

# THE CITY OF SAN DIEGO

# REPORT TO THE PLANNING COMMISSION

DATE ISSUED:

October 30, 2008

REPORT NO. PC-08-140

ATTENTION:

Planning Commission, Agenda of November 6, 2008

SUBJECT:

3953 FLORIDA STREET TENTATIVE MAP; PROJECT NO. 89546

PROCESS FOUR

OWNER:

Hsieh Family Limited Partnership (Attachment 7)

APPLICANT:

DGB Surveying & Mapping

# **SUMMARY**

<u>Issue(s)</u>: Should the Planning Commission approve a Tentative Map to allow the conversion of 18 existing residential rental units into condominiums, including a waiver of the requirement to underground the existing overhead utilities, at 3953 Florida Street, within the Greater North Park Community Plan area?

# **Staff Recommendation:**

- 1. Approve Tentative Map No. 287973; and
- Approve a waiver of the requirement to underground the existing overhead utilities.

<u>Community Planning Group Recommendation</u>: On July 17, 2007, the Greater North Park Community Planning Committee voted 7-1-2-1 (approve, deny, abstaining, and recused) to recommend approval of the proposed project with recommendations as detailed in this report (Attachment 10).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15301, on December 12, 2005, and the opportunity to appeal that determination ended January 2, 2006.

**Fiscal Impact Statement:** None with this action. All costs associated with the processing of this project are paid by the applicant.



**Housing Impact Statement:** With the proposed conversion of 18 existing apartments to condominiums, there would be a loss of 18 rental units and a gain of 18 for-sale units. The project is subject to the current inclusionary housing and tenant relocation assistance regulations.

# **BACKGROUND**

This Tentative Map project is subject to the condominium conversion regulations that became effective June 13, 2006, with the exception of the parking regulations, based on the City Council's specific adoption language for the "new" condominium conversion regulations. At the June 13, 2006, hearing, the City Council adopted regulations for additional requirements for landscaping, a building conditions report, onsite inclusionary housing, noticing and parking. Based on the adopted language and project timing, all of these new regulations apply to this project, with the exception of the parking regulations. Accordingly, this project has been reviewed against the new regulations and this project can proceed to its discretionary hearing.

The 0.34-acre site is located at 3953 Florida Street, in the MR-800B Zone of the Mid-City Communities Planned District, the North Park Redevelopment Project Area and the Transit Area Overlay Zone, within the Greater North Park Community Plan Area (Attachment 2). The site is presently developed with two, two-story structures containing a total of four 1-bedroom apartment units and fourteen 2-bedroom apartment units. There are 29 onsite parking spaces with 10 surface spaces that are accessed from the alley and 19 subterranean spaces accessed from Florida Street. The site is surrounded by multi-family development.

The existing buildings were constructed with approved building permits in 1986. The site is currently zoned MR-800B, which is a multi-family zone that allows one unit per 800 square feet. The Community Plan also designates the site for low to medium density development. At the time building permits were approved, 28 parking spaces were required. The San Diego Municipal Code would require 30 off-street parking spaces for a newly constructed project and 22 spaces for a condominium conversion project. As discussed previously, the new condominium conversion parking requirements that were approved in June 2006, do not apply to this project, therefore, the 29 parking spaces provided are acceptable.

The development complies with the zoning and development regulations in effect at the time of construction and no Building or Zoning code violations have been recorded against the property. The project maintains previously conforming rights which allows the current parking and density count, as outlined in Chapter 12, Article 7, Division 1 of the Land Development Code.

# **DISCUSSION**

# **Project Description**:

The project proposes a Tentative Map for the subdivision of a 0.34-acre site into one lot to convert 18 existing dwelling units into condominiums (Attachment 5). The applicant is also requesting that the requirement to underground the existing overhead utilities be waived. Section 125.0410 of the San Diego Municipal Code (SDMC) requires that a Tentative Map be

Section 125.0410 of the San Diego Municipal Code (SDMC) requires that a Tentative Map be processed for the subdivision of land. According to SDMC Sections 125.0440 and 125.0444, *Findings for Tentative Maps and for Condominium Conversions*, the decisionmaker may approve a Tentative Map or a Vesting Tentative Map for the purposes of the conversion of residential property into a condominium project if the decision maker finds that the proposed conversion complies with the requirements of the Subdivision Map Act and the San Diego Municipal Code. Staff has reviewed the proposed condominium conversion and determined that it complies with both the Subdivision Map Act and the San Diego Municipal Code.

# Undergrounding of Existing Utilities

San Diego Municipal Code Section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined the undergrounding waiver request qualifies under the guidelines of Council Policy 600-25, Underground Conversion of Utility Lines at the Developer's Expense, Expense in that the conversion involves a short span of overhead facility (less than 600 feet in length), it has been determined that such conversion is not a part of a continuing effort to accomplish a total undergrounding within a specific street or area, the conversion would represent an isolated undergrounding with a minimum probability of extension in the future, and the conversion is a requirement of a condominium conversion of an existing development and the conversion would not represent a logical extension to an underground facility.

The applicant will be required to underground all existing service to the site per Condition No. 17 of the draft Tentative Map resolution (Attachment 6). The applicant would also be required to underground any new service run to any new or proposed structures within the subdivision per Condition No. 16 of the draft Tentative Map resolution.

The project site is served by power poles and overhead utilities lines located at the rear of the property within the alley. These utility lines also service the adjacent properties. As indicated above, all utilities serving this property will be required to be undergrounded. The waiver is being requested for the requirement to underground adjacent utilities serving the surrounding properties. The City's Undergrounding Master Plan designates the site within Block 3X2, and the date for undergrounding has been established for the year 2038 (Attachment 9).

# Community Planning Group and Neighborhood Recommendations:

On July 17, 2007, the Greater North Park Community Planning Committee voted 7-1-2-1 (approve, deny, abstaining, and recused) to recommend approval of the proposed project with the following recommendation:

1. The project shall include two inclusionary housing units on site. The applicant has declined this recommendation and has indicated they will pay the in lieu fee as allowed by the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

# **Project-Related Issues:**

All condominium conversion projects not yet heard by July 25, 2006, must conform with the current regulations regarding: inclusionary housing, tenant relocation benefits, the provision of a building conditions report, conformance with landscape regulations, and conformance with noticing requirements. This project is not required to conform with the new parking regulations for condominium conversions, based on specific language adopted by the City Council.

The requested conversion of these residential units to condominiums represents primarily a change in ownership. The applicant has certified that the required 60-day Notice of Intent to Convert to Condominiums was prepared on December 6, 2005 (Attachment 11).

# Inclusionary Housing Ordinance and Tenant Relocation Benefits Conformance:

The project has been conditioned to require the subdivider conform with the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) and demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (Chapter 14, Article 4, Division 5) to the satisfaction of the City Manager and the Housing Commission, prior to the recordation of the Final Map.

The applicant has elected to pay an in-lieu fee of \$23,548 (\$1.75 x 13,456 square feet) to satisfy the Inclusionary Housing requirement, as allowed by the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

# Building Conditions Report and Landscape Requirements

In accordance with the current regulations, the applicant provided a Building Conditions Report and Landscape Concept Plan. Both of these documents have been reviewed for conformance with the applicable regulations within Land Development Code (Chapter 14, Article 4, Division 5) and have been accepted by staff as conforming with the regulations.

# **Noticing**

The proposed project has been conditioned to conform with all new noticing requirements for condominium conversions.

# **Conclusion:**

Staff has reviewed the request for a Tentative Map for the conversion of 18 residential units into condominiums and has found the project to be in conformance with the applicable sections of the San Diego Municipal Code regulating Tentative Maps. Staff believes the requirement findings can be supported and recommends the Planning Commission approve the project as proposed.

# **ALTERNATIVES**:

- 1. Approve Tentative Map No. 287973, with modifications.
- 2. Deny Tentative Map No. 287973 if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

Mike Westlake Program Manager

Development Services Department

Renee Mezo
Development Project Manager
Development Services Department

# WESTLAKE/RM

# Attachments:

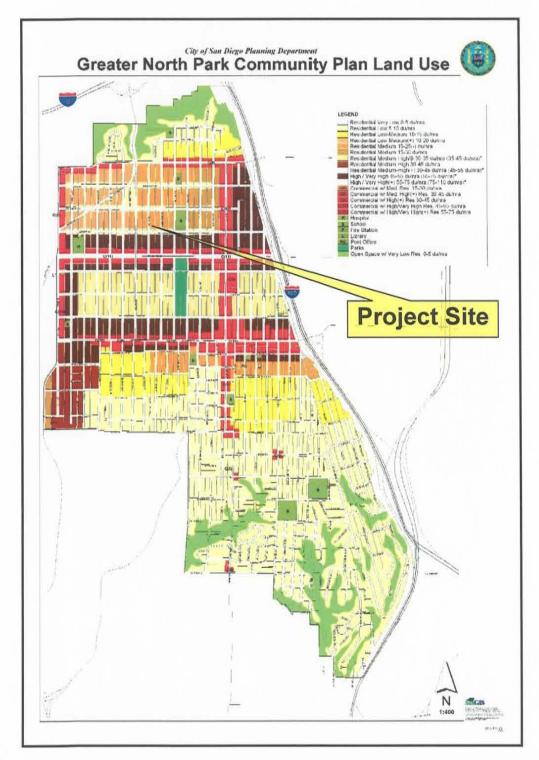
- 1. Aerial Photograph
- 2. Community Plan Land Use Map
- 3. Project Location Map
- 4. Project Data Sheet
- 5. Tentative Map and Landscape Plan
- 6. Draft Map Conditions and Subdivision Resolution
- 7. Ownership Disclosure Statement
- 8. Project Chronology
- 9. Utility Undergrounding Master Plan Map
- 10. Community Planning Group Recommendation
- 11. Sample 60-Day Notice of Intent to Convert
- 12. Photos of Existing Elevations
- 13. Building Conditions Report





<u>3953 FLORIDA TENTATIVE MAP – 3953 FLORIDA STREET</u> PROJECT NUMBER <u>89546</u>







# **Community Land Use Map**

3953 FLORIDA TENTATIVE MAP – 3953 FLORIDA STREET PROJECT NUMBER 89546



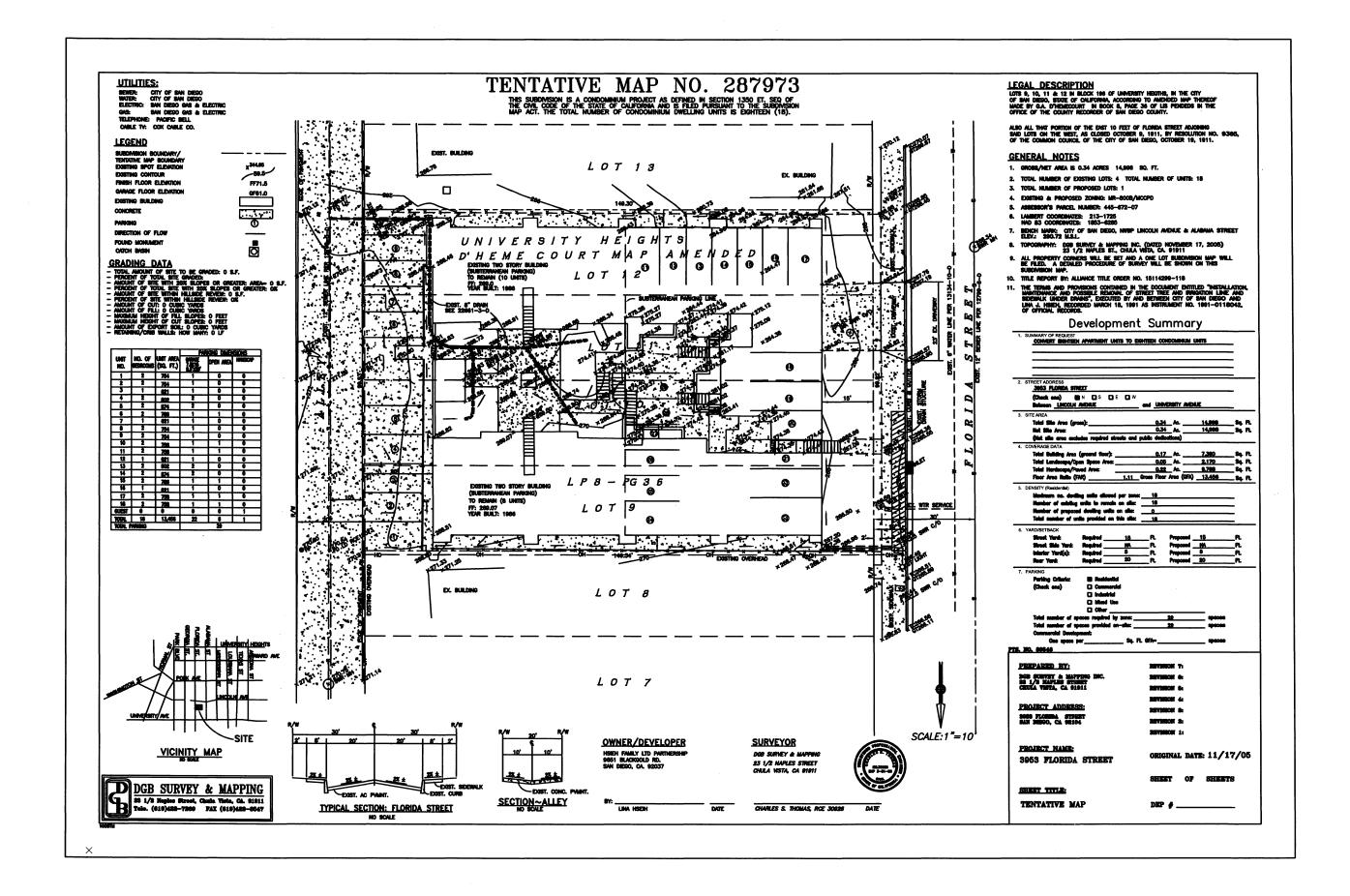


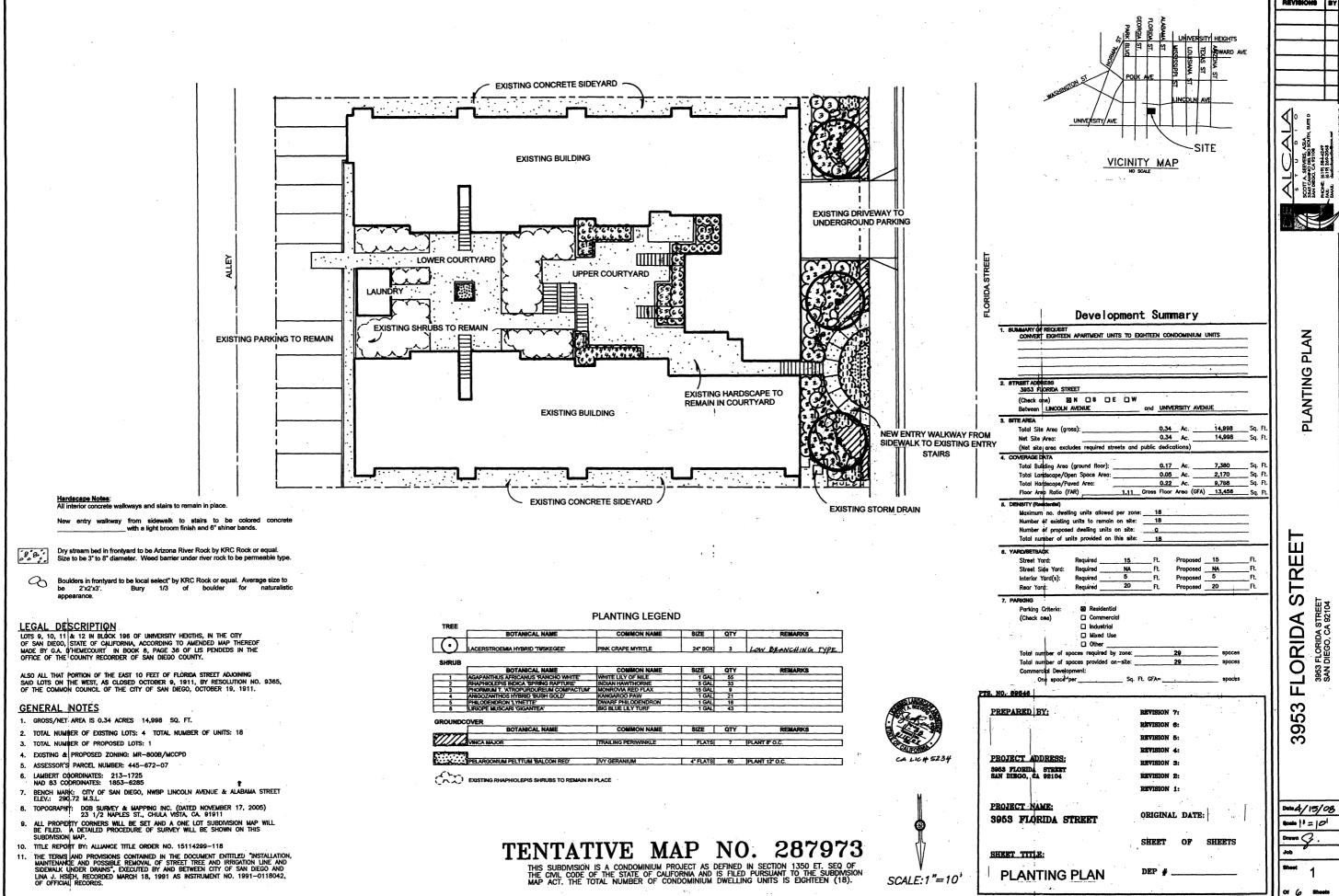
# **Project Location Map**

3953 FLORIDA TENTATIVE MAP – 3953 FLORIDA STREET PROJECT NUMBER <u>89546</u>



| PROJ  | ECT DATA S  | SH                | EET                      |  |
|---|---|-------------------|--------------------------|--|
| PROJECT NAME:   | 3953 FLORIDA STREET TENTATIVE MAP   |                   |                          |  |
| PROJECT DESCRIPTION:  | Conversion of 18 existing units into condominiums.  |                   |                          |  |
| COMMUNITY PLAN:   | Greater North Park Co   | mmunity Plan      |                          |  |
| DISCRETIONARY<br>ACTIONS:   | Tentative Map   |                   |                          |  |
| COMMUNITY PLAN LAND USE DESIGNATION:                              | Multi-family Residenti  | ial               |                          |  |
| CURRENT ZONING INFORM   | MATION:   | C                 | ONSTRUCTED               |  |
| <b>ZONE:</b> MR-800B: A multi-unit the Mid-City Communities Plant | t residential zone in   | tial zone in R-3A |                          |  |
| <b>DENSITY:</b> 1 dwelling unit per 8                             |   |                   |                          |  |
| HEIGHT LIMIT: 50'; 60' whe  |   | 10000             | wo-story                 |  |
| enclosed parking  |   |                   |                          |  |
| LOT SIZE: 6,000 square-foot n                                     | ninimum lot size.   |                   | ,456 square feet         |  |
| FLOOR AREA RATIO: 1.25  | maximum.  | 17/4/2            | ot available             |  |
| FRONT SETBACK: 10 feet  |   | 1                 | ) feet                   |  |
| SIDE SETBACK: 6 feet  |   | 5 feet            |                          |  |
| STREETSIDE SETBACK: 6 fe  |   | N/A<br>20 feet    |                          |  |
| REAR SETBACK: 1 foot if alle                                      | LAND USE DESIGNATION &  |                   | 29 spaces                |  |
| PARKING: 30 spaces required                                       |   |                   |                          |  |
|   |   |                   | EXISTING LAND USE        |  |
| A D. A. CENTE DE OPERATEC   |   |                   |                          |  |
| ADJACENT PROPERTIES:  | ZONE  |                   |                          |  |
| NORTH:  | MR-800B, Mulri-family<br>Residential  |                   | Multi-family Residential |  |
| SOUTH:  | MR-800B, Mulri-family<br>Residential  |                   | Multi-family Residential |  |
| EAST:   | MR-800B, Mulri-family<br>Residential  |                   | Multi-family Residential |  |
| WEST:   | MR-800B, Mulri-family<br>Residential  |                   | Multi-family Residential |  |
| DEVIATIONS OR<br>VARIANCES REQUESTED:                             | None  |                   |                          |  |
| COMMUNITY PLANNING GROUP RECOMMENDATION:                          | At the July 17, 2007, the Greater North Park Community Planning Committee voted 7-1-2-1 to recommend approval of the proposed project with recommendations. |                   |                          |  |

