



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: May 20, 2015 REPORT NO. HO 15-057

ATTENTION: HEARING OFFICER

SUBJECT: MISSION VALLEY SUITES HOTEL; PROJECT NO. 322356
PROCESS 3

LOCATION: 2181 and 2201 Hotel Circle South

OWNER/
APPLICANT: SD Hotel Circle, LLC, a California Limited Liability Company

SUMMARY

Requested Action: Should the Hearing Officer approve the demolition of an existing hotel and restaurant, and to construct a 5-story hotel with 236-guestroom, on a 4.88-acre site located at 2181 and 2201 Hotel Circle South in the Mission Valley Community Planning area?

Staff Recommendation(s):

1. **ADOPT** Mitigated Negative Declaration No. 322356, and **ADOPT** the Mitigation, Mitigation, Monitoring, and Reporting Program; and
2. **APPROVE** Site Development Permit No. 1126076.

Community Planning Group Recommendation: On July 9, 2014, the Mission Valley Planning Group voted 12-0-1 to recommend approval of the project with conditions (Attachment 11).

Environmental Review: A Mitigated Negative Declaration (MND) No. 322356 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Historical Resources (Archaeology). A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance.

BACKGROUND

The project site is located at 2181 and 2201 Hotel Circle South (Attachment 1), west of State Route 163 and south of Interstate 8 (Attachment 2). The 4.88-acre site is located in the Mission Valley-Commercial Office-Commercial Visitor (MV-CO-CV) Zone of the Mission Valley Planned District (Attachment 3) within the in the Mission Valley Community Plan (Attachment 4), Hillside Subdistrict (Southern Slopes) and Development Intensity Overlay District Area D3 (Development Intensity D and Traffic Area 3) in the Mission Valley Planned District (MVPD), Federal Aviation Administration (FAA) Part 77 Noticing Area for the San Diego International Airport (SDIA) Lindbergh Field and North Island NAS, the City of San Diego Multi Habitat Planning Area (MHPA) of the Multiple Species Conservation Program (MSCP) Subarea Plan (Attachment 5). The MV-CO-CV zoning designation allows for establishments catering to the lodging, dining, and shopping needs of visitors. The community plan designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses.

The project site is a trapezoid shaped lot with a narrow triangular portion extending south into the hillside, which is located within the MHPA. The parcel has been previously graded and developed with a 2-story, 216-guestroom hotel (Comfort Inn) that was constructed in 1968, and a 4,300-square foot restaurant (Ricky's) that was constructed in 1970. A historical assessment was performed and was determined that the property and associated structure would not be considered historically or architecturally significant in terms of architectural style, appearance, design, or construction associated with important persons or events in history. In addition, the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

The properties to the south are zoned RS-1-1 and developed with single family dwelling units, the property to the west is zoned MV-CO-CV and CV-1-1 and developed with a self storage building, the property to the east is zoned MV-CO-CV and developed with a hotel, and the property to the north of Interstate 8 are zoned MV-M/SP. The community plans designates the properties to the west, east, and north are designated for Office or Commercial-Recreation uses. The properties to the south are located within the Uptown Community Plan and are designated as Low Residential land use at 5-10 dwelling units per acre (DU/AC).

DISCUSSION

Project Description:

The project proposes the demolition of the hotel and restaurant, and to construct a 236-guestroom, 5-story hotel with pool, spa, courtyards and associated surface parking on the 4.88-acre site. The development proposes a maximum building height of 65-feet. The property is an interior lot, located at 2181 and 2201 Hotel Circle South in the MV-CO-CV Zone within the Hillside Subdistrict (Southern Slopes) and the Development Intensity Overlay District Area D3 of the MVPD. The southern portion of the project site is identified within the hillsides (25-percent or greater slope gradient) area within the Mission Valley Community Plan (MVCP) and within the MHPA. However, the proposed development shall be constructed within the existing development footprint and shall not encroach within the Environmentally Sensitive Lands (ESL).

Within the Hillside Subdistrict, the building height is limited to 40-feet. An exception to the 40-foot height limit may be approved up to 65-feet in height if specific development standards are met in accordance with Land Development Code (LDC) Section 1514.0303(c)(1)(A). These development standards are as follows: 1. All natural existing hillside vegetation and topography shall be preserved; 2. Any previously graded hillsides shall be recontoured into a naturalistic form and revegetated with indigenous plants; and 3. Buildings and structures shall be designed and sited so that a minimum 30-foot wide open public view corridor is created to the hillside from adjacent public streets and freeways.

All of the natural existing hillside vegetation and topography shall be preserved. The project includes the removal of the non-native vegetation and concrete stairs, associated structures (shotcrete wall) and foundation from the hillside along the southern slope. During a geotechnical investigation unfavorable surficial slope face conditions were located in a portion of the southwestern corner of the slope; therefore, the project includes a slope stabilization of the area. All graded, disturbed, or eroded areas shall be recontoured into a naturalistic form and revegetated with indigenous plants as identified on the Landscape Development Plan (Attachment 7).

The third development standard requires the building to be designed and sited so that a minimum 30-foot wide open public view corridor is created to the hillside from adjacent public streets and freeways. The proposed development provides a 54-foot 6 inches wide open public view corridor on the eastern side of the property. Therefore, the project has demonstrated compliance with the Hillside Subdistrict specific development standards and the request to exceed the 40-foot height limit may be approved up to 65-feet in height.

The proposed development would be located on private property and proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site. Development of the proposed project requires the approval of a Process 3 Site Development Permit (SDP) for development on a property that's located within the MVPD. As a component of the proposed project, the building will utilize renewable energy technology, and will achieve a Leadership in Energy and Environmental Design (LEED) Silver Certification or equivalent level for the commercial development. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project-Related Issues:

Airport Land Use Commission Consistency Determination- The project site is located in the FAA Part 77 Noticing Area for the SDIA Lindbergh Field and Montgomery Field. The proposed maximum building height of 65-feet is less than the 80-foot threshold for FAA Part 77 notification for this particular site. The proposed project will not be required to notify the FAA. In addition, the project site is located in the Airport Influence Area for Montgomery Field, but it is not in the Airport Land Use Compatibility (ALUCP) Noise Exposure Zone and Safety Zone area; therefore, an Airport Land Use Commission consistency determination is not required for the proposed development.

Community Group:

On July 9, 2014, the Mission Valley Planning Group voted 12-0-1 to recommend approval of the project with the following conditions: That the applicant fulfills all outstanding City cycle comments, any environmental conditions, and the applicant explores any opportunities to install non-contiguous sidewalks.

Staff's Response: The applicant has fulfilled all of the outstanding review comments and had submitted all of the required documents, and MND No. 322356 was prepared for the project and conditions have been included in the SDP. The project includes contiguous sidewalks at the western and eastern corners of the property as a transition to the existing development adjacent to the site and the remaining frontage includes non-contiguous sidewalks.

Environmental Analysis:

A Mitigated Negative Declaration (MND) No. 322356 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Historical Resources (Archaeology). A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance.

As outlined in Archaeology Section of MND No. 322356, no cultural deposits were encountered during an archaeological survey; however, historic and pre-historic resources have been previously recorded within a half mile radius of the project site. The surface, geological, and topographic conditions indicate a low probability for significant subsurface deposits within the southern portion; however, within the developed portions of the project site, subsurface deposits are less clear. Buried river terraces containing cultural materials have been encountered during other construction projects within Mission Valley. Therefore, archaeological and Native American monitoring during ground disturbing activities is required, and a MMRP, as detailed within Section V of the MND, would be implemented. With the implementation of the historical resources monitoring program, potential impacts on historical resources would be reduced to less than significant.

Conclusion:

The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted MVCP, LDC, and the General Plan. As a component of the proposed project, the building will utilize renewable energy technology, and will achieve a LEED Silver Certification.

ALTERNATIVES

1. **APPROVE** Site Development Permit No. 1126076, **with modifications.**

2. **DENY** Site Development Permit No. 1126076, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



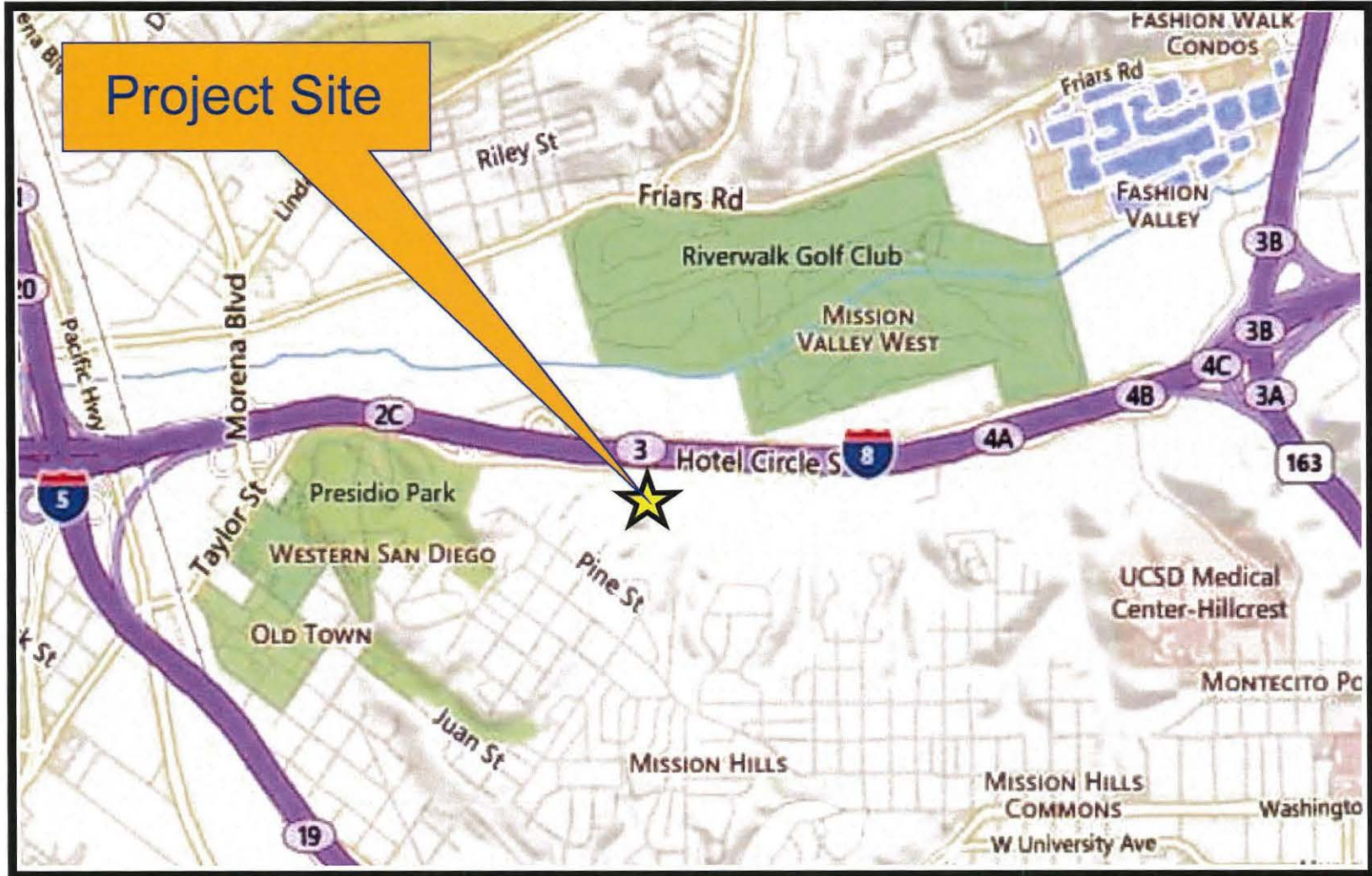
Jeffrey A. Peterson
Development Project Manager
Development Services Department

PETERSON/JAP

Attachments:

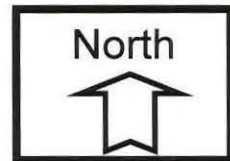
1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Multi Habitat Planning Area Map
6. Project Data Sheet
7. Project Plans
8. Draft Permit with Conditions
9. Draft Resolution with Findings
10. Draft MND No. 322356 Resolution
11. Community Group Recommendation
12. Ownership Disclosure Statement
13. Project Chronology
14. Copy of Public Notice (forwarded to HO)
15. Copy of Project Plans (full size-forwarded to HO)

Internal Order No. 24003751



Location Map

Mission Valley Suites Hotel - Project No. 322356
2181 and 2201 Hotel Circle South

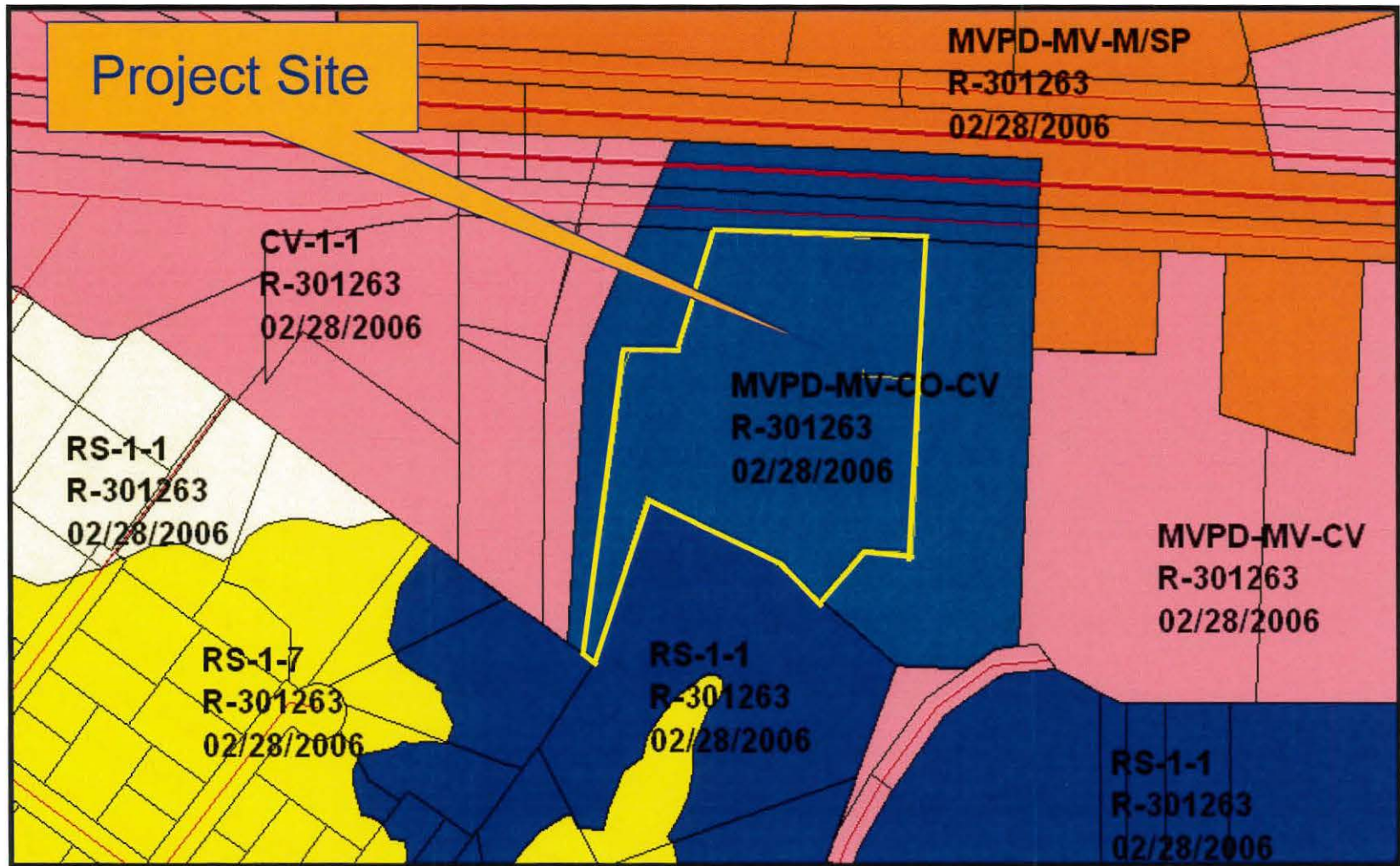




Aerial Photograph

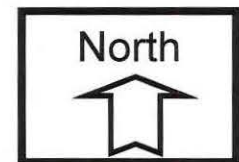
Mission Valley Suites Hotel - Project No. 322356
2181 and 2201 Hotel Circle South

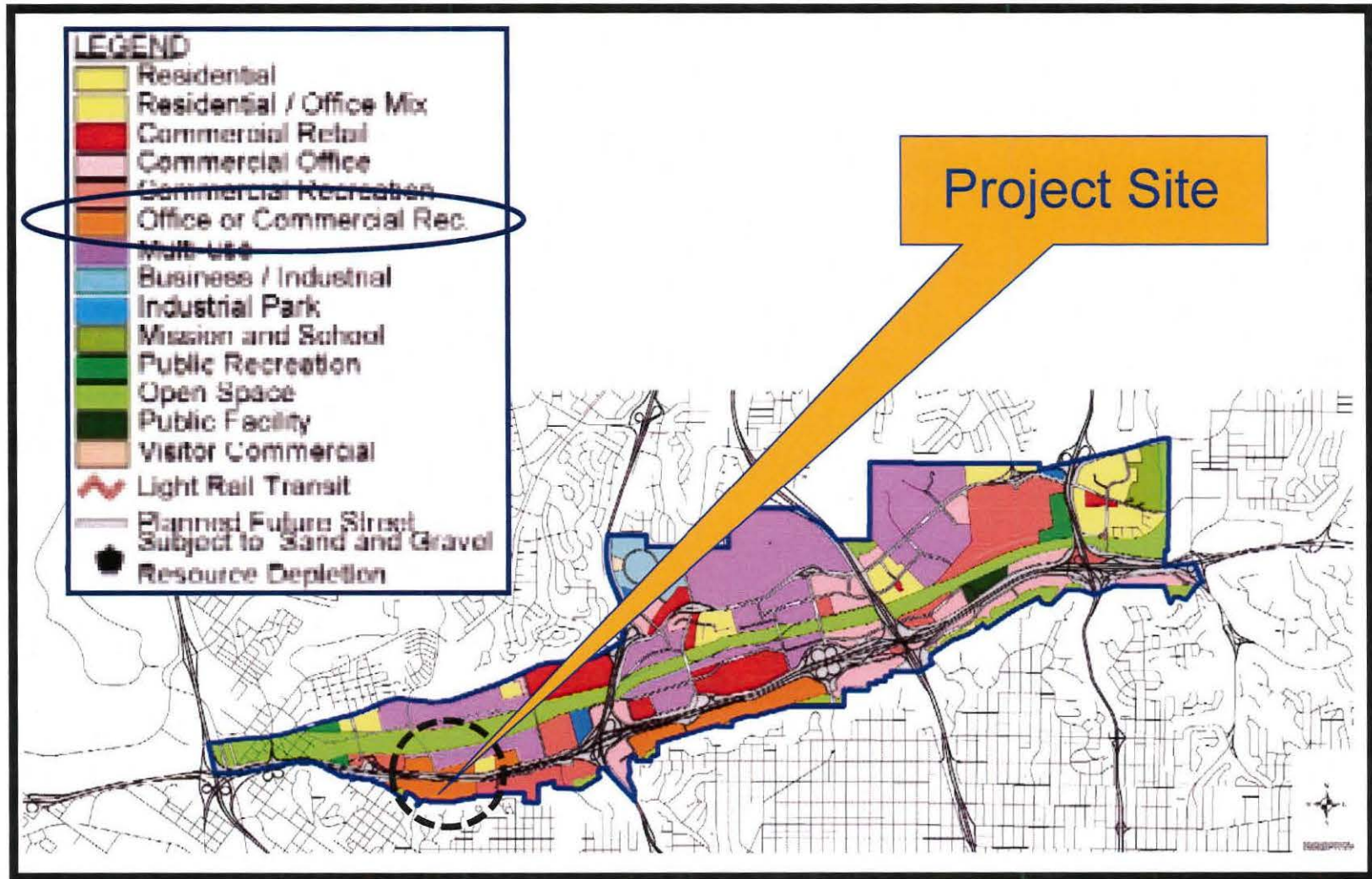




Zoning Map

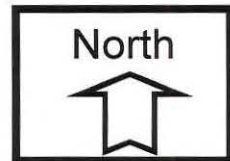
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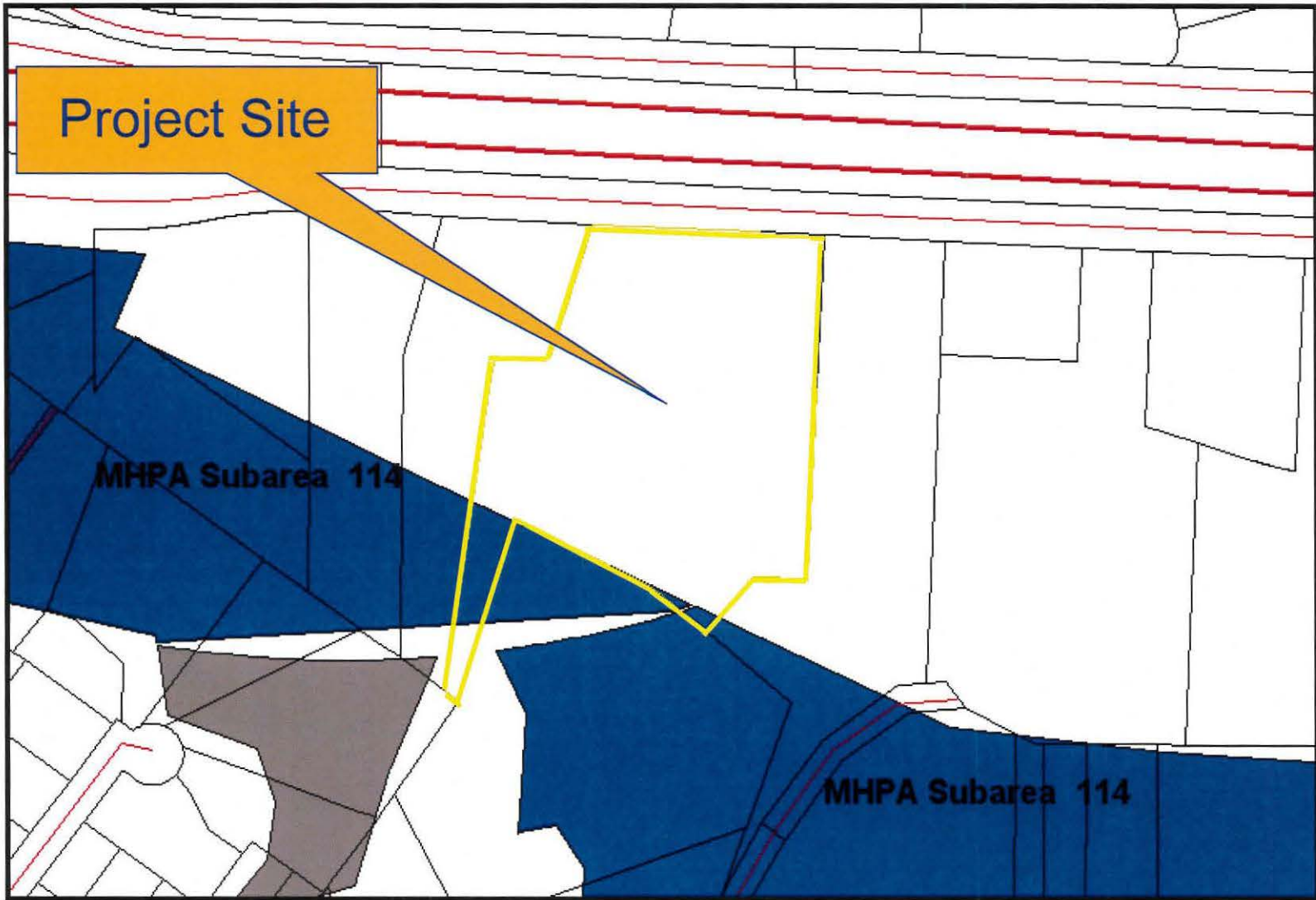




Mission Valley Community Land Use Map

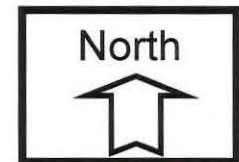
Mission Valley Suites Hotel - Project No. 322356
 2181 and 2201 Hotel Circle South





MHPA Map

Mission Valley Suites Hotel - Project No. 322356
2181 and 2201 Hotel Circle South



PROJECT DATA SHEET

PROJECT NAME:	Mission Valley Suites Hotel; Project No. 322356	
PROJECT DESCRIPTION:	Demolition of an existing hotel and restaurant, and to construct a 5-story hotel with 236-guestroom, on a 4.88-acre site.	
COMMUNITY PLAN AREA:	Mission Valley	
DISCRETIONARY ACTIONS:	Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses.	
<p><u>ZONING INFORMATION:</u></p> <p>ZONE: MV-CO-CV Zone of the Mission Valley Planned District</p> <p>HEIGHT LIMIT: 40-foot standard/65-foot exception LDC Section 1514.0303(c)(1)(A)</p> <p>LOT SIZE: 5,000 square feet</p> <p>FLOOR AREA RATIO: NA</p> <p>LOT COVERAGE: 70 percent</p> <p>FRONT SETBACK: 20-foot</p> <p>SIDE SETBACK: 15-foot</p> <p>STREETSIDE SETBACK: NA</p> <p>REAR SETBACK: 8-foot</p> <p>PARKING: 225 on-site (95% of 236 required) with a TDM Reduction</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Office or Commercial-Recreation; MV-M/SP	Commercial and Hotel
SOUTH:	Low Residential & Open Space (Uptown CP); RS-1-1 & RS-1-7	Single Family Residential
EAST:	Office or Commercial-Recreation; MV-CO-CV	Hotel
WEST:	Office or Commercial-Recreation; MV-CO-CV & CV-1-1	Commercial
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On July 9, 2014, the Mission Valley Planning Group voted 12-0-1 to recommend approval of the project with conditions.	

LEED INFORMATION

THE FOLLOWING SUSTAINABLE, CLEAN, AND GREEN BUILDING AND DEVELOPMENT DESIGN TECHNIQUES AS WELL AS CONSERVATION EFFORTS WILL BE INCORPORATED INTO THE DESIGN OF THIS PROJECT. THESE DESIGN TECHNIQUES ARE BASED ON THE PURSUIT OF THE UNITED STATES GREEN BUILDING COUNCIL (USGBC) SILVER CERTIFICATION, WHICH IS ALSO CONSISTENT WITH COUNCIL POLICY 900-14, AND THE GENERAL PLAN FOR THE CITY OF SAN DIEGO.

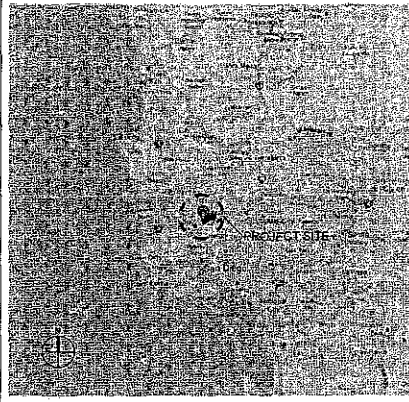
- BUILDING SITE WILL BE ACCESSIBLE TO PUBLIC TRANSPORTATION, IN EFFORTS TO REDUCE THE AMOUNT OF GAS EMISSION PRODUCED WHEN MULTIPLE BUILDING OCCUPANTS COMMUTE USING INDIVIDUAL TRANSPORTATION.
- BUILDING SITE WILL PROVIDE BICYCLE RACKS AND SHOWERING FACILITIES TO ENCOURAGE BUILDINGS OCCUPANTS TO USE TRANSPORTATION THAT HAS NO IMPACT ON THE ENVIRONMENT, REDUCING GAS EMISSIONS.
- BUILDING SITE WILL PROVIDE PREFERRED PARKING NEAR THE ENTRANCE OF THE BUILDING, FOR OCCUPANTS WHO COMMUTE USING LOW-EMITTING AND FUEL-EFFICIENT VEHICLES, WHICH WILL LIMIT THE ENVIRONMENTAL IMPACT FROM AUTOMOBILE USE.
- BUILDING SITE WILL PROVIDE NO ADDITIONAL PARKING OUTSIDE OF WHAT LOCAL ZONING ALLOWS TO REDUCE AMOUNT OF CARS ON THE ROAD, CUT DOWN THE SPRAWL OF PARKING FACILITIES, AND REDUCE THE NEGATIVE ENVIRONMENTAL IMPACT OF PARKING INFRASTRUCTURES.
- BUILDING SITE WILL MAXIMIZE OPEN SPACE BY PROVIDING OPEN SPACE BASED ON LOCAL ZONING AND OPEN SPACE REQUIREMENTS, WHICH WILL HELP WITH NATURAL STORM WATER MANAGEMENT, AND MITIGATE THE URBAN HEAT ISLAND EFFECT.
- BUILDING SITE WILL REDUCE THE AMOUNT OF IMPERVIOUS SURFACES ON SITE, SO THE POST-DEVELOPMENT PEAK RAINWATER RUN-OFF RATE AND QUANTITY WILL NOT EXCEED THE PRE-DEVELOPMENT RATE AND QUANTITY.
- BUILDING SITE WILL IMPLEMENT A STORM WATER MANAGEMENT PLAN AND UTILIZE BEST MANAGEMENT PRACTICES TO MAINTAIN THE QUALITY OF RAINFALL TO THE SITE.
- BUILDING SITE WILL UTILIZE HARDSCAPES WITH HIGH SOLAR REFLECTANCE INDEX AND SHADING TO REDUCE THE HEAT ISLAND EFFECT TO MINIMIZE IMPACTS ON MICROCLIMATES, HUMAN, AND WILDLIFE HABITATS.
- THE BUILDING'S ROOF WILL HAVE A HIGH SOLAR REFLECTANCE TO REDUCE THE HEAT ISLAND EFFECT IN THE ENVIRONMENT.
- THE BUILDING IS DESIGNED TO INCREASE WATER EFFICIENCY ABOVE CODE REQUIREMENTS TO REDUCE THE BURDEN ON MUNICIPAL WATER SUPPLY AND WASTE WATER SYSTEMS.
- THE BUILDINGS MECHANICAL AND ELECTRICAL SYSTEMS ARE DESIGNED TO REDUCE ENVIRONMENTAL AND ECONOMICAL IMPACTS ASSOCIATED WITH EXCESSIVE ENERGY USE.
- THE BUILDING WILL UTILIZE ON-SITE RENEWABLE ENERGY TO REDUCE THE ENVIRONMENTAL AND ECONOMICAL IMPACTS ASSOCIATED WITH FOSSIL FUEL ENERGY USE.
- THE BUILDING WILL HAVE DEDICATED AREAS FOR STORAGE OF RECYCLABLE MATERIALS TO ENCOURAGE THE REUSE OF MATERIALS AND REDUCE THE AMOUNT OF WASTE GENERATED BY BUILDING OCCUPANTS THAT IS HAULED AWAY AND SENT TO LANDFILLS.
- BUILDING SITE WILL PROVIDE DEDICATED SMOKING AREA LOCATED OUTSIDE AND 25 FEET FROM ANY BUILDING ENTRANCES, EXISTS, OPERABLE WINDOWS, AND AIR INTAKE TO ELIMINATE EXPOSURE OF BUILDING OCCUPANTS AND INDOOR ENVIRONMENTS TO TOBACCO SMOKE.
- THE BUILDING VENTILATION SYSTEMS WILL BE DESIGNED TO MAXIMIZE OUTDOOR AIR INTAKE TO INCREASE THE HEALTH AND WELL-BEING OF BUILDING OCCUPANTS.
- THE BUILDING WILL BE BUILT UTILIZING A SPECIFIED PERCENTAGE OF RECYCLED MATERIALS TO MINIMIZE THE IMPACTS RESULTING FROM EXTRACTION AND PROCESSING OF VIRGIN MATERIALS.
- THE BUILDING WILL UTILIZE A SPECIFIED PERCENTAGE OF LOCAL RESOURCES FOR BUILDING MATERIALS AND PRODUCTS TO REDUCE THE ENVIRONMENTAL IMPACTS OF TRANSPORTING MATERIALS ACROSS LONG DISTANCES AND TO CONTRIBUTE TO THE ECONOMIC WELL-BEING OF THE LOCAL ECONOMY.

LEGAL DESCRIPTION

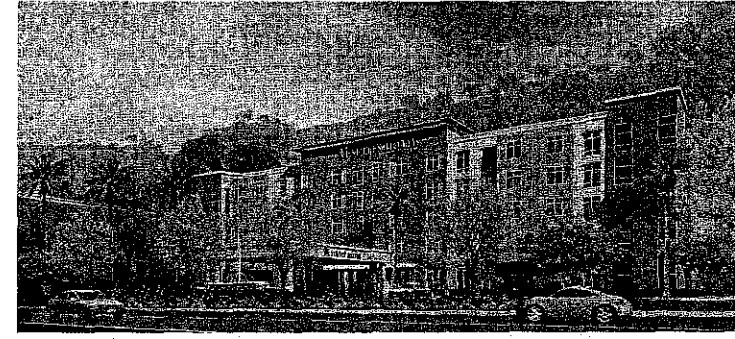
PARCEL A: (FEE TITLE)
 PARCEL 2 OF PARCEL MAP NO. 17760, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, OCTOBER 2, 1996.

PARCEL B:
 ALL RIGHTS, TITLE AND INTEREST IN AND TO THE IMPROVEMENTS, ONLY, WHICH IMPROVEMENTS ARE THE BUILDING, STRUCTURES AND OTHER PERMANENT IMPROVEMENTS LOCATED ON THE REAL PROPERTY DESCRIBED IN PARCEL A ABOVE, INCLUDING, WITHOUT LIMITATION, ELECTRICAL DISTRIBUTION SYSTEMS, HVAC SYSTEMS, PLUMBING, SWIMMING POOL, LIGHTING AND MECHANICAL EQUIPMENT AND FIXTURES INSTALLED THEREON, AND ALL RIGHTS, BENEFITS AND PRIVILEGES APPURTENANT THERETO.

AREA MAP



HOTEL CIRCLE SUITES - SAN DIEGO, CA
 2201 HOTEL CIRCLE SOUTH



PROJECT INFORMATION

PROJECT ADDRESS

2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CALIFORNIA 92108

ACCESSOR'S PARCEL NUMBER

443-040-27

GOVERNING CODE

C.B.C. 2010 (CALIFORNIA BUILDING CODE)

THIS PROJECT SHALL COMPLY W/ THE 2010 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24) WHICH ADOPTS THE 2009 I.B.C., 2009 U.M.C., 2009 U.P.C. AND THE 2009 N.E.C.

ZONE

MV-CO-CV ZONE
 FAA PART 77
 TRANSIT OVERLAY ZONE

USE

EXISTING: FIVE, 2-STORY, 216 GUESTROOM EXTERIOR CORRIDOR MOTEL BUILDINGS WITH SWIMMING POOLS & SURFACE PARKING.

ONE, 1-STORY, 4300 SF RESTAURANT BUILDING & SURFACE PARKING.

PROPOSED: ONE, 5-STORY, 236 GUESTROOM HOTEL WITH POOL/SPA, OUTDOOR AMENITY AREA/COURTS, & SURFACE PARKING.

CONSTRUCTION TYPE

HOTEL: LEVEL 1-5 = (TYPE III-A, SPRINKLERED)

OCCUPANCY

HOTEL: R-1

LOT SIZE

212,457 SF (4.88 AC)

GROSS FLOOR AREA

SEE DEVELOPMENT SUMMARY TABLE REFER TO LANDSCAPE DRAWINGS FOR WATER CONSERVATION SQUARE FOOTAGE

F.A.R.:

PROPOSED = 0.81

STRUCTURAL COVERAGE

MAX ALLOWED = 50%
 PROPOSED = 17.6%

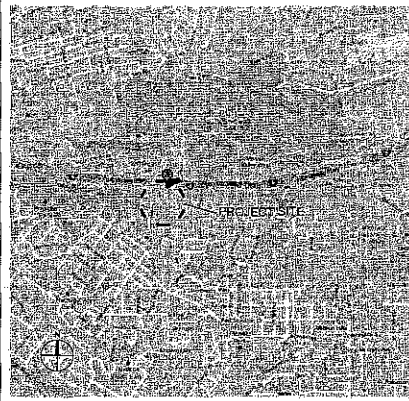
GUESTROOM COUNT

EXISTING: 216 GUESTROOMS
 PROPOSED: 236 GUESTROOMS

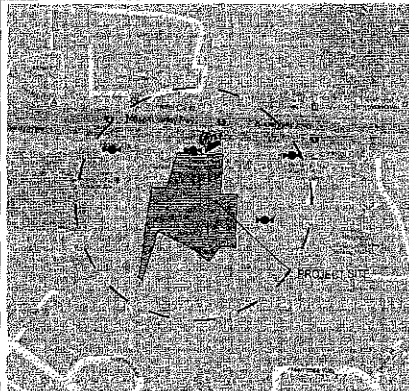
GEOLOGICAL HAZARD CATEGORY

54

VICINITY MAP



FIRE HYDRANT LOCATION MAP



PROJECT SCOPE

THE PROJECT REQUIRES A SITE DEVELOPMENT PERMIT.

THE SITE IS CURRENTLY DEVELOPED WITH A 2-STORY, 216-ROOM HOTEL (ORIGINALLY BUILT IN 1967) AND A 1-STORY 4300 SF RESTAURANT. THE HOTEL AMENITIES INCLUDE A FULL SERVICE RESTAURANT/ BANQUET FACILITY AND SWIMMING POOL.

