



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: February 8, 2008 **REPORT NO. PC-08-016**

ATTENTION: **Planning Commission, Agenda of February 14, 2008**

SUBJECT: 5445 55TH STREET TENTATIVE MAP – PROJECT NO. 83624
PROCESS FOUR

OWNERS: M.S. Brower Development Corporation (Attachment 8)

APPLICANT: Sterling Land Services, Surveyor

SUMMARY

Issue: Should the Planning Commission approve a Tentative Map for the conversion of twenty-five existing residential units to condominiums at 5445 55th Street, including a waiver of the requirement to underground the existing overhead utilities, within the College Area Community Plan?

Staff Recommendation:

1. **Approve** Tentative Map No. 263259; and
2. **Approve** waiver to the requirement to underground existing overhead utilities.

Community Planning Group Recommendation: On November 9, 2005, the College Area Community Council voted 12-4-1 to recommend denial of the proposed project as discussed in the report (Attachment 7).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15301(k), Existing Facilities, of the California Environmental Quality Act (CEQA). The environmental exemption determination for this project was made on September 20, 2005 and the opportunity to appeal that determination ended October 11, 2005.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: With the proposed conversion of twenty-five existing apartments to condominiums, there would be a loss of twenty-five rental units and a gain of twenty-five for-sale units. This condominium conversion project was deemed complete on September 13, 2005, and is therefore subject to the regulations regarding Inclusionary housing and tenant relocation assistance. This project is required to set aside 10% of the units for households earning 100% of the Area Median Income or less.

BACKGROUND

This Tentative Map project is subject to the condominium conversion regulations effective June 13, 2006, with the exception of the parking regulations, based on the City Council's specific adoption language for the "new" condominium conversion regulations. At the June 13, 2006, hearing, the City Council adopted regulations for additional requirements for landscaping, a building conditions report, onsite inclusionary housing, noticing and parking. Based on the adopted language and project timing, all of these new regulations apply to this project, with the exception of the parking regulations. Accordingly, this project has been reviewed against the new regulations, and this project can proceed to its discretionary hearing.

The 0.67-acre project site is located at 5445 55th Street in the RM-3-9 Zone and the Parking Impact Overlay Zone, within the College Community Plan area (Attachment 3). The site is presently developed with one, four-story structure containing a total of six, 1-bedroom units and nineteen, 2-bedroom units. Twenty-six off-street parking spaces are provided on the site: five exposed and twenty-one in carports, all accessed from 55th Street. The site is bounded on the north and west by multi-family residential uses and San Diego State University uses to the south and east.

The existing improvements were constructed in 1962 when the site was zoned R-4, which permitted multi-family residential development. The site is currently zoned RM-3-9, which would allow forty-eight units on the subject site. Current parking regulations would require fifty-four parking spaces on site and twenty-six parking spaces are provided. The development complied with the zoning and development regulations in effect at the time of construction and no Building or Zoning code violations have been recorded against the property.

The project does not conform with the current maximum density or parking requirements; however, the project has previously conforming rights to be maintained as outlined in Chapter 12, Article 7, Division 1 of the Land Development Code.

DISCUSSION

Project Description:

The project proposes a Tentative Map for the subdivision of a 0.67-acre site into one (1) lot for a twenty-five unit residential condominium conversion (Attachment 5). The applicant is also requesting that the requirement for the undergrounding of existing overhead utilities be waived.

Section 125.0410 of the San Diego Municipal Code (SDMC) requires that a Tentative Map be processed for the subdivision of land. According to SDMC Sections 125.0440 and 125.0444, *Findings for Tentative Maps and for Condominium Conversions*, the decisionmaker may approve a Tentative Map for the purposes of the conversion of residential property into a condominium project if the decisionmaker finds that the proposed conversion complies with the requirements of the Subdivision Map Act and the San Diego Municipal Code. Staff has reviewed the proposed condominium conversion and determined that it complies with both the Subdivision Map Act and the San Diego Municipal Code.

Undergrounding of Existing Utilities

San Diego Municipal Code Section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined the undergrounding waiver request qualifies under the guidelines of Council Policy 600-25, *Underground Conversion of Utility Lines at the Developer's Expense*, the conversion involves a short span of overhead facility less than a full block in length and the conversion is a requirement of a condominium conversion of an existing development and the conversion would not represent a logical extension to an underground facility.

The applicant will be required to underground all existing service to the site per Condition No. 20 of the draft Tentative Map resolution (Attachment 6). The applicant would also be required to underground any new service run to any new or proposed structures within the subdivision per Condition No. 19 of the draft Tentative Map resolution (Attachment 6).

The neighborhood currently contains power poles and overhead utilities lines in the 55th Street right-of-way. The utility lines to these poles extend to other properties located north and south within the street. The poles closest to this property, which carry the lines serving this site, are at both corners of the property. As indicated above, all utilities serving this property will be required to be undergrounded. The waiver is being requested for the requirement to underground adjacent utilities serving the surrounding properties. The City's Undergrounding Master Plan for Fiscal Year 2006 designates the site within Block 7J1, and the date for undergrounding has been established for the year 2049 (Attachment 10).

Community Planning Group:

On November 9, 2005, the College Area Community Council voted 12-4-1 to recommend denial of the proposed project (Attachment 7). Staff's response follows each issue identified by the Council:

1. *It will reduce the supply of much needed rental housing in the community:* Although the ownership change could result in a loss of rental housing, there is no information that can predict this change. Some or all of the units may be owner-occupied while some or all may be rented out by the purchasers.
2. *It is not in conformance with the College Area Community Plan:* There are no findings in

the State Map Act or Municipal Code that this change in ownership be consistent with the Community Plan. Additionally, there is language in the Community Plan which states that the 55th Street Sub Area for the College Area Redevelopment Project Area shall be redeveloped residentially at medium to medium-high density. The existing development is in conformance with this recommendation.

3. *Homebuyers will not be able to meet FNMA/FHLMC loan-underwriting requirements that 70% of the units be owner occupied as their primary residence:* While this may or may not be true, the City of San Diego does not regulate the financing options of home buyers.
4. *Denial of request to waive the requirement to underground existing overhead utilities:* This project conforms with Council Policy 600-25 and therefore, staff recommends approval of the waiver. The applicant will be required to underground all existing service to the site per Condition No. 20 of the draft Tentative Map resolution (Attachment 6). The applicant would also be required to underground any new service run to any new or proposed structures within the subdivision per Condition No. 19 of the draft Tentative Map resolution (Attachment 6).

Project-Related Issues:

Inclusionary Housing Ordinance and Tenant Relocation Benefits Conformance:

The requested conversion of these residential units to condominiums represents primarily a change in ownership. The applicant has certified that the twenty-five unit complex has been served the 60-day Notice of Intent to Convert to Condominiums May 9, 2005, (Attachment 11).

All condominium conversion projects Deemed Complete on or after February 7, 2004, must conform with the regulations regarding Inclusionary housing and tenant relocation benefits adopted by the City Council on March 15, 2004. This proposed project was Deemed Complete on September 13, 2005, and is therefore subject to these new regulations. The project has been conditioned to require the subdivider conform with the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) to the satisfaction of the City Manager and the Housing Commission, prior to the recordation of the Final Map. The applicant will have to adhere to the Municipal Code provisions for Tenant Relocation Benefits (Chapter 14, Article 4, Division 5). If prospective tenants move into the premises prior to the recording of the Final Map, the Subdivider shall provide each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights required by the State Map Act and Land Development Code.

On June 13, 2006, the City Council adopted regulations for additional requirements for landscaping, a building conditions report, onsite inclusionary housing, noticing and parking. Based on the adopted language and project timing, all of these new regulations apply to this project, with the exception of the parking regulations. The applicant will be required to enter into an agreement with the San Diego Housing Commission to provide the on-site affordable units prior to recordation of the Final Map, pursuant to the Affordable Housing Requirements of

the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

Building Conditions Report and Landscape Requirements

In accordance with the current regulations, the applicant provided a Building Conditions Report and Landscape Concept Plan. Both of these documents have been reviewed for conformance with the applicable regulations within Land Development Code (Chapter 14, Article 4, Division 5) and have been accepted by staff as conforming with the regulations.

Noticing

The proposed project has been conditioned to conform with all new noticing requirements for condominium conversions.

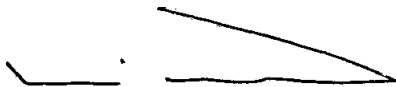
Conclusion:

Staff has reviewed the request for a Tentative Map for the conversion of twenty-five residential units into condominiums and has found the project to be in conformance with the applicable sections of the San Diego Municipal Code regulating Tentative Maps. Staff believes the requirement findings can be supported and recommends the Planning Commission approve the project as proposed.

ALTERNATIVES

1. **Approve** Tentative Map No. 263259 along with the waiver of the requirement to underground existing overhead utilities, **with modifications.**
2. **Deny** Tentative Map No. 263259 along with the waiver of the requirement to underground existing overhead utilities, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department

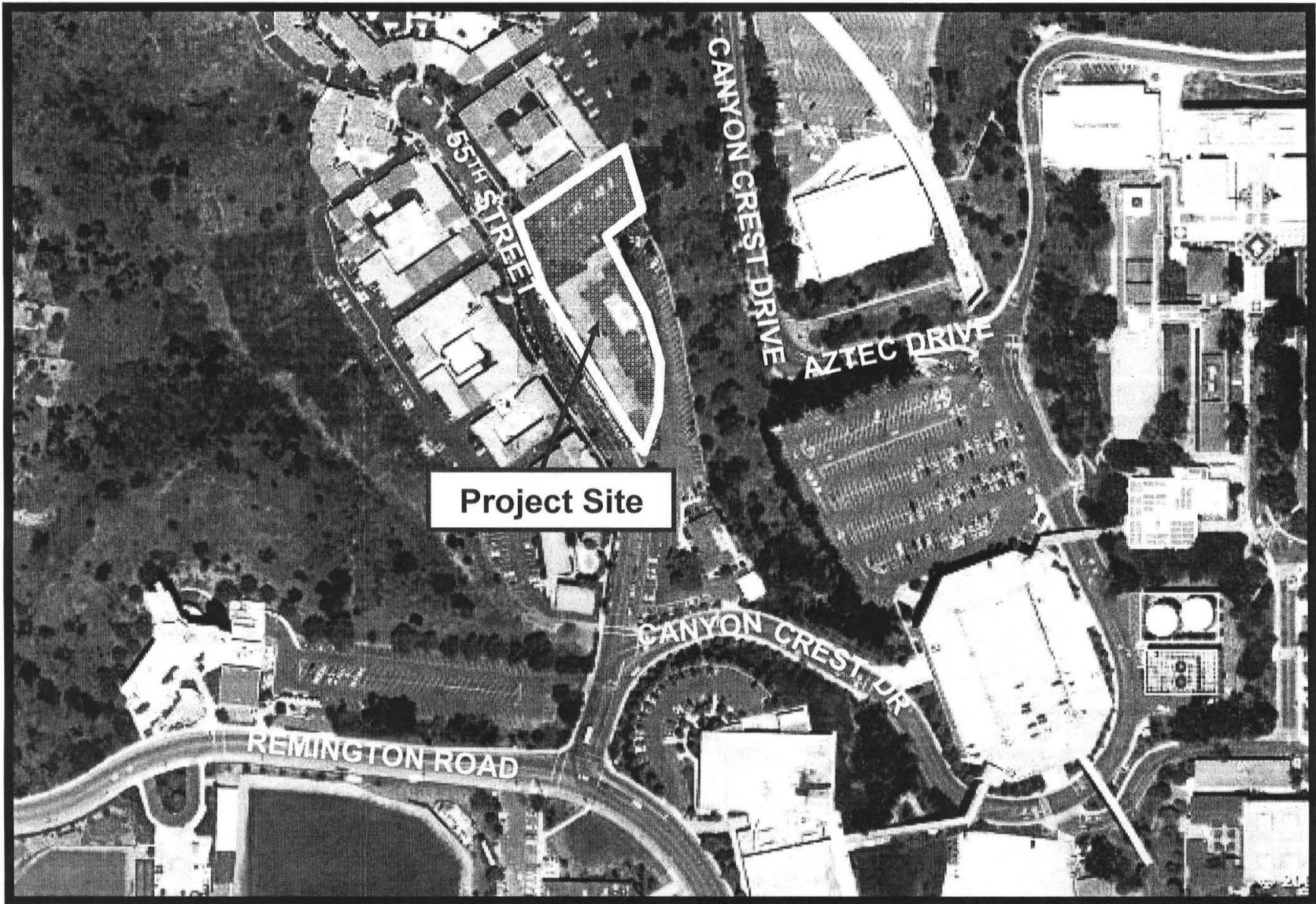


Jeannette Temple
Development Project Manager
Development Services Department

WESTLAKE/JT

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Tentative Map
6. Draft Map Conditions and Subdivision Resolution
7. Community Planning Group Recommendation
8. Project Chronology
9. Ownership Disclosure Statement
10. City's Undergrounding Master Plan Map 7J1
11. 60-Day Notices of Intent to Convert
12. Photos of Existing Front and Rear Elevations
13. Building Conditions Report (limited distribution)

