

RECORDING REQUESTED BY

CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

**PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501**

 SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 42-1005

PLANNED DEVELOPMENT PERMIT NO. 8075
PLAYA DEL SOL (MMRP) PTS 4925
CITY COUNCIL

This Planned Development Permit No. 8075 is granted by the City Council of the City of San Diego to Pardee Homes, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0600. The 45.97 acre site is located at south of Ocean View Hills Parkway, north of State Route 905, and west of A Street in the RM-3-7 zone within the California Terraces Precise Plan (Planning Area 6) and the Otay Mesa Community Plan area. The project site is legally described as the Northwest Quarter and a portion of the South Half of Section 30, Township 18 South, Range 1 West, and a portion of the Southeast Quarter of the Northeast Quarter of Section 25, Township 18 South, Range 2 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California.

Subject to the terms and conditions set forth in this Permit, permission is granted to Pardee Homes, Owner/Permittee to a construct 1,578-unit condominium project that consists of six, three-story buildings and ten four-story buildings with each building having two levels of underground parking, three approximately 9,608-square-foot recreational buildings, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [INSERT Approval Date], on file in the Development Services Department.

The project shall include:

- a. 1,578-unit condominium project consisting of six three-story buildings and ten four-story buildings with each building having two levels of underground parking;
- b. Three approximately 9,608 square-foot recreational buildings;
- c. Deviations:

Height: The RM-3-7 height limit is 40-feet, 58 feet is approved.

Setbacks:

Lot 1:

The RM-3-7 zone requires a street side yard setback of 76 feet (or 10 percent of the lot width) along Otay Mesa Road, 30 feet is approved.

The RM-3-7 zone requires a street side yard setback of 76 feet (or 10 percent of the lot width) along the northern side of the lot, 15 feet is approved.

Lot 2:

The RM-3-7 zone requires a street side yard setback of 76 feet (or 10 percent of the lot width) along Street "A", 20 feet approved.

The RM-3-7 zone requires a side yard setback of 76 feet (or 10 percent of the lot width) along the western side of the lot, 12 feet is approved.

Lot 3:

The RM-3-7 zone requires a street side yard setback of 75 feet (or 10 percent of the lot width) along Del Sol Boulevard, 40 feet is approved.

The RM-3-7 zone requires a side yard setback of 75 feet (or 10 percent of the lot width) along the southeastern side of the lot, 15 feet is approved.

- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.

2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. In accordance with authorization granted to the City of San Diego from the United States Fish and Wildlife Service [USFWS] pursuant to Section 10(a) of the ESA and by the California Department of Fish and Game [CDFG] pursuant to Fish and Game Code section 2835 as part of the Multiple Species Conservation Program [MSCP], the City of San Diego through the issuance of this Permit hereby confers upon Owner/Permittee the status of Third Party Beneficiary as provided for in Section 17 of the City of San Diego Implementing Agreement [IA], executed on July 16, 1997, and on file in the Office of the City Clerk as Document No. OO-18394. Third Party Beneficiary status is conferred upon Owner/Permittee by the City: (1) to grant Owner/Permittee the legal standing and legal right to utilize the take authorizations granted to the City pursuant to the MSCP within the context of those limitations imposed under this Permit and the IA, and (2) to assure Owner/Permittee that no existing mitigation obligation imposed by the City of San Diego pursuant to this Permit shall be altered in the future by the City of San Diego, USFWS, or CDFG, except in the limited circumstances described in Sections 9.6 and 9.7 of the IA. If mitigation lands are identified but not yet dedicated or preserved in perpetuity, maintenance and continued recognition of Third Party Beneficiary status by the City is contingent upon Owner/Permittee maintaining the biological values of any and all lands committed for mitigation pursuant to this Permit and of full satisfaction by Owner/Permittee of mitigation obligations required by this Permit, as described in accordance with Section 17.1D of the IA.

8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

9. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit is required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

12. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

13. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

14. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Addendum to Environmental Impact Report No. 86-1032, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

15. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Addendum to Environmental Impact Report No. 86-1032, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

Transportation/Traffic Circulation; Noise; and Paleontological Resources.

16. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

ENGINEERING REQUIREMENTS:

17. The Planned Development Permit shall comply with the conditions of the Final Map for Playa del Sol and Vesting Tentative Map No. 551809.

LANDSCAPE REQUIREMENTS:

18. No change, modification or alteration shall be made to the project unless appropriate application or amendment of this Permit shall have been granted by the City.

19. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee/Owner or subsequent Owner(s) to install all required landscape and obtain all required landscape inspections. A No Fee Street Tree Permit, if applicable, shall be obtained for the installation, establishment and on-going maintenance of all street trees.

20. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards (including planting and irrigation plans, details and specifications) shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A", Landscape Development Plan, on file in the Office of Development Services.

21. Prior to issuance of any construction permit for parking structures, the Permittee/Owner or subsequent Owner(s) shall submit on the planting and irrigation plans a signed statement by a Registered Structural Engineer indicating that supporting structures are designed to accommodate the necessary structural loads and associated planting and irrigation.

22. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

23. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way and median (if applicable) improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40-square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

24. Prior to any grading (building permit) the Permittee/Owner or subsequent Owner(s) shall enter into a Landscape Maintenance Agreement for all landscape improvements. The Landscape Maintenance Agreement shall be approved by the Landscape Section of Development Services and the City Manager.

25. The Permittee/Owner or subsequent Owner(s) shall be responsible for the installation and maintenance of all landscape improvements consistent with the Landscape Regulation and Landscape Standards. Invasive species are prohibited from being planted adjacent to any canyon, water course, wetland or native habitats within the city limits of San Diego. Invasive plants are those which rapidly self propagate by air born seeds or trailing as noted in section 1.3 of the Landscape Standards.

PLANNING/DESIGN REQUIREMENTS:

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee or subsequent Owner(s).

27. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

28. The Owner/Permittee or subsequent Owner(s) shall post a copy of the approved discretionary permit or Vesting Tentative Map in the sales office for consideration by each prospective buyer.

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

30. On Lot 1 the Municipal/Land Development Code requires no fewer than 1,067 automobile, 26 accessible parking spaces (of which four (4) must be van accessible parking spaces), 272 bicycle parking spaces, and 51 motorcycle parking spaces. Pursuant to the Project's Exhibit "A", Subdivider currently proposes to exceed the Municipal/Land Development Code requirement with 1,119 off-street automobile parking spaces, including 36 accessible parking spaces (of which six (6) are van accessible parking spaces), 300 bicycle parking spaces with racks, and 54 motorcycle parking spaces. Subdivider has the right to reduce the number of spaces below the amount shown on Exhibit "A", subject to the satisfaction of the Development Services Department as to space configuration, but at all times Project shall comply with the minimum requirements of the Municipal/Land Development Code.

31. On Lot 2 the Municipal/Land Development Code requires no fewer than 1,169 automobile, 27 accessible parking spaces (of which four (4) must be van accessible parking spaces), 298 bicycle parking spaces, and 56 motorcycle parking spaces. Pursuant to the Project's Exhibit "A", Subdivider currently proposes to exceed the Municipal/Land Development Code requirement with 1,230 off-street automobile parking spaces, including 38 accessible parking spaces (of which 6 are van accessible parking spaces), 310 bicycle parking spaces with racks, and 58 motorcycle parking spaces. Subdivider has the right to reduce the number of spaces below the amount shown on Exhibit "A", subject to the satisfaction of the Development Services Department as to space configuration, but at all times Project shall comply with the minimum requirements of the Municipal/Land Development Code.

32. The Municipal/Land Development Code requires no fewer than 1,047 automobile, 26 accessible parking spaces (of which four (4) must be van accessible parking spaces), 266 bicycle parking spaces, and 50 motorcycle parking spaces. Pursuant to the Project's Exhibit "A", Subdivider currently proposes to exceed the Municipal/Land Development Code requirement with 1,158 off-street automobile parking spaces, including 40 accessible parking spaces (of which 7 are van accessible parking spaces), 370 bicycle parking spaces with racks, and 53 motorcycle parking spaces. Subdivider has the right to reduce the number of spaces below the amount shown on Exhibit "A", subject to the satisfaction of the Development Services Department as to space configuration, but at all times Project shall comply with the minimum requirements of the Municipal/Land Development Code.

33. Prior to the issuance of the first building permit in each of Lots 1, 2, and 3, a Mutual Access Agreement shall be recorded among all parcels, satisfactory to the City Engineer.

34. Prior to the issuance of the building permit, the applicant shall provide a fair-share contribution of 8.7 percent of the cost to construct an additional southbound lane at the future SR-905/Caliente Avenue WB on-ramp (Year 2008 estimated cost of \$24,000) to be provided if the required improvement is not fully funded. This fair-share contribution shall be placed in a separate interest bearing account and shall be transferred to Caltrans at the time of need, satisfactory to the City Engineer.

35. Prior to the issuance of the building permit for the 983rd residential unit, the applicant shall provide a fair-share contribution of 3.0 percent of the cost to construct one High Occupancy Lane (HOV) in each direction, on future SR-905 between Heritage Road and Interstate 805 (Year 2008

(HOV) in each direction, on future SR-905 between Heritage Road and Interstate 805 (Year 2008 estimated cost of \$270,000) to be provided if the required improvement is not fully funded. This fair-share contribution shall be placed in a separate interest bearing account and shall be transferred to Caltrans at the time of need, satisfactory to the City Engineer.

36. Prior to the issuance of the building permit for the 983rd residential unit, the construction of the traffic signal and appropriate interconnect at Otay Mesa Road and Street "A" shall be assured by permit and bond, satisfactory to the City Engineer. This signal shall be constructed after Otay Mesa Road is transferred back to the City of San Diego. In the interim, Street "A" should be restricted to right in/right out at Otay Mesa Road.

WASTEWATER REQUIREMENTS:

37. All proposed onsite sewer facilities will be private.

38. Prior to the issuance of any building permit, the Permittee Owner/Permittee or subsequent Owner(s) shall assure, by permit and bond, the design and construction of all sewer facilities necessary to serve this development.

39. Prior to the issuance of any building or engineering permits, the Permittee/Owner or subsequent Owner(s) shall provide, satisfactory to the Metropolitan Wastewater Department Director, CC&Rs for the operation and maintenance of private sewer facilities that serve more than one ownership.

40. Prior to the applicant obtaining an Encroachment Maintenance and Removal Agreement, no private sewer facilities shall be in or over any public right-of-way.

41. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

42. The Owner/Permittee or subsequent Owner(s) shall design all proposed public sewer facilities to the most current edition of the City of San Diego's Sewer Design Guide.

WATER REQUIREMENTS:

43. Prior to the issuance of the first building permit, the Owner/Permittee or subsequent Owner(s) shall assure, by permit and bond, the design and construction of public water facilities as identified in the accepted water studies for California Terraces/Ocean View Hills necessary to serve this development, in a manner satisfactory to the Water Department Director and the City Engineer.

44. Prior to the issuance of any building permits, the Owner/Permittee or subsequent Owner(s) shall assure, by permit and bond, the design and construction of new irrigation water service(s) in a manner satisfactory to the Water Department Director and the City Engineer. All private on-site irrigation systems shall be designed to utilize reclaimed water. The system shall be designed

to allow the conversion from potable to reclaimed water service and avoid any cross connections between the two systems.

45. Prior to the issuance of any building permits, the Owner/Permittee or subsequent Owner(s) shall grant adequate water easements over all public water facilities that are not located within fully improved public rights-of-way, satisfactory to the Water Department Director and the City Engineer. Easements, as shown on approved Exhibit "A", will require modification based on standards at final engineering.

46. Prior to the issuance of any building permits, the Owner/Permittcc or subsequent Owner(s) shall provide Encroachment Removal and Maintenance Agreement (EMRA) for all public water facilities located within the proposed easement.

47. Prior to the issuance of any building permits, the Owner/Permittee or subsequent Owner(s) shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) on each water service (domestic, fire, and irrigation), in a manner satisfactory to the Water Department Director, the City Engineer, and the Cross Connection Supervisor in the Customer Support Division of the Water Department.

48. Prior to the issuance of any building permits, the Owner/Permittee or subsequent Owner(s) shall provide CC&Rs for the operation and maintenance of any on-site private water facilities that serve or traverse more than a single dwelling unit or common area.

49. Prior to the issuance of any certificates of occupancy, the Owner/Permittee or subsequent Owner(s) shall provide keyed access to Water Operations Division, in a manner satisfactory to the Water Department Director, on each gate located within any easement containing public water facilities. The City will not be held responsible for any issues that may arise relative to the availability of keys.

50. Prior to the issuance of any certificates of occupancy, the Owner/Permittcc or subsequent Owner(s) shall install fire hydrants at locations satisfactory to the Fire Department, the Water Department Director, and the City Engineer.

51. Prior to the issuance of any certificates of occupancy, public water facilities necessary to serve the development, including services, shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.

52. The Owner/Permittee or subsequent Owner(s) agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities shall be modified at final engineering to comply with standards.

53. Providing water for this development is dependent upon prior construction of certain water facilities in previously approved developments in this area. If facilities have not been constructed when required for this development, then the construction of certain portions of these

previously identified water facilities, as required by the City Engineer, will become off-site improvements required for this development.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the City Council of the City of San Diego on[date and resolution number] .

Permit Type/PTS Approval No.: PDP No. 8075

Date of Approval:

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

NAME

TITLE

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1180 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

[NAME OF COMPANY]

Owner/Permittee

By _____

NAME

TITLE

[NAME OF COMPANY]

Owner/Permittee

By _____

NAME

TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1180 et seq.**

Resolution for Approving/Denying Permits

(R-INSERT)

RESOLUTION NUMBER R-NUMBER

ADOPTED ON DATE

WHEREAS, PARDEE HOMES, Owner/Permittee, filed an application with the City of San Diego for a Planned Development Permit (PDP) No. 8075 to construct a 1,578-unit condominium project consisting of six, three-story buildings and ten four-story buildings with each building having two levels of underground parking, and three 9,600-square-foot recreational buildings known as the Playa del Sol project. The project is located south of Ocean View Hills Parkway, north of State Route 905, and west of A Street, and is legally described as the Northwest Quarter and a portion of the South Half of Section 30, Township 18 South, Range 1 West, and a portion of the Southeast Quarter of the Northeast Quarter of Section 25, Township 18 South, Range 2 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California. The project is in the RM-3-7 and RS-1-14 zones within the California Terraces Precise Plan (Planning Area 6) and the Otay Mesa Community Plan area; and

WHEREAS, on November 13, 2008, the Planning Commission of the City of San Diego considered Planned Development Permit No. 8075, and pursuant to Resolution No. INSERT PLANNING COMM. RESOLUTION NUMBER-PC voted to recommend City Council approval of the permit; and

WHEREAS, the matter was set for public hearing on DATE, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to PDP No. 8075:

Site Development Permit - Section 126.0504**A. Findings for all Site Development Permits****1. The proposed development will not adversely affect the applicable land use plan;**

The project site consists of approximately 45.97 acres of vacant land within the Otay Mesa community planning area and the California Terraces Precise Plan. In 1994, the City Council adopted the California Terraces Precise Plan designating the site for medium-high density residential (30-43 dwelling units per acre [du/ac]).

The proposed project requests approval of a 1,578-unit condominium project that consists of six three-story buildings with two levels of underground parking, ten four-story buildings with two levels of underground parking, three 9,600 square-foot recreational buildings, and associated open space.

The proposal complies with the density standards for the California Terraces Precise Plan and the underlying zone (RM-3-7). The High Medium Residential land use designation has a density range of 30-43 du/acre, and would allow for the development of 1,379-1,977 dwelling units on the approximately 45.97 acre site. The project is within the RM-3-7 zone (1 dwelling unit (du)/1,000 square feet (sf) of lot area) and Lot A (HOA lot to remain undeveloped) is within the RS-1-14 zone (1 du/5000 sf of lot area). The gross area is 45.97 acres and could be developed with up to 1,873 units (1,840 units for the RM-3-7 portion, and 33 units for the RS-1-14 portion). The net area is 41.69 acres, and would allow for between 1,251 to 1,793 units. As proposed, 1,578 units is below the maximum allowed under the RM-3-7 zone and is within the California Terraces Precise Plan land use designation of High Medium Residential (30-43 du/ac) at either 34 du/ac at the gross acreage, or 38 du/ac at the net acreage. The private drives have been excluded from the net acreage per Code Section 143.0410(b)(5) of the Planned Development Permit regulations.

The proposed project meets the Design Element of the California Terraces Precise Plan by creating a visual landscape buffer between the street and the residential land use, and by providing an interface between parkways and major use areas via a curvilinear streetscape. The proposed project encourages pedestrian and bicycle movement throughout the site with safe and convenient parkway paths throughout the development that connect to public sidewalks. Further guidelines that the project would implement include direct garage access from inside the project rather than curb cuts to the public street, and screened off-street parking from public streets through the placement of the proposed buildings. The proposed project also eliminates the need for visually obtrusive sound walls at the southwestern corner of the site by elevating the pad, locates buildings to create courtyards and open spaces that are well defined, utilizes drought-tolerant plant species, and provides three common recreational areas for the project that offer numerous amenities for the future residents.

The project is consistent with the Public Facilities Elements of the California Terraces Precise Plan through the payment of its fair share of development impact fees to contribute to the parks, library facilities and future demand on Police/Fire services.

All other development standards that apply to this zone will be satisfied with this development proposal (except building height and setbacks, as discussed below in the fifth finding). Therefore, the proposed development would not adversely affect the California Terraces Precise Plan, Otay Mesa Community Plan, or the City of San Diego General Plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The approvals prepared for this project include various conditions of approval relevant to achieving compliance with the regulations of the Municipal Code in effect for the project site; and that such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and welfare of the persons residing or working in the area. These conditions include standards that pertain to best management

practices, traffic circulation, engineering, utilities, noise, and landscaping. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The proposed project complies with all applicable development guidelines of the RM-3-7 zone with the exception of several deviations addressed in the fifth finding.

4. The proposed development, when considered as a whole, will be beneficial to the community; and

The Playa del Sol project will promote the City's social equity goals by contributing to the creation and maintenance of a stable, economically and socially diverse community in Otay Mesa. The project will fairly distribute the costs and benefits of development and will improve the overall appearance of the vacant site through the construction of a project that is proposing to provide the majority of the required parking within underground garages. Three, 9600 square-foot recreation buildings are proposed that are located throughout the project site that will offer numerous recreational and common open space amenities for the future residents. Pools, tot lots, various types of sport courts, and other related uses will be provided. The provision of these amenities will lessen the impact of the future residents on existing and planned parks within Otay Mesa. Additionally, the project's design allows for a unit count that is near the maximum amount of units that could be built on the site at a time when the City Council has determined that the City of San Diego is in a Housing State of Emergency. Therefore, when considered as a whole, the proposed development will be beneficial the community.

5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The applicant is requesting a deviation from the required RM-3-7 height limit of 40 feet to a maximum of 58 feet. The highest roofline of any of the buildings would be 52 feet-the additional 6 feet is for the elevator towers. The rooflines range in height from 40 to 52 feet, and with the elevator towers, the overall heights are 46 to 58 feet high. The tallest structures are located towards the southern end of the project and are generally located away from the existing single-family residences to the north.

The increase in height is necessary to accommodate the density envisioned by the California Terraces Precise Plan. The height deviation will allow more units to be built on the site than if the 40-foot height limit were strictly applied. Further, to meet the height and density regulations of the RM-3-7 zone the units would have to be smaller. In association with the Otay Mesa Community Plan Update, a survey was conducted by SourcePoint in both single family units and multi-family units in the Otay Mesa and Otay

Ranch area to determine household sizes. The survey results established that the multi-family units in the Otay region had an average of 3.45 persons per household. Given the population per household in Otay Mesa is currently 3.45, the provision of smaller units in order to try and reduce the overall building height would not address the housing needs of the area and would be a less desirable project. The project proposes a mix of one, two, three, and four bedroom units based on the demonstrated demand for larger units in this portion of San Diego. By providing a variety of unit types, the applicant would help to make Otay Mesa a more balanced community which is consistent with the Housing Element, and provide affordable (in nature) dwelling units at a time when the City Council has determined that the City of San Diego is in a Housing State of Emergency.

Building Number	Maximum Overall Building Height (without Elevator Tower)	Maximum Building Height with Elevator Tower (adds 6 feet to overall height)
1	52 feet	58 feet
2	52 feet	58 feet
3	52 feet	58 feet
4	52 feet	58 feet
5	52 feet	58 feet
6	52 feet	58 feet
7	52 feet	58 feet
8	51 feet	57 feet
9	51 feet	57 feet
10	52 feet	58 feet
11	41 feet	47 feet
12	42 feet	48 feet
13	42 feet	48 feet
14	42 feet	48 feet
15	42 feet	48 feet
16	40 feet	46 feet

The applicant is requesting the following setback deviations.

LOT 1:

The RM-3-7 zone requires a street side yard setback of 75 feet (or 10% of the lot width) along Otay Mesa Road, 30-feet is proposed.

The RM-3-7 requires a side yard setback of 75 feet (or 10% of the lot width) along the northern side of the lot, 15-feet is proposed.

LOT 2:

The RM-3-7 requires a street side yard setback of 67 feet (10% of the lot width) along A Street, 20-feet is proposed.

The RM-3-7 requires a side yard setback of 67 feet (10% of the lot width) along the western side of the lot, 12-feet is proposed.

LOT 3:

The RM-3-7 requires a street side yard setback of 75 feet (10% of the lot width) along Del Sol Boulevard, 40-feet is proposed.

The RM-3-7 requires a side yard setback of 75 feet (10% of the lot width) along the southeastern side of the lot, 15-feet is proposed.

These setback deviations are necessary to achieve the density identified in the California Terraces Precise Plan. They will allow for more units to be built on the site than if the standard 10% of the lot width side and street side yard regulations were strictly applied. The deviations are supported because they will allow more residential units to be constructed at a time when the City Council has determined that the City of San Diego is in a Housing State of Emergency. In addition, there are no other projects in the area that provide 67-foot or similar side yard setbacks. The project as proposed will be consistent with the development pattern of Ocean View Hills.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is sustained, and Planned Development Permit (PDP) No. 8075 is granted to PARDEF HOMES, Owner/Permittee, under the terms and conditions set forth in the permit attached hereto and made a part hereof.

APPROVED: MICHAEL AGUIRRE, City Attorney

By _____
NAME
Deputy City Attorney

ATTY/SEC. INITIALS
DATE
Or.Dept:Clerk
R-INSERT
Form=permitr.frm(61203wct)
Reviewed by Patricia Grabski

PLANNING COMMISSION
RESOLUTION NO.
PLANNED DEVELOPMENT PERMIT NO. 8075
PLAYA DEL SOL
PTS 4925

WHEREAS, PARDEE HOMES, Owner/Permittee, filed an application with the City of San Diego for Planned Development Permit (PDP) No. 8075 to construct a 1,578-unit condominium project consisting of six, three-story buildings and ten four-story buildings with each building having two levels of underground parking, and three 9,600-square-foot recreational buildings (as described in and referenced to the approved exhibit "A", and corresponding conditions of approval for Planned Development Permit No. 8075) on portions of a 45.97 acre site;

WHEREAS, the project site is located south of Ocean View Hills Parkway, north of State Route 905, and west of A Street in the RM-3-7 and RS-1-14 zones within the California Terraces Precise Plan (Planning Area 6) and the Otay Mesa Community Plan area;

WHEREAS, the site is legally described as the Northwest Quarter and a portion of the South Half of Section 30, Township 18 South, Range 1 West, and a portion of the Southeast Quarter of the Northeast Quarter of Section 25, Township 18 South, Range 2 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California;

WHEREAS, on November 13, 2008, the Planning Commission of the City of San Diego considered Planned Development Permit No. 8075, and voted XXX to recommend City Council approval of Planned Development Permit No. 8075.

PATRICIA GRABSKI, AICP
Development Project Manager
Development Services

cc: Legislative Recorder

Otay Mesa Planning Group

C/o 427 C Street, Suite 308
San Diego, CA 92101

August 21, 2006

Ms. Patricia Grabski
1222 First Avenue MS 302
San Diego, CA 92101

RE: Otay Mesa Planning Group position on Ocean View Hills Planning Area 6

Dear Ms. Grabski:

On Wednesday, August 16, 2006, a presentation was made to the Otay Mesa Planning Group regarding Ocean View Hills Planning Area 6. Ron Brockhoff (Pardee Homes) presented plans for 1,572 condo units at Ocean View Hills Parkway and Del Sol Boulevard. The planning group voted 14-2-0 to support the project with the following conditions:

- Consider noise attenuation for the residents
- Analyze traffic calming measures on Ocean View Hills Parkway
- Examine the inclusion of bus transit in the community

Should you have any questions, please call Susanne Bankhead at (619) 239-9877x10.

Thank you for your consideration.