THE OWNER'S INTENT IS TO IMPROVE THE PROPERTY WITHOUT CHANGING THE USE.

THIS PROJECT PROPOSES TO REMOVE THE EXISTING STRUCTURES AND CONSTRUCT A NEW SINGLE, 5-STORY HOTEL BUILDING WITH 236 GUESTROOMS. THIS WOULD BE AN ENHANCEMENT TO THE AREA AND BETTER MEET THE GROWING DEMAND FOR QUALITY ACCOMMODATIONS IN MISSION VALLEY.

THE PROJECT PROPOSES TO DEVIATE FROM THE PARKING REQUIREMENT OF 1-PARKING SPACE PER GUESTROOM TO 0.85 PARKING SPACES PER GUESTROOM WITH THE IMPLEMENTATION OF A TRANSPORTATION DEMAND MANAGEMENT PLAN (TDM).

THIS PROJECT PROPOSES TO BUILD TO AN ALLOWABLE 65'-0" MAX HEIGHT LIMIT PER THE MISSION VALLEY PLANNED DISTRICT ORDINANCE SDMC 1514.0303(c)(1)(A).

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PROJECT TEAM

- PROJECT OWNER: T2 DEVELOPMENT
 620 NEWPORT CENTER DRIVE, 14TH FLOOR
 NEWPORT BEACH, CA 92660
 PHONE: 949.616.8037
 CONTACT: GREG LEBRON, AIA
- CIVIL ENGINEER: KPFF CONSULTING ENGINEERS
 18400 VON KARMAN AVE, STE 600
 IRVINE, CA 92612
 PHONE: 949.252.1022
 CONTACT: OMAR MACIEL
- CONSULTANT ARCHITECT: JONES BALLARD ARCHITECTS
 2283 CAMINITO PRECIOSA SUR
 LA JOLLA, CA 92037
 PHONE: 619.977.5675
 CONTACT: STEVE JONES, AIA, LEED AP
- ARCHITECT: GENE FONG ASSOCIATES
 1130 WESTWOOD BLVD
 LOS ANGELES, CA 90024
 PHONE: 310.209.7520
 CONTACT: GENE FONG, AIA
- LANDSCAPE ARCHITECT: GARBIN & GARBIN
 713 J STREET, STE 307
 SAN DIEGO, CA 92101
 PHONE: 619.232.4747
 CONTACT: RICK GARBIN, ASLA

PREVIOUS SUBMITTALS

- 4 / 17 / 2013 SITE DEVELOPMENT PERMIT COMPLETENESS CHECK
- 5 / 17 / 2013 SITE DEVELOPMENT PERMIT INITIAL SUBMITTAL
- 4 / 08 / 2014 SITE DEVELOPMENT PERMIT SECOND SUBMITTAL
- 8 / 29 / 2014 SITE DEVELOPMENT PERMIT THIRD SUBMITTAL
- 9 / 19 / 2014 SITE DEVELOPMENT PERMIT FOURTH SUBMITTAL
- 11 / 4 / 2014 SITE DEVELOPMENT PERMIT FIFTH SUBMITTAL

DEVELOPMENT SUMMARY

FLOOR	FLOOR TO FLOOR HEIGHT	TWO BEDROOM 763 SF		KING SUITE 523 SF		QQ SUITE 534 SF		MISC AREAS	TOTAL KEYS	TOTAL NET AREA (SF)	AUXILIARY PARKING			PARKING PROVIDED 0.85 PER KEY			PARKING REQ. 1 PER KEY	PARKING REQ. 0.85 PER KEY
		KEYS	AREA (SF)	KEYS	AREA (SF)	KEYS	AREA (SF)				AREA (SF)	KEYS	NET AREA (SF)	MOTORCYCLE	BICYCLE	LOADING		
(1) GROUND	14'-4"	2	1,526	10	5,230	8	4,752	18,898	20	30,406				5	1	219		
(2) SECOND	10'-2"	2	1,526	17	8,891	35	20,790	6,938	54	38,145								
(3) THIRD	10'-2"	2	1,526	17	8,891	35	20,790	6,938	54	38,145								
(4) FOURTH	10'-2"	2	1,526	17	8,891	35	20,790	6,938	54	38,145								
(5) FIFTH	10'-2"	2	1,526	17	8,891	35	20,790	6,938	54	38,145								
TOTAL																		

*TDM PLAN IS BEING PROPOSED TO REDUCE THE MIN. REQUIRED PARKING RATIO.



GENE FONG ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS
 1700 WESTWOOD BLVD, LOS ANGELES, CA 90024
 310 • 209 • 7520 FAX 310 • 209 • 7410

PROJECT:
 HOTEL CIRCLE SUITES
 2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

OWNER:

 T2 DEVELOPMENT
 620 NEWPORT CENTER DR
 14TH FLOOR
 NEWPORT BEACH, CA
 92660

REVISIONS:

DATE	DESCRIPTION
4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
8/29/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANTS:

SHEET TITLE:

PROJECT INFORMATION

SCALE: AS NOTED

DATE: 11/4/14

PHASE: SITE DEVELOPMENT

JOB NUMBER: 1361A

SHEET NUMBER:

A-0.1

GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICES, INCLUDING, BUT NOT LIMITED TO, THE FEDERAL ENDANGERED SPECIES ACT OF 1973 AND AMENDMENTS THERE TO (16 USC SECTION 1531 ET. SEQ.).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
- IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE 1-800-422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL IMPLEMENT AN EROSION AND SEDIMENT CONTROL PROGRAM DURING THE PROJECT GRADING AND/OR CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD AND THE CITY OF SAN DIEGO MUNICIPAL CODE AND STORM WATER STANDARDS MANUAL.
- "PUBLIC IMPROVEMENT SUBJECT TO DISTURBANCE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, THE OWNER SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT- ISSUING AUTHORITY.
- ALL EXISTING AND/OR PROPOSED PUBLIC UTILITY SYSTEM AND SERVICE FACILITIES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH SECTION 144.0240 OF THE MUNICIPAL CODE.
- PRIOR TO ANY DISTURBANCE TO THE SITE, EXCLUDING UTILITY MARK-OUTS AND SURVEYING, THE CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRE-CONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO FIELD ENGINEERING DIVISION (858) 527-3200.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE CITY INSPECTOR.
- AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- AN AS-GRADED GEOTECHNICAL REPORT AND A SET OF THE REDLINE GRADING PLANS SHALL BE SUBMITTED AT AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE FIELD ENGINEERING DIVISION AT 9485 AERO DR.
- THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SIGAGE, COV, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT (FRICTION FACTOR >= 0.50) AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

GRADING NOTES

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE CASDA BMP EC-4 FOR MIX AND SPECIFICATIONS.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

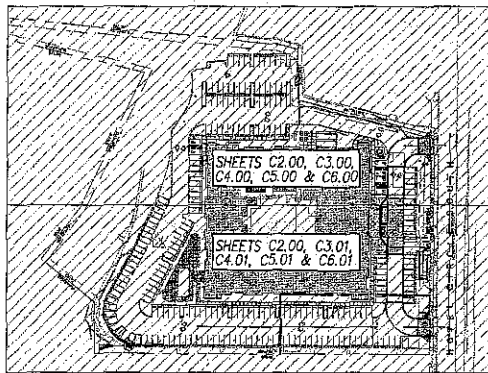
I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

STORM WATER PROTECTION NOTES

- THIS PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT ORDER NO. 19-2017-001 AND RISK LEVEL/TYPE: CHECK ONE BELOW
 - MFCP
 - COP RISK LEVEL 1
 - COP RISK LEVEL 2
 - COP RISK LEVEL 3
- CHECK ONE
 - THIS PROJECT WILL EXCEED THE MAXIMUM DISTURBED AREA LIMIT, THEREFORE A WEATHER TRIGGERED ACTION PLAN (WTAP) IS REQUIRED.
 - THIS PROJECT WILL FOLLOW PHASED GRADING NOT TO EXCEED FIVE (5) ACRES PER PHASE.
 - NOT APPLICABLE
- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE WFP OR SWPPP AS APPLICABLE.

ENGINEERING PERMIT NO. _____ RETAINING WALL PROJECT NO. _____
 DISCRETIONARY PERMIT NO. _____ CONSTRUCTION SITE _____
 WDB NO. 9 XXXXXXXX _____ STORM WATER PRIORITY: _____

**GRADING PLANS FOR:
HOTEL CIRCLE SUITES**



KEY MAP

SCALE: 1"=100'

GRADING & GEOTECHNICAL SPECIFICATIONS

- ALL GRADING SHALL BE DONE UNDER OBSERVATION AND TESTING BY A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND, IF REQUIRED, BOTH A QUALIFIED CIVIL ENGINEER OR GEOTECHNICAL ENGINEER AND AN ENGINEERING GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE SOILS REPORT OR GEOLOGICAL/GEOCHEMICAL INVESTIGATION, ENTITLED "PRELIMINARY GEOTECHNICAL INVESTIGATION, PROPOSED HOMEWOOD SUITES, 2201 HOTEL CIRCLE SOUTH, SAN DIEGO, CA 92108, PREPARED BY CONSTRUCTION TESTING & ENGINEERING, INC. DATED APRIL 22, 2013 (CITE JOB NO. 10414460).
- ALL FILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
- AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED SOILS REPORT, OR IF REQUIRED, AN AS-GRADED GEOTECHNICAL REPORT WILL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO TECHNICAL GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT WILL BE SUBMITTED TO THE FIELD ENGINEERING SECTION OF ENGINEERING AND CAPITAL PROJECTS DEPARTMENT AND A SECOND COPY TO THE GEOLOGY SECTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT OR PROJECT PLANS, REPORTS OR SPECIFICATIONS, THE FINAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A CALIFORNIA-CERTIFIED ENGINEERING GEOLOGIST.
- IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS AGREED IN WRITING TO ACCEPT THE RESPONSIBILITY WITHIN THE AREA OF THEIR TECHNICAL COMPETENCE FOR APPROVAL UPON COMPLETION OF THE WORK. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE CITY ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.
- THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

ENGINEER'S NAME	A.C.E. OR G.E.	DATE
GEOLOGIST'S NAME	C.E.G.	DATE
COMPANY NAME	CONSTRUCTION TESTING & ENGINEERING, INC.	
ADDRESS	1441 HOTEL RD. SUITE 115, ESCROWWOOD, CA 92026	
TELEPHONE NUMBER	(760) 749-4955	
- FOR SOIL FILE SEE CITY RECORD S - XXXXXX
- THE GEOTECHNICAL CONSULTANT SHALL CONDUCT GEOLOGIC MAPPING/LOGGING DURING PERMITTED EXCAVATIONS. FAULTS, IF DISCOVERED, SHALL BE EVALUATED AND ANALYZED FOR ACTIVITY LEVEL BY THE GEOTECHNICAL CONSULTANT WITH DETAILED REPORTS SUBMITTED SUBJECT TO REVIEW AND APPROVAL OF THE PERMITTING AUTHORITY.
- A DETAILED AS-GRADED GEOTECHNICAL REPORT SHALL BE SUBMITTED WITHIN 30 DAYS OF THE COMPLETION OF GRADING. THE REPORT SHALL INCLUDE DETAILED GEOLOGIC MAPPING/LOGGING OF THE PERMITTED EXCAVATION. IF FAULTING IS DISCOVERED, THE AS-GRADED REPORT SHALL ADDRESS THE ACTIVITY OF FAULTING AND INDICATE IF STRUCTURAL SETBACKS ARE RECOMMENDED.
- UNLESS A STRUCTURAL SETBACK IS RECOMMENDED BY THE GEOTECHNICAL CONSULTANT, A "NOTICE OF GEOLOGIC AND GEOTECHNICAL CONDITIONS" SHALL BE RECORDED PRIOR TO ISSUANCE OF BUILDING PERMITS FOR BUILDINGS SITED OVER POTENTIALLY ACTIVE FAULT(S) DISCOVERED ON-SITE. NO STRUCTURE FOR HUMAN OCCUPANCY SHALL BE PERMITTED ACROSS THE TRACE OF AN ACTIVE FAULT AND THE PROJECT GEOLOGIC CONSULTANT MUST RECOMMEND AN APPROPRIATE STRUCTURAL SETBACK.
- THE PRECISE AS GRADED LOCATION OF FAULT(S), IF DISCOVERED, SHALL BE SHOWN ON THE FINAL AS GRADED PLANS.
- THE EFFECTS OF THE PROPOSED EXCAVATION AND SHORING SYSTEM ON EXISTING IMPROVEMENTS AND UTILITIES SHALL BE MONITORED IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL CONSULTANT CONTAINED IN THE GEOTECHNICAL DOCUMENTS LISTED UNDER THE "GRADING AND GEOTECHNICAL SPECIFICATIONS" CERTIFICATE ON THESE PLANS.

OWNER/APPLICANT

30 HOTEL CIRCLE
 920 NEWPORT CENTER DR., 14TH FLOOR, NEWPORT BEACH CA, 92660
 CONTACT: RASHMI PATEL (949) 610-8208

REFERENCE DRAWINGS

URINAGE ACCESS EASEMENT	1113-1-B
WATER	11099-1 11772-1 10694-2-0
SEWER	10642-5 10642-6
STORM DRAIN	12405-30

SITE ADDRESS

2201 HOTEL CIRCLE SOUTH, SAN DIEGO, CA 92108.

TOPOGRAPHY SOURCE

HENRIK SURVEYING AND MAPPING, INC.
 601 E. GLENDALE BLVD., SUITE 208
 GLENDALE, CALIFORNIA 91207
 OCTOBER 25, 2012

BENCHMARK

ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) PER CITY OF SAN DIEGO BENCHMARK INDEX #2168/17146 HAVING AN ELEVATION OF 33.783 FEET. BENCHMARK IS A BRASS PLUG IN TOP OF CURB OVER ANY USER OF ELEVATIONS AND/OR COORDINATES SHOWN HEREON AN UNDERWALK DRAIN STRUCTURE ON THE SOUTH SIDE. FOR THE CONTROL OF CONSTRUCTION, SHALL VERIFY AT LEAST 3 POINTS OF HOTEL CIRCLE SOUTH AT ADDRESS NO. 1843. SHOWN HEREON FOR MATHEMATICAL CONSISTENCY PRIOR TO SUCH USE. BM COORDINATES PER THIS SURVEY: N 1657205.88 E 6278953.33

ASSESSORS PARCEL NUMBER

443-040-2700

EXISTING LEGAL DESCRIPTION

PARCEL A: (SEE TITLE)

PARCEL 2 OF PARCEL MAP NO. 17760, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY REGISTER OF SAN COUNTY, OCTOBER 2, 1968.

PARCEL 6:

ALL RIGHT, TITLE AND INTEREST IN AND TO THE IMPROVEMENTS, ONLY, WHICH IMPROVEMENTS ARE THE BUILDING STRUCTURES AND OTHER PERMANENT IMPROVEMENTS LOCATED ON THE REAL PROPERTY DESCRIBED IN PARCEL A ABOVE INCLUDING, WITHOUT LIMITATION, ELECTRICAL, DISTRIBUTION SYSTEMS, HVAC SYSTEMS, PLUMBING, SWIMMING POOL, LIGHTING AND MECHANICAL EQUIPMENT AND FIXTURES INSTALLED THEREON, AND ALL RIGHTS, BENEFITS AND PRIVILEGES APPURTENANT THEREIN.

SHEET INDEX

TITLE SHEET	SHEET C0.01
CITY GENERAL NOTES	SHEET C0.02
CIVIL GENERAL NOTES	SHEET C0.03
EROSION CONTROL PLAN	SHEET C1.00
DEMOLITION PLAN	SHEET C2.00
DEMOLITION PLAN	SHEET C2.01
GRADING PLAN	SHEET C3.00
UTILITY PLAN	SHEET C4.00
UTILITY PLAN	SHEET C4.01
PAVING PLAN	SHEET C5.00
PAVING PLAN	SHEET C5.01
DETAILS	SHEET C6.00
DETAILS	SHEET C6.01
DETAILS	SHEET C6.02

PRIVATE WATER AND WASTEWATER

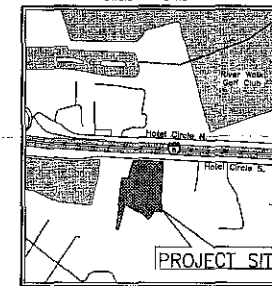
THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.

WORK TO BE DONE

THE IMPROVEMENTS CONSIST OF THE FOLLOWING WORK TO BE DONE ACCORDING TO THESE PLANS AND THE SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS DOCUMENT NO.	FILED	DESCRIPTION
PITS05040901	05-04-09	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2009 EDITION
PITS060110-1	09-01-10	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (WHITEBOOK), 2010 EDITION
AEC1231064	12-31-10	CALIFORNIA DEPARTMENT OF TRANSPORTATION, MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD 2006)
AEC0925062	06-25-06	CALTRANS 2006 (U.S. CUSTOMARY SPECIFICATIONS)

STANDARD DRAWINGS DOCUMENT NO.	FILED	DESCRIPTION
AEC1231063	12-31-06	CITY OF SAN DIEGO STANDARD DRAWINGS INCLUDING REGIONAL STANDARD DRAWINGS
AEC0926061	09-25-06	CALTRANS 2006 U.S. CUSTOMARY UNIT STANDARD PLANS



VICINITY MAP

NO SCALE

TOTAL DISTURBED AREA

4.95 ACRES OF TOTAL DISTURBED AREA.

GRADING QUANTITIES

GRADED AREA	3.7	[ACRES]	MAX. CUT DEPTH	14	[FT]
CUT QUANTITIES	23,321	[CYD]	MAX. CUT SLOPE RATIO (2:1MAX)	2:1	
FILL QUANTITIES	4,640	[CYD]	MAX. FILL DEPTH	7	[FT]
EXPORT	16,281	[CYD]	MAX. FILL SLOPE RATIO	2:1	

THIS PROJECT PROPOSES TO EXPORT 16,281 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

NOTES

- THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
- ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACT, AND CONSTRUCTION WASTE AND METHODS.
- THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHORING AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
- THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
- ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ON-SITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ON-SITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, OR REPLACEMENT.



GENE FONG ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS

1130 WOODBURY BLVD., LOS ANGELES, CA 90024
 210 • 209 • 7850 • 310 • 209 • 7816 FAX

PROJECT:

HOTEL CIRCLE SUITES
 2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

OWNER:



T2 DEVELOPMENT

620 NEWPORT CENTER DR
 14TH FLOOR
 NEWPORT BEACH, CA
 92660

REVISIONS:

4/17/2014	SITE DEV PERMIT - COMPLETION CHECK
5/17/2014	SITE DEV PERMIT - INITIAL SUBMITTAL
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8/19/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/04/2014	SITE DEV PERMIT - FIFTH SUBMITTAL



CONSULTANT:

kpti Consulting Engineers

4800 Van Hornes Ave, Suite 600
 Irvine, California 92618
 (949) 252-0221 Fax (949) 252-0222

SHEET TITLE:

TITLE SHEET

SCALE: AS NOTED

DATE: 11/04/14

PHASE: SITE DEVELOPMENT

JOB NUMBER: 1361A

SHEET NUMBER:

C0.01
 SHEET 1 OF 15
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SPECIAL NOTES:

THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF WORK. THE CITY ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE RESPONSIBLE FOR THEIR ENFORCEMENT:

- 1. WORK SHOWN HEREON SHALL BE DONE IN ACCORDANCE WITH THE 'STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION' LATEST EDITION AND SUPPLEMENTS, THE UNIFORM BUILDING CODE (EXCAVATION AND GRADING), AND CITY OF SAN DIEGO LOCAL ORDINANCES AS APPLICABLE.
2. ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE GEOTECHNICAL REPORT, PRELIMINARY GEOTECHNICAL INVESTIGATION PREPARED BY HOMEWOOD SUITES, PREPARED BY CONSTRUCTION TESTING & ENGINEERING, INC. DATED APRIL 22, 2013.
3. EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY DATED OCTOBER 25, 2012 BY HENNON SURVEYING AND MAPPING INC.
4. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
5. PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR SHALL HIRE A LICENSED LAND SURVEYOR TO VERIFY THAT THE ELEVATIONS SHOWN ON THE GRADING PLAN AT THE JOIN TO THE EXISTING IMPROVEMENTS MATCHES THE EXISTING ELEVATIONS IN THE FIELD. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES, AND SHALL NOT BEGIN CONSTRUCTION IN THE AREAS OF DISCREPANCIES UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
6. PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR SHALL POT-HOLE AND VERIFY THE VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UTILITIES WITHIN THE LIMIT OF WORK SHOWN ON THE CONSTRUCTION DRAWINGS, INCLUDING VERTICAL AND HORIZONTAL LOCATION OF EXISTING UNDERGROUND FACILITIES AT THE POINT-OF-CONNECTIONS AND CROSSINGS WITH THE PROPOSED UNDERGROUND FACILITIES. CONTRACTOR SHALL VERIFY THE POT-HOLING INFORMATION AGAINST THE CONSTRUCTION DRAWINGS AND IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES AND/OR CONFLICTS. THE CONTRACTOR SHALL NOT BEGIN CONSTRUCTION OF UNDERGROUND FACILITIES UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
7. ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
8. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
9. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS, WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
10. THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
11. IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
12. THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
13. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
14. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
15. ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST (D-1557).
16. THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
17. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
18. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
19. THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
20. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
21. THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
22. CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
23. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
24. ALL CURB DIMENSIONS AND RADI ARE TO PAVEMENT FACE OF CURB.
25. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
26. WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING CONSTRUCTION OPERATIONS.
27. CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF SAN DIEGO FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
28. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
29. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPOES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.
30. BLANKET PROTECTION SHALL BE PROVIDED FOR ALL UTILITY PIPES AND CONDUITS UNDER DRIVEWAYS, ROADWAYS, PARKING LOTS, AND OTHER VEHICULAR PATHS. PROTECT PER APPA STANDARD PLAN 225-1 WHERE THE MINIMUM COVER OVER THE PIPES AND CONDUITS IS LESS THAN 36".

- 31. CONTRACTOR SHALL ADJUST ALL EXISTING UTILITIES SUCH AS MANHOLE COVERS, CLEAN OUTLET COVERS, METER BOXES, FULL BOXES, VALVE BOXES, AREA DRAINS, CATCH BASINS, FIRE HYDRANTS AND OTHER SURFACE UTILITIES TO NEW FINISH GRADE. NOT ALL EXISTING SURFACE UTILITIES MAY HAVE BEEN IDENTIFIED ON THESE PLANS THAT MAY REQUIRE ADJUSTMENT TO NEW GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE TO FULLY ACKNOWLEDGE, UNDERSTAND AND INCLUDE THE EXTENT OF WORK REQUIRED.
32. ANY MODIFICATIONS OF OR CHANGES TO APPROVED GRADING PLANS MUST BE APPROVED BY THE BUILDING OFFICIAL.
33. THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
34. ALL EXPORT OF MATERIAL FROM THE SITE MUST GO TO A PERMITTED SITE APPROVED BY THE BUILDING OFFICIAL OR A LEGAL DUMP SITE. RECEIPTS FOR ACCEPTANCE OF EXCESS MATERIAL BY A DUMP SITE ARE REQUIRED AND MUST BE PROVIDED TO THE BUILDING OFFICIAL UPON REQUEST.
35. A COPY OF THE GRADING PERMIT AND APPROVED GRADING PLANS MUST BE IN THE POSSESSION OF A RESPONSIBLE PERSON AND AVAILABLE AT THE SITE AT ALL TIMES.
36. SITE BOUNDARIES, EASEMENTS, DRAINAGE DEVICES, RESTRICTED USE AREAS SHALL BE LOCATED PER CONSTRUCTION STAKING BY FIELD ENGINEER OR LICENSED SURVEYOR. PRIOR TO GRADING, AS REQUESTED BY THE BUILDING OFFICIAL, ALL PROPERTY LINES, EASEMENTS, AND RESTRICTED USE AREAS SHALL BE STAKED.
37. ALL WORK MUST BE IN COMPLIANCE WITH THE RECOMMENDATIONS INCLUDED IN THE GEOTECHNICAL CONSULTANT'S REPORT(S) AND THE APPROVED GRADING PLANS AND SPECIFICATIONS.
38. FOUNDATION, WALL AND POOL EXCAVATIONS MUST BE INSPECTED AND APPROVED BY THE CONSULTING GEOLOGIST AND SOIL ENGINEER, PRIOR TO THE PLACING OF STEEL OR CONCRETE.
39. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH THE CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLAN OR SPECIFICATIONS.
40. ALL OUTSIDE WATER AND SEWER FACILITIES AREA PRIVATE.

ABBREVIATIONS:

Table with two columns of abbreviations and their corresponding full names. Includes items like AC (Asphaltic Concrete), BW (Back of Walk), BLDG (Building), BM (Benchmark), BOC (Back of Curb), BOS (Bottom of Stairs), BMP (Best Management Practices), CB (Cast Basin), CI (Cast Iron), CL (Center Line), CMU (Concrete Masonry Unit), CO (Cleanout), CONC (Concrete), CF (Curb Face), DW (Domestic Water), (E) (East), EG (Edge of Gutter), EL OR ELEV (Elevation), ELEC (Electric, Electrical), EX OR EXIST (Existing), FDC (Fire Department Connection), FF (Finished Floor), FG (Finished Grade (Landscape)), FS (Finished Surface (Hardscape)), FH (Fire Hydrant), FL (Flow Line), FT (Foot or Feet), FU (Fixture Units), FV (Gate Valve), FW (Fire Water), GPM (Gallons Per Minute), HDPE (High Density Polyethylene), HP (High Point), INV. (Invert), LP (Low Point), MAX. (Maximum), MIN. (Minimum), MH (Man-hole), (N) (North), NTS (Not to Scale), PA (Planter Area), POC (Point of Connection), PI (Post Indicator Valve), PCC (Portland Cement Concrete), PRV (Pressure Reducing Valve), PVC (Polyvinyl Chloride), R (Radius), RCP (Rectangular Cast Iron Pipe), RD (Roof Drain), RW (Right-of-Way), (S) (South), S= (Slope Equals), SD (Storm Drain), SSMH (Sanitary Sewer Man-hole), SS (Sanitary Sewer), STD (Standard), SSMH (Storm Drain Man-hole), SW (Sidewalk), TC (Top of Curb), TEL (Telephone), TG (Top of Grate), TOS (Top of Stairs), TW (Top of Wall), TS (Traffic Signal), TSB (Traffic Signal Box), TYP (Typical), TV (Television), VIF (Verify in Field), VLT (Vault), VCP (Vitrefied Clay Pipe), (W) (West), W (Water), WM (Water Meter), WV (Water Valve).

LEGEND (PRIVATE IMPROVEMENTS):

Legend table with two main columns: PROPOSED and EXISTING. PROPOSED includes symbols for civil limits of work, surface elevation/utility elevation, construction notes, flow direction and grade, slope, horizontal control point labels, curve data labels, pad/finished floor elevation, curbs, property lines, center lines, fences, gravel bags, excavation outlines, drainage directions, major and minor contours, flow lines, grade break lines, ridge lines, sawcuts, grading benches, sanitary sewers, water lines, domestic water, fire water service, storm drains, perforated pipes, utility cleanouts, storm drain inlets, area drains/planters, trench drains, fire hydrants, thrust blocks, backflow assemblies, and utility meter vaults. EXISTING includes symbols for concrete surfaces, power poles, light poles, handicaps, fire hydrants, water valves, storm manholes, fence lines, overhead utility lines, inlets, monuments, vaults, backflow preventers, transformers, foundations, mail/discs, monuments, sanitary valves, overhangs, parking spaces, handicaps, fire valves, measured lines, pier descriptions, retaining walls, cleanouts, water meters, gas valves, irrigation control valves, irrigation drains, reinforced concrete pipes, gully anchors, sprinkler valves, auto sprinklers, fire department connectors, gas valves, wood decks, and wood railings.



GENEFONG ASSOCIATES ARCHITECTURE - PLANNING - INTERIORS 1105 WESTWOOD BLVD, LOS ANGELES, CA 90024 TEL: 310-309-7200 FAX: 310-309-7210 PROJECT:

HOTEL CIRCLE SUITES 2201 HOTEL CIRCLE SOUTH SAN DIEGO, CA 92108

T2 DEVELOPMENT 620 NEWPORT CENTER DR NEWPORT BEACH, CA 92660

Revisions table with columns for date, description, and revision number. Includes entries for 4/17/2013, 5/17/2013, 4/8/2014, 8/29/2014, 9/19/2014, and 11/04/2014.



CONSULTANT: Keith L. Hines

kpH Consulting Engineers 2402 Van Ness Ave. Suite 600 Irvine, California 92614 (949) 232-1232 Fax: (949) 232-9030

SHEET TITLE: CIVIL GENERAL NOTES

SCALE: AS NOTED DATE: 11/04/14 PHASE: SITE DEVELOPMENT JOB NUMBER: 1361A SHEET NUMBER:

C0.03 SHEET 3 OF 15 COPYRIGHT 2013, GENE FONG ASSOCIATES



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OWNER:
HOTEL CIRCLE SOUTH
2201 HOTEL CIRCLE SOUTH
SAN DIEGO, CA 92108

CONTRACT NO.:
12 DEVELOPMENT

PROJECT:
620 NEWPORT CENTER DR
14TH FLOOR
NEWPORT BEACH, CA
92660

REVISIONS:

NO.	DATE	DESCRIPTION
1	4/17/07	SEE REV. SHEET - COMPLETION CHECK
2	5/17/07	SEE REV. SHEET - PERM. SUBMITTAL
3	4/18/08	SEE REV. SHEET - PERM. SUBMITTAL
4	5/25/08	SEE REV. SHEET - PERM. SUBMITTAL
5	1/13/09	SEE REV. SHEET - PERM. SUBMITTAL
6	1/14/09	SEE REV. SHEET - PERM. SUBMITTAL



CONSULTANT:

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8400 Van Nuys Ave. Suite 100
Van Nuys, CA 91411
Tel: 818-222-8822 Fax: 818-222-8822

SHEET TITLE:

EROSION CONTROL PLAN

SCALE: AS NOTED

DATE: 11/04/14

PHASE: SITE DEVELOPMENT

JOB NUMBER: 13614

SHEET NUMBER:

C1.00
SHEET 1 OF 15
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EROSION CONTROL NOTES:

- EROSION CONTROL MEASURES SHALL BE IMPLEMENTED PER STORM WATER POLLUTION PREVENTION PLAN (SWPPP), DATED 10-28-13.
- TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THESE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
- STORM AND SEWER DRAIN TRENCHES THAT ARE CUT THROUGH BERM Dikes OR BASH ALLET LINES SHALL BE PLUGGED WITH SANDBAGS.
- EXCEPT WHEN THE INSPECTOR DIRECTS OTHERWISE, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS FORECAST, AND SHALL BE MAINTAINED DURING THE PAUSE PERIOD (OCTOBER 15 TO APRIL 15).
- SANDBAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST, OR WHEN THE INSPECTOR SO DIRECTS.
- A "STANDBY EMERGENCY CREW" SHALL BE ALERT BY THE PERMITTEE OR THE CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINFALLS. THE PARTY TO BE CONTACTED IS: _____ (TO BE FILLED IN BY CONTRACTOR)
PHONE NUMBER: _____

SAN DIEGO EROSION CONTROL NOTES:

- DUST SHALL BE CONTROLLED BY WATERING AND/OR APPLYING A DUST PALMATIVE. THE DUST PALMATIVE SHALL BE APPLIED IN THE AMOUNT AT THE LOCATIONS AS DIRECTED BY THE ENGINEER.
- WATER FOR DUST CONTROL SHALL BE APPLIED BY MEANS OF PRESSURE TYPE SPRINKLERS OR WATERING TRUCKS. WATERING TRUCKS SHALL BE EQUIPPED WITH NOZZLES THAT WILL INSURE A UNIFORM APPLICATION OF WATER.
- WATERING SHALL BE APPLIED BY MEANS OF HOSE LINES, AT LEAST ONE HOSE LINE UNIT WITH A MINIMUM CAPACITY OF 100 GALLONS SHALL BE AVAILABLE FOR APPLYING WATER.
- ALL SOIL MATERIALS OR DEBRIS TRUCKED FROM THE SITE SHALL BE COVERED AND SPRINKLED PRIOR TO ENTERING PUBLIC STREETS.
- PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS.
- PROVIDE FOR RAMP CLEAN-UP OF SEDIMENTS DEPOSITED ON THE PAVED ROADS.
- LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEARING & EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.

BMP NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT AND MUD ON ADJACENT STREETS, DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY AT THE END OF EACH DAY, OR AFTER A STORM EVENT THAT CAUSES A CONSTRUCTION BMP'S WHICH MAY COMPROMISE STORM WATER QUALITY WITHIN ANY STREETS.
- ALL SAMPLES OF SOIL AND FILLING MATERIALS THAT ARE INTENDED TO BE USED FOR CONSTRUCTION SHALL BE TAKEN AND ANALYZED TO DETERMINE ALL REMEDIABLE BMP DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE RAIN PROBABILITY FORECAST EXCEEDS 40%.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PRODUCE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS WHICH ARE TO BE POURED IN PLACE ON SITE.
- THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO ORIGINAL CONDITION FOR RUN-OFF PRODUCING PARALLEL OR AFTER ANY MATERIAL BRANCH OR INTERFERENCE.
- ALL MATERIALS THAT ARE STORED OR MANIPULATED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

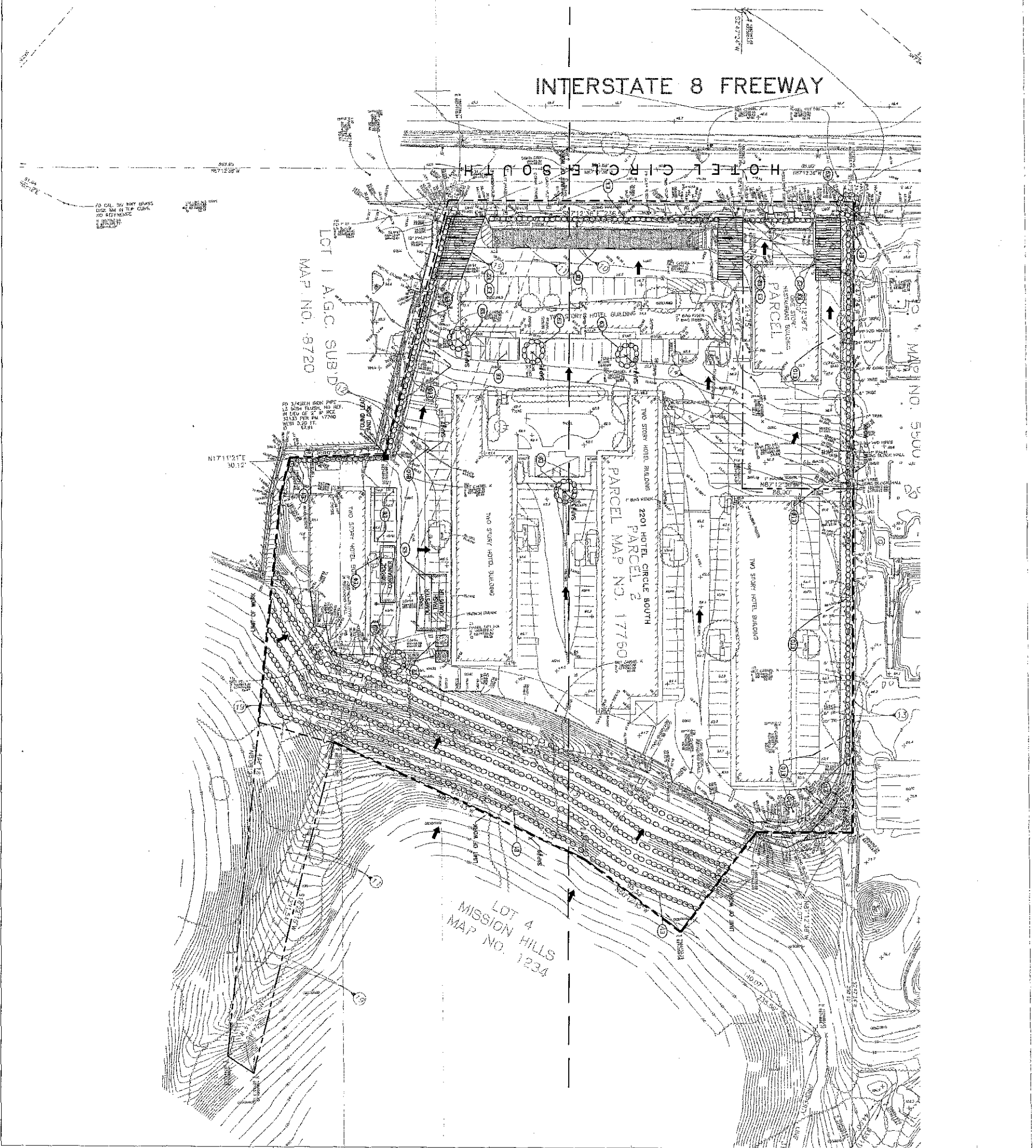
EROSION CONTROL NOTES:

- PLACE GRAVEL BAGS TRIPLE ROW, PER CDSA BMP SE-5.
- STABILIZED CONSTRUCTION ENTRANCE, PER CDSA BMP TC-1.
- ENTRANCE/OUTLET THE WASH PER CDSA BMP TC-3.
- MATERIAL DELIVERY AND STORAGE, PER CDSA BMP WM-1.
- SOLID WASTE MANAGEMENT, PER CDSA BMP WM-5.
- CONCRETE WASTE MANAGEMENT, PER CDSA BMP WM-8.
- SEDIMENT TRAP, PER CDSA BMP SE-3.
- STORM DRAIN INLET PROTECTION, PER CDSA BMP SD-10.
- BERM CHECK DIMS, PER CDSA BMP SE-8.
- EARTH BERM/DRAINAGE SWALE, PER CDSA BMP EC-8.

