



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: May 27, 2015 REPORT NO. HO-15-066

ATTENTION: HEARING OFFICER

SUBJECT: ABALONE RESIDENCE; PROJECT NO. 391996
PROCESS 3

LOCATION: 5664 Abalone Place

OWNER/
APPLICANT: Abalone Development, LLC, a California Limited Liability Company

SUMMARY

Requested Action: Should the Hearing Officer approve the demolition of an existing single family dwelling unit and to construct a two-story single family dwelling unit on a 0.12-acre site located at 5664 Abalone Place in the La Jolla Community Plan and Local Coastal Program Land Use Plan Area?

Staff Recommendation: **APPROVE** Coastal Development Permit No. 1369542.

Community Planning Group Recommendation: On April 2, 2015, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the project (Attachment 9).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures) of the California Environmental Quality Act (CEQA). The project proposes additions and remodel of an existing single-family dwelling unit. The environmental exemption determination for this project was made on April 1, 2015, and the opportunity to appeal that determination ended April 15, 2015 (Attachment 10). This project is not pending an appeal of the environmental determination.

BACKGROUND

The proposed project site is located at 5664 Abalone Place (Attachment 1), on the southwestern corner of Abalone Place and Bird Rock Avenue (Attachment 2). The property is in the RS-1-7 Zone (Attachment 3) within the La Jolla Community Plan and Local Coastal Program Land Use Plan (Attachment 4), Coastal Overlay Zone (Appealable Area), Coastal Height Limitation

Overlay Zone, the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The La Jolla Community Plan (LJCP) designates the proposed project site for Low Density Residential land use at 5-9 dwelling units per acre (DU/AC). The project site, occupying 0.12-acres, could accommodate one dwelling unit based on the underlying zone and one dwelling unit based on the community plan. The surrounding properties have been previously graded and developed with existing single-family dwelling units. The properties are zoned RS-1-7 and the land use designation is Low Density Residential at 5-9 DU/AC.

The project site is a corner lot with frontage on Abalone Place and Bird Rock Avenue. The parcel has been previously graded and developed with an existing single-family dwelling unit. The existing single-family dwelling unit was constructed in 1955, the garage was constructed in 1970, and a small addition was constructed in 2000. A historical assessment was performed and City staff has determined that the property and associated structure would not be considered historically or architecturally significant in terms of architectural style, appearance, design, or construction associated with important persons or events in history. In addition, the property does not meet local designation criteria as an individually significant resource under any adopted Historical Resources Board Criteria.

DISCUSSION

Project Description:

The project proposes the demolition of an existing single family dwelling unit and to construct a two-story, 2,585 square foot single family dwelling unit with a 516 square foot garage, and associated site improvements on a 0.12-acre site. The proposed single-family dwelling unit would consist of two bedrooms, two bathrooms, bonus room, main entrance, and a two-car garage on the first floor. The main living area is located on second floor that includes the living room, kitchen, dining room, master bedroom and bathroom, laundry room, deck, and access to the roof top deck above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 248 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Bird Rock Avenue at this location is designated as a view corridor with views toward the Pacific Ocean. In addition, Abalone Place is identified as an intermittent or partial vista along the property and compliance with the front setback requirement along Bird Rock Ave will preserve the framed view down the street looking west. Bird Rock Avenue contains a physical accessway in the form of a stairway from Bird Rock Avenue to the tide pools; however, this access is not adjacent to the property. The property is not designated as a viewshed or scenic overlook as identified within the adopted LJCP and Local Coastal Program Land Use Plan.

The site is approximately 42 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103. The project proposes a maximum building height of 26 feet 8 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone.

The Residential Element of the LJCP contains policies for new development in order to avoid extreme and intrusive changes to the residential scale of the neighborhood, especially between new and older structures. The plan recommends that bulk and scale be controlled through the application of development regulations, such as setbacks and building height. The plan also recommends that visual relief, such as offsetting planes, articulation, and variations in front setbacks, be applied to provide a transition in scale between surrounding development. The existing residences immediately south and west of the site are one-story structures, however, the majority of the other homes along the block and within the immediate vicinity are two to three-stories. The project complies with the maximum allowable height of the zone and complies with the required setbacks. In addition, the project provides articulation along the facades, architectural projections, a varied roof line, and uses both stucco and stone veneer. These features aid in reducing perceived bulk and scale and are an adequate transition between the proposed development and the existing one-story homes.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Development of the proposed project requires the approval of a Process Three Coastal Development Permit (CDP) for coastal development in the Appealable Area of the Coastal Overlay Zone. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Conclusion:

The project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted LJCP and Local Coastal Program Land Use Plan, SDMC, and the General Plan. Therefore, staff recommends to the Hearing Officer to approve the CDP as presented.

ALTERNATIVES

1. **APPROVE** Coastal Development Permit No. 1369542, **with modifications.**
2. **DENY** Coastal Development Permit No. 1369542, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Jeffrey A. Peterson
Development Project Manager
Development Services Department

PETERSON/JAP

Attachments:

1. Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. Project Plans
7. Draft CDP Permit with Conditions
8. Draft CDP Resolution with Findings
9. La Jolla Community Planning Association Recommendation
10. Environmental Exemption
11. Ownership Disclosure Statement
12. Project Chronology
13. Copy of Public Notice (forwarded to HO)
14. Copy of Project Plans (full size-forwarded to HO)

Internal Order No. 24005189



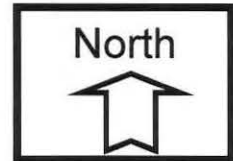
Location Map
Abalone Residence - Project No. 391996
5664 Abalone Place





