



THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** March 3, 2011 **REPORT NO. PC-11-022**

**ATTENTION:** Planning Commission, Agenda of March 10, 2011

**SUBJECT:** EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009  
PROCESS FOUR

**OWNER/  
APPLICANT:** San Ysidro Health Center Inc.

### SUMMARY

**Issue(s):** Should the Planning Commission approve a request for the construction of a three-story, 25,100 square foot, outpatient medical and dental office building on a 1.03-acre site located at 950 and 1060 S. Euclid Avenue in the Lincoln Park neighborhood of the Southeastern San Diego Community Plan?

### **Staff Recommendation:**

1. **CERTIFY** Negative Declaration No. 219009, and
2. **APPROVE** Site Development Permit No. 779825.

**Community Planning Group Recommendation:** On February 7, 2011, the Encanto Neighborhoods Community Planning Group vote 7-1-0 to recommend approval of the proposed project (Attachment 11).

**Southeastern Economic Development Corporation Recommendation:** The Southeastern Economic Development Corporation (SEDC) has reviewed the proposed development for the Euclid Family Health Center and is in support of the project (Attachment 6).

**Environmental Review:** A Negative Declaration (ND) No. 219009 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines.

**Fiscal Impact Statement:** None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

**Code Enforcement Impact:** None with this action.

**Housing Impact Statement:** There is no impact on Housing with the proposed project. The project site is located in a commercial zone (CT-2) of the Southeastern San Diego Planned District within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan, and is designated for General Commercial use in the community plan. The project site was previously developed with two commercial buildings, which are currently vacant and will be demolished.

## **BACKGROUND**

The project site is located at 950 and 1060 S. Euclid Avenue (Attachment 1), on the west side of S. Euclid Avenue, south of Logan Avenue (Attachment 2). The site is located in the CT-2 Zone of the Southeastern San Diego Planned District (Attachment 3) within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan (Attachment 4). The commercial elements in the Southeastern San Diego Planned District (SESDPD) are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is Community-Commercial Category-2, which allows for medical and dental office use. The Southeastern San Diego Community Plan (SESDCP) designates the site for General Commercial.

The property located at 950 S. Euclid Avenue previously contained a one-story vacant commercial building. This structure was constructed in 1976 and used as a McDonald's restaurant. From 1989 through 1992 the existing building was used as a Dental Clinic and Therapeutic Body Care Health Center, and most recently used as a church. The property located at 1060 S. Euclid Avenue previously contained a one-story vacant commercial building. On March 26, 1965, a one-story single family residence was moved on to the site and converted into a medical office building (Building Permit No. A03413), and most recently used as a chiropractic office. On December 1, 2010, Demolition Permits No. 800642 and No. 800650 were issued to demolish the existing structures. Prior the issuance of the demolition permits, a historical assessment was conducted and City staff determined that the existing structures were not historically or architecturally significant.

The project site is surrounded by urban development in the form of single family residential to the southwest, south, and east, which are zoned as single family residential (SF-5000 Zone) in the SESDPD. The sites are designated as Residential-Low Density (5-10 dwelling units per acre (du/ac)) and within the Protected Single-Family Neighborhoods planning area in the SESDCP. The property directly north and northwest is developed with a retail center called the Euclid Plaza Center, which is zoned as a commercial center area (CT-2 Zone) in the SESDPD, and designated for General Commercial use in the SESDCP.

## **DISCUSSION**

### **Project Description:**

San Ysidro Health Center Inc. (SYHC), owner, is proposing the construction of a three-story, 25,100 square foot, outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue. This new facility will be named the Euclid Family Health Center. The first floor would contain the main lobby/entry services, registration areas, x-ray, lab, conference room, family counseling area, and educational space. The second floor would accommodate the primary care services, including women's and pediatric health clinic. The third floor would contain the dental clinic and Women's and Infant Nutrition (WIC) Program. The structure would be approximately 57.5-feet in height and vehicular access would occur off of S. Euclid Avenue.

Development of the proposed project requires the approval of a Site Development Permit (SDP) for a project requesting deviations to the development regulations (parking), and for development within the SESDPD. The development is proposing to achieve a LEED 'Silver' Level Certification, and qualifies as a Sustainable Building under Council Policies 900-14 and 600-27. The land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

### **Project-Related Issues:**

Transportation/Circulation- A traffic study was prepared by LOS Engineering, Inc. (January 13, 2011), in order to assess potential traffic impacts associated with the project. The traffic study determined that the project would generate 1,255 average daily trips (ADT) with 75 AM peak hour trips (60 inbound and 15 outbound) and 126 PM peak hour trips (38 inbound and 88 outbound). The principal roadway in the project study area is S. Euclid Avenue, which is classified as a Major Road in the project vicinity according to the SESDCP, but functions as a four-lane collector. S. Euclid Avenue, from Olvera Avenue to Solola Avenue is an undivided roadway with two travel lanes in each direction with bike lanes and a posted speed limit of 35 miles per hour. On street parking is not permitted due to bike lanes and bus service along the street. In addition, along the proposed development frontage, S. Euclid Avenue has approximately 77 feet of curb-to-curb pavement.

Under the Near-Term and the Horizon Year, all intersections and roadway segments would operate at a level of service (LOS) "C" or better with or without the project. Therefore, the development as proposed would not result in direct significant impacts in either the Near-Term or Horizon Year to any of the studied intersections or roadway segments since none are failing, and the project does not cause any unacceptable LOS.

Parking Deviation- The project site is located in the SESDPD within the SESDCP and is located outside of the Transit Area Overlay Zone (TAOZ). The proposed development would be required to provide a minimum of four (4) parking spaces per 1,000 square feet of floor area outside the TAOZ (which represent 100 on-site parking spaces) pursuant to the San Diego Municipal Code (SDMC). The applicant proposes a deviation to parking to allow for 3.43 parking spaces per

1,000 square feet of floor area for a total of 86 on-site parking spaces instead of the required 100 parking spaces.

SYHC currently operates three (3) other medical and dental facilities in the Southeastern San Diego community, and through various patient surveys, has determined that approximately 20-25 percent of their patients depend on public transportation (bus or trolley) services. Within the immediate vicinity of the project site and approximately 190 feet from the proposed new facility entry, is a Metropolitan Transit System (MTS) bus stop. There are three (3) bus lines (MTS Bus Routes No. 3, 13, and 11) within 0.1-miles of the project site. The frequency of services for Bus Routes No. 3 and 13 are approximately every 30 minutes and approximately every 40 minutes for Bus Route No. 11. The nearest trolley service is located at the Euclid Avenue Trolley Station, which is approximately one (1)-mile from the proposed facility.

SYHC provides patient transportation services at all of its medical clinics via health center-owned vehicles, including two (2) 12-passenger vans and one (1) 6-passenger van designed for elderly patients. Services include pick-up at home and return for patients with doctor/dentist appointments. These patient transportation services have been included as a Condition of approval for the new facility.

The proposed development will achieve a LEED 'Silver' Level Certification and the Public Transit Program outlined within the LEED goals/points includes preferred parking, cash incentive, and bicycle and shower facilities for the employees. Under this program, SYHC will subsidize 50-percent of the transit passes to benefit all employees. Based on the proximity to public transportation, the inclusion of the patient transportation services and the Public Transit Program, staff has determined that the proposed development with the requested parking deviation would not result in a parking deficiency impact that would affect the surrounding areas. Therefore, staff supports the requested parking deviation.

### **Community Plan Analysis:**

The project site is located at 950 and 1060 S. Euclid Avenue, on the west side of S. Euclid Avenue, south of Logan Avenue, within the Lincoln Park neighborhood of the SESDCP. This community area is overseen by the Encanto Neighborhoods Community Planning Group. The project site is designated as General Commercial within the community plan, and complies with the Commercial Elements, Commercial Guidelines, and Neighborhood Elements of the plan for development pattern, building height building setbacks, lot consolidation, vehicular access, and landscaping. The design and location of the building, and parking layout directly address the Neighborhood Elements within the community plan that states the "parking area should not dominate the streetscape and the parking areas be screened so as to promote easy access."

The project site is surrounded by urban development in the form of single family residential to the southwest, south, and east, which are zoned as single family residential (SF-5000 Zone) in the SESDPD. These sites are designated as Residential-Low Density (5-10 du/ac) and within the Protected Single-Family Neighborhoods planning area in the SESDCP. The property directly north and northwest is development with a retail center called the Euclid Plaza Center, which is zoned as a commercial center area (CT-2 Zone) in the SESDPD and designated for General

Commercial use in the SESDCP. Therefore, the proposed development meets the goals and objective of the community plan and would not have an adverse impact on the surrounding community with respect to land use.

**Environmental Analysis:**

A Negative Declaration (ND) No. 219009 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. The following environmental issues were considered in depth during the environmental review of the project and determined not to be potentially significant: Air Quality, Greenhouse Gas Emissions, Hazards & Hazardous Materials, and Transportation/Traffic.

**Conclusion:**

With the approval of the parking deviation, the proposed development meets all applicable regulations and policy documents, and staff finds the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the Land Development Code including the SESDPD, and the General Plan. As a component of the project, the building will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

**ALTERNATIVES**

1. **CERTIFY** Negative Declaration No. 219009 and **APPROVE** Site Development Permit No. 779825, **with modifications.**
2. **DO NOT CERTIFY** Negative Declaration No. 219009 and **DENY** Site Development Permit No. 779825, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake  
Program Manager  
Development Services Department



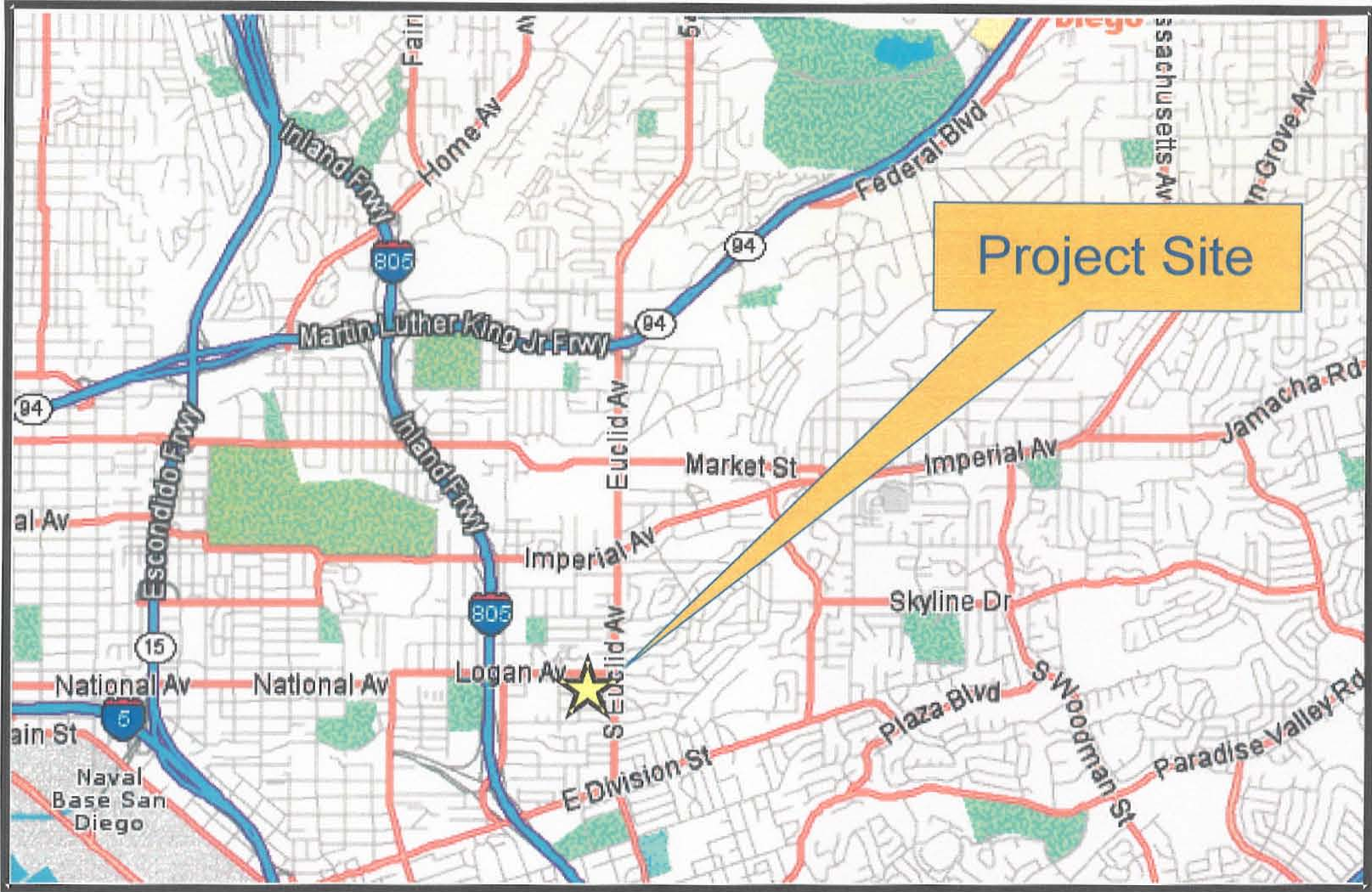
Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

WESTLAKE/JAP

Attachments:

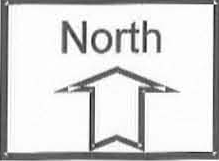
1. Project Location Map
2. Aerial Photograph
3. Zoning Map
4. Community Plan Land Use Map
5. Project Data Sheet
6. SEDC Letter
7. Draft Permit Resolution with Findings
8. Draft Permit with Conditions
9. Draft Environmental Resolution (ND)
10. Project Plans
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Project Chronology

Internal Order No. 24001118



# Location Map

Euclid Family Health Center-Project No. 219009  
950 and 1060 S. Euclid Avenue

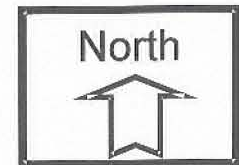


ATTACHMENT 1

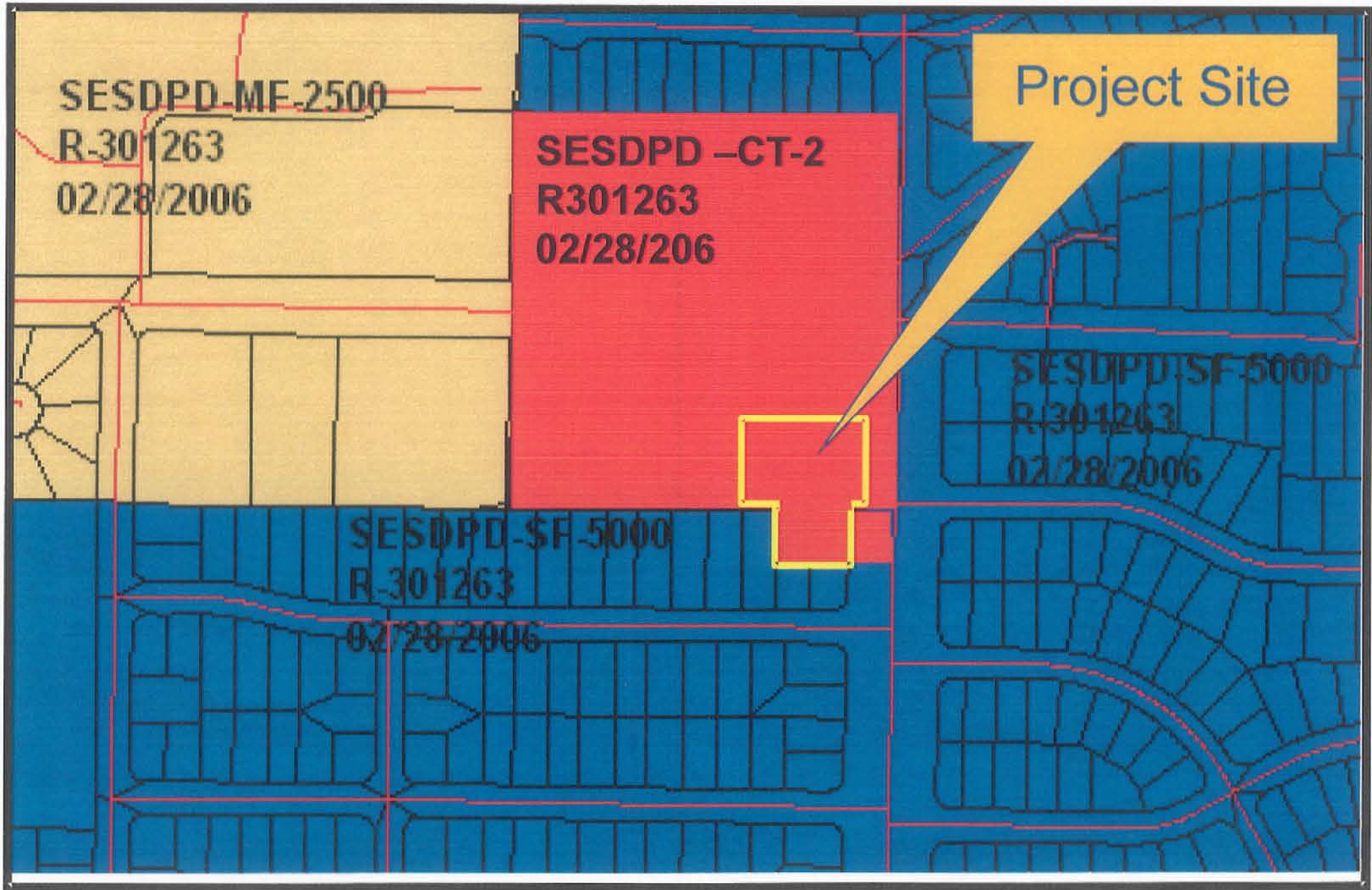


## Aerial Photograph

Euclid Family Health Center-Project No. 219009  
950 and 1060 S. Euclid Avenue



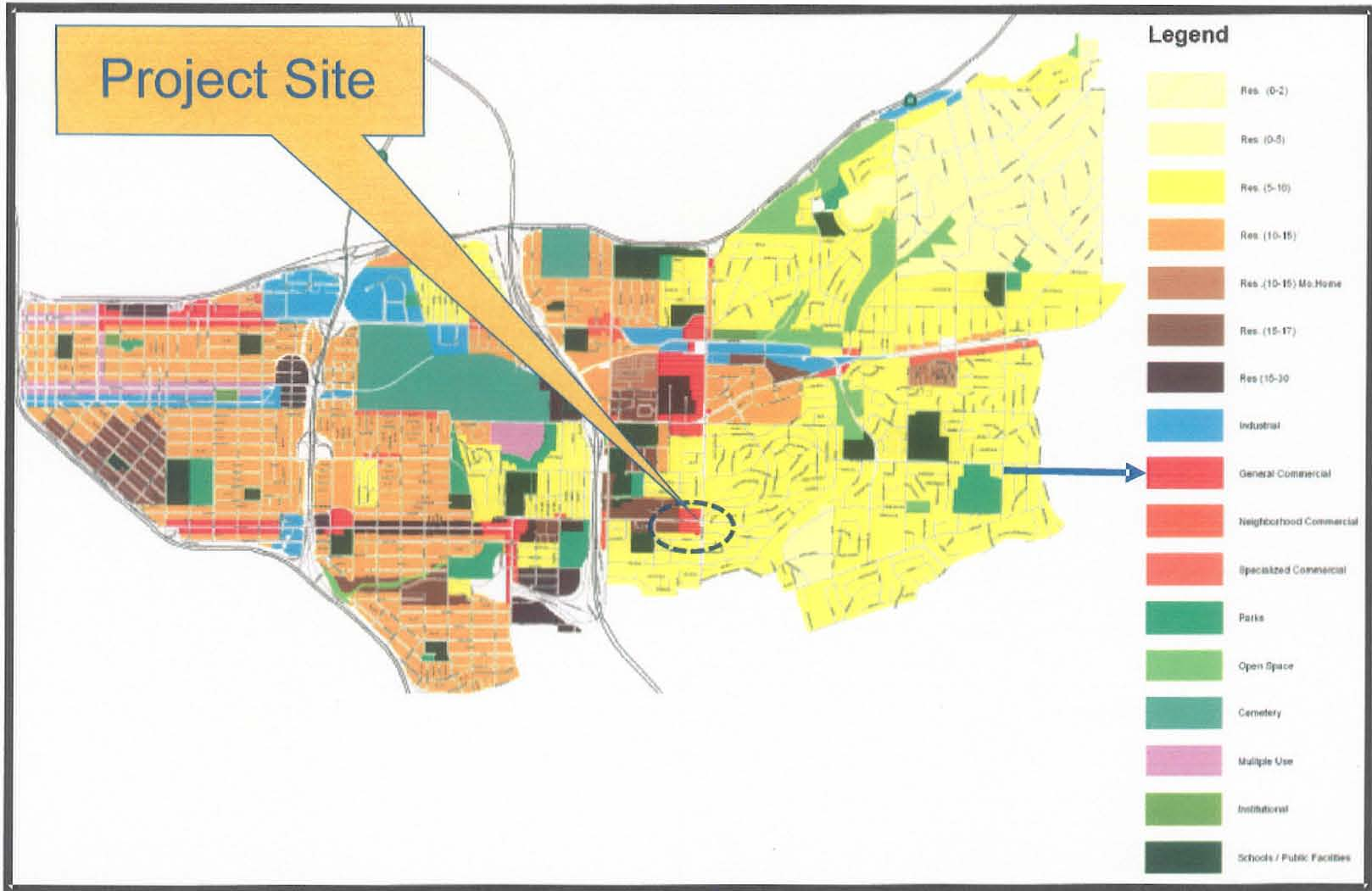




# Zoning Map

Euclid Family Health Center-Project No. 219009  
 950 and 1060 S. Euclid Avenue

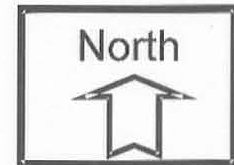




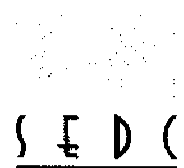
## Community Land Use Map (SESD)

Euclid Family Health Center-Project No. 219009

950 and 1060 S. Euclid Avenue



<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	Euclid Family Health Center Project No. 219009	
<b>PROJECT DESCRIPTION:</b>	San Ysidro Health Center Inc. (SYHC), owner, is proposing the construction of a three-story, 25,100 square foot outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue.	
<b>COMMUNITY PLAN AREA:</b>	Encanto Neighborhoods- Southeastern San Diego Community Plan	
<b>DISCRETIONARY ACTIONS:</b>	Site Development Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	General Commercial	
<b>ZONING INFORMATION</b>		
<b>ZONE:</b>	CT-2 Zone-SESDDP	
<b>HEIGHT LIMIT:</b>	None	
<b>LOT SIZE:</b>	10,000 square feet (minimum)	
<b>FLOOR AREA RATIO:</b>	1.00	
<b>LOT COVERAGE:</b>	75 percent	
<b>FRONT SETBACK:</b>	15'0" (Site has an established 10' setback per Parcel Map)	
<b>SIDE SETBACK:</b>	0'0" (North PL) and 15'0" (South PL next to residential)	
<b>STREETSIDE SETBACK:</b>	NA	
<b>REAR SETBACK:</b>	0'0" (North portion) and 15'0" (South portion next to residential)	
<b>PARKING:</b>	100	
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	General Commercial/ CT-2 Zone-SESDDP	Commercial
<b>SOUTH:</b>	Low Density (5-10 D.U./Gross Acre) / SF-5000 Zone-SESDDP	Single-Family Residential
<b>EAST:</b>	Low Density (5-10 D.U./Gross Acre) / SF-5000 Zone-SESDDP	Single-Family Residential
<b>WEST:</b>	General Commercial/ CT-2 Zone-SESDDP and Low Density (5-10 D.U./Gross Acre) / SF-5000 Zone-SESDDP	Commercial and Single-Family Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviation to parking to allow for 3.43 parking spaces per 1,000 square feet of floor area for a total of 86 onsite parking spaces instead of required 100 parking spaces	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On February 7, 2011, the Encanto Neighborhoods Community Planning Group vote 7-1-0 to recommend approval of the proposed project.	



Southeastern  
Economic  
Development  
Corporation

T 619 527 7345  
F 619 262 9845  
[www.sedec.com](http://www.sedec.com)

February 3, 2011

Jeff Peterson  
Development Services, City of San Diego  
1222 First Avenue, MS 302  
San Diego, CA 92101

Via Email

Dear Mr. Peterson:

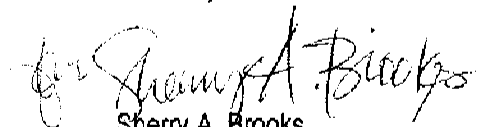
**Re: Project No. 219009 – Euclid Family Health Center– Proposed Site Development Permit**

SEDC is in support of Project No. 219009, for construction of the Euclid Family Health Center at 950 and 1060 S. Euclid Avenue in the Encanto Neighborhoods of the Southeastern San Diego Community Planning area, and we look forward to the completion of this facility for the Southeastern San Diego Community. The applicant was responsive and cooperative to our prior streetscape and landscape comments. On January 10, 2011, the applicant met with us to discuss our comments, and worked with us to find solutions. We are pleased with the final outcome that includes a 'Complete Street' design along the street frontage, with street trees and parkway for a more pedestrian-friendly environment. This implements the vision the Southeastern San Diego Community created for this area through the Urban Design Program of the Project First Class Neighborhood Landscaping Program.