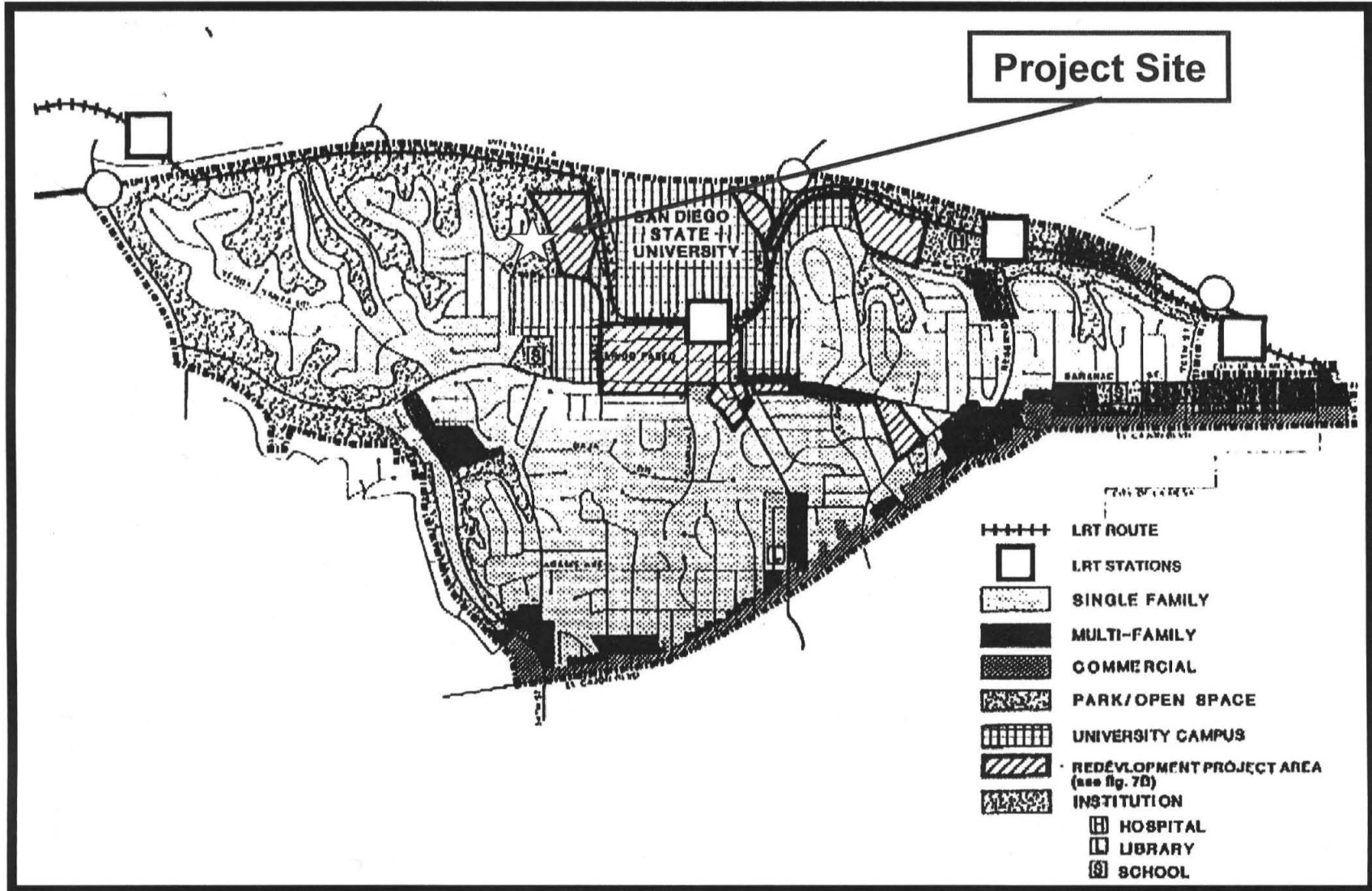


Aerial Photo

5445 55th Street Tentative Map – Project Number 83624

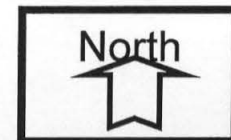
5445 55th Street

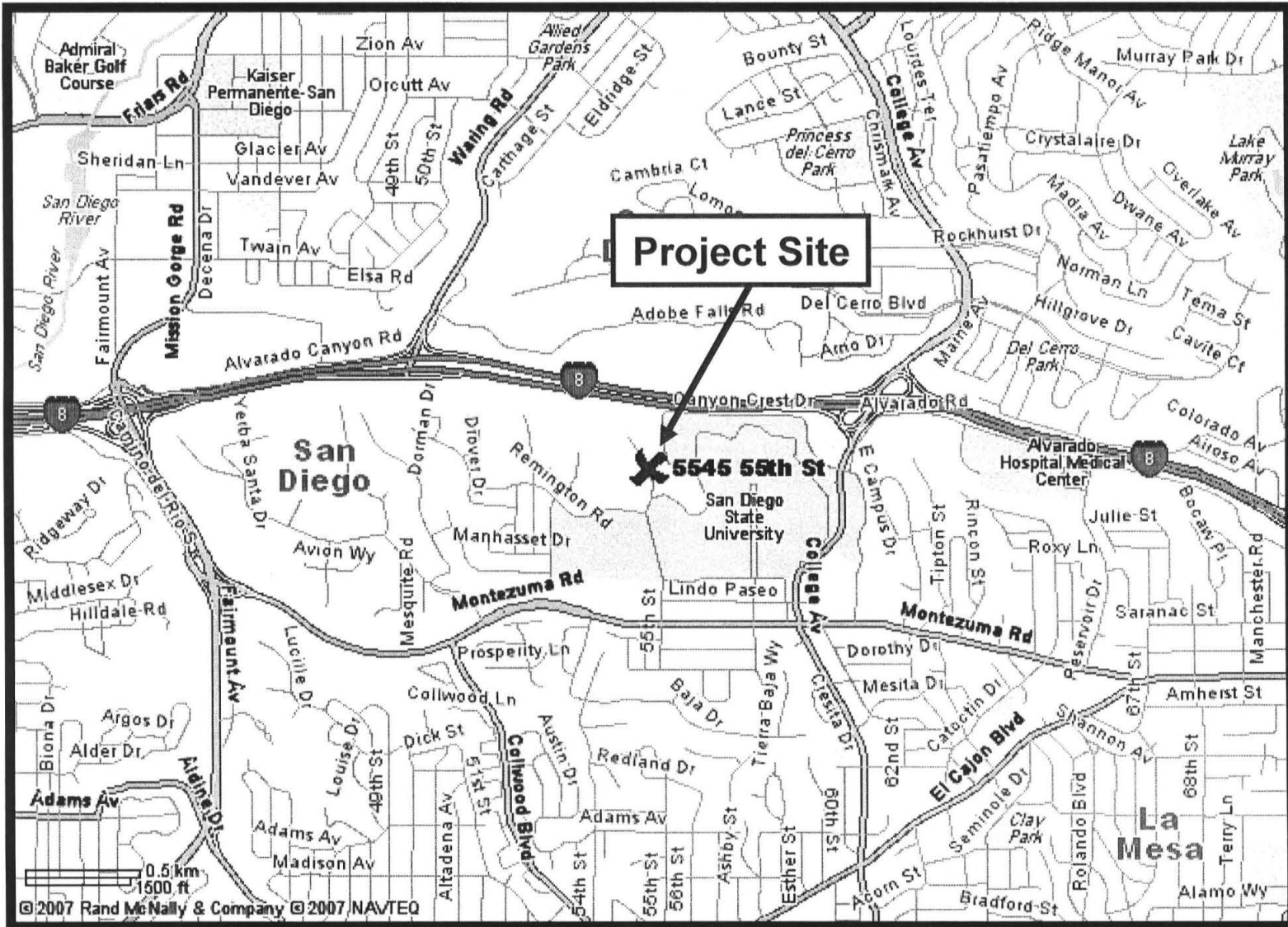




Land Use Map

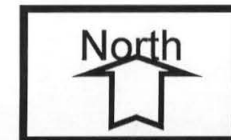
5445 55th Street Tentative Map – Project Number 83624
 5445 55th Street – College Area





Project Location Map

5445 55th Street Tentative Map – Project Number 83624
 5445 55th Street

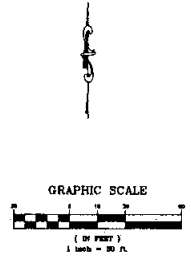
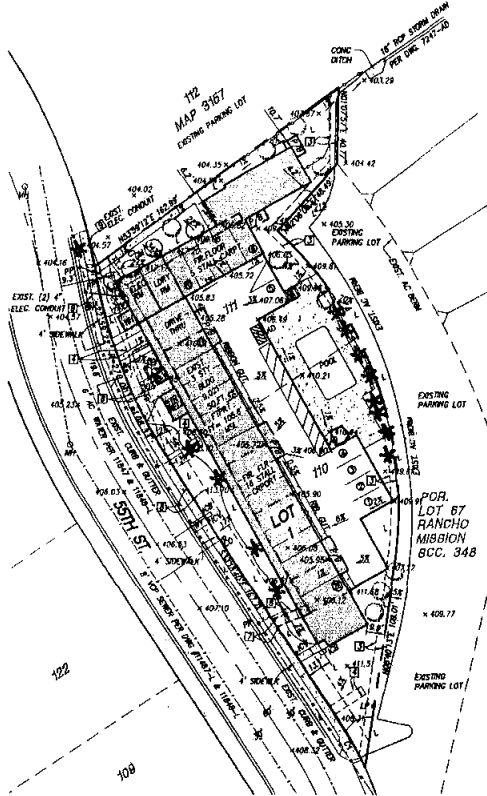
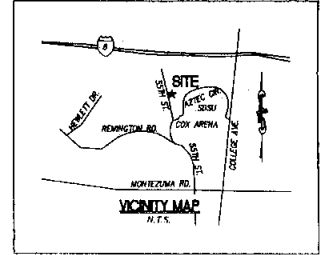


PROJECT DATA SHEET		
PROJECT NAME:	5445 55 th Street Tentative Map	
PROJECT DESCRIPTION:	Conversion of twenty-five existing apartments into condominiums.	
COMMUNITY PLAN AREA:	College	
DISCRETIONARY ACTIONS:	Tentative Map	
COMMUNITY PLAN LAND USE DESIGNATION:	Multi-Family Residential (medium to medium-high density)	
<u>CURRENT ZONING INFORMATION:</u> ZONE: RM-3-9 DENSITY: 1 dwelling unit per 600 sq.ft. of lot area HEIGHT LIMIT: 4-stories per the redevelopment area LOT SIZE: 7,000 square-foot minimum lot size. FLOOR AREA RATIO: 2.7 maximum. FRONT SETBACK: 10 min, 20 standard SIDE SETBACK: 5 feet, STREETSIDE SETBACK: 10 ft . REAR SETBACK: 5 feet PARKING: 54 spaces required	<u>CONSTRUCTED</u> R-4 zone 25 units na 29,011 sf Approx 1.25 Approx 5 ft 6.2 ft NA 4.2 ft 26 spaces	
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Multi-Family Residential; RM-3-9	Multi-Family
SOUTH:	University; RS-1-7	University
EAST:	University; RS-1-7	University
WEST:	Multi-Family Residential; RM-3-9	Multi-family
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On November 9, 2005, the College Area Community Council voted 12-4-1 to recommend denial of the proposed project	

TENTATIVE MAP NO. 263259

5445 55TH STREET

CITY PROJECT NO. 83624



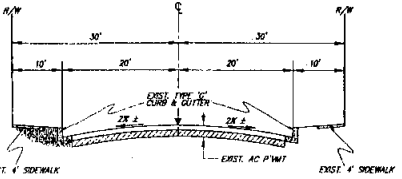
ABBREVIATIONS

CD	SEWER CLEAN OUT
CL	ELEVATION
CM	GAS METERS
GV	GAS VALVE
CR	IRRIGATION CONTROL BOX
CV	IRRIGATION CONTROL VALVE
L	LANDSCAPING
LP	LANDSCAPING
P/R	PATIO/BALCONY
TR	TRASH BIN
WH	WATER HEATER
WM	WATER METER
SL	SEWER LID
SI	STREET SIGN
STR	STAR

CURVE TABLE			
CURVE	DELTA	LENGTH	RADIUS
C1	87°26'28"	26.45	180.00
C2	87°24'24"	4.12	330.00

LEGEND

PROPERTY LINE / IN BOUNDARY	---
EXISTING ELECTRICAL CONDUIT	---
EXISTING LOT LINES	---
EXISTING SEWER LINE	---
EXISTING WATER METER	---
EXISTING WATER LINE	---
EXISTING POWER POLE	---
EXISTING OVERHEAD POWER LINES	---
EXISTING WOOD FENCE	---
EXISTING CONCRETE	---
EXISTING BUILDING	---
EXISTING RETAINING WALL	---
SPOT ELEVATION	---
DIRECTION OF ORANGE	---
EXISTING TREES	---
EXISTING PALMS	---
EXISTING FENS	---



