



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: October 30, 2008 **REPORT NO. PC-08-140**

ATTENTION: Planning Commission, Agenda of November 6, 2008

SUBJECT: 3953 FLORIDA STREET TENTATIVE MAP; PROJECT NO. 89546
PROCESS FOUR

OWNER: Hsieh Family Limited Partnership (Attachment 7)

APPLICANT: DGB Surveying & Mapping

SUMMARY

Issue(s): Should the Planning Commission approve a Tentative Map to allow the conversion of 18 existing residential rental units into condominiums, including a waiver of the requirement to underground the existing overhead utilities, at 3953 Florida Street, within the Greater North Park Community Plan area?

Staff Recommendation:

1. **Approve** Tentative Map No. 287973; and
2. **Approve** a waiver of the requirement to underground the existing overhead utilities.

Community Planning Group Recommendation: On July 17, 2007, the Greater North Park Community Planning Committee voted 7-1-2-1 (approve, deny, abstaining, and recused) to recommend approval of the proposed project with recommendations as detailed in this report (Attachment 10).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19, Section 15301, on December 12, 2005, and the opportunity to appeal that determination ended January 2, 2006.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid by the applicant.

Housing Impact Statement: With the proposed conversion of 18 existing apartments to condominiums, there would be a loss of 18 rental units and a gain of 18 for-sale units. The project is subject to the current inclusionary housing and tenant relocation assistance regulations.

BACKGROUND

This Tentative Map project is subject to the condominium conversion regulations that became effective June 13, 2006, with the exception of the parking regulations, based on the City Council's specific adoption language for the "new" condominium conversion regulations. At the June 13, 2006, hearing, the City Council adopted regulations for additional requirements for landscaping, a building conditions report, onsite inclusionary housing, noticing and parking. Based on the adopted language and project timing, all of these new regulations apply to this project, with the exception of the parking regulations. Accordingly, this project has been reviewed against the new regulations and this project can proceed to its discretionary hearing.

The 0.34-acre site is located at 3953 Florida Street, in the MR-800B Zone of the Mid-City Communities Planned District, the North Park Redevelopment Project Area and the Transit Area Overlay Zone, within the Greater North Park Community Plan Area (Attachment 2). The site is presently developed with two, two-story structures containing a total of four 1-bedroom apartment units and fourteen 2-bedroom apartment units. There are 29 onsite parking spaces with 10 surface spaces that are accessed from the alley and 19 subterranean spaces accessed from Florida Street. The site is surrounded by multi-family development.

The existing buildings were constructed with approved building permits in 1986. The site is currently zoned MR-800B, which is a multi-family zone that allows one unit per 800 square feet. The Community Plan also designates the site for low to medium density development. At the time building permits were approved, 28 parking spaces were required. The San Diego Municipal Code would require 30 off-street parking spaces for a newly constructed project and 22 spaces for a condominium conversion project. As discussed previously, the new condominium conversion parking requirements that were approved in June 2006, do not apply to this project, therefore, the 29 parking spaces provided are acceptable.

The development complies with the zoning and development regulations in effect at the time of construction and no Building or Zoning code violations have been recorded against the property. The project maintains previously conforming rights which allows the current parking and density count, as outlined in Chapter 12, Article 7, Division 1 of the Land Development Code.

DISCUSSION

Project Description:

The project proposes a Tentative Map for the subdivision of a 0.34-acre site into one lot to convert 18 existing dwelling units into condominiums (Attachment 5). The applicant is also requesting that the requirement to underground the existing overhead utilities be waived. Section 125.0410 of the San Diego Municipal Code (SDMC) requires that a Tentative Map be

Section 125.0410 of the San Diego Municipal Code (SDMC) requires that a Tentative Map be processed for the subdivision of land. According to SDMC Sections 125.0440 and 125.0444, *Findings for Tentative Maps and for Condominium Conversions*, the decisionmaker may approve a Tentative Map or a Vesting Tentative Map for the purposes of the conversion of residential property into a condominium project if the decision maker finds that the proposed conversion complies with the requirements of the Subdivision Map Act and the San Diego Municipal Code. Staff has reviewed the proposed condominium conversion and determined that it complies with both the Subdivision Map Act and the San Diego Municipal Code.

Undergrounding of Existing Utilities

San Diego Municipal Code Section 144.0240 allows the subdivider to apply for a waiver from the requirement to underground the existing overhead utilities within the boundary of the subdivision or within the abutting public rights of way. City staff has determined the undergrounding waiver request qualifies under the guidelines of Council Policy 600-25, *Underground Conversion of Utility Lines at the Developer's Expense*, Expense in that the conversion involves a short span of overhead facility (less than 600 feet in length), it has been determined that such conversion is not a part of a continuing effort to accomplish a total undergrounding within a specific street or area, the conversion would represent an isolated undergrounding with a minimum probability of extension in the future, and the conversion is a requirement of a condominium conversion of an existing development and the conversion would not represent a logical extension to an underground facility.

The applicant will be required to underground all existing service to the site per Condition No. 17 of the draft Tentative Map resolution (Attachment 6). The applicant would also be required to underground any new service run to any new or proposed structures within the subdivision per Condition No. 16 of the draft Tentative Map resolution.

The project site is served by power poles and overhead utilities lines located at the rear of the property within the alley. These utility lines also service the adjacent properties. As indicated above, all utilities serving this property will be required to be undergrounded. The waiver is being requested for the requirement to underground adjacent utilities serving the surrounding properties. The City's Undergrounding Master Plan designates the site within Block 3X2, and the date for undergrounding has been established for the year 2038 (Attachment 9).

Community Planning Group and Neighborhood Recommendations:

On July 17, 2007, the Greater North Park Community Planning Committee voted 7-1-2-1 (approve, deny, abstaining, and recused) to recommend approval of the proposed project with the following recommendation:

1. The project shall include two inclusionary housing units on site. *The applicant has declined this recommendation and has indicated they will pay the in lieu fee as allowed by the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).*

Project-Related Issues:

All condominium conversion projects not yet heard by July 25, 2006, must conform with the current regulations regarding: inclusionary housing, tenant relocation benefits, the provision of a building conditions report, conformance with landscape regulations, and conformance with noticing requirements. This project is not required to conform with the new parking regulations for condominium conversions, based on specific language adopted by the City Council.

The requested conversion of these residential units to condominiums represents primarily a change in ownership. The applicant has certified that the required 60-day Notice of Intent to Convert to Condominiums was prepared on December 6, 2005 (Attachment 11).

Inclusionary Housing Ordinance and Tenant Relocation Benefits Conformance:

The project has been conditioned to require the subdivider conform with the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) and demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (Chapter 14, Article 4, Division 5) to the satisfaction of the City Manager and the Housing Commission, prior to the recordation of the Final Map.

The applicant has elected to pay an in-lieu fee of \$23,548 (\$1.75 x 13,456 square feet) to satisfy the Inclusionary Housing requirement, as allowed by the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

Building Conditions Report and Landscape Requirements

In accordance with the current regulations, the applicant provided a Building Conditions Report and Landscape Concept Plan. Both of these documents have been reviewed for conformance with the applicable regulations within Land Development Code (Chapter 14, Article 4, Division 5) and have been accepted by staff as conforming with the regulations.

Noticing

The proposed project has been conditioned to conform with all new noticing requirements for condominium conversions.

Conclusion:

Staff has reviewed the request for a Tentative Map for the conversion of 18 residential units into condominiums and has found the project to be in conformance with the applicable sections of the San Diego Municipal Code regulating Tentative Maps. Staff believes the requirement findings can be supported and recommends the Planning Commission approve the project as proposed.

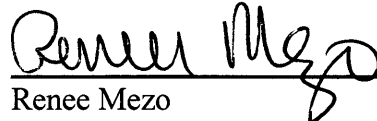
ALTERNATIVES:

1. **Approve** Tentative Map No. 287973, **with modifications.**
2. **Deny** Tentative Map No. 287973 **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Renee Mezo
Development Project Manager
Development Services Department

WESTLAKE/RM

Attachments:

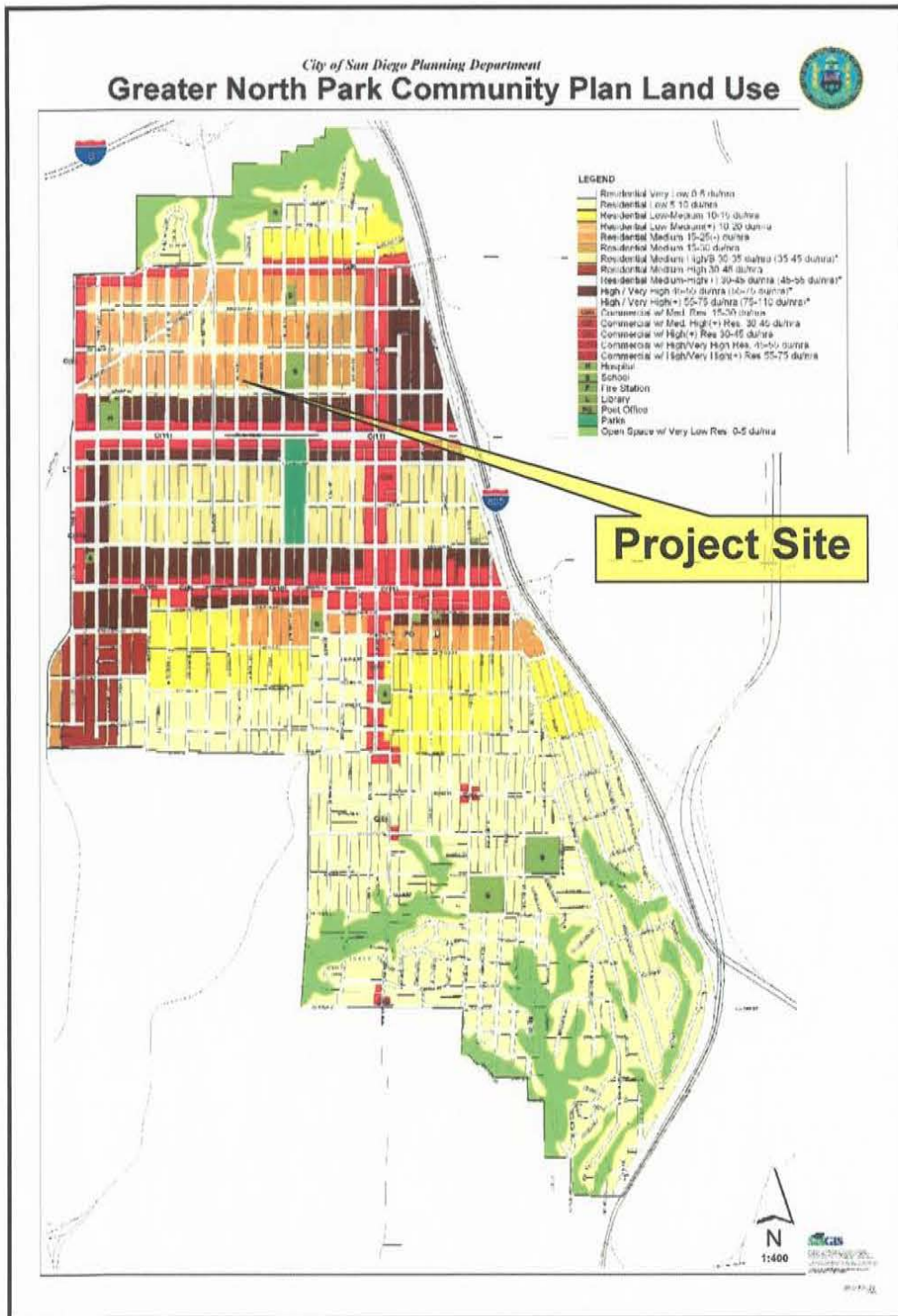
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Tentative Map and Landscape Plan
6. Draft Map Conditions and Subdivision Resolution
7. Ownership Disclosure Statement
8. Project Chronology
9. Utility Undergrounding Master Plan Map
10. Community Planning Group Recommendation
11. Sample 60-Day Notice of Intent to Convert
12. Photos of Existing Elevations
13. Building Conditions Report



Aerial Photo

3953 FLORIDA TENTATIVE MAP – 3953 FLORIDA STREET
PROJECT NUMBER 89546

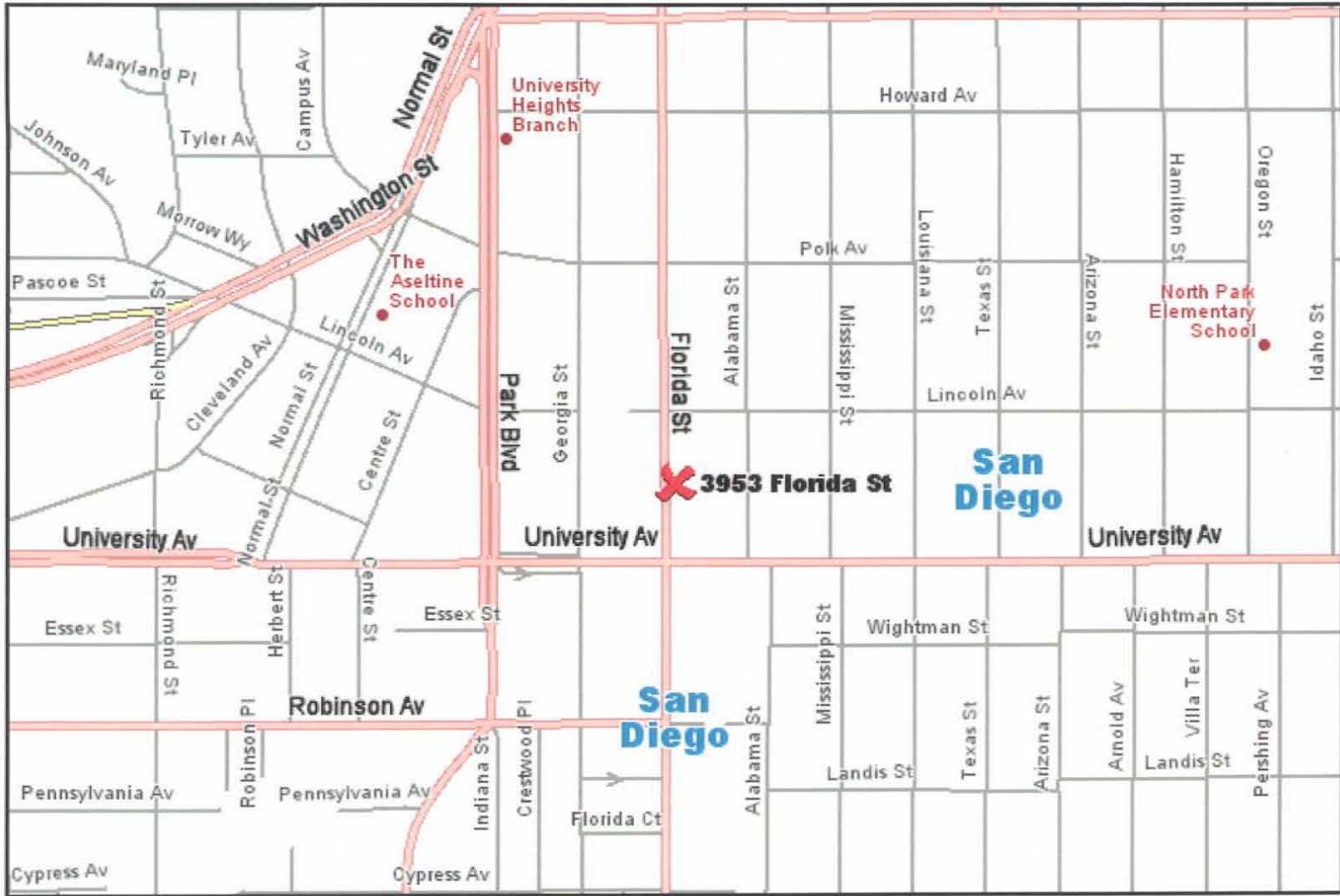




Community Land Use Map

3953 FLORIDA TENTATIVE MAP – 3953 FLORIDA STREET
 PROJECT NUMBER 89546





Project Location Map

3953 FLORIDA TENTATIVE MAP – 3953 FLORIDA STREET
 PROJECT NUMBER 89546



PROJECT DATA SHEET		
PROJECT NAME:	3953 FLORIDA STREET TENTATIVE MAP	
PROJECT DESCRIPTION:	Conversion of 18 existing units into condominiums.	
COMMUNITY PLAN:	Greater North Park Community Plan	
DISCRETIONARY ACTIONS:	Tentative Map	
COMMUNITY PLAN LAND USE DESIGNATION:	Multi-family Residential	
<u>CURRENT ZONING INFORMATION:</u>	<u>CONSTRUCTED</u>	
ZONE: MR-800B: A multi-unit residential zone in the Mid-City Communities Planned District	R-3A	
DENSITY: 1 dwelling unit per 800 sq.ft. of lot area	18 units	
HEIGHT LIMIT: 50'; 60' where a building is above enclosed parking	Two-story	
LOT SIZE: 6,000 square-foot minimum lot size.	13,456 square feet	
FLOOR AREA RATIO: 1.25 maximum.	Not available	
FRONT SETBACK: 10 feet	10 feet	
SIDE SETBACK: 6 feet	5 feet	
STREETSIDE SETBACK: 6 feet.	N/A	
REAR SETBACK: 1 foot if alley	20 feet	
PARKING: 30 spaces required	29 spaces	
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	MR-800B, Mulri-family Residential	Multi-family Residential
SOUTH:	MR-800B, Mulri-family Residential	Multi-family Residential
EAST:	MR-800B, Mulri-family Residential	Multi-family Residential
WEST:	MR-800B, Mulri-family Residential	Multi-family Residential
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	At the July 17, 2007, the Greater North Park Community Planning Committee voted 7-1-2-1 to recommend approval of the proposed project with recommendations.	

