



THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** May 21, 2009

**REPORT NO. PC-09-027**

**ATTENTION:** Planning Commission, Agenda of May 28, 2009

**SUBJECT:** TORREY RESERVE - PROJECT NO. 1450 and  
TORREY RESERVE PHASE IV - PROJECT NO. 124765  
PROCESS 4

**OWNER/  
APPLICANT:** PACIFIC TORREY RESERVE HOLDINGS, L.P. (Attachment 22)

### SUMMARY

Issue(s) - Should the Planning Commission approve the following two projects, located adjacent to each other and under one ownership, which collectively propose the development of 78,400 square feet of office/commercial use within five new buildings?

1. The Torrey Reserve project proposes the development of 38,400 square-feet of office/commercial use within three new buildings.
2. The Torrey Reserve Phase IV project proposes the development of 40,000 square-feet of office/commercial use within two new buildings.

Both projects are situated within existing developed commercial office complexes located along El Camino Real within the Sorrento Hills Community Planning area.

### Staff Recommendation –

#### **Torrey Reserve – Project No. 1450:**

1. **Certify** Mitigated Negative Declaration No. 1450, and **Adopt** the Mitigation Monitoring and Reporting Program; and
2. **Approve** Planned Development Permit No. 490145 and Coastal Development Permit No. 490146.

**Torrey Reserve Phase IV- Project No. 124765:**

1. **Certify** Mitigated Negative Declaration No. 124765, and **Adopt** the Mitigation Monitoring and Reporting Program; and
2. **Approve** Planned Development Permit No. 427638 and Coastal Development Permit No. 427637.

Community Planning Group Recommendation - The Torrey Hills Community Planning Board, on April 21, 2009, voted 11:0:1 to recommend approval of each project, with several concerns. Please see the Discussion section for more information.

Environmental Review - A Mitigated Negative Declaration No. 1450 and Mitigated Negative Declaration No. 124765 have been prepared for each project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation Monitoring and Reporting Program has been prepared for each project and will be implemented which will reduce, to a level of insignificance, any potential impacts identified in the environmental review process.

Fiscal Impact Statement - No fiscal impact. All costs associated with the processing of the application are recovered through a deposit account funded by the applicant.

Code Enforcement Impact - None with this action.

Housing Impact Statement - None with this action. The additional development of the existing commercial site will have no impact on the supply of housing in the region. The site is designated for commercial office uses in the community plan.

**BACKGROUND**

The proposed development properties are subject to the 1989 Sorrento Hills Development Agreement (Development Agreement)(Attachment 1) recorded as Doc. No. 00-17300, filed May 15, 1989 in the Office of the City Clerk, the California Gov't Code § 65865.4 and § 65866 (Attachment 2), the 1983 Sorrento Hills Community Plan (Attachment 3) and Summary Judgment of Superior Court Case No. CIG 851874 (Attachment 4). The terms of the Development Agreement and California Gov't Code require proposed projects subject to the Development Agreement to be evaluated using the 1983 Sorrento Hills Community Plan. The Sorrento Hills community was renamed as the Torrey Hills community after the City entered into the Development Agreement. For purposes of this report the community will be referred to as Sorrento Hills for purposes of clarity and consistency with the Development Agreement, California Gov't Code and the Court's decision. This report presents the analysis and recommendations for two separate yet related proposed projects.

The 1983 Sorrento Hills Community Plan Land Use map designates both of these sites for Commercial Office uses (Attachment 5). The sites are located north of Arroyo Sorrento Road, east and west of El Camino Real in the Sorrento Hills community (Attachment 6). Both sites are zoned CO-1-2. These sites have been developed with commercial buildings, parking and landscaping pursuant to the approval on February 9, 1993 of Planned Commercial Development/Coastal Development Permit No. 85-0824 (Attachment 7).

The Torrey Reserve site is located north of Arroyo Sorrento Road and east of El Camino Real in the CO-1-2 Zone (Attachment 8). The site is 11.24 acres and is presently developed with three buildings, surface parking, landscaping, and other minor improvements. Building Number 1 is a four story 148,066 square foot commercial office building with subterranean garage; Building Number 2 is a one story 13,197 square foot commercial office building with subterranean garage; and Building Number 3 is a one story 8,071 square foot day care center.

The Torrey Reserve Phase IV site is located at 11502 El Camino Real in the CO-1-2 Zone (Attachment 9). The site is 11.65 acres. The site is presently developed with six buildings and two two-level parking structures; P-2 and P-3, surface parking, landscaping and other minor improvements. Building Number 7 is a four story 77,508 square foot commercial office building with subterranean garage; Building Number 8 is a three-story 55,986 square foot commercial office building with subterranean garage; Building Number 9 is a three-story 55,986 square foot office building with subterranean garage; Building Number 10 is a four-story 77,508 square foot office building with subterranean garage; Building Number 11 is a one story 10,744 square foot office building; and Building Number 12 is a one story 7,661 square foot office building.

On September 2, 1998 the City Manager considered and approved Planned Commercial Development/Coastal Development Permit No. 98-0554, an amendment to the original development permit (Attachment 10). The original permit restricted enrollment in the daycare center to only employee's children. The amendment removed this restriction and opened enrollment to the general public.

#### 1989 Sorrento Hills Development Agreement

The properties are the recipient of entitlements granted through a development agreement entered into between the property owner and the City of San Diego on September 13, 1988. The development agreement recorded as Doc. No. 00-17300, filed May 15, 1989 in the Office of the City Clerk is known as the 1989 Sorrento Hills Development Agreement (Development Agreement) (Attachment 1). The agreement expires June 2009.

The vested rights granted by the Development Agreement cannot be restricted or limited by subsequent revisions to the community plan adopted by the City. The California Government Code declares: "a development agreement shall be enforceable by any party thereto notwithstanding any change in any applicable general or specific plan, zoning, subdivision, or building regulation adopted by the city, county, or city and county entering the agreement..." (Gov't Code § 65865.4)(Attachment 2). Further, "unless otherwise provided by the development agreement, rules, regulations, and official policies governing permitted uses of the land [and]... density... shall be those rules, regulations, and official policies in force at the time of execution

of the agreement” (Gov’t Code § 65866)(Attachment 2).

Since entering the contractual obligations of the Development Agreement the community plan has been updated and amended several times. However, the guarantees to the owners of the property entitled through the Development Agreement and pursuant to the government code require the analysis of the projects to utilize those policies enumerated within the 1983 Sorrento Hills Community Plan (Attachment 3).

In Case No. GIC 851874, filed in the Superior Court of the State of California for the County of San Diego (Court), the Court granted the Plaintiff’s (Applicant) motion for summary judgment (Attachment 4). The complaint sought three judicial declarations of the parties’ rights and obligations under the Development Agreement. Specifically, the Court concerned itself with the application of traffic conversion rates applied to proposed building uses for the purpose of traffic analysis and the number of average daily trips (ADT) possessed by Applicant for use on their properties in Sorrento Hills. The Court concluded: the Applicant currently retains 1,726 ADTs in development rights in connection with the real property it owns in the Sorrento Hills development; in the processing of the current applications the City must apply the appropriate conversion factor of 15 ADT per 1,000 square feet and/or 20 ADT per 1,000 square feet, both in determining the amount of square feet of commercial office use and visitor commercial use allowed within the proposed buildings on the properties, and in determining the number of ADT’s required for such construction; and that in applying the traffic conversion factors set forth in the Development Agreement, the Applicant retains sufficient ADT’s to construct the proposed buildings which are the subject of the proposed applications.

## **DISCUSSION**

### **Project Description**

The two projects, called Torrey Reserve and Torrey Reserve Phase IV, are described below. Each proposed project requires a Planned Development Permit to amend the Planned Commercial Development/Coastal Development Permit No. 85-0824 approved February 9, 1993 and a Coastal Development Permit as each site is within the Coastal Zone.

#### **Torrey Reserve**

The Torrey Reserve project proposes the addition of three buildings on the developed site (Attachment 11). The new buildings would total 38,400 square feet of office/commercial space. The new buildings are described as Building Number 4, a two-story 13,000 square foot office building over subterranean parking structure; Building Number 5, a one story 4,600 square foot office building; and Building Number 6, a two-story 20,800 square foot office building over subterranean parking. Other improvements would include landscaping and improvements in the public right-of-way.

Building Number 4 would be constructed between Building Numbers 1 and 2. Building Number 5 would be constructed on the corner closest to El Camino Real and Arroyo Sorrento Road. Building Number 6 would be constructed between Building Number 1 and El Camino Real. The architecture and materials of construction would be similar and compatible with the

existing development on the property.

### Torrey Reserve Phase IV

The Torrey Reserve Phase IV project proposes the addition of two buildings on the developed site (Attachment 12). The new buildings would total 40,000 square feet of office/commercial space. The new buildings are described as Building Number 13, a two-story 20,000 square foot office building; and Building Number 14, a two-story 20,000 square foot office building. Other improvements would include landscaping and improvements in the public right-of-way. The architecture and materials of construction of the two new buildings would be similar and compatible with the existing development on the property.

### Sustainable Design Features

The applicant proposes to construct and operate these buildings to meet or exceed a LEED certified level. Implementation of bicycle storage facilities, provision for changing rooms, special parking provisions for low-emitting and fuel efficient vehicles and reducing the heat island effect are some of the measures the applicant is proposing to assure a sustainable site. Water efficient landscaping and water use reduction would also be features of the project. In addition to fundamental analysis of the project systems the applicant has indicated a willingness to pursue an enhanced analysis to optimize energy performance. The applicant's construction team and the materials selections would divert construction waste from disposal sites, re-use building materials, utilize regional building materials and recycled content in compliance with LEED standards. The applicant's commitment to the indoor environmental quality would feature increased ventilation, utilization of low-emitting materials, enhanced controllability of lighting and thermal systems, maximizing thermal comfort and daylight access to 75% of spaces. The projects would also include erosion and sedimentation control plans, management and maintenance procedures for storm water runoff.

The projects would also incorporate, where feasible, sustainable strategies to design integrated and mechanical treatment systems. These systems would address areas of concern such as storm water runoff into landscaped and vegetated areas; low-impact development techniques; and storm water runoff and structural filtration systems to reduce pollutant loads. On-site underground storm water detention would be included in order to detain peak runoff volumes.

The proposed projects have been reviewed and evaluated pursuant to the decision of the Court, the terms of the Development Agreement, the relevant California Gov't Code sections as well as the Land Development Code. Consistent with the Development Agreement and the State Resources Code §65865.4 and §65866, the project was also reviewed and evaluated with respect to the 1983 Sorrento Hills Community Plan (1983 Plan) which was in effect at the time the owner and the City entered into the Development Agreement.

### Community Plan Analysis

The 1983 Plan designates the subject parcels for Planned Commercial use. The objective for the Planned Commercial designation is to provide a balance of commercial uses for the visiting

public and for the community at large. The commercial uses in Sorrento Hills are proposed for the northern portion of the community where the subject property is located. The total area of commercially designated lands in the community is approximately 28 acres or five percent of the total community plan area. The Torrey Reserve project would add three buildings with a total of 38,400 square feet of office/commercial space. The Torrey Reserve IV project would add two buildings with a total of 40,000 square feet of office/commercial space.

The 1983 Plan recommends commercial areas be developed with twenty percent visitor commercial uses, as defined in the CV (Commercial--Visitor) Zones. The remaining eighty percent could be developed with commercial uses such as commercial visitor, financial, specialized commercial, office and corporate headquarters. The projects would comply with this recommendation. A condition has been added to the permit(s) to require no less than twenty percent of the ground floor area be developed and offered for rent or lease with commercial visitor uses as defined in the CV (Commercial--Visitor) Zones. Examples of visitor commercial uses would be: eating & drinking establishment(s); personal services; and the sale of groceries, sundries, pharmaceutical and convenience items. Building locations for visitor uses have been noted on Exhibit "A."

The 1983 Plan recommends commercial development serve the traveling public and offer an expansion of the freeway oriented uses located in the commercial areas at the general intersection of Carmel Valley Road and Interstate 5. The development sites are well situated to avoid conflicts with other development in the community. The sites are topographically isolated from the rest of the community. The proposed developments would fit into the existing development and would not create any significant visual barriers to the ridgeline of the nearby sandstone bluffs. The proposed buildings would be one and two-stories and would not create a disharmonious contrast between the buildings and hillside in the background. The 1983 Plan recommends, on page VIII-3, the sandstone bluffs be left free from development in recognition of their aesthetic value and biological importance in the regional ecosystem. The proposed development would not impact the bluffs and is located within the existing developed area of the sites.

The 1983 Plan identifies the sites as within Traffic Zone 949. Traffic Analysis Zone (TAZ) 949 allows commercial uses with a maximum building square footage of 326,350 and the Average Daily Traffic (ADT) rate of 20 ADT per 1000 square feet of building area. According to the 1983 Plan, page VI-17, the development intensity would increase if the freeway on and off-ramps were installed. The increase is identified in Table 6-2 of the 1983 Plan (Attachment 13). Within Zone 949 the maximum ADT would then be 6,527. The 1983 Plan, page VI-21, states: "the actual development of sites within each TAZ may not generate as much traffic as depicted in Table 6-2. Therefore, it is assumed that "unused" ADT's within individual TAZ's can be transferred to adjacent TAZ's (or even non-adjacent TAZ's) if additional focused traffic analysis is conducted to verify that such a transfer does not jeopardize the validity of the community's traffic circulation study." The transfer of ADT within the community is also allowed by the terms of the Development Agreement in Section 6D.7.1(b) (Attachment 1, page 32). The project is proposing 3,546 ADT's per day, with 234 and 368 trips, respectively, occurring during the AM and PM peak hours.

With the update to the community plan in 1997, the Traffic Analysis Zones were re-numbered and ADT's maximums increased. While these projects are not reviewed for consistency with the Sorrento Hills Community Plan of 1997 (1997 Plan), due to state government code restrictions and the Development Agreement, the 1997 Plan allows for higher ADT's in the same physical area of Traffic Zone 949. The 1997 Plan also addresses the full build out of the community which includes land not contemplated for development by the 1983 Plan. The 1997 Plan identifies the project sites as within TAZ 598 and allows an office/corporate building intensity of 440,066 square feet with a generation rate of 15 ADT per 1000 square feet of floor area and a maximum of 6,601 ADT's, yet the Development Agreement, Exhibit H-2 (Attachment 14) identifies a maximum of 366,650 square feet of building area assigned to the Sammis property, now owned by the project applicant. By using the trip generation rate of 20 ADT per 1000 square feet, as required to be applied by the Superior Court (Attachment 4), the maximum ADT allowed in TAZ 598 would be 7,333. The Superior Court ruled the applicant possesses 1,726 ADT available to be utilized for the two proposed projects. Using the ADT rate required by the Superior Court the combined ADT of the two projects is 1,568; the total combined square footage of 78,400 divided by 1000 multiplied by 20 equals 1,568. Staff has recorded the development which has occurred and is planned within the community in the Torrey Hills Community Land Uses by Traffic Analysis; Existing Land Uses Constructed or Approved, as of Dec. 2008 (Attachment 15). The existing development in the community with the proposed project would be less than the maximum evaluated in the Environmental Impact Report prepared for the 1997 Plan.

While the projects are not subject to the newly adopted 2008 General Plan policies, the General Plan recommends regional commercial areas serve as a focal point for regional commerce and activity. These regional areas should include a broad range of uses including retail, wholesale, office, employment, and public recreational and civic uses. The project includes regional and visitor commercial uses and could draw support to the commercial uses from the adjacent residential developments. The General Plan recommends improving mobility through development of a balanced transportation system that addresses walking, bicycling, transit and roadways in a manner which strengthens the City of Villages land use vision. The project does not directly address increased mobility yet does provide for a variety of commercial uses within the project which would promote internal pedestrian circulation. The properties are designated for visitor commercial which is intended to serve the freeway and given the close proximity to Interstate 5, this would be accomplished. The General Plan further recommends respecting San Diego's natural topography and distinctive neighborhoods. The proposed project is situated on the level portions of the sites to preserve the hillside and bluffs located beyond the development edge.

As a result of staff's analysis the proposed projects have been determined to be consistent with the 1989 Sorrento Hills Development Agreement, 1983 Sorrento Hills Community Plan and to the greatest extent possible the current General Plan.

### Environmental Analysis

As each project is proposed on separate sites and the applications were submitted years apart, a separate analysis under the California Environmental Quality Act was performed for each

proposed project. A Mitigated Negative Declaration (MND) was prepared for each project pursuant to the California Environmental Quality Act (CEQA). The environmental review process studied the potential of each project to create impacts to Land Use, Multiple Species Conservation Program, Paleontological Resources, Circulation and Parking, Air Quality, Biological Resources and Noise. The environmental process for each project determined each project would have the potential to create significant impacts in the following areas: Land Use - Multiple Species Conservation Program and Paleontological Resources. These potential impacts would be reduced to a level of insignificance by the adoption of the proposed Mitigation Monitoring and Reporting Program (MMRP). Implementation of the MMRP would reduce the environmental effects of the project to below a level of significance.

### Community Planning Group Recommendation

The Torrey Hills Community Planning Board, on April 21, 2009, voted 11:0:1 to recommend approval of each project, with seven concerns. These concerns are summarized as follows:

1. New signage conforming to existing on site. No internally illuminated box signs.
2. Parking lot lighting limited to eighteen feet and shielded.
3. Landscaping modifications.
4. Modify Building Five height, design and exterior treatment.
5. Drive-through for Building Five internal to parking lot.
6. Undesirable cooking odors from restaurants.
7. Reconstruct internal circulation on portion of site.

These concerns are detailed in their letter which is included as Attachment 21. The concerns have been numbered for ease of discussion. The applicant has agreed to address all of these concerns with one exception, item number seven. The draft permit includes conditions to address items one and two and the plans were revised to incorporate concerns three through five.

As presently worded Staff cannot recommend item six be a condition of approval and it cannot be addressed by a revision to the drawings. As the item is written there is no method to measure compliance and the condition is unenforceable. If a restaurant is developed and operated in this location, the applicant and restaurant owner would be required to comply with all current relevant regulations as required by condition number eight, which reads: "The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency;" yet this may not address the community concern as the City and County do not regulate cooking odors.

The Torrey Reserve and Torrey Reserve Phase IV project locations are existing developed sites which, if the proposed amendments are approved, would undergo extensive redevelopment. To address item seven would require demolition and reconstruction of a portion of the existing Torrey Reserve Phase IV site which is not proposed to be redeveloped. The applicant has not agreed to address this concern. Based upon staff's evaluation of the existing onsite circulation the site operates in an acceptable manner and no traffic issues have resulted along El Camino Real. Without any identified circulation deficiency the expense of implementing item seven would outweigh any minor benefit to the project or users of the site.



## CONCLUSION

Staff has reviewed both the Torrey Reserve and Torrey Reserve Phase IV projects and all issues identified by staff through the review process have been resolved in conformance with adopted City Council policies, regulations of the Land Development Code and the 1989 Sorrento Hills Development Agreement. Staff has determined the proposed projects are consistent with these documents and the relevant regulations of the Land Development Code. Staff has provided draft findings to support approval of the development permits (Attachment 17 and 18) and draft conditions of approval (Attachment 19 and 20). Staff is recommending the Planning Commission approve the projects as proposed.

## ALTERNATIVES

### **Torrey Reserve:**

1. **Approve** Planned Development Permit No. 490145 and Coastal Development Permit No. 490146, **with modifications.**
2. **Deny** Planned Development Permit No. 490145 and Coastal Development Permit No. 490146, **if the findings required to approve the project cannot be affirmed.**

### **Torrey Reserve Phase IV:**

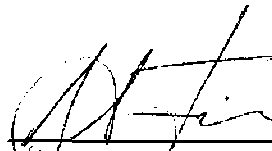
1. **Approve** Planned Development Permit No. 427638 and Coastal Development Permit No. 427637, **with modifications.**
2. **Deny** Planned Development Permit No. 427638 and Coastal Development Permit No. 427637, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



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Mike Westlake  
Program Manager  
Development Services Department



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John S. Fisher  
Development Project Manager  
Development Services Department

BROUGHTON/JSF

Attachments:

1. 1989 Sorrento Hills Development Agreement (available under separate cover)
2. California Gov't Code § 65865.4 and § 65866
3. 1983 Sorrento Hills Community Plan (available under separate cover)
4. Summary Judgment of Superior Court Case No. CIG 851874 (available under separate cover)
5. 1983 Sorrento Hills Community Plan Land Use Map
6. Project Vicinity Map
7. Copy of recorded Planned Commercial Development/Coastal Development Permit No. 85-0824 .
8. Torrey Reserve site development
9. Torrey Reserve Phase IV site development
10. Copy of Planned Commercial Development/Coastal Development Permit No. 98-0554 Resolution No. D809
11. Torrey Reserve proposed Site Plan
12. Torrey Reserve Phase IV proposed Site Plan
13. Table 6-2, 1983 Sorrento Hills Community Plan
14. Exhibit H-2, 1989 Sorrento Hills Development Agreement
15. Torrey Hills Community Land Uses by Traffic Analysis; Existing Land Uses Constructed or Approved, as of December 2008
16. Project plans, elevations, landscape, and others
17. Torrey Reserve Draft Resolution with Findings
18. Torrey Reserve Phase IV Draft Resolution with Findings
19. Torrey Reserve Draft Permit with Conditions
20. Torrey Reserve Phase IV Draft Permit with Conditions
21. Community Planning Group Recommendations
22. Ownership Disclosure Statement
23. Project Data Sheets
24. Project Chronologies

# **1989 Sorrento Hills Development Agreement**

(available under separate cover)



[FindLaw](#) > [FindLaw California](#) > [Codes and Statutes](#) > [California Code](#) > [Government Code](#)

- [California Codes](#)
  - [California Government Code](#)
    - GOVERNMENT CODE SECTION 65864-65869.5

65864. The Legislature finds and declares that:

(a) The lack of certainty in the approval of development projects can result in a waste of resources, escalate the cost of housing and other development to the consumer, and discourage investment in and commitment to comprehensive planning which would make maximum efficient utilization of resources at the least economic cost to the public.

(b) Assurance to the applicant for a development project that upon approval of the project, the applicant may proceed with the project in accordance with existing policies, rules and regulations, and subject to conditions of approval, will strengthen the public planning process, encourage private participation in comprehensive planning, and reduce the economic costs of development.

(c) The lack of public facilities, including, but not limited to, streets, sewerage, transportation, drinking water, school, and utility facilities, is a serious impediment to the development of new housing. Whenever possible, applicants and local governments may include provisions in agreements whereby applicants are reimbursed over time for financing public facilities.

65865. (a) Any city, county, or city and county, may enter into a development agreement with any person having a legal or equitable interest in real property for the development of the property as provided in this article.

(b) Any city may enter into a development agreement with any person having a legal or equitable interest in real property in unincorporated territory within that city's sphere of influence for the development of the property as provided in this article. However, the agreement shall not become operative unless annexation proceedings annexing the property to the city are completed within the period of time specified by the agreement. If the annexation is not completed within the time specified in the agreement or any extension of the agreement, the agreement is null and void.

(c) Every city, county, or city and county, shall, upon request of an applicant, by resolution or ordinance, establish procedures and requirements for the consideration of development agreements upon application by, or on behalf of, the property owner or other person having a legal or equitable interest in the property.

(d) A city, county, or city and county may recover from applicants the direct costs associated with adopting a resolution or ordinance to establish procedures and requirements for the consideration of development agreements.

(e) For any development agreement entered into on or after January 1, 2004, a city, county, or city and county shall comply with

Section 66006 with respect to any fee it receives or cost it recovers pursuant to this article.

65865.1. Procedures established pursuant to Section 65865 shall include provisions requiring periodic review at least every 12 months, at which time the applicant, or successor in interest thereto, shall be required to demonstrate good faith compliance with the terms of the agreement. If, as a result of such periodic review, the local agency finds and determines, on the basis of substantial evidence, that the applicant or successor in interest thereto has not complied in good faith with terms or conditions of the agreement, the local agency may terminate or modify the agreement.

65865.2. A development agreement shall specify the duration of the agreement, the permitted uses of the property, the density or intensity of use, the maximum height and size of proposed buildings, and provisions for reservation or dedication of land for public purposes. The development agreement may include conditions, terms, restrictions, and requirements for subsequent discretionary actions, provided that such conditions, terms, restrictions, and requirements for subsequent discretionary actions shall not prevent development of the land for the uses and to the density or intensity of development set forth in the agreement. The agreement may provide that construction shall be commenced within a specified time and that the project or any phase thereof be completed within a specified time.

The agreement may also include terms and conditions relating to applicant financing of necessary public facilities and subsequent reimbursement over time.

65865.3. (a) Except as otherwise provided in subdivisions (b) and (c), Section 65868, or Section 65869.5, notwithstanding any other law, if a newly incorporated city or newly annexed area comprises territory that was formerly unincorporated, any development agreement entered into by the county prior to the effective date of the incorporation or annexation shall remain valid for the duration of the agreement, or eight years from the effective date of the incorporation or annexation, whichever is earlier. The holder of the development agreement and the city may agree that the development agreement shall remain valid for more than eight years, provided that the longer period shall not exceed 15 years from the effective date of the incorporation or annexation. The holder of the development agreement and the city shall have the same rights and obligations with respect to each other as if the property had remained in the unincorporated territory of the county.

(b) The city may modify or suspend the provisions of the development agreement if the city determines that the failure of the city to do so would place the residents of the territory subject to the development agreement, or the residents of the city, or both, in a condition dangerous to their health or safety, or both.

(c) Except as otherwise provided in subdivision (d), this section applies to any development agreement which meets all of the following requirements:

(1) The application for the agreement is submitted to the county prior to the date that the first signature was affixed to the

petition for incorporation or annexation pursuant to Section 56704 or the adoption of the resolution pursuant to Section 56800, whichever occurs first.

(2) The county enters into the agreement with the applicant prior to the date of the election on the question of incorporation or annexation, or, in the case of an annexation without an election pursuant to Section 57075, prior to the date that the conducting authority orders the annexation.

(3) The annexation proposal is initiated by the city. If the annexation proposal is initiated by a petitioner other than the city, the development agreement is valid unless the city adopts written findings that implementation of the development agreement would create a condition injurious to the health, safety, or welfare of city residents.

(d) This section does not apply to any territory subject to a development agreement if that territory is incorporated and the effective date of the incorporation is prior to January 1, 1987.

65865.4. Unless amended or canceled pursuant to Section 65868, or modified or suspended pursuant to Section 65869.5, and except as otherwise provided in subdivision (b) of Section 65865.3, a development agreement shall be enforceable by any party thereto notwithstanding any change in any applicable general or specific plan, zoning, subdivision, or building regulation adopted by the city, county, or city and county entering the agreement, which alters or amends the rules, regulations, or policies specified in Section 65866.

65865.5. (a) Notwithstanding any other provision of law, after the amendments required by Section 65302.9 and 65860.1 have become effective, the legislative body of a city or county within the Sacramento-San Joaquin Valley shall not enter into a development agreement for any property that is located within a flood hazard zone unless the city or county finds, based on substantial evidence in the record, one of the following:

(1) The facilities of the State Plan of Flood Control or other flood management facilities protect the property to the urban level of flood protection in urban and urbanizing areas or the national Federal Emergency Management Agency standard of flood protection in nonurbanized areas.

(2) The city or county has imposed conditions on the development agreement that will protect the property to the urban level of flood protection in urban and urbanizing areas or the national Federal Emergency Management Agency standard of flood protection in nonurbanized areas.

(3) The local flood management agency has made adequate progress on the construction of a flood protection system which will result in flood protection equal to or greater than the urban level of flood protection in urban or urbanizing areas or the national Federal Emergency Management Agency standard of flood protection in nonurbanized areas for property located within a flood hazard zone, intended to be protected by the system. For urban and urbanizing areas protected by project levees, the urban level of flood protection shall be achieved by 2025.

(b) The effective date of amendments referred to in this section

shall be the date upon which the statutes of limitation specified in subdivision (c) of Section 65009 have run or, if the amendments and any associated environmental documents are challenged in court, the validity of the amendments and any associated environmental documents has been upheld in a final decision.

(c) Nothing in this section shall be construed to change or diminish existing requirements of local floodplain management laws, ordinances, resolutions, or regulations necessary to local agency participation in the national flood insurance program.

65866. Unless otherwise provided by the development agreement, rules, regulations, and official policies governing permitted uses of the land, governing density, and governing design, improvement, and construction standards and specifications, applicable to development of the property subject to a development agreement, shall be those rules, regulations, and official policies in force at the time of execution of the agreement. A development agreement shall not prevent a city, county, or city and county, in subsequent actions applicable to the property, from applying new rules, regulations, and policies which do not conflict with those rules, regulations, and policies applicable to the property as set forth herein, nor shall a development agreement prevent a city, county, or city and county from denying or conditionally approving any subsequent development project application on the basis of such existing or new rules, regulations, and policies.

65867. A public hearing on an application for a development agreement shall be held by the planning agency and by the legislative body. Notice of intention to consider adoption of a development agreement shall be given as provided in Sections 65090 and 65091 in addition to any other notice required by law for other actions to be considered concurrently with the development agreement.

65867.5. (a) A development agreement is a legislative act that shall be approved by ordinance and is subject to referendum.

(b) A development agreement shall not be approved unless the legislative body finds that the provisions of the agreement are consistent with the general plan and any applicable specific plan.

(c) A development agreement that includes a subdivision, as defined in Section 66473.7, shall not be approved unless the agreement provides that any tentative map prepared for the subdivision will comply with the provisions of Section 66473.7.

65868. A development agreement may be amended, or canceled in whole or in part, by mutual consent of the parties to the agreement or their successors in interest. Notice of intention to amend or cancel any portion of the agreement shall be given in the manner provided by Section 65867. An amendment to an agreement shall be subject to the provisions of Section 65867.5.

65868.5. No later than 10 days after a city, county, or city and county enters into a development agreement, the clerk of the legislative body shall record with the county recorder a copy of the agreement, which shall describe the land subject thereto. From and after the time of such recordation, the agreement shall impart such notice thereof to all persons as is afforded by the recording laws of this state. The burdens of the agreement shall be binding upon, and the benefits of the agreement shall inure to, all successors in interest to the parties to the agreement.

65869. A development agreement shall not be applicable to any development project located in an area for which a local coastal program is required to be prepared and certified pursuant to the requirements of Division 20 (commencing with Section 30000) of the Public Resources Code, unless: (1) the required local coastal program has been certified as required by such provisions prior to the date on which the development agreement is entered into, or (2) in the event that the required local coastal program has not been certified, the California Coastal Commission approves such development agreement by formal commission action.

65869.5. In the event that state or federal laws or regulations, enacted after a development agreement has been entered into, prevent or preclude compliance with one or more provisions of the development agreement, such provisions of the agreement shall be modified or suspended as may be necessary to comply with such state or federal laws or regulations.