Thank you for your help and assistance in our review of this project, and for quickly pulling together the applicant and city reviewers to look at options for locating street trees, parkway and streetscape.

If you have any questions of comments, please contact me at (619) 527-7345.

Sincerely,

  
Sherry A. Brooks  
Project Manager

SB:eb

PLANNING COMMISSION RESOLUTION NO. xxxx  
 SITE DEVELOPMENT PERMIT NO. 779825  
**EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009**

WHEREAS, SAN YSIDRO HEALTH CENTER INC., Owner/Permittee, filed an application with the City of San Diego for a permit to construct a three-story, 25,100 square foot, outpatient medical and dental office building (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 779825), on portions of a 1.03-acre site;

WHEREAS, the project site is located at 950 and 1060 S. Euclid Avenue, on the west side of S. Euclid Avenue, south of Logan Avenue, in the CT-2 Zone of the Southeastern San Diego Planned District within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan;

WHEREAS, the project site is legally described as Parcel 1, as shown on Parcel Map No. 4805, filed June 10, 1976 at File No. 76-179215 in the office of the County Recorders of San Diego, California, being a portion of Lot 63 of Horton's Purchase, according to Map thereof No. 283, Filed in the office of the County Recorder of said County of San Diego; and Lot 85 of O.D. Arnold's Bonnieview Unit No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3572, filed in the office of the County Recorder of San Diego County, December 24, 1956;

WHEREAS, on March 10, 2011, the Planning Commission of the City of San Diego considered Site Development Permit No. 779825 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated March 10, 2011.

**FINDINGS:**

**I. Site Development Permit - Section 126.0504**

**A. Findings for all Site Development Permits**

**1. The proposed development will not adversely affect the applicable land use plan;**

The project site is located at 950 and 1060 S. Euclid Avenue in the CT-2 Zone of the Southeastern San Diego Planned District (SESDPD) within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan (SESDCP). The commercial elements in the SESDPD are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is

Community-Commercial Category-2, which allows for medical and dental office use. The SESDCP designates the site for General Commercial.

San Ysidro Health Center Inc. (SYHC) is proposing the construction of a three-story, 25,100 square foot, outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue. This new facility will be named the Euclid Family Health Center. With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the Land Development Code (LDC) including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy. Therefore, the proposed development would not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The proposed development is for the construction of a three-story, 25,100 square foot, outpatient medical and dental office building on portions of a 1.03-acre site. A Negative Declaration (ND) No. 219009 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. The environmental issues for Air Quality, Greenhouse Gas Emissions, Hazards & Hazardous Materials, and Transportation/Traffic were considered in depth during the environmental review of the project and determined not to be potentially significant.

With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

The permit for the proposed development will include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in SDP No. 779825, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the applicable regulations of the Land Development Code.**

With the approval of the parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

**M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings**

**1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants;**

SYHC is proposing the construction of a three-story, 25,100 square foot, outpatient medical and dental office building for the relocation of their existing facility and services from 286 Euclid Avenue, located north of Imperial Avenue. This new facility will be named the Euclid Family Health Center. With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

**2. The development will not be inconsistent with the purpose of the underlying zone; and**

The project site is located at 950 and 1060 S. Euclid Avenue in the CT-2 Zone of the SESDPD within the Lincoln Park neighborhood of the SESDCP. The commercial elements in the SESDPD are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is Community-Commercial Category-2, which allows for medical and dental office use. The SESDCP designates the site for General Commercial.

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documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the LDC including the SESDPD, and the General Plan. Therefore, the proposed development will not be inconsistent with the purpose of the underlying zone.

**3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.**

The project site is located in the SESDPD within the SESDCP and is located outside of the Transit Area Overlay Zone (TAOZ). The project would be required to provide a minimum of four (4) parking spaces per 1,000 square feet of floor area outside the TAOZ, which represent 100 on-site parking spaces pursuant to the LDC. The proposed development includes a request for a deviation to parking to allow for 3.43 parking spaces per 1,000 square feet of floor area for a total of 86 on-site parking spaces instead of required 100 parking spaces.

SYHC currently operates three (3) other medical and dental facilities in the Southeastern San Diego community, and through various patient surveys, has determined that approximately 20-25 percent of their patients depend on public transportation (bus or trolley) services. Within the immediate vicinity of the project site and approximately 190 feet for the proposed new facility entry, there is a Metropolitan Transit System (MTS) bus stop. There are three (3) bus lines (MTS Bus Routes No. 3, 13, and 11) within 0.1-miles of the project site. The frequency of services for Bus Routes No. 3 and 13 are approximately every 30 minutes and approximately every 40 minutes for Bus Route No. 11. The nearest trolley service is located at the Euclid Avenue Trolley Station, which is approximately one (1)-mile from the proposed facility.

SYHC provides patient transportation services at all of its medical clinics via health center-owned vehicles, includes two (2) 12-passenger vans and one (1) 6-passenger van designed for elderly patients. Services include pick-up at home and return for patients with doctor/dentist appointments. These patient transportation services have been included in SDP No. 779825 as conditions of approval for the new facility.

The proposed development will achieve a LEED 'Silver' Level Certification and the Public Transit Program outlined within the LEED goals/points includes preferred parking, cash incentive, and bicycle and shower facilities for the employees. Under this program, SYHC will subsidize 50-percent of the transit passes to benefit all employees. Based on the proximity to public transportation, the inclusion of the patient transportation services, and the Public Transit Program, the analysis determined that the proposed development with the requested parking deviation would not result in a parking deficiency impact that would affect the surrounding areas.



## II. Southeastern San Diego (PDO) – Section 1519.0202 (c)

- 1. The proposed use and project design meet the purpose and intent of the Southeastern San Diego Planned District Ordinance, comply with the recommendations of the Southeastern San Diego Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council;**

The project site is located at 950 and 1060 S. Euclid Avenue in the CT-2 Zone of the SESDPD within the Lincoln Park neighborhood of the SESDCP. The commercial elements in the SESDPD are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is Community-Commercial Category-2, which allows for medical and dental office use. The SESDCP designates the site for General Commercial.

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- 2. The proposed development shall be compatible with existing and planned land use on adjoining properties and shall not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community shall be achieved as far as practicable;**

The project site is located at 950 and 1060 S. Euclid Avenue in the CT-2 Zone of the SESDPD within the Encanto Neighborhoods of the SESDCP. The commercial elements in the SESDPD are contained in three distinct design zones which are further regulated by use categories. The CT-2 Zone designation is a commercial center area zone that generally contains its own internal vehicular circulation and parking, and functions as an independent entity. In addition, the use category for the site is Community-Commercial Category-2, which allows for medical and dental office use. The SESDCP designates the site for General Commercial.

The project site is surrounded by urban development in the form of single family residential to the southwest, south, and east, which are zoned as single family residential (SF-5000 Zone) in the SESDPD. The sites are designated as Residential-Low Density (5-10 dwelling units per acre (du/ac)) and within the Protected Single-Family Neighborhoods planning area in the SESDCP. The property directly north and northwest is development

with a retail center called the Euclid Plaza Center, which is zoned as a commercial center area (CT-2 Zone) in the SESDPD and designated as General Commercial in the SESDCP.

With the approval of the parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy. Therefore, the proposed development shall be compatible with existing and planned land use on adjoining properties and shall not constitute a disruptive element to the neighborhood and community.

**3. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity; and**

The proposed development is for the construction of a three-story, 25,100 square foot, outpatient medical and dental office building on portions of a 1.03-acre site. ND No. 219009 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines. The environmental issues for Air Quality, Greenhouse Gas Emissions, Hazards & Hazardous Materials, and Transportation/Traffic were considered in depth during the environmental review of the project and determined not to be potentially significant.

With the approval of a requested parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, the LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

The permit for the proposed development will include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Site Development Permit No. 779825, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

**4. The proposed use will comply with the relevant regulations of the Municipal Code.**

With the approval of the parking deviation, the proposed development meets all applicable regulations and policy documents, and the project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted SESDCP, LDC including the SESDPD, and the General Plan. The proposed development will achieve a LEED 'Silver' Level Certification, thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Buildings Policy.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 779825 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 779825, a copy of which is attached hereto and made a part hereof.

---

Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

Adopted on: March 10, 2011

Internal Order No. 24001118

**RECORDING REQUESTED BY  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501**

**WHEN RECORDED MAIL TO  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24001118

**SITE DEVELOPMENT PERMIT NO. 779825  
EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009  
PLANNING COMMISSION**

This Site Development Permit No. 779825 is granted by the Planning Commission of the City of San Diego to SAN YSIDRO HEALTH CENTER INC., Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0504(a) and (m), and 1519.0202(c). The 1.03-acre site is located at 950 and 1060 S. Euclid Avenue, on the west side of S. Euclid Avenue, south of Logan Avenue, in the CT-2 Zone of the Southeastern San Diego Planned District within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan. The project site is legally described as: Parcel 1, as shown on Parcel Map No. 4805, filed June 10, 1976 at File No. 76-179215 in the office of the County Recorders of San Diego, California, being a portion of Lot 63 of Horton's Purchase, according to Map thereof No. 283, Filed in the office of the County Recorder of said County of San Diego; and Lot 85 of O.D. Arnold's Bonnieview Unit No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3572, filed in the office of the County Recorder of San Diego County, December 24, 1956.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a three-story, 25,100 square foot, outpatient medical and dental office building; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 10, 2011, on file in the Development Services Department.

The project shall include:

- a. The construction of a three-story, 25,100 square foot, outpatient medical and dental office building. The first floor would contain the main lobby/entry services, registration areas, x-ray, lab, conference room, family counseling area, and educational space. The second floor would accommodate the primary care services, including women's and pediatric health clinic. The third floor would contain the dental clinic and

Women's and Infant Nutrition (WIC) Program. The structure would be approximately 57.5-feet in height and vehicular access would occur off of S. Euclid Avenue;

- b. A deviation to parking to allow for 3.43 parking spaces per 1,000 square feet of floor area for a total of 86 on-site parking spaces instead of required four (4) parking spaces per 1,000 square feet of floor area for sites outside the Transit Area Overlay Zone, which represent a required 100 on-site parking spaces;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Achieving a LEED 'Silver' Level Certification, as established by Council Policy 900-14; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

#### **STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the

event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

11. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
12. Prior to the issuance of the certificate of occupancy, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice (BMP) maintenance, satisfactory to the City Engineer.
13. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report, satisfactory to the City Engineer.
15. Prior to the issuance of the certificate of occupancy, a Parcel Map to consolidate the existing lots into one lot, and dedication of additional right of way along Euclid Avenue in order to provide a minimum 10 feet curb to property line and enough right-of-way so that the sidewalks are within the public right-of-way, shall be recorded in the Office of the County Recorder.
16. Prior to the issuance of any construction permits, construction documents shall fully illustrate the area of proposed dedication of additional right of way along Euclid Avenue in order to provide a minimum 10 feet curb to property line.
17. The drainage system proposed for this development within the private property and outside of the public right-of-way shall be private, and shall be privately maintained and subject to approval by the City Engineer.
18. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 2009-009 DWQ and the Municipal Storm Water Permit, Order No. 2009-009(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction

Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

19. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 2009-009 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 2009-009 DWQ.

#### **GEOLOGY REQUIREMENTS:**

20. Prior to issuance of any construction permits, the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department.

21. Prior to exoneration of the bond and grading permit close-out, the Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department.

#### **LANDSCAPE REQUIREMENTS:**

22. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

23. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall take into account a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

24. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.



25. Prior to issuance of any certificate of occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

26. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. An Evergreen Screening Hedge shall be maintained at no less than 6-feet in height along the entire perimeter of the premises where abutting residentially zoned properties.

27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

28. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

#### **PLANNING/DESIGN REQUIREMENTS:**

29. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

30. Prior to the issuance of building permits, construction documents shall fully illustrate any design requirements to achieve a LEED 'Silver' Level Certification, in accordance with Council Policy 900-14.

31. All signs associated with this development shall comply with the citywide sign regulations in SDMC Chapter 14, Article 2, Division 12.

32. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

33. All fences constructed on-site shall be of wrought iron, wood, concrete or other masonry materials to the satisfaction of the Development Services Department.

#### **TRANSPORTATION REQUIREMENTS**

34. The Owner/Permittee shall maintain a minimum of 86 parking spaces including 4 accessible spaces, 2 motorcycle spaces, 2 bicycle spaces, and 2 bicycle lockers with showers

shall be maintained on the property at all times in the approximate locations shown on Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

35. The Owner/Permittee shall operate and maintain a minimum of two, 12-passenger vans and one, 6-passenger van for pick-up and return of patients (mostly elderly) between their residences and the facility during all hours of operation satisfactory to the City Engineer.

36. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall install, by permit and bond, a City standard 14 feet wide raised median along its frontage on Euclid Avenue (as shown on the plans), and re-striping Euclid Avenue south of this raised median to provide a north-bound left turn lane into the frontage road satisfactory to the City Engineer. Applicant shall also install an R6-1 (RT) "ONE WAY" (RT) sign on the raised median facing the exiting vehicles from the project's northerly driveway.

**PUBLIC UTILITIES DEPARTMENT (PUD) REQUIREMENTS (Wastewater & Water):**

37. Prior to the issuance of any certificates of occupancy, the Owner/Permittee shall design and construction, by permit and bond, any new water and sewer service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

38. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

39. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

40. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of

the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on March 10, 2011, and [Approved Resolution Number].

Permit Type/PTS Approval No.: SDP/ 779825  
Date of Approval: March 10, 2011

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Jeffrey A. Peterson  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

San Ysidro Health Center Inc.  
Owner/Permittee

By \_\_\_\_\_  
Name:  
Title:

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NO. XXXX  
NEGATIVE DECLARATION NO. 219009  
**EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009**  
DRAFT

WHEREAS, on December 8, 2010, SAN YSIDRO HEALTH CENTER INC., Owner/Permittee, filed an application with the City of San Diego for a permit to construct a three-story, 25,100 square foot, outpatient medical and dental office building (as described in and by reference to the Exhibits "A" and corresponding conditions of approval for the associated Site Development Permit No. 779825), on portions of a 1.03-acre site;

WHEREAS, the project site is located at 950 and 1060 S. Euclid Avenue, on the west side of S. Euclid Avenue, south of Logan Avenue, in the CT-2 Zone of the Southeastern San Diego Planned District within the Lincoln Park neighborhood of the Southeastern San Diego Community Plan;

WHEREAS, the project site is legally described as Parcel 1, as shown on Parcel Map No. 4805, filed June 10, 1976 at File No. 76-179215 in the office of the County Recorders of San Diego, California, being a portion of Lot 63 of Horton's Purchase, according to Map thereof No. 283, Filed in the office of the County Recorder of said County of San Diego; and Lot 85 of O.D. Arnold's Bonnieview Unit No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 3572, filed in the office of the County Recorder of San Diego County, December 24, 1956;

WHEREAS, the permit was set for a public hearing to be conducted by the Planning Commission of the City of San Diego;

WHEREAS, the issue was considered by the Planning Commission of the City of San Diego on March 10, 2011; and

WHEREAS, the Planning Commission of the City of San Diego considered the issues discussed in Negative Declaration No. 219009; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego, that it is hereby certified that Negative Declaration No. 219009 has been completed in compliance with the California Environmental Quality Act of 1970 (California Public Resources Code Section 21000 et seq.) as amended, and the State guidelines thereto (California Administration Code Section 15000 et seq.), that the report reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said report, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission; directing staff to file a Notice of Determination.

BE IT FURTHER RESOLVED that the Planning Commission of the City of San Diego finds, based upon the Initial Study and any comments received, that there is no substantial evidence that the project will have a significant effect on the environment and therefore, that said Negative Declaration is hereby approved.

---

Jeffrey A. Peterson  
Development Project Manager  
Development Services Department

Adopted on: March 10, 2011

Internal Order No. 24001118



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REQUIRED PARKING CALCULATION

THE MINIMUM PARKING REQUIREMENT FOR THE PROPOSED 21,100 SQ. FT. MEDICAL OFFICE IS 193 PARKING SPACES INCLUDING A MINIMUM OF 4 ACCESSIBLE SPACES AT THE RATE OF 0.9 PARKING SPACES PER 1,000 SQ. FT. FOR COMMERCIAL USE. A MINIMUM OF 10 OF THE CHALET PARKING SPACES AT A REQUIRED RATE OF 0.4 SPACES PER 1,000 SQ. FT. SHOULD BE DESIGNATED AND MARKED AS SPACES FOR DISABLED PEOPLE. THE MINIMUM REQUIRED PARKING REQUIREMENT A MINIMUM OF 2 MOTORCYCLE SPACES, 2 BICYCLE SPACES, AND 2 BICYCLE LOCKERS WITH SHOWERS SHOULD ALSO BE PROVIDED (TABLE 148-09F AND SECTION 148.09(F), AND 148.09(G)).

BUILDING AREA 21,100 SF  
REQUIRED NO. OF SPACES 21,100 ÷ 100 (0.9) = 210.9 (211) CHALET PARKING SPACES INCLUDING ACCESSIBLE, SIGN TABLE 148-09(F)  
NO. NO. OF CARPOOL 21,100 ÷ 6,457 (3.3) = 3.2 (4) CHALET SIGN TABLE 148-09(F), SECTION 148.09(F)  
NO. NO. OF BICYCLES 21,100 ÷ 10,000 (0.2) = 2.1 (2) BICYCLE LOCKERS WITH SHOWERS, SIGN TABLE 148-09(F), SECTION 148.09(G)  
NO. NO. OF MOTORCYCLES 2 (MIN. PER SIGN TABLE 148-09(F) AND SECTION 148.09(G))

PROVIDED PARKING

STANDARD SPACES 193 SPACES (CHALLENGE & CARPOOL SPACES)  
ACCESSIBLE SPACES 4 SPACES  
BICYCLE SPACES 2 SPACES  
MOTORCYCLE SPACES 2 SPACES  
TANDEN SPACES 22 SPACES (EMPLOYEE ONLY) (INCLUDING 4 CARPOOL SPACES)  
TOTAL PROVIDED 197 VEHICLES (INCLUDING ACCESSIBLE AND CARPOOL DESIGNATED SPACES), 2 MOTORCYCLES AND 2 BICYCLE SPACES

21 SPACES ARE PROVIDED THROUGH A DEVIATION REQUEST THROUGH SDP NO. 2009-0445-09. ADDITIONAL 1% OF TOTAL PARKING SPACES ARE DEDICATED TO FUEL EFFICIENT VEHICLES ONLY.

VICINITY MAP (NOT TO SCALE)



DESIGN REVIEW PLANS

- DRY BOND: C-1 10' OVERLAP BASE MAT, C-2 2' WIDE STRIP, C-3 3' WIDE UTILITY PLAYS, C-4 PUBLIC IMPROVEMENT PLAN

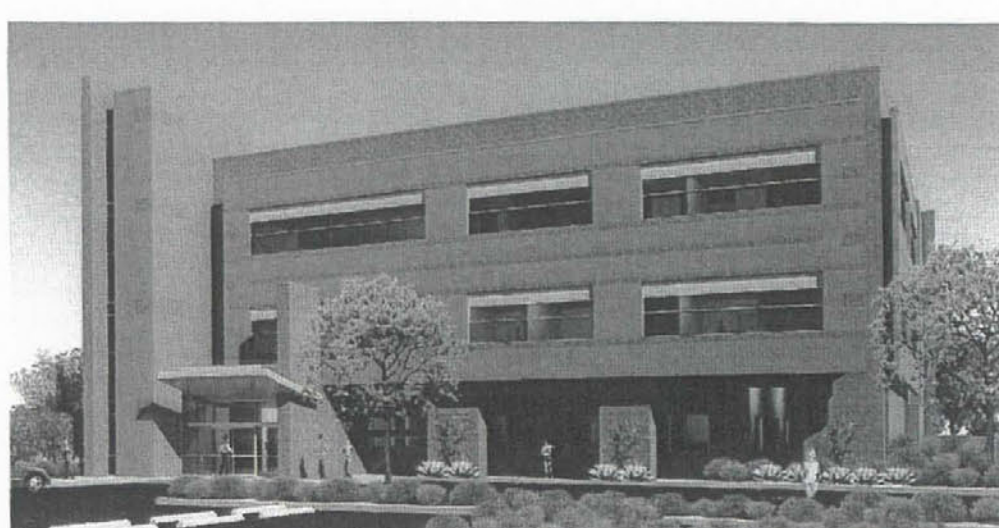
- ARCHITECTURAL: A-1 CONSTRUCTION, A-2 SET, IEA EXTERIOR PLAN, A-3 ACCESSIBILITY AND FIRE ACCESS PLAN, A-4 FIRST FLOOR PLAN, A-5 SECOND FLOOR PLAN, A-6 THIRD FLOOR PLAN, A-7 ROOF PLAN, A-8 SET, METEOROLOGICAL, SDN, A-9 EXTERIOR ELEVATIONS, A-10 OFF-BUILDING PLANNED EAST ELEVATION