LEGEND:

- PROPERTY LINE
- GRAVEL BAGS
- EXISTING DRAINAGE DIRECTION OF FLOW
- LIMIT OF WORK
- SAMPLING LOCATIONS, SEE SWPPP REPORT FOR DETAILS
- FOUND LEAD AND DISK


PLAN
SCALE = 30'-0"
1" = 30'-0"
GRAPHIC SCALE





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 310 • 209-7620 310 • 209-7616 FAX

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 2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

OWNER:

 T2 DEVELOPMENT
 620 NEWPORT CENTER DR
 14TH FLOOR
 NEWPORT BEACH, CA
 92660

REVISIONS:

4/7/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
8/29/2014	SITE DEV PERMIT - THIRD SUBMITTAL
8/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/24/2014	SITE DEV PERMIT - FIFTH SUBMITTAL



CONSULTANT:

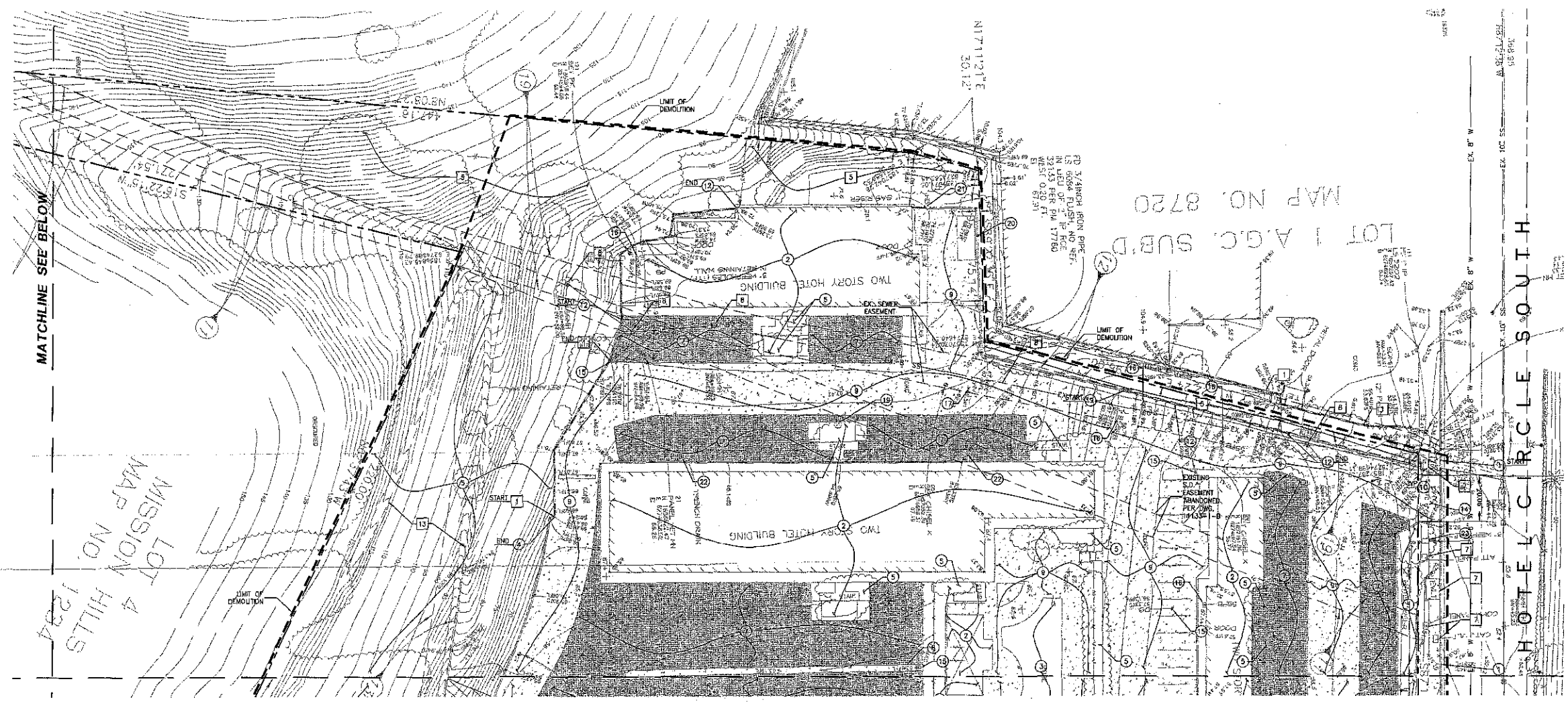
 KPI Consulting Engineers
 2540 Van Kester Ave, Suite 600
 Irvine, California 92614
 949 252-4222 Fax 949 252-6992

SHEET TITLE:
DEMOLITION PLAN

SCALE: AS NOTED
 DATE: 11/04/14
 PHASE: SITE DEVELOPMENT
 JOB NUMBER: 1361A
 SHEET NUMBER:

C2.00
 SHEET 5 OF 15
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ATTACHMENT 7



MATCHLINE SEE BELOW






LOT 4 MISSION HILLS
 MAP NO. 1287

MATCHLINE SEE SHEET C2.01

DEMOLITION NOTES

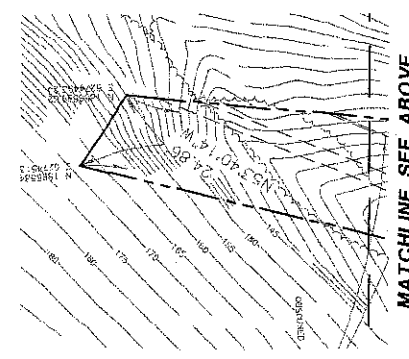
- | | |
|---|---|
| <p>TO BE DEMOLISHED</p> <ul style="list-style-type: none"> 1 DEMOLISH EXISTING CONCRETE CURB & GUTTER. 2 DEMOLISH EXISTING BUILDING ASSOCIATED STRUCTURES AND FOUNDATION. 3 DEMOLISH EXISTING POOL IN ITS ENTIRETY. 4 DEMOLISH EXISTING CONCRETE CURB. 5 DEMOLISH EXISTING LANDSCAPE. SEE LANDSCAPE PLANS FOR NEW VEGETATION REQUIREMENTS AND LIMITS. 6 DEMOLISH EXISTING C.L. GATE. 7 DEMOLISH EXISTING ASPHALT PAVING. 8 DEMOLISH EXISTING CONCRETE GUTTER. 9 DEMOLISH EXISTING CONCRETE PAVING. 10 DEMOLISH EXISTING CONCRETE SIDEWALK. 11 RELOCATE EXISTING DRY UTILITY. PER DRY UTILITY COMPOSITE PLAN. 12 DEMOLISH EXISTING CMU RETAINING WALL AND FOUNDATION. 13 DEMOLISH EXISTING CONCRETE STAIRS, ASSOCIATED STRUCTURES AND FOUNDATION. 14 DEMOLISH EXISTING CONCRETE DRIVEWAY. 15 DEMOLISH EXISTING DRAINAGE INLET. 16 DEMOLISH EXISTING PULL BOX. 17 DEMOLISH EXISTING GATE VALVE. 18 DEMOLISH EXISTING ELECTRICAL EQUIPMENT. 19 DEMOLISH EXISTING SIGN AND FOUNDATION. 20 REMOVE EXISTING STORAGE CONTAINER. 21 DEMOLISH EXISTING GAS UTILITY. 22 DEMOLISH EXISTING TRENCH DRAIN. 23 DEMOLISH BACKFLOW DEVICE, WATER METER AND CAP WATER LINE PER CITY OF SAN DIEGO STANDARD PLAN DWG WP-03. 24 DEMOLISH CONCRETE SHOTCRETE. | <p>PROTECT-IN-PLACE</p> <ul style="list-style-type: none"> 1 EXISTING RETAINING WALL. 2 EXISTING LIGHT POLE. 3 EXISTING FIRE HYDRANT. 4 EXISTING POWER POLE. 5 EXISTING LANDSCAPE. SEE LANDSCAPE PLANS FOR NEW VEGETATION REQUIREMENTS AND LIMITS. 6 EXISTING C.L. GATE. 7 EXISTING UTILITY VAULT & BOXES. 8 EXISTING SEWER MAIN AND MANHOLE. SEE NOTE 12. 9 EXISTING BACKFLOW PREVENTOR. 10 EXISTING 18" STORM DRAIN RCP, INLET, AND MANHOLES. 11 EXISTING SIGN AND FOUNDATION. 12 EXISTING BUS STOP. 13 CONCRETE SWALE. |
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DEMOLITION LEGEND:

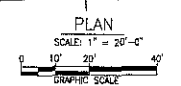
-  LIMIT LINE OF DEMOLITION
-  PROPERTY LINE
-  REMOVE EXISTING CONCRETE PAVING
-  REMOVE EXISTING ASPHALT PAVING
-  REMOVE EXISTING SHOTCRETE

GENERAL DEMOLITION NOTES:

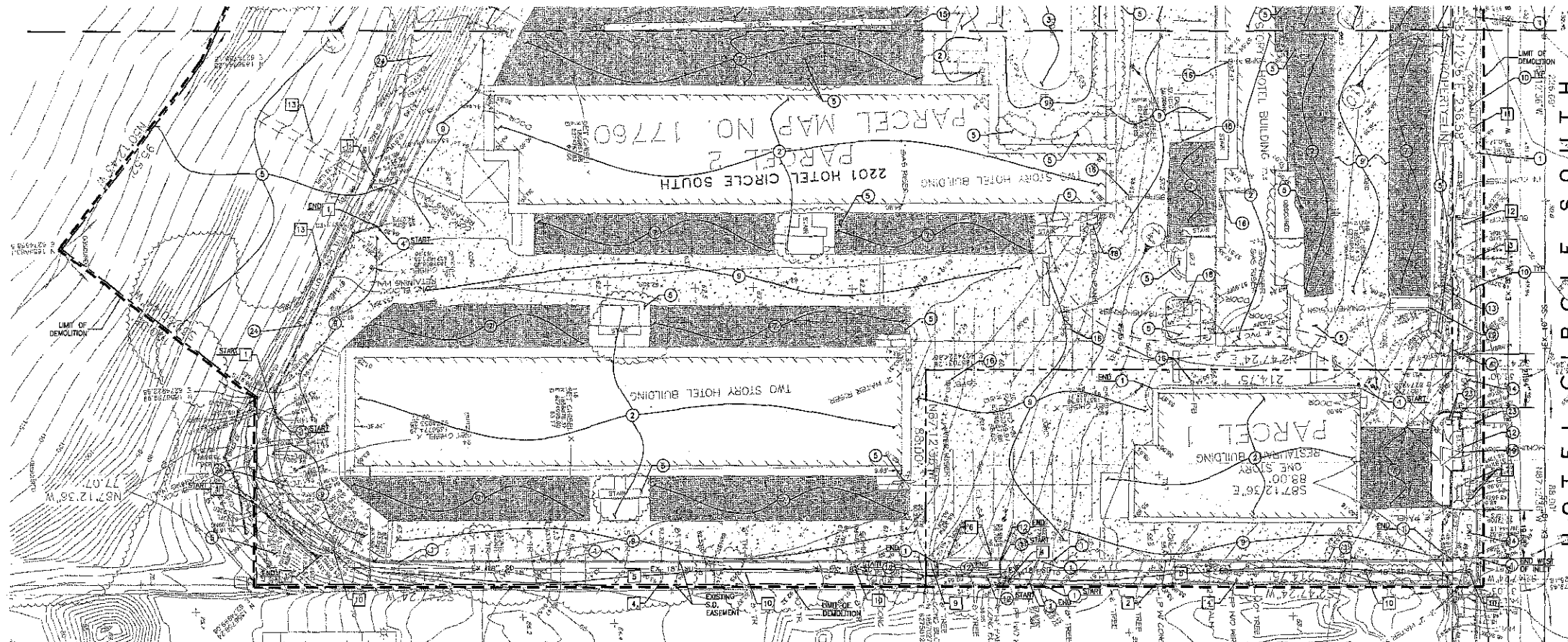
1. CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES UNLESS OTHERWISE NOTED ON THE PLANS.
2. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
4. NOT ALL EXISTING SITE CONDITIONS AND IMPROVEMENTS MAY HAVE BEEN SHOWN ON DEMOLITION PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE TO VISIT THE SITE TO FULLY ACKNOWLEDGE, UNDERSTAND AND INCLUDE THE EXTENT OF DEMOLITION WORK REQUIRED FOR THE IMPROVEMENTS SHOWN ON THE CONTRACT PLANS.
5. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
6. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
7. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
8. DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
9. DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.
10. CONTRACTOR SHALL INCLUDE IN THEIR SCOPE OF WORK DEMOLITION OF ALL EXISTING IMPROVEMENTS REQUIRED FOR THE CONSTRUCTION OF THE NEW IMPROVEMENTS SHOWN ON THE CONTRACT PLANS, REGARDLESS OF IF THE DEMOLITION AND REMOVAL OF THE EXISTING IMPROVEMENTS REQUIRED FOR NEW CONSTRUCTION IS EXPLICITLY SHOWN ON THESE PLANS TO BE DEMOLISHED AND REMOVED.
11. DEMOLITION CALLOUTS IN THIS SECTION ARE REPRESENTATIVE OF WHAT IS TO BE DONE. NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.
12. EXISTING BUILDING SEWER LATERALS SHALL BE REMOVED AND ABANDONED IN PLACE 5' FROM 8" SEWER MAIN TO BE PROTECTED IN PLACE. ABANDONED SEWER LATER SHALL BE PERMANENTLY PLUGGED PER CITY OF SAN DIEGO STANDARD PLAN WP-03.



MATCHLINE SEE ABOVE



MATCHLINE SEE SHEET C2.00

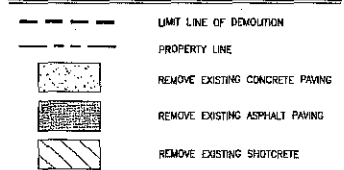


DEMOLITION NOTES

- TO BE DEMOLISHED**
- 1 DEMOLISH EXISTING CONCRETE CURB & GUTTER.
 - 2 DEMOLISH EXISTING BUILDING ASSOCIATED STRUCTURES AND FOUNDATION.
 - 3 DEMOLISH EXISTING POOL IN ITS ENTIRETY.
 - 4 DEMOLISH EXISTING CONCRETE CURB.
 - 5 DEMOLISH EXISTING LANDSCAPE. SEE LANDSCAPE PLANS FOR NEW VEGETATION REQUIREMENTS AND LIMITS.
 - 6 DEMOLISH EXISTING C.I. GATE.
 - 7 DEMOLISH EXISTING ASPHALT PAVING.
 - 8 DEMOLISH EXISTING CONCRETE GUTTER.
 - 9 DEMOLISH EXISTING CONCRETE PAVING.
 - 10 DEMOLISH EXISTING CONCRETE SIDEWALK.
 - 11 RELOCATE EXISTING DRY UTILITY. PER DRY UTILITY COMPOSITE PLAN.
 - 12 DEMOLISH EXISTING CMU RETAINING WALL AND FOUNDATION.
 - 13 DEMOLISH EXISTING CONCRETE STAIRS, ASSOCIATED STRUCTURES AND FOUNDATION.
 - 14 DEMOLISH EXISTING CONCRETE DRIVEWAY.
 - 15 DEMOLISH EXISTING DRAINAGE INLET.
 - 16 DEMOLISH EXISTING PULL BOX.
 - 17 DEMOLISH EXISTING GATE VALVE.
 - 18 DEMOLISH EXISTING ELECTRICAL EQUIPMENT.
 - 19 DEMOLISH EXISTING SIGN AND FOUNDATION.
 - 20 REMOVE EXISTING STORAGE CONTAINER.
 - 21 DEMOLISH EXISTING GAS UTILITY.
 - 22 DEMOLISH EXISTING TRENCH DRAIN.
 - 23 DEMOLISH BACKFLOW DEVICE, WATER METER AND CAP WATER LINE PER CITY OF SAN DIEGO STANDARD PLAN DWG WP-03.
 - 24 DEMOLISH CONCRETE SHOTCRETE.

- PROTECT-IN-PLACE**
- 1 EXISTING RETAINING WALL.
 - 2 EXISTING LIGHT POLE.
 - 3 EXISTING FIRE HYDRANT.
 - 4 EXISTING POWER POLE.
 - 5 EXISTING LANDSCAPE. SEE LANDSCAPE PLANS FOR NEW VEGETATION REQUIREMENTS AND LIMITS.
 - 6 EXISTING C.I. GATE.
 - 7 EXISTING UTILITY VAULT & BOXES.
 - 8 EXISTING SEWER MAIN AND MANHOLE. SEE NOTE 12.
 - 9 EXISTING BACKFLOW PREVENTOR.
 - 10 EXISTING 18" STORM DRAIN RCP, INLET, AND MANHOLES.
 - 11 EXISTING SIGN AND FOUNDATION.
 - 12 EXISTING BUS STOP.
 - 13 CONCRETE SWALE.

DEMOLITION LEGEND:



GENERAL DEMOLITION NOTES:

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9. DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.
10. CONTRACTOR SHALL INCLUDE IN THEIR SCOPE OF WORK DEMOLITION OF ALL EXISTING IMPROVEMENTS REQUIRED FOR THE CONSTRUCTION OF THE NEW IMPROVEMENTS SHOWN ON THE CONTRACT PLANS, REGARDLESS OF IF THE DEMOLITION AND REMOVAL OF THE EXISTING IMPROVEMENTS REQUIRED FOR NEW CONSTRUCTION IS EXPLICITLY SHOWN ON THESE PLANS TO BE DEMOLISHED AND REMOVED.
11. DEMOLITION CALLOUTS IN THIS SECTION ARE REPRESENTATIVE OF WHAT IS TO BE DONE. NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.
12. EXISTING BUILDING SEWER LATERALS SHALL BE REMOVED AND ABANDONED IN PLACE 5' FROM 8" SEWER MAIN TO BE PROTECTED IN PLACE. ABANDONED SEWER LATER SHALL BE PERMANENTLY PLUGGED PER CITY OF SAN DIEGO STANDARD PLAN WP-03.



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PROJECT:
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SAN DIEGO, CA 92108

OWNER:
T2 DEVELOPMENT
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NEWPORT BEACH, CA
92660

REVISIONS:

1/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/7/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
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5/28/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
1/04/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

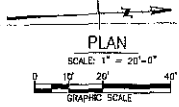


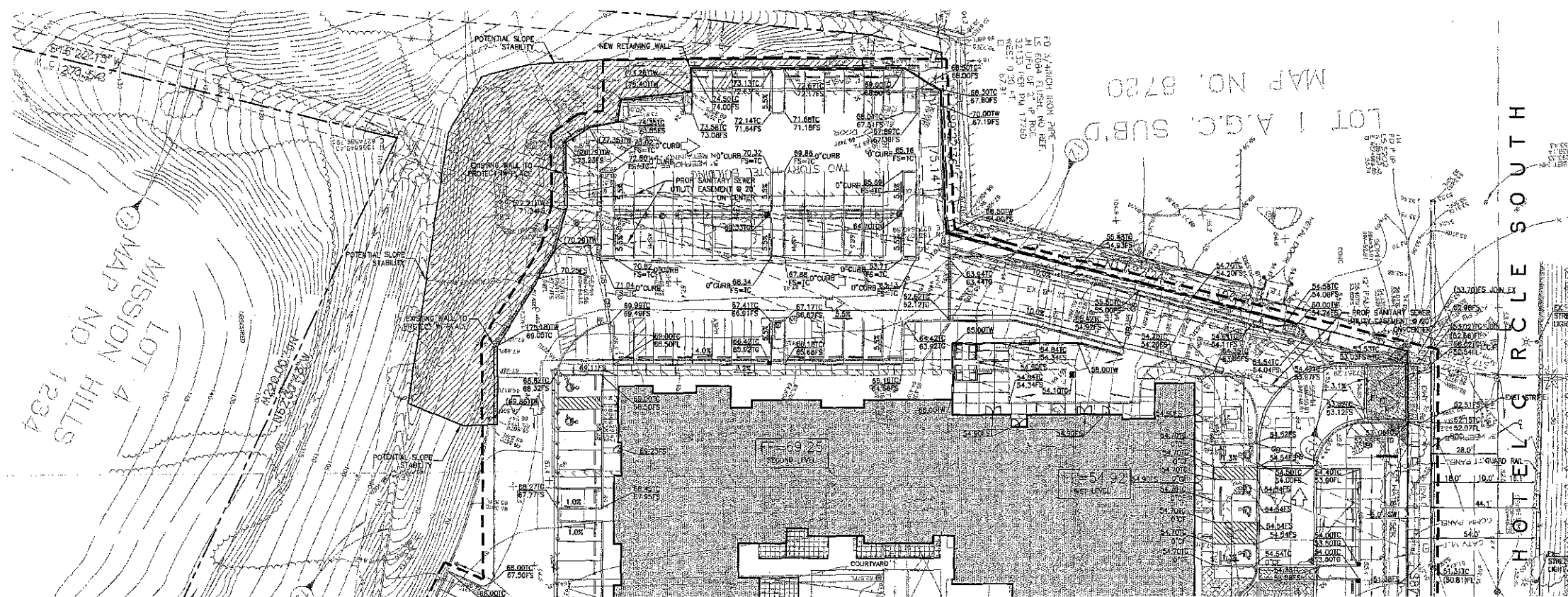
CONSULTANT:
kpti Consulting Engineers
8400 Van Kester Ave, Suite 600
Irvine, California 92618
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SHEET TITLE:
DEMOLITION PLAN

SCALE: AS NOTED
DATE: 11/04/14
PHASE: SITE DEVELOPMENT
JOB NUMBER: 1361A
SHEET NUMBER:

C2.01
SHEET 6 OF 15
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GENERAL GRADING NOTES

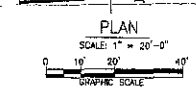
① GRADING SHALL REMAIN AS EXISTING CONDITIONS. THE WORK WITHIN THE SLOPE SHALL CONSIST OF REPLACEMENT OF CONCRETE SWALE ONLY.

NOTE:

NOT PROPOSED IMPROVEMENTS PENDING EMRA APPROVAL.


LEGEND

- PROPERTY LINE
- DRAINAGE ARROW
- LIMIT OF WORK
- TRENCH DRAIN
- RETAINING WALL
- ⊙ AREA/PLANTER DRAM



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11/04/2014	SITE DEV PERMIT - FIFTH SUBMITTAL



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SHEET TITLE:

GRADING PLAN

SCALE: AS NOTED

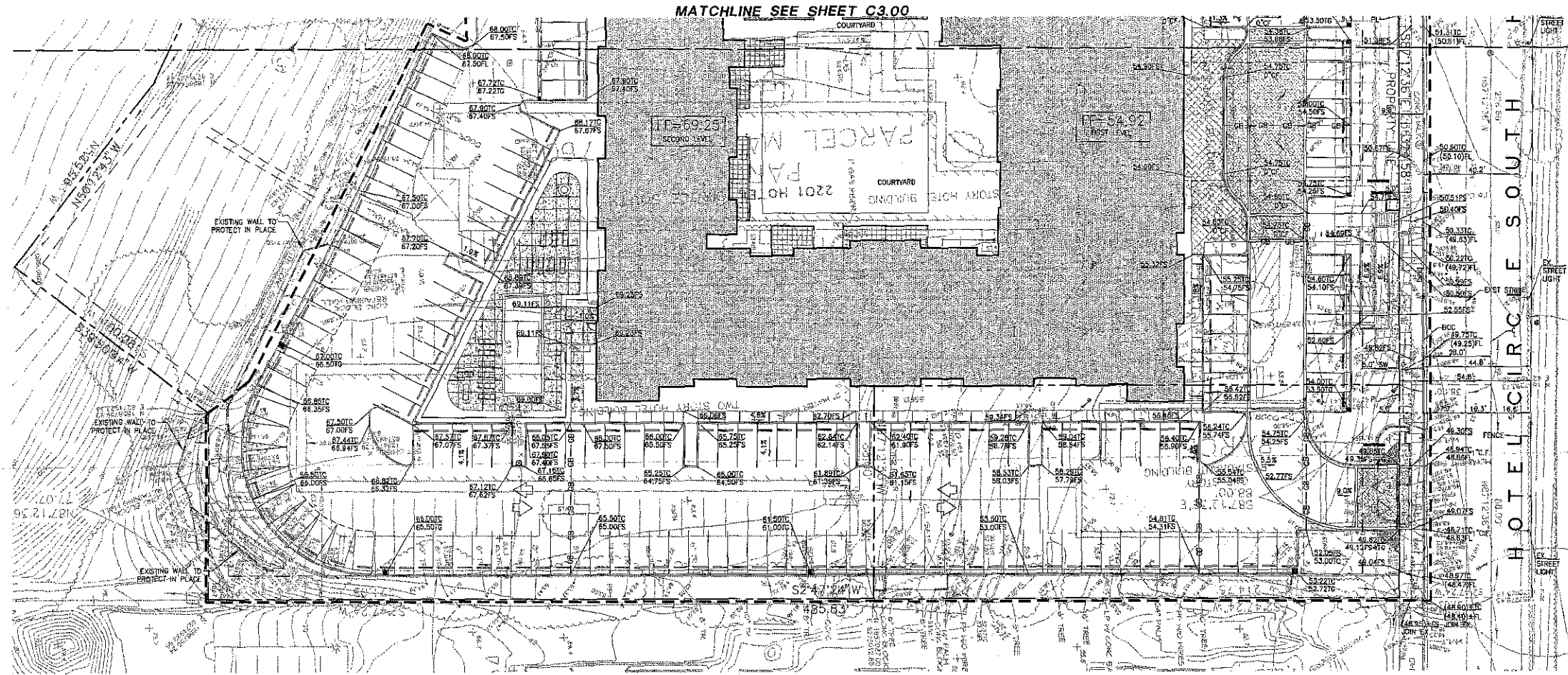
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JOB NUMBER: 1361A

SHEET NUMBER:

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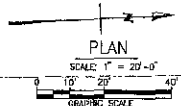
GENERAL GRADING NOTES

① GRADING SHALL REMAIN AS EXISTING CONDITIONS. THE WORK WITHIN THE SLOPE SHALL CONSIST OF REPLACEMENT OF CONCRETE SWALE ONLY.

NOTE:
NOT PROPOSED IMPROVEMENTS PENDING EMRA APPROVAL.


LEGEND

- PROPERTY LINE
- DRAINAGE ARROW
- - - - - LIMIT OF WORK
- - - - - TRENCH DRAIN
- ▬▬▬▬▬ RETAINING WALL
- AREA/PLANTER DRAW



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11/04/2014	SIT DEV PERMIT - FIFTH SUBMITTAL



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SHEET TITLE:
GRADING PLAN

SCALE:
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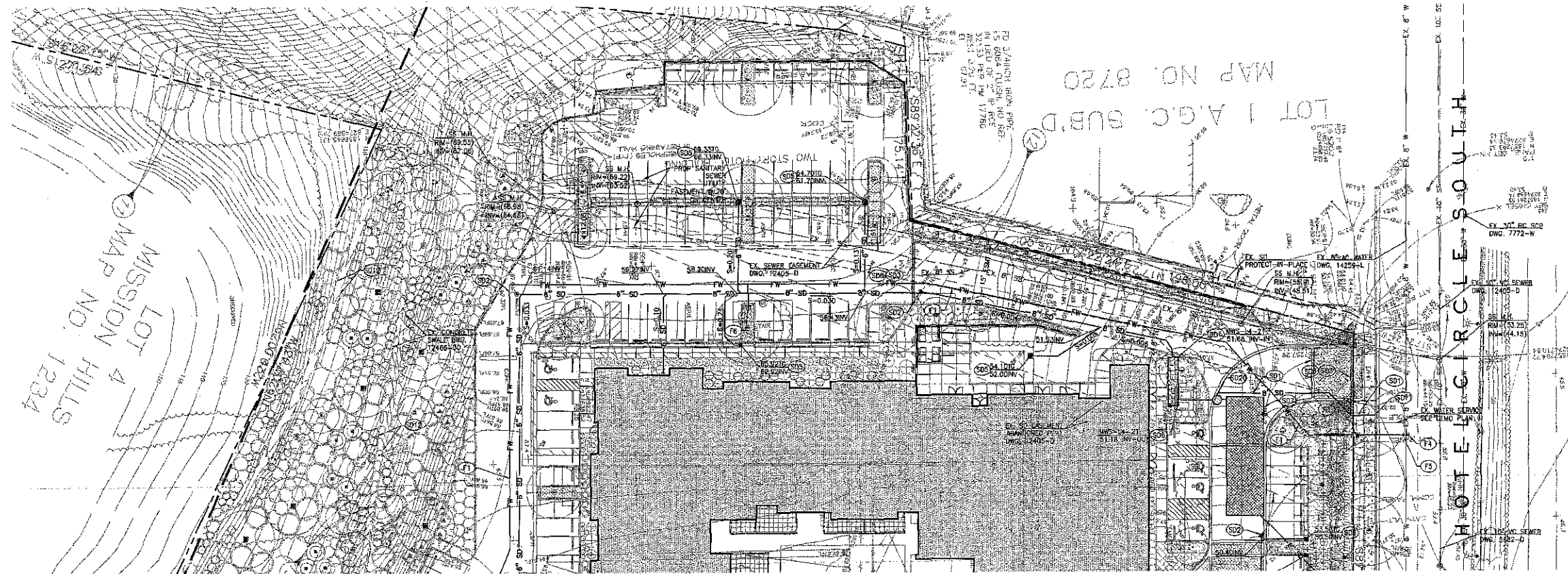
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SITE DEVELOPMENT

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SHEET NUMBER:

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SHEET 8 OF 15
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UTILITY CONSTRUCTION NOTES:

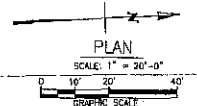
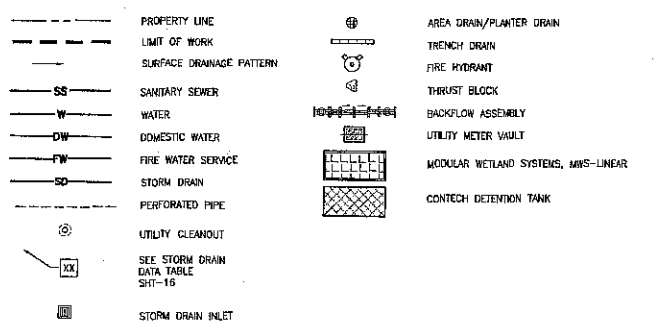
- STORM DRAIN**
- (S01) PVC, SDR-35 STORM DRAIN PIPE SIZE AND SLOPE PER PLAN. SEE CITY OF SAN DIEGO STANDARD DWG SDD-110 FOR PIPE BEDDING.
 - (S02) CLEANOUT PER DETAIL CITY OF SAN DIEGO STANDARD DWG D-9 AND D-10.
 - (S03) ACO FE200 8" FRENCH DRAIN WITH ADA TRAFFIC RATED DUCTILE IRON CLASS E GRATE.
 - (S04) PLANTING DRAIN PER DETAIL 1, SHEET 14.
 - (S05) CONCRETE CAST IN PLACE CATCH BASIN WITH TRAFFIC RATED GRATE PER CITY OF SAN DIEGO STANDARD DWG SDD-119, SDD-103, AND D-29.
 - (S06) MODULAR WETLAND SYSTEMS; MWS-LINEAR STORMWATER FILTRATION SYSTEM, PER DETAILS 5 AND 7, SHEET 14.
 - (S07) CONTECH CMP UNDERGROUND DETENTION SYSTEM PER DETAIL 3, SHEET 14.
 - (S08) PLACE BIO-CLEAN TRENCH DRAIN FILTER.
 - (S09) SUBDRAIN PER DETAIL 3, ON SHEET 14.
 - (S010) 24" X 24" JENSEN PRECAST CONCRETE CATCH BASIN WITH TRAFFIC RATED GRATE.
 - (S011) CURB OUTLET PER CITY OF SAN DIEGO STD. DWG. D-25.
 - (S012) REMOVE AND REPLACE CONCRETE DITCH PER CITY OF SAN DIEGO STD. DWG. SDD-105.
 - (S013) STORM GATE PER DETAIL 1, SHEET 15.
 - (S014) STORM DRAIN STENCILING PER CASDA BWP SD-10.
 - (S015) STORM DRAIN MANHOLE PER SPPWC STANDARD PLAN 321-2.
- FIRE SERVICE**
- (F1) FIRE SERVICE LINE, PVC C900, CLASS 250, SIZE PER PLAN, BEDDING PER CITY OF SAN DIEGO STANDARD DWG SDD-110 & SDD-105.
 - (F2) POINT OF CONNECTION TO BUILDING. SEE PLUMBING DRAWINGS FOR CONTINUATION, PRIVATE.
 - (F3) REDUCED PRESSURE PRINCIPLE DETECTOR ASSEMBLY PER CITY OF SAN DIEGO STANDARD DWG SDW-120.
 - (F4) INSTALL THRUST BLOCK PER CITY OF SAN DIEGO STANDARD DWG SDW-151.
 - (F5) GATE VALVE PER DETAIL 5, SHEET 14, PRIVATE.
 - (F6) FIRE HYDRANT PER CITY OF SAN DIEGO STANDARD DWG SDW-104.

- DOMESTIC WATER**
- (W1) DOMESTIC WATER PIPE, SIZE PER PLAN, PVC C900, CLASS 200, PRIVATE, BEDDING PER CITY OF SAN DIEGO STANDARD DWG SDW-110, SDW-149.
 - (W2) POINT OF CONNECTION TO BUILDING. SEE PLUMBING DRAWINGS FOR CONTINUATION, PRIVATE.
 - (W3) WATER METER VALVE PER DETAIL 5, SHEET 14 AND WATER METER BOX PER CITY OF SAN DIEGO STD. DWG. SDW-113, & SDW-136.
 - (W4) REDUCED PRESSURE PRINCIPLE DETECTOR ASSEMBLY PER CITY OF SAN DIEGO STANDARD DWG SDW-120.
 - (W5) INSTALL THRUST BLOCK PER CITY OF SAN DIEGO STANDARD DWG SDW-151.
 - (W6) GATE VALVE PER DETAIL 5, SHEET 14, PRIVATE.
- IRRIGATION SERVICE**
- (IR1) IRRIGATION SERVICE PER LANDSCAPE ARCHITECTURAL PLANS.
 - (IR2) POINT OF CONNECTION PRIVATE. SEE LANDSCAPE ARCHITECTURAL PLANS FOR CONTINUATION.
 - (IR3) IRRIGATION WATER METER PER CITY OF SAN DIEGO STANDARD DWG WS-03.
 - (IR4) GATE VALVE PER DETAIL 5, SHEET 14.
 - (IR5) REDUCED PRESSURE PRINCIPLE DETECTOR ASSEMBLY PER CITY OF SAN DIEGO STD. DWG. SDW-120.

NO SHRUBS MORE THAN 3 FEET IN HEIGHT AT MATURITY OR TREES ALLOWED WITHIN 10 FEET OF ANY PUBLIC SEWER, WATER MAIN OR SEWER LATERALS, WATER SERVICES, FIRE HYDRANTS.

- SANITARY SEWER**
- (SS1) PVC, SDR-35 SEWER PIPE SIZE PER PLAN, BEDDING PER CITY OF SAN DIEGO STANDARD DWG SSS-110.
 - (SS2) POINT OF CONNECTION TO BUILDING. SEE PLUMBING DRAWINGS FOR CONTINUATION, PRIVATE.
 - (SS3) CONNECT TO EXISTING 10" SANITARY SEWER LINE.
 - (SS4) SEWER CLEANOUT PER CITY OF SAN DIEGO STANDARD DWG SSS-102, SSS-103, AND SC-01, PRIVATE.
- NOTES:**
- SEE SHEET-X FOR STORM DRAIN HORIZONTAL CONTROL DATA.
 - THE PRIVATE WATER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM.
 - ALL PLANS FOR PRIVATE FIRE SERVICE MAINS AND PRIVATE FIRE HYDRANTS MUST BE SUBMITTED SEPARATELY TO FIRE PLAN CHECK FOR APPROVAL PRIOR TO INSTALLATION. ALL PRIVATE FIRE SYSTEMS WILL BE DESIGNED IN ACCORDANCE WITH CALIFORNIA BUILDING CODE, CALIFORNIA FIRE CODE AND NFPA 24, PRIVATE FIRE SERVICE MAINS AND THEIR APPURTENANCES. PLANS SHALL BE SINGLE LINE DRAWINGS SHOWING ALL OF THE APPLICABLE REQUIREMENTS OF THE CODES SPECIFIED ABOVE.
 - UNUSED WATER SERVICES WILL BE KILLED/ABANDONED AT THE MAIN.
 - ALL LANDSCAPING WITHIN EXISTING SEWER EASEMENT IS PROPOSED UNDER AN EASE.

