



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: October 23, 2008 **REPORT NO. PC-08-132**

ATTENTION: Planning Commission, Agenda of November 6, 2008

SUBJECT: GOETTGE RESIDENCE - PROJECT NO. 129022.
PROCESS TWO APPEAL

**OWNER/
APPLICANT:** David J. Goettge (Attachment 11)
Jack K. Jaynes / Pacific Southwest

SUMMARY

Issue: Should the Planning Commission approve or deny an appeal of the Development Services Department's decision to approve a Coastal Development Permit to allow the demolition of an existing single-family residence and shed, and construction of a single-family residence and a detached garage?

Staff Recommendation:

1. **CERTIFY** Negative Declaration No. 42-7772; and
2. **DENY** the appeal and **UPHOLD** the Development Services Department's decision to **APPROVE** Coastal Development Permit No. 444117.

Community Planning Group Recommendation: The Ocean Beach Planning Board voted 7-2-0 to recommend denial of the proposed project on March 5, 2008.

Environmental Review: The City of San Diego has conducted an Initial Study and determined that the proposed project will not have a significant environmental effect, and a Negative Declaration, LDR No. 42-7772 has been prepared for the project pursuant to the State of California Environmental Quality Act (CEQA) Guidelines.

Fiscal Impact Statement: All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action. There are no open cases in the Neighborhood Code Compliance Department for this property.

Housing Impact Statement: The proposal to demolish an existing single-family residence and construct a two-story single-family residence would not affect net gain or loss of units in the Ocean Beach Precise Plan area. The proposed project is within the coastal zone and has been reviewed for compliance with the regulations in the Coastal Overlay Zone Affordable Housing Replacement Requirements division of the Land Development Code. This division has not been found applicable to this proposal because this proposal for conversion or demolition of a residential structure contains less than three dwelling units.

BACKGROUND

The 0.08-acre site is located at 4742 Cape May Avenue between Ebers Street and Sunset Cliffs Boulevard (Attachment 1), within the East Ocean Beach neighborhood of the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan (LCP) (Attachment 2). The Precise plan designates the site and surrounding neighborhood for single-family homes and duplexes at a maximum density of 14 dwelling units/acre (du/ac) (Attachment 3). The property development is regulated by the RM-1-1 Zone (multi-family), and subject to the Coastal Overlay Zone; Coastal Height Limit Overlay Zone; Airport Approach Overlay Zone; and Airport Influence Area [Attachment 2].

The property is developed with one existing single-family residence and shed constructed in 1939. The property is located within the Ocean Beach Cottage Emerging Historical District; however, City staff reviewed the project and determined the single-family house is not a designated contributing resource to the district, which has an established period of significance of 1887-1931. The project site is surrounded by established single-family residential developments to the north, south, east, and west (Attachment 2).

The property is located within the Coastal Overlay Zone; therefore, a Coastal Development Permit is required for the demolition and new construction on the property.

On August 20, 2008, the Development Services Department approved the proposed project.

On August 26, 2008, the Ocean Beach Planning Board filed an appeal of the Process 2 Hearing, Development Services Staff's decision asserting a conflict with current LUP/Community Plan (Attachment 9). This issue is discussed further in this report.

DISCUSSION

Project Description:

The project is requesting a Coastal Development Permit (CDP) in accordance with the City of San Diego Land Development Code to demolish an existing, one-story residential unit and shed, and construct a new 2,172-square-foot, two-story single-family residence and a detached 442-square-foot, two-car garage on a 3,500-square-foot (0.08-acre) site. Compliance with all applicable regulations for development of the site was evaluated by City staff. The project site is surrounded by established single-family residential developments to the north, east, south, and

west (Attachment 2).

The proposed project is consistent with the General Plan, the Ocean Beach Precise Plan and in conformance with the current development codes, and meets all the development requirements for the RM-1-1 Zone.

Community Plan Analysis:

The Ocean Beach Precise Plan identifies the project site, 4742 Cape May Avenue, as Low Medium Residential with a density yield of 8-14 Dwelling Units per Acre (DU/AC). The proposed project to demolish an existing structure and construct a two-story, prefabricated, modular residence and separate garage is within the density range of the community plan.

The Residential Land Use and Housing Element of the Ocean Beach Precise Plan include the goal to, "Maintain the existing character of Ocean Beach as exemplified by a mixture of small scale residential building types and styles." The proposal meets this goal by incorporating finished materials, colors and structured elements/architectural details similar to other structures in the neighborhood. A floor area ratio of 0.75 also assists in controlling building bulk. The applicant has also provided staff with a photographic survey of development in the immediate neighborhood that demonstrates the existence of similar structures in terms of height, bulk, scale, as well as architecture.

Zoning:

The project meets the density of the zone which allows for one dwelling unit for each 3,000 square feet of lot area. Therefore, the 3,500 square-foot project site would allow one unit. The proposed density is within the allowable density of both the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan, and the San Diego Municipal Code (SDMC) RM-1-1 zone.

The SDMC establishes a maximum Floor Area Ratio (FAR) of 0.75, or 2,625 square feet for this property. The project proposes 2,172 square feet of living area, and a 442 square feet detached garage for a total area of 2,614 square feet.

The project meets all development requirements of the Municipal Code and recommendations of the community plan with respect to building height and setbacks. The maximum building height would be 29' 3". All required setbacks are observed, and no deviation or variance is sought in conjunction with the Coastal Development Permit application.

Environmental Analysis:

The Environmental Analysis Section conducted an Initial Study to determine if the proposed project would result in environmental impacts. Potential impacts to Historical Resources (Archaeology), and Historical (Architectural) were initially identified and considered in depth during the review of the project and determined to be less than significant. Qualified City Staff conducted a site visit with a Native American monitor and the entire site was evaluated for surface evidence of historical resources and no artifacts were observed during the field investigation. In addition, the structures to be demolished were determined not to be historically

significant, and as such, no mitigation measures were required and a Negative Declaration No. 42-7772 has been prepared for this project, in accordance with State CEQA Guidelines.

Community Planning Group Recommendation

The Ocean Beach Planning Board voted 7-2-0 to recommend denial of the proposed project on March 5, 2008, for the following reasons: 1) bulk & scale, 2) density, 3) lack of articulation (Attachment 10).

Project-Related Issues:

Appeal Issues:

The appeal of the Development Services Department's decision to approve the project is based mainly on three issues (Attachment 9). These issues are addressed below in the approximate order they appear within the appeal and include staff's response:

Appeal Issue No. 1: The appeal states that the proposed project conflicts with the current LCP/Community Plan.

Staff Response: The proposed project would be consistent with the current LCP/Community Plan. The proposed project meets the goal and intent of the current LCP/Community Plan, the appellant is referring to the draft plan update that is under review and not approved yet.

Appeal Issue No. 2: The appellant claims that the Community Plan indicates that upper stories of structures use articulation and therefore, the second and third stories should be stepped back to offset new construction bulk away from right-of-way in order to increase pedestrian orientation of the community and to mitigate the appearance of the overall structure's bulk and scale.

Staff Response: The appellant is again referring to draft policy in the plan update. The Residential Land Use and Housing Element of the Ocean Beach Precise Plan includes the goal to "Maintain the existing character of Ocean Beach as exemplified by a mixture of small scale residential building types and styles."

The entire structure facing Cape May Avenue observes a 24 foot front setback, where up to 50% of the structure could have observed a 15 foot setback and the remaining 50% could have observed a 20 foot setback. To further accentuate the façade, the first story includes a covered porch and the second floor has a deck, creating off setting planes which will reduce perceived impacts from the three story unit, preserving a pedestrian orientation that assists in implementing the, "small-scale residential building types" identified in the Ocean Beach Precise Plan.

The proposed project meets the goal of the Ocean Beach Precise Plan by incorporating finished materials, colors and structured elements compatible with existing structures in the neighborhood. Regarding community character, the applicant has also supplied evidence of other three-story residences in the neighborhood. In addition, the proposed project as presented is in conformance with the current development codes, and meets all the development requirements

for the RM-1-1 Zone. The Land Development Code does not require any step back for the second and third story.

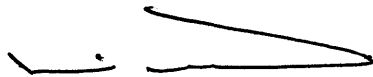
Conclusion:

In summary, staff has determined the proposed project is consistent with the purpose and intent of the Ocean Beach Precise Plan design guidelines, and conforms to all applicable development regulations of the San Diego Municipal Code in effect regarding the RM-1-1 Zone, as allowed through the Coastal Development Permit Process. Staff has concluded that the proposed project will not adversely affect the General Plan or the Ocean Beach Precise Plan. Staff has determined the required findings can be supported as substantiated in the draft resolution (Attachment 8) and recommends that the Planning Commission deny the appeal and uphold the approval of the project as conditioned.

ALTERNATIVES

1. **Deny** the appeal and uphold the Development Services Department’s decision to **Approve** Coastal Development Permit No. 444117; or
2. **Approve** the appeal and deny the project.

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Laila Iskandar
Project Manager
Development Services Department

Attachments:

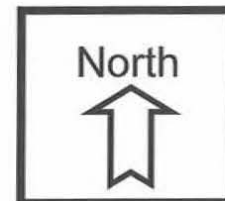
1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Project Data Sheet
5. Project Development Plans
6. Site Photos
7. Draft Permit with Conditions
8. Draft Resolution with Findings
9. Copy of Appeal(s)
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement



Project Location Map

GOETTGE RESIDENCE - PROJECT NO. 129022

4742 Cape May Avenue



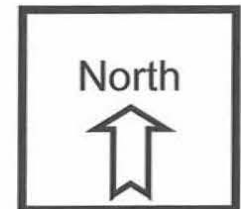
PROJECT SITE

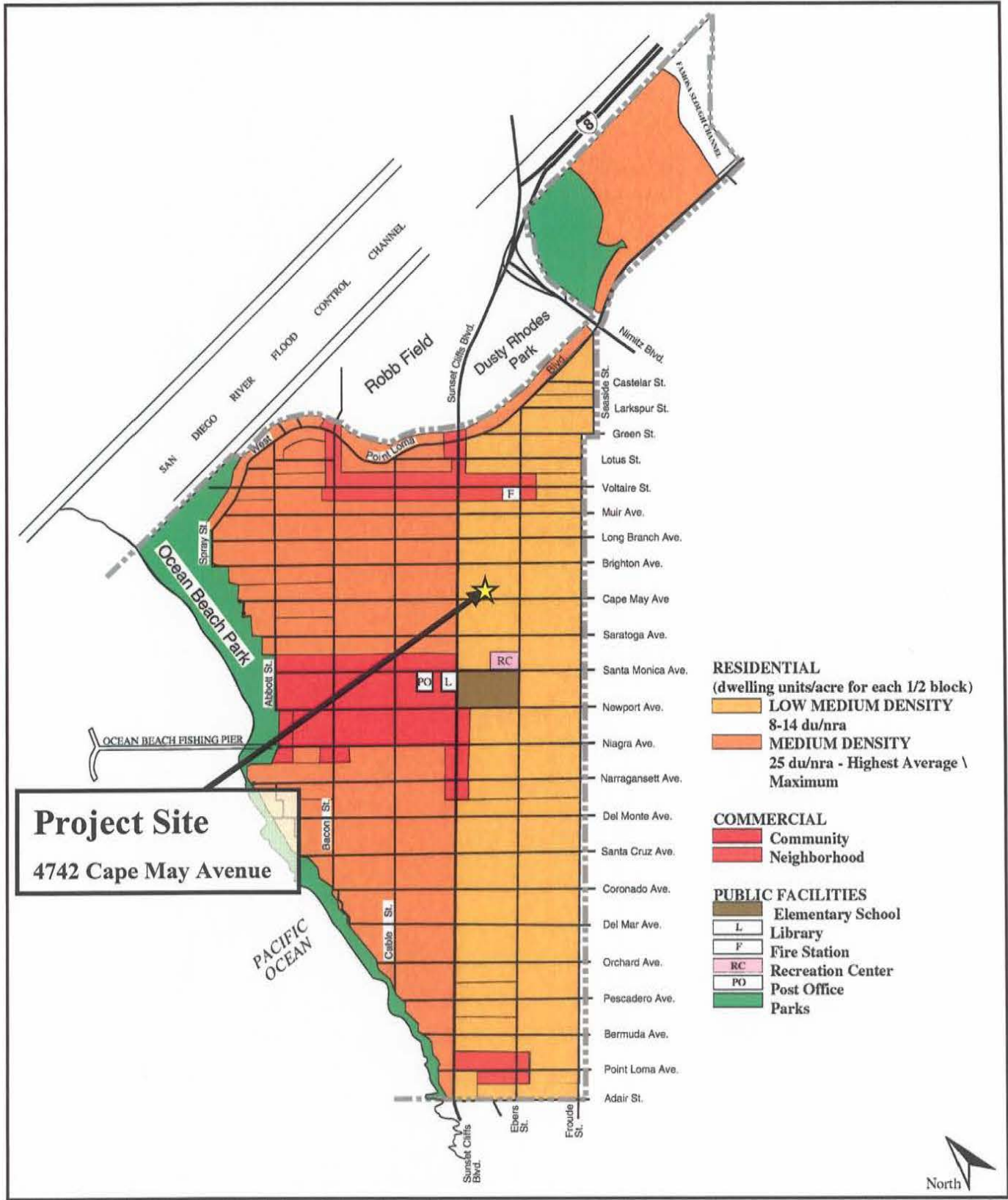


Aerial Photo

GOETTGE RESIDENCE – PROJECT NUMBER 129022

4742 Cape May Avenue





10-15-02 JA.ob1



PROJECT DATA SHEET		
PROJECT NAME:	Goettge Residence	
PROJECT DESCRIPTION:	Demolition of an existing single-family residence and shed, and construction of a single-family residence and a detached garage.	
COMMUNITY PLAN AREA:	Ocean Beach	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Low Medium Density Residential (8-14 dwelling units per acre)	
	<u>CURRENT ZONING INFORMATION:</u>	<u>PROPOSED:</u>
ZONE:	RM-1-1 (multi-unit residential)	RM-1-1
DENSITY:	1 du/3,000 sf – 1 dwelling unit	1 dwelling unit
HEIGHT LIMIT:	30' max	29'6"
LOT SIZE:	6,000 sf minimum	3,500 sf existing
FLOOR AREA RATIO:	0.75	0.75
FRONT SETBACK:	15 feet/ 20 feet	24'
SIDE SETBACK:	3 feet (less than 40 ft. wide lot)	3 feet
STREETSIDE SETBACK:	N/A	N/A
REAR SETBACK:	15' including half width of the alley	16' (without half with of alley)
PARKING:	2 spaces	2 spaces
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Multiple Family; RM-1-1	Single & Multiple Family residential
SOUTH:	Multiple Family; RM-1-1	Multiple Family residential
EAST:	Multiple Family; RM-1-1	Multiple Family residential
WEST:	Multiple Family; RM-1-1	Multiple Family residential
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Ocean Beach Planning Board voted 7-2-0 to recommend denial of the proposed project on March 5, 2008.	