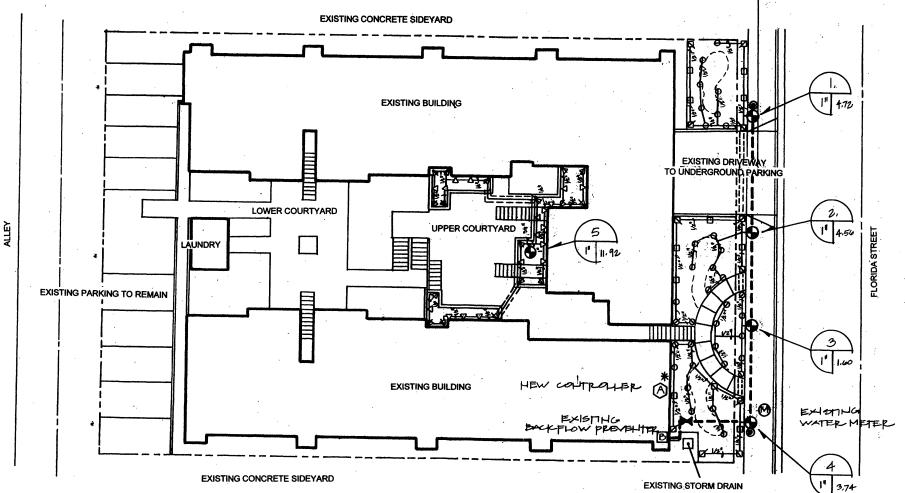




Date 4/ 15/48

Queto | " = |d

3953

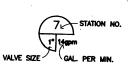


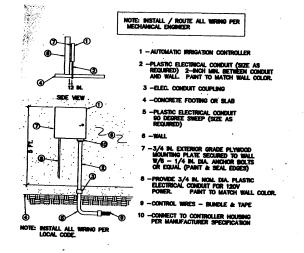
# IRRIGATION LEGEND

| F | Н   | Q  | MANUFACT. | MODEL NO. / DESCRIPTION                  | GPM    | PSI - | _ RA                 | MIS |
|---|-----|----|-----------|--|--------|-------|----------------------|-----|
|   | Ā   | Ψ. | RAINBIRD  | 1806 SAM-PRS- 4 - SEMBS VAN - FLAT SPRAY |        |       | $\overline{\bullet}$ |     |
|   | θ   | Ø  | RAINBIRD  | 1806-SAN-PRS- 5 SEPTES LONGAL SPRAY      | .20 .1 |       | 30<br>30             | •   |
|   | . 8 | Ø  | RAINBIRD  | 1806 SAM-PRS- 8 · SELIES LOW GAL. SPRAY  | .52 .2 | -     | 30                   | 爽   |

NOTE: ALL SPRAY HEADS INSTALLED FARTHER THAN FINE (5) FEET FROM PAYING, DRIVEWAYS, CURBS, TURF BOUNDARIES, TOPS OF WALLS AND OTHER PEDESTRIAN AREAS MAY BE INSTALLED AS SHRUB ADAPTERS ON A SCH. 80 RISER, TOP OF HEAD 12" ABOVE GRADE NOTE: ALL SPRAY HEADS THAT DO NOT CONFORM TO PRESCRIBED NOZZILE RADIUS" SHALL BE FITTED WITH PRESSURE COMPENSATING SCREENS TO ACHIEVE PROPER RADIUS/THROW DISTANCE.

|   |              | The state of the s |
|---|--------------|--|
| SYMBOL                                  | MANUFACTURER | MODEL NO. / DESCRIPTION  |
| no symbol,                              | N/A          | 120 VOLT ELECTRICAL POWER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD WATER METER -EXISTING  |
| _                                       |              |  |
| B                                       | P.O.C. OFF   | of Existing backflow preventer   |
|   | NIBCO        | T-113 BRONZE GATE VALVE, LINE SIZE   |
| •                                       | RAIN BIRD    | PEB SERIES - PLASTIC REMOTE-CONTROL VALVE-TURF ONLY-SIZE AS NOTED  |
| $\odot$                                 |              | 33DRC QUICK COUPLER VALVE, IN 10" ROUND VALVE BOX. BRAND LID OF VALVE BOX WITH THE LETTEBS "QC"  |
|   |              | 8 STATION ESP-HC MODULAR SERIES AUTOMATIC CONTROLLER ( WALL MOUNT)   |
|   | AS APPROVED  | PVC PIPE 11/2" SCH.40 MAINLINES 18" BELOW GRADE, ALL MAINLINE ON PROJECT SIZED AT 1INCH  |
| ======================================= | AS APPROVED  | PVC PIPE SCH. 40 AS SLEEVING; AS NOTED; TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED, NO SYMBO® SHOWN ON PLANS, ALL PIPE AND WIRE UNDER PAYING SHALL BE INSTALLED INSIDE A SEPARATE SLEEVE  |
|   | AS APPROVED  | PVC PIPE 3/4" CL. 200 AS LATERAL LINES 12" BELOW GRADE   |
|   | * v          | VCS RAIN SENSOR DEVICE —PER MANUFACTURER RECOMPRIDATION  |

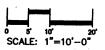




WALL MOUNT CONTROLLER

N.T.S.





PROJECT ADDRESS: REVISION 1: PROJECT NAME: ORIGINAL DATE: 3953 FLORIDA STREET SHEET OF SHEETS SHEET TITLE: **IRRIGATION PLAN** 

# IRRIGATION NOTES

PREPARED BY:

PLANTING DETAILS

FLORIDA 3953

SHEET OF

SHEET TITLE:

**DETAILS** 

PLANT TABLETÓ, NOTALL PER MANEACTIMENTÓ SPECIFICATIONS. PLACE STAKES CUTSIDE OF ROOTBALL.

NOT TO SCALE

(2) 2 IN. DIA X IO FT, LONG LODGIEFOLE PINE \$TAKES, SET PERFENDICULAR TO

SET CROWN 2 IN ABOVE FINISH GRADE. CUT TOP SECTION OFF OF STAKE 6' BELOW TREE CANOPY.

BACKFILL(SEE SPEC) PUDDLE AND SETTLE SET TREE 2 IN ABOVE FIN GR 2 X ROOTBALL DIAMETER. 6 - 3 N. WATERING BASIN, EXCEPT IN LAWN AREAS, REMOVE AFTER MAINT, PERIOD.

TREE PIT-FILL AND SETTLE WITH WATER A MIN. OF 24 HOURS PRIOR TO PLANTING. TREE TRUNK

FINISH GRADE

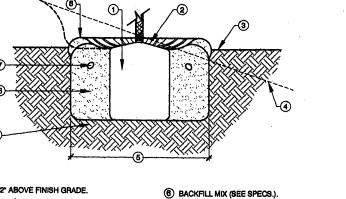
10'-0' MAXIMUM

4' PERIORATED PIPE WELACK ROUND GRATE CAP - 8' MAX LENGTH WRAFFED WITH FILTER FABRIC - 1 PER 8 GALLON TREE - 2 PER 24' AND 36' BOX TREE

4 FINISHED GRADE AT SLOPE.

(7) PLANT TABLETS (SEE SPECS). (8) 4" HIGH WATERING BASIN (IF REQ'D).

(9) UNDISTURBED NATIVE SOIL.



1 ROOTBALL

② CROWN - 1/2" ABOVE FINISH GRADE.

3 FINISH GRADE.

(5) 2X ROOTBALL DIAMETER.

# TREE / SHRUB PLANTING

# **GROUNDCOVER PLANTING**

SECTION

NOT TO SCALE



TREE DOUBLE STAKING AND DRAINAGE

1 BOULDER - SIZE INDICATED ON PLAN

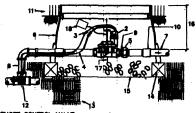
(4) BURY 1/3 OF BOULDER HEIGHT

(2) FINISHED GRADE (Level Ground Plane)

UNDISTURBED NATIVE SOIL OR COMPACTED SUB-GRADE

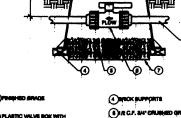
(3) FINISHED GRADE (Slope)

# **BOULDER PLACEMENT**



1. REMOTE CONTROL VALVE 2. SOLENOID

18. RECYCLED WATER TAG CRISTY'S OR EQUAL



1 2 INCHES (2) PREPARED SOIL

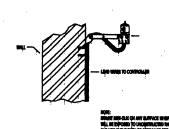
(3) FINISH GRADE OR WALK

(5) PLANT TABLET

(7) EQUAL 1/2 (X)

(4) EQUAL (X) - SEE PLANT LIST

(8) CONCRETE CURB OR HARDSCAPE IMPROVEMENT, AS INDICATED ON



DUDDLEP MINI-CLIK RAIN SENSOR NO SCALE INSTALLATION DETAIL

**REMOTE/MASTER VALVE** N.T.S.

FINISH GRADE

NSTALL BOX LEVEL WITH 2

(1) RED BRASS STREET ELLS

O RED BRASS ELL

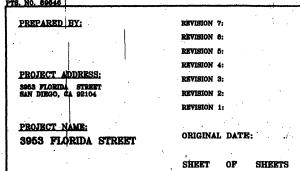
@ BRAND "QC" ON COVER

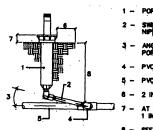
**BALL VALVE** 

N.T.S,

RAIN SENSOR MOUNTING DETAIL N.T.S.







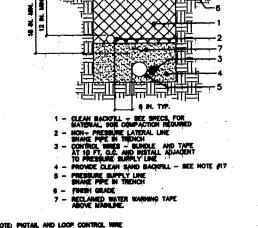
- SEE SPECS. FOR DEPTH

POP-UP

N.T.S.

**QUICK COUPLER VALVE** 

N.T.S.



NOTE: PIGTAIL AND LOOP CONTROL WIRE AT ALL 80 degree CHANGES IN DIRECTION.

**TRENCHING** 

N.T.S.

3

NOTE: CONTRACTOR TO COORDINATE ALL PIPE ROUTING, MATERIALS, SIZES, WRING, ETC. MITH MECHANICAL ENGINEER AND GENERAL CONTRACTOR. IN THE EVENT THAT INFORMATION IN THE FOLLOWING SPECIFICATIONS IS IN CONFLICT WITH DIRECTIONS FROM MECHANICAL ENGINEER OR

### PART 1 - GENERAL

THE GENERAL CONDITIONS, SPECIAL CONDITIONS, AND DIVISION 1 ARE AN ADDED PART OF THIS SECTION AND CONTRACT FOR THIS WORK AND APPLY TO THIS SECTION AS FULLY AS IF REPEATED HEREIN.

- THE WORK WOUDES ALL SERVICES, LABOR, MATERIALS, TRANSPORTATION AND EQUIPMENT RECESSARY TO PERFORM THE WORK MOICATED ON THE DRAIMINGS AND AS SPECIFIED. THE EDREAM, CONDITIONS AND DIVISION 1 APPLY TO THIS SECTION AS PULLY AS IF REPEATED HEREIN.
  - RELATED WORK:
    - LANDSCAPING SECTION (02900)

Submit a list of all irrigation equipment to be used, manufacturer?s brochures, manufenance manuals, guarantees and operating instructions.

FURNISH GUARANTEE IN ACCORDANCE WITH GENERAL CONDITIONS, FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE — AT CONCLUSION OF THE MANTHANIACE PERIOD — ON COMPLET WATER REGISTRON SYSTEM, INCLUDING MOISSTTLING OF BACKFIL IN THEMCHES WHICH, IF OCCURS, SHALL BE CORRECTED, INCLUDING REPLAYS, AND/OR REPLACEMENT OF ANY MATERIAL DAMAGED THEMESY OR THEREFROM.

- IN ALL CASES WHERE OBSERVATION OF SPRINGLER SYSTEM WORK IS REQUIRED AND/OR WHERE PORTIONS OF WORK ARE SPECIFIED TO BE PERFORMED UNDER DIRECTION AND/OR OBSERVATION OF ARCHITECT OR HIS REPRESENTATIVE, CONTRACTOR SHALL MOTE
- OBSERVATION WILL BE REQUIRED FOR THE FOLLOWING PARTS OF THE WORK
  - UPON INSTALLATION AND TESTING OF MAIN LINES AND LATERAL LINES; WHEN PIPES ARE LAID AND ARE TO BE SUBMITTED TO PRESSURE TESTS. DO NOT COVER ANY LINES UNTIL THEY HAVE BEEN OBSERVED AND
  - UPON INSTALLATION AND TESTING OF VALVES, QUICK COUPLERS, BACKFLOW PREVENTER DEVICE, AUTOMATIC CONTROLLERS, AND CONTROL VALVES AND WIRES.
  - WHEN SPRINGLER SYSTEM IS COMPLETED, CONTRACTOR, IN THE PRESENCE OF ARCHITECT, SHALL PERFORM A COVERAGE TEST TO DETERMINE IF COVERAGE OF WATER AFFORDED THE LAIM AND PLAINTING ARCAS IS COMPLET AND ADEQUATE, CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK REQUIRED TO CORRECT AND MADERIALS FOR DOUBLE AND ADMINISTRATIONS OF DOUBLE AND ADMINISTRATION OF DOUBLE AND ADMINISTRATIONS OF DOUBLE AND ADMINISTRATION OF D
  - FINAL OBSERVATION AND PERFORMANCE TEST SHALL BE AT THE SAME TIME AS FINAL OBSERVATION OF THE LANDSCAPE WORK.

ALL PVC MAIN AND LATERAL LINES SHALL BE SUBJECTED TO A PRESSURE TEST OF 125 PSI FOR A PERIOD OF FOUR HOURS. ALL TESTING SHALL BE IN THE PRESENCE OF THE ARCHITECT. APPROVAL SHALL BE RECEIVED BEFORE BACKFILLING ANY TRENCH. DO NOT COVER ANY LINES UNTIL THEY HAVE BEEN

- BEFORE FINAL ACCEPTANCE OF WORK, CONTRACTOR SHALL PROVIDE A RECORD SET OF DRAWINGS SHOWING SPRINGLER SYSTEM WORK.
  - ANY CHANGES IN LOCATION OF ITEMS OR TYPE OF INSTALLATIONS FROM THAT SHOWN ON DRAWINGS SHALL BE SO INDICATED ON THE RECORD DRAWINGS.
  - VALVES SHALL BE NUMBERED AND CORRESPONDING NUMBERS SHALL BE SHOWN ON RECORD DRAWINGS.
  - ALL REMOTE CONTROL VALVES, SHUT-OFF VALVES, QUICK COUPLER VALVES SHALL BE LOCATED BY MEASURE DIADNSONS. DIMENSIONS SHALL BE GIVEN TO PERMANENT OBJECTS AND SHALL BE TO NEAREST ONE—HALF FOOT.
  - ON THE INSIDE SURFACE OF THE COVER OF EACH AUTOMATIC CONTROLLER, PREPARE AND MOUNT A CHART SHOWING VALVES AND SPRINGER HEADS SERVICED BY THAT PARTICULAR CONTROLLER, ALL VALVES SHALL BE HAUBERED TO MATCH OPERATION SOCIETY BY HALL BE SHOWN. THIS CHART SHALL BE A PLOT PLAM, EDITIES OF PARTILL SHOWING BUILDING, INMACS, ROADS AND WALLS. A PHOTOSTATIC FRINT OF THIS PLAM, REDUCED AS NECESSARY AND LEGISLE IN ALL LEFANS, SHALL BE MADE TO A SIZE THAT WILL FIT INTO THE CONTROLLER COVER, THIS PIRM SHALL BE APPROVED BY THE ARCHITECT AND SHALL BE HERBEITCHLY SCALLD BY PLASTIC. THIS SHALL THEN BE SECURED TO INSIDE OF COVER.
  - MANEDIATELY UPON INSTALLATION OF ANY BURIED PIPE OR EQUIPMENT, CONTRACTOR SHALL INDICATE ON THE DRAWINGS LOCATIONS OF SAID EQUIPMENT. DIMENSIONS SHALL BE GIVEN FROM PERMAMENT OBJECTS

- CODE REQUIREMENTS SHALL BE THOSE OF STATE AND MAINCIPAL CODES AND REGULATIONS LOCALLY GOVERNING THIS WORK, PROMONIG THAT ANY REQUIREMENTS OF THE DRAININGS MO SPECIFICATIONS, NOT CONFLICTING THEREWITH BUT EXCEDING THE CODE REQUIREMENTS SHALL GOVERN, UNLESS WRITTEN PERMISSION TO THE CONTRARY IS GRAFTED BY THE DISTRICT.
- Extreme care shall be exercised in excavating and working in the area due to existing utilities. Contractor shall be responsible for damages caused by his operations.
- CONNECTIONS SHALL BE MADE AT APPROXIMATELY LOCATIONS SHOWN ON DRAWINGS. CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR CHANGES CAUSED BY ACTUAL SITE CONDITIONS.
- SCALED DIMENSIONS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS.
- PLAN LOCATIONS OF SUB SURFACE LINES, VALVES, CONTROLLER AND PIPE LINES ARE DIAGRAMMATIC AND INDICATE THE SPACING AND RELATIVE LOCATIONS OF
- all lines shall have minimum clearance of SIX (6) inches from each other, and from lines of other trades. Parallel lines shall not be installed directly over one another.
- DIELECTRIC BUSHINGS SHALL BE USED IN ANY CONNECTIONS WITH PIPING OF DISSIMILAR METAL MATERIALS.
- POINT OF CONNECTION SHALL BE HAPPROXIMATELY AS SHOWN ON DRAWINGS CONNECT NEW UNDERGROUND PIPING AND VALVES AND PROVIDE ALL FLANGES, ADAPTERS OR OTHER NECESSARY FITTINGS FOR CONNECTION.
- PERMISSION TO SHUT OFF ANY EXISTING IN-USE WATER LINES MUST BE OBTAINED 48 HOURS IN ADVANCE, IN WRITING FROM OWNER. CONTRACTOR SHALL RECEIVE INSTRUCTIONS FROM OWNER, AS TO THE EXACT LENGTH OF THE OF EACH SMITE OF THE
- K. CONTRACTOR SHALL ACQUAINT HINSELF WITH ALL SITE CONDITIONS.

### PART 2 - PRODUCTS

### 2.01 MATERIALS:

- PIPMG: PIPE SIZES SHOWN ARE NOMINAL INSIDE DIAMETER UNLESS OTHERWISE NOTED.
- PRESSURE MAINLINE PIPING FOR SIZES 2" AND LARGER SHALL BE SCHEDULE 40 PVC.
- PIPE SHALL BE MADE FROM AN INST APPROVED TYPE 1, GRADE 1, PVC COMPOUND CONFORMING TO ASTM RESIN SPECIFICATIONS "DITAR". ALL PIPE MUST MEET REQUIREMENTS AS SET FORTH IN FEDERAL SPECIFICATIONS PS-22-70, WITH AN APPROPRIATE STANDARD DIMENSION (S.D.R.) (SOLVENT WELD PIPE).
- Pressure mainline piping for sizes  $1-1/2^{\circ}$  and smaller shall be PVC schedule 40 with solvent welded joints
- PIPE SHALL BE MADE FROM NSF APPROVED TYPE 1, GRADE 1, PVC COMPOUND CONFORMING TO THE ASTM RESIN SPECIFICATIONS "D1785". ALL PIPE MUST MEET REQUIREMENTS AS SET FORTH IN
- PVC SOLVENT-WELD FITTINGS SHALL BE SCHEDULE 40, 1-2, 11-1 NSF APPROVED CONFORMING TO ASTM TEST PROCEDURE D2466.
- SOLVENT CEMENT AND PRIMER FOR PVC SOLVENT WELD PIPE AND FITTINGS SHALL BE OF TYPE AND INSTALLATION METHODS PRESCRIBED BY THE MANUFACTURER.
- ALL PVC PIPE MUST BEAR THE FOLLOWING MARKINGS.

  - MANUFACTURER NAME NOMINAL PIPE SIZE SCHEDULE OR CLASS PRESSURE RATING IN P.S.I.
  - SF (NATIONAL SANITATION FOUNDATION) APPROVAL
- AL FITTINGS SHALL BEAR THE MANUFACTURER NAME OF TRADENARY, MATERIAL DESIGNATION, SIZE, APPLICABLE LP.S. SCHEDULE AND NSF SEAL OF APPROVAL.
- 2. PVC NON-PRESSURE LATERAL LINE PIPING
- NON-PRESSURE BURIED LATERAL LINE PIPING SHALL BE PVC CLASS 200 WITH SOLVENT-WELD JOINTS.
- PIPE SHALL BE MADE FROM NSF APPROVED, TYPE 1, GRADE 11 PVC COMPOUND CONFORMING TO ASTM SPECIFICATIONS "D1784". ALL PIPE MUST MEET REQUIREDLENTS SET FORTH IN FEDERAL SPECIFICATION PS-22-70 WITH AN APPROPRIATE STANDARD DIMENSION RATIO.
- EXCEPT AS NOTED IN PARAGRAPHS (A) AND (B) OF SECTION 2.01.A.1(A) AND (B), ALL REQUIREMENTS FOR NON-PRESSURE LATERAL LINE PIPE AND FITTINGS SHALL BE THE SAME AS FOR SOLVENT-MELD PRESSURE MANUME PIPE AND FITTINGS AS SET FORTH IN SECTION 2.01.A.1 OF THESE SPECIFICATIONS, (PRIMER NOT DEFINISHED).
  - ALL UNSIZED END RUN LATER LINES SHALL BE 3/4" PIPE.
- - POLYWNYL CHLORIDE PIPE FITTINGS AND CONNECTIONS: TYPE II. GRADE 1, SCHEDULE 40, HIGH IMPACT MOLDED FITTINGS, MANUFACTURED FROM WRGIN COMPOUNDS AS SPECIFIED FOR PIPING, TAPERED SOCKET OR MOLDER THREAD TYPE, SUITABLE FOR EITHER SOLVENT WELD OR MOUBER HINKAD TIPE, SOTHWILE FOR ETHINE SOLVENT WELD UK
    SOCKENED COMECTIONS. MACHINE THEADED FITTINGS AND PLASTIC
    SADOLE AND FLANCE FITTINGS ARE NOT ACCEPTABLE. FURNISH
    FITTINGS PERMANENTLY MARKED WITH FOLLOWING HEROMATION.
    KOMMAL PIES STZ. TYPE AND SCHEDULE OF MATERIAL, AND NATIONAL
    SANITATION FOUNDATION (NST) SEAL OF APPROVAL. PVC FITTING SHALL
    SANITATION FOUNDATION (NST) SEAL OF APPROVAL. PVC FITTING SHALL
    SANITATION FOUNDATION (NST) SEAL OF APPROVAL. CONFORM TO ASTM D2464 AND D2466.