GENERAL NOTES

- PRESENT AND PROPOSED ZONING IS RM-3-9. COMMENTARY PLAN: COLLEGE AREA. EXISTING BUILDING FOOTPRINT: 10,511 SQ. FT. SEISMIC HAZARD CATEGORY: S3.
- TOTAL LOT AREA: 0.886 ACRES. EXISTING BUILDING FOOTPRINT: 10,511 SQ. FT. TOTAL NUMBER OF EXISTING LOTS = 2. TOTAL NUMBER OF PROPOSED LOTS = 1. THIS SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 15524.02, SUBDIVISION ACT, CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS 24.
- LOT SUMMARY:

USE	AREA	PARKING
CONDOMINIUMS	25	28

 STRUCTURE ERECTED 1982.
- UNITS:
 - ONE BDRM/1 BA (735 S.F.)
 - TWO BDRM/2 BA (1000 S.F.)
 - TWO BDRM/1-1/2 BA (930 S.F.)
 - TWO BDRM/1-3/4 BATH (940 S.F.)
- PARKING:
 - 23 CARPORT SPACES: 8.57' 23'
 - 3 PARKING SPACES: 8.52' 18'

PARKING CALCULATIONS	
PER MUNICIPAL CODE TABLE 142-05C	
(1) ONE BEDROOM UNITS	1.75
(19) TWO BEDROOM UNITS	2.25
TOTAL	43

PAVING

- PAVING:
 - WALK: CITY OF SAN DIEGO
 - SEWER: CITY OF SAN DIEGO
 - ASPH: CALIFORNIA 563L/30L/30
 - FIRE AND POLICE PROTECTION: CITY OF SAN DIEGO
 - CABLE T.V. CO: COMMUNICATIONS
 - STOCKS: SAN DIEGO UNIFIED SCHOOL DISTRICT
 - UNDERGROUND UTILITIES SHOWN HEREON ARE FROM AVAILABLE RECORDS.

EASEMENT NOTES

- EASEMENTS ARE PER PRELIMINARY TITLE REPORT PREPARED BY CHICAGO TITLE COMPANY FILE NO. ANDROMEDA DATED JUNE 18, 2008. THE ITEM NUMBERS USED HEREON ARE AS LISTED ON SAID REPORT.
- EASEMENT FOR UNIMPAVED PURPOSES GRANTED TO THE CITY OF SAN DIEGO PER MAP 3157 DESCRIBED AS THE EASTERN 4 FEET OF SAID LAND.
 - EASEMENT FOR PUBLIC UTILITIES GRANTED TO PACIFIC TELEPHONE AND TELEGRAPH FOR INCIDENTAL PURPOSES PER PAGE 106 OF OFFICIAL RECORDS DATED FEBRUARY 8, 1925 IN BOOK 5054.
 - EASEMENT FOR PUBLIC UTILITIES GRANTED TO PACIFIC TELEPHONE AND TELEGRAPH COMPANY FOR INCIDENTAL PURPOSES PER PAGE 80 OF OFFICIAL RECORDS DATED JUNE 19, 1934 IN BOOK 7430.
 - EASEMENT FOR PUBLIC UTILITIES GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR INCIDENTAL PURPOSES PER PAGE 148 OF OFFICIAL RECORDS DATED AUGUST 20, 1938 IN BOOK 7221.
 - EASEMENT FOR PUBLIC UTILITIES GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY FOR INCIDENTAL PURPOSES PER PAGE 12 OF OFFICIAL RECORDS DATED AUGUST 20, 1938 IN BOOK 7221.
 - ENCROACHMENT OF ELECTRICAL DUCTS AND CONDUITS DATED NOT SHOWN EXERCISED BY CITY OF SAN DIEGO AND COLLEGE WEST APARTMENTS, SUBJECT TO ALL PRE-EXISTING PROVISIONS AND CONDITIONS THEREIN CONTAINED, RECORDED AUGUST 29, 1982 AS FILE NO. 16836, OFFICIAL RECORDS.

APN

APN: 482-220-07-00

LEGAL DESCRIPTION

LOT 110 AND 111 OF COLLEGE NEW UNIT NO. 3 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREON NO. 3157, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 18, 1954.

BENCHMARK

THE METEORICAL BENCHMARK FOR THE SITE IS A BRASS PLAIN IN THE CURB AT THE NORTHEAST INTERSECTION OF CAMPBELL DR AND HARBOR AVE, BEING SAN DIEGO CITY METEORICAL CONTROL BENCHMARK #1483 ELEVATION: 457.17 MSL.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PROJECT IS THE NORTH SIDE OF 55TH ST. W/D OFFSET PER RECORD MAP 3157 AS N 33° 15' 40" W.

MAPPING AND MONUMENTATION

ALL PROPERTY CORNERS WILL BE SET AND A ONE LOT FINAL MAP WILL BE FILED UPON APPROVAL OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE FINAL MAP.

SUBDIVIDER RESPONSIBILITIES

- INSTALL APPROPRIATE BACK FLOW PREVENTION DEVICES ON ALL EXISTING AND PROPOSED WATER SERVICES (DOMESTIC WASHTRON AND FRI) ADJACENT TO THE PROJECT SITE IN A MANNER SATISFACTORY TO THE WATER DEPARTMENT DIRECTOR.
- PROVIDE A LETTER AGREEING TO PREPARE COPIES FOR THE OPERATION AND MAINTENANCE OF ALL DOMESTIC WATER AND SEWER FACILITIES THAT SERVE OR TRAVERSE MORE THAN A SINGLE CONDOMINIUM UNIT OR LOT.
- COMPLY WITH ALL CURRENT STREET LIGHTING STANDARDS ACCORDING TO THE CITY OF SAN DIEGO STREET DESIGN MANUAL SATISFACTORY TO THE CITY ENGINEER. POSSIBLY REQUIRING INSTALLATION OF NEW STREET LIGHTS), UPGRADING LIGHT AND/OR MOUNTAGE.
- REPLACE THE DAMAGED AND DISPLACED SIDEWALK PANELS, PRESERVING ANY CONTRACTOR'S STAMP ADJACENT TO THE SITE ON 55TH STREET.
- REPLACE THE ON-SITE SIDEWALK, AT THE NORTHERLY END OF THE PROJECT, TO BE FLUSH WITH THE PUBLIC SIDEWALK.
- RECONSTRUCT THE EXISTING DRIVEWAY AND CLUB RAMP, TO CURRENT CITY STANDARDS, ADJACENT TO THE SITE ON 55TH STREET. IN ADDITION, THE SUBDIVIDER SHALL EITHER RELOCATE OR TRIM THE PALM TREE 50 AS NOT TO IMPERE THE USE OF THE CLUB RAMP.
- SHALL ENSURE THAT ALL ON-SITE UTILITIES SERVING THE SUBDIVISION SHALL BE UNDERGROUND WITH THE APPROPRIATE PERMITS. THE SUBDIVIDER SHALL PROVIDE WRITTEN CONFIRMATION FROM APPLICABLE UTILITIES THAT THE CONVERSION HAS TAKEN PLACE, OF WHICHEVER OTHER MEANS TO ASSURE THE UNDERGROUNDING, SATISFACTORY TO THE CITY ENGINEER.

PROJECT ADDRESS

5445 55TH ST.
SAN DIEGO, CA 92115
C.R. MAP PAGE: 1206-01
SURVEYOR/MAPPER
STERLING LAND SERVICES, INC.
2607 FIRST AVE.
SAN DIEGO, CA 92103
PHONE: (619) 546-8165

S.D. CITY PROJECT NUMBERS

TENTATIVE MAP NO. 263259
CITY PROJECT NO. 83624
CITY WORK ORDER NO. 42-5226

REQUIRED PERMITS/APPROVALS

TENTATIVE MAP

OWNERS/DEVELOPER

M.S. BROWER DEVELOPMENT CORPORATION
NEW NEW BROWER DEVELOPMENT CORPORATION
OROVATA FAMILY REVOCABLE TRUST
MUNO OROVALA, TRUSTEE
2207 GARNET AVENUE, SUITE 200
SAN DIEGO, CA 92108

SUBMITTER

NAME: Matthew S. Browner
TITLE: President
DATE: 3/20/16
SIGNATURE: [Signature]

PREPARED BY

NAME: Teresa Orovala
TITLE: Trustee
DATE: 3/2/16

CERTIFICATION AND DECLARATION OF RESPONSIBLE CHARGE

I, HEREBY DECLARE THAT I AM THE LAND SURVEYOR FOR THIS PROJECT. THAT I HAVE EXPRESSED RESPONSIBLE CHARGE OVER THIS SUBMITTAL AS DEFINED IN SECTION 67013 OF THE BUSINESS AND PROFESSIONS CODE. I CERTIFY THAT I HAVE PERFORMED REASONABLE RESEARCH TO DETERMINE THE REQUIRED APPROVALS FOR THE PROPOSED PROJECT. AS THE LAND SURVEYOR, I HAVE TAKEN THE SELF-CERTIFICATION CLASS AND HAVE BEEN PLACED ON THE APPROVED LIST FOR COMPLETING RE-NEW SELF-CERTIFICATION. WITH THIS SUBMITTAL, I CONFIRM THAT PLANS AND DOCUMENTS SUBMITTED FOR REVIEW AND APPROVAL MEET ALL SUBMITTAL REQUIREMENTS PER SECTION 4 OF THE SUBMITTAL MANUAL. I UNDERSTAND IF REQUIRED DOCUMENTS OR PLAN CONTENT IS MISSING, PROJECT REVIEW WILL BE DEFERRED.

LAND SURVEYOR OF WORK:
STERLING LAND SERVICES, INC.
2607 FIRST AVENUE
SAN DIEGO, CA 92103
TELEPHONE: (619) 546-8165

BY: D. SCOTT PETERS
P.E. NO. 7101. EXPIRES 12-31-07

DATE: 3/20/16

TENTATIVE MAP FOR: 5445 55TH STREET

Revision 1:	01/20/06	Original Date:	9/12/05
Revision 2:	03/20/06	Sheet:	
Revision 3:		Sheet:	
Revision 4:		Sheet:	



ATTACHMENT 5

PLANT LEGEND

TREES

SYMBOL	CATEGORY/DESCRIPTION	QTY	SIZE
(C)	Existing Pyrus caroliniana / Carolina Laurel Cherry	06	7" caliper
(D)	Existing Pyrus kawakami / Evergreen Pear	03	8" caliper
(E)	Existing Washingtonia robusta / Mexican Fan Palm	08	8" Bwn Trk
		08	8" Bwn Trk
		04	20" Bwn Trk
		01	20" Bwn Trk
		02	30" Bwn Trk
(E)	Existing Eucalyptus variety	04	24" caliper
		02	18" caliper
		01	12" caliper
(F)	Existing Ficus nitida	03	18" caliper
(+)	Pyrus kawakami / Evergreen Pear (standard street tree)	11	24" box