SITE DEVELOPMENT PLAN FOR: THE GOETTGE RESIDENCE

4742 CAPE MAY AVENUE
SAN DIEGO, CA 92107

OWNER(S):
DAVID JAMES GOETTGE
4742 CAPE MAY AVENUE
SAN DIEGO, CA 92107
PHONE: (619) 547-0819

BY: *[Signature]* DATE: 10/12/07
DAVID JAMES GOETTGE

OWNER'S CERTIFICATE
STANDARD SINGLE FAMILY RESIDENTIAL PROJECT
FOR POST CONSTRUCTION BMPs

I/WE THE UNDERSIGNED AS OWNER(S) OF THE PROPERTY DESCRIBED AS:
LOT 14 IN BLOCK 29 OF OCEAN BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 279, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 28, 1887.

LEGAL DESCRIPTION:
LOT 14 IN BLOCK 29 OF OCEAN BEACH, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 279, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MAY 28, 1887.

UNDERSTAND THAT IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE, LAND DEVELOPMENT MANUAL - STORM WATER STANDARDS, THIS PROJECT IS REQUIRED TO IDENTIFY POLLUTANTS FROM THE PROJECT AREA AND INCORPORATE "SITE DESIGN" AND SOURCE CONTROL" BMPs.

APN(S):
448-412-09

EXISTING ZONING DESIGNATION:
RM-1-1, FOR ZONE OVERLAYS SEE BELOW

I CERTIFY TO THE BEST OF MY KNOWLEDGE, POLLUTANTS ANTICIPATED BY THE PROPOSED LAND USE ARE AS FOLLOWS:

PROPOSED ZONING DESIGNATION:
SAME, NO CHANGE PROPOSED

- SEDIMENTS
- NUTRIENTS
- TRASH & DEBRIS
- OXYGEN DEMANDING SUBSTANCE
- OIL & GREASE
- BACTERIA & VIRUSES
- PESTICIDES

GROSS SITE AREA:
3,500 SF (0.08 AC)

I WILL INCORPORATE THE FOLLOWING SITE DESIGN:

ZONING OVERLAY(S):
COASTAL ZONE OVERLAY
COASTAL HEIGHT LIMIT OVERLAY
AIRPORT APPROACH OVERLAY
AIRPORT INFLUENCE OVERLAY
PARKING IMPACT ZONE OVERLAY

- MAINTAIN PRE-DEVELOPMENT RUNOFF CHARACTERISTICS,
- MINIMIZE IMPERVIOUS FOOT PRINT BY CONSTRUCTING WALKWAYS, PATIOS AND DRIVEWAYS WITH PERMEABLE SURFACES,
- CONSERVE NATURAL AREAS,
- USE NATURAL DRAINAGE SYSTEMS AS OPPOSED TO LINED SWALES OR UNDERGROUND DRAINAGE SYSTEMS,
- DRAIN ROOF TOPS, WALKWAYS, PATIOS AND DRIVEWAYS INTO ADJACENT LANDSCAPING PRIOR TO DISCHARGING TO THE PUBLIC DRAINAGE SYSTEM,
- PRESERVE EXISTING NATIVE TREES AND SHRUBS,
- PROTECT ALL SLOPES FROM EROSION.

EXISTING USE: RESIDENTIAL BLDG.
YEAR CONSTRUCTED: ±1939

ADDITIONALLY I/WE WILL:

PROPOSED USE:
TWO-STORY SINGLE-FAMILY PREFABRICATED MODULAR RESIDENTIAL DWELLING BUILDING STRUCTURE

- MINIMIZE THE USE OF PESTICIDES,
- USE EFFICIENT IRRIGATION SYSTEMS AND LANDSCAPE DESIGN - INCORPORATING RAIN SHUTOFF DEVICES AND FLOW REDUCERS.

BUS STOPS:
NONE

I/WE WILL MAINTAIN THE ABOVE STANDARD PERMANENT BMPs IN PERPETUITY.

BUILDING SETBACKS

	MIN. REQUIRED	PROPOSED
*FRONT	20'	*24'
**SIDE	3'	**3'
REAR	15'	16'

OWNER(S): DAVID JAMES GOETTGE

*INCREASED TO 24' TO COMPLY WITH ANGLED BUILD. ENVELOPE AT FRONT SETBACK PER SECTION 131.0444(1) OF THE SDMC
SEE SHEET 3 FOR ANGLED BUILD. ENVELOPE AT FRONT SETBACK DETAIL

OWNER(S): *[Signature]* DATE: 10/12/07

**SIDE YARD SETBACK REDUCTION PER SECTION 131.0443(d)(2)(B) OF THE SDMC.

GRADING TABULATIONS

BUILDING HEIGHT:
MAX. 30'
PROPOSED 29.85'

NOTE: GRADING QUANTITIES SHOWN HEREON ARE FOR PERMIT PURPOSES ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION QUANTITIES OR BIDDING.

CEILING HEIGHT:
10' MAX.

TOTAL AMOUNT OF SITE TO BE GRADED: 2,271 SF (0.05 AC)
PERCENT OF TOTAL SITE: 64.9%

EASEMENTS/ENCUMBRANCES
NONE

AMOUNT OF CUT: 70 CY (RAW CUT)
MAX. DEPTH OF CUT: 1.5 FT

TOPOGRAPHIC SOURCE:
SAN DIEGO GEOGRAPHIC INFORMATION SOURCE
DATE: 1999 TOPOGRAPHY (2 FT)

MAX. HEIGHT OF CUT SLOPES: 1.5 FT @ 2:1 SLOPE RATIO
AMOUNT OF FILL: 30 CY (RAW FILL)
MAX. DEPTH OF FILL: 1 FT

GRADING
FINISHED GRADING AND STRUCTURAL SPOILS
CUT..... 70 CY
FILL..... 30 CY
EXPORT.. 40 CY

MAX. HEIGHT OF FILL SLOPES: 1 FT @ 2:1 SLOPE RATIO
AMOUNT OF EXPORT: 40 C.Y.

BUILDING ADDRESS:
OWNER TO PROVIDE ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER PHPS POLICY P-00-6 (UFC 901.4.4)

RETAINING WALLS:
MASONRY: LENGTH: 0 FT, MAX. HEIGHT: 0 FT.
PLANTABLE GRAVITY: LENGTH: 0 FT, MAX. HEIGHT: 0 FT.

PERMANENT BMP MAINTENANCE AGREEMENT:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE SUBDIVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.

CONSTRUCTION BMP NOTE:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

WATER POLLUTION CONTROL PLAN NOTE:
PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

TYPE OF CONSTRUCTION AND CLASSIFICATION PER CALIFORNIA BUILD. CODE:
TYPE OF CONSTRUCTION: IN
RESIDENTIAL MODULAR BUILDING PREFABRICATED BY IRONTOWN HOMES CORPORATION
CONSTRUCTED TO THE FOLLOWING CODE STANDARDS:
2001 C.B.C., 2001 U.P.C., 2001 U.M.C., & 1999 N.E.C.

FIRE PROTECTION NOTES:
1. FIRE PROTECTION, INCLUDING FIRE APPARATUS ACCESS ROADS AND WATER SUPPLIES FOR FIRE PROTECTION, SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING TIME OF CONSTRUCTION.
2. BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH CFC ARTICLE 87.
3. IN LIEU OF PROVIDING FIRE DEPARTMENT ACCESS BOTH THE SINGLE FAMILY RESIDENCE AND GARAGE SHALL BE EQUIPPED WITH A RESIDENTIAL FIRE SPRINKLER SYSTEM, SATISFACTORY TO THE FIRE MARSHALL.
4. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL SHALL BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE PROPOSED STRUCTURE IN ACCORDANCE WITH UFC 1001.4.
5. FOR LOCATION OF EXISTING FIRE HYDRANTS WITHIN 600' RADIUS, SEE SHEET C2 (SHEET 2 OF 22).

FLOOR AREA RATIO (FAR) ANALYSIS

PREPARED BY
[Signature] DATE: 9/29/2008
BRUNO B. CALLU R.C.E. 59412

GROSS FLOOR AREA (GFA) CALCULATIONS

ATTIC FLOOR AREA	82.08 S.F.
2ND FLOOR AREA	1045 S.F.
1ST FLOOR AREA	1045 S.F.
GARAGE FLOOR AREA	441.75 S.F.
TOTAL GFA	2613.83 S.F.

FLOOR AREA RATIO CALCULATIONS

TOTAL GFA: 2613.83 S.F.
SITE AREA: 3500 S.F.
FAR ANALYSIS SUMMARY: 2613.83 S.F. / 3500 S.F. = 0.75

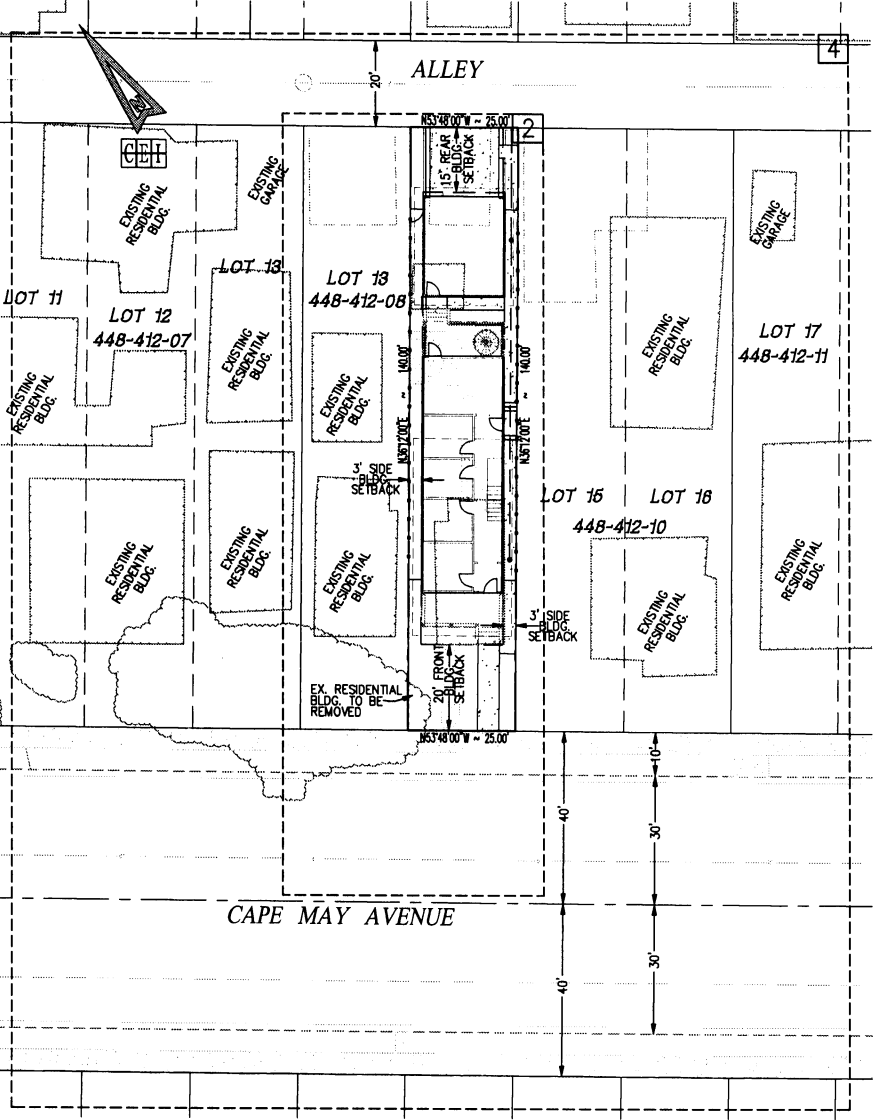
SITE AREA:
3,500 SF (0.08 AC)
GROSS FLOOR AREA:
2,613.83 SF (0.06 AC)
FLOOR AREA RATIO:
MAXIMUM . 0.75 (3,500 X 0.75 = 2,625 S.F.)
PROPOSED . 0.75 (2,613.83 S.F.)

ATTIC PLAN VIEW

1ST, 2ND, AND GARAGE FLOORS - PLAN VIEW

TYPICAL STREET SECTION
CAPE MAY AVENUE
NTS

INDICATES QUALIFYING AREA INCLUDED IN GROSS FLOOR AREA (GFA)



SCOPE OF WORK:
THE PROJECT'S EXISTING IMPROVEMENTS INCLUDE:
EXISTING BUILDING AND SIDEWALK.