Sincerely,



Rob Hixson
Chair

cc: Mr. Jimmy Ayala, Pardee Homes (via email)
Mr. Ron Brockhoff, Pardee Homes (via email)

UNANIMOUS ACTION OF THE BOARD OF DIRECTORS
OF
PARDEE HOMES,
a California corporation,
TAKEN WITHOUT A MEETING

The undersigned three (3) Directors, constituting all of the members of the Board of Directors of Pardee Homes, a California corporation, (the "Corporation"), acting as of March 17, 2008, without a meeting in accordance with California Corporations Code Section 307(b) and Article III, Section 12 of the Corporation's By-Laws, hereby resolve as follows:

RESOLVED, that all offices of the Corporation are declared vacant and each of the following persons is elected to the office shown opposite such person's name, to serve in such office until removed by the Board or the President, by resignation, or until such time as a successor is elected:

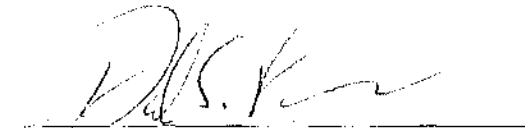
Michael V. McGee	President and Chief Executive Officer
Harold Struck, Jr.	Executive Vice President
Jon F. Lash	Executive Vice President
Anthony P. Dolim	S. V. P./Finance; Secretary-Treasurer
John Anglin	Senior Vice President, Purchasing
John Arvin	Senior Vice President, Land Development
Robert E. Clauser, Jr.	Senior Vice President, Marketing
David Dunham	Senior Vice President, Multi-Family
Amy L. Glad	Senior Vice President, Governmental Affairs
Christopher J. Hallman	Senior Vice President and General Counsel
Randy Myers	Senior Vice President, Construction
John Osgood	Senior Vice President, Community Development
Gary Probert	Senior Vice President, Sales
James C. Wisda	S. V. P., Business Planning & Development
John Allen	Vice President, Construction Operations
James C. Bizzelle, III	Vice President, Community Development
Gino Cesario	Vice President, Corporate & Strategic Services
Mike Conkey	Vice President, Controller
Robert Dawson	Vice President, Closing Services
Patrick Emanuel	Vice President, Construction Operations
Don Feathers	Vice President, Construction Operations
Beth Fischer	Vice President, Community Development
Joyce Mason	Vice President, Marketing
Carlene Matchniff	Vice President, Community Development
Ralph Pistone	Vice President, Construction Operations
Greg Ray	Vice President, Landscape Architecture
Donna Sanders	Vice President, Options
Gregory P. Sorch	Vice President, Land Disposition

James A. Stringer	Vice President, Community Development
Michael C. Taylor	Vice President, Community Development
Dave Viggiano	Vice President, Architecture
Jeffrey W. Nitta	Assistant Treasurer
Tom R. Stocks	Assistant Treasurer
Barbara Bail	Assistant Secretary
Rosemary Honnevie	Assistant Secretary, Finance
Patricia Cohen	Assistant Secretary
Charles E. Curtis	Assistant Secretary
Steve Davison	Assistant Secretary, Accounting
Belle DeBraal	Assistant Secretary, Accounting
Mesrope DeBraal	Assistant Secretary, Accounting
Claire S. Grace	Assistant Secretary
Susan Howland	Assistant Secretary
Vicki A. Merrick	Assistant Secretary
Thomas M. Smith	Assistant Secretary
Nancy Trojan	Assistant Secretary
Allison J. Renz	Assistant Secretary

The undersigned hereby consent to the foregoing Resolution and direct that the Secretary of this Corporation file this Unanimous Action of the Board of Directors, including this consent, with the Minutes of the proceedings of this Board of Directors and that said Resolution shall have the same force and effect as if adopted at a meeting of the Board of Directors at which all of the undersigned were personally present.

Michael V. McGee, Director

Harold Struck, Jr., Director



Daniel S. Fulton, Director

UNANIMOUS ACTION OF THE BOARD OF DIRECTORS
OF
PARDEE HOMES,
a California corporation,
TAKEN WITHOUT A MEETING

The undersigned three (3) Directors, constituting all of the members of the Board of Directors of Pardee Homes, a California corporation, (the "Corporation"), acting as of March 17, 2008, without a meeting in accordance with California Corporations Code Section 307(b) and Article III, Section 12 of the Corporation's By-Laws, hereby resolve as follows:

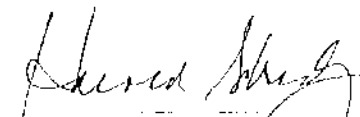
RESOLVED, that all offices of the Corporation are declared vacant and each of the following persons is elected to the office shown opposite such person's name, to serve in such office until removed by the Board or the President, by resignation, or until such time as a successor is elected:

Michael V. McGee	President and Chief Executive Officer
Harold Struck, Jr.	Executive Vice President
Jon E. Lash	Executive Vice President
Anthony P. Dolim	S. V. P./Finance; Secretary-Treasurer
John Anglin	Senior Vice President, Purchasing
John Arvin	Senior Vice President, Land Development
Robert E. Clauser, Jr.	Senior Vice President, Marketing
David Dunham	Senior Vice President, Multi-Family
Amy L. Glad	Senior Vice President, Governmental Affairs
Christopher J. Hallman	Senior Vice President and General Counsel
Randy Myers	Senior Vice President, Construction
John Osgood	Senior Vice President, Community Development
Gary Probert	Senior Vice President, Sales
James C. Wisda	S. V. P., Business Planning & Development
John Allen	Vice President, Construction Operations
James C. Bizzelle, III	Vice President, Community Development
Gino Cesario	Vice President, Corporate & Strategic Services
Mike Conkey	Vice President, Controller
Robert Dawson	Vice President, Closing Services
Patrick Emanuel	Vice President, Construction Operations
Don Feathers	Vice President, Construction Operations
Beth Fischer	Vice President, Community Development
Joyce Mason	Vice President, Marketing
Carlene Matchniff	Vice President, Community Development
Ralph Pistone	Vice President, Construction Operations
Greg Ray	Vice President, Landscape Architecture
Donna Sanders	Vice President, Options
Gregory P. Sorch	Vice President, Land Disposition

James A. Stringer	Vice President, Community Development
Michael C. Taylor	Vice President, Community Development
Dave Viggiano	Vice President, Architecture
Jeffrey W. Nitta	Assistant Treasurer
Tom R. Stocks	Assistant Treasurer
Barbara Bail	Assistant Secretary
Rosemary Bonnevie	Assistant Secretary, Finance
Patricia Cohen	Assistant Secretary
Charles E. Curtis	Assistant Secretary
Steve Davison	Assistant Secretary, Accounting
Belle DeBraal	Assistant Secretary, Accounting
Mesrope DeBraal	Assistant Secretary, Accounting
Claire S. Grace	Assistant Secretary
Susan Howland	Assistant Secretary
Vicki A. Merrick	Assistant Secretary
Thomas M. Smith	Assistant Secretary
Nancy Trojan	Assistant Secretary
Allison J. Renz	Assistant Secretary

The undersigned hereby consent to the foregoing Resolution and direct that the Secretary of this Corporation file this Unanimous Action of the Board of Directors, including this consent, with the Minutes of the proceedings of this Board of Directors and that said Resolution shall have the same force and effect as if adopted at a meeting of the Board of Directors at which all of the undersigned were personally present.

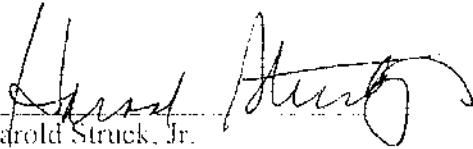

Michael V. McGee, Director


Harold Struck, Jr., Director

Daniel S. Fulton, Director

RESIGNATION OF DIRECTOR AND OFFICER
OF
PARDEE HOMES,
a California corporation

I, Harold Struck, Jr., hereby resign as a Director and Executive Vice President of Pardee Homes, a California corporation, effective May 2, 2008.


Harold Struck, Jr.



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other Easement Vacation

Project Title _____ **Project No. For City Use Only** _____

Playa del Sol

Project Address:

South of Ocean View Hills Parkway, north of Otay Mesa Road

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Name of Individual (type or print): _____

Owner Tenant/Lessee Redevelopment Agency

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Signature: _____ Date: _____

Project Title: Playa del Sol	Project No. (For City Use Only)
Part II - To be completed when property is held by a corporation or partnership	
Legal Status (please check): <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General) What State? _____ Corporate Identification No. <u>95-2509383</u> <input type="checkbox"/> Partnership	
By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Corporate/Partnership Name (type or print): Pardee Homes <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: 10880 Wilshire Boulevard, Suite 1900 City/State/Zip: Los Angeles, CA 90024 Phone No: (310) 475-3525 Fax No: (310) 446-1295	Street Address: City/State/Zip: Phone No: Fax No:
Name of Corporate Officer/Partner (type or print): Beth Fischer Title (type or print): Vice President Signature: <i>Beth Fischer</i> Date: 10-30-08	Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No:
Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:	Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No:
Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:	Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:

DEVELOPMENT SUMMARY

LOT 1 PARKING CALCULATIONS

REQUIRED VEHICLE PARKING

UNIT	UNIT TYPE	NO. OF UNITS	STALL/UNIT RATIO	TOTAL NO. OF STALLS
UNIT A	100+DEN / 20A	177	2.0	354
UNIT B	200 / 20A	166	2.0	332
UNIT C	200+DEN OR 200 / 20A	40	2.25	90
UNIT E	200+DEN OR 200 / 20A	24	2.25	54
UNIT D	400 / 20A	104	2.25	234
GUEST SUITE	100 / 10A	2	1.5	3
TOTAL	511			1067

TOTAL COMMON PARKING STALLS REQUIRED = 180 COMMON PARKING STALLS
 1067 TOTAL PARKING STALLS REQUIRED x 0.15 = 160 COMMON PARKING STALLS
TOTAL RESIDENTIAL PARKING STALLS REQUIRED = 1007 TOTAL STALLS REQUIRED - 180 COMMON STALLS REQUIRED = 827 RESIDENTIAL PARKING STALLS

HANDICAP SPACES SUMMARY

TYPE	NO. OF STALLS	TOTAL NUMBER OF PARKING STALLS
TYPE 1	258	616
TYPE 2	220	440
TYPE 3	143	143
TYPE 4	100	0
TYPE 5	107	0
GUEST SUITE	0	0
TOTAL	728	1199

TOTAL NUMBER OF SURFACE PARKING STALLS ON PROJECT SITE: TOTAL: 1199

HANDICAP STALLS WITHIN PARKING STRUCTURE

BUILDING TYPE	RESIDENT HANDICAP STALL PER BUILDING	COMMON HANDICAP STALL PER BUILDING	NO. OF BUILDING	TOTAL HANDICAP STALLS
TYPE 1	5	2	2	14
TYPE 2	8	2	2	16
TYPE 3	3	0	1	3
TYPE 4	4	0	0	0
TYPE 5	5	0	0	0
GUEST SUITE	0	2	2	2
TOTAL				35

TOTAL NUMBER OF HANDICAP STALLS ON PROJECT SITE:
 35 BUILDING HANDICAP STALLS + 7 SURFACE HANDICAP STALLS =
 42 TOTAL HANDICAP STALLS (10 COMMON & 32 RESIDENT)
 • STANDARD HANDICAP STALLS = 30
 • VAN HANDICAP STALLS = 6

LOT 2 PARKING CALCULATIONS

REQUIRED VEHICLE PARKING

UNIT	UNIT TYPE	NO. OF UNITS	STALL/UNIT RATIO	TOTAL NO. OF STALLS
UNIT A	100+DEN / 20A	214	2.0	428
UNIT B	200 / 20A	100	2.0	200
UNIT C	200+DEN OR 200 / 20A	40	2.25	90
UNIT E	200+DEN OR 200 / 20A	0	2.25	0
UNIT D	400 / 20A	112	2.25	252
GUEST SUITE	100 / 10A	2	1.5	3
TOTAL	463			1169

TOTAL COMMON PARKING STALLS REQUIRED = 175 COMMON PARKING STALLS
 1169 TOTAL PARKING STALLS REQUIRED x 0.15 = 175 COMMON PARKING STALLS
TOTAL RESIDENTIAL PARKING STALLS REQUIRED = 1169 TOTAL STALLS REQUIRED - 175 COMMON STALLS REQUIRED = 994 RESIDENTIAL PARKING STALLS

HANDICAP SPACES SUMMARY

TYPE	NO. OF STALLS	TOTAL NUMBER OF PARKING STALLS
TYPE 1	258	774
TYPE 2	220	440
TYPE 3	143	0
TYPE 4	100	0
TYPE 5	107	0
GUEST SUITE	0	0
TOTAL	728	1214

TOTAL NUMBER OF SURFACE PARKING STALLS ON PROJECT SITE: TOTAL: 1214

HANDICAP STALLS WITHIN PARKING STRUCTURE

BUILDING TYPE	RESIDENT HANDICAP STALL PER BUILDING	COMMON HANDICAP STALL PER BUILDING	NO. OF BUILDING	TOTAL HANDICAP STALLS
TYPE 1	6	2	3	21
TYPE 2	8	2	2	16
TYPE 3	3	0	0	0
TYPE 4	4	0	0	0
TYPE 5	5	0	0	0
GUEST SUITE	0	2	2	2
TOTAL				37

TOTAL NUMBER OF HANDICAP STALLS ON PROJECT SITE:
 37 BUILDING HANDICAP STALLS + 1 SURFACE HANDICAP STALLS =
 38 TOTAL HANDICAP STALLS (10 COMMON & 28 RESIDENT)
 • STANDARD HANDICAP STALLS = 32
 • VAN HANDICAP STALLS = 6

LOT 3 PARKING CALCULATIONS

REQUIRED VEHICLE PARKING

UNIT	UNIT TYPE	NO. OF UNITS	STALL/UNIT RATIO	TOTAL NO. OF STALLS
UNIT A	100+DEN / 20A	166	2.0	332
UNIT B	200 / 20A	166	2.0	332
UNIT C	200+DEN OR 200 / 20A	45	2.25	101
UNIT E	200+DEN OR 200 / 20A	0	2.25	0
UNIT D	400 / 20A	80	2.25	180
GUEST SUITE	100 / 10A	2	1.5	3
TOTAL	499			1047

TOTAL COMMON PARKING STALLS REQUIRED = 150 COMMON PARKING STALLS
 1047 TOTAL PARKING STALLS REQUIRED x 0.15 = 150 COMMON PARKING STALLS
TOTAL RESIDENTIAL PARKING STALLS REQUIRED = 1047 TOTAL STALLS REQUIRED - 150 COMMON STALLS REQUIRED = 897 RESIDENTIAL PARKING STALLS

HANDICAP SPACES SUMMARY

TYPE	NO. OF STALLS	TOTAL NUMBER OF PARKING STALLS
TYPE 1	258	0
TYPE 2	220	0
TYPE 3	143	0
TYPE 4	100	0
TYPE 5	107	0
GUEST SUITE	0	0
TOTAL	728	728

TOTAL NUMBER OF SURFACE PARKING STALLS ON PROJECT SITE: TOTAL: 728

HANDICAP STALLS WITHIN PARKING STRUCTURE

BUILDING TYPE	RESIDENT HANDICAP STALL PER BUILDING	COMMON HANDICAP STALL PER BUILDING	NO. OF BUILDING	TOTAL HANDICAP STALLS
TYPE 1	6	2	2	0
TYPE 2	8	2	0	0
TYPE 3	3	0	0	0
TYPE 4	4	0	0	0
TYPE 5	5	0	0	0
GUEST SUITE	0	2	2	0
TOTAL				20

TOTAL NUMBER OF HANDICAP STALLS ON PROJECT SITE:
 20 BUILDING HANDICAP STALLS + 1 SURFACE HANDICAP STALLS =
 21 TOTAL HANDICAP STALLS (10 COMMON & 11 RESIDENT)
 • STANDARD HANDICAP STALLS = 13
 • VAN HANDICAP STALLS = 7

MOTORCYCLE PARKING

511 UNITS x 0.1 = 51 TOTAL REQUIRED MOTORCYCLE PARKING SPACES

PROPOSED MOTORCYCLE PARKING

TOTAL NUMBER OF SURFACE MOTORCYCLE STALLS	3
TOTAL NUMBER OF MOTORCYCLE STALLS WITHIN STRUCTURE	51
TOTAL	54

MOTORCYCLE PARKING

503 UNITS x 0.1 = 50 TOTAL REQUIRED MOTORCYCLE PARKING SPACES

PROPOSED MOTORCYCLE PARKING

TOTAL NUMBER OF SURFACE MOTORCYCLE STALLS	3
TOTAL NUMBER OF MOTORCYCLE STALLS WITHIN STRUCTURE	51
TOTAL	54

MOTORCYCLE PARKING

504 UNITS x 0.1 = 50 TOTAL REQUIRED MOTORCYCLE PARKING SPACES

PROPOSED MOTORCYCLE PARKING

TOTAL NUMBER OF SURFACE MOTORCYCLE STALLS	3
TOTAL NUMBER OF MOTORCYCLE STALLS WITHIN STRUCTURE	51
TOTAL	54

BICYCLE PARKING

REQUIRED BICYCLE PARKING

UNIT	UNIT TYPE	NO. OF UNITS	STALL/UNIT RATIO	TOTAL NO. OF STALLS
UNIT A	100+DEN / 20A	177	0.5	89
UNIT B	200 / 20A	166	0.5	83
UNIT C	200+DEN OR 200 / 20A	40	0.6	24
UNIT E	200+DEN OR 200 / 20A	24	0.6	14
UNIT D	400 / 20A	104	0.6	62
TOTAL	511			272

PROPOSED BICYCLE PARKING

TOTAL NUMBER OF SURFACE BICYCLE STALLS	10
TOTAL NUMBER OF BICYCLE STALLS WITHIN STRUCTURE	260
TOTAL	270

BICYCLE PARKING

REQUIRED BICYCLE PARKING

UNIT	UNIT TYPE	NO. OF UNITS	STALL/UNIT RATIO	TOTAL NO. OF STALLS
UNIT A	100+DEN / 20A	214	0.5	107
UNIT B	200 / 20A	100	0.5	50
UNIT C	200+DEN OR 200 / 20A	40	0.6	24
UNIT E	200+DEN OR 200 / 20A	0	0.6	0
UNIT D	400 / 20A	112	0.6	67
TOTAL	511			248

PROPOSED BICYCLE PARKING

TOTAL NUMBER OF SURFACE BICYCLE STALLS	10
TOTAL NUMBER OF BICYCLE STALLS WITHIN STRUCTURE	260
TOTAL	270

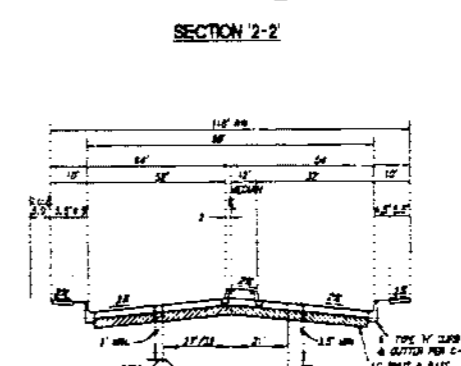
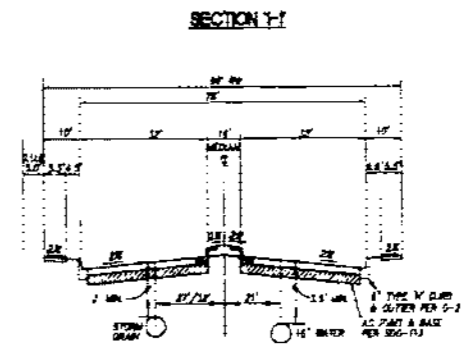
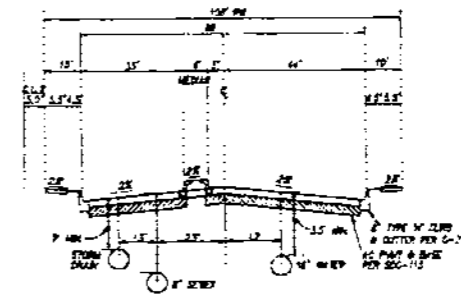
BICYCLE PARKING

REQUIRED BICYCLE PARKING

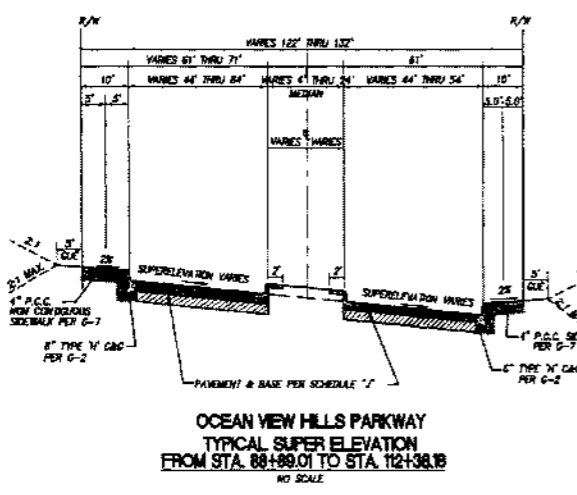
UNIT	UNIT TYPE	NO. OF UNITS	STALL/UNIT RATIO	TOTAL NO. OF STALLS
UNIT A	100+DEN / 20A	166	0.5	83
UNIT B	200 / 20A	166	0.5	83
UNIT C	200+DEN OR 200 / 20A	45	0.6	27
UNIT E	200+DEN OR 200 / 20A	0	0.6	0
UNIT D	400 / 20A	80	0.6	48
TOTAL	504			241

PROPOSED BICYCLE PARKING

TOTAL NUMBER OF SURFACE BICYCLE STALLS	10
TOTAL NUMBER OF BICYCLE STALLS WITHIN STRUCTURE	260
TOTAL	270



SECTIONS 'A' STREET



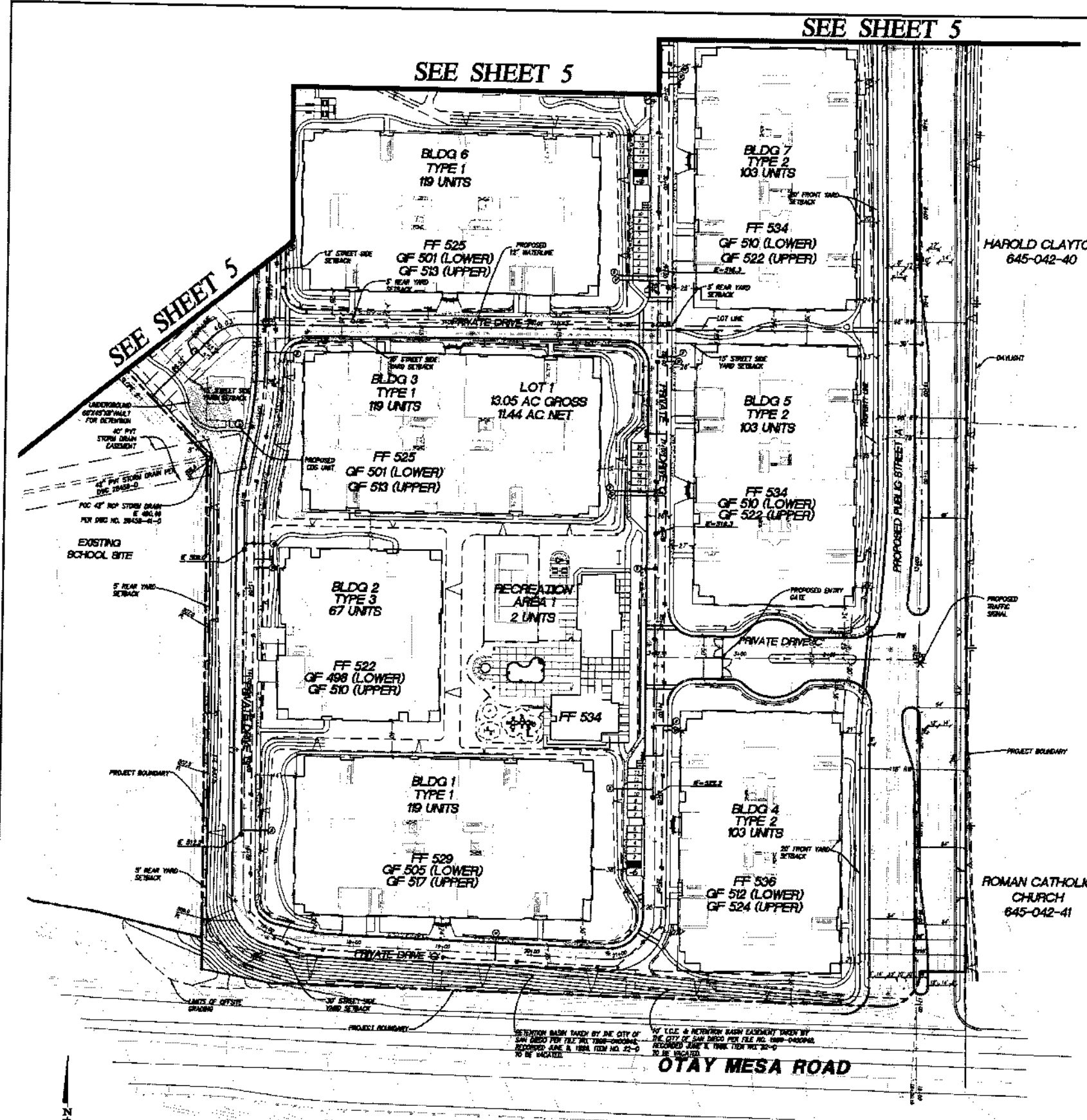
PROJECT NAME:	PLAYA DEL SOL	Revision 7:	12/06/2012 J. ROSE
PREPARED BY:	PROJECT DESIGN CONSULTANTS	Revision 6:	06/20/2012 J. ROSE
DRAWN BY:	J. ROSE	Revision 5:	06/20/2012 J. ROSE
CHECKED BY:	J. ROSE	Revision 4:	06/20/2012 J. ROSE
DATE:	06/20/2012	Revision 3:	06/20/2012 J. ROSE
PROJECT ADDRESS:	771 W. STREET, SUITE 200, SAN DIEGO, CA 92101	Revision 2:	06/20/2012 J. ROSE
PROPOSED SITE:	BE SOUTH OF OCEAN VIEW HILLS PARKWAY NORTH OF ST. 88 AND WEST OF PROPOSED 'A' STREET, SAN DIEGO, CA	Revision 1:	06/20/2012 J. ROSE
SHEET TITLE:	PARKING TABLES	Original Date:	06/20/2012