- C. AUTOMATIC CONTROL WIRE:
  - ELECTRIC WIRING RUNNING FROM CONTROLLER TO AUTOMATIC CONTROL VALVES SHALL BE NO. 14, SOUD, SINGLE CONDUCTOR, COPPER WIRE, 4/64 INCH INSULATION, 4/64 INCH NEOPRENE JACKET, STYLE BR (DIRECT BURBAL) OR EQUAL, COLOR CODE WIRES TO EACH VALVE, COMMON WIRE SHALL BE WHITE.
- D. AUTOMATIC CONTROLLER:
  - CONTROLLER SHALL BE FURNISHED AND INSTALLED COMPLETE WITH ALL WATER, ELECTRICAL AND DRANNAGE SERVICES, READY FOR OPERATION. UNIT SHALL BE ELECTRIC, SELF-CONTAINED OUTDOOR TYPE, WALL-MOUNTED, OR APPROVED EQUAL. SEE DETAIL FOR CONTROLLER
  - 2. UNIT SHALL HAVE A MINIMUM STATIONS AS SHOWN ON IRRIGATION LEGEND.
  - CONTROLLER SHALL BE THE LATEST MODEL OF THE PARTICULAR MANUFACTURER SUPPLIED.
  - UNIT SHALL BE 120-VOLT, 60-CYCLE CONTROLLER, BE COMPLETELY AUTOMATIC AND SHALL FUNCTION OPTIONALLY WITH OR WITHOUT THE CLOCK.
  - 5. ANY STATION MAY BE REPEATED INDEPENDENTLY IN ANY 24 HOURS
  - 6. STATIONS SHALL BE ADJUSTABLE FROM 1 TO 59 MINUTES.
  - MECHANISM SHALL BE HOUSED IN STURDY, VANDAL—PROOF CASE, MANUFACTURED OF 14—GALGE STEEL, OR CASE ALLMINUM; FURNISHED FOR MAXIMUM EXTERIOR PROTECTION.
  - THE CLOCK AND ALL WORKING PARTS OF THE CONTROLLER SHALL BE CONTAINED WITHIN ONE PROTECTING COVER.

REMOTE CONTROL VALVES SHALL BE OF ALL PLASTIC BODY. VALVE SHALL BE PROVIDED WITH AN ADJUSTABLE FLOW CONTROL STEM AND SHALL BE OPERABLE MANUALLY WITHOUT ELECTRICITY.

- FOR REMOTE CONTROL VALVES 11-3/4"x17"x12" RECTANGULAR BOX MANUFACTURED BY CARSON INDUSTRIES \$1419-38 WITH BOLT DOWN COVER OR APPROVED EQUAL.
  - FOR BALL VALVE: 10" ROUND, CARSON INDUSTRIES #910-28 WITH BOLT COVER OR APPROVED EQUAL. EXTENSION SLEEVE TO BE PVC-6" MINIMAIN SIZE.
- SPRINGLER HEADS SHALL BE AS REQUIRED ON THE DRAWINGS OR APPROVED EQUAL.
- BALL VALVE I INCH SIZE TO 2 INCH SIZE SHALL MEET ASTIN STANDARDS WITH SEALS WHICH ARE SELF ADJUSTING TO COUPENSATE WEAR. CATE VALVES SHALL HARE MOLDED MORTO-PHISH GATE WITH 100 TORQUE REQUIREMENTS TO OPERATE UNIT MANUALLY, CATE VALVE SHALL HAVE A PATENTED FEATURE "PRELOADED" STEM SEAL AND IMPACT RESISTANT HANDLES.
- CONCRETE FOOTINGS SHALL BE 2,000 PSI CONCRETE AT 28 DAYS.
- BACKFILL SHALL BE CLEAN FILL SOIL
- K. CONTRACTOR SHALL PROVIDE TO THE OWNER
  - TWO (2) CONTROL VALVE KEYS.
  - TWO (2) WRENCHES FOR REMOVING EACH DIFFERENT TYPE OF SPRINGLER HEAD.
  - ONE (1) 48" TEE WRENCH FOR OPERATING GATE VALVES.
  - SIX (6) QUICK COUPLER KEYS AND SIX (6) HOSE BIB ASSEMBLIES.
  - FIVE (5) KEYS FOR OPENING AND LOCKING EACH AUTOMATIC
- BACKFLOW PREVENTER ASSEMBLY. THE BACKFLOW PREVENTER ASSEMBLY SHALL CONSIST OF A BACKFLOW PREVENTER UNIT AND RELATED COMPONENTS CONFORMING TO THE COMPONENTS CORE REQUIREMENTS. (EXISTING)
- PRESSURE REGULATOR: SHALL BE BRONZE WITH SCREW FITTING.

- LOCATIONS ON DRAWINGS ARE DIAGRAMMATIC AND APPROXIMATE ONLY, AND SHALL BE CHANGED AND ADJUSTED AS RECESSARY AS DIRECTED TO MEET EXISTING CONDITIONS AND DISTAIN COMPLETE WATER CONFERCE. LOCATE AND STAKE ALL MORK AND OBTAIN APPROVAL OF LANDSCAPE ARCHITECT BEFORE
- Install and extend system as shown on drawings, and as necessary to carry out the intent of drawings and specifications.
- LOCATE LINES, VALVES AND OTHER UNDERGROUND UTILITIES AND RECEIVE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE DIGGING TRENCHES.

# 3.02 INSTALLATION OF INDIGATION SYSTEM

- EXCAVATION AND BACKFILLING OF TRENCHES:
- EXCAVATE TRENCHES, PREPARE SUBGRADE, AND BACKFILL TO LINE AND GRADE WITH SUFFICIENT ROOM FOR PIPE FITTINGS, TESTING AND INSPECTING OPERATIONS. DON'T BACKFILL UNTIL PIPE SYSTEM HAS BEEN SUBJECTED. TO HYDROSTATIC TEST AS SPECIFIED.
- POLYWNYL CHLORIDE PRESSURE LINE 18" MINIMUM POLYWNYL CHLORIDE NON-PRESSURE LINE 12" MINIMUM

- TRENCHING THROUGH AREAS WHERE TOPSOIL HAS BEEN SPREAD:
- Subsoil shall be free of all rocks over one (1) inch in diameter, debris, and litter, prior to use as backfill where so indicated
- REPAIR ANY LEAKS AND REPLACE ALL DEFECTIVE PIPE FITTINGS UNTIL Lines meet test requirements. Do not cover any lines until They have been inspected and approved for tightness, quality
- BACKFILL TRENCHES, AFTER APPROVAL OF PIPING, WITH SUITABLE AND APPROVED MATERIAL, TAMPING SOIL AROUND PIPE AND THOROUGHLY COMPACTING ALL TRENCH FILLS UNTIL, 90% COMPACTION HAS BEEN
- BACKFILL MATERIAL SHALL BE APPROVED SOIL, FREE FROM ROCKS AND
- INSTALLATION OF POLYVINYL CHLORIDE PIPE:
- BECAUSE OF THE NATURE OF PLASTIC PIPE AND FITTINGS, EXERCISE CAUTION IN HANDLING, LOADING AND STORING, TO AVOID DAMAGE.
- THE PIPE AND FITTINGS SHALL BE STORED UNDER COVER UNTIL USING, AND SHALL BE TRANSPORTED IN A VEHICLE WITH A BED LONG ENOUGH TO ALLOW LENGTH OF PIPE TO LAY FLAT SO AS NOT TO BE SUBJECTED TO UNDUE BENDING OR CONCENTRATED EXTERNAL LOAD AT ANY POINT.
- ANY PIPE THAT HAS BEEN DENTED OR DANAGED SHALL BE DISCARDED UNTIL SUCH DENTED OR DAMAGED SECTION IS CUT AND REJOINED WITH
- TRENCH DEPTH SHALL BE AS SPECIFIED ABOVE FROM THE FINISH GRADE TO THE TOP OF THE PIPE. THE BOTTOM OF TRENCH SHALL BE FREE OF ROCKS, CLODS, AND OTHER SHARP—EDGED OBJECTS.
- PIPE ENDS AND FITTINGS SHALL BE WEPED WITH MEX, OR EQUAL, BEFORE WELDING SOLVENT IS APPLIED. WEDED JOINTS SHALL BE GIVEN A MEMBALM OF IS MINUTES TO SET BEFORE MOVING OR HANDLING, ALL FIELD CUITS SHALL BE BEVELED TO REMOVE BURRS AND EXCESS BEFORE
- PIPE SHALL BE SNAKED FROM SIDE—TO—SIDE OF TRENCH BOTTOM TO ALLOW FOR EXPANSION AND CONTRACTION.
- CENTER LOAD PIPE WITH SMALL AMOUNT OF BACKFILL TO PREVENT ARCHING AND SLIPPING UNDER PRESSURE. LEAVE JOINTS EXPOSED FOR INSPECTION DURING TESTING.
- NO WATER SHALL BE PERMITTED IN THE PIPE UNTIL INSPECTIONS HAVE BEEN COMPLETED AND A PERIOD OF AT LEAST 24 HOURS HAS ELAPSED FOR SOLVENT WELD SETTING AND CURING.
- PLASTIC TO METAL JOINTS: SOLVENT-WELD, USING SOLVENT RECOMMENDED BY PIPE MANUFACTURER ONLY.
- PLASTIC TO PLASTIC JOINTS: SOLVENT-WELD, USING SOLVENT RECOMMENDED BY PIPE MANUFACTURER ONLY.
- SOLVENT-WELD JOINTS: ASSEMBLE PER MANUFACTURERS RECOMMENDATION.
- - DIRECT BURIAL CONTROL WIRE SIZES: AS SHOWN AND SPECIFIED HEREIN
  - PROVIDE ONE CONTROL WIRE AND ONE COMMON GROUND WIRE TO SERVICE EACH VALVE IN SYSTEM. PROVIDE 4-FOOT MINIMAN EXPANSION LOOP AT EACH VALVE TO PERMIT REMOVAL AND MAINTENANCE OF VALVES.
  - INSTALL CONTROL WIRES AND IRRIGATION PIPING IN COMMON TRENCHES WHEREVER POSSIBLE.
- CONTROL WIRE SPLICES: ALLOW ONLY ON RUNS OF MORE THAN 300 FEET, SPLICES AS FOLLOWS:
- STRIP OFF MINIMUM OF 2-1/2 INCHES OF INSULATION FROM EACH
- TWIST ON SCOTCHLOCK ELECTRICAL SPRING CONNECTOR, MINIMUM FOUR COMPLETE TURNS. SEAL CONNECTOR IN EPOXY RESIN.
- NUMBERING AND TAGGING: IDENTIFY DIRECT BURIAL CONTROL WIRES FROM AUTOMATIC VALVES TO TERMINAL STRIPS OF CONTROLLER AT WINAL STRIP BY TAGGING WIRE WITH NUMBER OF CONNECTED

- D. AUTOMATIC CONTROLLER:
  - AUTOMATIC CONTROLLER SHALL BE INSTALLED AS DRECTED BY GENERAL CONTRACTOR, CONTROLLER SHALL BE TESTED WITH COMPLETE ELECTRICAL CONNECTIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY POWER TO CONTROLLER FOR OPERATION AND TESTING PURPOSES.
  - ALL WIRE SHALL FOLLOW THE PRESSURE MAIN INSOFAR AS POSSIBLE OR AS DIRECTED BY GENERAL CONTRACTOR / MECHANICAL ENG.
  - ELECTRICAL WIRING SHALL BE IN A RIGID PUC PLASTIC CONDUIT FROM
    CONTROLLER TO ELECTRICAL OUTLET OR AS DIRECTED BY GENERAL CONTRACTOR
    THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ALL WIRING
    TO THE SUB-PAWELS, CLOCKS, OR ELSEWHERE AS REQUIRED, IN ORDIGER TO COMPLETE
    THIS INSTALLATION. A DISCONNECT SWITCH SHALL BE INCLUDED.
- CONTROLLER SHALL HAVE A MASTER SWITCH. IT SHALL BE POSSIBLE TO OPERATE EACH VALVE MANUALLY, INDEPENDENT OF CLOCK OF ANY OTHER VALVE.
- - INSTALL VALVE BOXES AS SHOWN ON DETAL OR AS DIRECTED BY MECHANICAL ENGINEER / GENERAL CONTRACTOR. INSTALL NO MORE THANONE VALVE PER BOX BRAND VALVE NUMBER AND CONTROLLER LETTER ON VALVE BOX LIID.
- Install valve boxes as shown on detail. Install no more than one valve per box. Brand valve number and controller letter on valve box lid.
- ALL SPRINKLER HEADS SHALL BE INSTALLED AS PER DETAILS SHOWN.
- NOZZLE SIZE OF ALL HEADS SHALL BE ADJUSTED TO SUIT ANY PARTICULAR CONDITIONS OF THE AREA. THIS SHALL BE DONE AFTER THE SYSTEM HAS BEEN THOROUGHLY TESTED, MANEDIATELY AFTER WRITTEN NOTIFICATION BY THE LANGSCAPE ARCHITECT TO DO SO.
- H. QUICK COUPLER ASSEMBLY:
- INSTALL ALL QUICK COUPLERS AS INDICATED ON DRAWINGS AND AS DIRECTED. SET ALL VALVES PLUMB AND TRUE TO FINISH GRADE AND A MAXIMUM OF 12 INCHES FROM PAVING, WALKS, HEADERS OR CURBS, AND
- I. BALL VALVES:
- 1. INSTALL WHERE SHOWN AS DETAILED.
- BACKFLOW PREVENTER: (EX/ST/NO
- BACKFLOW PREVENTER ASSENBLY SHALL BE INSTALLED IN ACCORDANCE WITH NAME/CURREN'S SPECIFICATIONS, LOCATED AND AS DIRECTED ON DRAWINGS, AND SHALL CONFORM TO ALL APPLICABLE CODE AND ORDINANCE REQUIREMENTS.
- EXACT LOCATION AND POSITIONING SHALL BE VERIFIED ON THE SITE BY CONTRACTOR.
- PRESSURE REGULATOR IF NEEDED SHALL BE INSTALLED AS PER DRAWINGS AND DETAIL VERFY FINAL LOCATION WITH LANDSCAPE ARCHITECT.
- INSTALLATION OF ANTI-DRAIN VALVES: ANTI-DRAIN VALVES SHALL BE INSTALLED IN THE RISER ASSEMBLIES OF ALL SPRINGLER HEADS THAT DO NOT HAKE MANUFACTURER INSTALLED ANTI-DRAIN DEVOES. PROVIDE CHECK VALVES TO PREVENT LOW HEAD DRAINAGE OF RRIGATION WATER PROW SPRINGLER SYSTEM DUE TO CHANGES IN ELEVATION.
- M. Install Quick Couplers and remote control valves adjacent to walks and curbs in shrub planting areas. Install Quick Couples valves no further than 100 feet apart in general Landscape areas.
- IRRIGATION LINES UNDER OTHER ASPHALT CONCRETE OR PORTLAND. CONCRETE IMPROVEMENTS (OTHER THAN ROADS) SHALL BE INSTALLED IN SCHEDULE 80 PVC SLEEVES AT A MINIMUM DEPTH OF 18" BELOW FINISHED GRADIE.
- SLEEVE SIZES FOR IRRIGATION LINES SHALL-BE A MINIMUM OF TWO (2).
   TIMES THE SIZE OF THE LINE IT SERVES.
- CONTROLLER WIRES LOCATED UNDER STREETS OR OTHER PERMANENT MPROVEMENTS SHALL BE INSTALLED IN SEPARATE PVC SLEEVES AND CORRESPONDING TO TYPE AND DEPTH AS SPECIFIED IN DETAILS.

ASPHALT, AND CONCRETE AREAS ADJACENT TO PLANTINGS

3.03 CLEAN-UP

OF THE PROJECT, CONTRACTOR SHALL REMOVE ALL DEBRIS AND CONTAINERS

PTS. NO. 69546 PREPARED BY: REVISION 6 REVISION 4 PROJECT ADDRESS: REVISION 3 SOSS FLORIDA STREET SAN DIEGO, LA 92104 PROJECT NAME: ORIGINAL DATE: 3953 FLORIDA STREET

SHEET OF SHEETS SHEET TITLE: **SPECIFICATIONS** DEP #

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SECTION 02900 LANDSCAPING

PART 1 - GENERA 1.01 GENERAL CONDITIONS

DRAWNS AND GENERAL PROVISIONS OF CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS APPLY TO WORK OF THIS SECTION, AND MUST BE FULLY CONSIDERED IN CONNECTION SUPPLEMENT.

THE WORK INCLUDES ALL SERVICES, LABOR, MATERIALS, TRANSPORTATION AND EQUIPMENT NECESSARY TO PERFORM THE WORK INDICATED ON THE DRAWNSS AND AS SPECIFIED HEREIN AND AS REQUIRED TO COMPLETE

(SECTION 02480)

SEE REQUIREMENTS IN GENERAL CONDITIONS, AND SECTION 01340.

Contractor shall submit a typewriten list with specifications of all feasible materials, including soil amendments, fertilizers, plant materials, etc., with quantities of each.

"Planting area" shall mean all areas to be planted with trees, shrubs, and/or groundcovers.

PLANT MATERIALS: PLANTS (15-GALON SIZE AND LARGER) SHALL BE GUARANTEED TO LINE AND GROW IN HEALTHY CONDITION DURING THE AGREED UPON 90 DAY MAINTENANCE PERGO OR UNTIL FINAL ACSEPTANCE (3.20 PART B). PLANT MATERIAL MILL CONTINUE TO BE GUARANTEED FOR ONE

PLANT MATERIAL SMALLER THAN 15-GALLON SIZE: SHALL BE GUARANTEED TO LIVE AND GROW IN WIGOROUS HEALTHY UPRIGHT CONDITION FOR A MANUAL OF ONE GROWING SEASON AFTER FINAL ACCEPTANCE OF WORK

REPLACEMENT: ALL PLANTS NOT HEALTHY AND IN MODROUS GROWING CONDITION AS DETERMINED BY THE LANDSCAPE ARCHITECT SHALL BE REPLACED IMPROAREMENT SHALL BE THE SAME KIND AND SIZE AS SPECIFED IN THE PLANT LIST. THEY SHALL BE THE PLANTSED, PLANTED AND FERTILIZED AS ORIGINALLY SPECIFIED AT NO COSTS TO OMNER.

VERIFICATION OF EXISTING CONDITIONS

ALL SCALED DIMENSIONS ON THE DRAWNOS ARE APPROXIMATE. BEFORE PROCEEDING WITH ANY WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERFY ALL DIMENSIONS, QUANTITIES, AND GRADE ELEVATIONS, AND SHALL NAMEDIATELY INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.

PRIOR TO THE EXCAVATION FOR PLANTING OR PLACING OF PLANT MATERIAS, THE CONTRACTOR SHALL VERBY THE LOCATION OF ALL
UNDERGROUND UTILITY LINES AND OTHER IMPROVEMENTS, AND TAKE PROPER
PRECAUTIONS TO AVOID DAMAGE TO SUCH IMPROVEMENTS. IN THE EVENT OF CONFLICT BETWEEN SUCH IMPROVEMENTS AND PLANT LOCATIONS, TH CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT, AND ARR. WILL BE MADE FOR RELOCATION AS NECESSARY. FAILURE TO FOLLOW THIS PROCEDURE PLACES UPON THE CONTRACTOR THE RESPONSIBILITY FOR MAKING ANY AND ALL REPAIRS FOR DAMAGE RESULTING FROM WORK AS HEREIN SPECIFED AT HIS OWN EXPENSE.

PROTECTION OF EXISTING IMPROVEMENTS

DURBIG THE CONSTRUCTION AND MAINTENANCE PERSOD, THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT AND ANDD DAMAGE TO SPRINGER HEAD, RIPGATION HES, DRAINAGE HES, AND ALL OTHER UNDERGOUND FACULTIES AND ALL PAWIG, STRUCTURES, FICTURES, AND ESTIMING PLANTINGS. THE CONTRACTOR SHALL BE HELD RESPONSED FOR ANY AND ALL DAMAGE TO SUCH REPORTED AND SHALL COMPLETELY SECRET AND SHALL COMPLETELY. REPAIR OR REPLACE THE SAME AT NO COST TO THE OWNER.

INSTRUCTIONS AND ORSERVATION

ALL CHANGES AND DEWATIONS TO THE PLANS AND SPECIFICATIONS SHALL BE CONFIRMED IN WRITING WA THE LANDSCAPE ARCHITECT.

THE CONTRACTOR SHALL BE AVAILABLE ON CALL TO MAKE A JOINT OBSERVATION WITH THE ENGINEER. THE CONTRACTOR SHALL HAVE SUFFICIENT MORK PERSONNEL AVAILABLE DURING HORMAL MORKING HOURS TO SOFTIME TO THE STATES OF THE STATES OF THE LANDSCAPE ARCHITECT. SUCH REPART OF RE-WORK SERVICES ME TO BE PERFORMED WITHOUT INTERFERENCE OF REGULAR PROJECT SCHEDULE.

PLANTS SHALL BE SUBJECT TO APPROVAL BY THE OWNER'S REPRESENTATIVE AT THE PLACE OF GROWTH AND/OR UPON DELIZERY TO THE SITE FOR CUALITY, SIZE AND VARETY. SUCH APPROVAL SHALL NOT IMPART THE ROST OF OBSERVATION AND REACTION AT THE SITE DURING PROGRESS OF WORK FOR SIZE, CONDITION OF ROOT BALL, LATENT DEFECTS, OR MURRES, RECEITED PLANTS SHALL BE REDURED IMMEDIATELY FROM THE SITE, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.