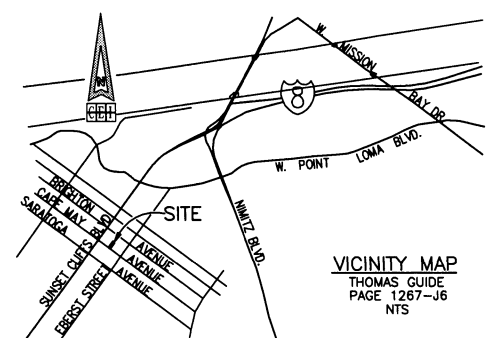
THE PROJECT'S PROPOSED IMPROVEMENTS INCLUDE:
1. REMOVE EXISTING BUILDING AND CONCRETE SIDEWALKS
2. INSTALLATION OF TWO STORY BUILDING AND SEPARATE GARAGE.
3. THE REQUIRED DISCRETIONARY PERMITS/APPROVALS FOR THIS PROJECT: COASTAL DEVELOPMENT PERMIT

SHEET INDEX:

SHEET NAME	NO.	DESIGNATION
COVER SHEET	1	C1
SITE DEVELOPMENT PLAN/F.H. LOCATION MAP	2	C2
SITE CROSS SECTIONS	3	C3
BUILDING ROOF PLAN	4	C4
COVER SHEET (BUILDING PLAN)	5	G1
ELEVATIONS	6	A1
ELEVATIONS	7	A2
MAIN FLOOR PLAN	8	A3
UPPER & ATTIC/ROOF DECK FLOOR PLAN	9	A4

PROJECT TEAM:
CIVIL ENGINEER
CALLU ENGINEERING, INC.
338 WEST LEXINGTON AVENUE, SUITE #216
EL CAJON, CA 92020
PHONE (619) 937-2750

STRUCTURAL ENGINEER/ARCHITECT
OR ENGINEERS
1283 NORTH STATE STREET
OREM, UTAH 84053
PHONE (801) 222-0922



LEGEND:

PROPOSED IMPROVEMENTS

- PROPERTY LINE/LIMIT OF WORK LINE
- PARCEL LINES
- SETBACK LINE
- SIDEWALK
- BLDG. FOOTPRINT
- STEM WALL
- DEEPEMED FOOTING
- GRADED SWALE
- DRAINAGE PATTERN
- PROPOSED FINISHED GRADE
- 5' WOOD FENCE

EXISTING IMPROVEMENTS

- EXISTING DRIVEWAY
- EX. BUILDING
- EX. TREE
- EX. WATER MAIN
- EX. WATER SERVICE
- EX. SEWER MAIN
- EX. SEWER LATERAL
- EX. SIDEWALK
- EX. CURB AND GUTTER
- EX. 2' CONTOUR INTERVAL
- EX. 10' CONTOUR INTERVAL
- EXISTING FIRE HYDRANTS

SITE PLAN/COASTAL DEVELOPMENT PERMIT
CITY OF SAN DIEGO
THE GOETTGE RESIDENCE
PROJECT NO. 129022

SHEET TITLE: COVER SHEET

PREPARED BY:
CALLU ENGINEERING, INC.
CIVIL ENGINEERING CONSULTANTS
338 WEST LEXINGTON AVE. SUITE 216
EL CAJON, CA 92020 ~ (619) 937-2750 FAX (619) 937-2750

PROJECT ADDRESS: 4742 CAPE MAY AVENUE
SAN DIEGO, CA 92107

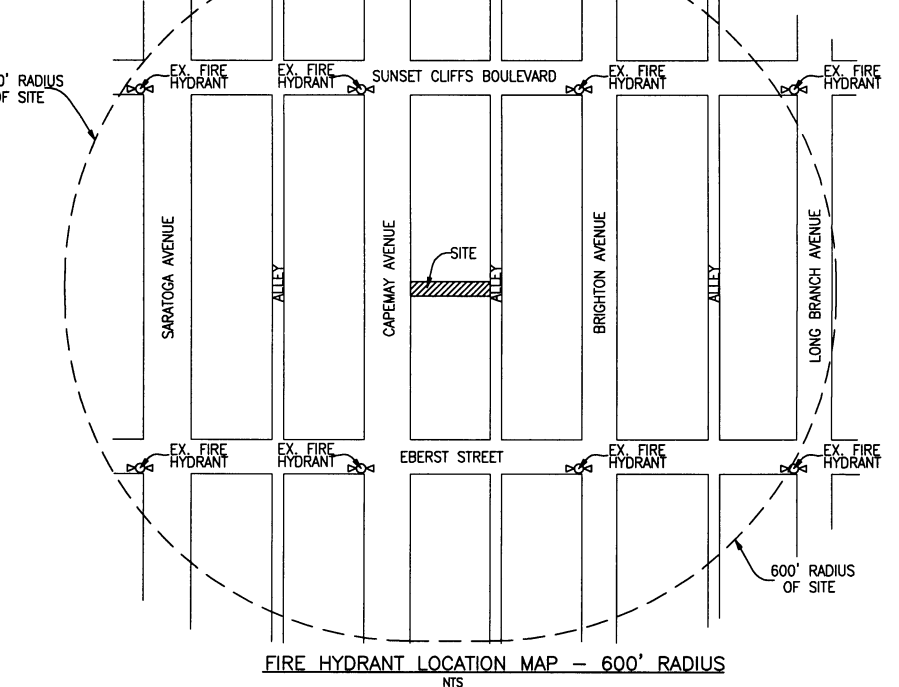
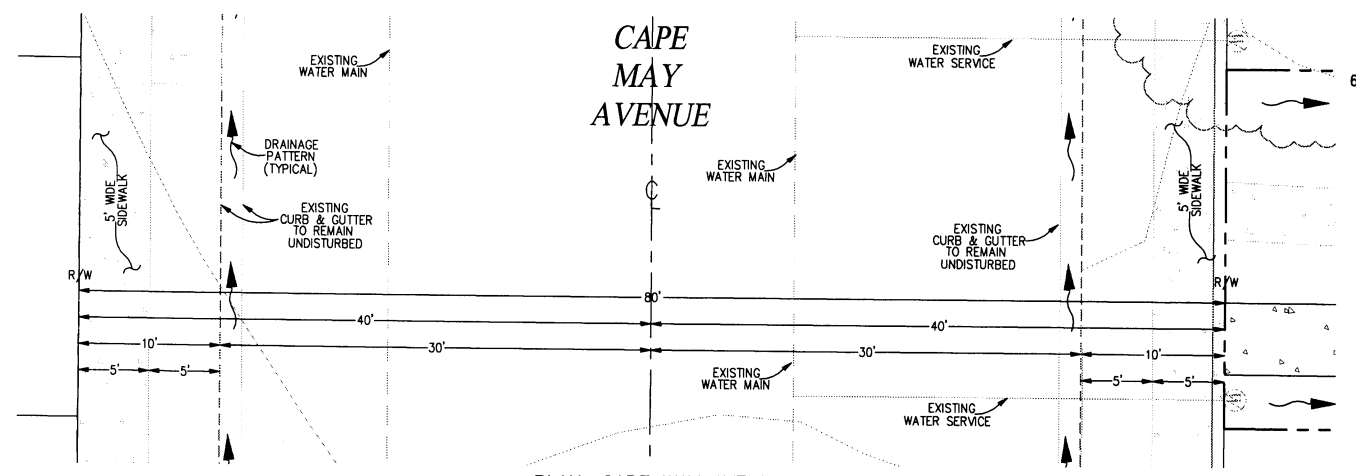
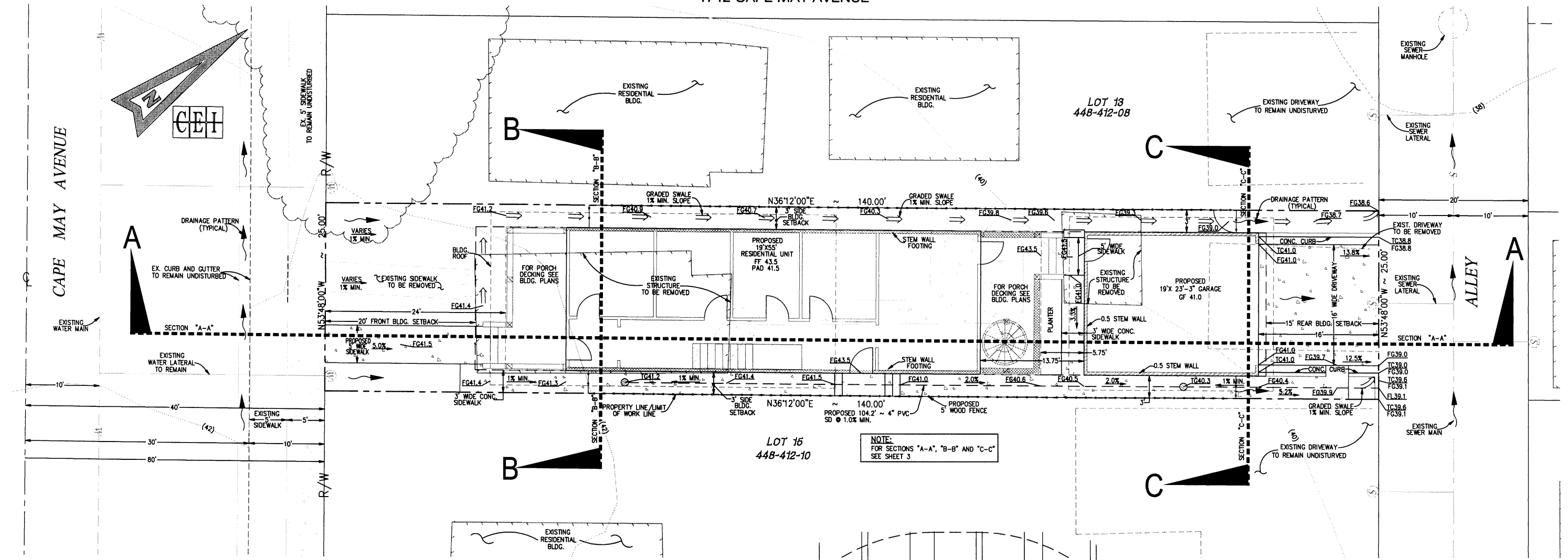
ORIGINAL DATE OF PREPARATION: 02/27/2007
DATE SUBMITTED: 04/25/2007

REVISIONS:

DESCRIPTION:	BY:	DATE:
1. - ADDED SITE CROSS SECTION SHEET.	CEI	04/18/2007
2. - CITY OF S.D. COMPLETENESS REVIEW LETTER DATED 5/1/07	CEI	06/26/2007
3. - CITY OF S.D. ASSESSMENT LETTER DATED 8/29/07	CEI	10/1/2007
4. - ADD FAR ANALYSIS	CEI	8/15/2008
5. - ADJUSTED FRONT BLDG. FRONT SETBACK TO COMPLY WITH SDMC 131.0444(1)	CEI	9/29/2008

SHEET 1 OF 9 | C1

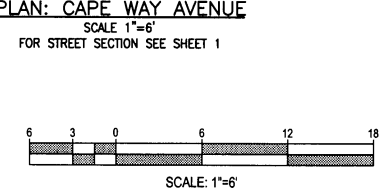
SITE DEVELOPMENT PLAN FOR: THE GOETTGE RESIDENCE 4742 CAPE MAY AVENUE



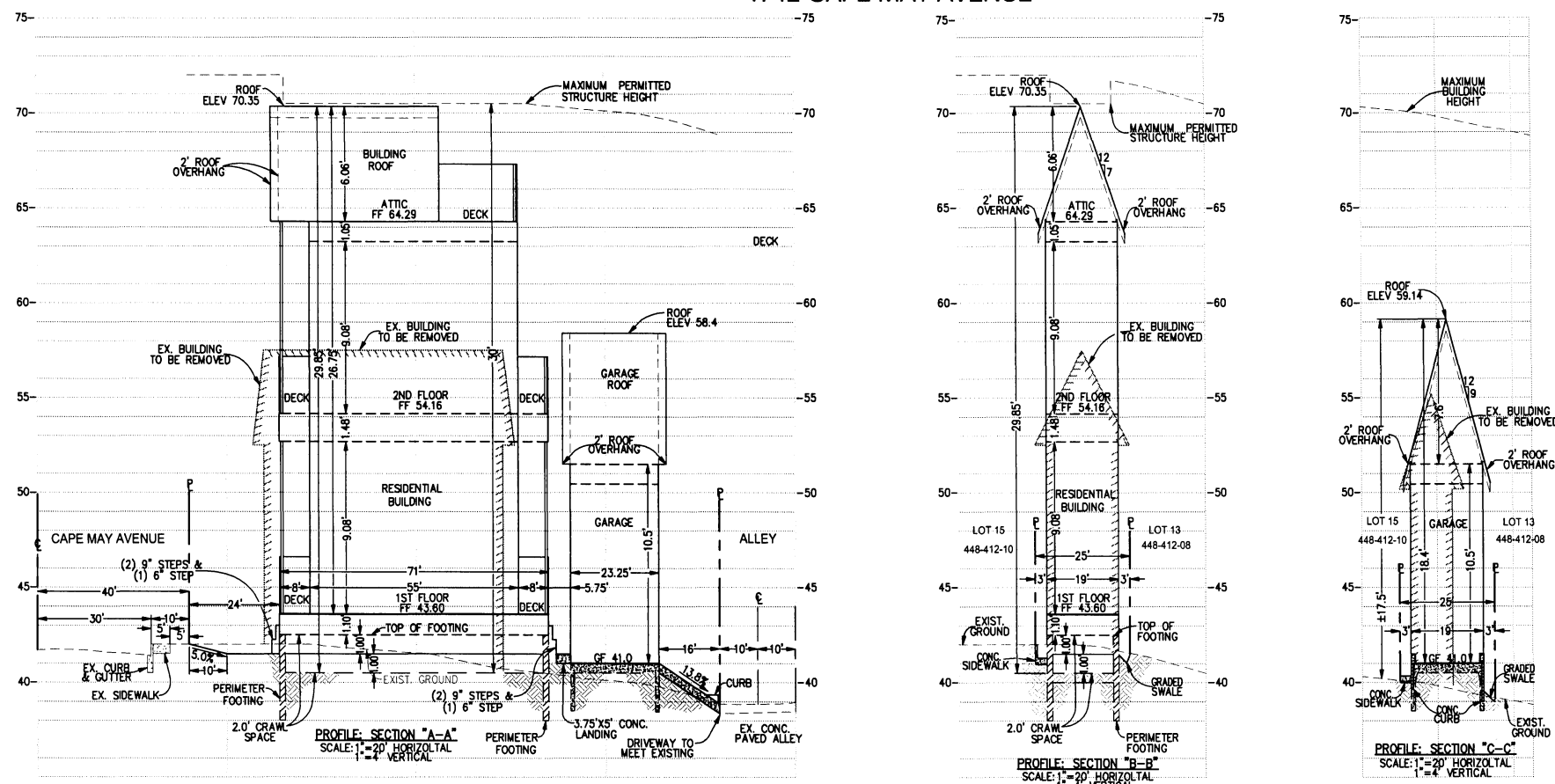
SITE PLAN/COASTAL DEVELOPMENT PERMIT CITY OF SAN DIEGO THE GOETTGE RESIDENCE PROJECT NO. 129022		
SHEET TITLE: SITE DEVELOPMENT PLAN/F.H. LOCATION MAP		
PREPARED BY: CEI CALLU ENGINEERING, INC. CIVIL ENGINEERING CONSULTANTS 338 WEST LEXINGTON AVE. SUITE 216 EL CAJON, CA 92020 ~ (619) 937-2750 FAX (619) 937-2750		
PROJECT ADDRESS: 4742 CAPE MAY AVENUE SAN DIEGO, CA 92107		
ORIGINAL DATE OF PREPARATION:	02/27/2007	
DATE SUBMITTED:	04/25/2007	
REVISIONS:		
DESCRIPTION:	BY:	DATE:
1. - ADDED SITE CROSS SECTION SHEET.	CEI	04/18/2007
2. - CITY OF S.D. COMPLETENESS REVIEW LETTER DATED 5/1/07	CEI	06/26/2007
3. - CITY OF S.D. ASSESSMENT LETTER DATED 8/29/07	CEI	10/1/2007
4. - ADD FAR ANALYSIS	CEI	8/15/2008
5. - ADJUSTED FRONT BLDG. FRONT SETBACK TO COMPLY WITH SDMC 131.044(1)	CEI	9/29/2008
SHEET 2 OF 9 C2		