SEE SHEET 5

SEE SHEET 5

SEE SHEET 5

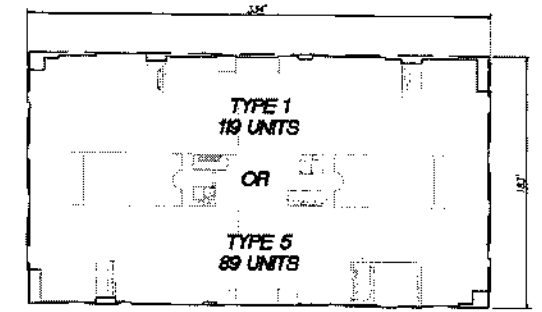


GENERAL NOTES

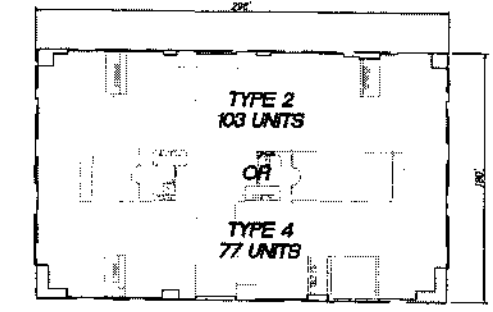
UTILITIES:
WATER: CITY OF SAN DIEGO
SEWER: CITY OF SAN DIEGO
GAS & ELECTRIC: S.D.G.E.
FIRE AND POLICE PROTECTION: CITY OF SAN DIEGO
CABLE T.V.: COX COMMUNICATIONS
NOTE: UNDERGROUND UTILITIES SHOWN HEREIN ARE FROM AVAILABLE RECORDS

LEGEND

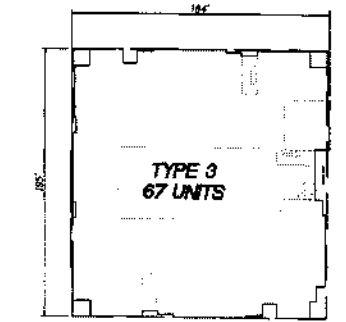
- PROJECT BOUNDARY
- EXISTING CONTOURS
- PROPOSED CONTOURS
- 2:1 SLOPE
- PRIVATE PVC SEWER (6" UNLESS OTHERWISE NOTED)
- SEWER MANHOLE
- PUBLIC PVC WATER (12" UNLESS OTHERWISE NOTED)
- SEWER MANHOLE INVERT ELEVATION
- PROPOSED STRIPING
- SEWER SERVICE
- WATER METER WITH BACKFLOW PREVENTION DEVICE
- STORM DRAIN
- PEDESTRIAN RAMP
- PARKING STALL 8' WIDTH 18' LENGTH
- STORM DRAIN CLEAN OUT (SEE SHEETS 4&5)
- VALETS (SEE SHEETS 4 & 5)
- MOTORCYCLE PARKING 3' WIDTH 18' LENGTH
- BICYCLE RACK (NO STALLS)



BUILDING DIMENSIONS (TYPE 1 & TYPE 5)
NOT TO SCALE



BUILDING DIMENSIONS (TYPE 2 & TYPE 4)
NOT TO SCALE



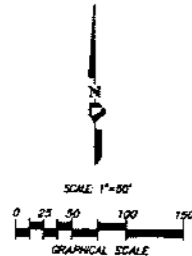
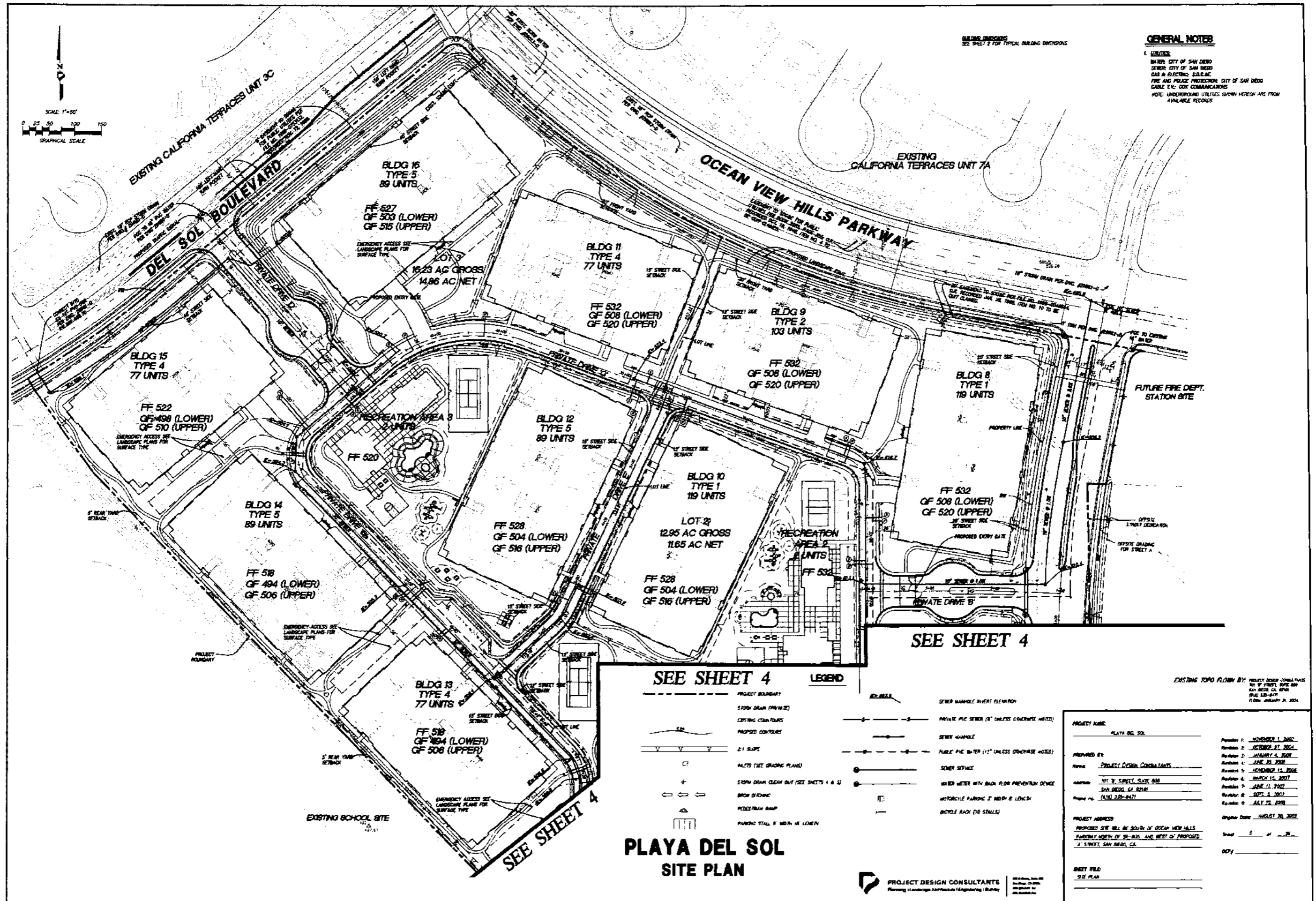
BUILDING DIMENSIONS (TYPE 3)
NOT TO SCALE

EXISTING TOPO FLOWN BY: PROJECT DESIGN CONSULTANTS
301 W STREET, SUITE 800
SAN DIEGO, CA 92101
(619) 235-8477
FLOWN JANUARY 21, 2004

PROJECT NAME: PLAYA DEL SOL	Revision 1: NOVEMBER 5, 2002
PREPARED BY: PROJECT DESIGN CONSULTANTS	Revision 2: OCTOBER 23, 2002
Address: 301 W STREET, SUITE 800 SAN DIEGO, CA 92101	Revision 3: JANUARY 4, 2003
Phone No. (619) 235-8477	Revision 4: JUNE 20, 2003
PROJECT ADDRESS: PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS FAIRWAY NORTH OF SR-525 AND WEST OF PROPOSED "A" STREET, SAN DIEGO, CA	Revision 5: NOVEMBER 18, 2003
	Revision 6: MARCH 15, 2007
	Revision 7: JUNE 11, 2007
	Revision 8: OCT 9, 2007
	Revision 9: MAY 22, 2008
	Original Date: AUGUST 20, 2002
SHEET TITLE: SITE PLAN	Sheet 4 of 69

**PLAYA DEL SOL
SITE PLAN**

PROJECT DESIGN CONSULTANTS
Planning | Landscape Architecture | Engineering | Survey



GENERAL NOTES

1. UTILITIES:
 WATER: CITY OF SAN DIEGO
 SEWER: CITY OF SAN DIEGO
 GAS & ELECTRIC: S.D.G.E.
 FIRE AND POLICE PROTECTION: CITY OF SAN DIEGO
 CABLE T.V.: COX COMMUNICATIONS
 NOTE: UNDERGROUND UTILITIES SHOWN HEREIN ARE FROM AVAILABLE RECORDS

EXISTING CALIFORNIA TERRACES UNIT 3C
DEL SOL BOULEVARD
 16.23 AC GROSS
 14.86 AC NET

OCEAN VIEW HILLS PARKWAY
 EXISTING CALIFORNIA TERRACES UNIT 7A

BLDG 15
 TYPE 4
 77 UNITS

BLDG 16
 TYPE 5
 89 UNITS

BLDG 11
 TYPE 4
 77 UNITS

BLDG 9
 TYPE 2
 103 UNITS

BLDG 8
 TYPE 1
 119 UNITS

BLDG 12
 TYPE 5
 89 UNITS

BLDG 10
 TYPE 1
 119 UNITS

BLDG 14
 TYPE 5
 89 UNITS

BLDG 13
 TYPE 4
 77 UNITS

BLDG 10
 TYPE 1
 119 UNITS

FF 518
 GF 494 (LOWER)
 GF 506 (UPPER)

FF 528
 GF 504 (LOWER)
 GF 516 (UPPER)

FF 528
 GF 504 (LOWER)
 GF 516 (UPPER)

SEE SHEET 4

SEE SHEET 4 **LEGEND**

	PROJECT BOUNDARY		SEWER MANHOLE INVERT ELEVATION
	STORM DRAIN (PROVIDE)		PRIVATE P.W. SEWER (6" UNLESS OTHERWISE NOTED)
	EXISTING CURB/PAVEMENT		SEWER MANHOLE
	PROPOSED CONTOUR		PUBLIC P.W. WATER (12" UNLESS OTHERWISE NOTED)
	2:1 SLOPE		SEWER SERVICE
	VALTS (SEE GRADING PLANS)		WATER METER WITH BACK FLOW PREVENTION DEVICE
	STORM DRAIN CLEAN OUT (SEE SHEETS 4 & 5)		MOTORCYCLE PARKING 2' WIDTH & LENGTH
	BROWN SIGNAGE		BICYCLE RACK (10 STALLS)
	PEDESTRIAN RAMP		
	PARKING STALL 8' WIDTH & LENGTH		

**PLAYA DEL SOL
 SITE PLAN**

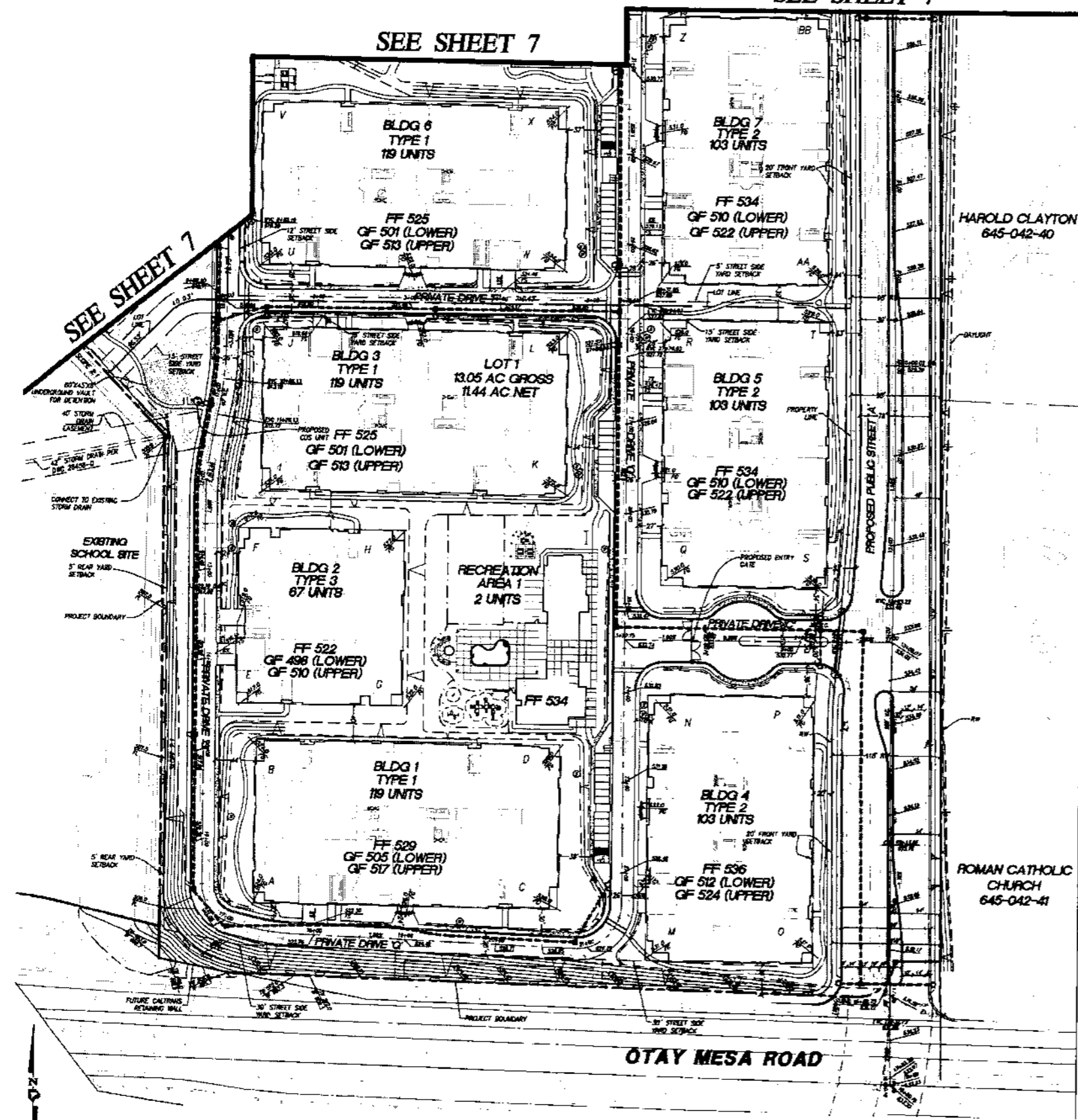
PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Building

EXISTING TOPO FLOWN BY: PROJECT DESIGN CONSULTANTS
 101 N. SUNSET BLVD. SUITE 600
 SAN DIEGO, CA 92101
 (619) 551-6471
 FLOWN JANUARY 2, 2004

PROJECT NAME: PLAYA DEL SOL	Prepared by: NOVEMBER 1, 2002
PREPARED BY: PROJECT DESIGN CONSULTANTS	Revised 2: OCTOBER 27, 2004
ADDRESS: 101 N. SUNSET BLVD. SUITE 600 SAN DIEGO, CA 92101 PHONE NO. (619) 551-6471	Revised 3: JANUARY 4, 2005
PROJECT ADDRESS: PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARTIALLY NORTH OF DEL SOL AND WEST OF PROPOSED "A" STREET, SAN DIEGO, CA	Revised 4: APRIL 29, 2006
SHEET TITLE: SITE PLAN	Revised 5: NOVEMBER 15, 2006
	Revised 6: MARCH 15, 2007
	Revised 7: APRIL 11, 2007
	Revised 8: SEPTEMBER 3, 2007
	Revised 9: JULY 22, 2008
	Original Date: AUGUST 20, 2002
	Sheet 5 of 25
	DDP

SEE SHEET 7

SEE SHEET 7



GENERAL NOTES

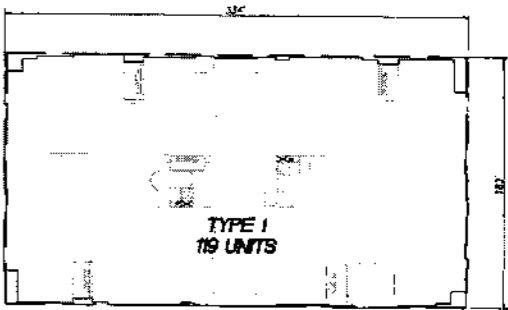
1. UTILITIES:
 WATER: CITY OF SAN DIEGO
 SEWER: CITY OF SAN DIEGO
 GAS & ELECTRIC: S.D.G.E.
 FIRE AND POLICE PROTECTION: CITY OF SAN DIEGO
 CABLE T.V.: CDT COMMUNICATIONS
 NOTE: UNDERGROUND UTILITIES SHOWN HEREON ARE FROM AVAILABLE RECORDS.

GRADING TABULATIONS

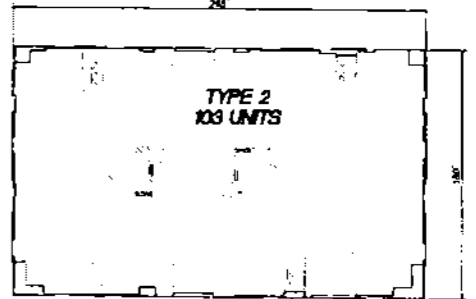
TOTAL AMOUNT OF SITE TO BE GRADED: AREA: 42.3 AC. % OF TOTAL SITE: 100.0
 AMOUNT OF CUT: 400,000 CUBIC YARDS AND MAXIMUM DEPTH OF CUT: 20 FEET
 AMOUNT OF FILL: 330,000 CUBIC YARDS AND MAXIMUM DEPTH OF FILL: 16 FEET
 MAXIMUM HEIGHT OF FILL SLOPES: 16 FEET 2:1 SLOPE RATIO
 MAXIMUM HEIGHT OF CUT SLOPES: 8 FEET 2:1 SLOPE RATIO
 AMOUNT OF EXPORT SOIL: 70,000 CUBIC YARDS
 RETAINING/CORR WALLS: LENGTH: NA FEET; MAXIMUM HEIGHT: NA FEET.

LEGEND

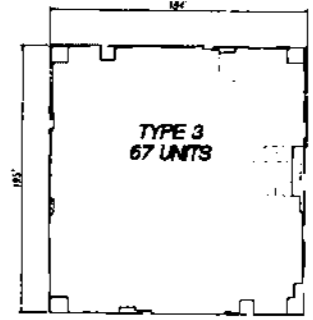
- LOT LINE
- - - - PROJECT BOUNDARY
- ===== STORM DRAIN (PRIVATE)
- EXISTING CONTOURS
- PROPOSED CONTOURS
- - - - 2:1 SLOPE
- MEETS
- PROPOSED FINISH GRADE
- EXISTING GRADE
- STREET CENTERLINE SPOT ELEVATION
- REFER TO LANDSCAPE ARCHITECT SHEETS 02 & 33 FOR DESCRIPTION.



BUILDING DIMENSIONS (TYPE 1 & TYPE 5)
NOT TO SCALE



BUILDING DIMENSIONS (TYPE 2 & TYPE 4)
NOT TO SCALE



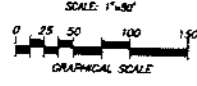
BUILDING DIMENSIONS (TYPE 3)
NOT TO SCALE

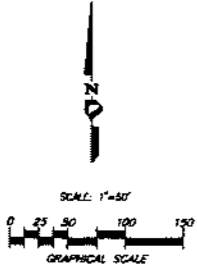
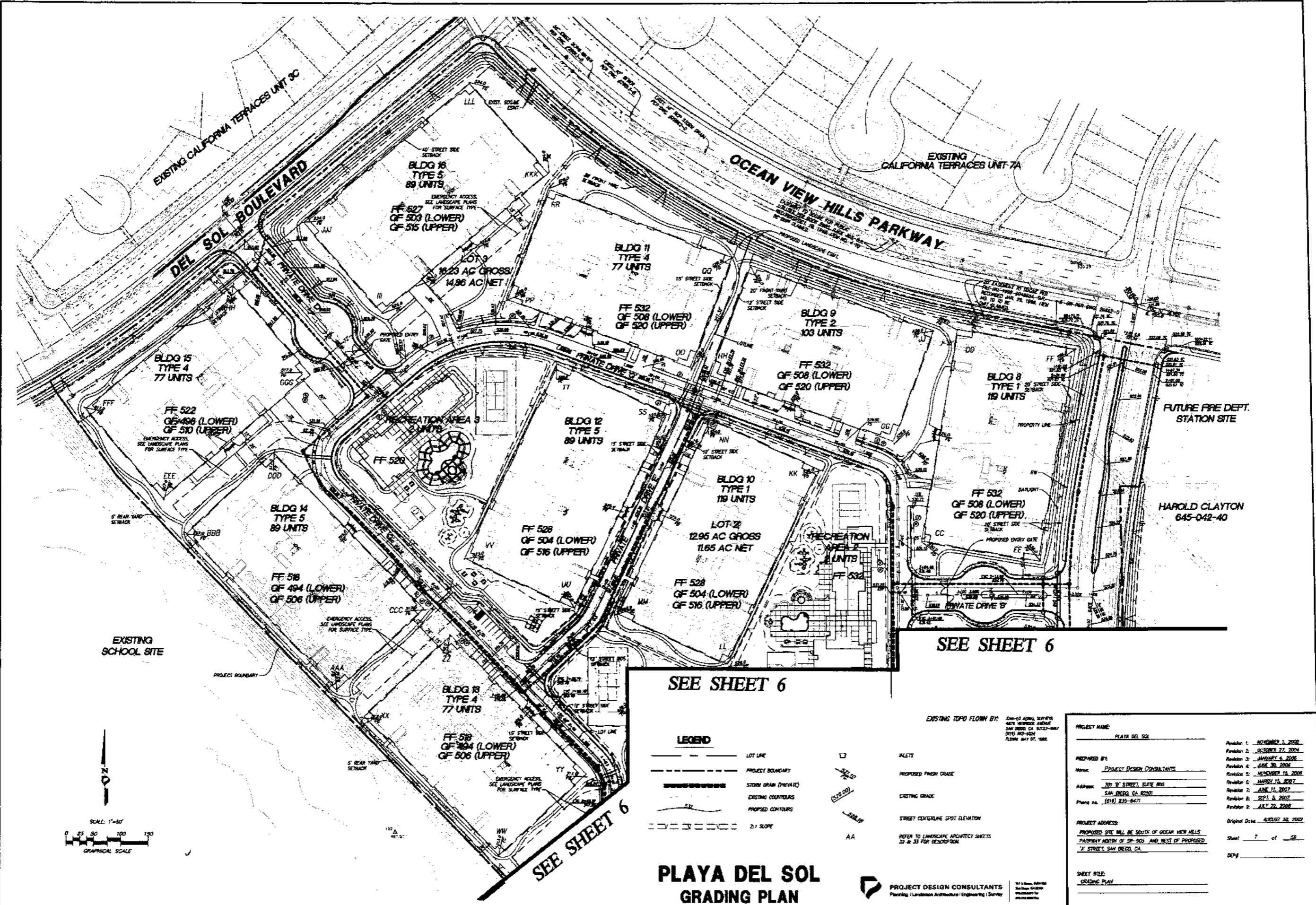
EXISTING TOPO. FLOWN BY: 99-10 AREA SURVEY AND NETWORK AND SAN DIEGO CO. MAPS-100 (49) 200-100 (Flow Map of 1984)

PROJECT NAME: PLAYA DEL SOL		Revision 1: NOVEMBER 1, 2002
PREPARED BY: PROJECT DESIGN CONSULTANTS		Revision 2: DECEMBER 27, 2004
NAME: 704 W. STREET, SUITE 800		Revision 3: JANUARY 4, 2006
ADDRESS: SAN DIEGO, CA 92101		Revision 4: JUNE 20, 2006
PHONE NO.: (619) 533-6471		Revision 5: NOVEMBER 15, 2006
PROJECT ADDRESS: PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARTIALLY NORTH OF SR-163 AND WEST OF PROPOSED 1/4 STREET SAN DIEGO, CA		Revision 6: MARCH 12, 2007
		Revision 7: JUNE 11, 2007
		Revision 8: SEPTEMBER 5, 2007
		Revision 9: JULY 23, 2008
		Original Date: AUGUST 04, 2002
SHEET TITLE: GRADING PLAN		Sheet: 8 of 18
		DATE: _____

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Surveying

**PLAYA DEL SOL
GRADING PLAN**





SEE SHEET 6

SEE SHEET 6

SEE SHEET 6

LEGEND

- LOT LINE
- - - - - PROJECT BOUNDARY
- STORM DRAIN (PRIVATE)
- EXISTING CONTOURS
- PROPOSED CONTOURS
- - - - - 2:1 SLOPE
- PLOTS
- PROPOSED FINISH GRADE
- EXISTING GRADE
- STREET CENTERLINE SPOT ELEVATION

EXISTING TOPO FLOWN BY: SAN-15 ADRIAN SURVEYS 6478 HERNDON AVENUE SAN DIEGO CA 92121-5677 (619) 593-1024 FLOWN MAY 07, 1988.