LEGEND:



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8/20/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/16/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/04/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

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SHEET TITLE:

UTILITY PLAN

SCALE: AS NOTED

DATE: 11/04/14

PHASE: SITE DEVELOPMENT

JOB NUMBER: 1361A

SHEET NUMBER:

C4.00
SHEET 8 OF 15
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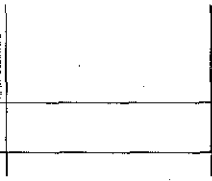
GENEFONG ASSOCIATES
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110 WESTWOOD BLVD., LOS ANGELES, CA 90024
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4/18/2014	SEE REV PERMIT	SECOND SUBMITTAL
4/18/2014	SEE REV PERMIT	3RD SUBMITTAL
4/18/2014	SEE REV PERMIT	FINAL SUBMITTAL
11/14/2014	SEE REV PERMIT	INTK. SUBMITTAL

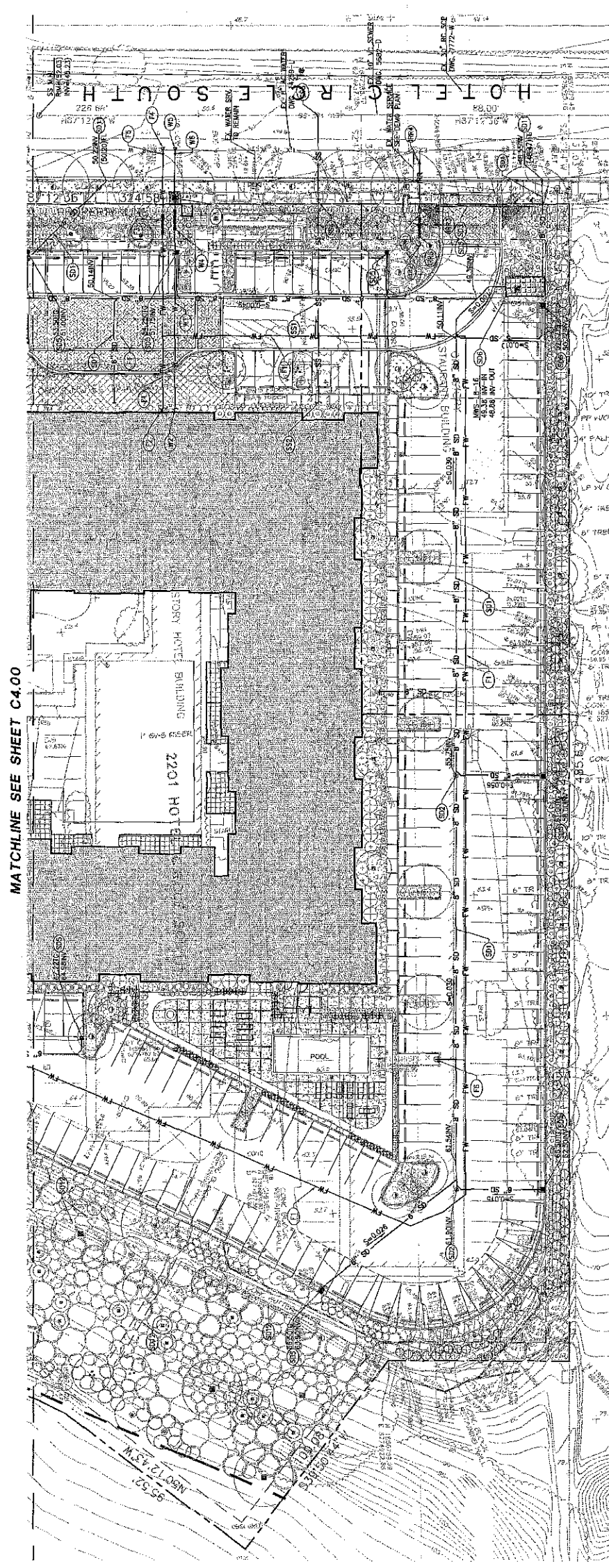


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3400 Van Nuys Ave., Suite 500
Van Nuys, CA 91411
TEL: 818-242-0200 FAX: 818-242-0209

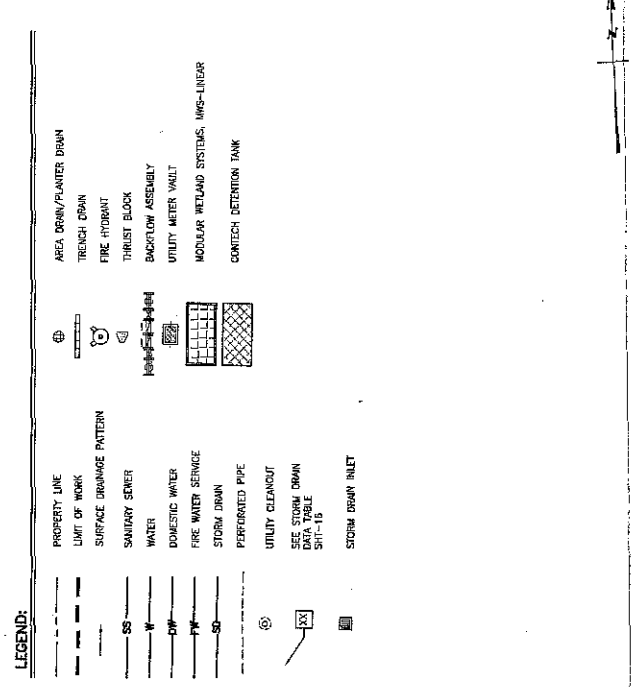
SHEET TITLE:
UTILITY PLAN

SCALE: AS NOTED
DATE: 11/04/14
PHASE: SITE DEVELOPMENT
JOB NUMBER: 1361A
SHEET NUMBER: C4.01

CONSULTANT SEAL: SEE DRAWING APPROVES

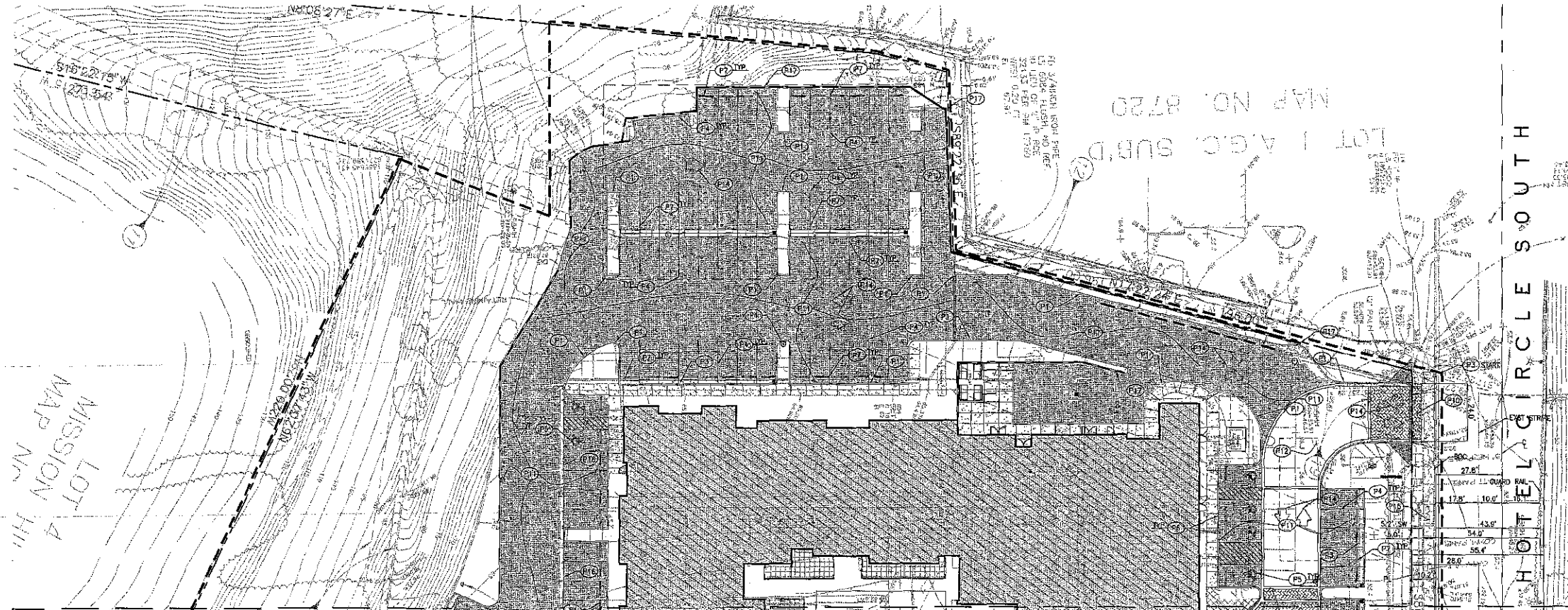


MATCHLINE SEE SHEET C4.00



- UTILITY CONSTRUCTION NOTES:**
- STORM DRAIN**
- (S1) PAC, SDR-35 STORM DRAIN PIPE SIZE AND SLOPE PER PLAN, SEE CITY OF SAN DIEGO STANDARD DWG SDD-110 FOR PIPE BEDDING.
 - (S2) CLEANOUT PER DETAIL CITY OF SAN DIEGO STANDARD DWG D-9 AND D-10.
 - (S3) ADD 10200 8" TRENCH DRAIN WITH ADA TRAFFIC RATED DUCTILE IRON CLASS E GRATE.
 - (S4) PLANTING DRAIN PER DETAIL 1, SHEET 14.
 - (S5) CONCRETE CAST IN PLACE CATCH BASIN, WITH TRAFFIC RATED GRATE PER CITY OF SAN DIEGO STANDARD DWG SDD-110, SDD-103, AND D-28.
 - (S6) MODULAR RETIARD SYSTEMS, MWS-LIQUER, STORMWATER FILTRATION SYSTEM, PER DETAILS 5 AND 7, SHEET 14.
 - (S7) CONTECH CMP UNDERGROUND DETENTION SYSTEM PER DETAIL 3, SHEET 14.
 - (S8) PLACE BIO-CLEAN TRENCH DRAIN FILTER.
 - (S9) SUBMERMIN PER DETAIL 3, ON SHEET 14.
 - (S10) 24" X 24" JENSEN PRECAST CONCRETE CATCH BASIN WITH TRAFFIC RATED GRATE.
 - (S11) CURB OUTLET PER CITY OF SAN DIEGO STD. DWG. D-25.
 - (S12) REMOVE AND REPLACE CONCRETE DITCH PER CITY OF SAN DIEGO STD. DWG. SDD-108.
 - (S13) STORM GRATE PER DETAIL 1, SHEET 14.
 - (S14) STORM DRAIN STENCILING PER CASHA BMP SDD-10.
 - (S15) STORM DRAIN MANHOLE PER SPWING STANDARD PLAN 321-2.
- FIRE SERVICE**
- (F1) FIRE SERVICE LINE, PAC CS80, CLASS 250, SIZE PER PLAN, BEDDING PER CITY OF SAN DIEGO STANDARD DWG SDD-110 & SDD-105.
 - (F2) POINT OF CONNECTION TO BUILDING, SEE PLUMBING DRAWINGS FOR CONTINUATION, PRIVATE.
 - (F3) REDUCED PRESSURE PRINCIPLE DETECTOR ASSEMBLY PER CITY OF SAN DIEGO STANDARD DWG SDD-120.
 - (F4) INSTALL THRUST BLOCK PER CITY OF SAN DIEGO STANDARD DWG SDD-151.
 - (F5) GATE VALVE PER DETAIL 5, SHEET 14, PRIVATE.
 - (F6) FIRE HYDRANT PER CITY OF SAN DIEGO STANDARD DWG SDD-104.
- DOMESTIC WATER**
- (D1) CONCRETE WATER PIPE, SIZE PER PLAN, PVC DRCD, CLASS 250, SDD-110.
 - (D2) POINT OF CONNECTION TO BUILDING, SEE PLUMBING DRAWINGS FOR CONTINUATION, PRIVATE.
 - (D3) WATER METER VALVE PER DETAIL 5, SHEET 14, AND WATER METER BOX PER CITY OF SAN DIEGO STD. DWG. SDD-113, & SDD-136.
 - (D4) REDUCED PRESSURE PRINCIPLE DETECTOR ASSEMBLY PER CITY OF SAN DIEGO STANDARD DWG SDD-120.
 - (D5) INSTALL THRUST BLOCK PER CITY OF SAN DIEGO STANDARD DWG SDD-151.
 - (D6) GATE VALVE PER DETAIL 5, SHEET 14, PRIVATE.
- IRRIGATION SERVICE**
- (I1) IRRIGATION SERVICE PER LANDSCAPE ARCHITECTURAL PLANS.
 - (I2) POINT OF CONNECTION, PRIVATE, SEE LANDSCAPE ARCHITECTURAL PLANS FOR CONTINUATION.
 - (I3) IRRIGATION WATER METER PER CITY OF SAN DIEGO STANDARD DWG SDD-103.
 - (I4) GATE VALVE PER DETAIL 5, SHEET 14.
 - (I5) REDUCED PRESSURE PRINCIPLE DETECTOR ASSEMBLY PER CITY OF SAN DIEGO STANDARD DWG SDD-120.
- NO SERVICES MORE THAN 3 FEET IN LEAD AT MATERIAL OR TRUNKS ALLOWED WITHIN 10 FEET OF ANY PUBLIC STREET, WATER MAINS OR SEWER LATERAL/WATER SERVICE/FIRE HYDRANTS.**
- NOTE:** WATER SERVICES WILL BE ROLLED/ABANDONED AT THE MAIN.
- NOTE:** CONDUITS WITHIN EXISTING SEWER EASEMENT IS PROPOSED UNDER ALL DATA.





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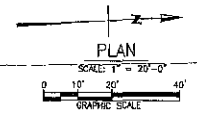
PAVING NOTES

- (P1) 6" CONCRETE CURB PER DETAIL 3/SHEET-13.
- (P2) 6" CONCRETE CURB PER DETAIL 3/SHEET-13.
- (P3) 6" CONCRETE CURB AND GUTTER PER DETAIL 7/SHEET-13.
- (P4) PARKING STALL STRIPING PER DETAIL 5/SHEET-13.
- (P5) ACCESSIBLE PARKING STALL PER CITY OF SAN DIEGO STD. PLAN DWG. SDM-117.
- (P6) ACCESSIBLE PARKING SIGNAGE PER CITY OF SAN DIEGO STD. PLAN DWG. SDM-117.
- (P7) CONCRETE WHEEL STOPS PER DETAIL 4/SHEET-14.
- (P8) TRUNCATED DOMES PER CITY OF SAN DIEGO STANDARD DWG. SDG-130.
- (P9) CURB RAMP MODIFIED PER DETAIL 6/SHEET-13.
- (P10) DRIVEWAY APPROACH PER CITY OF SAN DIEGO STANDARD DWG. SDG-159, TYPE-A.
- (P11) AC PAVING PER DETAIL 2/SHEET-13.
- (P12) DECORATIVE PAVING PER LANDSCAPE DRAWINGS.
- (P13) 4" CONCRETE CURB PER DETAIL 3/SHEET-13.
- (P14) PAVEMENT MARKINGS PER CALTRANS STANDARD PLAN RSP A244.
- (P15) CONCRETE SIDEWALK PER CITY OF SAN DIEGO STANDARD DWG. SDG-155, SDG-156, & SDG-159.
- (P16) CONCRETE VALLEY GUTTER PER DETAIL 9/SHEET-13.
- (P17) RETAINING WALL.

LEGEND

- PROPERTY LINE
- LIMIT OF WORK
- DECORATIVE PAVING
- CONCRETE PAVING, PER DETAIL 1/SHEET-13.
- AC PAVING, PER DETAIL 2/SHEET-13.
- PROPOSED BUILDING
- RETAINING WALL

NO SHRUBS MORE THAN 3 FEET IN HEIGHT AT MATURITY OR TREES ALLOWED WITHIN 10 FEET OF ANY PUBLIC SEWER/WATER MAINS OR SEWER LATERALS/WATER SERVICES/FIRE HYDRANTS.



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11/04/2014	SITE DEV PERMIT - FIFTH SUBMITTAL



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SHEET TITLE:
PAVING PLAN

SCALE: AS NOTED
DATE: 11/04/14
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JOB NUMBER: 1361A
SHEET NUMBER:

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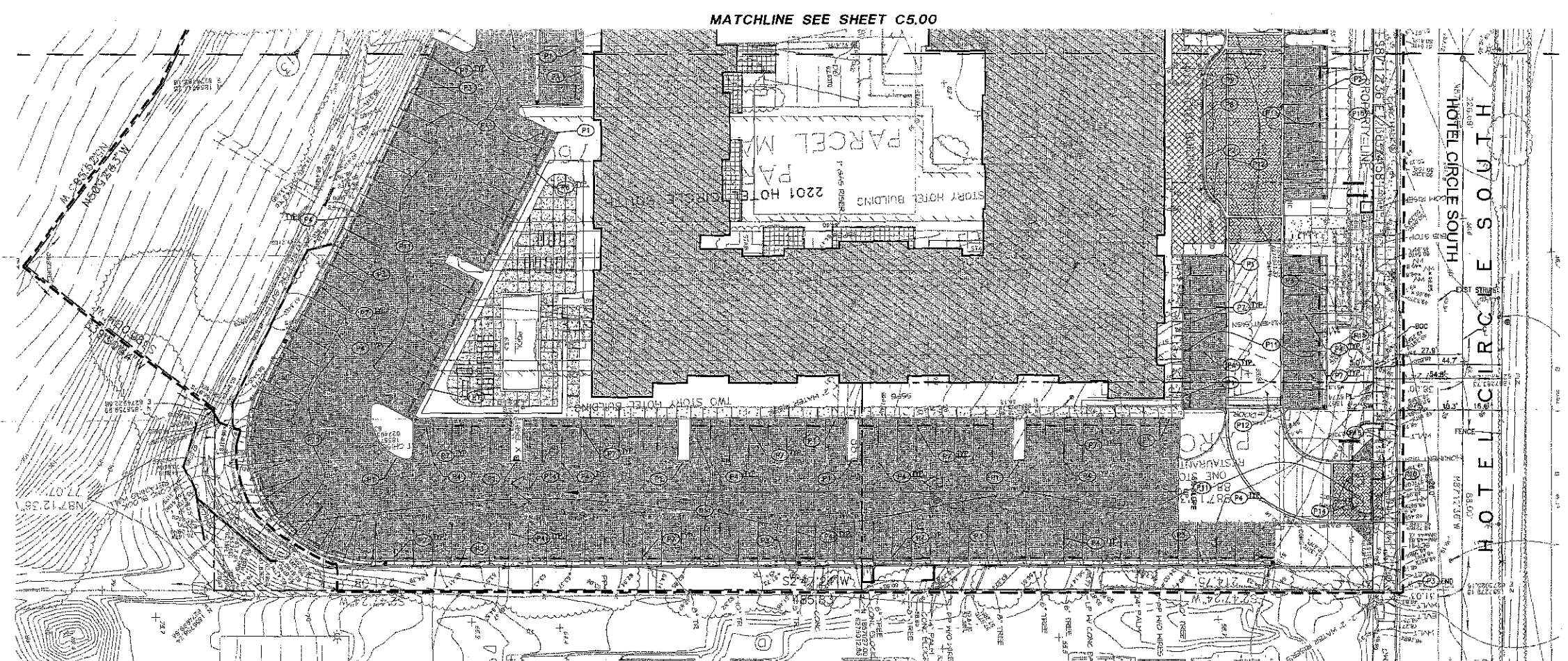
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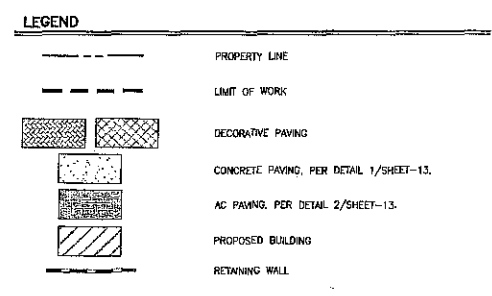
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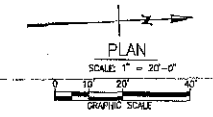
ATTACHMENT 7



- PAVING NOTES**
- (P1) 6" CONCRETE CURB PER DETAIL 3/SHEET-13.
 - (P2) 0" CONCRETE CURB PER DETAIL 3/SHEET-13.
 - (P3) 6" CONCRETE CURB AND GUTTER PER DETAIL 7/SHEET-13.
 - (P4) PARKING STALL STRIPING PER DETAIL 5/SHEET-13.
 - (P5) ACCESSIBLE PARKING STALL PER CITY OF SAN DIEGO STD. PLAN DWG. SDM-117.
 - (P6) ACCESSIBLE PARKING SIGNAGE PER CITY OF SAN DIEGO STD. PLAN DWG. SDM-117.
 - (P7) CONCRETE WHEEL STOPS PER DETAIL 4/SHEET-14.
 - (P8) TRUNCATED DOMES PER CITY OF SAN DIEGO STANDARD DWG. SDG-130.
 - (P9) CURB RAMP MODIFIED PER DETAIL 8/SHEET-13.
 - (P10) DRIVEWAY APPROACH PER CITY OF SAN DIEGO STANDARD DWG. SDG-159, TYPIC-A.
 - (P11) AC PAVING PER DETAIL 2/SHEET-13.
 - (P12) DECORATIVE PAVING PER LANDSCAPE DRAWINGS.
 - (P13) 4" CONCRETE CURB PER DETAIL 3/SHEET-13.
 - (P14) PAVEMENT MARKINGS PER CALTRANS STANDARD PLAN RSP 424A.
 - (P15) CONCRETE SIDEWALK PER CITY OF SAN DIEGO STANDARD DWG. SDG-155, SDG-156, & SDG-158.
 - (P16) CONCRETE VALLEY GUTTER PER DETAIL 9/SHEET-13.
 - (P17) RETAINING WALL.




NO SHRUBS MORE THAN 3 FEET IN HEIGHT AT MATURITY OR TREES ALLOWED WITHIN 10 FEET OF ANY PUBLIC SEWER/WATER MAINS OR SEWER LATERALS/WATER SERVICES/FIRE HYDRANTS.





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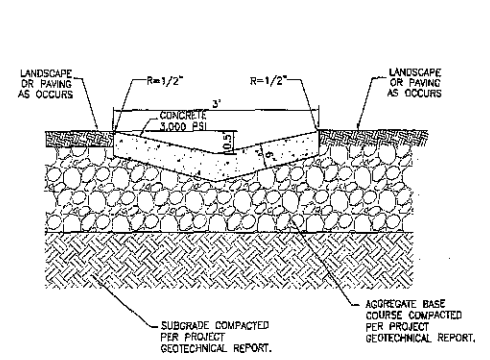


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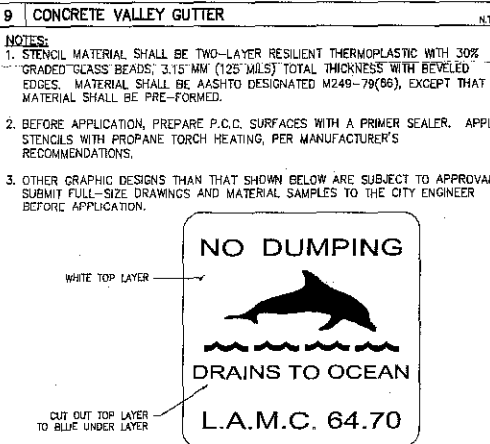
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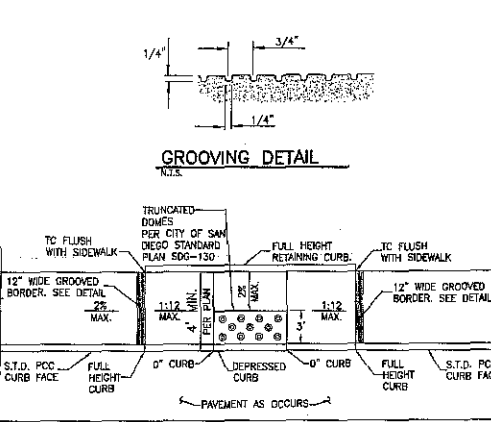
9 CONCRETE VALLEY GUTTER N.T.S.

NOTES:

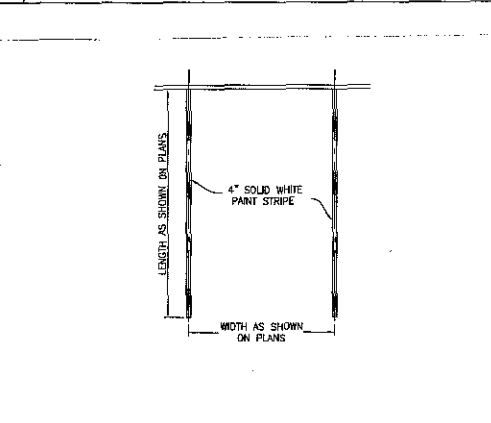
- STENCIL MATERIAL SHALL BE TWO-LAYER RESILIENT THERMOPLASTIC WITH 30% GRADED "GLASS" BEADS, 3.15 MM (125 MILS) TOTAL THICKNESS WITH BEVELED EDGES. MATERIAL SHALL BE AASHTO DESIGNATED M249-79(96), EXCEPT THAT MATERIAL SHALL BE PRE-FORMED.
- BEFORE APPLICATION, PREPARE P.C.C. SURFACES WITH A PRIMER SEALER. APPLY STENCILS WITH PROPANE TORCH HEATING, PER MANUFACTURER'S RECOMMENDATIONS.
- OTHER GRAPHIC DESIGNS THAN THAT SHOWN BELOW ARE SUBJECT TO APPROVAL. SUBMIT FULL-SIZE DRAWINGS AND MATERIAL SAMPLES TO THE CITY ENGINEER BEFORE APPLICATION.



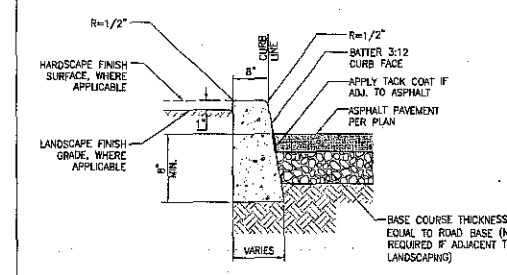
8 STENCIL DETAIL N.T.S.



6 CURB RAMP - CASE E N.T.S.



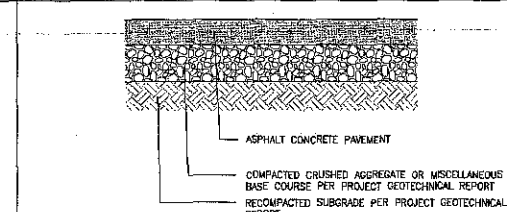
5 STANDARD 90° PARKING STALL N.T.S.



3 CONCRETE CURB N.T.S.

NOTES:

- ISOLATION JOINTS SHALL BE PLACED ONLY AS SPECIFIED.
- CONTROL JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 10' INTERVALS O.C.
- WHERE A WALK IS ADJACENT TO THE CURB, THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.

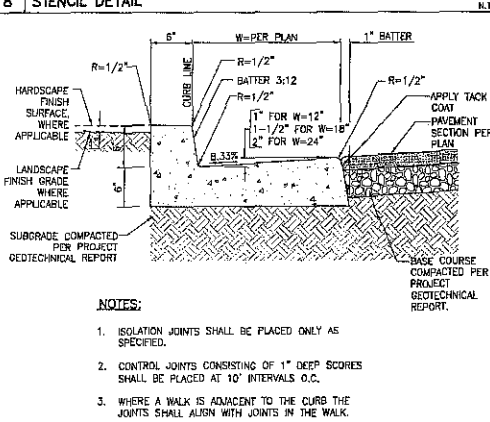


A.C. PAVEMENT TYPE	ASPHALT CONCRETE (INCHES)	BASE COURSE (INCHES)	RECOMPACTED SUBGRADE (INCHES)
LIGHT TO MODERATE DRIVE AREAS	4"	11"	12"
PARKING AREAS	4"	7"	12"

NOTE:

- PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORT.

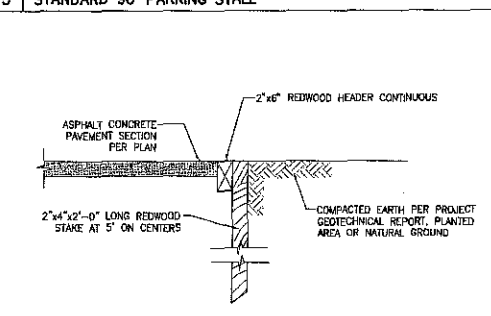
2 ASPHALT PAVEMENT SECTION N.T.S.



7 CONCRETE CURB AND GUTTER N.T.S.

NOTES:

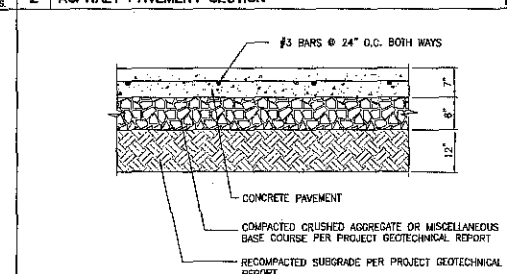
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- CONTROL JOINTS CONSISTING OF 1" DEEP SCORES SHALL BE PLACED AT 10' INTERVALS O.C.
- WHERE A WALK IS ADJACENT TO THE CURB THE JOINTS SHALL ALIGN WITH JOINTS IN THE WALK.



4 WOOD HEADER N.T.S.

NOTE:

- PRESSURE TREATED WOOD MAY BE SUBSTITUTED.



1 REINFORCED CONCRETE PAVEMENT N.T.S.

NOTES:

- PAVEMENT SECTIONS ARE BASED ON RECOMMENDATIONS FROM THE PROJECT GEOTECHNICAL REPORT FOR TRAFFIC AREAS.
- REFER TO LANDSCAPE PLANS FOR CONCRETE COLOR, PATTERN, TEXTURE, AND FINISH.
- SEE LANDSCAPE PLANS FOR LOCATION OF CONTROL JOINTS. AT MINIMUM, CONTROL JOINTS SHALL BE PLACED AT 10' O.C.
- FOR NON TRAFFIC CONDITION (WALKWAYS), CONCRETE THICKNESS SHALL BE 4.5 INCHES, MINIMUM.
- CONCRETE JOINTS SHALL COMPLY WITH SSPWC SECTION 302-6.5.



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3 FOOTING DRAIN DETAIL WITH CONTINUOUS PERFORATED DRAIN N.T.S.

4 4' LONG REINFORCED PRECAST WHEEL STOP N.T.S.

5 WATER VALVE AND VALVE BOX N.T.S.

6 MODULAR WETLAND SYSTEMS LINEAR 2.0 VAULT TYPE N.T.S.

7 MODULAR WETLAND SYSTEMS LINEAR 2.0 17' VAULT TYPE N.T.S.

8 NOT USED N.T.S.

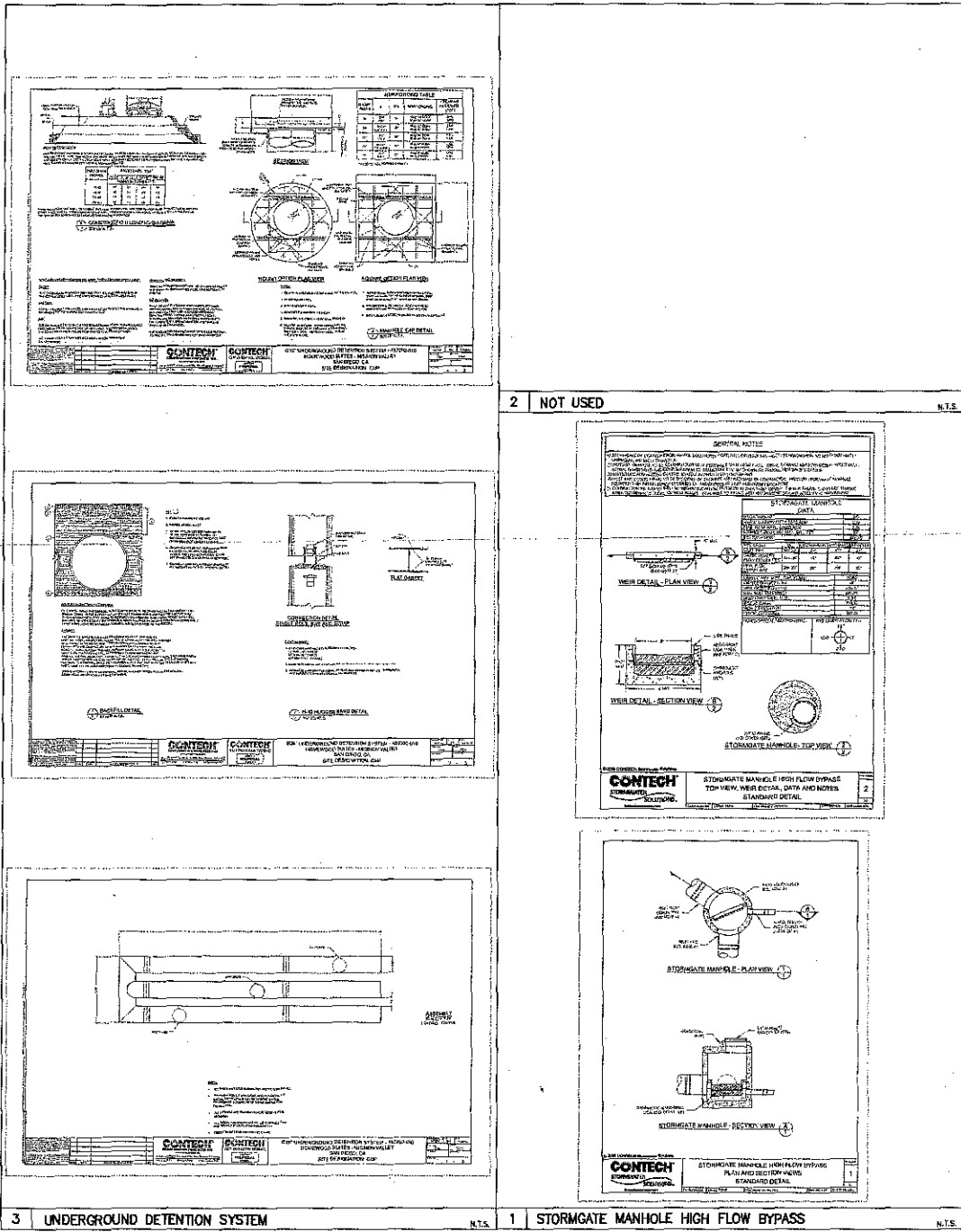
1 PLANTER DRAIN DETAIL—CAST IRON N.T.S.