Aerial Photograph

Abalone Residence - Project No. 391996
5664 Abalone Place

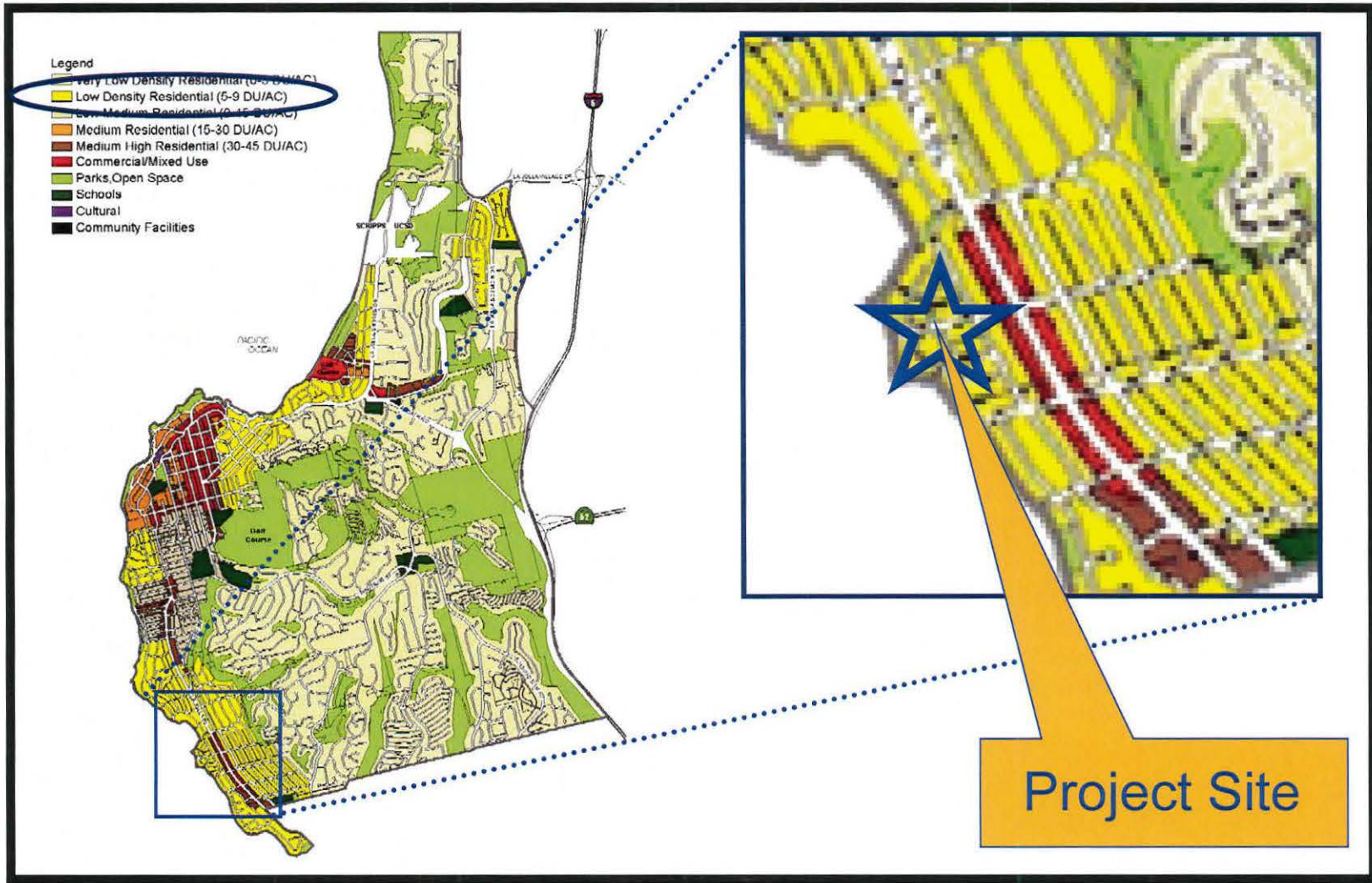




Zoning Map

Abalone Residence - Project No. 391996
5664 Abalone Place





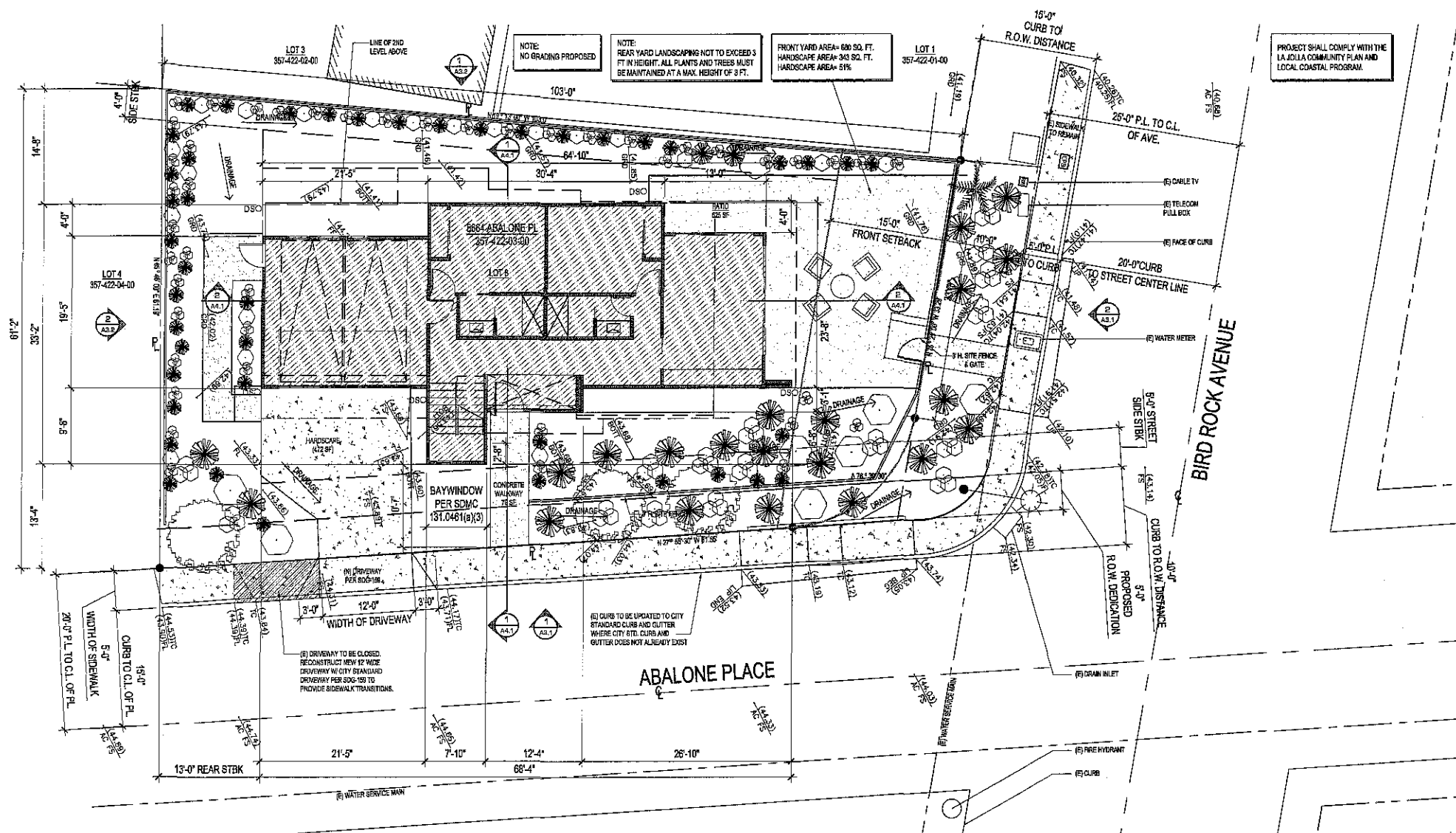
La Jolla Community Plan Land Use Map

Abalone Residence - Project No. 391996
 5664 Abalone Place



PROJECT DATA SHEET

PROJECT NAME:	Abalone Residence - Project No. 391996	
PROJECT DESCRIPTION:	Demolition of an existing single family dwelling unit and to construct a two-story single family dwelling unit on a 0.12-acre site.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Low Density Residential (5-9 dwelling units per acre)	
<u>ZONING INFORMATION:</u>		
ZONE: RS-1-7 HEIGHT LIMIT: 24/30-feet LOT SIZE: 5,000 square feet FLOOR AREA RATIO: 59 percent LOT COVERAGE: NA FRONT SETBACK: 15 feet SIDE SETBACK: 4 feet STREETSIDE SETBACK: 10 feet REAR SETBACK: 13 feet PARKING: 2		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low Density Residential; RS-1-7	Single Family Residence
SOUTH:	Low Density Residential; RS-1-7	Single Family Residence
EAST:	Low Density Residential; RS-1-7	Single Family Residence
WEST:	Low Density Residential; RS-1-7	Single Family Residence
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On April 2, 2015, the La Jolla Community Planning Association voted 14-0-1 to recommend approval of the project.	



PROJECT DATA

PROJECT INFORMATION:

PROJECT ADDRESS: 5664 ABALONE PL. SAN DIEGO, CA 92127

ASSESSOR'S PARCEL NUMBER: 357-422-03-00

LEGAL DESCRIPTION: THOSE PORTION OF LOTS 1, 2, 3 AND 8 IN BLOCK 17 OF RESUBDIVISION OF A PORTION OF BIRD ROCK CITY BY THE SEA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1138, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN DIEGO COUNTY.

EXISTING USE: Single-Family Residence

YEAR BUILT: 1952

BUILDING CODE: CALIFORNIA BUILDING CODE (CBC) 2013

OCCUPANCY TYPE: SFR - R-3

CONSTRUCTION TYPE: TYPE VB

NUMBER OF STORIES: 1 EXISTING, 2 PROPOSED

BUILDING HEIGHT: 15'-0" (EXISTING), 26'-0" (PROPOSED)

ZONING INFORMATION:

ZONE: RS-17

NUMBER OF DWELLINGS: 1

NUMBER OF STORIES: 2 (PROPOSED)

SETBACKS:

FRONT: 15'-0"

REAR: 15'-0"

STREET SIDE: 15'-0"

MAXIMUM ALLOWABLE HEIGHT: 24 FT / 30 FT

ACTUAL HEIGHT: 26'-0" FT

MAX FAR: .59

ACTUAL FAR: .59

LOT AREA: 5,294 SF

ALLOWABLE GFA: 59' x 264 SF = 3,106 SF

ACTUAL GFA:

RESIDENTIAL AREA	1,012 SF
1ST LVL RESIDENCE	516 SF
1ST LVL GARAGE	1,673 SF
2ND LVL RESIDENCE	1,421 SF
TOTAL	3,610 SF

NON-RESIDENTIAL AREA:

PATIO	825 SF
DECK 1	162 SF
DECK 2	80 SF
ROOF DECK	790 SF
TOTAL	1,857 SF

SITE PLAN LEGEND

- CITY STANDARD ASPHALTIC CONCRETE DRIVEWAY
- STONE ENTRYWAY PAVERS
- SITE DRAINAGE PATTERN
- EXISTING & PROPOSED CONTOURS
- ODS DOWNSPOUT LOCATION- TO BE DISCHARGED INTO LANDSCAPED PLANTERS

PROPOSED SITE PLAN

1/8" = 1'-0"

LOT COVERAGE	AREA	%
HARDSCAPE	1176 SF	20.5%
LANDSCAPE	2969 SF	51.8%
BLDG FOOTPRINT	1792 SF	31.3%

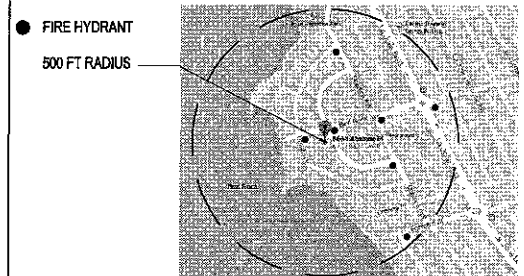
FRONT COVERAGE	AREA	%
FRONTAGE TOTAL	862 SF	
HARDSCAPE	409 SF (469.2 MAX)	59.8%

BENCHMARK:
BIRD ROCK AVENUE AND DOLPHINE PLACE,
NEIP, ELEVATION: 34.726 M.S.L.

NOTE:
SITE DRAINAGE TO BE DIRECTED TO SITE
LANDSCAPING AND PLANT BEDS TO BE
DISIPATED PRIOR TO DISCHARGE INTO
STREET GUTTERS

GRADING TABLE	CUT	FILL
5664 ABALONE PL.	NO GRADING PROPOSED	

LOCATION MAP



CONSTRUCTION BMP'S

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

This project shall comply with all requirements of the state permit, California Regional Water Quality Control Board, San Diego Region, order NO. C0013112, NPDES NO. CAS001872 (http://www.sandag.org/transportation/transportation_atm/transportation_atm.htm)

Notes 1-6 below represent any additional requirements for construction BMP's.

- Sufficient BMP's must be installed to prevent silt, mud or other construction debris from being tracked into the adjacent street(s) or storm water conveyance systems due to construction activity. The contractor shall be responsible for clearing any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMP's.
- All stock piles of uncompacted soil and/or building materials that are intended to be left unperforated for a period greater than seven calendar days are to be protected with erosion and sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater.
- A concrete washout shall be provided on all projects which require the construction of any concrete improvements that are to be poured in place on the site.
- All erosion/sediment control devices shall be maintained in working order at all times.
- All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
- The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

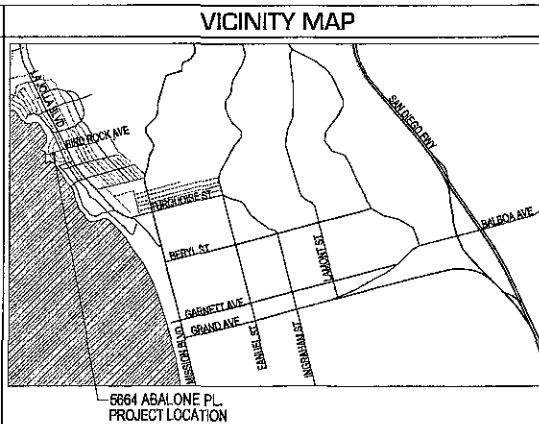
GENERAL NOTES

- NEAREST EXISTING BUS STOP TO PROJECT SITE IS LOCATED AT RIVERA DR.
- PROVIDE BUILDING ADDRESS THAT IS VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER CITY'S POLICY 200-4 (PFC 201.4.4)
- ALL OUTDOOR LIGHTING SHALL BE SHADED AND ADJUSTED TO FALL ON THE SAME PREMISES WHERE SUCH LIGHTS ARE LOCATED.
- DOWNSPOUTS SHALL BE DIRECTED INTO LANDSCAPED AREAS AND WALKWAYS SHALL SLOPE INTO LANDSCAPED AREAS WHERE FEASIBLE.
- GRADING (EXISTING & PROPOSED) AS SHOWN PER SHEET A1.1:
14 CYD. CUT; 14 CYD. FILL PER RESIDENCE
1 FT. MAX. CUT; 1 FT. MAX. FILL PER RESIDENCE
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE PLAN SHALL BE IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

SCOPE OF WORK

REQUEST COASTAL DEVELOPMENT PERMIT FOR DEMOLITION OF AN EXISTING ONE-STORY 1,504 SF SINGLE-FAMILY RESIDENCE AND CONSTRUCTION OF A TWO-STORY 3,400 SF SINGLE-FAMILY RESIDENCE

ALL NEW DROUGHT-TOLERANT LANDSCAPING PER LA JOLLA COMMUNITY PLAN ECODISTRICT PLAN. PROJECT IS TO INTEGRATE PHOTOVOLTAIC PANELS CONSISTENT WITH COUNCIL POLICY 600-27 AND 900-14. OTHER GREEN BUILDING TECHNIQUES, WITH EFFICIENT IRRIGATION TECHNOLOGY TO BE INTEGRATED.