STE OBSERVATIONS HEREM SPECIFIED SHALL BE MADE BY THE LANDSCAPE ARCHITECT, THE CONTRACTOR SHALL MOTIFY THE LANDSCAPE ARCHITECT OF A STE OBSERVATION AT LEAST 48 HOURS IN ADVANCE OF AN OBSERVATION. AN OBSERVATION WILL BE MADE BY THE LANDSCAPE ARCHITECT DURING OFFICE WORKING HOURS ON EACH OF THE STEPS OR CONDITIONS LISTED BELOW. THE CONTRACTOR OR HIS AUTHORIZED REPRESENTATIVE SHALL BE ON SITE AT THE TIME OF EACH OBSERVATION. THE CONTRACTOR WILL NOT BE PERMITTED TO INITIATE THE SUCCEEDING STEP OF WORK UNTIL HE HAS

PRE-CONSTRUCTION MEETING: IMMEDIATELY PRIOR TO THE COMMENCEMENT OF MORK OF THIS SECTION, CONTRACTOR SHALL RECEIVE APPROVAL OF MATERIALS AND EQUIPMENT TO BE USED, AND METHODS OF INSTALLATION.

Incorporation of soil conditioning and Fertilizing into the soil: soil tests performed by the licensed laboratory shall be submitted and paid for by the contractor for agricultural

THE COMPLETION OF FINISH GRADING.

APPROVAL OF ALL PLANT MATERIAL QUALITY.

PRE-MAINTENANCE OBSERVATION: WHEN PLANTING AND ALL OTHER INDICATED OR SPECIFIED WORK, EXCEPT THE MAINTENANCE PERIOD, HAS BEEN COMPLETED. ACCEPTANCE AND WRITTEN APPROVAL SHALL ESTABLISH BEGINNING OF THE MANIENANCE PERSO. THIS IS NOT A FRALL OBSERVATION OR ACCEPTANCE, AND IT DOES NOT RELIEVE THE

FINAL SITE OBSERVATION AT THE COMPLETION OF THE SPECIFIED MAINTENANCE PERIOD. THIS OBSERVATION SHALL ESTABLISH THE BEGINNING DATE FOR THE GUARANTEE PERIOD.

ACCEPTANCE: LIPON COMPLETION OF THE FINAL OBSERVATION AND THOUGH THIS SECTION, THE CONTRACTOR WILL BE NOTIFIED IN WRITING (1) WHETHER THE WORK IS ACCEPTABLE AND (2) OF ANY REQUIREMENTS

SUSPENSION OF WORK

THE LANDSCAPE ARCHITECT SHALL RECOMMEND TO THE OWNER ANY NECESSITY TO SUSPEND THE WORK WHOLLY, OR IN PART, FOR SUCH PERIOD OR PERIODS AS HE MAY DEEN NECESSARY DUE TO UNSUITABLE WEATHER, OR SUCH OTHER CONDITIONS AS ARE CONSIDERED UNFAVORABLE FOR THE REASONABLE
PERFORMANCE OF THE WORK, OR FOR SUCH TIME AS IS NECESSARY DUE TO
THE FAILURE ON THE PART OF THE CONTRACTOR TO CARRY OUT ORDERS

IF IT SHOULD BECOME NECESSARY TO STOP WORK FOR AM MODEFINITE PERIOD, THE CONTRACTOR SHALL STORE ALL MATERIALS IN SUCH A MANNER THAT THEY MILL NOT BECOME AM OBSTRUCTION NOR BECOME DAMAGED IN ANY Way, and he shall take every precaution to prevent dahage or deterioration of the work performed. The contractor shall cover ALL OPEN EXCAVATIONS AND SHALL PROVIDE SUITABLE DRAINAGE BY OPENING DITCHES, PLANTING PITS, ETC., AND ERECT TEMPORARY

Grading, soil preparation, and planting work shall be performed only during periods when beneficial and optimum results may be obtained. If the moisture content of the soil should reach a Level that working it would destroy the soil structure, spreading, grading and tilling operations shall be suspended until the

CERTIFICATIONS AND NOTICE OF DELIVERY OF MATERIAL

THE LANDSCAPE LANDSCAPE ARCHITECT SHALL BE FURNISHED WITH DUPLICATE SCHED, LEGBLE COPIES OF CERTIFICATES AND/OR INVOICES STATING THE BRAND, GRANDE, ANDURT AND QUANTITY OF EACH TIEM FOR ALL SOUL, FERTILLERS, SOLL CONDITIONERS, PLANS AND OTHER MARRIES, THE LANDSCAPE ARCHITECT MAY STOP WORK PROGRESS UNTIL CERTIFICATES

THE CONTRACTOR SHALL MOTIFY THE LANDSCAPE ARCHITECT IN ADVANCE WHEN ALL MATERIALS ARE TO BE DELIVERED AND THE MANIER OF SHEMENT, AND SHALL FURNISH THEREWITH AN ITEMIZED LIST, IN DUPLICATE, OF THE ACTUAL QUANTITY OF MATERIAL IN EACH DELIVERY, IN ORDER TO ENSURE ACTUAL QUANTITY OF MATERIAL. IN EACH DELIVERY, IN ORDER TO EMESURE SATISFACTORY COORDINATION OF DELIVERY, AND TO EMPEDITE THE REQUIRED INSPECTION AT THE POINT OF DELIVERY. THE ITEMAZED LIST, IN DUPLICATE, FOR EACH DELIVERY OF PLANT MATERIAL SHALL INCLUDE INVOICES CERTIFIVEN THAT SIBLECT MATERIAL HAS GEEN INSPECTED AS REQUIRED BY THE STATE ASSICULTURAL CODE PRIOR TO ACCEPTANCE OR PLANTING. PARTICULAR CARE, LISTING APPRIVED EQUIPMENT, SHALL BEDEFOSED TO EMESURE SAFE LLOOMING, UNLOWING, SIPPPING AND HAMDLING FOR ALL PLANTINGS FROM SOURCE TO IN-PLACE LOCATIONS INDICATED ON THE PORATING.

PLANT MATERIALS

QUANTITIES FOR PLANT MATERIALS ARE SHOWN PER PLAN FOR CONVENIENCE ONLY AND NOT QUARANTEED, CONTRACTOR SHALL CHECK AND VERIFY COUNT AND SUPPLY SUFFICIENT NUMBER TO FULFILL INTENT OF DRAWINGS.

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LPON DELVERY OF MATERIALS AND/OR COMPLETION OF ALL SOIL CONDITIONING AND GRADING, BUT PRIOR TO INTILITING PLANTING OPERATIONS, THE LANDSCAPE ARCHITECT WITH THE RESERVOICES SPECIFIED SIGNED COPES OF REQUIRED CERTIFICATES, TIPS BUS AND INVOICES FOR SILL PREPARATION MATERIALS, SHALL INVOICE SUCH MATERIAL FORMSHED ACAINST THE TOTAL AREA TO LEACH OPERATION. IF THE MINIMAN RATES OF APPLICATION HARE NOT BEEN MET, THE LANDSCEP ARCHITECT MILL REQUIRE THE DISTRIBUTION OF ADDITIONAL QUANTITIES OF THESE

AFTER INSTALLATION OF PLANT MATERIALS, BUT PROOF TO THE PRE-MANTENANCE STIE OBSERVATION, THE LANDSCAPE ARCHITECT, WITH THE HERETOFICE SPECPED SIGNED COMPLS OF THE REQUIRED CERTIFICATES AND RELATED TIESAS, SHALL INVOICE SUCH MATERIAL, COMPARING THE TOTAL AREA AND/OR THE MADRITIS SPECTED. IF THE MINIMAL MADLITIS HAVE NOT BEEN FLIRISHED, THE LANDSCAPE ARCHITECT WILL REQUIRE THE RISTALLATION OF ADDITIONAL MATERIALS TO FULFILL THE MINIMA RECURREMENTS SPECIFED.

A SAMPLE OF THE SOIL AMENDMENTS SHALL BE DELIVERED TO THE LANDSCAPE ARCHITECT WITHIN 15 DAYS AFTER RECORDING OF THE CONTRACT FOR SUBMITTAL TO A TESTING LABORATORY, ALONG WITH SPECIFICATIONS
OF EACH PRODUCT. AFTER SOIL ABDIMENTS HAVE BEEN THOROUGHLY MIXED
MITO THE STIE, RAMOON SAMPLES OF THE MORE SOIL MILL BE TAKEN BY
THE ENGINEER AND SUBMITTED TO THE SOIL LABORATORY FOR COMPARSON TO A CONTROL MIX. COST OF THE ABOVE TESTING BY THE SOILS LABORATORY SHALL BE BORNE BY THE CONTRACTOR.

ALL MATERIALS SHALL BE OF STANDARD, APPROVED, AND FIRST GRADE QUALITY AND SHALL BE IN PRINE CONDITION HER HISTALLED AND ACCEPTED. ALL COMMERCIALLY PROCESSED MAJOR PACKAGED MATERIALS SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL UNOPERED CONTAINERS

2.02 SOIL AMENDMENT AND FERTILIZER

SHALL BE A WOOD RESIDUAL PRODUCT DEBINED FROM SHAWKS OF REDINGOD, WHITE FIR AND/OR RED FIR, OR CEDAR SHAWKS. AMERICAMENT SHALL UPON AMALYSIS CONTAIN AT LEAST 1.0% INTROGEN (ON A DRY WEIGHT BASIS) WITH AM ASH CONTRENT NOT TO EXCEED 15%. A COMMERCIAL GRAVE PRODUCT SHALL BE LESS. OWNTRACTOR SHALL SUPPLY LANDSCAPE ARCHITECT OR HIS APPOINTED REPRESENTATIVE SHALL SUPPLY LANDSCAPE ARCHITECT OR HIS APPOINTED REPRESENTATIVE WITH A SAMELE OF THE PROPOSED AMERICHENT ACCURATION ALL ADDRAGATION LILLISTRATING DEGREE OF COMPLIANCE. GUARANTEE = WT/CUJ/YO. = 400J - 720J. AMERICAN PROPERTY (TOTAL SOLUBLE SALTS = 3.0 MINHO). DENSTY = 20J CLIFT. PROPERTIES = (RIADATION SEVE. 25) - NO. 6 - 25S MINHAMAN PASSING, NO. 8 - 80% MINHAMAN PASSING, NO. 35 - 30% MINHAMAN PASSING, WITHOUT TO BE IN COMPLIANCE WITH STANDARDS AS PER MIERICAN SOCIETY OF ARRONOMY

AGRICULTURAL GRADE GYPSUM — SHALL BE A (CA SO4 — H20) CALCIUM SUAFAE PRODUCT — 94.3% SOX SHALL PASS A 50 MESH SCREDN. CHEMICAL REACTION HILL REMOVE SOXUM ATTACHED TO SOIL PARTICLES. CYPSUM ALSO LOOSENS HEAVY CLAY SOLIS THROUGH ELECTRO-CHEMICAL ACTION. CONTROL OF DUST DURBING APPLICATION IS MANDATORY. SHALL BE U.S. GYPSUM, DOLMAR, SOF'N'SOIL, OR BANDINI, IF NOT AVAILABLE, SHALL BE EQUAL TO.

SULPHUR (SOIL) — SHALL BE ELEMENTAL SULPHUR (99,5%) COMMERCIALLY PREPARED SO THAT 46.9% PASSES A 50 MESH SCREEN.

shall be Wil—Gro, union chemicals or baker industries, if not Avalable, shall be equal to.

IRON SULFATE – IRON SHALL BE EXPRESSED AS METALLIC – DERIVED FROM SULFATE – DEEP GREEN (FE SO4 H20) . A MINIMUM ANALYSIS OF 20.0% AND 98.3% RETAINED ON A 10 MESH SCREEN.

SHALL BE WILSON & GEO. MEYER, WIL-GRO, OR BANDINI. IF NOT AVAILABLE, SHALL BE EQUAL TO.

PRE-PLANT OR STARTER FERTILIZER SHALL BE A COMMERCIAL GRADE FLOWARLE FERTILIZER WITH — 1% NTROGEN, 10% PHOSPHOROUS PENTINODIA NO 10% POTASSIAL SILE FROM COTTONSEED MEAL AND UREA DATA MAIL BE FROM COTTONSEED MEAL AND UREA MANCHANES MAIL AND AND FERTILIZER OF THE PROPERTY AND AND AND THE COMPANY OF THE PROPERTY AND AND THE PROPERTY AND THE PROPE POTASH FROM SULFATE OF POTASH AND COTTONSEED MEAL.

screen analysis: X retained on stacked screen — approximately 8 — Mesh 24.2%, 20 — Mesh 75.2%, 48 — Mesh 0.2%. Available percentage weight of plant food:

SHALL BE WIL-GRO, BANDINI OR KELLOGG. IF NOT AVAILABLE, SHALL BE

POST PLANT FERTILIZER (MANTENANCE): FERTILIZER (COMMERCIAL)
SHALL BE A COMBINATION OF MATURAL ORGANIC AND INGRGANIC GRANALAR
FERTILIZERS, FREE—FLORING, SUTABLE FOR APPLICATION WITH APPROVED
COMPINET MO SHALL CONTAIN THE FOLLOWING MINIMAN AVAILABLE
PERCENTIAGES BY WEIGHT OF PLANT FOOD:

| NITROGEN              | 14.0% MPL          |
|-----------------------|--------------------|
| AMMONIAC SULFATE      | 4.0% MIN.          |
| REMAINDER OF NITROGEN | 8.75% WATER SOLUE  |
|                       | 1,25% WATER INSOLU |
| PHOSPHORIC ACID       | 7.0% MIN.          |
| POTASH                | 3.0% MINL          |
| IRON                  | 2.0%               |
| ZINC                  | 0.15K              |
| MANGANESE             | 0.15%              |
|                       |                    |

organic nitrogen is derived from UREA and Cottonseed Meal. UNIVERSE IN BUSINESS FROM MERA AND COTTONESSED MEAL.

HOSPHATE FROM SUPERPROSPLATE AND COTTONESSED MEAL. POTASH FROM

SULFATE OF POTASH AND COTTONISSED MEAL. NO POTASSIAN CHLORDE IS

TO BE USED. SULPHATE FROM SULFATE OF ANDIMAN, CAUCIUM FROM

SUPERPROSPHATE, IRON FROM FERROLIS SULFATE AND MISED SULFIDES.

ZHOW, AND MANCHASES ARE EXPRESSED AS METALLIC AND IN THEIR

ELEMENTAL FROM.

Screen analysis: (% retained) – approximately: 4 mesh = 1.3%; 8 mesh = 24.2%; 20 mesh = 74.0%; and 48 mesh 0.05%. SHALL BE WIL-GRO FAIRWAY, BANDINI, OR KELLOGG. IF NOT AVAILABLE, SHALL BE EQUAL TO. PLANTING TABLETS SHALL BE TIGHTLY COMPRESSED CHIP TYPE COMMERCIAL GRADE PLANTING TABLETS, OF VARYING SIZES WITH THE FOLLOWING AVAILABLE PERCENTAGES BY WEIGHT OF PLANT FOOD:

10.0% MIN. 5.0% MIN. PHOSPHORIC ACID POTASH

SHALL BE AGRIFORM OR GRO-POWER. IF NOT AVAILABLE, SHALL BE EQUAL TO

CAPILLARY PLANTING SOIL FOR PLANTERS

EXTERIOR CAPILLARY PLANTER SOIL SHALL CONTAIN A MIXTURE OF LONG FIBER SPHAGNUM PEAT MOSS, GROUND FIR BARK, COMPOSTED REDWOOD, SAND, AND WETTING AGENT AND A PROFESSIONAL NUTRIENT FORMULA. SOIL SHALL BE OF THE FOLLOWING PHYSICAL PROPERTIES:

DENSITY WIT/I'M FT DRY RASIS 22.2 LBS. TOTAL POROSITY DRY BASIS BY VOLUME AIR SPACE AT FIELD CAPACITY BY VOLUME (6" CONTAINER) 20.2% AVAILABLE WATER AT FIELD CAPACITY PLANTING BACKFILL FOR TREES AND SHRUBS

RATE OF APPLICATION IS FOR BIDDING PURPOSES ONLY. SOIL TEST MAY REDUCE OR INCREASE TOTAL SOIL YARDAGE MIENDMENT AND CHEMICAL ADDITIVES. PLANTING BACKFILL SHALL BE A THOROUGHLY BLENDED

> 1/2 C.Y. 1/2 C.Y. 5 LBS. PER/CU/YD. OF MIX 1 LBS. PER/CU/YD. OF MIX 1 LBS. PER/CU/YD. OF MIX SOIL AMENDMENT STOCK PILED SITE SOIL Gypsun Sulphur (soil) Iron Sulfate

PRE-PLANT (1-10-10) 3 LBS, PER/CU/YD, OF MIX

2.05 PLANT MATERIALS

NOMENCLATURE: SCIENTIFIC AND COMMON NAMES OF PLANTS HEREIN SPECIFED SHALL CONFORM WITH THE APPROVED NAMES GIVEN IN 1A CHECALST OF WOODY ORNAMENTAL PLANTS OF CALIFORNIA, PRIEMS OF THE UNIVERSITY OF CALIFORNIA, COLLEGE OF AGRICULTURE, MANUAL 32

LABELING: EACH GROUP OF PLANT MATERIALS DELIVERED ON SITE SHALL BE CLEARLY LABELED AS TO SPECIES AND VARIETY. HONEVER, FIN. DETERMINATION OF PLANT SPECIES AND VANCETY WILL BE MADE BY THE LANGSCAPE ARCHITECT AND WHOSE DEDSION WILL BE FINAL ALL PARTICIPED BY THE PLANT LIST SHALL BE DELIVERED WITH A PROPER PLANT PARENT ATTACHED.

QUALITY AND SIZE: ALL PLANTS SHALL BE VIGOROUS, OF HORMAL GROWTH, FREE FROM DISEASES, INSECTS, INSECT EGGS, AND/OR EXCEED THE

CONTAINER STOCK: SHALL HAVE GROWN IN CONTAINERS FOR AT LEAST SIX MONTHS, BUT NOT OVER TWO YEARS. NO CONTAINER PLANTS THAT HAVE CRUCEDE OR BROKEN BALLS OF EARTH WEEN TAKEN FROM THE CONTAINER SHALL BE PLANTED, EXCEPT LOON SPECIAL APPOINT. NO TREES WITH DAMAGED ROOTS OR BROKEN BALLS SHALL BE PLANTED.

PRINING: AT NO TIME SHALL THE PLANT NATERIALS BE PRINED, TRIMMED OR TOPPED PRIOR TO DELIVERY, AND ANY ALTERATION ON THE STE OF THEIR SHAPE SHALL BE CONDUCTED ONLY WITH THE APPROVAL AND IN THE

INSPECTION OF PLANT MATERIALS: REQUIRED BY CITY, COUNTY OR STATE AUTHORITIES, SHALL BE A RESPONSIBILITY OF THE CONTRACTOR, AND WHEN NECESSARY HE SHALL HAVE SECURED PERMITS OR CERTIFICATES PRIOR TO

ON-SITE INSPECTION OF PLANT MATERIALS. PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL OR REJECTION AT THE PROJECT SITE AT ANY THE BEFORE OR DURNO PROGRESS OF WORK FOR SIZE, VARIETY, CONDITION, LITERITY DEFECTS AND INJURIES. REJECTED PLANTS SHALL BE REMOVED FROM THE PROJECT SITE IMMEDIATELY.

REJECTION AND SUBSTITUTION: ALL PLANTS NOT CONFORMING TO THE REQUIREMENTS HEREIN SPECIFIED SHALL BE CONSIDERED DEFECTIVE, AND SUCH PLANTS, WIETHER IN PLACE OR NOT, SHALL BE MARKED AS REJECTED AND BE MARKED AS REJECTED TO THE WORK AND REPLACED WITH ACCEPTIOLE PLANT MATERIALS. THE PLANT MATERIALS SHALL MEET ALL APPLICABLE INSPECTIONS REQUIRED BY LAW. ALL PLANTS SHALL BE THE SPECIES, WARETY, SZE, AGE, RUINER COLOR AND CONDITION AS SPECIFIED HEREIN MOYOUR AS INDICATED ON THE DRAININGS. UNDER NO CONDITION MULT THERE BE ANY SUBSTITUTION OF PLANT SPECIES WARETY, OR REDUCED SIZE FOR THOSE USTED ON THE ACCOMPANYNE DRAININGS. PLOOPEY WITH THE PEOPRESS WEITHER OWNERS TO ST.

RIGHT TO CHANGES. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO CHANGE THE SPECIES, WARETY AND/OR SIZES OF PLANT MATERIAL TO BE FURNISHED, PROVIDED THAT THE COST OF SUCH PLANT CHANGES DOES HOT EXCED THE COST OF PLANTS IN THE ORIGINAL BID. THE CONTRACTOR SHALL BE NOTIFED AND CONFIDENCE IN RETINES PROR TO SXITY (60) DAYS BEFORE THE PLANTING DEPRAIDON HAS COMBINEDED. CHANGES IN THE SIZE AND/OR VARIETY OF MY PLANT TO BE FURNISHED MINCH INVOLVES A

ROOT CONDITION: THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT ROOT CONDITION OF ANY SPECIES, PARTICULARLY THOSE GROWN FROM SEED, AND IF FOUND DEFECTIVE, TO REJECT THE PLANTS

PROTECTION: ALL PLANTS AT ALL TIMES SHALL BE HANDLED AND STORED SO THAT THEY ARE ADEQUATELY PROTECTED FROM DRYING OUT, FROM WIND BURN, AND FROM ALL OTHER MALKY. ALL PLANTS DETERMINED BY THE OWNERTYS REPESTIFATINE TO BE WILLTID, BURNED, OR DREED OUT, MAY BE REJECTED, AND REMOVED FROM THE SITE. THE CONTRACTORTS ON—SITE PLANT STORAGE AREA SHALL BE APPROVED BY THE OWNERYS REPRESENTATIVE PROOR TO THE DELIVERY OF ANY PLANT MATERIALS.