LEGEND:

- GALVANIZED CAST IRON BODY AND GRATE AREA DRAIN.
- 2,500 PSI PORTLAND CEMENT CONCRETE PAD (PAD MAY BE EITHER ROUND OR SQUARE IN PLAN VIEW).
- OUTLET PIPE TO MATCH PIPE SIZE PER PLAN.
- TOP OF DRAIN ELEVATION PER PLAN.
- FINISH GRADE PER PLAN.
- DOMES TOP WHERE INDICATED ON PLAN (SEE TABLE BELOW)


SIZE	TYPE	ITEM DESCRIPTION	MODEL NO.	FREE AREA (SQ IN)
6" DIA.	DOMES	JAY R. SMITH MFG. CO.	2671-U-G	26
6" DIA.	DOMES	ZURN PLUMBING PRODUCTS	2415-VP-G	12
12" DIA.	DOMES	ZURN PLUMBING PRODUCTS	2121VP-G	78
12" DIA.	DOMES	JAY R. SMITH MFG. CO.	2675-G	53

GUIDE RING DETAIL



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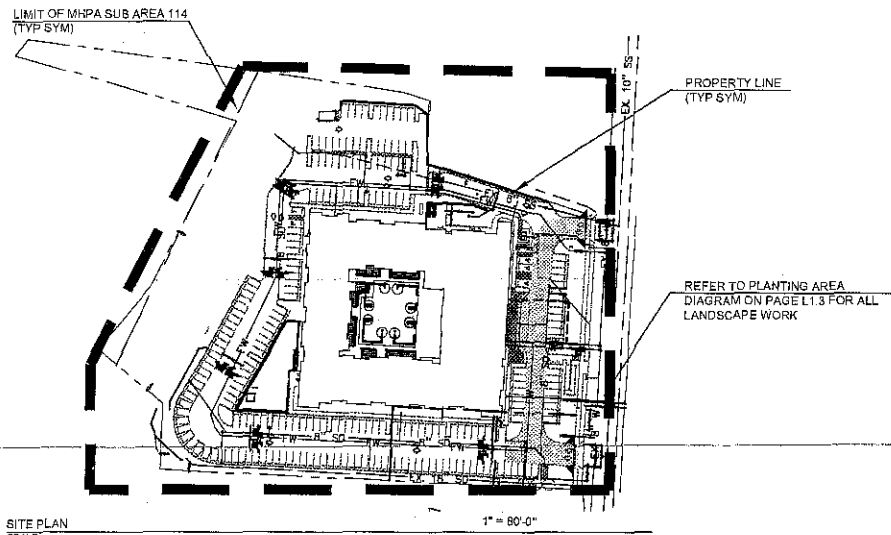
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PLANT MATERIAL LEGEND

GRAPHIC SYMBOL	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE (PERCENT)	MATURE HEIGHT AND SPREAD	FORM / REMARKS	QUANTITY
TREES							
	CER. FLO.	CERCIDIUM FLORIDUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX(100%)	20' X 20'	EVERGREEN DROUGHT TOLERANT ACCENT TREE / STANDARD STRAIGHT TRUNK, FULL HEAD, GOOD CALIPER, STAKE.	3
	CER. OCC.	CERCIS OCCIDENTALIS	WESTERN REDBUD	15 GAL(100%)	15' X 15'	NATIVE DECIDUOUS ACCENT TREE / MULTI-TRUNK, FULL HEAD, GOOD FORM, GOOD CALIPER, STAKE.	11
	CHI. TAS.	CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	36" BOX(100%)	30' X 30'	DECIDUOUS PARKING LOT TREE / STANDARD STRAIGHT TRUNK, FULL HEAD, GOOD CALIPER, STAKE.	19
	CIT. 'BEA'	CITRUS 'BEARSS'	LIME TREE	24" BOX(100%)	15' X 15'	ACCENT FRUIT TREE / STRAIGHT TRUNK, FULL HEAD, GOOD CALIPER, STAKE.	5
	JAC. MIM.	JACARANDA MIMOSIFOLIA	JACARANDA	36" BOX(100%)	40' X 30'	DECIDUOUS FULL CANOPY SHADE TREE / STRAIGHT TRUNK, FULL HEAD, GOOD CALIPER, STAKE.	6
	OLE. EUR.	OLEA EUROPEA 'SWAN HILL'	FRUITLESS OLIVE	15 GAL(31%) 24" BOX(44%) 36" BOX(25%)	30' X 30'	ACCENT EVERGREEN SMALL SCALE TREE / MULTI-TRUNK, FULL HEAD, GOOD FORM, GOOD CALIPER, STAKE.	5 7 4
	PLA. RAC.	PLATANUS RACEMOSA	WESTERN SYCAMORE	36" BOX(100%)	60' X 50'	DECIDUOUS RIPARIAN TREE / STANDARD STRAIGHT TRUNK, FULL HEAD, GOOD CALIPER, STAKE.	21
	PIT. TEN.	PITTIOSPORUM TENUIFOLIUM 'GOLF BALL'	GOLF BALL PITTIOSPORUM				
	QUE. AGR.	QUERCUS AGRIFOLIA	CALIFORNIA COAST LIVE OAK	15 GAL(51%) 48" BOX(8%)	60' X 60'	NATIVE ACCENT SHADE TREE / STRAIGHT TRUNK, FULL HEAD, GOOD CALIPER, STAKE.	10 1
	SYA. ROM.	SYAGRUS ROMANZOFFIANA	QUEEN PALM	20" BTH(100%)	40' X 20'	ACCENT PALM / STRAIGHT TRUNK, FULL FRONDS, SPECIMEN.	3
	WAS. FIL.	WASHINGTONIA FILIBUSTA	HYBRID FAN PALM	10" BTH(100%)	40' X 20'	ACCENT PALM / STRAIGHT TRUNK, FULL FRONDS, SPECIMEN.	24
VINES							
	CIS. ANT.	CISSUS ANTARCTICA	KANGAROO VINE	5 GAL(100%)	SPREADING	SCREENING VINE / SPREADING VINE; FULL & BUSHY TO GROUND, SECURE TO ADJACENT SURFACE	9
GROUNDCOVERS							
	ANN. COL.	ANNUAL COLOR	ANNUAL COLOR	4" POT(100%)	VARIES	CONTRACTOR TO SUBMIT TO LANDSCAPE ARCHITECT ANNUAL COLOR AT TIME OF PLANTING, PLANT 4" O.C.	AS NEEDED
	BOU. MON.	BOUGAINVILLEA 'MONKA'	OO LA LA BOUGAINVILLEA	5 GAL(100%)	1' X 4'	ACCENT GROUNDCOVER / FULL AND BUSHY TO GROUND, VIGOROUS, PLANT 4" O.C.	AS NEEDED
	CAR. PRA.	CAREX PRAEGRACILIS	CALIFORNIA FIELD SEDGE	1 GAL(100%)	SPREADING	RIPARIAN SPREADING GROUNDCOVER / FULL CLUMPS, GOOD COLOR, VIGOROUS, PLANT 12" O.C.	AS NEEDED
	SEN. SER.	SENECIO SERPENS	PUNK PICKLE	1 GAL(100%)	1' X 4'	ACCENT LOW GROUNDCOVER / FULL FLATS, WELL ROOTED, GOOD COLOR, PLANT 8" O.C.	AS NEEDED
	TURF	BLUERIE BLEND	BAYSIDE PLUS / AVAILABLE THROUGH WEST COAST TURF	SOD(100%)		WELL ROOTED, GOOD COLOR	AS NEEDED



GENERAL NOTE:

- ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQUARE FEET OF ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.
- ALL PROPOSED RETAINING WALLS (5 FEET IN HEIGHT OR GREATER) SHALL BE SCREENED WITH VINES AND SHRUBS. ALL PLANTING PROVIDED ON THE FACE OF THE WALL WILL SCREEN 60% OF THE WALL WITHIN TWO YEARS.
- THERE ARE EXISTING BUS STOPS AND FIRE HYDRANTS WITHIN 600 FEET.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY SEWER FACILITIES AND FIVE FEET OF ANY WATER FACILITIES.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10 FEET OF ANY FIRE HYDRANT.

MIN. TREE / IMPROVEMENT SEPARATION DISTANCE:

- TRAFFIC SIGNAL / STOP SIGN - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET
- SEWERS - 10 FEET
- DRIVEWAYS - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

GENERAL NOTES:

- ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F (OF THE SAN DIEGO MUNICIPAL CODE) AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
- GRADED PAD AREAS SHALL BE HYDRO-SEEDED TO PREVENT EROSION IN THE EVENT THAT CONSTRUCTION OF BUILDINGS DOES NOT OCCUR WITHIN 30 DAYS OF GRADING. HYDRO-SEED SHALL BE IRRIGATED OR REAPPLIED AS NECESSARY TO ESTABLISH GROWTH.
- ROUTINE STRUCTURAL BMPs:
 - THE ONSITE DRAINS AND CATCH BASINS WILL BE STENCILED TO INDICATE THAT THE AREAS DRAIN DIRECTLY TO THE OCEAN.
 - COMMON AREAS FOR TRASH WILL BE PROVIDED AND WILL BE MAINTAINED TO REDUCE ANY RUNOFF FROM THE AREA. THE PROPERTY MANAGERS WILL BE RESPONSIBLE FOR THIS MAINTENANCE.
 - WATER-EFFICIENT IRRIGATION SYSTEMS WILL BE USED. DROUGHT-TOLERANT PLANTS WILL BE INCORPORATED INTO THE LANDSCAPE DESIGN.
- ALL PLANTING, IRRIGATION, AND LANDSCAPE RELATED IMPROVEMENTS WILL COMPLY WITH THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES.
- ALL TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER THE PEDESTRIAN WALKWAYS ARE AT LEAST 6 FEET ABOVE THE WALKWAY GRADE AND SO THAT ALL BRANCHES OVER VEHICLE TRAVEL WAYS ARE 14 FEET ABOVE GRADE OF THE TRAVEL WAY.
- ALL REQUIRED PLANTING AREAS SHALL BE MAINTAINED FREE OF WEEDS, DEBRIS, AND LITTER.
- ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE.
- HIGH WATER USE PLANTS SHALL BE LIMITED TO NOT MORE THAN 10 PERCENT OF THE TOTAL DEVELOPED LANDSCAPE AREA. ALL OTHER PLANTINGS SHALL BE COMPOSED OF LOW-WATER-USE PLANT MATERIAL.
- AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE INSTALLED AS SHOWN ON THE CONSTRUCTION PLANS AND IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS. IRRIGATION SYSTEMS SHALL BE MAINTAINED FOR PROPER DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

NOTE:
NOT PROPOSED IMPROVEMENTS PENDING CMRA APPROVAL.

DESIGN STATEMENT:

THE LANDSCAPE CONCEPT FOR THE EMBASSY SUITES IS INFLUENCED BY THE STYLE OF THE ADJACENT COMMUNITY AND COMPLEMENTS THE ARCHITECTURAL STYLE OF THE BUILDING. THE ARRANGEMENT OF HARDSCAPE AND PLANTINGS PROMOTES MOVEMENT THROUGH THE SITE. STREET TREES AND STREET YARD PLANTINGS VISUALLY TIE INTO THE ADJACENT COMMUNITY AND PROVIDE A UNIFIED STREETScape. ORNAMENTAL VEGETATION HAS BEEN SELECTED WITH CONSIDERATION OF DROUGHT TOLERANCE, EASE OF MAINTENANCE, STRUCTURE, FLOWER AND FOLIAGE. A RESTRICTED PALETTE OF PLANT MATERIAL SHALL MAINTAIN THE COHESIVE THEME OF THE LANDSCAPE DESIGN. THE LANDSCAPE STYLE SHALL MAINTAIN CONSISTENCY TO AVOID COMPLEX PLANT MIXTURES AND VISUAL CONFUSION.

THE EMBASSY SUITES WILL ENHANCE THE EXISTING NATIVE CANYON BY REVEGETATING THE EXISTING SOUTHERN SLOPE WITH INDEQUINOUS DROUGHT TOLERANT SPECIES CONSISTENT WITH THE SURROUNDING HILLSIDE.

DESIGN CRITERIA:

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE LANDSCAPE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL AND ALL OTHER LANDSCAPE-RELATED CITY AND REGIONAL STANDARDS.
- PLANTING WILL BE DESIGNED TO HIGHLIGHT ENTRANCE AREAS TO THE PROJECT AND ADD VISUAL INTEREST TO THE SITE.
- ARCHITECTURAL ELEMENTS OF THE SITE WILL BE HIGHLIGHTED AND ENHANCED WITH PLANTINGS OF SIMILAR DESIGN CHARACTER.
- ALL PLANT MATERIAL SELECTED FOR USE WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
- COLOR FROM PLANT FOLIAGE, BARK, OR FLOWER WILL BE UTILIZED TO CREATE AN INVITING, WARM, AND VISUALLY APPEALING LANDSCAPE ENVIRONMENT. THEMATIC COLOR SCHEMES WILL BE UTILIZED IN DEVELOPING PROJECT IDENTITY.

IRRIGATION CONCEPT:

THE LANDSCAPE ASSOCIATED WITH THIS PROJECT SHALL BE IRRIGATED BY MEANS OF AN AUTOMATIC IRRIGATION SYSTEM. THE SYSTEM SHALL INCLUDE THE FOLLOWING:

- IRRIGATION SYSTEM SHALL BE PROTECTED BY A BACKFLOW PREVENTION DEVICE.
- IRRIGATION SYSTEM SHALL BE AN AUTOMATIC, PERMANENT, BELOW-GRADE SYSTEM.
- HOSE BIBBS AND/DR QUICK COUPLING VALVES SHALL BE INCLUDED TO SERVICE PLANTING AREAS.
- IRRIGATION SYSTEMS SHALL BE SPRAY OR DRIP SYSTEMS.
- NO IRRIGATION RUN-OFF SHALL DRAIN OFF-SITE INTO THE PUBLIC RIGHT-OF-WAY, STREETS, DRIVES, OR ALLEYS. A CONNECTION SHALL NOT BE MADE TO ANY STORMWATER SYSTEM WITHOUT PROPER BMPs.
- THE BMPs SHALL STORE AND TREAT ALL STORMWATER AND ACCIDENTAL IRRIGATION RUN-OFF PRIOR TO DISCHARGE INTO CITY STORMWATER SYSTEM.

MAINTENANCE:

ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AREAS SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT. ALL PRUNING SHALL COMPLY WITH THE STANDARDS OF THE NATIONAL ARBORIST ASSOCIATION.



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619-594-7810

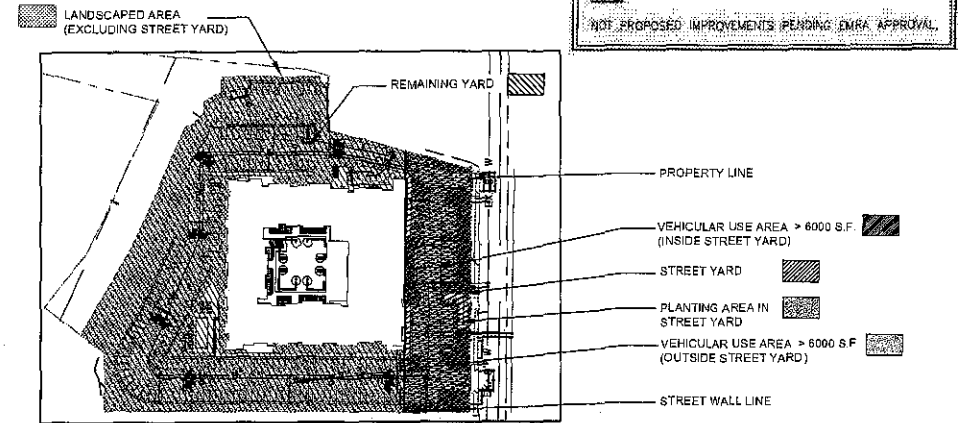
SHEET TITLE:
LANDSCAPE DEVELOPMENT LEGEND

SCALE:
AS NOTED
DATE:
11/4/2014
PHASE:
SITE DEVELOPMENT
JOB NUMBER:
1361A
SHEET NUMBER:

L-1.1

PLANT MATERIAL LEGEND CONTINUED

GRAPHIC SYMBOL	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE (PERCENT)	MATURE HEIGHT AND SPREAD	FORM / REMARKS	QUANTITY
SHRUBS							
⊙	AEO. ARB.	AEONIUM ARBOREUM 'ZWARTKOP'	LARGE PURPLE AEONIUM	5 GAL (100%)	4' x 3'	SUCCULENT ACCENT / FULL FORM AND COLOR, VIGOROUS	6
⊗	AGA. AME.	AGAVE AMERICANA MEDIO-PICATA 'ALBA'	WHITE-STRIPED CENTURY PLANT	15 GAL (100%)	4' x 5'	SUCCULENT ACCENT / FULL FORM AND COLOR, VIGOROUS	20
⊕	AGA. ATT.	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL (100%)	4' x 6'	SCREENING SUCCULENT / FULL FORM AND COLOR, VIGOROUS	76
⊗	AGA. WEB.	AGAVE WEBERI	WEBER AGAVE	15 GAL (100%)	5' x 6'	SUCCULENT ACCENT / FULL FORM AND COLOR, VIGOROUS	10
⊙	ALO. ALW.	ALOE 'ALWAYS RED'	ALWAYS RED ALOE	1 GAL (100%)	2' x 2'	SUCCULENT ACCENT / FULL FORM AND COLOR, VIGOROUS	111
⊕	ANL. HAR.	ANIGOZANTHOS 'HARMONY'	HARMONY KANGAROO PAW	1 GAL (100%)	3' x 3'	ACCENT BORDER SHRUB / FULL CLUMPS, GOOD COLOR	42
⊗	ARC. HOW.	ARCTOSTAPHYLOS 'HOWARD McMINN'	MANZANITA	1 GAL (100%)	5' x 6'	ACCENT NATIVE SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	20
⊗	BAC. SAR.	BACCHARIS SARATHROIDES	BROOM BACCHARIS	1 GAL (100%)	5' x 5'	EVERGREEN NATIVE SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	107
⊕	BOU. 'SD'	BOUSAINVILLEA 'LA JOLLA'	LA JOLLA BOUGAINVILLEA	1 GAL (100%)	4' x 10'	ACCENT SPREADING GROUNDCOVER / FULL AND BUSHY TO GROUND, VIGOROUS	22
⊕	CAL. LIT.	CALLISTEMON 'LITTLE JOHN'	DWARF CALLISTEMON	1 GAL (100%)	3' x 5'	EVERGREEN BORDER SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	68
⊕	CEA. GRI.	CEANOTHUS GRISEUS 'YANKEE POINT'	YANKEE POINT CEANOTHUS	1 GAL (100%)	3' x 10'	LOW NATIVE GROUNDCOVER / FULL AND BUSHY TO GROUND, VIGOROUS	305
⊙	CIS. GRA.	CISTANTHE GRANDIFLORA 'JAZZ TIME'	ROCK PURSLANE	1 GAL (100%)	1' x 3'	FULL AND BUSHY TO GROUND, VIGOROUS	221
⊕	COR. BAU.	CORDYLINE BAUERI 'RED SENSATION'	BAUERI CORDYLINE	15 GAL (100%)	12' x 6'	FULL FORM AND COLOR, VIGOROUS	7
⊙	DIE. VEG.	DIETES VEGETA	FORTNIGHT LILY	5 GAL (100%)	3' x 3'	EVERGREEN FOUNDATION SHRUB / FULL CLUMPS, GOOD COLOR	75
⊕	GRE. NOE.	GREVILLEA 'NOELLII'	NOELLII GREVILLEA	1 GAL (100%)	4' x 5'	FLOWERING SCENT SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	99
⊗	HET. ARB.	HETEROMELES ARBUTIFOLIA	TOYON	1 GAL (100%)	8' x 8'	EVERGREEN NATIVE SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	29
⊙	JUN. PAT.	JUNCUS PATENS	CALIFORNIA GREY RUSH	1 GAL (100%)	2' x 2'	NATIVE RIPARIAN PLANT / FULL CLUMPS, GOOD COLOR	98
⊙	LOM. LON.	LOMANDRA LONGIFOLIA 'BREEZE'	DWARF MAT RUSH	1 GAL (100%)	3' x 3'	RIPARIAN GRASS / FULL CLUMPS, GOOD COLOR	83
⊙	MYR. COM.	MYRTUS COMMUNIS 'COMPACTA'	COMPACT MYRTLE	5 GAL (100%)	3' x 3'	EVERGREEN HEDGE / FULL AND BUSHY TO GROUND, VIGOROUS	88
⊕	OPLI. LIT.	OPUNTIA LITTORALIS	PRICKLY PEAR	1 GAL (100%)	2' x 12'	ACCENT NATIVE CACTI / FULL FORM AND COLOR, VIGOROUS	5
⊕	PHO. ALI.	PHORMIUM 'ALISON BLACKMAN'	NEW ZEALAND FLAX	5 GAL (100%)	4' x 5'	SCREENING EVERGREEN SHRUB / FULL CLUMPS, GOOD COLOR	34
⊕	PHO. AMA.	PHORMIUM 'AMAZING RED'	NEW ZEALAND FLAX	5 GAL (100%)	2' x 2'	ACCENT SHRUB / FULL CLUMPS, GOOD COLOR	71
⊕	PHO. MAO.	PHORMIUM 'MAORI CHIEF'	NEW ZEALAND FLAX	5 GAL (100%)	6' x 6'	SCREENING EVERGREEN SHRUB / FULL CLUMPS, GOOD COLOR	115
⊕	PHO. YEL.	PHORMIUM 'YELLOW WAVE'	YELLOW WAVE FLAX	5 GAL (100%)	3' x 3'	ACCENT EVERGREEN SHRUB / FULL CLUMPS, GOOD COLOR	64
⊕	QUE. BER.	QUERCUS BERBERIS	SCRUB OAK	5 GAL (100%)	12' x 6'	EVERGREEN NATIVE SCREENING SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	22
⊕	RHA. CRO.	RHAMNUS CROCEA	SPINY REDBERRY	1 GAL (100%)	2' x 6'	ACCENT NATIVE SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	69
⊕	RHU. INT.	RHUS INTEGRIFOLIA	LEMONADE BERRY	1 GAL (100%)	6' x 10'	EVERGREEN NATIVE SCREENING SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	77
⊕	RUS. EQU.	RUSSELLIA EQUISETIFORMIS	CORAL FOUNTAIN	5 GAL (100%)	4' x 4'	ACCENT SCREENING SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	106
⊕	SAL. CHA.	SALVIA CHAMAEDRYOIDES	GERMANDER SAGE	1 GAL (100%)	3' x 3'	ACCENT NATIVE SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	131
⊕	SAL. CLE.	SALVIA CLEVELANDII 'WINIFRED GILMAN'	WINIFRED GILMAN SAGE	1 GAL (100%)	3' x 4'	EVERGREEN NATIVE SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	43
⊕	SAL. ULI.	SALVIA ULIGINOSA	BLUE SPIKE SAGE	1 GAL (100%)	5' x SPREADING	EVERGREEN NATIVE SHRUB / FULL AND BUSHY TO GROUND, VIGOROUS	43



PLANTING AREA DIAGRAM (NOT TO SCALE)

LANDSCAPE CALCULATIONS:

STREET YARD
PLANTING AREA REQUIRED
 TOTAL STREET YARD AREA: 29,662 S.F.
 PLANTING AREA REQUIRED: 7,415 S.F.
 PLANTING AREA PROVIDED: 8,668 S.F.
 EXCESS AREA PROVIDED: 1,253 S.F.

PLANT POINTS REQUIRED
 TOTAL STREET YARD AREA: 29,662 S.F.
 PLANT POINTS REQUIRED: 1,483
 PLANT POINTS PROVIDED THROUGH TREES: 1,675
 EXCESS PLANT POINTS PROVIDED: 192

REMAINING YARD
PLANTING AREA REQUIRED
 TOTAL REMAINING YARD AREA: 96,656 S.F.
 PLANTING AREA REQUIRED: 28,996 S.F.
 PLANTING AREA PROVIDED: 30,365 S.F.
 EXCESS AREA PROVIDED: 1,369 S.F.

PLANT POINTS REQUIRED
 TOTAL REMAINING YARD AREA: 96,656 S.F.
 POINTS REQUIRED: 4,832
 POINTS PROVIDED: 6,362
 PLANT POINTS PROVIDED THROUGH TREES: 2,845
 EXCESS PLANT POINTS PROVIDED: 1,539

STREET TREES
 TOTAL STREET FRONTAGE: 325 L.F.
 NUMBER OF STREET TREES REQUIRED: 11
 NUMBER OF STREET TREES PROVIDED: 10

*EASEMENT AND UTILITY CONFLICTS PROHIBIT REQUIRED AMOUNT OF TREES

VEHICULAR USE AREA > 6,000 S.F. OUTSIDE STREET YARD

PLANTING AREA REQUIRED
 TOTAL VEHICULAR USE AREA: 57,876 S.F.
 PLANTING AREA REQUIRED: 1,735 S.F.
 PLANTING AREA PROVIDED: 2,342 S.F.
 EXCESS AREA PROVIDED: 606 S.F.

PLANT POINTS REQUIRED
 TOTAL VEHICULAR USE AREA: 57,876 S.F.
 PLANT POINTS REQUIRED: 2,693
 PLANT POINTS PROVIDED THROUGH TREES: 1,445
 PLANT POINTS PROVIDED: 3,127
 EXCESS PLANT POINTS PROVIDED: 234

VEHICULAR USE AREA > 6,000 S.F. INSIDE STREET YARD

PLANTING AREA REQUIRED
 TOTAL VEHICULAR USE AREA: 17,442 S.F.
 PLANTING AREA REQUIRED: 872 S.F.
 PLANTING AREA PROVIDED: 1,283 S.F.
 EXCESS AREA PROVIDED: 397 S.F.

PLANT POINTS REQUIRED
 TOTAL VEHICULAR USE AREA: 17,442 S.F.
 PLANT POINTS REQUIRED: 872
 PLANT POINTS PROVIDED: 1,362
 PLANT POINTS PROVIDED THROUGH TREES: 530
 EXCESS PLANT POINTS PROVIDED: 490

MIN. TREE / IMPROVEMENT SEPARATION DISTANCE:

- TRAFFIC SIGNAL / STOP SIGN - 20 FEET
- UNDERGROUND UTILITY LINES - 5 FEET
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET
- SEWERS - 10 FEET
- DRIVEWAYS - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET



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REVISIONS:

4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
4/9/2014	SITE DEV PERMIT - SECOND SUBMITTAL
8/20/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL



CONSULTANT:

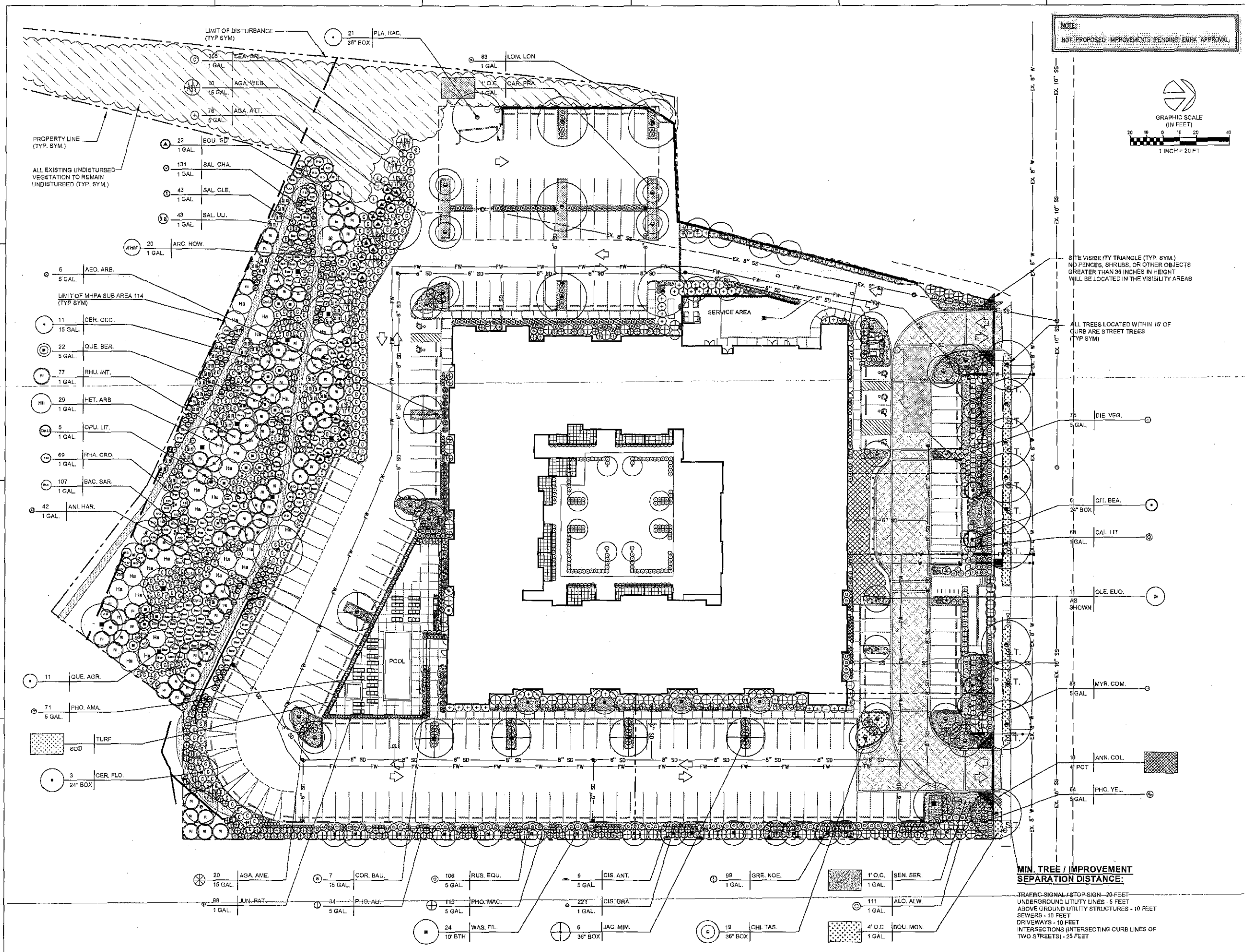
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LANDSCAPE DEVELOPMENT LEGEND

SCALE: AS NOTED
 DATE: 11/4/2014
 PHASE: SITE DEVELOPMENT
 JOB NUMBER: 1361A
 SHEET NUMBER:

L-1.2



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REVISIONS:

4/17/2014	SITE DEV PERMIT COMPLETENESS CHECK
5/17/2014	SITE DEV PERMIT - INITIAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
8/29/2014	SITE DEV PERMIT - THIRD SUBMITTAL
8/18/2014	SITE DEV PERMIT - FOURTH SUBMITTAL

LANDSCAPE ARCHITECT
NO. 2158
STATE OF CALIFORNIA
LIC. EXP. 1/30/2015

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SHEET TITLE:
LANDSCAPE DEVELOPMENT PLAN

SCALE:
AS NOTED

DATE:
11/4/2014

PHASE:
SITE DEVELOPMENT

JOB NUMBER:
1361A

SHEET NUMBER:
L-1.3

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NEWPORT BEACH, CA
92660

REVISIONS:

4/17/2014	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2014	SITE DEV PERMIT - SECOND SUBMITTAL
4/8/2014	SITE DEV PERMIT - THIRD SUBMITTAL
3/25/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
5/19/2014	SITE DEV PERMIT - FIFTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - SIXTH SUBMITTAL

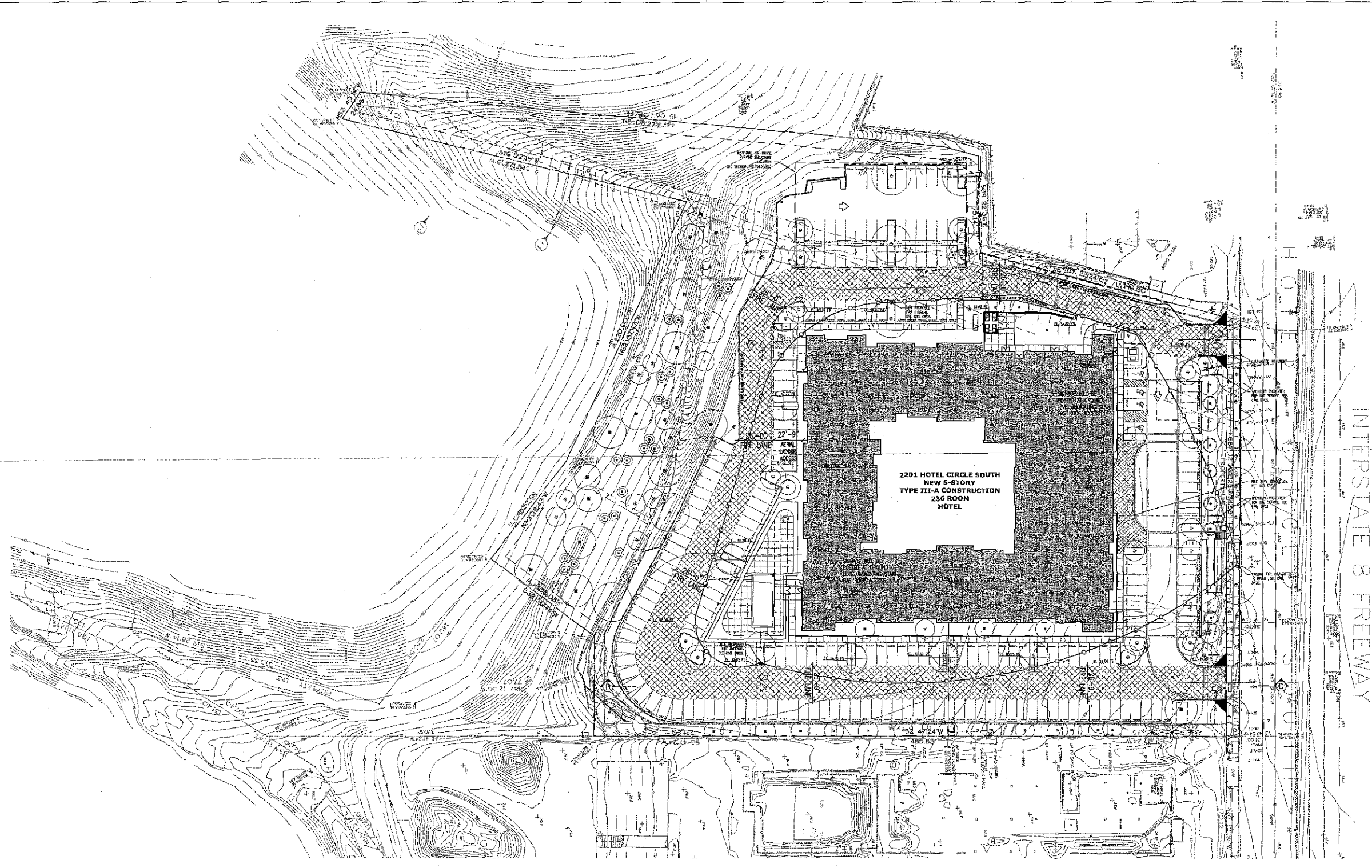
CONSULTANT:

SHEET TITLE:

FIRE ACCESS PLAN

SCALE: AS NOTED
DATE: 11/4/14
PHASE: SITE DEVELOPMENT
JOB NUMBER: 1361A
SHEET NUMBER:

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OVERALL SITE PLAN

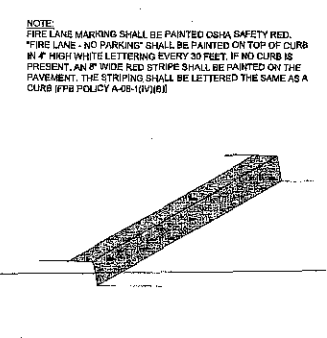
SCALE 1" = 32' - 0"

FIRE DEPT NOTES

- FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION (CFC 501.4)
- STREET OR ROAD SIGNS - TEMPORARY SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADWAYS ALLOWS PASSAGE BY VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS (CFC 502.2)
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FIRE 4-0-6
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPROVED LOADS OF FIRE APPARATUS AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES (CFC 502.2)
- PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IF ACCORDANCE WITH FIRE POLICY 4-0-6.1
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS / ACCESS SIDE OF THE BUILDING.
- CFC 507.3.5 - CLEAR SPACE AROUND HYDRANTS - A 3 FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF FIRE HYDRANTS, EXCEPT AS OTHERWISE REQUIRED OR APPROVED.
- CFC 507.3.5 - PHYSICAL PROTECTION, WHERE FIRE HYDRANTS ARE SUBJECT TO IMPACT BY A MOTOR VEHICLE, GUARD POSTS OR OTHER APPROVED MEANS SHALL COMPLY WITH SECTION 312.
- DEAD ENDS - DEAD END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 100 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS (CFC 502.2)
- SECURITY GATES - WHERE SECURITY GATES ARE INSTALLED, THEY SHALL HAVE AN APPROVED MEANS OF EMERGENCY OPERATION. THE SECURITY GATES AND EMERGENCY OPERATION SHALL BE MAINTAINED OPERATIONAL AT ALL TIMES. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH ILL 326. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F 2202.
- VEGETATION SHALL BE SELECTED AND MAINTAINED IN SUCH A MANNER AS TO ALLOW IMMEDIATE ACCESS TO ALL HYDRANTS, VALVES, FIRE DEPARTMENT CONNECTIONS, PULL STATIONS, EXTINGUISHERS, SPRINKLER RISERS, ALARM CONTROL PANELS, RESCUE WINDOWS AND OTHER DEVICES OR AREAS USED FOR FIRE-FIGHTING PURPOSES. VEGETATION OR BUILDING FEATURES SHALL NOT OBSTRUCT ADDRESS NUMBERS OR INHIBIT THE FUNCTIONING OF ALARM BELLS, HORNS OR STROBES.
- CFC 106.4.4 - APPROVED DOCUMENTS - CONSTRUCTION DOCUMENTS APPROVED BY THE FIRE CODE OFFICIAL ARE APPROVED WITH THE INTENT THAT SUCH CONSTRUCTION DOCUMENTS COMPLY IN ALL RESPECTS WITH THIS CODE. REVIEW AND APPROVAL BY THE FIRE CODE OFFICIAL SHALL NOT RELIEVE THE APPLICANT OF THE RESPONSIBILITY OF COMPLIANCE WITH THIS CODE.