[Previous](#)

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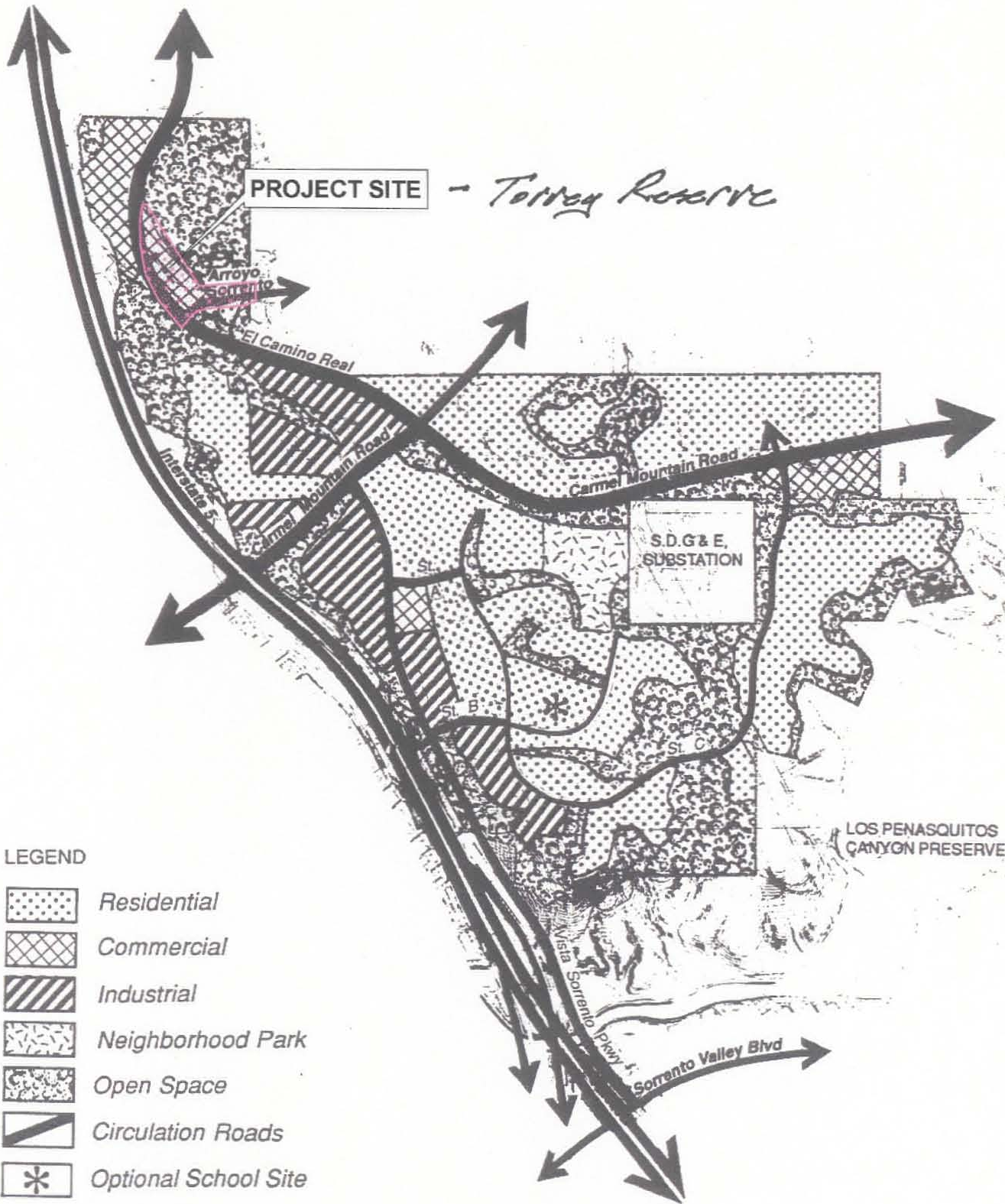


# **1983 Sorrento Hills Community Plan**

(available under separate cover)

**Summary Judgment of Superior Court Case  
No. CIG 851874**

(available under separate cover)



LEGEND

-  Residential
-  Commercial
-  Industrial
-  Neighborhood Park
-  Open Space
-  Circulation Roads
-  Optional School Site

Land Use Plan

# SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

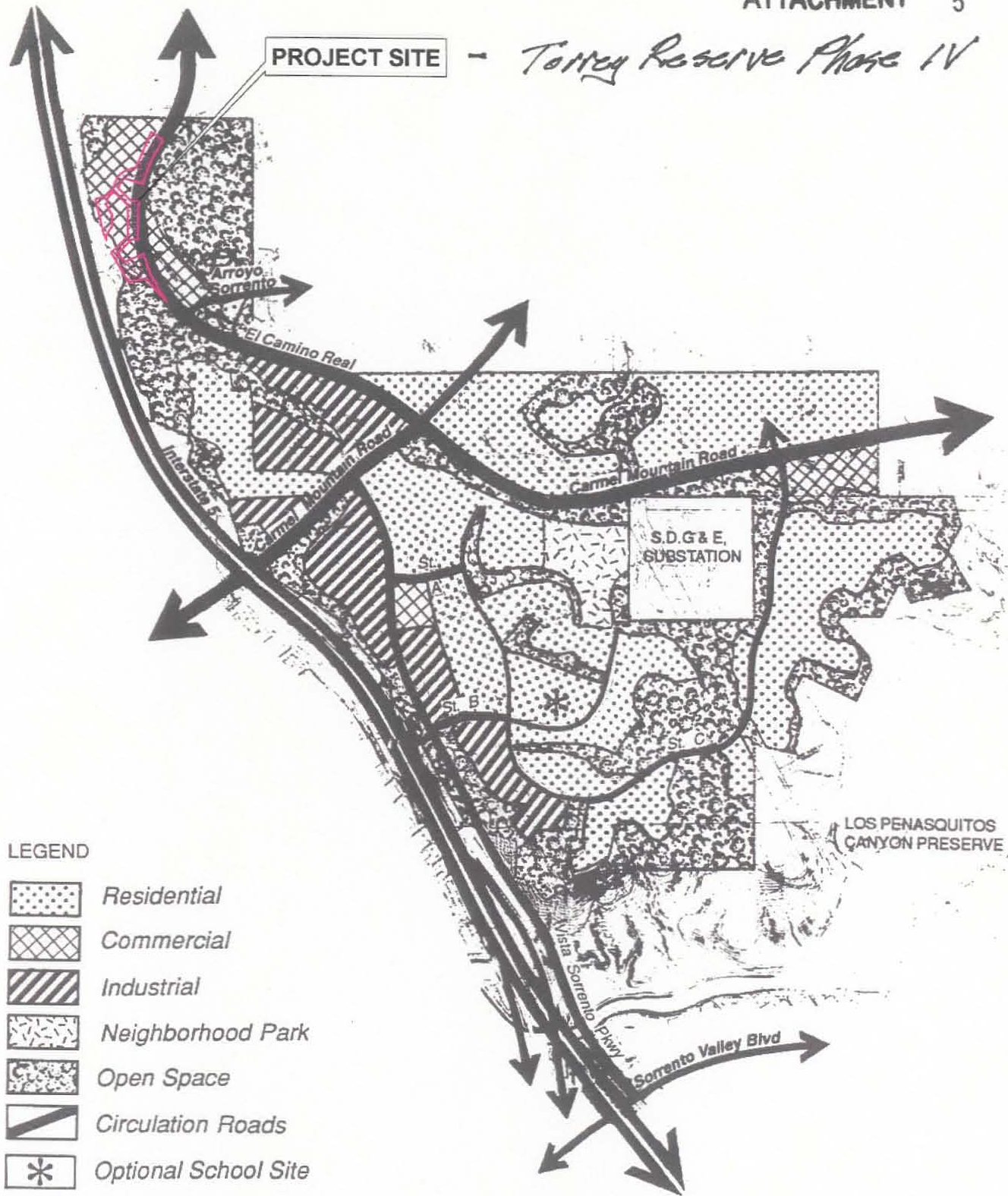
Figure 1

 T&B Planning Consultants  
200 HALLGATE SUITE 200  
SAN DIEGO, CALIF. 92108 (760) 562-2770  
SAN LEANDE AVENUE, SUITE 210  
SAN DIEGO, CALIF. 92108 (619) 521-2100



PROJECT SITE - Torrey Reserve Phase IV

*Torrey Reserve Phase IV*



LEGEND

-  Residential
-  Commercial
-  Industrial
-  Neighborhood Park
-  Open Space
-  Circulation Roads
-  Optional School Site

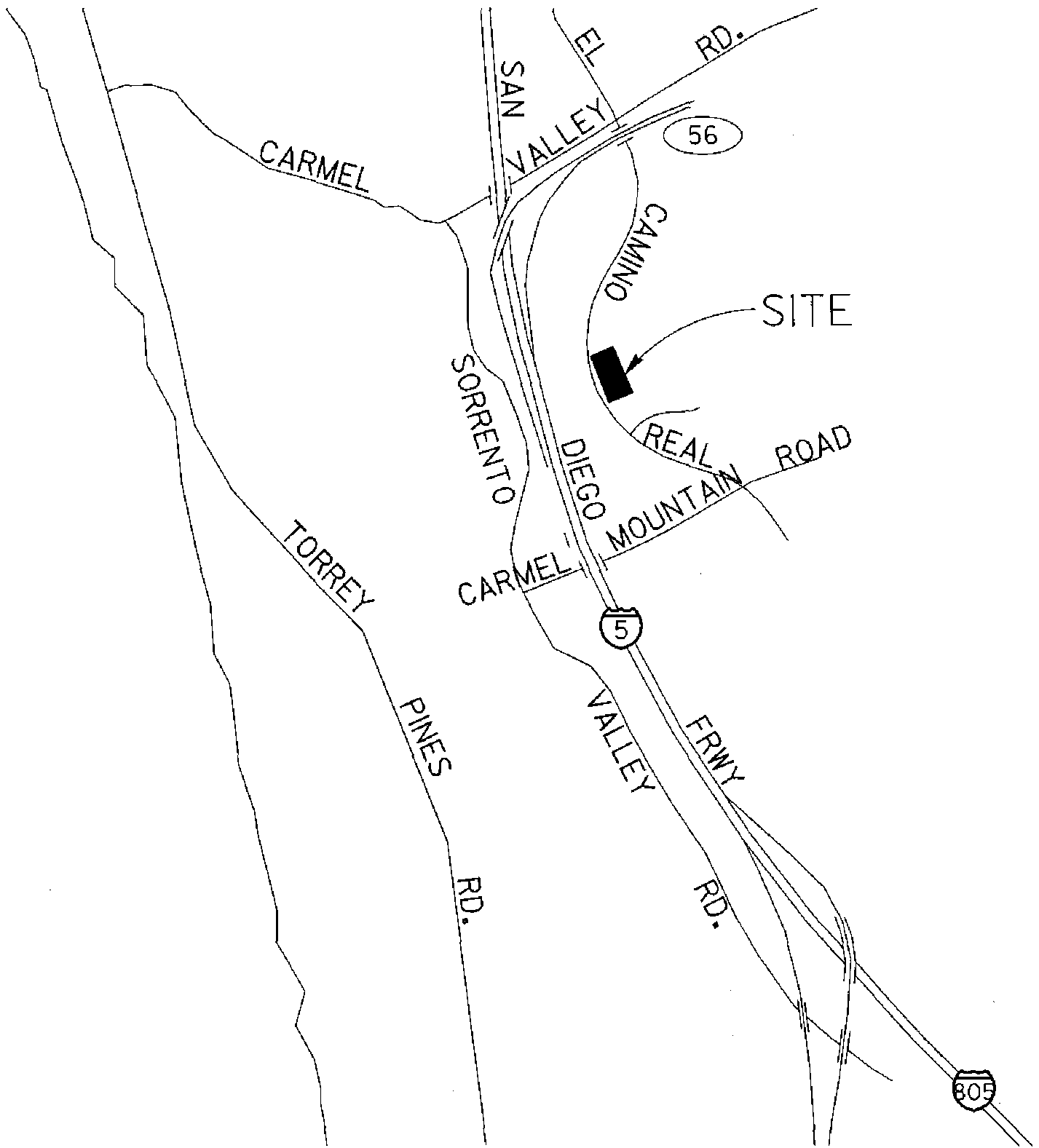
Land Use Plan

# SORRENTO HILLS COMMUNITY PLAN

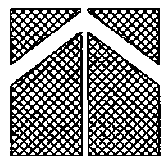
AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 1

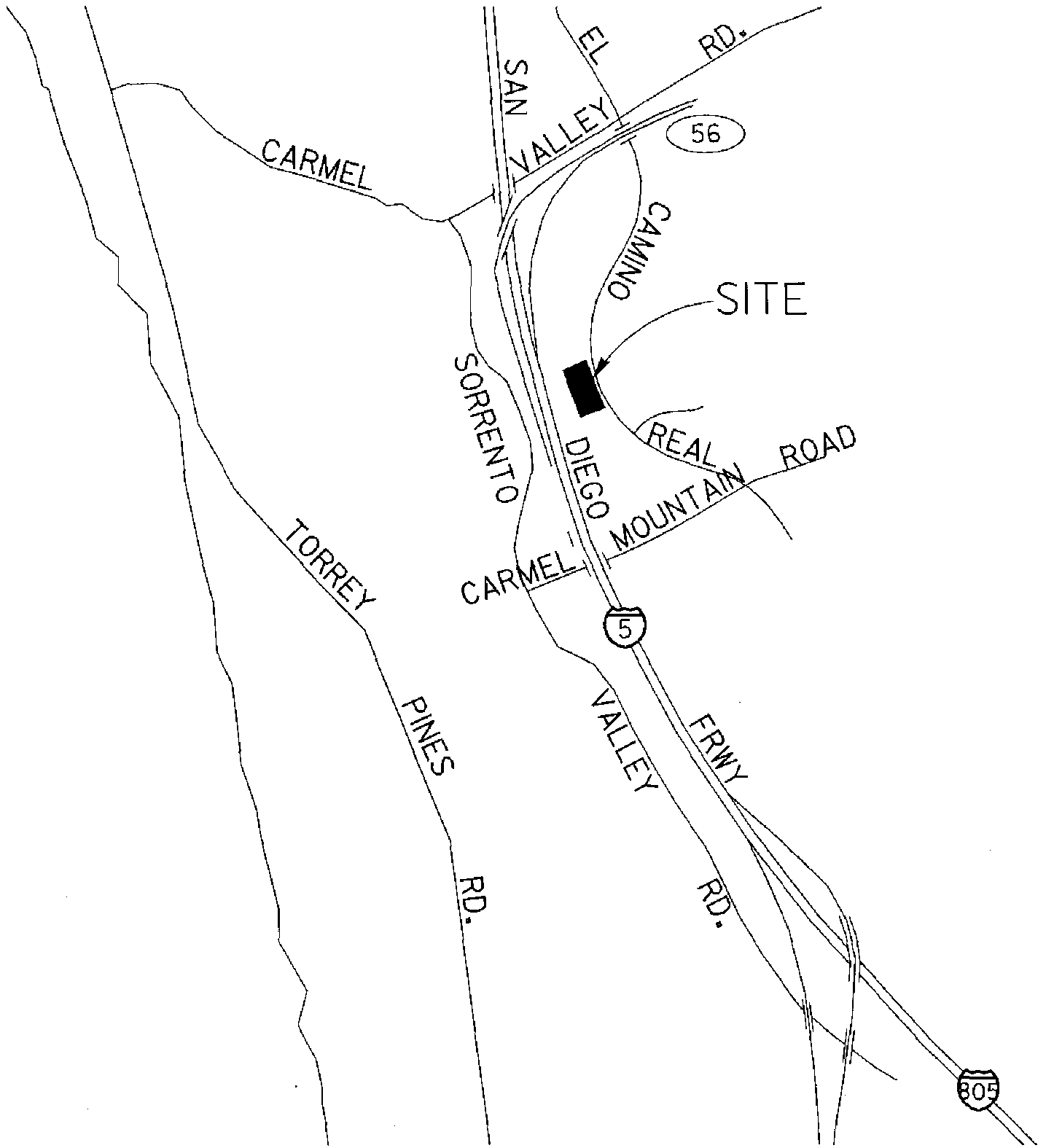
 T&B Planning Consultants  
 1402 HALLGATE BLVD STE 200  
 SAN DIEGO, CALIF 92108-1740 619 278-2776  
 FAX 619 278-1740  
 SAN DIEGO, CALIF 92108-1740



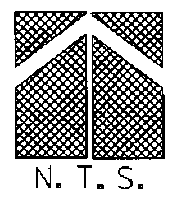
VICINITY MAP FOR  
TORREY RESERVE



N. T. S.



VICINITY MAP FOR  
TORREY RESERVE PHASE IV



PLANNED COMMERCIAL DEVELOPMENT PERMIT AND  
COASTAL DEVELOPMENT PERMIT NO. 85-0824TORREY RESERVE COMMERCIAL DEVELOPMENT

DOCUMENT NO. 85-0824

FILED June 23, 1993

CITY COUNCIL

OFFICE OF THE CITY CLERK  
SAN DIEGO, CALIFORNIA

This Planned Commercial Development ("PCD")/Coastal Development Permit ("CDP") No. 85-0824 is granted by the Council of The City of San Diego to AMERICAN ASSETS, INC., a corporation, Owner/Permittee, pursuant to in Section 101.0910 of the Municipal Code of The City of San Diego.

1. Permission is granted to Owner/Permittee to construct a Planned Commercial Development/Coastal Development located east of Interstate 5 and approximately one-quarter mile south of Carmel Valley Road, described as Parcel 2 of Parcel Map No. 14873, in the currently A1-1 Zone (Proposed CO zone).
2. The facility shall consist of the following:
  - a. The grading of 17.5 acres and the construction of 12 buildings totalling 458,646 square-feet;
  - b. The installation of an entry statement for the Arroyo Sorrento neighborhood;
  - c. Off-street parking;
  - d. Accessory uses as may be determined incidental and approved by the Planning Director.
3. Prior to the issuance of any building permits, a final subdivision map shall be recorded on the subject property. Rezoning of the subject property shall be approved by the City Council and become effective with the recordation of the subdivision map.
4. No fewer than 1,673 off-street parking spaces shall be maintained on the property in the approximate location shown on Exhibit "A," dated February 9, 1993, on file in the office of the Planning Department. Parking spaces shall be consistent with San Diego Municipal Code Chapter X, Article 1, Division 8, and shall be permanently maintained and not converted for any other use. Parking spaces and aisles shall conform to Planning Department standards. Parking areas shall be marked.
5. No permit for grading or building of any facility shall be granted nor shall any activity authorized by this permit be conducted on the premises until:

- a. The Permittee signs and returns the permit to the Planning Department;
  - b. The Planned Commercial Development/Coastal Development Permit is recorded in the office of the County Recorder.
6. Before issuance of any building permits, complete grading and building plans shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity to Exhibit "A," dated February 9, 1993, on file in the office of the Planning Department. No change, modifications or alterations shall be made unless appropriate applications, Findings of Substantial Conformance or amendment of this permit shall have been granted.
  7. Before issuance of any grading or building permits, a complete landscape plan, including a permanent irrigation system, shall be submitted to the Planning Director for approval. The plans shall be in substantial conformity to Exhibit "A," dated February 9, 1993, on file in the office of the Planning Department. Approved planting shall be installed before issuance of any occupancy permit on any building. Such planting shall not be modified or altered unless this permit has been amended and is to be maintained in a disease, weed and litter free condition at all times.
  8. All outdoor lighting shall be so shaded and adjusted that the light is directed to fall only on the same premises as light sources are located.
  9. The effective date of this permit shall be the date of final action following all appeal dates and proceedings or the effective date of a concurrent rezoning case. The permit must be utilized within 36 months after the effective date. Failure to utilize the permit within 36 months will automatically void the permit unless an extension of time has been granted by the Planning Director, as set forth in Municipal Code section 101.0910(M). Any such extension of time must meet all the Municipal Code requirements and applicable guidelines in effect at the time the extension is considered by the Planning Director.
  10. Construction and operation of the approved use shall comply at all times with the regulations of this or any other governmental agencies. The applicant shall be able to provide proof of such compliance from all governmental agencies having jurisdiction.
  11. After establishment of the project, the property shall not be used for any other purposes unless:
    - a. Authorized by the Planning Director; or



- b. The proposed use meets every requirement of the zone existing for the property at the time of conversion;
- c. The permit has been revoked by the City.

The property included within this Planned Commercial Development/Coastal Development shall be used only for the purposes and under the terms and conditions set forth in this permit unless authorized by the Planning Director or the permit has been revoked by The City of San Diego.

- 12. This Planned Commercial Development Permit/Coastal Development Permit may be canceled or revoked if there is any material breach or default in any of the conditions of this permit. Cancellation or revocation may be instituted by The City of San Diego or Permittee.
- 13. This Planned Commercial Development Permit/Coastal Development Permit is a covenant running with the subject property and shall be binding upon the Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out.
- 14. Permanent and/or temporary signs shall be approved by the Sign Code Administrator and shall conform to City-wide Sign Regulations and be administered by the Sign Code Administration Division of the Neighborhood Code Compliance Department.
- 15. The use of textured or enhanced paving shall be permitted only with the approval of the City Engineer and Planning Director, and shall meet standards of these departments as to location, noise and friction values, and any other applicable criteria.
- 16. If any existing hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind per the approved plans.
- 17. Noise walls, street trees, decorative pavements and other public right-of-way improvements shown on Exhibit "A," dated February 9, 1993, shall be permitted by an Encroachment Permit obtained from the City Engineer.
- 18. The Permittee/Applicant shall comply with all requirements of the Uniform Building Code (UBC) and secure all necessary building permits prior to construction.
- 19. The child care facility shall be operated and maintained for the children of employees of businesses located within the Torrey Reserve Commercial Development only. Reports shall be sent to the Planning Department upon request.

- 2-10
20. Building materials shall be in accordance with the approved Exhibit "A," dated February 9, 1993, on file in the office of the Planning Department.
  21. An entry statement shall be provided at both the entrance to the Arroyo Sorrento neighborhood on Arroyo Sorrento Road, near the intersection with El Camino Real and at the entrance to the neighborhood at the project boundary. The entry statement shall be submitted and approved by the Planning Director, prior to the issuance of building permits.
  22. This Coastal Development Permit/Planned Commercial Development Permit shall not become effective until 30 days following action by the Coastal Commission to adopt the Local Coastal Program Amendment related to the proposed rezone for the project site.
  23. This Coastal Development Permit incorporates a Planned Commercial Development Permit and Rezone. The Rezone and Planned Commercial Development Permit shall not be valid until the Coastal Development Permit becomes effective.

#### Environmental Mitigation Conditions

24. The landscape contractor for the project shall be instructed to avoid the use of pesticides or herbicides within and adjacent to the open space easement. This shall be noted on the landscape plans.
25. Street lighting shall be designed to avoid lighting the open space easement area. Building/parking lot lighting shall be directed away from open space and only minimal security lighting shall be provided in areas adjacent to natural open space. This shall be noted on the building plans.
26. Future structures shall not be founded across daylight lines (the point or area where grading abuts natural ground) to provide a minimum thickness of compacted fill across the entire pad.
27. A 50 dBA CNEL interior noise level shall be ensured by future review of building plans by the City's Noise Abatement Office. Planning will not issue permits until plans are reviewed and approved by the Noise Abatement Office.
28. The applicant shall retain a soils engineer and landscape architect to monitor the grading, construction, and revegetation of the project and submit in writing to the City Engineer and the Environmental Analysis Section ("EAS"), Development and Environmental Planning Division, Planning Department, certification that the project has complied with the required mitigation measures on the

grading plans. Other than minor changes in grading, the applicant shall process construction changes through the Planning Department. After the Planning Director and City Engineer approves the grading, a recommendation shall be made to the City Council for the release of the surety bond.

29. A five-year monitoring program shall be conducted by the project biologist in conjunction with the maintenance program conducted by the landscape contractor for those disturbed areas and manufactured slopes addressed in the revegetation plan. A separate surety bond shall be posted to ensure installation and maintenance of the landscaping. Monitoring shall be conducted by a biologist with experience in preparation and implementation of revegetation programs and commence following the completion of planting and hydroseeding operations. Survival counts shall occur quarterly for the first year and annually for years two through five. A total of five annual reports shall be prepared upon completion of the data collection and analysis.

Quantitative analysis shall consist of measurements using belt transect. Measurements shall include height, cover, and survival to be evaluated against the following milestones:

Year 1	90 percent of container stock
Year 2	80 percent survival of container stock 40 percent cover of all native vegetation (container stock and hydroseed vegetation)
Year 3	80 percent survival of container stock 50 percent cover of all native vegetation
Year 4	80 percent survival of container stock 60 percent cover of all native vegetation
Year 5	80 percent survival of container stock 80 percent cover of all native vegetation

Survival rates shall be determined four times during the first year and during the transect visits of subsequent years. The inventory taken at each visit shall include species and surviving numbers for all plants established from container stock.

Progress and annual technical reports shall be submitted to the Planning Department after each inspection. The reports shall describe the site and plant conditions, report results of the technical analysis, and shall include proposed remedial action. The bond shall be released at the end of

the five-year monitoring program period if compliance with the survival rates listed above are met.

30. Manufactured slopes and disturbed open space areas adjacent to undisturbed native habitat (approximately 2.2 acres) shall be vegetated with native species which are known to occur locally in accordance with the revegetation plan. Torrey pine may be used as a landscape element adjacent to the natural areas; however, it should not be planted within native habitat areas, as that would degrade the quality of this habitat for California gnatcatchers. No non-native plant species which are known to invade native habitats should be planted adjacent to natural areas. A surety bond to assure implementation of the revegetation program shall be a condition of PCD No. 85-0824. Successful revegetation of these areas with southern maritime chaparral would serve to fully mitigate 0.43 acre of impact to southern maritime chaparral; a total of approximately 2.2 acres of disturbed areas and manufactured slopes would be revegetated resulting in greater than a 3:1 ratio of mitigation area.
31. The grading plan shall incorporate a maintenance program for erosion and runoff control measures, which shall be approved by the City Engineer and Planning Department. The erosion and runoff control measures shall be designed and bonded prior to recordation of the final map; erosion control measures shall be implemented prior to acceptance of the grading and public improvements by the City. The applicant and future property owners shall be responsible for the specialized maintenance program and shall maintain records of the maintenance.
32. The applicant shall retain a soils engineer to monitor the grading, construction, installation of runoff control devices, and revegetation of the project and submit in writing to the City Engineer and the EAS certification that the project has complied with the required notes on the grading plans addressing erosion/urban runoff controls prior to issuance of building permits for the project.
33. During grading and construction of the proposed improvements, steps shall be taken to ensure that all waste chemicals, especially lubricants, paints, and fuels are properly contained and transported off-site, where they should be recycled or destroyed. The installation of temporary desilting basins during grading, permanent pollution control devices, and rock energy dissipaters at drainage discharge points will reduce the load of urban pollutants before they reach the lagoon. The above measures shall be noted on the grading plans.
34. Pollution control devices shall be provided to the satisfaction of the City Engineer in conjunction with site development and shall be a condition of the PCD and CDP.

The locations shall be noted on the grading plans. Prior to the issuance of grading permits, the EAS shall review the plans to ensure the measures have been provided. The applicant shall notify the EAS upon installation of the pollution control devices prior to release of the subdivision bond. Annual maintenance reports summarizing their effectiveness shall be provided to the EAS. The maintenance shall be the responsibility of the applicant and then the property owner for the individual lots. The City shall be responsible for maintenance of drainage improvements in the public right-of-way.

- 35. A paleontological monitoring results report, with appropriate graphics, summarizing the results, even if negative, analysis, and conclusions of the paleontological monitoring program as described in the EIR shall be prepared and submitted to EAS following the termination of the paleontological monitoring program and prior to issuance of building permits.
- 36. If grading is to occur during the nesting season of the California gnatcatcher and this species is found to be nesting adjacent to the area to be graded, the applicant will implement a monitoring and reporting program as described in the Environmental Impact Report to the satisfaction of the Principal Planner of the Environmental Analysis Section.

Street Vacation Conditions

- 37. Clearances must be obtained from all concerned public utilities and franchise facility companies.
- 38. Easements must be reserved for any public utilities and franchise facilities within the area to be vacated, or the facilities may be relocated, in a manner satisfactory to the affected utility companies.
- 39. The final map for Torrey Reserve (Tentative Map No. 85-0824) must be approved and recorded in conjunction with the street vacation.
- 40. Construction of the new alignment for El Camino Real must be dedicated and open for public use, in a manner satisfactory to the City Engineer.
- 41. In the event that the permittee elects not to obtain title to the Caltrans parcel, the Planning Director and the City Engineer or their designated representatives shall be authorized to review and approve revisions to project, provided that such revisions are in substantial conformance to the approved project.

- 42. In the event that any condition of this permit, on a legal challenge by the Owner/Permittee of this permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable or unreasonable, this permit shall be void.
- 43. The total project shall not exceed 458,646 square feet of development. The commercial office buildings on the west side of El Camino Real shall not exceed 287,480 square feet, and the commercial office buildings on the east side of El Camino Real shall not exceed 171,166 square feet.

The modified buildings shall be designed so that the reduction in square footage results in increased terracing features to the buildings. The revised building plans shall be subject to the approval of the Planning Director.

The project shall be requires to maintain a total of 1,673 parking spaces. A minimum of 615 parking spaces shall be located on the east side of El Camino Real and 1,058 parking spaces shall be located on the west side of El Camino Real, as indicated on Exhibit "A," dated February 9, 1993, on file in the Planning Department.

- 44. The vehicular access shall not be permitted from the project site onto Arroyo Sorrento Road.
- 45. Prior to the issuance of building or grading permits, the applicant shall be required to pay as a fee to the Los Penasquitos Lagoon Enhancement Fund and Escrow account for the restoration of the Los Penasquitos Lagoon and watershed. The watershed restoration and enhancement fee shall be computed in accordance with Section 105.0209 of the San Diego Municipal Code.

APPROVED by the Council of The City of San Diego on February 9, 1993, by Resolution Nos. R-281470 and R-281471.

AUTHENTICATED BY:

*Susan Golding*  
SUSAN GOLDING, Mayor  
The City of San Diego

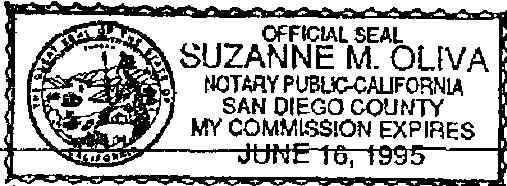
*Charles G. Abdelnour*  
CHARLES G. ABDELNOUR, City Clerk  
The City of San Diego

STATE OF CALIFORNIA )  
                                  ) ss.  
COUNTY OF SAN DIEGO )

On this 23<sup>rd</sup> day of June, 1993, before me, the undersigned, a notary public in and for said County and State, residing therein, duly commissioned and sworn, personally appeared CHARLES G. ABDELNOUR, known to me to be the City Clerk of The City of San Diego, the municipal corporation that executed the within instrument, and known to me to be the person whose name is subscribed to the within instrument, as a witness thereto, who being by me duly sworn, deposes and says that he was present and saw SUSAN GOLDING known to him to be the Mayor of The City of San Diego, and known to him to be the person who executed the within instrument on behalf of the municipal corporation therein named, and acknowledged to me that such municipal corporation executed the same, and that said affiant subscribed his name to the within instrument as a witness.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal in the County of San Diego, State of California, the day and year in this certificate first above written.

*Suzanne M. Oliva*  
Notary Public in and for the County  
of San Diego, State of California



The undersigned Permittee, by execution hereof, agrees to each and every condition of this permit and promises to perform each and every obligation of Permittee hereunder.

AMERICAN ASSETS, INC.  
Owner/Permittee  
By *[Signature]*  
By JOHN W. CHAMBERLAIN - V.P.

NOTE: Notary acknowledgments must be attached per Civil Code Section 1180, et seq. Form=p.ack

ORIGINAL

**ALL-PURPOSE ACKNOWLEDGMENT**

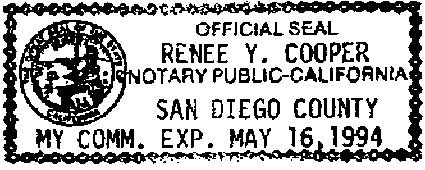
State of California  
County of San Diego

2155

On June 9, 1993 before me, Renee Y. Cooper Notary Public  
DATE NAME, TITLE OF OFFICER - E.G., "JANE DOE, NOTARY PUBLIC"

personally appeared John W. Chamberlain  
NAME(S) OF SIGNER(S)

personally known to me - OR -  proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



Witness my hand and official seal.

Renee Y. Cooper  
SIGNATURE OF NOTARY

**CAPACITY CLAIMED BY SIGNER**

- INDIVIDUAL(S)
- CORPORATE
- OFFICER(S) v.p. TITLE(S)
- PARTNER(S)
- ATTORNEY-IN-FACT
- TRUSTEE(S)
- SUBSCRIBING WITNESS
- GUARDIAN/CONSERVATOR
- OTHER: \_\_\_\_\_

**SIGNER IS REPRESENTING:**  
NAME OF PERSON(S) OR ENTITY(IES)  
American Assets, Inc.

ATTENTION NOTARY: Although the information requested below is OPTIONAL, it could prevent fraudulent attachment of this certificate to unauthorized document.

THIS CERTIFICATE MUST BE ATTACHED TO THE DOCUMENT DESCRIBED AT RIGHT:

Title or Type of Document Signature Form  
Number of Pages 1 Date of Document June 9, 1993  
Signer(s) Other Than Named Above NONE



(R-93-1195)

## RESOLUTION NUMBER R-281470

ADOPTED ON FEBRUARY 9, 1993

WHEREAS, on December 3, 1993, the Planning Department recommended approval of Coastal Development Permit ("CDP") No. 85-0824 submitted by American Assets, Inc., a corporation, Owner/Permittee, for the development of approximately 458,646 square feet of visitor commercial and office uses on a 60-acre site located east of Interstate 5 and approximately one-quarter mile south of Carmel Valley Road and described as Parcel 2 of Parcel Map No. 14873, in the Sorrento Hills Community Plan area, in the A1-1 zone (proposed CO zone); and

WHEREAS, the matter was set for public hearing on February 9, 1993, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, that this Council adopts the following findings with respect to Coastal Development Permit No. 85-0824:

1. The proposed development will not encroach upon any existing physical accessway legally utilized by the public or any proposed public accessway identified in an adopted Local Coastal Program ("LCP") Land Use Plan; nor will it obstruct views to and along the ocean and other scenic coastal areas from public

vantage points. The project is not located on or near any physical accessways. The project has been designed so that it will not obstruct views to sandstone bluffs located east of the Interstate 5, as identified in the Sorrento Hills Community Plan and Local Coastal Program.

2. The proposed development will not adversely affect marine resources, environmentally sensitive areas, or archaeological or paleontological resources. The project's impact to environmentally sensitive areas, archaeological or paleontological resources is addressed in the Environmental Impact Report ("EIR") No. 85-0824. As mitigation for potential impacts to paleontological resources, all grading operations shall be monitored by a qualified paleontologist. The proposed development was not identified as affecting marine resources or archaeological resources. Any disturbance to environmentally sensitive areas will be revegetated to reduce any impacts.

3. The proposed development will comply with the requirements related to biologically sensitive lands and significant prehistoric and historic resources as set forth in the Resource Protection Ordinance (San Diego Municipal Code section 101.0462), unless by the terms of the Resource Protection Ordinance, it is exempted therefrom. The project has been designed to reduce impacts to biologically sensitive lands, to the extent possible. Any encroachment into biologically

sensitive lands, shall be revegetated where appropriate. In the areas known to have gnatcatchers, the applicant has agreed to a monitoring and reporting program to be approved by the Principal Planner of the Environmental Analysis Section.

4. The proposed development will not adversely affect recreational or visitor-serving facilities or coastal scenic resources. The project site is not adjacent to any legally recognized recreational or visitor-serving facilities. The project site is across Interstate 5 from the Los Penasquitos Lagoon and will therefore not cause any adverse affect to the reserve. Views to the sandstone bluff, adjacent to the property, have been preserved.

5. The proposed development will be sited and designed to prevent adverse impacts to environmentally sensitive habitats and scenic resources located in adjacent parks and recreation areas, and will provide adequate buffer areas to protect such resources. The project site has been designed to prevent adverse impacts to the extent possible, given development rights for the site, as approved in the Sorrento Hills Development Agreement. The project is adequately buffered from the adjacent Los Penasquitos Lagoon and the residential development. The project has been sited so that the views to the scenic sandstone bluffs are protected.

6. The proposed development will minimize the alterations of natural landforms and will not result in undue risks from

geologic and erosional forces and/or flood and fire hazards. The project is designed to minimize landform alterations, as much as possible, given the previously approved location for the realignment of El Camino Real. The proposed grading techniques, with revegetation of manufactured slopes and disturbed areas ensure that undue risks from geologic and erosional forces will not occur. The EIR specified that based on the proposed grading techniques, landform alteration will be reduced to a level below significance.


7. The proposed development will be visually compatible with the character of surrounding areas, and where feasible, will restore and enhance visual quality in visually degraded areas. The proposed development is a office commercial and visitor commercial development located in an area surrounded by residential, freeway, and office and visitor commercial uses. Although the area not yet built-out, there are approved plans for visitor commercial uses adjacent to the site. The uses with which this project is less compatible is adequately buffered by natural topographic features.

8. The proposed development will conform with the General Plan, the Local Coastal Program, and any other applicable adopted plans and programs. The project complies with all relevant regulations of the Municipal Code. Further, the project complies with the land use designation and guidelines of the Sorrento Hills Community Plan.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is granted, and Coastal Development Permit No. 85-0824 is hereby granted to American Assets, Inc., under the terms and conditions set forth in the permit attached hereto and made a part hereof.