PROJECT NAME: PLAYA DEL SOL

PREPARED BY: PROJECT DESIGN CONSULTANTS

Address: 301 17th STREET, SUITE 810 SAN DIEGO, CA 92101

Phone no.: (619) 433-8477

PROJECT ADDRESS: PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARKWAY NORTH OF SR-562 AND WEST OF PROPOSED 17th STREET, SAN DIEGO, CA.

Revision 1: NOVEMBER 1, 2002
Revision 2: OCTOBER 27, 2004
Revision 3: JANUARY 4, 2006
Revision 4: JUNE 28, 2006
Revision 5: MARCH 15, 2007
Revision 6: MARCH 15, 2007
Revision 7: JUNE 11, 2007
Revision 8: SEPT. 5, 2007
Revision 9: JULY 22, 2008

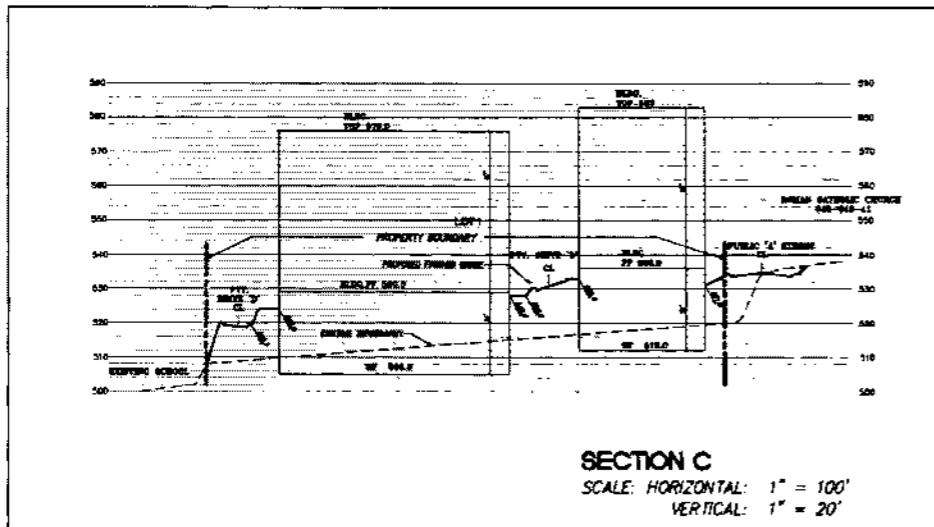
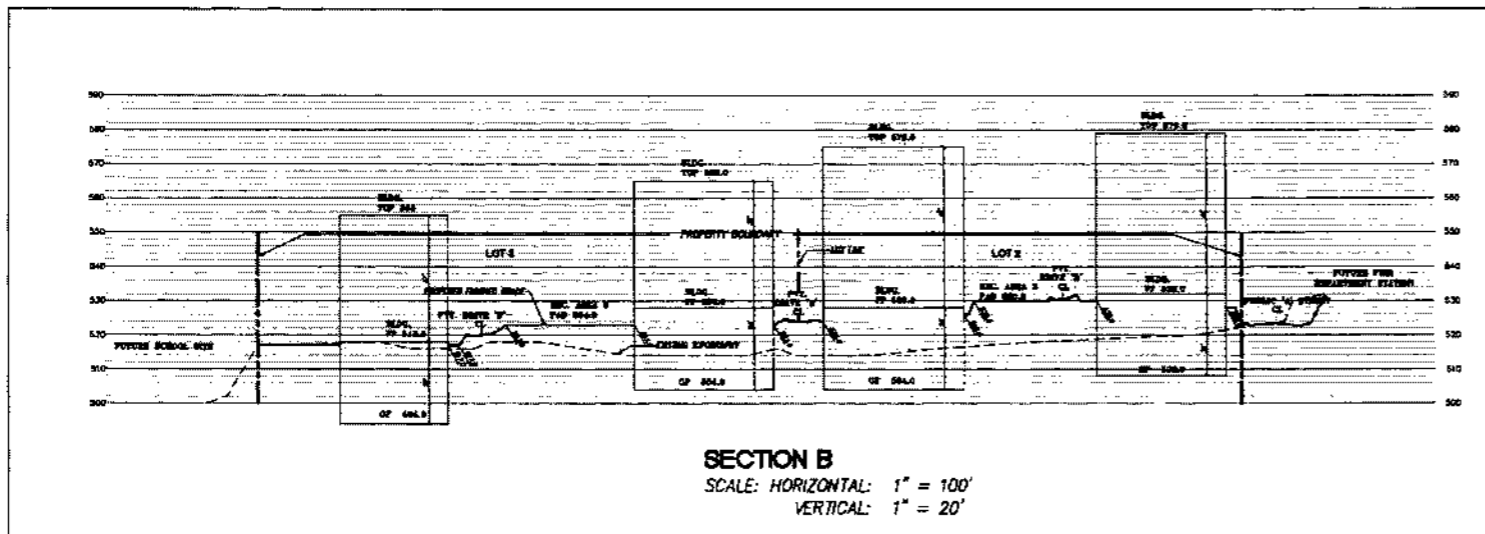
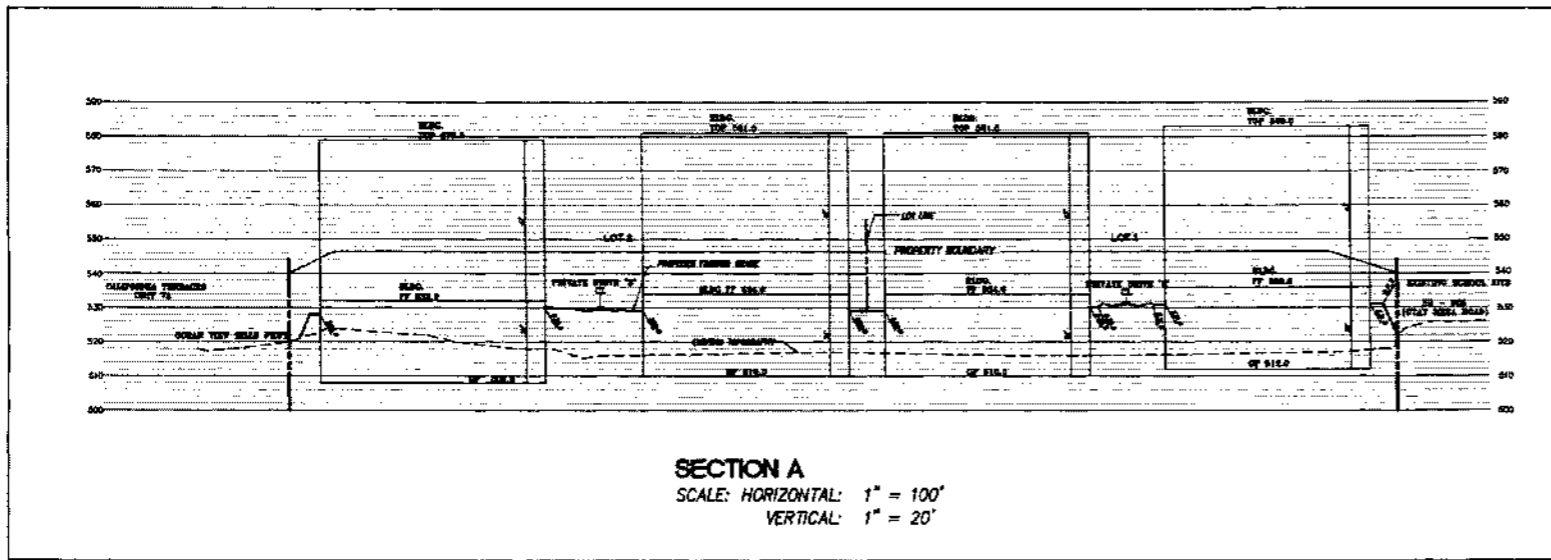
Original Date: AUGUST 28, 2002

Sheet 7 of 22

SHEET TITLE: GRADING PLAN

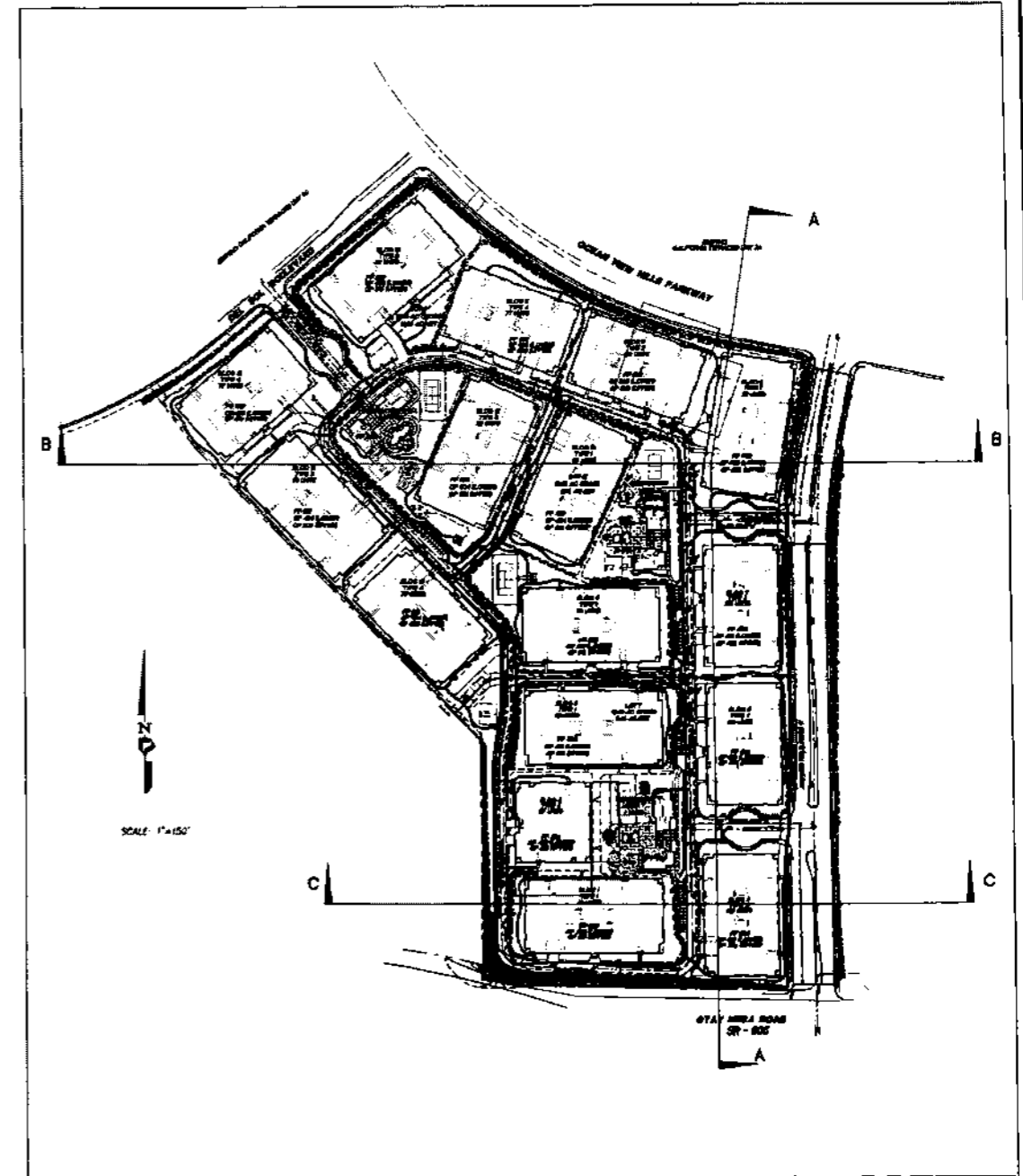
PLAYA DEL SOL GRADING PLAN

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Survey



NOTE: SEE SHEET 8 FOR CROSS SECTION LOCATIONS.

LEGEND
 PROPERTY BOUNDARY ————
 LOT LINE ————



PROJECT NAME: PLAYA DEL SOL		Revision 1: NOVEMBER 1, 2007
PREPARED BY: PROJECT DESIGN CONSULTANTS		Revision 2: OCTOBER 27, 2004
Address: 201 W STREET, SUITE 800 SAN DIEGO, CA 92101 Phone No. (619) 235-4471		Revision 3: JANUARY 4, 2008
PROJECT ADDRESS: PROPOSED 27th HLL BE SOUTH OF OCEAN VIEW HILLS PARKWAY NORTH OF SB-880 AND WEST OF PROPOSED 13 STREET SAN DIEGO, CA		Revision 4: NOVEMBER 18, 2008
		Revision 5: JANUARY 15, 2007
		Revision 6: APRIL 11, 2007
		Revision 7: SEPTEMBER 5, 2007
		Revision 8: JULY 22, 2009
		Original Date: AUGUST 26, 2000
SHEET 210: CROSS SECTIONS		Sheet 8 of 52
		DPV

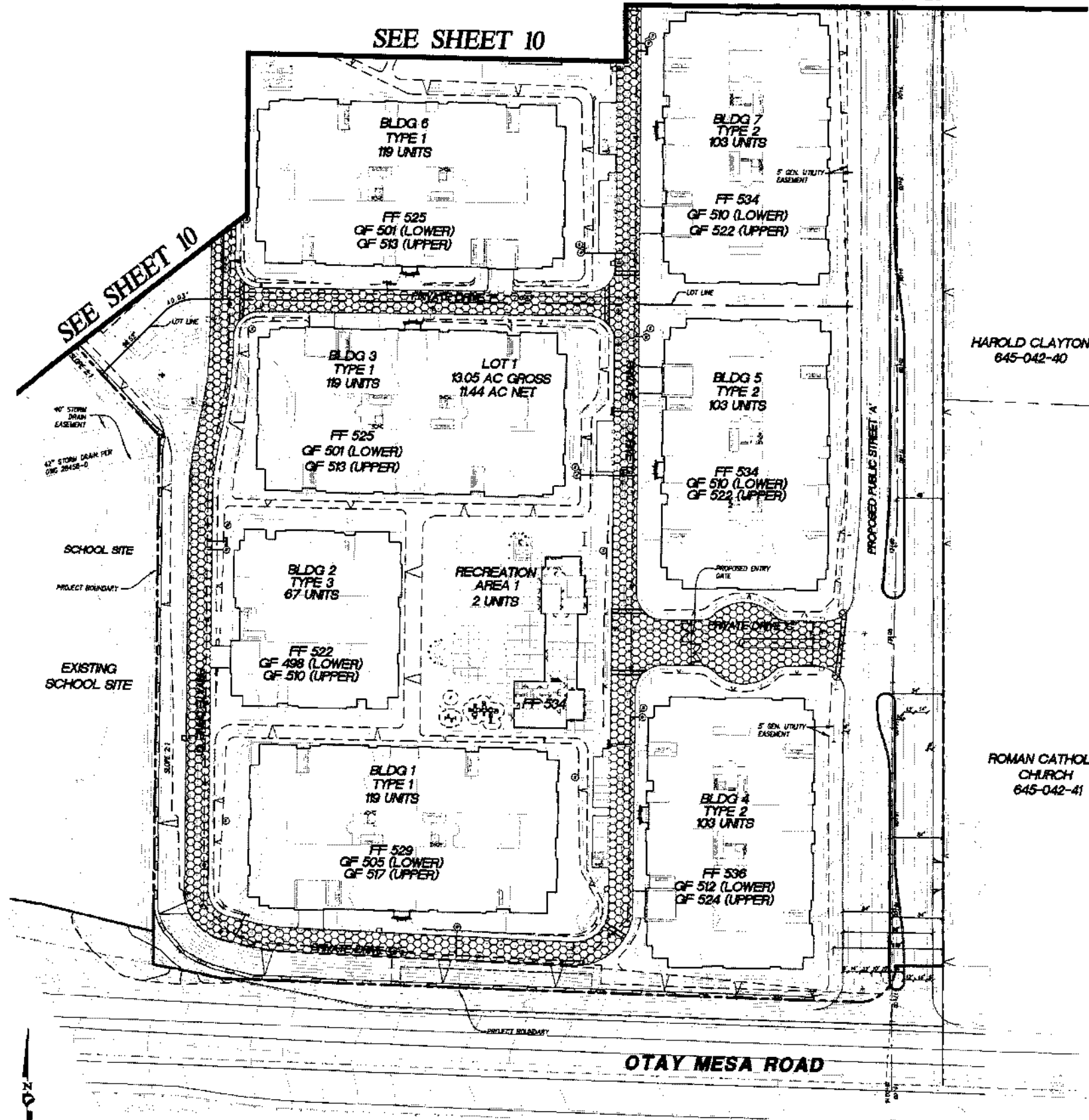
PLAYA DEL SOL CROSS SECTIONS



SEE SHEET 10

SEE SHEET 10

SEE SHEET 10



FIRE DEPARTMENT NOTES

1. ALL BUILDING WILL BE SPRINKLERED.
2. FIRE ACCESS ROADWAY SIGNS ON RED CURBS SHALL BE PROVIDED IN ACCORDANCE WITH FPPS POLICY A-00-1.
3. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURES PER UFC 1001.4.
4. AN ILLUMINATED DIRECTORY SHALL BE PROVIDED IN ACCORDANCE WITH FPPS POLICY I-00-4.
5. ALL STREETS LESS THAN 20' SHALL HAVE PARKING PROHIBITED ON BOTH SIDES.
6. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, PER FPPS POLICY P-00-6.
7. AN APPROVED VEHICLE STROBE DETECTOR SYSTEM WITH KNOX KEYSWITCH OVER RIDE, SATISFACTORY TO THE FIRE MARSHAL, SHALL BE PROVIDED AT THE MAIN AND SECONDARY VEHICLE ENTRY POINTS TO THIS PROJECT.
8. ALL FIRE ACCESS ROADS SHALL PER CITY OF SAN DIEGO FIRE DEPARTMENT BFLS POLICY A-98-9.

TYPE OF CONSTRUCTION

1. TYPE V FIRE-RESISTIVE CONSTRUCTION - 1 HOUR STRUCTURAL FRAME
2. TYPE III (COMMERCIAL SITE)

LEGEND

- FIRE HYDRANT
- 20' FIRE ACCESS (OR MORE)

HAROLD CLAYTON
645-042-40

ROMAN CATHOLIC
CHURCH
645-042-41

OTAY MESA ROAD



**PLAYA DEL SOL
FIRE ACCESS PLAN**

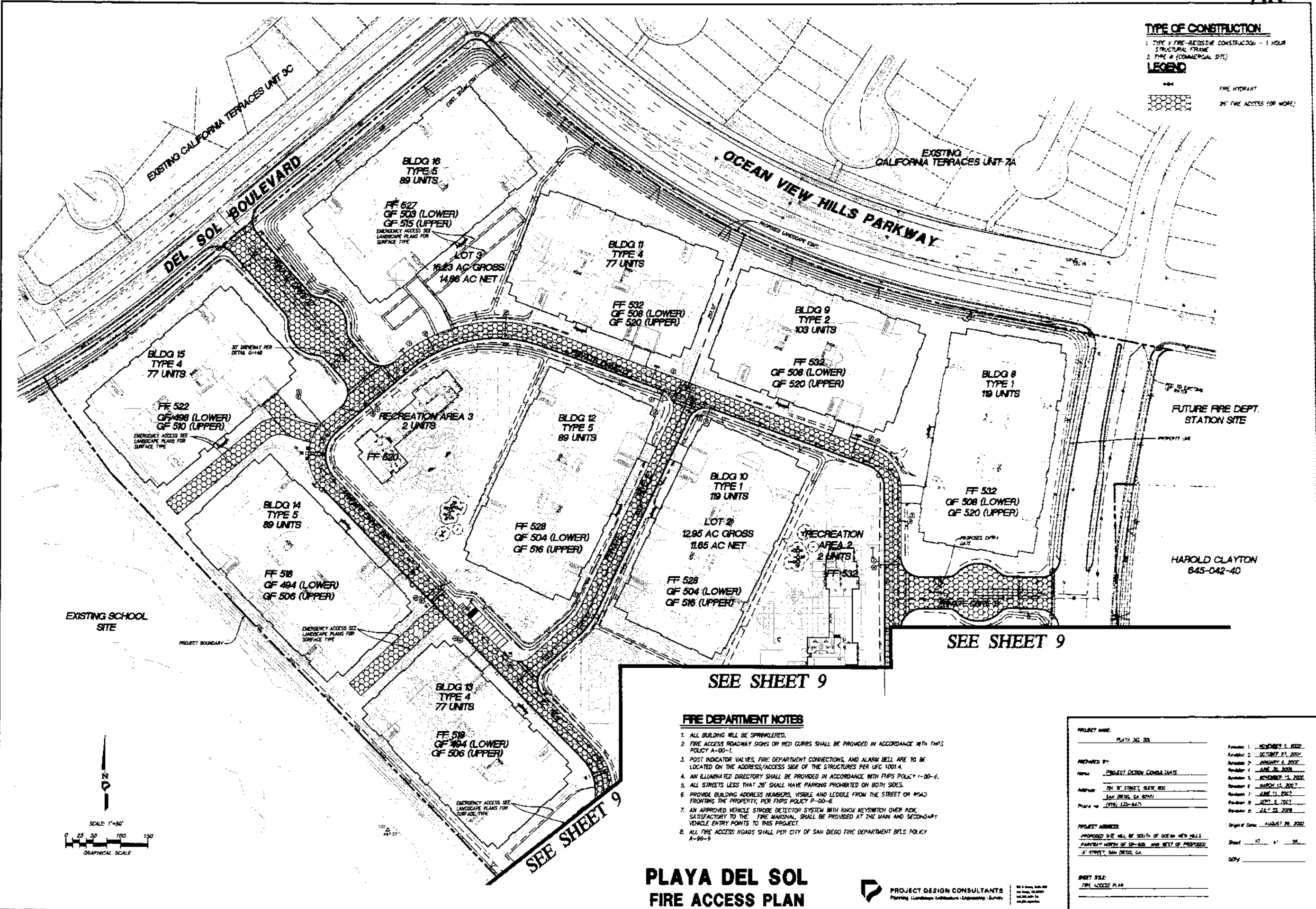
PROJECT NAME: PLAYA DEL SOL	Revision 1: NOVEMBER 1, 2002
PREPARED BY: PROJECT DESIGN CONSULTANTS	Revision 2: OCTOBER 27, 2001
Address: 701 W STREET, SUITE 600 SAN DIEGO, CA 92101	Revision 3: JUNE 20, 2000
Phone no: (619) 235-6477	Revision 4: NOVEMBER 15, 2000
PROJECT ADDRESS: PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARWAY NORTH OF SR-1635 AND WEST OF PROPOSED 74 STREET, SAN DIEGO, CA.	Revision 5: MARCH 14, 2002
	Revision 6: JUNE 11, 2002
	Revision 7: JULY 11, 2002
	Revision 8: JULY 22, 2002
	Original Date: AUGUST 28, 2002
	Sheet 2 of 58
SHEET TITLE: FIRE ACCESS PLAN	DATE:



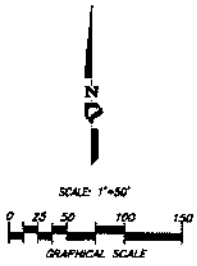
115 S. DICKINSON
SAN DIEGO, CALIFORNIA
92106-3476
619.235.6477

TYPE OF CONSTRUCTION
 1. TYPE I FIRE-RESISTIVE CONSTRUCTION - 1 HOUR STRUCTURAL FRAME
 2. TYPE II (COMMERCIAL SITE)

LEGEND
 FIRE HYDRANT
 FIRE ACCESS (FOR MORE)



EXISTING SCHOOL SITE



SEE SHEET 9

FIRE DEPARTMENT NOTES

1. ALL BUILDINGS WILL BE SPRINKLERED.
2. FIRE ACCESS ROADWAY SIGNS OR RED CURBS SHALL BE PROVIDED IN ACCORDANCE WITH FDPS POLICY A-00-1.
3. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURES PER UFG 1001.4.
4. AN ILLUMINATED DIRECTORY SHALL BE PROVIDED IN ACCORDANCE WITH FDPS POLICY I-00-6.
5. ALL STREETS LESS THAN 20' SHALL HAVE PARKING PROHIBITED ON BOTH SIDES.
6. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, PER FDPS POLICY P-00-6.
7. AN APPROVED VEHICLE STROBE DETECTOR SYSTEM WITH KNOX KEYSWITCH OVER PEEK SATISFACTORY TO THE FIRE MARSHAL SHALL BE PROVIDED AT THE MAIN AND SECONDARY VEHICLE ENTRY POINTS TO THIS PROJECT.
8. ALL FIRE ACCESS ROADS SHALL PER CITY OF SAN DIEGO FIRE DEPARTMENT BPLS POLICY A-96-9

SEE SHEET 9

SEE SHEET 9

**PLAYA DEL SOL
 FIRE ACCESS PLAN**

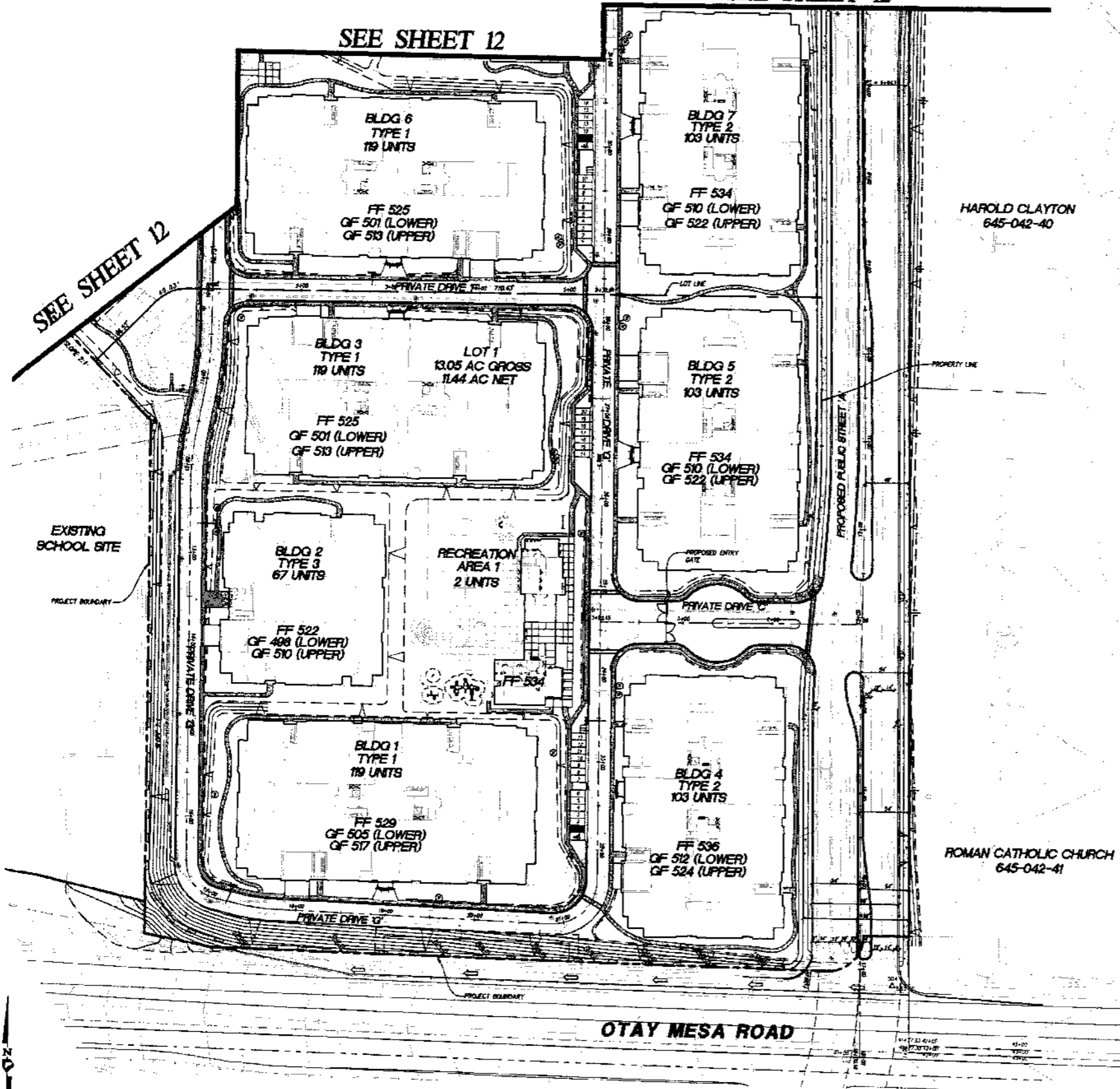
PROJECT DESIGN CONSULTANTS
 Planning, Landscape Architecture, Engineering, Survey

PROJECT NAME:	PLAYA DEL SOL	Revision 1:	NOVEMBER 1, 2002
PREPARED BY:	PROJECT DESIGN CONSULTANTS	Revision 2:	OCTOBER 27, 2004
DATE:	JULY 27, 2004	Revision 3:	JANUARY 6, 2005
ADDRESS:	701 W. STREET, SUITE 100, SAN DIEGO, CA 92101	Revision 4:	JUNE 26, 2005
PHONE NO.:	(619) 551-8471	Revision 5:	MARCH 14, 2007
PROJECT ADDRESS:	PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARKWAY NORTH OF 28th AND WEST OF PROPOSED 'A' STREET, SAN DIEGO, CA	Revision 6:	JUNE 11, 2007
		Revision 7:	SEPT 8, 2007
		Revision 8:	JULY 21, 2008
		Original Date:	AUGUST 26, 2002
		Sheet:	10 of 11
		DATE:	
SHEET FILE:	FIRE_ACCESS_PLAN		

SEE SHEET 12

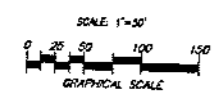
SEE SHEET 12

SEE SHEET 12



LEGEND

- ADA ACCESS POINT
- HANDICAP PARKING STALL
- PEDESTRIAN RAMP



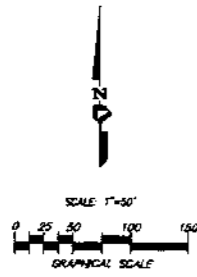
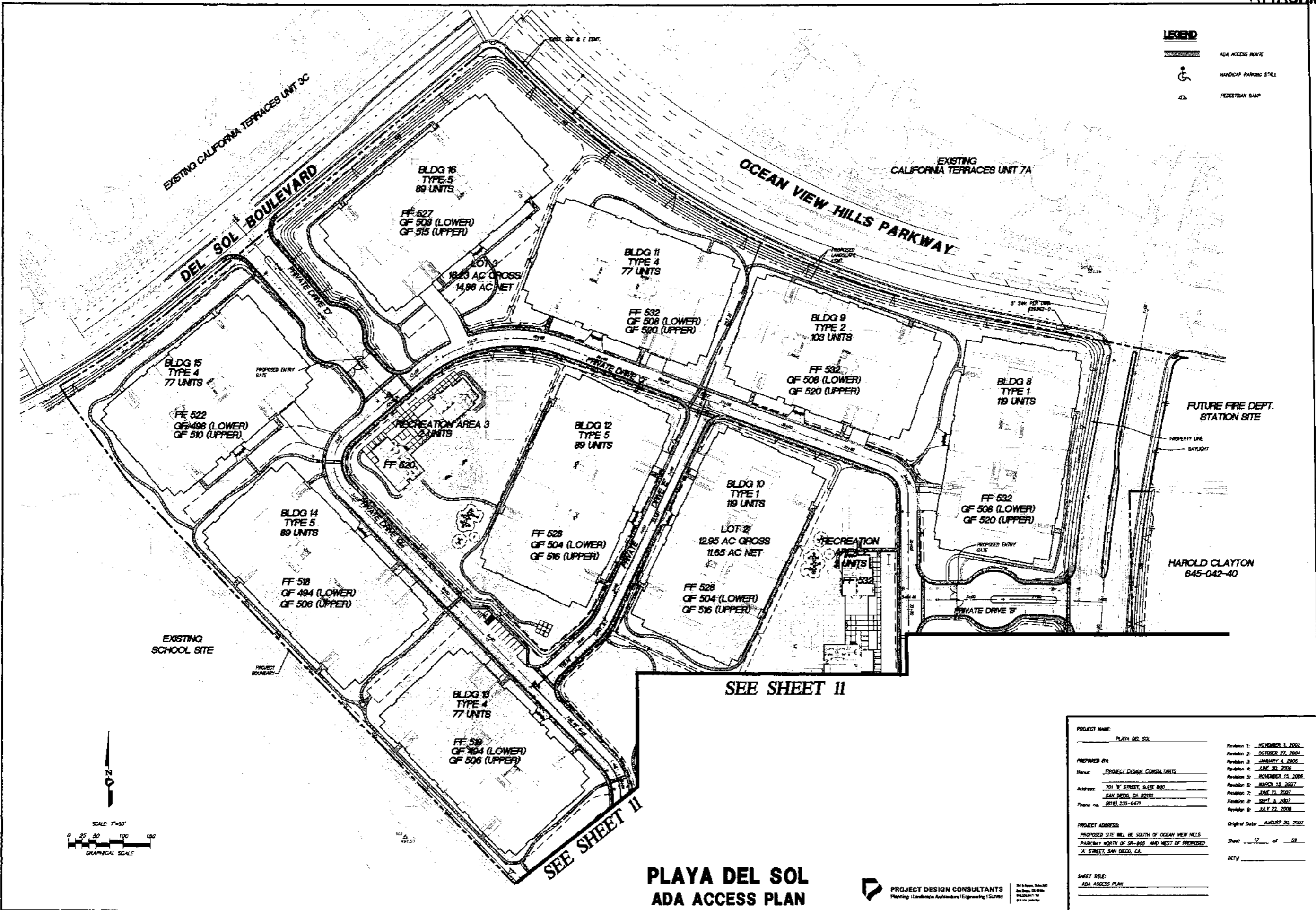
**PLAYA DEL SOL
ADA ACCESS PLAN**

PROJECT NAME:	PLAYA DEL SOL	Revised 1:	NOVEMBER 1, 2007
PREPARED BY:	PROJECT DESIGN CONSULTANTS	Revised 2:	DECEMBER 27, 2007
DATE:	NOVEMBER 14, 2007	Revised 3:	JANUARY 4, 2008
ADDRESS:	701 W. STREET, SUITE 202 SAN DIEGO, CA 92101	Revised 4:	MARCH 20, 2008
PHONE NO.:	(619) 444-8477	Revised 5:	NOVEMBER 14, 2007
PROJECT ADDRESS:	PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS RAMPART NORTH OF 38th ST AND WEST OF PROPOSED "A" STREET SAN DIEGO, CA	Revised 6:	JUNE 11, 2007
PROJECT NO.:	07-001	Revised 7:	AUGUST 14, 2007
DATE:	AUGUST 14, 2007	Revised 8:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 9:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 10:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 11:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 12:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 13:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 14:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 15:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 16:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 17:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 18:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 19:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 20:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 21:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 22:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 23:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 24:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 25:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 26:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 27:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 28:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 29:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 30:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 31:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 32:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 33:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 34:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 35:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 36:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 37:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 38:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 39:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 40:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 41:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 42:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 43:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 44:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 45:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 46:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 47:	SEPTEMBER 11, 2007
PROJECT NO.:	07-001	Revised 48:	DECEMBER 27, 2007
PROJECT NO.:	07-001	Revised 49:	AUGUST 14, 2007
PROJECT NO.:	07-001	Revised 50:	SEPTEMBER 11, 2007

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Surveying

LEGEND

-  ADA ACCESS ROUTE
-  HANDICAP PARKING STALL
-  PEDESTRIAN RAMP



PROJECT NAME: PLAYA DEL SOL		Revision 1: NOVEMBER 1, 2002
PREPARED BY: PROJECT DESIGN CONSULTANTS		Revision 2: OCTOBER 27, 2004
Address: 701 Y STREET, SUITE 800 SAN DIEGO, CA 92101		Revision 3: JANUARY 4, 2006
Phone no.: (619) 235-6477		Revision 4: JUNE 20, 2006
		Revision 5: NOVEMBER 15, 2006
		Revision 6: MARCH 15, 2007
		Revision 7: JUNE 11, 2007
		Revision 8: SEPT. 5, 2007
		Revision 9: JULY 22, 2008
PROJECT ADDRESS: PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARKWAY NORTH OF SR-565 AND WEST OF PROPOSED 'A' STREET, SAN DIEGO, CA.		Original Date: AUGUST 30, 2002
		Sheet: 12 of 58
SHEET TITLE: ADA ACCESS PLAN		REV:

**PLAYA DEL SOL
ADA ACCESS PLAN**

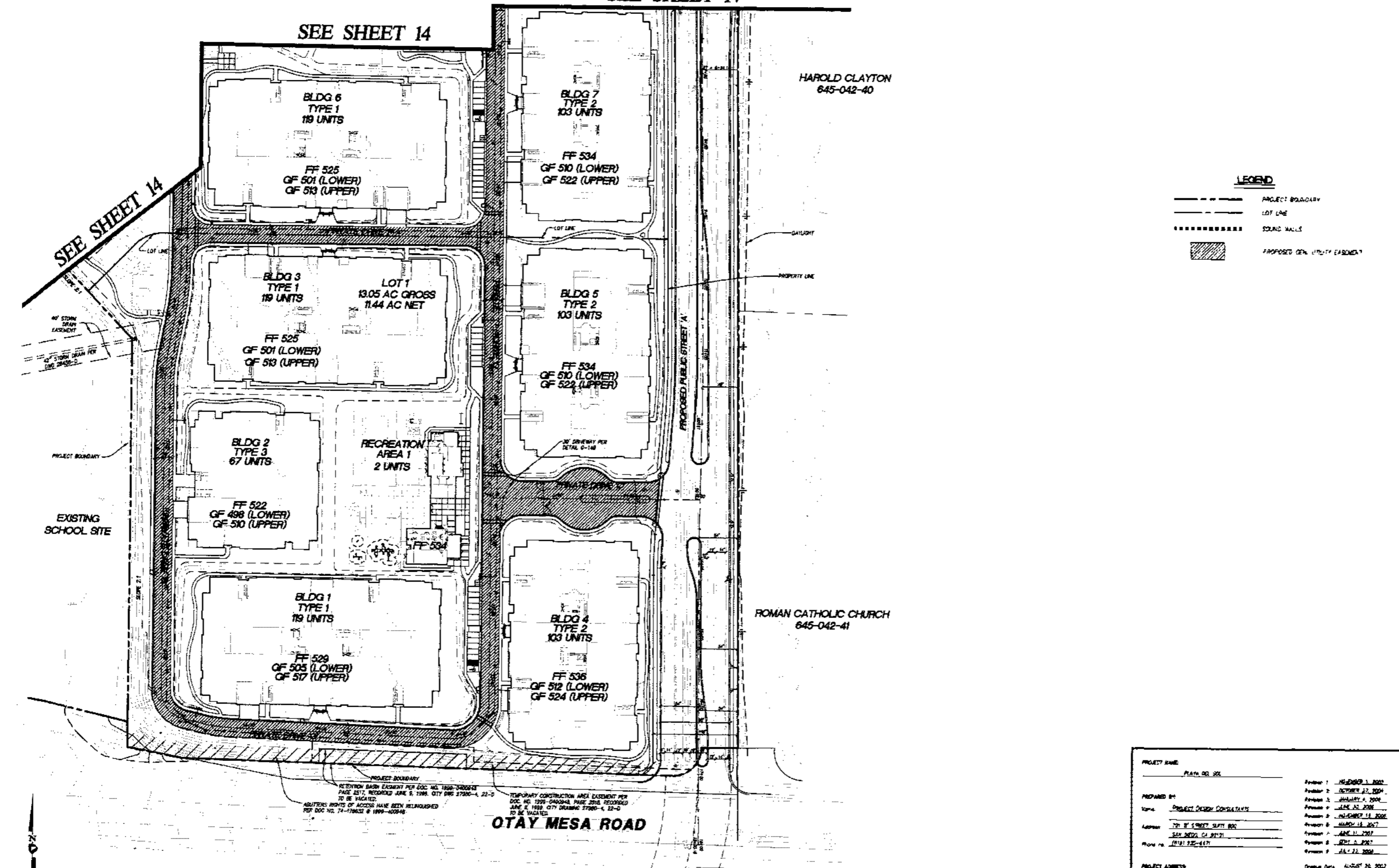
PROJECT DESIGN CONSULTANTS
Planning | Landscape Architecture | Engineering | Survey

T:\proj\1017\101718\PC1017.dwg Aug 03, 2006 - 2:53pm

SEE SHEET 14

SEE SHEET 14

SEE SHEET 14



LEGEND

- PROJECT BOUNDARY
- LOT LINE
- SOUND WALLS
- PROPOSED GEN. UTILITY EASEMENT

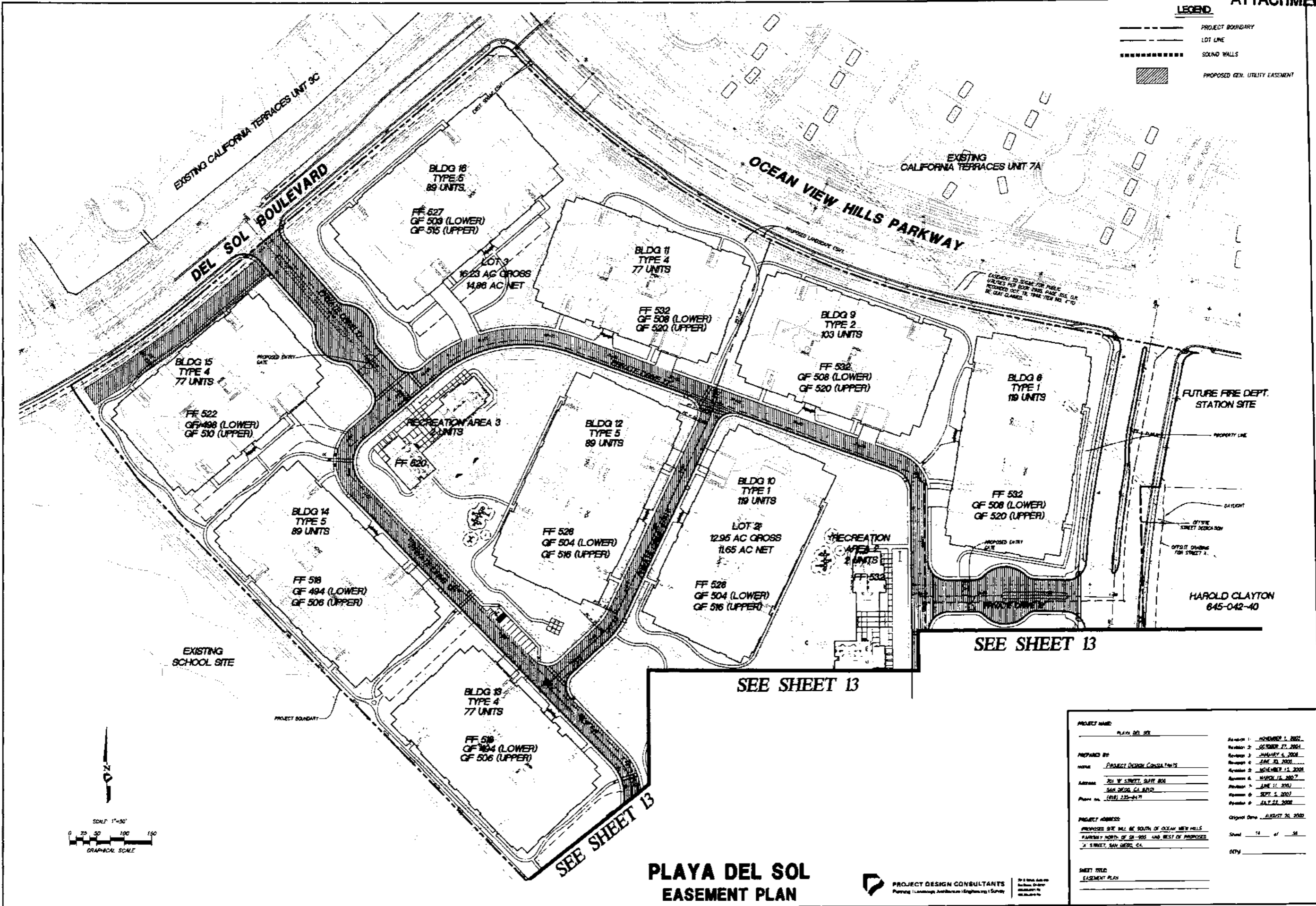
**PLAYA DEL SOL
EASEMENT PLAN**

PROJECT NAME	PLAYA DEL SOL	Revision 1	10-26-2001
PREPARED BY	PROJECT DESIGN CONSULTANTS	Revision 2	NOVEMBER 27, 2001
DATE	10/26/01	Revision 3	JANUARY 4, 2002
ADDRESS	170 W. STREET SUITE 200 SAN DIEGO, CA 92101	Revision 4	JANUARY 14, 2002
PHONE NO.	(619) 732-6671	Revision 5	MARCH 11, 2002
PROJECT ADDRESS	PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS RIMDRIVE NORTH OF 38th AND WEST OF PROPOSED 14th STREET SAN DIEGO, CA	Revision 6	MAY 1, 2002
SHEET TITLE	EASEMENT PLAN	Revision 7	JULY 11, 2002
SCALE	1"=50'	DATE	AUGUST 26, 2002
GRAPHICAL SCALE	0 25 50 100 150	SHEET	11 OF 12
		DRAWN BY	

PROJECT DESIGN CONSULTANTS
Planning • Landscape Architecture • Engineering • Surveying

LEGEND

- PROJECT BOUNDARY
- LOT LINE
- SOUND WALLS
- ▨ PROPOSED GEN. UTILITY EASEMENT



SEE SHEET 13

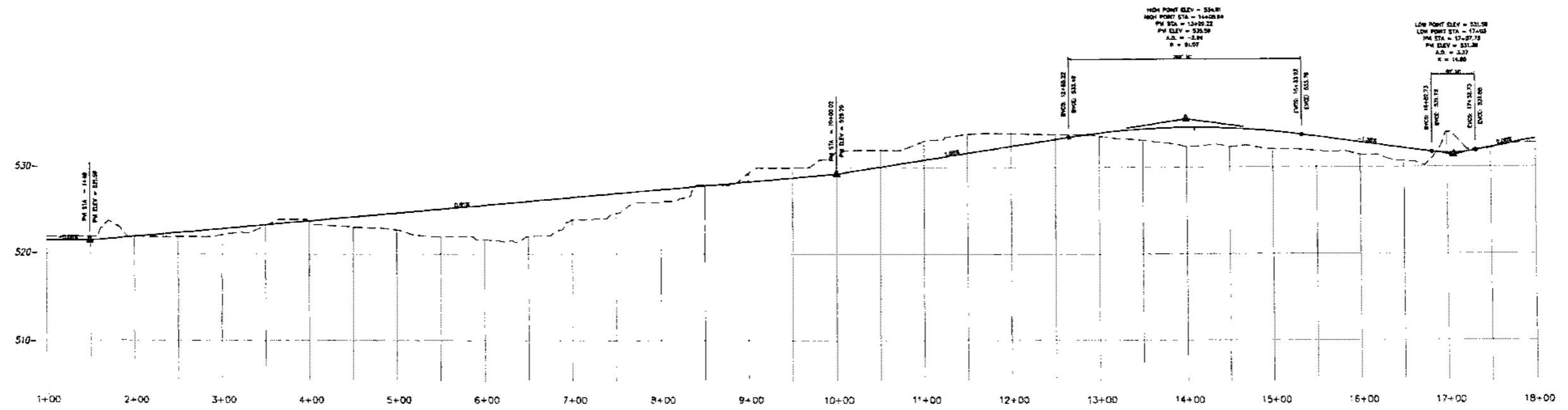
SEE SHEET 13

SEE SHEET 13

**PLAYA DEL SOL
EASEMENT PLAN**

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Survey

PROJECT NAME: PLAYA DEL SOL	Revision 1: NOVEMBER 1, 2001
PREPARED BY: PROJECT DESIGN CONSULTANTS	Revision 2: OCTOBER 27, 2001
NAME: PROJECT DESIGN CONSULTANTS	Revision 3: MARCH 5, 2002
ADDRESS: 201 W. STREET, SUITE 104 560 DEER CREEK BLVD. SAN DIEGO, CA 92108	Revision 4: MARCH 15, 2002
PHONE NO.: (619) 235-9171	Revision 5: APRIL 11, 2002
PROJECT ADDRESS: PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARKWAY NORTH OF 20-200 AND WEST OF PROPOSED "A" STREET, SAN DIEGO, CA	Revision 6: SEPT. 5, 2002
SHEET TITLE: EASEMENT PLAN	Revision 7: JULY 22, 2002
	Original Date: AUGUST 20, 2002
	Sheet 14 of 58
	CITY