FIRE LANE SIGN SCALE 1/2" = 1'-0" 3

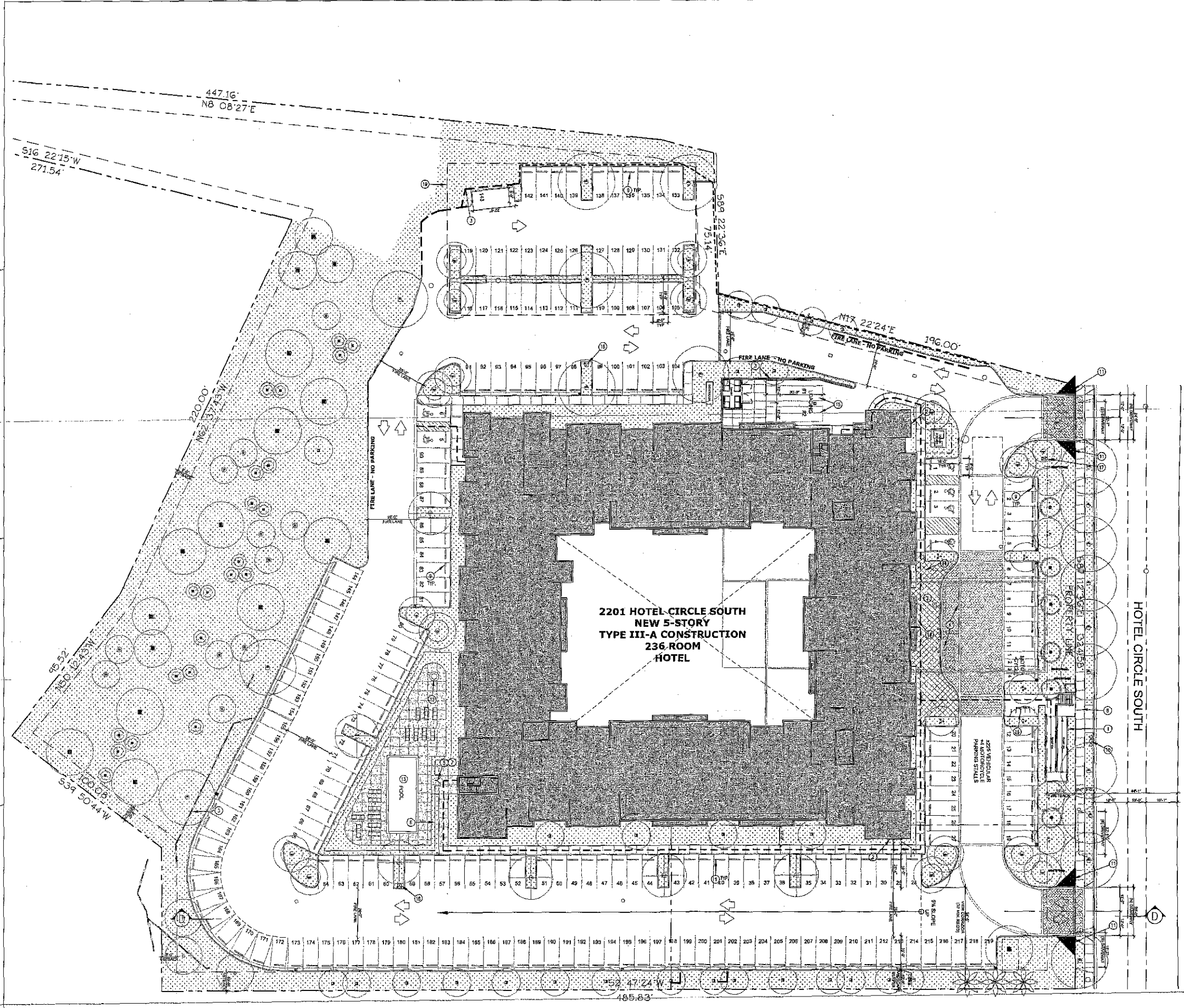


FIRE LANE CONCRETE CURB SCALE 1/2" = 1'-0" 2

LEGEND

- PATH OF ACCESSIBLE TRAVEL
- FIRE LANE NO PARKING RED CURB MARKING, SEE DETAIL 2
- COUNTY RECORDED PROPERTY LINE, SEE CIVIL DWG'S
- FIRE DEPT. VEHICLE ACCESS
- FIRE DEPARTMENT HOSE PULL - MINIMUM 200' LENGTH FOR SPRINKLERED BUILDING

ATTACHMENT 7



KEY NOTES

- 1 ACCESSIBILITY RAMP PER C.B.C., SEC. 1123B.5, MAX. 1:12 SLOPE.
- 2 NEW "SUITES HOTEL" SIGNAGE & OTHER VISIBLE SIGNAGE TO COMPLY WITH S.D.M.C. SIGN REGULATIONS, DEFERRED SUBMITTAL.
- 3 SITE WALL SEE CIVIL DRAWINGS.
- 4 PORTE COCHERE - HOTEL SHUTTLE SERVICE AND GUEST DROP OFF/PICK-UP.
- 5 KEVED SECURE DOOR TO POOL ENCLOSURE AREA.
- 6 6'-0" HIGH SWIMMING POOL ENCLOSURE.
- 7 KEVED SECURE GATE. PROVIDE FIRE DEPT. KNOX BOX W/ CARD READER.
- 8 EXISTING M.I.S. BUS STOP ROUTE DROP OFF.
- 9 PARKING WHEEL STOP (TYPICAL).
- 10 LOCATION OF EXISTING FIRE HYDRANT.
- 11 VISIBILITY TRIANGLE PER S.D.M.C. AT THE INTERSECTION OF THE STREET & DRIVEWAY ONE SIDE OF THE TRIANGLE EXTENDS FROM THE INTERSECTION OF THE STREET & THE DRIVEWAY FOR 10'-0" ALONG THE PROPERTY LINE. THE SECOND SIDE EXTENDS FROM THE INTERSECTION OF THE STREET & DRIVEWAY FOR 10'-0" INWARD FROM THE PROPERTY LINE ALONG THE DRIVEWAY EDGE. THE THIRD SIDE OF THE TRIANGLE CONNECTS THE TWO SIDES OF THE TRIANGLE. TREES OR SHRUBS TALLER THAN 3'-0" IN H. SHALL BE LOCATED W/IN THESE TRIANGLES.
- 12 ACCESSIBLE SPA.
- 13 ACCESSIBLE POOL.
- 14 PROVIDE FIRE DEPT. KNOX BOX AT MAIN ENTRY. EXACT LOCATION PER FIRE DEPT. APPROVAL.
- 15 (1) 12' X 30' OUT-STREET LOADING SPACES. MAINTAIN MIN. 14'-0" OVERHEAD CLEARANCE.
- 16 BICYCLE PARKING AREA.
- 17 ILLUMINATED DIRECTORY MONUMENT SIGN.
- 18 NEW PROPOSE FIRE HYDRANTS, SEE CIVIL DWGS.
- 19 FUTURE PARKING STRUCTURE LOCATION.

GENERAL NOTES

1. ALL NEW VISIBLE "SUITES HOTEL" SIGNAGE TO COMPLY WITH S.D.M.C. SIGN REGULATIONS. DEFERRED SUBMITTAL.
2. EACH REQUIRED OFF-STREET LOADING SPACE SHALL HAVE A MINIMUM CLEARANCE OF 14'-0". INCLUDING ENTRANCES & EXITS. ALL OFF-STREET LOADING AREAS SHALL BE SCREENED FROM THE PUBLIC RIGHTS-OF-WAY OR TREATED WITH LANDSCAPE, HEDGEROWS, OR STRUCTURAL ELEMENTS DESIGNED TO CREATE A VISUAL AMENITY.
3. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER F.H.P.S. POLICY P-36-6 (S.F.P.C. 901.4.4).
4. REFER TO CIVIL DRAWINGS FOR DRAINAGE PATTERNS.
5. POST INDICATOR VALVES, FIRE DEPT. CONNECTIONS, AND ALARM BELLS ARE TO BE LOCATED ON THE ADDRESS / ACCESS SIDE.
6. PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH F.H.P.S. POLICY A-95-1.
7. ALL FENCES & RETAINING WALLS SHALL COMPLY WITH THE S.D.M.C., SEC. 142.0391.
8. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY W/ CHAPTER 14, ART. 2, DIV. 1 (EROSION REGULATIONS) OF THE S.D.M.C. INTO THE CONSTRUCTION PLAN OR SPECIFICATIONS.
9. ALL LIGHTING SHALL BE DIRECTED AWAY FROM THE MHFA & SHIELDED AS NECESSARY.
10. MOTORCYCLE PARKING SPACES SHALL BE PROVIDED AT 2% PER S.D.M.C., SEC. 142.050(6).
11. LOCATION OF REUSE AREA / RECYCLABLE AREA TO BE LOCATED IN INTERIOR OF BUILDING PER S.D.M.C., SEC. 142.0510.
12. BICYCLE PARKING TO PROVIDED PER S.D.M.C., SECTION 142.0530 (E).



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REVISIONS:

4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
8/29/2014	SITE DEV PERMIT - THIRD SUBMITTAL
8/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANT:

SHEET TITLE:

SITE PLAN

SCALE: AS NOTED

DATE: 11/4/14

PHASE: SITE DEVELOPMENT

JOB NUMBER: 1361A


SHEET NUMBER:

A-1.1



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 NEWPORT BEACH, CA
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REVISIONS:

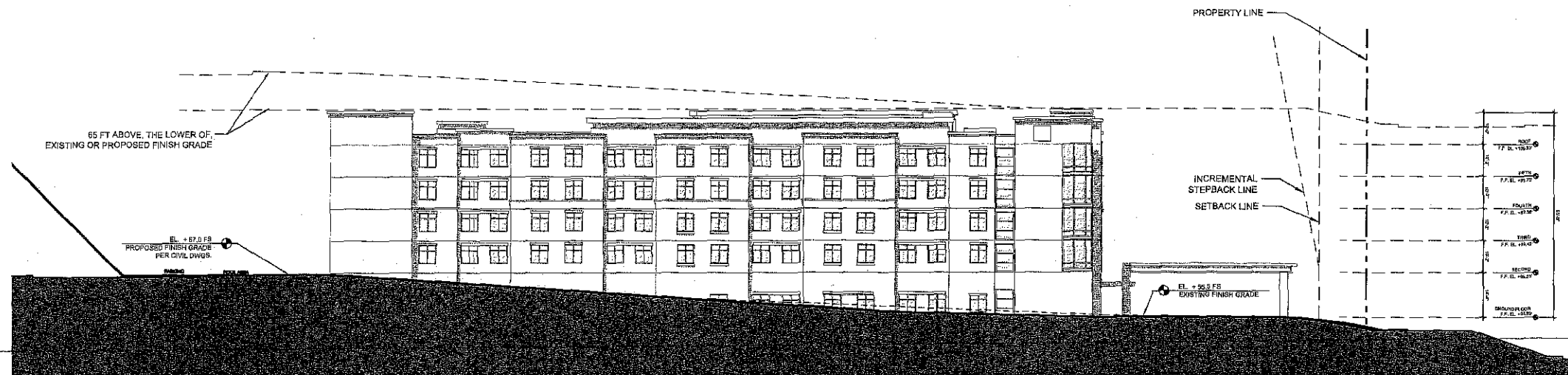
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6/17/2013	SITE DEV PERMIT - THIRD SUBMITTAL
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9/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANT:
 SHEET TITLE:

SITE SECTIONS
 SCALE: AS NOTED
 DATE: 11/4/14
 PHASE: SITE DEVELOPMENT
 JOB NUMBER: 1361A
 SHEET NUMBER:

A-1.2
 SCALE 1/16"=1'-0" 1
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ATTACHMENT 7



SITE SECTION D



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9/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANT:

SHEET TITLE:

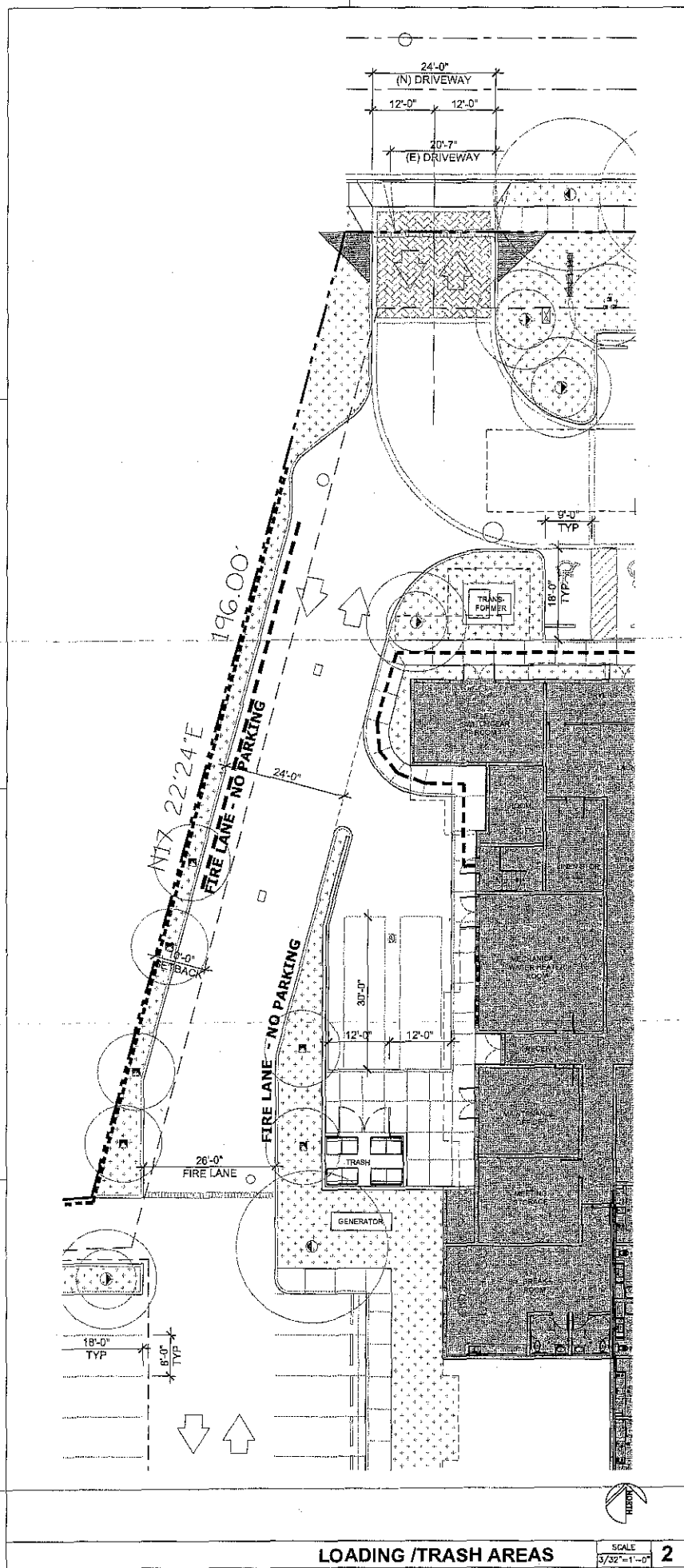
LOWER / PARKING LEVEL SITE PLAN

SCALE:	AS NOTED
DATE:	11/4/14
PHASE:	SITE DEVELOPMENT
JOB NUMBER:	1361A
SHEET NUMBER:	

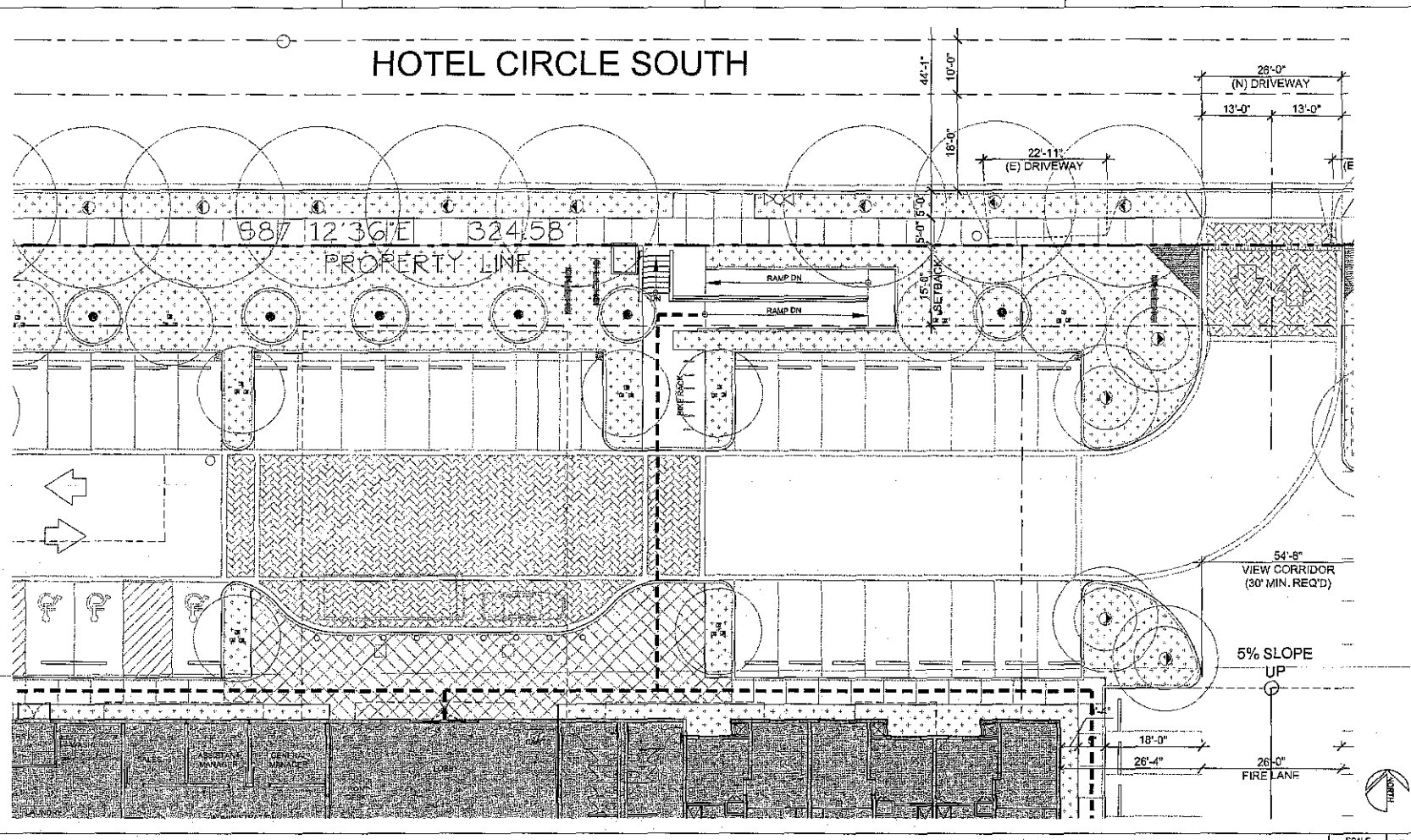
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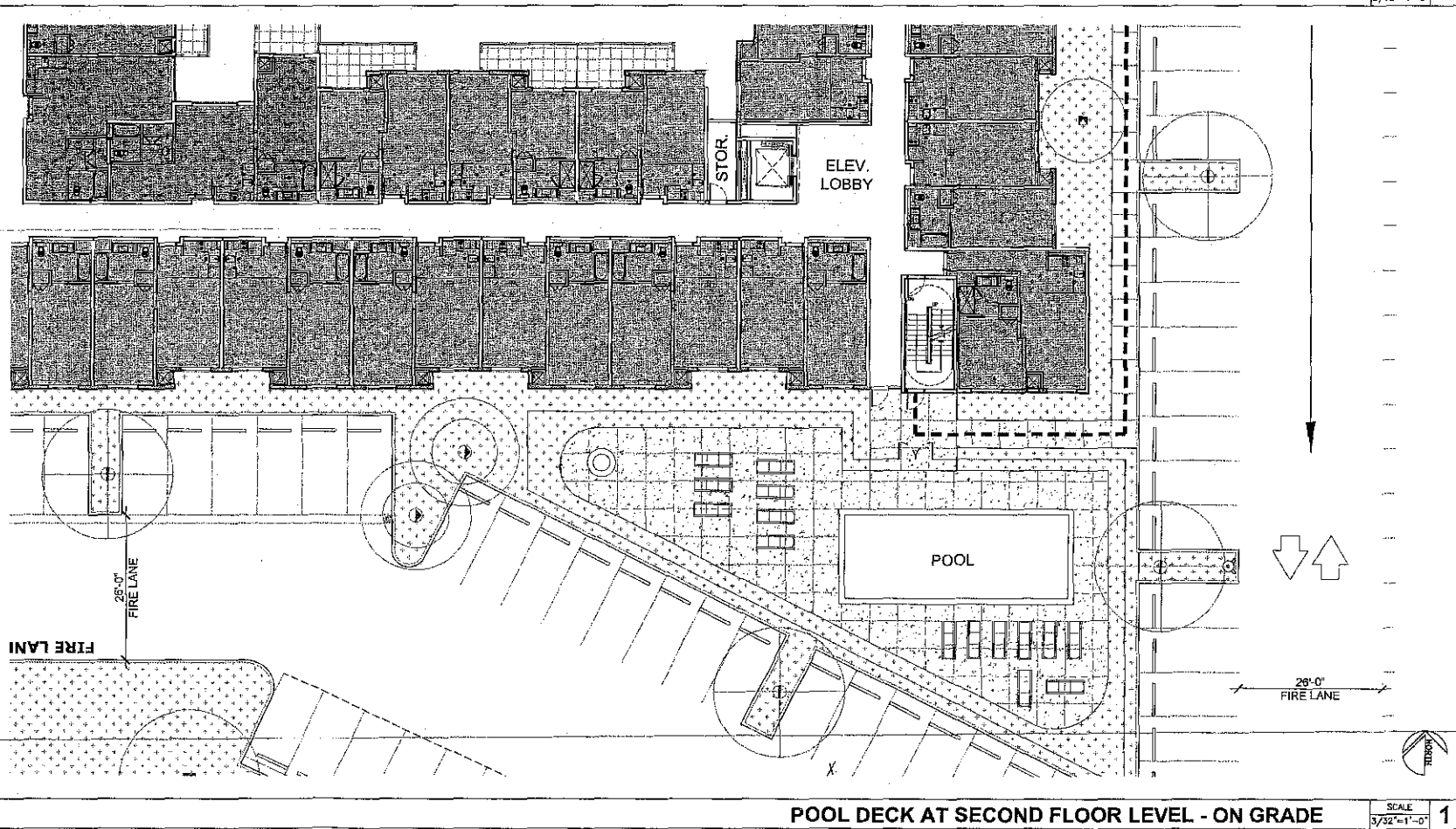
ATTACHMENT 7



LOADING / TRASH AREAS SCALE 3/32"=1'-0" **2**



HOTEL CIRCLE SOUTH SCALE 3/32"=1'-0" **3**



POOL DECK AT SECOND FLOOR LEVEL - ON GRADE SCALE 3/32"=1'-0" **1**



GENE FONG ASSOCIATES
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 1180 WOODBURN BLVD, LOS ANGELES, CA 90024
 310 • 209 • 7520 810 • 209 • 7812 FAX

PROJECT:

HOTEL CIRCLE SUITES
 2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

OWNER:



T2 DEVELOPMENT
 620 NEWPORT CENTER DR
 14TH FLOOR
 NEWPORT BEACH, CA
 92660

REVISIONS:

4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
8/28/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/18/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANT:

SHEET TITLE:

GROUND FLOOR PLAN

SCALE: AS NOTED

DATE: 11/4/14

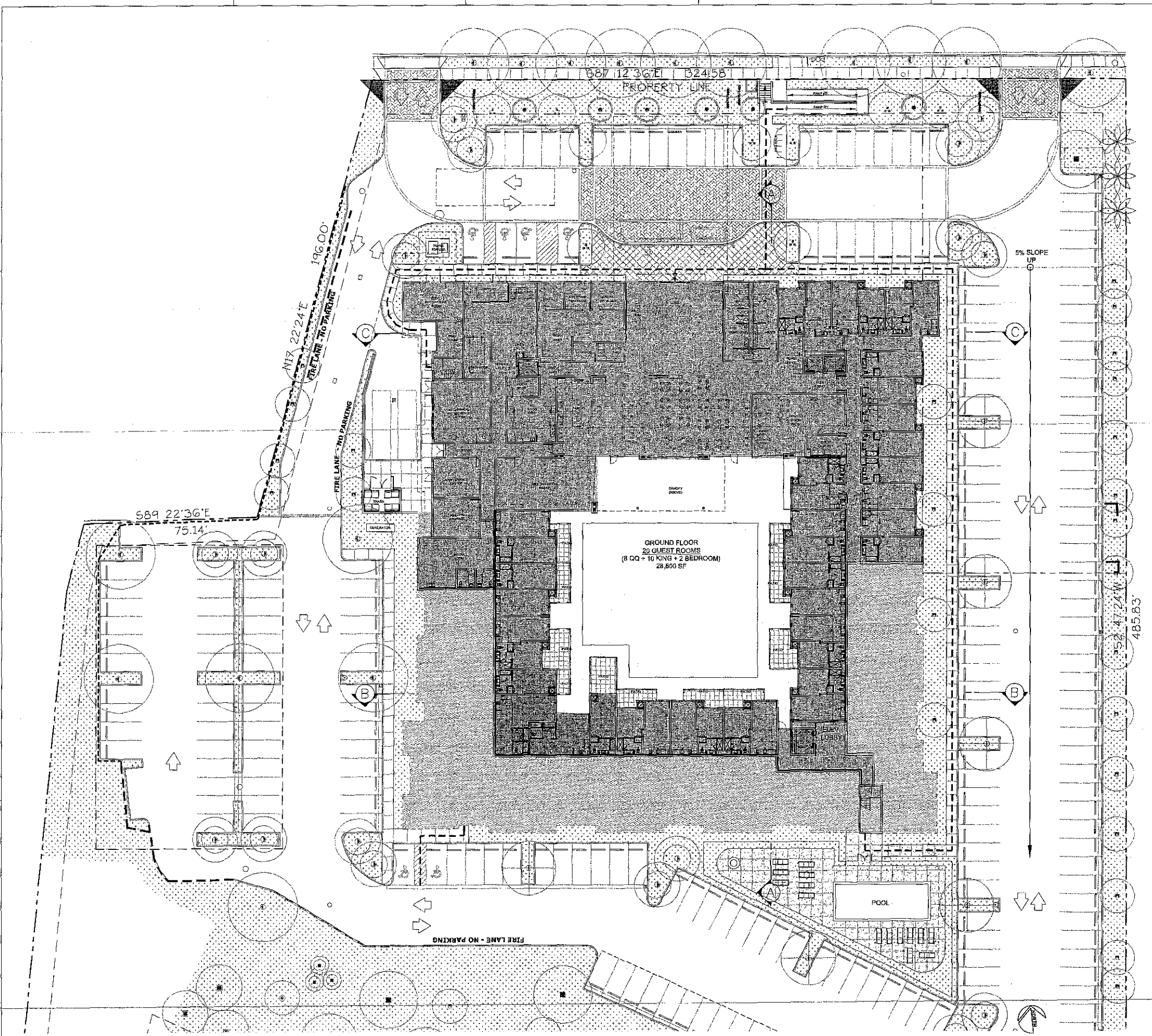
PHASE: SITE DEVELOPMENT

JOB NUMBER: 1361A

SHEET NUMBER:

A-2.1

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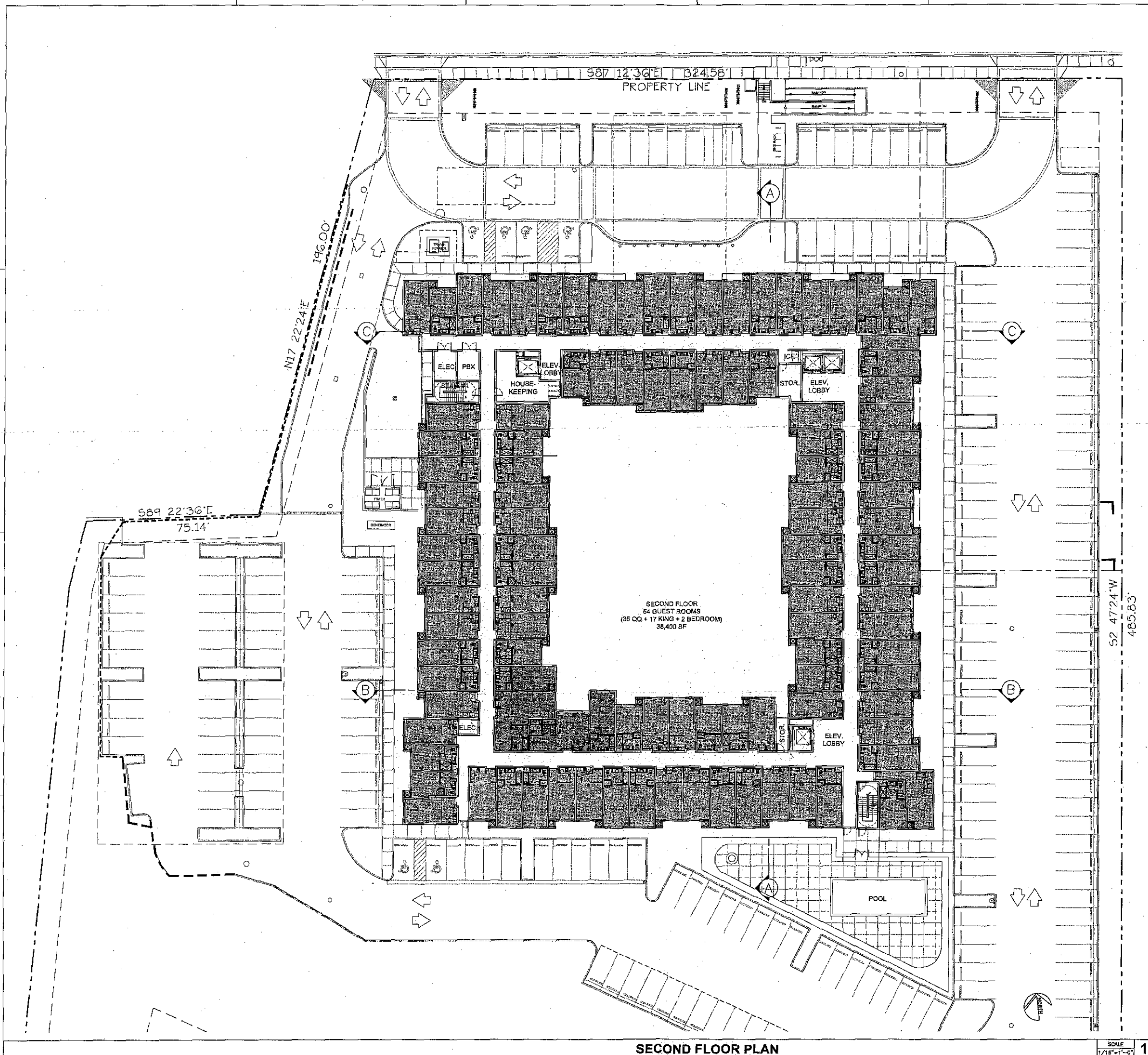


- KING SUITE
- DOUBLE QUEEN SUITE
- TWO BEDROOM

GROUND FLOOR PLAN

SCALE: 1/16"=1'-0" **1**

ATTACHMENT 7



SECOND FLOOR PLAN


SCALE 1/16"=1'-0" 1

- KING SUITE
- DOUBLE QUEEN SUITE
- TWO BEDROOM



GENE FONG ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS
 1700 WOODBURN BLVD. LOS ANGELES, CA 90024
 310 • 209 • 7582 310 • 209 • 7514 FAX

PROJECT:
 HOTEL CIRCLE SUITES
 2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

OWNER:

T2 DEVELOPMENT
 820 NEWPORT CENTER DR
 14TH FLOOR
 NEWPORT BEACH, CA
 92660

REVISIONS:

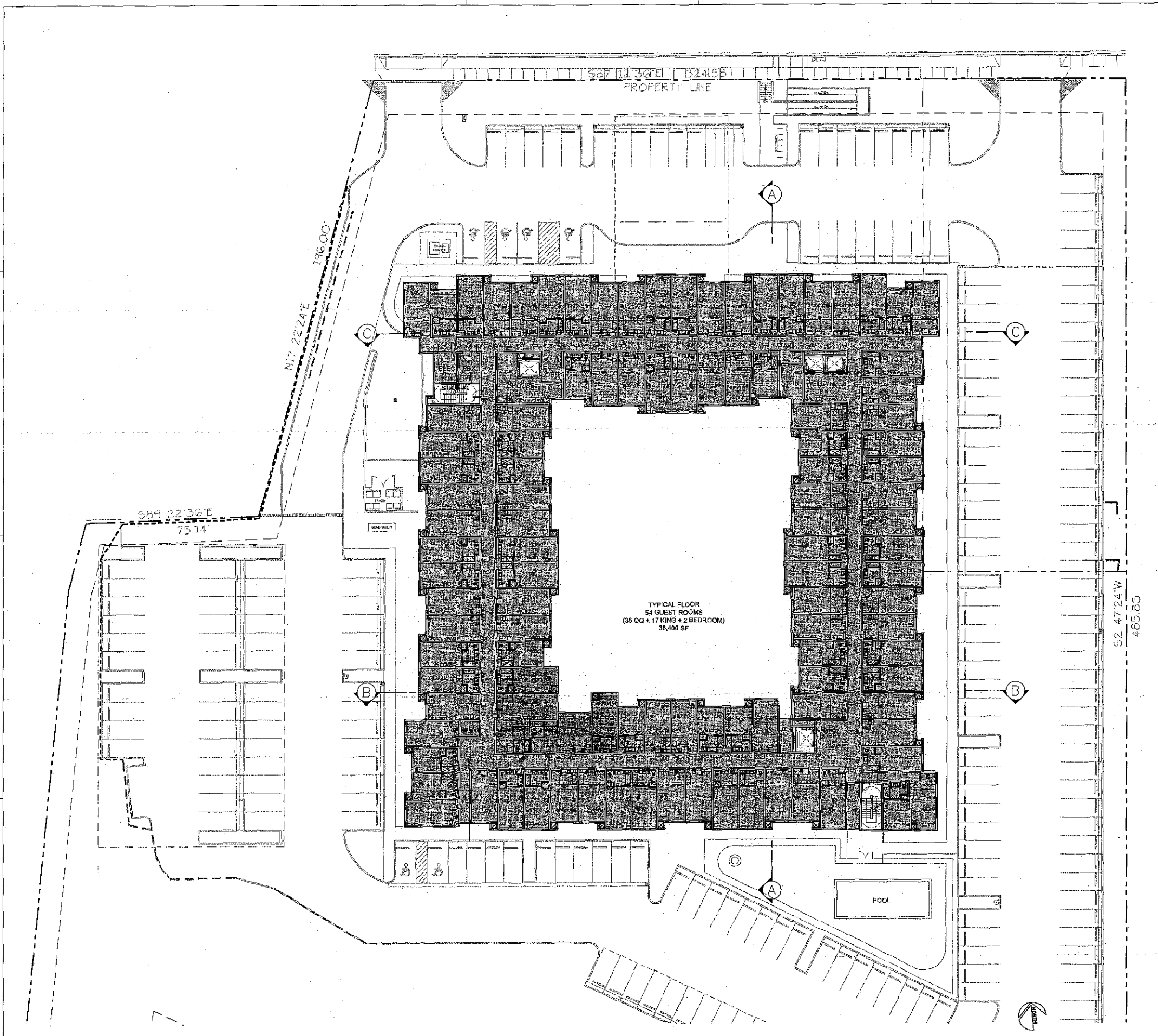
4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - FINAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
5/29/2014	SITE DEV PERMIT - THIRD SUBMITTAL
8/18/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANT:
 SHEET TITLE:

SECOND FLOOR PLAN

SCALE: AS NOTED
 DATE: 11/4/14
 PHASE: SITE DEVELOPMENT
 JOB NUMBER: 1361A
 SHEET NUMBER:

A-2.2




TYPICAL (3RD, 4TH, & 5TH) FLOOR PLAN

SCALE 1/16"=1'-0" 1



GENE FONG ASSOCIATES
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 180 WYWOOD BLVD, LOS ANGELES, CA 90024
 810 • 359 • 7600 310 • 359 • 7616 FAX

PROJECT:
HOTEL CIRCLE SUITES
 2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

OWNER:

T2 DEVELOPMENT
 620 NEWPORT CENTER DR
 14TH FLOOR
 NEWPORT BEACH, CA
 92660




REVISIONS:

4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
6/29/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/18/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANT:

SHEET TITLE:
TYPICAL (3RD, 4TH, & 5TH) FLOOR PLAN

SCALE: AS NOTED
 DATE: 11/4/14
 PHASE: SITE DEVELOPMENT
 JOB NUMBER: 1361A
 SHEET NUMBER:

-  KING SUITE
-  DOUBLE QUEEN SUITE
-  TWO BEDROOM

A-2.3



GENE FONG ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS
 110 WESTWOOD BLVD, LOS ANGELES, CA 90024
 TEL: 213-722-8110 FAX: 213-722-8111

PROJECT:
HOTEL CIRCLE SUITES
 2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

OWNER:

T2 DEVELOPMENT
 620 NEWPORT CENTER DR
 14TH FLOOR
 NEWPORT BEACH, CA
 92660

REVISIONS:

4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
5/29/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/18/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

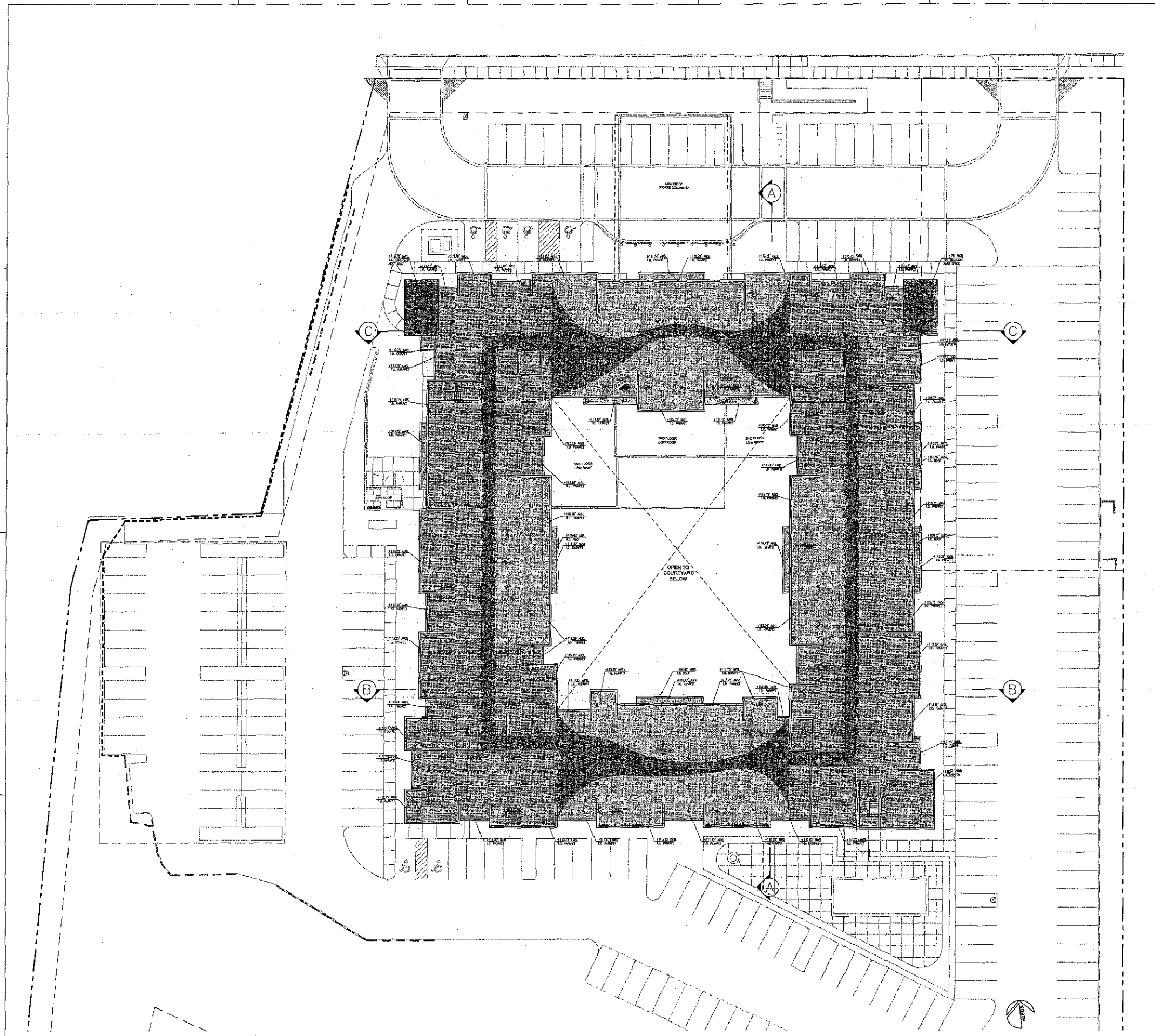
CONSULTANT:

SHEET TITLE:
ROOF PLAN

SCALE: AS NOTED
 DATE: 11/4/14
 PHASE: SITE DEVELOPMENT
 JOB NUMBER: 1361A
 SHEET NUMBER:

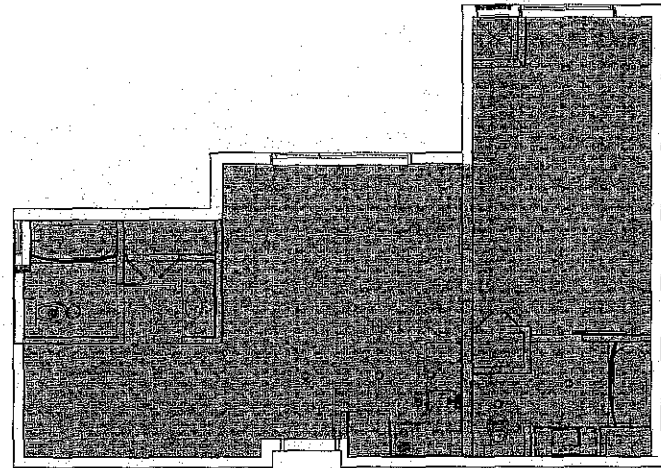
A-2.4

ATTACHMENT 7

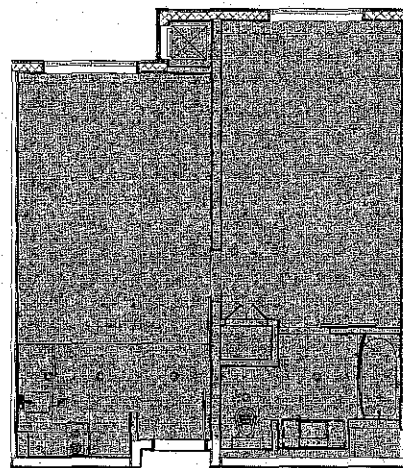


ROOF PLAN

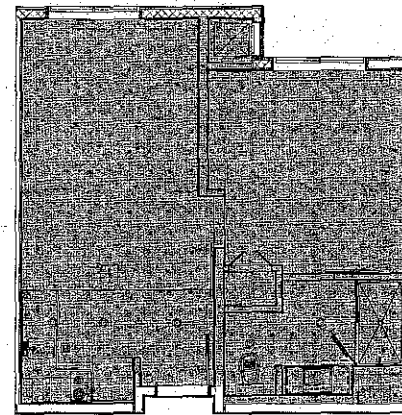
SCALE: 1/16"=1'-0" **1**



TWO BEDROOM - 763 SF



DOUBLE QUEEN SUITE - 594 SF




KING SUITE - 523 SF

TYPICAL ROOM TYPE PLANS



GENEFONG ASSOCIATES
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 1700 WILLOW BLVD, LOS ANGELES, CA 90024
 310 • 209 • 7860 310 • 209 • 7816 FAX

PROJECT:
 HOTEL CIRCLE SUITES
 2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

OWNER:

T2 DEVELOPMENT
 620 NEWPORT CENTER DR
 14TH FLOOR
 NEWPORT BEACH, CA
 92660

REVISIONS:

4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
5/29/2014	SITE DEV PERMIT - THIRD SUBMITTAL
5/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANT:

SHEET TITLE:

TYPICAL ROOM TYPE PLANS

SCALE: AS NOTED

DATE: 11/4/14

PHASE: SITE DEVELOPMENT

JOB NUMBER: 1361A

SHEET NUMBER:

A-2.5



GENE FENG ASSOCIATES
 ARCHITECTURE • PLANNING • INTERIORS
 130 WILLOW BLVD., LOS ANGELES, CA 90017
 310 • 209 • 7822 310 • 209 • 7816 FAX

PROJECT:
HOTEL CIRCLE SUITES
 2201 HOTEL CIRCLE SOUTH
 SAN DIEGO, CA 92108

OWNER:

T2 DEVELOPMENT
 620 NEWPORT CENTER DR
 14TH FLOOR
 NEWPORT BEACH, CA
 92660

REVISIONS:

4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - FINAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
6/24/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/19/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANT:

SHEET TITLE:
BUILDING SECTIONS

SCALE:
 AS NOTED

DATE:
 11/4/14

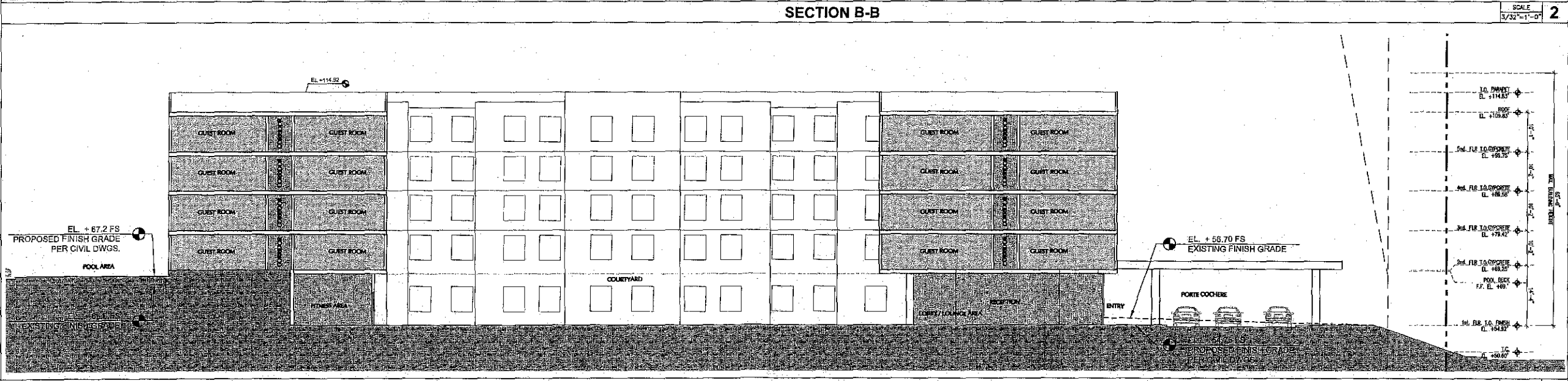
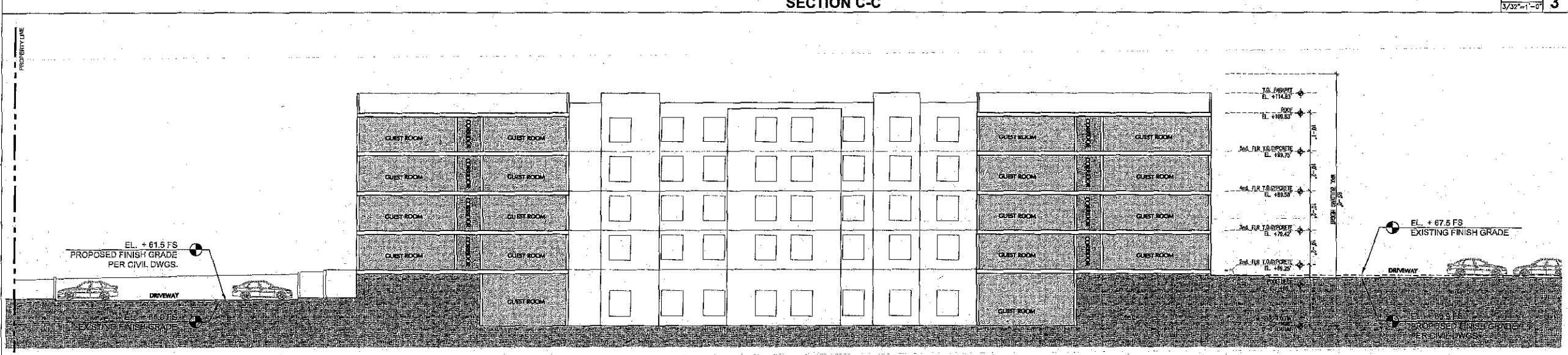
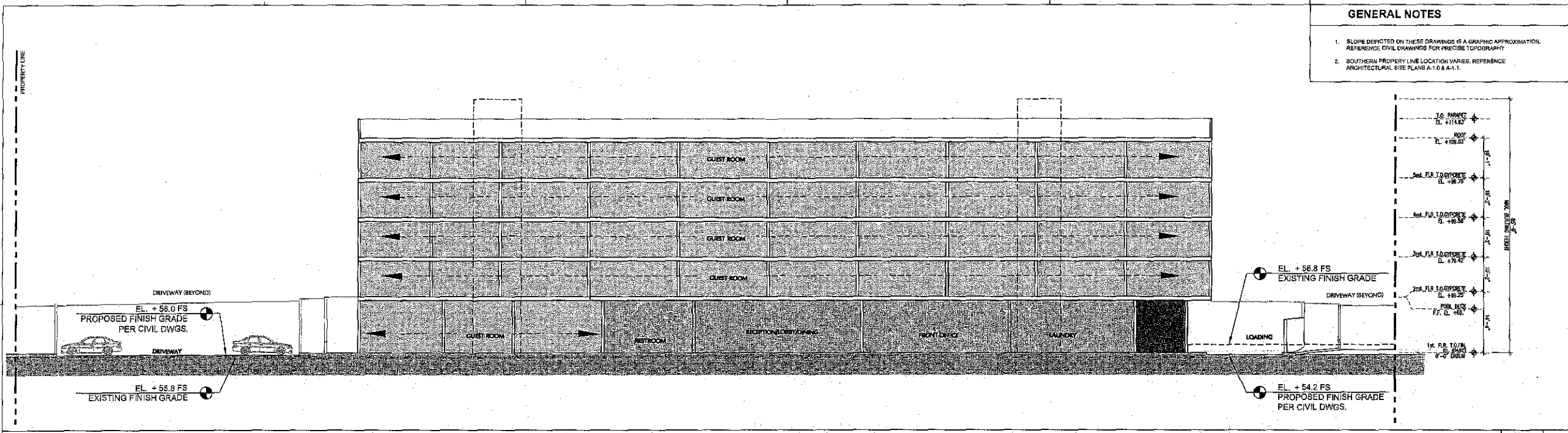
PHASE:
 SITE DEVELOPMENT

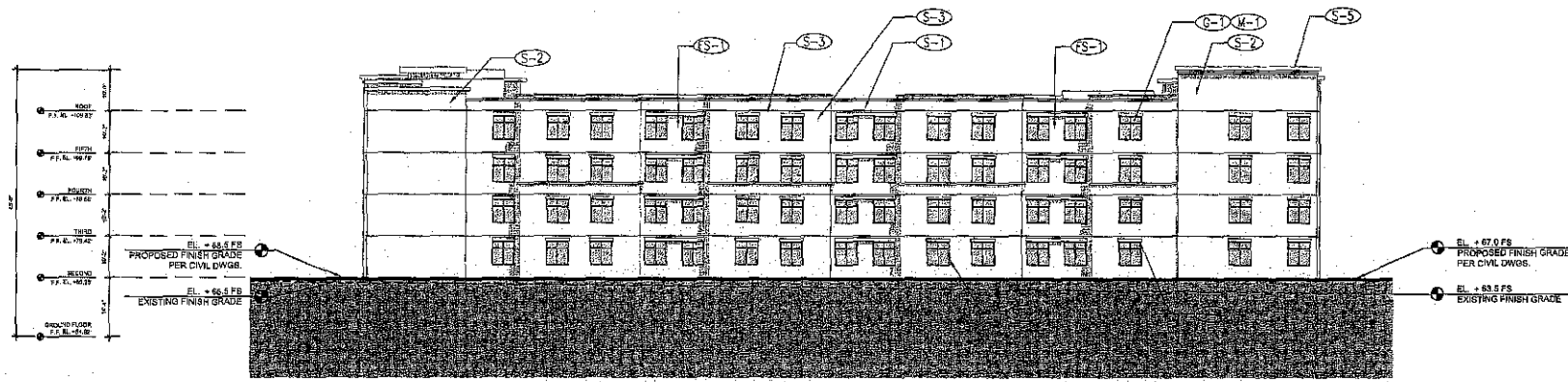
JOB NUMBER:
 1361A

SHEET NUMBER:
A-3.0

GENERAL NOTES

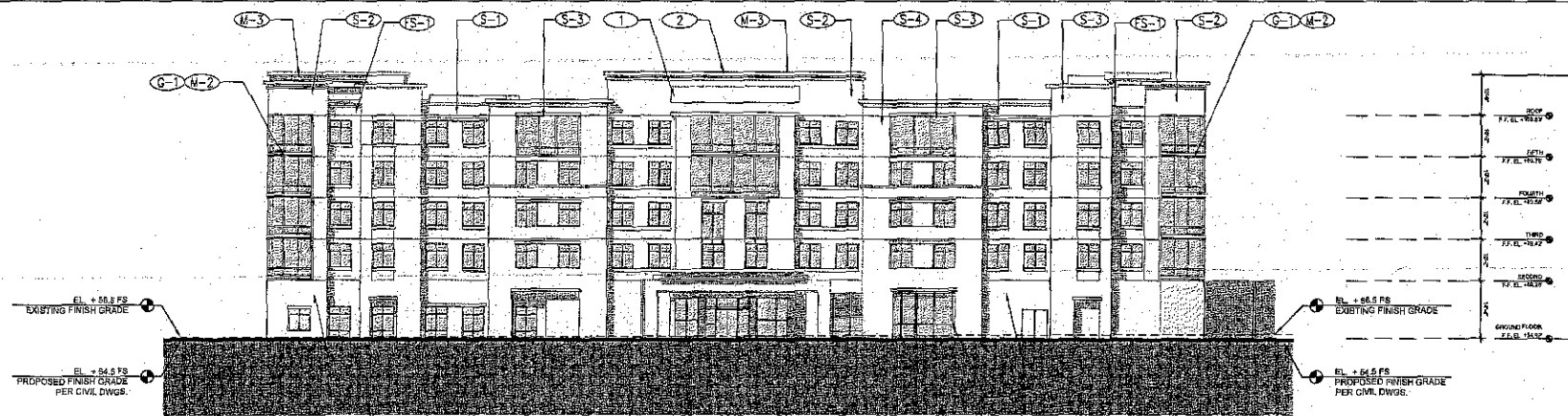
- SLOPE DEPICTED ON THESE DRAWINGS IS A GRAPHIC APPROXIMATION. REFERENCE CIVIL DRAWINGS FOR PRECISE TOPOGRAPHY.
- SOUTHERN PROPERTY LINE LOCATION VARIES. REFERENCE ARCHITECTURAL SITE PLANS A-1.0 & A-1.1.





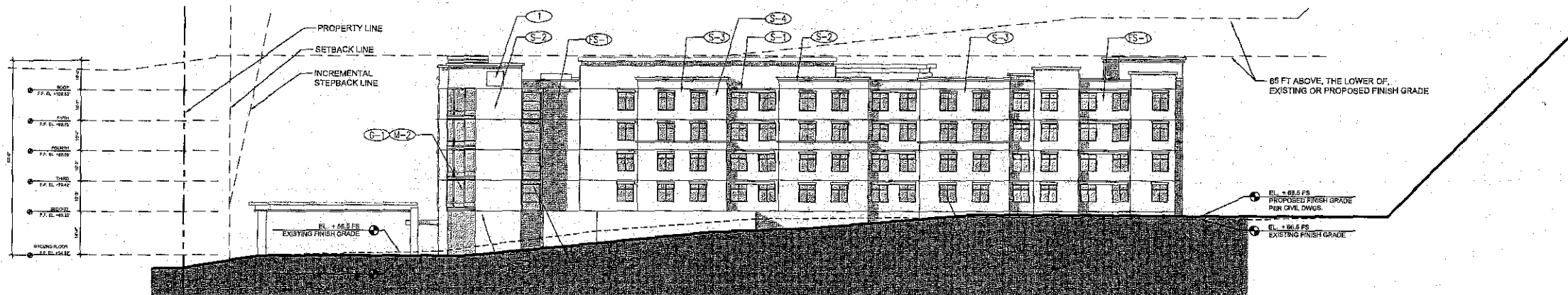
SOUTH ELEVATION (HILLSIDE)

SCALE
1/16"=1'-0" 4



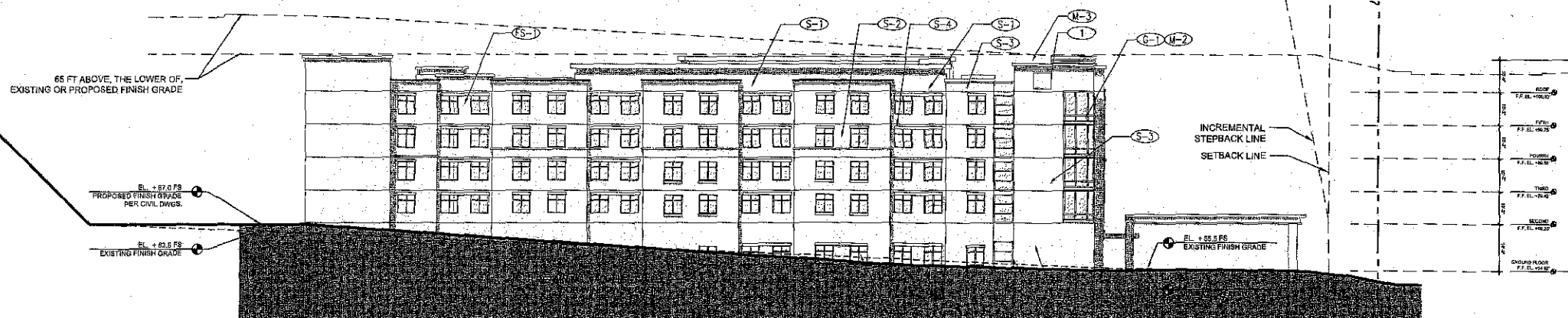
NORTH ELEVATION (HOTEL CIRCLE SOUTH)

SCALE
1/16"=1'-0" 3



WEST ELEVATION

SCALE
1/16"=1'-0" 2



EAST ELEVATION

SCALE
1/16"=1'-0" 1

GENERAL NOTES

1. MINIMUM 15'-0" STREET YARD BUILDING SETBACK
2. MINIMUM STREET YARD FACTOR: 20
3. MINIMUM 15'-0" SIDE PROPERTY BUILDING SETBACK U.O.N.
4. MINIMUM 5'-0" REAR PROPERTY BUILDING SETBACK U.O.N.

EXTERIOR FINISH LEGEND

NO.	MATERIAL	FINISH	COLOR	MANUFACTURER REMARKS
(S-1)	EXT. GROUT PLASTER	SMOOTH 30/30	BEIGE	METEL, INTERAL COLOR
(S-2)	EXT. GROUT PLASTER	SMOOTH 30/30	MORGAN SAND	METEL, INTERAL COLOR
(S-3)	EXT. GROUT PLASTER	SMOOTH 30/30	TBD	METEL, INTERAL COLOR
(S-4)	EXT. GROUT PLASTER	SMOOTH 30/30	TWO ACCENT	METEL, INTERAL COLOR
(PS-1)	EXT. FIBER CEMENT SHARD	PAINTED	TBD	
(ST-1)	MANUFACTURED STONE, VENEER	LEICESTER	BROOKSIDE (ARTY, BRN)	TBD
(M-1)	WINDOW FRAME (AL.-TR)	ANODIZED ALUMINUM	COMPACTE BRONZE	PPG
(M-2)	WINDOW FRAME (STOREFRONT, S. BREAKER)	ANODIZED ALUMINUM	COMPACTE BRONZE	PPG
(M-3)	METAL PANEL SYSTEM REINFORCED, & SANDY	ANODIZED ALUMINUM	SILVERSTONE	PPG
(G-1)	GLAZING	CLEAR GLAZING	SOLARBAN 80 & CLEAR VISION W/ 1% EXTERIOR REFLECTANCE	PPG
(G-2)	GLAZING	SPANDREL PANEL / SPANDREL	SOLARBAN 80 & CLEAR VISION W/ 1% EXTERIOR REFLECTANCE	PPG
(1)	DRIVAGE (BY OTHERS)	PER BRAND STANDARD	PER BRAND STANDARD	PER BRAND STANDARD
(2)	STUCCO CORNER	SMOOTH 30/30	TBD	
(3)	METAL DOOR	YELLOW METAL STEEL, PPG	MATCH ADJACENT	TBD



GENE FONG ASSOCIATES
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1300 WOODBURY, CRAWFORDS, CA 92014
619 • 599 • 7520 619 • 599 • 7510 FAX

PROJECT:
HOTEL CIRCLE SUITES
2201 HOTEL CIRCLE SOUTH
SAN DIEGO, CA 92108

OWNER:
T2 DEVELOPMENT
820 NEWPORT CENTER DR
14TH FLOOR
NEWPORT BEACH, CA
92660

REVISIONS:

DATE	DESCRIPTION
4/17/2013	SITE DEV PERMIT - COMPLETENESS CHECK
5/17/2013	SITE DEV PERMIT - INITIAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
8/20/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/18/2014	SITE DEV PERMIT - FOURTH SUBMITTAL
11/4/2014	SITE DEV PERMIT - FIFTH SUBMITTAL

CONSULTANT:

SHEET TITLE:

BUILDING ELEVATIONS - ILLUSTRATED

SCALE: AS NOTED
DATE: 11/4/14
PHASE: SITE DEVELOPMENT
JOB NUMBER: 1361A
SHEET NUMBER:

A-3.1



GENEFONG ASSOCIATES
ARCHITECTURE • PLANNING • INTERIORS
180 WOODBURY BLVD., SAN ANGELO, TX 76901
817 • 329 • 7882 817 • 329 • 7814 FAX

PROJECT:
HOTEL CIRCLE SUITES
2201 HOTEL CIRCLE SOUTH
SAN DIEGO, CA 92108

OWNER:

T2 DEVELOPMENT
620 NEWPORT CENTER DR
14TH FLOOR
NEWPORT BEACH, CA
92660

REVISIONS:

4/17/2013	SITE DEV PERMIT - COMPLETION CHECK
5/17/2013	SITE DEV PERMIT - METAL SUBMITTAL
4/8/2014	SITE DEV PERMIT - SECOND SUBMITTAL
8/28/2014	SITE DEV PERMIT - THIRD SUBMITTAL
9/18/2014	SITE DEV PERMIT - FOURTH SUBMITTAL

CONSULTANT:

SHEET TITLE:

PROJECT MATERIALS & FINISHES

SCALE:
AS NOTED

DATE:
9/19/14

PHASE:
SITE DEVELOPMENT

JOB NUMBER:
1361A

SHEET NUMBER:

A-6.0

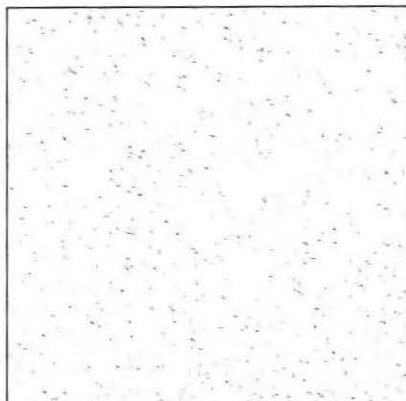
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VIEW FROM HOTEL CIRCLE SOUTH



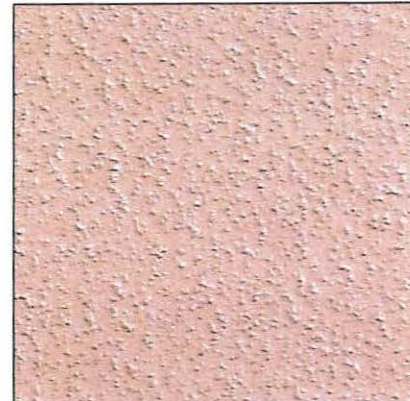
FS-1 EXTERIOR FIBER CEMENT SIDING
COLOR: TBD



S-1 EXTERIOR CEMENT PLASTER
SMOOTH FINISH
INTEGRAL COLOR: BISQUE



S-2 EXTERIOR CEMENT PLASTER
SMOOTH FINISH
INTEGRAL COLOR: MORROCAN SAND



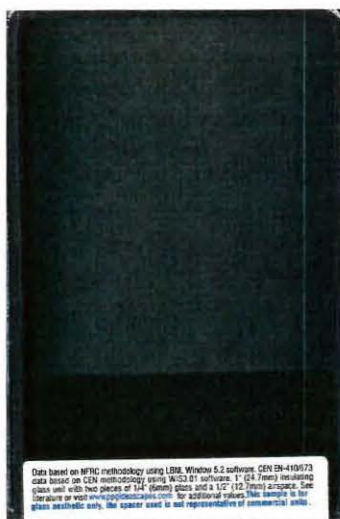
S-3 EXTERIOR CEMENT PLASTER
SMOOTH FINISH
INTEGRAL COLOR: WRIGHTWOOD



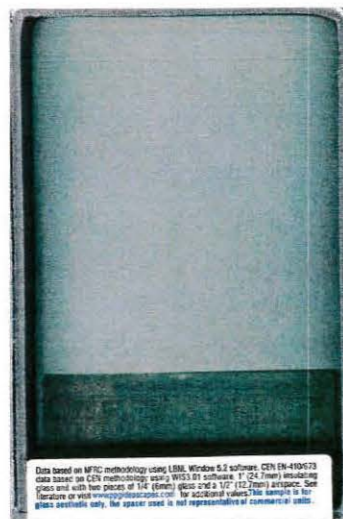
S-4 EXTERIOR CEMENT PLASTER
SMOOTH FINISH
INTEGRAL COLOR: MOON SHADOW



ST1 LIGHTWEIGHT STONE VENEER
LEDGESTONE, BROOKSIDE



G-1 "LOW E" CLEAR GLAZING
PPG SOLARBAN 60 OR GREATER



G-2 "LOW E" SPANDREL GLAZING
PPG SOLARBAN 60 OR GREATER



M1 M2 ALUMINUM STOREFRONT SYSTEM /
NAILFIN WINDOWS & BREAKMETAL
CHAMPAGNE BRONZE



M3 ALUMINUM BREAKMETAL
SILVERSTORM



2 STUCCO CORNICE

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003751

SITE DEVELOPMENT PERMIT NO. 1126076
MISSION VALLEY SUITES HOTEL - PROJECT NO. 322356 [MMRP]
HEARING OFFICER

This Site Development Permit No. 1126076 is granted by the Hearing Officer of the City of San Diego to SD HOTEL CIRCLE, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 1514.0201. The 4.88 acre site is located at 2181 and 2201 Hotel Circle South in the MV-CO-CV Zone of the Mission Valley Planned District (MVPDO), the Southern Hillside Subdistrict of the MVPDO, Development Intensity Overlay District Area D3 (Development Intensity D and Traffic Area 3), the Mission Valley Community Plan, Federal Aviation Administration (FAA) Part 77 Noticing Area for the San Diego International Airport (SDIA) Lindbergh Field and North Island Naval Air Station (NAS), the City of San Diego Multi Habitat Planning Area (MHPA) of the Multiple Species Conservation Program (MSCP) Subarea Plan, and Council District 3 and 7. The project site is legally described as: Parcel 1 and 2 of Parcel Map No. 17760, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of Said County, October 2, 1996.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing hotel and restaurant, and to construct a five-story hotel with 236 guestrooms as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 20, 2015, on file in the Development Services Department.

The project shall include:

- a. Demolition of five, two-story hotel buildings that contain a total of 216 guestrooms, and a one-story restaurant, and construction of a five-story, 182,986 square foot hotel that contains a total of 236 guestrooms;
- b. Landscaping (planting, irrigation and landscape related improvements);

- c. Off-street parking;
- d. The development shall achieve a Leadership in Energy and Environmental Design (LEED) Silver Certification or equivalent level for the commercial development, in conformance with the criteria of the City's Affordable/In-Fill Housing and Sustainable Buildings Expedite Program; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **June 4, 2018**.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies

including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 322356, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 322356, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Historical Resources (Archaeology)

ENGINEERING REQUIREMENTS:

14. The project proposes to export 18,781 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlets in the Hotel Circle South Right-of-Way.

18. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the construction of three current City Standard concrete driveways, adjacent to the site on Hotel Circle South, satisfactory to the City Engineer.

19. Prior to the issuance of any building permit, per the City of San Diego Street Design Manual-Street Light Standards, and Council Policy 200-18, the Owner/Permittee shall assure, by permit and bond to install a new street light adjacent to the site on Hotel Circle South.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.
21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMP's) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
22. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 2009-0009 DWQ and the San Diego Regional Water Quality Control Board (SDRWQCB) Order No. R9-2007-001, Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 2009-0009-DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 2009-0009-DWQ.
23. Prior to the issuance of any construction permit the Owner/Permittee shall incorporate and show the type and location of all post-construction BMP's on the final construction drawings, consistent with the approved Water Quality Technical Report.

GEOLOGY REQUIREMENTS:

24. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.
25. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

LANDSCAPE REQUIREMENTS:

26. Prior to public improvement permit issuance, landscape construction plans consistent with this development permit shall be submitted for approval. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees. In the event that the Landscape Plan and the Public Improvement Plan conflict, the Public Improvement Plan

shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the [Exhibit "A"] Landscape Development Plan.

27. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," [Landscape Development Plan]. Construction plans shall provide a 40 square-foot area around each tree which is unencumbered by hardscape or utilities.

28. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.

29. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with City Landscape Standards.

MULTIPLE SPECIES CONSERVATION PROGRAM:

30. Prior to issuance of any construction permit or notice to proceed, Development Service Department staff shall verify the Owner/Permittee has accurately represented the project's design in or on the Construction Documents (CDs) are in conformance with the associated discretionary permit conditions and Exhibit "A," and also the City's Multi-Species Conservation Program (MSCP) Multi-Habitat Planning Area (MHPA) Land Use Adjacency Guidelines. The applicant shall provide an implementing plan and include references in the CDs of the following:

a. **Grading/Land Development/MHPA Boundaries** - MHPA boundaries on-site and adjacent properties shall be delineated on the CDs. DSD Planning and/or MSCP staff shall ensure that all grading is included within the development footprint, specifically manufactured slopes, disturbance, and development within or adjacent to the MHPA. For projects within or adjacent to the MHPA, all manufactured slopes associated with site development shall be included within the development footprint.

b. **Drainage** - All new and proposed parking lots and developed areas in and adjacent to the MHPA shall be designed so they do not drain directly into the MHPA. All developed and paved areas must prevent the release of toxins, chemicals, petroleum products, exotic plant materials prior to release by incorporating the use of filtration devices, planted swales and/or planted detention/desiltation basins, or other approved permanent methods that are designed to minimize negative impacts, such as excessive water and toxins into the ecosystems of the MHPA.

c. **Toxics/Project Staging Areas/Equipment Storage** - Projects that use chemicals or generate by-products such as pesticides, herbicides, and animal waste, and other substances that are potentially toxic or impactive to native habitats/flora/fauna (including water) shall construction/development-related material/activities shall be allowed outside any approved construction limits. Where applicable, this requirement shall incorporated into leases on

publicly-owned property when applications for renewal occur. Provide a note in/on the CD's that states: "*All construction related activity that may have potential for leakage or intrusion shall be monitored by the Qualified Biologist/Owners Representative or Resident Engineer to ensure there is no impact to the MHPA.*"

d. **Lighting** - Lighting within or adjacent to the MHPA shall be directed away/shielded from the MHPA and be subject to City Outdoor Lighting Regulations per LDC Section 142.0740.

e. **Barriers** - New development within or adjacent to the MHPA shall be required to provide barriers (e.g., non-invasive vegetation; rocks/boulders; 6-foot high, vinyl-coated chain link or equivalent fences/walls; and/or signage) along the MHPA boundaries to direct public access to appropriate locations, reduce domestic animal predation, protect wildlife in the preserve, and provide adequate noise reduction where needed.

f. **Invasives** - No invasive non-native plant species shall be introduced into areas within or adjacent to the MHPA.

e. **Noise** - Due to the site's location adjacent to or within the MHPA, construction noise that exceeds the maximum levels allowed shall be avoided, during the breeding seasons for protected avian species such as: *California Gnatcatcher (March 1-August 15)*. If construction is proposed during the breeding season for the species, U.S. Fish and Wildlife Service protocol surveys shall be required in order to determine species presence/absence. When applicable, adequate noise reduction measures shall be incorporated.

COASTAL CALIFORNIA GNATCATCHER (Federally Threatened)

Prior to the issuance of any grading permit the City Manager (or appointed designee) shall verify that the Multi-Habitat Planning Area (MHPA) boundaries and the following project requirements regarding the coastal California gnatcatcher are shown on the construction plans:

No clearing, grubbing, grading, or other construction activities shall occur between March 1 and August 15, the breeding season of the coastal California gnatcatcher, until the following requirements have been met to the satisfaction of the City Manager:

(1) A Qualified Biologist (possessing a valid Endangered Species Act Section 10(a)(1)(a) Recovery Permit) shall survey those habitat areas within the MHPA that would be subject to construction noise levels exceeding 60 decibels [dB(A)] hourly average for the presence of the coastal California gnatcatcher. Surveys for the coastal California gnatcatcher shall be conducted pursuant to the protocol survey guidelines established by the U.S. Fish and Wildlife Service within the breeding season prior to the commencement of any construction. If coastal California gnatcatchers are present, then the following conditions must be met:

(a) Between March 1 and August 15, no clearing, grubbing, or grading of occupied coastal California gnatcatcher habitat shall be permitted. Areas

restricted from such activities shall be staked or fenced under the supervision of a Qualified Biologist; and

(b) Between March 1 and August 15, no construction activities shall occur within any portion of the site where construction activities would result in noise levels exceeding 60 dB(A) hourly average at the edge of occupied gnatcatcher habitat. An analysis showing that noise generated by construction activities would not exceed 60 dB(A) hourly average at the edge of occupied habitat must be completed by a Qualified Acoustician (possessing current noise engineer license or registration with monitoring noise level experience with listed animal species) and approved by the City Manager at least two weeks prior to the commencement of construction activities. Prior to the commencement of construction activities during the breeding season, areas restricted from such activities shall be staked or fenced under the supervision of a Qualified Biologist; or

(c) At least two weeks prior to the commencement of construction activities, under the direction of a qualified acoustician, noise attenuation measures (e.g., berms, walls) shall be implemented to ensure that noise levels resulting from construction activities will not exceed 60 dB(A) hourly average at the edge of habitat occupied by the coastal California gnatcatcher. Concurrent with the commencement of construction activities and the construction of necessary noise attenuation facilities, noise monitoring* shall be conducted at the edge of the occupied habitat area to ensure that noise levels do not exceed 60 dB(A) hourly average. If the noise attenuation techniques implemented are determined to be inadequate by the Qualified Acoustician or biologist, then the associated construction activities shall cease until such time that adequate noise attenuation is achieved or until the end of the breeding season (August 16).

* Construction noise monitoring shall continue to be monitored at least twice weekly on varying days, or more frequently depending on the construction activity, to verify that noise levels at the edge of occupied habitat are maintained below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. If not, other measures shall be implemented in consultation with the biologist and the City Manager, as necessary, to reduce noise levels to below 60 dB(A) hourly average or to the ambient noise level if it already exceeds 60 dB(A) hourly average. Such measures may include, but are not limited to, limitations on the placement of construction equipment and the simultaneous use of equipment.

(2) If coastal California gnatcatchers are not detected during the protocol survey, the Qualified Biologist shall submit substantial evidence to the City Manager and applicable resource agencies which demonstrates whether or not mitigation measures such as noise walls are necessary between March 1 and August 15 as follows:

(a) If this evidence indicates the potential is high for coastal California gnatcatcher to be present based on historical records or site conditions, then condition A.III shall be adhered to as specified above.

(b) If this evidence concludes that no impacts to this species are anticipated, no mitigation measures would be necessary.

PLANNING/DESIGN REQUIREMENTS:

31. Prior to issuance of building permits, the Owner/Permittee shall provide documentation that the project has been submitted to the U.S. Green Building Council for review and will achieve at least a Leadership in Energy and Environmental Design (LEED) Silver Certification. Construction documents shall note all criteria included in the design and construction of the project as identified in the LEED certification application.

32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

33. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

34. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

35. No fewer than 225 (95% of 236 required) off-street parking spaces including 7 accessible spaces (1 Van-accessible) and 5 bicycle spaces shall be permanently maintained as shown on the project's Exhibit "A," satisfactory to the City Engineer.

36. Upon first occupancy, Owner/Permittee shall implement a Transportation Demand Management (TDM) Plan to the satisfaction of the City Engineer, including a private shuttle service to local attractions including San Diego International Airport, 50% transit subsidies for employees, bicycle parking spaces, lockers and showers, and rideshare incentive programs with monthly and annual rewards programs.

37. Prior to the issuance of the first building permit, Owner/Permittee shall improve project's entire frontage with full height curb, gutter, non-contiguous sidewalk satisfactory to the City Engineer.