PREPARED BY
CEI CALLU ENGINEERING, INC.
CIVIL ENGINEERING CONSULTANTS
338 WEST LEXINGTON AVE. SUITE 216
EL CAJON, CA 92020 ~ (619) 937-2750 FAX (619) 937-2750

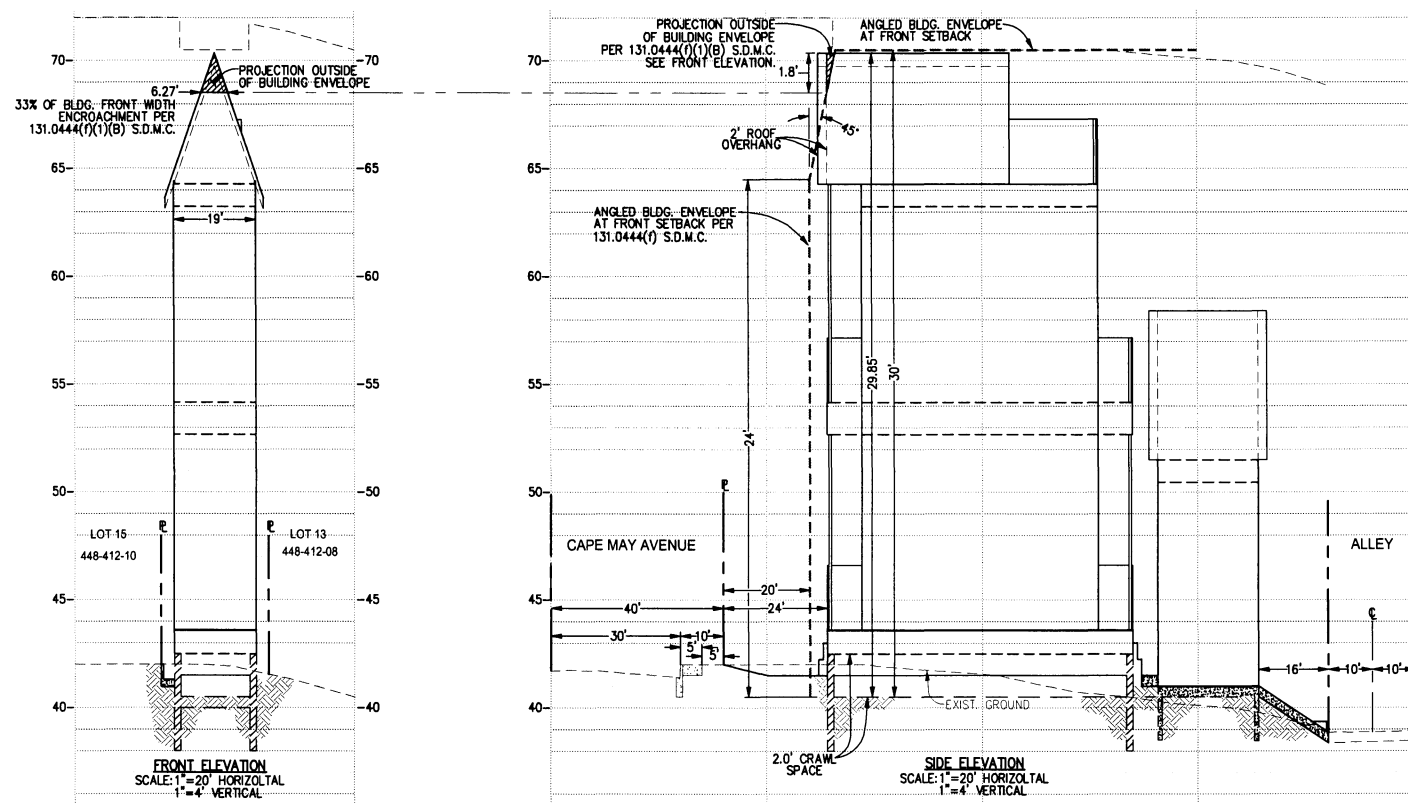
BY: *Bruno B. Callu* DATE: 9/29/2008
BRUNO B. CALLU R.C.E. 59412



SITE DEVELOPMENT PLAN FOR: THE GOETTGE RESIDENCE 4742 CAPE MAY AVENUE



SITE CROSS SECTIONS



**ANGLED BUILDING ENVELOPE AT FRONT SETBACK
(ANALYSIS PER SECTION 131.0444(f) S.D.M.C.)**

PREPARED BY
CEI CALLU ENGINEERING, INC.
CIVIL ENGINEERING CONSULTANTS
338 WEST LEXINGTON AVE. SUITE 216
EL CAJON, CA 92020 ~ (619) 937-2750 FAX (619) 937-2750



By: *Bruno B. Callu* DATE: 9/29/2008
BRUNO B. CALLU R.C.E. 59412

SITE PLAN/COASTAL DEVELOPMENT PERMIT
CITY OF SAN DIEGO
THE GOETTGE RESIDENCE
PROJECT NO. 129022

SHEET TITLE: SITE CROSS SECTIONS

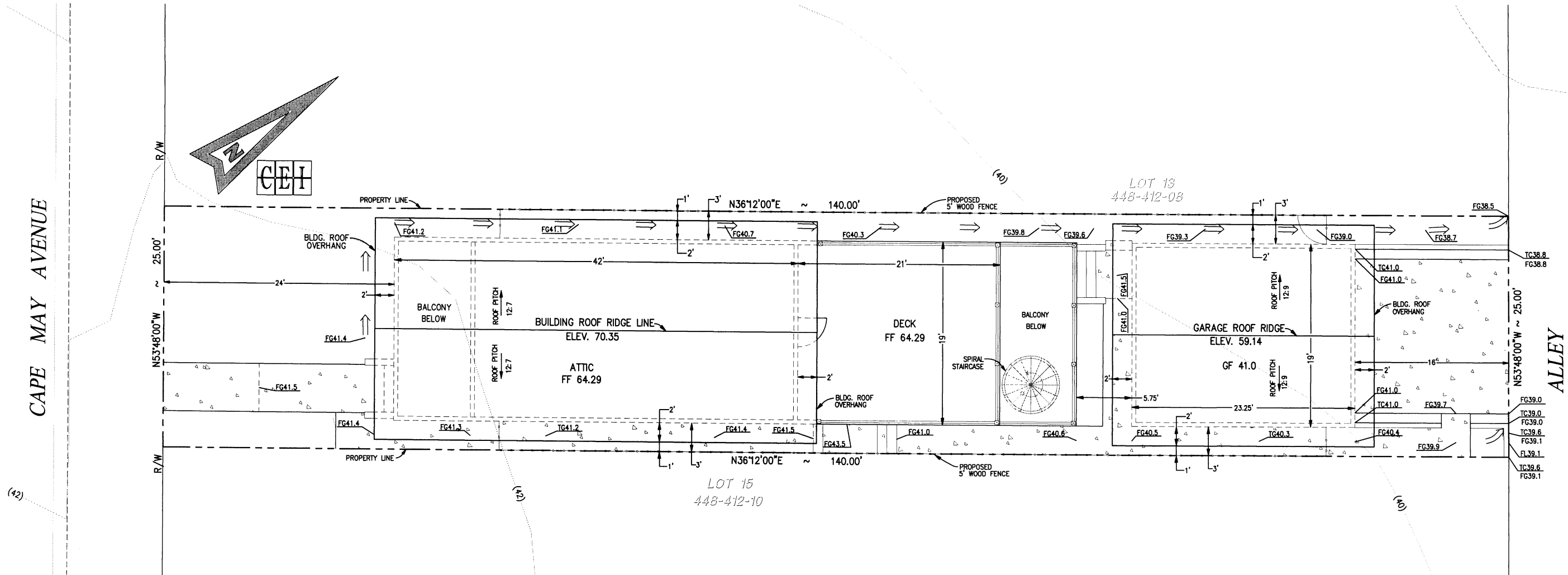
PREPARED BY:
CEI CALLU ENGINEERING, INC.
CIVIL ENGINEERING CONSULTANTS
338 WEST LEXINGTON AVE. SUITE 216
EL CAJON, CA 92020 ~ (619) 937-2750 FAX (619) 937-2750

PROJECT ADDRESS: 4742 CAPE MAY AVENUE
SAN DIEGO, CA 92107

ORIGINAL DATE OF PREPARATION: 02/27/2007
DATE SUBMITTED: 04/25/2007

REVISIONS:		
DESCRIPTION:	BY:	DATE:
1. ADDED SITE CROSS SECTION SHEET.	CEI	04/18/2007
2. CITY OF S.D. COMPLETENESS REVIEW LETTER DATED 5/1/07	CEI	06/26/2007
3. CITY OF S.D. ASSESSMENT LETTER DATED 8/29/07	CEI	10/1/2007
4. ADJUSTED FRONT BLDG. FRONT SETBACK TO COMPLY WITH SDMC 131.0444(f)	CEI	9/29/2008
5. -		

SITE DEVELOPMENT PLAN FOR:
THE GOETTGE RESIDENCE
 4742 CAPE MAY AVENUE



SITE PLAN/COASTAL DEVELOPMENT PERMIT
 CITY OF SAN DIEGO
 THE GOETTGE RESIDENCE
 PROJECT NO. 129022

SHEET TITLE: BUILDING ROOF PLAN

PREPARED BY:
CEI CALLU ENGINEERING, INC.
 CIVIL ENGINEERING CONSULTANTS
 338 WEST LEXINGTON AVE. SUITE 216
 EL CAJON, CA 92020 ~ (619) 937-2750 FAX (619) 937-2750

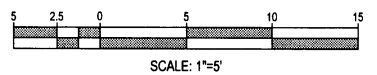
PROJECT ADDRESS: 4742 CAPE MAY AVENUE
 SAN DIEGO, CA 92107

ORIGINAL DATE OF PREPARATION: 02/27/2007
 DATE SUBMITTED: 04/25/2007

REVISIONS:		
DESCRIPTION:	BY:	DATE:
1. - ADDED SITE CROSS SECTION SHEET.	CEI	04/18/2007
2. - CITY OF S.D. COMPLETENESS REVIEW LETTER DATED 5/1/07	CEI	06/26/2007
3. - CITY OF S.D. ASSESSMENT LETTER DATED 8/29/07	CEI	10/1/2007
4. - ADJUSTED FRONT BLDG. FRONT SETBACK TO COMPLY WITH SDMC 131.0444(f)	CEI	9/29/2008
5. -		

PREPARED BY
CEI CALLU ENGINEERING, INC.
 CIVIL ENGINEERING CONSULTANTS
 338 WEST LEXINGTON AVE. SUITE 216
 EL CAJON, CA 92020 ~ (619) 937-2750 FAX (619) 937-2750

By: *Bruno B. Callu* DATE: 9/29/2008
 BRUNO B. CALLU R.C.E. 59412



RESIDENCE FOR GOETTGE

PARCEL NO 448-412-09-00

4742 CAPE MAY AVE SAN DIEGO, CA

INDEX OF DRAWINGS

- G1- COVER SHEET
- A1- ELEVATIONS
- A2- ELEVATIONS
- A3- FLOOR PLAN
- A4- FLOOR PLAN

DESIGN CRITERIA

THE 2001 CBC, CMC, CPC, CEC, OR 1999 NEC, AS AMENDED BY THE STATE OF CALIFORNIA AND LOCAL JURISDICTIONS ARE APPLICABLE TO THIS PROJECT.