SRUB AND TREE SAMPLES. TYPICAL SAMPLES, THREE EACH OF ALL VARENES AND SIZES (SARIBS 5 GALLON AND UNDER, TREES 15 GALLON AND UNDER, TREES 15 GALLON AND UNDER). OF ALL FLANT MAIRRALS SHALL BE SUBMITED FOR INSPECTION APPROVAL AT THE SITE A MIMMAN OF FRIED DAYS PROR TO PLANTING OPERATIONS. APPROVED SAMPLES SHALL BELIAM ON THE STE AND SHALL BE MAINTAINED BY THE CONTRACTOR AS STANDARDS OF ISON FOR PLANT MATERIALS TO BE FURNISHED. SAMPLES WILL BE

SPECIMEN TREE SELECTION:

1. ONE SAMPLE FACH TO EACH TREE VARIETY AND SIZE, AS CALLED OUT ON DRAWINGS, 24° BOX AND LARGER SHALL BE DELIVERED TO THE PROJECT SITE FOR APPROVAL PRIOR TO INSTILLATION.

2. THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY TREES NOT APPROVED.

3. THE CONTRACTOR AT HIS OPTION AND AT HIS EXPENSE, CAN RETAIN THE SERVICES OF THE LANDSCAPE ARCHITECT TO REVIEW TREES 24" BOX SIZE OR LARGER TAGGED AT THE NURSERY AND/OR AT ITS PLACE OF GROWTH.

PTS. NO. 89546

PREPARED BY:

REVISION 6: REVISION 5: REVISION 4: PROJECT ADDRESS: REVISION 8: 3053 FLORIDA STREET SAN DIEGO, CA 92104 REVISION 2: REVISION 1: PROJECT NAME: ORIGINAL DATE: 3953 FLORIDA STREET SHEET OF SHEET TITLE: DEP # \_\_ **SPECIFICATIONS** 

REVISIONS

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Date 4/15/08

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GROUNDCOVER PLANTS SHALL BE HEALTHY, VIGOROUS ROOTED CUTTINGS

### PLANTER MILCH

PLANTER MULCH SHALL BE SHREDDED FIR TREE BARK. SHALL RANGE IN SIZE FROM 1/2-INCH TO 3/4-INCH. (2" DEPTH TYPICAL)

TREE STAKE SHALL BE OF 2" DNA. X 10" LONG LODGE POLE PINE, SET PERPENDICULAR TO PREVALING NINDS. "CLINCH-TIES" SHALL BE INSTALLED FROM POLES TO THE TREE TRUNK PER MANUFACTURER'S SPECIFICATIONS.

PRE-EMERGENT HERBICIDE SHALL BE AS DETERMINED BY THE CONTRACTOR.

WEED CONTACT HERBICIDE SHALL BE AS DETERMINED BY THE CONTRACTOR.

### PART 3 - EXECUTION

EXAMINE PROPOSED PLANTING AREAS AND CONDITIONS OF INSTALLATION, DO NOT START PLANTING WORK UNTIL UNSATISFACTORY CONDITIONS ARE

- GENERAL: THE AREAS TO RECEIVE TREES, SHRUBS, GROUNDCOVER AND HYDROSEED PLANTINGS AND THEIR RESPECTIVE REQUIREMENTS FOR IMPORTED TOPSOU, FERTILIZING, SOIL CONDITIONING, AND OTHER TREATMENT SHALL BE AS DEFINED ON THE GROUND SURFACE AND FOR HANDLING AND PLACING ALL RECARRED MATERIAL SHALL BE ON HAND IN GOOD WORKING CONDITION. WORK SHALL BE PERFORMED ONLY DURING PERIODS WHEN BENEFICIAL RESULTS CAN BE OBTAINED.
- OBSTRUCTION BELOW GROUND: ALL SUBSURFACE ROOKS OVER 2° IN DIAMETER AND OTHER UNDERGROUND OBSTRUCTIONS SHALL BE REMOVED TO THE DEPTH NECESSARY TO PERMIT PROPER PINE (ROUNDING, TILLING, OR PLANTING ACCORDING TO PLANS AND SPEDICATIONS. ALL ABANDONED UTILITY LIES UNDOWNERD OR SEVERED SHALL BE CUT BELOW GRADE. AND CAPPED OR PLUOSED WITH LOOKENE. EXPLOSES SHALL INTO BE USED FOR REMOVAL. WHEN THE LOCATION OF UTILITY LIES IS SHOWN ON THE PLANS OR HAS BEEN MADE KNOWN TO THE CONTRACTOR, ALL DAMAGE TO THESE LIES SHOW EXPLANDED BY THE CONTRACTOR IN A MANNER APPROVED BY THE LANGSCAPE ARCHITECT AND AFFECTED UTILITY.
- DEEP RIPPING: ALL AREAS (INCLIDING SLOPES) TO RECEIVE GROUNDCOVER, SHRUBS, AND HYDROSEEDING SHALL BE DEEP RIPPED AND LOOSENED TO A DEPTH OF THELVE (12) INCHES IN ALL DIRECTIONS.

- RATE OF APPLICATION IS FOR BIDDING PURPOSES ONLY. SOIL TEST MAY REDUCE OR INCREASE TOTAL SOIL AMENDMENT YARDAGE. ADJUSTMENTS (PLUS OR MINUS) MAY BE NECESSARY. CONTRACTOR SHALL OBTAIN AT LEAST THIS SOIL TESTS OF ROUGH GRADE AT STE AND SUBMIT RESILTS TO THE LANDSCAPE ARCHITECT FOR INTERPRETATION AND RECOMMENDATION.
- After the Areas have been deep ripped, the following rates of sol Americant materials shall be evenly spread over all planting areas and shall be thogologialy scarred to an average depth of six inches by rototilling a minimum of this alternating passes. AMENDMENT MUST BE INTIMATELY BLENDED WITH SOIL

SOIL AMENDMENT:

6 CUBIC YARDS PER 1,000 SQ. FT. TO A DEPTH OF 8 INCHES.

SOIL SULPHUR: IRON SULFATE:

120 LBS, PER 1,000 SQ, FT. 10 LBS, PER 1,000 SQ, FT. 10 LBS, PER 1,000 SQ, FT,

FERTILIZER (COMMERCIAL) 1–10–10 SHALL BE APPLIED AT THE RATE OF 30 POUNDS FOR THOUSAND SQUARE FEET AND SCARFIED INTO THE TOP TWO INCHES OF FINISH GRADE. FERTILIZER SHALL BE APPLIED AFTER LEACHING OPERATION.

THE THOROUGHNESS AND COMPLETENESS OF THE ROTOTILLING AND NOORPORATION OF THE SOIL AMEDIMENTS SHALL BE ACCEPTABLE TO THE LANGSCAPE ARCHITECT. SLOPES 2:1 AND SEEPER OR AS PER THE DRAWNOS OMIT SOIL CONDITIONER APPLICATION AND TILLING.

DEEP WATER LEACHING AND SOIL TESTING:

DEEP WATER LEACHING SHALL BE COMPETED AS RECOMMENDED BY A CRITIFIED AGRONING: LIBOUATIONY. THE FOLLOWING PROCESS FOR DEEP WATER LEACHING IS FOR BIDDING PURPOSES ONLY. ITEM MANIBER THREE (3.) SHALL BE PERFORMED AS STATED BELOW.

- AFTER THE TILLING OPERATION, THE AREA SHALL BE DEEP WATER LEACHED THREE (3) TIMES OVER A FIVE (5) DAY PERIOD. APPLY WATER AT EACH APPLICATION. WAIT ONE (1) DAY BETWEEN APPLICATION.
- ONE DAY AFTER FINAL APPLICATION OF WATER, THE SOIL SHALL BE TESTED FOR CONTENT OF SOLUBLE SALTS (ELECTRICAL COMDUCTIVITY E.C.). LANDSCAPE ARCHITECT AND CONTRACTOR SHALL TAKE SEVERAL SOIL SAMPLES AND DELIVER THE SAMPLES TO A LABORATORY FOR TESTING OF SOLUBLE SALTS. E.C. TEST READING SHALL NOT BE ABOVE 2.0, THE SOIL AMEDIONG, TILLING AND DEEP WATERING PROCODURE SHALL BE REPEATED UNTIL TEST READINGS ARE NOT ABOVE 2.0.
- IF SOIL, TEST READING FOR A PARTICULAR AREA TESTED IS ABOVE 2.0, THE SOIL AMENDING, TILLING AND DEEP WATERING PROCEDURE SHALL BE REPEATED UNTIL TEST READINGS ARE NOT ABOVE 2.0
- CARE SHALL BE TAKEN THAT THE RATE OF APPLICATION OF WATER DOES NOT CAUSE EROSION OR SLOUGHING OF SOILS.

### 3.04 FRASH GRADBIG

- FINISH GRADES SHALL BE AS INDICATED ON CIVIL PLAN.
- FINISH GRADES SHALL BE MEASURED AFTER THE GROUND HAS BEEN WATERED. IN AND MECHANICALLY COMPACTED AND SETTLED. THE FINAL GRADE SHALL BE WITHIN FLOOR MINUS ALL FOOT OF THE SPOT ELEVATIONS AND GRADE LINES RIGICATED ON THE CIVIL DRAINING.
- ALL UNDULATIONS AND IRREGULARTIES IN THE PLANTING SURFACES
  RESULTING FROM TILLAGE ROTOTILLING AND ALL OTHER OPERATIONS SHALL
  BE LEVELED AND FLOATED OUT BEFORE PLANTING OPERATIONS ARE
- THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT AND AVOID DAMAGE TO SPRINGER HEADS, IRRIGATION LINES, AND OTHER UNDERGROUND UTILITIES DURING HIS GRADING AND CONDITIONING OPERATIONS.
- Final finish grades shall insure positive drainage of the site with all surface drainage away from Bulldings, walls, over mow curbs, and toward roadways, drains and catch basins.
- FINAL GRADES SHALL BE ACCEPTABLE TO THE LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS WILL BE ALLOWED TO BEGIN.
- PLANTING SURFACES SHALL BE GRADED WITH NO LESS THAN 2 PERCENT SURFACE SLOPE FOR POSITIVE DRAINAGE.
- all rock and debris over 1/2" in Dia. Shall be removed from Planting Areas and then from the site. In accordance with the following criteria, 1" dia. In Lawn Areas, 2" dia. In Shrub Area, 2" dia. In hydroseed Areas.
- FINISH GRADE SHALL BE 2" BELOW FINISH PAVING SURFACE IN SHRUB

- TIMING: ACTUAL PLANTING SHALL BE PERFORMED DURING THOSE PERIODS WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH LOCALLY ACCEPTABLE PRACTICE.
- WITH LONGLY MUCHEL PROCINCE.

  LATOUT OF TREES: ALL TREES (A" BOX SIZE AND LARGER) SHALL BE PLACED IN THE LANDSCAPE PER THE DIRECTION OF THE LANDSCAPE ARCHITECT PROF TO INSTALLATION OF RIRECATION SYSTEM. THE TREES SHALL THEN BE MOVED SO THAT PLANTING HOLES CAN BE EXCAVALED AND MICHIEL THE TREES SHALL THEN BE INSTALLED IN THEIR RESPECTIVE HOLS AND POSITIONED IN THE HOLES PER DIRECTION OF THE LANDSCAPE
- LAYOUT PLANTING: LOCATIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT. ALL CONTAINER PLANTS SHALL BE SET BY THE CONTRACTOR IN THEIR FIRML LOCATION IN THEIR FIRML LOCATION IN THEIR PROPERTIES CONTAINERS PROVIDED TO DIGGING HILES AND/OR PLANTING. ALL PLANT LOCATIONS SHALL BE CHECOLD FOR POSSIBLE INTERFERENCE WITH EXISTING UNDERGROUND UTILITY LINES.
- BACKFILL FOR TREES AND SHRUBS: SHALL BE AS SPECIFIED IN SECTION 2.03. IF ARTIFICIAL DRAINAGE IS REQUESTED, THEN DRAINS SHALL BE INSTALLED FIRST, THEN BACKFILLED WITH SOIL.
- DISPOSAL OF EXCESS SOIL AND DEBRIS: ALL EXCESS EXCAVATED SUBSOIL, ROOKS AND DEBRIS SHALL BE LEGALLY DISPOSED OF OFF THE SITE BY THE CONTRACTOR AT HIS COST OR UTILIZED ON THE SITE AS DIRECTED BY AND AT THE OPTION OF THE LANDSCAPE ARCHITECT.

### PLANTING TREES, SHRUBS AND VINES

- SOIL MOISTURE LEVEL PRIOR TO PLANTING SHALL BE NO LESS THAN HORTICULTURALLY ACCEPTABLE. THE CONTRACTOR SHALL REQUEST APPROVAL OF MOISTURE, AND FOUND TO BE INSUFFICIENT FOR PLANTING, THE PLANTING THIS SHALL BE FLICD WITH MUSTER AND ALLONED TO DRAIN BEFORE STARTING MY PLANTING OPERATIONS.
- ALL EXCAVATED HOLES SHALL HAVE VERTICAL SIDES WITH ROUGHENED SURFACES AND SHALL BE OF THE IMPRIMENT SIZES INDICATED ON DRAWNOS. HOLES SHALL BE IN ALL CASES LARGE ENOUGH TO PERMIT HAMBURG AND PLANTING WITHOUT HUJRY! OR BREAKAGE OF ROOT BALLS OR ROOTS.
- EXCAVATION SHALL INCLUDE THE STRIPPING AND STACKING OF ALL ACCEPTABLE SOL ENCOUNTERED WITHIN THE AREAS TO BE EXCAVATED FOR PLANT FITS AND PLANTING BEDS. PROTECT ALL AREAS THAT ARE TO BE TRUCKED OVER AND UPON WHICH SOL IS TO BE TREMPERABLY STACKED.
- PLANTS SHALL BE REMOVED FROM CONTAINERS IN SUCH A MANNER THAT THE BALL OF EARTH SURROLINDING THE ROOTS IS NOT BROKEN, AND THEY SHALL BE PLANTED AND WATERED MINEDIATELY AFTER THE REMOVAL FROM THE
- THE PLANTS SHALL BE PLANTED AT APPROVED LOCATIONS WITH THE HERETOFORE SPECIFIED AMENDMENTS AND SOIL PLANTING BACKFILL.
- BACKFILL SHALL BE PLACED AT THE BOTTOM OF EACH HOLE AND THOROUGHLY WARRED AND COMPACIED TO A DEPTH SO THAT WHEN A PLANT IS PLACED IN THE HOLE, ITS ROOT CROWN IS SUGHTLY ABOVE THE ESTABLESHED FINAL GRADE, AND UNLESS OTHERWISE NOTED SHALL BE RAISED OR REPLACED AS
- PLANTING TABLETS SHALL BE PLACED IN EACH PLANTING HOLE AT THE FOLLOWING RATES AND PER THE MANUFACTURER'S RECOMMENDATIONS;
- 1 5 GRAM TABLET PER INDIVIDUAL LIMER AND FLAT SIZE PLANT.
  1 21 GRAM TABLET PER GALLON CONTAINER.
  3 21 GRAM TABLET PER 5 GALLON CONTAINER.
  4 21 GRAM TABLET PER 15 GALLON CONTAINER.
  1 21 GRAM TABLET PER EACH 4 INCHES OF BOX SIZE.

random testing to veryy planting tablet installation shall be conducted by the landscape architect.

- NO PLANT WILL BE ACCEPTED IF THE ROOTBALL IS BROKEN OR CRACKED, EITHER BEFORE, DURING, OR AFTER THE PROCESS OF INSTALLATION.
- ALL PLANTS SHALL BE THOROUGHLY WATERED TO THE FULL DEPTH OF EACH PLANTING HOLE MANEDIATELY AFTER PLANTING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURFACE AND SUBSURFACE DRAINAGE REQUIRED WHICH MAY AFFECT HIS GUARANTEE OF THE TREES,
- PRIMMING AFTER PLANTING SHALL BE REQUIRED ON ALL TREES, SHRUBS, AND WISES WHEN NECESSARY TO PROVIDE THE SPECIFED OR APPROVED STANDARD SHAPES, FORM AND/OR SIZES CHARACTERISTIC TO EACH PHAIT. PRIMMING MAY INCLUDE THIRMING, TOPPING, AND/OR CUTTING AND SHALL BE UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. CUTS OVER 3/4—INCH IN DIAMETER SHALL BE PARTIED WITH AM APPROVED TREE SEALANT.
- ALL TREES 24" ROY AND LARGER SHALL RE SPOTTED

### 3.07 PLANTING GROUNDCON'S

- Groundcovers shall be planted in the Areas indicated on the plans and shall be free CF surface rock over 2" in Diameter and Debris,
- IF THE TOP FOUR (4) INCHES OF SOIL IN THE AREA TO BE PLANTED IN GROUNDCOVER IS NOT SUFFICIENTLY MOST (HORTICLITURALLY ACCEPTIBLE STANDARDS), THE AREA SHALL BE THOROUGHLY IRRICATED AND NO LESS THAN THELLY HOURS SHALL PASS BEFORE PLANTING.
- GROUNDCOVER PLANTS SHALL BE GROWN IN FLATS. VARIETY NONCATED ON .-THE PLANT LIST. FLAT GROWN PLANTS (ROOTED CUTTINGS) SHALL REJAIN IN THOSE FLATS INCHE TRANSPORTING. THE FLATS SOL SHALL CONTAIN SUFFICIENT MOSTURE SO THAT IT WILL NOT FALL APART INEXL LETING THE PLANTS. SHALL BE PROTECTED AT ALL TIMES TO PREVENT DRYING OF THE ROOT BALL.
- GROUNDCOVERS SHALL BE PLANTED IN STAGGERED, RANDOM ROWS AND EVENLY SPACED UNLESS OTHERWISE NOTED AND AT INTERVALS CALLED OUT IN THE DRAWNGS.
- THE SIZE OF PLANTING EXCAVATION FOR GROUNDCOVER SHALL BE AT LEAST TWICE THE DEPTH OF THE ROOT BALL.
- EACH PLANT SHALL BE PLANTED IN A MANNER THAT WILL DISJRE MINIMAL DISTURBANCE OF THE ROOT SYSTEM, BUT IN NO CASE SHALL THIS DEPTH BE LESS THAN TWO NODES. EACH GROUNDOWER PLANT SHALL BE PLANTED WITH ORE 5 GRAM PLANTED THE PLANTED THE PLANTEN SHALL BE HAND-SHOOTHED AFER PLANTING. THIS MAY BE PLOW AND SHOOTH FIRM, FIRSTED GROUND THE PLANTING. THIS MAY BE DONE MANUALLY OR BY USING THE INSTALLED BREAGAND STEEL REPEATED APPLICATIONS MAY BE REQUIRED, ESPECIALLY ON A SLOPING STEE. THIS MITCH, REPEATED SHALL CONTINUE UNTIL A ZOOP AT LEAST TIME THE DEPTH OF EACH HOLE IS THOROUGHLY MOSTEDED.

- TREES POST FERTRUZATION SHALL OCOUR AT 100 DAY INTERVALS AFIER PLANTING.
  BORE HOLES AROUND DREPLINE (WAROUS EDPINS) AND APPLY FERTRUZER AT THE
  RATE OF 1 LB. PER 1" CAUPER IN HOLES. FERTRUZER SHALL BE WIL-GRO (14–7–3),
  FARRINY, BANDIN, OR RELLOGG. IF NOT AVALABLE, SHALL BE EQUIA. TO.
- SHRUBS POST FERTILIZATION SHALL OCCUR 60 DAYS AFTER PLANTING AND APPLY FERTILIZER AT THE RATE OF 1 TEASPOON PER EACH 1 GALLON PLANT.
  MD 1 TABLESPOON PER 5 GALLON PLANT. FERTILIZER SHALL BE (14-7-3)
  ML—GRO, FARWAY, BANDIN, OR KELLOGG. F NOT AVALABLE, SHALL BE
- GROUNDCOMER AREA AND LAWN AREAS -POST FERTILIZATION SHALL OCCUR 60 DAYS AFTER FLATTING AND APPLY FERTILIZER AT THE RATE OF 7 LB\_/1,000 S.F. FERTILIZER SHALL BE (14-7-3) WIL—GRO, FARRWAY, BANDAN, OR KELLOGS. IF NOT AVALABLE, SHALL BE EQUAL TO.