SHEET INDEX

SHEET#	SHEET TITLE
A1.1	TITLE SHEET / SITE PLAN
A2.1	TOPO SURVEY
A2.2	FIRST LEVEL
A2.3	SECOND LEVEL
A3.1	ROOF LEVEL
A3.2	EXTERIOR ELEVATIONS
A4.1	BUILDING SECTIONS

ADDITIONAL INFORMATION

CHECK EACH APPLICABLE OVERLAY ZONE:

- AIRPORT APPROACH
- AIRPORT ENVIRONS
- COASTAL DEVELOPMENT PERMIT
- COASTAL HEIGHT LIMIT
- SENSITIVE COASTAL
- MOBILE HOME PARK
- PARKING IMPACT
- RESIDENTIAL TANDEM PARKING
- TRANSIT AREA
- URBAN VILLAGE
- MISSION TRAILS DESIGN DISTRICT
- CLAREMONT MESA HEIGHT LIMIT
- TRANSIT AREA OVERLAY
- GEOLOGICAL HAZARD-CATEGORY 2

PROJECT TEAM

OWNER:
ABALONE DEVELOPMENT LLC
850 WEST BROADWAY STE.
SAN DIEGO, CALIFORNIA 92107
PH: (619) 546-0873

DESIGN:
FRONTIS STUDIO
630 MISSOURI STREET, #2
SAN DIEGO CA 92109
CONTACT: SCOTT FRONTIS
PH: 619.537.2079
EMAIL: scott@frontis.com

SURVEY:
SAN DIEGO LAND SURVEYING & ENGINEERING
8650 OCEAFARME DR., SUITE 445
SAN DIEGO CA 92123
PH: 619.565.8872
EMAIL: info@dls.com

PREPARED BY:
Frontis Studio
630 MISSOURI ST. #2
SAN DIEGO CA 92109
PH: 619.537.2079

LEGAL DESCRIPTION:
Lots 3 of Block 422 map 1126 Bird Rock

APN:
357-422-03-00

PROJECT NAME:
ABALONE RESIDENCE

SHEET TITLE:
TITLE SHEET + SITE PLAN

SHEET COUNT:
TITLE SHEET + SITE PLAN
PTS #: -
1 OF 6

SUBMITTAL:
10.06.14

REVISION 1:

REVISION 2:

REVISION 3:

DATE: _____

REVISED: _____

FRONTIS STUDIO

SCOTT FRONTIS, P.E., License # 10000
PH: 619.537.2079
EMAIL: info@frontis.com

Abalone Residence

5664 Abalone Pl.
San Diego Ca 92137

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Date: 10.03.14

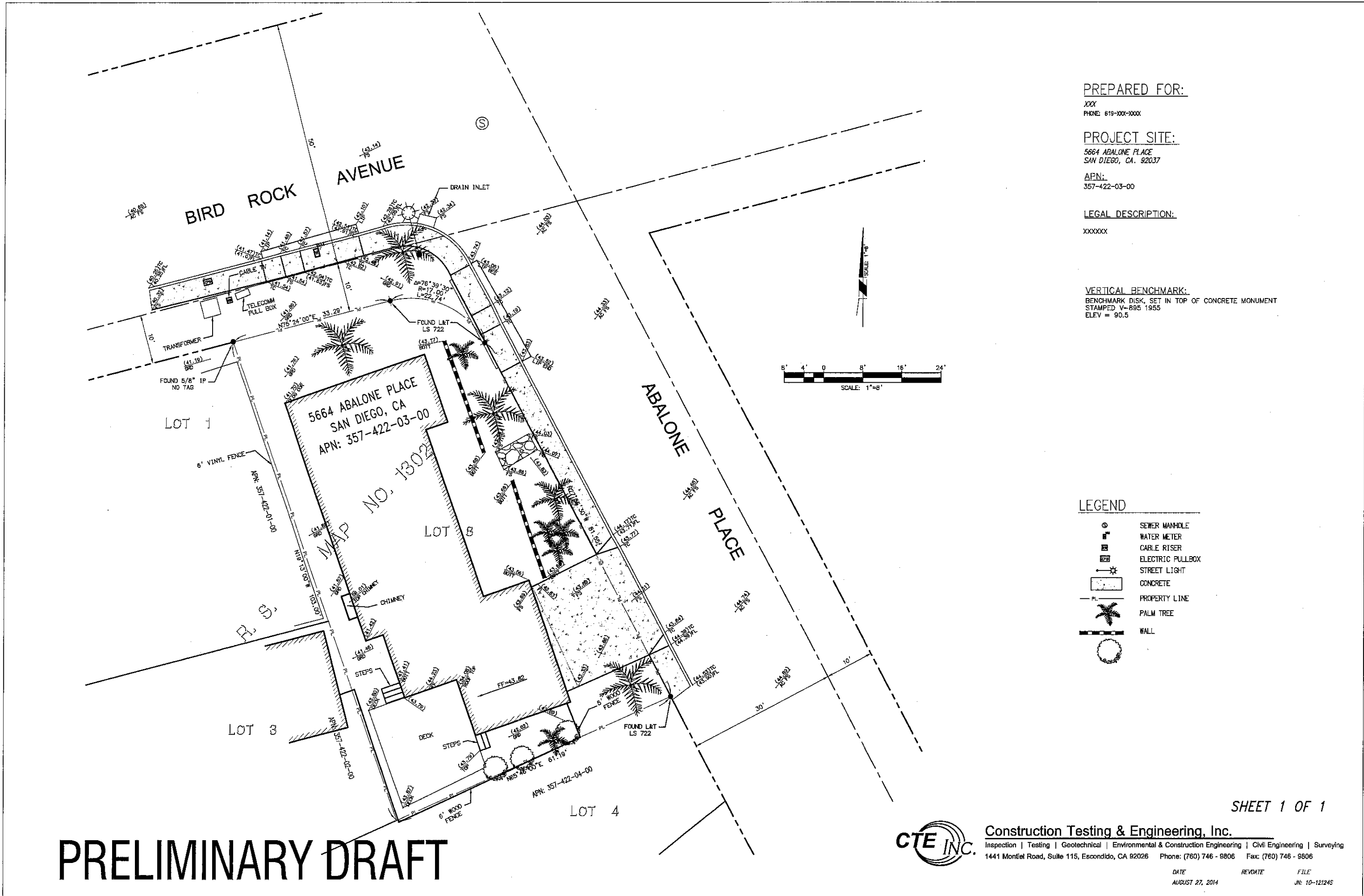
Job: 1027

Title: _____

TITLE SHEET + SITE PLAN

Sheet: _____

A1.1



PREPARED FOR:

XXX
PHONE: 619-XXX-XXXX

PROJECT SITE:

5664 ABALONE PLACE
SAN DIEGO, CA. 92037

APN:

357-422-03-00

LEGAL DESCRIPTION:

XXXXXX

VERTICAL BENCHMARK:

BENCHMARK DISK, SET IN TOP OF CONCRETE MONUMENT
STAMPED V-B95 1955
ELEV = 90.5

LEGEND

- SEWER MANHOLE
- WATER METER
- CABLE RISER
- ELECTRIC PULLBOX
- STREET LIGHT
- CONCRETE
- PROPERTY LINE
- PALM TREE
- WALL