2001 CALIFORNIA BUILDING CODE
SEISMIC ZONE: 4
WIND: 75 MPH
EXPOSURE: C
IMPORTANCE: 1

WIND LOADS:
CALCULATED IN ACCORDANCE WITH ASCE 7-02.

SOIL PROFILE: SD
ALLOWABLE BEARING PRESSURE: 2000 PSF

SEISMIC	E ULT LOADS	E/1.4 ALLOWABLE STRESS
CV = 0.768	V<= 0.2000 *W	0.1429 *W (EQN 30-5)
NV = 1.2	V= 0.6648 *W	0.4748 *W (EQN 30-4)
CA = 0.44	V>= 0.0484 *W	0.0346 *W (EQN 30-6)
NA = 1.0	V>= 0.0698 *W	0.0499 *W (EQN 30-7)
CT = 0.02		
HN = 23 FT		
R = 5.5		
T = 0.2101		

ROOF LOADS
FRAMING: 3 PSF
SHEATHING: 2 PSF
ROOFING: 5 PSF
CEILING: 3 PSF
MISC.: 2 PSF
LIVE: 20 PSF

ROOF DEAD LOAD: 15 PSF

CEILING LOADS
FRAMING: 1 PSF
SHEATHING: 2 PSF
CEILING: 2 PSF
ELECTRICAL: 1 PSF
INSULATION: 1 PSF

TOTAL CEILING LOAD: 7 PSF
CEILING LIVE LOAD: 10 PSF

FLOOR LOADS:
FRAMING: 2 PSF
SHEATHING: 4 PSF
FINISH: 2 PSF
MECHANICAL: 2 PSF
MISC: 3 PSF

TOTAL FLOOR LOAD: 12 PSF

LIVE LOAD: 40 PSF (TABLE 16-A)
PARTITION LOAD: 10 PSF

TYPE OF CONSTRUCTION VN
STORIES 2
BUILDING AREA 1957 SF
AUTOMATIC SPRINKLERS NO

TITLE 24

NOTES:
1. TITLE 24 ENERGY CALCS TO BE APPROVED BY THE LOCAL JURISDICTION.

INSULATION
R-38 ROOF
R-19 WALL
R-19 FLOOR

WATER HEATING
TANK WATER HEATER
MODEL # 42VR50-40F
SMALL GAS
RATED INPUT BTU/HR 40,000
RECOVERY EFFICIENCY FACTOR 0.62

HVAC
CENTRAL FURNACE 80% AFUE
MODEL # 80PJ12ER01
DUCTS IN ATTIC
DUCT R-VALUE 4.2
THERMOSTAT TYPE: SETBACK
CENTRAL AIR-MODEL #10AJB30A01

IRONTOWN HOUSING COMPANY, INC.
2202 S. Mountain Vista Lane
Provo, Utah 84606
801-375-7486 FAX 801-375-8399

ON SITE ASSEMBLY
(THE FOLLOWING IS A GENERAL LIST SOME ITEMS MAY NOT BE THE REQUIREMENT OF IHC DEPENDING ON CONTRACT DOCUMENTS)

Note: Craning is the responsibility of the builder or owner. We may, at our option, supervise the crane work being done to place the house on the foundation.
In addition the vertical exterior "marriage walls" will be tied together with 22 gauge metal straps (1" x 3/4"). Each strap will be installed at 2' on center with 8d nailed spaced 1 3/4" apart.

1. Exterior Finish Work (Stitch):
 - a. If standard vinyl siding is used, install siding (provided by IHC):
 - on Gable ends
 - front and rear between upper and lower pads on a two story house
 - install exterior corner pieces and inside corner pieces if/where needed
 - b. If other siding is used, it will depend on what buyer chooses as to what is done on site.
 - c. Install aluminum fascia and soffit (provided by IHC):
 - on Gable ends where pads connect
 - d. Install rain gutters if desired (not provided by IHC)
 - e. Put on ridge cap on roof (provided by IHC)
 - f. If hinge truss or cap truss is used, erect the roof or put the truss in place, sheet with wafer, cover with tar paper, and continue shingling, ending with ridge cap.
 - g. Roof trusses and roofing material (provided by IHC installed by others on site)

2. Interior Finish Work (Stitch):
 - a. Finish "Marriage wall" (where pads come together)
 - Hang pre-hung door(s) (provided by IHC)
 - Trim out openings with base and casing trim on marriage wall (provided by IHC)
 - Install & finish any drywall on ceiling, wall, or openings for flush finish and texture, then paint to blend
 - marriage wall into existing wall and ceiling (drywall provided by IHC)
 - Repair minor cracks from shipment if necessary
 - Finish drywall at plumbing connections if required
 - b. Electrical: (Materials provided by IHC)
 - Wires will be pulled and tagged to be tied into electrical panel
 - Complete wire connections between pads.
 - Glass on light fixtures will be shipped loose and need to be put in place.
 - Phone & TV wires will be pulled to location of electrical panel and need to be tied in.
 - c. Plumbing:
 - Connect water & waste lines between first and second floor if applicable
 - Tie in water and waste lines under floor system to outside supply & sewer (labor and materials supplied by others)
 - Tie hot and cold water lines between pads as required
 - All under floor waste piping to be completed on site.

-Connect plumbing vent pipes in attic and extend through roof (this will be done at plant unless roof needs to be erected on site)
-If vinyl is omitted or shipped loose in bathrooms upon customer's request, toilet will be shipped loose and will need installation.
-Water heater will be installed but water supply and gas supply will need to be completed.

- d. HVAC System: (Provided by IHC)
 - Ductwork will be in place but will need to be joined at marriage wall.
 - Tie in power to furnace, heat pump, etc.
 - If on a full basement with furnace and water heater in basement, both will need to be installed as well as connection to condenser unit which requires a concrete pad outside
 - Hang drywall and install fire stopping at chase systems after installed if and where required.

- e. Flooring: (Provided by IHC)
 - Vinyl is usually installed before setting cabinets.
 - Carpet and pad will be shipped loose for local installation as part of the stitch.

- f. Paint: (Provided by IHC)
 - Touch up point where drywall and/or trim out is done on site.

The following will need to be done but IHC does not furnish materials or labor. This is "Site Work" to be done by others (Irontown retains the option to bid on site work in the local area):

- g. Excavation of site (and backfill, after foundation is poured, to rough grade.)
- h. Bucks put in for basement windows/doors where desired
- i. Footings and foundation poured
- j. Waterproof the Foundation
- k. Pour concrete basement floor after plumbing rough-in
- l. Bearing wall and mudsill installed before house is set.
- m. Porches poured, front, back and in garage.
- n. Sewer lines and water lines run in from street or stub-in.
- o. Window wells installed before backfill
- p. Driveway and sidewalks poured
- q. Power trench dug and line installed.

Notes:
1. The garage is not usually included in the bid but materials can be purchased to match the siding, roofing, and windows to the house. The garage is erected on site by others. We can run power lines to tie in. There may be an option to panelize the garage.
2. Above details are subject to change or comparable substitutions by IHC made without notification by IHC

SITE PLAN/COASTAL DEVELOPMENT PERMIT
CITY OF SAN DIEGO
THE GOETTGE RESIDENCE
PROJECT NO. 129022

SHEET TITLE:
MODULAR HOME COVER SHEET

PREPARED BY:



PROJECT ADDRESS: 4742 CAPE MAY AVENUE
SAN DIEGO, CA 92107

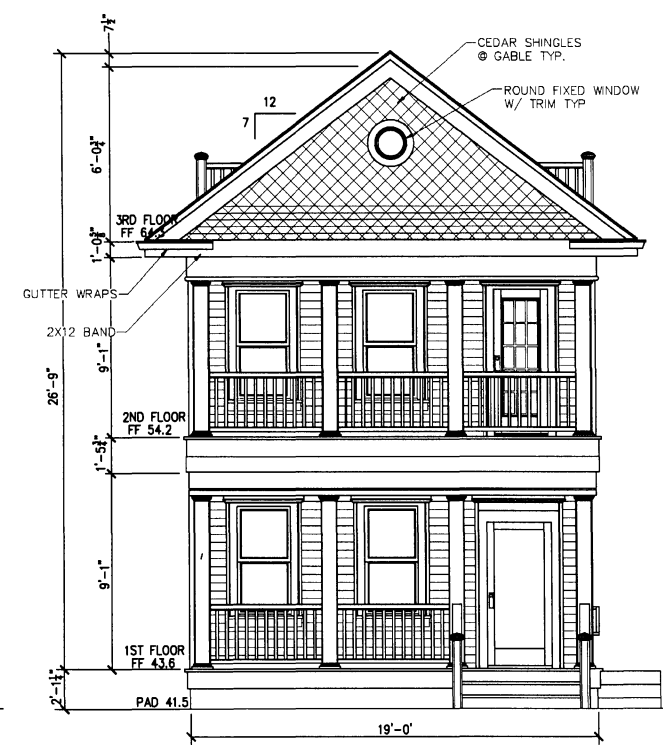
ORIGINAL DATE OF PREPARATION: 02/27/2007
DATE SUBMITTED: 04/25/2007

REVISIONS:		
DESCRIPTION:	BY:	DATE:
1.-		
2.-		
3.-		
4.-		
5.-		

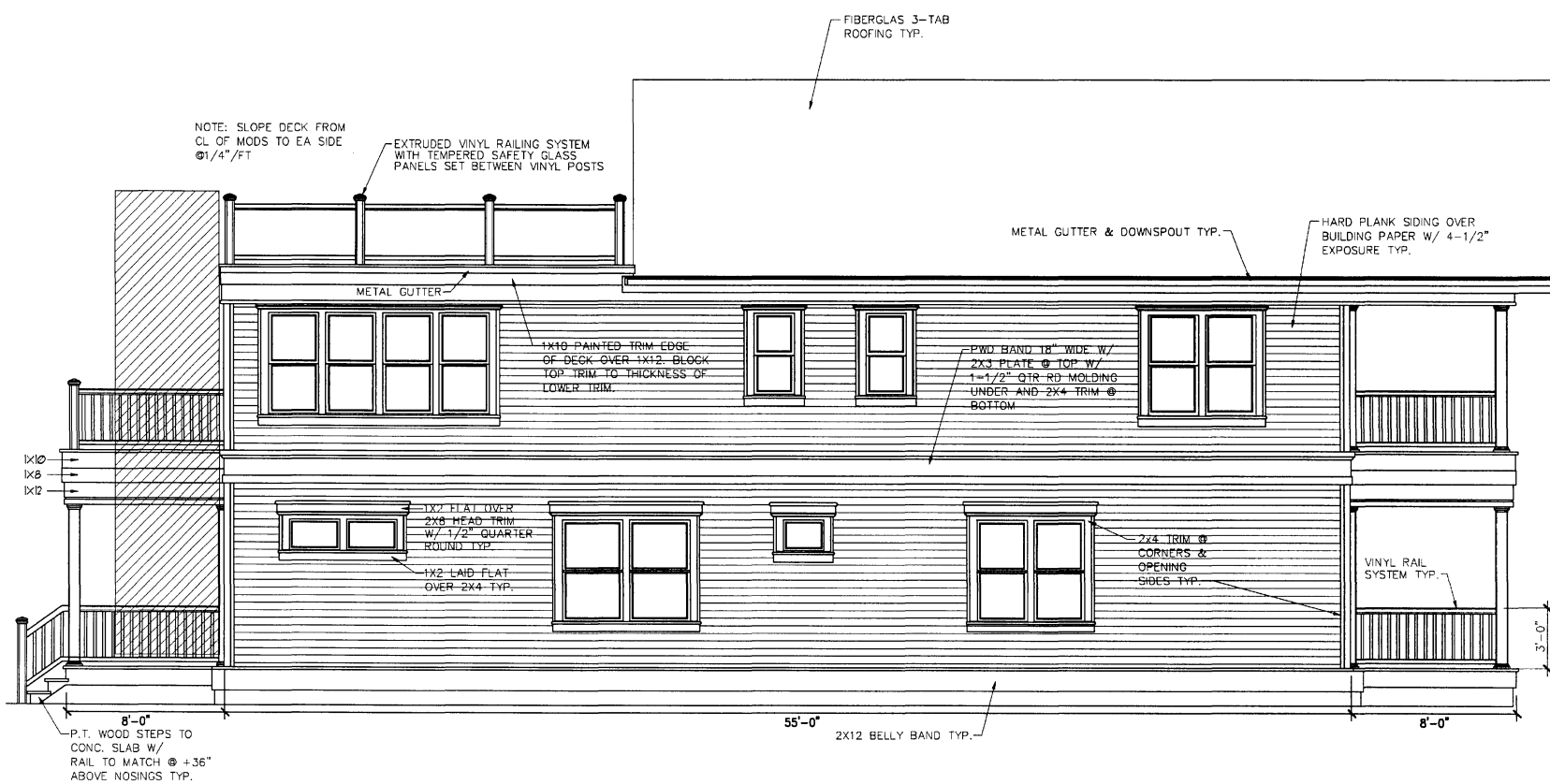
IRONTOWN HOMES
 2202 S. MOUNTAIN VISTA LANE
 PROVO, UTAH 84606
 PHONE: (801) 222-0922
 FAX: (801) 222-0982
 801-375-7486
 IRONTOWN HOMES
 AN OFF-SITE BUILDER
 CKR ENGINEERS
 CONSULTING ENGINEERS
 1283 NORTH STATE STREET
 OREM, UTAH 84053
 PHONE: (801) 222-0922
 FAX: (801) 222-0982
 801-375-7486
 GOETTGE
 ENGINEERS
 CONSULTING ENGINEERS
 4742 CAPE MAY AVE
 SAN DIEGO, CALIFORNIA