- LANDSCAPE: L-1 EXISTING TREE PLAN, L-2 LANDSCAPE DEVELOPMENT PLAN, L-3 ELECTRICAL, L-4 SITE PHOTOGRAPHY PLAN

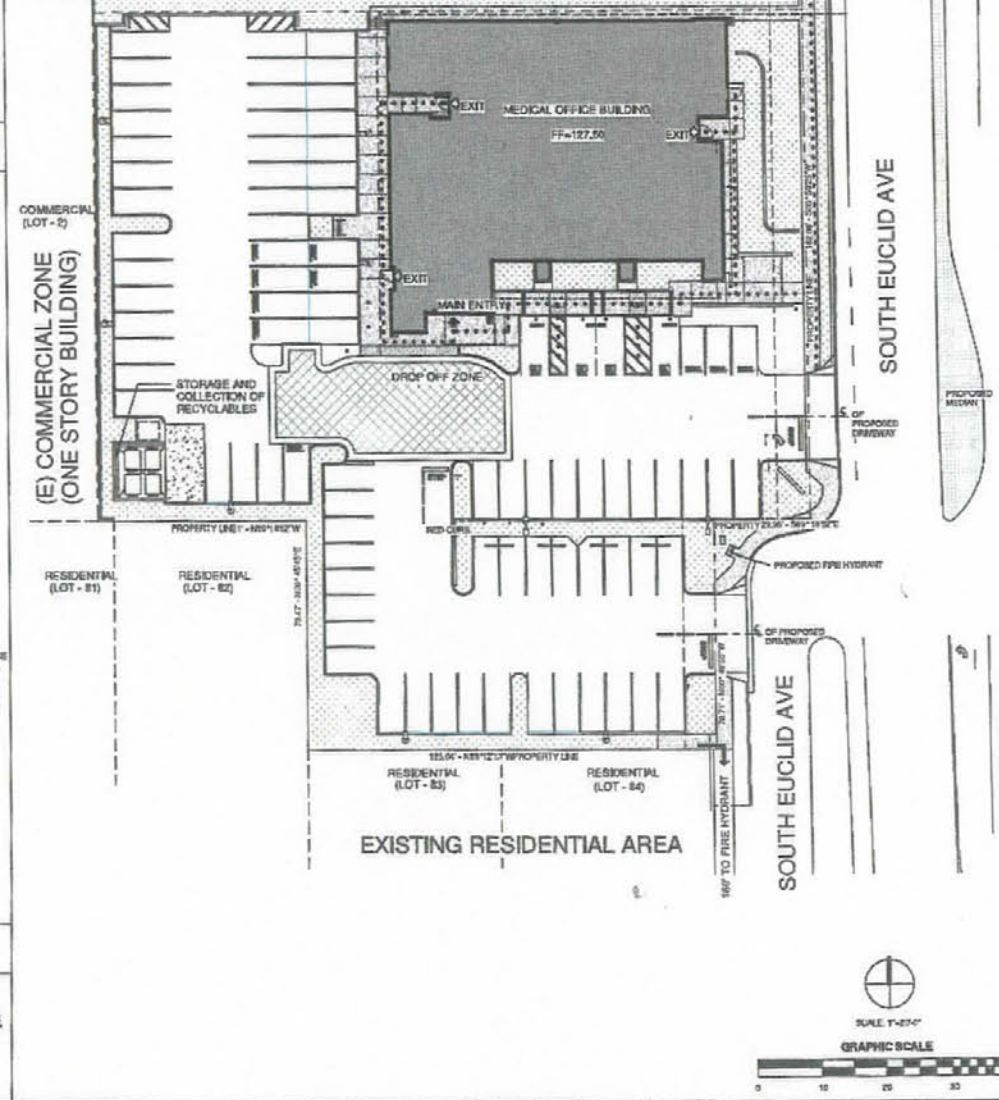
PROJECT SAN YSIDRO HEALTH CENTER  
EUCLID FAMILY HEALTH CENTER

COVER SHEET

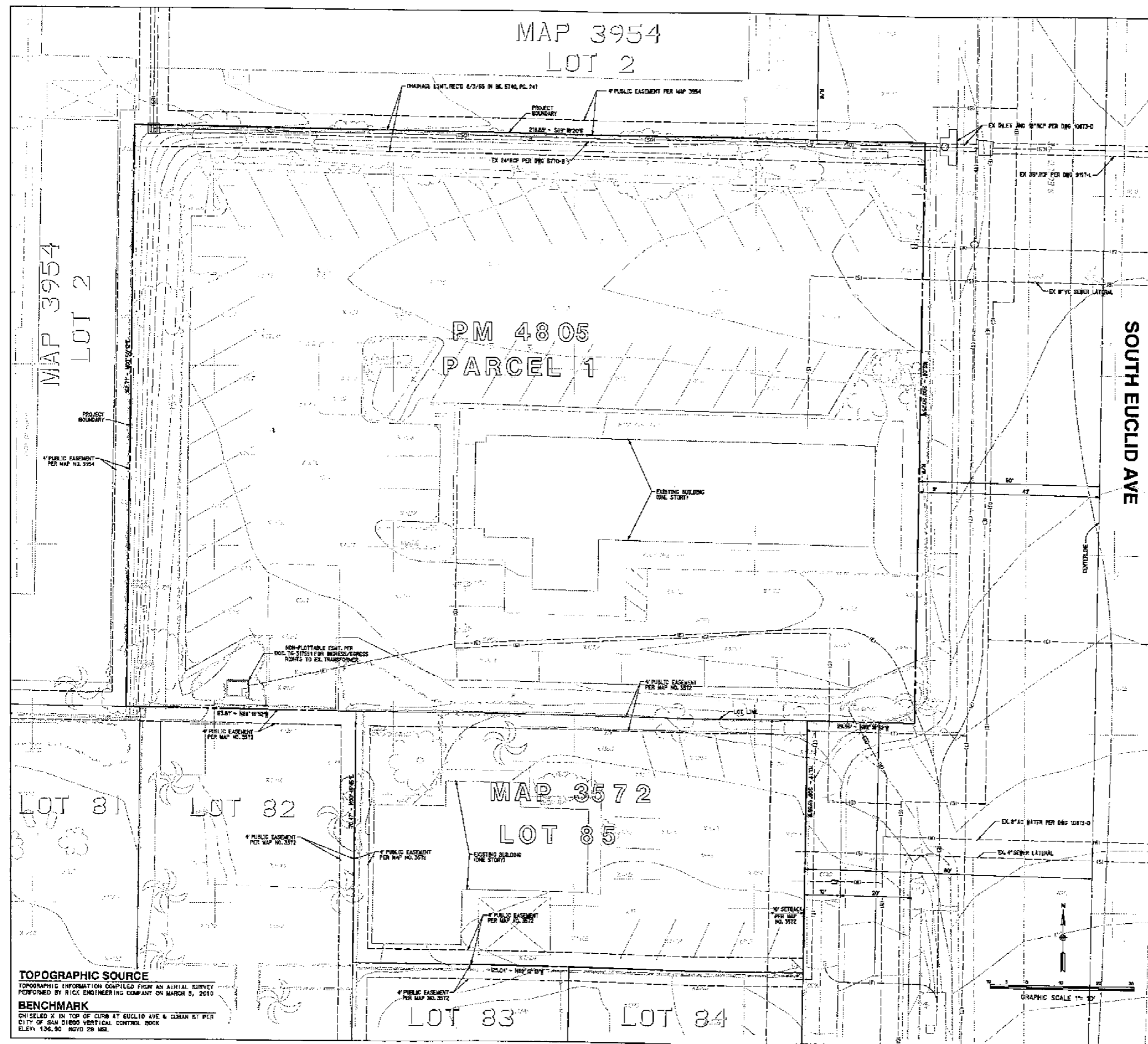
Table with columns: NO., REVISION, DATE, DESCRIPTION, PROJECT NO., SUBMITTAL DATE, DRAWING NO. Includes a revision table and project details.



SOUTHEAST VIEW



PROJECT DIRECTORY, PROJECT SCOPE OF WORK, PROJECT DESCRIPTION, LANDSCAPE CALCULATIONS, GENERAL CONDITIONS, LEGAL DESCRIPTION. Contains detailed project information and legal disclaimers.



**NTD ARCHITECTURE**  
 8555 Camino Alcazar Drive, Suite 400  
 San Diego, California 92123  
 619.444.1449  
 WWW.NTD.COM  
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- LEGEND**
- PROPERTY LINE
  - RIGHT-OF-WAY
  - EASEMENT LINE
  - CONTOUR LINE
  - SPOT ELEVATION
  - RETAINING WALL
  - EXISTING WATER
  - EXISTING SEWER
  - EXISTING DRY UTILITIES
  - EXISTING STORM DRAIN

**RICK ENGINEERING COMPANY**  
 5620 FRIARS ROAD  
 SAN DIEGO, CA 92110  
 619.291.0707  
 (FAX) 619.291.4165



BARRY J. COWAN REC. #6588 DATE

DESIGN REVIEW PLANS	
PROJECT INDEX	OWNER: SAN YSIDRO HEALTH CENTER
C-1	1270 WEST STREET
C-2	SAN DIEGO, CA 92104
C-3	6510/6504/00
C-4	ASSESSOR'S PARCEL NO. 522 08901-00
C-5	951-756-27-00
ARCHITECTURE	PREPARED BY: RICK ENGINEERING
A-1	SITE UTILIZATION PLAN
A-2	ACCESSIBILITY AND FIRE ACCESS PLAN
A-3	FIRST FLOOR PLAN
A-4	SECOND FLOOR PLAN
A-5	THIRD FLOOR PLAN
A-6	ROOF PLAN
A-7	SITE SECTIONED MONUMENTAL SIGN
A-8	SOILS ELEVATIONS
A-9	EXTERNAL ELEVATIONS
A-10	DIS-SETTING PLANS (EAST ELEVATION)
LANDSCAPE	PROJECT ADDRESS: EUCLID FAMILY HEALTH CENTER, 8520 AMEY SOUTH EUCLID AVENUE, SAN DIEGO, CA 92114
L-1	PLANTING TREE PLAN
L-2	LANDSCAPE DEVELOPMENT PLAN
ELECTRICAL	
E-1	SITE PHOTOGRAPHIC PLAN
PROJECT: SAN YSIDRO HEALTH CENTER EUCLID FAMILY HEALTH CENTER	
DRAWING TITLE: TOPOGRAPHIC MAP	
NO. DATE ISSUE	PROJECT NO. 2009-0443-00
1 8.11.2010 PRELIMINARY REVIEW	FIRST SUBMITTAL DATE: DECEMBER 8, 2010
2 9.06.2010 PRELIMINARY REVIEW/REVISIONS	DRAWING NO. C 1
3 1.22.2011 RE-SUBMITTAL REVISIONS	





**NTD**  
ARCHITECTURE

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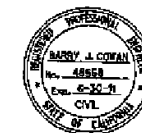
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**LEGEND**

- PROPERTY LINE
- NIGHT-OF-WAY
- EASEMENT LINE
- CONTOUR LINE
- SPOT ELEVATION
- RETAINING WALL
- EXISTING WATER
- EXISTING SEWER
- EXISTING DRY UTILITIES
- EXISTING STORM DRAIN

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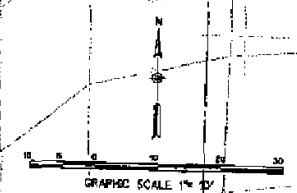
Barry J. Cowan TCE #48888 DATE

**DESIGN REVIEW PLANS**

NO.	DATE	REVISION	PROJECT NO.
1	8.11.2010	PRELIMINARY REVIEW	2009-04-43-00
2	8.18.2010	2ND PRELIMINARY REVIEW (REVISED)	FIRST SUBMITTAL DATE
3	1.28.2011	FINAL SUBMITTAL (AS-BUILT)	DATE

PROJECT: SAN YSIDRO HEALTH CENTER EUCLID FAMILY HEALTH CENTER			
DRAWING TITLE: TOPOGRAPHIC MAP			
NO.	DATE	REVISION	PROJECT NO.
1	8.11.2010	PRELIMINARY REVIEW	2009-04-43-00
2	8.18.2010	2ND PRELIMINARY REVIEW (REVISED)	FIRST SUBMITTAL DATE
3	1.28.2011	FINAL SUBMITTAL (AS-BUILT)	DATE

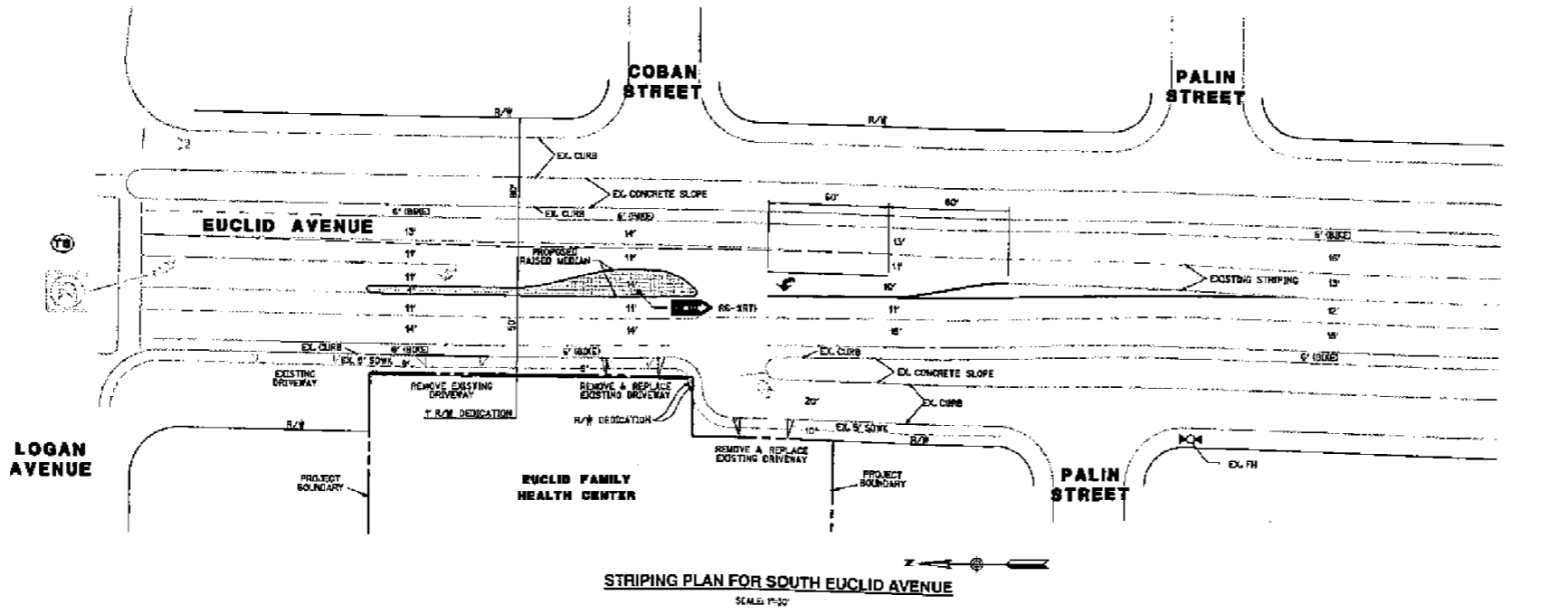
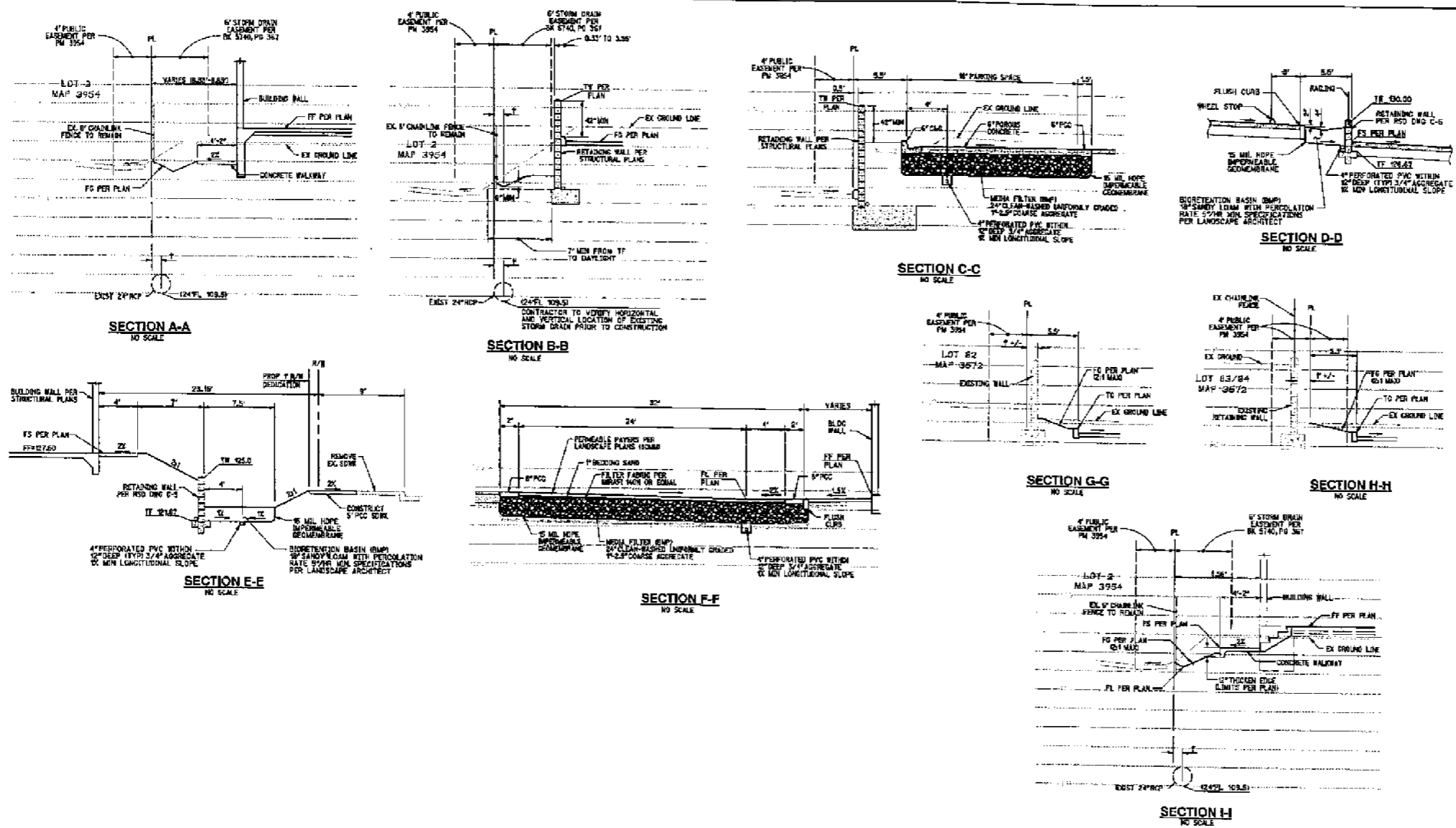
**TOPOGRAPHIC SOURCE**  
TOPOGRAPHIC INFORMATION COMPILED FROM AN AERIAL SURVEY PERFORMED BY RICK ENGINEERING COMPANY ON MARCH 6, 2010  
**BENCHMARK**  
ON SECT 3 IN TOP OF CURB AT EUCLID AVE & CARMAN ST PER CITY OF SAN DIEGO VERTICAL CONTROL BOOK ELEV. 138.80 NGVD 29 MSL



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BARRY J. COBAN No. 46568 DATE

DESIGN REVIEW PLANS	
<b>SHEET INDEX:</b>	<b>OWNER:</b> SAN YSIDRO HEALTH CENTER 1275 26TH STREET SAN DIEGO, CA 92104 (619) 524-1100
C-1 TOPOGRAPHIC MAP OF FINAL SHEET	
C-2 GRADING UTILITY PLAN	
C-4 PUBLIC IMPROVEMENT PLAN	
<b>ARCHITECTS:</b>	<b>PREPARED BY:</b> NTD ARCHITECTURE 4655 QUINCE DRIVE, SUITE 400 SAN DIEGO, CA 92121 706.295.4418 Fax: 706.295.3433
A-0 COVER SHEET	
A-1 SITE UTILIZATION PLAN	
A-2 ACCESS DRIVEWAY AND FIRM ACCESS PLAN	
A-3 FIRST FLOOR PLAN	
A-4 SECOND FLOOR PLAN	
A-5 THIRD FLOOR PLAN	
A-6 FLOOR PLAN	
A-7 SITE SECTION MEASUREMENTS FOR EXTERIOR ELEVATIONS	
A-8 EXTERIOR ELEVATIONS	
A-9 EXTERIOR ELEVATIONS	
A-10 EXTERIOR ELEVATIONS	
<b>LANDSCAPE:</b>	<b>PROJECT ADDRESS:</b> EUCLID FAMILY HEALTH CENTER 355 AME 1900 SOUTH BUCKLE AVENUE SAN DIEGO, CA 92114
L-1 EXISTING TREE PLAN	
L-2 LANDSCAPE DEVELOPMENT PLAN	
<b>ELECTRICAL:</b>	
E-1 SITE PHOTOGRAPHIC PLAN	
<b>PROJECT:</b>	<b>SAN YSIDRO HEALTH CENTER</b>
	<b>EUCLID FAMILY HEALTH CENTER</b>
<b>DRAWING TITLE:</b>	<b>DETAIL SHEET</b>
<b>NO. DATE</b>	<b>ISSUE</b>
1 8.14.2010	PRELIMINARY REVIEW
2 10.20.2010	2ND PRELIMINARY REVIEW (DISAPPROVED)
3 1.24.2011	RE-APPROVED (REVISED)
<b>PROJECT NO.</b>	2008-0443-00
<b>FIRST SUBMITTAL DATE</b>	DECEMBER 8, 2010
<b>DRAWING NO.</b>	

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**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- - - EXISTING CONTOUR LINE
- SPOT ELEVATION
- - - PROPOSED CONTOUR LINE
- ▽ CUT/FILL SLOPE (2:1 MAX)
- DAYLIGHT LINE
- AC PAVEMENT
- ▨ PERVIOUS CONCRETE WITH AGGREGATE BASE (IMP)
- ▩ PERVIOUS PAVERS WITH AGGREGATE BASE (IMP)
- ▧ PCC SIDEWALK
- CURB AND GUTTER
- ▧ RIP RAP
- ▧ RETAINING WALL
- WATER LATERAL
- FIRE SERVICE
- FIRE HYDRANT
- STORM DRAIN
- CATCH BASIN
- SANITARY SEWER

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BARRY J. CORBIN RCE 46558 DATE

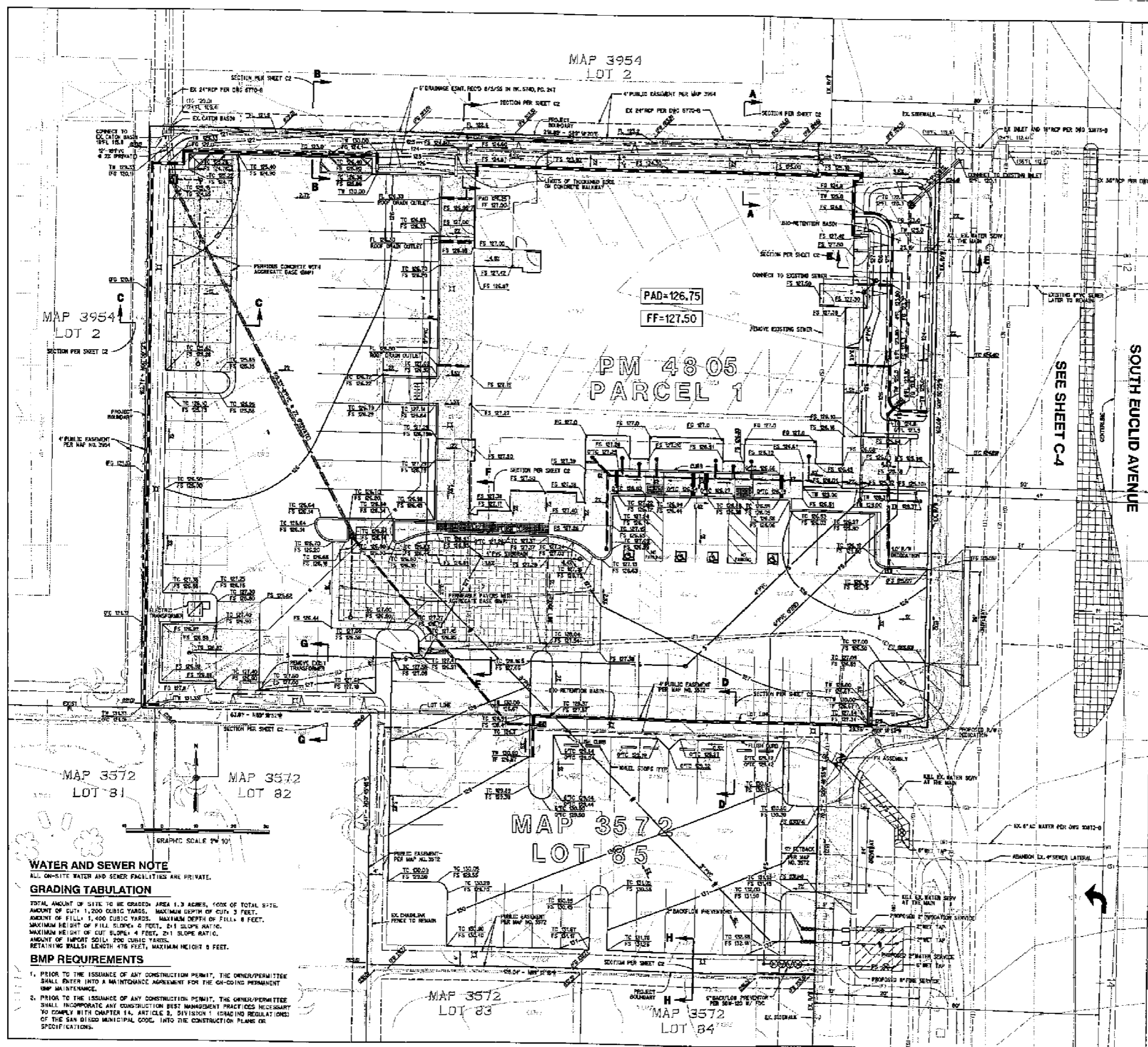
**DESIGN REVIEW PLANS**

SHEET INDEX:	OWNER:
C-01	SAN YSHIRO HEALTH CENTER
C-02	1208 WEST 98TH STREET
C-03	SAN DIEGO, CALIFORNIA
C-04	92110-0400
ARCHITECTURE:	ADDRESS PARCEL NO.:
A-01 COVER SHEET	020804040
A-02 SITE UTILIZATION PLAN	020804040
A-03 ACCESSION IT AND FIRE ACCESS PLAN	020804040
A-04 FIRST FLOOR PLAN	020804040
A-05 SECOND FLOOR PLAN	020804040
A-06 THIRD FLOOR PLAN	020804040
A-07 ROOF PLAN	020804040
A-08 SITE SECTION AND ENVIRONMENTAL SIGN	020804040
A-09 EXTERIOR ELEVATIONS	020804040
A-10 OFF-SITE PLANS (EAST ELEVATIONS)	020804040
LANDSCAPE:	PREPARED BY:
L-01 EXISTING TREE PLAN	NTD ARCHITECTURE
L-02 LANDSCAPE DEVELOPMENT PLAN	1025 GRANITE MOORE DRIVE, SUITE 400
ELECTRICAL:	SAN DIEGO, CA 92108
E-01 SITE PHOTOGRAPHIC PLAN	951-505-4444 / 951-505-3433
	PROJECT ADDRESS:
	EUCLID FAMILY HEALTH CENTER
	920 AND 1360 SOUTH EUCLID AVENUE
	SAN DIEGO, CA 92114

PROJECT: SAM YSHIRO HEALTH CENTER  
EUCLID FAMILY HEALTH CENTER

DRAWING TITLE: GRADING/UTILITY PLAN

NO.	DATE	ISSUE	PROJECT NO.
1	8.11.2016	PRELIMINARY REVIEW	2009-0443-00
2	9.09.2016	2ND PRELIMINARY REVIEW (REVISIONS)	FIRST SUBMITTAL DATE: DECEMBER 6, 2016
3	1.10.2017	RE-SUBMITTED (REVISIONS)	DRAWING NO. C3



**WATER AND SEWER NOTE**  
ALL ON-SITE WATER AND SEWER FACILITIES ARE PRIVATE.

**GRADING TABULATION**

TOTAL AMOUNT OF SITE TO BE GRADED AREA 1.3 ACRES, 600K OF TOTAL SITE.  
AMOUNT OF CUT: 1,200 CUBIC YARDS. MAXIMUM DEPTH OF CUT: 3 FEET.  
AMOUNT OF FILL: 1,400 CUBIC YARDS. MAXIMUM DEPTH OF FILL: 8 FEET.  
MAXIMUM HEIGHT OF FILL SLOPE: 4 FEET, 2:1 SLOPE RATIO.  
MAXIMUM HEIGHT OF CUT SLOPE: 4 FEET, 2:1 SLOPE RATIO.  
AMOUNT OF IMPORT SOIL: 200 CUBIC YARDS.  
RETAINING WALLS: LENGTH 475 FEET, MAXIMUM HEIGHT 8 FEET.