SHEET 1 OF 1

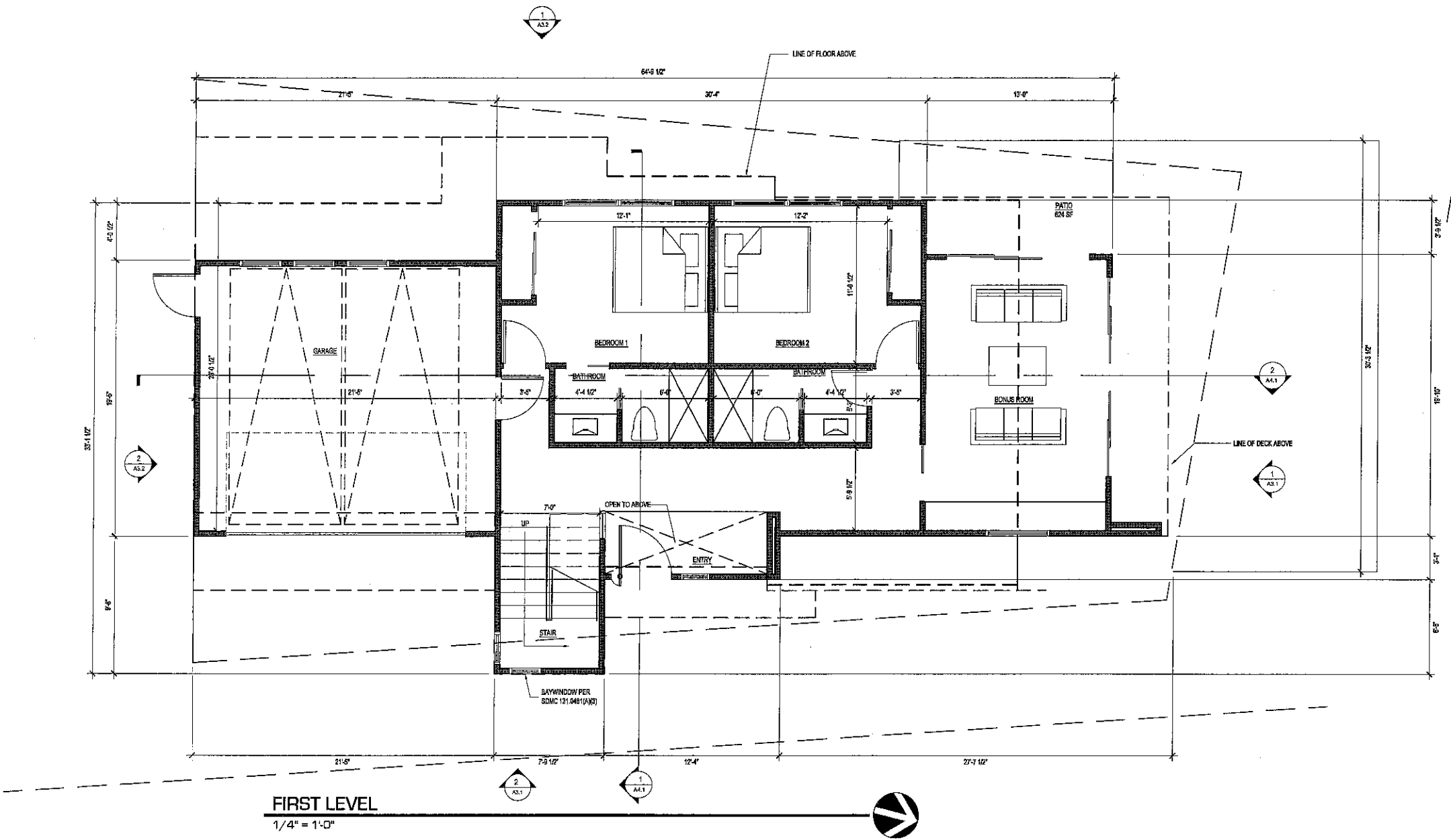
PRELIMINARY DRAFT



Construction Testing & Engineering, Inc.

Inspection | Testing | Geotechnical | Environmental & Construction Engineering | Civil Engineering | Surveying
1441 Montiel Road, Suite 115, Escondido, CA 92026 Phone: (760) 746 - 9806 Fax: (760) 746 - 9806

DATE: AUGUST 27, 2014
REVDATE: _____
FILE: JN: 10-121245



FIRST LEVEL
1/4" = 1'-0"

REVISIONS	DATE

FRONTIS STUDIO
 830 Missouri St., Suite B
 San Diego, CA 92109
 P: 619.557.8078
 Email: info@frontisstudio.com

Abalone Residence
 5684 Abalone Pl.
 San Diego, Ca 92037

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Date:	10.02.14
Job:	147
Title:	

FIRST LEVEL
 Sheet

A2.1

FIRST LEVEL PLAN

PREPARED BY:
 Frontis Studio
 830 MISSOURI ST. #2
 SAN DIEGO CA 92109
 P: 619.557.8078

LEGAL DESCRIPTION:
 Lots 8 of Block 422 map 1128 Blvd Rock

APN:
 357-422-03-00

PROJECT NAME:
 ABALONE RESIDENCE

SHEET TITLE:
 FIRST LEVEL PLAN

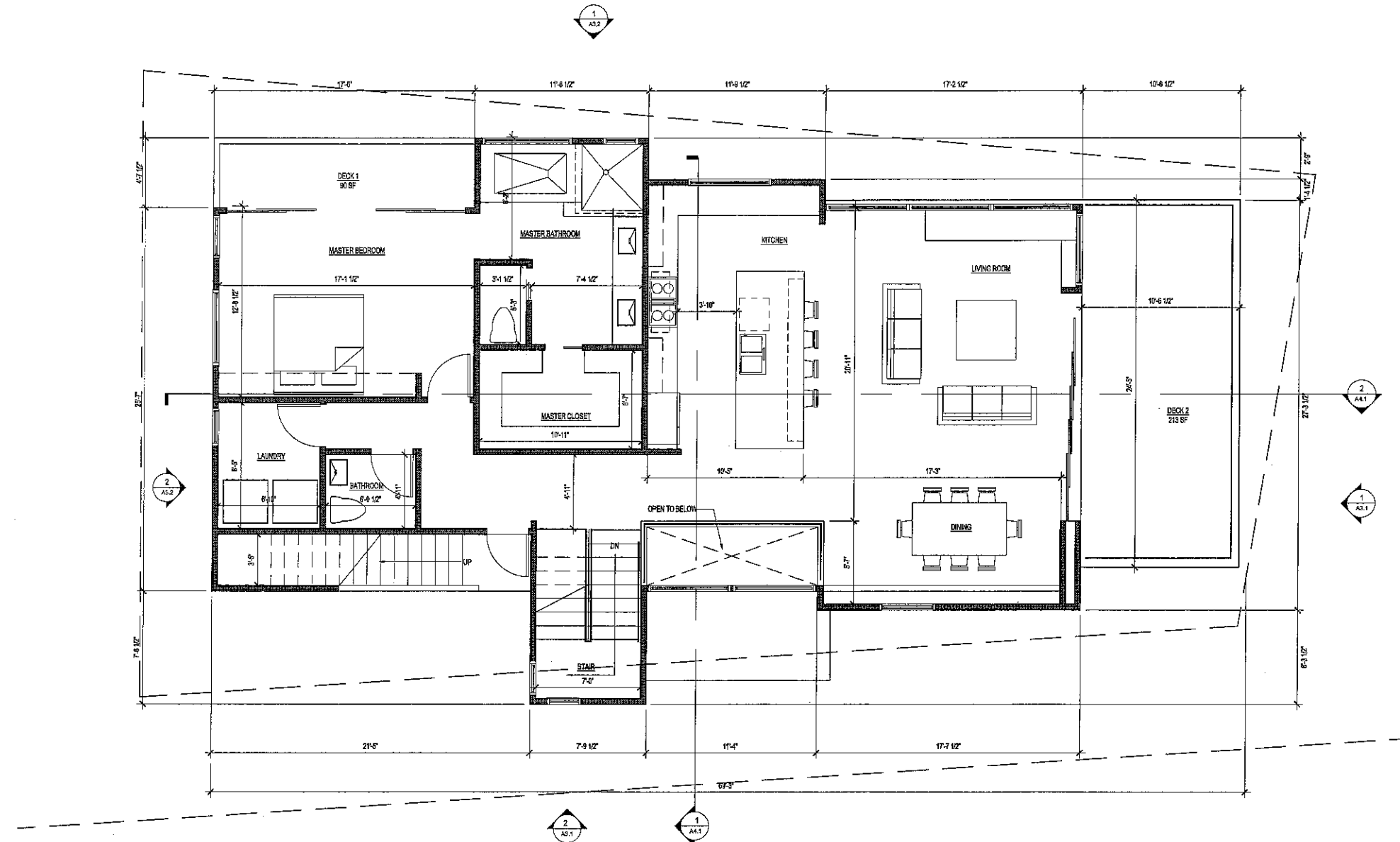
PTS #:
 3 OF 5

SUBMITTAL:
 10.02.14

REVISION 1:

REVISION 2:

REVISION 3:



SECOND LEVEL
1/4" = 1'-0"



REVISIONS	DATE

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Date: 10.06.14
 Job: 1427
 Title:

SECOND LEVEL

Sheet:

A2.2

SECOND LEVEL PLAN

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 Frontis Studio
 630 MISSOURI ST. #2
 SAN DIEGO CA 92109
 P: 619.537.2078

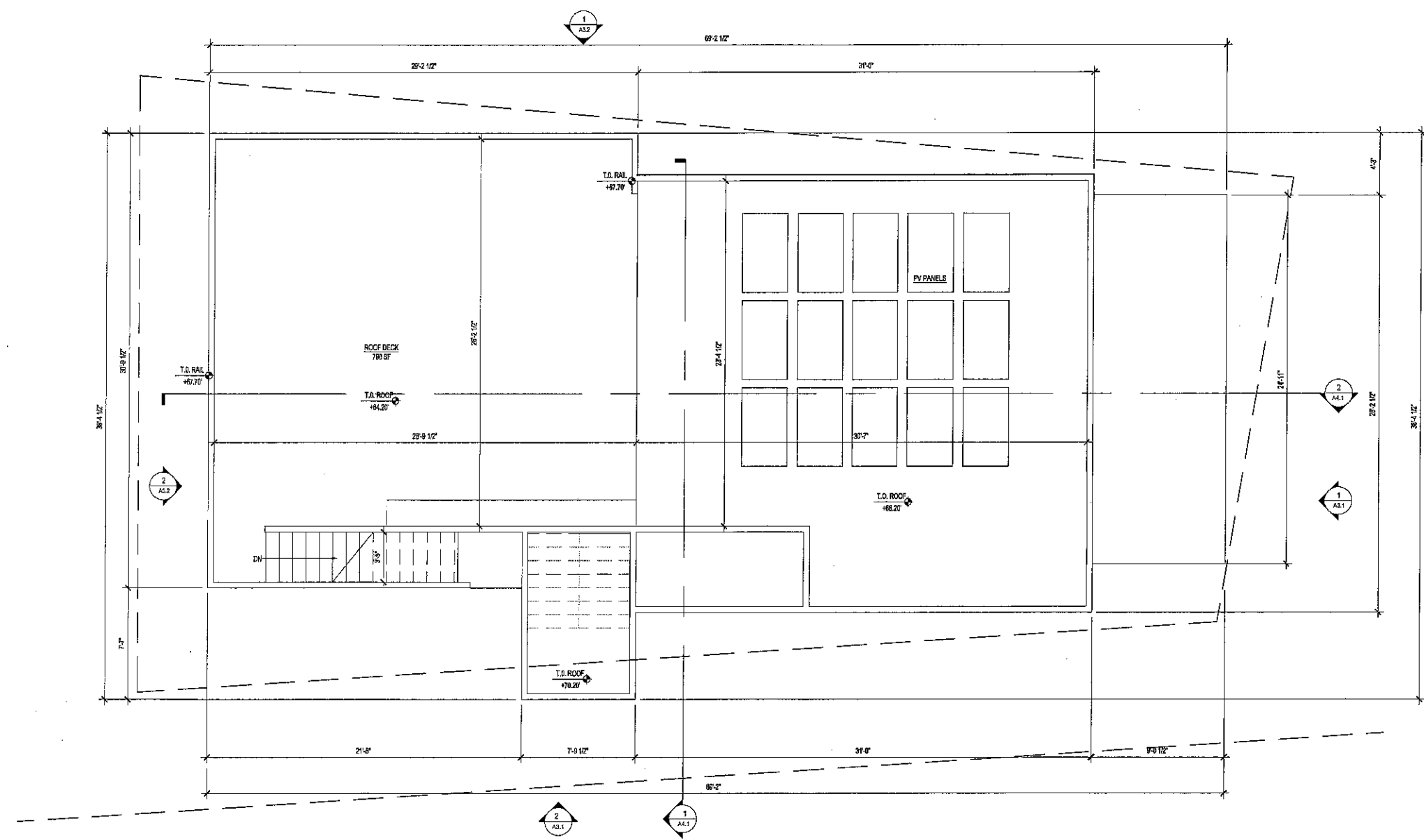
LEGAL DESCRIPTION:
 Lots 8 of Block 422 map 1198 Bird Rock

