces shall be maintained on the property in the location shown on Exhibit "A," dated January 15, 1992, on file in the office of the Planning Department. Parking spaces shall comply with Division 8 of the Zoning Regulations of the Municipal Code and shall be permanently maintained and not converted for any other use. Parking space dimensions shall conform to Zoning Ordinance standards. Parking areas shall be clearly marked at all times. Landscaping located in any parking area shall be permanently maintained and not converted for any other use.

4. No permit shall be granted nor shall any activity authorized by this permit be conducted on the premises until:

- a. The Permittee signs and returns the permit to the Planning Department; and
- b. The Coastal Development Permit is recorded in the office of the County Recorder.

ORIGINAL

5. Before issuance of any building permits, complete grading and working drawings shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity to Exhibit "A," dated January 15, 1992, on file in the office of the Planning Department. No change, modifications or alterations shall be made unless appropriate applications or amendment of this permit shall have been granted.

6. Before issuance of any grading or building permits, a complete landscape plan, including a permanent irrigation system, shall be submitted to the Planning Director for approval. The Plans shall be in substantial conformity to Exhibit "A," dated January 15, 1992, on file in the office of the Planning Department. Approved planting shall be installed before issuance of any occupancy permit on any building. Such planting shall not be modified or altered unless this permit has been amended and is to be maintained in a disease-, weed- and litter-free condition at all times.

7. The property included within this coastal development shall be used only for the purposes and under the terms and conditions set forth in this permit unless authorized by the Planning Director or the permit has been revoked by the City of San Diego.

8. This Coastal Development Permit may be cancelled or revoked if there is a material breach or default in any of the conditions of this permit. Cancellation or revocation may be instituted by the City of San Diego or Permittee.

9. This Coastal Development Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this permit and all referenced documents.

10. The use of texture or enhanced paving shall be permitted only with the approval of the City Engineer and Planning Director, and shall meet standards of these departments as to location, noise and friction values, and any other applicable criteria.

11. To the extent this condition is consistent with state and local laws, this project shall comply with the standards, policies and requirements in effect at the time of approval of this project, including any successor or new policies, financing mechanisms, phasing schedules, plans and ordinances relating to growth management adopted by the City of San Diego after January 11, 1990. The owner/permittee may challenge the legality of the imposition of future requirements pursuant to this condition at the time such future requirements and their impact on the project are defined.

ORIGINAL

12. If any existing hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind per the approved plans.

13. Prior to the issuance of any building permits, the applicant shall assure, by permit and bond, the replacement of damaged/raised sidewalk, adjacent to this site on Camino de la Costa, satisfactory to the City Engineer.

14. Prior to the issuance of any building permits, the applicant shall:

- a. Ensure that building address numbers are visible and legible from the street (UFC 10.208).
- b. Show the location of all fire hydrants on the plot plan (UFC 10.301).

15. This community may be subject to impact fees, as established by the City Council, at the time of issuance of building permits.

16. This property may be subject to a building permit park fee in accordance with San Diego Municipal Code Section 96.0401 et seq.

17. All mitigation measures listed in the Negative Declaration 91-0332 are incorporated as conditions within this permit by reference.

18. All drainage shall be directed towards the street (Camino de la Costa).

19. Prior to the issuance of building permits, the permittee shall grant the City a public access easement on all property westerly of the top of the Bluff.

20. Prior to the issuance of building permits, the permittee shall enter into an agreement for the preservation of the coastal bluff.

21. Prior to the issuance of building permits, the permittee shall execute and record a waiver of public liability for the approved development.

22. Unless appealed this Coastal Development Permit shall become effective on the eleventh day following the decision of the Planning Director.

23. Unless appealed this Coastal Development Permit shall become effective on the eleventh working day following receipt by the

ORIGINAL

Coastal Commission of the Notice of Final Action.

24. This Coastal Development Permit must be utilized within 36 months after the effective date. Failure to utilize the permit within 36 months will automatically void the permit unless an extension of time has been granted as set forth in Section 105.0216 of the Municipal Code.

25. Unless appealed, this Coastal Development Permit shall become effective on December 30, 1991.

26. In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this Permit shall be void. However, in the event that a challenge pertaining to future growth management requirements is found by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, the Planning Director shall have the right, but not the obligation, to review this Permit to confirm that the purpose and intent of the original approval will be maintained.

APPROVED by the Planning Director of the City of San Diego on January 15, 1992.