# GENERAL MAINTENANCE AND ESTABLISHMENT PERIOD

- GENERAL: MAINTENANCE OPERATIONS SHALL BEGIN MAMEDIATELY AFTER EACH PLANT IS PLANTED AND SHALL BE KEPT IN A HEALTHY, GROWING CONDITION BY WATERING, FERTULIZING, PRUNING, SPRAYING, WEEDING AND ALL OTHER RECESSIARY OPERATIONS OF MAINTENANCE. ALL AREAS SHALL BE KEPT FREE OF WEEDS AND NOXIOUS GRASSES AND CLEAN AND FREE OF ROCKS, CLODS, AND DEBRIS. ALL PAVING AND WALKS SHALL BE KEPT CLEAR, CLEAN AND WASHED DOWN.
- establishment poriod: trees, shrubs, whes and ground covers— the establishment poriod shall beon on the date that the landscape architect inspects and gives written provisional. Acceptance of the work and shall be inverty (80) calendar days. The establishment poriod day be extinded or shortened at the discretion of the landscape architect.
- MAINTENANCE OPERATIONS: PLANTS SHALL BE KEPT IN A HEALTHY,
  CROUMIC CONDITION BY WATERING, PRINING, MOMBING, RESEDBING, ROLLING,
  RESCODING, TRIMING, EDGING, FERTILIZING, RESTAKING, PEST CONTROL.
  SPRAING, NEEDING AND ALL OTHER RECESSARY OPERATIONS OF MAINTENANCE.
  PLANTING BEDS SHALL BE KEPT FIRE OF NEEDIS, GRASS AND OTHER UNDESRED
  VEGETATING GROWTH, DURING THE SPECIFIED MAINTENANCE PERSOD, ALL PLANTS
  THAT ARE DEAD OR SEMBLELY DISTRESSED SHALL BE REPLACED MMEDIATELY.
  ALL SEASONAL COLOR, MAINLAS OR PREPRIAMAS SHALL BE MAINTAINED IN A WGOROUS,
  HEALTHY CONDITION THROUGH THE MAINTENANCE PERSOD.
- EXTENDED MAINTENANCE: WHEN, IN THE OPINION OF THE LANDSCAPE ARCHITECT, THERE IS IMPROPER MAINTENANCE, POOR OR UNHEALTHY CONDITION OF PLANT MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADDITIONAL MAINTENANCE OF THE WORK AT NO ADDITIONAL COST TO THE CONTRACT UNTIL ALL THE WORK IS ACCEPTABLE.
- PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE PROTECTION OF ALL PLANTING AREAS AGAINST TRAFFIC OR OTHER LOSS HOT REFORM OF OTHER ACCEPTABLE MEANS IMPEDIATELY AFTER THE PLANTING IS COMPLETED. WARMING SIGHS AND BARRICADES SHALL BE PLACED IN VARIOUS HOH-TRAFFIC AREAS. DAMAGED AREAS SHALL BE PREPARED IMMEDIATELY BY THE CONTRACTOR.
- WEEDING AND CULTIVATING: ALL TREE, SHRUB, GROUNDCOVER AND HYDROSEDED AREAS SHALL BE KEPT FREE OF DEBRIS AND WEEDS. GROUNDCOVER AND SHRUB AREAS SHALL BE CULTIVATED AT INTERVALS OF NOT MORE THAN FOURTEEN (14) DAYS MANAMAL.
- REPLACEMENT: DURING THE MAINTENANCE PERIOD, PLANTS WHICH DIE OR WHICH ARE IN AH UNWEALTHY OR BADLY IMPARED CONDITION SHALL BE REPLACED BY THE CONTRACTOR WITHIN FOURTEEN (14) DAYS ATTENDED UNISATISFACTORY CONDITION IS EVIDIETT. IN GREPLACEMENT OF PLANTINGS SHALL BE MADE IN MAY SEASON DEFINITELY UNFAVORABLE FOR PLANTING. STALL BE MADE BY MAY SEASON DEPIRIELY ONE AVOICABLE FOR FLANTING. AT THE CONCLISION OF THE MAINTENANCE FERBOON, THE LANGSCAPE ARCHITECT MILL MADE AN INSPECTION OF THE MORK TO DETERMINE THE CONDITION OF ALL PLANTS. ALL UNHEALTHY PLANTS SHALL BE REBOVED FROM THE STAE AND REPLACED WITH PLANTS OF THE SAME KINDS AND SIZES AS ORGANALLY SPECIFIED. SUCH REPLACEMENT SHALL BE MADE IN THE SAME MADE AND SIZES AS DECRMALLY SPECIFIED. SUCH REPLACEMENT SHALL BE MADE IN THE COST TO THE OWNER.
- ACCEPTANCE: AT THE CONCLUSION OF THE MAINTENANCE PERIOD, AN INSPECTION SHALL BE MADE BY THE LANGSCAPE ARCHITECT, LIPON WRITTEN NOTICE REQUESTANCE. MAINTENANCE PERIOD SHALL CONTINUE UNTIL ALL DEFICIENCIES ARE CORRECTED.



PTS. NO. 59546 PREPARED BY: REVISION 7: REVISION 6: REVISION 5: REVISION 4: PROJECT ADDRESS: REVISION 8: SOGS FLORIDA STREET REVISION 2: REVISION 1: PROJECT NAME: ORIGINAL DATE: 3953 FLORIDA STREET SHEET OF SHEETS SHEET TITLE: **SPECIFICATIONS** DEP #

# PLANNING COMMISSION RESOLUTION NO. XXXX TENTATIVE MAP NO. 287973

# 3953 FLORIDA STREET TENTATIVE MAP - PROJECT NO. 89546 DRAFT

WHEREAS, HSIEH FAMILY LIMITED PARTNERSHIP, Applicant/Subdivider, and DGB SURVEYING & MAPPING, submitted an application with the City of San Diego for a Tentative Map, No. 287973, for the conversion of 18 existing residential units to condominiums, including a request to waive the requirement to underground existing overhead utilities. The project site is located on the west side of Florida Street between Lincoln Avenue and University Avenue at 3953 Florida Street, and is legally described as Lots 9-12, Block 196, University Heights, Map thereof made by G.A. D'Hemecourt, in the MR-800B Zone of the Mid-Cities Communities Planned District, the North Park Redevelopment Project Area and the Transit Area Overlay Zone, within the Greater North Park Community Plan area; and

WHEREAS, the Map proposes the subdivision of a 0.34-acre site into one (1) lot for a 18-unit residential condominium conversion; and

WHEREAS, the project is exempt from environmental review pursuant to Article 19, Section 15301(k) of the California Environmental Quality Act (CEQA) on the basis that the facilities are existing; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to the Subdivision Map Act and Section 144.0220 of the Municipal Code of the City of San Diego; and

WHEREAS, the subdivision is a condominium project as defined in Section 1350 et seq. of the Civil Code of the State of California and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 18; and

WHEREAS, on November 6, 2008, the Planning Commission of the City of San Diego considered Tentative Map No. 287973, including the waiver of the requirement to underground existing overhead utilities, and pursuant to Sections 125.0440 (tentative map), 125.0444 (condo conversion), and 144.0240 (underground) of the Municipal Code of the City of San Diego and Subdivision Map Act Section 66428, received for its consideration written and oral presentations, evidence having been submitted, and heard testimony from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 287973:

- 1. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code (Land Development Code Section 125.0440.b).
- 2. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (Land Development Code Section 125.0440.h and State Map Act Section 66412.3).
- 3. Each of the tenants of the proposed condominium project has received, pursuant to State Map Action Section 66452.9, written notification of intention to convert at least 60 days prior to the filing of a tentative map (Land Development Code 125.0444 and State Map Act Section 66427.1(a)).
- 4. The project has been conditioned that the Subdivider will give each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the State Map Act (Land Development Code Section 125.0444 and State Map Act Section 66427.1(a)).
- 5. The project has been conditioned that the Subdivider will give each tenant 10 days' written notification that an application for a public report will be, or has been, submitted to the Department of Real Estate, and that such report will be available on request (Land Development Code Section 125.0444 and State Map Act Section 66427.1(a)).
- 6. The project has been conditioned that the Subdivider will give each tenant of the proposed condominium project written notification within 10 days of approval of a final map for the proposed conversion (Land Development Code Section 125.0444 and State Map Act Section 66427.1(b)). If the subdivider chooses to provide affordable housing units, the subdivider shall enter into an affordable housing agreement with the Housing Commission, prior to recordation of the Final Map.
- 7. The project has been conditioned that the Subdivider will give each of the tenants of the proposed condominium project 180 days' written notice of intention to convert prior to termination of tenancy due to the conversion or proposed conversion (Land Development Code Section 125.0444 and State Map Act Section 66427.1(c)).
- 8. The project has been conditioned that the Subdivider will give each of the tenants of the proposed condominium project notice of an exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, which notice shall be provided within 5 working days of the issuance

- of the Subdivision Public Report. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report pursuant to Section 11018.2 of the Business and Professions Code, unless the tenant gives prior written notice of his or her intention not to exercise the right (Land Development Code Section 125.0444 and State Map Act Section 66427.1(d)).
- 9. The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low income housing (Land Development Code Section 125.0444.b).
- 10. For any project that was developed to provide housing for the elderly, disabled or to provide low income housing, provisions have been made to perpetuate the use for which the project was developed (Land Development Code Section 125.0444.c).
- 11. Each of the tenants of the proposed condominium project has received written notification of the project application for the condominium conversion within 10 days after the application was deemed complete (Land Development Code 125.0431(a)(3)).
- 12. The project has been conditioned that the subdivider will give each person applying for the rental of a unit in such residential real property written notification that the project application for the condominium conversion was deemed complete (Land Development Code 125.0431(a)(3)).
- 13. The project has been conditioned that the subdivider will give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (Land Development Code Section 125.0431(a)(4)).
- 14. A Building Conditions Report has been prepared in accordance with the Land Development Manual by a registered architect or engineer licensed by the State of California (Land Development Code Section 144.0504(b)).
- 15. The project has been conditioned that the subdivider will provide to a prospective purchaser a copy of the Building Conditions Report prior to the opening of an escrow account. (Land Development Code Section 144.0504(c)).
- 16. The project has been conditioned that the subdivider will provide a relocation assistance payment to all tenants of the project whose tenancy has terminated due to the condominium conversion. (Land Development Code Section 144.0505).
- 17. The project has been conditioned for the subdivider to complete the physical improvements as outlined in Land Development Code Section 144.0507, to the satisfaction of the City Engineer prior to final map approval.

- 18. The project has been conditioned for the subdivider to satisfy the inclusionary housing requirements in accordance with Land Development Code Section 142.1306. (Land Development Code Section 144.0508).
- 19. The requested underground waiver of the existing overhead facilities, qualifies under the guidelines of Council Policy No. 600-25 *Underground Conversion of Utility Lines at Developers Expense* in that the conversion involves a short span of overhead facility (less than 600 feet in length), it has been determined that such conversion is not a part of a continuing effort to accomplish a total undergrounding within a specific street or area, the conversion would represent an isolated undergrounding with a minimum probability of extension in the future, and the conversion is a requirement of a condominium conversion of an existing development and the conversion would not represent a logical extension to an underground facility.
- 20. That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that, based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 287973, including the waiver of the requirement to underground existing overhead utilities, is hereby granted to HSIEH FAMILY LIMITED PARTNERSHIP, Applicant/Subdivider, subject to the following conditions:

# GENERAL

- 1. This Tentative Map will expire November 6, 2011.
- 2. Compliance with all of the following conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
- 3. Prior to the issuance of the Final Map taxes must be paid on this property pursuant to section 66492 of the Subdivision Map Act. A tax certificate, recorded in the office of the County Recorder, must be provided to satisfy this condition
- 4. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may

elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

- 5. The Subdivider shall provide a Notice of Tenants Rights and Notices for Condominium Conversion, consistent with the Land Development Manual to be provided as follows:
  - a. For existing tenants, within 10 days of the project application for the *condominium conversion* being deemed complete; or
  - b. For prospective tenants, upon application for the rental of a unit in the proposed *condominium conversion*.
- 6. The Subdivider shall provide each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the State Map Act.
- 7. The Subdivider shall provide the tenants a Notice of Application for a Public Report at least 10 days prior to the submittal to the Department of Real Estate (DRB), pursuant to Section 66427.1(a) of the Subdivision Map Act.
- 8. The Subdivider shall provide each of the tenants of the proposed condominiums written notice of intention to convert at least 180 days prior to termination of tenancy due to the conversion or proposed conversion in conformance with Section 66427.1(c) of the Subdivision Map Act. The provisions of this subdivision shall not alter nor abridge the rights or obligations of the parties in performance of their covenants, including, but not limited to, the provision of services, payment of rent, or the obligations imposed by Sections 1941, 1941.1 and 1941.2 of the Civil Code.
- 9. The Subdivider shall provide each of the tenants of the proposed condominiums notification of their exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, in conformance with Section 66427.1(d) of the State Map Act. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report, pursuant to Section 11018.2 of the Business and Professions Code,

- unless the tenant gives prior written notice of his or her intention not to exercise the right.
- 10. The Subdivider shall provide the tenants of the proposed condominiums with written notification within 10 days or approval of a Final Map for the proposed conversion, in conformance with Section 66427.1(b) of the Subdivision Map Act.

# AFFORDABLE HOUSING

- 11. Prior to recordation of the Final Map the Subdivider shall comply with the affordable housing requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) by paying an in-lieu fee of \$23,548 (\$1.75 x 13,456 square feet), satisfactory to the Housing Commission.
- 12. Prior to filing a final map, the applicant shall either show evidence that relocation assistance has been paid to eligible tenants or enter into an agreement with the San Diego Housing Commission to demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (Chapter 14, Article 4, Division 5, 144.0503). In addition, applicant must pay the appropriate fees incurred by the Housing Commission for compliance monitoring (Chapter 14, Article 4, Division 5, 144.0502).
- 13. The Subdivider will give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (Land Development Code Section 125.0431(a)(4)).
- 14. The Subdivider will provide to a prospective purchaser a copy of the Building Conditions Report prior to the opening of an escrow account. (Land Development Code Section 144.0504(c)).

# **ENGINEERING**

- 15. The Subdivider shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, filed November 25, 2002) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-296141) satisfactory to the City Engineer. This may require (but not be limited to) installation of new street light(s), upgrading light from low pressure to high-pressure sodium vapor and/or upgrading wattage.
- 16. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.

- 17. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
- 18. The subdivider shall obtain an Encroachment Maintenance and Removal Agreement from the City Engineer for the non-standard driveway in Florida Street right-of-way.
- 19. The subdivider shall enter into an agreement to indemnify, protect and hold harmless the City, its officials and employees from any and all claims, demands, causes or action, liability or loss because of, or arising out of the repair and/or maintenance of the public drainage entering into the project site.
- 20. Prior to the recordation of the Final Map, the Subdivider shall demonstrate conformance with the Municipal Code provisions for building and landscape improvements (Land Development Code Sections 144.0507), to the satisfaction of the City Engineer. The parking requirements in Land Development Code Sections 144.0507 and 142.0525.a do not apply, since this project was deemed complete prior to the effective date of this ordinance (July 27, 2006).

# **MAPPING**

- 21. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source will be the California Coordinate System, Zone 6, North American Datum of 1983 (NAD 83).
- 22. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the tentative map and covered in these special conditions will be authorized.
  - All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.
- 23. "California Coordinate System means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."

# 24. The Final Map shall:

- a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
- b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of Third Order accuracy or better. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

# SEWER AND WATER

# 25. Water and Sewer Requirements:

- a. The Subdivider shall install appropriate private back flow prevention devices on all existing and proposed water services (domestic, irrigation, and fire) adjacent to the project site in a manner satisfactory to the Water Department Director.
- b. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.

# **LANDSCAPE**

- 26. Prior to recordation of the Final Map, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with the Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.
- 27. Prior to recordation of the Final Map, and after Landscape and Irrigation Construction Documents have been approved by Development Services, the Subdivider shall install all required landscaping consistent with the approved plans and the Land Development Manual, Landscape Standards.

- 28. Prior to recordation of the Final Map, it shall be the responsibility of the Permittee/Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.
- 29. The Landscape Construction Plan shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.
- 30. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.
- 31. The Permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.
- 32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Certificate of Occupancy or a Final Landscape Inspection.

# **INFORMATION:**

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC Section 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), then the subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within 90 days of the approval of this Tentative Map by filing a written protest with the City Clerk pursuant to California Government Code Section 66020.
- Where in the course of development of private property, public facilities are damaged or removed the property owner shall at no cost to the City obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer. Municipal Code Section 142.0607.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SAN DIEGO, CALIFORNIA, ON NOVEMBER 6, 2008.

By

Renee Mezo Development Project Manager Development Services Department

Job Order No. 42-5612

# **OWNERSHIP DISCLOSURE**

# 3953 Florida Street Tentative Map Project No. 89546

# Owner:

Hsieh Family Limited Partnership

San C. Hsieh Lina S. Hsieh Vincent C. Hsieh Victor C. Hsieh Emily L. Hsieh

# DEVELOPMENT SERVICES

# **Project Chronology** 3953 FLORIDA STREET TENTATIVE MAP; PROJECT NO. 89546

|          | Action                                | Description                                      | City<br>Review<br>Time | Applicant<br>Response |  |  |
|----------|---------------------------------------|--|------------------------|-----------------------|--|--|
| 12/1/05  | First Submittal                       | Project Deemed Complete                          |                        |                       |  |  |
| 12/30/05 | First Assessment Letter               | First assessment letter sent to applicant.       | 29 days                |                       |  |  |
| 3/15/06  | Second submittal                      | Applicant's response to first assessment letter  | 74 days                |                       |  |  |
| 7/14/06  | Second Assessment Letter              | Second assessment letter sent to applicant       | 121 days               |                       |  |  |
| 6/28/07  | Third submittal                       | Applicant's response to second assessment letter | 351 days               |                       |  |  |
| 7/27/07  | Third Assessment Letter               | Third assessment letter sent to applicant        | 29 days                |                       |  |  |
| 9/28/07  | Fourth submittal                      | Applicant's response to third assessment letter  | 63 days                |                       |  |  |
| 11/16/07 | Fourth Assessment Letter              | Fourth assessment letter sent to applicant       | 49 days                |                       |  |  |
| 7/7/08   | Issues addressed                      |  |                        |                       |  |  |
| 10/16/08 | Public Hearing-Planning<br>Commission | Planning Commission Hearing                      | 101days                |                       |  |  |
| TOTAL ST | 'AFF TIME**                           |  | 329 days               |                       |  |  |
| TOTAL AF | PPLICANT TIME**                       |  | 488 days               |                       |  |  |
| TOTAL PR | OJECT RUNNING TIME**                  | From Deemed Complete to PC<br>Hearing            |                        | 817 days              |  |  |

<sup>\*\*</sup>Based on 30 days equals to one month.

# GREATER NORTH PARK COMMUNITY PLANNING COMMITTEE 2901 NORTH PARK WAY, 2<sup>ND</sup> FLOOR P.O. BOX 4825, SAN DIEGO, CA 92164 CORRECTED MINUTES: JULY 17, 2007

I. Called to Order: 6:31 pm.

II. In Attendance: Salvador Arechiga, Ravin Armelin, Ed Cronan, Carol Gonzales, Vicki Granowitz, Brenda Martin, Dean Petersen, Keoni Rosa, Rob Steppke, Stephen Whitburn; Vernon Franck (had to leave at 7:06 pm.)

Absent: James Longley, Shane Pliskin.

Excused Absence: Judith O'Boyle, Rene Vidales.

III. Motion to Adopt July 17, 2007 Agenda (with modification that Removal of Angle Parking on east side of Louisiana, between Mead Ave & Monroe Ave. be pulled from Consent Agenda and moved to first Action item): Armelin/Martin 11-0-0

# IV. Chair's Report/CPC

- A. CPC completed review of update to General Plan. Leo Wilson is continuing as President and Vicki Granowitz will continue as Secretary. Liaisons appointed. Continuing to discuss Bylaws.
- **B.** James Longley has resigned as a member of the GNPCPC. An Election Subcommittee, Chaired by Rob Steppke, will be formed and an election held with 120 days to fill the vacancy. The Secretary will prepare a list of Eligible Voters from attendance during the last six months of GNPCPC meetings.
- C. Judi O'Boyle will serve as liaison to the newly formed community group interested in the proposed expansion of Our Lady of Peace. Her role will be to acquaint them with our process and procedures; no advocacy.
- **D.** The Chair has been involved in trying to resolve issues concerning the Bluefoot Lounge at 30<sup>th</sup> and Upas as to neighbor noise complaints, CUP regarding its alcohol licenses, and other items. This matter may be before the full Board on its August agenda.
- V. Motion to approve June 19, 2007 minutes, with the correction of the removal of "Conners" from the UDPR Subcommittee Report: Franck/Steppke 8/0/3 (Voting in favor: Arechiga, Cronan, Franck, Granowitz, Petersen, Rosa, Steppke, Whitburn. Those abstaining due to prior absence: Armelin, Gonzales, Martin.)

**Note**: Report on NPPC Board Attendance: Members with 2 absences: Gonzales, Pliskin and Longley with 3 (Longley has resigned as of tonight's meeting.) Some other members have a single absence.

VI. Treasurer's Report: Balance is \$245.22

# V11. Announcements

- Elizabeth Studebaker of NPMS: Farmers Market opens Thursday, July 19. (Honorable Mention to Dean Petersen for volunteering to assist.) Location is CVS parking lot at University and 32<sup>nd</sup> St. North Park Summer Clean-Up on July 28, 2007 from 9 am-12:00 pm at 32<sup>nd</sup> St and University.
- 2. Bertha M Klann stated that the Needle Exchange is still operating near Drowsy Maggie's.
- 3. Lynn Elliot from NPCA announced the Bird Park Concerts are continuing this summer.
- 4. The Secretary noted that he spoke before the City Council on July 10, as directed by the Chair, in favor of the North Park MAD Engineer's Report. The Chair indicated that the Re-ballot failed.
- 5. The Chair announced the University Heights Art Association Gala on August 9 at the Lafayette.
- 6. The Chair announced that Judi O'Boyle attended a meeting concerning Development in Mission Valley on July 11 at the Mission Valley Library. Discussed was the anticipated negative impact

- from planned multiple developments regarding schools, transportation, parking, drinking water, density and other items. It was noted that the Trolley is already running at capacity at rush hours and further densification may not be able to be resolved by proximity to public transit.
- 7. Vernon Franck announced that the UDPR September subcommittee meeting will be held August 27, 2007, due to Labor Day.
- VIII. Planner's Report: Marlin Pangilinan, 619-235-5293, <a href="mailto:mpangilinan@sandiego.gov">mpangilinan@sandiego.gov</a>. Mr. Pangilian indicated that he had been in discussion with the City Attorney's Office regarding the attendance of Board Members in excess of the seven limit at subcommittee meetings. The City Attorney's Office has now informed him that those Members in excess of the seven limit may do so only as observers, not participants. They can remain in the audience of the subcommittee meetings and may not speak, grimace, etc. Mr. Pangilinan was following up on an earlier request for clarification from the Secretary.
- IX. Supplemental Report- Ravin Armelin reported that the Fair Banking Working Group has been working on legislation to assist low income people to gain access to banks as an alternative to pay day loan groups. AB1502 is being carried by Assemblyman Lou and Ravin asked the Board to visit the website "Tell The Senate To Bring Banks to Underserved Communities." Ms. Armelin asked that the full board support this matter and it will be on the agenda for next month.