SHRUBS & GROUNDCOVERS

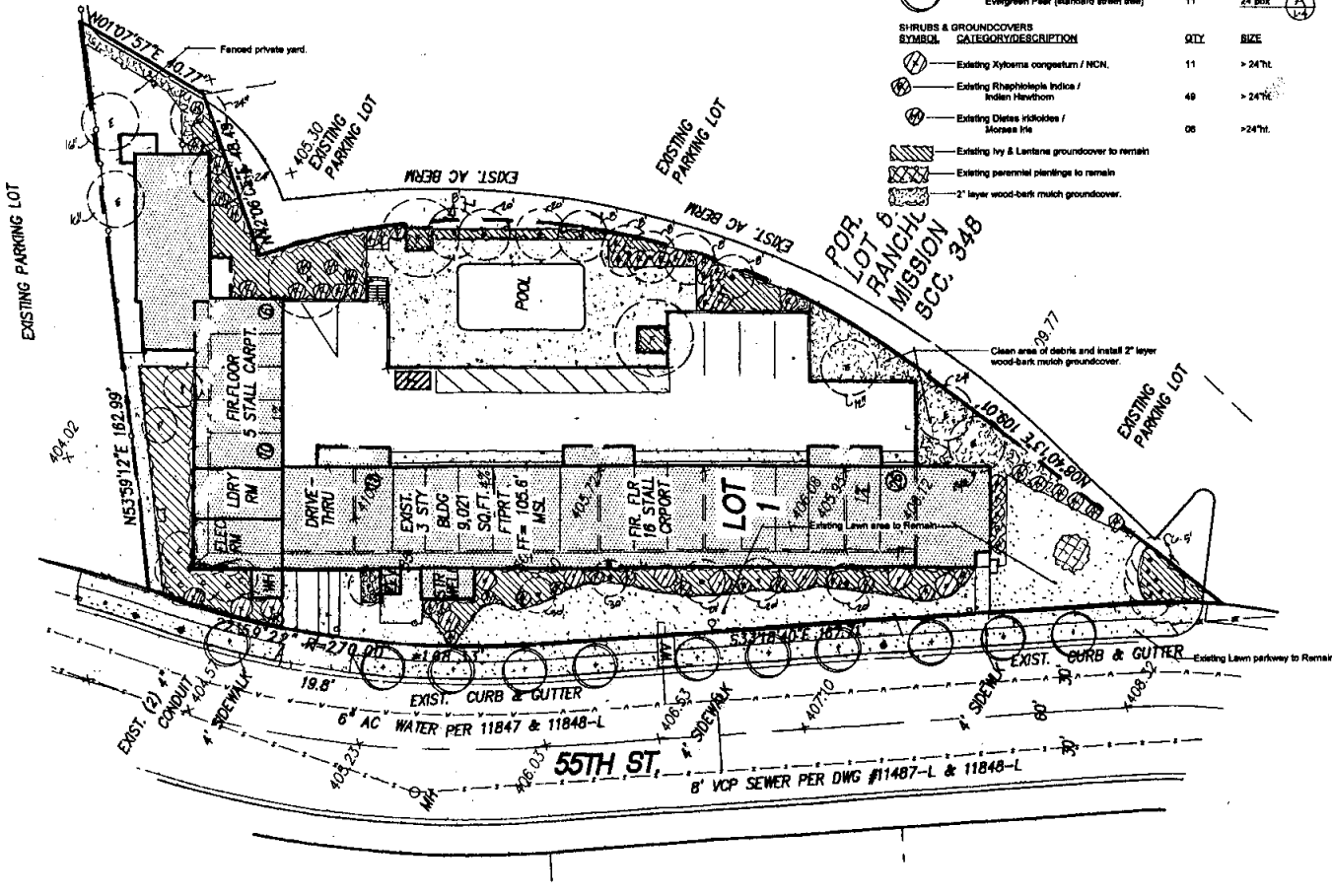
SYMBOL	CATEGORY/DESCRIPTION	QTY	SIZE
(X)	Existing Xylostea congestum / MCH	11	> 24" ht
(Y)	Existing Rhipidolepis indica / Indian Hawthorn	48	> 24" ht
(Z)	Existing Dietsa violoides / Moses Iris	08	> 24" ht
(Hatched)	Existing ivy & Lantana groundcover to remain		
(Dotted)	Existing perennial plantings to remain		
(Wavy)	2" layer wood-bark mulch groundcover		

PLANTING NOTES:

- Final location of all plant materials shall be subject to the approval of the owner's authorized representative.
- If conflicts arise between site of areas and plans, contractor to contact owner's authorized representative for resolution. Failure to make such conflicts known to the owner's authorized representative will result in contractor's liability to relocate the materials.
- It is the landscape contractor's responsibility to furnish plant materials free of pests or plant diseases. Pre-selected or tagged material must be inspected by the contractor and certified pest and disease free.
- Landscape contractor shall be responsible for making himself familiar with all underground utilities, pipelines and structures. Landscape contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
- Landscape contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the owner's authorized representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- Landscape contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- Landscape contractor shall verify plant material quantities per plan.
- Plant symbols take precedence over plant quantities specified in legend.
- Landscape operations shall conform to applicable criteria stated in the City of San Diego Landscape Standards.
- Landscape contractor shall have a soil analysis performed and shall follow the recommendations for soil preparation and fertilization per the results of the soil analysis.
- All required planting areas shall be covered with mulch to a minimum depth of 2", excluding slopes requiring re-vegetation and areas planted with groundcover. All exposed soil areas without vegetation shall also be mulched to this minimum depth.
- Maintenance: All required landscape areas shall be maintained by Private Homeowner's Association. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy, growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- Tree root barriers shall be installed where trees are placed within 5 feet of public improvements including walks, curbs or street pavements or where new public improvements are placed adjacent to existing lines. The root barrier will not be wrapped around the root ball. SDMC 142.0403(b)(12).

Table 142-84E
Minimum Tree Separation Distances

Improvement	Minimum Distance to Street Face
Truck Sign, Bus Sign	30 feet
Underground Utility Lines	3 feet
Electric, Gas, Telephone, Cable, Sewer, Storm Drain, Water, Irrigation, Utility poles, etc.	18 feet
Signage	18 feet
Minimum (measured with face of tree stem)	33 feet



Declaration of Responsible Charge:

I hereby declare that I am the Landscape Architect for this project, that I have exercised responsible charge over the design of the project as defined in Section 8703 of the Business and Professions Code, and that the design is consistent with current standards. I understand that the check on project drawings and specifications by the City of San Diego is confined to a review only and does not relieve me, as Landscape Architect of Work, of my responsibilities for the project design.

[Signature]
 Kent A. Wilson, M.A. 3009
 My License Expires 04/30/09
 Landscape Resource Group
 3780 Hancock Street, Suite J
 San Diego, CA 92110
 (619) 497-0556

Date: 5-26-07

REVISIONS BY

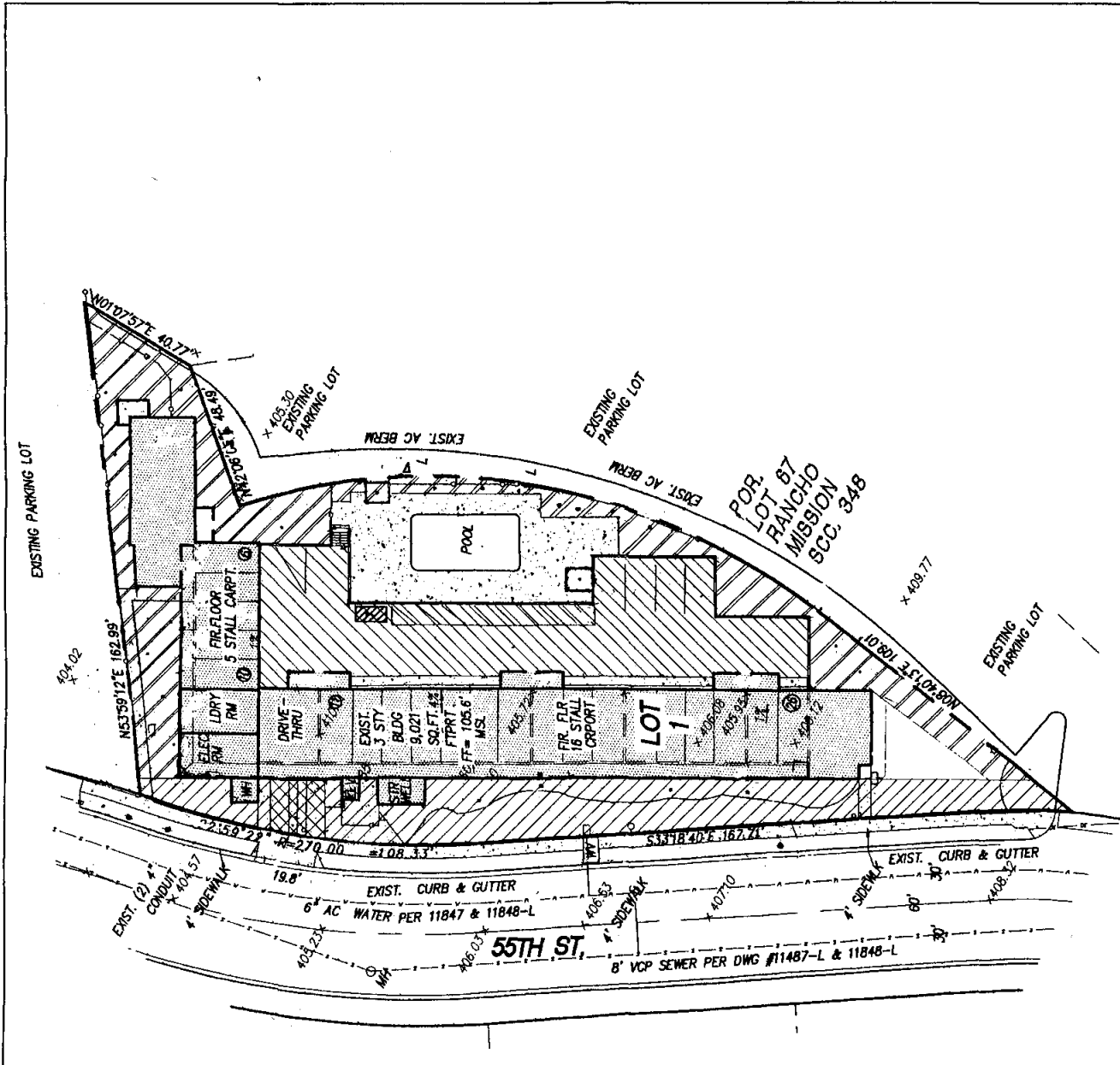
Project: 2442 SP Street San Diego, CA 92115
 Project: 3780 Hancock Street, Suite J San Diego, CA 92110
 Project: 55th St. San Diego, CA 92110

Owner: Brown Management Corporation
 Debra Family Revocable Trust
 Irving Divers, Trustee
 San Diego, CA 92110
 658-276-5500 ex. 14

Date: 5-26-07
 Scale: 1" = 16' 0"
 Drawn:
 Job:
 Sheet
 L-1
 Of 8 sheets

ATTACHMENT 5

PLANTING PLAN



City of San Diego
 Department Services
 1225 16th Ave., 4th Fl.
 San Diego, CA 92161-1104
 (619) 443-3200

Landscape Calculations Worksheet
 Single Dwelling Unit Development in RM Zones
 Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 1 of the Land Development Code.

STREET YARD

A minimum 40 sq. ft. planting area shall be provided for all trees, with no dimension less than 5 ft.
 At least one-half of the required planting points shall be achieved with trees.

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area: 51623 sq. ft. x 0.076 = 3802 sq. ft.	4904 sq. ft.	1699 sq. ft.

Planting Points Required (142.0404)	Plant Points Provided	Excess Points Provided
Total Area: 51623 sq. ft. x 0.005 = 2581 points	3285 points	1105 points

Points achieved with trees: 996 points

Planting Area Available for landscape or equivalent with canopy (142.0404)(1.108)	Provided
Total Area: sq. ft. x 109% =	N/A sq. ft.

REMAINING YARD - Single Structures on lot

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
40 points	5316 points	4208 points

Points achieved with trees: 4208 points

City of San Diego
 Department Services
 1225 16th Ave., 4th Fl.
 San Diego, CA 92161-1104
 (619) 443-3200

Landscape Calculations Worksheet
 Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plans. The Landscape Calculations determine the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 1 of the Land Development Code.

One tree (minimum 30 inch tree size) is required within 30 ft. of each parking space. If palm trees are used, one palm (minimum 8 ft. trunk trunk height) is required within 18 ft. of each parking space.

VEHICULAR USE AREA (4.8.999) (112.999) - 142.9477

Planting Area Required (40 sq. ft. per tree) (with no dimension less than 5 ft.)	Plant Points Required	Excess Points Provided
Total VUA: 51621 sq. ft. x 0.02 = 2581 points	1090 points	2006 points

Points achieved through trees (at least half): 1000 points

LANDSCAPE CALCULATIONS

STREET YARD PLANT POINTS:

QTY	SIZE	PLANT POINTS	TOTAL POINTS
04	Existing non-native tree 7" caliper	175 points / tree	600
01	Existing non-native tree 8" caliper	200 points / tree	200
02	30 Trnk Fan Palm	30 points / tree	60
01	25 Trnk Fan Palm	30 points / tree	30
02	20 Trnk Fan Palm	30 points / tree	60
08	8 Trnk Fan Palm	7.5 points / tree	45
28	Existing shrub >24" ht.	15 points/shrub	360
			1386 Total Street Yard Points
			280 Street Yard Points Required
			986 Plant Points from Trees

REMAINING YARD PLANTING REQUIREMENTS:

QTY	SIZE	PLANT POINTS	TOTAL POINTS
04	Existing non-native tree 18" caliper	400 points / tree	1600
01	Existing non-native tree 24" caliper	600 points / tree	2400
01	Existing non-native tree 12" caliper	300 points / tree	300
02	Existing non-native tree 8" caliper	200 points / tree	400
02	20 Trnk Fan Palm	30 points / tree	60
08	8 Trnk Fan Palm	7.5 points / tree	45
34	Existing shrub >24" ht.	15 points/shrub	510
			3215 Total Remaining Yard Points
			60 Remaining Yard Pnts Required
			4808 Plant Points from Trees

STREET TREE REQUIREMENTS: (1 Tree per 36 feet of Street Frontage)

Street Trees Required: 00
 Street Trees Existing: 0
 Street Trees Provided: 11 (Pyrus kawakami) (Standard)

VEHICULAR USE AREA REQUIREMENTS (< 6,000 sq. ft.)