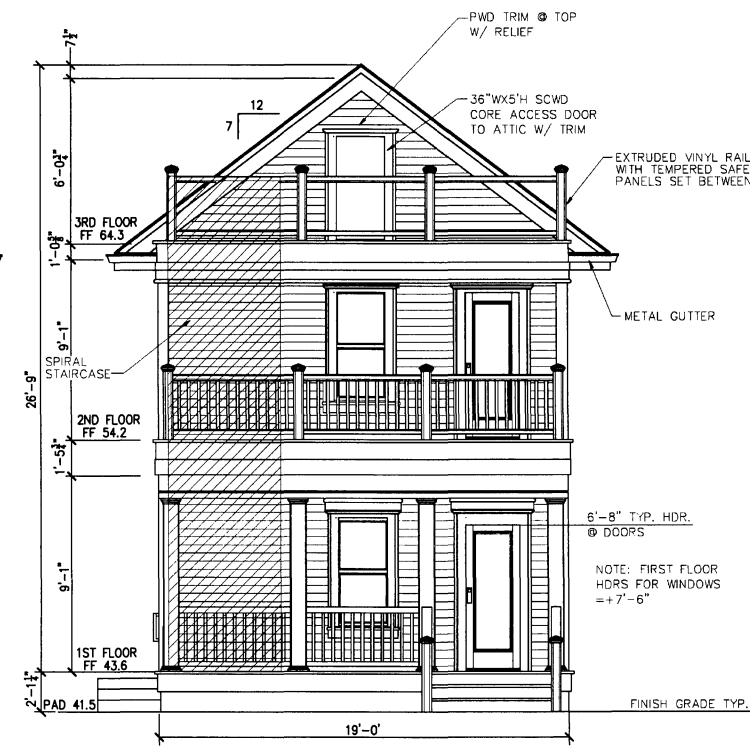
RIGHT ELEVATION ② — 1/4"=1'-0"
NAME



FRONT ELEVATION ① — 1/4"=1'-0"
NAME



LEFT ELEVATION ④ — 1/4"=1'-0"
NAME



REAR ELEVATION ③ — 1/4"=1'-0"
NAME

SITE PLAN/COASTAL DEVELOPMENT PERMIT
CITY OF SAN DIEGO
THE GOETTGE RESIDENCE
PROJECT NO. 129022

SHEET TITLE: ELEVATIONS

PREPARED BY: FRONTTOWN HOMES
2202 SOUTH BROADWAY, SUITE 100, SAN DIEGO, CA 92108
801-375-7486

PROJECT ADDRESS: 4742 CAPE MAY AVENUE
SAN DIEGO, CA 92107

ORIGINAL DATE OF PREPARATION: 02/27/2007
DATE SUBMITTED: 04/25/2007

REVISIONS:		
DESCRIPTION:	BY:	DATE:
1.-		
2.-		
3.-		
4.-		
5.-		

DATE: 6/21/08
DRAWN BY: JTB
JOB NO. 5756

1283 NORTH STATE STREET
SAN DIEGO, CA 92103
PHONE: (619) 222-0932
FAX: (619) 222-0902
CKR ENGINEERS
CONSULTING ENGINEERS

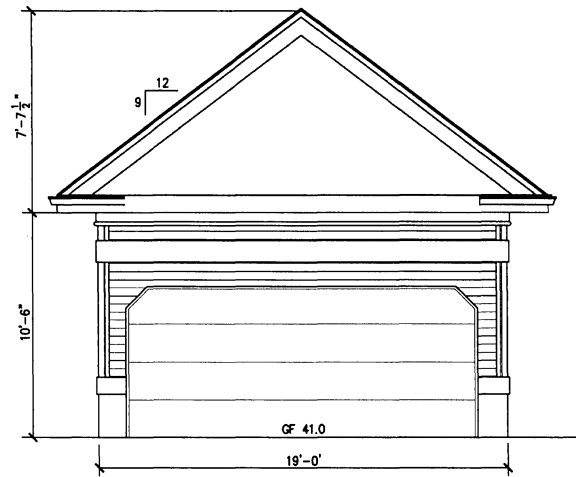
FRONTTOWN HOMES
2202 SOUTH BROADWAY, SUITE 100
SAN DIEGO, CA 92108
801-375-7486

FRONTTOWN HOMES
AN OFF-SITE BUILDER

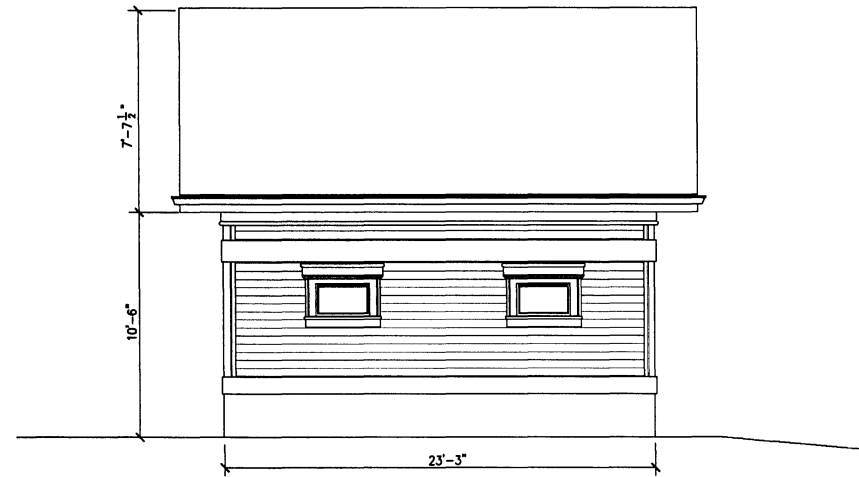
GOETTGE
4742 CAPE MAY AVE
SAN DIEGO, CALIFORNIA

ELEVATIONS

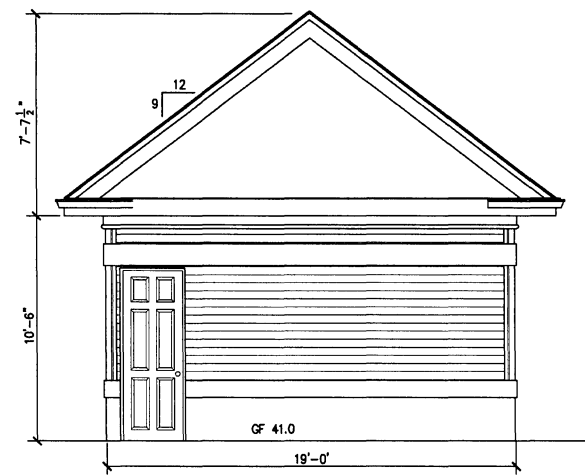
SHEET NO. **A1**



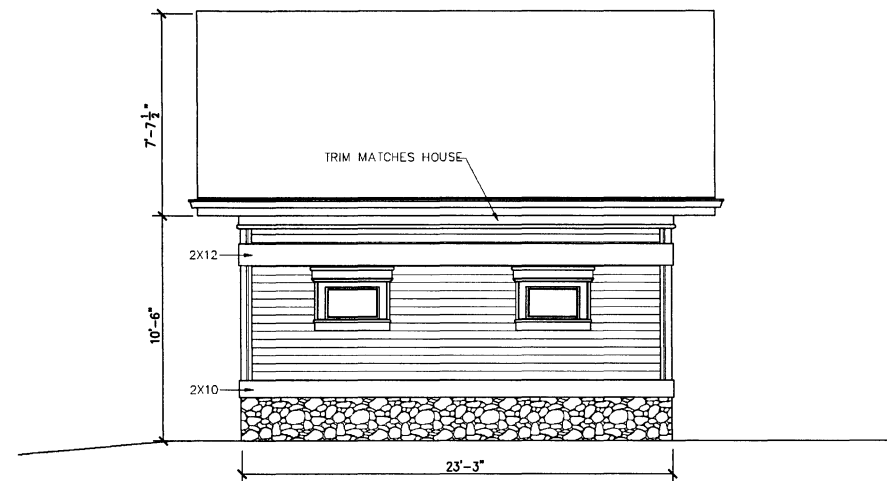
FRONT ELEVATION ① — 1/4"=1'-0"
NAME



RIGHT ELEVATION ② — 1/4"=1'-0"
NAME



REAR ELEVATION ③ — 1/4"=1'-0"
NAME



LEFT ELEVATION ④ — 1/4"=1'-0"
NAME

SITE PLAN/COASTAL DEVELOPMENT PERMIT
CITY OF SAN DIEGO
THE GOETTGE RESIDENCE
PROJECT NO. 129022

SHEET TITLE: ELEVATIONS

PREPARED BY:  FRONTTOWN HOMES
2302 2527th HIGHWAY WEST LANE
PO BOX 1040
SAN DIEGO, CA 92117
801-375-7486

PROJECT ADDRESS: 4742 CAPE MAY AVENUE
SAN DIEGO, CA 92107

ORIGINAL DATE OF PREPARATION: 02/27/2007
DATE SUBMITTED: 04/25/2007

REVISIONS:		
DESCRIPTION:	BY:	DATE:
1.-		
2.-		
3.-		
4.-		
5.-		

DATE: 8/27/06
JOB NO: 5758

1283 NORTH STATE STREET
ORLANDO, FLORIDA 32804
PHONE: (407) 227-9922
FAX: (407) 227-9922



FRONTTOWN HOMES
2302 2527th HIGHWAY WEST LANE
PO BOX 1040
SAN DIEGO, CA 92117
801-375-7486



GOETTGE
4742 CAPE MAY AVE
SAN DIEGO, CALIFORNIA

PROJECT

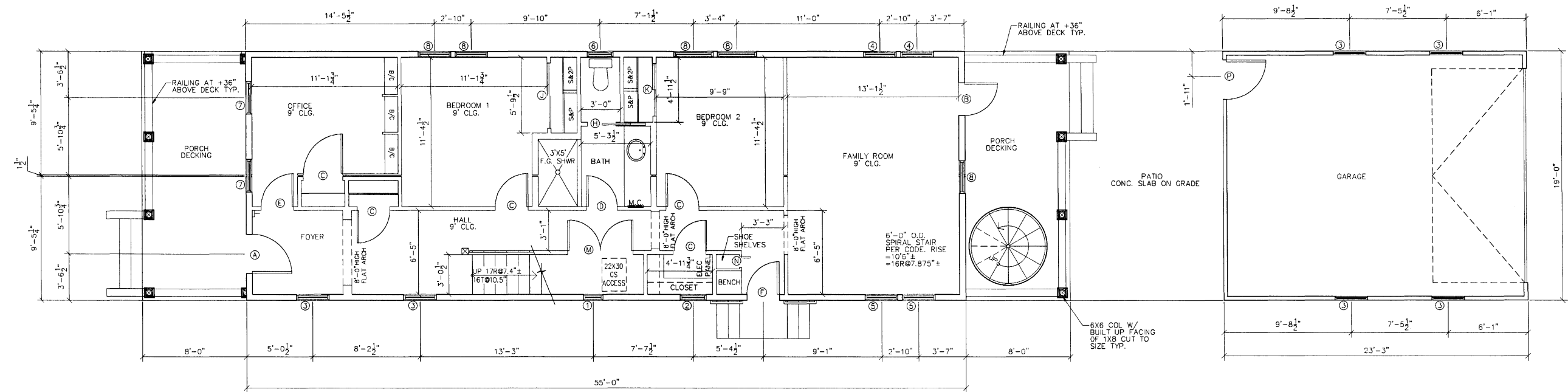
ELEVATIONS

SHEET TITLE

REVISIONS

SHEET NO

A2



MAIN FLOOR - 1045 SQ.FT.
UPPER FLOOR - 1045 SQ.FT.


MAIN FLOOR PLAN 1 — 1/4"=1'-0"
PLAN

DOOR SCHEDULE					
MARK	WIDTH	HEIGHT	MATERIAL	STYLE	REMARKS
A	3.0	8.0	FIBERGLASS	FULL LITE	EXTERIOR, INTERNAL BLINDS
B	2.6	8.0	FIBERGLASS	FULL LITE	EXTERIOR, INTERNAL BLINDS
C	2.6	8.0	HOLLOWCORE WOOD	6-PANEL	INTERIOR, 6-PANEL
D	2.4	8.0	HOLLOWCORE WOOD	6-PANEL	INTERIOR, 6-PANEL
E	2.8	8.0	HOLLOWCORE WOOD	6-PANEL	INTERIOR, 6-PANEL
F	2.6	8.0	FIBERGLASS	HALF LIGHT	EXTERIOR, HALF LIGHT
H	2.4	8.0	HOLLOWCORE WOOD	6-PANEL	INTERIOR, POCKET DOOR
I	2.6	8.0	HOLLOWCORE WOOD	6-PANEL	INTERIOR, POCKET DOOR
J	5.0	8.0	HOLLOWCORE WOOD	6-PANEL	INTERIOR, BYPASS, MIRRORED
K	4.0	8.0	HOLLOWCORE WOOD	6-PANEL	INTERIOR, BYPASS, MIRRORED
L	2.8	8.0	HOLLOWCORE WOOD	6-PANEL	INTERIOR, POCKET DOOR
M	6.0	8.0	HOLLOWCORE	6-PANEL	INTERIOR, DOUBLE HUNG
N	0.8	8.0	HOLLOWCORE WOOD	6-PANEL	INTERIOR, 6-PANEL
P	3.0	8.0	FIBERGLASS	6-PANEL	EXTERIOR, 6-PANEL