# X. Officials' Report

- 1. Jason Weisz (rep for Christine Kehoe, California State Senate District 39): The Senator's Clean Alternative Vehicles Bill has passed out of the Senate. The State has not implemented mandatory water rationing but the Senator has some tips for saving water in her newsletter. Senator Kehoe will be in the Pride Parade in San Diego and will be at a booth there as well. Mr. Weisz's phone number for questions is (619 645-3133.)
- 2. Todd Gloria (rep for Susan Davis, US. Congress District 53.): The Congresswoman was named the Chair of the Military Personnel Subcommittee of the House Armed Services Committee. Davis is distributing a survey on Iraq, and the website for it has already received six thousand responses so far
- 3. Monica Pelaez (rep for Toni Atkins, City Council District 3) was unable to attend. The Chair read her announcement that Council Member Atkins will be joining the Police Chief and other officials at Bourbon Street at 4612 Park Blvd on Wednesday, July 18 at 8:30 pm to unveil Safety Tip Flyers for safe walking for patrons leaving neighborhood bars.

# XI. Consent Agenda

(Voting Members Present **UDPR** July 2, 2007, Salvador Archiga, Ernie Bonn, Kitty Callen, Vernon Franck, John Stewart McGaughy, Judith O'Boyle, Rob Steppke, Elizabeth Studebacker, Stephen Whitburn; **PFPA** July 5, 2007 S Archiga, K Calvin, D Petersen, R Vidales)

- Lafayette Hotel SDP (PTS# 125216) Discussion regarding the issues of having commercial uses overlapping a residential zone. The requisite number of parking spaces will be included.
   Motion: Support the project plan revisions to add 8 rooms to existing hotel building (reconfigure internal rooms only) and have project permit state that 25%, or 28 units, of the proposed 110 units are residential condominium only and the remaining 82 are condominium-hotel units. Martin/UDPR On Consent 11-0-0.
- 2. 3727 Grim. Tentative Map (Process 4) To convert 14 existing residential units to condominiums on a 0.29 acre site in the MR-1750 Zone of Mid City PDO. 10 2BR units and 4 1BR units constructed in 1990. A letter from the City was presented that essentially stated that the 23 parking spaces (including 4 tandem) were acceptable as pre-conforming. Applicant agrees to perform all requirements identified in the condition report. Applicant did not present a new conceptual design. Motion: To deny the project due to lack of a clear plan, clear community benefit, and responsible property management. Martin/UDPR On Consent 11-0-0

- 3. Request for traffic calming along the 2500 to 2900 blocks of Boundary Street. A previous City evaluation of Boundary and Cooper Streets did not grant a stop sign, but recommended a V-Calm sign instead, for which funding is not available. A School Officer from McKinley Elementary has visited the intersection and requested a stop sign on Boundary Street at Cooper Street, and a pedestrian crosswalk be installed. Motion: To recommend the City to install a Stop Sign on both northbound and southbound Boundary St at the intersection with Cooper St, and a Crosswalk at its intersection with Cooper St. Martin/PFPA On Consent 11-0-0
- 4. Request to install Angle Parking on west side of Oregon Street, between University Avenue and Lincoln Avenue. The petition is in conformance with the University Avenue Mobility Plan. Motion: To support petition to install Angle Parking on the west side of Oregon Street, between University Avenue and Lincoln Avenue, due to conformance with the University Avenue Mobility Plan. Martin/PFPA On Consent 11-0-0
- 5. 3953 Florida Tentative Map (PTS#89546) To convert 18 existing residential units to condominiums. \*(2nd Review, see Feb 2007 UD/PR minutes) Constructed by Hsiehs in 1988 it is well maintained. Applicant agrees to meet or exceed all requirements of the building condition report. They also agreed to replace the existing invasive trees with mature trees and restucco exterior. Inclusionary housing was discussed. Motion: Move to approve the project with the condition that the project include two (2) inclusionary housing units. Franck/UDPR On Consent 7-1-2-1 (Voting in favor: Arechiga, Cronan, Franck, Granowitz, Martin, Petersen, Rosa. Voting No: Steppke. Abstaining due to lack of information: Armelin, Gonzales. Recused: Whitburn.)

(Vernon Franck departs at 7:06 pm)

# XII. Action Items

- 1. Request to remove Angle Parking on the east side of Louisiana Street, between Mead Ave & Monroe Ave. Installation of Angle Parking occurred about a year ago, even though under City standards the width of Louisiana St does not grant for angle parking on one side, and neighbors have expressed unsafe maneuvering. Julie Braden spoke in favor of keeping the angle parking. Todd Flynn and Michael Caldwell spoke in favor of removing the angle parking. Roger Lewis suggested following the compromise offered by the City to reduce the angle. Member Arechiga explained that the City had measured wrong initially and the street is not wide enough for angle parking. Following discussion by the Board-Motion: To support petition to remove Angle Parking on east side of Louisiana St, between Meade Avenue and Monroe Avenue, with the recommendation that marked parking be instituted on the east and west side of Louisiana Street for parallel parking. Cronan/Steppke 9-1-0. (Voting yes: Arechiga, Armelin, Cronan, Gonzales, Granowitz, Petersen, Rosa, Steppke, Whitburn. Voting no: Martin.)
- 2. NPPC Demolition Position Paper. Following brief discussion- Motion to adopt and approve NPPC Demolition Paper and submit it to the appropriate City personnel. Martin/Rosa 10-0-0
- 3. Adoption of GNPCPC/NPPC Bylaws. Following presentation by the Chair and Rob Steppke
  - a. MOTION TO AMEND AND REVISE BYLAWS AS FOLLOWS:

**ARTICLE IV Vacancies** 

Section 2.

The North Park Planning Committee Chairperson shall appoint a nominating committee to prepare a list of eligible candidates to be submitted at the next regularly scheduled meeting. Vacancies shall be filled by:

- (A.) selection by planning group members no later than 60 days from the date the vacancy is declared and
- (B.) an advertised general election pursuant to ...

# Motion passed Petersen/Martin 10-0-0

## b. MOTION TO AMEND AND REVISE BYLAWS AS FOLLOWS:

### ARTICLE V Elections

Section 1.

The deadline to qualify for candidacy in the March general election shall be at the conclusion of the February noticed regular or special meeting of the full planning group membership preceding the election. The planning group's...

In order to be a candidate in the March election, an eligible member of the community [see Article III Section 2] must have documented attendance at:

(A.) one of the North Park Planning Committee's last 6 meetings including the February regular meeting preceding the election.

Motion passed Petersen/Armelin 10-0-0

c. MOTION TO APPROVE AND ADOPT BYLAWS, IN TOTO, AS AMENDED AND REVISED.

Motion passed Martin/Gonzales 10-0-0

# XIII Subcommittee Reports

- 1. Urban Design/Project Review, Vernon Franck, North Park Main Street Office, 3076 University Ave., 6pm, 1st Monday. Next meeting August 6. Report given by Madam Chair, as Mr. Franck had departed earlier. HRB recommended approval of 5 more residences for inclusion Burlingame Historic District.
- 2. Public Facilities/Public Art, Sal Arechiga/Rene Vidales, North Park Main Street Office, 3076 University Av, 6:30pm, 1st Thursday. Next meeting August 2. The Subcommittee will be considering issues concerning Mission Ave. regarding prohibited island parking and narrowing of traffic to single lane.
- 3. Policy/Community Relations, Rob Steppke, North Park Main Street Office, 3076 University Ave., 6:30 pm, 2<sup>nd</sup> Wednesday. Next meeting August 8. Have been discussing bylaws. Website is developing nicely. Upcoming will be studying minidorms and posting requirements for subcommittees in light of the Brown Act.

# XV. Liaison Reports

- 1. Project Area Committee- (Roger Lewis absent. Rob Steppke gave report.) New appointee Jordana Beebe. Discussion concerning park and public improvements with staff as well as design components and joint use with Jefferson Elementary.
- 2. Public Safety & Neighborhood Services-Stephen Whitburn. Murder on Friday July 13 on 30<sup>th</sup> street near Suncrest. Couple robbed, both shot and man killed. Suspect: Male, black, 20-30 years old with hooded sweatshirt and armed with a handgun. Light colored van seen leaving area. Sgt. Howard Labore taking over duties reviewing new and existing liquor licenses.
- 3. Maintenance Assessment District. Brenda Martin. Assessment Revision Reballot failed. Received 49% approval. Will be addressing how to spend reserves.
- North Park Parking Management Working Group- (Rene Vidales absent. Chair gave report.)
   Did not meet.
- NP Parking Garage/Art Selection Working Group- (Rene Vidales not present. Chair gave report.) Finishing up RFQ for artists to be distributed some time in August for San Diego County only.

- **6. Balboa Park Committee Liaison-** Vicki Granowitz. Approved proposal by Old Globe to tear down Cassius Carter stage and ensuing new development. Heard from Mingei Museum regarding their plans to improve.
- 7. North Park Main Street- Ed Cronan. Commonwealth Café is only open until midnight, not 4:00 am as sign indicates. Farmers Market coming up July 19.
- 8. Needle Facilitation Committee- Vicki Granowitz. Did not meet in June or July.

# XVI. Future Business Items

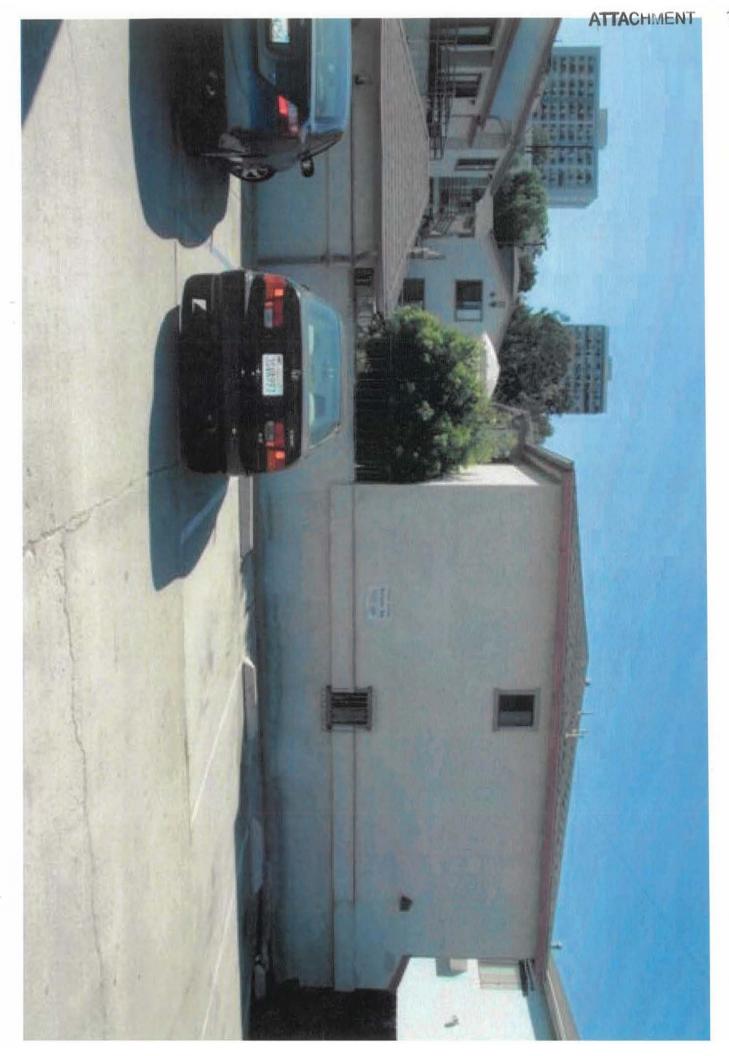
- 1. Rob Steppke will be seeking volunteers for Election Subcommittee.
- 2. Secretary Petersen will be out of the country at the time of the October Board meeting and is seeking a volunteer to take over the duties of Secretary for that meeting. He has authority to appoint someone, but is hoping someone will volunteer.
- 3. Elizabeth Studebaker noted that the PFPA Subcommittee should anticipate some crowding in the NPMS office due to the ongoing Farmers Markets on Thursdays.
- XVII. Next Meeting on August 21, 2007
- XVII. Motion to Adjourn Petersen/Arechiga10-0-0 Meeting adjourned at 8:20 pm.

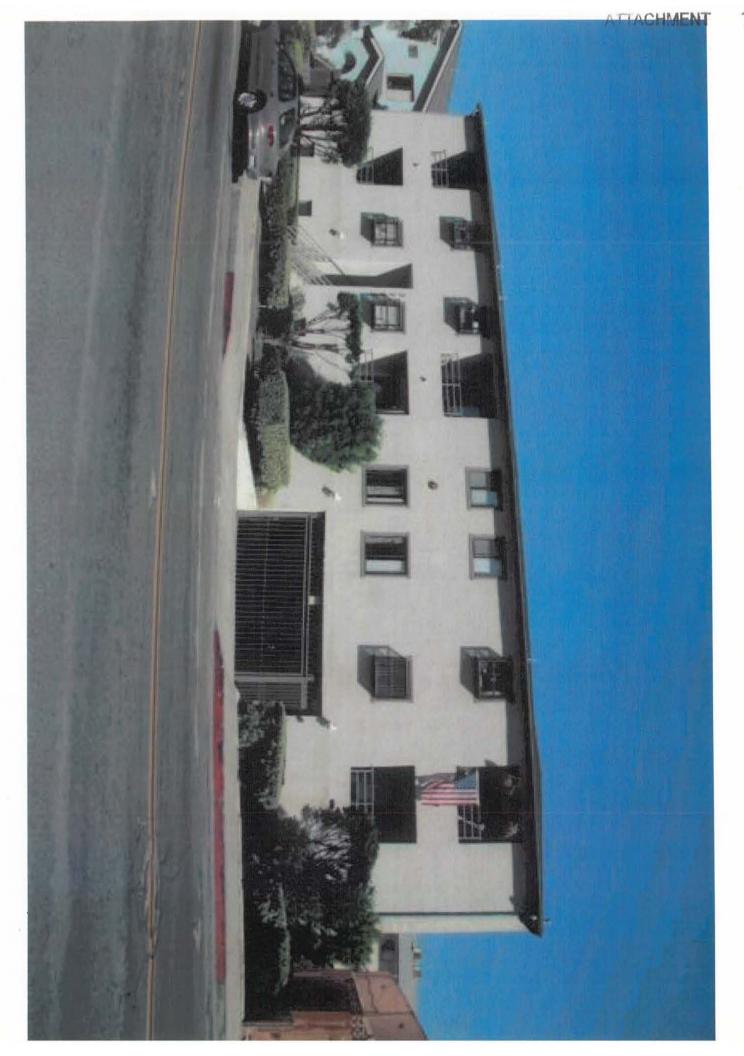
Submitted by:

Dean Petersen, Secretary.

# Prospective Tenant Notice of Intent to Convert to Condominiums

| · "To the prospective occupant(s) of  |
|---|
| 3953 Horida Strut, # 2D   |
| (address)   |
| The owner(s) of this building, at 3953 Plonida Struct (address), has filed or plans to file a tentative map with the City of San Diego to convert this building to a condominium. No units may be sold in this building unless the conversion is approved by the city and until after a public report is issued by the Department of Real Estate. If you become a tenant of this building, you shall be given notice of each hearing for which notice is required pursuant to Sections 66451.3 and 66452.5 of |
| the Government Code, and you have the right to appear and the right to be heard at any such hearing.  |
| Should the condominium conversion project be approved, tenants may be required to vacate the premises  Mach Dhute (signature of owner or owner's agent)  Adated)  |
| I have received this notice on 2/6/05.  |
| Just 14 524   |







# **Building Condition Report**

3953 Florida Street San Diego, California 92104

> Prepared For Lina Hsieh

Prepared By Andy French Accredited Inspection

And Engineering by Charles S. Thomas P. E. DGB Survey and Mapping May 18, 2007 Ms Lina Hsieh San Diego, California

Re: Transmittal of Building Condition Report (BCR) 3953 Florida Street San Diego, California 92104

#### Dear Ms Hsieh:

Attached is one copy of the referenced report. Your receipt of this report completes our portion of this project. This BCR is based on a walk through observation of the subject property on June 5, 2006 and April 12, 2007 and the review of certain property related documents that you provided us.

We appreciate the opportunity of providing this inspection service to you and look forward to a continuing working relationship in the future. Should there be any questions regarding this project, please contact Andy French at 888-360-1597 or Charles S. Thomas at 619-422-7269.

Sincerely,

Andy French

Accredited Inspection 2543 Boundary Street

San Diego, California 92104

Master CREIA Inspector #0041

CSLB General Contractor License # 669349

Charles S. Thomas PE

DGB Survey and Mapping Inc.

23 1/2 Naples Street

Chula Vista, California 91911



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#### 1.0 EXECUTIVE SUMMARY

#### 1.1 General Description

AF Tech/Accredited Inspection completed a Building Condition Report (BCR) of the multi-dwelling complex at 3953 Florida Street, San Diego, California 92104, at the request of the owner. As part of the BCR, an on-site walk through observations was made on June 5, 2006 accompanied by the apartment manager and John Schaibly, the inspector's assistant.

The subject property has one apartment building containing 18 apartment units. There is a separate laundry building. Four of the units had 1 bedroom, and 1 bathroom and there were 14 two bedroom units, 8 with 1 ½ bathrooms and 6 with 1 bathroom. Additionally, the subject dwelling complex includes a few parking spaces at the alley, a subterranean garage, a laundry room, and associated hardscape and landscape. Construction drawings were available for review. The subject property was developed in 1988. It is situated on a rectangular lot in the City of San Diego, California.

The building was wood framed with stucco exteriors. The interior walls and ceilings were covered with gypsum board drywall. There were asphalt shingle roofs. The roof slope was approximately 4 in 12.

There was one master water meter located at the northwest corner. The building had its own water shut off, a 2-inch ball valve. There are sub-meters for the water. There was a pressure regulator and backflow preventer. There was an exterior irrigation system.

Hardwired smoke detectors are installed at each of the apartments, and the public areas of the building had fire extinguishers. The building had no automatic fire sprinkler system.

Unit Mix

| Number of units | Bedrooms | Bathrooms |
|-----------------|----------|-----------|
| 4               | 1        | 1         |
| 8               | 2        | 1.5       |
| 6               | 2        | 1         |

#### 1.2 General Physical Condition

The subject property appears well maintained and in overall good condition with some defects noted in the following sections of the Report. The building was initially constructed of durable materials with serviceable techniques. It is our opinion that the subject property is comparable to other similar properties of similar age in this area and, subject to a continued program of sustained

preventative maintenance, the remaining economic life of the subject apartments should exceed 40 years.

Although the load bearing and horizontal resistance components appear to have complied with the construction standards at the time of the original placement of the building, today's standards have increased due to studies of earthquakes that have occurred since the codes were adopted for the timeframe of the original construction. That said, this was an early-90s constructed building. There was design attention paid to horizontal earthquake forces affecting the structure. There seems to be no reason to tear apart the current construction to achieve a nominal increase in earthquake resistance.

Longevity Table

| Building System             | Nominal<br>Service Life | Actual<br>Age | Reaming<br>Service |
|-----------------------------|-------------------------|---------------|--------------------|
| Roof                        | 25                      | 19            | 6                  |
| Foundation                  | 60-80                   | 19            | 41-61              |
| Exterior finishes           | 10-15                   | 19            | 0-1                |
| Electrical panels           | 40                      | 19            | 21                 |
| Windows and doors           | 25-40                   | 19            | 6-21               |
| Wall Heaters                | 25                      | 19            | 6                  |
| Original Appliances         | 10-20                   | 0-19          | 10-1               |
| Water Heaters               | 15                      | 4-8           | 7-11               |
| Water, gas, and sewer lines | 40-60                   | 3-19          | 37-41              |
| Interior finishes           | 5-10                    | 0-19          | 0-9                |

# 1.3 Recommended Immediate Repairs

Deferred maintenance and physical deficiencies for which actions are recommended represent potentially unsafe conditions, material code violations, and items that require corrective works on a higher priority than routine work. Based upon observations conducted during the property visit, the following objectionable property conditions that require immediate corrective works were identified:

| Item  | Quantity | Unit Cost | Immediate<br>Cost |
|---|----------|-----------|-------------------|
| Include visual signaling smoke alarms in the bedrooms, renew the hall smoke alarms with visual signaling models, add GFI protection at the kitchen counters (2 per unit, typically), add GFI protection outside and for the garage receptacles. | 70       | 25        | 1,750             |
| Physically remove light efflorescence and staining in the garage.   | 1 lot    | 300       | 300               |
| Clean the wall furnaces, and check performance.   | 18       | 50        | 900               |
| Recommission the carbon monoxide exhaust  | 1        | 2500      | 2,500             |

| Total  |    |     | \$9,550 |
|--|----|-----|---------|
| attics.  |    |     |         |
| Patch holes in the draft stop between units in the | 6  | 250 | 1,500   |
| bathtubs and replacing worn lavatories.            |    |     |         |
| Plumbing repairs including repairing cracks on     | 6  | 300 | 1,800   |
| Replace about 1/3 of the window screens.           | 40 | 20  | 800     |
| system in the garage.                              |    |     |         |

Note: Above works should be completed within one year.