APPROVED: JOHN W. WITT, City Attorney

By   
Harold O. Valderhaug  
Chief Deputy City Attorney

HOV:lc  
03/16/93  
Or.Dept:Clerk  
R-93-1195  
Form=r.permit

Passed and adopted by the Council of the City of San Diego on  
by the following vote:

2161

Council Members	Yeas	Nays	Not Present	Ineligible
Abbe Wolfsheimer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Ron Roberts	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
John Hardley	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
George Stevens	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Tom Behr	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Valerie Stallings	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Judy McCarty	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
District 8 - VACANT	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mayor Susan Golding	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

AUTHENTICATED BY:

SUSAN GOLDING  
Mayor of The City of San Diego, California.

CHARLES G. ABDELNOUR  
City Clerk of The City of San Diego, California.

(Seal)

By *Blanda B. Bunn* Deputy.

Office of the City Clerk, San Diego, California

Resolution Number R-281470 Adopted FEB 09 1993

STATE OF CALIFORNIA )  
 COUNTY OF SAN DIEGO )

*City of San Diego*  
 Resolution No. R-281470

I, CHARLES G. ABDELNOUR, Clerk of the City of San Diego, California, having a Seal, hereby certify, that by law, I have the custody of said Seal and all the official records of the City, the custody of which is not otherwise provided for in the charter or by ordinances of the City.

That the records annexed hereto are true copies of records on file and of record in the office of the Clerk of said City.

WITNESS my hand and seal on

*June 18, 1993*

CHARLES G. ABDELNOUR, City Clerk

(SEAL)

By

*Josephine H. Smith*  
 Deputy City Clerk

RECORDING REQUESTED BY Mary Lou Sanford  
AND MAIL TO: City Clerk, Mail Station 2A

DOCUMENT NO. 85-0824

FILED June 23, 1993

OFFICE OF THE CITY CLERK  
SAN DIEGO, CALIFORNIA

(PERM - PCD/CDP-85-0824)

American Assets Inc. Owner/Permittee  
Planned Commercial/Coastal Development Perm  
East of I-5 and approx. 1/4 mile south of  
Carmel Valley Road.  
Parcel 2 of Parcel Map 14873.

cc: Planning - 5a  
Zoning 300  
Bldg. Inspection 301  
American Assets Inc.  
10140 Campus Point Drive  
San Diego 92121

6/23/93 mls

DOC # 1993-0403713  
25-JUN-1993 01:01 PM

OFFICIAL RECORDS  
SAN DIEGO COUNTY RECORDER'S OFFICE  
ANNETTE EVANS, COUNTY RECORDER  
RF: 21.00 FEES: 59.00  
AF: 37.00  
MF: 1.00

2-33



RECORDING REQUESTED BY Mary Lou Sanford  
AND MAIL TO: City Clerk, Mail Station 2A

DOCUMENT NO. 85-0824

FILED June 23, 1993

OFFICE OF THE CITY CLERK  
SAN DIEGO, CALIFORNIA

(PERM - PCD/CDP-85-0824)

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2103



**Legend**  
 — Roads  
 □ Parcels



1 inch equals 207 feet

Vicinity Map



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Plot Date: 09/27/07

Site

Site

*Torrey Reserve*



### Legend

- Roads
- Parcels



1 inch equals 271 feet

### Vicinity Map



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Plot Date: 09/27/07

Site

*Torrey Reserve Phase IV*

CITY MANAGER  
RESOLUTION NO. D 809  
Coastal Development Permit (CDP)/Planned Commercial  
Development Permit (PCD) No. 98-0550  
**TORREY RESERVE COMMERCIAL DEVELOPMENT CHILD CARE AMENDMENT**

WHEREAS, PACIFIC TORREY RESERVE HOLDINGS, L.P., Owner/Permittee, filed an application with the City of San Diego for a permit to amend CDP/PCD No. 85-0824 to delete condition 19. Condition 19 restricts enrollment of the child care center to employees of the Torrey Reserve Business Park. Elimination of condition 19 will open enrollment to the public.

WHEREAS, the project site is located at 3720 Arroyo Sorrento Road in the CO Zone of the Sorrento Hills Community Plan area; and

WHEREAS, the project site is legally described as Parcel 2 of Parcel Map No. 14873; and

WHEREAS, on September 2, 1998, the City Manager of the City of San Diego considered CDP/PCD No. 98-0550 pursuant to Sections 105.0202 and 101.0910 of the Municipal Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the city Manger of the City of San Diego as follows:

That the City Manager adopts the following written Findings, dated September 2, 1998.

FINDINGS:

COASTAL DEVELOPMENT PERMIT (Municipal Code Section 105.0202)

- A. **THE PROPOSED DEVELOPMENT WILL NOT ENCROACH UPON ANY EXISTING PHYSICAL ACCESSWAY LEGALLY UTILIZED BY THE GENERAL PUBLIC OR ANY PROPOSED PUBLIC ACCESSWAY IDENTIFIED IN AN ADOPTED LCP LAND USE PLAN; NOR WILL IT OBSTRUCT VIEWS TO AND ALONG THE OCEAN AND OTHER SCENIC COASTAL AREAS FROM PUBLIC VANTAGE POINTS.**

The proposed amendment to delete condition 19 from CDP/PCD No. 85-0824 will open enrollment of the previously approved child care center to the public. Deletion of condition 19 does not alter the previous findings for CDP/PCD No. 85-0824. The project as approved under CDP/PCD Permit No. 85-0824 was not located on or near any physical accessways, and was designed so that it did not obstruct views to the sandstone bluffs located east of Interstate 5, as

identified in the Sorrento Hills Community Plan and Local Coastal Program.

**B. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT IDENTIFIED MARINE RESOURCES, ENVIRONMENTALLY SENSITIVE AREAS, OR ARCHAEOLOGICAL OR PALEONTOLOGICAL RESOURCES.**

The project's impacts to environmentally sensitive areas, archaeological or paleontological resources was addressed in certified Environmental Impact Report (EIR) No. 85-0824. As mitigation for potential impacts to paleontological resources, all grading operations are required to be monitored by a qualified paleontologist. The project was not identified as affecting marine resources or archaeological resources.

**C. THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE REQUIREMENTS RELATED TO BIOLOGICALLY SENSITIVE LANDS AND SIGNIFICANT PREHISTORIC AND HISTORIC RESOURCES AS SET FORTH IN THE RESOURCE PROTECTION ORDINANCE, CHAPTER X, SECTION 101.0462 OF THE SAN DIEGO MUNICIPAL CODE, UNLESS BY THE TERMS OF THE RESOURCE PROTECTION ORDINANCE, IT IS EXEMPTED THEREFROM.**

The proposed amendment to delete condition 19 of CDP/PCD No. 85-0824 does not alter this finding. CDP/PCD No. 85-0824 was designed to reduce impacts to biologically sensitive lands, to the extent possible.

**D. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT IDENTIFIED RECREATIONAL OR VISITOR-SERVING FACILITIES OR COASTAL SCENIC RESOURCES.**

The project site is not located adjacent to any legally recognized recreational or visitor-serving facilities. The project site is across Interstate 5 from the Los Peñasquitos Lagoon. Under this finding for CDP/PCD No. 85-0824 it was determined that the project would not cause any adverse affects to the reserve. The proposed amendment will not alter this finding.

**E. THE PROPOSED DEVELOPMENT WILL BE SITED AND DESIGNED TO PREVENT ADVERSE IMPACTS TO ENVIRONMENTALLY SENSITIVE HABITATS AND SCENIC RESOURCES LOCATED IN ADJACENT PARKS AND RECREATION AREAS, AND WILL PROVIDE ADEQUATE BUFFER AREAS TO PROTECT SUCH RESOURCES.**

Pursuant to CDP/PCD No. 85-0824 it was found that the project is adequately buffered from the adjacent Los Peñasquitos Lagoon and the residential

development, and is sited so that the views to the scenic sandstone bluffs are protected.

- F. THE PROPOSED DEVELOPMENT WILL MINIMIZE THE ALTERATIONS OF NATURAL LANDFORMS AND WILL NOT RESULT IN UNDUE RISKS FROM GEOLOGIC AND EROSIONAL FORCES AND/OR FLOOD AND FIRE HAZARDS.**

The EIR certified for CDP/PCD No. 85-0824 determined that based upon the proposed grading techniques that impacts to the landform were reduced to a level below significant. The proposed amendment does not alter this finding.

- G. THE PROPOSED DEVELOPMENT WILL BE VISUALLY COMPATIBLE WITH THE CHARACTER OF THE SURROUNDING AREA, AND WHERE FEASIBLE, WILL RESTORE AND ENHANCE VISUAL QUALITY IN VISUALLY DEGRADED AREAS.**

The proposed amendment does not alter this finding for CDP/PCD No. 85-0824, which found that the project is adequately buffered by natural topographic features.

- H. THE PROPOSED DEVELOPMENT WILL CONFORM WITH THE CITY'S PROGRESS GUIDE AND GENERAL PLAN, THE LOCAL COASTAL PROGRAM, AND ANY OTHER APPLICABLE ADOPTED PLANS AND PROGRAMS IN EFFECT FOR THIS SITE.**

The proposed amendment is in conformance with the land use designation of the General Plan and Sorrento Hills Community Plan for the site.

**PLANNED COMMERCIAL DEVELOPMENT (Municipal Code Section 101.0910)**

- A. THE PROPOSED USE WILL FULFILL A COMMUNITY NEED AND WILL NOT ADVERSELY AFFECT THE CITY'S PROGRESS GUIDE AND GENERAL PLAN OR THE ADOPTED COMMUNITY PLAN.**

The proposal to open the existing child care center to the public will fulfill a community need by providing child care nearby where parents live and work.

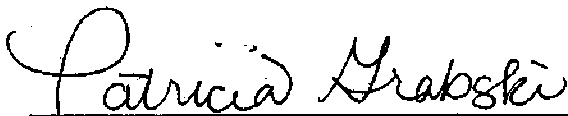
- B. THE PROPOSED USE WILL NOT BE DETRIMENTAL TO THE HEALTH, SAFETY AND GENERAL WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA AND WILL NOT ADVERSELY AFFECT OTHER PROPERTIES IN THE VICINITY.**

The proposed amendment to CDP/PCD No. 85-0824 will not be detrimental to the health, safety or general welfare of persons working or residing in the area and will not adversely affect other properties. Opening enrollment to the public was identified to generate an additional 770 average daily trips (ADT's). The owner/permittee, as a condition of the permit, is required to transfer 770 ADT's to permit the child care center to be opened to the public. This is permitted pursuant to Section 60.7.1 (6) "Transfer to Development Rights", of the Sorrento Hill Development Agreement.

**C. THE PROPOSED USE WILL FULLY COMPLY WITH THE RELEVANT REGULATIONS OF THE MUNICIPAL CODE IN EFFECT FOR THIS SITE.**

The proposed amendment is in full compliance with the relevant regulations of the Municipal Code in effect for this site.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the City Manager, CDP/PCD. No. 98-0550 is hereby GRANTED by the City Manager to the referenced Owner/Permittee, in the terms and conditions as set forth in Permit No. 98-0550, a copy of which is attached hereto and made a part hereof.



Patricia Grabski, AICP  
Development Project Manager  
Development Services

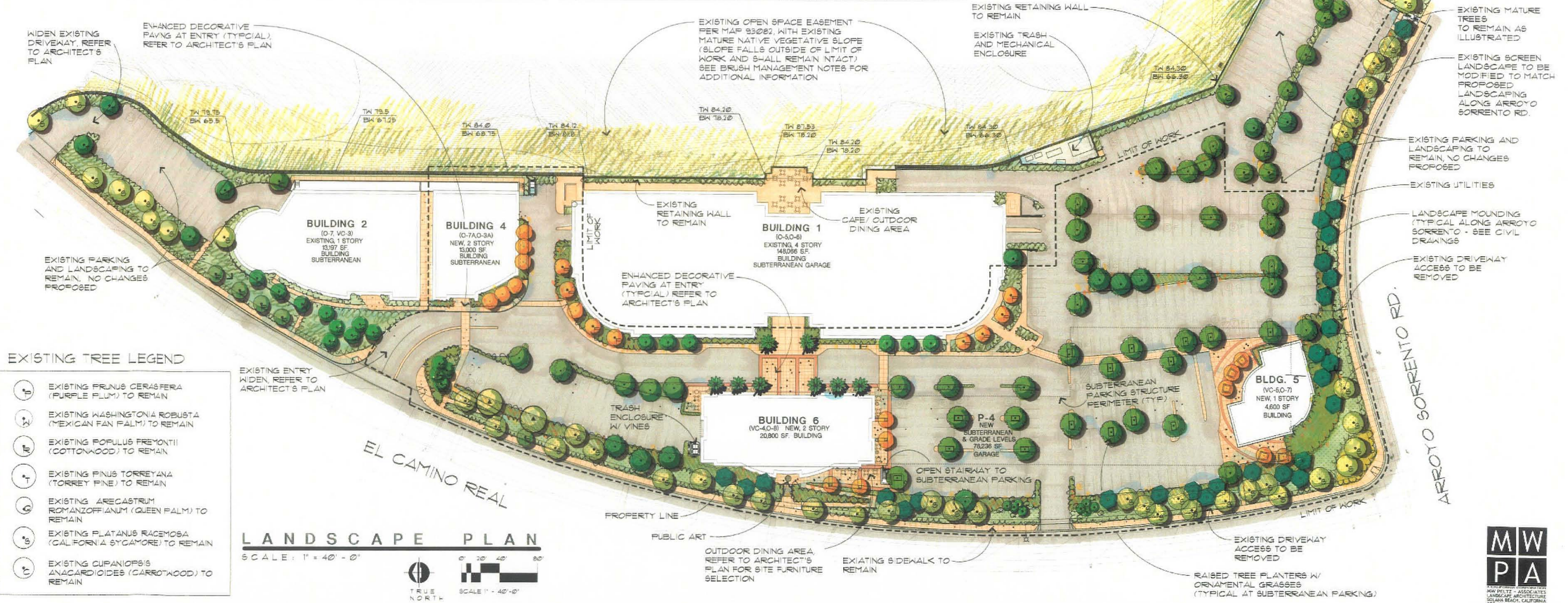
Adopted on: September 2, 1998

I:\ALL\BIB\DPMS\PXG\980550R2.WPD

PLANT MATERIAL LEGEND

PLAN SYMBOL	DESCRIPTION / BOTANICAL NAME	COMMON NAME	PERCENTAGES/SIZE	PLAN SYMBOL	DESCRIPTION / BOTANICAL NAME	COMMON NAME	PERCENTAGES/SIZE	PLAN SYMBOL	DESCRIPTION / BOTANICAL NAME	COMMON NAME	PERCENTAGES/SIZE
	STREET TREE TO MATCH EXISTING STREET TREES PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	100% - 24" BOX		PARKING LOT AND PERIMETER SCREENING SHRUBS RHAPHIOLEPIS INDICA HAWTHORN 15% - 5 GALLON LEPTOSPERMUM SCOPARIUM NEW ZEALAND TEA TREE 50% - 5 GALLON COPROSMA REPENS MIRROR PLANT 35% - 1 GALLON DROUGHT TOLERANT/NATIVE GRASSES ORNAMENTAL GRASSES GUARA LINDHEIMERI GAURA PHORMIUM SPECIES FLAX ROSMARINUS SPECIES ROSEMARY HETEROMELES ARBUTIFOLIA TOYON RHUS INTEGRIFOLIA LEMONADE BERRY CEANOTHUS SPECIES CALIFORNIA LILAC CISTUS SPECIES ROCKROSE GREVILLEA GREVILLEA				LOW SHRUB AND GROUND COVER MASSINGS NOTE: PLANTINGS WILL HAVE A VARIETY OF SPECIES PER THE CITY'S REQUEST. ROSMARINUS SPECIES ROSEMARY 20% - 5 GALLON LANTANA SPECIES LANTANA 80% - 1 GALLON GAZANIA SPECIES GAZANIA CISTUS SPECIES ROCKROSE DROUGHT TOLERANT/NATIVE GRASSES ORNAMENTAL GRASSES CEANOTHUS SPECIES CALIFORNIA LILAC		
	LARGE ACCENT TREE TO MATCH EXISTING TREES PINUS TORREYANA	TORREY PINE	100% - 36" BOX		ACCENT SHRUBS (INCLUDES VARIETIES FROM ABOVE) ANIGOSANTHUS HYBRID KANGAROO PAW 80% - 5 GALLON SALVIA SPECIES SAGE 20% - 1 GALLON LAVENDULA STOECHAS SPANISH LAVENDER PHORMIUM SPECIES FLAX BOUGAINVILLEA BOUGAINVILLEA				CLIMBING / SCREENING VINE FICUS REPENS CREEPING FIG 100% - 15 GALLON		
	PARKING LOT TREE TO MATCH EXISTING TREES CUPANIOPSIS ANACARDIODES	CARROTWOOD	100% - 36" BOX AND TRANSPLANTED EXISTING CARROTWOOD								
	COLOR ACCENT TREE TO MATCH EXISTING TREES FRUNUS CERASIFERA	PURPLE-LEAF PLUM	40% - 36" BOX 60% - 24" BOX								
	ACCENT TREE TO MATCH EXISTING TREES SYAGRUS ROMANZOFFIANUM FRUNUS CERASIFERA	QUEEN PALM PURPLE-LEAF PLUM	100% - 36" BOX								
	SMALL ACCENT TREES (TO UNDER 20' MATURE HEIGHT) ARBUTUS UNEDO COMPACTA	STRAWBERRY TREE	100% - 24" BOX								

ATTACHMENT 11





**GRAPHIC SYMBOLS**

- SITE PLAN LEGEND**
- ACCESSIBLE ROUTE
  - PROPERTY L.N.
  - SETBACK LINE
  - CONC. SIDEWALKS 4'-0" OR ENHANCED PAVING
  - ACCESSIBLE PARKING SPACES
  - INTERNATIONAL SYMBOL OF ACCESSIBILITY
  - LANDSCAPE AREA
  - REFUSE AND RECYCLING CONTAINER
  - FIRE HYDRANT
  - ELEC. TRANSFORMER
  - NORTH ARROW
  - POTTED LANDSCAPING SEE LANDSCAPE DWG
  - PARKING SPACE NUMBER
  - HANDICAPPED PARKING STALL
  - COMPACTED PARKING STALL
  - FULL SIZE PARKING STALL
  - STANDARD PARKING STALL
  - EXISTING KEYSTONE
  - EXISTING RETAINING WALL
  - NEW RETAINING WALL

**FIRE DEPT NOTES**

- A. PROVIDE BUILDING ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER POLICY P-00-9 (LIC 90144)
- B. PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHS POLICY A-00-1
- C. POST INDICATOR VALVES H&E DEPT CONNECTIONS AND ALARM BELLS ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE. LFC 10044

**GENERAL NOTES**

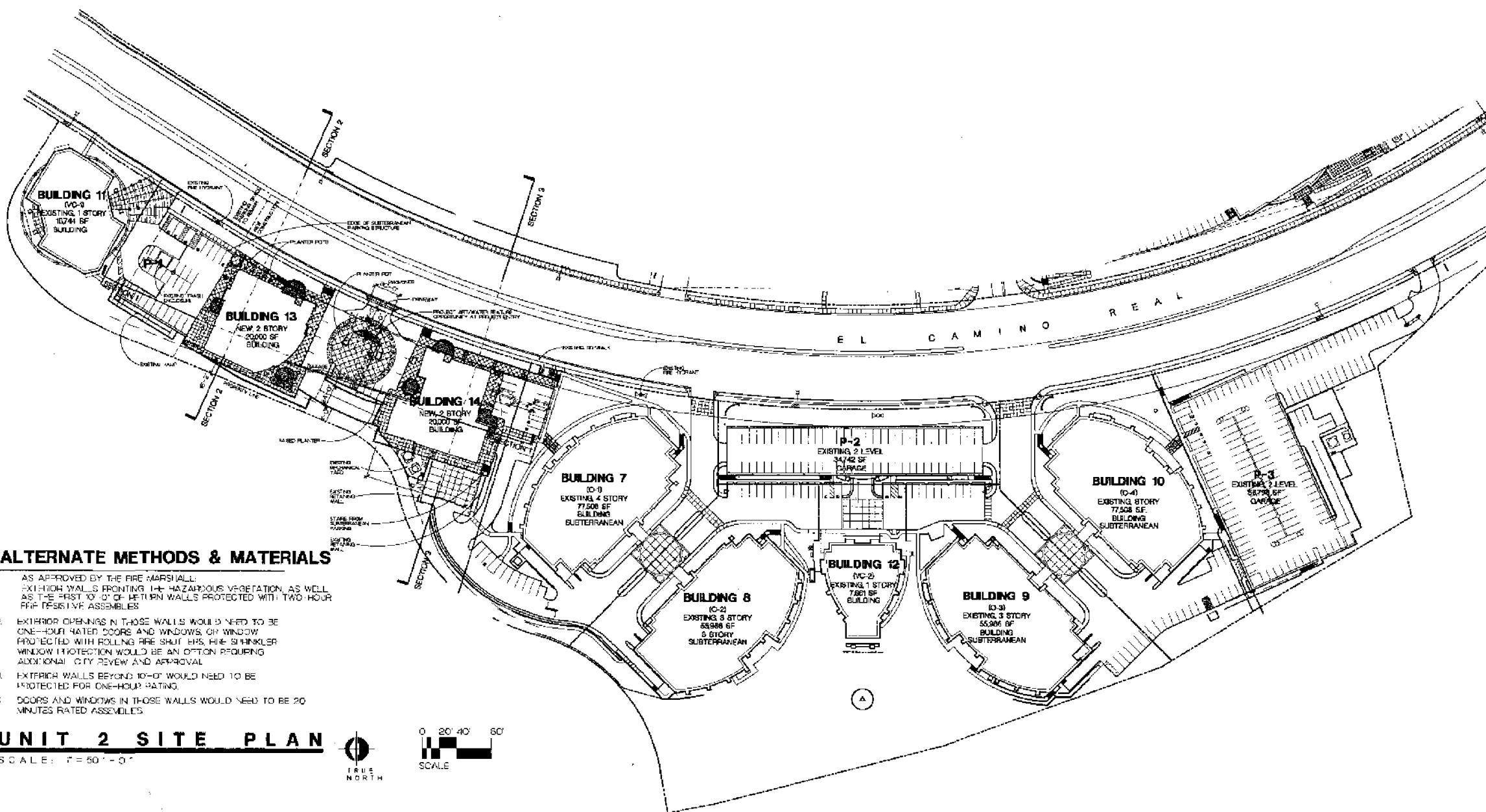
1. ALL PARKING THAT SUPPORTS BUILDINGS BUILDING 8 BUILDING 4 & BUILDING 9 IS LOCATED IN SUBTERRANEAN PARKING.
2. NO LIGHTING AND NO PROPOSED BUS STOPS AT THIS LOCATION.
3. THERE ARE NO EXISTING BUILDINGS ON LOT 9.
4. REFER TO FLOOR PLANS FOR ADDITIONAL DIMENSIONS.
5. REFER TO PRELIMINARY GRADING PLAN FOR EXISTING UTILITIES.
6. REFER TO PRELIMINARY GRADING PLAN FOR DRAINAGE PATTERNING.
7. THE CONTRACTOR SHALL PROVIDE MAINTENANCE AND REPAIR OF REQUIRED PUMP, BROKEN CONTROL FACILITIES AND PARTITION SYSTEMS DURING CONSTRUCTION.
8. A CURB OF AT LEAST 8" IN HEIGHT SHALL BE PROVIDED TO ALL LANDSCAPE AREAS IN OR ADJACENT TO VEHICULAR USE AREAS.

**UNIT 2 AREA & BASE PARKING ANALYSIS**

LOCATION	AREA/USES			BASE PARKING ANALYSIS						TOTAL REQUIRED PARKING	VC USE DESCRIPTION
	AREA	USE	GROUND FLOOR AREA	OFFICE	OFFICE /300 SF	VC FLOOR AREA	VC PARKING /200 SF	DAYCARE	DAYCARE PARKING		
BUILDING 7	77,508	OFFICE	20,881 SF	77,508	258	0	0	0	0	258	
BUILDING 8	55,986	OFFICE	20,425 SF	55,986	186	0	0	0	0	186	
BUILDING 9	55,986	OFFICE	20,425 SF	55,986	186	0	0	0	0	186	
BUILDING 10	77,508	OFFICE	20,881 SF	77,508	258	0	0	0	0	258	
BUILDING 11	10,744	VC	10,744 SF	0	0	10,744	54	0	0	54	10,744 SF VC
BUILDING 12	7,861	VC	7,861 SF	0	0	7,861	39	0	0	39	7,861 SF VC
<b>SUBTOTAL OF EXISTING</b>	<b>288,476 SF</b>		<b>100,057 SF</b>	<b>265,988</b>	<b>888</b>	<b>18,405 SF</b>	<b>92</b>	<b>0</b>	<b>0</b>	<b>1360</b>	

**NEW**

31 TOTAL CARS FOR PARKING STRUCTURE BY REQUIRED PER PARKING STUDY COMPLETED BY LINGCOIT, LAW AND GREENSPAN ENGINEERS DATED 2/8/07 AND ATTACHED WITH APPLICATION



**ALTERNATE METHODS & MATERIALS**

1. AS APPROVED BY THE FIRE MARSHALL: EX-FIRE HIGH WALLS FRONTING THE HAZARDOUS VEGETATION, AS WELL AS THE FIRST 10' OF EX-FIRE WALLS PROTECTED WITH TWO-HOUR FRP (DEFENSIVE ASSEMBLIES).
2. EXTERIOR OPENINGS IN THOSE WALLS WOULD NEED TO BE ONE-HOUR RATED DOORS AND WINDOWS OR WINDOW PROTECTED WITH ROLLING FIRE SHUTTERS, FIRE SPRINKLER WINDOW PROTECTION WOULD BE AN OPTION REQUIRING ADDITIONAL CITY REVIEW AND APPROVAL.
3. EXTERIOR WALLS BEYOND 10'-0" WOULD NEED TO BE PROTECTED FOR ONE-HOUR RATING.
4. DOORS AND WINDOWS IN THOSE WALLS WOULD NEED TO BE 20 MINUTES RATED ASSEMBLIES.

**UNIT 2 SITE PLAN**  
SCALE: 1" = 50' - 0"



Development Summary

1. PROJECT TEAM  
LANDSCAPE ARCHITECT: MARK PELTZ, M&S SOUTH DESIGN, Solana Beach, Ca. 92075  
CIVIL ENGINEER: RICK ENGINEERING, 6550 Friars Road, San Diego, Ca. 92110-2588  
TRAFFIC ENGINEER: LINGCOIT, LAW & GREENSPAN ENGINEERS, CONTACT: JOHN HEATING, 4542 RUFFENBERG STREET, #100, San Diego, Ca. 92116  
Tel: (619) 481-0308 Fax: (619) 481-9908
2. REQUIRED PERMITS/APPROVALS  
THE PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PSD/CDP PERMIT NO. 98-0058
3. LOCAL DESCRIPTION  
LOT 4, MAP NO. 12467
4. APPLICANT'S PARCEL NUMBER  
101-299-42
5. OWNER'S NAME  
PACIFIC TORREY RESERVE HOLDINGS, LP  
CONTACT: JOHN CHAMBERLAN, 1-256 B Camino Real, Suite 200, San Diego, CA 92108  
Tel: (619) 250-2900 Fax: (619) 250-2920
6. DESIGNER'S NAME  
ARCHITECT: BPA ARCHITECTURE PLANNING INTERIORS, CONTACT: MARK DAVIS, 4-02E Eastgate Mall, Suite 100, San Diego, CA 92121  
Tel: (619) 453-1000 Fax: (619) 453-1073
7. CONSTRUCTION TYPE  
OFFICE - TYPE I-1 (IR, SPRINKLERS & LEAD OF ONE HOUR)  
PARKING STRUCTURE - TYPE II - 1 HOUR WITH FIRE SPRINKLERS
8. OCCUPANCY CLASSIFICATION  
VC A-3 / MULTITENANT OFFICE - GROUP 'B'  
PARKING STRUCTURE - S-3
9. BUILDING CODE  
2001 CALIFORNIA BUILDING CODE
10. TOWNIC DESCRIPTION  
UNDERLYING ZONE: CD-1-2
11. PROJECT ID NUMBER
12. NUMBER OF STORIES  
OFFICE: 2 STORY  
PARKING STRUCTURE - SUBTERRANEAN LEVEL AND OPEN PARKING @ TOP
13. BUILDING HEIGHT  
SEE ELEVATIONS
14. GROSS FLOOR AREA  
BUILDING 13 - 20,000 SF BUILDING 14 - 20,000 SF
15. FLOOR AREA RATIO  
FOR BLDG UNIT 1: 207,734 / 436,815 SF = 0.474  
FOR BLDG UNIT 2: 225,283 / 474,938 SF = 0.474  
FOR BLDG UNIT 1 & 2: 433,017 / 911,753 SF = 0.474
16. EXISTING USE/OCCUPANCY  
PARKING STRUCTURE
17. PROPOSED USE/OCCUPANCY  
VC A-3 / MULTITENANT OFFICE - GROUP 'B'  
WITH PARKING STRUCTURE - S-3
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES  
1998
19. CONDITION OF SOIL  
COMPACTED FILL

**TORREY RESERVE - UNIT TWO - PHASE IV**

Prepared By: BPA Architecture Planning Interiors	Revision 1A
Checked: Person Mark Davis	Revision 1B
Approved: 4495 Eastgate Mall, Suite 100, San Diego, CA 92121	Revision 1C
Phone: (619) 453-1000	Revision 1D
Fax: (619) 453-1073	Revision 1E
Project Address: EL CAMINO REAL, SAN DIEGO, CA 92107	Revision 1F
	Revision 1G
	Revision 1H
	Revision 1I
	Revision 1J
	Revision 1K
	Revision 1L
	Revision 1M
	Revision 1N
	Revision 1O
	Revision 1P
	Revision 1Q
	Revision 1R
	Revision 1S
	Revision 1T
	Revision 1U
	Revision 1V
	Revision 1W
	Revision 1X
	Revision 1Y
	Revision 1Z

TABLE 6-2

SORRENTO HILLS COMMUNITY PLAN  
TRAFFIC ANALYSIS ZONES

<u>TRAFFIC ZONE</u>	<u>LAND USE</u>	<u>BUILDABLE SQ. FT.</u>	<u>RATE</u>	<u>ADT</u>	<u>EXTERNAL* ADT</u>
854R	Res	72 du	10	720	662
860R	Res	48 du	10	480	441
949	Comm	326,350	20	6,527	6,168
956A	Res	406 du	8	3,248	2,985
951	BusOff	144,100	20	2,822	2,667
952	I	524,133	15	7,862	7,430
953	I	203,800	15	3,057	2,889
954	I	276,400	15	4,146	3,918
955	I	165,267	15	2,479	2,343
956B	BusOff	109,500	20	2,190	2,070
957	BusOff	180,350	20	3,607	3,409
958	I	186,333	15	2,795	2,641
959	I	424,267	15	6,364	6,014
960	I	149,667	15	2,245	2,121
961	I	235,400	15	3,531	3,337
962	BusOff	46,050	20	921	870
963	BusOff	32,700	20	654	618
964	Comm	40,300	20	806	762
	Totals			54,454	51,345

\* At 91.9% for residential and 94.5% for all other uses.

EXHIBIT H-2

Exhibit H-2 is included as part of this development agreement in order to divide the various levels of development thresholds among the Sorrento Hills property owners. In doing so, it is necessary to relate Exhibit H-2 to Exhibit H-1. In relating Exhibit H-2 to Exhibit H-1, it is important to remember that the threshold of development within each Section cannot be exceeded prior to the assurance of the facility improvements within that Section. In other words, the threshold of development within each Section can be constructed without the assurance of the facility improvements within that Section; that is, the assurance of the facility improvements within a particular Section permits the threshold of development of the subsequent Section. As an example, the assurance of the facility improvements in Section II permits the development thresholds noted in Section III.

	SECTION I		SECTION II		SECTION III		SECTION IV		SECTION V		BUILD-OUT	
	INDUSTRIAL	COMM./	INDUSTRIAL	COMM./	INDUSTRIAL	COMM./	INDUSTRIAL	COMM./	INDUSTRIAL	COMM./	INDUSTRIAL	COMM./
HEWLAND LAND	-0-	-0-	-0-	-0-	350,133	-0-	400,608	312,750 (406 DU's)	899,703	412,750 (454 DU's)	1,308,579	512,700 (526 DU's)
ALLRED LAND	21,765	-0-	40,361	-0-	58,600	-0-	58,600	-0-	79,344	-0-	107,989	-0-
SORRENTO LAND	52,425	-0-	97,205	-0-	141,320	-0-	141,320	-0-	191,086	-0-	260,074	-0-
SAMMIS LAND	-0-	-0-	-0-	-0-	-0-	-0-	-0-	200,000	-0-	264,174	-0-	366,650
COOPER LAND	74,190	-0-	137,567	-0-	200,000	-0-	250,225	-0-	250,225	-0-	250,225	-0-
McREYNOLDS/ GRAFF LAND	-0-	-0-	-0-	-0-	-0-	-0-	-0-	-0-	169,668	-0-	235,400	-0-
<b>TOTALS</b>	<b>148,380</b>	<b>-0-</b>	<b>275,133</b>	<b>-0-</b>	<b>750,133</b>	<b>-0-</b>	<b>850,833</b>	<b>512,750</b> (406 DU's)	<b>1,590,026</b>	<b>676,924</b> (454 DU's)	<b>2,162,267</b>	<b>879,350</b> (526 DU's)

(a) BUILDABLE SQUARE FEET CAN BE ADJUSTED AS DESCRIBED IN SECTION 60.7.1

(b) CONTRARY TO TABLE 20, THE THRESHOLDS FOR EACH SECTION ARE GOVERNED BY THE ISSUANCE OF BUILDING PERMITS AND NOT THE RECORDATION OF FINAL MAPS.