ORIGINAL

PLANNING DIRECTOR RESOLUTION NO. 9278
COASTAL DEVELOPMENT, SENSITIVE COASTAL RESOURCE PERMIT
AND VARIANCE NO. 91-0332

WHEREAS, WILLIAM C. FOXLEY, Owner/Permittee, filed an application for a Sensitive Coastal Resource Permit and Variance to develop subject property located at 6106 Camino de la Costa in the La Jolla Community Plan, described as Lot 11, Block 1A, La Jolla Hermosa, Map No. 1810, in the R1-8000 Zone; and

WHEREAS, on January 15, 1992, the Planning Director of the City of San Diego considered Coastal Development Permit, Sensitive Coastal Resource Permit and Variance No. 91-0332 pursuant to Section 105.0200 of the Municipal Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Director of the City of San Diego as follows:

1. That the Planning Director adopts the following written Findings, dated January 15, 1992.

COASTAL DEVELOPMENT FINDINGS:

- a. The proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an adopted LCP Land Use Plan; nor will it obstruct views to and along the ocean and other scenic coastal areas from public vantage points. The nearest visual corridor identified in the adopted La Jolla Community Plan Local Coastal Program addendum is located approximately 100 feet to the south at the end of Mira Monte Place. Construction of; the residence would not adversely affect this view corridor. Nor does any physical accessways cross the site.
- b. The proposed development will not adversely affect marine resources, environmentally sensitive areas, or archaeological or paleontological resources. As identified in the Environmental Negative Declaration No. 91-0332, the project will not adversely affect these resources.
- c. The proposed development will comply with the requirements related to biologically sensitive lands and significant prehistoric and historic resources as set forth in the Resource Protection Ordinance, Chapter X, Section 101.0462 of the San Diego Municipal Code, unless by the terms of the Resource Protection Ordinance, it is exempted therefrom.
- d. The proposed development will not adversely affect recreational or visitor-serving facilities or coastal scenic

X 12.1 ORIGINAL

- resources. The project is located entirely on private property and will not adversely affect recreational or visitor-serving facilities or coastal scenic resources.
- e. The proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources.
 - f. The proposed development will minimize the alterations of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards. The project proposes approximately 190 cubic yards of fill and 110 cubic yards of cut, resulting in a net import of 80 cubic yards. A retaining wall ranging from two to six feet in height is proposed to support the patio area. And the existing retaining wall located along the bluff top will remain as is to avoid any damage to this area involved in it's removal. In addition, the proposed drainage plan indicates that all runoff would be directed towards the street away from the coastal bluff areas. Also, a geotechnical report has been reviewed and approved by the City Engineering Department which indicates that the project would not contribute to nor be affected by geological, erosional or flood hazards. And this site is not located in a fire hazard area.
 - g. The proposed development will be visually compatible with the character of surrounding areas, and where feasible, will restore and enhance visual quality in visually degraded areas. Property to the north, east, and south is developed with custom single-family homes. The proposed residences conforms to the development regulations of the underlying zone and the coastal regulations. The project would be similar in size and scale to the homes in the immediate vicinity.
 - h. The proposed development will conform with the General Plan, the Local Coastal Program, and any other applicable adopted plans and programs.

SENSITIVE COASTAL RESOURCE FINDINGS:

- a. The proposed development will be sited, designed and constructed to minimize, if not preclude, adverse impacts upon sensitive coastal resources and environmentally sensitive areas. As outlined above in Sections A through E of the Coastal Findings, the project will be sited, designed and constructed to minimize impacts upon sensitive coastal resources and environmentally sensitive areas.

ORIGINAL

- b. The proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an adopted community plan; nor will it obstruct views to and along the ocean and other scenic coastal areas from public vantage points. As outlined in Finding A of the Coastal Findings, the project will not encroach upon any public accessways, nor will it obstruct views of scenic coastal resources from public vantage points.
- c. The proposed development will minimize the alteration of natural landforms and will not result in undue risks from geologic and erosional forces and/or flood and fire hazards. The project will minimize the alteration of natural landforms and will not result in undue risk from geologic, erosional, flood or fire hazards. (see Section F, Coastal Findings).
- d. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply. Shoreline protective works will be designated to be the minimum necessary to adequately protect existing principal structures, to reduce beach consumption and to minimize shoreline encroachment. A geotechnical report has been reviewed and approved by the City Engineering Department which indicates that the project will not contribute to the erosion of public beaches nor will it impact local shoreline sand supply.
- e. The proposed development will not adversely affect the General Plan, the Local Coastal Program, or any other applicable adopted plans and programs. The project conforms with all applicable plans, programs and policies (see Section H of Coastal Findings).

VARIANCE FINDINGS:

This variance is to allow the construction of a single-family dwelling observing a 1'0" frontyard setback where 15'0" is required.