**PLAYA DEL SOL
'A' STREET PROFILE**

SCALE: HORIZONTAL: 1" = 50'
VERTICAL: 1" = 5'

PROJECT NAME: PLAYA DEL SOL	
PROPOSED BY: PROJECT DESIGN CONSULTANTS	Revision 1: NOVEMBER 1, 2001 Revision 2: OCTOBER 27, 2004 Revision 3: JANUARY 4, 2005 Revision 4: JUNE 30, 2006 Revision 5: NOVEMBER 14, 2008 Revision 6: MARCH 15, 2007 Revision 7: JUNE 11, 2007 Revision 8: SEPT. 5, 2007 Revision 9: JULY 22, 2008
Address: 701 'A' STREET, SUITE 800 SAN DIEGO, CA 92101 Phone no: (619) 330-8471	Original Date: AUGUST 26, 2002
PROJECT ADDRESS: PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARTIALLY NORTH OF SP-305 AND WEST OF PROPOSED 'A' STREET, SAN DIEGO, CA	Sheet 12 of 28 DPF
SHEET TITLE: 'A' STREET PROFILE	



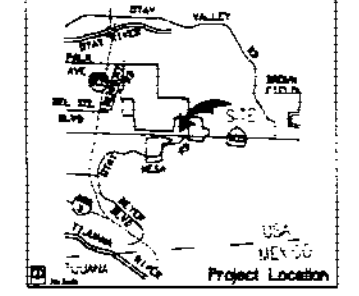
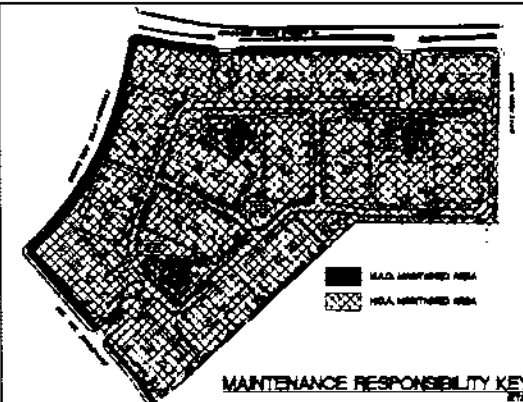
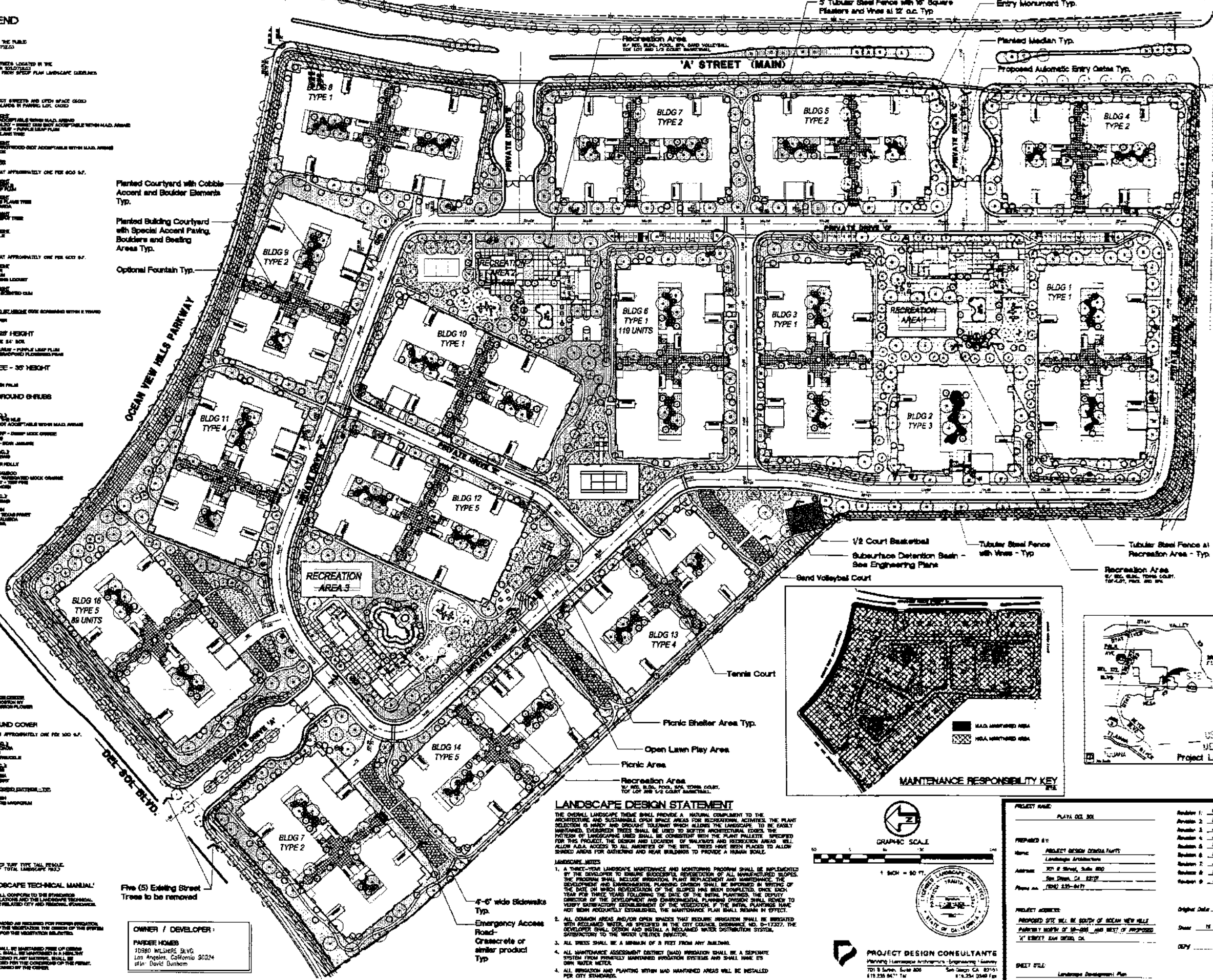
2010 © Project Design Consultants
All Rights Reserved
www.pdc.com

PLANTING LEGEND

- STREET TREES**
 - ◉ 4" DBL. SPAN SIZE FOR STREET TREES LOCATED IN THE PLANTING STRIP OF ST. 12.5' SECTION SPACING
 - ◉ 24" DBL. SPAN SIZE FOR STREET TREES LOCATED IN THE PLANTING STRIP OF ST. 12.5' SECTION SPACING
- ACCENT STREET TREES**
 - ◉ 24" DBL. SPAN SIZE FOR ACCENT STREET TREES AND OPEN SPACE GRASS
- MOOD OPEN SPACE TREES**
 - ◉ 40" DBL. SPAN SIZE FOR MOOD OPEN SPACE TREES
- INTERIOR SLOPE TREES**
 - ◉ 40" DBL. SPAN SIZE FOR INTERIOR SLOPE TREES
- REMAINING YARD TREES - 20' HEIGHT**
 - ◉ 4" DBL. SPAN SIZE FOR REMAINING YARD TREES
- RECREATION ACCENT TREE - 30' HEIGHT**
 - ◉ 4" DBL. SPAN SIZE FOR RECREATION ACCENT TREES
- FOUNDATION AND BACKGROUND TREES**
 - ◉ 40" DBL. SPAN SIZE FOR FOUNDATION AND BACKGROUND TREES
- WHEES**
 - ◉ 40" DBL. SPAN SIZE FOR WHEES
- SLOPE GRASS AND GROUND COVER**
 - ◉ 40" DBL. SPAN SIZE FOR SLOPE GRASS AND GROUND COVER
- LAWN AREAS - OPEN PLAY**
 - ◉ 40" DBL. SPAN SIZE FOR LAWN AREAS - OPEN PLAY

CITY OF SAN DIEGO LANDSCAPE TECHNICAL MANUAL
 ALL LANDSCAPE AND PLANTING SHALL CONFORM TO THE STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE TECHNICAL MANUAL AND ALL OTHER LANDSCAPE-RELATED CITY AND FEDERAL STANDARDS.
IRRIGATION
 IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER PROTECTION, MAINTENANCE AND SUPPORT OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SUBJECTS.
MAINTENANCE
 ALL TREES AND PLANTS ARE TO BE MAINTAINED FREE OF DISEASE AND PESTS AND ALL PLANT MATERIAL SHALL BE SUPPORTED BY A HEALTHY AND SOUND ROOT SYSTEM. PLANTS SHALL BE SUPPORTED BY A HEALTHY AND SOUND ROOT SYSTEM. PLANTS SHALL BE SUPPORTED BY A HEALTHY AND SOUND ROOT SYSTEM. PLANTS SHALL BE SUPPORTED BY A HEALTHY AND SOUND ROOT SYSTEM.

OWNER / DEVELOPER:
 PARKER HOMES
 11980 WILSHIRE BLVD.
 LOS ANGELES, CALIFORNIA 90024
 p/c: David Dunham

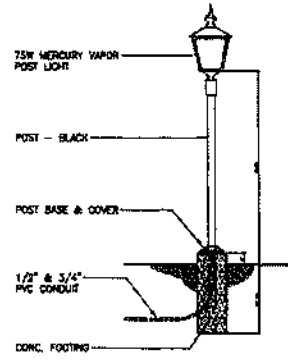


LANDSCAPE DESIGN STATEMENT
 THE OVERALL LANDSCAPE THEME SHALL PROVIDE A NATURAL COMPLIMENT TO THE ARCHITECTURE AND SUSTAINABLE OPEN SPACE AREAS FOR RECREATION. THE PLANT SELECTION IS HEAVY AND DIVERSE TO ALLOW THE LANDSCAPE TO BE EASILY MAINTAINED. EXISTING TREES SHALL BE USED TO BLENDE ARCHITECTURAL TONES. THE DESIGN OF LANDSCAPING SHALL BE COORDINATE WITH THE PLANTING SCHEDULE FOR THIS PROJECT. THE DESIGN AND LOCATION OF WALKWAYS AND RECREATION AREAS WILL ALLOW FULL ACCESS TO ALL PORTIONS OF THE SITE. TREES HAVE BEEN PLACED TO ALLOW SHEDD AREAS FOR GATHERING AND NEAR WALKWAYS TO PROVIDE A HUMAN SCALE.
LANDSCAPE NOTES
 1. A THREE-YEAR LANDSCAPE MAINTENANCE AND MONITORING PROGRAM SHALL BE IMPLEMENTED BY THE DEVELOPER TO ENSURE SUCCESSFUL ESTABLISHMENT OF ALL MANUFACTURED SLOPES. THE PROGRAM SHALL INCLUDE IRRIGATION, PLANT REPLACEMENT AND MAINTENANCE. THE DEVELOPER AND ENVIRONMENTAL PLANNING DIVISION SHALL BE INFORMED IN WRITING OF THE DATE ON WHICH REVEGETATION OF THE SLOPES HAS BEEN COMPLETED. SINCE EACH YEAR FOR THREE YEARS FOLLOWING THE DATE OF THE INITIAL PLANTING, THE DEPUTY DIRECTOR OF THE DEVELOPMENT AND ENVIRONMENTAL PLANNING DIVISION SHALL REVIEW TO VERIFY SATISFACTORY ESTABLISHMENT OF THE VEGETATION. IF THE INITIAL PLANTINGS HAVE NOT BEEN ADEQUATELY ESTABLISHED, THE MAINTENANCE PLAN SHALL REMAIN IN EFFECT.
 2. ALL COMMON AREAS AND/OR OPEN SPACES THAT REQUIRE IRRIGATION SHALL BE IRRIGATED WITH RECYCLED WATER, AS SPECIFIED IN THE CITY ORDINANCE, ORDINANCE NO. D-12327. THE DEVELOPER SHALL DESIGN AND INSTALL A RECYCLED WATER DISTRIBUTION SYSTEM, SUBORDINATE TO THE WATER UTILITY'S DIRECTOR.
 3. ALL TREES SHALL BE A MINIMUM OF 3 FEET FROM ANY BUILDING.
 4. ALL MAINTENANCE ASSESSMENT DISTRICT (MAD) IRRIGATION SHALL BE A SEPARATE SYSTEM FROM PRIVATELY MAINTAINED IRRIGATION SYSTEMS AND SHALL HAVE ITS OWN WATER METER.
 5. ALL IRRIGATION AND PLANTING WITHIN MAD MAINTAINED AREAS WILL BE INSTALLED PER CITY STANDARDS.

PROJECT DESIGN CONSULTANTS
 Planning | Landscape Architecture | Engineering | Surveying
 701 S. Street, Suite 800 San Diego, CA 92101
 (619) 525-9471 Fax: (619) 525-0448 Fax

PROJECT NAME:	PLATA DEL SOL	Revision 1:	NOVEMBER 1, 2022
PREPARED BY:	PROJECT DESIGN CONSULTANTS	Revision 2:	DECEMBER 27, 2024
Address:	2718 Street, Suite 800	Revision 3:	JANUARY 4, 2025
Phone no.:	(619) 525-9471	Revision 4:	JUNE 26, 2025
PROPOSED SITE:	PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARTIALLY NORTH OF 38-000 AND WEST OF PROPOSED 'A' STREET SAN DIEGO, CA.	Revision 5:	NOVEMBER 13, 2025
PROJECT ADDRESS:		Revision 6:	MARCH 18, 2026
Original Date:	August 20, 2022	Revision 7:	JUNE 11, 2027
Drawn by:		Revision 8:	SEPTEMBER 1, 2027
Scale:	1" = 80'	Revision 9:	JULY 22, 2028
DATE:			
DESIGN TITLE:	Landscape Development Plan		

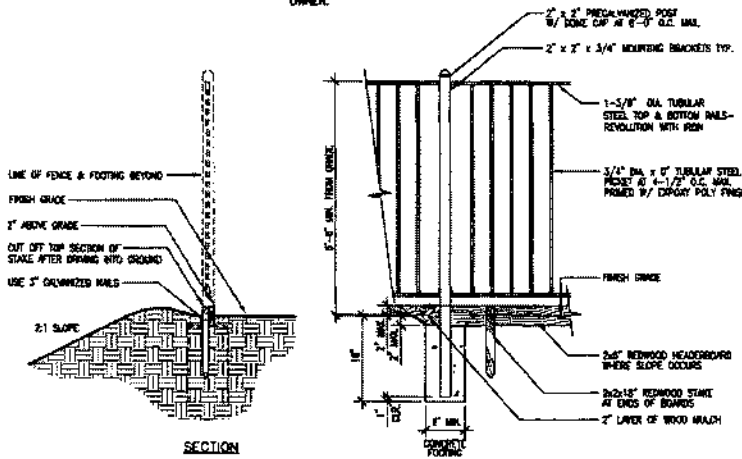
CITY OF SAN DIEGO LIGHT POLLUTION LAW
 THE EXTERIOR LIGHT FIXTURES SHOWN ON THESE PLANS SHALL BE CITY OF SAN DIEGO TYPE AND THE CITY OF SAN DIEGO SHALL BE RESPONSIBLE FOR THE LIGHT POLLUTION. TOTAL LIGHT SOURCE LUMENS OR FOOT CANDLE EXEMPTION ACTUAL MAX. LUMENS = 3000



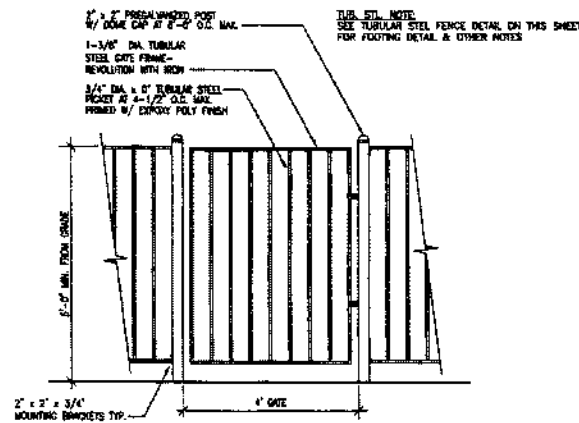
POST LIGHT
N.T.S.

3000 LUMENS
75 WATT H. VAPOR

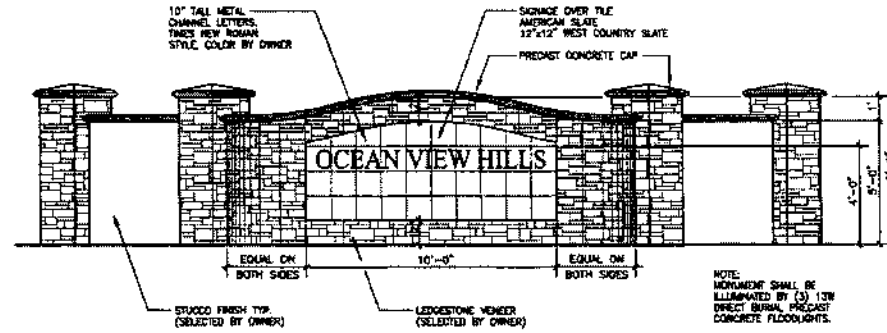
- NOTES:**
1. FENCES TO BE PRE-FINISHED IN THE FACTORY W/ GOLDEN STATE'S "GALV PLUS" SYSTEM USING RAW STEEL AND RUST INHIBITING COATINGS.
 2. PAINT COLOR TO BE SELECTED BY OWNER.



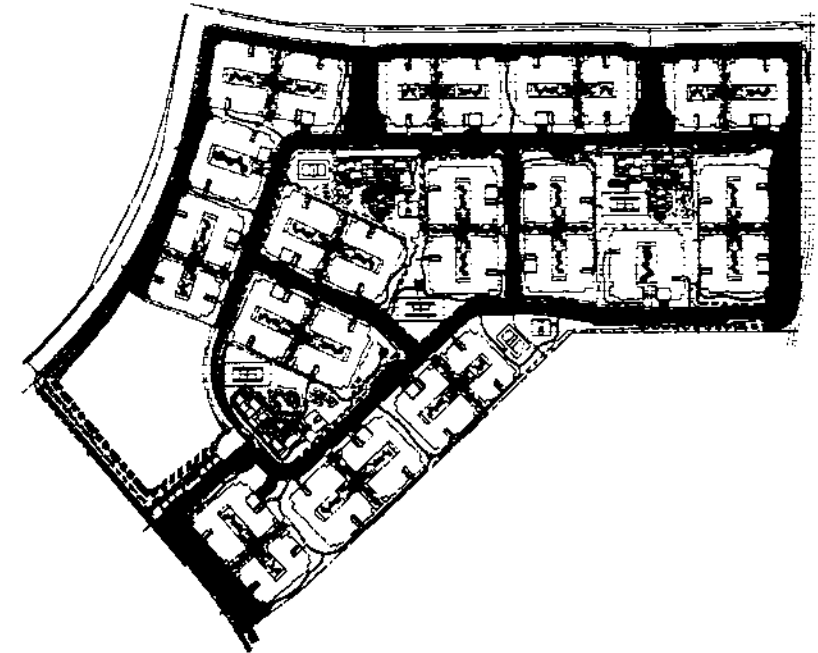
TUBULAR STEEL FENCE - PERIMETER GALV PLUS REVOLUTION
N.T.S.



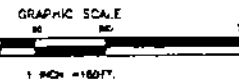
MAN GATE ELEVATION
N.T.S.



PROJECT ENTRY WALL ELEVATION
N.T.S.



STREET YARD AREA
 REMAINING YARD AREA
 VEHICULAR USE AREA OUTSIDE STREET YARD
 VEHICULAR USE AREA INSIDE STREET YARD



LANDSCAPE SUMMARY PLAN

RESIDENTIAL LANDSCAPE SUMMARY NOTES

STREET YARD AREA
 TOTAL AREA ± 2 REQUIRED - POINTS REQUIRED
 SUBM. A. DSG - 2,878 REQUIRED POINTS

Tree Points Required (2000) - 8,790
 Street Points Required (2000) - 8,790

30' 30\"/>
 20' 30\"/>
 10' 15\"/>
 TOTAL TREE POINTS 8800
 1278 8 gal. shrubs = 2 points each = 2556
 1000 1 gal. shrubs = 1 point each = 1000
 TOTAL SHRUB POINTS 4856

VEHICULAR USE AREA (16,000 sq. ft.)
 Total Area = 16,000 sq. ft.
 Parking Area Required
 Plant Points Required

VIA Inside Street Yard 8,000 sq. ft. @ 0.05 = 400 pt.
 VIA Outside Street Yard 16,000 sq. ft. @ 0.05 = 800 pt.
 VIA Inside Street Yard 8,000 sq. ft. @ 0.05 = 400 pt.
 VIA Outside Street Yard 16,000 sq. ft. @ 0.05 = 800 pt.

Tree Points Required (2000) = 2388
 24' 30\"/>
 TOTAL TREE POINTS 440

REMAINING YARD AREA
 TOTAL NUMBER OF BUILDING X 0.3 - THREE PERCENT
 SUBTOTALS ± 64 REQUIRED TREES
 04 - 24' 30\"/>
 1 - 24' 30\"/>
 and the rear of each building 142,000 sq. ft.

LANDSCAPE CALCULATIONS WORKSHEET
 MULTIPLE DWELLING UNIT DEVELOPMENT IN ALL ZONES MORE THAN ONE STRUCTURE ON A LOT

STREET YARD
 Planting Area Required
 Total Area 12,884 sq. ft. @ 0.05 = 644.2 pt.
 Planting Area available as landscape or landscaped unit parking
 Total Area 10,284 sq. ft. @ 0.05 = 514.2 pt.
 Plant Points Required
 Total Area 12,884 sq. ft. @ 0.05 = 644.2 points

REMAINING YARD
 Number of Sublots = 6 @ 0.3 = 18 Trees Required
 Note
 *Planting in public ROW, above and around landscape required Street Yard planting area.

SUMMARY OF LANDSCAPE CALCULATIONS
 MULTIPLE DWELLING UNIT DEVELOPMENT IN ALL ZONES MORE THAN ONE STRUCTURE ON A LOT

STREET YARD
 Total Area 12,884 sq. ft.
 Planting Area Required 76,704 sq. ft. provided 6,000 sq. ft. Remain area provided 66,704 sq. ft.
 Plant Points Required 7,670 Points provided 6,000 Points
 Planting Area as Landscape 20,999 sq. ft. Points provided through these 1,670

REMAINING YARD
 Number of Sublots 6
 Number of Trees required 18 provided 18

LANDSCAPE CALCULATIONS WORKSHEET
 VEHICULAR USE AREA

VEHICULAR USE AREA (16,000 sq. ft.)
 Required Planting Area
 VIA Inside Street Yard 8,000 sq. ft. @ 0.05 = 400 pt.
 VIA Outside Street Yard 16,000 sq. ft. @ 0.05 = 800 pt.
 Required Plant Points
 VIA Inside Street Yard 8,000 sq. ft. @ 0.05 = 400 points
 VIA Outside Street Yard 16,000 sq. ft. @ 0.05 = 800 points

SUMMARY OF LANDSCAPE CALCULATIONS
 VEHICULAR USE AREA

VEHICULAR USE AREA (16,000 sq. ft.)
 Total Area 16,000 sq. ft.
 Planting Area Required
 Plant Points Required

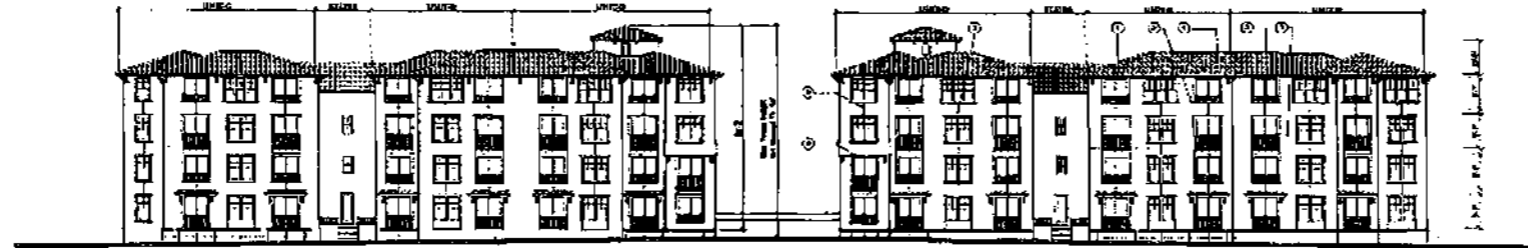
VIA Inside Street Yard 8,000 sq. ft. @ 0.05 = 400 pt.
 VIA Outside Street Yard 16,000 sq. ft. @ 0.05 = 800 pt.
 VIA Inside Street Yard 8,000 sq. ft. @ 0.05 = 400 pt.
 VIA Outside Street Yard 16,000 sq. ft. @ 0.05 = 800 pt.