**TORREY HILLS COMMUNITY LAND USES BY TRAFFIC ANALYSIS**  
**EXISTING LAND USES CONSTRUCTED OR APPROVED**  
**DECEMBER 2008**

<b>TAZ</b>	<b>LAND USE</b>	<b>BUILDABLE INTENSITY</b>	<b>GENERATION RATE</b>	<b>ADT</b>
598	OFFICE CORPORATE	415,054 SF	15/KSF	6,226
	VISITOR SERVING COMM	31,602 SF	20/KSF	632
	DAY CARE	90 STUDENTS	5/STUDENT	450
	<i>COMMERICAL OFFICE*</i>	<i>49,316 SF</i>	<i>21/KSF</i>	<i>1,041</i>
	<i>RETAIL*</i>	<i>19,964 SF</i>	<i>36/KSF</i>	<i>719</i>
	<i>RESTAURANT, HI QUALITY*</i>	<i>7,320 SF</i>	<i>90/KSF</i>	<i>659</i>
	<i>RESTAURANT, HI T'OVER*</i>	<i>4,200 SF</i>	<i>104/KSF</i>	<i>437</i>
	<i>BANK W/DRIVE THRU*</i>	<i>4,600 SF</i>	<i>150/KSF</i>	<i>690</i>
684	SINGLE FAMILY (4,000 SF)	108 DU	10/DU	1,080
	SINGLE FAMILY (5,000 SF)	34 DU	10/DU	340
685	SINGLE FAMILY	2 DU	10/ U	20
720	OFFICE	210,000 SF	20/KSF	4,200
721	OFFICE	215,000 SF	20/KSF	4,300
	SINGLE FAMILY	121 DU	10/DU	1,210
	OFFICE/INDUSTRIAL	200,000 SF	15/KSF	3,000
722	COURTYARD	53 DU	10/DU	530
723	COURTYARD	144 DU	10/DU	1,440
724	COURTYARD	107 DU	10/DU	1,070
	SINGLE FAMILY (5,000 SF)	27 DU	10/DU	270
725	SINGLE FAMILY (5,000 SF)	81 DU	10/DU	810
726	MULTI-FAMILY	384 DU	6/DU	2,304
727	SINGLE FAMILY (5,000 SF)	134 DU	10/DU	1,340
	PARK	14 AC	50/AC	700
730	SINGLE FAMILY (4,000 SF)	212 DU	10/DU	2,120
	ELEMENTARY SCHOOL	11 AC	60/AC	660
731	MULTI-FAMILY	340 DU	8/DU	2,720
	OFFICE/INDUSTRIAL	60,000 SF	20/KSF	1,200
	SUPPORT COMMERCIAL	1,500 SF	72 KSF	109
	OFFICE/INDUSTRIAL	165,000 SF	15/KSF	2,475
	HOTEL SUITES	120 ROOMS	8/SUITE	960
	HOTEL	80 ROOMS	9/ROOM	720
732	NEIGHBORHOOD COMM	18,000 SF	73.7/KSF	1,314
733	NEIGHBORHOOD COMM	133,300 SF	56.4/KSF	7,511
735	MULTI-FAMILY	430 DU	8/DU	3,440
	SINGLE FAMILY (4,000 SF)	163 DU	10/DU	1,630
737	OFFICE	75,000 SF	20/KSF	1,500
	MULTI-FAMILY	100 DU	8/DU	800
	MULTI-FAMILY	384 DU	6/DU	2,304
	COMMERCIAL	4,000 SF	40/KSF	160
738	SINGLE FAMILY (5,000 SF)	89 DU	10/DU	890
<b>TOTAL</b>				<b>63,981</b>
1997 COMMUNITY PLAN				65,123
2008 COMMUNITY PLAN AMENDMENT				64,588

\* Includes proposed Torrey Reserve & Torrey Reserve Phase IV project shown in red italics.



Building Name	Previous Building Name	Usage	Ground Floor Area	Chase	Daycare	VC #	VC Floor Area	VC Use Description & Location
<b>SUMMARY OF GROUND FLOOR AREAS FOR TORREY RESERVE UNITS 1 &amp; 2</b>								
<b>UNIT 1</b>								
1	06 - 08	Office & VC	12,442 SF	12,442 SF			4,450 SF - VC RETAIL	
2	07 - 10C2	Office	18,917 SF	13,817 SF				
3	Daycare	Daycare	8,071 SF		8,071 SF			
4	DATA 10-30A	Office & VC	8,000 SF	5,410 SF			1,084 SF - VC RETAIL	
5	V05 K071	VC	4,000 SF				4,000 SF - VC RETAIL	
6	V04 K061	Office & VC	10,400 SF				8,000 SF - VC RETAIL 2,400 SF - VC RESTAURANT	
<b>UNIT 2</b>								
7	0-1	Office	20,681 SF	20,681 SF				
8	0-2	Office	20,348 SF	20,348 SF				
9	0-3	Office	20,348 SF	20,348 SF				
10	0-4	Office	20,348 SF	20,348 SF				
11	VC-1	VC	10,744 SF				10,744 SF - VC - EXISTING BANK	
12	VC-2	VC	7,601 SF				7,601 SF - VC - EXISTING RESTAURANT	
13	N/A	Office & VC	10,000 SF	10,000 SF			3,800 SF - VC RETAIL 6,200 SF - VC RESTAURANT	
14	N/A	Office & VC	10,000 SF	10,000 SF			10,000 SF - VC RETAIL	
<b>Total Ground Area</b>			<b>209,721 SF</b>	<b>187,707 SF</b>			<b>41,914 SF</b>	
<b>Required VC Area</b>								
<b>Total Ground Floor Area of Units 1 &amp; 2</b>								

REPRESENTS INDIVIDUAL VC LOCATIONS AND AREAS AT THIS POINT IN TIME. INDIVIDUAL VC LOCATIONS AND AREAS ARE DYNAMIC AND WILL VARY AS REQUIRED BETWEEN UNIT 1 AND 2 BUILDINGS IN THE FUTURE TO MAINTAIN MINIMUM VC TOTAL AREA.

A MINIMUM OF 1084 SF ON THE FIRST FLOOR OF BUILDING 4 SHALL BE DEDICATED TOWARD V/C USED TO SATISFY THE 20% MINIMUM V/C FLOOR AREA REQUIREMENT AS OF THE TIME OF THE ISSUANCE OF THIS PERMIT.

NOTE: VC USES ARE PER FINAL COMBINED TORREY RESERVE AND TORREY RESERVE PHASE IV DEVELOPMENT TRAFFIC IMPACT ANALYSIS BY RICK ENGINEERING COMPANY, DATED JUNE 3, 2008

**PARKING SUMMARY**

LOCATION	FULL	COMPACT	HANDICAPPED	TOTAL	REMARK
<b>UNIT 1 PARKING</b>					
BUILDING 1 SUBTERRANEAN GARAGE	68	6	3	77	EXISTING
BUILDING 2 SUBTERRANEAN GARAGE	10	0	0	10	EXISTING
SURFACE LOT NORTH OF BUILDING 2	10	14	0	24	EXISTING
SURFACE LOT WEST OF BUILDING 2	0	37	1	38	EXISTING, RE-STRIPING
SURFACE LOT SOUTH OF BUILDING 1	24	67	2	93	EXISTING, RE-STRIPING
P-4 LOWER LEVEL	10	0	0	10	NEW
P-4 UPPER LEVEL	66	0	0	66	NEW
BUILDING 4 SUBTERRANEAN GARAGE	9	0	2	11	NEW
BUILDING 6 SUBTERRANEAN GARAGE	29	0	2	31	NEW
SURFACE BETWEEN BUILDING 1 & BUILDING 4	1	2	0	3	EXISTING, RE-STRIPING
<b>SUBTOTAL OF UNIT 1</b>	<b>474</b>	<b>200</b>	<b>16</b>	<b>690</b>	
<b>UNIT 2 PARKING</b>					
BUILDING 7 SUBTERRANEAN GARAGE	25	33	3	61	EXISTING
BUILDING 8 SUBTERRANEAN GARAGE	26	33	3	62	EXISTING
BUILDING 9 SUBTERRANEAN GARAGE	27	33	3	63	EXISTING
BUILDING 10 SUBTERRANEAN GARAGE	27	33	3	63	EXISTING
P-1 LOWER LEVEL P2	104	0	0	104	NEW
P-1 LOWER LEVEL P1	100	0	0	100	REVERSE
P-1 LOWER LEVEL SURFACE SOUTH OF BUILDING 4	43	0	0	43	REVERSE
P-2 LOWER LEVEL	26	39	3	68	EXISTING
P-2 UPPER LEVEL	36	36	0	72	EXISTING
P-3 LOWER LEVEL	49	37	4	90	EXISTING
P-3 UPPER LEVEL	39	37	4	80	EXISTING
SURFACE LOT WEST OF P-2	12	21	4	37	EXISTING
SURFACE LOT SOUTH OF P-3	9	16	0	25	EXISTING
SURFACE LOT ADJACENT MED. YARD	0	2	0	2	EXISTING
SURFACE LOT SOUTHWEST OF BUILDING 6	6	17	1	24	EXISTING
SURFACE LOT NORTHWEST OF BUILDING 7	20	3	1	24	EXISTING
<b>SUBTOTAL OF UNIT 2</b>	<b>656</b>	<b>398</b>	<b>42</b>	<b>1096</b>	EXISTING
<b>TOTAL</b>	<b>1130</b>	<b>598</b>	<b>58</b>	<b>1786</b>	

OR TOTAL CARS FOR PARKING STRUCTURE IS REQUIRED PER PARKING STUDY COMPLETED BY LINSCOTT, LAW AND GREENSPAN ENGINEERS DATED 5/21/07 AND ATTACHED WITH APPLICATION.

**BICYCLES**  
40000 SF @ 0.1 / 1000 = 4 BICYCLE PARKING REQUIRED - SEE SHEET 5

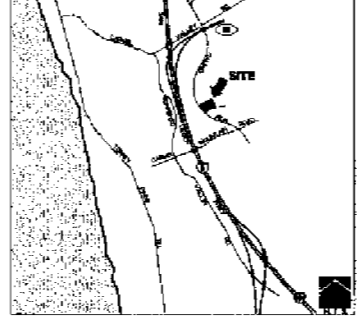
**MOTORCYCLES**  
25 CARS REQUIRED x 2 x 4 = 20 REQUIRED - SEE SHEET 6

SHEET #	DESCRIPTION
SHEET 1	REVISED GENERAL SITE PLAN - UNIT 1 & 2
SHEET 2	SUMMARY OF SECOND FLOOR V/C AREAS FOR UNITS 1 & 2 / PARKING SUMMARY
SHEET 3	UNIT 2 - SITE PLAN
SHEET 4	UNIT 2 BUILDING AREA / PARTY ANALYSIS - EXISTING AND PROPOSED
SHEET 5	UNIT 2 - PHASE IV - VILLAGE SITE PLAN
SHEET 6	FIRST A-CORR SECOND FLOOR AND ROOF PLANS BUILDINGS 7 AND 10
SHEET 7	PARKING STRUCTURE LEVELS P-1 AND P-2
SHEET 8	PARKING STRUCTURE LEVELS P-3 AND P-4
SHEET 9	INTERIOR ELEVATIONS BUILDINGS 8, 9, 10 AND PARKING STRUCTURE
SHEET 10	EXTERIOR ELEVATIONS BUILDINGS 7, 8, 9, 10 AND PARKING STRUCTURE
SHEET 11	ART SECTIONS
SHEET 12	GRADING AND UTILITY PLAN
SHEET 13	TOPOGRAPHIC PLAN
SHEET 14	LANDSCAPE CONCEPT PLAN / SHADE MANAGEMENT PLAN
SHEET 15	LANDSCAPE CALCULATIONS AND SECTIONS

**GENERAL NOTES**

1. ALL PARKING THAT SUPPORTS BUILDINGS BUILDING 4 BUILDING 6 BUILDING 8 IS LOCATED IN SUBTERRANEAN PARKING.
2. NO EXISTING AND NO PROPOSED BUS STOPS AT THE LOCATION.
3. THERE ARE NO EXISTING BUILDINGS ON LOT 4.
4. REFER TO FLOOR PLANS FOR ADDITIONAL DIMENSIONS.
5. REFER TO PRELIMINARY GRADING PLAN FOR EXISTING UTILITIES.
6. REFER TO PRELIMINARY GRADING PLAN FOR DRAINAGE PATTERNS.
7. THE CONTRACTOR SHALL PROVIDE MAINTENANCE AND REPAIR OF EXISTING RUNOFF, FROSTEN CONTROL, FACILITIES AND PREVENTION SYSTEMS DURING CONSTRUCTION.
8. A CURB OF AT LEAST 6" IN HEIGHT SHALL BE PROVIDED TO ALL LANDSCAPE AREAS IN OR ADJACENT TO VEHICULAR USE AREAS.
9. LIGHTING WILL BE CREATED AWAY FROM THE MHA AND SHIELDED IF NECESSARY.

**VICINITY MAP**



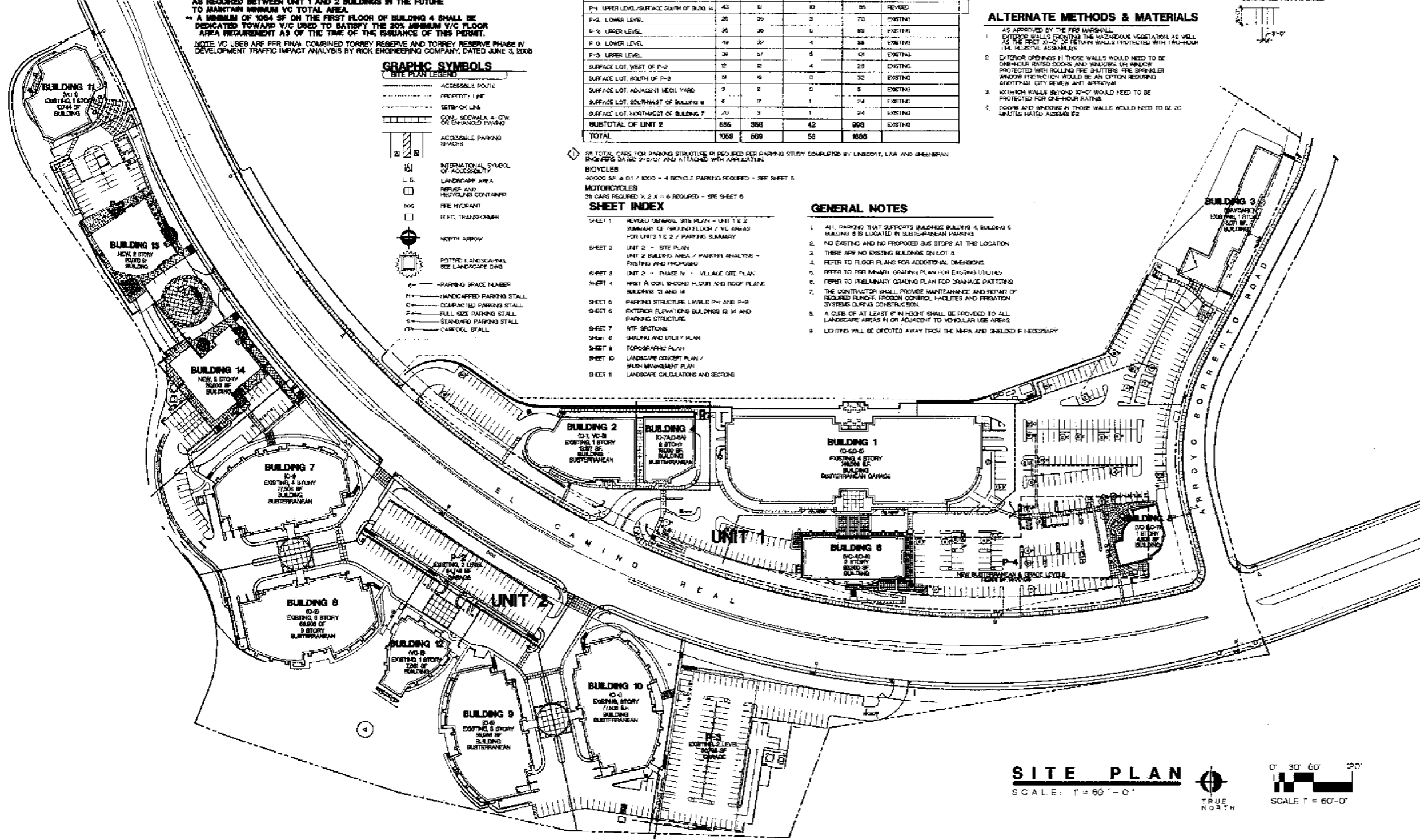
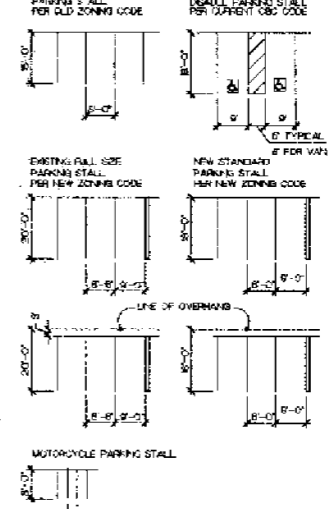
**FIRE DEPT NOTES**

1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET WITH REFLECTIVE LETTERING.
2. PROVIDE THE ACCESS ROADWAY GORE OR RED CURBS IN ACCORDANCE WITH THE POLICY AND/OR.
3. MOST INDICATOR VALVES ARE DEPT. CONNECTIONS AND SHALL BE LOCATED ON THE ACCESS/ACCESSIBLE SIDE OF THE STRUCTURE. USE LOCAL STREET OR ROAD FRONTING THE PROPERTY FOR POLICY P-003.3 (SECTION 9014.4).

**ALTERNATE METHODS & MATERIALS**

1. AS APPROVED BY THE FIRE MARSHALL, EXTERIOR WALLS EXHIBITING THE HAZARDOUS VEGETATION AS WELL AS THE EXISTING 30" OF RETURN WALLS PROTECTED WITH TWO-HOUR FIRE RESISTIVE ASSEMBLIES.
2. EXTERIOR OPENINGS IN THOSE WALLS WOULD NEED TO BE ONE-HOUR RATED DOORS AND WINDOWS OR WINDOW PROTECTION WITH ROLLING FIRE SHUTTERS ARE SPRINKLER AND/OR FIRE PROTECTION WOULD BE AN OPTION REQUIRING ADDITIONAL CITY REVIEW AND APPROVAL.
3. EXTERIOR WALLS BEYOND 30" WOULD NEED TO BE PROTECTED FOR ONE-HOUR RATING.
4. DOORS AND WINDOWS IN THOSE WALLS WOULD NEED TO BE 90 MINUTES RATED ASSEMBLIES.

**PARKING STALL DIMENSIONS**



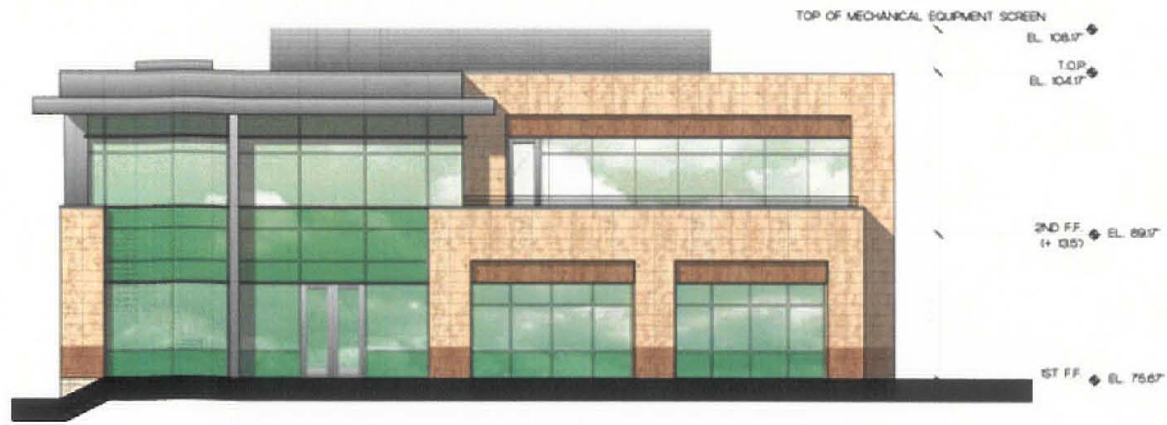
**SITE PLAN**  
SCALE: 1" = 60'-0"

TRUE NORTH  
SCALE: 1" = 60'-0"

Development Summary		
1. PROJECT TEAM	LANDSCAPE ARCHITECT	CIVIL ENGINEER
M.W. PELTZ	RICK ENGINEERING	TRAFFIC ENGINEER
CONTACT: MIKE PELTZ	CONTACT: GARY OSTERWALD	CONTACT: JOHN KEATING
1325 SOUTH CEDROS	5530 FRANK AVENUE	4545 RUFFNER STREET, #100
SAN DIEGO, CA 92108	SAN DIEGO, CA 92121	SAN DIEGO, CA 92111
Tel: (619) 485-0884	Tel: (619) 594-4367	Tel: (619) 594-8800
Fax: (619) 485-0808	Fax: (619) 594-4365	Fax: (619) 594-8800
2. REQUIRED PERMITS/APPROVALS		
THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PUD/CCP PERMIT NO. 98-004.		
3. LEGAL DESCRIPTION		
LOT #, MAP NO. 13167		
4. ASSESSOR'S PARCEL NUMBER		
037-102-40		
5. OWNER'S NAME		
PACIFIC TORREY RESERVE HOLDINGS LP		
CONTACT: JOHN CHAMBERLAIN		
1455 E Camino Real, Suite 200		
San Diego, CA 92108		
Tel: (619) 594-2000		
Fax: (619) 594-2820		
6. DESIGNER'S NAME		
ARCHITECT		
BPA ARCHITECTURE PLANNING INTERIORS		
CONTACT: MARK DAVIS		
4435 Emeryville Mall, Suite 300		
San Diego, CA 92131		
Tel: (619) 453-8200		
Fax: (619) 453-8013		
7. CONSTRUCTION TYPE		
OFFICE - TYPE III - 1 HR. SPRINKLERED W/IN OF ONE HOUR		
PARKING STRUCTURE - TYPE I - 1 HOUR WITH FIRE SPRINKLERS		
8. OCCUPANCY CLASSIFICATION		
VC - A-3 / MULTI-TENANT OFFICE - GROUP "B"		
PARKING STRUCTURE - "S-3"		
9. BUILDING CODE		
2007 CALIFORNIA BUILDING CODE		
10. ZONING DESIGNATION		
UNDERLYING ZONE 1 - CO-1-2		
11. PROJECT ID NUMBER		
12. NUMBER OF STORES		
OFFICE - 2 STORY		
PARKING STRUCTURE - SUBTERRANEAN LEVEL AND OPEN PARKING @ TOP		
13. BUILDING HEIGHT		
SEE ELEVATIONS		
14. GROSS FLOOR AREA		
BUILDING 10 = 20,348 SF, BUILDING 14 = 20,348 SF		
15. FLOOR AREA RATIO		
FOR ENTIRE UNIT 1 = 207,734/1,336,615 SF = 0.16		
FOR ENTIRE UNIT 2 = 382,395/841,854 SF = 0.46		
FOR ENTIRE UNIT 1 & 2 = 590,129/1,336,615 SF = 0.44		
16. EXISTING USE/OCCUPANCY		
PARKING STRUCTURE		
17. PROPOSED USE/OCCUPANCY		
VC - A-3 / MULTI-TENANT OFFICE - GROUP "B"		
PARKING STRUCTURE - "S-3"		
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES		
1997		
19. CONDITION OF SOIL		
COMPACTED TILL		

**TORREY RESERVE - UNIT TWO - PHASE IV**

Prepared By:	Reviewed By:
Name: BPA Architecture Planning Interiors	Reviewed By:
Contact: Patrick Marx Davis	Reviewed By:
Address: 4435 Emeryville Mall, Suite 300	Reviewed By:
San Diego, CA 92131	Reviewed By:
Phone: 619-453-8200	Reviewed By:
Fax: 619-453-8013	Reviewed By:
Project Address:	Reviewed By:
El Camino Real	Reviewed By:
San Diego, CA 92107	Reviewed By:
Project Name:	Reviewed By:
TORREY RESERVE UNIT 2 - PHASE IV	Reviewed By:
Sheet:	Reviewed By:
1 of 1	Reviewed By:
Date:	Reviewed By:
DATE:	Reviewed By:



Bldg. 4 West Elevation

0 4 8  
SCALE 1/8" = 1'-0"

Bldg. 4 South Elevation

0 4 8  
SCALE 1/8" = 1'-0"



Bldg. 4 East Elevation

0 4 8  
SCALE 1/8" = 1'-0"

Bldg. 4 North Elevation

0 4 8  
SCALE 1/8" = 1'-0"

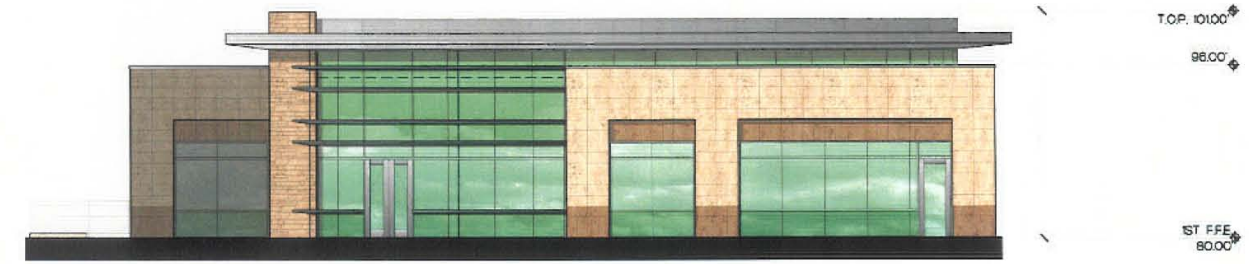
Elevation Legend

- INDICATES 1" INSULATING EVERGREEN TINTED GLAZING
- INDICATES SPANDREL GLAZING
- 1/2" EVERGREEN W/ TEMPA TRANSLUCENT FRIT
- INDICATES TILE 'A'-MRABELLA LIGHT 5/8" LIMESTONE TILE
- INDICATES SANDBLASTED FINISH CONC.
- INDICATES TILE 'B'-MRABELLA BLUE 5/8" LIMESTONE TILE
- INDICATES TILE 'D'-CALIFORNIA GOLD 5/8" SANDSTONE TILE
- INDICATES METALLIC SILVER PANELS



Bldg. 5 South Elevation

0 4 8  
SCALE 1/8" = 1'-0"



Bldg. 5 North Elevation









0 4 8  
SCALE 1/8" = 1'-0"



Bldg. 5 Elevation at Entry

0 4 8  
SCALE 1/8" = 1'-0"

Elevation Legend

-  INDICATES 1" INSULATING EVERGREEN TINTED GLAZING.
-  INDICATES SPANDREL GLAZING.
-  1/4" EVERGREEN W/ TEMPA TRANSLUCENT FRIT.
-  INDICATES TILE 'A'-MRABELLA LIGHT 5/8" LIMESTONE TILE.
-  INDICATES SANDBLASTED FINISH CONC.
-  INDICATES TILE 'D'- CALIFORNIA GOLD 5/8" SANDSTONE TILE.
-  INDICATES LEDGER STONE CUSTOM COLOR TO BE SELECTED BY ARCHITECT.
-  INDICATES METALLIC SILVER PANELS.

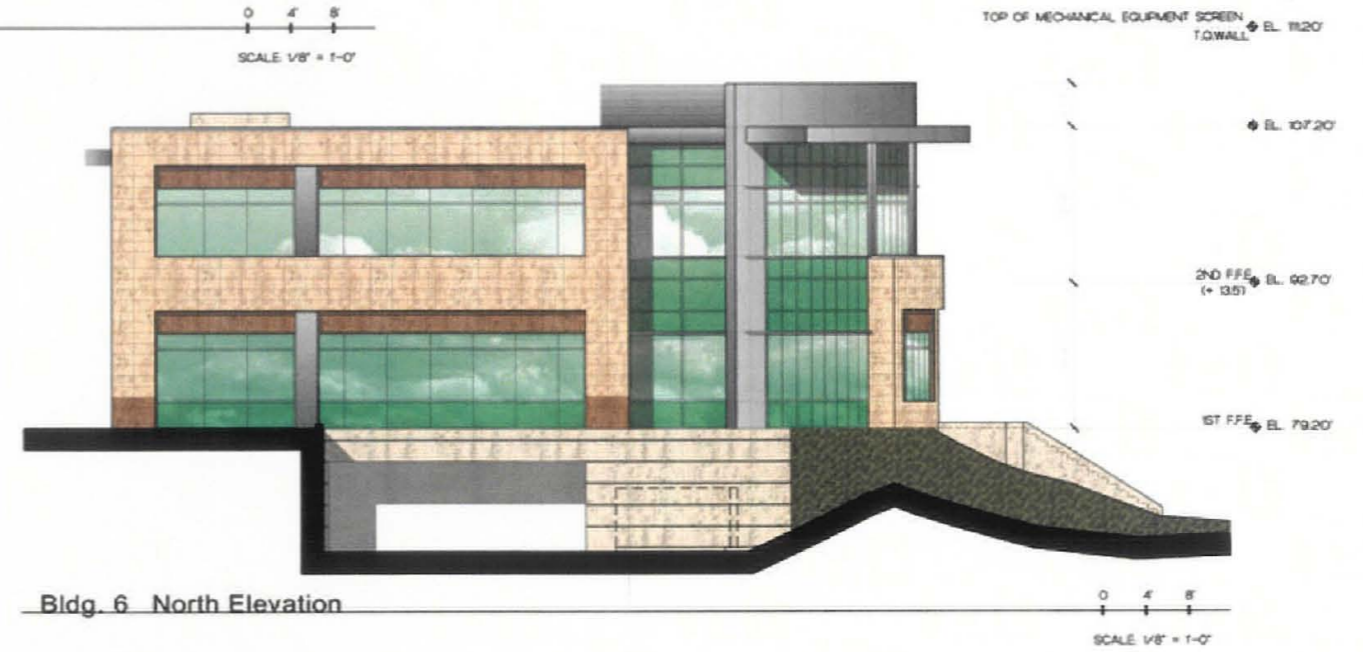




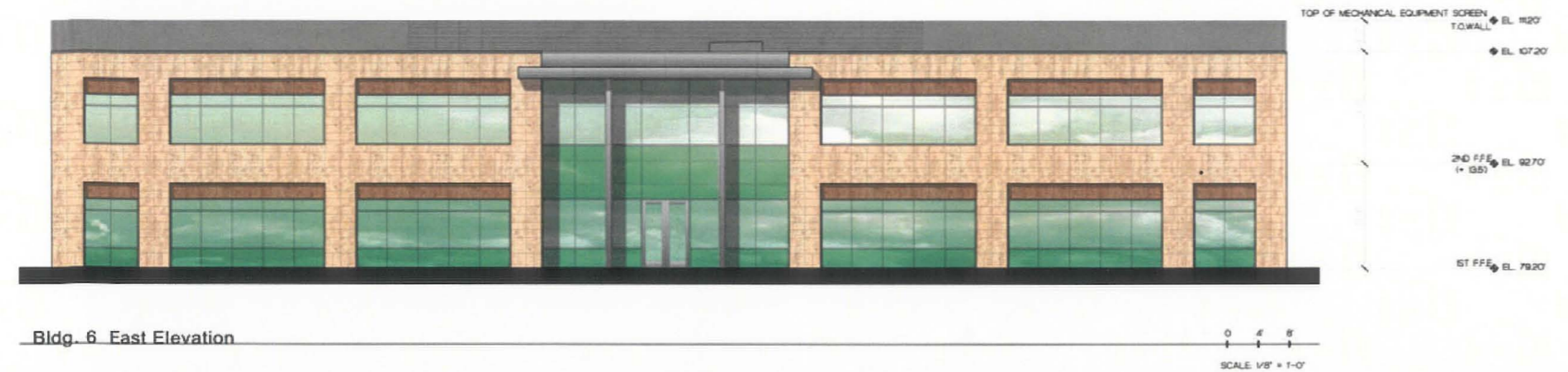
Bldg. 6 West Elevation



Bldg. 6 South Elevation



Bldg. 6 North Elevation



Bldg. 6 East Elevation

- Elevation Legend**
- INDICATES 1" INSULATING EVERGREEN TINTED GLAZING
  - INDICATES SPANDREL GLAZING 1/4" EVERGREEN W/ TEMPA TRANSLUCENT FRIT
  - INDICATES TILE 'A'-MIRABELLA LIGHT 5/8" LIMESTONE TILE
  - INDICATES SANDBLASTED FINISH CONC.
  - INDICATES TILE 'D'- CALIFORNIA GOLD 5/8" SANDSTONE TILE
  - INDICATES METALLIC SILVER PANELS



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Torrey Reserve - Phase 3  
Buildings 6 - Exterior Elevations

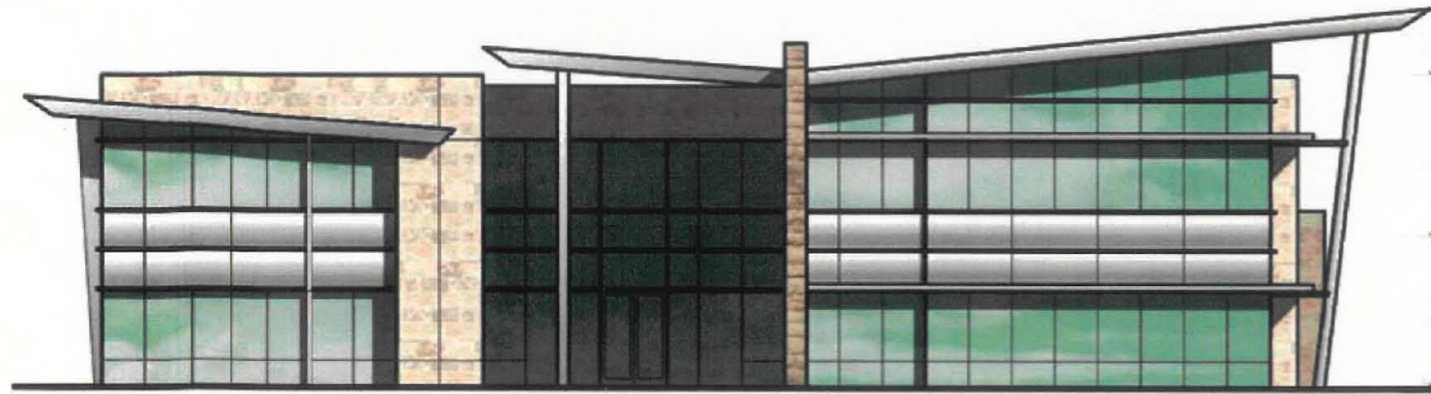
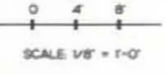
AMERICAN ASSETS, INC.



- EL. 962 ♦ MAX. HT.
- EL. 902 ♦ TOP.
- EL. 752 ♦ 2ND FF.
- EL. 612 ♦ FF.
- EL. 607 ♦ F.G.