**BMP REQUIREMENTS**

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ON-GOING PERMANENT BMP MAINTENANCE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

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BARRY J. COBAN REC 78688 DATE

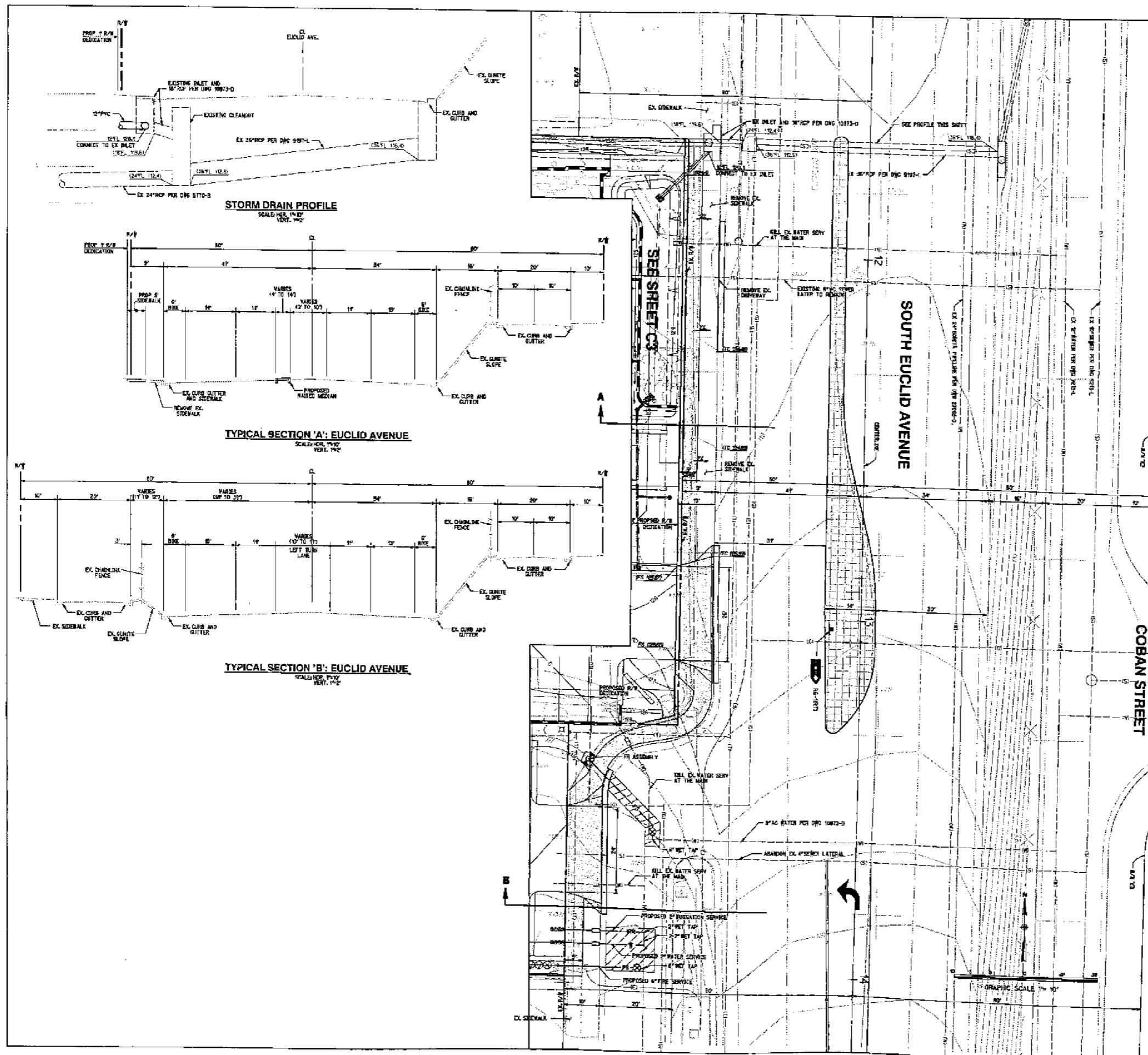
**DESIGN REVIEW PLANS**

<b>RICKET INDEX</b>	<b>OWNER:</b> SAN YSIDRO HEALTH CENTER 1075 WEST STREET SAN DIEGO, CA 92104 RND 000-1-00
C-1 TOPOGRAPHIC MAP	<b>ASSESSOR'S PARCEL NO.:</b> 522-090-003 982-19-021-03
C-2 DETAIL SHEET	<b>PREPARED BY:</b> NTD ARCHITECTURE 8885 CARVER ROAD, SUITE 400 SAN DIEGO, CA 92123 619.592.4444 • FAX 619.592.4165
C-3 CIRCULATION PLAN	<b>PROJECT ADDRESS:</b> EUCLID FAMILY HEALTH CENTER 300 AND 1000 SOUTH EUCLID AVENUE SAN DIEGO, CA 92114
C-4 PUBLIC IMPROVEMENT PLAN	<b>DATE:</b> 12/08/2010
<b>ARCHITECTURE</b>	<b>LANDSCAPE</b>
A-0 COVER SHEET	L-1 EXISTING TREE PLAN
A-1 SITE UTILIZATION PLAN	L-2 LANDSCAPE DEVELOPMENT PLAN
A-2 ACCESSIBILITY AND FIRE ACCESS PLAN	<b>ELECTRICAL</b>
A-3 FIRST FLOOR PLAN	E-1 SITE PHOTOGRAPHIC PLAN
A-4 SECOND FLOOR PLAN	
A-5 THIRD FLOOR PLAN	
A-6 ROOF PLAN	
A-7 SITE SECTION/MONUMENTAL SIGN	
A-8 EXTERIOR ELEVATIONS	
A-9 FINISHER ELEVATIONS	
A-10 OFF-SETTING PLANS (EAST ELEVATION)	

**PROJECT**  
SAN YSIDRO HEALTH CENTER  
EUCLID FAMILY HEALTH CENTER

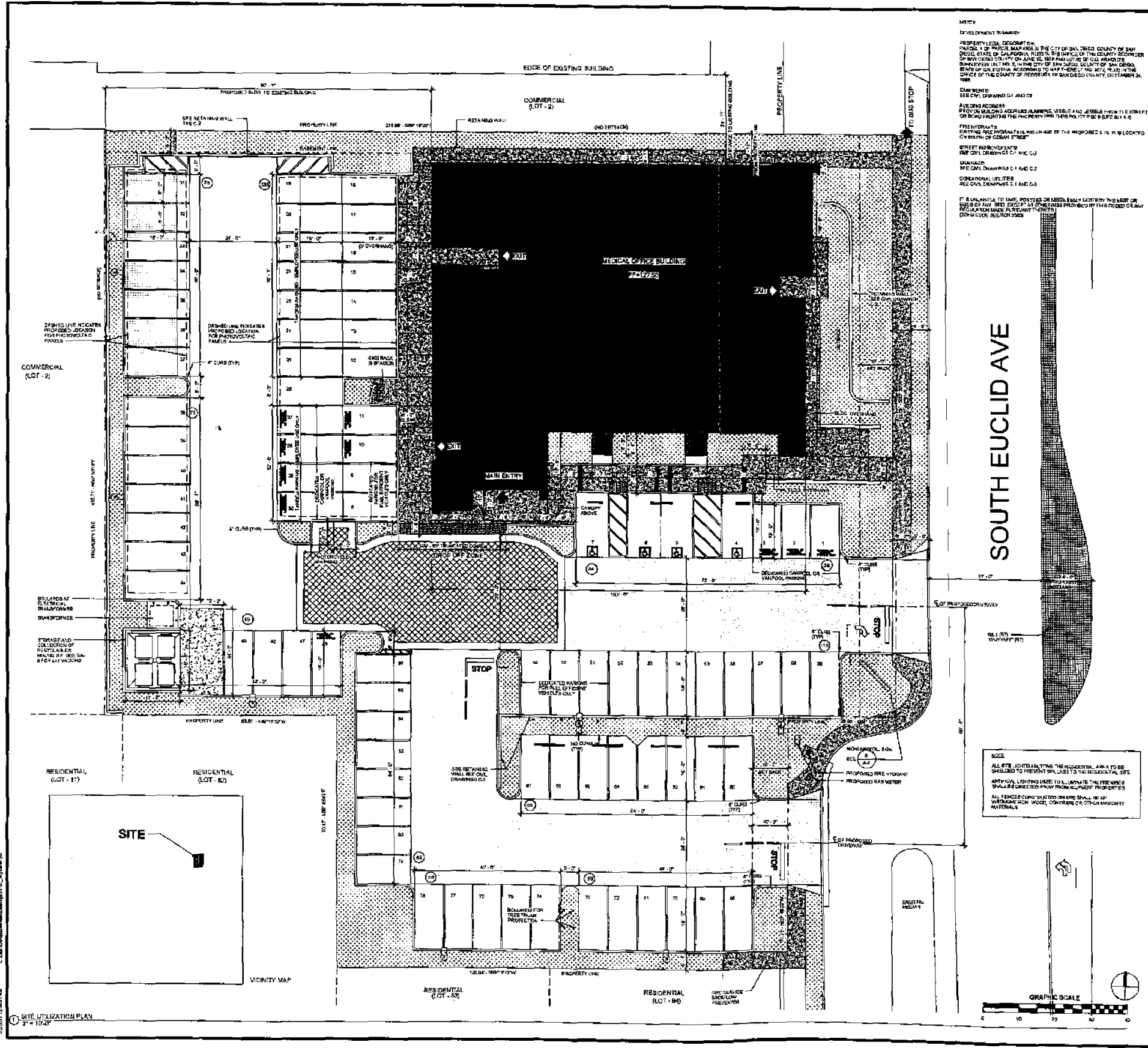
**DRAWING TITLE**  
PUBLIC IMPROVEMENT PLAN

<b>REV. DATE</b>	<b>ISSUE</b>	<b>PROJECT NO.</b>	2009-0443-00
1	8.11.2010 PRELIMINARY REVIEW	<b>PROJ. SUBMITTAL DATE</b>	DECEMBER 8, 2010
2	8.04.2010 2ND PRELIMINARY REVIEW/REVISED	<b>DRAWING NO.</b>	C4
3	1.26.2011 RE-SUBMITTAL EXPEDITED		





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**NOTES**  
 DEVELOPMENT SUMMARY  
 PROPERTY LEGAL DESCRIPTION  
 PARCEL 1 OF TRACT MAP NO. 51 THE CITY OF SAN DIEGO COUNTY OF SAN DIEGO STATE OF CALIFORNIA PLATTED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JUNE 15, 1994 PART OF THE 20'0" WIDE STRIP OF LAND BOUNDARY LINES IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO MAP NO. 51, 1994, PLATTED IN THE OFFICE OF THE COUNTY OF PRESIDENT OF SAN DIEGO COUNTY, CALIFORNIA, 1994.  
 DRAWING NO. SEE CIVIL DRAWING 01 AND 02  
 ALTERNATE ADDRESS PROVIDED ADDRESS ALTERNATE ADDRESS AND ADDRESS FROM THE STREET OR FROM THE PROPERTY LINE TO THE PROPERTY LINE AND FROM THE PROPERTY LINE TO THE PROPERTY LINE.  
 FIELD NOTES SEE CIVIL DRAWING 01 AND 02  
 STREET ADDRESS SEE CIVIL DRAWING 01 AND 02  
 DRAWING NO. SEE CIVIL DRAWING 01 AND 02  
 CONSTRUCTION UTILITIES SEE CIVIL DRAWING 01 AND 02  
 IF A UNITS TO THIS PROJECT OR USED, REFER TO THE MAP OR MAPS OF ANY CITY, COUNTY OR STATE WHICH PROVIDE THIS CODED OR CITY OR COUNTY CODE SECTION 200.

**REQUIRED PARKING CALCULATION**

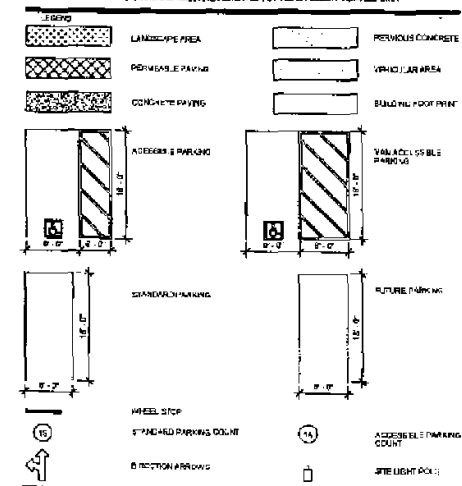
THE MINIMUM PARKING REQUIREMENT FOR THE PROPOSED DEVELOPMENT IS 100 PARKING SPACES INCLUDING ACCESSIBLE SPACES AS SHOWN IN THE TABLE BELOW. A MAXIMUM OF 10% OF THE ON-SITE PARKING SPACES MAY BE REQUIRED TO BE ACCESSIBLE SPACES. THESE SPACES SHALL BE PROVIDED AS CARPOOL SPACES, BICYCLE LOCKERS AND BICYCLE RACKS, A MAXIMUM OF 5 BICYCLE SPACES, BICYCLE RACKS AND 2 BICYCLE LOCKERS WITH SHOWERS. THIS ALSO BE PROVIDED IN A HOUSE AND BICYCLE RACKS AND BICYCLE LOCKERS.

BUILDING AREA	25,100 SF
REQUIRED NO. OF SPACES	25,100 SF / 250 SF = 100.4 (100) PARKING SPACES INCLUDING ACCESSIBLE SPACES (TABLE 102.04)
REQ. NO. OF CARPOOL	25,100 SF / 250 SF = 100.4 (100) SPACES (TABLE 102.04)
REQ. NO. OF BICYCLES	25,100 SF / 250 SF = 100.4 (100) SPACES (TABLE 102.04)
REQ. NO. OF MOTORCYCLES	25,100 SF / 250 SF = 100.4 (100) SPACES (TABLE 102.04)

**PROVIDED PARKING**

STANDARD SPACES	90 SPACES (BUILDING + CARPOOL SPACES)
ACCESSIBLE SPACES	4 SPACES
BICYCLE SPACES	3 SPACES
MOTORCYCLE SPACES	2 SPACES
TAXI SPACES	22 SPACES (EMPLOYEE ONLY) AND 4 CARPOOL SPACES
TOTAL PROVIDED	119 SPACES (INCLUDING ACCESSIBLE AND OCCUPIED CARPOOL SPACES, 2 MOTORCYCLES AND 4 BICYCLE SPACES)

10 SPACES ARE ALLOCATED TO BE USED AS APPROVED OR APPROVED THROUGH THE CITY OF SAN DIEGO. ADDITIONAL NO. OF TOTAL PARKING SPACES ALLOCATED TO PUBLIC OR PRIVATE VEHICLES ONLY.



**DESIGN REVIEW PLANS**

0101	GENERAL PLAN	0101	GENERAL PLAN
0201	TOPOGRAPHIC BASE MAP	0201	TOPOGRAPHIC BASE MAP
0301	DETAILED SHEET	0301	DETAILED SHEET
0401	DRAINAGE UTILITY PLAN	0401	DRAINAGE UTILITY PLAN
0501	PUBLIC IMPROVEMENT PLAN	0501	PUBLIC IMPROVEMENT PLAN

**ARCHITECTURE**

A1	COVER SHEET	A1	COVER SHEET
A2	SITE UTILIZATION PLAN	A2	SITE UTILIZATION PLAN
A3	ACCESSIBILITY AND FIRE ACCESS PLAN	A3	ACCESSIBILITY AND FIRE ACCESS PLAN
A4	FRONT ELEVATION	A4	FRONT ELEVATION
A5	SECOND FLOOR PLAN	A5	SECOND FLOOR PLAN
A6	THIRD FLOOR PLAN	A6	THIRD FLOOR PLAN
A7	ROOF PLAN	A7	ROOF PLAN
A8	SITE ELEVATION WITH VERTICAL SIGN	A8	SITE ELEVATION WITH VERTICAL SIGN
A9	SECTION ELEVATIONS	A9	SECTION ELEVATIONS
A10	OFF-SITE PLANS (EAST ELEVATION)	A10	OFF-SITE PLANS (EAST ELEVATION)

**LANDSCAPE**

L1	LANDSCAPE TREE PLAN	L1	LANDSCAPE TREE PLAN
L2	LANDSCAPE DEVELOPMENT PLAN	L2	LANDSCAPE DEVELOPMENT PLAN

**ELECTRICAL**

E1	SITE PHOTOGRAPHIC PLAN	E1	SITE PHOTOGRAPHIC PLAN
----	------------------------	----	------------------------

**PROJECT**  
 SAN YSIDRO HEALTH CENTER  
 EUCLID FAMILY HEALTH CENTER

**DRAWING TITLE**  
 SITE UTILIZATION PLAN

NO.	REVISION	DATE	PROJECT NO.
1	5/1/2010	PRELIMINARY REVIEW	20050448-00
2	8/2/2010	2ND PRELIMINARY REVIEW (REVISED)	08050626-00
3	01/20/2011	RESUBMITTAL (REVISED)	
4	02/02/2011	REVISION	

**A-1**  
 8-SHEETS OF 1

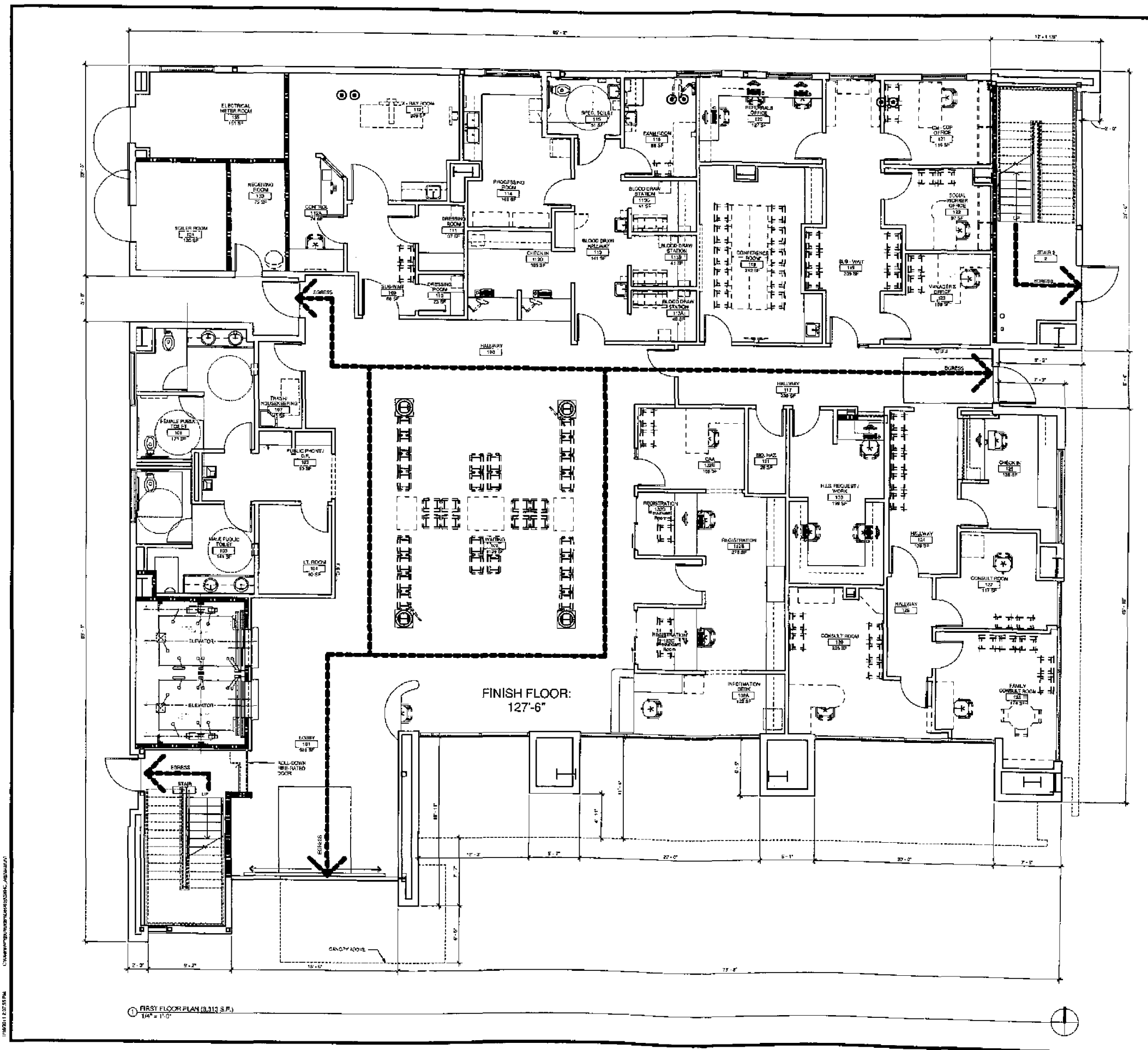


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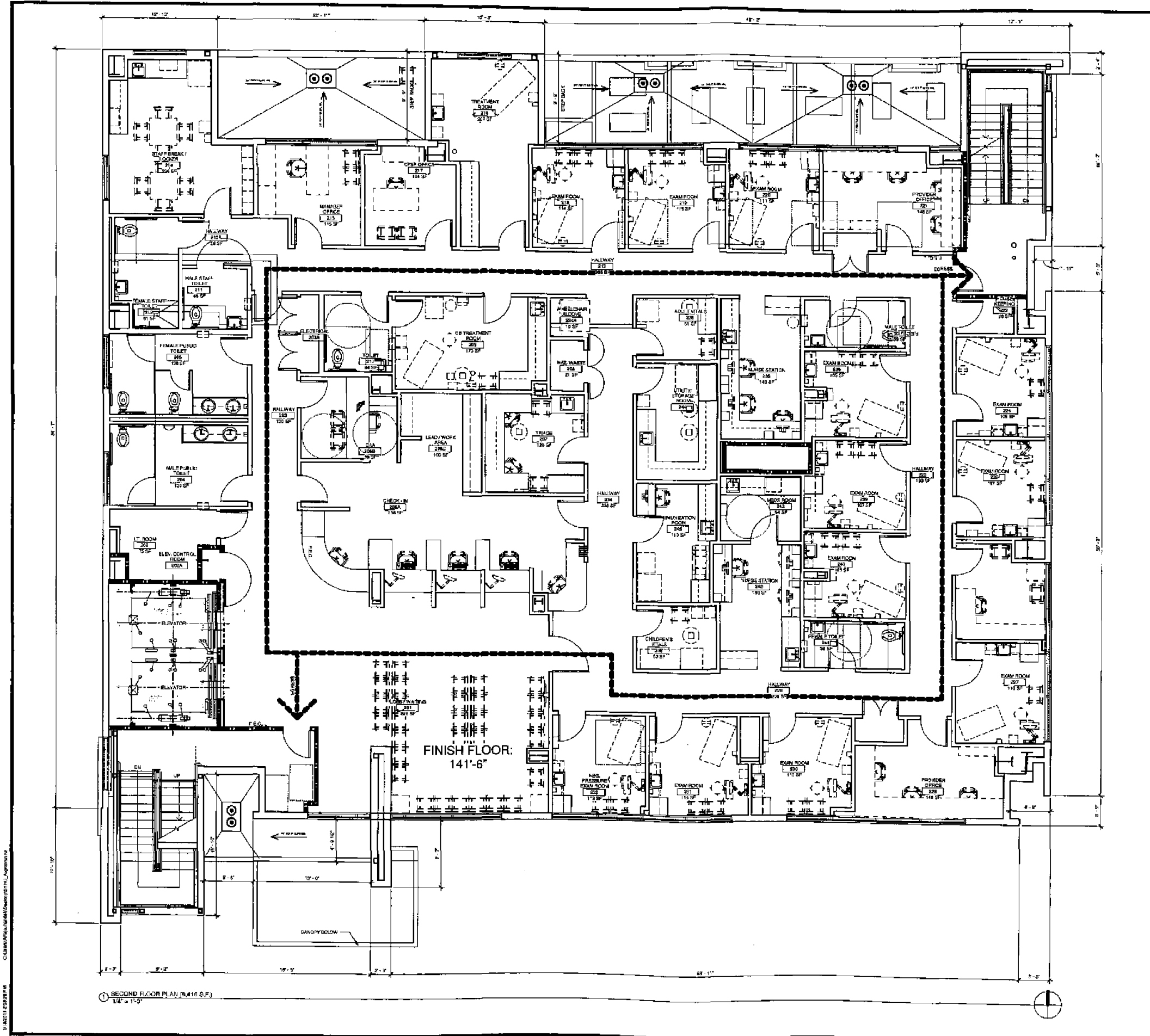