TENTATIVE MAP NO. 287973

THIS SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS EIGHTEEN (18).

UTILITIES:

SEWER: CITY OF SAN DIEGO
 WATER: CITY OF SAN DIEGO
 ELECTRIC: SAN DIEGO GAS & ELECTRIC
 GAS: SAN DIEGO GAS & ELECTRIC
 TELEPHONE: PACIFIC BELL
 CABLE TV: COX CABLE CO.

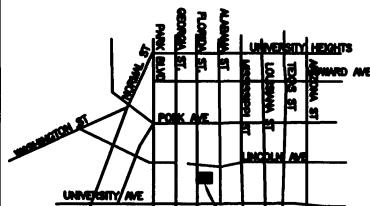
LEGEND

- SUBDIVISION BOUNDARY/TENTATIVE MAP BOUNDARY
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR
- FINISH FLOOR ELEVATION
- GRADE FLOOR ELEVATION
- EXISTING BUILDING
- CONCRETE
- PARKING
- DIRECTION OF FLOW
- FOUND MONUMENT
- CATCH BASIN

GRADING DATA

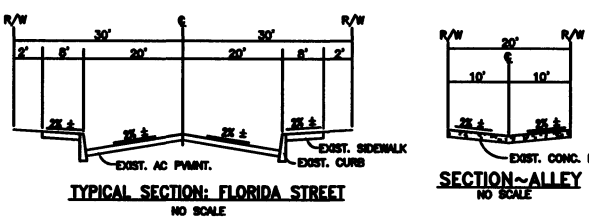
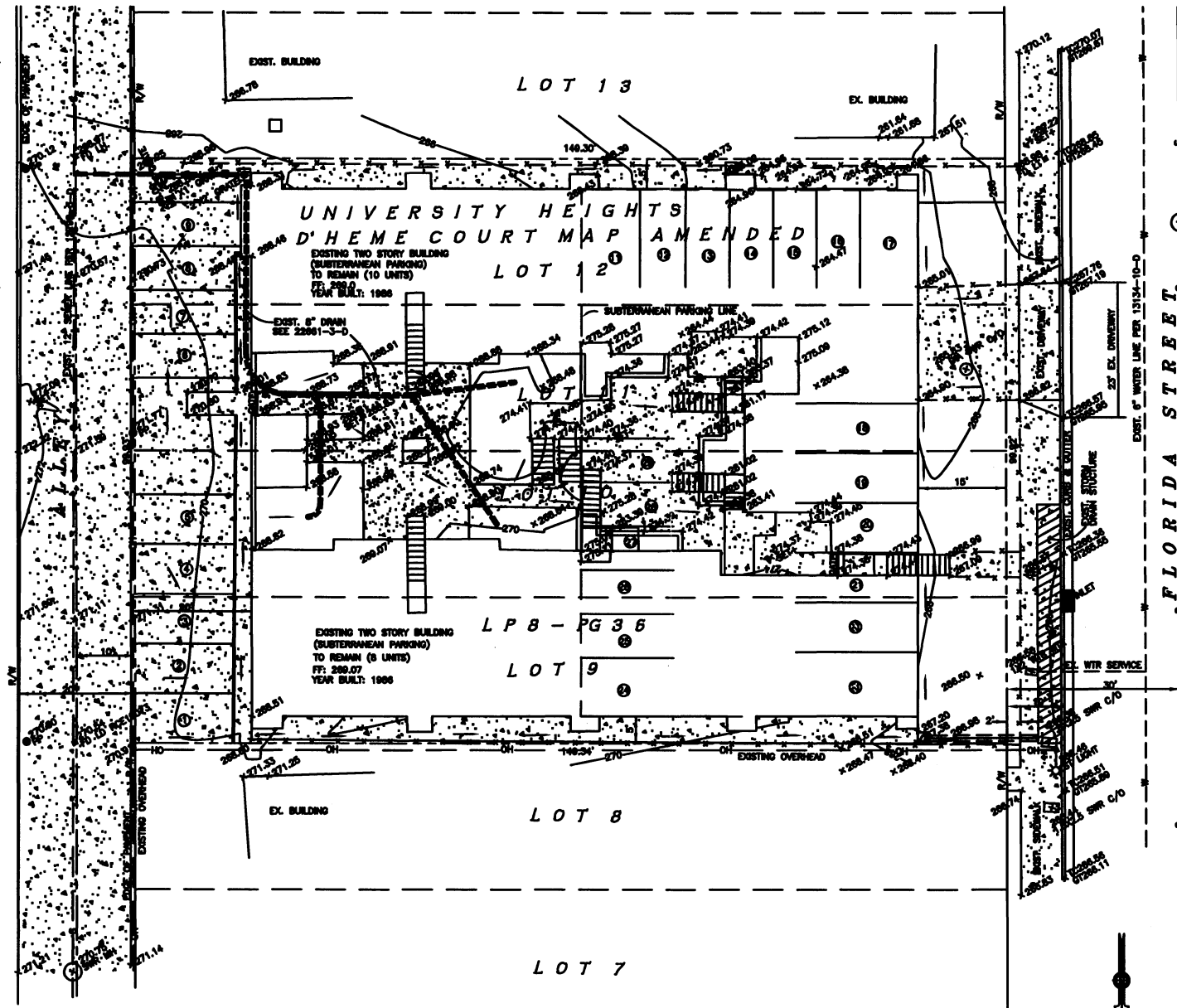
- TOTAL AMOUNT OF SITE TO BE GRADED: 0 S.F.
- PERCENT OF TOTAL SITE GRADED:
- AMOUNT OF SITE WITH 20% SLOPE OR GREATER: AREA= 0 S.F.
- PERCENT OF TOTAL SITE WITH 20% SLOPE OR GREATER OR
- AMOUNT OF SITE WITH HILLSIDE REVER: 0 S.F.
- PERCENT OF SITE WITH HILLSIDE REVER: 0%
- AMOUNT OF CUT: 0 CUBIC YARDS
- AMOUNT OF FILL: 0 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL SLOPE: 0 FEET
- MAXIMUM HEIGHT OF CUT SLOPE: 0 FEET
- AMOUNT OF EXPORT SOIL: 0 CUBIC YARDS
- RETAINING/CRIP WALLS: HOW MANY: 0 LF

UNIT NO.	NO. OF BEDROOMS	UNIT AREA (SQ. FT.)	OFFICE	OPEN AREA	WRECKUP
1	2	754	1	0	0
2	2	754	1	0	0
3	1	881	1	0	0
4	2	882	2	0	0
5	2	874	2	0	0
6	2	758	1	1	0
7	1	881	1	0	0
8	2	754	1	0	0
9	2	754	1	0	0
10	2	758	1	1	0
11	2	758	1	1	0
12	1	881	1	0	0
13	2	882	2	0	0
14	2	874	2	0	0
15	2	874	1	1	0
16	1	881	1	0	0
17	2	758	1	1	0
18	2	758	1	1	0
GUEST	0	0	0	0	1
TOTAL	18	13,488	22	8	1
TOTAL PARKING					28



VICINITY MAP
NO SCALE

DGB SURVEY & MAPPING
 28 1/2 Naples Street, Chula Vista, CA 91911
 Tele. (619)488-7888 FAX (619)488-8647



OWNER/DEVELOPER
 HSEH FAMILY LTD PARTNERSHIP
 9651 BLACKGOLD RD.
 SAN DIEGO, CA 92037

SURVEYOR
 DGB SURVEY & MAPPING
 23 1/2 NAPLES STREET
 CHULA VISTA, CA 91911

BY: LINA HSEH DATE: _____
 CHARLES S. THOMAS, RCE 30828 DATE: _____

SCALE: 1" = 10'



LEGAL DESCRIPTION

LOTS 8, 10, 11 & 12 IN BLOCK 108 OF UNIVERSITY HEIGHTS, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO AMENDED MAP THEREOF MADE BY G.A. D'HEMECOURT IN BOOK 8, PAGE 36 OF LIS PENDING IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

ALSO ALL THAT PORTION OF THE EAST 10 FEET OF FLORIDA STREET ADJOINING SAID LOTS ON THE WEST, AS CLOSED OCTOBER 9, 1911, BY RESOLUTION NO. 8365, OF THE COMMON COUNCIL OF THE CITY OF SAN DIEGO, OCTOBER 18, 1911.

GENERAL NOTES

- GROSS/NET AREA IS 0.34 ACRES 14,988 SQ. FT.
- TOTAL NUMBER OF EXISTING LOTS: 4 TOTAL NUMBER OF UNITS: 18
- TOTAL NUMBER OF PROPOSED LOTS: 1
- EXISTING & PROPOSED ZONING: MR-800R/MCCPD
- ASSESSOR'S PARCEL NUMBER: 445-672-07
- LAURET COORDINATES: 213-1725
 NAD 83 COORDINATES: 1853-0285
- BENCH MARK: CITY OF SAN DIEGO, NWSP LINCOLN AVENUE & ALABAMA STREET ELEV.: 280.72 M.S.L.
- TOPOGRAPHY: DGB SURVEY & MAPPING INC. (DATED NOVEMBER 17, 2005)
 23 1/2 NAPLES ST., CHULA VISTA, CA 91911
- ALL PROPERTY CORNERS WILL BE SET AND A ONE LOT SUBDIVISION MAP WILL BE FILED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THIS SUBDIVISION MAP.
- TITLE REPORT BY: ALLIANCE TITLE ORDER NO. 15114298-118
- THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "INSTALLATION, MAINTENANCE AND POSSIBLE REMOVAL OF STREET TREE AND SIDEWALK UNDER DRAINS", EXECUTED BY AND BETWEEN CITY OF SAN DIEGO AND LINA J. HSEH, RECORDED MARCH 18, 1991 AS INSTRUMENT NO. 1901-0118042, OF OFFICIAL RECORDS.

Development Summary

1. SUMMARY OF REQUEST
 CONVERT EIGHTEEN APARTMENT UNITS TO EIGHTEEN CONDOMINIUM UNITS

2. STREET ADDRESS
 3953 FLORIDA STREET
 (Check one) N S E W
 Between LINCOLN AVENUE and UNIVERSITY AVENUE

3. SITE AREA
 Total Site Area (gross): 0.34 Ac. 14,988 Sq. Ft.
 Net Site Area: 0.34 Ac. 14,988 Sq. Ft.
 (Net site area excludes required streets and public dedications)

4. COVERAGE DATA
 Total Building Area (ground floor): 0.17 Ac. 7,380 Sq. Ft.
 Total Landscape/Open Space Area: 0.05 Ac. 2,170 Sq. Ft.
 Total Hardscape/Paved Area: 0.12 Ac. 5,238 Sq. Ft.
 Floor Area Ratio (FAR) 1.11 Gross Floor Area (GFA) 13,458 Sq. Ft.

5. DENSITY (Residential)
 Maximum no. dwelling units allowed per zone: 18
 Number of existing units to remain on site: 18
 Number of proposed dwelling units on site: 0
 Total number of units provided on this site: 18

6. YARDBTRACK
 Street Yard: Required 15 Ft. Proposed 15 Ft.
 Street Side Yard: Required NA Ft. Proposed NA Ft.
 Interior Yard(s): Required 5 Ft. Proposed 5 Ft.
 Rear Yard: Required 20 Ft. Proposed 20 Ft.

7. PARKING
 Parking Criteria: Residential
 (Check one) Commercial
 Industrial
 Mixed Use
 Other
 Total number of spaces required by zone: 28 spaces
 Total number of spaces provided on-site: 28 spaces
 Commercial Development:
 One space per _____ Sq. Ft. GFA= _____ spaces