QTY	SIZE	PLANT POINTS	TOTAL POINTS
02	Existing non-native tree 16" caliper	400 points / tree	800
01	Existing non-native tree 8" caliper	200 points / tree	200
08	Existing shrub >24" ht.	15 points/shrub	80
			1080 Total Vehicular Use Points
			2848 Vehicular Use Pnts Required
			1080 Plant Points from Trees

LANDSCAPE CALCULATIONS NORTH

REVISIONS BY

Project: 5445 50th Street, San Diego, CA 92115

OWNER: Brown Management Corporation
 Matthew S. Brown, Trustee
 Irving Okunaka, Trustee
 2207 Garnet Avenue, Suite J
 San Diego, CA 92106
 619-270-5500 ext. 14

Date: 3-20-07
 Scale: 1" = 16'
 Drawn:
 Job:
 Sheet

L-2

ATTACHMENT 5

LANDSCAPE ARCHITECTURE / CONSTRUCTION
 1710 Hancock Street, Suite 2
 San Diego, CA 92101
 (619) 594-1100
 www.landscapearchitect.com



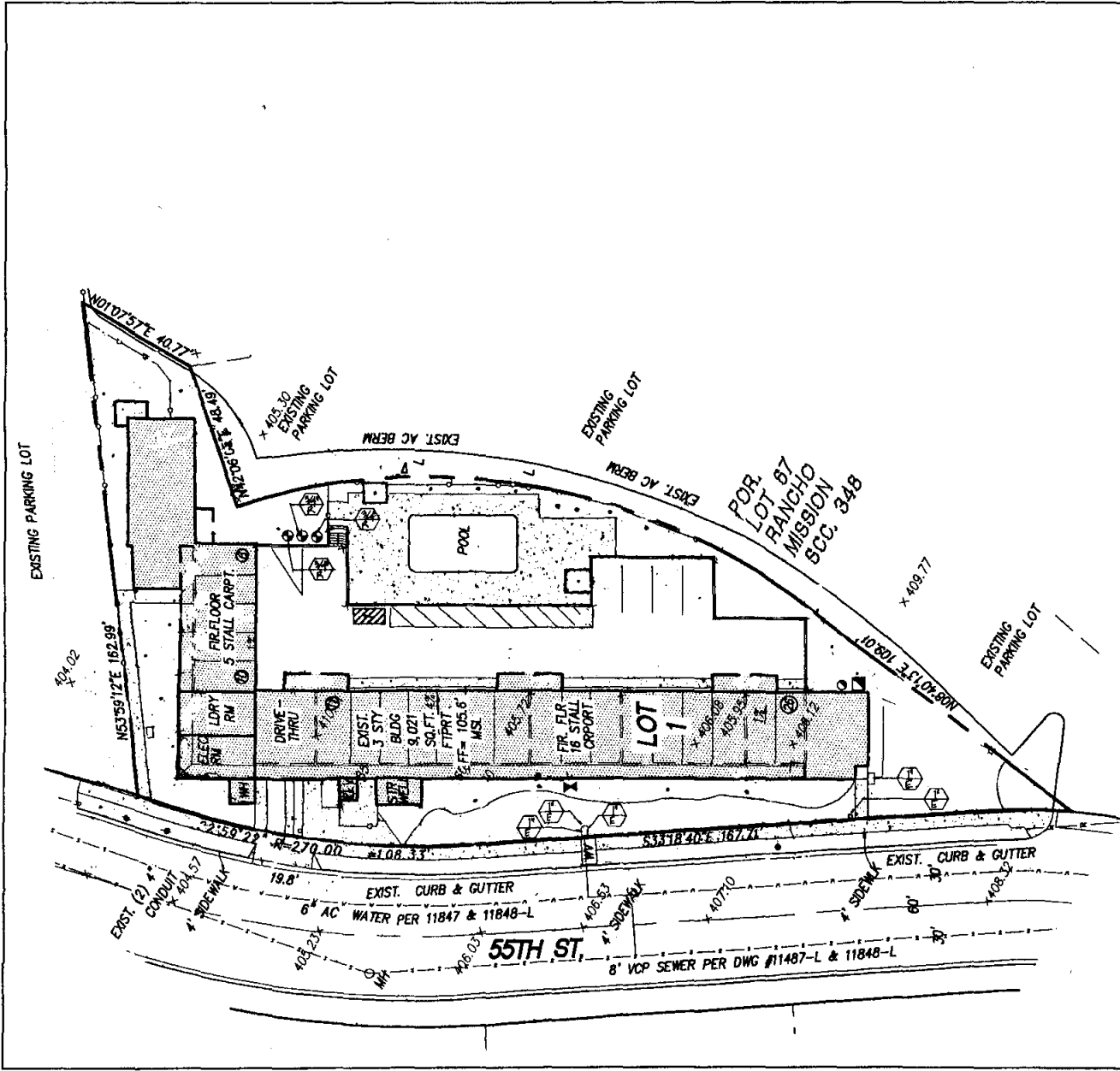
IRRIGATION LEGEND

- SYMBOL MANUFACTURER-DESCRIPTION-MODEL# PSI GPM RAD**
- Introl - Remote control valves-700 Series - Size as indicated
 install below grade in PVC valve box.
 NOTE: Install isolation PVC ball valve at all valve assemblies, maintain size.
 NOTE: Replace existing anti-siphon valves with new 700 series valves.
 - ▣ Introl - Controller - Rain Dial Series - RD000-EXT
 NOTE: Install new exterior controller and connect to existing valves throughout property.
 Location to be determined by General Contractor.
 General contractor to provide power to new Controller.
 - ✕ Fabco - Reduced Pressure Backflow Preventer - 825Y-1"
 Wilkins - Pressure regulator 70 series - 1"
 NOTE: Replace existing atmospheric vacuum breaker with new reduced pressure backflow preventer per City of San Diego Landscape Standards.
 - WCB RainGuarded Rain Sensor shut-off or approved equal as subject to City approval
 - ⊕ Valve Size
 R- Replace existing valve with new valve.
 - ⊖ Valve Size
 E- Existing valve to remain.

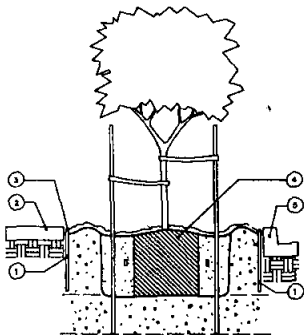
- GENERAL IRRIGATION NOTES:**
- Existing irrigation system is Introl and operating.
 - Installing contractor shall test existing system, repair and adjust accordingly to meet City of San Diego Land Development Manual landscape Standards.
 - Installing contractor shall install new backflow preventer to meet current City of San Diego Land Development Manual landscape Standards.
 - Install new irrigation controller as specified in legend. General contractor to provide power to Controller.

IRRIGATION NOTES:

1. All irrigation materials specified shall be installed per manufacturer's specifications and recommendations.
2. All local, municipal and state laws, rules and regulations governing or relating to any portion of this work are hereby incorporated into and make a part of these specifications and their provisions shall be carried out by the contractor.
3. Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the owner's authorized representative. The contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
4. Contractor shall be responsible for any coordination with subcontractors as required to accomplish irrigation installation.
5. The contractor shall obtain the pertinent permits required to perform the work indicated herein before beginning work.
6. Contractor shall include in bid, payment of any permit fees and related expenses.
7. Provide a minimum of 18" of cover over all pressure mainline pipe and 12" minimum of cover over all non-pressure lateral lines. Trench backfill shall be free of any material that may damage irrigation pipe or equipment. In the event of backfill settlement, contractor shall perform required repairs at his own expense.
8. All pipe under paved areas are to be installed in a HDPE solid pipe. Sleeves shall be minimum of 3" HDPE solid pipe or twice the diameter of pipe size.
9. Drawings are diagrammatic. Equipment shown in paved areas is for design identification only and shall be installed in planter areas.
10. General contractor shall provide electrical connection for controller.
11. Wire connectors to be Raintite® Perma® or approved equal.
12. General contractor shall provide point of connection for irrigation system.
13. Flush all lines and adjust all heads for maximum performance, according to the drawings and to prevent over-spray onto building, walk and paved surfaces.
14. All valves shall be installed below grade in PVC valve box.
15. Irrigation systems are to be installed as shown in the plans and in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual landscape Standards.
16. No irrigation runoff or overspray shall cross property lines or paved areas.
17. All required plant material shall be irrigated with a permanent, below-grade irrigation system. The system shall be automatic, electrically controlled, and designed to provide water to all required plantings to maintain them in a healthy, disease-resistant condition.



IRRIGATION PLAN NORTH

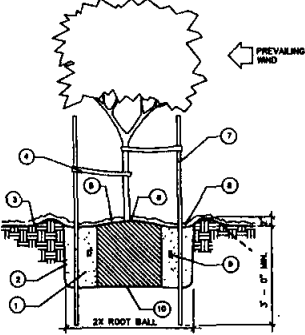


LEGEND

- 1 3/4" DEEP ROOT BARRIER PER SPECIFICATIONS/ EXTEND 12"-0" FROM TRUNK OF TREE IN EACH DIRECTION ALONG FACE OF PAVING, CURB, AND WALL.
- 2 CONCRETE PAVING PER PLAN (WHERE APPLICABLE)
- 3 EXTEND TOP OF ROOT BARRIER 1/2" MINIMUM ABOVE FINISHED GRADE
- 4 TREE PLANTING PER DETAILS
- 5 CONCRETE CURB PER PLAN (WHERE APPLICABLE)

NOTES:
 A. CONTRACTOR SHALL INSTALL AND ASSEMBLE ROOT BARRIER PER MANUFACTURER'S RECOMMENDATIONS

A ROOT BARRIER AT SIDEWALK
 NO SCALE

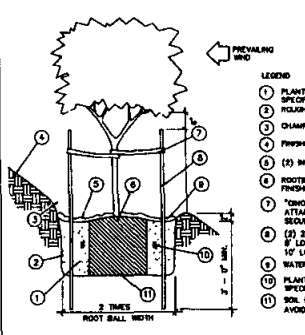


LEGEND

- 1 PLANTING BACKFILL PER NOTES AND SPECIFICATIONS
- 2 ROUGHEN SIDES AND BOTTOM OF PIT
- 3 FINISHED GRADE
- 4 "CONCH-O-BLOCK" BRAND, BY V.I.T. COMPANY, INC. ATTACH PER MANUF. SPECS. AND SECURE WITH PURGING NAIL AT STAKE
- 5 2" SOIL MULCH LAYER, 36" MIN. CLEAR OF TRUNK
- 6 ROOTBALL SLIGHTLY HIGHER THAN FINISHED GRADE.
- 7 (2) 2" DIA. LONGPOLE STAKES, 10' LONG FOR 15 GALLON, 12' LONG FOR 24" BOX OR LARGER WATER BASIN.
- 8 PLANTING TABLETS PER NOTES AND SPECIFICATIONS.
- 9 SOIL BALL RESTING ON FIRM SOIL TO AVOID SETTLING.

NOTE: MAINTAIN A 36" RING OF MULCH AROUND ALL TREES - 60" TRUNK SHALL OCCUR WITHIN THIS AREA.

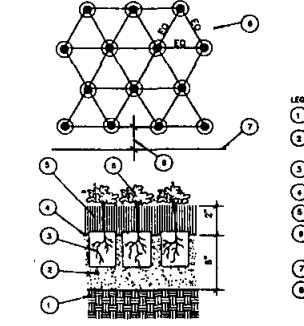
B TREE PLANTING IN LAWN OR LEVEL AREA
 NO SCALE



LEGEND

- 1 PLANTING BACKFILL PER NOTES AND SPECIFICATIONS
- 2 ROUGHEN SIDES AND BOTTOM OF PIT.
- 3 CHAMFER SLOPE TO PREVENT EROSION.
- 4 FINISHED GRADE.
- 5 (2) SOIL MULCH LAYER
- 6 ROOTBALL SLIGHTLY HIGHER THAN FINISHED GRADE.
- 7 "CONCH-O-BLOCK" BRAND, BY V.I.T. COMPANY, INC. ATTACH PER MANUF. SPECS. AND SECURE WITH PURGING NAIL AT STAKE.
- 8 (2) 2" DIA. LONGPOLE STAKES, 10' LONG FOR 15 GALLON, 12' LONG FOR 24" BOX OR LARGER WATER BASIN.
- 9 PLANTING TABLETS PER NOTES AND SPECIFICATIONS.
- 10 SOIL BALL RESTING ON FIRM SOIL TO AVOID SETTLING.

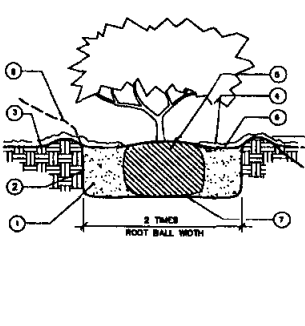
C TREE PLANTING ON SLOPE
 NO SCALE



LEGEND

- 1 EXISTING SURGRADE
- 2 APPROVED PLANTING BACKFILL PER PLANTING NOTES & SPECIFICATIONS (SEE PLANS)
- 3 ROOTBALL SLIGHTLY HIGHER THAN FINISHED GRADE.
- 4 (2) INCH MULCH LAYER
- 5 EQUAL TRIANGULAR SPACING REQUIRED BETWEEN PLANTS. REFER TO PLANT LEGEND FOR ON CENTER SPACING.
- 6 EDGE OF PLANTING AREA.
- 7 DISTANCE FROM EDGE OF PLANTER TO CENTER OF PLANT TO BE 1/2 THE SPECIFIED SPACING.