OWNER / DEVELOPER
 FARDSE HOMES
 10630 WILSON BLVD.
 LAW BRIDGE, CALIFORNIA 92544
 9511 Eads Parkway

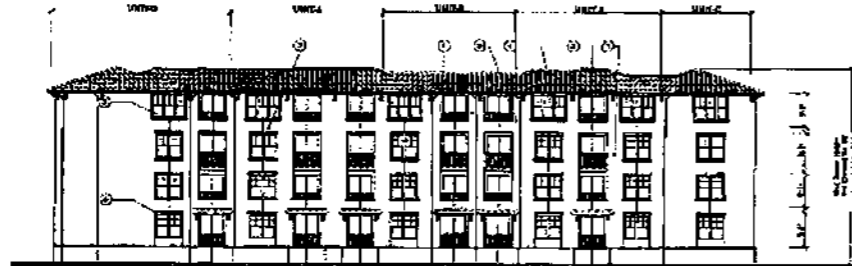


PROJECT DESIGN CONSULTANTS
 Planning / Landscape Architecture / Engineering / Surveying
 101 S. Street, Suite 800 San Diego, CA 92101
 619.235.6477 Fax 619.234.1248 Fax

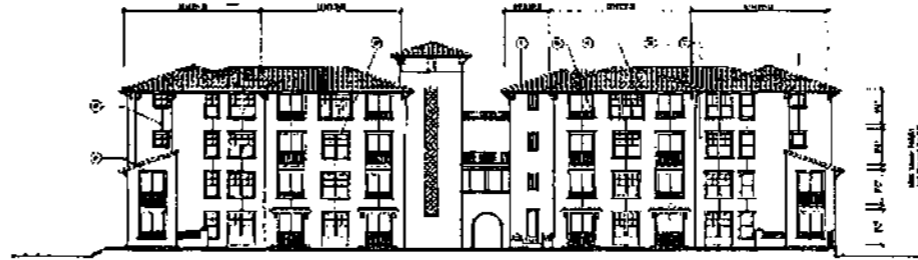
PROJECT NAME BLVD. DC. 502	Revision 1: NOVEMBER 1, 2007
	Revision 2: OCTOBER 27, 2007
	Revision 3: JANUARY 4, 2008
	Revision 4: JUNE 10, 2008
	Revision 5: NOVEMBER 05, 2008
PREPARED BY Name: PROJECT DESIGN CONSULTANTS Landscape Architects	Revision 6: MARCH 15, 2007
Address: 201 S. Street, Suite 800 San Diego, CA 92101	Revision 7: JUNE 11, 2007
Phone no: (619) 235-6477	Revision 8: SEPT. 1, 2007
	Revision 9: JULY 23, 2008
PROJECT ADDRESS PROPOSED SITE WILL BE SOUTH OF OCEAN VIEW HILLS PARTIALLY NORTH OF SR-562 AND WEST OF PROPOSED 1/2 STREET, SAN DIEGO, CA.	Original Date: AUGUST 20, 2007
SHEET TITLE Landscape Architectural Plan	Sheet 17 of 20
	DDP



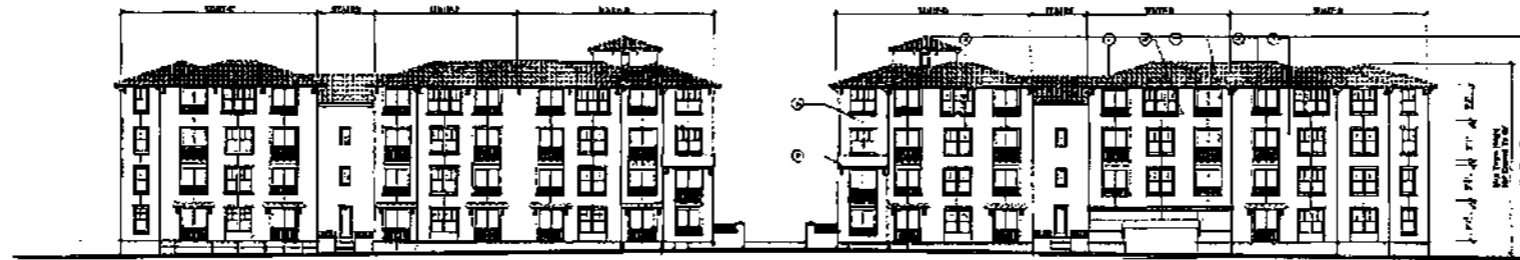
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

BUILDING TYPE I: ELEVATION B

SCALE: 1/8" = 1'-0"



MATERIAL LIST:

1. 8" MASON CONCRETE BLOCK
2. 1/2" GYPSUM BOARD
3. WOOD TRIM
4. ROAM TRIM BOARD
5. WOOD TRIM BOARD
6. WOOD TRIM
7. STUCCO WALLS
8. STUCCO TRIM

Item No.	Quantity	Unit	Description	Notes
1	100	Sq. Yd.	8" MASON CONCRETE BLOCK	
2	100	Sq. Yd.	1/2" GYPSUM BOARD	
3	100	Sq. Yd.	WOOD TRIM	
4	100	Sq. Yd.	ROAM TRIM BOARD	
5	100	Sq. Yd.	WOOD TRIM BOARD	
6	100	Sq. Yd.	WOOD TRIM	
7	100	Sq. Yd.	STUCCO WALLS	
8	100	Sq. Yd.	STUCCO TRIM	

NOTE:
REFER TO ELEVATION B OF THE BUILDING CORNER OVERLAYS
REFER TO ELEVATION B SHEET NO. 22 & 23 OF 23 FOR ALL OTHER ELEVATIONS

PROJECT NO. 101

DATE: 10/10/10

PREPARED BY: [Name]

DATE: 10/10/10

PROJECT ADDRESS: [Address]

DATE: 10/10/10

SCALE: 1/8" = 1'-0"

PROJECT NO. 101

DATE: 10/10/10

PREPARED BY: [Name]

DATE: 10/10/10

PROJECT ADDRESS: [Address]

DATE: 10/10/10

SCALE: 1/8" = 1'-0"

PROJECT NO. 101

DATE: 10/10/10

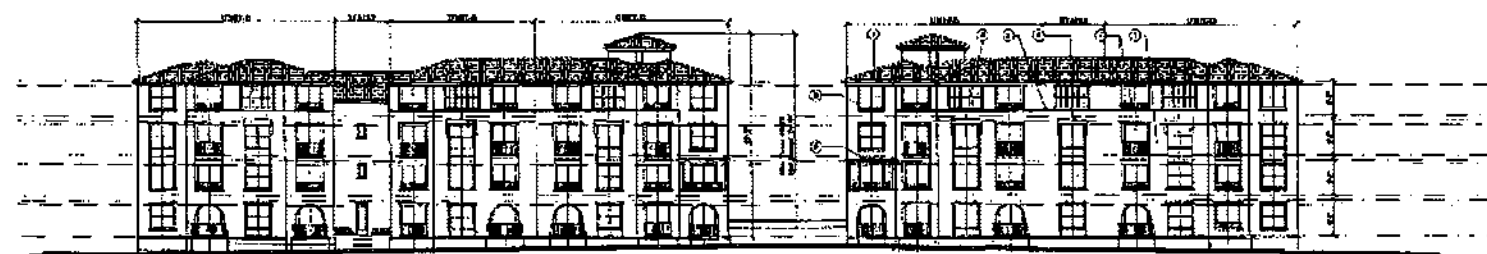
PREPARED BY: [Name]

DATE: 10/10/10

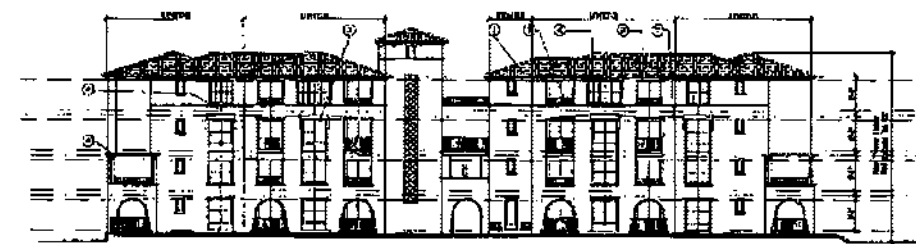
PROJECT ADDRESS: [Address]

DATE: 10/10/10

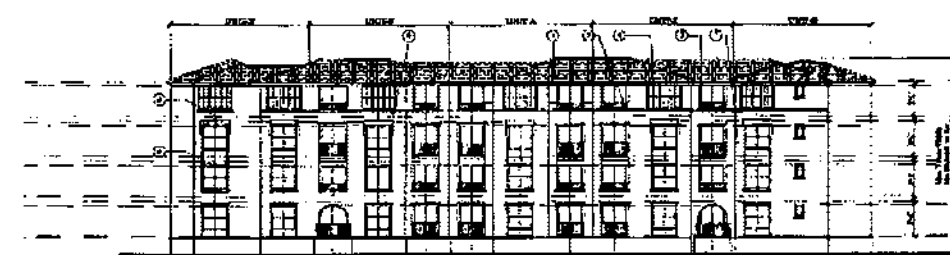
SCALE: 1/8" = 1'-0"



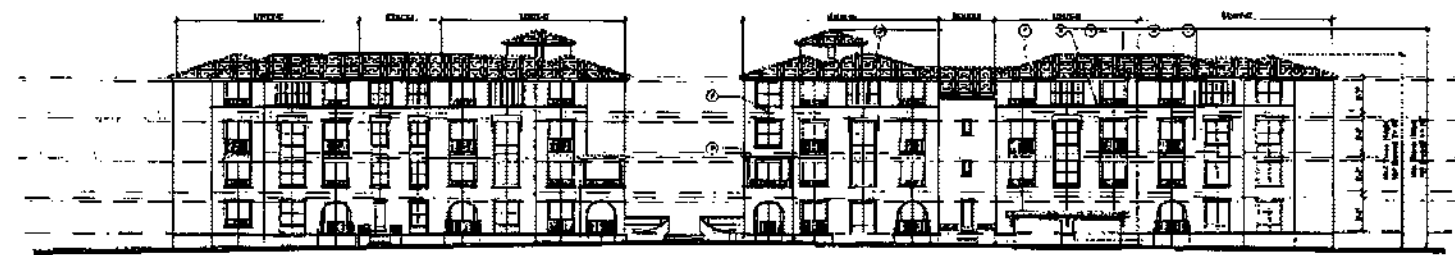
REAR ELEVATION



LEFT ELEVATION



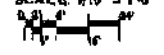
RIGHT ELEVATION



FRONT ELEVATION

BUILDING TYPE II: ELEVATION A

SCALE: 1/16" = 1'-0"



MATERIAL LIST:

1. PLAT CONCRETE ROOF TRIM
2. DECORATIVE METAL BALUSTRADE
3. DECORATIVE SWEDEN APPLIANCE
4. FOAM WINDOW TRIM
5. FOAM TRIM BOARD
6. WOOD TRIM
7. STUCCO WALLS
8. STUCCO FINISH

Item No.	Quantity	Description	Unit	Notes
1	100	PLAT CONCRETE ROOF TRIM	sq ft	
2	50	DECORATIVE METAL BALUSTRADE	lin ft	
3	20	DECORATIVE SWEDEN APPLIANCE	pc	
4	150	FOAM WINDOW TRIM	sq ft	
5	100	FOAM TRIM BOARD	sq ft	
6	50	WOOD TRIM	sq ft	
7	1000	STUCCO WALLS	sq ft	
8	1000	STUCCO FINISH	sq ft	

NOTES:
 1. REFER TO PLAT PLAN FOR WINDOW TYPES CALL OUTS
 2. REFER TO SECTION SHEET NO. 10 FOR ALL FINISH ELEVATION CALLS

PROJECT NO: _____

DATE: _____

DESIGNED BY: _____

DATE: _____

CHECKED BY: _____

DATE: _____

APPROVED BY: _____

DATE: _____

PROJECT NAME: _____

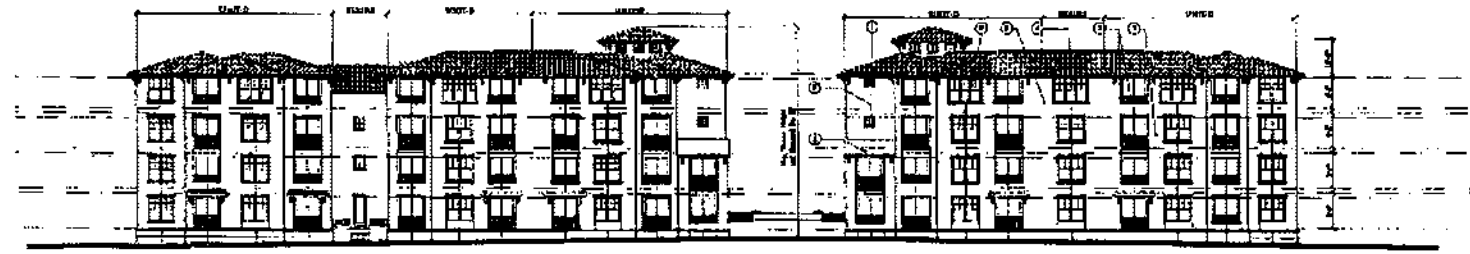
PROJECT ADDRESS: _____

PROJECT CITY: _____

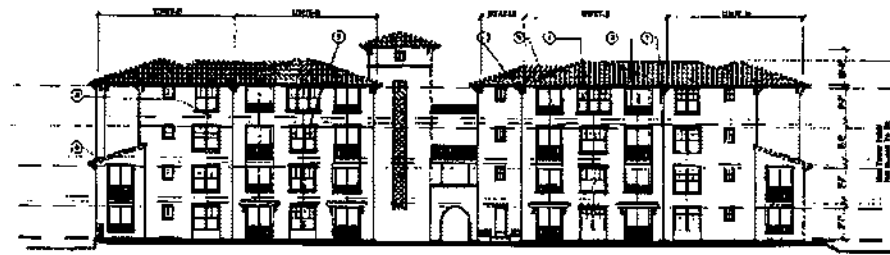
PROJECT STATE: _____

PROJECT ZIP: _____

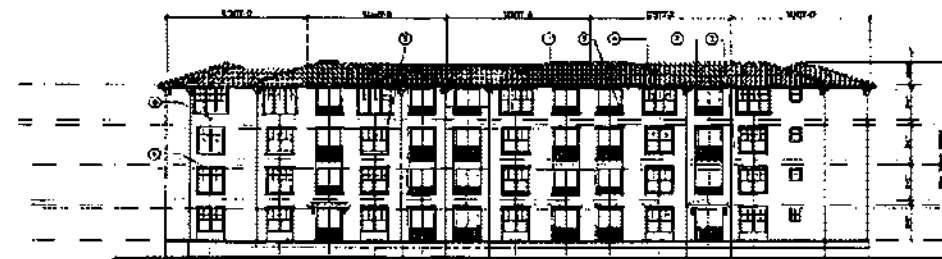
PROJECT TYPE: _____



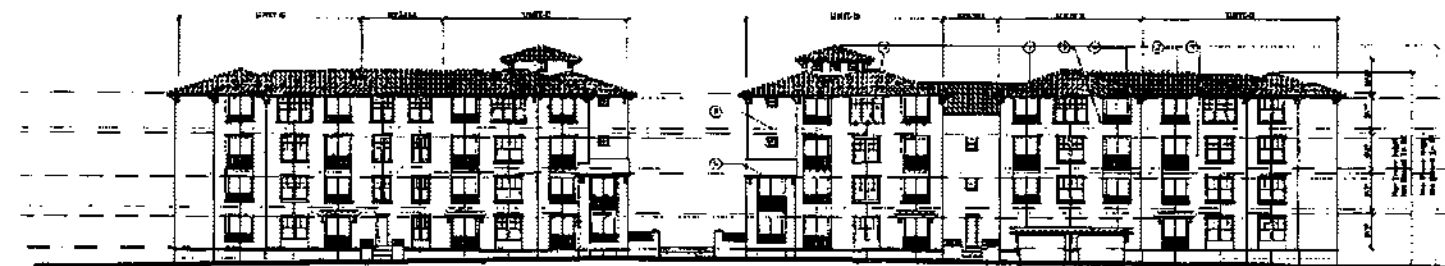
REAR ELEVATION



LEFT ELEVATION



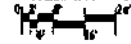
RIGHT ELEVATION



FRONT ELEVATION

BUILDING TYPE II: ELEVATION B

SCALE: 1/16" = 1'-0"



MATERIAL LIST:

- 1. 4-81478 CONCRETE ROOF TILE
- 2. CORRUGATED METAL Siding
- 3. STUCCO
- 4. STUCCO
- 5. STUCCO
- 6. STUCCO
- 7. STUCCO
- 8. STUCCO

Clear View Hole

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100

NOTES:
 REFER TO CHASCO PLAN FOR BUILDING CORNER CALL-OUTS
 REFER TO SECTION CARRY OVER 12 X 12 IN WALL ALL FLOOR FLOOR ELEVATIONS

PROJECT NAME: _____

DATE: _____

DESIGNED BY: _____

DRAWN BY: _____

CHECKED BY: _____

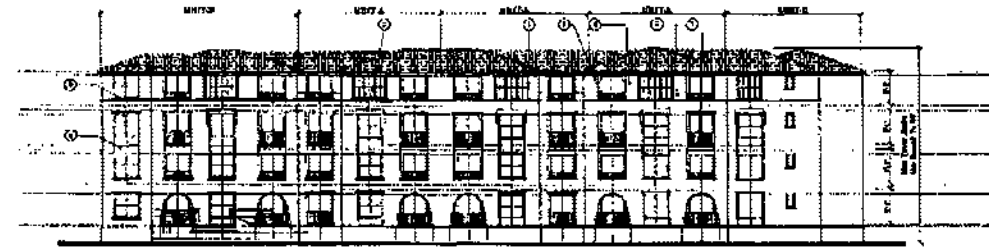
APPROVED BY: _____

SCALE: _____

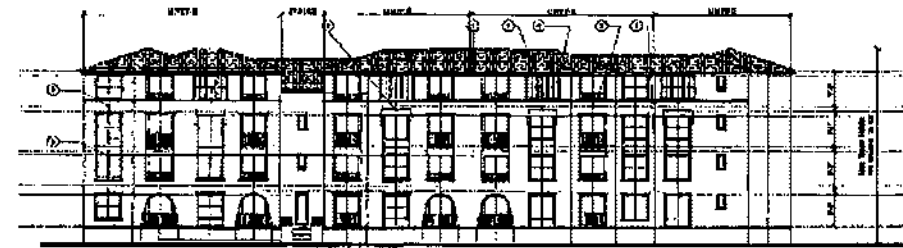
PROJECT NO: _____

DATE: _____

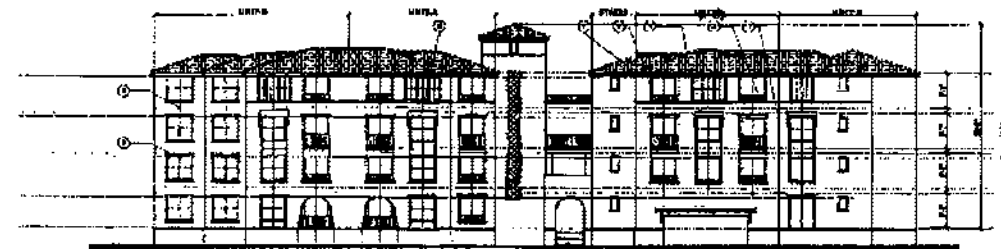
BY: _____



REAR ELEVATION



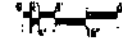
SIDE ELEVATION



FRONT ELEVATION

BUILDING TYPE III: ELEVATION A

SCALE: 1/16" = 1'-0"



NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50
51
52
53
54
55
56
57
58
59
60
61
62
63
64
65
66
67
68
69
70
71
72
73
74
75
76
77
78
79
80
81
82
83
84
85
86
87
88
89
90
91
92
93
94
95
96
97
98
99
100

NOTES:
 1. REFER TO SECTION ELEVATION A AT 11' ON 11' FOR ALL PROFILES ELEVATION
 2. REFER TO SECTION ELEVATION B AT 11' ON 11' FOR ALL PROFILES ELEVATION

- MATERIAL LIST:**
1. 1/2" CONCRETE BLOCK
 2. DECORATIVE WINDOW AWNING
 3. DECORATIVE WINDOW AWNING
 4. FOAM WINDOW TRIM
 5. FOAM TRIM BAND
 6. WOOD TRIM
 7. STUCCO WALLS
 8. STUCCO ROOF

PROJECT NAME: _____

DATE: _____

PROJECT ADDRESS: _____

PROJECT NO.: _____

PROJECT TYPE: _____

PROJECT LOCATION: _____

PROJECT DESCRIPTION: _____

PROJECT OWNER: _____

PROJECT ARCHITECT: _____

PROJECT ENGINEER: _____

PROJECT CONTRACTOR: _____

PROJECT SCHEDULE: _____

PROJECT BUDGET: _____

PROJECT STATUS: _____

PROJECT CONTACT: _____

PROJECT PHONE: _____

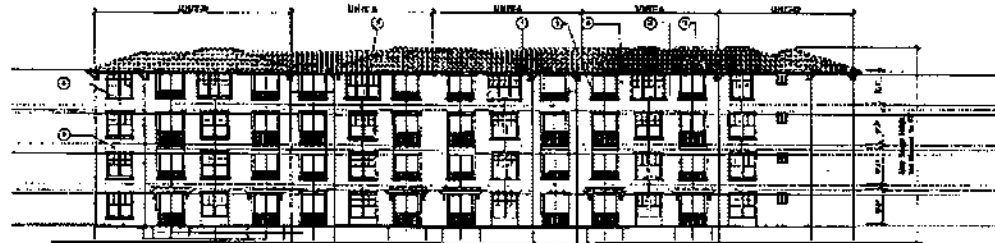
PROJECT FAX: _____

PROJECT EMAIL: _____

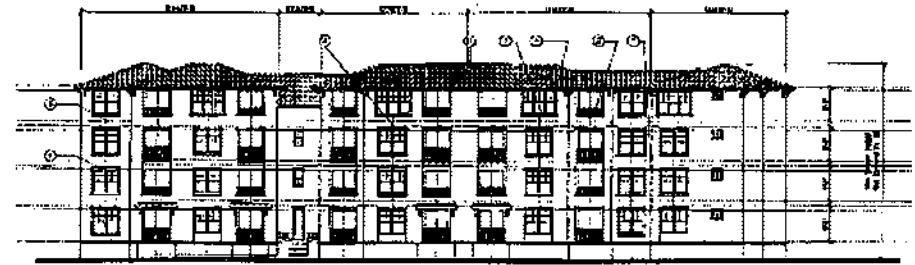
PROJECT WEBSITE: _____

PROJECT SOCIAL MEDIA: _____

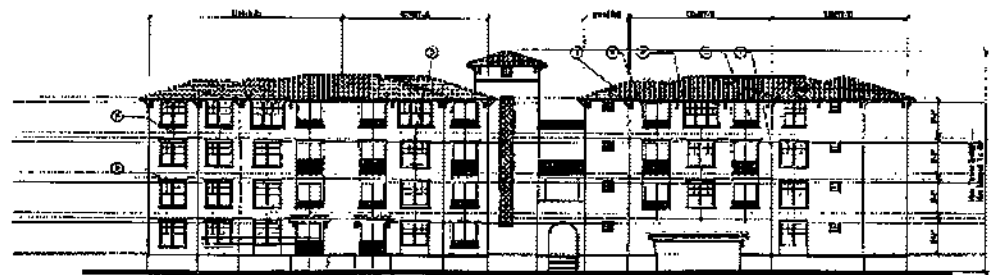
PROJECT NOTES: _____



REAR ELEVATION

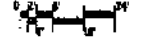


SIDE ELEVATION



FRONT ELEVATION

BUILDING TYPE III: ELEVATION B

SCALE: 1/8" = 1'-0"


NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25
26
27
28
29
30
31
32
33
34
35
36
37
38
39
40
41
42
43
44
45
46
47
48
49
50

NOTES:
 REFER TO GRADING PLAN FOR BUILDING CORNER LALL, LELN
 REFER TO SECTION EIGHT SIX SE AS TO ALL OTHER FIELD MEASUREMENTS

- MATERIAL LIST:**
1. BRICKS (CPA 2475), PER PLAN
 2. ENCLOSED METAL RAILING
 3. WOOD SHAKES, GRAY
 4. FOAM WINDOW INSULATION
 5. FOAM INSULATION
 6. WOOD TRIM 1" x 4"
 7. STYROFOAM WALL
 8. STYROFOAM ROOFING

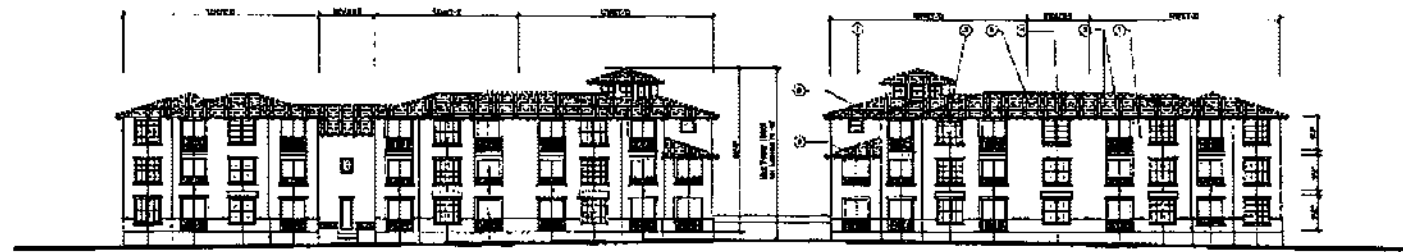
PROJECT NAME: _____
 PROJECT NO: _____
 ADDRESS: _____
 CITY: _____
 STATE: _____
 ZIP: _____

DATE: _____

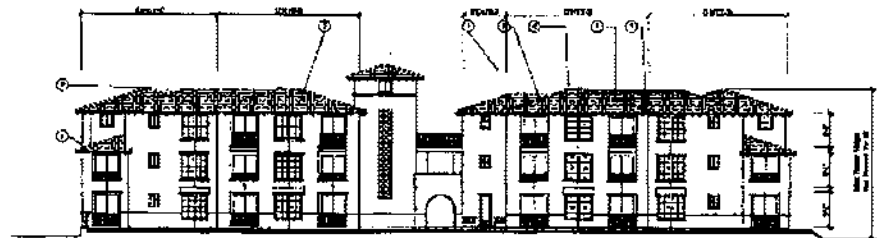
BY: _____

CHECKED BY: _____

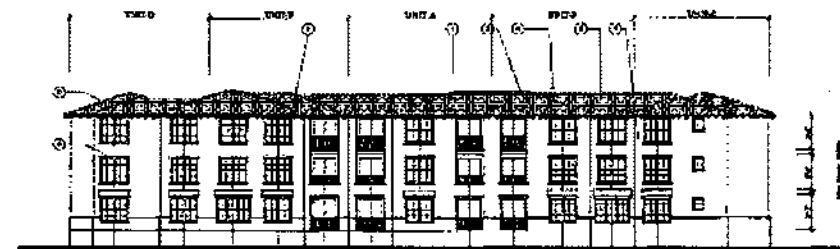
SCALE: _____



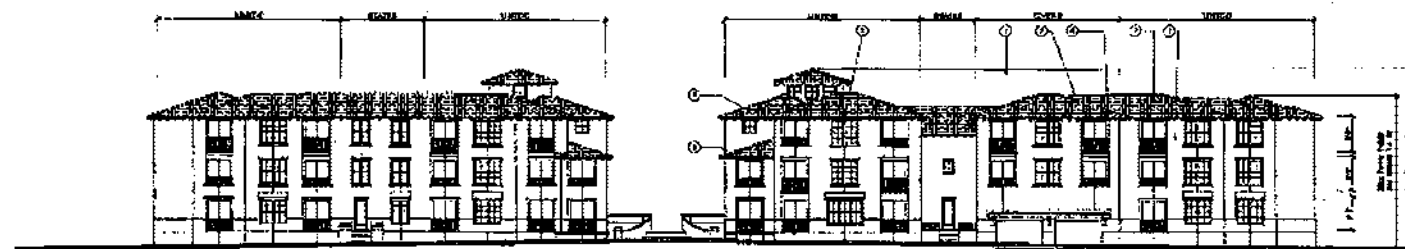
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

BUILDING TYPE IV: ELEVATION C

SCALE: 1/8" = 1'-0"

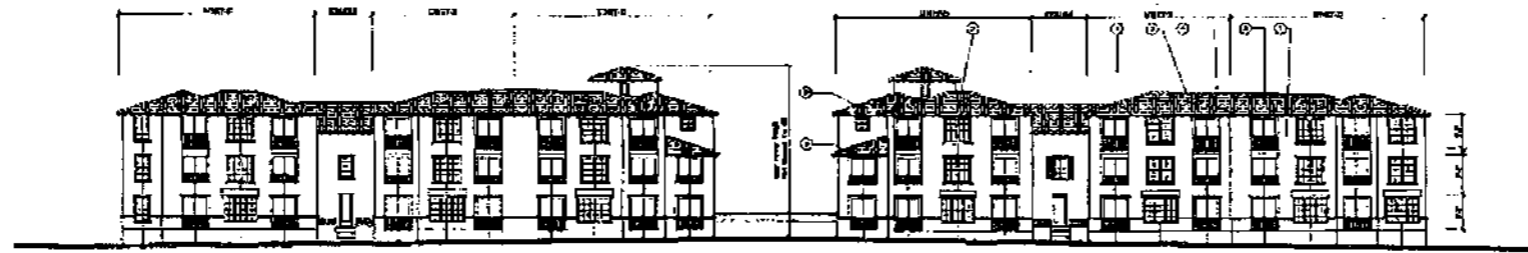
MATERIAL LIST:

1. SLAT CONCRETE ROOF TILES
2. DECORATIVE METAL BARND
3. DECORATIVE WINDOW APPLIERS
4. FOAM WINDOW TRIM
5. FOAM TRIM BAND
6. WOOD TRIMLES
7. STUCCO WALLS
8. STUCCO ROOFING

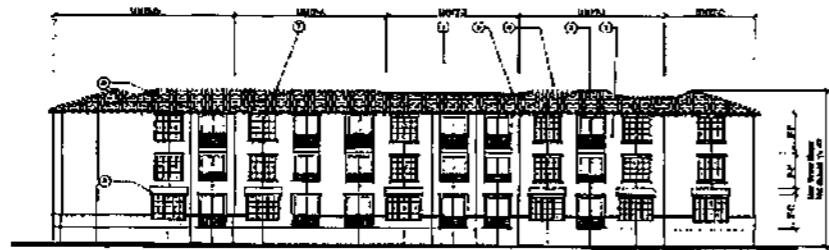
NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	SLAT CONCRETE ROOF TILES	1000	SQ. YD.	1.50	1500.00
2	DECORATIVE METAL BARND	50	LINEAL FT.	30.00	1500.00
3	DECORATIVE WINDOW APPLIERS	100	EA.	15.00	1500.00
4	FOAM WINDOW TRIM	200	LINEAL FT.	7.50	1500.00
5	FOAM TRIM BAND	100	LINEAL FT.	15.00	1500.00
6	WOOD TRIMLES	50	LINEAL FT.	30.00	1500.00
7	STUCCO WALLS	1000	SQ. YD.	1.50	1500.00
8	STUCCO ROOFING	1000	SQ. YD.	1.50	1500.00
TOTAL					12000.00

NOTE:
 1. ALL PRICES ARE BASED ON 10% OVERHEAD AND 5% PROFIT.
 2. ALL PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE.

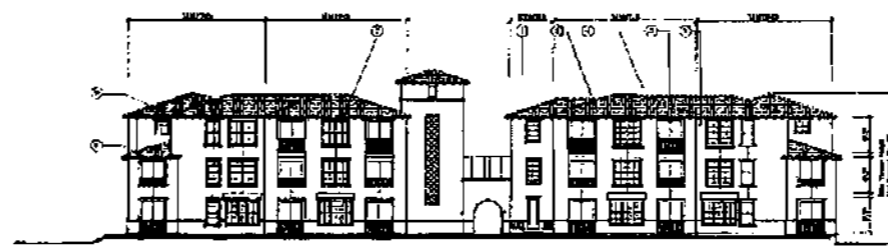
NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	SLAT CONCRETE ROOF TILES	1000	SQ. YD.	1.50	1500.00
2	DECORATIVE METAL BARND	50	LINEAL FT.	30.00	1500.00
3	DECORATIVE WINDOW APPLIERS	100	EA.	15.00	1500.00
4	FOAM WINDOW TRIM	200	LINEAL FT.	7.50	1500.00
5	FOAM TRIM BAND	100	LINEAL FT.	15.00	1500.00
6	WOOD TRIMLES	50	LINEAL FT.	30.00	1500.00
7	STUCCO WALLS	1000	SQ. YD.	1.50	1500.00
8	STUCCO ROOFING	1000	SQ. YD.	1.50	1500.00
TOTAL					12000.00



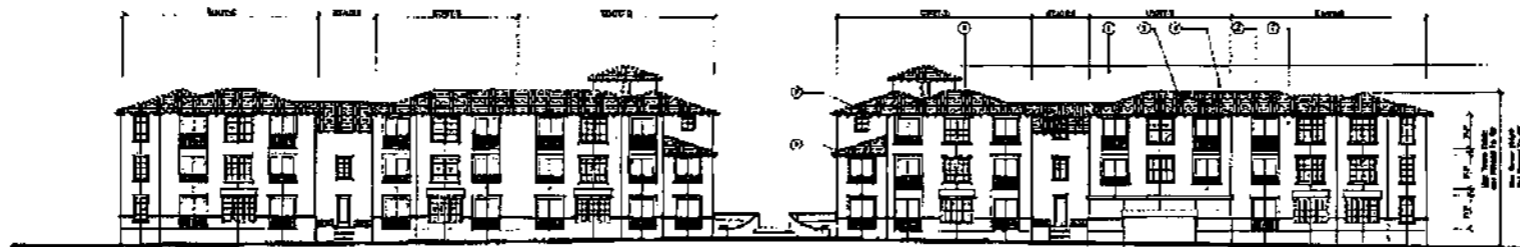
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

BUILDING TYPE V: ELEVATION C

SCALE: 1/8" = 1'-0"



MATERIAL LIST:

1. SLAB CONCRETE/ROOF TILE
2. DIAGONAL BRICKS
3. DECORATIVE WINDOW ARCHES
4. ROAM SAND/CLAY
5. ROAM TRIM/FLUSH
6. STUCCO WALLS
7. STUCCO ROOF

Item No.	Description	Quantity	Unit	Material	Remarks
1	Slab Concrete	120	Sq. Yd.	120	
2	Roam Sand/Clay	120	Sq. Yd.	120	
3	Decorative Window Arches	120	Sq. Yd.	120	
4	Roam Trim/Flush	120	Sq. Yd.	120	
5	Stucco Walls	120	Sq. Yd.	120	
6	Stucco Roof	120	Sq. Yd.	120	
7	Diagonal Bricks	120	Sq. Yd.	120	

NOTE: REFER TO GRADING PLAN FOR EXISTING CURB AND GUTTER. REFER TO SECTION SHEET NO. ST-1 OF ST-9 FOR ALL FLOOR ELEVATIONS.

PROJECT NAME: _____

DATE: _____

DESIGNED BY: _____

DATE: _____

PROJECT ADDRESS: _____

DATE: _____

SCALE: _____

DATE: _____

PROJECT NO.: _____

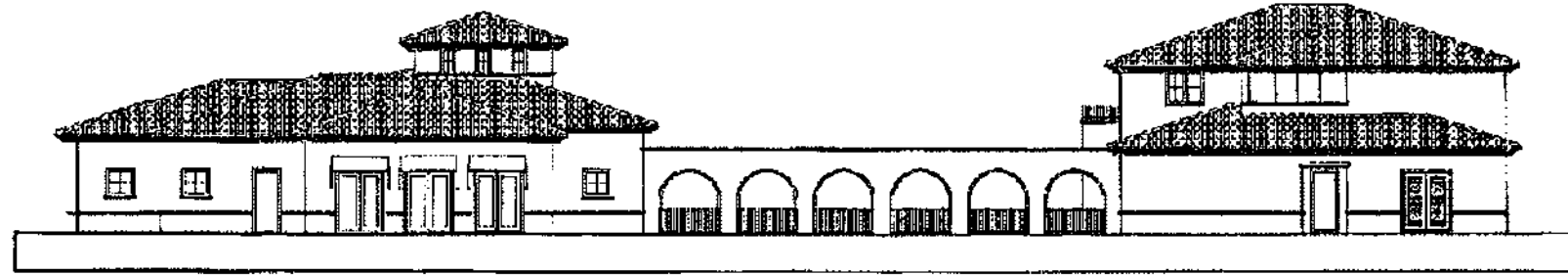
DATE: _____

PROJECT NO.: _____

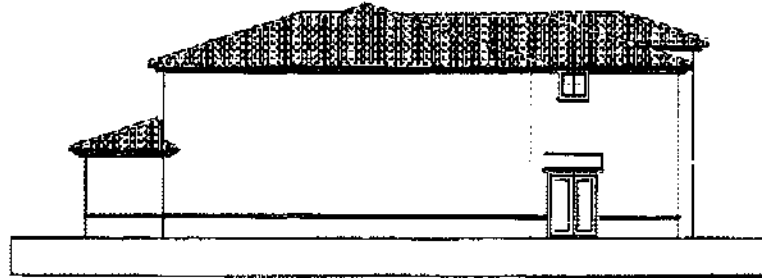
DATE: _____

PROJECT NO.: _____

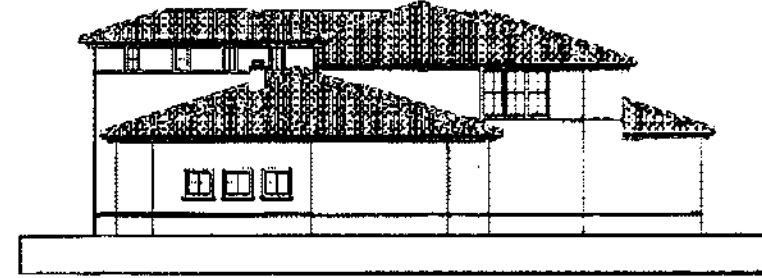
DATE: _____



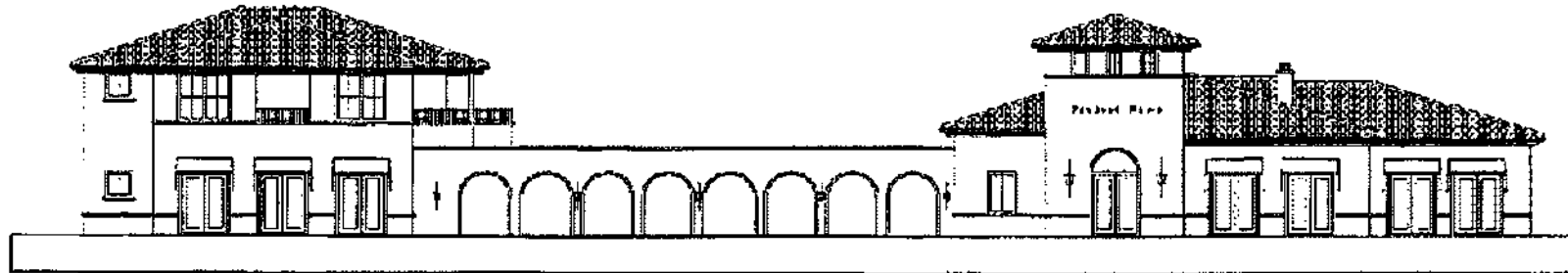
REAR ELEVATION



LEFT ELEVATION



RIGHT ELEVATION

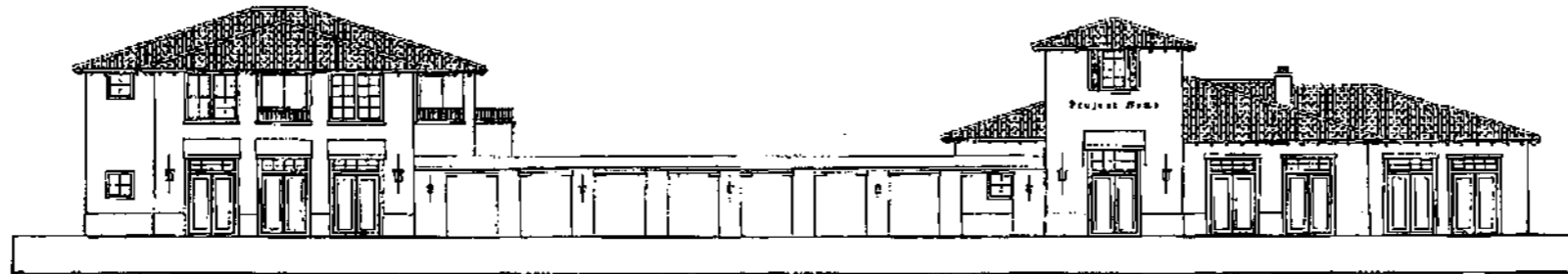


RECREATION BUILDING
FRONT ELEVATION A

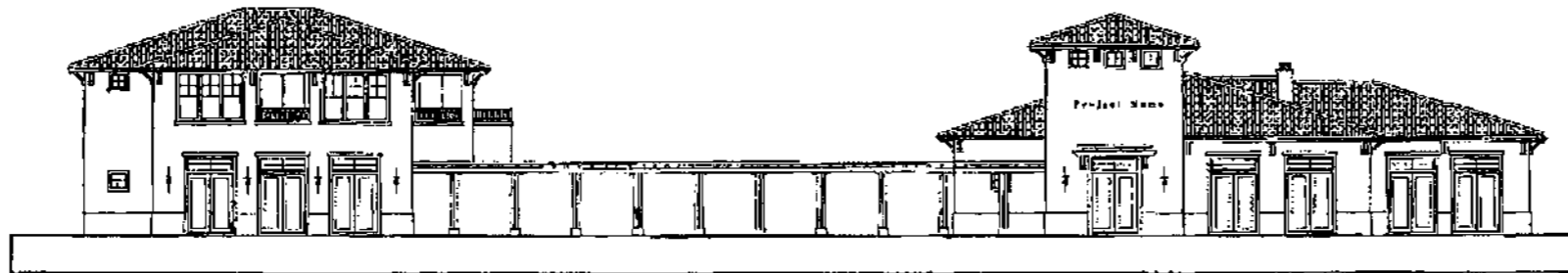
SCALE: 1/8" = 1'-0"



PROJECT NAME		PROJECT NO.	
PROJECT ADDRESS		DATE	
OWNER	DESIGNER	DATE	SCALE
PROJECT NO.	PROJECT NAME	PROJECT ADDRESS	PROJECT NO.
OWNER	DESIGNER	DATE	SCALE



FRONT ELEVATION C



FRONT ELEVATION B

SCALE: 1/8" = 1'-0"

PROJECT NAME PLAIN DU 32	
PREPARED BY Name: <u>AMANDA HUBBARD GARDNER & ASSOCIATES, INC.</u>	Number 1: <u>December 1, 2001</u>
Client: <u>1000 JUNE STREET, NEW YORK</u>	Number 2: <u>February 21, 2002</u>
Address: <u>1000 JUNE STREET, NEW YORK</u>	Number 3: <u>December 14, 2002</u>
Phone No: <u>212-279-1100</u>	Number 4: _____
Number 5: _____	Number 6: _____
Number 7: _____	Number 8: _____
Number 9: _____	Number 10: _____
Number 11: _____	Number 12: _____
Number 13: _____	Number 14: _____
Number 15: _____	Number 16: _____
Number 17: _____	Number 18: _____
Number 19: _____	Number 20: _____
Number 21: _____	Number 22: _____
Number 23: _____	Number 24: _____
Number 25: _____	Number 26: _____
Number 27: _____	Number 28: _____
Number 29: _____	Number 30: _____
Number 31: _____	Number 32: _____
Number 33: _____	Number 34: _____
Number 35: _____	Number 36: _____
Number 37: _____	Number 38: _____
Number 39: _____	Number 40: _____
Number 41: _____	Number 42: _____
Number 43: _____	Number 44: _____
Number 45: _____	Number 46: _____
Number 47: _____	Number 48: _____
Number 49: _____	Number 50: _____
Number 51: _____	Number 52: _____
Number 53: _____	Number 54: _____
Number 55: _____	Number 56: _____
Number 57: _____	Number 58: _____
Number 59: _____	Number 60: _____
Number 61: _____	Number 62: _____
Number 63: _____	Number 64: _____
Number 65: _____	Number 66: _____
Number 67: _____	Number 68: _____
Number 69: _____	Number 70: _____
Number 71: _____	Number 72: _____
Number 73: _____	Number 74: _____
Number 75: _____	Number 76: _____
Number 77: _____	Number 78: _____
Number 79: _____	Number 80: _____
Number 81: _____	Number 82: _____
Number 83: _____	Number 84: _____
Number 85: _____	Number 86: _____
Number 87: _____	Number 88: _____
Number 89: _____	Number 90: _____
Number 91: _____	Number 92: _____
Number 93: _____	Number 94: _____
Number 95: _____	Number 96: _____
Number 97: _____	Number 98: _____
Number 99: _____	Number 99: _____
Number 100: _____	Number 100: _____
SHEET TITLE: <u>RESUBMITTAL WITH EXT. ELEVATIONS B & C</u>	

PROJECT DATA SHEET

PROJECT NAME:	Playa del Sol	
PROJECT DESCRIPTION:	Construction of 1,578 residential condominiums in ten 4-story and six 3-story buildings, each having two levels of underground parking, on a 45.97-acre site located south of Del Sol Boulevard and Ocean View Hills Parkway, north of State Route 905, east of Ocean View Hills Elementary school and west of A Street.	
COMMUNITY PLAN AREA:	Otay Mesa Community; California Terraces Precise Plan (Planning Areas 6)	
DISCRETIONARY ACTIONS:	Planned Development Permit with Deviations from the RM-3-7 Zone	
COMMUNITY PLAN LAND USE DESIGNATION:	Otay Mesa Community Plan – Medium Density Residential; California Terraces Precise Plan – High Medium Residential (allows 30 to 43 dwelling units per acre)	
<u>ZONING INFORMATION:</u>		
ZONE:	RM-3-7 Zone (a Residential zone allowing 1 dwelling unit per 1,000 square feet of lot area)	
HEIGHT LIMIT:	40 feet	
LOT SIZE:	7,000 square feet minimum	
FLOOR AREA RATIO(FAR):	1.8 including bonus for underground parking	
FRONT SETBACK:	10 feet minimum, 20 feet standard	
SIDE SETBACK:	Greater of 5 feet or 10% of lot width	
STREETSIDE SETBACK:	Greater of 10 feet or 10% of lot width	
REAR SETBACK:	5 feet	
PARKING:	3,271	
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Low Density Residential; RS-1-14	Single Unit Residential
SOUTH:	Low Density Residential; RS-1-14	Single Unit Residential/High School
EAST:	Commercial Center; AR-1-1 & CC-1-3	Vacant
WEST:	School/Park; RM-3-7 & RS-1-14	Elementary & Middle School and Vacant
DEVIATIONS OR	1. Allow a height of up to 58 feet where a maximum height of 40 feet is	

VARIANCES REQUESTED:	allowed. 2. Allow a street side setback of 30 feet on Lot 1 where a street side setback of 76 feet is required. 3. Allow an interior side setback of 15 feet on Lot 1 where an interior side setback of 76 feet is required. 4. Allow a street side setback of 20 feet on Lot 2 where a street side setback of 76 feet is required. 5. Allow an interior side setback of 12 feet on Lot 2 where an interior side setback of 76 feet is required. 6. Allow a street side setback of 20 feet on Lot 3 where a street side setback of 75 feet is required. 7. Allow an interior side setback of 15 feet on Lot 3 where an interior side setback of 75 feet is required.
COMMUNITY PLANNING GROUP RECOMMENDATION:	On August 16, 2006 the Otay Mesa Planning Group voted 14-2-0 to support the project with the following conditions: 1. Consider noise attenuation for the residents; 2. Analyze traffic calming measures on Ocean View Hills Parkway; 3. Examine the inclusion of bus transit in the community.