PREPARED BY:
 DGB SURVEY & MAPPING INC.
 23 1/2 NAPLES STREET
 CHULA VISTA, CA 91911

PROJECT ADDRESS:
 3953 FLORIDA STREET
 SAN DIEGO, CA 92104

PROJECT NAME:
 3953 FLORIDA STREET

SHEET TITLE:
 TENTATIVE MAP

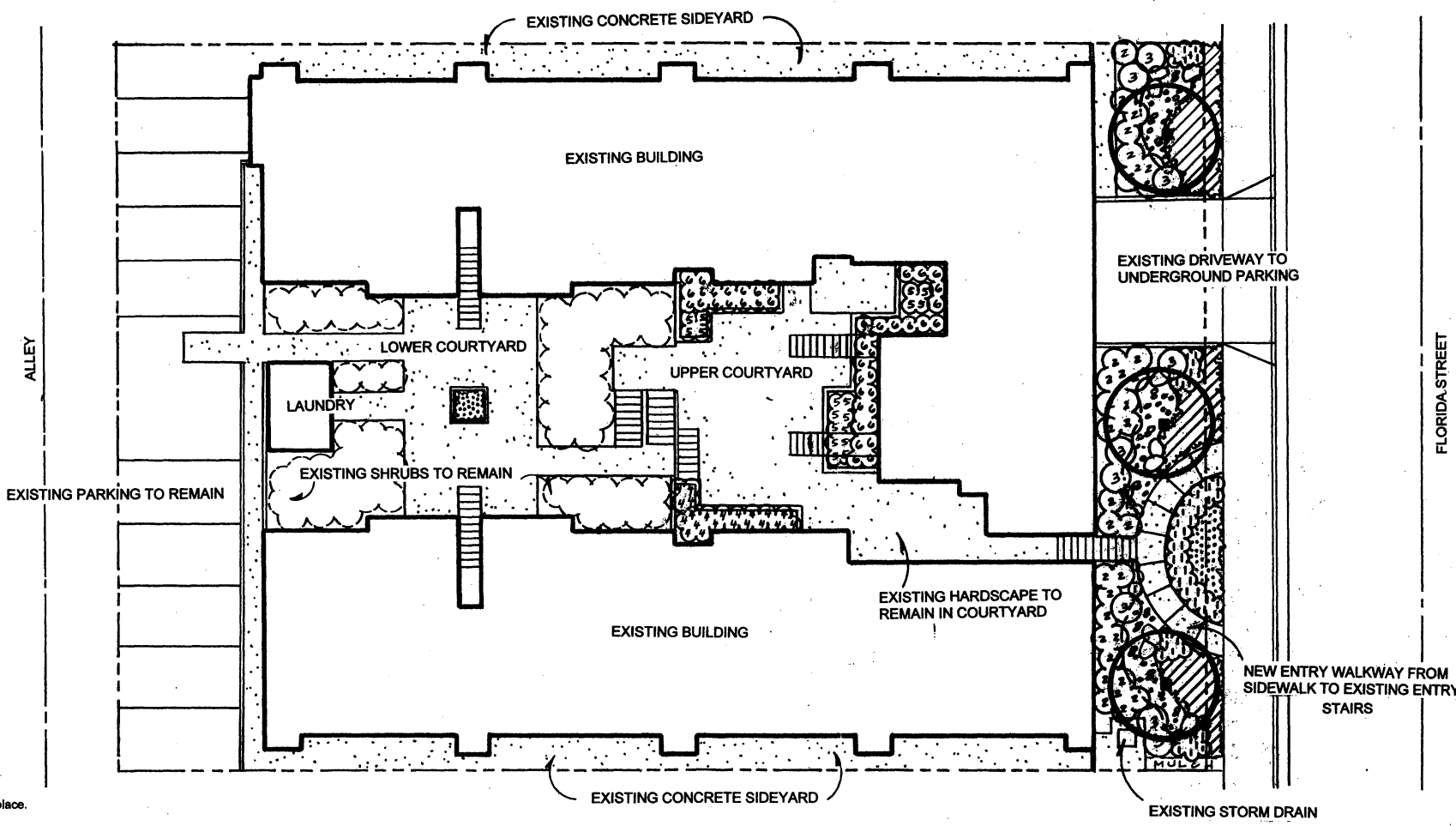
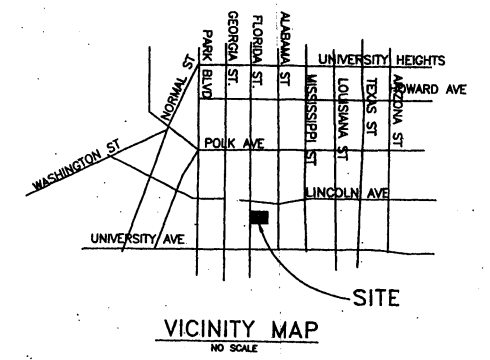
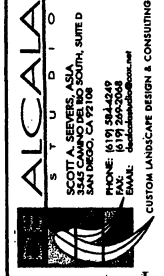
REVISION 1:
 REVISION 2:
 REVISION 3:
 REVISION 4:
 REVISION 5:
 REVISION 6:
 REVISION 7:

ORIGINAL DATE: 11/17/05

SHEET OF SHEETS

DEP # _____

REVISIONS	BY



FLORIDA STREET

FLORIDA STREET

PLANTING PLAN

3953 FLORIDA STREET
SAN DIEGO, CA 92104

Hardscape Notes:
All interior concrete walkways and stairs to remain in place.
New entry walkway from sidewalk to stairs to be colored concrete with a light broom finish and 6" shiner bands.

Dry stream bed in frontyard to be Arizona River Rock by KRC Rock or equal. Size to be 3" to 8" diameter. Weed barrier under river rock to be permeable type.

Boulders in frontyard to be local select* by KRC Rock or equal. Average size to be 2'x2'x3'. Bury 1/3 of boulder for naturalistic appearance.

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- STREET ADDRESS**
3953 FLORIDA STREET
(Check one) N S E W
Between LINCOLN AVENUE and UNIVERSITY AVENUE
- SITE AREA**
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Net Site Area: 0.34 Ac. 14,998 Sq. Ft.
(Net site area excludes required streets and public dedications)
- COVERAGE DATA**
Total Building Area (ground floor): 0.17 Ac. 7,380 Sq. Ft.
Total Landscape/Open Space Area: 0.05 Ac. 2,170 Sq. Ft.
Total Hardscape/Paved Area: 0.22 Ac. 9,788 Sq. Ft.
Floor Area Ratio (FAR) 1.11 Gross Floor Area (GFA) 13,456 Sq. Ft.
- DENSITY (Residential)**
Maximum no. dwelling units allowed per zone: 18
Number of existing units to remain on site: 18
Number of proposed dwelling units on site: 0
Total number of units provided on this site: 18
- YARD/SETBACK**
Street Yard: Required 15 Ft. Proposed 15 Ft.
Street Side Yard: Required NA Ft. Proposed NA Ft.
Interior Yard(s): Required 5 Ft. Proposed 5 Ft.
Rear Yard: Required 20 Ft. Proposed 20 Ft.
- PARKING**
Parking Criteria: Residential
(Check one) Commercial
 Industrial
 Mixed Use
 Other
Total number of spaces required by zone: 29 spaces
Total number of spaces provided on-site: 29 spaces
Commercial Development:
One space per _____ Sq. Ft. GFA = _____ spaces

LEGAL DESCRIPTION
LOTS 9, 10, 11 & 12 IN BLOCK 198 OF UNIVERSITY HEIGHTS, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO AMENDED MAP THEREOF MADE BY G.A. D'HEMOCOURT IN BOOK 8, PAGE 36 OF LIS PENDING IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

ALSO ALL THAT PORTION OF THE EAST 10 FEET OF FLORIDA STREET ADJOINING SAID LOTS ON THE WEST, AS CLOSED OCTOBER 9, 1911, BY RESOLUTION NO. 9365, OF THE COMMON COUNCIL OF THE CITY OF SAN DIEGO, OCTOBER 19, 1911.

- GENERAL NOTES**
- GROSS/NET AREA IS 0.34 ACRES 14,998 SQ. FT.
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 - TOTAL NUMBER OF PROPOSED LOTS: 1
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 - ASSESSOR'S PARCEL NUMBER: 445-672-07
 - LAMBERT COORDINATES: 213-1725
NAD 83 COORDINATES: 1853-6285
 - BENCH MARK: CITY OF SAN DIEGO, NWBP LINCOLN AVENUE & ALABAMA STREET
ELEV.: 280.72 M.S.L.
 - TOPOGRAPHY: DOB SURVEY & MAPPING INC. (DATED NOVEMBER 17, 2005)
23 1/2 NAPLES ST., CHULA VISTA, CA 91911
 - ALL PROPERTY CORNERS WILL BE SET AND A ONE LOT SUBDIVISION MAP WILL BE FILED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THIS SUBDIVISION MAP.
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 - THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "INSTALLATION, MAINTENANCE AND POSSIBLE REMOVAL OF STREET TREE AND IRRIGATION LINE AND SIDEWALK UNDER DRAINS", EXECUTED BY AND BETWEEN CITY OF SAN DIEGO AND LINA J. HSIEH, RECORDED MARCH 18, 1991 AS INSTRUMENT NO. 1991-0118042, OF OFFICIAL RECORDS.

PLANTING LEGEND

TREE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
(Symbol)	LACERSTROEMIA HYBRID 'TUSKEGEE'	PINK CRAPE MYRTLE	24" BOX	3	LOW BRANCHING TYPE

SHRUB	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
1	AGAPANTHUS AFRICANUS 'FRANCO WHITE'	WHITE LILY OF THE VALLEY	1 GAL	55	
2	RHAPHIOLEPIS INDICA 'SPRING RAPTURE'	INDIAN HAWTHORNE	5 GAL	33	
3	PHORMIUM T. 'ATROPURPUREUM COMPACTUM'	MONROVIA RED FLAX	15 GAL	9	
4	ANIGOSANTHOS HYBRID 'BUSH GOLD'	KANGAROO PAW	1 GAL	21	
5	PHILODENDRON 'LYNETTE'	DWARF PHILODENDRON	1 GAL	18	
6	LIRIOPE MUSCARI 'GIGANTEA'	BIG BLUE LILY TURF	1 GAL	43	

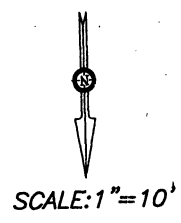
GROUND COVER	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS
(Symbol)	VINCA MAJOR	TRAILING PERIWINKLE	FLATS	7	PLANT 8" O.C.
(Symbol)	PELARGONIUM PELTIFOLIUM 'BALCON RED'	IVY GERANIUM	4" FLATS	60	PLANT 12" O.C.

EXISTING RHAPHIOLEPIS SHRUBS TO REMAIN IN PLACE



TENTATIVE MAP NO. 287973

THIS SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS EIGHTEEN (18).



PREPARED BY: _____

PROJECT ADDRESS:
3953 FLORIDA STREET
SAN DIEGO, CA 92104

PROJECT NAME:
3953 FLORIDA STREET

SHEET TITLE:
PLANTING PLAN

REVISION 7: _____
REVISION 6: _____
REVISION 5: _____
REVISION 4: _____
REVISION 3: _____
REVISION 2: _____
REVISION 1: _____

ORIGINAL DATE: _____

SHEET OF SHEETS

DEP # _____

Date 4/15/08

Scale 1" = 10'

Drawn S.

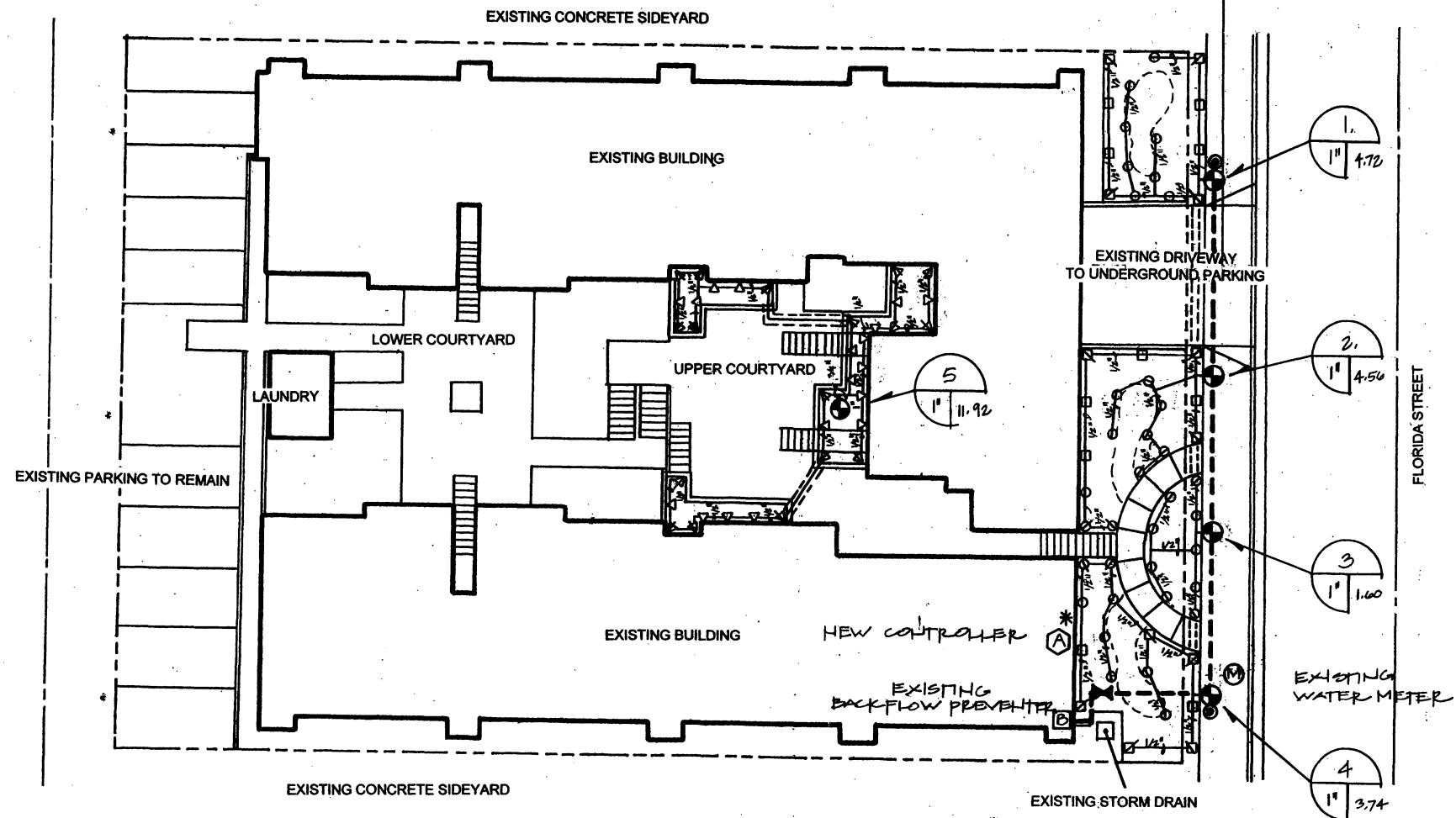
Job _____

Sheet 1

Of 6 Sheets

REVISIONS	BY

ALCALA
 SCOTT A. SEVENS, ASLA
 3345 CAMINO DEL BOSQUE, SUITE D
 SAN DIEGO, CA 92108
 PHONE: 619 294-2048
 FAX: 619 294-2048
 EMAIL: info@alcala.com
 CUSTOM LANDSCAPE DESIGN & CONSULTING



- IRRIGATION NOTES**
- ALL LOCAL, MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING THIS PROJECT RELATIVE TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING OR ARCHITECTURAL PLANS AND AS-BUILT DRAWINGS BEFORE BEGINNING WORK.
 - CONTRACTOR SHALL COORDINATE ALL IRRIGATION LINES AND CONTROL WIRES WITH PROPOSED LOCATIONS OF PLANT MATERIAL AND ROOT BARRENERS PRIOR TO INSTALLATION. ALL IRRIGATION LINES SHALL BE COORDINATED AND INSTALLED PRIOR TO INSTALLATION OF ANY FURNISH, SMALL FOOTINGS / FOUNDATIONS, CURBS AND ETC.
 - STATIC PRESSURE IS 150.
 - THIS DESIGN IS DIAGNOSTIC. ALL EQUIPMENT SHOWN IN PAVED AREAS OR OUTSIDE OF PROPERTY LINES ARE FOR DESIGN CLARITY ONLY AND ARE TO BE INSTALLED WITHIN PLANTING AREAS AND WITHIN PROPERTY LINES.
 - DO NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBSCURED IN THE FIELD THAT UNDERGROUND CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED. ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR'S MANAGER PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEMAND NECESSARY BY THE OWNER.
 - INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
 - CONTRACTOR IS TO PROVIDE AN ADDITIONAL COMMON WIRE TO THE END OF THE MAINLINE RUN IN TWO DIRECTIONS FROM THE CONTROLLER. CONTRACTOR SHALL PROVIDE AN ADDITIONAL CONTROL WIRE TO EVERY VALVE MANIFOLD. ALL ADDITIONAL WIRE SHALL BE BUNDLED, TAPED, AND PLACED IN CONTROL VALVE BOX.
 - ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN A BOX 40 SLIPPER THICK THE DIAMETER OF THE PIPE CARRIED. ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A BOX 40 SLIPPER THE SIZE REQUIRED TO EASILY PULL WIRE THROUGH. ALL SLIPPER TO BE INSTALLED WITH A MINIMUM COVER AS SHOWN ON THE SLEEVING DETAILS. SLIPPER TO EXTEND AT LEAST 1/4" PAST THE EDGE OF THE PAVEMENT. SLIPPER UNDER PAVEMENT TO BE 3" DEEP, 8" PIPE AT 6" DEPTH THICK.
 - ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ANCHOR SHOWN ON THE PLANS. ALL HEADS ARE TO BE ADJUSTED TO PREVENT OVERSPRAY ONTO BUILDINGS, WALLS, FENCES AND HARDSCAPE. THIS INCLUDES, BUT NOT LIMITED TO, ADJUSTMENT OF CURTAIN PIPE OR ADJUSTMENT SCREWS. REPLACEMENT OF PRESSURE COMPENSATING SCREENS, REPLACEMENT OF NOZZLES WITH MORE APPROPRIATE RADIIUS LANE AND THE REPLACEMENT OF NOZZLES WITH ADJUSTABLE ANGLE LANE.
 - ALL HEADS INDICATED ON THE PLANS AT A SPACING LESS THAN 75% OF FULL OPEN THROW, AS PER MANUFACTURER'S RECOMMENDATION, ARE TO RECEIVE A POE SCREEN OF APPROPRIATE SIZE TO REDUCE THE RADIIUS TO MORE CLOSELY MATCH THE SPACING. REFER TO THE MANUFACTURER'S CHARTS PROVIDED WITH FOR SCREENS FOR SIZES OF SCREENS.
 - PROVIDE CLEAN SAND BEDDING AND BACKFILL FOR PRESSURE MAINLINE PIPE 6 IN. BELOW AND 6 IN. ABOVE PIPE MINIMUM.
 - USE VARIABLE AND NOZZLES AS REQUIRED TO ACHIEVE COMPLETE COVERAGE WITH MINIMAL OVERSPRAY.
 - ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE LANDSCAPE REGULATIONS OF THE CITY OF SAN DIEGO GOVERNING AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