DESIGN REVIEW PLANS																	
<p>0-KEY NO.:</p> <p>001: OWNER SHEET</p> <p>002: SITE LOCATION PLAN</p> <p>003: ACCESSIBILITY AND ADA ACCESS PLAN</p> <p>004: FIRST FLOOR PLAN</p> <p>005: SECOND FLOOR PLAN</p> <p>006: THIRD FLOOR PLAN</p> <p>007: ROOF PLAN</p> <p>008: SITE SECTION (NORTH ELEVATION)</p> <p>009: EXTERIOR ELEVATIONS</p> <p>010: INTERIOR ELEVATIONS</p> <p>011: CURB SETTINGS PLAN (LAST ELEVATION)</p>	<p>OWNER:</p> <p>SAN YSIDRO HEALTH CENTER 1275 30TH STREET SAN DIEGO, CA 92104 (619) 584-0100</p> <p>ARCHITECT:</p> <p>NTD ARCHITECTURE 3005 GRANITE RIDGE DRIVE, SUITE 100 SAN DIEGO, CA 92108 (619) 594-4916</p> <p>PROJECT ADDRESS:</p> <p>EUCLID FAMILY HEALTH CENTER 850 AND 1050 SOUTH EUCLID AVENUE SAN DIEGO, CA 92114</p>																
<p>PROJECT:</p> <p>SAN YSIDRO HEALTH CENTER EUCLID FAMILY HEALTH CENTER</p>	<p>DRAWING TITLE:</p> <p>FIRST FLOOR PLAN</p>																
<table border="1"> <thead> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> <th>ISSUE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>REVISED</td> <td>11/13/10</td> <td>ARCHITECTURE REVIEW</td> </tr> <tr> <td>2</td> <td>REVISED</td> <td>3/28/2010</td> <td>ARCHITECTURE PRELIMINARY REVIEW (REVISED)</td> </tr> <tr> <td>3</td> <td>REVISED</td> <td>01/26/2011</td> <td>ARCHITECTURE RE-SUBMITTAL (REVISED)</td> </tr> </tbody> </table>	NO.	REVISION	DATE	ISSUE	1	REVISED	11/13/10	ARCHITECTURE REVIEW	2	REVISED	3/28/2010	ARCHITECTURE PRELIMINARY REVIEW (REVISED)	3	REVISED	01/26/2011	ARCHITECTURE RE-SUBMITTAL (REVISED)	<p>PROJECT NO.:</p> <p>2009-0443-00</p> <p>FIRST OFFICIAL SUBMITTAL DATE:</p> <p>DECEMBER 8, 2010</p> <p>DRAWING NO.:</p> <p>A-3</p> <p>SHEET 7 OF 8</p>
NO.	REVISION	DATE	ISSUE														
1	REVISED	11/13/10	ARCHITECTURE REVIEW														
2	REVISED	3/28/2010	ARCHITECTURE PRELIMINARY REVIEW (REVISED)														
3	REVISED	01/26/2011	ARCHITECTURE RE-SUBMITTAL (REVISED)														



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① SECOND FLOOR PLAN (R.416 S.F.)  
1/4" = 1'-0"



DESIGN REVIEW PLANS	
<b>SHEET INDEX:</b>	<b>OWNER:</b>
SB-1 TOPOGRAPHIC BASE MAP	SAN YSIDRO HEALTH CENTER
CS-1 DETAIL SHEET	1375 30TH STREET
CS-2 DRAWING UTILITY PLAN	SAN DIEGO, CA 92104
CS-3 FULL-BUILD PARTNERSHIP P. PLAN	(619) 594-1700
<b>ARCHITECTURAL:</b>	<b>ASSESSOR'S PARCEL NO.:</b>
A-0 COVER SHEET	322-465-05-00
A-1 SITE UTILIZATION PLAN	322-465-05-00
A-2 ACCESSIBILITY AND FIRE ACCESS PLAN	<b>PREPARED BY:</b>
A-3 FIRST FLOOR PLAN	NTD ARCHITECTURE
A-4 SECOND FLOOR PLAN	9622 GREEN RIDGE DRIVE, SUITE 100
A-5 THIRD FLOOR PLAN	SAN DIEGO, CA 92123
A-6 MOOR PLAN	(619) 541-5441 F.0001 000 0000
A-7 SITE SECTION (MANUAL/MENTAL SIGN)	<b>PROJECT ADDRESS:</b>
A-8 EXTERIOR ELEVATIONS	EUCLID FAMILY HEALTH CENTER
A-9 EXTERIOR ELEVATIONS	962 AND 1068 SOUTH EUCLID AVENUE
A-10 OFF-SETTING PLANS (EAST ELEVATION)	SAN DIEGO, CA 92114
<b>LANDSCAPE:</b>	
L-1 EXISTING TREE PLAN	
L-2 LANDSCAPE DEVELOPMENT PLAN	
<b>ELECTRICAL:</b>	
E-1 SITE PHOTOGRAPHIC PLAN	

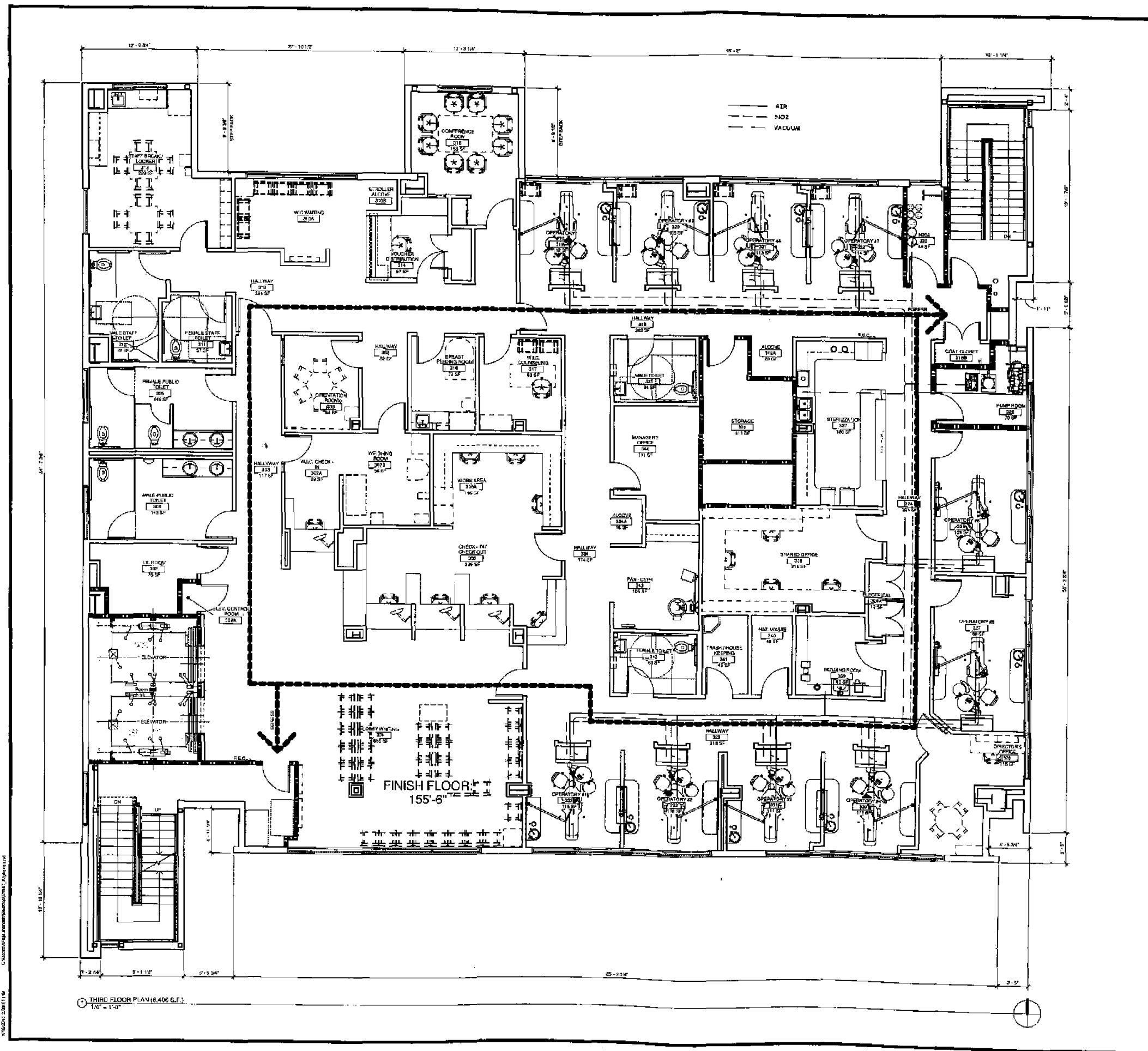
<b>PROJECT:</b>	SAN YSIDRO HEALTH CENTER EUCLID FAMILY HEALTH CENTER		
<b>DRAWING TITLE:</b>	SECOND FLOOR PLAN		
<b>NO. REVISION</b>	<b>ISSUE</b>	<b>PROJECT NO.</b>	2008-0418-00
1	8.1.2012 PRELIMINARY REVIEW	<b>FIRST OFFICIAL SUBMITTAL DATE</b>	DECEMBER 8, 2010
2	9-09-2010 2ND PRELIMINARY REVIEW (DP/MP)	<b>RE-SUBMITTAL DRAWING(S)</b>	
3	01-25-2011 RE-SUBMITTAL (DP/MP)		
<b>A-4</b>			SHEET 4 OF 16





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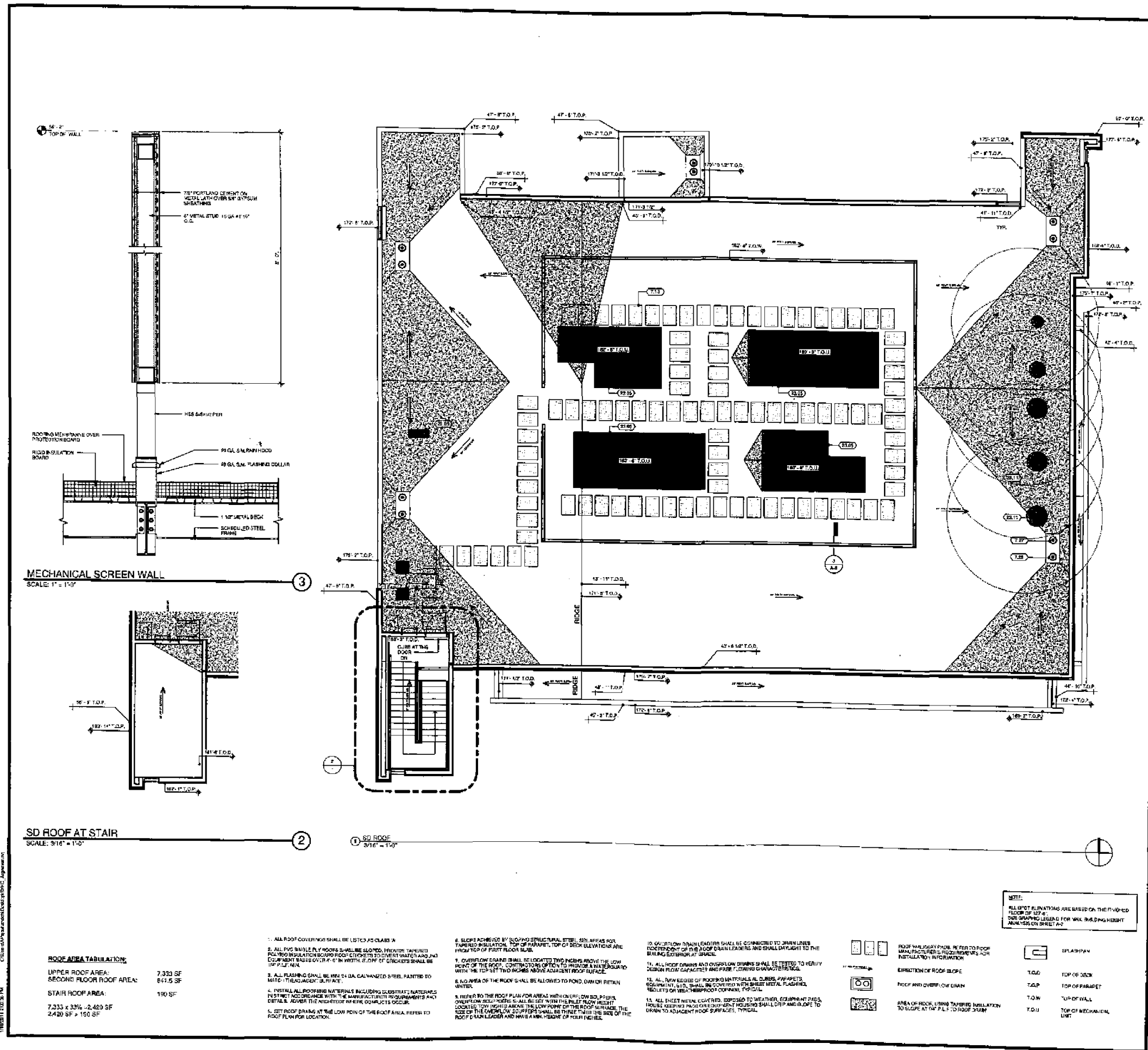


DESIGN REVIEW PLANS	
<b>SHEET INDEX:</b>	<b>OWNER:</b> SAN YSIDRO HEALTH CENTER 1218 SOUTH STREET SAN DIEGO, CA 92114 (619) 594-1010
<b>DATE:</b>	<b>ASSESSOR'S PARCEL NO.:</b> 522-060-0108 522-150-21-09
<b>0-1</b> PHOTOGRAPHIC BASE MAP	<b>PREPARED BY:</b> NTD ARCHITECT, P.C. 1550 GRANITE RIDGE DRIVE, SUITE 400 SAN DIEGO, CA 92108 (760) 280-4418 FAX: (760) 599-0481
<b>0-2</b> SITE PLAN	<b>PROJECT ADDRESS:</b> PLEASANT VALLEY HEALTH CENTER 153 AND 1540 SOUTH EUCLID AVENUE SAN DIEGO, CA 92116
<b>0-3</b> GRADING/UTILITY PLAN	
<b>0-4</b> PUBLIC IMPROVEMENT PLAN	
<b>ARCHITECTURE:</b>	
<b>A-0</b> COVER SHEET	
<b>A-1</b> SITE UTILIZATION PLAN	
<b>A-2</b> ACCESSIBILITY AND FIRE ACCESS PLAN	
<b>A-3</b> FIRST FLOOR PLAN	
<b>A-4</b> SECOND FLOOR PLAN	
<b>A-5</b> THIRD FLOOR PLAN	
<b>A-6</b> ROOF PLAN	
<b>A-7</b> SITE SECTION/PROXIMITY PLAN	
<b>A-8</b> EXTERIOR ELEVATIONS	
<b>A-9</b> EXTERIOR ELEVATIONS	
<b>A-10</b> OFF SETTING PLAN/ EAST ELEVATION	
<b>LANDSCAPE:</b>	
<b>L-1</b> EXISTING TREE PLAN	
<b>L-2</b> LANDSCAPE DEVELOPMENT PLAN	
<b>ELECTRICAL:</b>	
<b>E-1</b> SEE PHOTOGRAPHIC PLAN	
<b>PROJECT:</b>	<b>SAN YSIDRO HEALTH CENTER EUCLID FAMILY HEALTH CENTER</b>
<b>DRAWING TITLE:</b>	<b>THIRD FLOOR PLAN</b>
<b>NO. REVISION</b>	<b>ISSUE</b>
1	6.11.2010 PRELIMINARY REVIEW
2	8.09.2010 2ND PRELIMINARY REVIEW (EXPIRE)
3	01.21.2011 RE-ESSENTIAL (COMPLETE)
<b>PROJECT NO.:</b>	2009-0443-00
<b>FIRST OFFICIAL DIGNITARY DATE:</b>	NOVEMBER 8, 2010
<b>DRAWING NO.:</b>	A-5
SHEET 8 OF 10	

# NTD ARCHITECTURE

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KEYNOTE LIST	
R-12	ROOF FLASHING PROTECTION SHEETS - 03 81 16
R-25	ROOF DRAIN
R-27	ROOF OVERFLOW DRAIN
R-38	WALL UNIT
R-39	REFRESHING COMPONENT - 05 81 00
R-11	SCREENING PANEL - 03 81 15
R-12	ROOF VENT



MECHANICAL SCREEN WALL  
SCALE: 1" = 1'-0"

SD ROOF AT STAIR  
SCALE: 3/16" = 1'-0"

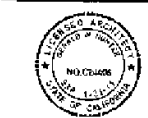
**ROOF AREA TABULATION:**

UPPER ROOF AREA:	7,333 SF
SECOND FLOOR ROOF AREA:	641.5 SF
STAIR ROOF AREA:	190 SF
<b>7,333 x 33% = 2,429 SF</b>	
<b>2,429 SF = 150 SF</b>	

- ALL ROOF COVERINGS SHALL BE LISTED AS CLASS A
- ALL PVC SINGLE PLY ROOFS SHALL BE SLOPED. PREVENT TAPERED POLYURETHANE INSULATION BOARD ROOF SYSTEMS TO DIVERT WATER AND EQUIPMENT BASES OVER 4'-0" IN WIDTH. SLOPE OF GIRDERS SHALL BE 1/8" PER FOOT.
- ALL FLASHING SHALL BE MIN 24 GA CALVANIZED STEEL PAINTED TO MATCH THE UNDERLAYER SURFACE.
- INSTALL ALL ROOFING MATERIALS INCLUDING SUBSTRATE MATERIALS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS AND DETAILS. ADVISE THE ARCHITECT WHERE CONFLICTS OCCUR.
- SEE ROOF DRAIN AT THE LOW POINT OF THE ROOF AREA. REFER TO ROOF PLAN FOR LOCATION.
- SLOPE COVERED BY SLOPING STRUCTURAL STEEL. SEE AREAS FOR TAPERED INSULATION. TOP OF PARAPET, TOP OF DECK ELEVATIONS ARE FROM TOP OF FIRST FLOOR SLAB.
- OVERFLOW DRAIN SHALL BE LOCATED TWO FEET ABOVE THE LOW POINT OF THE ROOF. CONTRASTOR OPTION TO PROVIDE A WATERBARRIER WITH THE TOP SET TWO INCHES ABOVE ADJACENT ROOF SURFACE.
- NO AREA OF THE ROOF SHALL BE ALLOWED TO FOND, DAM OR RETAIN WATER.
- REFER TO THE ROOF PLAN FOR AREAS WITH OVERFLOW DRAIN. OVERFLOW DRAINERS SHALL BE SET WITH THE INLET FLOW HEIGHT LOCATED TOP HEIGHT AS THE LOW POINT OF THE ROOF SURFACE. THE SIZE OF THE OVERFLOW DRAINERS SHALL BE THREE TIMES THE SIZE OF THE ROOF DRAIN LEADER AND HAVE A MIN. HEAD OF FOUR FEET.
- OVERFLOW DRAIN LEADERS SHALL BE CONNECTED TO DRAIN LINES INDEPENDENT OF THE A ROOF DRAIN LEADERS AND SHALL DRAIN TO THE BUILDING EXTERIOR AT GRADE.
- ALL ROOF DRAIN AND OVERFLOW DRAINERS SHALL BE TESTED TO VERIFY DRAIN FLOW CAPACITY AND FLOW CHARACTERISTICS.
- ALL NEW EDGES OF ROOFING MATERIALS, CURBS, PARAPETS, EQUIPMENT, ETC., SHALL BE COVERED WITH SHEET METAL FLASHING, RIBLET OR WEA-THERPROOF CORNER, TYPICAL.
- ALL SHEET METAL COVERED, EXPOSED TO WEATHER, EQUIPMENT BASES, HOLEY KEEPING IN PLACE OR EQUIPMENT HOUSING SHALL DRIP AND DRAIN TO ADJACENT ROOF SURFACES, TYPICAL.