#### 1.4 Recommended Short Term and Intermediate Term Repairs

The following objectionable property conditions need to be corrected within the next five (5) years before they evolve into more costly repair/replacement items:

ESTIMATED COST: Exterior repairs and upgrades including, drainage improvements at the courtyard with new liners on the planters. Grind some concrete where there are trip hazards. Remove the ficus trees near the building. Code upgrades on the stairway and balcony guardrails. Replace the doors on the water heater cabinets on the north and south side. Adjust irrigation system. \$25,000

ESTIMATED COST: Color coat the existing stucco. It will need power washing and some patching/repair prior to color coating. Light repairs on the exterior wood.

\$30,000

ESTIMATED COST: New carpet and floor covering in the typical unit. Some are about 1 year old. Paint walls and ceilings in a few units. Misc. interior upgrades. Cabinets and countertops are not anticipated to be replaced. Add drywall on walls between units. Repair drywall in the attic draftstops. \$36,000

ESTIMATED COST: Replace or repair the fencing. \$7,500

ESTIMATED COST: Replace a few electrical sub-panels. \$2,500

TOTAL: \$101,000

We understand that the apartment units will be substantially renovated. Renovation will include replacement of carpet and flooring, repair/replacement of bathroom fixtures, replacement of kitchen appliances, repair/replacement of windows and doors, replacement of smoke detectors, repair/replacement of bath tubs..., etc. on an as-need basis. It is DGB Survey and Mapping/Accredited Inspection's opinion that following the recommended repairs and renovation, the subject property will be fully serviceable and capable of being maintained with normal efforts.

# 2.0 SCOPE OF WORK

Scope of Work for this PER is based upon the following outline, taken from the City's conversion instructions:

# A. Buildings

- 1. Roofs
- 2. Foundations
- 3. Walls, Windows and Doors
- 4. Exterior Paint and Woodwork
- 5. Plumbing & Water Heaters
- 6. Mechanical
- 7. Electrical
- 8. Appliances
- 9. Energy & Insulation
- 10. Accessibility
- 11. Sound and Fire Ratings

#### B. Common Area

- 1. Pavement
- 2. Walkways
- 3. Landscaping/Plantings
- 4. Irrigation System
- 5. Swimming Pool/Spas/Saunas
- 6. Trash Areas
- 7. Mechanical
- 8. Electrical
- 9. Exterior Common Area Lighting
- 10. Walls and Fences
- 11. Drainage Facilities
- 12. Landscaping and Plantings
- 13. Irrigation System
- 14. Swimming Pool/Spa
- 15. Common Recreation Rooms
- 16. Trash Areas
- 17. Mechanical
- 18. Electrical
- 19. Exterior Common Area Lighting
- 20. Walls and Fences
- 21. Drainage Facilities

# 3.0 SALIENT INFORMATION

|                             | `.g*  |  |
|-----------------------------|---|--|
| Project                     | LH-02-06  |  |
| Property Name               | Hsieh Florida Street Apartments                               |  |
| Property Address            | 3953 Florida Street, San Diego,<br>San Diego County, CA 92104 |  |
| Year Built                  | Approx. 1988  |  |
| Year Renovated              | No major renovations have been made.                          |  |
| Zoning                      | MCCPD-MR-800B   |  |
| Occupancy Group             | Apartments: R-1   |  |
|                             | Garage: B-1   |  |
| Construction Type           | VN, Not fire-sprinklered                                      |  |
| Number of Buildings         | 2   |  |
| Number of Apartments        | 18  |  |
| Occupancy Rate              | 100%  |  |
| Number of Stories           | 2   |  |
| Basement                    | Subterranean garage under apartment building.                 |  |
| Size of Apartment           | Various.  |  |
| Total Building Area         | Approximately 18,850 square feet                              |  |
|                             | Including 5200 square feet in the garage                      |  |
| Number of Parking Spaces    | 28  |  |
| Property Visit Date         | June 5, 2006 and April 12, 2007                               |  |
| Property Visit Conducted by | Andy French, General Contractor                               |  |
|                             | Master CREIA Inspector #0041                                  |  |
|                             |   |  |
| Accompanied By              | Manager   |  |
|                             | John Schaibly, Inspector's Assistant                          |  |
| Weather                     | Clear, low 60s to low 70s                                     |  |
|                             |   |  |

# SYSTEM DESCRIPTION AND OBSERVATION

# A. Buildings

#### 1) Roofs

**Description**. The current roof appears to be original and therefore is 19 years of age. It can be expected to have a nominal life of 20-25 years.

#### Observations/Comments:

The roof had laminated architectural shingles. The sheet metal at the edge does not extend over the gutter allowing water to penetrate the roof edge in many places. Additional flashing is suggested at these locations.

There were aluminum gutters and downspouts. The downspouts were partially clogged. They drained into flowerbeds that may not have adequate drainage.

On the east side of the west roof, there were gaps near the valleys allowing rodents to enter the attic. These should be patched.

#### 2) Foundation

**Description:** Original plans and specifications were reviewed. The garage area has a concrete footing under the concrete block walls. The walls are in retention of about 4-5 feet of soil on the north and south sides and about 8 feet on the east. The west side of the garage was essentially level between the slab and the exterior grade. The balance of the property have perimeter footings, placed monolithically with concrete slabs-on-grade. Doors and windows fit their frames reasonably well. The doors did not systematically swing on their own. The floors were generally level, however no slab level survey was conducted.

Observations/Comments: Visible portions of the foundations were observed to be in good condition. No cracks were seen in the stem wall. Walls and ceilings showed less buckling and cracking than normal indicating that slab movement or cracking is not significant. The footings appeared to have been properly sized. The foundation bolt details would not comply to today's larger bolt sizing, but the new 4 foot spacing issue is in compliance, per the plans.

There are retaining walls on the north and south boundary lines. No leaning or bowing was observed. Visually they appear to comply with the construction drawings.

The plans called for water proofing on the garage walls, and some retaining walls. This was not verifiable without intrusion. Very little efflorescence was seen on the inside of the garage walls however.

#### 3) Walls, Windows and Doors

**Description:** Exterior walls of the apartment building were observed to be constructed of painted wood trim and stucco. Typically, the stucco is over lath on building paper. There may be plywood backing on wood studs on parts of the exterior wall area. Window and door openings are likely to have been reinforced with trimmer studs. The interiors were clad in 5/8" thick gypsum drywall. The second floor had a lightweight concrete substrate.

The front doors are insulated metal doors with a door knob and dead bolt hardware. Interior doors are typically of hollow core units. Windows are of aluminum framed glass sliding units with single pane glazing. Aluminum framed sliding glass doors are provided for all patios. Steel guardrails are provided for the patios and second floor landings.

Stairways, landings and balconies had metal pipe railings.

**Observations/Comments:** No significant distresses were noted on the walls. The walls remain to be straight, in line and plumb. Most had fresher paint with the exception of 1 unit.

In response to a question from the City Reviewers, it is not known what the total extent of drywall removal will be at this point. It almost certainly will exceed the \$1000 figure mentioned in the question, although the question was not clear whether \$1000 of drywall was the threshold for \$1000 of other work. It is understood that a building permit will be needed for most of the upgrades mentioned herein.

Window Egress: The bedroom windows are in compliance with the current standards for fire egress and fire rescue. There are not more than 44 inches to the sill from the floor. The minimum net clear width is at least 20 inches and the minimum net clear vertical opening is at least 24 inches. The windows also have at least 5.7 square feet of net openable space.

Generally, exterior walls appeared reasonably maintained and in good to fair condition. Stains were observed along the lower portion of the exterior walls at several locations. This appears to be caused by irrigation in some cases and roof runoff in others. The irrigation system should be thoroughly examined and necessary repairs and adjustments should be made to avoid hitting the wall. A head was missing in the front yard.

The fire extinguishers were located within 75 feet of each front door. They have recently been serviced.

The interior walls appear to be 5/8 inch thick gypsum board drywall. This results in the building being 1 hour rated for fire protection purposes. There was only one layer of drywall on each side of the wall between units (at the dining rooms typically). No added firewall thickness was observed. Adding a second layer at these locations is recommended.

Walls were seen in the attic, extending to the roof providing a draft stop separation between all units. In some cases there were holes that need to be taped to improve isolation.

The pipe railings do not conform to current standards. The horizontal rails allow unsafe climbing and are too widely separated. The gap between the bottom rail at the stairs allow passage of a 6" ball, adding an additional bottom rail is needed. A metal mesh liner may be the best solution to the climbing issue. There is approximately 150 linear feet of rail to be modified.

Windows were single pane aluminum. No solar film was noted. Approximately 1/3 of the screens were damaged or missing.

In approximately half of the units, the living room window was closer than 24 inches from the front door. The current standard requires tempered glass in these locations whenever the glass is replaced.

Interior ceilings and walls had light textured paint. No stains from current leaks were seen.

The kitchen ceilings on ground floor units were bowed sagging approximately 1 inch over 8 feet (e.g., units A, B and F).. They appear to be sound attenuated drywall over resilient channels. This seems to be more of an esthetic issue than a structural weakness.

Most living room ceilings had patches showing. The manager explained that the holes were made when water was re-piped (within

the last 5 years). The holes need patching. The original piping was Qest polybutylene.

#### 4) Exterior Paint and Woodwork

**Description:** The exterior typically was covered by painted stucco. Exterior painted surfaces include the stair and balcony railings, stucco, and wood trim.

Observations/Comments: Most surfaces have existing coatings which are serviceable except for outside window trim that needs repainting.

On the northwest corner wood damage was seen on the fascia. A pest control inspection is recommended.

There were stains under some second floor balconies and support posts had cracks. These were caused by old leaks and have been addressed by resurfacing the balconies.

The outside stucco needs power cleaning, and a color coat to address staining and discoloration.

The upper patio had a concrete surface with some planters. There were also some areas where planters have been removed. Some of this area shows aging. Near the stairway coming from the street there was evidence of ponding. The ceiling of the garage, below this area, has a few areas indicating water penetration. It appears that the waterproof liners in the planters are not adequate. Its anticipated that this area would be reconfigured in the conversion process.

The water heater enclosures extend within the setback provisions of the property lines along the north and south. Replacing the doors with noncombustible construction is suggested. The flashing where the roofs of these enclosures butt to the stucco should be addressed when the color coat is done.

# 5) Plumbing and Hot Water Heaters

**Description:** The plumbing system has been re-piped with copper water lines, ABS plastic drains in the attics, and on the interior black iron gas piping. There were stainless steel kitchen sinks, typically cultured marble bathroom lavatories, low flow or ultralow flow toilets. There were fiberglass bathtubs.

The building drains appear to connect with the municipal sewer. There were cleanouts observed on the exterior walls and on grade. The building drains were four inch diameter as seen in the garage.

There was a water shutoff at the northwest corner of the building. It was 2 inches in diameter.

Each unit had its own water heater located in exterior enclosures. Most were dated between 1996 and 2001.

There were 19 gas meters at the back of the building on the alley. This would be one for each unit as well as one for the laundry area.

Bathrooms had cultured marble sinks integral with vanity tops. Bathtubs were fiberglass with tempered glass doors. Toilets were 1.6 gallon/flush.

**Observations/Comments:** There was a backflow prevention device and a water pressure regulator at the northwest corner.

The water heater enclosures protrude within 2 feet from the property boundary. Although a few are the original from 1993, most have been replaced. The newer ones are mostly American or GE brand. Water heaters are 30 gallon rated and typically 32,000 BTUs per hour. They are currently serviceable although there were some stains inside the enclosures from old vent leaks.

None of the water heaters were strapped or blocked. Upgrade is required.

Underground gas pipe sections were seen for each unit. These should be pressure tested by a qualified plumber now and every 5 years.

Approximately half of the cultured marble lavatories have crazed surface cracking. They need to be replaced.

Three bathtubs were cracked and need patching and painting.

#### 6) Mechanical

**Description:** Each unit had its own gas fired wall furnace. They were rated at 25,000 BTUs/Hour except for 1 that was 35,000. 7 were less than 5 years old and 11 were original. All thermostats were on the heater. The manager told us there was some tenant dissatisfaction with the accuracy of these thermostats.

There were bathroom exhaust fans. The kitchen range hoods were recirculating. Some bathrooms had windows, some did not.

There were ceiling fans in each dining area. There was no air conditioning.

#### Observations/Comments:

Old wall heaters had no high limit switches, but did have 100% safety gas valves which shut flow to the pilot if the pilot goes out. New heaters had both. Most of the wall heaters were dirty.

#### 7) Electrical

**Description:** The building has a 400 amp, 240 volt, 1 phase electrical service located at the alley in back. Each unit had its own meter and 30 amp main breaker located on the exterior of its building. The "house" panel had a 100 amp breaker. The main panels and the subpanels were GE brand. The building was served with overhead wiring from the SDG&E utility lines. The interior wiring was plastic sheathed cable. Some feeders were #6 aluminum and some were #10 copper. All interior wiring within the units was copper, where observed.

No GFCI outlets were seen in kitchens.

There were functioning electric doorbells. There were ground fault circuit interrupters at the bathrooms but not the kitchens. There was no ground fault circuit interrupter protection for the exterior receptacles. There were smoke alarms in the hall of each unit, although some did not function. There was a building fire alarm system.

Observations/Comments: Upgrading the ground fault circuit interrupter protection to include all receptacles serving the kitchen counters and all exterior and garage is recommended. Bathroom GFCI outlets often controlled the lights. Current standards require the restroom GFCI outlet on a circuit limited to serving restroom.

Adding smoke alarms in each sleeping room and replacing any nonfunctioning smoke alarms in the hallways is recommended. The new smoke alarms are allowed to be battery operated but the original replacements will be required to be permanently wired as part of the conversion. All of the smoke alarms need lights for visual signaling.

Two sub-panels were opened, and they showed moderate to heavy drywall/paint splatters on the bus bars. Further evaluation of the condition of the circuit breakers (e.g., no overheating or electrical arcing) is recommended. During the conversion, any damaged panel would need to be replaced. The manufacturers of electrical panels do not allow cleaning of the bus bars, as that process would remove the conductive coatings on the surface of the metal.

The current standards call for dedicated circuits for dishwasher, microwave, bathroom outlets and smoke detectors. This would require adding 4 circuits to each unit.

#### 8) Appliances

**Description:** Each kitchen had a gas range, refrigerator, microwave, dishwasher and garbage disposal.

Kitchen cabinets had hardwood face frames, the doors had with plywood inserts, and there were particle board shelves. The cabinet tops were Formica.

**Observations/Comments:** Most appliances had been replaced within the last 3 years. Exceptions were 2 older ranges, 4 older refrigerators, and 2 worn out disposals.

Ranges did not have anti-tip devices. The range hoods were recirculating versus exhausting.

Cabinets and countertops were in serviceable condition although some drawer guides need replacing.

#### 9) Energy and Insulation

**Description:** The building was insulated in the attic to approximately R-19 standards. The building plans indicated insulation in the exterior walls. There were some insulation between units indicated in the plans also.

Observations/Comments: The building was insulated with between 6 and 8 inches of loose fill fiberglass insulation. It seems likely that the building would come close to meeting current standards, but because these are a performance rather than prescription standard, a separate analysis would be needed as part of the permit process. Standards have tightened since the original construction.

Tinted windows on the south and west facing sides of the building would be desirable. However dual pane glazing is recommended if the windows are to be replaced during the conversion process. It is not

known at this time whether the conversion will include upgrading these windows.

# 10) Accessibility

**Description:** The floor downstairs units at the east have wheelchair accessibility from the parking area to the front doors. These were also built as "B" units, with wider doors, corridors to accommodate wheelchair spacing, and according to the plans backing in the bathrooms for future handrails.

**Observations/Comments:** At this point, no additional alterations for accessibility seem to be needed. Any of these four units could be converted to full accessibility, should a future buyer or occupant need such features, much cheaper than conventional units.

# 10) Fire and Sound Ratings

**Description:** The building had no fire sprinkler system. 5/8" thick drywall was observed on ceilings and walls of the typical unit. This gives a 1 hour rating to the building. Draft stop separations were observed in the attics. Roof overhangs were called out to have 5/8" gypsum board under the stucco.

Sound ratings between units (STC 51 and 56 for walls) were found for wall assemblies in the plans. Although it appears that the construction complies with the drawings, some intrusive evaluation would be required to determine full compliance with the plans. Where resilient channels were provided on the ceiling, similar floor/ceiling assemblies have a 50 to 54 STC rating. No ratings were found for the floor/ceiling assemblies without resilient channels.

**Observations/Comments:** The separation between units would have 2 layers of drywall typically in today's standards. This is recommended during the conversion process. Attic draftstops need patching.

No exterior wall sound design was indicated on the plans, but they

#### B. Common Area

#### 11) Pavement and Walkways

**Description:** A concrete parking lot was located at the east side of the property with 9 spaces accessible from the alley. It was connected to the courtyard areas with concrete paving. A parking garage was

located under the front part of the building with 19 well marked spaces (18 available for use).

There was an upper courtyard near the front of the building over the garage and a lower courtyard under the east half. Both were concrete with planters against the building.

Observations/Comments: The concrete block walls of the garage had small patches of surface efflorescence near the bottom of the walls and one patch high on the wall on the east side. This has not yet damaged the surface of the blocks.

The site concrete had cracks, some of which require grinding to avoid trip hazards. There were several drains in the upper courtyard that are trip hazards. They need new cover grills that are flush with the concrete.

Water appears to pond in many areas, some near unit doors (e.g., outside unit E where penetration was noted).

#### 12) Landscaping/Plantings

**Description:** There were planters around the courtyards against the building containing shrubs and 19 year old trees.

Observations/Comments: Ficus trees should be removed from locations close to buildings. The roots can destroy planter structures and even the foundation.

Drainage from the planters did not appear to be adequate given that downspouts empty into them. Waterproofed lining material on at least 3 planters had pulled away from the container. These need to be emptied and the waterproofing flashed to the container before refilling with soil/plants. No evidence was seen of current leakage into the units.

#### 13) Irrigation System

**Descriptions:** There was an automatic sprinkler system for the project. There were 4 zones. The controllers were in the laundry room and garage.

**Observations/Comments:** The sprinklers were tested manually. The zone nearest the laundry room did not function probably due to a clog.

The south zone in the front did not appear to function. In the north front zone, at least one head was missing.

Sprinklers hit the building in all functioning zones. Adjusting the sprinkler system to prevent any further damage should be an immediate concern.

### 14) Swimming Pool/Spa

Description: None.

Observations/Comments: NA

#### 15) Common Recreation Rooms

**Description:** There are no common recreation rooms in the subject property, although there is a small laundry building with 3 washers and 3 dryers owned by the complex.

**Observations/Comments:** Dryers and 1 washer were older and 2 washers were newer. Room had ceramic tile floor and drywall walls and ceiling.

# 16) Trash Areas

**Description:** An area near the alley was designated for a trash dumpster.

*Observations/Comments:* Trash area appeared clean and without objectionable odor. The area appears to be serviceable.

#### 17) Mechanical

**Description:** The garage had an exhaust fan system with automatic controllers.

There was a building fire alarm system with exterior bells and anunciators in each apartment unit.

The garage door had a ½ HP opener. The photoelectric and pressure interrupts functioned properly.

**Observations/Comments:** The garage exhaust system functioned when manually tested. It needs service for loud vibrations. Its sensors do not appear to have been serviced. The system is not in current operation.

The building fire alarm system was outside the scope of this inspection.

#### 18) Electrical

See A7 for details.

# 19) Exterior Common Area Lighting

**Description:** Lighting for these areas is provided by building wall mounted photoelectrically controlled lighting fixtures and at the stairways.

**Observations/Comments:** The property was not observed at night, but it appears that lighting is provided for proper illumination of the site at night.

# 20) Walls and Fences

**Description:** The property has older wood fencing on the north and south. There were metal gates serving the courtyard.

There is a retaining wall on the south side under the wood fence.

*Observations/Comments:* The fence has wood damage but is serviceable for the present. The retaining wall on the south side was not totally visible but appeared to be straight and undamaged.

The metal fence around the front yard is not secure and needs repair/replacement.

#### 21) Drainage Facilities

**Description:** On-site drainage is on the surface concrete of the courtyards and on the south end of the parking area in back. The garage had a trench drain at the door (west side) and a sump pump at the lowest point (east side).

**Observations/Comments:** Drainage systems of the property generally appear to have positive slopes that lead water away from the building structures and towards the collection devices.

Water appears to pond in many areas, some near unit doors (e.g., outside unit E where penetration was noted). Penetration through the garage ceiling below also was noted near unit E.

Drainage should be observed during a rainstorm to further identify drainage issues.

# C. PICTURES



Electric service, including the Fire Alarm



Part of garage exhaust system, which needs to be recommissioned.



Courtyard view



Water service area, including backflow and water pressure regulator.



Light wear showing on the asphalt shingles.



Typical kitchen, newer appliances



Typical bathroom.



Splatters on interior of an electrical subpanel.

Further evaluation needed,
but some panels will need replacement.

END