- a. Subject property is on the west side of Camino De La Costa between Miramonte Place and Avenida Cortez. The lot slopes in a westerly direction to the cliffs approximately 80'-0" to 100'-0" from the front property line and continues to drop off into the Pacific Ocean which is approximately 35'-0" below subject lot. Camino De La Costa is a 50'-0" right-of-way, paved 26'-0" with 12'-0" curb-to-property-line distance. Curbs and sidewalks are installed. The property is in the Coastal Zone and the coastal height limit and has been zoned R1-5000 since 1931.

ORIGINAL

Applicants proposal is to construct a single-family dwelling as close as he can possibly be to the front property line. There will also be a two-car garage. This dwelling will observe at the closest point a 1'-0" frontyard where 15'-0" is required. Unusual circumstances were established in the topography of the subject property and the development of surrounding properties. This basically would be just a matter of a 1'-0" from a dwelling from the adjacent property to the north.

- b. In view of the foregoing the variance approved is the minimum necessary to allow reasonable use of the property.
- c. The variance has been considered under the provisions of the zoning ordinance. This variance is viewed as fulfilling the purpose and intent of the zoning regulations and with conditions imposed, is not seen as injurious to the neighborhood.
- d. Due to the minimal nature of this request, adverse impacts on the General Plan for the City of San Diego are not anticipated.

If any condition of this permit is violated, or if the same be not complied with in every respect, then this variance shall be subject to revocation.

Failure to utilize such variance within the thirty-six (36) month period will automatically void the same, in accordance with Municipal Code Section 101.0508.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Director, Coastal Development Permit No. 91-0332, Sensitive Coastal Resource Permit and Variance No. 91-0332 is hereby GRANTED to William C. Foxley, Owner/Permittee, in the form and with the terms and conditions as set forth in Coastal Development Permit No. 91-0332, Sensitive Coastal Resource Permit and Variance No. 91-0332, a copy of which is attached hereto and made a part hereof.



Patricia Grabski, AICP
Senior Planner

ORIGINAL

RESOLUTION NUMBER R- 9279

ADOPTED ON January 15, 1992

WHEREAS, on July 25, 1991, MR. WILLIAM C. FOXLEY, an Individual, Owner/Permittee submitted applications to the Planning Department for a Coastal Development Permit, Sensitive Coastal Resource Permit and a Variance; and

WHEREAS, the permits were set for a public hearing to be conducted by the Planning Director of the City of San Diego; and

WHEREAS, the issues were heard by the Planning Director on January 15, 1992; and

WHEREAS, the Planning Director of the City of San Diego considered the issues discussed in Negative Declaration No. 91-0332; NOW THEREFORE,

BE IT RESOLVED, by the Planning Director of the City of San Diego, that it is hereby certified that Negative Declaration No. 91-0332 has been completed in compliance with the California Environmental Quality Act of 1970 (California Public Resources Code Section 21000 et seq.) as amended, and the State guidelines thereto (California Administrative Code Section 15000 et seq.), and that the information contained in said report, together with any comments received during the public review process, has been reviewed and considered by the Planning Director.

BE IT FURTHER RESOLVED that the Planning Director finds, based upon the Initial Study and any comments received, that there is no substantial evidence that the project will have a significant effect on the environment and therefore, that said Negative Declaration is hereby approved.

Patricia Grabski

Patricia Grabski, AICP
Senior Planner

ORIGINAL

ALL-PURPOSE CERTIFICATE

Attachment 10
CDP/SCR/Variance 91-.0332
Page 10 of 10

Type/Number of
Date of Approval
Number of Pages

STATE OF CALIFORNIA
COUNTY OF SAN DIEGO

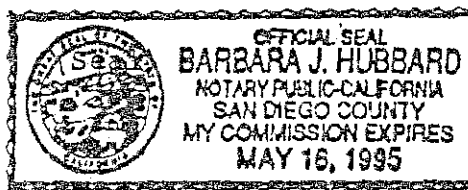
Patricia Grabski

PATRICIA GRABSKI, Senior Planner

On April 8, 1992 before me, BARBARA J. HUBBARD (Notary Public), personally appeared PATRICIA GRABSKI, Senior Planner of the Planning Department of the City of San Diego, personally known to me to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature *Barbara J. Hubbard*
Barbara J. Hubbard



PERMITTEE(S) SIGNATURE/NOTARIZATION:

THE UNDERSIGNED PERMITTEE(S), BY EXECUTION THEREOF, AGREES TO EACH AND EVERY CONDITION OF THIS PERMIT AND PROMISES TO PERFORM EACH AND EVERY OBLIGATION OF PERMITTEE(S) THEREUNDER.

Signed *William C. Foxley*
Typed Name WILLIAM C. FOXLEY

Signed _____
Typed Name _____

STATE OF COLORADO
CITY AND COUNTY OF DENVER

On 20th April, 1992 before me, Margaret Fee (Name of Notary Public) personally appeared William C. Foxley, personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature *Margaret Fee* (Seal)