**NOTE:**  
ALL ELEVATIONS ARE BASED ON THE FINISHED FLOOR OF 127'-0".  
SEE DRAWING LEGEND FOR WALL BUILDING HEIGHT ANALYSIS ON SHEET A-2

	ROOF MATERIALS: REFER TO ROOF MANUFACTURER'S REQUIREMENTS FOR INSTALLATION INFORMATION		FLASHING
	DIRECTION OF ROOF SLOPE		T.O.D. TOP OF DECK
	ROOF AND OVERFLOW DRAIN		T.O.P. TOP OF PARAPET
	AREA OF ROOF USING TAPERED INSULATION TO SLOPE AT THE P.L.F. TO ROOF SKIM		T.O.W. TOP OF WALL
			T.O.U. TOP OF MECHANICAL UNIT



**DESIGN REVIEW PLANS**

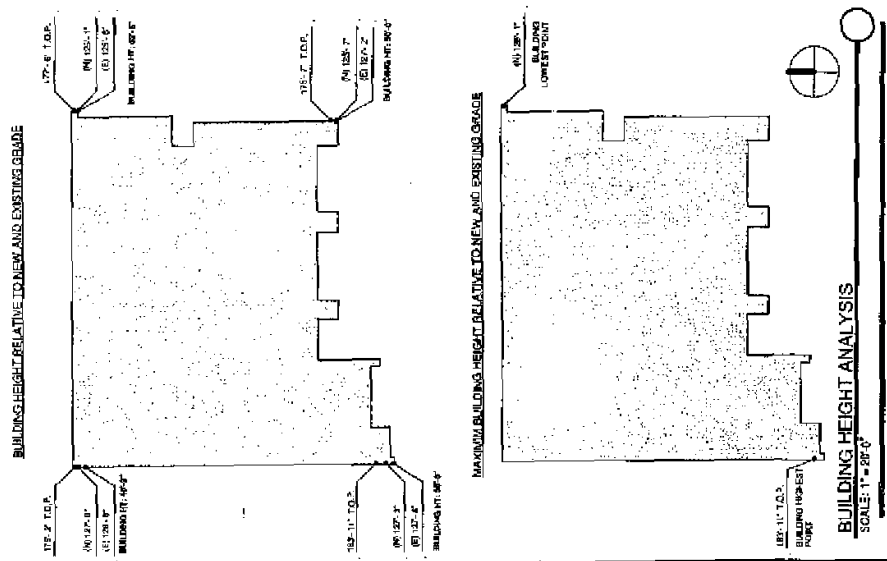
<b>SHEET INDEX:</b>	<b>OWNER:</b> SAN YSIDRO HEALTH CENTER (1201 WEST STREET) SAN DIEGO, CALIF 92114 (619) 524-1100
C-1 TOPOGRAPHIC BASE MAP	C-2 DETAIL SHEET
C-3 2ND FLOOR UTILITY PLAN	C-4 FLOOR IMPROVEMENT PLAN
<b>PROJECTIONS:</b>	<b>ADDRESS PARCEL NO.:</b> 0208080-09 554542-09
A-0 COVER SHEET	<b>PREPARED BY:</b> NTD ARCHITECTURE
A-1 SITE UTILIZATION PLAN	<b>DESIGNED BY:</b> NTD ARCHITECTURE
A-2 ACCESSIBILITY AND FIRE ADDRESS PLAN	<b>PROJECT ADDRESS:</b> EUCLID FAMILY HEALTH CENTER 654 AND 1050 SOUTH EUCLID AVENUE SAN DIEGO, CA 92114
A-3 FIRST FLOOR PLAN	
A-4 SECOND FLOOR PLAN	
A-5 THIRD FLOOR PLAN	
A-6 ROOF PLAN	
A-7 SITE SECTIONS/ENVIRONMENTAL DATA	
A-8 SECTION ELEVATIONS	
A-9 EXTERIOR ELEVATIONS	
A-10 OFF-SITE PLANS (BASED ON SHEET A-1)	
<b>LANDSCAPE:</b>	
L-1 EXISTING TREE PLAN	
L-2 LANDSCAPE DEVELOPMENT PLAN	
<b>PICTORIAL:</b>	
P-1 SITE PICTORIAL PLAN	

**PROJECT:** SAN YSIDRO HEALTH CENTER  
**EUCLID FAMILY HEALTH CENTER**

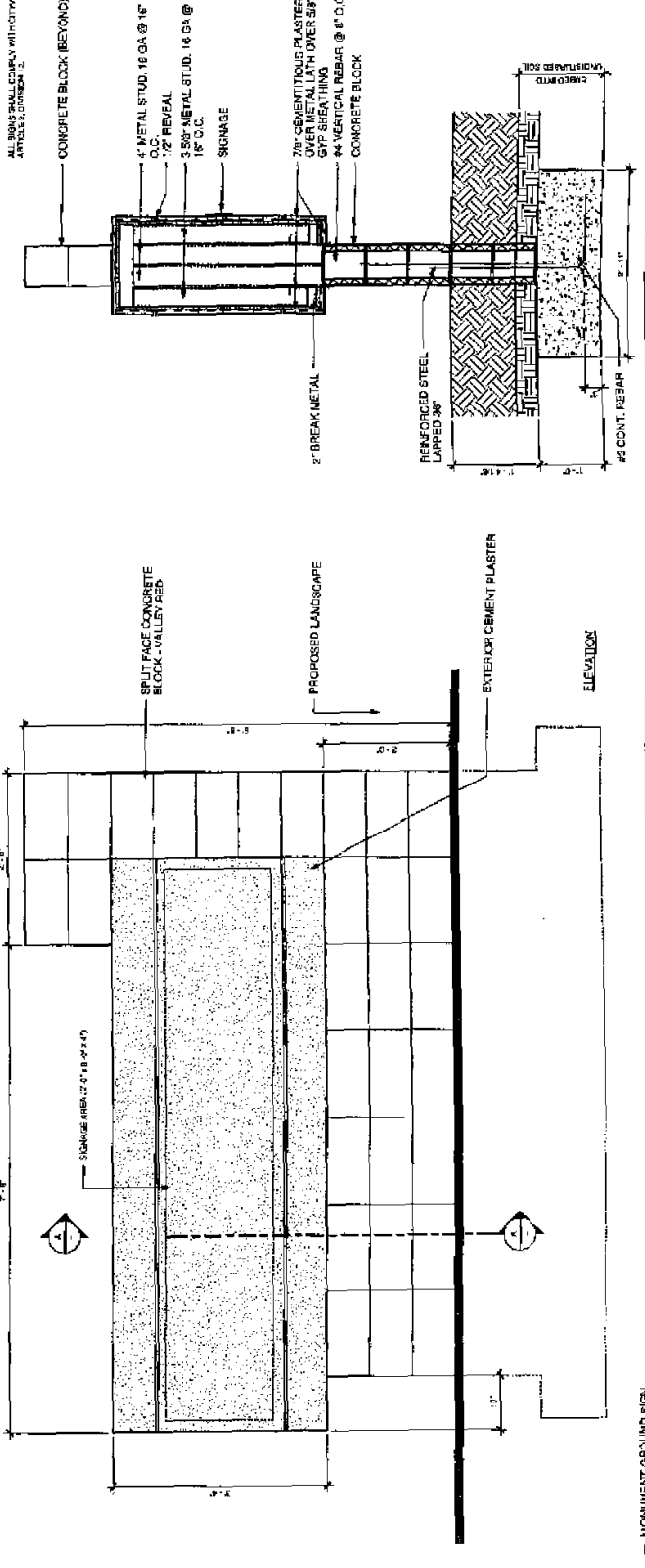
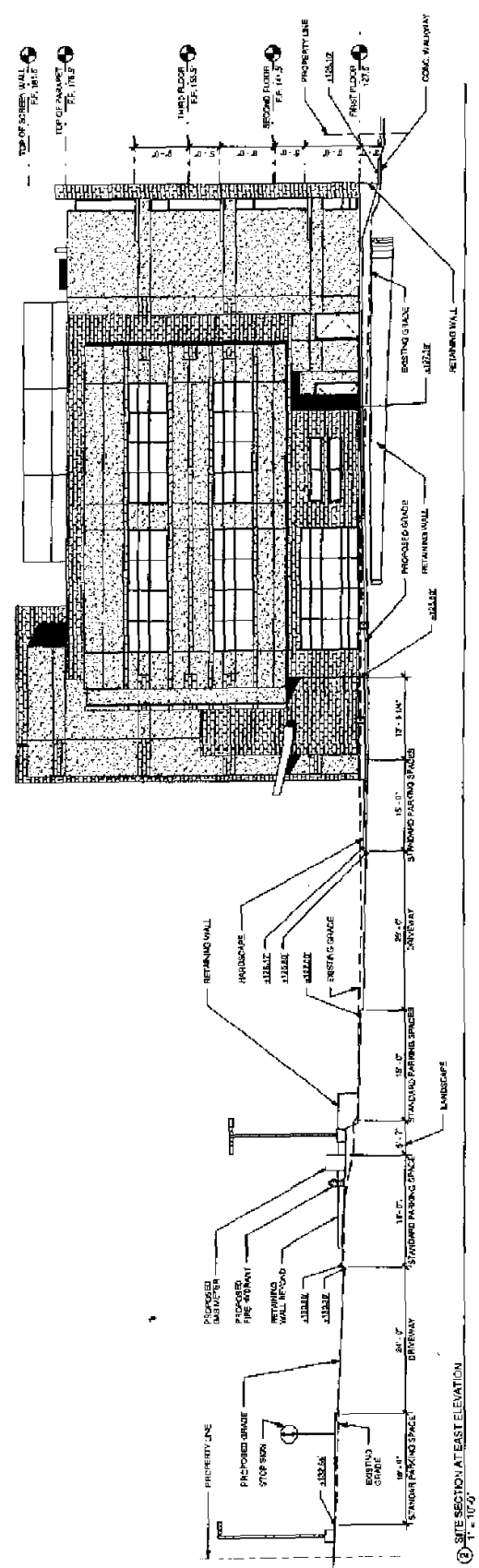
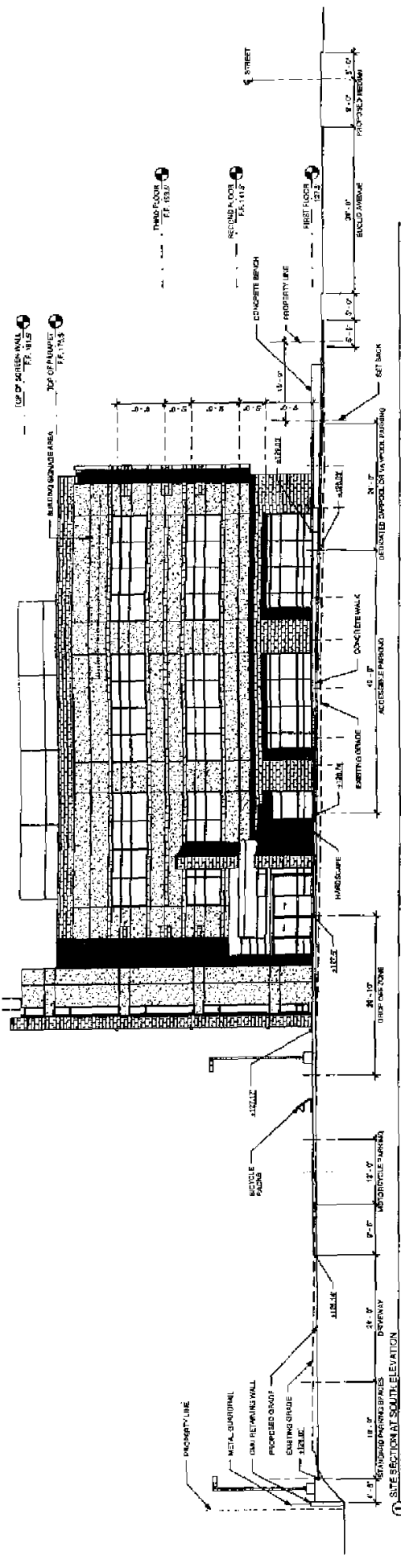
**DRAWING TITLE:** ROOF PLAN

<b>NO.</b>	<b>REVISION</b>	<b>ISSUE</b>	<b>PROJECT NO.</b>	2009-0443-00
1	2/11/10	ADMINISTRATIVE REVIEW	<b>FIRST OFFICIAL SUBMITTAL DATE:</b>	DECEMBER 8, 2009
2	8/20/2009	PROFESSIONAL REVIEW (EXCLUSIVE)	<b>DRAWING NO.</b>	A-6
3	11/22/2011	RE-SUBMITTAL (EXPIRED)		

SHEET 14 OF 14



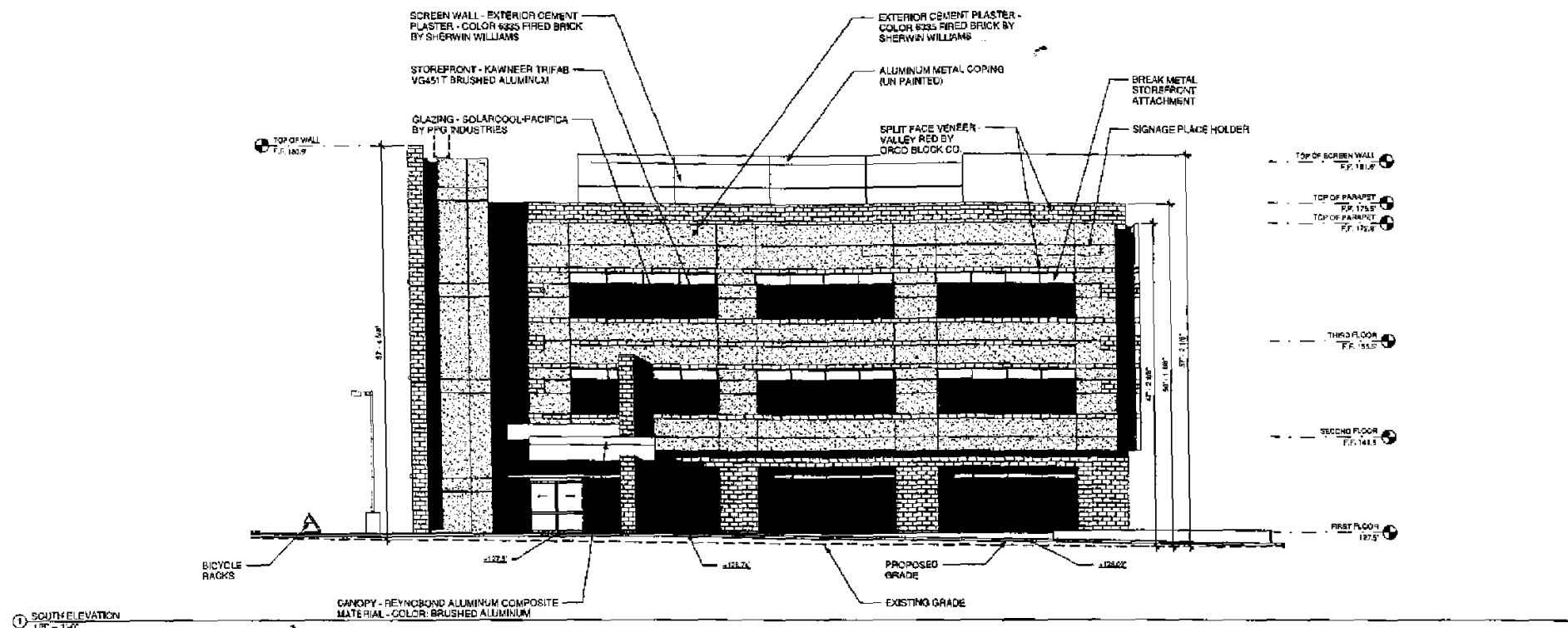
DESIGN REVIEW PLANS		PROJECT	
DATE	1/27/2005	PROJECT NO.	2005-045-00
BY	ATFD	PERIOD OF REVIEW	1/27/2005
CHECKED BY	ATFD	SUBMITTAL DATE	1/27/2005
APPROVED BY	ATFD	COMPILED BY	ATFD
PROJECT NAME	SAN YSIDRO HEALTH CENTER	PROJECT ADDRESS	2000 UNIVERSITY AVENUE, SAN DIEGO, CA 92101
PROJECT ADDRESS	2000 UNIVERSITY AVENUE, SAN DIEGO, CA 92101	PROJECT NUMBER	2005-045-00
PROJECT NUMBER	2005-045-00	PROJECT TYPE	HEALTH CENTER
PROJECT TYPE	HEALTH CENTER	SHEET NO.	A-7
PROJECT OWNER	SAN YSIDRO HEALTH CENTER	SHEET TOTAL	14



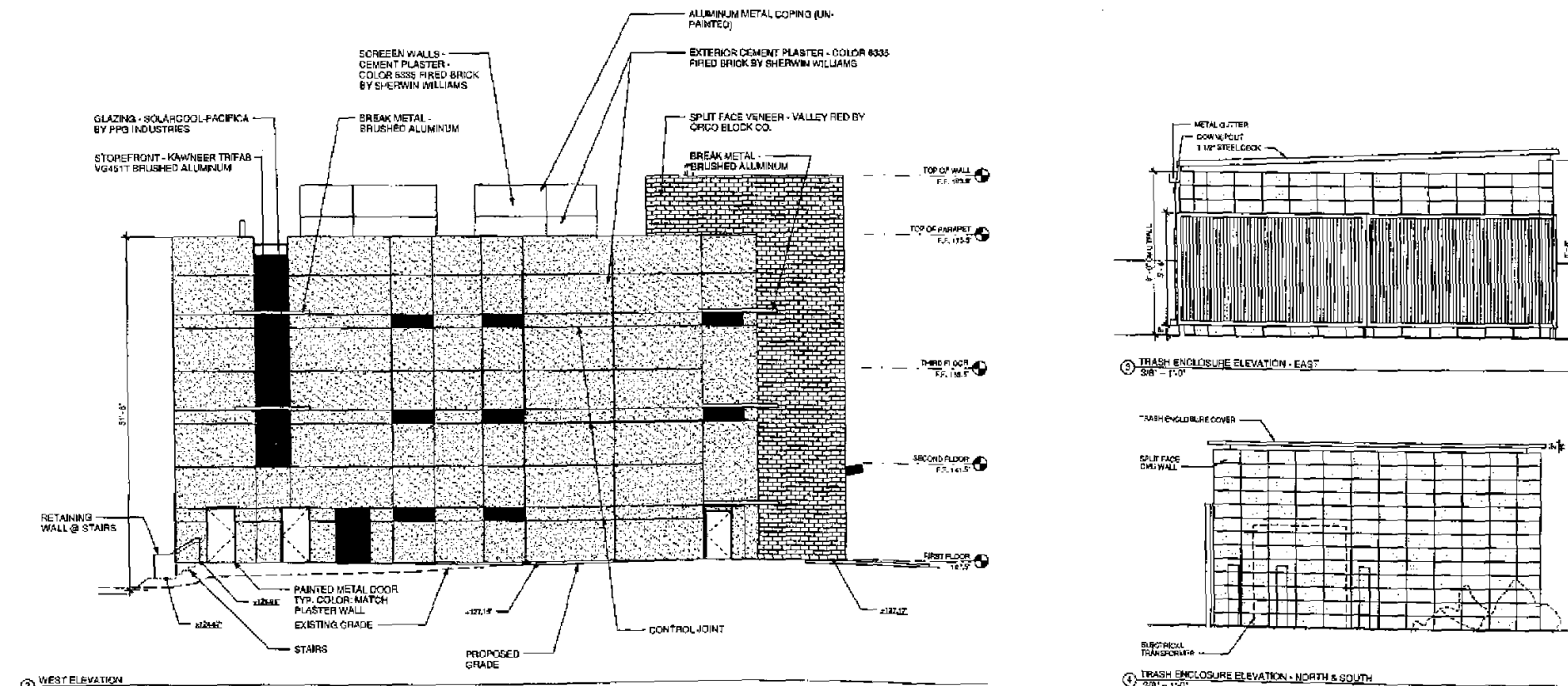
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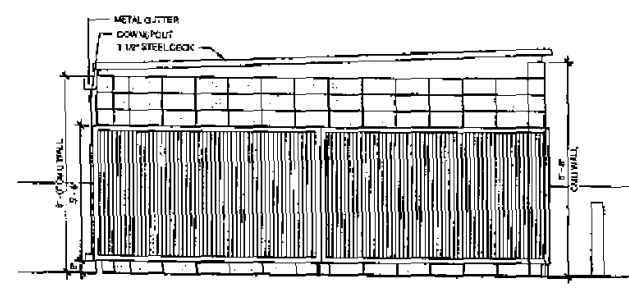
NOTE:  
ALL WORKS SHALL COMPLY WITH CITY DESIGN REGULATIONS IN CODE CHAPTER 14, ARTICLE 6, DIMENSION 12.



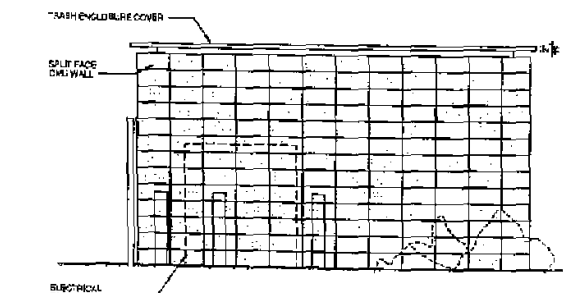
1 SOUTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"



3 TRASH ENCLOSURE ELEVATION - EAST  
3/8" = 1'-0"



4 TRASH ENCLOSURE ELEVATION - NORTH & SOUTH  
3/8" = 1'-0"

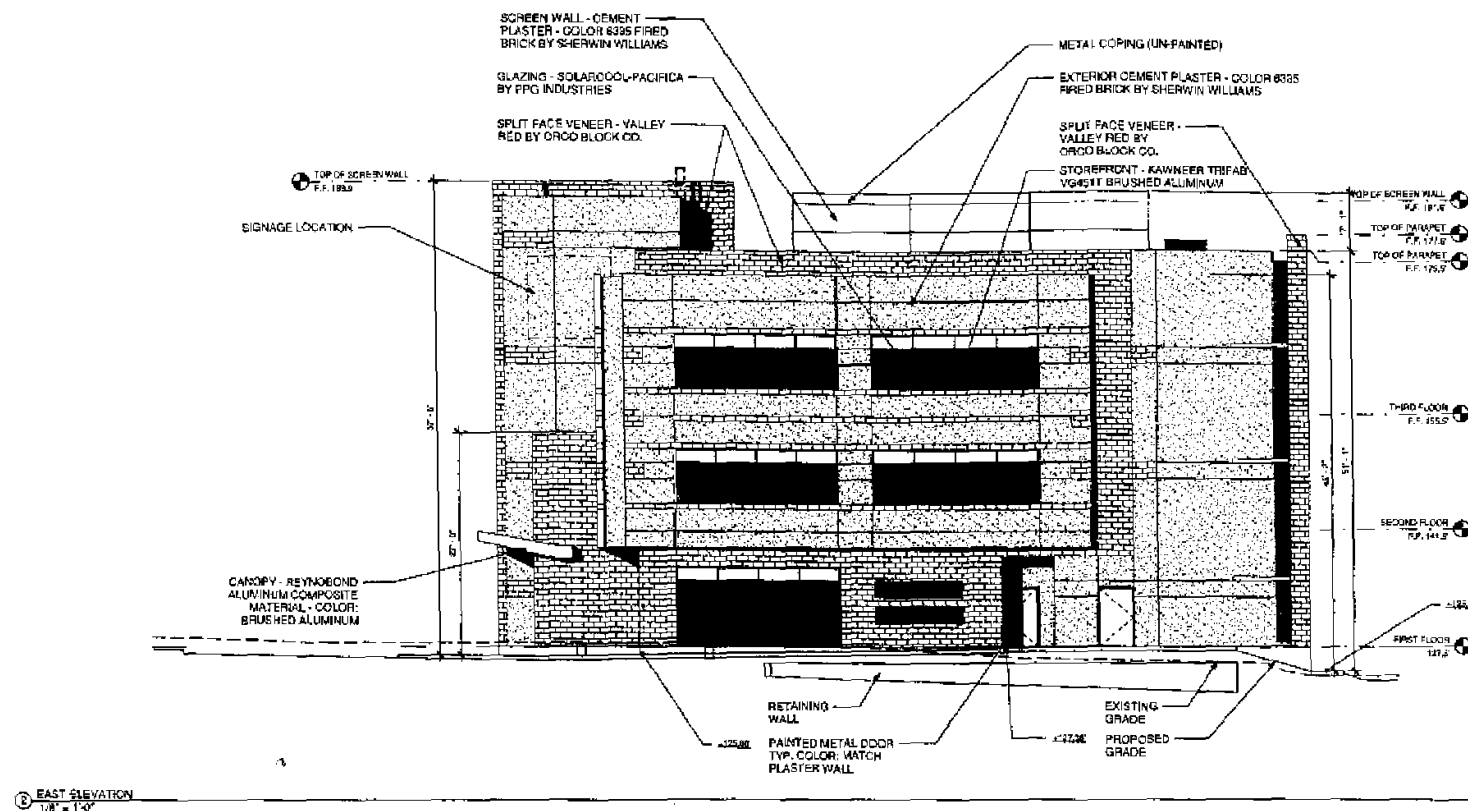


DESIGN REVIEW PLANS	
<b>SHEET INDEX</b>	<b>OWNER:</b> SAN YSIDRO HEALTH CENTER 1725 NORTH STREET SAN DIEGO, CA 92114 (619) 594-4100
D1 TOPOGRAHY/BASE MAP	
D2 METEOROLOGICAL	
D3 OFF-RAMP UTILITY PLAN	
D4 PUBLIC IMPROVEMENT PLAN	
<b>ARCHITECTURAL</b>	<b>ASSessor'S PARCEL NO.:</b> 122-100-0000 98-160-01-00
A0 COVER SHEET	<b>PREPARED BY:</b> NTD ARCHITECTURE 8855 GRANITE RIDGE DRIVE, SUITE 400 SAN DIEGO, CA 92128 (619) 551-8400
A1 SITE UTILIZATION PLAN	
A2 ACCESSIBILITY AND FIRE ACCESS PLAN	
A3 FIRST FLOOR PLAN	
A4 SECOND FLOOR PLAN	
A5 THIRD FLOOR PLAN	
A6 ROOF PLAN	
A7 SITE SECTION/MACHINENTAL DIAG	<b>PROJECT ADDRESS:</b> EUCLED FAMILV HEALTH CENTER 580 AND 1080 SOUTH EUCLED AVENUE SAN DIEGO, CA 92114
A8 EXTERIOR ELEVATIONS	
A9 SETTING PLANS (EAST ELEVATION)	
<b>LANDSCAPE</b>	
L1 EXISTING TREE PLAN	
L2 LANDSCAPE DEVELOPMENT PLAN	
<b>ELECTRICAL</b>	
E1 ONE PHOTOMETRIC PLAN	
<b>PROJECT:</b> SAN YSIDRO HEALTH CENTER EUCLED FAMILV HEALTH CENTER	
<b>DRAWING TITLE:</b> EXTERIOR ELEVATIONS	
<b>NO. REVISION</b>	<b>DATE</b>
1	6.11.2010 PRELIMINARY REVIEW
2	5.09.2011 2ND PRELIMINARY REVIEW (REVISIONS)
3	2.14.2011 RE-SUBMITTAL (EXPANDED)
<b>PROJECT NO.:</b> 2006-0443-00	
<b>FIRST OFFICIAL:</b> DECEMBER 8, 2010	
<b>2ND OFFICIAL DATE:</b> DRAWING NO.	
<b>A-8</b>	
SHEET 12 OF 14	

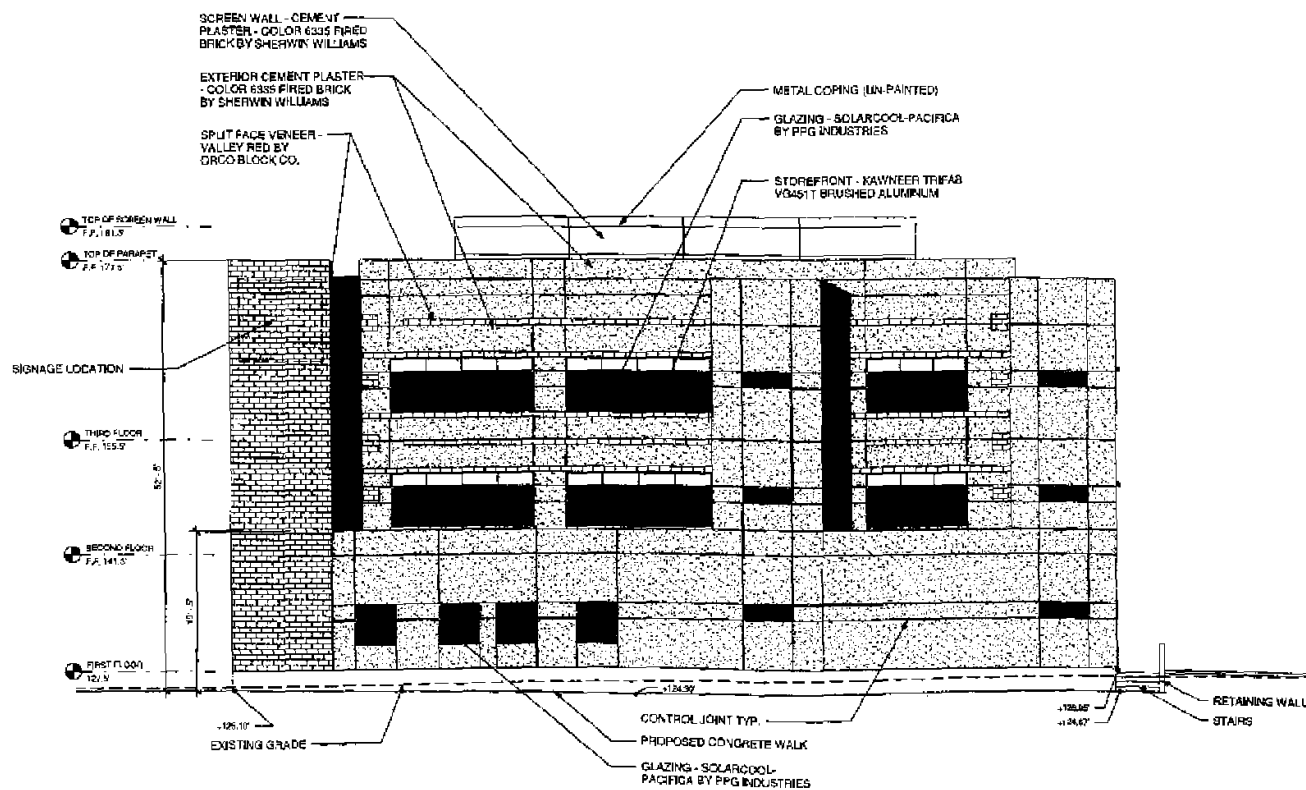


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NOTE:  
ALL WORK SHALL COMPLY WITH CITY/STATE REGULATIONS IN SECTION 14, ARTICLE 2, DIVISION 12.