D GROUNDCOVER PLANTING
 NO SCALE

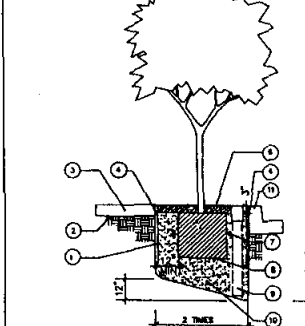


LEGEND

- 1 PLANTING BACKFILL PER NOTES AND SPECIFICATIONS.
- 2 ROUGHEN SIDES AND BOTTOM OF PIT.
- 3 FINISHED GRADE.
- 4 (2) INCH MULCH LAYER
- 5 ROOTBALL SLIGHTLY HIGHER THAN FINISHED GRADE.
- 6 WATER BASIN.
- 7 SOIL BALL RESTING ON FIRM SOIL TO AVOID SETTLING.
- 8 FOR SLOPE CONDITIONS CHAMFER SLOPE TO PREVENT EROSION.

NOTES:
 A. KEEP MULCH 3"-3" FROM TRUNK OF TREE OR SHRUB TRUNK.
 B. FOR SHRUBS ON SLOPE, PROVIDE MULCH FOR 8" DIAMETER AROUND EACH SHRUB.

E SHRUB PLANTING
 NO SCALE



LEGEND

- 1 ROUNDED SIDES AND BOTTOM OF PIT
- 2 FINISHED GRADE
- 3 CONCRETE PAVING
- 4 3/4" DEEP ROOT BARRIER-SEE SPECIFICATIONS
- 5 D.G. MULCH
- 6 PLANTING TABLETS PER NOTES AND SPECIFICATIONS
- 7 PLANTING BACKFILL:
 - 1 PART COARSE WASHED SAND
 - 3 PARTS NATIVE SOIL
- 8 PERFORATED PVC PIPE WITH IRRIGATION SUBLER (SEE IRRIGATION DETAILS)
- 9 COMPACT AND SETTLE SAND/SOIL UNDER ROOTBALL TO AVOID SETTLING
- 10 EXISTING CURB AND GUTTER

F TREE PLANTING IN D.G. MULCH
 NO SCALE

APPLICATION RATES:

USE AS PLANTING TABLETS:		USE IN PENDING ESTABLISHED PLANTS: TREES, SHRUBS, PERENNIALS	
1/2 GAL	1 GAL	1/2 GAL	1 GAL
1/4" dia	3/8" dia	1/2" dia	3/4" dia

Note: Number of tablets to apply per sq. inch of hole diameter or for each 1 to 1 1/2 inch of stem height.

Note: Planting tablet size: Full growing plants or 1 1/2" to 2 1/2" in hole; Half growing plants or 1 1/2" to 2 1/2" in hole.

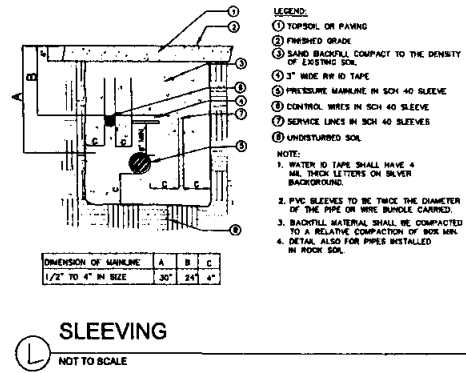
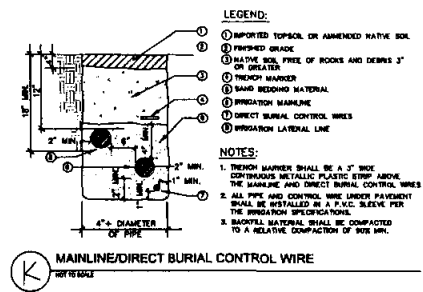
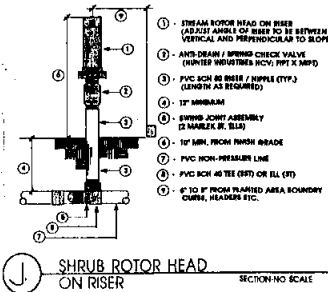
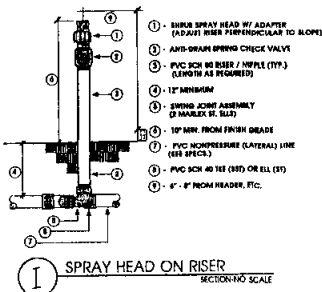
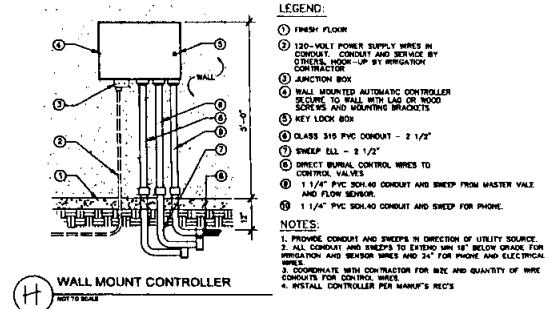
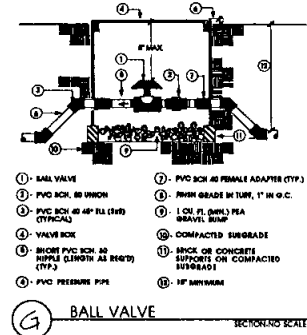
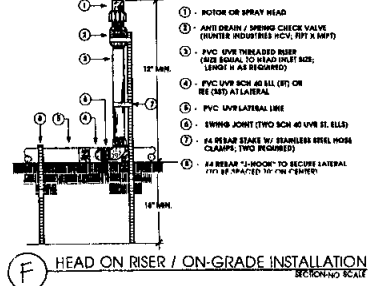
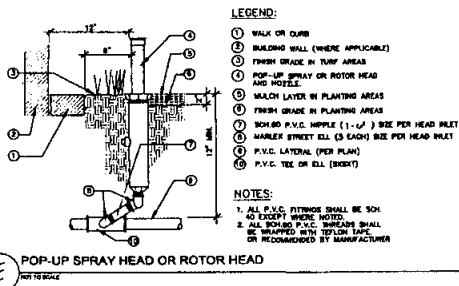
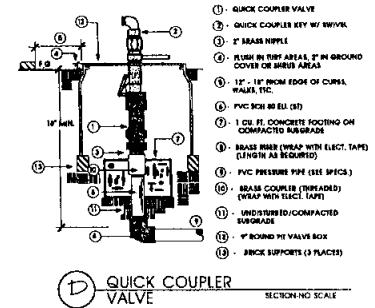
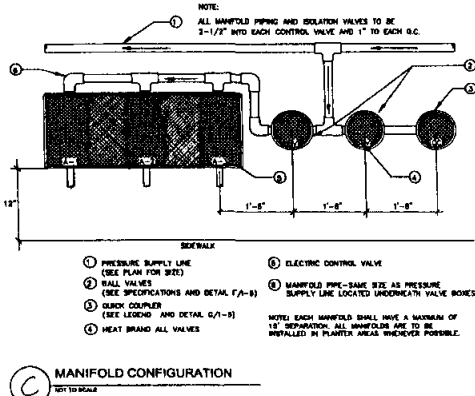
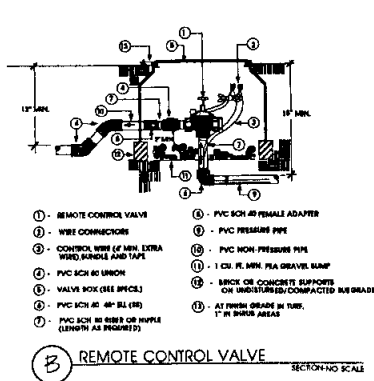
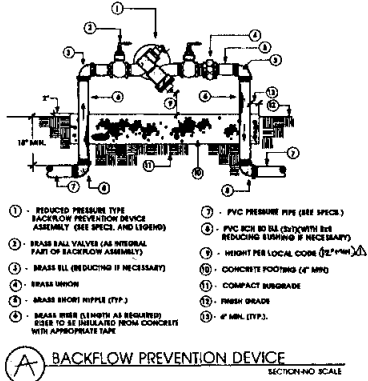
1/2 GAL [] 1 Tablet 3/8" dia [] 2 Tablets 1/2" dia [] 1 Tablet 3/4" dia [] 2 Tablets

REVISIONS BY

LandSpace Architecture / Construction
 3760 Innisbrook Drive, Suite 6
 San Diego, CA 92170
 PL: 619.444.5400 FAX: 619.444.5401
 LSC@LANDSPACE.COM
 www.landspace.com

5445 54th Street
 San Diego, CA 92115

Project:
 Owner:
 Date:
 Scale: 1" = 16'-0"
 Drawn:
 Job:
 Sheet:
 L-4
 Of 8 sheets



REVISIONS BY	
NO.	DESCRIPTION

Landmark Architecture / Construction
 3700 Vermont Street, Suite 10
 San Diego, CA 92110
 Tel: 619 594 6600
 Fax: 619 594 6601
 Email: info@landmarkarch.com
 Website: www.landmarkarch.com

LAMDECA
 ELECTRIC
 PRODUCTS, INC.

SALES SPT Sheet
 5455 5th Street
 San Diego, CA 92115
 Project:

Owner: Brown Management Corporation
 Matthew S. Brown, Trustee
 Oldham Family Trust
 2207 Garnet Avenue, Suite 10
 San Diego, CA 92109
 602-775-0500 ext. 11

Date: _____
 Scale: 1" = 18" - 0"
 Drawn: _____
 Job: _____
 Sheet: _____
 L-5

ATTACHMENT 5

PLANNING COMMISSION RESOLUTION NO. XXXX
TENTATIVE MAP NO. 263259
5445 55TH STREET TENTATIVE MAP - PROJECT NO. 83624
DRAFT

WHEREAS, M.S. Browar Development Corporation, Applicant/Subdivider, and Sterling Land Services, Inc., Surveyor, submitted an application with the City of San Diego for a Tentative Map, No. 263259, and to waive the requirement to underground existing overhead utilities. The project site is located at 5445 55th Street, north of Aztec Circle in the RM-3-9 Zone and the Parking Impact Overlay Zone, within the College Community Plan area. The site is legally described as Lots 110 and 111 of College View Unit No. 3, Map No. 3157; and

WHEREAS, the Map proposes the subdivision of a 0.67-acre site into one (1) lot for a twenty-five (25) unit residential condominium conversion; and

WHEREAS, the project is exempt from environmental review pursuant to Article 9, Section 15301(k) of the California Environmental Quality Act (CEQA) on the basis that the facilities are existing; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to the Subdivision Map Act and Section 144.0220 of the Municipal Code of the City of San Diego; and

WHEREAS, the subdivision is a condominium project as defined in Section 1350 et seq. of the Civil Code of the State of California and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is twenty-five; and

WHEREAS, on February 14, 2008, the Planning Commission of the City of San Diego considered Tentative Map No. 263259 including the waiver of the requirement to underground existing overhead utilities, and pursuant to Sections 125.0440 (tentative map), 125.0444 (condo conversion), and 144.0240 (underground) of the Municipal Code of the City of San Diego and Subdivision Map Act Section 66428, received for its consideration written and oral presentations, evidence having been submitted, and heard testimony from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 263259:

1. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code (Land Development Code Section 125.0440.b).

2. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (Land Development Code Section 125.0440.h and State Map Act Section 66412.3).
3. Each of the tenants of the proposed condominium project has received, pursuant to State Map Action Section 66452.9, written notification of intention to convert at least 60 days prior to the filing of a tentative map (Land Development Code 125.0444 and State Map Act Section 66427.1(a)).
4. The project has been conditioned that the Subdivider will give each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the State Map Act (Land Development Code Section 125.0444 and State Map Act Section 66427.1(a)).
5. The project has been conditioned that the Subdivider will give each tenant 10 days' written notification that an application for a public report will be, or has been, submitted to the Department of Real Estate, and that such report will be available on request (Land Development Code Section 125.0444 and State Map Act Section 66427.1(a)).
6. The project has been conditioned that the Subdivider will give each tenant of the proposed condominium project written notification within 10 days of approval of a final map for the proposed conversion (Land Development Code Section 125.0444 and State Map Act Section 66427.1(b)). If the subdivider chooses to provide affordable housing units, the subdivider shall enter into an affordable housing agreement with the Housing Commission, prior to recordation of the Final Map.
7. The project has been conditioned that the Subdivider will give each of the tenants of the proposed condominium project 180 days' written notice of intention to convert prior to termination of tenancy due to the conversion or proposed conversion (Land Development Code Section 125.0444 and State Map Act Section 66427.1(c)).
8. The project has been conditioned that the Subdivider will give each of the tenants of the proposed condominium project notice of an exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, which notice shall be provided within 5 working days of the issuance of the Subdivision Public Report.. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report pursuant to Section 11018.2 of the Business and Professions Code, unless the tenant gives

prior written notice of his or her intention not to exercise the right (Land Development Code Section 125.0444 and State Map Act Section 66427.1(d)).