APN:
 357-422-05-00

PROJECT NAME:
 ABALONE RESIDENCE
 SHEET TITLE:

SHEET COUNT:
 SECOND LEVEL PLAN
 PLS #: -
 4 OF 8

SUBMITTAL:
 10.06.14
 REVISION 1:
 REVISION 2:
 REVISION 3:



ROOF LEVEL
1/4" = 1'-0"

REVISIONS	DATE

FRONTIS STUDIO
800 Mission St., Suite B
San Diego, CA 92108
Email: info@frontisstudio.com

Abalone Residence
5664 Abalone Pl.
San Diego Ca 92037

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Date: 10.03.14
Job: 1427
Title:

ROOF PLAN

PREPARED BY:
Frontis Studio
800 MISSOURI ST. #2
SAN DIEGO CA 92108
p: 619.537.2576

LEGAL DESCRIPTION:
Lots 9 of Block 422 map 1138 Bird Rock

APN:
357-422-03-00

PROJECT NAME:
ABALONE RESIDENCE

SHEET TITLE:

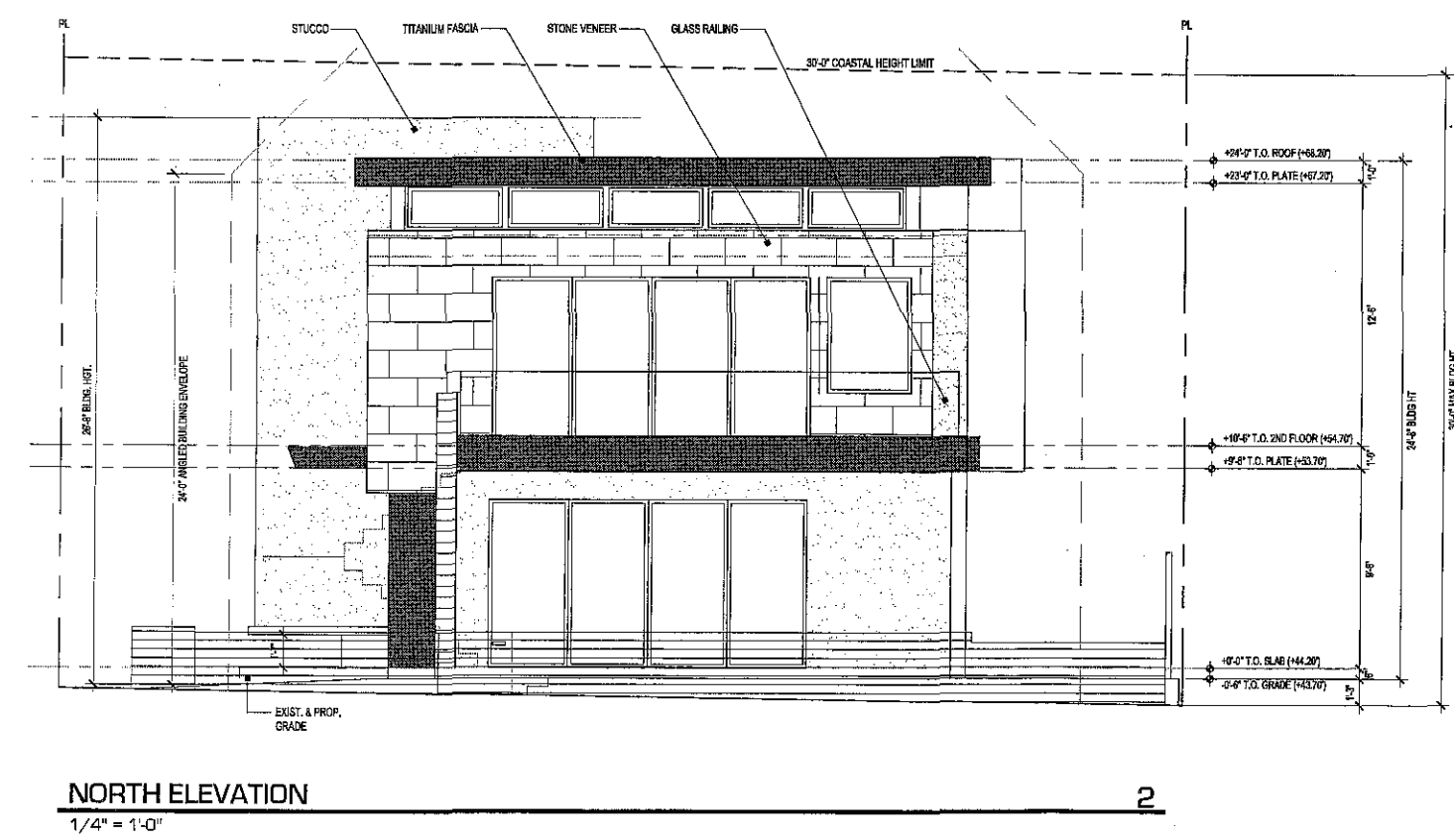
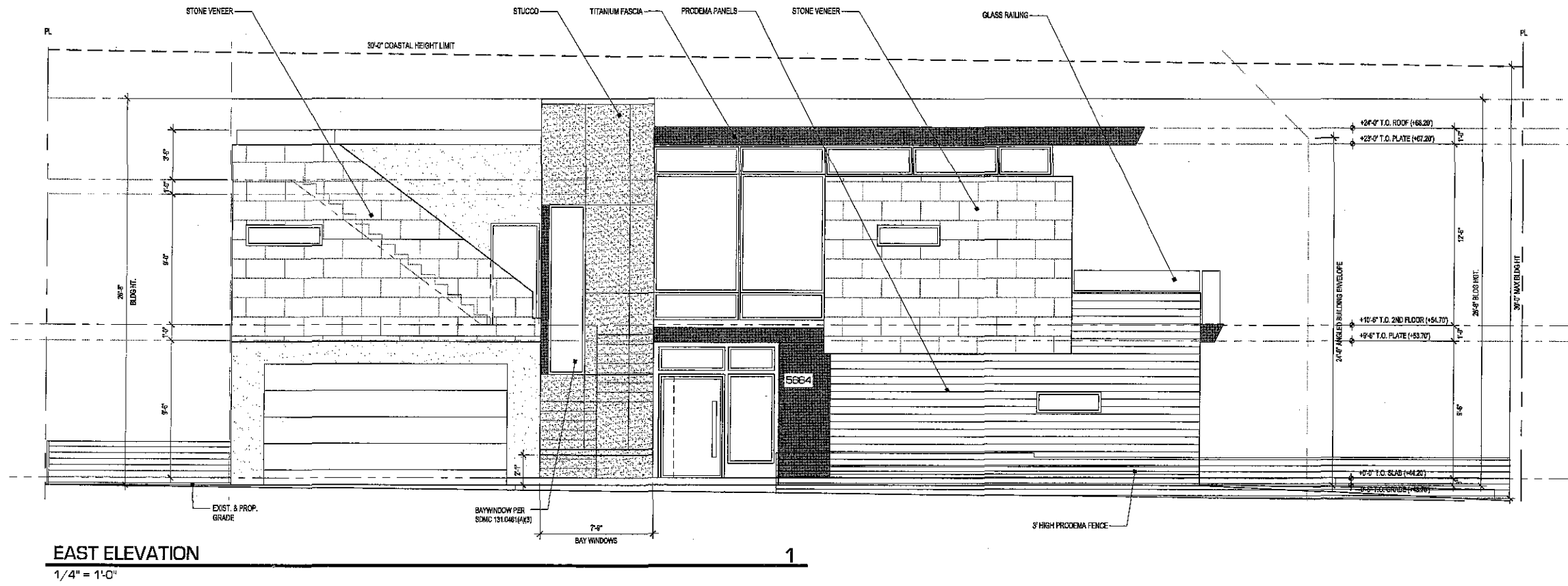
SHEET COUNT:
ROOF PLAN
PTS #:
5 OF 8

SUBMITTAL:
10.06.14
REVISION 1:
REVISION 2:
REVISION 3:

Roof Level

Sheet

A2.3



NOTE:
THE HIGHEST POINT OF THE ROOF,
EQUIPMENT, OR ANY VENT, PIPE,
ANTENNA OR OTHER PROJECTION,
SHALL NOT EXCEED 30' ABOVE GRADE,
PER ENR. 2.2.

ELEVATIONS

PREPARED BY:
Frontis Studio
830 MISSOURI ST. #2
SAN DIEGO CA 92109
P: 619.297.2079

LEGAL DESCRIPTION:
Lots 3 of Block 422 map 1138 Bird Rock

APN:
587-422-05-00

PROJECT NAME:
ABALONE RESIDENCE

SHEET TITLE:
ELEVATIONS

SHEET COUNT:
PTS # -
6 OF 8

SUBMITTAL:
10.06.14

REVISION 1:

REVISION 2:

REVISION 3:

DATE	REVISIONS

FRONTIS
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830 Missouri St., Suite 2
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Ph: 619.297.2079
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this specific project only and shall not
otherwise be used for any other
purpose. There shall be no changes or
exceptions from these drawings without
the written consent of FRONTIS
STUDIO.