IRRIGATION PLAN

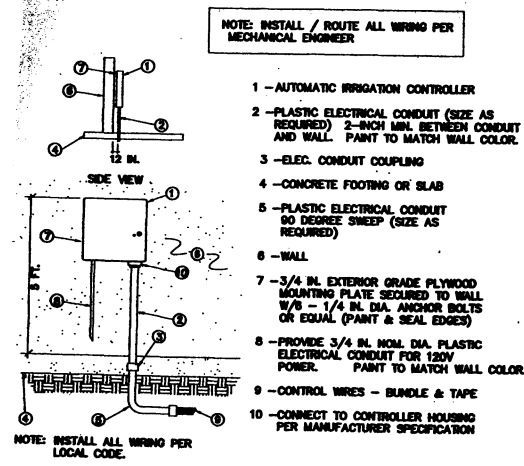
3953 FLORIDA STREET
 3953 FLORIDA STREET
 SAN DIEGO, CA 92104

IRRIGATION LEGEND

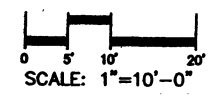
F	H	Q	MANUFACT.	MODEL NO. / DESCRIPTION	GPM	PSI	RADIUS
▽	▽		RAINBIRD	1806 SAM-PRS-4 - SERIES VAN - FLAT SPRAY	.45 .29	30	4
⊙	⊙		RAINBIRD	1806 SAM-PRS-5 - SERIES LONG GAL. SPRAY	.20 .10	30	5
⊙	⊙	⊙	RAINBIRD	1806 SAM-PRS-6 - SERIES LONG GAL. SPRAY	.52 .26	30	8

NOTE: ALL SPRAY HEADS INSTALLED FARTHER THAN FIVE (5) FEET FROM PAVING, DRIVEWAYS, CURBS, TURF BOUNDARIES, TOPS OF WALLS AND OTHER PEDESTRIAN AREAS MAY BE INSTALLED AS SHRUB ADAPTERS ON A SCH. 80 RISER, TOP OF HEAD 12" ABOVE GRADE
 NOTE: ALL SPRAY HEADS THAT DO NOT CONFORM TO PRESCRIBED NOZZLE RADIIUS SHALL BE FITTED WITH PRESSURE COMPENSATING SCREENS TO ACHIEVE PROPER RADIIUS/THROW DISTANCE.

SYMBOL	MANUFACTURER	MODEL NO. / DESCRIPTION
NO SYMBOL	N/A	120 VOLT ELECTRICAL POWER, PROVIDED BY ELECTRICIAN, VERIFY ACTUAL LOCATION IN FIELD
⊙		WATER METER -EXISTING
⊙		P.O.C. OFF OF EXISTING BACKFLOW PREVENTER
⊙	NIBCO	T-113 BRONZE GATE VALVE, LINE SIZE
⊙	RAIN BIRD	PEB SERIES - PLASTIC REMOTE-CONTROL VALVE-TURF ONLY-SIZE AS NOTED
⊙	RAIN BIRD	33DRC QUICK COUPLER VALVE, IN 10" ROUND VALVE BOX. BRAND LID OF VALVE BOX WITH THE LETTERS "QC"
⊙	RAINBIRD	8 STATION ESP-MC MODULAR SERIES AUTOMATIC CONTROLLER (WALL MOUNT)
---	AS APPROVED	PVC PIPE 1 1/2" SCH.40 MAINLINES 18" BELOW GRADE, ALL MAINLINE ON PROJECT SIZED AT 1 INCH
---	AS APPROVED	PVC PIPE SCH. 40 AS SLEEVING; AS NOTED; TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED, NO SYMBOL SHOWN ON PLANS, ALL PIPE AND WIRE UNDER PAVING SHALL BE INSTALLED INSIDE A SEPARATE SLEEVE
---	AS APPROVED	PVC PIPE 3/4" CL. 200 AS LATERAL LINES .12" BELOW GRADE
*		WCS RAIN SENSOR DEVICE -PER MANUFACTURER RECOMMENDATION



WALL MOUNT CONTROLLER N.T.S.



PREPARED BY: _____

PROJECT ADDRESS:
 3953 FLORIDA STREET
 SAN DIEGO, CA 92104

PROJECT NAME:
 3953 FLORIDA STREET

SHEET TITLE:
 IRRIGATION PLAN

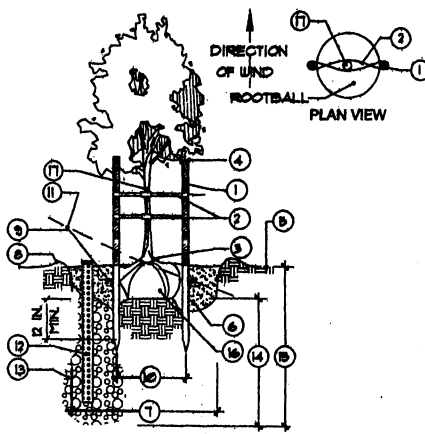
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 REVISION 2:
 REVISION 1:

ORIGINAL DATE: _____

SHEET OF SHEETS

DEP # _____

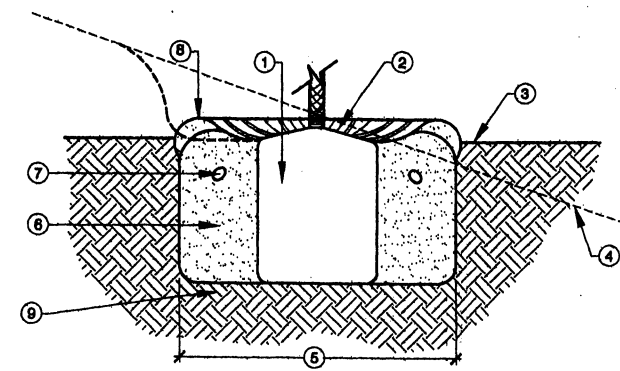
Date 4/15/08
 Scale 1"=10'
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 Sheet 2
 Of 6 Sheets



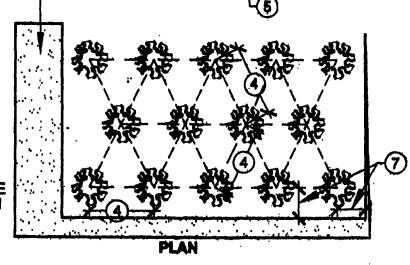
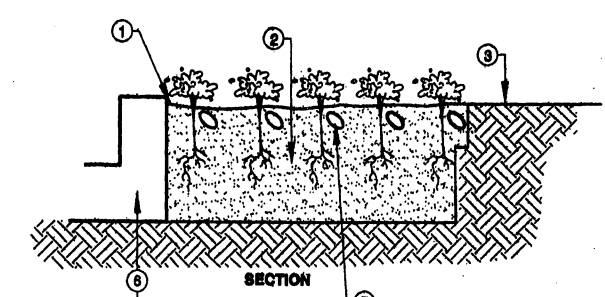
- (2) 2 IN. DIA. X 16 FT. LONG LODGEPOLE PINE STAKES, SET PERPENDICULAR TO PREVAILING WINDS.
- VINYL TREE TIE (2 req'd per stake) OR EQUAL. INSTALL AT POINT 'A' ABOVE UNBARKED TREE TRUNK. TIE SHALL BE HELD UPRIGHT AND NOT BEND OVER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- SET CROWN 2 IN. ABOVE FINISH GRADE.
- CUT TOP SECTION OFF OF STAKE 6" BELOW TREE CANOPY.
- FINISH GRADE.
- BACKFILL/SEE SPEC' PUDDLE AND SETTLE. SET TREE 2 IN. ABOVE FIN. GR.
- 2 X ROOTBALL DIAMETER.
- 3 IN. WATERING BASIN, EXCEPT IN LAWN AREAS. REMOVE AFTER MAINT. PERIOD.
- PLANT TABLETS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- PLACE STAKES OUTSIDE OF ROOTBALL.
- PIN GRADE AT EXISTING SLOPE (AS REQ'D).
- 4" PERFORATED PIPE W/ BLACK ROUND GRATE CAP - 8" DIA. LENGTH WRAPPED WITH FILTER FABRIC - 1 PER 5 GALLON TREE - 2 PER 24" AND 36" BOX TREE
- 4" GRAVEL DRAINAGE GUMP WITH FILTER FABRIC EDGE
- 6"-8" MAXIMUM
- 10"-12" MAXIMUM
- TREE PIT-FILL AND SETTLE WITH WATER A MIN. OF 24 HOURS PRIOR TO PLANTING.
- TREE TRUNK.

NOTE: TREES 5 GALLON SIZE OR SMALLER - PROVIDE SINGLE STAKE. TREES 24" BOX SIZE OR LARGER - PROVIDE DOUBLE STAKE. CUT STAKE 6" BELOW TREE CANOPY.

NOTE: TREES IN TURF AREAS TO RECEIVE TREE TRUNK PROTECTOR AT BASE. SHALL BE 'ARBORGARD' BY DEEP ROOT.



- ROOTBALL.
- CROWN - 1/2" ABOVE FINISH GRADE.
- FINISH GRADE.
- FINISHED GRADE AT SLOPE.
- 2X ROOTBALL DIAMETER.
- BACKFILL MIX (SEE SPECS.).
- PLANT TABLETS (SEE SPECS.).
- 4" HIGH WATERING BASIN (IF REQ'D).
- UNDISTURBED NATIVE SOIL.



- 2 INCHES
- PREPARED SOIL
- FINISH GRADE OR WALK
- EQUAL (X) - SEE PLANT LIST
- PLANT TABLET
- CONCRETE CURB OR HARDSCAPE IMPROVEMENT, AS INDICATED ON PLAN.
- EQUAL 1/2 (X)

TREE DOUBLE STAKING AND DRAINAGE

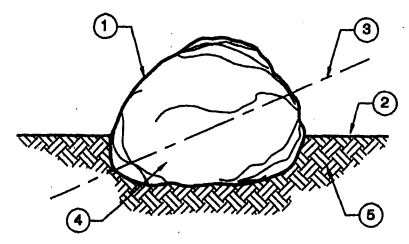
NOT TO SCALE

TREE / SHRUB PLANTING

NOT TO SCALE

GROUNDCOVER PLANTING

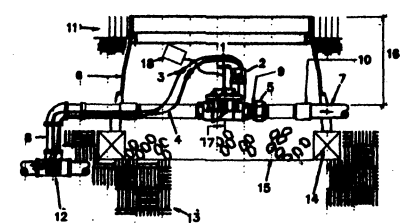
NOT TO SCALE



- BOULDER - SIZE INDICATED ON PLAN
- FINISHED GRADE (Level Ground Plane)
- FINISHED GRADE (Slope)
- BURY 1/3 OF BOULDER HEIGHT
- UNDISTURBED NATIVE SOIL OR COMPACTED SUB-GRADE

BOULDER PLACEMENT

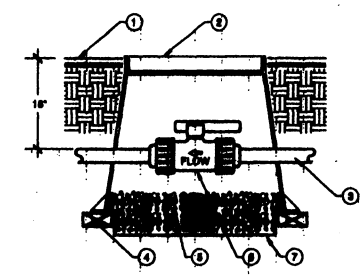
NOT TO SCALE



- REMOTE CONTROL VALVE
- SOLENOID
- WATERPROOF WIRE SPLICE CONNECTORS (SEE SPECS.)
- CONTROL WIRES - BUNDLE AND TAPE (W/ 4 FT. MIN. EXTRA WIRE)
- PVC SCH 80 UNION
- VALVE BOX W/ PURPLE LID
- PVC NON-PRESSURE PIPE
- PVC PRESSURE PIPE
- PVC SCH 80 NIPPLE (TYP.) (LENGTH AS REQUIRED)
- PVC SCH 40 FEMALE ADAPTER (TYP.)
- FINISH GRADE (FLUSH IN TURF, 1 IN. IN GROUNDCOVER)
- PVC SCH 40 TEE (SS) OR ELL (SS) ON MAINLINE
- UNDISTURBED/ COMPACTED SUBGRADE
- BRICK OR CONCRETE SUPPORTS
- 1 CU. FT. MIN. PEA GRAVEL
- SEE SPECS FOR DEPTHS
- 2 IN. MIN.
- RECYCLED WATER TAG - CRISTY'S OR EQUAL.

REMOTE/MASTER VALVE

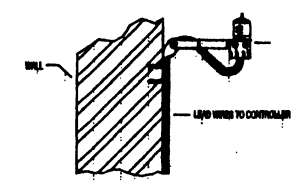
N.T.S.



- FINISHED GRADE
- PLASTIC VALVE BOX WITH PURPLE BOLT DOWN COVER. USE STAINLESS STEEL BOLT NUT AND WASHER HEAT BRAND 'GV' ON TO LID.
- MANLINE
- BRICK SUPPORTS
- 1/2 IN. C.F. 3/4" CRUSHED GRAVEL
- BALL VALVE
- LANDSCAPE FABRIC

BALL VALVE

N.T.S.



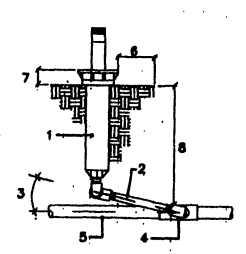
NOTE: SENSORS ARE GLUE ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNCONTROLLED HUMIDITY, BUT NOT AT THE POINT OF ELECTRICAL SPARK.

Weather MINI-CLIK RAIN SENSOR

NO SCALE INSTALLATION DETAIL

RAIN SENSOR MOUNTING DETAIL

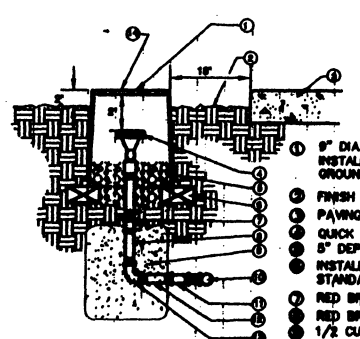
N.T.S.