WINDOW SCHEDULE											
MARK	WIDTH	HEIGHT	MATERIAL	STYLE	COLOR	GLASS	GRIDS	H.H.	U-FACTOR	SHGH	REMARKS
1	1.6	1.6	VINYL	FIXED	WHITE	CLEAR	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
2	2.0	1.6	VINYL	FIXED	WHITE	CLEAR	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
3	2.6	1.6	VINYL	FIXED	WHITE	CLEAR	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
4	2.6	1.6	VINYL	AWNING	WHITE	CLEAR	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
5	2.0	1.6	VINYL	AWNING	WHITE	CLEAR	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
6	2.0	1.6	VINYL	FIXED	WHITE	OBS TEMP	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
7	2.6	5.0	VINYL	SINGLE HUNG	WHITE	CLEAR	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
8	3.0	5.0	VINYL	SINGLE HUNG	WHITE	CLEAR	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
9	2.6	3.0	VINYL	SINGLE HUNG	WHITE	CLEAR	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
10	2.0	1.6	VINYL	AWNING	WHITE	DBSCURED	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE
11	2.6	4.0	VINYL	SINGLE HUNG	WHITE	CLEAR	NONE	6' 8"	.34	.31	CASCADE SERIES, DUAL PANE LoE

SITE PLAN/COASTAL DEVELOPMENT PERMIT
CITY OF SAN DIEGO
THE GOETTGE RESIDENCE
PROJECT NO. 129022

SHEET TITLE: MAIN FLOOR PLAN

PREPARED BY:  IRONTOWN HOMES
2322 HIGHLAND POWER LAKE
PROV. UTILITY BUILDER 801-375-7486

PROJECT ADDRESS: 4742 CAPE MAY AVENUE
SAN DIEGO, CA 92107

ORIGINAL DATE OF PREPARATION: 02/27/2007
DATE SUBMITTED: 04/25/2007

REVISIONS:

DESCRIPTION:	BY:	DATE:
1. - FLOOR AREAS	CEI	8/15/2008
2. -		
3. -		
4. -		
5. -		

SHEET NO. A3

DRAWN BY: JLR DATE: 8/27/08 JOB NO. 5798

1284 NORTH STATE STREET
VINTAGE PARK 92122-0922
PHONE: (619) 222-9922 FAX: (619) 222-9922

CKR ENGINEERS
CONSULTING ENGINEERS

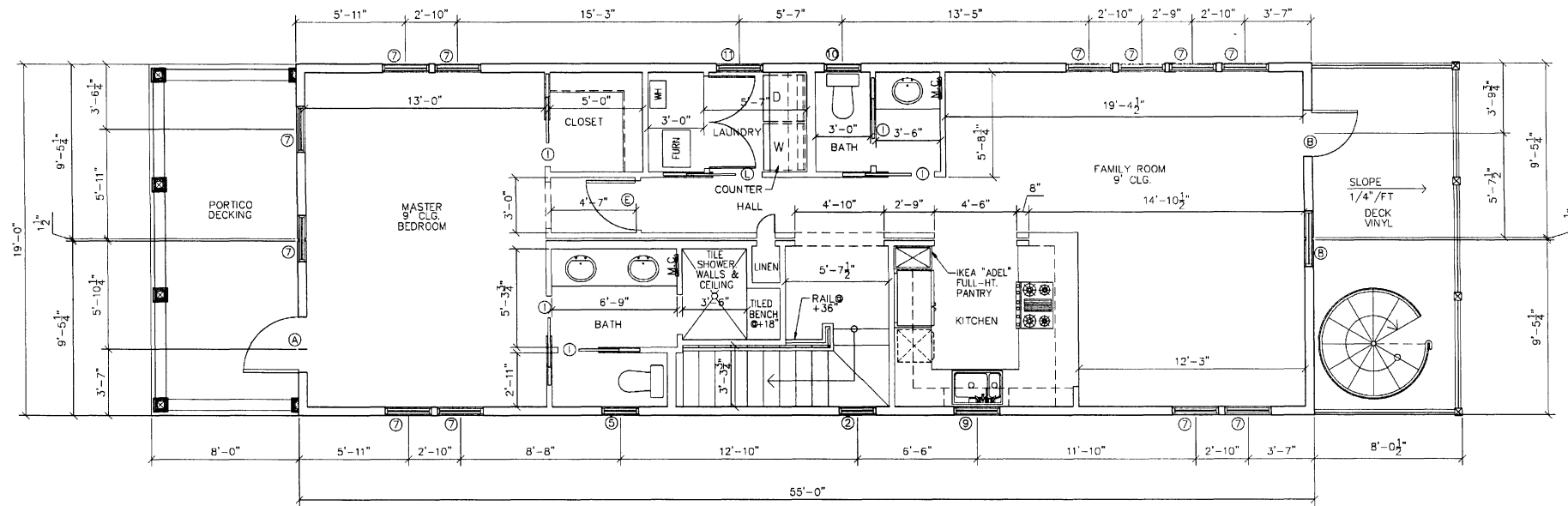
IRONTOWN HOMES
2322 HIGHLAND POWER LAKE
PROV. UTILITY BUILDER 801-375-7486

GOETTGE
4742 CAPE MAY AVE
SAN DIEGO, CALIFORNIA

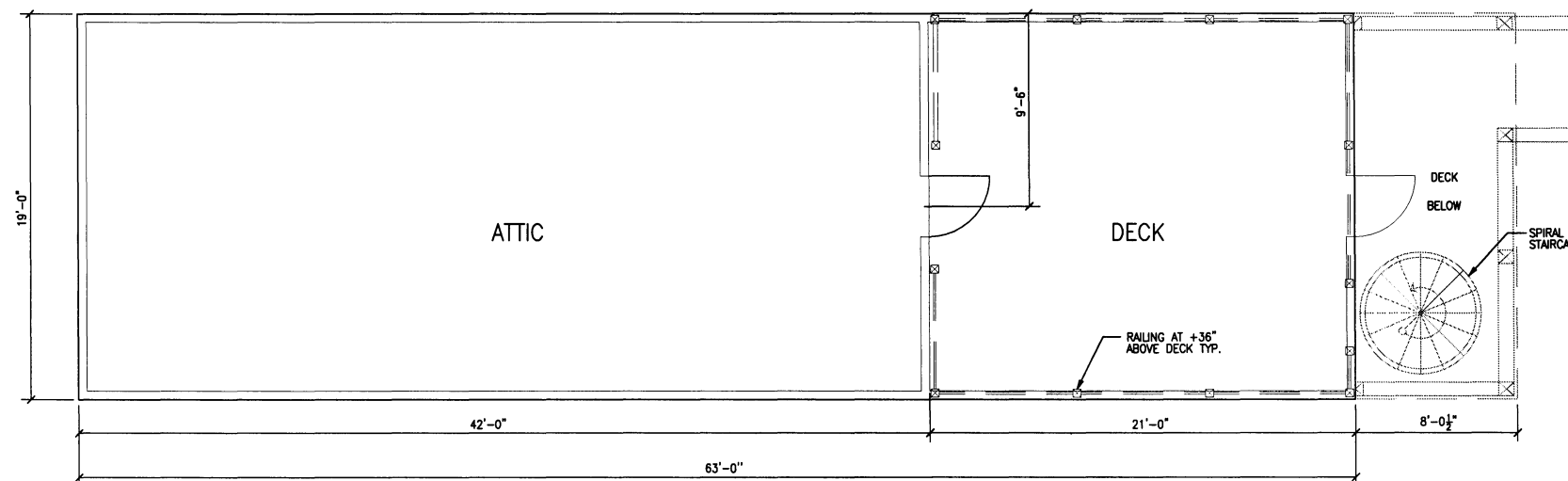
PROJECT: MAIN FLOOR PLAN

REVISIONS

SHEET NO. A3



UPPER FLOOR PLAN ① — 1/4"=1'-0"
PLAN



ATTIC/ROOF DECK PLAN ② — 1/4"=1'-0"
PLAN

SITE PLAN/COASTAL DEVELOPMENT PERMIT
CITY OF SAN DIEGO
THE GOETTGE RESIDENCE
PROJECT NO. 129022

SHEET TITLE:
UPPER & ATTIC/ROOF DECK FLOOR PLAN

PREPARED BY:

FRONTTOWN HOMES
 2202 SOUTH MOUNTAIN VISTA LANE
 PUEBLO, UTAH 84006
 801-375-7486

PROJECT ADDRESS: 4742 CAPE MAY AVENUE
SAN DIEGO, CA 92107

ORIGINAL DATE OF PREPARATION: 02/27/2007
DATE SUBMITTED: 04/25/2007

REVISIONS:		
DESCRIPTION:	BY:	DATE:
1. - LETTER DATED 8/29/07	CEI	10/1/2007
2. -		
3. -		
4. -		
5. -		

DRAWN BY: J.P.
DATE: 6/27/06
JOB NO. 5758

1283 NORTH STATE STREET
DREXEL UTAH 84003
PH: (801) 222-6822
FAX: (801) 222-6802



FRONTTOWN HOMES
FRONTTOWN HOMES OF UTAH, LLC
1000 WEST 1000 SOUTH
SALT LAKE CITY, UT 84119
801-375-7486



GOETTGE
4742 CAPE MAY AVE
SAN DIEGO, CALIFORNIA

PROJECT

UPPER & ATTIC/ROOF DECK FLOOR PLAN

REVISIONS

SHEET NO.

A4



Front of Property – Photo Survey



Rear of Property – Photo Survey



4742 Cape May Avenue – Photo Survey



4742 Cape May Avenue – Photo Survey

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501
Delete one of the above.

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-7772

COASTAL DEVELOPMENT PERMIT NO. 444117
GOETTGE RESIDENCE - PROJECT NO. 129022
PLANNING COMMISSION

This Coastal Development Permit No. 444117 is granted by the Planning Commission of the City of San Diego to DAVID JAMES GOETTGE, AN INDIVIDUAL, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.08-acre site is located at 4742 Cape May Avenue between Ebers Street and Sunset Cliffs Boulevard in the RM-1-1 Zone, the Coastal Overlay Zone; the Coastal Height Limit Overlay Zone; the Airport Approach Overlay Zone; and the Airport Influence Area zone of the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan Area. The project site is legally described as Lot 14, Block 29 of Ocean Beach, according to the Map thereof No. 279.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish an existing residential unit and shed, and construct a new single-family residence and a detached garage, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 6, 2008, on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing dwelling unit and shed;
- b. Construction of a new 2,172 square-foot, two-story dwelling unit, and a detached 442-square-foot, two-car garage;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and

- e. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any construction permits, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

12. Prior to the issuance of any construction permits, the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
13. Prior to the issuance of a building permit the applicant shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
14. Prior to building occupancy, the applicant shall conform to Section 62.0203 of the Municipal Code, "Public Improvement Subject to Desuetude or Damage." If repair or replacement of such public improvements is required, the owner shall obtain the required permits for work in the public right-of-way, satisfactory to the permit-issuing authority.
15. This project proposes to export 40 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

PLANNING/DESIGN REQUIREMENTS:

16. No fewer than two off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.
17. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
18. Prior to the issuance of any building permits, the Owner/Permittee shall grant an avigation easement to the San Diego County Regional Airport Authority as required by the Airport Land Use Compatibility Plan for San Diego International Airport. The Owner/Permittee shall obtain the required avigation easement language from the San Diego County Regional Airport Authority.
19. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the avigation easement.
20. The project must be sound attenuated to 45 dB CNEL interior noise level. The applicant will be required to spend no more than 10% of construction costs to meet noise attenuation

requirements. An acoustical study may be required to determine if the development proposal meets the noise standards pursuant to the Airport Environs Overlay Zone regulations.

21. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on November 6, 2008.

Permit Type/PTS Approval No.: Coastal Development Permit No. 444117
Date of Approval: November 6, 2008

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Laila Iskandar
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

[David James Goettge]
Owner/Permittee

By _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NO. XXXX
COASTAL DEVELOPMENT PERMIT NO. 444117
GOETTGE RESIDENCE - PROJECT NO. 129022

WHEREAS, DAVID JAMES GOETTGE, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing residential unit and shed, and construct a new single-family residence and a detached garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 444117), on portions of a 0.08-acre site;

WHEREAS, the project site is located at 4742 Cape May Avenue in the RM-1-1 Zone within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan Area;

WHEREAS, the project site is legally described as Lot 14, Block 29 of Ocean Beach, according to the Map thereof No. 279;

WHEREAS, on August 20, 2008, the Development Services Department of the City of San Diego approved Coastal Development Permit No. 444117, pursuant to Section 126.0708 of the Municipal Code of the City of San Diego; and

WHEREAS, on August 26, 2008, the Ocean Beach Planning Board filed an appeal of the Process 2 Development Services Department's decision; and

WHEREAS, on November 6, 2008, the Planning Commission of the City of San Diego considered the appeal of Coastal Development Permit No. 444117, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated November 6, 2008.

FINDINGS:

Coastal Development Permit Findings - Section 126.0708:

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;**

The project proposes the demolition of an existing single story residential unit and shed, and the construction of a new two-story single-family residence and a detached garage. The project site

is located at 4742 Cape May Avenue between Ebers Street and Sunset Cliffs Boulevard in the multi-family RM-1-1 zone, within the East Ocean Beach neighborhood of the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan. The project is located within the Coastal Overlay Zone, approximately three blocks from the Pacific Ocean. All development will occur on private property. Due to its distance from the coastline, the Ocean Beach Precise Plan and Local Coastal Program does not identify this location as a designated physical accessway to the coastal area, therefore, the project will not encroach upon any existing or proposed physical accessway identified in the Local Coastal Program. The project location is not within or adjacent to any designated public view corridors. However, it is within the Coastal Overlay Zone which requires the maximum height of structures not to exceed 30 feet. The maximum height of the proposed project would be below the 30-foot height limit and the project features and overall development of the site is consistent with all applicable Plans and Programs and meets all regulations. Accordingly, the proposed project will not impact any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan

2. The proposed coastal development will not adversely affect environmentally sensitive lands;

The project proposes the demolition of an existing single story residential unit and shed, and the construction of a new two-story single-family residence and a detached garage. The property is surrounded on all sides with existing residential development.