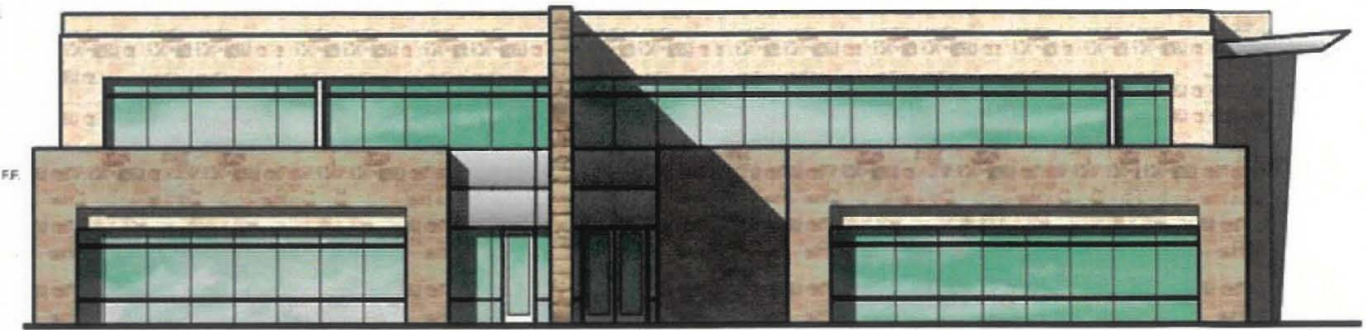
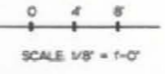
- Elevation Legend**
- INDICATES 1" INSULATING EVERGREEN TINTED GLAZING.
  - INDICATES SPANDREL GLAZING 1/4" EVERGREEN W/ TEMPA TRANSLUCENT FRIT.
  - INDICATES STONE TILE LIGHT-FIELD STONE 5/8" LIMESTONE TILE.
  - INDICATES SANDBLASTED FINSH CONC.
  - INDICATES STONE TILE DARK-ACCENT STONE 5/8" LIMESTONE TILE.
  - INDICATES METALLIC SILVER PANELS.

Bldg. 14 East Elevation

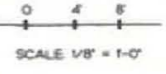


- EL. 962 ♦ MAX. HT.
- EL. 902 ♦ TOP.
- EL. 752 ♦ 2ND FF.
- EL. 612 ♦ FF.
- EL. 607 ♦ F.G.

Bldg. 14 North Elevation

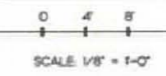


Bldg. 14 South Elevation



- EL. 962 ♦ MAX. HT.
- EL. 902 ♦ TOP.
- EL. 752 ♦ 2ND FF.
- EL. 612 ♦ FF.
- EL. 607 ♦ F.G.

Bldg. 14 West Elevation



- EL. 475 ♦ P2 FF.
- EL. 445 ♦ ADJ. GRADE LOW POINT



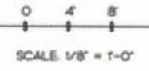
ARCHITECTURE  
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INTERIORS

Torrey Reserve - Phase 4  
Buildings 14 - Exterior Elevations

AMERICAN ASSETS, INC.



Bldg. 13 East Elevation



SCALE 1/8" = 1'-0"

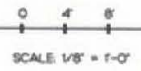
- EL. 962 MAX. HT.
- EL. 902 T.O.P.
- EL. 752 2ND FF.
- EL. 612 FF.
- EL. 607 F.G.

Elevation Legend

- INDICATES INSULATING EVERGREEN TINTED GLAZING
- INDICATES SPANDREL GLAZING
- 1/4" EVERGREEN W/ TEMPA TRANSLUCENT FRIT
- INDICATES STONE TILE LIGHT-FIELD STONE
- 5/8" LIMESTONE TILE
- INDICATES SANDBLASTED FINISH CONC.
- INDICATES STONE TILE DARK-ACCENT STONE
- 5/8" LIMESTONE TILE
- INDICATES METALLIC SILVER PANELS



Bldg. 13 North Elevation

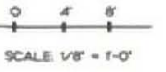


SCALE 1/8" = 1'-0"

- EL. 962 MAX. HT.
- EL. 902 T.O.P.
- EL. 752 2ND FF.
- EL. 612 FF.
- EL. 607 F.G.



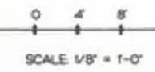
Bldg. 13 South Elevation



SCALE 1/8" = 1'-0"

- MAX. HT. EL. 962
- T.O.P. EL. 902
- 2ND FF. EL. 752
- FF. EL. 612
- F.G. EL. 607

Bldg. 13 West Elevation



SCALE 1/8" = 1'-0"



ARCHITECTURE  
PLANNING  
INTERIORS

Torrey Reserve - Phase 4  
Buildings 13 - Exterior Elevations

AMERICAN ASSETS, INC.



PLANT MATERIAL LEGEND

PLAN SYMBOL	DESCRIPTION / BOTANICAL NAME	COMMON NAME	SIZE
	LARGE ACCENT TREE: PINUS TORREYANA TO MATCH EXISTING PARKING LOT TREES	TORREY PINE	36" BOX
	PARKING LOT TREE: CUPANIOPSIS ANACARDIODES TO MATCH EXISTING PARKING LOT TREES	CARROTHOOD	36" BOX AND TRANSPLANTED EXISTING TREES
	SMALL ACCENT TREE: ARBUTUS UNEDO 'COMPACTA' MAGNOLIA 'LITTLE GEM'	STRAWBERRY TREE DWARF MAGNOLIA	24" BOX
	ACCENT PALM TREE: SYAGRUS ROMANZOFFIANUM	QUEEN PALM	24" BOX
	MEDIUM SHRUB / SMALL TREE: HETEROMELES ARBUTIFOLA R-HUS INTEGRIFOLIA	CALIFORNIA HOLLY LEMONADE BERRY	15 GALLON

PLAN SYMBOL	DESCRIPTION BOTANICAL NAME
	ORNAMENTAL SHRUBS: RHAPHIOLEPSIS INDICA PHORMIUM SPECIES ROSMARINUS SPECIES BOUGAINVILLEA
	MEDIUM SHRUB MASSING: WESTRINGA FRUTICOSA CISTUS PURPUREA BACCHARIS PILULARIS CEANOETHUS SPECIES
	SMALL SHRUB MASSING: SALVIA SPECIES GREVILLEA COPROSMA KIRKII CISTUS CORBARIENSIS ROSMARINUS SPECIES
	ACCENT GROUNDCOVER MASSING: GAZANIA SPECIES LANTANA SPECIES ORNAMENTAL GRASSES
	MEDIUM SHRUB / ACCENT LEPTOSPERMUM SPECIES LAVENTERA MARITIMA ARBUTUS UNEDO 'ELFIN KING'
	SMALL SHRUB / ACCENT LAVANDULA STOECHAS ANIGOZANTHUS HYBRID

EXISTING TREE LEGEND

	EXISTING PLATANUS RACEMOSA (CALIFORNIA SYCAMORE) TO REMAIN
	EXISTING PINUS TORREYANA (TORREY PINE) TO REMAIN
	EXISTING CUPANIOPSIS ANACARDIODES (CARROTHOOD) TO REMAIN

LANDSCAPE PLAN

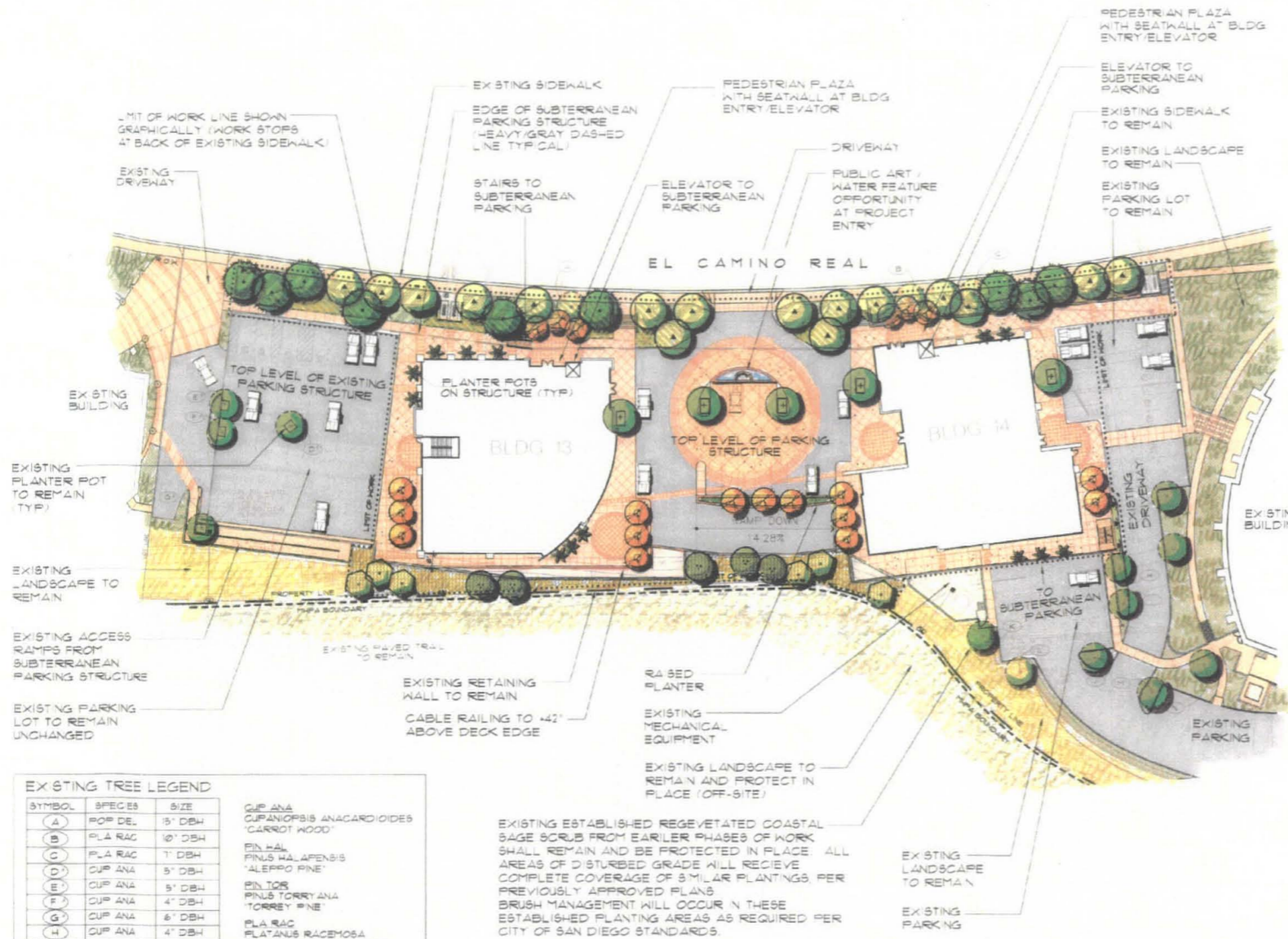
SCALE: 1" = 20' - 0"



Torrey Reserve - Phase 3  
Landscape Concept Plan

AMERICAN ASSETS, INC.





**PLANT MATERIAL LEGEND**

PLAN SYMBOL	DESCRIPTION / BOTANICAL NAME	COMMON NAME	PERCENTAGES/SIZE
(Symbol: Green circle with triangle)	STREET TREE / LARGE ACCENT TREE such as: MATURE HEIGHT 40' TALL X 25' WIDE		
(Symbol: Green circle with triangle)	PLATANUS RACEMOSA TO MATCH EXISTING STREET TREES (ALT. PLATANUS ACERIFOLIA)	CALIFORNIA SYCAMORE (LONDON PLANE)	100% - 24" BOX
(Symbol: Green circle with triangle)	PINUS TORREYANA TO MATCH EXISTING PARKING LOT TREES (ALT. PINUS BRITICA)	TORREY PINE (CALABRAN PINE)	100% - 24" BOX
(Symbol: Green circle with cross)	PARKING LOT SHADE TREE such as: MATURE HEIGHT 25' TALL X 20' WIDE		
(Symbol: Green circle with cross)	PARKING LOT TREE: CUPANIOPSIS ANACARDIODES TO MATCH EXISTING PARKING LOT TREES (ALT. JUMUS PARVIFOLIA)	CARROTWOOD (CHINESE ELM)	100% - 24" BOX
(Symbol: Green circle with cross)	COLOR ACCENT TREE such as: MATURE HEIGHT 25' TALL X 20' WIDE		
(Symbol: Green circle with cross)	PRUNUS CERASIFERA (ALT. PRUNUS CALLERYANA)	PURPLE-LEAF PLUM (BRADFORD PEAR)	100% - 24" BOX
(Symbol: Green circle with triangle)	NATIVE / SCREENING TREE such as: MATURE HEIGHT 40' TALL X 25' WIDE		
(Symbol: Green circle with triangle)	QUERCUS AGROFOLIA	COAST LIVE OAK	100% - 5 GALLON
(Symbol: Green circle with triangle)	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	
(Symbol: Green circle with triangle)	ACCENT TREE / SHRUB such as: MATURE HEIGHT 8' TALL X 8' WIDE		
(Symbol: Green star)	PHOENIX ROSEBLEN (STRELTZIA NICOLA) CHAMAECOPRS HUMILIS	RYGHT DATE PALM GIANT BIRD-OF-PARADISE MEDITERRANEAN FAN PALM	100% - 15 GALLON
(Symbol: Green star)	ORNAMENTAL ACCENT SHRUB such as: (PROVIDE A VARIETY OF SPECIES TO COMPLEMENT THE ADJACENT EXISTING BUILDINGS) MATURE HEIGHT VARIES (SEE MATCH SYMBOL)		
(Symbol: Green star)	TRACHELOSPERMUM JASMINIODES GAZANIA HYBRID 'SUNSHINE' COPROSMA REPENS HEMEROCALLIS SP	STAR JASMINE CLIMBING HYBRID GAZANIA 'MIRROR FLAM' DAYLILY	50% - 1 GALLON PLANT AT 30" O.C. 50% - 5 GALLON PLANT AT 42" O.C.
(Symbol: Green star)	NANDINA DOMESTICA ELAEAGNUS FUNGENS ESCALLONIA RHAPHIOLEPIS NOICA BOUGANVILLEA LA JOLLA PITTOSPORIUM TOBRIA	HEAVENLY BAMBOO SILVERBERRY ESCALLONIA INDIAN HAWTHORN BOUGANVILLEA PITTOSPORIUM	50% - 1 GALLON PLANT AT 30" O.C. 50% - 5 GALLON PLANT AT 42" O.C.
(Symbol: Green star)	ANIGOSANTHOS SP ROSMARINUS OFFICINALIS BOUGANVILLEA LA JOLLA PHORMIUM TENAX CLIVIA MINIATA	KANGAROO PAK ROSEMARY BOUGANVILLEA NEW ZEALAND FLAX KAFFER LILY	100% - 5 GALLON PLANT AT 36" O.C.
(Symbol: Green star)	SCREENING / CLIMBING VINES such as: FICUS REPENS JASMINUM POLYANTHUM	CREeping FIG PINK JASMINE	100% - 1 GALLON PLANT AT 8' O.C.
(Symbol: Green star)	EXISTING ORNAMENTAL SHRUBS AND GROUNDCOVERS FROM EARLIER PHASES OF WORK TO REMAIN AND PROTECT IN PLACE such as:		
(Symbol: Green star)	ELAEAGNUS FUNGENS ESCALLONIA RHAPHIOLEPIS NOICA PITTOSPORIUM TOBRIA	SILVERBERRY ESCALLONIA INDIAN HAWTHORN PITTOSPORIUM	ALL SHRUBS ARE MAINTAINED AT 3'-4' TALL
(Symbol: Green star)	EXISTING REVEGETATED COASTAL SAGE SCRUB (AND SIMILAR) PLANTS FROM EARLIER PHASES OF WORK TO REMAIN AND PROTECT IN PLACE. ALL AREAS SUBJECT TO BRUSH MANAGEMENT REQUIREMENTS PER CITY OF SAN DIEGO.		
(Symbol: Green star)	EXISTING REVEGETATED COASTAL SAGE SCRUB (AND SIMILAR) PLANTS FROM EARLIER PHASES OF WORK TO REMAIN AND PROTECT IN PLACE.		

**EXISTING TREE LEGEND**

SYMBOL	SPECIES	SIZE	COMMON NAME
(A)	POP DEL.	5" DBH	COTTONWOOD
(B)	PLA RAC	10" DBH	CALIFORNIA SYCAMORE
(C)	PLA RAC	7" DBH	CALIFORNIA SYCAMORE
(D)	CUP ANA	5" DBH	CARROTWOOD
(E)	CUP ANA	5" DBH	CARROTWOOD
(F)	CUP ANA	4" DBH	CARROTWOOD
(G)	CUP ANA	6" DBH	CARROTWOOD
(H)	CUP ANA	4" DBH	CARROTWOOD
(J)	CUP ANA	5" DBH	CARROTWOOD
(K)	PN HAL	30" DBH	TORREY PINE
(L)	PLA RAC	8" DBH	CALIFORNIA SYCAMORE
(M)	CUP ANA	6" DBH	CARROTWOOD
(N)	PN TOR	12" DBH	TORREY PINE

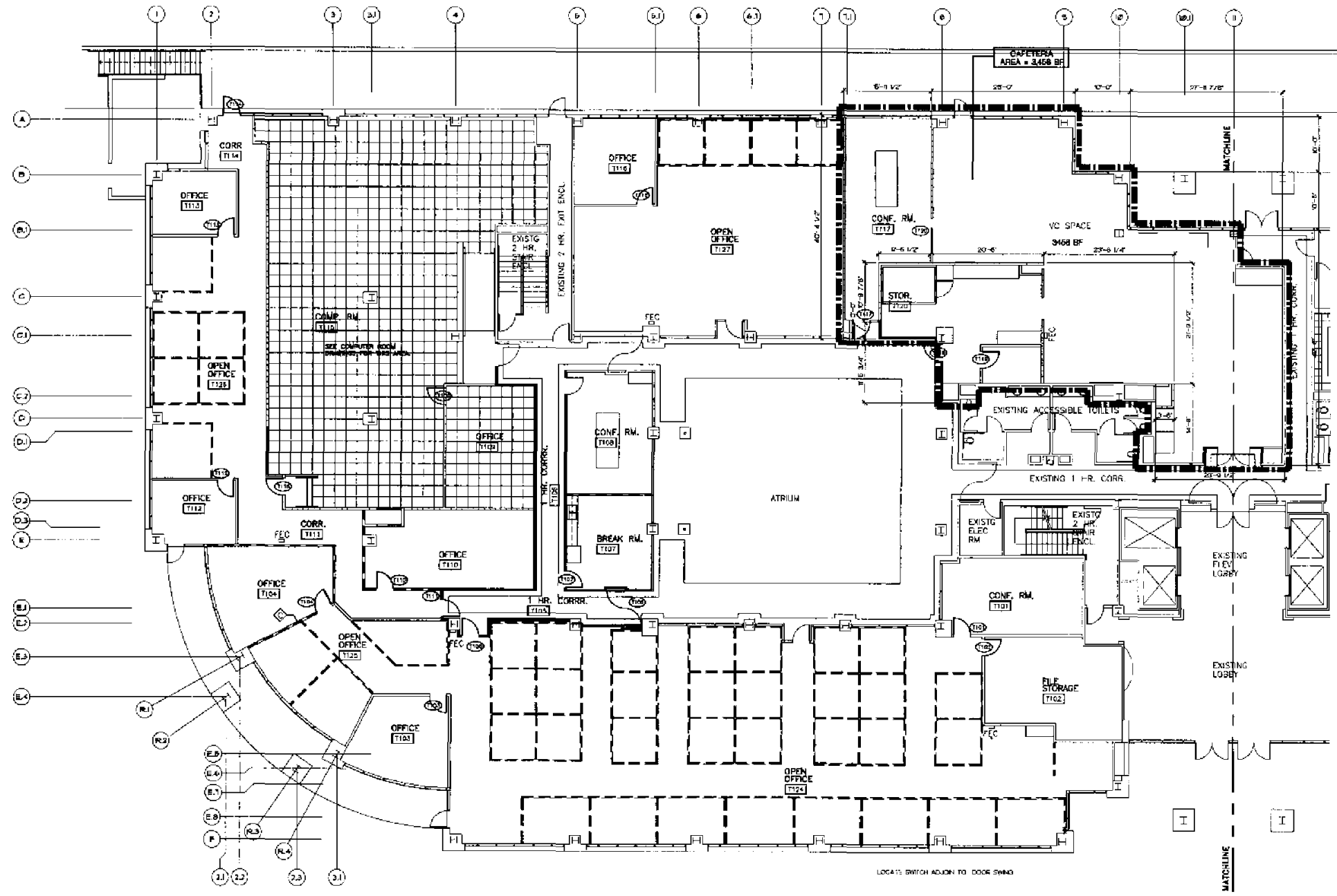
INDICATES TREES PLANTED IN POTS



Torrey Reserve - Phase 4  
Landscape Concept Plan

AMERICAN ASSETS, INC.





BUILDING 1 FIRST FLOOR PLAN - North  
SCALE: 1/8" = 1'-0"

BRIAN PAUL & ASSOCIATES, INC. ARCHITECTS AND PLANNERS / SAN DIEGO, CA

INSURANCE COMPANY OF THE WEST

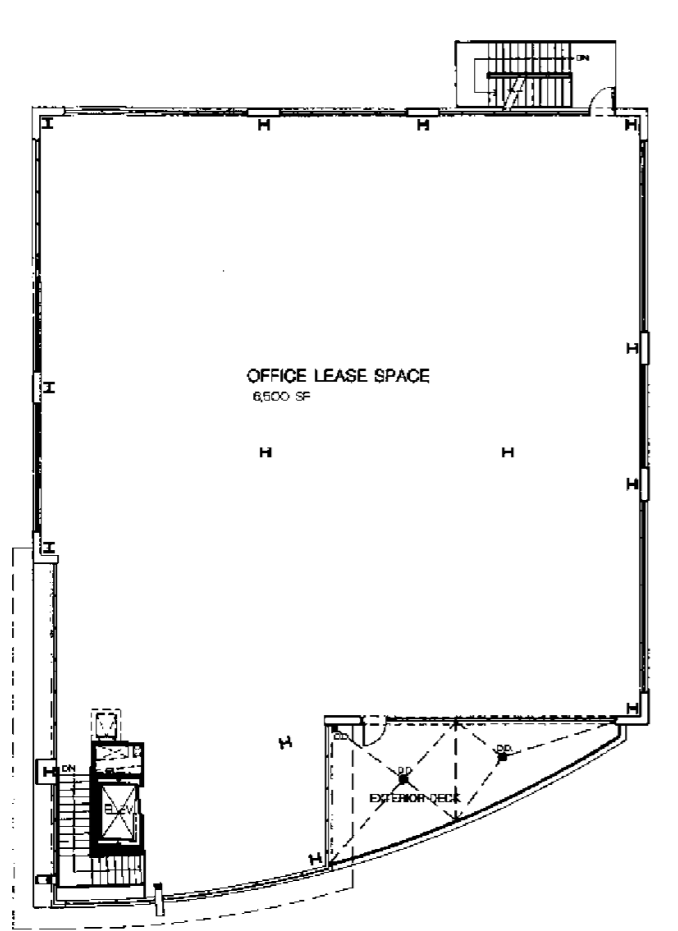
FIRST FLOOR - North  
TENANT IMPROVEMENT PLAN

A-23

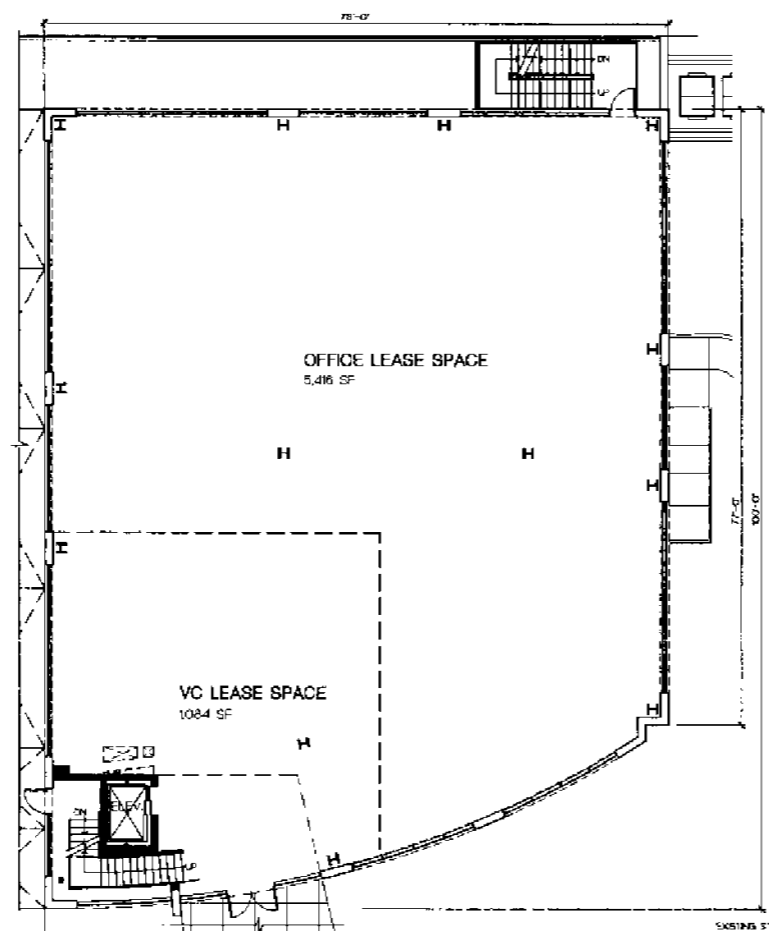
Development Summary

1. PROJECT TEAM	<b>CIVIL ENGINEER</b> RICK ENGINEERING CONTRACT: GARY OSTENDORF 8200 Friars Road San Diego, CA 92108 Tel: (619) 591-0707 Fax: (619) 591-4105	<b>LANDSCAPE ARCHITECT</b> MWP/PELTZ CONTRACT: JANE NICHOLS 1123 South Centre Solana Beach, CA 92075 Tel: (619) 491-0888 Fax: (619) 491-9500
2. REQUIRED PERMITS/APPROVALS	DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS FOR THE PROJECT. THE PROJECT IS LOCATED WITHIN THE EXISTING TORREY RESERVE DEVELOPMENT. (CONTRACTS FOR THE SITE ARE EL CARRO REAL AND ARRIVO SURRENTO ROAD. THE BUILDING ARE LOCATED ON A 1.78 ACRE (NET AREA) LOT WITHIN THE 24 ACRE TORREY RESERVE DEVELOPMENT. THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PDC/DCP PERMIT NO. 041-0350.	
3. LEGAL DESCRIPTION	PARCELS 1, 2, 3, 4, 5 & 6 OF MAP NO. 10571 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 18, 2000.	
4. ASSessor'S PARCEL NUMBER	APN: 307-390-54    307-390-54    307-390-57    307-390-58 307-390-59	
5. OWNER'S NAME	PACIFIC TORREY RESERVE HOLDINGS LP CONTACT: JOHN CHAMBERLAIN 1456 B Camino Real, Suite 200 San Diego, CA 92108 Tel: (619) 590-2800 Fax: (619) 590-2800	
6. DESIGNER'S NAME	ARCHITECT BRIAN PAUL & ASSOCIATES, INC. CONTACT: MARK DAVIS 4495 EASTGATE WALL, Suite 100 San Diego, CA 92108 Tel: (619) 493-1800 Fax: (619) 493-1813	
7. CONSTRUCTION TYPE	BUILDING 1: TYPE V-B, FULLY SPRINKLED. BUILDING 2: TYPE V-B, FULLY SPRINKLED. BUILDING 3: TYPE V-B, FULLY SPRINKLED. BUILDING 4: TYPE V-B, FULLY SPRINKLED.	
8. OCCUPANCY CLASSIFICATION	BUILDING 1, BUILDING 2, & BUILDING 3: GROUP B BUILDING 4: GROUP S-2	
9. CALIFORNIA BUILDING CODE	2007 CALIFORNIA BUILDING CODE (TITLE-24)	
10. ZONING REGULATION AND/OR DEVELOPMENT ORDINANCE	ZONING: DC-1.1	
11. PROJECT I.D. NUMBER	01-008	
12. NUMBER OF STORIES	BUILDING 1: TWO-STORY BUILDING. BUILDING 2: ONE-STORY BUILDING. BUILDING 3: TWO-STORY BUILDING. BUILDING 4: ONE-STORY BUILDING.	
13. BUILDING HEIGHT	BUILDING 1: 28'-0". BUILDING 2: 21'-0". BUILDING 3: 28'-0". AS MEASURED FROM TOP OF FIRST FLOOR FINISH FLOOR TO TOP OF BUILDING PARAPET.	
14. GROSS FLOOR AREA	BUILDING 1: 15,869 SF. BUILDING 2: 4,130 SF. BUILDING 3: 20,293 SF. BUILDING 4: 7,176 SF.	
15. FLOOR AREA RATIO	FOR ENTIRE LOT: 1.8778 / 14,575 SF = 0.13 FOR ENTIRE LOT: 1 & 2: 14,575 SF / 2,386,600 SF = 0.61	
16. EXISTING USE/OCCUPANCY	PARKING LOT	
17. PROPOSED USE/OCCUPANCY	BUILDING 1, BUILDING 2 & BUILDING 3: OFFICE / VISITOR COMMERCIAL LEASE SPACE. BUILDING 4: PARKING OF MOTOR VEHICLES.	
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES	N/A	
19. CONDITION OF SOIL	COMPACTED FILL	

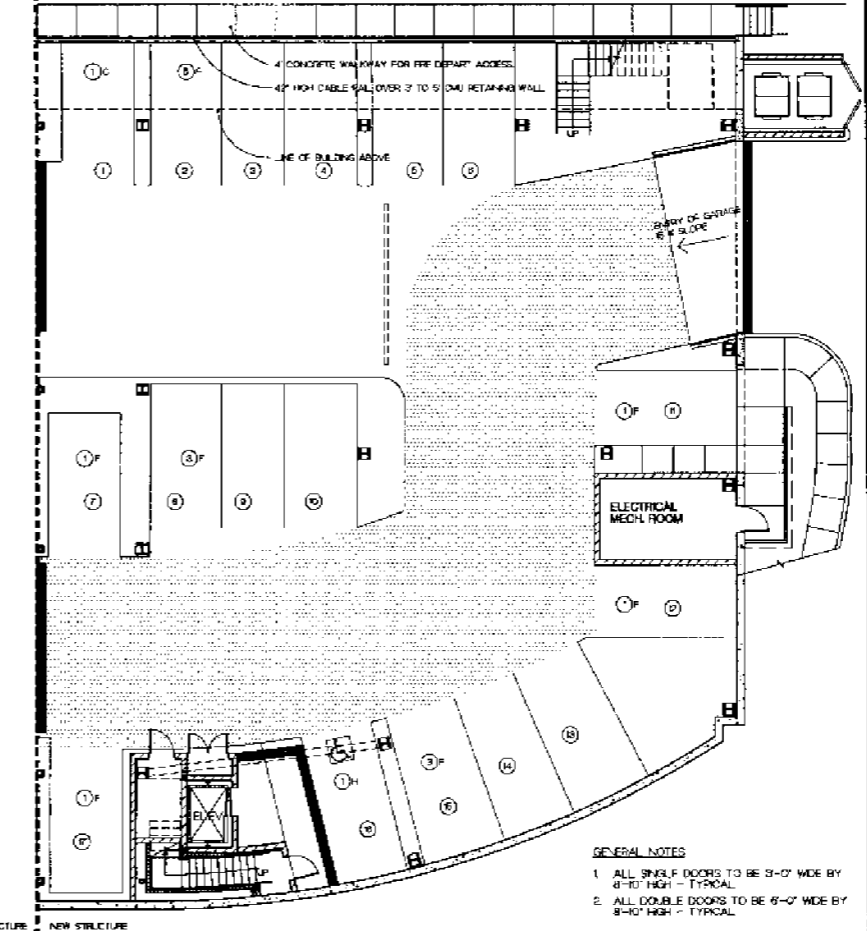
Prepared By:	BRIAN PAUL & ASSOCIATES, INC.	Revision 14:	
Name:	BRIAN PAUL & ASSOCIATES, INC.	Revision 13:	
Address:	4495 EASTGATE WALL, Suite 100 San Diego, CA 92108	Revision 12:	06-09-06
Phone:	(619) 493-1800	Revision 11:	05-02-06
Fax:	(619) 493-1813	Revision 10:	12-19-07
Project Address:		Revision 9:	06-02-07
5 Camino Real		Revision 8:	10-24-08
San Diego, CA 92108		Revision 7:	
		Revision 6:	7-14-08
		Revision 5:	12-19-08
		Revision 4:	
		Revision 3:	
		Revision 2:	
Project Name:	TORREY RESERVE	Revision 1:	
Original Date:		Sheet:	4 of 15
Sheet Title:		DATE:	05/08



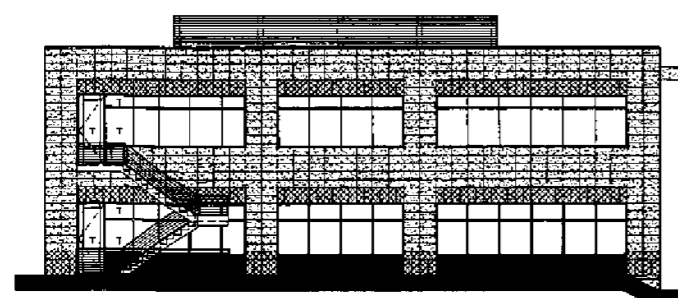
**BUILDING 4 SECOND FLOOR PLAN**  
SCALE: 1/8"=1'-0"



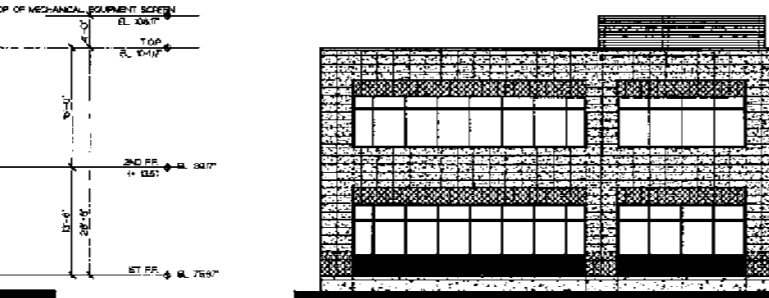
**BUILDING 4 FIRST FLOOR PLAN**  
SCALE: 1/8"=1'-0"