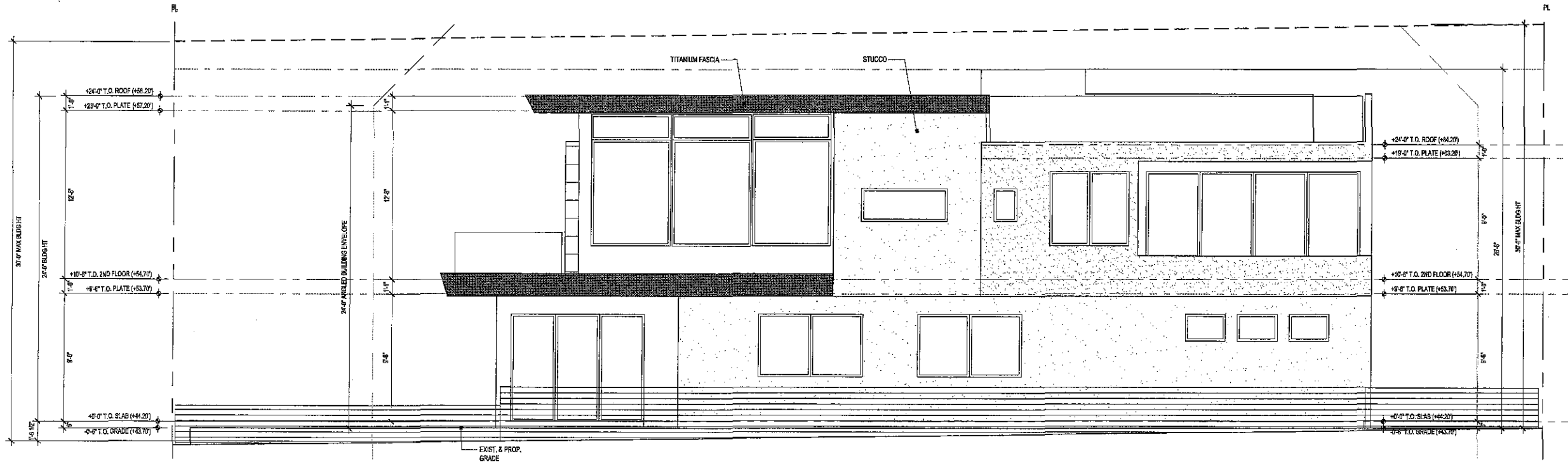
Dials: 10.03.14

Job: 1427

Title: NORTH AND WEST ELEVATIONS

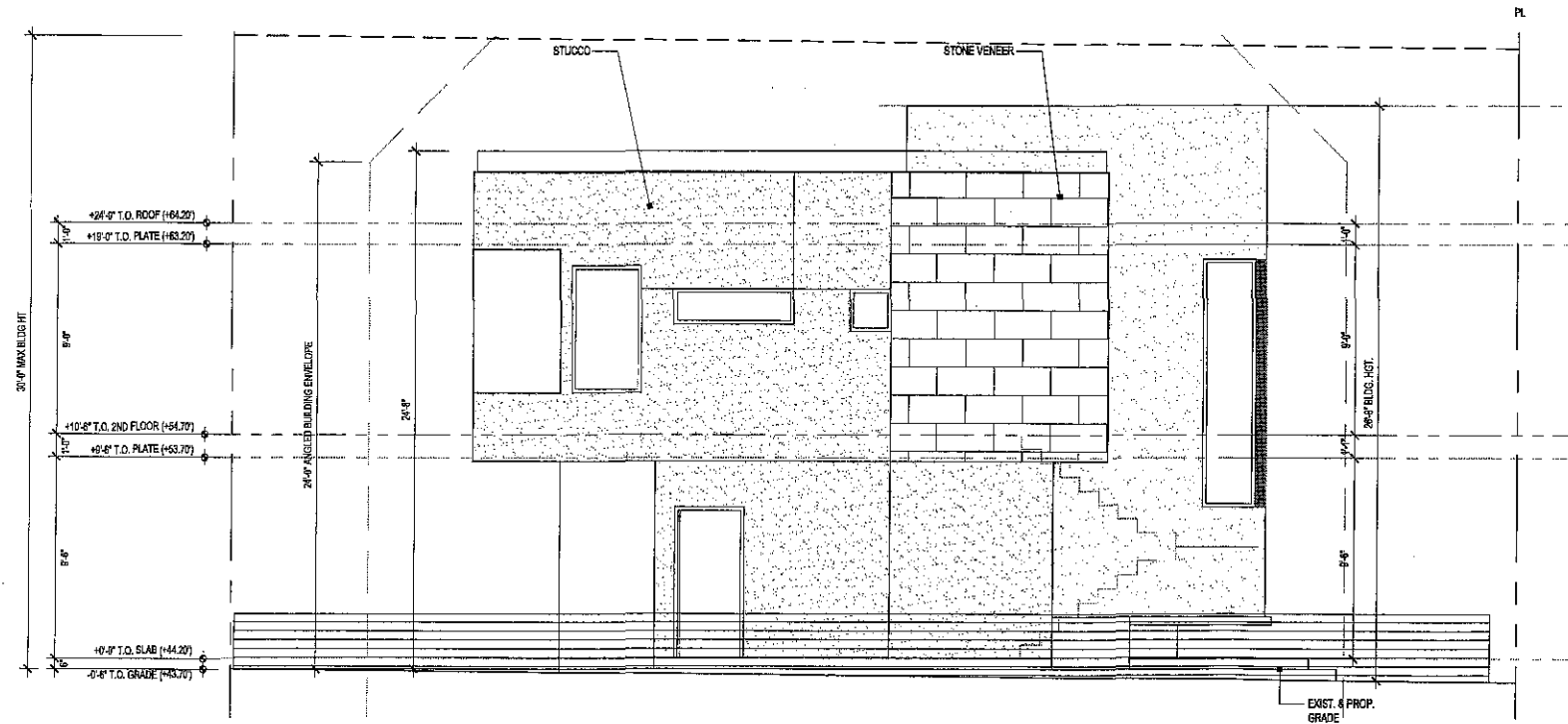
Sheet:

A3.1



WEST ELEVATION
1/4" = 1'-0"

1



SOUTH ELEVATION
1/4" = 1'-0"

2

NOTE:
THE HIGHEST POINT OF THE ROOF,
EQUIPMENT, OR ANY VENT, PIPE,
ANTENNA OR OTHER PROJECTION,
SHALL NOT EXCEED 30' ABOVE GRADE,
PER S.M. 2.2.

ELEVATIONS

PREPARED BY:

Frontis Studio
858 MISSOURI ST. #2
SAN DIEGO CA 92106
P: 619.537.2076

LEGAL DESCRIPTION:

Lots 3 of Block 422 map 1138 Red Rock

APN:
567-422-03-00

PROJECT NAME:
ABALONE RESIDENCE

SHEET TITLE:

SHEET COUNT:
ELEVATIONS

PIS #:
7 OF 8

SUBMITTAL:
10.05.14

REVISION 1:

REVISION 2:

REVISION 3:

Abalone Residence
5664 Abalone Pl.
San Diego Ca 92037

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All ideas, designs, and arrangements
indicated on these drawings are the
property of FRONTIS STUDIO and
shall not be used in connection with
this specific project only and shall not
otherwise be used for any other
purpose. There shall be no changes or
deviations from these drawings without
the written consent of FRONTIS
STUDIO

Date: 10.05.14

Job: 1427

Title:

ELEVATIONS

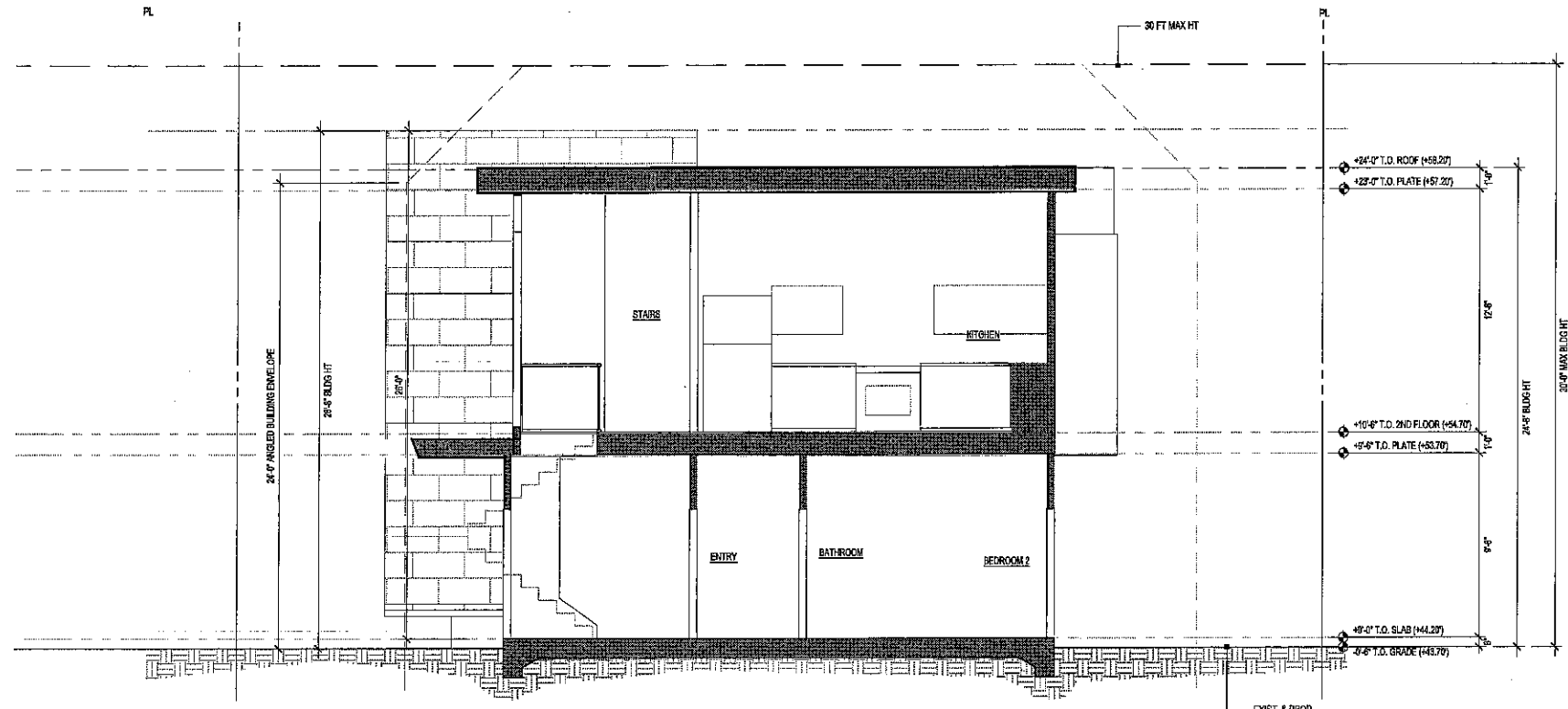
Sheet:

A3.2

REVISIONS	DATE

FRONTIS
STUDIO

858 Missouri St., Suite 2
San Diego, CA 92106
P: 619.537.2076
E: info@frontisstudio.com

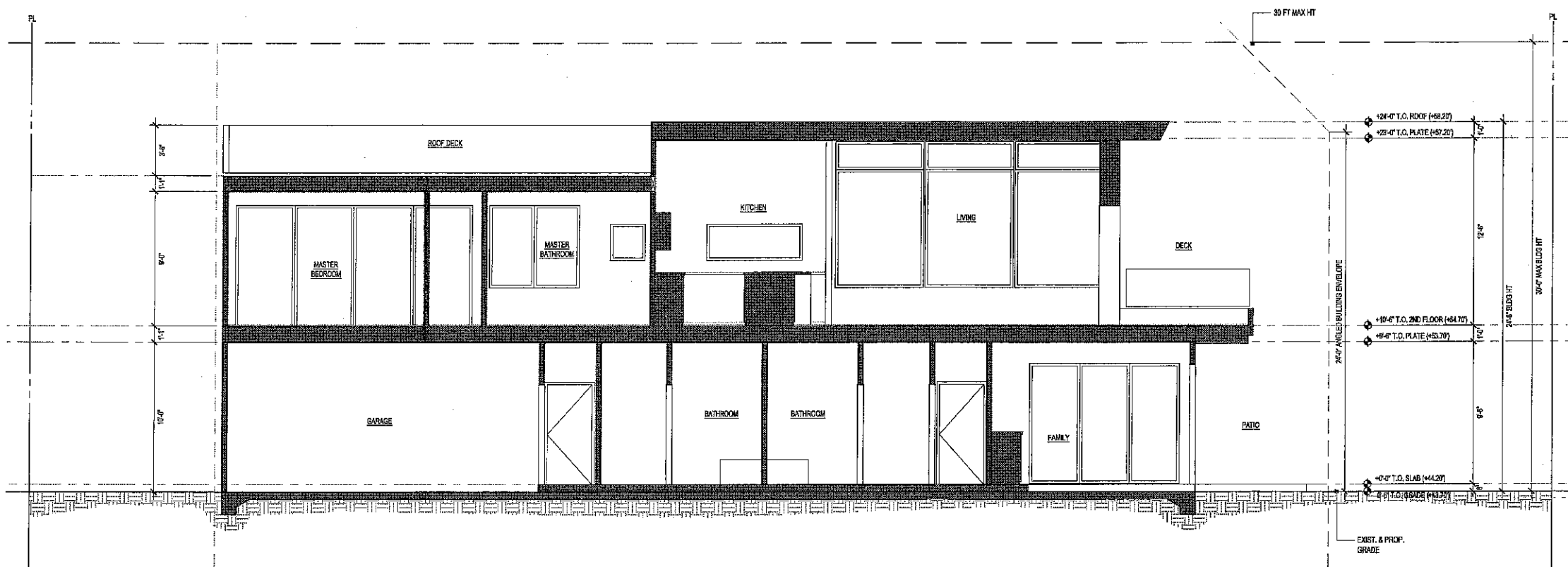


BUILDING SECTION
1/4" = 1'-0"

NOTE:
THE HIGHEST POINT OF THE ROOF,
EQUIPMENT, OR ANY VENT, PIPE,
ANTENNA OR OTHER PROJECTION,
SHALL NOT EXCEED 30' ABOVE GRADE.

DATE	REVISIONS

FRONTIS STUDIO
5604 Abalone Pl. Suite B
San Diego, CA 92108
Ph: 619.637.2078
Email: info@frontis.com



BUILDING SECTION
1/4" = 1'-0"

NOTE:
THE HIGHEST POINT OF THE ROOF,
EQUIPMENT, OR ANY VENT, PIPE,
ANTENNA OR OTHER PROJECTION,
SHALL NOT EXCEED 30' ABOVE GRADE.

BUILDING SECTIONS

PREPARED BY:
Frontis Studio
630 MISSOURI ST. #2
SAN DIEGO CA 92108
P: 619.637.2078

PROJECT NAME:
ABALONE RESIDENCE

SHEET TITLE:
BUILDING SECTIONS

SHEET COUNT:
8 OF 8

PTS #:

DATE: 10.08.14
JOB: 147
TITLE: BUILDING SECTIONS
SUBMITTAL: 10.08.14
REVISION 1:
REVISION 2:
REVISION 3:

Abalone Residence
5604 Abalone Pl.
San Diego Ca 92107

Copyright © 2014
All floor, design, and arrangements indicated on these drawings are the property of FRONTIS STUDIO and are intended to be used in connection with this specific project only and shall not otherwise be used for any other purpose. There shall be no change or deviation from these drawings without the written consent of FRONTIS STUDIO.

Date: 10.08.14
Job: 147
Title: BUILDING SECTIONS
Sheet: **A4.1**

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24005189

COASTAL DEVELOPMENT PERMIT NO. 1369542
ABALONE RESIDENCE - PROJECT NO. 391996
 HEARING OFFICER

This Coastal Development Permit No. 1369542 is granted by the Hearing Officer of the City of San Diego to the ABALONE DEVELOPMENT, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0708. The 0.12-acre site is located at 5664 Abalone Place in the RS-1-7 Zone within the La Jolla Community Plan and Local Coastal Program area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and Council District 1. The project site is legally described as: Portions of Lots 1, 2, 3 and 8 in Block "D" of Resubdivision of a portion of Bird Rock City by the Sea, in the City of San Diego, State of California, according to Map thereof No. 1138, filed in the Office of the County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of a single family dwelling unit and to construct a single family dwelling unit, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 27, 2015, on file in the Development Services Department.

The project shall include:

- a. Demolition of a single family dwelling unit and to construct a two-story, 2,585 square foot single family dwelling unit with a 516 square foot garage, and associated site improvements on a 0.12-acre site;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Construction of associated site improvements (i.e. hardscape and site walls).
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____, 2018.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any building occupancy, the Owner/Permittee shall dedicate a 5-foot wide right-of-way, along the project frontage on Abalone Place, to provide a minimum of 10 feet curb to property line distance, satisfactory to the City Engineer.
13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb with City standard curb and gutter, along the entire project frontage on Abalone Place and Bird Rock Avenue, per Standard Drawing SDG-151, satisfactory to the City Engineer.
14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of the existing driveway and the construction of a maximum 12-foot wide City standard driveway, on Abalone Place, per Standard Drawing SDG-159, satisfactory to City Engineer.
15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) **maintenance, satisfactory** to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices (BMPs) necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

18. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
19. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
20. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

21. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on May 27, 2015, and Resolution No. HO-_____.

Permit Type/PTS Approval No.: CDP No. 1369542
Date of Approval: May 27, 2015

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

ABALONE DEVELOPMENT, LLC,
a California Limited Liability Company,
Owner/Permittee

By _____

Andrew Canter
Manager of the Abalone Development, LLC

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

HEARING OFFICER
 RESOLUTION NO. HO-_____
 COASTAL DEVELOPMENT PERMIT NO. 1369542
ABALONE RESIDENCE - PROJECT NO. 391996

WHEREAS, ABALONE DEVELOPMENT, LLC, a California Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a permit to demolish an existing single family dwelling unit and to construct a two-story, 2,585 square foot single family dwelling unit with a 516 square foot garage, and associated site improvements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1369542), on portions of a 0.12-acre site;

WHEREAS, the project site is located at 5664 Abalone Place in the RS-1-7 Zone within the La Jolla Community Plan and Local Coastal Program area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, the Transit Area Overlay Zone, and Council District 1;

WHEREAS, the project site is legally described as: Portions of Lots 1, 2, 3 and 8 in Block "D" of Resubdivision of a portion of Bird Rock City by the Sea, in the City of San Diego, State of California, according to Map thereof No. 1138, filed in the Office of the County Recorder of San Diego County;

WHEREAS, on May 27, 2015, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1369542 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on April 1, 2015, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et seq.) under CEQA Guideline Article 19, Section 15303 (New Construction or Conversion of Small Structures); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated May 27, 2015.

FINDINGS:

I. Coastal Development Permit - Section 126.0708(a)

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The 0.12-acre site is located at 5664 Abalone Place, on the southwestern corner of Abalone Place and Bird Rock Avenue. The project proposes the demolition of an existing single family

dwelling unit and to construct a two-story, 2,585 square foot single family dwelling unit with a 516 square foot garage, and associated site improvements on a 0.12-acre site. The proposed single-family dwelling unit would consist of two bedrooms, two bathrooms, bonus room, main entrance, and a two-car garage on the first floor. The main living area is located on second floor that includes the living room, kitchen, dining room, master bedroom and bathroom, laundry room, deck, and access to the roof top deck above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 248 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Bird Rock Avenue at this location is designated as a view corridor with views toward the Pacific Ocean. In addition, Abalone Place is identified as an intermittent or partial vista along the property. Compliance with the front setback requirement along Bird Rock Ave will preserve the framed view down the street looking west. The property is not designated as a viewshed or scenic overlook as identified within the adopted La Jolla Community Plan (LJCP) and Local Coastal Program Land Use Plan. Bird Rock Avenue contains a physical accessway in the form of a stairway from Bird Rock Avenue to the tide pools; however, this access is not adjacent to the property.