- POP-UP SPRAY HEAD W/ PURPLE CAP
- SWING JOINT ASSEMBLY (1 SCH 80 NIPPLE AND 3 MARLEX ST. ELLS)
- ANGLE WILL VARY WITH HEIGHT OF POP-UP BODY
- PVC SCH 40 TEE (SST) OF ELL (ST)
- PVC NONPRESSURE LINE
- 2 IN. MAX. FROM CURBS, WALKS, ETC.
- AT FINISH GRADE IN TURF AREAS, 1 IN. IN SHRUB AREAS
- SEE SPECS. FOR DEPTH

POP-UP

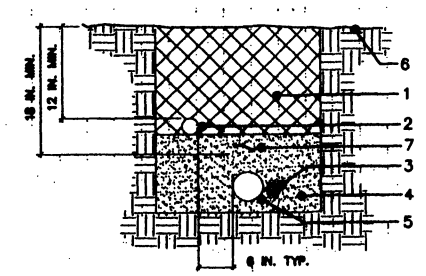
N.T.S.



- 6" DIA. PLASTIC VALVE BOX WITH LID. INSTALL 2" ABOVE GRADE IN GROUNDCOVER
- FINISH GRADE
- PAVING OR STRUCTURE
- QUICK COUPLER WITH RUBBER CAP
- 8" DEPTH PEA GRAVEL
- INSTALL BOX LEVEL WITH 2 STANDARD BRICKS
- RED BRASS COUPLING
- RED BRASS RISER
- 1/2 CU. FT. MIN. CONC. THRUST BLOCK
- PVC ELL OR TEE (CONNECTION TO MAINLINE)
- (2) RED BRASS STREET ELLS
- RED BRASS NIPPLES (2)
- RED BRASS ELL
- BRAND "GC" ON COVER

QUICK COUPLER VALVE

N.T.S.



- CLEAN BACKFILL - SEE SPECS. FOR MATERIAL. SOIL COMPACTION REQUIRED
- NON-PRESSURE LATERAL LINE SHANE PIPE IN TRENCH
- CONTROL WIRES - BUNDLE AND TAPE AT 10 FT. O.C. AND INSTALL ADJACENT TO PRESSURE SUPPLY LINE
- PROVIDE CLEAN SAND BACKFILL - SEE NOTE #17
- PRESSURE SUPPLY LINE SHANE PIPE IN TRENCH
- FINISH GRADE
- RECLAIMED WATER WARNING TAPE ABOVE MAINLINE.

TRENCHING

N.T.S.

NOTE: PITIAL AND LOOP CONTROL WIRE AT ALL 90 degree CHANGES IN DIRECTION.



PTS. NO. 89546

PREPARED BY:

PROJECT ADDRESS:
3953 FLORIDA STREET
SAN DIEGO, CA 92104

PROJECT NAME:
3953 FLORIDA STREET

SHEET TITLE:
DETAILS

REVISION 7:
REVISION 6:
REVISION 5:
REVISION 4:
REVISION 3:
REVISION 2:
REVISION 1:

ORIGINAL DATE:

SHEET OF SHEETS

DEP #

REVISIONS	BY

ALCALA
SCOTT A. SEIVERS, ASLA
3245 CAMINO DEL RIO SOUTH, SUITE D
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CUSTOM LANDSCAPE DESIGN & CONSULTING

IRRIGATION DETAILS
PLANTING DETAILS

3953 FLORIDA STREET
3953 FLORIDA STREET
SAN DIEGO, CA 92104

Date 4/15/00

Scale

Drawn S.

Job

Sheet 3

Of 6 Sheets

PLANNING COMMISSION
RESOLUTION NO. XXXX
TENTATIVE MAP NO. 287973
3953 FLORIDA STREET TENTATIVE MAP - PROJECT NO. 89546
DRAFT

WHEREAS, HSIEH FAMILY LIMITED PARTNERSHIP, Applicant/Subdivider, and DGB SURVEYING & MAPPING, submitted an application with the City of San Diego for a Tentative Map, No. 287973, for the conversion of 18 existing residential units to condominiums, including a request to waive the requirement to underground existing overhead utilities. The project site is located on the west side of Florida Street between Lincoln Avenue and University Avenue at 3953 Florida Street, and is legally described as Lots 9-12, Block 196, University Heights, Map thereof made by G.A. D'Hemecourt, in the MR-800B Zone of the Mid-Cities Communities Planned District, the North Park Redevelopment Project Area and the Transit Area Overlay Zone, within the Greater North Park Community Plan area; and

WHEREAS, the Map proposes the subdivision of a 0.34-acre site into one (1) lot for a 18-unit residential condominium conversion; and

WHEREAS, the project is exempt from environmental review pursuant to Article 19, Section 15301(k) of the California Environmental Quality Act (CEQA) on the basis that the facilities are existing; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to the Subdivision Map Act and Section 144.0220 of the Municipal Code of the City of San Diego; and

WHEREAS, the subdivision is a condominium project as defined in Section 1350 et seq. of the Civil Code of the State of California and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 18; and

WHEREAS, on November 6, 2008, the Planning Commission of the City of San Diego considered Tentative Map No. 287973, including the waiver of the requirement to underground existing overhead utilities, and pursuant to Sections 125.0440 (tentative map), 125.0444 (condo conversion), and 144.0240 (underground) of the Municipal Code of the City of San Diego and Subdivision Map Act Section 66428, received for its consideration written and oral presentations, evidence having been submitted, and heard testimony from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 287973:

1. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code (Land Development Code Section 125.0440.b).
2. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (Land Development Code Section 125.0440.h and State Map Act Section 66412.3).
3. Each of the tenants of the proposed condominium project has received, pursuant to State Map Action Section 66452.9, written notification of intention to convert at least 60 days prior to the filing of a tentative map (Land Development Code 125.0444 and State Map Act Section 66427.1(a)).
4. The project has been conditioned that the Subdivider will give each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the State Map Act (Land Development Code Section 125.0444 and State Map Act Section 66427.1(a)).
5. The project has been conditioned that the Subdivider will give each tenant 10 days' written notification that an application for a public report will be, or has been, submitted to the Department of Real Estate, and that such report will be available on request (Land Development Code Section 125.0444 and State Map Act Section 66427.1(a)).
6. The project has been conditioned that the Subdivider will give each tenant of the proposed condominium project written notification within 10 days of approval of a final map for the proposed conversion (Land Development Code Section 125.0444 and State Map Act Section 66427.1(b)). If the subdivider chooses to provide affordable housing units, the subdivider shall enter into an affordable housing agreement with the Housing Commission, prior to recordation of the Final Map.
7. The project has been conditioned that the Subdivider will give each of the tenants of the proposed condominium project 180 days' written notice of intention to convert prior to termination of tenancy due to the conversion or proposed conversion (Land Development Code Section 125.0444 and State Map Act Section 66427.1(c)).
8. The project has been conditioned that the Subdivider will give each of the tenants of the proposed condominium project notice of an exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, which notice shall be provided within 5 working days of the issuance

of the Subdivision Public Report. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report pursuant to Section 11018.2 of the Business and Professions Code, unless the tenant gives prior written notice of his or her intention not to exercise the right (Land Development Code Section 125.0444 and State Map Act Section 66427.1(d)).

9. The project was not financed by funds obtained from a governmental agency to provide for elderly, disabled, or low income housing (Land Development Code Section 125.0444.b).
10. For any project that was developed to provide housing for the elderly, disabled or to provide low income housing, provisions have been made to perpetuate the use for which the project was developed (Land Development Code Section 125.0444.c).
11. Each of the tenants of the proposed condominium project has received written notification of the project application for the condominium conversion within 10 days after the application was deemed complete (Land Development Code 125.0431(a)(3)).
12. The project has been conditioned that the subdivider will give each person applying for the rental of a unit in such residential real property written notification that the project application for the condominium conversion was deemed complete (Land Development Code 125.0431(a)(3)).
13. The project has been conditioned that the subdivider will give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (Land Development Code Section 125.0431(a)(4)).
14. A Building Conditions Report has been prepared in accordance with the Land Development Manual by a registered architect or engineer licensed by the State of California (Land Development Code Section 144.0504(b)).
15. The project has been conditioned that the subdivider will provide to a prospective purchaser a copy of the Building Conditions Report prior to the opening of an escrow account. (Land Development Code Section 144.0504(c)).
16. The project has been conditioned that the subdivider will provide a relocation assistance payment to all tenants of the project whose tenancy has terminated due to the condominium conversion. (Land Development Code Section 144.0505).
17. The project has been conditioned for the subdivider to complete the physical improvements as outlined in Land Development Code Section 144.0507, to the satisfaction of the City Engineer prior to final map approval.

18. The project has been conditioned for the subdivider to satisfy the inclusionary housing requirements in accordance with Land Development Code Section 142.1306. (Land Development Code Section 144.0508).
19. The requested underground waiver of the existing overhead facilities, qualifies under the guidelines of Council Policy No. 600-25 *Underground Conversion of Utility Lines at Developers Expense* in that the conversion involves a short span of overhead facility (less than 600 feet in length), it has been determined that such conversion is not a part of a continuing effort to accomplish a total undergrounding within a specific street or area, the conversion would represent an isolated undergrounding with a minimum probability of extension in the future, and the conversion is a requirement of a condominium conversion of an existing development and the conversion would not represent a logical extension to an underground facility.
20. That said Findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that, based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 287973, including the waiver of the requirement to underground existing overhead utilities, is hereby granted to HSIEH FAMILY LIMITED PARTNERSHIP, Applicant/Subdivider, subject to the following conditions:

GENERAL

1. This Tentative Map will expire November 6, 2011.
2. Compliance with all of the following conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the issuance of the Final Map taxes must be paid on this property pursuant to section 66492 of the Subdivision Map Act. A tax certificate, recorded in the office of the County Recorder, must be provided to satisfy this condition
4. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may

elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

5. The Subdivider shall provide a Notice of Tenants Rights and Notices for Condominium Conversion, consistent with the Land Development Manual to be provided as follows:
 - a. For existing tenants, within 10 days of the project application for the *condominium conversion* being deemed complete; or
 - b. For prospective tenants, upon application for the rental of a unit in the proposed *condominium conversion*.
6. The Subdivider shall provide each tenant, and each person applying for the rental of a unit in such residential real property, all applicable notices and rights now or hereafter required by the State Map Act.
7. The Subdivider shall provide the tenants a Notice of Application for a Public Report at least 10 days prior to the submittal to the Department of Real Estate (DRB), pursuant to Section 66427.1(a) of the Subdivision Map Act.
8. The Subdivider shall provide each of the tenants of the proposed condominiums written notice of intention to convert at least 180 days prior to termination of tenancy due to the conversion or proposed conversion in conformance with Section 66427.1(c) of the Subdivision Map Act. The provisions of this subdivision shall not alter nor abridge the rights or obligations of the parties in performance of their covenants, including, but not limited to, the provision of services, payment of rent, or the obligations imposed by Sections 1941, 1941.1 and 1941.2 of the Civil Code.
9. The Subdivider shall provide each of the tenants of the proposed condominiums notification of their exclusive right to contract for the purchase of his or her respective unit upon the same terms and conditions that such unit will be initially offered to the general public or terms more favorable to the tenant, in conformance with Section 66427.1(d) of the State Map Act. The right shall run for a period of not less than 90 days from the date of issuance of the subdivision public report, pursuant to Section 11018.2 of the Business and Professions Code,

unless the tenant gives prior written notice of his or her intention not to exercise the right.

10. The Subdivider shall provide the tenants of the proposed condominiums with written notification within 10 days or approval of a Final Map for the proposed conversion, in conformance with Section 66427.1(b) of the Subdivision Map Act.

AFFORDABLE HOUSING

11. Prior to recordation of the Final Map the Subdivider shall comply with the affordable housing requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code) by paying an in-lieu fee of \$23,548 (\$1.75 x 13,456 square feet), satisfactory to the Housing Commission.
12. Prior to filing a final map, the applicant shall either show evidence that relocation assistance has been paid to eligible tenants or enter into an agreement with the San Diego Housing Commission to demonstrate conformance with the Municipal Code provisions for Tenant Relocation Benefits (Chapter 14, Article 4, Division 5, 144.0503). In addition, applicant must pay the appropriate fees incurred by the Housing Commission for compliance monitoring (Chapter 14, Article 4, Division 5, 144.0502).
13. The Subdivider will give each tenant a notice of termination of tenancy 60 days prior to being required to vacate the property. (Land Development Code Section 125.0431(a)(4)).
14. The Subdivider will provide to a prospective purchaser a copy of the Building Conditions Report prior to the opening of an escrow account. (Land Development Code Section 144.0504(c)).

ENGINEERING

15. The Subdivider shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, filed November 25, 2002) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-296141) satisfactory to the City Engineer. This may require (but not be limited to) installation of new street light(s), upgrading light from low pressure to high-pressure sodium vapor and/or upgrading wattage.
16. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.

17. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
18. The subdivider shall obtain an Encroachment Maintenance and Removal Agreement from the City Engineer for the non-standard driveway in Florida Street right-of-way.
19. The subdivider shall enter into an agreement to indemnify, protect and hold harmless the City, its officials and employees from any and all claims, demands, causes or action, liability or loss because of, or arising out of the repair and/or maintenance of the public drainage entering into the project site.
20. Prior to the recordation of the Final Map, the Subdivider shall demonstrate conformance with the Municipal Code provisions for building and landscape improvements (Land Development Code Sections 144.0507), to the satisfaction of the City Engineer. The parking requirements in Land Development Code Sections 144.0507 and 142.0525.a do not apply, since this project was deemed complete prior to the effective date of this ordinance (July 27, 2006).

MAPPING

21. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source will be the California Coordinate System, Zone 6, North American Datum of 1983 (NAD 83).
22. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the tentative map and covered in these special conditions will be authorized.

All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.
23. "California Coordinate System means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."

24. The Final Map shall:

- a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
- b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of Third Order accuracy or better. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

SEWER AND WATER

25. Water and Sewer Requirements:

- a. The Subdivider shall install appropriate private back flow prevention devices on all existing and proposed water services (domestic, irrigation, and fire) adjacent to the project site in a manner satisfactory to the Water Department Director.
- b. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.

LANDSCAPE

26. Prior to recordation of the Final Map, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with the Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.
27. Prior to recordation of the Final Map, and after Landscape and Irrigation Construction Documents have been approved by Development Services, the Subdivider shall install all required landscaping consistent with the approved plans and the Land Development Manual, Landscape Standards.

28. Prior to recordation of the Final Map, it shall be the responsibility of the Permittee/Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.
29. The Landscape Construction Plan shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.
30. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.
31. The Permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.
32. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Certificate of Occupancy or a Final Landscape Inspection.

INFORMATION:

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC Section 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), then the subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within 90 days of the approval of this Tentative Map by filing a written protest with the City Clerk pursuant to California Government Code Section 66020.
- Where in the course of development of private property, public facilities are damaged or removed the property owner shall at no cost to the City obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer. Municipal Code Section 142.0607.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SAN DIEGO, CALIFORNIA, ON NOVEMBER 6, 2008.