② EAST ELEVATION  
1/8" = 1'-0"



① NORTH ELEVATION  
1/8" = 1'-0"



**DESIGN REVIEW PLANS**

**PROJECT INFO:**  
**CLIENT:** SAN YSIDRO HEALTH CENTER  
 1475 30TH STREET  
 SAN DIEGO, CA 92104  
 (619) 592-4100  
**PROJECT ADDRESS:**  
 185 AND 1860 SOUTH EUCLID AVENUE  
 SAN DIEGO, CA 92114

**PREPARED BY:**  
 NTD ARCHITECTURE  
 1850 DIMITRIE DRIVE, SUITE 400  
 SAN DIEGO, CA 92108  
 (619) 595-4410 F: (619) 595-3000

**PROJECT ADDRESS:**  
 185 AND 1860 SOUTH EUCLID AVENUE  
 SAN DIEGO, CA 92114

**ARCHITECTURAL:**  
 A-0 COVER SHEET  
 A-1 SITE LOCATION PLAN  
 A-2 ACCESSIBILITY AND FIRE ACCESS PLAN  
 A-3 FIRST FLOOR PLAN  
 A-4 SECOND FLOOR PLAN  
 A-5 THIRD FLOOR PLAN  
 A-6 ROOF PLAN  
 A-7 SITE SECTION/MECHANICAL SIGN  
 A-8 EXTERIOR ELEVATIONS  
 A-9 EXTERIOR ELEVATIONS  
 A-10 CONCEPT PLANS (EAST ELEVATION)

**LANDSCAPE:**  
 L-1 EXISTING TREE PLAN  
 L-2 LANDSCAPE DEVELOPMENT PLAN

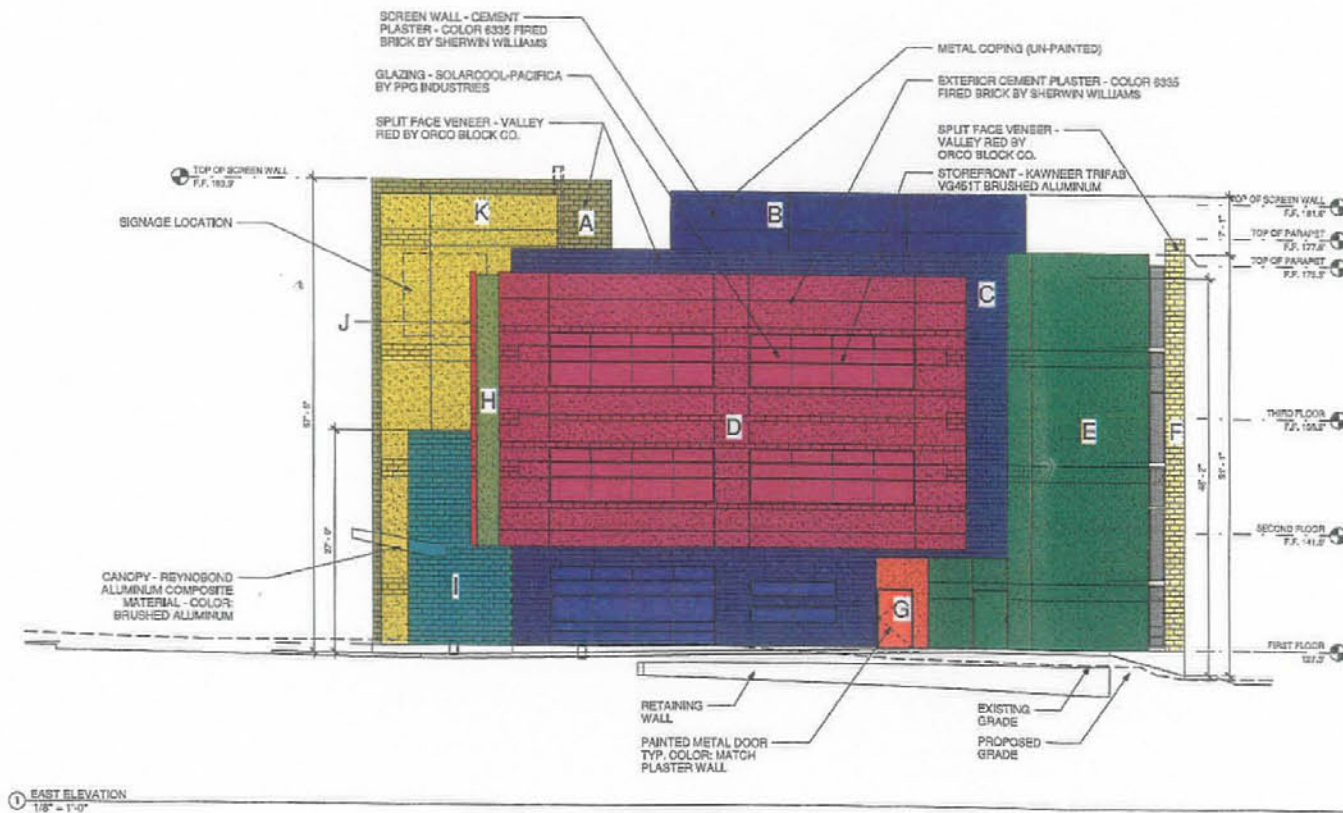
**ELECTRICAL:**  
 E-1 SITE PHOTO/METRIC PLAN

**PROJECT:** SAN YSIDRO HEALTH CENTER  
 EUCLID FAMILY HEALTH CENTER

**DRAWING TITLE:** EXTERIOR ELEVATIONS

NO.	REVISION	DATE	PROJECT NO.
1	6.11.2010	PRELIMINARY REVIEW	2009-0443-00
2	04.08.2011	SUB PRELIMINARY REVIEW (REVISED)	FIRST OFFICIAL SUBMITTAL DATE: DECEMBER 8, 2010
3	07.02.2011	FINAL (REVISED)	DRAWING NO.

**A-9**



EAST ELEVATION OFFSETTING PLANES CALCULATIONS

	AREA (SQUARE FEET)	PERCENTAGE
A	168.00	3.87%
B	260.00	4.82%
C	1,350.00	20.80%
D	1,300.00	25.26%
E	1,070.00	21.26%
F	117.00	2.77%
G	67.00	2.02%
H	85.00	1.59%
I	100.00	1.94%
J	27.00	0.42%
K	314.00	5.02%
TOTAL PLUMB AREA	8,170.00	100%

OFFSETTING PLANE CALCULATIONS

1 EAST ELEVATION  
1/8" = 1'-0"



DESIGN REVIEW PLANS

DIST NO.:	OWNER:
ASB:	SAN YSIDRO HEALTH CENTER
D-1:	1425 NORTH STREET
D-2:	SAN DIEGO, CA 92104
D-3:	(619) 584-1100
D-4:	ASSEMBLY PARCEL NO.
	SD-049-09-00
	158-19-01-00
PREPARED BY:	PROJECT ADDRESS:
A-0: COVER SHEET	NTD ARCHITECTURE
A-1: SITE LOCATION PLAN	2500 SHARPE STREET DRIVE, SUITE 100
A-2: ACCESSIBILITY AND FIRE ACCESS PLAN	SAN DIEGO, CA 92108
A-3: FIRST FLOOR PLAN	(619) 584-1100
A-4: SECOND FLOOR PLAN	
A-5: THIRD FLOOR PLAN	
A-6: ROOF PLAN	
A-7: SITE SECTIONED ENVIRONMENTAL VIEW	
A-8: EXTERIOR ELEVATIONS	
A-9: EXTERIOR ELEVATIONS	
A-10: OFFSETTING PLANES EAST ELEVATION	
LANDSCAPE:	
L-1: EXISTING TREE PLAN	
L-2: LANDSCAPE DEVELOPMENT PLAN	
ELECTRICAL:	
E-1: SITE PHOTOMETRIC PLAN	

PROJECT  
SAN YSIDRO HEALTH CENTER  
EUCLID FAMILY HEALTH CENTER

DRAWING TITLE  
OFFSETTING PLANES - BUILDING  
ARTICULATION

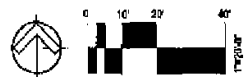
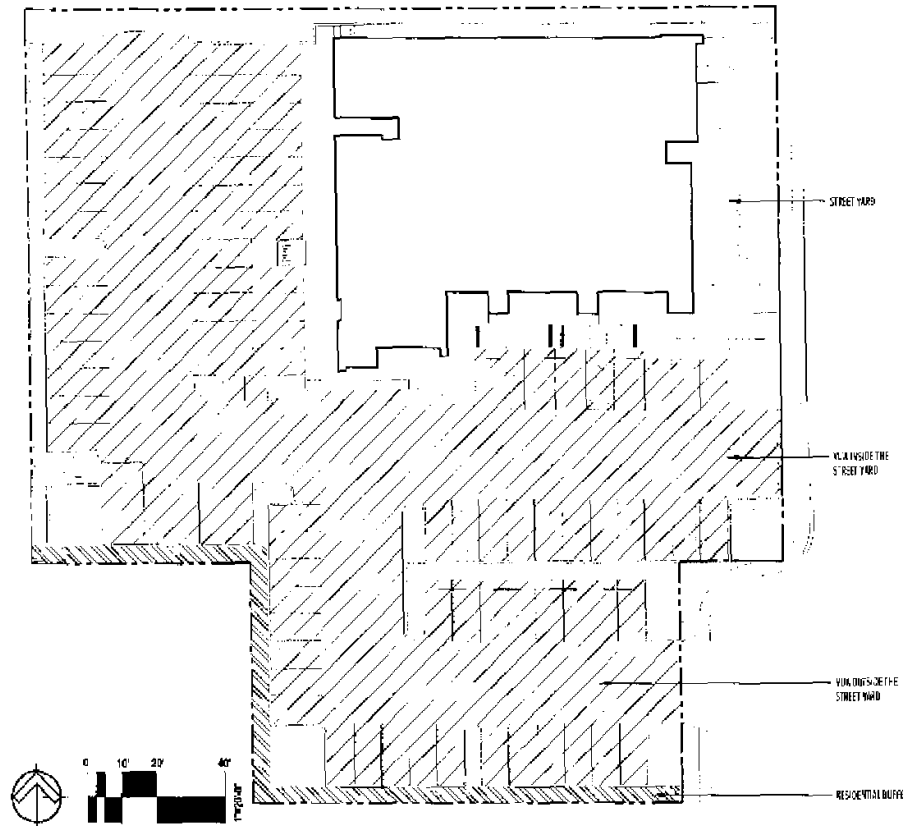
REV.	REVISION	ISSUE	PROJECT NO.
1	8.11.2010	PRELIMINARY REVIEW	2009-0443-00
2	5.03.2010	2ND PRELIMINARY REVIEW (SFF/SETT)	FIRST OFFICIAL SUBMITTAL DATE
3	01.20.2011	FINAL (SFF/SETT)	DECEMBER 8, 2010

DRAWING NO.  
A-10



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LANDSCAPE CALCULATIONS DIAGRAM



LANDSCAPE CALCULATIONS

City of San Diego  
Development Services  
1225 East San Marcos  
San Diego, CA 92108-1454  
619.444.2000

**Landscape Calculations Worksheet**  
Industrial Development in RM and C Zones  
Commercial Development in All Zones

Provide the following information on the Landscape Plan. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

**STREET FRONT**

Industrial and Commercial Development (except Auto Service Stations, see below):

Planting Area Required (1:42.000)	Planting Area Provided	Excess Area Provided
Total Area: 4,000 sq. ft. x 0.024 = 96 sq. ft.	1,776 sq. ft.	774 sq. ft.

Planting Points Required (1:42.000)	Plant Points Provided - To be installed with trees only	Excess Points Provided
Total Area: 4,000 sq. ft. x 0.024 = 96 points	258 points	162 points

Auto Service Stations Only:

Planting Area Required (1:42.000)	Planting Area Provided	Excess Area Provided
Total Area: 0 sq. ft. x 0.024 = 0 sq. ft.	0 sq. ft.	0 sq. ft.

Plant Points Required (1:42.000)	Plant Points Provided	Excess Points Provided
Total Area: 0 sq. ft. x 0.024 = 0 points	0 points	0 points

Note: As required, Street Front planting areas located outside the Vehicular Use Area (VUA) include for auto service stations may consist of landscape or unshaded and paved, including the minimum area required for trees, (1:42.000)(1)

**REMAINING YARD**

Planting Area Required (1:42.000)	Planting Area Provided	Excess Area Provided
Total Area: 0 sq. ft. x 0.024 = 0 sq. ft.	0 sq. ft.	0 sq. ft.

Plant Points Required (1:42.000)	Plant Points Provided	Excess Points Provided
Total Area: 0 sq. ft. x 0.024 = 0 points	0 points	0 points

Note: As required, Street Front planting areas located outside the Vehicular Use Area (VUA) include for auto service stations may consist of landscape or unshaded and paved, including the minimum area required for trees, (1:42.000)(1)

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Page 2 of 3  
City of San Diego - Development Services Department - Industrial Development in RM and C - Commercial Development in All Zones

**ADDITIONAL YARD REQUIREMENTS FOR PROJECTS SUBMITTED IN RESIDENTIAL ZONES**

Planting Area Buffer (Minimum Buffer)	Buffer Area Provided	Excess Area Provided
Length of Property and Buffer: 1,200 sq. ft. x 0.024 = 288 sq. ft.	1,200 sq. ft.	912 sq. ft.

Plant Points Required (Minimum Buffer)	Plant Points Provided	Excess Points Provided
Total Area: 1,200 sq. ft. x 0.024 = 288 points	400 points	112 points

City of San Diego  
Development Services  
1225 East San Marcos  
San Diego, CA 92108-1454  
619.444.2000

**Landscape Calculations Worksheet**  
Vehicular Use Area (VUA)

Provide the following information on the Landscape Plan. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

City of San Diego: 24 inch tree (1/4") is required within 30 ft. of each parking space. (If palm trees are used, use palm (minimum 8 ft. trunk) (1/4") height) to be installed within 15 ft. of each parking space.

**VEHICULAR USE AREA (VUA) (1:42.000) (1:42.000) (1:42.000)**

Planting Area Required: provide 40 sq. ft. per 1,000 sq. ft. of VUA (1:42.000)	Plant Points Provided	Excess Points Provided
Total Area: 0 sq. ft. x 0.024 = 0 sq. ft.	0 points	0 points

Planting Area Provided: 0 sq. ft.

Plant Points Provided: 0 points

**VEHICULAR USE AREA (VUA) (1:42.000) (1:42.000) (1:42.000)**

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA Inside Street Front: 0.000 sq. ft. x 0.024 = 0 sq. ft.	0 sq. ft.	0 sq. ft.
VUA Outside Street Front: 0.000 sq. ft. x 0.024 = 0 sq. ft.	0 sq. ft.	0 sq. ft.

Planting Area Provided: 0 sq. ft.

Plant Points Provided: 0 points

**VEHICULAR USE AREA (VUA) (1:42.000) (1:42.000) (1:42.000)**

Required Planting Area	Planting Area Provided	Excess Area Provided
VUA Inside Street Front: 0.000 sq. ft. x 0.024 = 0 sq. ft.	0 sq. ft.	0 sq. ft.
VUA Outside Street Front: 0.000 sq. ft. x 0.024 = 0 sq. ft.	0 sq. ft.	0 sq. ft.

Planting Area Provided: 0 sq. ft.

Plant Points Provided: 0 points

**TEMPORARY VEHICULAR USE AREA (1:42.000)**

Required Planting Area	Planting Area Provided	Excess Area Provided
Length of Property: 0 sq. ft. x 0.024 = 0 sq. ft.	0 sq. ft.	0 sq. ft.

Planting Area Provided: 0 sq. ft.

Plant Points Provided: 0 points

Note: As required, Street Front planting areas located outside the Vehicular Use Area (VUA) include for auto service stations may consist of landscape or unshaded and paved, including the minimum area required for trees, (1:42.000)(1)

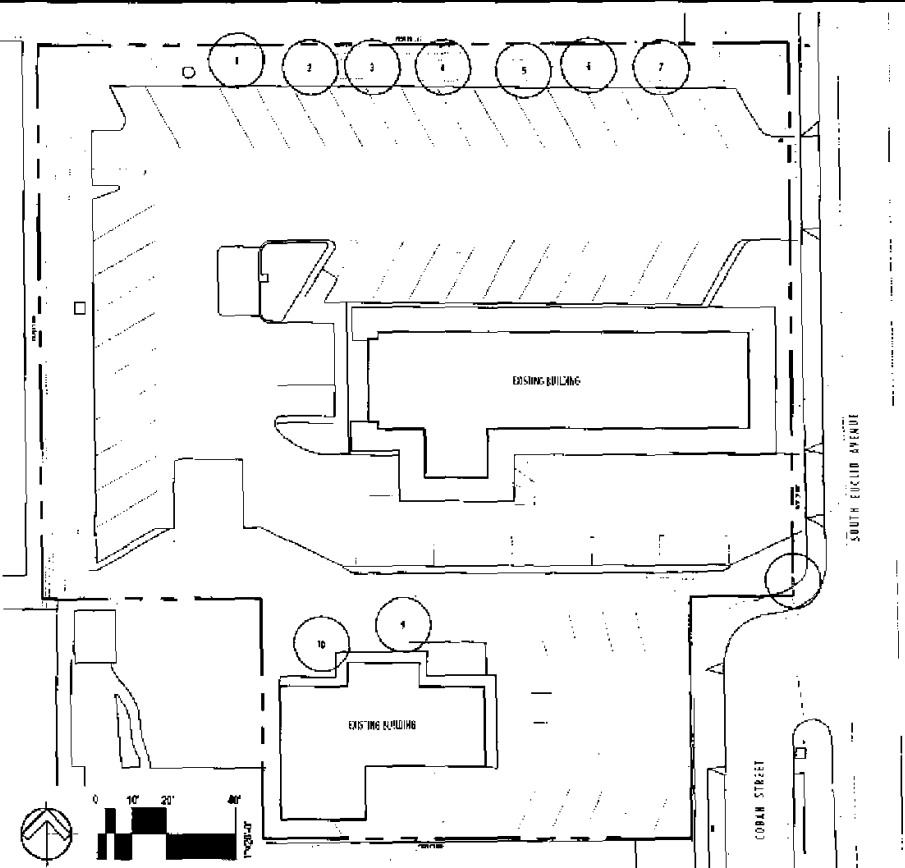
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Page 2 of 3  
City of San Diego - Development Services Department - Industrial Development in RM and C - Commercial Development in All Zones

Remaining Yard  
VIA HEIGHTS STREET FRONT: 118 sq. ft.  
STREET TREES REQUIRED: 4  
STREET TREES PROVIDED: 4

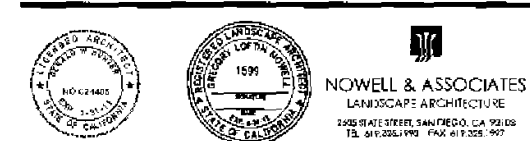
Street Trees  
TOTAL LENGTH: 118 ft.  
STREET TREES REQUIRED: 4  
STREET TREES PROVIDED: 4

EXISTING TREE PLAN



EXISTING TREE LEGEND

Number	Type	Caliper	Height	Width	Fate
1	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	18"	12'	10'	REMOVE
2	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	14"	15'	10'	REMOVE
3	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	12"	15'	15'	REMOVE
4	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	9"	12'	15'	REMOVE
5	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	14"	15'	10'	REMOVE
6	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	9"	15'	10'	REMOVE
7	CALLISTEMON VIMINALIS (BOTTLEBRUSH)	16"	11'	10'	REMOVE
8	WASHINGTONIA ROBINSONII (MEXICAN FAN PALM)	18"	22'	10'	REMOVE
9	WAS. ROBINSONII (MEXICAN FAN PALM)	18"	15'	10'	REMOVE
10	DOUGLASSIA BIPINNATA (CHINESE FAN PALM)	8"	15'	12'	REMOVE



**DESIGN REVIEW PLANS**

**SHEET INDEX**

C-1 TOPOGRAPHIC BASE MAP	C-2 DETAIL SHEET	C-3 DRAINAGE/UTILITY PLAN	C-4 PUBLIC IMPROVEMENT PLAN
<b>ARCHITECTURAL</b>			
A-0 COVER SHEET	A-1 SITE UTILIZATION PLAN	A-2 ACCESSIBILITY AND FIRE ACCESS PLAN	A-3 FIRST FLOOR PLAN
A-4 SECOND FLOOR PLAN	A-5 THIRD FLOOR PLAN	A-6 ROOF PLAN	A-7 SITE SECTIONS/MONUMENTAL, SIGN
A-8 EXTERIOR ELEVATIONS	A-9 INTERIOR ELEVATIONS	A-10 OFF-SITING PLAN (EARTH ELEVATIONS)	
<b>LANDSCAPE</b>			
L-1 EXISTING TREE PLAN	L-2 LANDSCAPE DEVELOPMENT PLAN	<b>ELECTRICAL</b>	
E-1 SITE PHOTOGRAPH PLAN			

**CITY:** SAN YSIDRO HEALTH CENTER  
1501 SOUTH STREET  
SAN DIEGO, CA 92104  
(619) 592-4100

**ASSISTING PARCEL NO.:** 522-060-05-07  
522-190-21-00

**PREPARED BY:** NTD ARCHITECTURE  
9556 GRANITE HEDGE DRIVE, SUITE 400  
SAN DIEGO, CA 92123  
(619) 709-1440 F: (619) 594-9433