38. The land set aside for a parking facility to allow for future expansion of a structured parking to provide additional 11 parking spaces on-site, as shown on the Exhibit "A," shall be reserved in perpetuity. These additional parking spaces shall be constructed at the City's request satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

39. Prior to the issuance of any building permits, the Owner/Permittee shall grant a 20-foot sewer easement centered with the existing sewer main across the west side of the property to the benefit of the City of San Diego, satisfactory to the Public Utilities Director and the City Engineer.
40. Prior to the issuance of any building permits, the Owner/Permittee shall grant a 20-foot sewer access easement across the west access driveway to the benefit of the City of San Diego (for accessibility for the Public Utilities Department maintenance crews), satisfactory to the Public Utilities Director and the City Engineer.
41. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPDs], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Public Utilities Director and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way. The Public Utilities Department will not permit the required BFPDs to be located below grade or within the structure.
42. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.
43. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.
44. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.
45. Prior to the issuance of any building permits, the Owner/Permittee shall process encroachment maintenance and removal agreements (EMRAs), for all acceptable encroachments into the sewer easement, including but not limited to structures, enhanced paving, or landscaping. No structures or landscaping of any kind shall be installed in or over any vehicular access roadway.
46. All public water and sewer facilities are to be in accordance with the established criteria in the most current City of San Diego Water and Sewer Design Guides.
47. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

48. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 20, 2015, and **Resolution**
No. _____.

Permit Type/PTS Approval No.: SDP No. 1126076
Date of Approval: May 20, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

SD HOTEL CIRCLE, LLC,
a California Limited Liability Company
Owner/Permittee

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
RESOLUTION NO. HO- _____
SITE DEVELOPMENT PERMIT NO. 1126076
MISSION VALLEY SUITES HOTEL - PROJECT NO. 322356 [MMRP]

WHEREAS, SD HOTEL CIRCLE, LLC, a California Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a permit to demolish an existing hotel and restaurant, and to construct a 236-guestroom, 5-story hotel (as described in and by reference to the approved Exhibits “A” and corresponding conditions of approval for the associated Permit No. 1126076), on portions of a 4.88-acre site;

WHEREAS, the project site is located at 2181 and 2201 Hotel Circle South in the MV-CO-CV Zone of the Mission Valley Planned District(MVPDO), the Southern Hillside Subdistrict of the MVPDO, Development Intensity Overlay District Area D3 (Development Intensity D and Traffic Area 3), the Mission Valley Community Plan, Federal Aviation Administration (FAA) Part 77 Noticing Area for the San Diego International Airport (SDIA) Lindbergh Field and North Island Naval Air Station (NAS), the City of San Diego Multi Habitat Planning Area (MHPA) of the Multiple Species Conservation Program (MSCP) Subarea Plan, and Council District 3 and 7;

WHEREAS, the project site is legally described as: Parcel 1 and 2 of Parcel Map No. 17760, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of Said County, October 2, 1996;

WHEREAS, on May 20, 2015, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1126076 pursuant to the Land Development Code (LDC) of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated May 20, 2015.

FINDINGS:

I. Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The project site is located at 2181 and 2201 Hotel Circle South, west of State Route 163 and south of Interstate 8, in the MV-CO-CV Zone of the Mission Valley Planned District (MVPD) within the in the Mission Valley Community Plan (MVCP) area. The MV-CO-CV zoning designation allows for establishments catering to the lodging, dining, and shopping needs of visitors. The MVCP designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses.

The project proposes the demolition of an existing hotel complex that contains a total of 216 guestrooms, and a one-story restaurant, and to construct a five-story, 182,986 square foot hotel that contains a total of 236 guestrooms on a 4.88-acre site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project proposes the demolition of an existing hotel complex that contain a total of 216 guestrooms, and a one-story restaurant, and to construct a five-story, 182,986 square foot hotel that contains a total of 236 guestrooms on a 4.88-acre site. The project site is an interior lot, located at 2181 and 2201 Hotel Circle South, west of State Route 163 and south of Interstate 8, in the MV-CO-CV Zone, the Hillside Subdistrict (Southern slopes), and the Development Intensity Overlay District Area D3 of the MVPD. The southern portion of the project site is identified within the Hillside (25-percent or greater slope gradient) area within the MVCP. The southern portion of the project site is identified within the hillside (25-percent or greater slope gradient) area within the MVCP and within the MHPA. However, the proposed development shall be constructed within the existing development footprint and shall not encroach within the Environmentally Sensitive Lands (ESL). The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site.

A Mitigated Negative Declaration (MND) No. 322356 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines, which address potential impacts to Historical Resources (Archaeology). A Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project, which will reduce the potential impacts to below a level of significance.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions within the permit have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in Site Development Permit (SDP) No. 1126076, and other regulations and guidelines pertaining to the subject property per the LDC. Prior to issuance of any building permit for the proposed development, the plans shall be reviewed for compliance with all Building, Electrical, Mechanical, Plumbing and Fire Code requirements, and the owner/permittee shall be required to obtain grading and public improvement permits. Therefore, the proposed development will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project site is located at 2181 and 2201 Hotel Circle South, west of State Route 163 and south of Interstate 8, in the MV-CO-CV Zone of the MVPD within the in the MVCP area. The MV-CO-CV zoning designation allows for establishments catering to the lodging, dining, and shopping needs of visitors. The community plan designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses. The project proposes the demolition of an existing hotel complex that contain a total of 216 guestrooms, and a one-story restaurant, and to construct a five-story, 182,986 square foot hotel that contains a total of 236 guestrooms on a 4.88-acre site.

The MVCP contains goals and policies for design and development, including criteria for the hillside and density. These design criteria have been incorporated in the MVPD Ordinance regulations that govern the site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site pursuant to the applicable regulations of the LDC.

II. Mission Valley Planned District - Section 1514.0201(d)(3)

1. The proposed development is consistent with the Mission Valley Community Plan and the Progress Guide and General Plan;

The project site is located at 2181 and 2201 Hotel Circle South, west of State Route 163 and south of Interstate 8, in the MV-CO-CV Zone of the MVPD within the in the MVCP area. The MV-CO-CV zoning designation allows for establishments catering to the lodging, dining, and shopping needs of visitors. The community plan designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses. The project proposes the demolition of an existing hotel complex that contain a total of 216 guestrooms, and a one-story restaurant, and to construct a five-story, 182,986 square foot hotel that contains a total of 236 guestrooms on a 4.88-acre site.

The southern portion of the project site is identified within the hillsides (25-percent or greater slope gradient) area within the MVCP and within the MHPA. However, the proposed development shall be constructed within the existing development footprint and shall not encroach within the ESL.

Within the Hillside Subdistrict of the MVPD, the building height is limited to 40-feet. An exception to the 40-foot height limit may be approved up to 65-feet in height if specific development standards are met in accordance with LDC Section 1514.0303(c)(1)(A). These development standards are as follows: 1. All natural existing hillside vegetation and topography shall be preserved; 2. Any previously graded hillsides shall be recontoured into a naturalistic form and revegetated with indigenous plants; and 3. Buildings and structures

shall be designed and sited so that a minimum 30-foot wide open public view corridor is created to the hillside from adjacent public streets and freeways.

All of the natural existing hillside vegetation and topography shall be preserved. The project includes the removal of the non-native vegetation and concrete stairs, associated structures (shotcrete wall) and foundation from the hillside along the southern slope. During a geotechnical investigation an unfavorable surficial slope face conditions were located in a portion of the southwestern corner of the slope; therefore, the project include a slope stabilization of the area. All graded, disturbed, or eroded areas shall be recontoured into a naturalistic form and revegetated with indigenous plants as indentified on the Landscape Development Plan within the Exhibits "A."

The third development standard requires the building to be designed and sited so that a minimum 30-foot wide open public view corridor is created to the hillside from adjacent public streets and freeways. The proposed development provides a 54-foot 6 inches wide open public view corridor on the eastern side of the property. Therefore, the project has demonstrated compliance with the Hillside Subdistrict specific development standards and the request to exceed the 40-foot height limit may be approved up to 65-feet in height.

The MVCP contains goals and policies for design and development, including criteria for the hillside and density. These design criteria have been incorporated in the MVPD Ordinance regulations that govern the site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site pursuant to the MVCP and the Progress Guide and General Plan.

2. The proposed development provides the required public facilities and is compatible with adjacent open space areas;

The project proposes the demolition of an existing hotel complex that contain a total of 216 guestrooms, and a one-story restaurant, and to construct a five-story, 182,986 square foot hotel that contains a total of 236 guestrooms on a 4.88-acre site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for the site. The site is an interior lot, located at 2181 and 2201 Hotel Circle South in an urbanized area of the MVPD that contains existing public facilities. However, as a condition of approval, the existing sidewalk, curb and gutter along the project frontage shall be replaced and landscape improvements shall be incorporated into the public right-of-way. The southern portion of the project site is identified within the hillsides (25-percent or greater slope gradient) area within the MVCP and within the MHPA. However, the proposed development shall be constructed within the existing development footprint and shall not encroach within the ESL. Therefore, the proposed development provides the required public facilities and is compatible with adjacent open space areas.

3. The proposed development meets the purpose, intent and criteria of the Mission Valley Planned District Ordinance including the applicable "Guidelines for Discretionary Review" adopted as a part of this planned district; and

The project proposes the demolition of an existing hotel complex that contain a total of 216 guestrooms, and a one-story restaurant, and to construct a five-story, 182,986 square foot hotel that contains a total of 236 guestrooms on a 4.88-acre site. The project site is an interior lot, located at 2181 and 2201 Hotel Circle South, west of State Route 163 and south of Interstate 8, in the MV-CO-CV Zone, the Hillside Subdistrict (Southern slopes), and the Development Intensity Overlay District Area D3 of the MVPD. The southern portion of the project site is identified within the hillsides (25-percent or greater slope gradient) area within the MVCP. The southern portion of the project site is identified within the hillsides (25-percent or greater slope gradient) area within the MVCP and within the MHPA. However, the proposed development shall be constructed within the existing development footprint and shall not encroach within the ESL.

Within the Hillside Subdistrict of the MVPD, the building height is limited to 40-feet. An exception to the 40-foot height limit may be approved up to 65-feet in height if specific development standards are met in accordance with LDC Section 1514.0303(c)(1)(A). These development standards are as follows: 1. All natural existing hillside vegetation and topography shall be preserved; 2. Any previously graded hillsides shall be recontoured into a naturalistic form and revegetated with indigenous plants; and 3. Buildings and structures shall be designed and sited so that a minimum 30-foot wide open public view corridor is created to the hillside from adjacent public streets and freeways.

All of the natural existing hillside vegetation and topography shall be preserved. The project includes the removal of the non-native vegetation and concrete stairs, associated structures (shotcrete wall) and foundation from the hillside along the southern slope. During a geotechnical investigation an unfavorable surficial slope face conditions were located in a portion of the southwestern corner of the slope; therefore, the project include a slope stabilization of the area. All graded, disturbed, or eroded areas shall be recontoured into a naturalistic form and revegetated with indigenous plants as indentified on the Landscape Development Plan within the Exhibits "A."

The third development standard requires the building to be designed and sited so that a minimum 30-foot wide open public view corridor is created to the hillside from adjacent public streets and freeways. The proposed development provides a 54-foot 6 inches wide open public view corridor on the eastern side of the property. Therefore, the project has demonstrated compliance with the Hillside Subdistrict specific development standards and the request to exceed the 40-foot height limit may be approved up to 65-feet in height.

The MVCP contains goals and policies for design and development, including criteria for the hillside and density. These design criteria have been incorporated in the MVPD Ordinance regulations that govern the site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, proposed development meets the purpose, intent and criteria of the

MVPD Ordinance including the applicable "Guidelines for Discretionary Review" adopted as a part of this planned district.

4. The proposed development will comply with all other relevant regulations in the San Diego Municipal Code.

The project site is located at 2181 and 2201 Hotel Circle South, west of State Route 163 and south of Interstate 8, in the MV-CO-CV Zone of the MVPD within the in the MVCP area. The MV-CO-CV zoning designation allows for establishments catering to the lodging, dining, and shopping needs of visitors. The community plan designates the proposed project site for Office (office, professional-medical, and financial institutions) or Commercial-Recreation (lodging, recreational, and entertainment facilities) uses. The project proposes the demolition of an existing hotel complex that contains a total of 216 guestrooms, and a one-story restaurant, and to construct a five-story, 182,986 square foot hotel that contains a total of 236 guestrooms on a 4.88-acre site.

The MVCP contains goals and policies for design and development, including criteria for the hillside and density. These design criteria have been incorporated in the MVPD Ordinance regulations that govern the site. The project proposes no deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site pursuant to the applicable regulations of the San Diego Municipal Code (SDMC). The proposed development will comply with all other relevant regulations in the SDMC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department, Site Development Permit No.1126076 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1126076 a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services Department

Adopted on: May 20, 2015

Internal Order No. 24003751

HEARING OFFICER
RESOLUTION NO. HO-_____
MISSION VALLEY SUITES HOTEL - PROJECT NO. 322356 [MMRP]
MITIGATED NEGATIVE DECLARATION NO. 322356
ADOPTED ON MAY 20, 2015

WHEREAS, on May 6, 2014, SD HOTEL CIRCLE, LLC, a California Limited Liability Company, Owner and Permittee, submitted an application to Development Services Department for a Site Development Permit for the Mission Valley Suites Hotel (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Hearing Officer of the City of San Diego; and

WHEREAS, the issue was heard by the Hearing Officer on May 20, 2015; and

WHEREAS, the Hearing Officer considered the issues discussed in Mitigated Negative Declaration No. 322356 (Report) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Hearing Officer, that it is certified that the Mitigated Negative Declaration No. 322356 has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Report, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Hearing Officer finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Report is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Hearing Officer hereby adopts the Mitigation Monitoring and Reporting Program, which is attached hereto as Exhibit A.

By _____
Jeffrey A. Peterson
Development Project Manager

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM****MISSION VALLEY SUITES HOTEL - PROJECT NO. 322356**

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Land Development Review Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 322356 shall be made conditions of Site Development Permit No. 1126076 as may be further described below.

A. GENERAL REQUIREMENTS -PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtnrl>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY**- The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or

implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS -PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: Not applicable.

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division- 858-627-3200**
 - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant is also required to call **RE and MMC at 858-627-3360**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 352250 and/or Environmental Document Number 352250, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within

one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: **Not Applicable**

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the LIMIT OF WORK, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery- When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTALS/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated
General	Consultant Qualification	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring	Prior to or at Preconstruction Meeting
Paleontology	Paleontology Reports	Paleontology Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

PALEONTOLOGICAL RESOURCES

In order to avoid significant paleontological resources impacts, the following mitigation measures shall be implemented by the project applicant. Compliance with the mitigation measures shall be the responsibility of the applicant:

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored - Prior to the start of any work that

requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).

3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. Then RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.

3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or Bias appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries- In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVr and submit to MMC via fax by SAM on the next business day.
 - b. Discoveries - All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries - If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by SAM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum. The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 1. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 2. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 3. MMC shall provide written verification to the PI of the approved report.
 - 4. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.

2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.
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The above mitigation monitoring and reporting program will require additional fees and /or deposits to be collected prior to the issuance of building permits, certificates of occupancy and /or final maps to ensure the successful completion of the monitoring program.

**A. GENERAL REQUIREMENTS – PART I Plan Check Phase
(Prior to permit issuance)**

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

**B. GENERAL REQUIREMENTS – PART II Post Plan Check
(After permit issuance/Prior to start of construction)**

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: **Qualified archaeologist monitor**

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the RE at the **Field Engineering Division – 858-627-3200**
 - b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant is also required to call **RE and MMC at 858-627-3360**
2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 322356 and/or Environmental Document Number 322356, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: **Not Applicable**

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline’s work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

Note: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Archaeology	Archaeology Reports	Archaeology/Historic Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA REQUIREMENTS

HISTORICAL RESOURCES

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions,

but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Archaeological Monitoring and Native American monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the archaeological monitoring of the project.
3. Prior to the start of work, the applicant must obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coast Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
3. The PI may submit a detailed letter to MMC requesting a reduction to the 1/4 mile radius.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified Archaeologist and Native American Monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
 - a. Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Exhibit (AME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits.
 - b. The AME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor(s) Shall be Present During Grading/Excavation/Trenching

1. The Archaeological Monitor shall be present full-time during grading/excavation/trenching activities which could result in impacts to archaeological resources as identified on the AME. The Native American monitor shall determine the extent of their presence during construction related activities based on the AME and provide that information to the PI and MMC. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
1. The PI and Native American monitor shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below.

- a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required.
- b. If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
- c. If resource is not significant, the PI shall submit a letter to MMC indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.

IV. Discovery of Human Remains

If human remains are discovered, work shall halt in that area and the following procedures as set forth in the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:

A. Notification

1. Archaeological Monitor shall notify the RE or BI as appropriate, MMC, and the PI, if the Monitor is not qualified as a PI. MMC will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS).
2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone.

B. Isolate discovery site

1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenience of the remains.
2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the provenience.

3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.
- C. If Human Remains **ARE** determined to be Native American
1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, **ONLY** the Medical Examiner can make this call.
 2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information.
 3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with the California Public Resource and Health & Safety Codes.
 4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.
 5. Disposition of Native American Human Remains shall be determined between the MLD and the PI, IF:
 - a. The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;
 - b. The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner.
 - c. In order to protect these sites, the Landowner shall do one or more of the following:
 - (1) Record the site with the NAHC;
 - (2) Record an open space or conservation easement on the site;
 - (3) Record a document with the County.

- d. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains. Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.

D. If Human Remains are **NOT** Native American

1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial.
2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98).
3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the Museum of Man for analysis. The decision for internment of the human remains shall be made in consultation with MMC, EAS, the applicant/landowner and the Museum of Man.

V. **Night and/or Weekend Work**

A. If night and/or weekend work is included in the contract

1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
2. The following procedures shall be followed.
 - a. No Discoveries – In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSV and submit to MMC via fax by 8AM of the next business day.

- b. Discoveries – All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains.
 - c. Potentially Significant Discoveries – If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.
- B. If night and/or weekend work becomes necessary during the course of construction
- 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

VI. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
- 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines (Appendix C/D) which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
 - a. For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with State of California Department of Parks and Recreation – The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B)

any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.

2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
4. MMC shall provide written verification to the PI of the approved report.
5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.

B. Handling of Artifacts

1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued
2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate.
3. The cost for curation is the responsibility of the property owner.

C. Curation of artifacts: Accession Agreement and Acceptance Verification

1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. **THIS WOULD ALSO REQUIRE THE INCLUSION OF ALL PRIOR ARCHAEOLOGICAL WORK CONDUCTED WHERE MATERIALS WERE COLLECTED IN 1996 AND 2003 BY BFSA. REFER TO HISTORICAL RESOURCES (CULTURAL RESOURCES/CURATION AND FINAL REPORT PREPARATION OF PREVIOUS ARCHAEOLOGICAL WORK CONDUCTED MMRP CONIDTION).** This shall be completed in consultation with MMC and the Native American representative, as applicable.

2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.

D. Final Monitoring Report(s)

1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one copy to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
2. The RE shall, in no case, issue the Notice of Completion and/or release of the Performance Bond for grading until receiving a copy of the approved Final Monitoring Report from MMC, which includes the Acceptance Verification from the curation institution.

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**MINUTES OF THE REGULAR MEETING OF THE
MISSION VALLEY PLANNING GROUP**

July 09, 2014

MEMBERS PRESENT

Jason Broad
John Carson
Gina Cord
Perry Dealy
Randall Dolph
Alan Grant
Elizabeth Leventhal
John Nugent
Jim Penner
Karen Ruggels
Marco Sessa
Rick Tarbell
Josh Weiselberg

MEMBERS ABSENT

Deborah Bossmeyer
Paul Brown
Bob Cummings
Robert Doherty
John LaRaia
Alex Plishner
Dottie Surdi

GUESTS

Robyn Bottomley
Gordon Duntree
Rich Garbhi
Tim Gabrielson
Margaret Gibert
Stephen Jones
Kathy Lippitt
Danielle Nisan
Khoa Nguyen
Jeremy Ogul
Rashik Patel
Keith Pittsford
Phil Roth
Ray Taylor
Scott Zimmerman

FEDERAL REP'S STAFFCITY STAFF

Ryley Webb
Sheldon Zemen

COUNTY STAFFASSEMBLY STAFF

* SEE
Pg 4-5

Jason Broad, Vice Chair called the regular meeting of the Mission Valley Planning Group (MVPG) to order at 12:05 p.m. at the Mission Valley Library Community Room located at 2123 Fenton Parkway, San Diego, CA.

A. CALL TO ORDER

Verify Quorum: 12 members were present, constituting a quorum.

B. PLEDGE OF ALLEGIANCE – Karen Ruggels led the Pledge of Allegiance.

C. INTRODUCTIONS / OPENING REMARKS/ AGENDA CHANGE

Jason Broad welcomed everyone to the meeting and reminded those present to sign the sign in sheets.

Guests introduced themselves.

D. APPROVAL OF MINUTES

Randall Dolph moved to approve the minutes of the June 04, 2014 regular meeting. Peary Dealy seconded the motion. Minutes were approved 11 – 0 – 1, with Jason Broad abstaining.

E. PUBLIC INPUT – NON-AGENDA ITEMS

Margaret Gibert from the Alliance For Responsible Medicinal Access began speaking on medical marijuana.

Meeting chair, Jason Broad, indicated that this forum was for non-agenda items and this item was slated to be on the agenda later during the meeting, however, there was a request to postpone the agenda item until the August MVPG meeting so the applicant could address the issues identified in the first assessment letter and cycle comments from the City of San Diego staff.

Phil Roth, on behalf of the applicant for the Medical Marijuana Consumer Cooperative (MMCC) CUP Application at 3455 Camino Del Rio South, Project No. 368346 requested that the agenda item be postponed until the August 2014 MVPG meeting.

Josh Weiselberg moved that the Medical Marijuana Consumer Cooperative (MMCC) CUP Application at 3455 Camino Del Rio South, Project No. 368346 on the July 2014 MVPG agenda be moved to the August 2014 MVPG agenda. Peary Dealy seconded the motion. Motion was approved 12 – 0 – 0.

Jason Broad asked Margaret Gilbert to proceed with her remarks. Other individuals spoke pro and con regarding medical marijuana and the placing of a medical marijuana consumer cooperative in Mission Valley.

F. MEMBERSHIP BUSINESS

John Nugent introduced Jim Penner and nominated him to fill the position of property owner representing Morris Cerullo World Evangelism/Mission Valley Resort.

John Nugent moved to approve the nomination of Jim Penner to fill the position of Property Owner with a term ending March 2016, representing the Morris Cerullo World Evangelism/Mission Valley Resort. Gina Cord seconded the motion. Nomination was approved 12 – 0 – 0.

John Nugent reported on the remaining Board membership open positions:

Local Businessperson -term ending March 2016

Resident--term ending March 2016

Local Businessperson -term ending March 2018

Resident--term ending March 2018

G. TREASURER'S REPORT

Bob Doherty was absent but sent in a report that the balance remained at \$1,414.43.

H. PUBLIC SAFETY REPORTS

1. Police Department – Officer Adam McElroy
Officer McElroy was not present, no report.

Fire Department – No report.

I. GOVERNMENTAL STAFF REPORTS

1. Mayor's Office

Anthony George was not present, no report

2. State Representatives

a. Senate Member's Office – Sen. Marty Block from the 39th Senate District I was not present. No report

b. Assembly Member's Office – Shirley Weber from the 79th Assembly District
George Gastil was not present. No report.

3. Federal Representatives

a. Congresswoman Susan Davis' Office --

There was no one present, no report

b. Congressman Scott Peters' Office – Sarah Czarrecki was not present. No report.

J. NEW BUSINESS**1. City of San Diego Urban Forestry Plan- Danielle Nisan - Information Item**

Danielle Nisan presented an overview and benefits of an urban forest. An urban forest is the trees and vegetation in and around a town or city environment on public land such as along streets and highways, in parks, around public buildings and on private property. Like a natural forest, an urban forest is an entire ecosystem. In San Diego, the only part of the forest managed by public agencies is that which grows on public land.

The Urban Forestry Section of the City of San Diego Street Tree Division oversees the planting and maintenance of trees and other vegetation along streets, sidewalks, and other City rights-of-way. The program works closely with nonprofit organizations to increase the number of trees in the City. Current tree inventory includes over 30,000 palms and 170,000 various shade trees.

With a \$75,000 grant from the California Department of Forestry and Fire Protection (CalFire), the City of San Diego is developing an Urban Forest Management Plan (UFMPlan) to improve San Diego's urban forest. This action will include planting trees, maintenance, program management, financing, liability reduction, and community partnerships.

The first step is to describe the planning process to the community and invite citizens and community groups to provide input.

The UFMPlan will be drafted by Inland Urban Forests Group in Riverside, whose leaders have assisted 20 cities in California with their UFMPlans. A Working Group will provide overall guidance for the UFMPlan, and stakeholder meetings will be held in September 2014 and January 2015.

The Urban Forest Management Plan will answer the following questions:

- What do you have? (inventory)
- What do you want? (goals and objectives)
- How do you get what you want? (implementation plan)
- Are you getting what you want? (monitoring)

The first step is to conduct a community forestry survey to gather community input. The survey was handed out at the meeting.

The survey can also be completed on-line at:

<https://www.surveymonkey.com/s/CXS5KXC>

Public Stakeholder meetings will be from 6pm to 8pm at the following locations:

- September 22, 2014 and January 26, 2015-University Town Center (UTC) Forum Hall (above Wells Fargo Bank) 4315 La Jolla Village Drive
- September 29, 2014 and February 2, 2015-Balboa Park, War Memorial Bldg

The City Council is expected to vote on the Urban Forest Management Plan in early 2015.

For questions and additional information see:

www.sandiego.gov/planning/programs/urbanforest/index.shtml

or contact Melissa Garcia, City of San Diego Senior Planner at magarcia@sandiego.gov

2. Mission Valley Suites Hotel- Site Development Permit (Project No. 322356) Stephen L Jones – Action Item

Stephen Jones presented an overview of the project and discussed project delays that were resolved through purchasing an adjacent piece of property.

Randy Dalph presented the DAB report from 6/30/14.

The DAB report, as submitted, follows:

The meeting was called to order at 3:30 P.M. in the Mission Valley Library. Members present were: Bruce Warren, Paul Dugas, Paul Brown, Steve Kiss, and Randy Dolph. Applicant representatives included Rashik Patel (T2 Development), Stephen Jones (Jones Ballard Architects) and Jeremy Grant (GFA Architects).

Mission Valley Suites Hotel – 2201 Hotel Circle South – Action Item

Rashik Patel introduced the team and provided an overview of the project. The project is located at 2201 Hotel Circle South on the site of the existing Comfort Inn. The project proposes demolition of the existing hotel and construction of a new 5-floor, 236-unit hotel with surface parking. Components of the presentation included:

- No hotel brand has been assigned to the project at this time.
- The floor plan consists of a square hotel building with a central, open-air courtyard.
- The building is set back further from the street than the adjacent new Hampton Inn.
- The first floor consists of a lobby, dining area, small meeting spaces, amenities, and guest rooms.
- A small pool is located toward the south/hillside portion of the development.
- A porte-cochere is proposed over the drop off entry. A site ramp provides an accessible path of travel between the existing public sidewalk with the front entrance of the building.
- Materials proposed for the building included: adhered stone veneer for the base of the building and adjacent to the main entrance, aluminum storefront and louver system in a champagne bronze finish, green tinted low-e insulated glazing, stucco using several earth tones, and a signature light band over the main entry.

Question, comments, and discussion from the board included:

- Concerns were raised regarding the location of the proposed cooling tower on the site, especially with the close proximity of it to adjacent parked cars and its proximity to the adjacent property (A1 Storage).
- The location of the pool was discussed, relative to its orientation on the site and adjacency to guest rooms. The applicant team confirmed that no cuts will be made into the hillside for the pool.
- Grades and slopes were reviewed, including 4 feet of slope across the site in the east-west direction, and 12 feet of drop in the north-south direction.
- The dining component is limited to breakfast services, and not a full restaurant. Meeting rooms were also discussed and proposed to be limited in size.
- Since the DAB had not received the City cycle comments, Patel noted that most of the issues have been addressed, including no additional traffic loads and an environmental negative declaration.

A motion to recommend to the MVPG that the design be approved was initiated by Bruce Warren, with conditions that the applicant fulfills all of the City's cycle comments and any environmental conditions. Paul Dugas seconded the motion. There was no subsequent discussion. The motion was approved 5-0-0.

The meeting was adjourned at 4:30 P.M., with the next adjourned at 4:30 P.M., with the next meeting tentatively scheduled for Monday, August 4, 2014.

After the presentation and DAB report, there were questions regarding the City's cycle comments, traffic, parking and sidewalks. The majority of the discussion was on the placement of sidewalks and could this project have sidewalks constructed at a five foot offset from the curb (noncontiguous). The project, as presented, does not use the "contiguous to the curb" standard but neither does it meet the noncontiguous standard.

Randy Dolph moved that the design for the Mission Valley Suites Hotel be approved with conditions that the applicant fulfills all of the City's cycle comments; any environmental conditions and the applicant explore any opportunities to install noncontiguous sidewalks. John Carson seconded the motion. Motion was approved 12 - 0 - 1 with Karen Ruggels abstaining.

1. City Planning Update

No report

2. Council Office-District 7- Councilmember Scott Sherman

Ryley Webb reported on:

- The opening of the Kumeyaay Campground in Mission Trails Regional Park. It is open on Friday and Saturday nights. Each campsite has a table and firepit.
- The award of 3 million dollars for the design and construction of a skate park in Linda Vista. The process will begin in the coming months.
- The official 'leash cutting', at 7 p.m. on Thursday, July 17th at Westfield Mission Valley, of the Dog Park. The approximately 300 square-foot enclosed space is located on the south side of Macy's. Features include Pedigree synthetic turf, an automatic dog watering station, bench seating, a dog waste station and 3 massive trees that shade the area. The on-site community dog park is in partnership with the San Diego Humane Society's central San Diego campus. The project is part of the dog-friendly outdoor center's ongoing mission to serve the needs of residents in the surrounding areas.
- Oversized Vehicle Ordinance is in the notification phase and people will begin being ticketed starting in Mid-August. Permits can be obtained online for \$1.75 a night for up to 3 nights in a row.

Ryley introduced Sheldon Zemen who has joined the office and will be handling the communities of Linda Vista and Tierrasanta.

3. Subcommittee Reportsa. Design Advisory Board

See report under New Business 2. Mission Valley Suites Hotel- Site Development Permit (Project No. 322356)

b. Stadium Committee

No report

c. San Diego River Coalition

The June meeting included an update on Coalition Priorities and an update on the RiverBlitz results and status. At the meeting it was disclosed that there may be monies to resurrect the Ruffin Canyon project.

The July meeting will include a presentation on SANDAG TransNnet funds.

TransNet funds are derived from the half-cent countywide sales tax that helps fund regional transportation projects including habitat-related environmental mitigation activities required to implement projects identified in the Regional Transportation Plan and the establishment of a network of regional bikeway corridors.

d. Community Planners Committee (CPC)

Josh Weiselberg attended in Dottie Surdi's absence. Josh reported on the four primary topics discussed:

- City of San Diego Urban Forest Management Plan

- The North Embarcadero Visionary Plan Phase 1
- Available monies for community planning groups
- Roof top parks as a means of increasing park space in San Diego

Minutes will be sent out when ready.

e. Parks Subcommittee

No report

f. Uptown Regional Bike Corridor Advisory Group

A volunteer is being sought to chair the subcommittee.

g. Public Health, Safety and Welfare

Elizabeth L Leventhal reported that the temporary winter homeless shelters open until June 30 had closed. The San Diego City Council voted in March to keep the temporary winter homeless shelters open until June 30.

Elizabeth reported the HOT team had received funding for 25 additional beds.

Elizabeth L Leventhal moved that she have business cards printed up indicating that she was a member of the Mission Valley Planning Group. She would use these cards to indicate that she was representing the MVPG at community and agency meetings. After discussion, the motion was rescinded.

In her remarks regarding business cards, Elizabeth indicated that there is some concern about the number of homeless items on the MVPG agendas. There was discussion about this concern and about decisions on whether or not to allow certain agenda items and the time allocated to those topics. There was support for the Chair making these decisions. There were comments about only allowing agenda items that serve a purpose for the work that the MVPG is tasked with doing, and is within its authority. Appreciation was expressed for informational items but it was also asked that there be a respect for member's time when agenda items are purely informational without an action required or that may not be within the scope of the MVPG as detailed in the City approved bylaws.

4. Miscellaneous Mail

There were no items

5. Miscellaneous Items

Peary Dealy inquired about the basis for making a decision on the Medical Marijuana Consumer Cooperative (MMCC) CUP Application at 3455 Camino Del Rio South, Project No. 368346 at the August meeting. There was discussion, and agreement, that the MVPG's action would be based on the land use issues and not on personal feelings about medical marijuana or on the strength or weakness of science on the efficacy of medical marijuana.

L. ADJOURNMENT – There being no further business to be brought before the Committee, the meeting was adjourned at 1:25 p.m.

The next meeting will be on Wednesday, August 06, 2014 at 12:00 p.m. at the Mission Valley Library, Community Room.

John Nugent, Secretary



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: MISSION VALLEY SUITES HOTEL
 Project No. For City Use Only: 322356

Project Address:
 2201 HOTEL CIRCLE S. SAN DIEGO, CA 92108

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 RASHIK PATEL
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 620 NEWPORT CENTER DR. 14TH FLOOR
 City/State/Zip:
 NEWPORT BEACH, CA 92660
 Phone No: 949-610-8200 Fax No:
 Signature: Date: 10/08/2014

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Signature: _____ Date: _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Signature: _____ Date: _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No:
 Signature: _____ Date: _____

Project Title: MISSION VALLEY SUITES HOTEL	Project No. (For City Use Only) 322356
--	--

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
SD HOTEL CIRCLE, LLC

Owner Tenant/Lessee


Street Address:
620 NEWPORT CENTER DR. 14TH FLOOR

City/State/Zip:
NEWPORT BEACH, CA 92660

Phone No: **949-610-8200** Fax No: _____

Name of Corporate Officer/Partner (type or print):
RASHIK PATEL

Title (type or print):
VICE PRESIDENT DEVELOPMENT

Signature:  Date: **10/08/2014**

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

201211810192



State of California
Secretary of State

LLC-1 File #

Limited Liability Company
Articles of Organization

ENDORSED - FILED
In the office of the Secretary of State
of the State of California

APR 27 2012

A \$70.00 filing fee must accompany this form.

Important - Read instructions before completing this form.

This Space For Filing Use Only

Entity Name (End the name with the words "Limited Liability Company," or the abbreviations "LLC" or "LLC." The words "Limited" and "Company" may be abbreviated to "Ltd." and "Co.," respectively.)

1. NAME OF LIMITED LIABILITY COMPANY

SD Hotel Circle, LLC

Purpose (The following statement is required by statute and should not be altered.)

2. THE PURPOSE OF THE LIMITED LIABILITY COMPANY IS TO ENGAGE IN ANY LAWFUL ACT OR ACTIVITY FOR WHICH A LIMITED LIABILITY COMPANY MAY BE ORGANIZED UNDER THE BEVERLY-KILLEA LIMITED LIABILITY COMPANY ACT.

Initial Agent for Service of Process (If the agent is an individual, the agent must reside in California and both Items 3 and 4 must be completed. If the agent is a corporation, the agent must have on file with the California Secretary of State a certificate pursuant to California Corporations Code section 1505 and Item 3 must be completed (leave Item 4 blank).)

3. NAME OF INITIAL AGENT FOR SERVICE OF PROCESS

Paracorp, Incorporated

4. IF AN INDIVIDUAL, ADDRESS OF INITIAL AGENT FOR SERVICE OF PROCESS IN CALIFORNIA CITY STATE ZIP CODE

CA

Management (Check only one)

5. THE LIMITED LIABILITY COMPANY WILL BE MANAGED BY:



ONE MANAGER



MORE THAN ONE MANAGER



ALL LIMITED LIABILITY COMPANY MEMBER(S)

Additional Information

6. ADDITIONAL INFORMATION SET FORTH ON THE ATTACHED PAGES, IF ANY, IS INCORPORATED HEREIN BY THIS REFERENCE AND MADE A PART OF THIS CERTIFICATE.

Execution

7. I DECLARE I AM THE PERSON WHO EXECUTED THIS INSTRUMENT, WHICH EXECUTION IS MY ACT AND DEED.

April 27, 2012

DATE

SIGNATURE OF ORGANIZER

Hartford O. Brown

TYPE OR PRINT NAME OF ORGANIZER

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
MISSION VALLEY SUITES HOTEL - PROJECT NO. 322356 [MMRP]

Date	Action	Description	City Review Time (Working Days)	Applicant Response
5/6/2014	First Submittal	Project Deemed Complete	-	-
5/29/2014	First Assessment Letter		16 days	
10/9/2014	Second Submittal			94 days
10/27/2014	Second Assessment Letter		12 days	
11/19/2014	Third Submittal			16 days
12/17/2014	Third Review Completed	Minor issues outstanding.	18 days	
1/26/2015	Fourth Submittal			19 days
2/9/2015	Fourth Review Completed	All outstanding issues resolved	10 days	
3/20/2015	MND	Prepared and distributed for public review.	28 days	
4/9/2015	MND	End of public review period (20 calendar days)		13 days
5/4/2015	MND	Finalized	17 days	
5/20/2015	Public Hearing	First available date.	12 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	113 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		142 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	255 working days (379 calendar days)	