By

Renee Mezo
Development Project Manager
Development Services Department

Job Order No. 42-5612

OWNERSHIP DISCLOSURE

3953 Florida Street Tentative Map
Project No. 89546

Owner:

Hsieh Family Limited Partnership

San C. Hsieh
Lina S. Hsieh
Vincent C. Hsieh
Victor C. Hsieh
Emily L. Hsieh

DEVELOPMENT SERVICES
Project Chronology
 3953 FLORIDA STREET TENTATIVE MAP; PROJECT NO. 89546

	Action	Description	City Review Time	Applicant Response
12/1/05	First Submittal	Project Deemed Complete		
12/30/05	First Assessment Letter	First assessment letter sent to applicant.	29 days	
3/15/06	Second submittal	Applicant's response to first assessment letter		74 days
7/14/06	Second Assessment Letter	Second assessment letter sent to applicant	121 days	
6/28/07	Third submittal	Applicant's response to second assessment letter		351 days
7/27/07	Third Assessment Letter	Third assessment letter sent to applicant	29 days	
9/28/07	Fourth submittal	Applicant's response to third assessment letter		63 days
11/16/07	Fourth Assessment Letter	Fourth assessment letter sent to applicant	49 days	
7/7/08	Issues addressed			
10/16/08	Public Hearing-Planning Commission	Planning Commission Hearing	101days	
TOTAL STAFF TIME**			329 days	
TOTAL APPLICANT TIME**				488 days
TOTAL PROJECT RUNNING TIME**		From Deemed Complete to PC Hearing	817 days	

**Based on 30 days equals to one month.

GREATER NORTH PARK COMMUNITY PLANNING COMMITTEE
2901 NORTH PARK WAY, 2ND FLOOR
P.O. BOX 4825, SAN DIEGO, CA 92164
CORRECTED MINUTES: JULY 17, 2007

- I. Called to Order:** 6:31 pm.
- II. In Attendance:** Salvador Arechiga, Ravin Armelin, Ed Cronan, Carol Gonzales, Vicki Granowitz, Brenda Martin, Dean Petersen, Keoni Rosa, Rob Steppke, Stephen Whitburn; Vernon Franck (had to leave at 7:06 pm.)
Absent: James Longley, Shane Pliskin.
Excused Absence: Judith O'Boyle, Rene Vidales.
- III. Motion to Adopt July 17, 2007 Agenda** (with modification that Removal of Angle Parking on east side of Louisiana, between Mead Ave & Monroe Ave. be pulled from Consent Agenda and moved to first Action item): **Armelin/Martin 11-0-0**
- IV. Chair's Report/CPC**
- A.** CPC completed review of update to General Plan. Leo Wilson is continuing as President and Vicki Granowitz will continue as Secretary. Liaisons appointed. Continuing to discuss Bylaws.
 - B.** James Longley has resigned as a member of the GNPCPC. An Election Subcommittee, Chaired by Rob Steppke, will be formed and an election held with 120 days to fill the vacancy. The Secretary will prepare a list of Eligible Voters from attendance during the last six months of GNPCPC meetings.
 - C.** Judi O'Boyle will serve as liaison to the newly formed community group interested in the proposed expansion of Our Lady of Peace. Her role will be to acquaint them with our process and procedures; no advocacy.
 - D.** The Chair has been involved in trying to resolve issues concerning the Bluefoot Lounge at 30th and Upas as to neighbor noise complaints, CUP regarding its alcohol licenses, and other items. This matter may be before the full Board on its August agenda.
- V. Motion to approve June 19, 2007 minutes, with the correction of the removal of "Conners" from the UDPR Subcommittee Report: Franck/Steppke 8/0/3 (Voting in favor: Arechiga, Cronan, Franck, Granowitz, Petersen, Rosa, Steppke, Whitburn. Those abstaining due to prior absence: Armelin, Gonzales, Martin.)**
- Note:** Report on NPPC Board Attendance: Members with 2 absences: Gonzales, Pliskin and Longley with 3 (Longley has resigned as of tonight's meeting.) Some other members have a single absence.
- VI. Treasurer's Report:** Balance is \$245.22
- VII. Announcements**
- 1.** Elizabeth Studebaker of NPMS: Farmers Market opens Thursday, July 19. (Honorable Mention to Dean Petersen for volunteering to assist.) Location is CVS parking lot at University and 32nd St. North Park Summer Clean-Up on July 28, 2007 from 9 am-12:00 pm at 32nd St and University.
 - 2.** Bertha M Klann stated that the Needle Exchange is still operating near Drowsy Maggie's.
 - 3.** Lynn Elliot from NPCA announced the Bird Park Concerts are continuing this summer.
 - 4.** The Secretary noted that he spoke before the City Council on July 10, as directed by the Chair, in favor of the North Park MAD Engineer's Report. The Chair indicated that the Re-ballot failed.
 - 5.** The Chair announced the University Heights Art Association Gala on August 9 at the Lafayette.
 - 6.** The Chair announced that Judi O'Boyle attended a meeting concerning Development in Mission Valley on July 11 at the Mission Valley Library. Discussed was the anticipated negative impact

from planned multiple developments regarding schools, transportation, parking, drinking water, density and other items. It was noted that the Trolley is already running at capacity at rush hours and further densification may not be able to be resolved by proximity to public transit.

7. Vernon Franck announced that the UDPR September subcommittee meeting will be held August 27, 2007, due to Labor Day.
- VIII. Planner's Report:** Marlin Pangilinan, 619-235-5293, mpangilinan@sandiego.gov. Mr. Pangilian indicated that he had been in discussion with the City Attorney's Office regarding the attendance of Board Members in excess of the seven limit at subcommittee meetings. The City Attorney's Office has now informed him that those Members in excess of the seven limit may do so only as observers, not participants. They can remain in the audience of the subcommittee meetings and may not speak, grimace, etc. Mr. Pangilinan was following up on an earlier request for clarification from the Secretary.
- IX. Supplemental Report-** Ravin Armelin reported that the Fair Banking Working Group has been working on legislation to assist low income people to gain access to banks as an alternative to pay day loan groups. AB1502 is being carried by Assemblyman Lou and Ravin asked the Board to visit the website "Tell The Senate To Bring Banks to Underserved Communities." Ms. Armelin asked that the full board support this matter and it will be on the agenda for next month.
- X. Officials' Report**
1. Jason Weisz (rep for Christine Kehoe, California State Senate District 39): The Senator's Clean Alternative Vehicles Bill has passed out of the Senate. The State has not implemented mandatory water rationing but the Senator has some tips for saving water in her newsletter. Senator Kehoe will be in the Pride Parade in San Diego and will be at a booth there as well. Mr. Weisz's phone number for questions is (619 645-3133.)
 2. Todd Gloria (rep for Susan Davis, US. Congress District 53.): The Congresswoman was named the Chair of the Military Personnel Subcommittee of the House Armed Services Committee. Davis is distributing a survey on Iraq, and the website for it has already received six thousand responses so far.
 3. Monica Pelaez (rep for Toni Atkins, City Council District 3) was unable to attend. The Chair read her announcement that Council Member Atkins will be joining the Police Chief and other officials at Bourbon Street at 4612 Park Blvd on Wednesday, July 18 at 8:30 pm to unveil Safety Tip Flyers for safe walking for patrons leaving neighborhood bars.
- XI. Consent Agenda**
(Voting Members Present UDPR July 2, 2007, Salvador Archiga, Ernie Bonn, Kitty Callen, Vernon Franck, John Stewart McGaughy, Judith O'Boyle, Rob Steppke, Elizabeth Studebacker, Stephen Whitburn; PFPA July 5, 2007 S Archiga, K Calvin, D Petersen, R Vidales)
1. **Lafayette Hotel SDP (PTS# 125216)** Discussion regarding the issues of having commercial uses overlapping a residential zone. The requisite number of parking spaces will be included.
Motion: Support the project plan revisions to add 8 rooms to existing hotel building (reconfigure internal rooms only) and have project permit state that 25%, or 28 units, of the proposed 110 units are residential condominium only and the remaining 82 are condominium-hotel units. Martin/UDPR On Consent 11-0-0.
 2. **3727 Grim.** Tentative Map (Process 4) To convert 14 existing residential units to condominiums on a 0.29 acre site in the MR-1750 Zone of Mid City PDO. 10 2BR units and 4 1BR units constructed in 1990. A letter from the City was presented that essentially stated that the 23 parking spaces (including 4 tandem) were acceptable as pre-conforming. Applicant agrees to perform all requirements identified in the condition report. Applicant did not present a new conceptual design. **Motion: To deny the project due to lack of a clear plan, clear community benefit, and responsible property management. Martin/UDPR On Consent 11-0-0**

3. **Request for traffic calming along the 2500 to 2900 blocks of Boundary Street.** A previous City evaluation of Boundary and Cooper Streets did not grant a stop sign, but recommended a V-Calm sign instead, for which funding is not available. A School Officer from McKinley Elementary has visited the intersection and requested a stop sign on Boundary Street at Cooper Street, and a pedestrian crosswalk be installed. **Motion: To recommend the City to install a Stop Sign on both northbound and southbound Boundary St at the intersection with Cooper St, and a Crosswalk at its intersection with Cooper St. Martin/ PFPA On Consent 11-0-0**
4. **Request to install Angle Parking on west side of Oregon Street, between University Avenue and Lincoln Avenue.** The petition is in conformance with the University Avenue Mobility Plan. **Motion: To support petition to install Angle Parking on the west side of Oregon Street, between University Avenue and Lincoln Avenue, due to conformance with the University Avenue Mobility Plan. Martin/PFPA On Consent 11-0-0**
5. **3953 Florida Tentative Map (PTS#89546)** To convert 18 existing residential units to condominiums. *(2nd Review, see Feb 2007 UD/PR minutes) Constructed by Hsieh in 1988 it is well maintained. Applicant agrees to meet or exceed all requirements of the building condition report. They also agreed to replace the existing invasive trees with mature trees and restucco exterior. Inclusionary housing was discussed. **Motion: Move to approve the project with the condition that the project include two (2) inclusionary housing units. Franck/UDPR On Consent 7-1-2-1 (Voting in favor: Arechiga, Cronan, Franck, Granowitz, Martin, Petersen, Rosa. Voting No: Steppke. Abstaining due to lack of information: Armelin, Gonzales. Recused: Whitburn.)**

(Vernon Franck departs at 7:06 pm)

XII. Action Items

1. **Request to remove Angle Parking on the east side of Louisiana Street, between Mead Ave & Monroe Ave.** Installation of Angle Parking occurred about a year ago, even though under City standards the width of Louisiana St does not grant for angle parking on one side, and neighbors have expressed unsafe maneuvering. Julie Braden spoke in favor of keeping the angle parking. Todd Flynn and Michael Caldwell spoke in favor of removing the angle parking. Roger Lewis suggested following the compromise offered by the City to reduce the angle. Member Arechiga explained that the City had measured wrong initially and the street is not wide enough for angle parking. Following discussion by the Board- **Motion: To support petition to remove Angle Parking on east side of Louisiana St, between Meade Avenue and Monroe Avenue, with the recommendation that marked parking be instituted on the east and west side of Louisiana Street for parallel parking. Cronan/Steppe 9-1-0. (Voting yes: Arechiga, Armelin, Cronan, Gonzales, Granowitz, Petersen, Rosa, Steppke, Whitburn. Voting no: Martin.)**
2. **NPPC Demolition Position Paper.** Following brief discussion- **Motion to adopt and approve NPPC Demolition Paper and submit it to the appropriate City personnel. Martin/Rosa 10-0-0**
3. **Adoption of GNPCPC/NPPC Bylaws.** Following presentation by the Chair and Rob Steppke-
 - a. **MOTION TO AMEND AND REVISE BYLAWS AS FOLLOWS:**

ARTICLE IV Vacancies

Section 2.

The North Park Planning Committee Chairperson shall appoint a nominating committee to prepare a list of eligible candidates to be submitted at the next regularly scheduled meeting. Vacancies shall be filled by:

- (A.) selection by planning group members no later than 60 days from the date the vacancy is declared and
- (B.) an advertised general election pursuant to ...

Motion passed Petersen/Martin 10-0-0

b. MOTION TO AMEND AND REVISE BYLAWS AS FOLLOWS:

ARTICLE V Elections

Section 1.

The deadline to qualify for candidacy in the March general election shall be at the conclusion of the February noticed regular or special meeting of the full planning group membership preceding the election. The planning group's...

...

In order to be a candidate in the March election, an eligible member of the community [see Article III Section 2] must have documented attendance at:

- (A.) one of the North Park Planning Committee's last 6 meetings including the February regular meeting preceding the election.

Motion passed Petersen/Armelin 10-0-0

c. MOTION TO APPROVE AND ADOPT BYLAWS, IN TOTO, AS AMENDED AND REVISED.

Motion passed Martin/Gonzales 10-0-0

XIII Subcommittee Reports

1. **Urban Design/Project Review**, Vernon Franck, North Park Main Street Office, 3076 University Ave., 6pm, 1st Monday. **Next meeting August 6.** Report given by Madam Chair, as Mr. Franck had departed earlier. HRB recommended approval of 5 more residences for inclusion Burlingame Historic District.
2. **Public Facilities/Public Art**, Sal Arechiga/Rene Vidales, North Park Main Street Office, 3076 University Av, 6:30pm, 1st Thursday. **Next meeting August 2.** The Subcommittee will be considering issues concerning Mission Ave. regarding prohibited island parking and narrowing of traffic to single lane.
3. **Policy/Community Relations**, Rob Steppke, North Park Main Street Office, 3076 University Ave., 6:30 pm, 2nd Wednesday. **Next meeting August 8.** Have been discussing bylaws. Website is developing nicely. Upcoming will be studying minidorms and posting requirements for subcommittees in light of the Brown Act.

XV. Liaison Reports

1. **Project Area Committee-** (Roger Lewis absent. Rob Steppke gave report.) New appointee Jordana Beebe. Discussion concerning park and public improvements with staff as well as design components and joint use with Jefferson Elementary.
2. **Public Safety & Neighborhood Services-** Stephen Whitburn. Murder on Friday July 13 on 30th street near Suncrest. Couple robbed, both shot and man killed. Suspect: Male, black, 20-30 years old with hooded sweatshirt and armed with a handgun. Light colored van seen leaving area. Sgt. Howard Labore taking over duties reviewing new and existing liquor licenses.
3. **Maintenance Assessment District.** Brenda Martin. Assessment Revision Reballot failed. Received 49% approval. Will be addressing how to spend reserves.
4. **North Park Parking Management Working Group-** (Rene Vidales absent. Chair gave report.) Did not meet.
5. **NP Parking Garage/Art Selection Working Group-** (Rene Vidales not present. Chair gave report.) Finishing up RFQ for artists to be distributed some time in August for San Diego County only.

6. **Balboa Park Committee Liaison-** Vicki Granowitz. Approved proposal by Old Globe to tear down Cassius Carter stage and ensuing new development. Heard from Mingei Museum regarding their plans to improve.
7. **North Park Main Street-** Ed Cronan. Commonwealth Café is only open until midnight, not 4:00 am as sign indicates. Farmers Market coming up July 19.
8. **Needle Facilitation Committee-** Vicki Granowitz. Did not meet in June or July.

XVI. Future Business Items

1. Rob Steppke will be seeking volunteers for Election Subcommittee.
2. Secretary Petersen will be out of the country at the time of the October Board meeting and is seeking a volunteer to take over the duties of Secretary for that meeting. He has authority to appoint someone, but is hoping someone will volunteer.
3. Elizabeth Studebaker noted that the PFPA Subcommittee should anticipate some crowding in the NPMS office due to the ongoing Farmers Markets on Thursdays.

XVII. Next Meeting on August 21, 2007

- XVII. Motion to Adjourn Petersen/Archiga10-0-0
Meeting adjourned at 8:20 pm.**

Submitted by:

Dean Petersen, Secretary.

Prospective Tenant Notice of Intent to Convert to Condominiums

"To the prospective occupant(s) of

3953 Florida Street, # 2D
(address)

The owner(s) of this building, at 3953 Florida Street (address), has filed or plans to file a tentative map with the City of San Diego to convert this building to a condominium. No units may be sold in this building unless the conversion is approved by the city and until after a public report is issued by the Department of Real Estate. If you become a tenant of this building, you shall be given notice of each hearing for which notice is required pursuant to Sections 66451.3 and 66452.5 of the Government Code, and you have the right to appear and the right to be heard at any such hearing.