9. The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low income housing (Land Development Code Section 125.0444.b).
10. For any project that was developed to provide housing for the elderly, disabled or to provide low income housing, provisions have been made to perpetuate the use for which the project was developed (Land Development Code Section 125.0444.c).
11. Each of the tenants of the proposed condominium project has received written notification of the project application for the condominium conversion within 10 days after the application was deemed complete (Land Development Code 125.0431(a)(3)).
12. The project has been conditioned that the subdivider will give each person applying for the rental of a unit in such residential real property written notification that the project application for the condominium conversion was deemed complete (Land Development Code 125.0431(a)(3)).
13. The project has been conditioned that the subdivider will give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (Land Development Code Section 125.0431(a)(4)).
14. A Building Conditions Report has been prepared in accordance with the Land Development Manual by a registered architect or engineer licensed by the State of California (Land Development Code Section 144.0504(b)).
15. The project has been conditioned that the subdivider will provide to a prospective purchaser a copy of the Building Conditions Report prior to the opening of an escrow account. (Land Development Code Section 144.0504(c)).
16. The project has been conditioned that the subdivider will provide a relocation assistance payment to all tenants of the project whose tenancy has terminated due to the condominium conversion. (Land Development Code Section 144.0505).
17. The project has been conditioned for the subdivider to complete the physical improvements as outlined in Land Development Code Section 144.0507, to the satisfaction of the City Engineer prior to final map approval.
18. The project has been conditioned for the subdivider to satisfy the inclusionary housing requirements on-site in accordance with Land Development Code Section 142.1306. (Land Development Code Section 144.0508).

19. The requested underground waiver of the existing overhead facilities, qualifies under the guidelines of Council Policy No. 600-25 *Underground Conversion of Utility Lines at Developers Expense* in that:
 - a. The conversion involves a short span of overhead facility (less than 600 feet in length).
 - b. The conversion is a requirement of a condominium conversion of an existing development and the conversion would not represent a logical extension to an underground facility.
20. That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 263259 including the waiver of the requirement to underground existing overhead utilities, is hereby granted to M.S. BROWAR DEVELOPMENT CORPORATION, Applicant/Subdivider, subject to the following conditions:

GENERAL

1. This Tentative Map will expire February 14, 2011.
2. Compliance with all of the following conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the Tentative Map expiration date, a Final Map to consolidate the existing lots into one lot shall be recorded in the Office of the County Recorder.
4. Prior to the issuance of Final Map taxes must be paid on this property pursuant to section 66492 of the Subdivision Map Act. A tax certificate, recorded in the office of the County Recorder, must be provided to satisfy this condition
5. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain

independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant

6. The subdivider shall provide a Notice of Tenants Rights and Notices for Condominium Conversion, consistent with the Land Development Manual to be provided as follows:
 - a. For existing tenants, within 10 days of the project application for the *condominium conversion* being deemed complete; or
 - b. For prospective tenants, upon application for the rental of a unit in the proposed *condominium conversion*.
7. The Subdivider shall provide each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the State Map Act.
8. The Subdivider shall provide the tenants a Notice of Application for a Public Report at least 10 days prior to the submittal to the Department of Real Estate (DRB), pursuant to Section 66427.1(a) of the Subdivision Map Act.
9. The Subdivider shall provide each of the tenants of the proposed condominiums written notice of intention to convert at least 180 days prior to termination of tenancy due to the conversion or proposed conversion in conformance with Section 66427.1(c) of the Subdivision Map Act. The provisions of this subdivision shall not alter nor abridge the rights or obligations of the parties in performance of their covenants, including, but not limited to, the provision of services, payment of rent, or the obligations imposed by Sections 1941, 1941.1 and 1941.2 of the Civil Code.
10. The Subdivider shall provide each of the tenants of the proposed condominiums notification of their exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, in conformance with Section 66427.1(d) of the State Map Act. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report, pursuant to Section 11018.2 of the Business and Professions Code, unless the tenant gives prior written notice of his or her intention not to exercise the right.

11. The Subdivider shall provide the tenants of the proposed condominiums with written notification within 10 days or approval of a Final Map for the proposed conversion, in conformance with Section 66427.1(b) of the Subdivision Map Act.

AFFORDABLE HOUSING

12. Prior to the recordation of the Final Map, the subdivider shall enter into an affordable housing agreement with the Housing Commission to provide affordable housing units in compliance with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).
13. Prior to the recordation of the Final Map, the subdivider shall demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (Chapter 14, Article 4, Division 5), to the satisfaction of the Development Services Department and the Housing Commission.
14. The subdivider will give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (Land Development Code Section 125.0431(a)(4)).
15. The subdivider will provide to a prospective purchaser a copy of the Building Conditions Report prior to the opening of an escrow account. (Land Development Code Section 144.0504(c)).

ENGINEERING

16. The subdivider shall replace the damaged and displaced sidewalk panels, preserving any contractor's stamp, adjacent to the site on 55th Street.
17. The subdivider shall replace the onsite sidewalk, at the northerly end of the project, to be flush with the public sidewalk.
18. The subdivider shall reconstruct the existing driveway and curb ramp, to current City standards, adjacent to the site on 55th Street. In addition the subdivider shall either relocate or trim the palm tree, so as not to impede the use of the curb ramp.
19. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
20. The subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has

taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.

21. Prior to the recordation of the Final Map, the subdivider shall demonstrate conformance with the Municipal Code provisions for building and landscape improvements (Land Development Code Sections 144.0507), to the satisfaction of the City Engineer. The parking requirements in Land Development Code Sections 144.0507 and 142.0525.a do not apply, since this project was deemed complete prior to the effective date of this ordinance (July 27, 2006).
22. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the tentative map and covered in these special conditions will be authorized.

All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

23. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source will be the California Coordinate System, Zone 6, North American Datum of 1983 (NAD 83).
24. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
25. The Final Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of Third Order accuracy or better. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A

combined factor for conversion of grid-to-ground distances shall be shown on the map.

SEWER AND WATER

26. Water and Sewer Requirements:

- a. The subdivider shall install appropriate private back flow prevention devices on all existing and proposed water services (domestic, irrigation, and fire) adjacent to the project site in a manner satisfactory to the Water Department Director.
- b. The subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.

INFORMATION:

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC Section 1531 et seq.).
- If the subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), then the subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within 90 days of the approval of this Tentative Map by filing a written protest with the City Clerk pursuant to California Government Code Section 66020.
- Where in the course of development of private property, public facilities are damaged or removed the property owner shall at no cost to the City obtain the required permits for work in the public right-of-way, and repair or replace the

public facility to the satisfaction of the City Engineer. Municipal Code Section 142.0607.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SAN DIEGO, CALIFORNIA, ON FEBRUARY 14, 2008.

By

Jeannette Temple
Development Project Manager
Development Services Department

Job Order No. 42-5226

College Area Community Council
P.O. Box 15723 San Diego, CA 92175-5723
E-mail: info@cacc-sd.org Web: <http://www.cacc-sd.org>

EXECUTIVE BOARD MINUTES
Community Center, Faith Presbyterian Church
November 9, 2005
7:00pm

Present:

Doug Case	Rosary Nepi	Tom Phelps
Roberta Eidemiller	Aaryn Belfer	Michael Bloom
Judy Hopps	Charles Maze	Sally Roush
Christina Kish	Jim Boggus	Arlene Hady
Steve Laub	Doug Knutson-Keller	Harold Webber
Scott Moomjian	Sandy Alter	Dan Cornthwaite

I. Call to Order/Pledge of Allegiance/Roll Call

Scott Moomjian called the meeting to order at 7:00 p.m. The pledge of Allegiance was recited.

II. Minutes/Agenda Approval

A. It was moved and seconded to approve the minutes of October 12, 2005 as distributed.

Unanimously Approved

III. Adoption and Approval of Consent Agenda

None to Report

IV. Public Comment on Non Agenda Items

- A. Steve Siliverino – 4107 Bedford Dr. – Friends of the Language Academy – There will be a silent auction on December 6th to raise funds for a joint-use project at the Language Academy on Montezuma Rd.
- B. Mary Steckbauer – 5633 Marylane Dr. – Dennis Kramer (594-SAFE) gets a thanks from resident for the (619)594-SAFE program
- C. Kristen Beattie – Mid-City Community Court Prosecutor – Thanks to participants in the community court process. The new Community Relations Officer is Richard Fox.

V. Reports of Government Liaisons

- A. Jay Wilson - Madaffer's office Council District 7 (619) 236-7042 – Spoke regarding the trash on Montezuma Rd. He tried to get SDSU involved but there is a problem

with safety and the lack of sidewalks. There is an event at the Montezuma Language Academy and he will report back to us in January about the progress of the mini-dorm meetings.

- B. Lieutenant Bob McManus - SDSU Department of Public Safety (619) 594-7874 – There has been additional crime at SDSU but all actions are still under investigation. Additional officers from Cal State Long Beach are coming to SDSU for the weekend. The office location is in the student services east building. Their SAFE program is working well in its first month.
- C. Michael Woomeer – SDSU Associate Director of Design and Construction (619) 594-8076 – Aztec Aqua-Plex funded by Associated Students and additional fees was voted on by the students. He gave a small presentation on the status of the project.
- D. Jason Farran – County Supervisor Ron Robert's Office – “AAA” bond rating at the county. \$70 million was spent in fire preparedness. Violent crime rates are down this year.

****7:20pm Steve Laub arrived**

- E. Deanneka Goodwin – Congresswoman Susan Davis' office – She brought copies of their monthly newsletter. Included in the newsletter are dates and times for the Neighborhood Day at Doyle Park. The Congresswoman supports HR1548.
- F. Lisa McClarty- Senator Christine Kehoe’s Office (619) 645-3133 – Community Council sent a letter about sober living homes. She also had post-hearing reports on development blight and eminent domain. Call her office for hearing information on Emergency Response.
- G. Theresa Nakata - SDSU Research Foundation - not in attendance
- H. Christina Kish - Executive Director for College Area BID - Gave a parade re-cap with the first year being a successful one. There is a design workshop on Wednesday, November 14th at 6:30 at the firehouse. The Holiday Tree Lighting will be on December 6th on the corner of College Ave. and El Cajon Blvd.
- I. Fernando Reyes - Assemblywoman Shirley Horton's Office (619) 462-7878 – The Assembly is currently out on recess. Assembly member Choo co-authored AB 1926 (licensing sober living homes).
- J. Marlon Pangilinan - City of San Diego Planning Department – There is a workshop on housing element on November 17th at 9am at council chambers with Bill Levin [(619) 235-5214]. City Council recognized changes in 600-24 including missing 3 consecutive meetings, etc.

VI. Treasurer's Report – Dan Cornthwaite

A. October had an income of \$84.41 and an expenditure of \$71.79 leaving us with a gain of \$12.62 and a balance of \$9,528.38.

Motion to approve by Harold/Sally/Unanimously Approved

VII. Committee Reports

A. Planning Committee:

Information Item:

1. Proposed Joint Use Sports Field at The Language Academy; Friends of the Language Academy (FOLA) (Applicant).

- A representative from the Language Academy will be making a presentation to the Executive Board on November 9. Presentation by Susan Baldwin.

Action Items:

2. Action to consider a Planned Development Permit (PDP) to deviate from minimum lot size and depth and Tentative Map to create 5 residential parcels from one existing 0.58 acre site at 5402 Gilbert Drive in the RS-1-7 Zone (El Cerrito Enclave Project).

Committee comments:

John Becker represented the applicant. The 5 homes range from 1600-2200 s.f., from 4-5 bedrooms. The existing 1920's era home will be torn down. There was extensive public comment from the neighbors in El Cerrito. Based on these concerns and those of the committee, the Committee voted 11-0 to recommend to the Executive Board that:

The CACC forward the following list of concerns to the City of San Diego and request that the Applicant conduct further review and return to the CACC with responses before a vote is taken:

- (a) The proposed homes do not have an architectural style that is consistent or compatible with the existing homes in the neighborhood.
- (b) The properties do not have sufficient yards to support families and are thus inconsistent with surrounding family-oriented residential development.
- (c) The 89' depth of lots 4 & 5 are inconsistent and incompatible with the depth of the surrounding lots, including the 176' deep lot to the east.
- (d) More information is needed on traffic control measures during construction. There is a concern that construction traffic will prevent residents from accessing their properties.
- (e) There is concern that the houses will become rental units and be rented to college students. This creates problems associated with mini-dorms, including excessive noise, poor property maintenance, and availability of on-street parking. The community requests assurances that the units will not become mini-dorms.
- (f) More information is needed to determine if the new north-leg of Berting and Gilbert will cause increased traffic accidents at the intersection.
- (g) There are existing flooding problems at the intersection, and adding more improvement could cause overflow of the storm drain system.