The Environmental Analysis Section conducted an Initial Study to determine if the proposed project would result in environmental impacts. Potential impacts to Historical Resources (Archaeology), and Historical (Architectural) were initially identified and considered in depth during the review of the project and determined to be less than significant. Qualified City Staff conducted a site visit with a Native American monitor and the entire site was evaluated for surface evidence of historical resources and no artifacts were observed during the field investigation. In addition, the structures to be demolished were determined not to be historically significant, and as such, no mitigation measures were required and a Negative Declaration No. 42-7772 had been prepared for this project, in accordance with State CEQA Guidelines.

The project is located within an urbanized area, surrounded by a fully developed residential neighborhood, and was previously developed with a residential unit. Additionally, the site does not contain Environmentally Sensitive Lands (ESL); therefore the project would not adversely affect these resources.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program;

The project proposes the demolition of an existing single –family dwelling unit and shed, and the construction of a new two-story single-family residence and a detached garage, on a 3,500-square-foot site. No deviations to applicable land use and development policies are included with this application.

City staff has reviewed the proposed project for conformity with the certified Local Coastal Program and has determined it is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the RM-1-1 zone, the Coastal Overlay and the Coastal Height Limitation Overlay zones, and the City of San Diego General Plan.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project proposes the demolition of an existing single-family dwelling unit and shed, and the construction of a new two-story single-family residence and a detached garage, on a 3,500-square-foot site. The project site is located at 4742 Cape May Avenue, approximately three blocks from the Pacific Ocean and is not located between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone and therefore is not required to demonstrate conformance with the public access and recreation policies of the California Coastal Act as required by this finding.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Coastal Development Permit No. 444117 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 444117, a copy of which is attached hereto and made a part hereof.

Laila Iskandar
Development Project Manager
Development Services

Adopted on: November 6, 2008

Job Order No. 42-7772

cc: Legislative Recorder, Planning Department



City of San Diego
Development Services
 1222 First Ave. 3rd Floor
 San Diego, CA 92101
 (619) 446-5210

**Development Permit/
 Environmental Determination
 Appeal Application**

**FORM
 DS-3031**
 MARCH 2007

See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

1. Type of Appeal:

- Process Two Decision - Appeal to Planning Commission
- Process Three Decision - Appeal to Planning Commission
- Process Four Decision - Appeal to City Council
- Environmental Determination - Appeal to City Council
- Appeal of a Hearing Officer Decision to revoke a permit

2. Appellant Please check one Applicant Officially recognized Planning Committee "Interested Person" (Per M.C. Sec. 113.0103)

Name
 Ocean Beach Planning Board, Landry Watson - Chairman

Address City State Zip Code Telephone
 5155 West Point Loma Blvd #14 San Diego CA 92107 619-708-3769

3. Applicant Name (As shown on the Permit/Approval being appealed). Complete if different from appellant.

Jack K. Jaynes

4. Project information

Permit/Environmental Determination & Permit/Document No.:	Date of Decision/Determination:	City Project Manager:
Goettge Residence/129022	Aug. 20, 2008	Iskandar

Decision (describe the permit/approval decision):
 Development Services Staff APPROVED an application for a CDP to demolish an existing single family residence and construct a new 2,172 sf, two story single family residence.

5. Grounds for Appeal (Please check all that apply)

- Factual Error (Process Three and Four decisions only)
- Conflict with other matters (Process Three and Four decisions only)
- Findings Not Supported (Process Three and Four decisions only)
- New Information (Process Three and Four decisions only)
- City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

Conflict with current LUP/Community Plan - Community plan indicates that upper stories of structures use articulation to offset new construction bulk away from right-of-ways in order to increase pedestrian orientation of the community and to mitigate the appearance of the overall structure's bulk and scale. Second and third stories should be stepped back progressively to articulate away from public right-of-ways to accomplish this key policy of the Community Urban Design.

***Current submission offers no step-back of 2nd Floor construction. Financial burden of the applicant is not grounds for non-compliance with the Community Plan.

See attached minutes from Ocean Beach Planning Board for official vote and detail on action (Dated 5 March 08)

6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: Date: 26 Aug 08
 CHAIRMAN, OCEAN BEACH PLANNING BOARD

RECEIVED

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.

AUG 26 2008



**Ocean Beach Planning Board, Inc.
P.O. Box 70184
Ocean Beach, California 92167**

March 5, 2008 General Meeting Minutes
(approved by the OBPB on April 2, 2008)

- Meeting Date:** Wednesday, March 5, 2008
- Meeting Called to Order:** Landry Watson called the meeting to order at 6:01pm.
- Board Members Present:** Bill Bushe, Tom Gawronski, George Murphy, Landry Watson, Shane Finneran, Michael Taylor, Giovanni Ingolia, Nancy Taylor, Craig Klein

Agenda Modification

Landry Watson said he wanted to modify the agenda to add an informational presentation regarding the remodeling of the Ocean Beach Public Library would follow the Public Comment period. Shane Finneran moved to approve the agenda as modified. George Murphy seconded. Motion carried 7-0-0.

Public Comment (Non-Agenda Items)

Sheila Hardin, community relations manager for the Center City Development Corporation, spoke in place of the President of the CCDC, who was ill with the flu. Ms. Hardin distributed handouts on plans to redevelop the Civic Center Complex in downtown San Diego. Ms. Hardin mentioned that one goal of the redevelopment was to create new office space for use by the City of San Diego, and that CCDC would be holding public discussions of the plans.

Approval of Minutes from Past Meetings

After members of the board corrected one inaccuracy, Landry Watson moved to approve the minutes from the OBPB's February 6 general meeting. George Murphy seconded. Motion carried 5-0-2, with Giovanni Ingolia and Michael Taylor abstaining because they were not at the February 6 meeting.

Nancy Taylor arrived at 6:15pm.

Landry Watson moved to approve the minutes from the OBPB Land Use Subcommittee meeting on February 20. Bill Bushe seconded. Motion carried 7-0-1, with Nancy Taylor abstaining because she had just arrived at the current meeting and hadn't had a chance to review the minutes.

Item #001 – Action Item

*Goettge Residence. Ocean Beach JO#42-7772 (Process 2) Coastal Development Permit to demolish an existing residence and small shed and construct a new 2,172 sf. dwelling unit with a 442 sf. detached two-car garage on a 3,500 sf. site at 4742 Cape May Avenue in the RM 1-1 Zone within the Ocean Beach Precise Plan, Coastal Overlay (non-appealable), Coastal Height Limit, Airport Approach, Airport Influence Area, Parking Impact Zone. Council District 2.
Vote to Approve or Deny the Coastal Development Permit*

Jack Jaynes, representing the project, said he had spoken with the manufacturer of the home that would be installed on the property, who said that setting back the second floor and the attic by 1 foot would cost an extra \$30,000. The manufacturer said that moving back the balcony would be cheaper.

George Murphy said that he was looking for more than 1 foot of additional setback. Other board members concurred.

Landry Watson moved to deny approval of the Coastal Development Permit due to the project's bulk, scale, and density at its front setback, and its lack of articulation. Tom Gawronski seconded. Motion carried 7-2-0.

Information Item – OB Library renovation

Architect Randy Hanna presented plans for expansion of the OB Library, which would bring the library's square footage to a total of 15,000. The plan preserves the existing building. The plan is LEED-certified at the silver level. Mr. Hanna said the plans would be open to comment from the OB Planning Board.

Item #002 – Action Item

McCardle Residences. Ocean Beach JO#42-8549 (Process4) Tentative Map, Coastal Development Permit and under grounding overhead utilities waiver to convert 4 existing residential units to conominiums, create 2 residential condominiums (under construction) on three, 0.16 acre sites at 4717 & 4735 Narragansett Ave and 4726 Del Monte Ave in the RM 1-1 Zone within the Ocean Beach Community Plan, Coastal Overlay (non-appealable), Coastal Height Limit, Airport Influence Zone, Airport Approach Area, FAA Part 77, Council District 2.

Vote to Approve or Deny the Tentative Map, Coastal Development Permit and undergrounding waiver

OBPB members asked what improvements had been made to the existing units in conjunction with the planned conversion to condos. Representatives of the project provided the OBPB with details on the renovations to the 4 existing units, noting that the units had been renovated in 2004.

Giovanni Ingolia moved to approve the Tentative Map, Coastal Development Permit and undergrounding waiver. Bill Bushe seconded. Motion carried 9-0-0.

Item #003 – Action Item

Stebbins Residence. Ocean Beach JO#42-3454 (Process4) Coastal Development Permit, Site Development Permit and Variance to demolish an existing duplex and construct a new 1,749 sqft three story single dwelling unit, on a 2,500 sqft site located at 5166 West Point Loma Blvd in the RM 2-4 Zone within the Ocean Beach Community Plan, Coastal Overlay (appealable), Coastal Height Limit, Parking Impact Overlay Zone, Airport Approach, Airport Influence Area, 100 year flood plain, Council District 2.

Vote to Approve or Deny the Coastal Development Permit, Site Development Permit and Variance

Landry Watson recused himself from discussion of and voting on the project due to his involvement in an appeal against an earlier version of the project. Mr. Watson left the room for the duration of the discussion and the vote.

Nine people who support the project submitted speaker slips, and one person who opposed the project submitted a speaker slip.

David Stebbins, the property owner, said his lawyers had told him he should not be in front of the OBPB at the current meeting because the item should not have been placed on the agenda. He said the San Diego City Council voted 6-1 to support the project, which had been modified in that underground parking was no longer part of the plan. Instead of underground parking, the deviation requested for the property was to allow parking in the front setback of the property.

Mr. Stebbins said the appellant's chief complaint against the property was that it impeded views. Tony Kempton of the City of San Diego said he believed the project did everything possible to preserve views, and that its articulation seemed to suit the OBPB's preferences for articulation.

Board members asked James, a representative from Kevin Faulconer's office, to comment on the project. James said that Mr. Faulconer wants to Mr. Stebbins to be able to develop his home. James said that concerns related to FEMA regulations prevented the issuance of a variance for underground parking.

Randy Berkman spoke against the project, saying it was contrary to protections of coastal views, and contrary to the OB Precise Plan.

Neil Chuco said he supported the project.

Tommy Mann said he supported the project, and that the City was against the underground parking because of concerns over liability.

Mark Rose said the project was an improvement because it was a down-zoning from a duplex to a single residence, and that it was an attractive plan.

Maxine Loomis said she agreed with Mr. Rose.

Patricia Stoff said Mr. Stebbins deserves to be able to develop his property.

Laura Loomis said she thought the project was attractive.

An unidentified audience member said he was opposed to the project because of the precedent it set. He asked why the project couldn't go up only two levels instead of three.

Bill Bushe said he thought the City Council, and Kevin Faulconer in particular, had provided guidance with their decision.

Bill Bushe moved to approve the Coastal Development Permit, Site Development Permit and Variance. Craig Klein seconded. Motion carried 5-3-0, with Landry Watson recused.

Item #004 – Action Item

Saratoga Condos. Ocean Beach JO# 42-5633 (Process 4) Coastal Development Permit and Tentative Map to convert 12 existing residential units into condominiums located at 4933 Saratoga Avenue in the RM 2-4 Zone within the Ocean Beach Precise Plan, Airport Approach, Airport Environs Overlay zone, Coastal Overlay (non appealable), Coastal Height, Parking Impact, Ocean Beach Historic District, Council District 2.

Vote to Approve or Deny the Coastal Development Permit and Tentative Map

Michael Taylor recused himself from discussion and voting because he is an acquaintance of the property owners. Mr. Taylor left the room for the duration of the discussion and vote.

Project representative Dean Lay said the property owner had taken the OBPB Land Use Subcommittee's suggestions into consideration, including the ideas of adding affordable housing or reconfiguring the layout of the property, but had decided not to change the plans.

Craig Klein moved to deny the Coastal Development Permit and Tentative Map due to parking concerns, appearance, and bulk and scale. Tom Gawronski seconded. Motion carried 8-0-0, with Michael Taylor recused.

Item #005 – Action Item

Newport TM. Ocean Beach JO#42-8984 (Process3) Coastal Development Permit and Map Waiver application to waive the requirements of a Tentative Map and under grounding overhead utilities to convert 2 existing residential units to condominiums on a 0.15 acre site at 4686 Newport Ave in the RM 1-1 Zone within the Ocean Beach Community Plan, Coastal Overlay (non-appealable), Coastal Height Limit, Airport Approach, Airport Influence Area, FAA Part 77, Parking Impact, Council District 2.

Vote to Approve or Deny the Coastal Development Permit and Map Waiver

Betty, owner of the property, said that lots of improvements had been made to the units in preparation for their conversion to condos. Betty's daughter said that the improvements included adding windows, a deck, and French doors to the unit in front. The unit in back is only 7 years old.

Craig Klein moved to approve the Coastal Development Permit and Map Waiver. George Murphy seconded. Motion carried 9-0-0.

Item #006 - Information Items/Regular Business -- Board comments/correspondence

- *Official Correspondence/City Announcements*
- *Regular Meeting Reports*
- *Chair Announcements*

George Murphy requested a moment of silence in honor of former board member Priscilla McCoy, who passed away on February 29. The board honored the request. Pat James said Ms. McCoy's dedication to and hard work on behalf of Ocean Beach was an inspiration to him.

Nancy Taylor introduced Ronnie Shamoun and Seth Connolly, both of who were seeking seats on the OBPB.

With the facility's closing time approaching, the meeting was adjourned by consensus at 7:59 pm.

Minutes Respectfully Submitted by: Shane Finneran, Secretary



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title _____ Project No. For City Use Only _____

4742 CAPE MAY AVE

Project Address:

474 CAPE MAY AVE

SAN DIEGO CA 92107

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego, on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
DAVID GOETTGE

Owner Tenant/Lessee Redevelopment Agency

Street Address:
428 63RD ST

City/State/Zip:
OAKLAND CA 94609

Phone No: 510 547 0819 Fax No: _____

Signature: [Signature] Date: 10/20/08

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

ATTN: DAVID GOETTGE

1019 4th St, San Diego, CA 92101