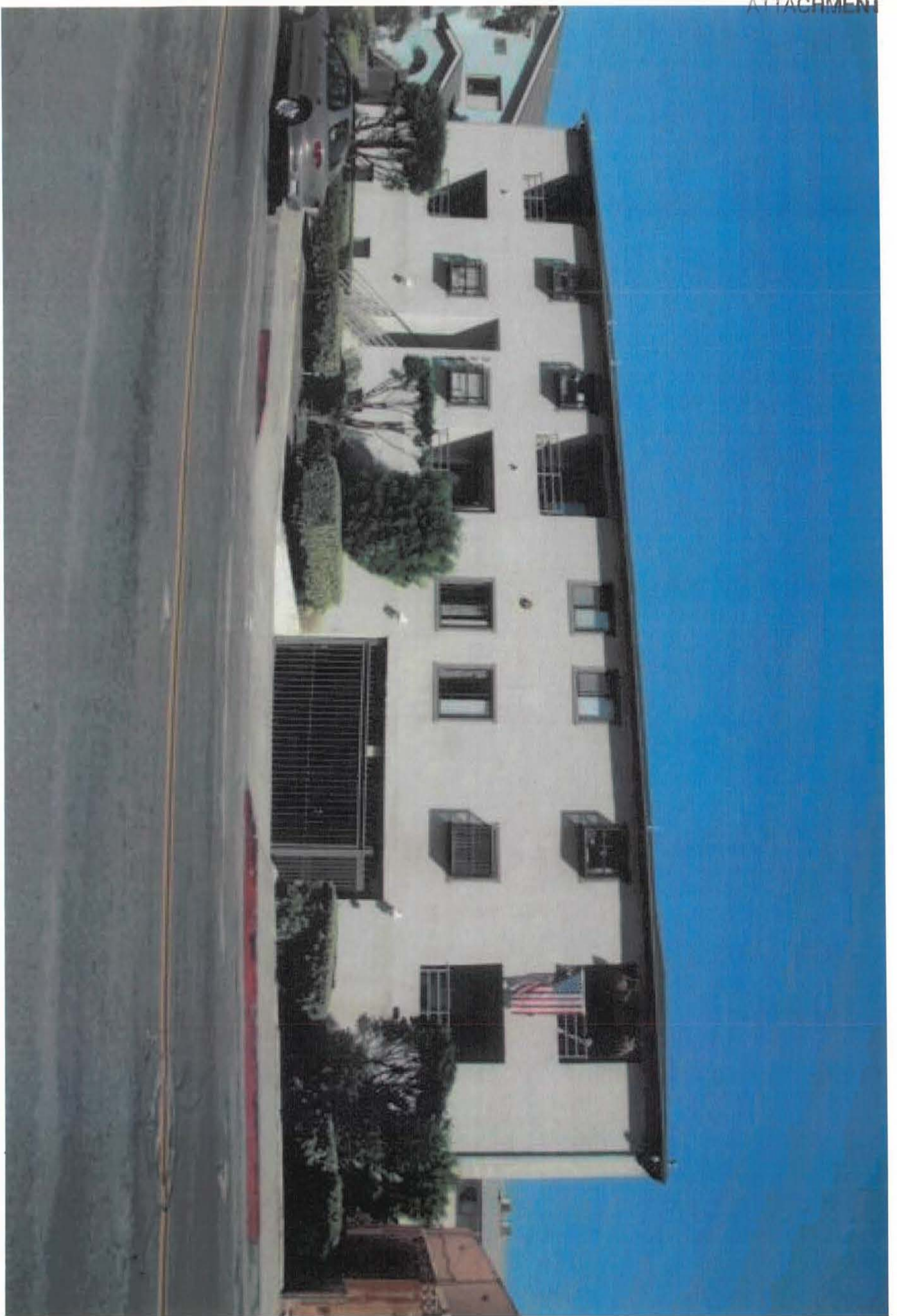
Should the condominium conversion project be approved, tenants may be required to vacate the premises

Mark White 12/6/05
(signature of owner or owner's agent) (dated)

I have received this notice on 12/6/05
(date)

[Signature]
(prospective tenant's signature)
Jung-Ya Szu







Building Condition Report

3953 Florida Street

San Diego, California 92104

**Prepared For
Lina Hsieh**

**Prepared By
Andy French
Accredited Inspection**

**And
Engineering by
Charles S. Thomas P. E.
DGB Survey and Mapping**

May 18, 2007
Ms Lina Hsieh
San Diego, California

Re: **Transmittal of Building Condition Report (BCR)**
3953 Florida Street
San Diego, California 92104

Dear Ms Hsieh:

Attached is one copy of the referenced report. Your receipt of this report completes our portion of this project. This BCR is based on a walk through observation of the subject property on June 5, 2006 and April 12, 2007 and the review of certain property related documents that you provided us.

We appreciate the opportunity of providing this inspection service to you and look forward to a continuing working relationship in the future. Should there be any questions regarding this project, please contact Andy French at 888-360-1597 or Charles S. Thomas at 619-422-7269.

Sincerely,



Andy French
Accredited Inspection
2543 Boundary Street
San Diego, California 92104
Master CREIA Inspector #0041
CSLB General Contractor License # 669349



Charles S. Thomas PE
DGB Survey and Mapping Inc.
23 ½ Naples Street
Chula Vista, California 91911

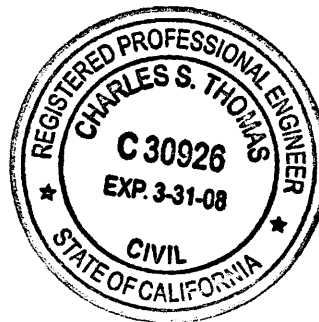


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1.0 EXECUTIVE SUMMARY

1.1 General Description

AF Tech/Accredited Inspection completed a Building Condition Report (BCR) of the multi-dwelling complex at 3953 Florida Street, San Diego, California 92104, at the request of the owner. As part of the BCR, an on-site walk through observations was made on June 5, 2006 accompanied by the apartment manager and John Schaibly, the inspector's assistant.

The subject property has one apartment building containing 18 apartment units. There is a separate laundry building. Four of the units had 1 bedroom, and 1 bathroom and there were 14 two bedroom units, 8 with 1 ½ bathrooms and 6 with 1 bathroom. Additionally, the subject dwelling complex includes a few parking spaces at the alley, a subterranean garage, a laundry room, and associated hardscape and landscape. Construction drawings were available for review. The subject property was developed in 1988. It is situated on a rectangular lot in the City of San Diego, California.

The building was wood framed with stucco exteriors. The interior walls and ceilings were covered with gypsum board drywall. There were asphalt shingle roofs. The roof slope was approximately 4 in 12.

There was one master water meter located at the northwest corner. The building had its own water shut off, a 2-inch ball valve. There are sub-meters for the water. There was a pressure regulator and backflow preventer. There was an exterior irrigation system.

Hardwired smoke detectors are installed at each of the apartments, and the public areas of the building had fire extinguishers. The building had no automatic fire sprinkler system.

Unit Mix

Number of units	Bedrooms	Bathrooms
4	1	1
8	2	1.5
6	2	1

1.2 General Physical Condition

The subject property appears well maintained and in overall good condition with some defects noted in the following sections of the Report. The building was initially constructed of durable materials with serviceable techniques. It is our opinion that the subject property is comparable to other similar properties of similar age in this area and, subject to a continued program of sustained

preventative maintenance, the remaining economic life of the subject apartments should exceed 40 years.

Although the load bearing and horizontal resistance components appear to have complied with the construction standards at the time of the original placement of the building, today's standards have increased due to studies of earthquakes that have occurred since the codes were adopted for the timeframe of the original construction. That said, this was an early-90s constructed building. There was design attention paid to horizontal earthquake forces affecting the structure. There seems to be no reason to tear apart the current construction to achieve a nominal increase in earthquake resistance.

Longevity Table

Building System	Nominal Service Life	Actual Age	Reaming Service
Roof	25	19	6
Foundation	60-80	19	41-61
Exterior finishes	10-15	19	0-1
Electrical panels	40	19	21
Windows and doors	25-40	19	6-21
Wall Heaters	25	19	6
Original Appliances	10-20	0-19	10-1
Water Heaters	15	4-8	7-11
Water, gas, and sewer lines	40-60	3-19	37-41
Interior finishes	5-10	0-19	0-9

1.3 Recommended Immediate Repairs

Deferred maintenance and physical deficiencies for which actions are recommended represent potentially unsafe conditions, material code violations, and items that require corrective works on a higher priority than routine work. Based upon observations conducted during the property visit, the following objectionable property conditions that require immediate corrective works were identified:

Item	Quantity	Unit Cost	Immediate Cost
Include visual signaling smoke alarms in the bedrooms, renew the hall smoke alarms with visual signaling models, add GFI protection at the kitchen counters (2 per unit, typically), add GFI protection outside and for the garage receptacles.	70	25	1,750
Physically remove light efflorescence and staining in the garage.	1 lot	300	300
Clean the wall furnaces, and check performance.	18	50	900
Recommission the carbon monoxide exhaust	1	2500	2,500

system in the garage.			
Replace about 1/3 of the window screens.	40	20	800
Plumbing repairs including repairing cracks on bathtubs and replacing worn lavatories.	6	300	1,800
Patch holes in the draft stop between units in the attics.	6	250	1,500
Total			\$9,550

Note: Above works should be completed within one year.

1.4 Recommended Short Term and Intermediate Term Repairs

The following objectionable property conditions need to be corrected within the next five (5) years before they evolve into more costly repair/replacement items:

ESTIMATED COST: Exterior repairs and upgrades including, drainage improvements at the courtyard with new liners on the planters. Grind some concrete where there are trip hazards. Remove the ficus trees near the building. Code upgrades on the stairway and balcony guardrails. Replace the doors on the water heater cabinets on the north and south side. Adjust irrigation system. \$25,000

ESTIMATED COST: Color coat the existing stucco. It will need power washing and some patching/repair prior to color coating. Light repairs on the exterior wood. \$30,000

ESTIMATED COST: New carpet and floor covering in the typical unit. Some are about 1 year old. Paint walls and ceilings in a few units. Misc. interior upgrades. Cabinets and countertops are not anticipated to be replaced. Add drywall on walls between units. Repair drywall in the attic draftstops. \$36,000

ESTIMATED COST: Replace or repair the fencing. \$7,500

ESTIMATED COST: Replace a few electrical sub-panels. \$2,500

TOTAL: **\$101,000**

We understand that the apartment units will be substantially renovated. Renovation will include replacement of carpet and flooring, repair/replacement of bathroom fixtures, replacement of kitchen appliances, repair/replacement of windows and doors, replacement of smoke detectors, repair/replacement of bath tubs..., etc. on an as-need basis. It is DGB Survey and Mapping/Accredited Inspection's opinion that following the recommended repairs and renovation, the subject property will be fully serviceable and capable of being maintained with normal efforts.

2.0 SCOPE OF WORK

Scope of Work for this PER is based upon the following outline, taken from the City's conversion instructions:

A. Buildings

1. Roofs
2. Foundations
3. Walls, Windows and Doors
4. Exterior Paint and Woodwork
5. Plumbing & Water Heaters
6. Mechanical
7. Electrical
8. Appliances
9. Energy & Insulation
10. Accessibility
11. Sound and Fire Ratings

B. Common Area

1. Pavement
2. Walkways
3. Landscaping/Plantings
4. Irrigation System
5. Swimming Pool/Spas/Saunas
6. Trash Areas
7. Mechanical
8. Electrical
9. Exterior Common Area Lighting
10. Walls and Fences
11. Drainage Facilities
12. Landscaping and Plantings
13. Irrigation System
14. Swimming Pool/Spa
15. Common Recreation Rooms
16. Trash Areas
17. Mechanical
18. Electrical
19. Exterior Common Area Lighting
20. Walls and Fences
21. Drainage Facilities

3.0 SALIENT INFORMATION

Project	LH-02-06
Property Name	Hsieh Florida Street Apartments
Property Address	3953 Florida Street, San Diego, San Diego County, CA 92104
Year Built	Approx. 1988
Year Renovated	No major renovations have been made.
Zoning	MCCPD-MR-800B
Occupancy Group	Apartments: R-1 Garage: B-1
Construction Type	VN, Not fire-sprinklered
Number of Buildings	2
Number of Apartments	18
Occupancy Rate	100%
Number of Stories	2
Basement	Subterranean garage under apartment building.
Size of Apartment	Various.
Total Building Area	Approximately 18,850 square feet Including 5200 square feet in the garage
Number of Parking Spaces	28
Property Visit Date	June 5, 2006 and April 12, 2007
Property Visit Conducted by	Andy French, General Contractor Master CREIA Inspector #0041
Accompanied By	Manager John Schaibly, Inspector's Assistant
Weather	Clear, low 60s to low 70s

SYSTEM DESCRIPTION AND OBSERVATION

A. Buildings

1) Roofs

Description. The current roof appears to be original and therefore is 19 years of age. It can be expected to have a nominal life of 20-25 years.

Observations/Comments:

The roof had laminated architectural shingles. The sheet metal at the edge does not extend over the gutter allowing water to penetrate the roof edge in many places. Additional flashing is suggested at these locations.

There were aluminum gutters and downspouts. The downspouts were partially clogged. They drained into flowerbeds that may not have adequate drainage.

On the east side of the west roof, there were gaps near the valleys allowing rodents to enter the attic. These should be patched.

2) Foundation

Description: Original plans and specifications were reviewed. The garage area has a concrete footing under the concrete block walls. The walls are in retention of about 4-5 feet of soil on the north and south sides and about 8 feet on the east. The west side of the garage was essentially level between the slab and the exterior grade. The balance of the property have perimeter footings, placed monolithically with concrete slabs-on-grade. Doors and windows fit their frames reasonably well. The doors did not systematically swing on their own. The floors were generally level, however no slab level survey was conducted.

Observations/Comments: Visible portions of the foundations were observed to be in good condition. No cracks were seen in the stem wall. Walls and ceilings showed less buckling and cracking than normal indicating that slab movement or cracking is not significant. The footings appeared to have been properly sized. The foundation bolt details would not comply to today's larger bolt sizing, but the new 4 foot spacing issue is in compliance, per the plans.

There are retaining walls on the north and south boundary lines. No leaning or bowing was observed. Visually they appear to comply with the construction drawings.

The plans called for water proofing on the garage walls, and some retaining walls. This was not verifiable without intrusion. Very little efflorescence was seen on the inside of the garage walls however.

3) Walls, Windows and Doors

Description: Exterior walls of the apartment building were observed to be constructed of painted wood trim and stucco. Typically, the stucco is over lath on building paper. There may be plywood backing on wood studs on parts of the exterior wall area. Window and door openings are likely to have been reinforced with trimmer studs. The interiors were clad in 5/8" thick gypsum drywall. The second floor had a lightweight concrete substrate.

The front doors are insulated metal doors with a door knob and dead bolt hardware. Interior doors are typically of hollow core units. Windows are of aluminum framed glass sliding units with single pane glazing. Aluminum framed sliding glass doors are provided for all patios. Steel guardrails are provided for the patios and second floor landings.

Stairways, landings and balconies had metal pipe railings.

Observations/Comments: No significant distresses were noted on the walls. The walls remain to be straight, in line and plumb. Most had fresher paint with the exception of 1 unit.

In response to a question from the City Reviewers, it is not known what the total extent of drywall removal will be at this point. It almost certainly will exceed the \$1000 figure mentioned in the question, although the question was not clear whether \$1000 of drywall was the threshold for \$1000 of other work. It is understood that a building permit will be needed for most of the upgrades mentioned herein.

Window Egress: The bedroom windows are in compliance with the current standards for fire egress and fire rescue. There are not more than 44 inches to the sill from the floor. The minimum net clear width is at least 20 inches and the minimum net clear vertical opening is at least 24 inches. The windows also have at least 5.7 square feet of net openable space.

Generally, exterior walls appeared reasonably maintained and in good to fair condition. Stains were observed along the lower portion of the exterior walls at several locations. This appears to be caused by irrigation in some cases and roof runoff in others. The irrigation system should be thoroughly examined and necessary repairs and adjustments should be made to avoid hitting the wall. A head was missing in the front yard.

The fire extinguishers were located within 75 feet of each front door. They have recently been serviced.