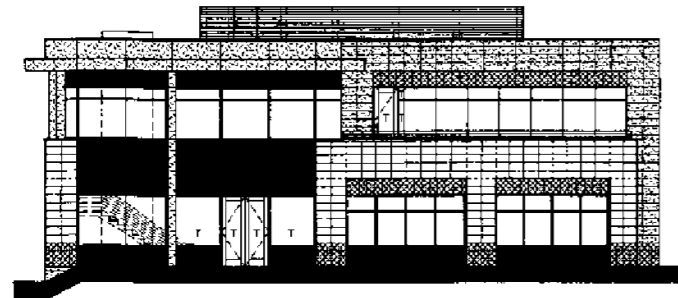
**BUILDING 4 BASEMENT FLOOR PLAN**  
SCALE: 1/8"=1'-0"



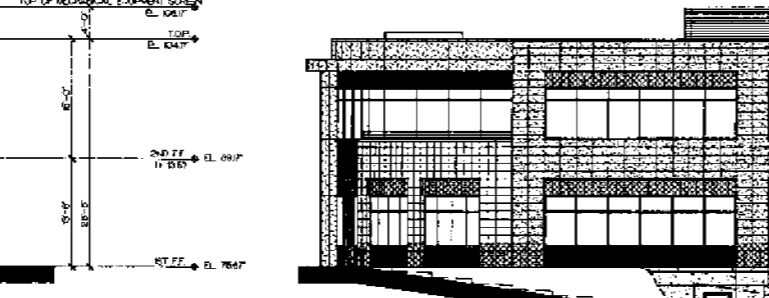
**BUILDING 4 EAST ELEVATION**  
SCALE: 1/8"=1'-0"



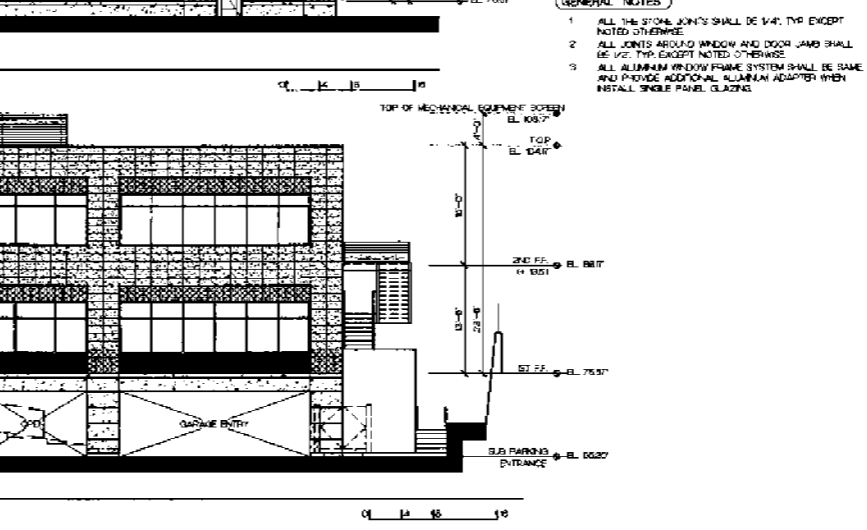
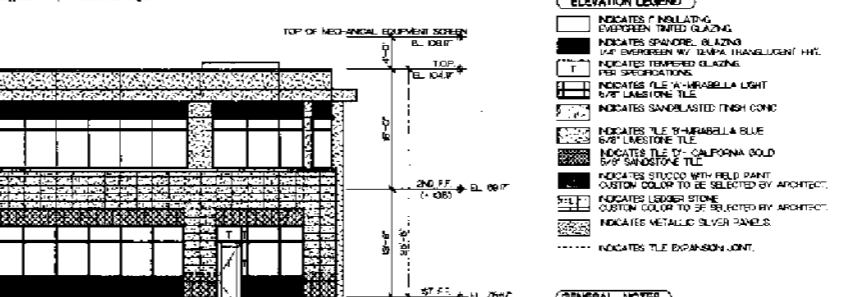
**BUILDING 4 NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING 4 WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING 4 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



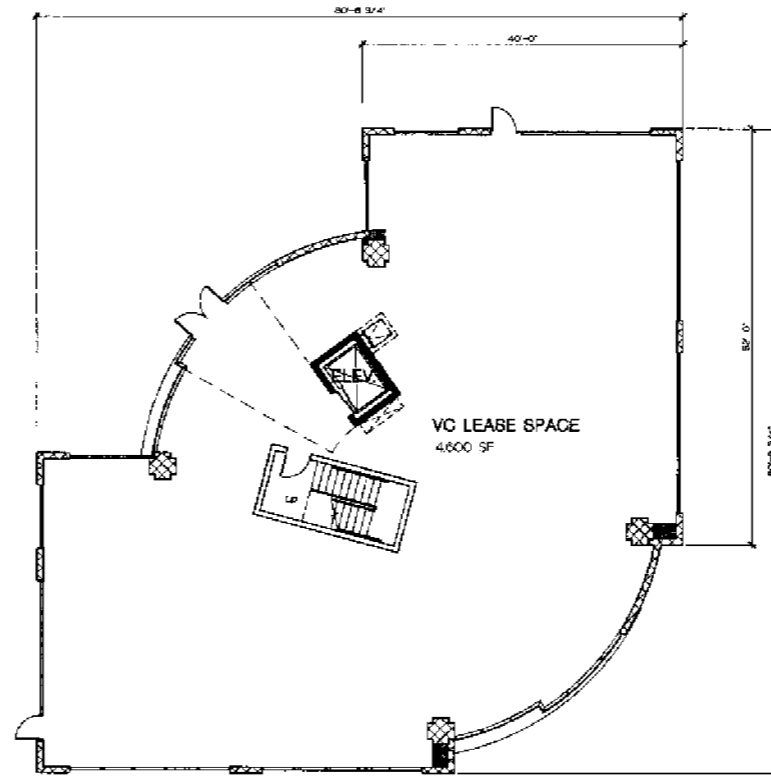
**Development Summary**

1. PROJECT TEAM	<b>CIVIL ENGINEER:</b> PICK ENGINEERING CONTACT: GARY OSTENDORF 6820 Friars Road San Diego, CA 92121 Tel: (619) 591-0707 Fax: (619) 591-4152	<b>LANDSCAPE ARCHITECT:</b> NEW PELTZ CONTACT: MIKE NICHOLS 141 South Cedros Santee, CA 92078 Tel: (619) 489-0588 Fax: (619) 491-8028
2. KEY PERMITS/APPROVALS	APPROVAL FOR SITE, ARCHITECTURAL, BUILDING, AND BUILDING SCHEDULES FOR THE PROJECT IS BEING OBTAINED AS AN ADDENDUM TO APPROVED PERMITS FOR THE PROJECT.	
3. AREA DESCRIPTION	PARCELS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.	
4. ADDRESS/Parcel Number	APN: 307-390-56, 307-390-54, 307-390-57, 307-390-58, 307-390-59	
5. OWNER'S NAME	PACIFIC TORREY RESERVE HOLDINGS LP CONTACT: JOHN CHAMBERLAIN 4435 EASTGATE MALL, Suite 200 San Diego, CA 92121 Tel: (619) 591-0500 Fax: (619) 591-0500	
6. DESIGNER'S NAME	BRIAN PAUL & ASSOCIATES, INC. CONTACT: MARK DAVIS 4435 EASTGATE MALL, Suite 100 San Diego, CA 92121 Tel: (619) 591-0500 Fax: (619) 591-0500	
7. CONSTRUCTION TYPE	BUILDING 4: TYPE V-A, FULLY SPRINKLERED. BUILDING 5: TYPE V-A, FULLY SPRINKLERED. BUILDING 6: TYPE V-A, FULLY SPRINKLERED. BUILDING 7: TYPE V-A, FULLY SPRINKLERED.	
8. OCCUPANCY CLASSIFICATION	BUILDING 4, BUILDING 5, & BUILDING 6: GROUP B BUILDING 7: GROUP B-2	
9. CALIFORNIA BUILDING CODE	2007 CALIFORNIA BUILDING CODE (TBC, 16)	
10. TIME OF DESIGNATION AND/OR OVERLAY DESIGNATION	ZONING: O-1, L-1	
11. PROJECT I.D. NUMBER	01-001	
12. NUMBER OF STORIES	BUILDING 4: TWO-STORY BUILDING. BUILDING 5: ONE-STORY BUILDING. BUILDING 6: TWO-STORY BUILDING. BUILDING 7: ONE-STORY BUILDING.	
13. FINISH HEIGHT	BUILDING 4: 28'-0". BUILDING 5: 27'-0". BUILDING 6: 28'-0" AS MEASURED FROM TOP OF FIRST FLOOR BUILDING TO TOP OF BUILDING PARAPET.	
14. FINISH FLOOR AREA	BUILDING 4: 13,000 SF. BUILDING 5: 4,800 SF. BUILDING 6: 30,000 SF. BUILDING 7: 75,200 SF.	
15. FLOOR AREA RATIO	FOR ENTIRE UNIT 1: 207,224 / 1,453,516 SF = 14.26% FOR ENTIRE UNIT 1 & 2: 443,127 / 2,558,000 SF = 17.33%	
16. EXISTING USE/OCCUPANCY	PARKING LOT	
17. PROPOSED USE/OCCUPANCY	BUILDING 4, BUILDING 5 & BUILDING 6: OFFICE / MIXED COMMERCIAL LEASE SPACE BUILDING 7: PARKING OF MULTIPLE VEHICLES	
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES	N/A	
19. CONDITION OF SOIL	COMPACTED FILL	

**Revisions**

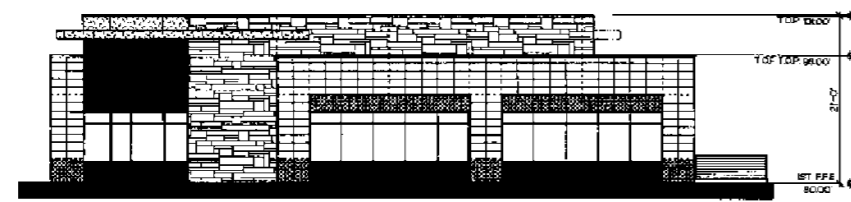
Revised By:	Revised On:
Name: BRIAN PAUL & ASSOCIATES, INC.	Revised By:
Address: 4435 EASTGATE MALL, # 100 San Diego, CA 92121	Revised On: 08-08-06
Phone: (619) 591-0500	Revised By: 08-08-06
Fax: (619) 591-1033	Revised On: 08-08-06
Project Address:	Revised By: 08-08-06
6 Cedros Road	Revised On: 08-08-06
San Diego, CA 92107	Revised By: 08-08-06
Project Name:	Revised On: 08-08-06
TORREY RESERVE 07	Revised By: 08-08-06
Sheet:	Revised On: 08-08-06
Sheet Title:	Revised By: 08-08-06

**SHEET 8**  
**BUILDING 4 FLOOR PLANS & ELEVATIONS**



**GENERAL NOTES**  
 ALL SINGLE DOORS TO BE 3'-0" WIDE BY 7'-4" HIGH - TYPICAL  
 ALL DOUBLE DOORS TO BE 6'-0" WIDE BY 7'-4" HIGH - TYPICAL

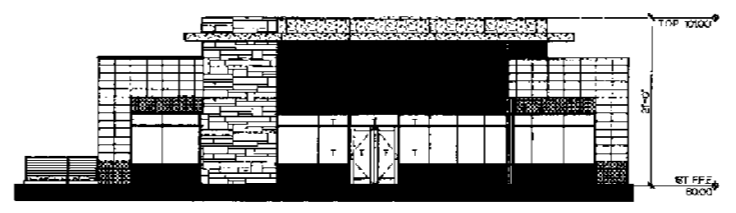
**BUILDINGS FIRST FLOOR PLAN**  
 SCALE: 1/8"=1'-0"



**BUILDINGS SOUTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**BUILDINGS NORTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**BUILDINGS ELEVATION AT ENTRY**  
 SCALE: 1/8"=1'-0"

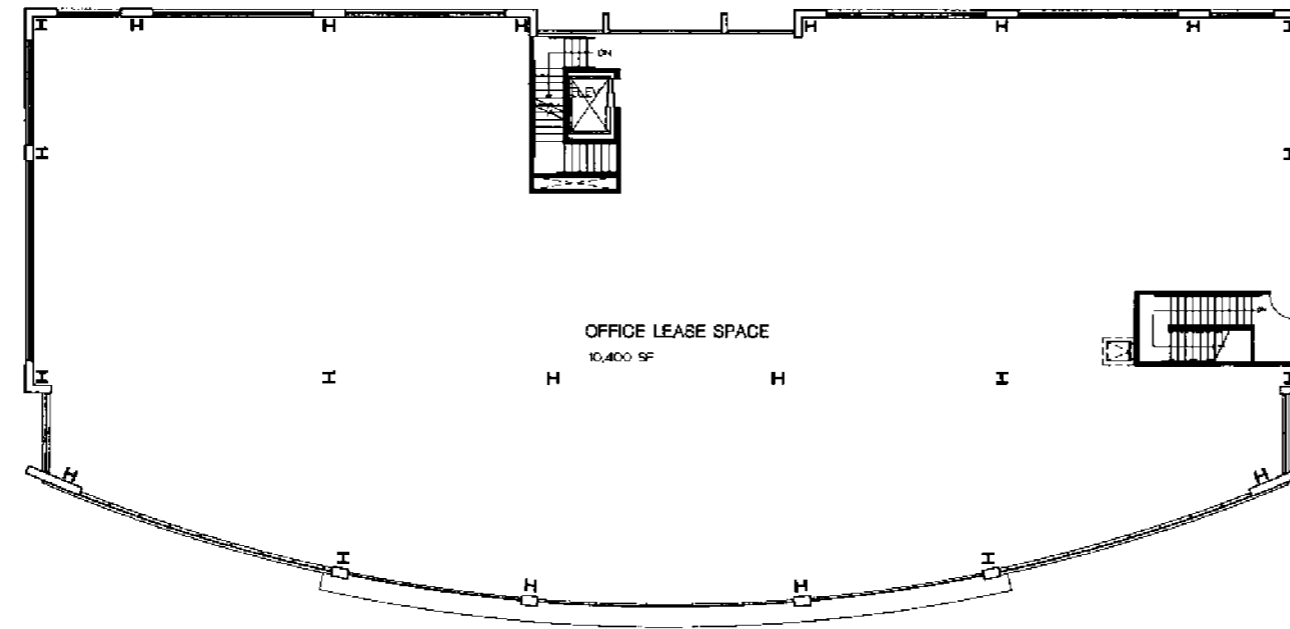
**GENERAL NOTES**  
 1. ALL THE STONE JOINTS SHALL BE V-JOINT EXCEPT NOTED OTHERWISE.  
 2. ALL JOINTS AROUND WINDOW AND DOOR LAMB SHALL BE 1/2" TYP EXCEPT NOTED OTHERWISE.  
 3. ALL ALUMINUM WINDOW FRAME SYSTEM SHALL BE SAME AND PROVIDE ADDITIONAL ALUMINUM ADAPTER WHEN METAL SINGLE PANEL GLAZING.

- ELEVATION LEGEND**
- INDICATES T-MELLARINO EVERGREEN TINTED GLAZING
  - INDICATES SPAN-ONEL GLAZING
  - INDICATES T-MELLARINO W/ TINTED TRANSLUCENT FIT
  - INDICATES T-MELLARINO GLAZING
  - INDICATES T-MELLARINO LIGHT 5/8" LIMESTONE TILE
  - INDICATES SANDBLASTED FRESH CONC
  - INDICATES T-MELLARINO BLUE 5/8" LIMESTONE TILE
  - INDICATES T-MELLARINO GOLD 5/8" LIMESTONE TILE
  - INDICATES STUCCO WITH FELD PAINT CUSTOM COLOR TO BE SELECTED BY ARCHITECT
  - INDICATES LEADER STONE CUSTOM COLOR TO BE SELECTED BY ARCHITECT
  - INDICATES METALLIC SILVER PANEL
  - INDICATES TILE EXPANSION JOINT

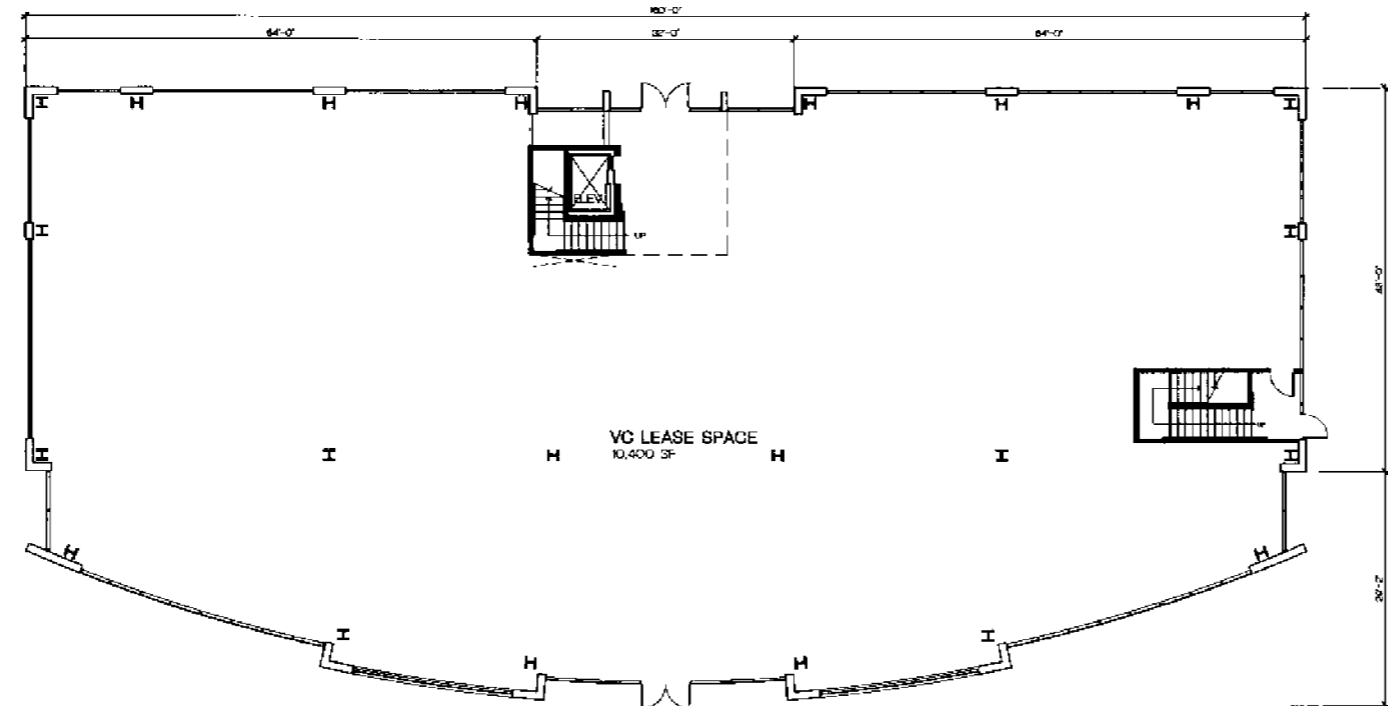
Development Summary		
1. PROJECT NAME	<b>CIVIL ENGINEER</b> RICK ENGINEERING CONTACT: GARY OSTEGARD 1620 Friess Road San Diego, CA 92108 Tel: (619) 294-0107 Fax: (619) 294-4608	<b>LANDSCAPE ARCHITECT</b> MWP/PELTZ CONTACT: MIKE MOJOLS 435 South Chino Shirley, Missouri, CA 92076 Tel: (619) 481-0880 Fax: (619) 481-0880
2. REQUIRED PERMITS/APPROVALS	APPROVAL FOR THREE ADDITIONAL BUILDINGS, BUILDING A, BUILDING B, BUILDING C LOCATED WITHIN THE EXISTING TORREY RESERVE DEVELOPMENT, OVERSPREADS FROM THE SITE ARE TO BE MAINTAINED AND ADJUSTED TO REMAIN WITHIN THE BUILDING ARE LOCATED ON THE EXISTING (SEE EXIST) LOT #2000 ON 54 TORREY RESERVE DEVELOPMENT. ALL PROJECTS BEING SUBMITTED AS AN AMENDMENT TO APPROVED POLY-COPY PLAN NO. 06-0560.	
3. LEGAL DESCRIPTION	PARCELS 1, 2, 3, 4, 5 & 6 & 8 & 9 MAP NO. 11581 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DISTRICT 13, 2000.	
4. ASSessor'S PARCEL NUMBER	APN: 307-260-56	307-260-54 307-260-57 307-260-58
5. OWNER'S NAME	PACIFIC TORREY RESERVE HOLDINGS LP CONTACT: JOHN CHAMBERLAIN 1455 E. Camino Real, Suite 200 San Diego, CA 92108 Tel: (619) 300-2500 Fax: (619) 300-2500	
6. ARCHITECT'S NAME	BRIAN PAUL & ASSOCIATES, INC. CONTACT: MARK DAVIS 4436 EASTGATE MALL, Suite 100 San Diego, CA 92121 Tel: (619) 483-1000 Fax: (619) 483-1010	
7. CONSTRUCTION TYPE	BUILDING A: TYPE V-B, FULLY SPRINKLED; BUILDING B: TYPE V-B, FULLY SPRINKLED; BUILDING C: TYPE V-B, FULLY SPRINKLED; P-4: TYPE V-B, FULLY SPRINKLED	
8. OCCUPANCY CLASSIFICATION	BUILDING A, BUILDING B, & BUILDING C: GROUP B P-4: PARKING GROUP B-1	
9. CALIFORNIA BUILDING CODE	2007 CALIFORNIA BUILDING CODE (CBC)-16	
10. ZONING DESIGNATION AND/OR OVERLAY ESTABLISHMENT	ZONING: O-1-1-2	
11. PROJECT I.D. NUMBER	A1-001	
12. NUMBER OF STORIES	BUILDING A: TWO-STORY BUILDING; BUILDING B: ONE STORY BUILDING; BUILDING C: TWO-STORY BUILDING; P-4: ONE SUBTERRANEAN & ONE GRADE LEVEL	
13. BUILDING HEIGHT	BUILDING A: 25'-0"; BUILDING B: 21'-0"; BUILDING C: 25'-0" AS MEASURED FROM TOP OF FIRST FLOOR BUILDING SLAB TO TOP OF BUILDING PARAPET.	
14. GROSS FLOOR AREA	BUILDING A: 13,000 SF; BUILDING B: 4,500 SF; BUILDING C: 20,000 SF; P-4: 18,238 SF	
15. FLOOR AREA RATIO	FOR EXISTING LOT 1: 207,234 / 1,464,618 SF = .14 FOR EXISTING LOT 1 & 2: 403,272 / 2,226,900 SF = .18	
16. EXISTING USE/OCCUPANCY	PARKING LOT	
17. PROPOSED USE/OCCUPANCY	BUILDING A, BUILDING B & BUILDING C: OFFICE / WORKER COMMERCIAL LEASE SPACE P-4: PARKING OF MOTOR VEHICLES	
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES	N/A	
19. CREATOR OF SET	CONTACTED PER	

Prepared By:	BRIAN PAUL & ASSOCIATES, INC.	Revision 14:	
Name:		Revision 13:	
Address:	4436 EASTGATE MALL, # 100 San Diego, CA 92121	Revision 12:	06-08-09
Phone:	(619) 483-1000	Revision 11:	06-08-07
Fax:	(619) 483-1010	Revision 10:	06-08-07
Project Address:		Revision 9:	06-08-07
5 Camino Real		Revision 8:	06-08-07
San Diego, CA 92108		Revision 7:	06-08-07
Project Name:		Revision 6:	06-08-07
TORREY RESERVE 07		Revision 5:	06-08-07
Sheet:	5 of 10	Revision 4:	06-08-07
Sheet Title:		Revision 3:	06-08-07
		Revision 2:	06-08-07
		Revision 1:	06-08-07





**BUILDING 6 SECOND FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



**BUILDING 6 FIRST FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

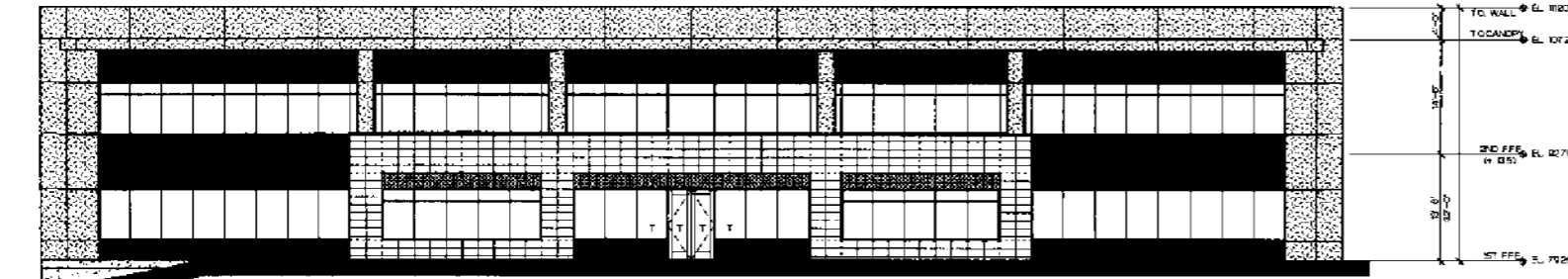
**GENERAL NOTES**

1. ALL SINGLE DOORS TO BE 3'-0" WIDE BY 8'-0" HIGH. INTERIOR SINGLE DOOR TO BE 3'-0" WIDE BY 7'-0" HIGH.
2. ALL DOUBLE DOORS TO BE 6'-0" WIDE BY 8'-0" HIGH - TYPICAL.

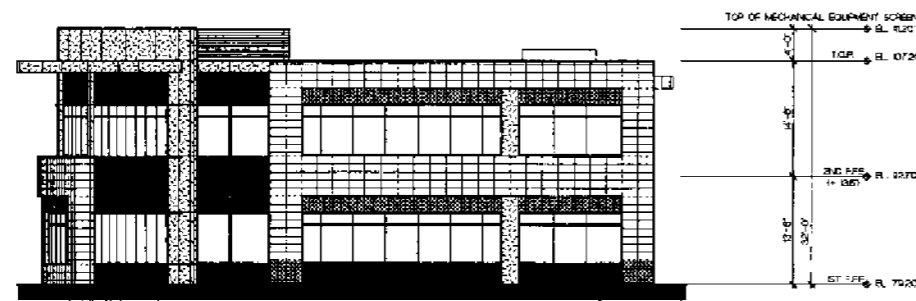
**Development Summary**

1. PROJECT TEAM	<b>CIVIL ENGINEER</b> RICK ENGINEERING CONTACT: BARRY GOSTERFLO 6050 Friars Road San Diego, CA 92108 TEL: (619) 291-0707 FAX: (619) 291-4188	<b>LANDSCAPE ARCHITECT</b> MWP/PELTZ CONTACT: ANGE NICHOLS 403 So. Arroyo Center San Diego, CA 92108 TEL: (619) 481-0188 FAX: (619) 481-0508
2. REQUIRED PERMITS/APPROVALS	APPROVAL FOR THESE ADDITIONAL BUILDINGS, BUILDING 6, BUILDING 7 & BUILDING 8 LOCATED WITHIN THE EXISTING TORREY RESERVE DEVELOPMENT. CONSIDERATIONS FOR THE SITE ARE: 1. EXISTING UTILITIES AND AROUND EXISTING ROAD. 2. THE BUILDINGS ARE LOCATED WITHIN THE EXISTING DEVELOPMENT. 3. THE BUILDINGS ARE BEING SUBMITTED AS AN AMENDMENT TO APPROVED PUD/SPR PERMIT NO. 06-0006.	
3. LEGAL DESCRIPTION	PARCELS 1, 2, 3, 4, 5, 6, 7, 8 OF MAP NO. 40, HIGH FIELD, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 13, 2006.	
4. ASSESSOR'S PARCEL NUMBER	APN: 321-190-04	321-190-05
5. OWNER'S NAME	PACIFIC TORREY RESERVE HOLDINGS, LP CONTACT: JOHN CHAMBERLAIN 1405 E Camino Real, Suite 200 San Diego, CA 92108 Tel: (619) 550-2800 Fax: (619) 550-2800	
6. ARCHITECT	ERMAN PALL & ASSOCIATES, INC. CONTACT: MARK CLAVIS 1405 EASTGATE MALL, Suite 100 San Diego, CA 92108 Tel: (619) 488-1000 Fax: (619) 488-1018	
7. CONSTRUCTION TYPE	BUILDING 6: TYPE V-A, FULL SPRINKLERED. BUILDING 7: TYPE V-A, FULL SPRINKLERED. BUILDING 8: TYPE V-A, FULL SPRINKLERED. P-A: TYPE V-A, FULL SPRINKLERED.	
8. OCCUPANCY CLASSIFICATION	BUILDING 6, BUILDING 7 & BUILDING 8: GROUP B P-A: PARKING: GROUP B-1	
9. CALIFORNIA BUILDING CODE	2007 CALIFORNIA BUILDING CODE (TITLE 24)	
10. ZONING DESIGNATION AND/OR OVERLAY DESIGNATION	ZONING: CD-1-2	
11. PROJECT ID NUMBER	41-0001	
12. NUMBER OF STORES	BUILDING 6: TWO-STORY BUILDING. BUILDING 7: ONE-STORY BUILDING. BUILDING 8: TWO-STORY BUILDING. P-A: ONE SUBTERRANEAN IN ONE GRADE LEVEL.	
13. BUILDING HEIGHT	BUILDING 6: 28'-8". BUILDING 7: 21'-0". BUILDING 8: 28'-0". AS MEASURED FROM TOP OF FIRST FLOOR FINISH FLOOR TO TOP OF BUILDING PARAPET.	
14. GROSS FLOOR AREA	BUILDING 6: 13,000 SF. BUILDING 7: 4,800 SF. BUILDING 8: 20,000 SF. P-A: 75,000 SF.	
15. FLOOR AREA RATIO	FOR TRACT UNIT 1: 20.71% / 1,445,817 SF = .14 FOR TRACT UNIT 1 & 2: 43.51% / 2,348,890 SF = .19	
16. EXISTING DEVELOPMENT	PARKING LOT	
17. PROPOSED DEVELOPMENT	BUILDING 6, BUILDING 7 & BUILDING 8: OFFICE / PROFESSIONAL LEASE SPACE P-A: PARKING OF MOTOR VEHICLES	
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES	N/A	
19. CONDITION OF SOIL	COMPACTED FILL	

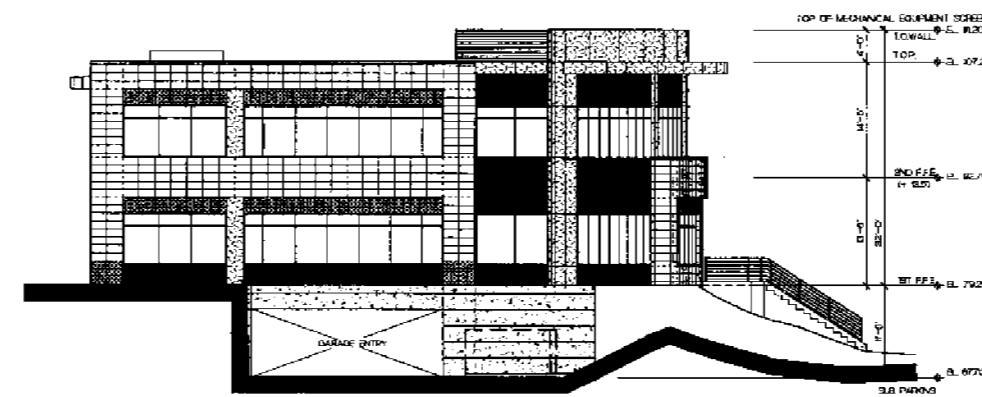
Prepared By:	ERMAN PALL & ASSOCIATES, INC.	Revision 14:	
Address:	1405 EASTGATE MALL, SUITE 100 SAN DIEGO, CA 92108	Revision 13:	06-08-06
Phone:	(619) 488-1000	Revision 12:	06-07-07
Fax:	(619) 488-1018	Revision 11:	06-06-07
Project Address:		Revision 10:	06-05-07
		Revision 9:	06-04-07
		Revision 8:	06-03-07
		Revision 7:	06-02-07
		Revision 6:	06-01-07
		Revision 5:	05-31-07
		Revision 4:	05-30-07
		Revision 3:	05-29-07
		Revision 2:	05-28-07
		Revision 1:	05-27-07
Project Name:	TORREY RESERVE OF	Sheet:	8 of 18
		DESIGNED BY:	



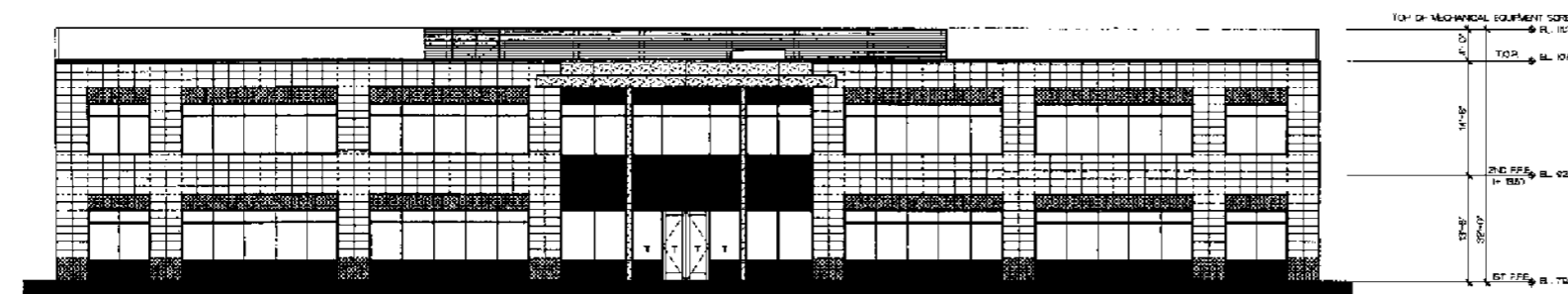
**BUILDING 6 WEST ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING 6 SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING 6 NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**BUILDING 6 EAST ELEVATION**  
SCALE: 1/8"=1'-0"

- ELEVATION LEGEND**
- INDICATES FILL FINISH DIFFERENTIALLY TINTED GLAZING
  - INDICATES SPANDREL GLAZING 1/4" OVERGREEN W/ TINTED TRANSLUCENT FRIT PER SPECIFICATIONS
  - INDICATES TYPED GLAZING 5/8" Limestone TILE
  - INDICATES SANDBLASTED FINISH CONC.
  - INDICATES TILE 12" MINARELLA BLUE 6/8" Limestone TILE
  - INDICATES TILE 12" CALIFORNIA GOLD 6/8" SANDSTONE TILE
  - INDICATES STUCCO WITH FIELD PAINT CUSTOM COLOR TO BE SELECTED BY ARCHITECT
  - INDICATES LEICED STONE CUSTOM COLOR TO BE SELECTED BY ARCHITECT
  - INDICATES METALLIC SILVER PANELS
  - INDICATES TILE EXPANSION JOINT

- GENERAL NOTES**
1. ALL THE STONE JOINTS SHALL BE 1/4" TYP. EXCEPT NOTED OTHERWISE.
  2. ALL JOINTS AROUND WINDOW AND DOOR JAMB SHALL BE 1/2" TYP. EXCEPT NOTED OTHERWISE.
  3. ALL ALUMINUM WINDOW FRAME SYSTEM SHALL BE SAME AND PROVIDE ADDITIONAL ALUMINUM ADAPTER WHEN INSTALL SINGLE PANEL GLAZING.