**PROJECT ADDRESS:** EUCLID FAMILY HEALTH CENTER  
450 AND 100 SOUTH EUCLID AVENUE  
SAN DIEGO, CA 92114

**PROJECT:** SAN YSIDRO HEALTH CENTER  
EUCLID FAMILY HEALTH CENTER

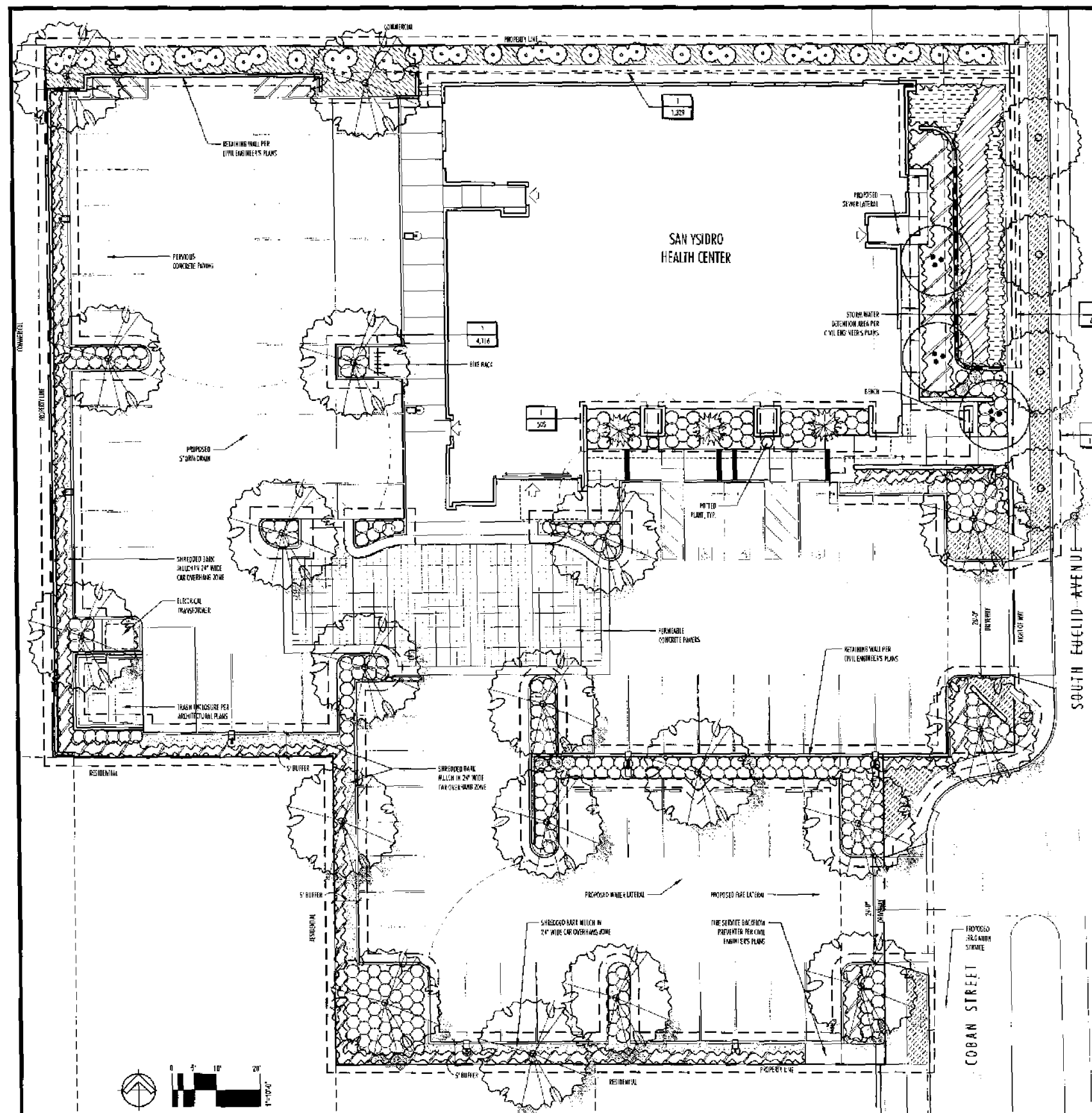
**DRAWING TITLE:** EXISTING TREE PLAN & LANDSCAPE CALCULATIONS

NO.	REVISION	ISSUED	PROJECT NO.	2008-0443-03
1	6.11.2010	PRELIMINARY REVIEW	FIRST SUBMITTAL DATE	DECEMBER 8, 2010
2	8.02.2010	NO PRELIMINARY REVIEW (EXPEDITED)	DRAWING NO.	L-1
3	12.2011	REVISIONS REQUESTED		

SHEET 14 OF 18



1665 Grand Ridge Drive, Suite 400  
San Diego, California 92108  
619-495-1300  
www.ntd.com



**PLANTING LEGEND**

- Street Tree in Public Right of Way:**  
NATIVE SPECIES: 30-40' TALL X 15-20" WIDE, ROUND CANOPY  
(CITY: 4134' BOX SIZE, SUCH AS:  
PARALIS MARINA (MORNA PADDLING)  
FRAXINUS COCCINIFERA (RED)  
QUERCUS ILEX (HOLLY OAK)
- Broad Headed Canopy Shade Tree:**  
NATIVE SPECIES: 30-40' TALL X 20-40" WIDE, ROUND CANOPY  
(CITY: 4134' BOX SIZE, SUCH AS:  
PARALIS MARINA (MORNA PADDLING)  
FRAXINUS COCCINIFERA (RED)  
QUERCUS ILEX (HOLLY OAK)
- Small Flowering Accent Tree:**  
NATIVE SPECIES: 15-20' TALL X 12 X 25" WIDE, ROUND SPREADING  
(CITY: 30-40' BOX SIZE, SUCH AS:  
CASSIA LEPTOPHYLLA (SILVER BELLFLOWER)  
LACE GORTERONIA (LACE GORTERONIA)  
FABIANA IMPERIOSA (LIVE OAK TREE)
- Large Evergreen Screening Shrubs:**  
NATIVE SPECIES: 6-10' TALL X 2-4' WIDE, ROUND UPRIGHT  
(CITY: 30-40' BOX SIZE, SUCH AS:  
JARDINERIA (JARDINERIA)  
CAROLINA (CAROLINA)  
POTANONIA (POTANONIA)
- Evergreen Screening Hedge:**  
NATIVE SPECIES: 6-12' TALL X 4-6" WIDE, ROUND COLUMNAR  
(CITY: 30-40' BOX SIZE, SUCH AS:  
LAWSONIA (LAWSONIA)  
PUNICICUM (PUNICICUM)  
PRUNUS (PRUNUS)
- Medium Height Evergreen Shrub:**  
NATIVE SPECIES: 3-4' TALL X 4" WIDE, ROUND UPRIGHT  
(CITY: 30-40' BOX SIZE, SUCH AS:  
ABILETA (ABILETA)  
FALSTICH (FALSTICH)  
REYES (REYES)
- Foreground Evergreen Groundcovers & Grasses:**  
NATIVE SPECIES: 1-2' TALL X 4" WIDE, ROUND SPREADING  
(CITY: 30-40' BOX SIZE, SUCH AS:  
CAROLINA (CAROLINA)  
PUNICICUM (PUNICICUM)  
PRUNUS (PRUNUS)
- Evergreen Groundcover on Slopes:**  
NATIVE SPECIES: 1-2' TALL X 4" WIDE, ROUND SPREADING  
(CITY: 30-40' BOX SIZE, SUCH AS:  
CAROLINA (CAROLINA)  
PUNICICUM (PUNICICUM)  
PRUNUS (PRUNUS)
- Grasses and Grasslike Plants in Stormwater Detention Area:**  
NATIVE SPECIES: 2-4' TALL X 4" WIDE, ROUND SPREADING  
(CITY: 30-40' BOX SIZE, SUCH AS:  
LONCHOCARPUS (LONCHOCARPUS)  
LONCHOCARPUS (LONCHOCARPUS)
- Accent Plants with Unique Form:**  
NATIVE SPECIES: 4-10' TALL X 4" WIDE, ROUND SPREADING  
(CITY: 30-40' BOX SIZE, SUCH AS:  
ACACIA (ACACIA)  
ACACIA (ACACIA)

**HYDROZONE LEGEND\***

HYDROZONE	AREA IN SQUARE FEET	SP. FEET	W. GAL.
1	SHRUBS IRRIGATED WITH POP-UP SPRINKLER SYSTEMS	7,240 SQ FT	1086
2	SHRUBS IRRIGATED WITH POP-UP SPRINKLER SYSTEMS	---	0%
3	PODS IRRIGATED WITH BURIED DRAINAGE RISER	---	0%
4	SHRUBS IRRIGATED WITH BURIED DRAINAGE RISER	---	0%
5	TREES IRRIGATED WITH POINT SOURCE IRRIGATION	---	0%
<b>TOTAL:</b>		<b>7,240 SQ FT</b>	<b>1086</b>

\* FOR WATER BUDGET AND ESTIMATED TOTAL WATER USE CALCULATIONS, SEE ADDITIONAL SHEETS IN ADJACENT TITLE BLOCK PANEL.

**LANDSCAPE DESIGN STATEMENT**

THE LANDSCAPE DESIGN FOR THIS PROJECT IS INTENDED TO PROVIDE A STABLE, BEAUTIFUL, AND SUSTAINABLE SETTING FOR PATIENTS, FAMILY AND FRIENDS VISITING THE HEALTH CENTER. LANDSCAPE DESIGN ELEMENTS SUCH AS PLANTING AND PLACEMENT OF TREES AND PLANTS ARE USED TO PROVIDE SHADE, IMPROVE AIR QUALITY, AND PROVIDE A SENSE OF PLACE. PLANTING IS ALSO USED TO PROVIDE VISUAL SCREENING AND TO PROVIDE A SENSE OF PLACE. PLANTING IS ALSO USED TO PROVIDE VISUAL SCREENING AND TO PROVIDE A SENSE OF PLACE. PLANTING IS ALSO USED TO PROVIDE VISUAL SCREENING AND TO PROVIDE A SENSE OF PLACE.

**LANDSCAPE NOTES**

1. MINIMUM TREE SPACING FOR INSTALLED TREE SPACING: 20 FEET
2. ALL TREES SHALL BE PROVIDED WITH 40 SQUARE FEET FOOT COVER AND PLANTED IN AN AREA WITH PERVIOUS CONCRETE FINISHES
3. ALL TREES SHALL BE PROVIDED WITH 40 SQUARE FEET FOOT COVER AND PLANTED IN AN AREA WITH PERVIOUS CONCRETE FINISHES
4. ALL LANDSCAPE AND IRRIGATION SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ANY CITY LANDSCAPE REGULATIONS, JANUARY 2010, AND ANY OTHER APPLICABLE REGULATIONS RELATED TO CITY AND REGIONAL STANDARDS.
5. ALL IRRIGATED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF WEEDS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION.
6. TREES SHALL BE MAINTAINED SO THAT ALL BRANCHES OVER HORIZONTAL WALKWAYS ARE 8 FEET ABOVE THE WALKING GRADE AND SO ALL BRANCHES OVER VERTICAL TRAVELWAYS ARE 14 FEET ABOVE THE GRADE OF THE TRAVELWAY.
7. ALL IRRIGATED, MAINTAINED OR CROPPED AREAS THAT WILL NOT BE PERMANENTLY PLANT OR COVERED BY STRUCTURES SHALL BE WATERED AND IRRIGATED.
8. ALL SITE AREAS OR AREAS SHALL BE MAINTAINED WITH SLOPE GRASS (SLOPE GRASS) OR MAINTAINED BY THE OWNER (SLOPE GRASS) OR MAINTAINED BY THE OWNER (SLOPE GRASS).
9. ALL LANDSCAPE AREAS SHALL BE MAINTAINED WITH SLOPE GRASS (SLOPE GRASS) OR MAINTAINED BY THE OWNER (SLOPE GRASS) OR MAINTAINED BY THE OWNER (SLOPE GRASS).

**REVISIONS**

NO.	DATE	DESCRIPTION
1	11/12/10	PRELIMINARY REVIEW
2	08/20/10	FINAL REVIEW (REVISIONS)
3	12/28/11	REVISIONS (REVISIONS)

**PROJ. DATA**

NO.	DATE	DESCRIPTION
1	11/12/10	PRELIMINARY REVIEW
2	08/20/10	FINAL REVIEW (REVISIONS)
3	12/28/11	REVISIONS (REVISIONS)



**NOWELL & ASSOCIATES**  
LANDSCAPE ARCHITECTURE  
2605 STATE STREET, SAN DIEGO, CA 92108  
TEL: 619.525.1990 FAX: 619.525.1992

**DESIGN REVIEW PLANS**

NO.	REVISION	ISSUE	PROJECT NO.
1	11/12/10	PRELIMINARY REVIEW	2009-0443-00
2	08/20/10	FINAL REVIEW (REVISIONS)	
3	12/28/11	REVISIONS (REVISIONS)	

**PROJECT**

**SAN YSIDRO HEALTH CENTER  
EUCLID FAMILY HEALTH CENTER**

**DRAWING TITLE**

**LANDSCAPE DEVELOPMENT PLAN**

NO.	REVISION	ISSUE	PROJECT NO.
1	11/12/10	PRELIMINARY REVIEW	2009-0443-00
2	08/20/10	FINAL REVIEW (REVISIONS)	
3	12/28/11	REVISIONS (REVISIONS)	

**L-2**  
SHEET 15 OF 19



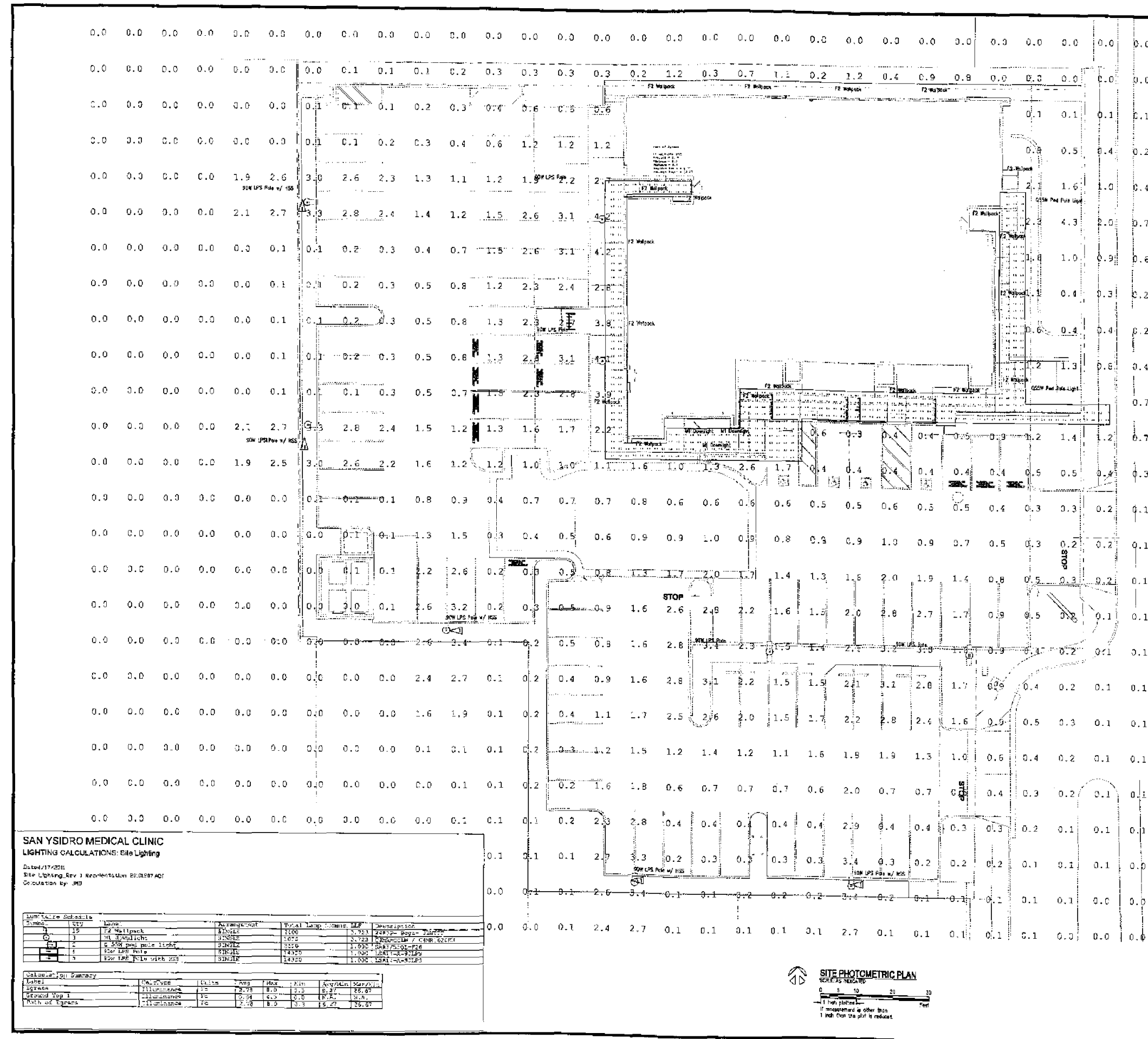


1655 Camino Ridge Drive, Suite 400  
San Diego, California 92108  
658.684.4444  
www.ntd.com

San Diego Los Angeles Austin Vista Phoenix Tucson

**FLAG NOTES:**

▶ FUTURE SHALL HAVE EXTERNAL HOUSE SIDE SIGN, 15" TALL

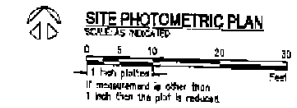


**SAN YSIDRO MEDICAL CLINIC  
LIGHTING CALCULATIONS: Site Lighting**

Date: 1/17/2011  
Site: Lighting Rev 3 Recondition 20:05:07 AGF  
Calculation by: JMS

Symbol	Qty	Label	Arrangement	Total Lamp Output (LP)	Description
1	15	F2 Wallpack	SINGLE	3100	2400lm Baya-Parade
2	1	4x1 Fixtures	2X20W	1600	2X20W 7' GENR 62CPR
3	1	0.55W pole pole light	SINGLE	550	0.55W 10' Pole
4	1	0.55W Pole	SINGLE	550	0.55W 10' Pole
5	1	0.55W Pole with 200	SINGLE	550	0.55W 10' Pole

Label	Calc Value	Units	Req	Max	Min	Req/Min	Max/Min
Area	11.78	Sq Ft	8.0	0.3	0.27	28.87	28.87
Ground Top 1	11.78	Sq Ft	0.0	0.0	0.0	N/A	N/A
Path of Light	2.78	Sq Ft	0.3	0.3	15.27	25.87	25.87



**SPARLING I LA ZAMMIT**

9:21 Towne Centre Drive, Suite 231  
San Diego, California 92132  
658.622.2700 800.607.9610  
www.sparling.com



**DESIGN REVIEW PLANS**

Sheet Index	Owner
CMB	SAN YSIDRO HEALTH CENTER 1075 30TH STREET SAN DIEGO, CA 92104 619.363.4300
C-1 TOPOGRAPHIC BASE MAP	
C-2 DETAIL SHEET	
C-3 GRADING UTILITY PLAN	
C-4 PAVEMENT IMPROVEMENT PLAN	
ARCHITECTURAL	ADDRESS: PARCEL NO: 22-098-04-03 857.436.21-03
A-1 COVER SHEET	PREPARED BY: NTD ARCHITECTURE
A-2 SITE UTILIZATION PLAN	1655 CAMINO RIDGE DRIVE, SUITE 400
A-3 ACCESSIBILITY AND FIRE ACCESS PLAN	SAN DIEGO, CA 92108
A-4 FIRST FLOOR PLAN	(619) 363-4300 / (619) 363-3403
A-5 SECOND FLOOR PLAN	
A-6 THIRD FLOOR PLAN	
A-7 SITE SECTION MONUMENTAL SIGN	PROJECT ADDRESS: SUITE FAMILY HEALTH CENTER
A-8 EXTERIOR ELEVATIONS	100 AND 100 SOUTH BILCO AVENUE
A-9 EXTERIOR ELEVATIONS	SAN DIEGO, CA 92114
A-10 OFFSETTING PLANS (BASE ELEVATION)	
LANDSCAPE	
L-1 EXISTING TREE PLAN	
L-2 LANDSCAPE DEVELOPMENT PLAN	
ELECTRICAL	
E-1 SITE PHOTOGRAPHIC PLAN	

**PROJECT: SAN YSIDRO HEALTH CENTER  
EUCLID FAMILY HEALTH CENTER**

**DRAWING TITLE: SITE PHOTOMETRIC PLAN**

NO.	REVISION	DATE	PROJECT NO.
1	6.11.2010	PRELIMINARY REVIEW	2008-0443-00
2	8.09.2010	2ND PRELIMINARY REVIEW (REVISED)	FIRST SUBMITTAL DATE: DECEMBER 8, 2010
3	1.20.2011	REVISIONAL (REVISED)	DRAWING NO. <b>E-1</b>

**Peterson, Jeff**

---

**From:** Kathy Griffee [bratkd@cox.net]  
**Sent:** Monday, February 07, 2011 10:36 PM  
**To:** Peterson, Jeff  
**Cc:** hreyes@reyesarchitects.com; Bucey, Karen; Williams, Bruce  
**Subject:** Re: Euclid Family Health Center-Project No. 219009 (Group's Recommendation)

**Importance:** High

Dear Mr. Peterson

The ENCPG reviewed the Euclid Family Health Center Project No. 219009 this evening. The group approved the project as presented: a three story 26,000 sq ft building for outpatient medical/dental services on a 1.01 acre site @ 950 S. Euclid; with a parking variance providing 86 parking spaces (instead of the required 100). V: 7-1-0 to approve. Group recommendations:

\*Increase outreach to other medical/dental providers in the area informing them of the coming medical services and work together to provide services to the community versus compete against each other.

\*Traffic concerns mentioned focused on other agenda item: Proposal TR 317,656: One way conversion on S. Euclid Ave west frontage road between S. Euclid Ave and Solola Ave (potential conflict) as residents petitioned Council Office District 4 to convert frontage to one way (south). Bruce Williams (Tony Young representative) agreed to assist neighbors and project leads to discuss issue with each other and come to an agreement: Euclid Health Center was presented with the frontage road as a two way street. TR 317,656 was continued as a result.

Please let me know if you need additional comment concerning the discussion this evening; I believe I captured the highlights. Minutes from this evening's meeting will be reviewed and approved March 21, 2011.

Sincerely  
Kathy Griffee  
Chair, Encanto Neighborhoods Community Planning Group


Project Title: **ELLIUD FAMILY HEALTH CENTER** Project No. (For City Use Only) **219009**

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation  Limited Liability -or-  General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached  Yes  No

Corporate/Partnership Name (type or print):  
 Centro de Salud de la Comunidad de San Ysidro, Inc.  
 Owner  Tenant/Lessee  
 Street Address:  
 1275 30th Street  
 City/State/Zip:  
 San Diego, CA 92154  
 Phone No: 619-662-4104 Fax No: 619-205-6373  
 Name of Corporate Officer/Partner (type or print):  
 Ed Martinez  
 Title (type or print):  
 President & CEO  
 Signature:  Date: 8-25-10

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address:  
 \_\_\_\_\_  
 City/State/Zip:  
 \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print):  
 \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
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 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print):  
 \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

**Ownership Disclosure Statement-Supplement**

Euclid Family Health Center – Project No. 219009

**Management Team:**

Ed Martinez	President & CEO
Kevin Mattson	Senior Vice President Administration/Finance
Terry Whitaker	Vice President of Operations
Greg Talavera, M.D.	Vice President of Clinical Affairs
Matthew Weeks, M.D.	Chief Medical Officer

**Board of Directors:**

Macario Gutierrez	Chairman
Victor Nieto	Co-Chair
Raul Eribez	Co-Chair
Laura Andrews	
Mercedes Bernal	
Roy Cazares	
Ruth Covell, M.D.	
Gilbert Fimbres	
Margarita Navarro	
Michael Owens, M.D.	
Magdalena Peraza	
Reynaldo Perez	
Gloria Ramirez	
Yolanda Santana	
Tomas Urtasun	

DEVELOPMENT SERVICES DEPARTMENT  
**PROJECT CHRONOLOGY**  
 EUCLID FAMILY HEALTH CENTER - PROJECT NO. 219009

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time (Working Days)</b>	<b>Applicant Response</b>
<b>12/8/2010</b>	<b>First Submittal</b>	<b>Project Deemed Complete</b>	-	-
1/7/2011	First Assessment Letter		16 days	
1/20/2011	Second Submittal			8 days
1/25/2011	Draft ND	Draft Negative Declaration distributed for public review	-	-
2/1/2011	Second Review	Review completed; however, the project has not received a community group recommendation	8 days	
2/8/2011	Issued Resolved	All review issues resolved and the community group has provided a recommendation	-	5 days
2/22/2011	Final ND	Final Negative Declaration	-	-
3/10/2011	Public Hearing	<b>First available date</b>	21 days	
<b>TOTAL STAFF TIME</b>		(Does not include City Holidays or Furlough)	<b>45 days</b>	
<b>TOTAL APPLICANT TIME</b>		(Does not include City Holidays or Furlough)		<b>13 days</b>
<b>TOTAL PROJECT RUNNING TIME</b>		From Deemed Complete to Hearing	<b>58 working days (92 calendar days)</b>	