The interior walls appear to be 5/8 inch thick gypsum board drywall. This results in the building being 1 hour rated for fire protection purposes. There was only one layer of drywall on each side of the wall between units (at the dining rooms typically). No added firewall thickness was observed. Adding a second layer at these locations is recommended.

Walls were seen in the attic, extending to the roof providing a draft stop separation between all units. In some cases there were holes that need to be taped to improve isolation.

The pipe railings do not conform to current standards. The horizontal rails allow unsafe climbing and are too widely separated. The gap between the bottom rail at the stairs allow passage of a 6" ball, adding an additional bottom rail is needed. A metal mesh liner may be the best solution to the climbing issue. There is approximately 150 linear feet of rail to be modified.

Windows were single pane aluminum. No solar film was noted. Approximately 1/3 of the screens were damaged or missing.

In approximately half of the units, the living room window was closer than 24 inches from the front door. The current standard requires tempered glass in these locations whenever the glass is replaced.

Interior ceilings and walls had light textured paint. No stains from current leaks were seen.

The kitchen ceilings on ground floor units were bowed sagging approximately 1 inch over 8 feet (e.g., units A, B and F). They appear to be sound attenuated drywall over resilient channels. This seems to be more of an esthetic issue than a structural weakness.

Most living room ceilings had patches showing. The manager explained that the holes were made when water was re-piped (within

the last 5 years). The holes need patching. The original piping was Qest polybutylene.

4) Exterior Paint and Woodwork

Description: The exterior typically was covered by painted stucco. Exterior painted surfaces include the stair and balcony railings, stucco, and wood trim.

Observations/Comments: Most surfaces have existing coatings which are serviceable except for outside window trim that needs repainting.

On the northwest corner wood damage was seen on the fascia. A pest control inspection is recommended.

There were stains under some second floor balconies and support posts had cracks. These were caused by old leaks and have been addressed by resurfacing the balconies.

The outside stucco needs power cleaning, and a color coat to address staining and discoloration.

The upper patio had a concrete surface with some planters. There were also some areas where planters have been removed. Some of this area shows aging. Near the stairway coming from the street there was evidence of ponding. The ceiling of the garage, below this area, has a few areas indicating water penetration. It appears that the waterproof liners in the planters are not adequate. Its anticipated that this area would be reconfigured in the conversion process.

The water heater enclosures extend within the setback provisions of the property lines along the north and south. Replacing the doors with noncombustible construction is suggested. The flashing where the roofs of these enclosures butt to the stucco should be addressed when the color coat is done.

5) Plumbing and Hot Water Heaters

Description: The plumbing system has been re-piped with copper water lines, ABS plastic drains in the attics, and on the interior black iron gas piping. There were stainless steel kitchen sinks, typically cultured marble bathroom lavatories, low flow or ultralow flow toilets. There were fiberglass bathtubs.

The building drains appear to connect with the municipal sewer. There were cleanouts observed on the exterior walls and on grade. The building drains were four inch diameter as seen in the garage.

There was a water shutoff at the northwest corner of the building. It was 2 inches in diameter.

Each unit had its own water heater located in exterior enclosures. Most were dated between 1996 and 2001.

There were 19 gas meters at the back of the building on the alley. This would be one for each unit as well as one for the laundry area.

Bathrooms had cultured marble sinks integral with vanity tops. Bathtubs were fiberglass with tempered glass doors. Toilets were 1.6 gallon/flush.

Observations/Comments: There was a backflow prevention device and a water pressure regulator at the northwest corner.

The water heater enclosures protrude within 2 feet from the property boundary. Although a few are the original from 1993, most have been replaced. The newer ones are mostly American or GE brand. Water heaters are 30 gallon rated and typically 32,000 BTUs per hour. They are currently serviceable although there were some stains inside the enclosures from old vent leaks.

None of the water heaters were strapped or blocked. Upgrade is required.

Underground gas pipe sections were seen for each unit. These should be pressure tested by a qualified plumber now and every 5 years.

Approximately half of the cultured marble lavatories have crazed surface cracking. They need to be replaced.

Three bathtubs were cracked and need patching and painting.

6) Mechanical

Description: Each unit had its own gas fired wall furnace. They were rated at 25,000 BTUs/Hour except for 1 that was 35,000. 7 were less than 5 years old and 11 were original. All thermostats were on the heater. The manager told us there was some tenant dissatisfaction with the accuracy of these thermostats.

There were bathroom exhaust fans. The kitchen range hoods were recirculating. Some bathrooms had windows, some did not.

There were ceiling fans in each dining area. There was no air conditioning.

Observations/Comments:

Old wall heaters had no high limit switches, but did have 100% safety gas valves which shut flow to the pilot if the pilot goes out. New heaters had both. Most of the wall heaters were dirty.

7) Electrical

Description: The building has a 400 amp, 240 volt, 1 phase electrical service located at the alley in back. Each unit had its own meter and 30 amp main breaker located on the exterior of its building. The "house" panel had a 100 amp breaker. The main panels and the subpanels were GE brand. The building was served with overhead wiring from the SDG&E utility lines. The interior wiring was plastic sheathed cable. Some feeders were #6 aluminum and some were #10 copper. All interior wiring within the units was copper, where observed.

No GFCI outlets were seen in kitchens.

There were functioning electric doorbells. There were ground fault circuit interrupters at the bathrooms but not the kitchens. There was no ground fault circuit interrupter protection for the exterior receptacles. There were smoke alarms in the hall of each unit, although some did not function. There was a building fire alarm system.

Observations/Comments: Upgrading the ground fault circuit interrupter protection to include all receptacles serving the kitchen counters and all exterior and garage is recommended. Bathroom GFCI outlets often controlled the lights. Current standards require the restroom GFCI outlet on a circuit limited to serving restroom.

Adding smoke alarms in each sleeping room and replacing any nonfunctioning smoke alarms in the hallways is recommended. The new smoke alarms are allowed to be battery operated but the original replacements will be required to be permanently wired as part of the conversion. All of the smoke alarms need lights for visual signaling.

Two sub-panels were opened, and they showed moderate to heavy drywall/paint splatters on the bus bars. Further evaluation of the condition of the circuit breakers (e.g., no overheating or electrical

arcing) is recommended. During the conversion, any damaged panel would need to be replaced. The manufacturers of electrical panels do not allow cleaning of the bus bars, as that process would remove the conductive coatings on the surface of the metal.

The current standards call for dedicated circuits for dishwasher, microwave, bathroom outlets and smoke detectors. This would require adding 4 circuits to each unit.

8) Appliances

Description: Each kitchen had a gas range, refrigerator, microwave, dishwasher and garbage disposal.

Kitchen cabinets had hardwood face frames, the doors had with plywood inserts, and there were particle board shelves. The cabinet tops were Formica.

Observations/Comments: Most appliances had been replaced within the last 3 years. Exceptions were 2 older ranges, 4 older refrigerators, and 2 worn out disposals.

Ranges did not have anti-tip devices. The range hoods were recirculating versus exhausting.

Cabinets and countertops were in serviceable condition although some drawer guides need replacing.

9) Energy and Insulation

Description: The building was insulated in the attic to approximately R-19 standards. The building plans indicated insulation in the exterior walls. There were some insulation between units indicated in the plans also.

Observations/Comments: The building was insulated with between 6 and 8 inches of loose fill fiberglass insulation. It seems likely that the building would come close to meeting current standards, but because these are a performance rather than prescription standard, a separate analysis would be needed as part of the permit process. Standards have tightened since the original construction.

Tinted windows on the south and west facing sides of the building would be desirable. However dual pane glazing is recommended if the windows are to be replaced during the conversion process. It is not

known at this time whether the conversion will include upgrading these windows.

10) Accessibility

Description: The floor downstairs units at the east have wheelchair accessibility from the parking area to the front doors. These were also built as "B" units, with wider doors, corridors to accommodate wheelchair spacing, and according to the plans backing in the bathrooms for future handrails.

Observations/Comments: At this point, no additional alterations for accessibility seem to be needed. Any of these four units could be converted to full accessibility, should a future buyer or occupant need such features, much cheaper than conventional units.

10) Fire and Sound Ratings

Description: The building had no fire sprinkler system. 5/8" thick drywall was observed on ceilings and walls of the typical unit. This gives a 1 hour rating to the building. Draft stop separations were observed in the attics. Roof overhangs were called out to have 5/8" gypsum board under the stucco.

Sound ratings between units (STC 51 and 56 for walls) were found for wall assemblies in the plans. Although it appears that the construction complies with the drawings, some intrusive evaluation would be required to determine full compliance with the plans. Where resilient channels were provided on the ceiling, similar floor/ceiling assemblies have a 50 to 54 STC rating. No ratings were found for the floor/ceiling assemblies without resilient channels.

Observations/Comments: The separation between units would have 2 layers of drywall typically in today's standards. This is recommended during the conversion process. Attic draftstops need patching.

No exterior wall sound design was indicated on the plans, but they

B. Common Area

11) Pavement and Walkways

Description: A concrete parking lot was located at the east side of the property with 9 spaces accessible from the alley. It was connected to the courtyard areas with concrete paving. A parking garage was

located under the front part of the building with 19 well marked spaces (18 available for use).

There was an upper courtyard near the front of the building over the garage and a lower courtyard under the east half. Both were concrete with planters against the building.

Observations/Comments: The concrete block walls of the garage had small patches of surface efflorescence near the bottom of the walls and one patch high on the wall on the east side. This has not yet damaged the surface of the blocks.

The site concrete had cracks, some of which require grinding to avoid trip hazards. There were several drains in the upper courtyard that are trip hazards. They need new cover grills that are flush with the concrete.

Water appears to pond in many areas, some near unit doors (e.g., outside unit E where penetration was noted).

12) Landscaping/Plantings

Description: There were planters around the courtyards against the building containing shrubs and 19 year old trees.

Observations/Comments: Ficus trees should be removed from locations close to buildings. The roots can destroy planter structures and even the foundation.

Drainage from the planters did not appear to be adequate given that downspouts empty into them. Waterproofed lining material on at least 3 planters had pulled away from the container. These need to be emptied and the waterproofing flashed to the container before refilling with soil/plants. No evidence was seen of current leakage into the units.

13) Irrigation System

Descriptions: There was an automatic sprinkler system for the project. There were 4 zones. The controllers were in the laundry room and garage.

Observations/Comments: The sprinklers were tested manually. The zone nearest the laundry room did not function probably due to a clog.

The south zone in the front did not appear to function. In the north front zone, at least one head was missing.

Sprinklers hit the building in all functioning zones. Adjusting the sprinkler system to prevent any further damage should be an immediate concern.

14) Swimming Pool/Spa

Description: None.

Observations/Comments: NA

15) Common Recreation Rooms

Description: There are no common recreation rooms in the subject property, although there is a small laundry building with 3 washers and 3 dryers owned by the complex.

Observations/Comments: Dryers and 1 washer were older and 2 washers were newer. Room had ceramic tile floor and drywall walls and ceiling.

16) Trash Areas

Description: An area near the alley was designated for a trash dumpster.

Observations/Comments: Trash area appeared clean and without objectionable odor. The area appears to be serviceable.

17) Mechanical

Description: The garage had an exhaust fan system with automatic controllers.

There was a building fire alarm system with exterior bells and annunciators in each apartment unit.

The garage door had a ½ HP opener. The photoelectric and pressure interrupts functioned properly.

Observations/Comments: The garage exhaust system functioned when manually tested. It needs service for loud vibrations. Its sensors do not appear to have been serviced. The system is not in current operation.

The building fire alarm system was outside the scope of this inspection.

18) Electrical

See A7 for details.

19) Exterior Common Area Lighting

Description: Lighting for these areas is provided by building wall mounted photoelectrically controlled lighting fixtures and at the stairways.

Observations/Comments: The property was not observed at night, but it appears that lighting is provided for proper illumination of the site at night.

20) Walls and Fences

Description: The property has older wood fencing on the north and south. There were metal gates serving the courtyard.

There is a retaining wall on the south side under the wood fence.

Observations/Comments: The fence has wood damage but is serviceable for the present. The retaining wall on the south side was not totally visible but appeared to be straight and undamaged.

The metal fence around the front yard is not secure and needs repair/replacement.

21) Drainage Facilities

Description: On-site drainage is on the surface concrete of the courtyards and on the south end of the parking area in back. The garage had a trench drain at the door (west side) and a sump pump at the lowest point (east side).

Observations/Comments: Drainage systems of the property generally appear to have positive slopes that lead water away from the building structures and towards the collection devices.

Water appears to pond in many areas, some near unit doors (e.g., outside unit E where penetration was noted). Penetration through the garage ceiling below also was noted near unit E.

Drainage should be observed during a rainstorm to further identify drainage issues.

C. PICTURES



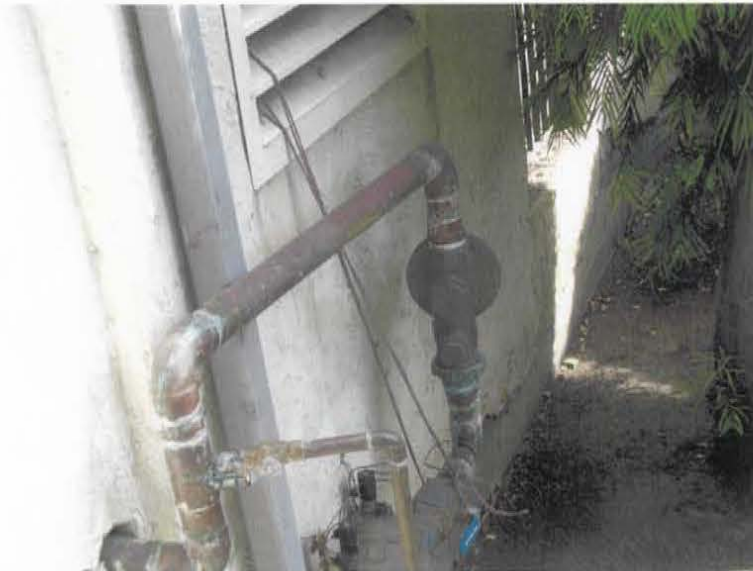
Electric service, including the Fire Alarm



Part of garage exhaust system, which needs to be recommissioned.



Courtyard view



Water service area, including backflow and water pressure regulator.



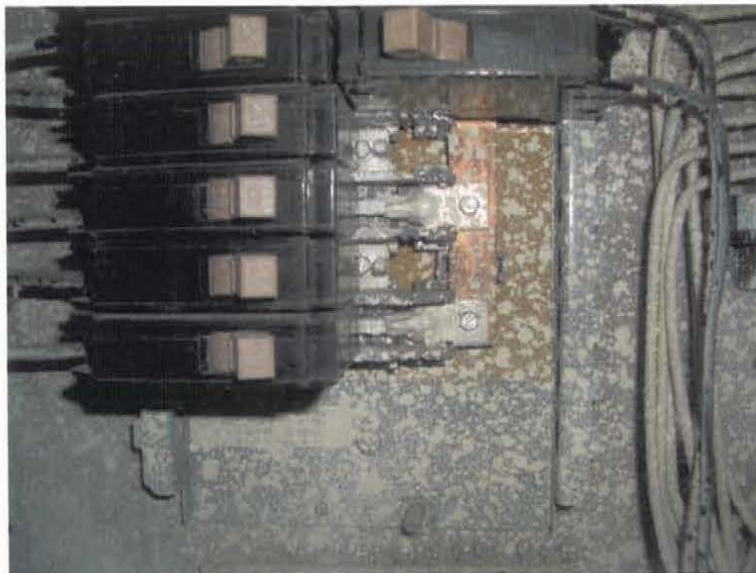
Light wear showing on the asphalt shingles.



Typical kitchen, newer appliances



Typical bathroom.



Splatters on interior of an electrical subpanel.
Further evaluation needed,
but some panels will need replacement.
END