The project proposes a maximum building height of 26 feet 8 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the Coastal Height Limitation Overlay Zone (CHLOZ). The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development has been designed to meet the development regulations of the underline zone and would not affect any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The 0.12-acre site is located at 5664 Abalone Place, on the southwestern corner of Abalone Place and Bird Rock Avenue. The project proposes the demolition of an existing single family dwelling unit and to construct a two-story, 2,585 square foot single family dwelling unit with a 516 square foot garage, and associated site improvements on a 0.12-acre site. The proposed single-family dwelling unit would consist of two bedrooms, two bathrooms, bonus room, main entrance, and a two-car garage on the first floor. The main living area is located on second floor that includes the living room, kitchen, dining room, master bedroom and bathroom, laundry room, deck, and access to the roof top deck above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 248 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. The property is approximately 42 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The property is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Article 19, Section 15303 (New Construction or Conversion of Small Structures). Therefore, it has been determined that the project does not contain environmentally sensitive lands and would not adversely affect these resources.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 5664 Abalone Place, on the southwestern corner of Abalone Place and Bird Rock Avenue, in the RS-1-7 Zone within the LJCP and Local Coastal Program Land Use Plan. The zoning designation is a single family residential zone which allows for the development of a single dwelling unit. The LJCP designates the proposed project site for Low Density Residential land use at 5-9 dwelling units per acre (DU/AC). The project site, occupying 0.12-acres, could accommodate one dwelling unit based on the underlying zone and one dwelling unit based on the community plan.

The project proposes the demolition of an existing single family dwelling unit and to construct a two-story, 2,585 square foot single family dwelling unit with a 516 square foot garage, and associated site improvements on a 0.12-acre site. The proposed single-family dwelling unit would consist of two bedrooms, two bathrooms, bonus room, main entrance, and a two-car garage on the first floor. The main living area is located on second floor that includes the living room, kitchen, dining room, master bedroom and bathroom, laundry room, deck, and access to the roof top deck above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The property is a corner lot and is located approximately 248 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Bird Rock Avenue at this location is designated as a view corridor with views toward the Pacific Ocean. In addition, Abalone Place is identified as an intermittent or partial vista along the property. Compliance with the front setback requirement along Bird Rock Ave will preserve and enhance the framed view down the street looking west. Bird Rock Avenue contains a physical accessway in the form of a stairway from Bird Rock Avenue to the tide pools;

however, this access is not adjacent to the property and the development would not encroach upon the existing physical accessway. The property is not designated as a viewshed or scenic overlook as identified within the adopted LJCP and Local Coastal Program Land Use Plan.

The site is approximately 42 feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other type of Environmental Sensitive Lands (ESL) as defined in San Diego Municipal Code (SDMC) Section 113.0103. The project proposes a maximum building height of 26 feet 8 inches, so the building and any projections will not exceed the maximum 30 foot height limit allowed by the CHLOZ.

The Residential Element of the LJCP contains policies for new development in order to avoid extreme and intrusive changes to the residential scale of the neighborhood, especially between new and older structures. The plan recommends that bulk and scale be controlled through the application of development regulations, such as setbacks and building height. The plan also recommends that visual relief, such as offsetting planes, articulation, and variations in front setbacks, be applied to provide a transition in scale between surrounding development. The existing residences immediately south and west of the site are one-story structures, however, the majority of the other homes along the block and within the immediate vicinity are two to three-stories. The project complies with the maximum allowable height of the zone, and once clarified on the plans, will comply with the required setbacks. In addition, the project provides articulation along the facades, architectural projections, a varied roof line, and uses both stucco and stone veneer. These features aid in reducing perceived bulk and scale and are an adequate transition between the proposed development and the existing one-story homes.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. Therefore, the development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 5664 Abalone Place, on the southwestern corner of Abalone Place and Bird Rock Avenue. The project proposes the demolition of an existing single family dwelling unit and to construct a two-story, 2,585 square foot single family dwelling unit with a 516 square foot garage, and associated site improvements on a 0.12-acre site. The proposed single-family dwelling unit would consist of two bedrooms, two bathrooms, bonus room, main entrance, and a two-car garage on the first floor. The main living area is located on second floor that includes the living room, kitchen, dining room, master bedroom and bathroom, laundry room, deck, and access to the roof top deck above the second floor. As a component of the proposed project, the structure incorporates a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected

energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

The project is not requesting nor does it require any deviations or variances from the applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site. The property is a corner lot, and is located approximately 248 feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Therefore, the proposed development does not have to comply with the public access and recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1369542 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1369542, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: May 27, 2015

Internal Order No. 24005189



LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900

<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 2 April 2015

Attention: Jeff Peterson, PM, City of San Diego

Project: Abalone Residence
5664 Abalone Avenue
PN: 391996

Motion: To accept the recommendations of the DPR Committee that the Findings CAN be made for a Coastal Development Permit (Process 3) to demolish an existing residence; for and construct a new 3,101 sq ft residence including a 516 sq ft attached garage, for a total living area of 2,585 sq ft at 5664 Abalone Place. **Vote: 14-0-1**

Submitted by:

Joseph LaCava

4/02/2015

Joe LaCava, President
La Jolla Community Planning Association

Date

NOTICE OF EXEMPTION

ATTACHMENT 10

(Check one or both)

To: X Recorder/County Clerk
P.O. Box 1750, MS A-33
1600 Pacific Hwy, Room 260
San Diego, CA 92101-2422
Office of Planning and Research
1400 Tenth Street, Room 121
Sacramento, CA 95814

FROM: City of San Diego
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101

PROJECT TITLE/ NO.: ABALONE RESIDENCE CDP / 391996

SCH No.: N/A

PROJECT LOCATION-SPECIFIC: 5664 Abalone Place, San Diego, CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: COASTAL DEVELOPMENT PERMIT to demolish an existing single-dwelling residence and subsequent construction of a two-story, 2,884 square foot single family dwelling unit with a 516 square foot garage. Additionally, the project proposes a 625 square foot patio, 242 square feet of deck areas, and a 790-square-foot roof deck. Various site improvements would also be constructed, which include associated hardscape and landscaping. The project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The 0.12-acre project site is located at 5664 Abalone Place. The project site is designated low density residential use (5-9 du/ac) in the La Jolla Community Plan and Local Coastal Program; additionally, the project is within the RS-1-7 zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. (LEGAL DESCRIPTION: Lot 3 of Block 422 of Map 1138 Bird Rock, San Diego County).

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Andrew Cantor, Abalone Development LLC, 655 West Broadway, Suite 1650, San Diego, CA 92101, (619) 546-0973.

EXEMPT STATUS: (CHECK ONE)

- () MINISTERIAL (SEC. 21080(b)(1); 15268)
() DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
() EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
(X) CATEGORICAL EXEMPTION: 15303 (New Construction or Conversion of Small Structures).
() STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303 that allows for new construction, one single-family residence in a residential zone. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environmental were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

LEAD AGENCY CONTACT PERSON: E. Shearer-Nguyen

TELEPHONE: (619) 446-5369

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

[Handwritten Signature]

Senior Planner

SIGNATURE/TITLE

APRIL 15, 2015

DATE OF PROJECT APPROVAL

CHECK ONE:

- (X) SIGNED BY LEAD AGENCY
() SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: April 1, 2015

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24005189

PROJECT NAME/NUMBER: ABALONE RESIDENCE CDP /391996

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 5664 Abalone Place, San Diego, CA

PROJECT DESCRIPTION: COASTAL DEVELOPMENT PERMIT to demolish an existing single-dwelling residence and subsequent construction of a two-story, 2,884 square foot single family dwelling unit with a 516 square foot garage. Additionally, the project proposes a 625 square foot patio, 242 square feet of deck areas, and a 790-square-foot roof deck. Various site improvements would also be constructed, which include associated hardscape and landscaping. The project would incorporate a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in conformance with the criteria of the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program. The 0.12-acre project site is located at 5664 Abalone Place. The project site is designated low density residential use (5-9 du/ac) in the La Jolla Community Plan and Local Coastal Program; additionally, the project is within the RS-1-7 zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. (LEGAL DESCRIPTION: Lot 3 of Block 422 of Map 1138 Bird Rock, San Diego County).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Construction or Conversion of Small Structures)

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project meets the criteria set forth in CEQA Section 15303 that allows for new construction, one single-family residence in a residential zone. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant

effect on the environmental were identified; the project is not adjacent to a scenic highway; nor is the project identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

DEVELOPMENT PROJECT MANAGER: Jeff Peterson
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER: (619) 446-5237

On April 1, 2015 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (April 15, 2015). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title Project No. For City Use Only
 Abalone PI Residence 391994

Project Address:
 5664 Abalone PI, La Jolla, CA 92037

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
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Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title: <u>Abalone Pl. Addition</u>	Project No. (For City Use Only) <u>391996</u>
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? CA Corporate Identification No. 47-1587327
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
Abalone Development LLC

Owner Tenant/Lessee


Street Address:
655 West Broadway, Ste 1650

City/State/Zip:
San Diego, CA 92101

Phone No: () 619-546-0973 Fax No: 800-929-3017

Name of Corporate Officer/Partner (type or print):
Andrew Canter

Title (type or print):
Principal

Signature:  Date: 9/26/14

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: Date:

Supplement to Ownership Disclosure Form for Project No. 391996

Abalone Development LLC:

Manager: Canter Development LLC, a California Limited Liability Company

Members: The Canter Group, Inc. a California Corporation

Canter Development LLC, a California Limited Liability Company:

Andrew Canter, One (1) Manager LLC

The Canter Group, Inc. a California Corporation:

Andrew Canter, CEO and President

Lauren Lucas, Secretary

No Vice President or Treasurer

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
 ABALONE RESIDENCE - PROJECT NO. 391996

Date	Action	Description	City Review Time (Working Days)	Applicant Response
10/17/2014	First Submittal	Project Deemed Complete	-	-
12/9/2014	First Assessment Letter		34 days	
12/17/2014	Second Submittal			6 days
1/20/2015	Second Assessment Letter		17 days	
3/4/2015	Third Submittal			30 days
3/23/2015	Third Assessment Letter		13 days	
4/1/2015	Fourth Submittal			6 days
4/6/2015	Fourth Assessment Completed	All issues resolved.	3 days	
5/27/2015	Public Hearing	First available date	33 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	100 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		42 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	142 working days (221 calendar days)	