Development Summary

1. PROJECT TEAM	<b>CIVIL ENGINEER</b> RICK ENGINEERING CONTACT: BARRY OSTEGARD 8820 Friess Road San Diego, CA 92120 Tel: (619) 591-0117 Fax: (619) 704-4100	<b>LANDSCAPE ARCHITECT</b> MWP/PELTZ CONTACT: MIKE NICHOLS 483 South Coast Solana Beach, CA 92078 Tel: (949) 481-0088 Fax: (949) 481-8608
2. BOARD PERMIT/APPROVALS	APPROVAL FOR 1981 ADDITIONAL BUILDING BUILDING 6, BUILDING 5 LOCATED WITHIN THE EXISTING TORREY RESERVE DEVELOPMENT. GRASSPADS FOR THE SITE ARE BEING REMOVED AND APPROVED SPANDREL PANELS. THE BUILDINGS ARE LOCATED ON A 7.18 ACRES TRACT (MAP) 1011 WITHIN THE 14 ACRES TRACT BY DEVELOPMENT. THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PERMIT NO. DR-0554.	
3. LEGAL DESCRIPTION	PARCELS 2, 3, 4, 5 & 6 OF MAP NO. 10011 FILED IN THE OFFICE OF THE COUNTY CLERK OF SAN DIEGO COUNTY, CALIFORNIA, 11, 2008.	
4. ADJACENT PARCEL NUMBER	4th 200-290-56    200-290-54    200-290-52    200-290-50 200-290-58	
5. OWNER'S NAME	PACIFIC TORREY RESERVE HOLDINGS LP CONTACT: JOHN CHAMBERS-LAY 1005 O Campo Road, Suite 500 San Diego, CA 92130 Tel: (619) 550-2800 Fax: (619) 550-2820	
6. DESIGNER'S NAME	ARCHITECT BRIAN PAUL & ASSOCIATES, INC. CONTACT: MARK JAMES 4435 EASTGATE MALL, Suite 100 San Diego, CA 92121 Tel: (619) 453-1200 Fax: (619) 453-1910	
7. CONSTRUCTION TYPE	BUILDING 4: TYPE V-N, FULLY SPANRELED. BUILDING 5: TYPE V-N, FULLY SPANRELED. BUILDING 6: TYPE V-N, FULLY SPANRELED. P-4: TYPE I, FULLY SPANRELED.	
8. OCCUPANCY CLASSIFICATION	BUILDING 4: OFFICE, B. & BUILDING 5: OFFICE & BUILDING 6: OFFICE & P-4: PARKING. GROUP: S-1	
9. CALIFORNIA BUILDING CODE	2007 CALIFORNIA BUILDING CODE (TITLE 18)	
10. 20046 DESIGNATION AND/OR OVERLAY DESIGNATIONS	ZONING: DD-1.2	
11. PROJECT ID NUMBER	41-028	
12. NUMBER OF STORIES	BUILDING 4: TWO-STORY BUILDING. BUILDING 5: ONE STORY BUILDING. BUILDING 6: TWO-STORY BUILDING. P-4: ONE SUBSTATION & ONE GRADE LEVEL.	
13. BUILDING HEIGHT	BUILDING 4: 31'-8". BUILDING 5: 21'-0". BUILDING 6: 30'-0". AS MEASURED FROM TOP OF FIRST FLOOR FINISH TO TOP OF BUILDING PARAPET.	
14. GROSS FLOOR AREA	BUILDING 4: 11,000 SF. BUILDING 5: 4,000 SF. BUILDING 6: 20,000 SF. P-4: 25,000 SF.	
15. FLOOR AREA RATIO	FOR ENTIRE UNIT 1: 0.0128 / 1.16 ACRES SF = 1.14 FOR ENTIRE UNIT 1 & 2: 0.0127 / 2.32 ACRES SF = 0.51	
16. EXISTING USE/OCCUPANCY	PARKING LOT	
17. PROPOSED USE/OCCUPANCY	BUILDING 4: BUILDING 5 & BUILDING 6: OFFICE / VISITOR COMMERCIAL LEASE SPACE P-4: PARKING OF MOTOR VEHICLES	
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES	N/A	
19. CONDITION OF SOIL	COMPACTED FILL	

Prepared By:	BRIAN PAUL & ASSOCIATES, INC.	Revisions 14:	
Address:	4435 EASTGATE MALL, S. 100, San Diego, CA 92121	Revisions 11:	
Phone #:	(619) 453-1200	Revisions 12:	
Fax #:	(619) 453-1910	Revisions 13:	06-08-08
Project Address:		Revisions 10:	05-02-08
El Centro Dist:		Revisions 9:	01-09-07
San Diego, CA 92130		Revisions 8:	08-02-07
		Revisions 7:	04-10-06
		Revisions 6:	
		Revisions 5:	07-14-05
		Revisions 4:	02-09-05
		Revisions 3:	
		Revisions 2:	
Project Name:	TORREY RESERVE DT	Revisions 1:	
Original Date:	3/22/05	Sheet:	7 of 9
Sheet Title:		DETA:	

Development Summary

1. PROJECT TITLE	LANDSCAPE ARCHITECT
2. CLIENT	LANDSCAPE ARCHITECT
3. DESIGNER	LANDSCAPE ARCHITECT
4. CONTRACTOR	LANDSCAPE ARCHITECT
5. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
6. ENGINEER	LANDSCAPE ARCHITECT
7. CONTRACTOR	LANDSCAPE ARCHITECT
8. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
9. ENGINEER	LANDSCAPE ARCHITECT
10. CONTRACTOR	LANDSCAPE ARCHITECT
11. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
12. ENGINEER	LANDSCAPE ARCHITECT
13. CONTRACTOR	LANDSCAPE ARCHITECT
14. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
15. ENGINEER	LANDSCAPE ARCHITECT
16. CONTRACTOR	LANDSCAPE ARCHITECT
17. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
18. ENGINEER	LANDSCAPE ARCHITECT
19. CONTRACTOR	LANDSCAPE ARCHITECT
20. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
21. ENGINEER	LANDSCAPE ARCHITECT
22. CONTRACTOR	LANDSCAPE ARCHITECT
23. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
24. ENGINEER	LANDSCAPE ARCHITECT
25. CONTRACTOR	LANDSCAPE ARCHITECT
26. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
27. ENGINEER	LANDSCAPE ARCHITECT
28. CONTRACTOR	LANDSCAPE ARCHITECT
29. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
30. ENGINEER	LANDSCAPE ARCHITECT
31. CONTRACTOR	LANDSCAPE ARCHITECT
32. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
33. ENGINEER	LANDSCAPE ARCHITECT
34. CONTRACTOR	LANDSCAPE ARCHITECT
35. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
36. ENGINEER	LANDSCAPE ARCHITECT
37. CONTRACTOR	LANDSCAPE ARCHITECT
38. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
39. ENGINEER	LANDSCAPE ARCHITECT
40. CONTRACTOR	LANDSCAPE ARCHITECT
41. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
42. ENGINEER	LANDSCAPE ARCHITECT
43. CONTRACTOR	LANDSCAPE ARCHITECT
44. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
45. ENGINEER	LANDSCAPE ARCHITECT
46. CONTRACTOR	LANDSCAPE ARCHITECT
47. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
48. ENGINEER	LANDSCAPE ARCHITECT
49. CONTRACTOR	LANDSCAPE ARCHITECT
50. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
51. ENGINEER	LANDSCAPE ARCHITECT
52. CONTRACTOR	LANDSCAPE ARCHITECT
53. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
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55. CONTRACTOR	LANDSCAPE ARCHITECT
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57. ENGINEER	LANDSCAPE ARCHITECT
58. CONTRACTOR	LANDSCAPE ARCHITECT
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60. ENGINEER	LANDSCAPE ARCHITECT
61. CONTRACTOR	LANDSCAPE ARCHITECT
62. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
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64. CONTRACTOR	LANDSCAPE ARCHITECT
65. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
66. ENGINEER	LANDSCAPE ARCHITECT
67. CONTRACTOR	LANDSCAPE ARCHITECT
68. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
69. ENGINEER	LANDSCAPE ARCHITECT
70. CONTRACTOR	LANDSCAPE ARCHITECT
71. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
72. ENGINEER	LANDSCAPE ARCHITECT
73. CONTRACTOR	LANDSCAPE ARCHITECT
74. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
75. ENGINEER	LANDSCAPE ARCHITECT
76. CONTRACTOR	LANDSCAPE ARCHITECT
77. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
78. ENGINEER	LANDSCAPE ARCHITECT
79. CONTRACTOR	LANDSCAPE ARCHITECT
80. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
81. ENGINEER	LANDSCAPE ARCHITECT
82. CONTRACTOR	LANDSCAPE ARCHITECT
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84. ENGINEER	LANDSCAPE ARCHITECT
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90. ENGINEER	LANDSCAPE ARCHITECT
91. CONTRACTOR	LANDSCAPE ARCHITECT
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96. ENGINEER	LANDSCAPE ARCHITECT
97. CONTRACTOR	LANDSCAPE ARCHITECT
98. ARCHITECT	BRYAN PAUL & ASSOCIATES, INC.
99. ENGINEER	LANDSCAPE ARCHITECT
100. CONTRACTOR	LANDSCAPE ARCHITECT

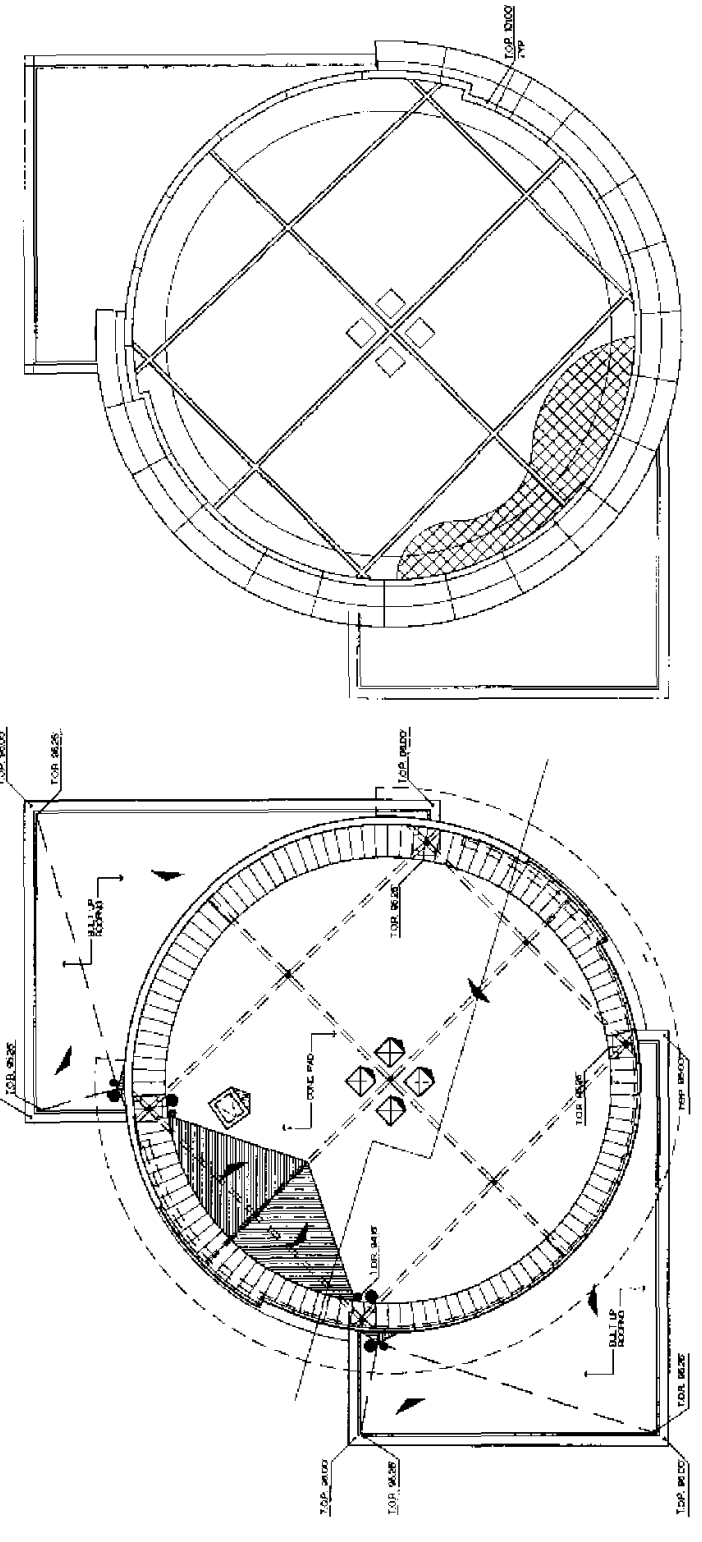
Prepared By	BRYAN PAUL & ASSOCIATES, INC.
Checked By	BRYAN PAUL & ASSOCIATES, INC.
Drawn By	BRYAN PAUL & ASSOCIATES, INC.
Scale	AS SHOWN
Date	08-12-07
Project Address	8, Camino Real, San Diego, CA 92108
Project Name	TORREY RESERVE CT
Sheet No.	9 of 9
Original Date	08-12-07
Scale	AS SHOWN

SHEET 9  
BUILDING 4, 5, 6 ROOF

**DRAINAGE LEGEND**

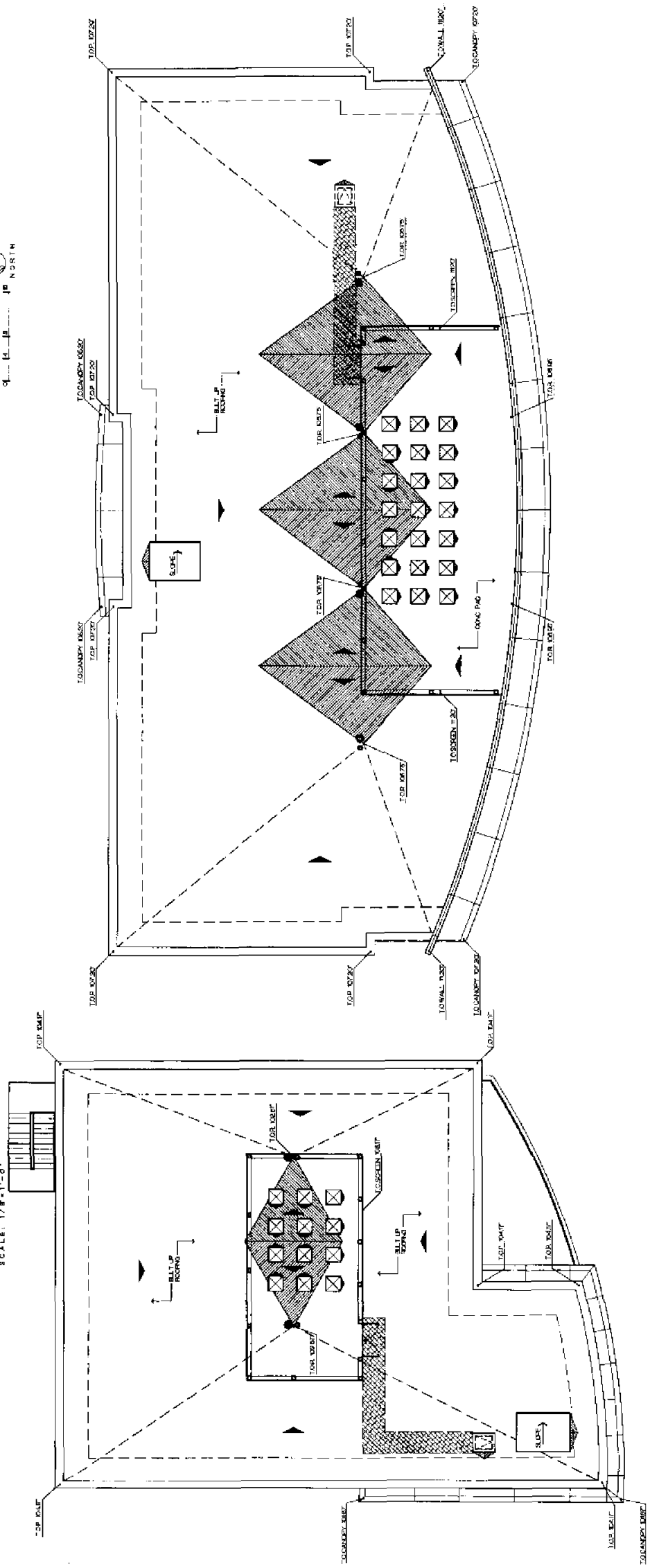
- ROOF DRAIN (AS SHOWN)
- OVERFLOW DRAIN (PER DETAIL)
- TRAP (AS SHOWN)
- WATER TIGHTNESS (AS SHOWN)
- ROOF DRAIN (AS SHOWN)
- ROOF WALKWAY (AS SHOWN)
- ROOF WALKWAY FENCE (AS SHOWN)
- ROOF WALKWAY (AS SHOWN)
- ROOF WALKWAY FENCE (AS SHOWN)
- ROOF WALKWAY (AS SHOWN)
- ROOF WALKWAY FENCE (AS SHOWN)

**NOTES:**  
 1. TOP OF FINISH FLOOR  
 2. TOP OF ROOF  
 3. TOP OF CURB  
 4. TOP OF SCREEN  
 5. TOP OF SCREEN



BUILDING 5 ROOF PLAN  
SCALE: 1/8"=1'-0"

BUILDING 4 ROOF PLAN  
SCALE: 1/8"=1'-0"

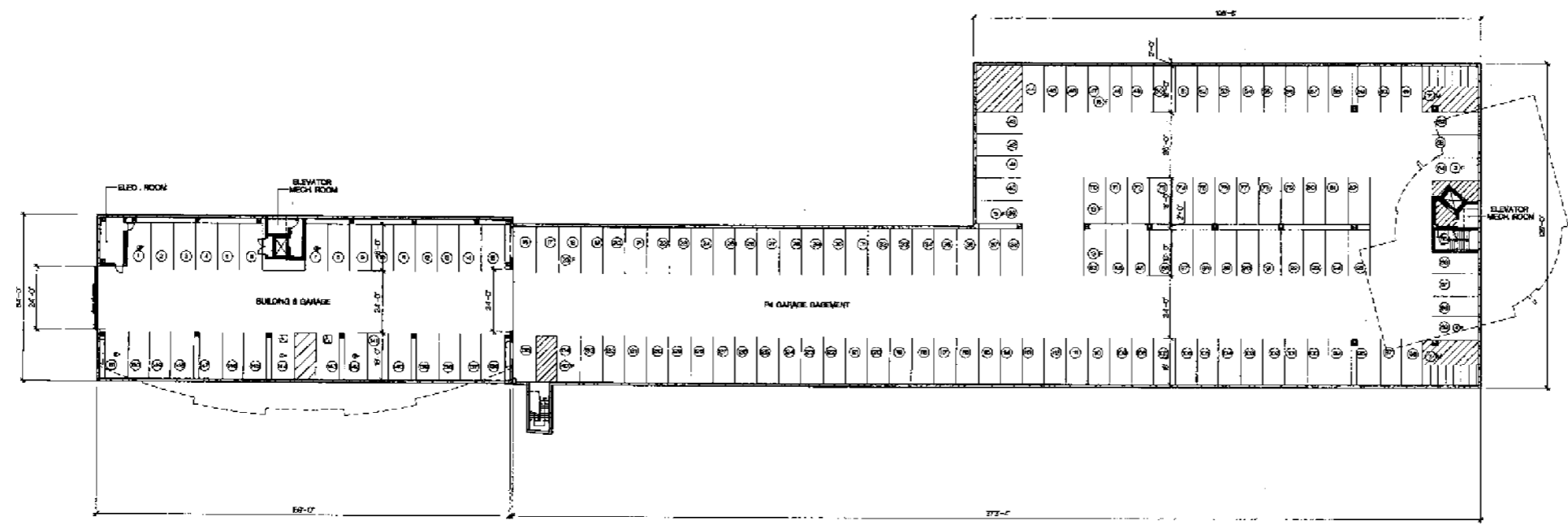
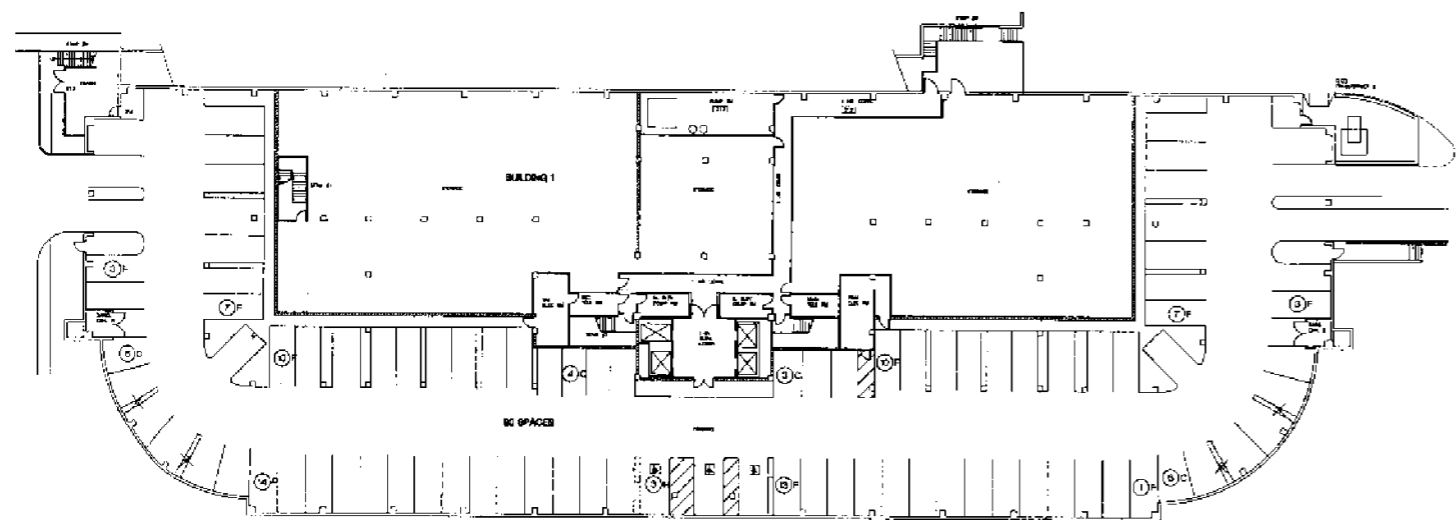


BUILDING 6 ROOF PLAN  
SCALE: 1/8"=1'-0"

BUILDING 4 ROOF PLAN  
SCALE: 1/8"=1'-0"

BUILDING 5 ROOF PLAN  
SCALE: 1/8"=1'-0"

SHEET 9  
BUILDING 4, 5, 6 ROOF



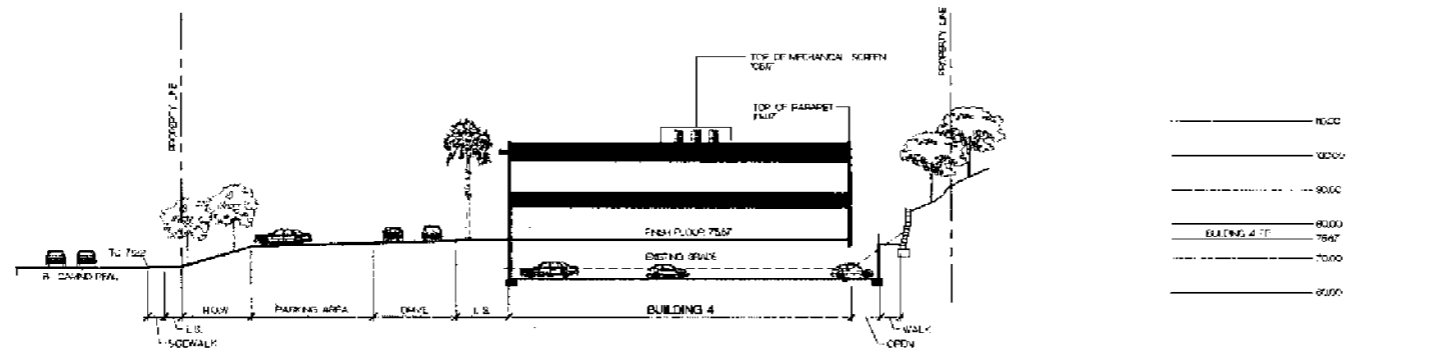
**BASEMENT FLOOR PLAN**  
 SCALE: 1/8" = 1'-0"  
 BLDG 6 GARAGE 31 SPACES  
 TOTAL 31 SPACES

Development Summary

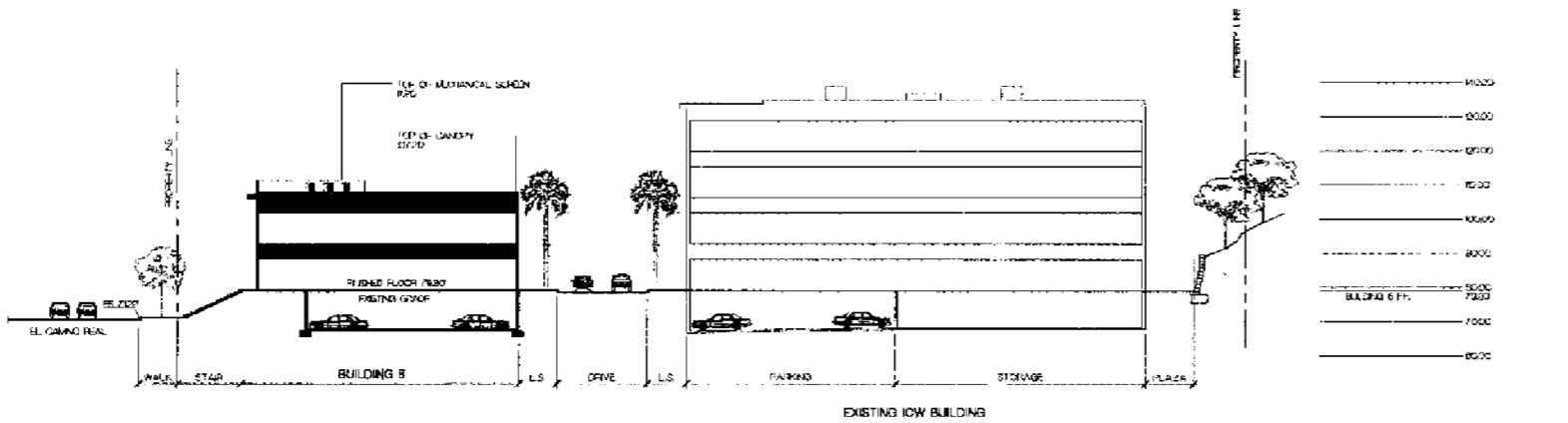
1. PROJECT NAME	CIVIL ENGINEER FRICK ENGINEERING CONTACT: DARYL OSTERFORD 5820 Friess Road San Diego, CA 92121 Tel: (619) 291-0707 Fax: (619) 291-4100	LANDSCAPE ARCHITECT MORFELTZ CONTACT: LANCE MORFELTZ 143 South Coast San Diego, CA 92108 Tel: (619) 451-0895 Fax: (619) 451-6608
2. REQUIRED PERMITS/APPROVALS	APPROVAL FOR THREE ADDITIONAL BUILDINGS: BUILDING 4, BUILDING 5, BUILDING 6 LOCATED WITHIN THE EXISTING TORREY RESERVE DEVELOPMENT. CONSIDERATIONS FOR THE SITE ARE 2. DRAINAGE REAL AND EXISTING SURROUNDING ROAD, THE BUILDINGS ARE LOCATED IN A 2.25 ACRE NET AREA, LOT WITHIN THE 24 ACRE TORREY RESERVE DEVELOPMENT. THIS PROJECT IS BEING SUBMITTED AS AN ADDENDUM TO APPROVED PERMITTING PLAN 04-0550	
3. LEGAL DESCRIPTION	PARCELS 1, 2, 3, 4, 5, 6 & 7 OF MAP NO. 11561 FILED IN THE OFFICE OF THE COUNTY REGISTRAR OF SAN DIEGO COUNTY, OCTOBER 13, 2002	
4. ASSessor'S PARCEL NUMBER	APN 307-390-58 307-390-54 307-390-57 307-390-59	
5. OWNER'S NAME	PACIFIC TORREY RESERVE HOLDINGS LP CONTACT: JOHN CHAMBERLAIN 4405 EASTGATE MAIL, Suite 100 San Diego, CA 92121 Tel: (619) 350-2500 Fax: (619) 350-2500	
6. DESIGNER'S NAME	ARCHITECT ERMAN PAUL & ASSOCIATES, INC. CONTACT: MARK DAVIS 4405 EASTGATE MAIL, Suite 100 San Diego, CA 92121 Tel: (619) 450-1000 Fax: (619) 450-0100	
7. CONSTRUCTION TYPE	BUILDING 4: TYPE V-M, FULLY SPRINKLERED. BUILDING 5: TYPE V-M FULLY SPRINKLERED. BUILDING 6: TYPE V-M, FULLY SPRINKLERED. P-4: TYPE V-M FULLY SPRINKLERED	
8. OCCUPANCY CLASSIFICATION	BUILDING 4, BUILDING 5, & BUILDING 6: GROUP 2 P-4: GARAGE: GROUP 2-2	
9. CALIFORNIA BUILDING CODE	2007 CALIFORNIA BUILDING CODE (TITLE-24)	
10. ZONING REGULATION AND/OR OVERLAY DESIGNATION	ZONING: OS-1-2	
11. PROJECT ID NUMBER	N/A	
12. NUMBER OF STORES	BUILDING 4: TWO-STORY BUILDING. BUILDING 5: ONE-STORY BUILDING. BUILDING 6: TWO-STORY BUILDING. P-4: ONE SUBTERRANEAN & ONE GRADE LEVEL	
13. BUILDING HEIGHT	BUILDING 4: 28'-0". BUILDING 5: 27'-0". BUILDING 6: 28'-0". AS MEASURED FROM TOP OF FIRST FLOOR BUILDING SLAB TO TOP OF BUILDING PARAPET	
14. GROSS FLOOR AREA	BUILDING 4: 18,000 SF. BUILDING 5: 4,600 SF. BUILDING 6: 23,800 SF. P-4: 78,236 SF	
15. FLOOR AREA BENEATH COVERED LOT	FOR LOT 1: 201,234 / 1,461,674 SF = 14 FOR LOT 2: 193,127 / 1,398,000 SF = 14	
16. EXISTING USE/OCCUPANCY	PARKING LOT	
17. PROVIDED USE/OCCUPANCY	BUILDING 4, BUILDING 5 & BUILDING 6: OFFICE / WORKS CONTRACTUAL LEASE SPACE P-4: PARKING OF MOTOR VEHICLES	
18. YEAR OF CONSTRUCTION BY ALL EXISTING STRUCTURES	N/A	
19. CONDITION OF SOIL	CONTACTED FILE	

Prepared By:	Erman Paul & Associates	Revision 14:	
Name:	Erman Paul & Associates	Revision 15:	
Address:	4500 La Jolla Village Drive, 100 San Diego, CA 92122	Revision 16:	08-08-08
Phone #:	619-450-0000	Revision 17:	08-08-08
Fax #:	619-450-0000	Revision 18:	08-08-08
Project Address:		Revision 19:	08-24-03
San Diego, CA 92107		Revision 20:	7-14-02
		Revision 21:	08-08-08
		Revision 22:	
		Revision 23:	
		Revision 24:	
		Revision 25:	
		Revision 26:	
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		Revision 98:	
		Revision 99:	
		Revision 100:	