Action to consider a Planned Development Permit (PDP) to deviate from minimum lot size and depth and Tentative Map to create 5 residential parcels from one existing 0.58 acre site at 5402 Gilbert Drive in the RS-1-7 Zone (El Cerrito Enclave Project).

**Motion presented by Committee chair
16-0-1 Motion Passes**

3. **Action to consider a Tentative Map to convert 25 existing residential units to condominiums and waiver for undergrounding overhead utilities on a 0.667 acre site at 5445 55th Street in the RM-3-9 Zone (55th Street Tentative Map Project).**

Committee comments:

Robert Hardenall represented the applicant. The Committee voted 10-1 to recommend to the Executive Board that:

The CACC recommend denial of the application for the following reasons:

- (a) It will reduce the supply of much needed rental housing in the community**
- (b) It is not in conformance with the College Area Redevelopment Project Master Plan**
- (c) Homebuyers will not be able to meet FNMA/FHLMC loan underwriting requirements that 70% of the units be owner occupied as their primary residence**
- (d) Request for Waiver of under-grounding of utilities be denied if the project is otherwise approved.**

Motion to amend by Dan Cornthwaite to add item "D" request for waiver of underground over-head utilities be denied if the project is otherwise approved. Second by Harold Webber/Uniamously approved.

Motion with amendment passes to deny application. 12-4-1

4. **Action to consider a Site Development Permit (SDP) for the Business Improvement District (BID) in the College Area Community Plan to allow encroachments into the public right-of-way (PROW) per approved set of guidelines (College Avenue BID Project).**

Committee comments:

The Committee had not received any supporting material for the application and there was no presentation from the applicant. The Committee voted to defer action on the application to the December meeting.

Motion by Sandy Alder/ Second by Sally Roush to defer committee passes. 9-7-1

5. Action to consider a Tentative Map to convert 28 existing residential units to condominiums on a 0.321 acre site at 7240 El Cajon Boulevard in the CU-2-3 Zone (7240 El Cajon Tentative Map Project).

The applicant was not present at the meeting. The Committee voted 10-1 to recommend to the Executive Board that:

The CACC recommend denial of the application for the following reasons:

- (e) It will reduce the supply of much needed rental housing in the community
(f) It is not in conformance with the College Area Community Plan
(g) Homebuyers will not be able to meet FNMA/FHLMC loan-underwriting requirements that 70% of the units be owner occupied as their primary residence.

Motion to amend request for waiver of underground overhead utilities be denied if the project is otherwise approved.

Motion to amend amendment to deny all waivers.
10-6-1 Motion Passes

Motion that request for waiver of underground overhead utilities be denied and to deny all waivers if otherwise approved.
16-0-1 Motion Passes

Overall Motion including amendments.
12-4-1 Motion Passes

B. Parking District "B":

Construction workers' trucks are being ticketed.

Motion to request the city to provide written rules of parking district B enforcement including service vehicles, construction vehicles, gardening vehicles, etc. These rules would be distributed to all residents within parking district B by the city. The request shall be submitted to the 7th council district office for processing within the city.

Motion to amend the previous motion with opportunity for the CACC to review the parking District B rules and give comments before distribution.
16-0-1 Motion Passes

- C. Library Committee: Welcome to the first Executive CACC meeting to the library meeting next Thursday, November 17th at 6pm for elections.

D. Membership: applications available

E. Bylaws: no report

F. Projects: no report

G. Community Relations: no report

VIII. Reports of Special Delegates

A. College Community Redevelopment PAC - (Jim Boggus): There is a meeting on December 6th.

B. Crossroads Redevelopment PAC - (Charles Maze): There was a meeting on Thursday, October 27th. The "AMCAL" project at the corner of College Ave. and El Cajon Blvd. is going into two phases. Four stories of residential/retail mixed-use are planned.

****Motion to extend the meeting by 30 minutes
Unanimously Approved**

C. Community Planners Committee - (Steve Laub): Reviewing the general plan update sections of review splitting the elements.

D. Mid-City Community Court - (Tom Phelps): They need more volunteers for meetings and training. They meet every Monday evening.

E. Events Advisory Committee - no report

F. Paseo Task Force - (Jim Boggus): Looking for a possible non-profit to buy out the Paseo Project.

IX. Old Business - none to report

X. New Business - For elections, there are two vacant seats. One seat is available for March 2006 and the other for March 2007. One applicant, John Adamske (a resident), is up for the March 2007 seat by a 16-0-1 vote, but the March 2006 seat is still open. Elections are to be held in December. All nomination forms are due by Friday, December 9th. We need representation in the other College Areas that are not currently represented.

**Nomination for Jim Boggus as Vice President
Nomination Approved / 16-0-1**

**Nomination for Dan Cornthwaite as Treasurer for the remainder of the year
Nomination Approved / 16-0-1**

XI. Announcements - The CACC will hold executive board meetings at the new College-Rolando Public Library Community Room at 6600 Montezuma Road, effective November 9, 2005 (this meeting).

XII. Adjournment

There being no further business, the meeting was adjourned at 10:00 p.m. in memory of
Tony Navoy

Christina Kish, CACC Secretary

5445 55th STREET TENTATIVE MAP

PROJECT CHRONOLOGY

PTS # 83624 JO# 425226

Date Response	Action	Description	City Review Time	Applicant
9/13/05	Customer Submits First Cycle			
10/05/05	Initial Assessment Letter Sent		22days	
1/24/06	Customer submits 2 nd Cycle			3 months, 19 days
2/8/06	Second Assessment Letter		14 days	
6/25/07	Customer submits 3rd Cycle	Landscape Plan and Building Conditions Report only		1 year, 4 months, 17 days
7/13/07	Third Assessment Letter		18 days	
12/20/07	Fourth Submittal	Building Conditions Report only		5 months, 7 days
1/15/08	Cycle Complete	Ready for Hearing	25 days	
2/14/08	Planning Commission Hearing		29 days	

<i>Total Staff Time (Average at 30 days per month):</i>	<i>3 months, 18 days</i>
<i>Total Applicant Time (Average at 30 days per month):</i>	<i>2 years, 1 month, 13 days</i>
<i>Total Project Running Time (Years/Months/Days):</i>	<i>2 years, 5 months, 1 day</i>



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: 5445 55th Street TM Project No. For City Use Only _____

Project Address:
5445 55th Street

Do not complete when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

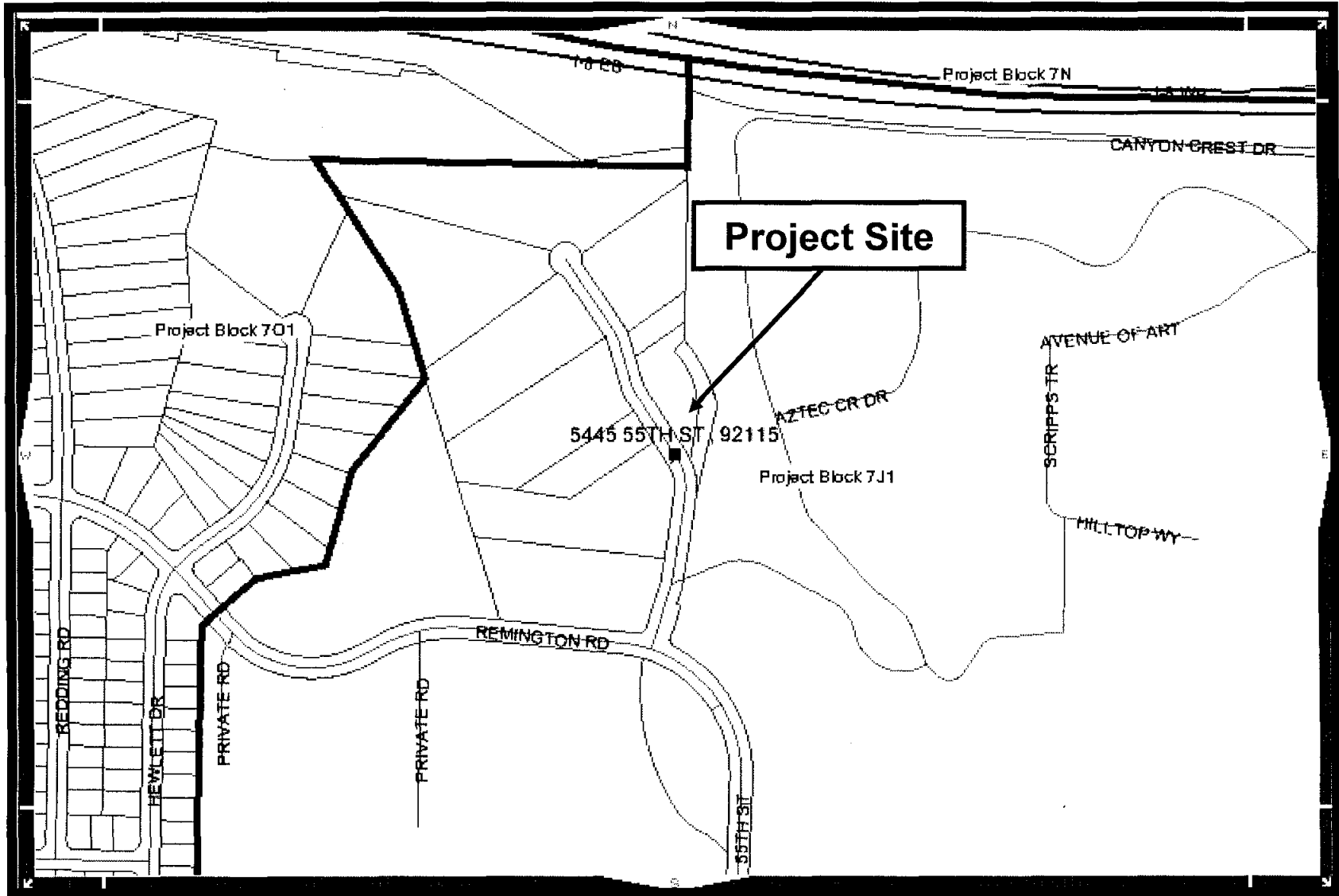
Additional pages attached Yes No

Name of individual (type or print):
Matt Browar
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 2207 Garnet Ave #J
 City/State/Zip: San Diego, CA 92109
 Phone No: (658) 270-5500 Fax No: _____
 Signature: [Signature] Date: _____

Name of individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
Olivia Family Revocable Trust
 Street Address: P.O. Box 577
 City/State/Zip: Del Mar CA 92014
 Phone No: 619 417-4416 Fax No: _____
 Signature: _____ Date: _____

Name of individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____



Block 7J1 Residential Roads and Alleys

5445 55th Street Tentative Map – Project Number 83624

5445 55th Street



Project Block 7G	2028	7
Project Block 7L	2029	7
Project Block 7D	2030	7
Project Block 7S	2031	7
Project Block 7Y	2032	7
Project Block 7K	2033	7
Project Block 7B	2034	7
Project Block 7S2	2035	7
Project Block 7G1	2036	7
Project Block 7H3	2037	7
Project Block 7B1	2038	7
Project Block 7S1	2039	7
Project Block 7Z	2040	7
Project Block 7G3	2041	7
Project Block 7V	2042	7
Project Block 7AA1	2043	7
Project Block 7H2	2044	7
Project Block 7C	2045	7
Project Block 7V1	2046	7
Project Block 7I2	2047	7
Project Block 7C1	2048	7
→ Project Block 7J1	2049	7
Project Block 7AA	2050	7
Project Block 7M1	2051	7
Project Block 7W	2052	7
Project Block 7X	2053	7
Project Block 7I	2054	7
Project Block 7IND	2055	7
Project Block 7Mil	2060	7



Council District Seven

5445 55th Street Tentative Map – Project Number 83624

5445 55th Street

Sample

Browar Development Corporation

2207 Garnet Avenue, Suite J

San Diego, CA 92109

(858) 270-5500

Tenant 60 Day Notice of Intent to Convert to Condominiums

May 9, 2005

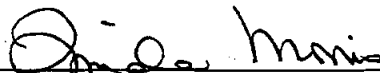
Tina Chanthachak
5445 55th St., Apt # 2A
San Diego, CA 92115

The owner(s) of this building, at 5445 55th St., Apt # 2A, San Diego, CA 92115 plans to file a Tentative Map or Map Wavier with the City of San Diego to convert this building to a condominium project.

You shall be given notice of each hearing for which notice is required pursuant to Sections 66451.3 and 66452.5 of the Government Code, and you have the right to appear and the right to be heard at any such hearing.

Should the condominium conversion project be approved, tenants may be required to vacate the premises.

Please Note: It is not my intention to sell these apartments as condominiums now or in the near future. This conversion process is only being pursued as a precaution to possible future City of San Diego changes which may make a conversion in the future cost prohibitive or impossible. It is being done solely for the purpose of having the opportunity to put a condominium map on the property while it is still possible to do so. We have no intention of making the physical change, but I feel it is important to the value of the building to have this process in place should the real estate climate have any radical changes in the future.



(Signature of owner or owner's agent)



Site Photos

5445 55th Street Tentative Map – Project Number 83624

5445 55th Street