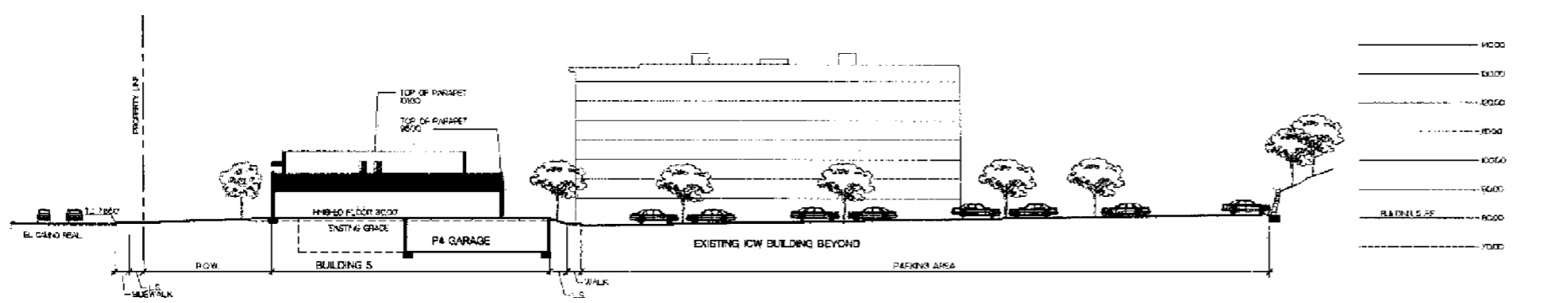
ATTACHMENT 1.6



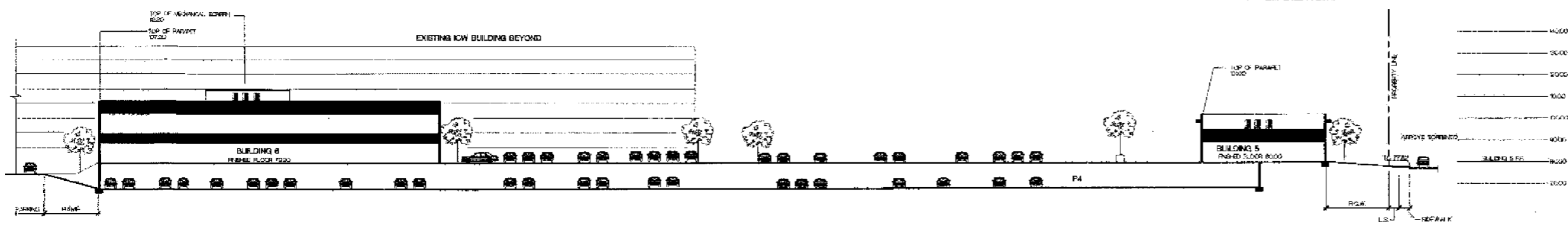
SECTION 1 - 1  
SCALE: 1" = 20'-0"



SECTION 2 - 2  
SCALE: 1" = 20'-0"



SECTION 3 - 3  
SCALE: 1" = 20'-0"



SECTION 4 - 4  
SCALE: 1" = 20'-0"

1. PROJECT TEAM	<b>CIVIL ENGINEER</b> RICK ENGINEERING CONTACT: GARY OSTERMAD 1620 PINE ROAD SAN DIEGO, CA 92108 TEL: (619) 291-0707 FAX: (619) 291-1153	<b>LANDSCAPE ARCHITECT</b> MWP/ELTZ CONTACT: MIKE NICHOLS 142 JENNY CREEK SANTA BARBARA, CA 93101 TEL: (805) 491-0866 FAX: (805) 491-0800
2. RECORD PERMITS/APPROVALS	APPROVAL FOR THREE ADDITIONAL BUILDINGS: BUILDING 4, BUILDING 5, BUILDING 6 LOCATED WITHIN THE EXISTING TORREY RESERVE DEVELOPMENT. CROSSROADS FOR THE SITE WILL BE SHOWN AND ANY OTHER COMMENTS FROM THE BUILDING DEPT. FEARED ON 1/18/05. ALSO, THE 100% SITE PLAN FOR THE 54,000 SQ. FT. TORREY RESERVE DEVELOPMENT WILL BE SUBMITTED TO THE SAN DIEGO COUNTY PLANNING DEPARTMENT FOR REVIEW.	
3. LEGAL DESCRIPTION	PARCELS 1, 2, 3, 4, 5 & 6 OF MAP NO. 17548 FILED IN THE OFFICE OF THE COUNTY RECORDER IN SAN DIEGO COUNTY, OCTOBER 13, 2000.	
4. UTILITY'S PARCEL NUMBER	307-302-56	307-302-54
	307-302-57	307-302-58
5. OWNER'S NAME	PACIFIC TORREY RESERVE HOLDINGS LP CONTACT: JOHN O'BRIEN/PLATT 1425 E. CENTER ROAD, SUITE 200 SAN DIEGO, CA 92108 TEL: (619) 300-2800 FAX: (619) 300-2500	
6. ARCHITECT	BRIAN PAUL & ASSOCIATES, INC. CONTACT: MARK DAVIS 4505 EASTGATE MALL, SUITE 100 SAN DIEGO, CA 92108 TEL: (619) 453-1000 FAX: (619) 453-1045	
7. CONSTRUCTION TYPE	BUILDING 4: 100% VULNERABLE SPRINKLERED. BUILDING 5: 100% VULNERABLE SPRINKLERED. BUILDING 6: 100% VULNERABLE SPRINKLERED. P-4: 100% FULLY SPRINKLERED.	
8. OCCUPANCY CLASSIFICATION	BUILDING 4: BUILDING 5: BUILDING 6: GROUP 1 P-4: PARKING: GROUP 1-2	
9. NATIONAL BUILDING CODE	2007 CALIFORNIA BUILDING CODE (CBC-07)	
10. ZONING ORDINANCE AND/OR OVERLAY REGULATIONS	ZONING: CO-1-2	
11. PROJECT ID NUMBER	4-001	
12. NUMBER OF STORIES	BUILDING 4: 100-STORY BUILDING. BUILDING 5: ONE STORY BUILDING. BUILDING 6: 100-STORY BUILDING. P-4: ONE SUBTERRANEAN & ONE GROUND LEVEL.	
13. BUILDING HEIGHT	BUILDING 4: 28'-0". BUILDING 5: 21'-0". BUILDING 6: 28'-0" AS MEASURED FROM TOP OF FINISH FLOOR BUILDING 4 TO TOP OF BUILDING DECK 1.	
14. BRICK LAYUP AREA	BUILDING 4: 13,000 SF. BUILDING 5: 4,500 SF. BUILDING 6: 20,000 SF. P-4: 78,336 SF.	
15. RAMP AREA RATIO	FOR ENTIRE LOT 1: 20.724 / 5,481,610 SF = 0.4 FOR ENTIRE LOT 1 & 2: 16.277 / 7,246,400 SF = 0.2	
16. EXISTING USE/PROPOSED PARKING LOT		
17. PROPOSED USE/OCCUPANCY	BUILDING 4: BUILDING 5: BUILDING 6: OFFICE / WATCH COMMERCIAL LEASE SPACE P-4: PARKING OF MOTOR VEHICLES	
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES	N/A	
19. CONDITION OF SOIL	COMPACTED FILL	

Prepared By:	BRIAN PAUL & ASSOCIATES, INC.	Revision 16:	
Address:	4505 EASTGATE MALL, SUITE 100 SAN DIEGO, CA 92108 (619) 453-1000 (619) 453-1045	Revision 15:	
Project Address:	1620 PINE ROAD SAN DIEGO, CA 92108	Revision 14:	05-04-08
Project Name:	TORREY RESERVE 07	Revision 13:	05-05-08
Sheet Title:	SITE SECTIONS	Revision 12:	07-01-07
		Revision 11:	05-02-07
		Revision 10:	01-24-06
		Revision 9:	07-11-05
		Revision 8:	05-03-05
		Revision 7:	05-03-05
		Revision 6:	05-03-05
		Revision 5:	05-03-05
		Revision 4:	05-03-05
		Revision 3:	05-03-05
		Revision 2:	05-03-05
		Revision 1:	05-03-05

**DURING CONSTRUCTION BMP'S**

- THE FOLLOWING MEASURES WOULD REDUCE LEVELS OF SOIL SEDIMENTATION AND RUNOFF DURING CONSTRUCTION ACTIVITIES AND SHALL BE INCORPORATED IN FINAL PROJECT GRADING PLANS.
- GRADING PLANS SHALL INCORPORATE SHORT-TERM EROSION CONTROL MEASURES INCLUDING PLANTING ON DISTURBED AND MANUFACTURED SLOPES, GRADING TO FACILITATE GRASS TAKE, AND THE USE OF MAT BAILS AND SMILES AT THE TOP OF SLOPES AND CONSTRUCTION OF VEGETATIVE BARRIERS TO THE SATISFACTION OF THE CITY ENGINEER AND THE ENVIRONMENTAL REVIEW MANAGER. ANY SPECIAL EROSION CONTROL MEASURES RECOMMENDED BY SURVEYOR OR GEOTECHNICAL INVESTIGATIONS SHALL BE IMPLEMENTED.
  - HYDROSEEDING AND LANDSCAPING OF ANY CUTFILL SLOPES SHALL BE COMPLETED WITHIN 30 DAYS OF COMPLETION OF GRADING ACTIVITIES.
  - ARTIFICIAL GROUND COVERS, MAT BAILS, AND CATCH BASINS TO RETAIN THE RAIN OF RUNOFF FROM MANUFACTURED SLOPES SHALL BE INSTALLED BY SOFTENING DOURING WET WEATHER SEASON, NOVEMBER 1 THROUGH APRIL.
  - FINE PARTICULATES IN GEOLGIC MATERIALS USED TO CONSTRUCT THE SURFICIAL LAYERS OF MANUFACTURED SLOPES SHALL NOT BE SCOURED UNLESS A SUITABLE ALTERNATIVE IS NOT AVAILABLE.
  - TEMPORARY SEDIMENTATION AND DESILTING BASINS BETWEEN CATCH BASINS AND STREAMS SHALL BE PROVIDED BOUND GRADING.
  - CATCH BASINS SHALL BE PROVIDED DURING GRADING.
  - NO GRADING SHALL OCCUR BETWEEN OCTOBER 1 AND APRIL 30 UNLESS AN EROSION CONTROL SYSTEM HAS BEEN MADE A PART OF GRADING PLANS TO THE SATISFACTION AND APPROVAL OF THE CITY ENGINEER.
  - ALL MANUFACTURED SLOPES SHALL BE IMMEDIATELY RESTORED OR HYDROSEEDING WITH SOIL-RESISTANT PLANT MATS AND IRRIGATED TO ENSURE PLANT COVERAGE PRIOR TO THE NEXT RAINY SEASON. AREAS TO BE INCLUDED AS RESTORED OPEN SPACE PLANTINGS SHALL BE OPEN TO THE PUBLIC FOR WALKING AND BIKING. RESTORED NATIVE PLANT AREAS SHALL BE INSTALLED TO PREVENT SCOURING OF MATERIALS WITH WATERWAYS.
  - IN AREAS WITH WATERWAYS, CONSTRUCTION SEDIMENTATION CONTROL MEASURES SUCH AS INTERIM DESILTING BASINS, GRAVEL BARRIERS, MAT BAILS OR SMILES, AND THE USE OF SLOPE PROTECTIVE GEOTEXTILES, MAT BAILS OR SMILES TO STABILIZE GRADDED SLOPES SHALL BE INSTALLED TO PREVENT SCOURING OF MATERIALS WITH WATERWAYS.
  - THE CONTRACTOR SHALL PROVIDE MAINTENANCE AND REPAIR OF STORM AND DRAINAGE CONTROL FACILITIES AND IRRIGATION SYSTEMS DURING CONSTRUCTION.

**POST CONSTRUCTION BMP'S**

- THE FOLLOWING MEASURES WOULD REDUCE LEVELS OF PEAK RUNOFF SEDIMENTATION AND OTHER POLLUTANTS AFTER CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED AND SHALL BE INCORPORATED INTO THE FINAL PROJECT GRADING PLANS.
- ALL PERMANENT CONTROL MEASURES SHALL BE PRIVATELY MAINTAINED TO THE SATISFACTION OF THE CITY ENGINEER.
  - PROVIDING AND MAINTAINING PROPER SURFACE DRAINAGE IS IMPERATIVE TO ASSURE SOIL STABILITY AND TO REDUCE EROSION. ALL GRADDED AREAS SHALL BE LANDSCAPED WITH APPROPRIATE VEGETATION AND SOIL STABILIZATION. VEGETATION AND LANDSCAPING SHALL BE MAINTAINED TO THE SATISFACTION OF THE CITY ENGINEER.
  - ALL GRADDED AREAS SHALL HAVE DRAINAGE SWALES WHICH COLLECT STORM AND IRRIGATION RUNOFF AWAY FROM STRUCTURES AND TOPS OF SLOPES.
  - AN INTEGRAL PART OF ACHIEVING ADEQUATE POLLUTANT REMOVAL FROM COLLECTED STORM WATER IS THE IMPLEMENTATION OF SOURCE CONTROL PRACTICES THAT REDUCE THE AMOUNT OF CONTAMINANTS OF THE GROUND SURFACE THAT CAN COME IN CONTACT WITH SURFACE FLOWS. THESE PRACTICES INCLUDE:
    - ENCOURAGE PROPER USE AND DISPOSAL OF FERTILIZERS, PESTICIDES, AND HERBICIDES INCLUDING THE APPROPRIATE FREQUENCY OF APPLICATION OF THESE CHEMICALS.
    - ENCOURAGE ALTERNATIVE METHODS FOR CONTROLLING WEEDS AND INSECTS USING MECHANICAL AND OTHER TURTLE METHODS.
    - RECYCLE CHEMICALS TO THE EXTENT POSSIBLE AND DISPOSE OF MATERIALS IN A SAFE AND PROPER MANNER.
  - ALL SLEETS AND CATCH BASINS COLLECTING RUNOFF FROM IMPROVED PARKING AREAS SHALL BE DESIGNED WITH FLOW TOLERANCE. ALL RUNOFF DRAINAGE SHALL BE FILTERED PRIOR TO DISCHARGE INTO THE STORM DRAIN SYSTEM.
  - ALL STORM WATER RUNOFF SHALL BE OBTAINED TO COASTAL COMMISSION REQUIREMENTS PRIOR TO LEAVING THE SITE.

**DRAINAGE DESCRIPTION**

THE SOUTHERN PORTION OF THE SITE SURFACE DRAINS WESTWARD TO A CATCH BASIN IN THE PARKING LOT. FLOWS ARE THEN CONVEYED THROUGH AN EXISTING (PROPOSED) PRIVATE SYSTEM WHICH DISCHARGES INTO THE PUBLIC SYSTEM IN APPROXIMATELY SERRITO ROAD.

THE NORTHERN PORTION OF THE PROJECT DRAINS NORTHERLY TO AN EXISTING PRIVATE STORM DRAIN SYSTEM. THESE FLOWS ARE THEN OBTAINED UNDERGROUND FROM TO DISCHARGE INTO THE PUBLIC STORM DRAIN SYSTEM IN EL CAMINO REAL.

**TOPOGRAPHY**

TOPOGRAPHY WAS OBTAINED FROM RECORD DATA BY RICK ENGINEERING COMPANY ON 04-10-03.

**REFERENCE DRAWINGS**

CITY OF SAN DIEGO DPG NO. 27731-0  
 CITY OF SAN DIEGO DPG NO. 26347-0  
 CITY OF SAN DIEGO DPG NO. 26336-0

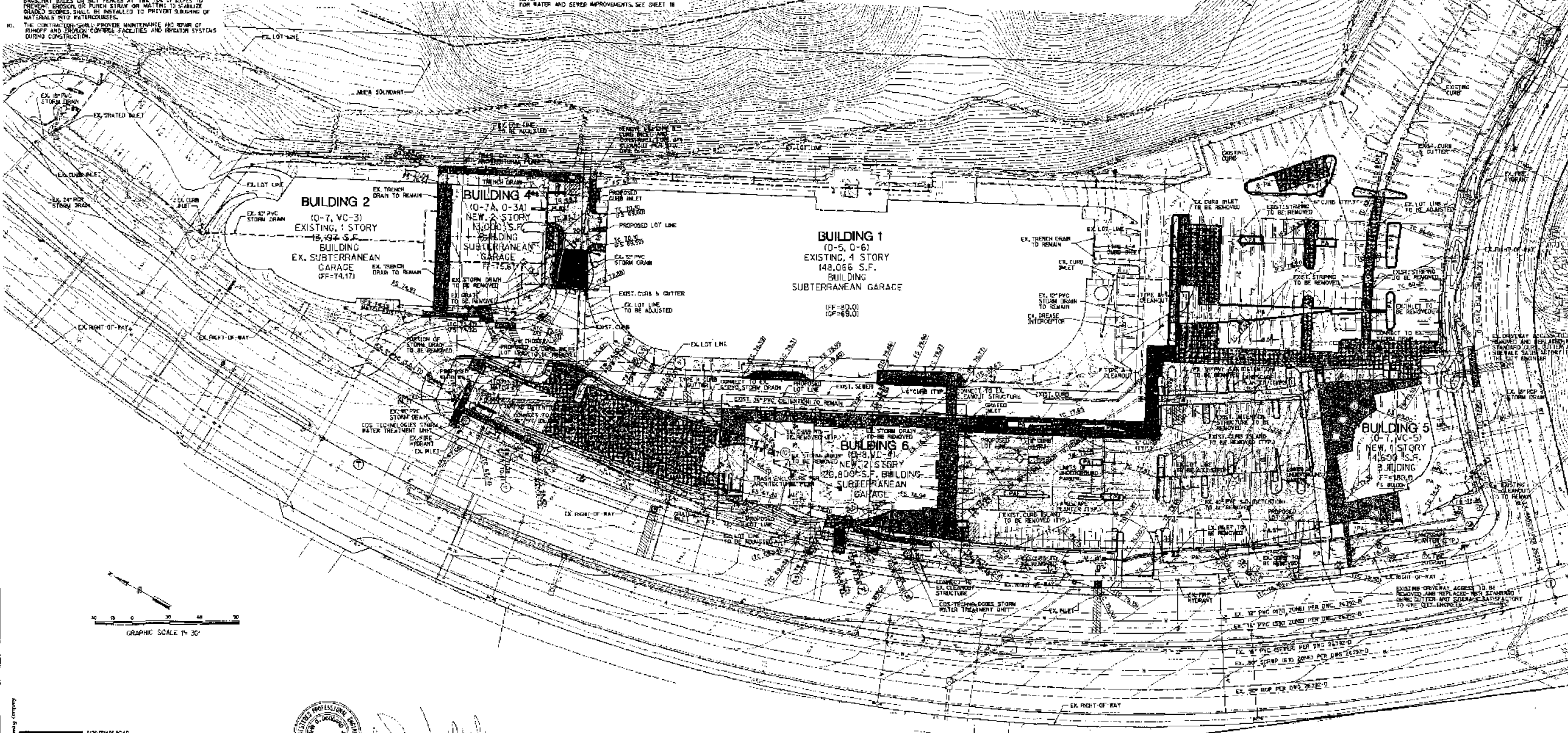
**GRADING DATA**

TOTAL SITE AREA: 12.4 ACRES (PROPOSED LOTS 1-6)  
 TOTAL AMOUNT OF SITE TO BE GRADED: 0.74 ACRES  
 PERCENT OF TOTAL SITE GRADED: 5.97%  
 TOTAL AMOUNT OF SITE TO BE PAVED: 0.77 ACRES  
 PERCENT OF TOTAL SITE TO BE PAVED: 6.20%  
 AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 2.2 ACRES  
 PERCENT OF TOTAL SITE WITH 25 PERCENT SLOPES OR GREATER: 17.74%  
 AMOUNT OF CURB: 28,000 CY (INCLUDES UNDERGROUND PARKING)  
 AMOUNT OF FILL: 0 CY  
 MAXIMUM HEIGHT OF FILL SLOPES: 5 FEET 2.0:1 SLOPE RATIO  
 MAXIMUM HEIGHT OF CUT SLOPES: 4.0 FEET  
 AMOUNT OF EXPORT SOIL: 28,000 CY  
 LENGTH OF RETAINING WALLS: 410 FT  
 MAX HEIGHT OF RETAINING WALLS: 10 FT

NOTE:  
 FOR WATER AND SEWER IMPROVEMENTS, SEE SHEET 18

**LEGEND**

- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- RIGHT-OF-WAY
- EXISTING CONTOUR ELEV
- PROPOSED CONTOUR ELEV
- DAYLIGHT LINE
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING WATER
- PROPOSED WATER
- EXISTING FIRE SERVICE
- PROPOSED FIRE SERVICE
- EXISTING SIGNALIZED INTERSECTION
- EXISTING RETAINING WALL
- EXISTING RETAINING WALL
- PROPOSED RETAINING WALL
- PROPOSED CURB
- PROPOSED PAVING
- PROPOSED CONCRETE
- EXPOSED WALL HEIGHT



Development Summary

PROJECT TEAM	CIVIL ENGINEER	LANDSCAPE ARCHITECT
ARCHITECT	RICK ENGINEERING	M.M. PELTZ
BRIAN PAUL & ASSOCIATES, INC.	RICK ENGINEERING	CONTACT: MARK PELTZ
CONTACT: MARK DAAMS	CONTACT: DARYL OSTEGARD	143 SOUTH GERRITIN
4438 SERRANO VALLEY BLVD. 100	SAN DIEGO, CA 92108	SAN DIEGO, CA 92105
SAN DIEGO, CA 92121	TEL: (619) 291-0707	FAX: (619) 441-0808
TEL: (619) 453-1200	FAX: (619) 291-0707	FAX: (619) 441-0808
FAX: (619) 453-1913	FAX: (619) 291-0707	FAX: (619) 441-0808

2. RECORD PLANS/APPROVALS

APPROVAL FOR THESE ADDITIONAL RECORDS FOR THE ALTERNATE 5 BUILDINGS IS LOCATED WITHIN THE EXISTING TRAFFIC SIGNAL DEVELOPMENT, DISCHARGES FROM THE SITE ARE TO BE MADE INTO THE EXISTING STORM DRAIN SYSTEM. THE TRAFFIC SIGNALS ARE LOCATED ON A 2.7M WIDE RIGHT-OF-WAY (R.O.W.) ON THE SOUTH SIDE OF SERRANO VALLEY BLVD. THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED RECORD PLANS 18-08-03.

3. LEAD OCCUPATION

PAGES 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

4. ADDRESS/PHONE NUMBER

APR: 307-780-35  
 307-380-84  
 307-380-87  
 307-380-95

5. OWNER'S NAME

PACIFIC TORREY RESERVE HOLDINGS, LP  
 CONTACT: JOHN DAMERMAN  
 1655 EL CAMINO REAL SUITE 200  
 SAN DIEGO, CA 92108  
 TEL: (619) 291-2800  
 FAX: (619) 291-2800

6. DESIGNER'S NAME

BRIAN PAUL & ASSOCIATES, INC.  
 CONTACT: MARK DAAMS  
 4438 SERRANO VALLEY BLVD. 100  
 SAN DIEGO, CA 92121  
 TEL: (619) 453-1200  
 FAX: (619) 453-1913

7. CONTRACTOR TYPE

GRADING & TYPE FULLY SPONSORED, BUILDING & TYPE & FULLY SPONSORED, BUILDING & TYPE FULLY SPONSORED, P&E TYPE FULLY SPONSORED

8. OCCUPANCY CLASSIFICATION

BUILDING 1: RESIDENTIAL S.F. BUILDING 4: GROUP 1  
 P&E: GROUP 1

9. CALIFORNIA BUILDING CODE

2008 CALIFORNIA BUILDING CODE (CBC)

10. ZONING DESIGNATION AND/OR HEIGHT RESTRICTIONS

COMMERCIAL (C-2)

11. PROJECT NUMBER

18-08-03

12. NUMBER OF STORIES

BUILDING 1: 4-STORY BUILDING, BUILDING 4: 1-STORY BUILDING, BUILDING 5: 1-STORY BUILDING, BUILDING 6: 2-STORY BUILDING

13. BUILDING HEIGHT

BUILDING 1: 34'-0" MAXIMUM HEIGHT OF BUILDING 4: 10'-0" MAXIMUM HEIGHT OF BUILDING 5: 10'-0" MAXIMUM HEIGHT OF BUILDING 6: 20'-0" MAXIMUM HEIGHT OF BUILDING 6: 20'-0"

14. GROSS FLOOR AREA

BUILDING 1: 148,066 S.F., BUILDING 2: 15,494 S.F., BUILDING 3: 8,071 S.F., BUILDING 4: 13,000 S.F., BUILDING 5: 14,600 S.F., BUILDING 6: 229,800 S.F.

15. FLOOR AREA RATIO

FLOOR AREA RATIO: 1.0:1, BUILDING 1: 1.0:1, BUILDING 2: 1.0:1, BUILDING 3: 1.0:1, BUILDING 4: 1.0:1, BUILDING 5: 1.0:1, BUILDING 6: 1.0:1

16. EXISTING USE/APPROPRIATE FLOORING LOT

PARKING LOT

17. PROPOSED USE/APPROPRIATE FLOORING LOT

BUILDING 1: 4-STORY BUILDING, BUILDING 4: 2-STORY BUILDING, BUILDING 5: 1-STORY BUILDING, BUILDING 6: 2-STORY BUILDING

18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES

N/A

19. GROWTH OF SOIL

CONTRACTED FILL

20. VIGNETTE MAP

21. PREPARED BY

Name: Brian Paul & Associates  
 Address: 4438 EASTGATE MALL #100  
 San Diego, CA 92121  
 Phone: (619) 453-1200  
 Fax: (619) 453-1913

22. PROJECT ADDRESS

Urbano Real  
 San Diego, CA 92108

23. PROJECT NAME

Torrey Reserve Phase II

24. SHEET TITLE

SHEET 12  
 GRADING PLAN

25. REVISIONS

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	04-08-03
Revision 10:	02-02-03
Revision 9:	12-08-02
Revision 8:	06-02-02
Revision 7:	11-02-01
Revision 6:	07-24-01
Revision 5:	07-14-01
Revision 4:	02-08-01
Revision 3:	02-02-01
Revision 2:	01-14-01
Revision 1:	01-14-01
Original Date:	01-14-01
Sheet:	12 OF 16
DPN:	

**RICK ENGINEERING COMPANY**  
 500 PENNS ROAD  
 SAN DIEGO, CA 92110  
 TEL: (619) 453-1200  
 FAX: (619) 453-1913

Professional Engineer Seal for Mark Daams, State of California, No. 45312

JOHN D. COLEMAN, INC. 4438 EASTGATE MALL #100 SAN DIEGO, CA 92121

**TOPOGRAPHY**  
TOPOGRAPHY WAS DERIVED FROM RECORD DATA BY RICK ENGINEERING COMPANY ON 11-10-03

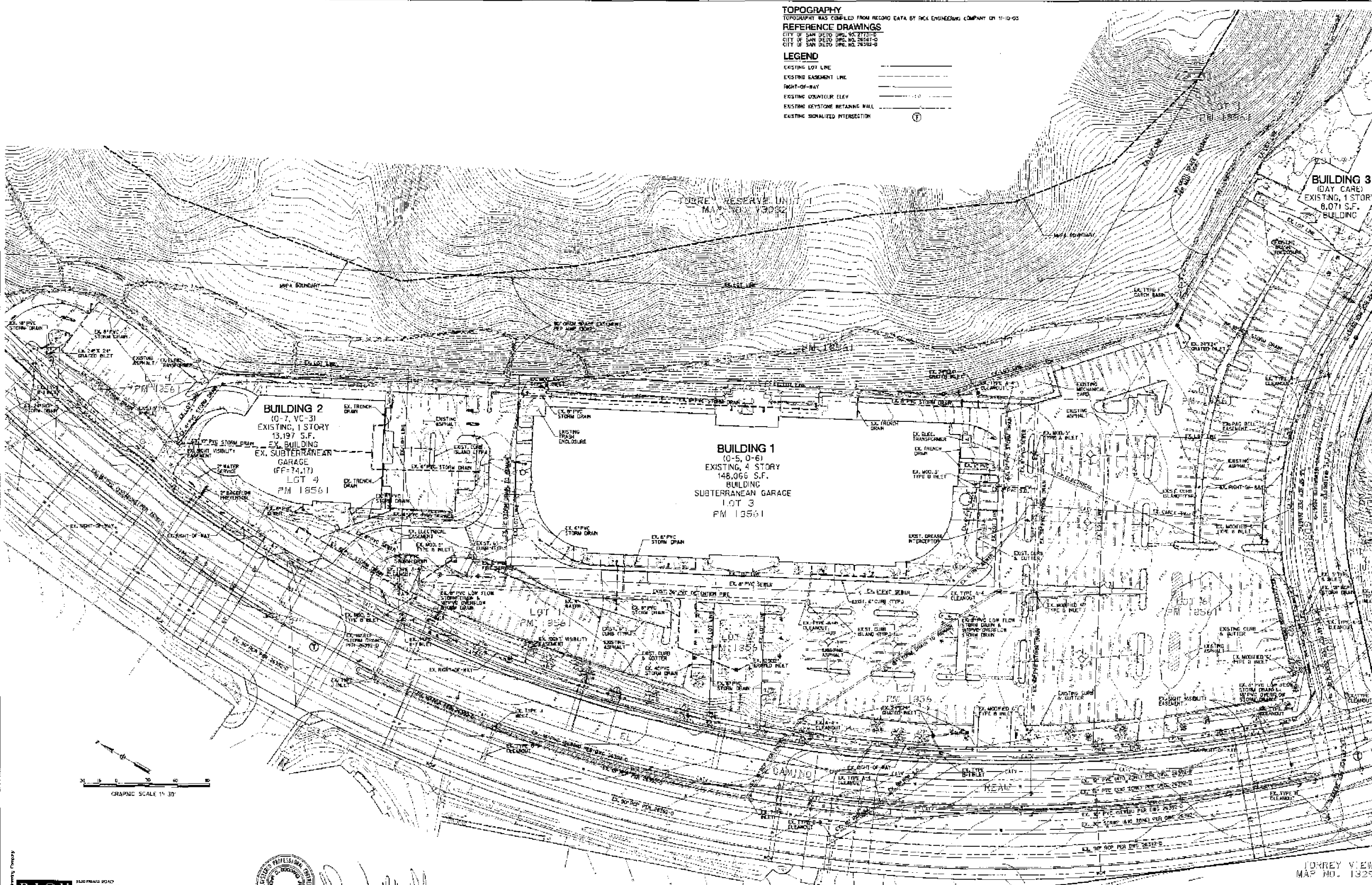
**REFERENCE DRAWINGS**  
CITY OF SAN DIEGO DPG NO. 27272-D  
CITY OF SAN DIEGO DPG NO. 26667-D  
CITY OF SAN DIEGO DPG NO. 26382-D

**LEGEND**

- EXISTING LOT LINE
- EXISTING EASEMENT LINE
- RIGHT-OF-WAY
- EXISTING CURB/TOE ELEV.
- EXISTING KEYSTONE RETAINING WALL
- EXISTING SIGNALIZED INTERSECTION

Development Summary

- |  |   |   |
|--|---|---|
| <b>PROJECT TEAM</b>  | <b>CIVIL ENGINEER</b>   | <b>LANDSCAPE ARCHITECT</b>  |
| <b>ARCHITECT</b>   | <b>ROCK ENGINEERING</b>   | <b>M.W. PELTZ</b>   |
| BRYAN PAUL & ASSOCIATES, INC.<br>CONTACT: MARK DAVIS<br>4435 EASTGATE MANE, SUITE 100<br>SAN DIEGO, CA 92121<br>TEL: (619) 453-1200<br>FAX: (619) 453-1913 | CONTACT: GARY OSTEGARD<br>16025 FIFTH AVENUE<br>SAN DIEGO, CA 92128<br>TEL: (619) 591-0707<br>FAX: (619) 591-4162 | CONTACT: MARE PELTZ<br>143 SOUTH CARSON<br>SOLANA BEACH, CA 92075<br>TEL: (949) 481-0888<br>FAX: (949) 481-8489 |
- REQUIRED FORMS/APPROVALS:  
APPLICANT FOR: 1. ADDITIONAL BUILDING 4 BUILDING 5 BUILDING 6  
LOCATED WITHIN THE EXISTING TORREY RESERVE DEVELOPMENT. CONSIDERING THE SITE AND ITS CURRENT USE, AND ADJACENT ZONING, THE OFFICE BUILDINGS ARE LOCATED ON A 2.36 ACRE NET AREA LOT WITH THE 34 ACRE TORREY RESERVE DEVELOPMENT. THE PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PLATIVITY PERMIT NO. 98-0048.
  - LEGAL DESCRIPTION:  
PARCELS 1, 2, 3, 4, 5 AND 6 OF SAN DIEGO COUNTY, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DISTRICT 13, BLOCK 1.
  - ASSOCIATED PARCEL NUMBER:  
APN 333-130-06 337-300-54 337-300-51 337-300-18 337-300-29
  - OWNER NAME:  
PACIFIC TORREY RESERVE HOLDINGS, LP  
CONTACT: JOHN CHAMBERLAIN  
1495 D CAMINO REAL, SUITE 200  
SAN DIEGO, CA 92130  
TEL: (619) 550-2600  
FAX: (619) 550-2600
  - ARCHITECT:  
BRYAN PAUL & ASSOCIATES, INC.  
CONTACT: MARK DAVIS  
4435 EASTGATE MANE, SUITE 100  
SAN DIEGO, CA 92121  
TEL: (619) 453-1200  
FAX: (619) 453-1913
  - CONSTRUCTION TYPE:  
BUILDING 1: 100% FULLY STABILIZED. BUILDING 2: 100% FULLY STABILIZED.  
BUILDING 3: 100% FULLY STABILIZED. BUILDING 4: 100% FULLY STABILIZED.
  - OCCUPANCY CLASSIFICATION:  
BUILDING 1: BUILDING 3 & BUILDING 4: GROUP B  
BUILDING 2: GROUP B DIVISION 3
  - CALIFORNIA BUILDING CODE:  
1999 CALIFORNIA BUILDING CODE TITLE-26
  - ZONING REGULATIONS AND/OR OVERLAY DESIGNATIONS:  
ZONING: CO-1-2
  - PROJECT NUMBER:  
16-001
  - NUMBER OF STORIES:  
BUILDING 1: TWO-STORY BUILDING. BUILDING 2: ONE-STORY BUILDING.  
BUILDING 3: TWO-STORY BUILDING. BUILDING 4: ONE-STORY BUILDING.
  - BUILDING HEIGHT:  
BUILDING 1: 28'-0" ST. BUILDING 2: 21'-0" ST. BUILDING 3: 21'-0"  
IS MEASURED FROM TOP OF FIRST FLOOR FINISH TO TOP OF BUILDING PARAPET.
  - GROUND FLOOR AREA:  
BUILDING 1: 148,066 S.F. BUILDING 2: 13,197 S.F.  
BUILDING 3: 6,071 S.F. BUILDING 4: 4,600 S.F.
  - FLOOR AREA RATIO:  
FOR BUILDING 1: 207.13% / 0.6181 SF / 1.14  
FOR BUILDING 2: 18.3% / 0.0547 SF / 0.10
  - EXISTING UTILIZATION:  
PARCELS 1-6
  - PROPOSED UTILIZATION:  
BUILDING 1: BUILDING 3 & BUILDING 4: OFFICE / VISITOR OPERATIONAL LEASE SPACE  
2-6: PARKING OF MOTOR VEHICLES
  - PLAN OF CONSTRUCTION OF ALL EXISTING STRUCTURES:  
N/A
  - CRITERIA OF THE EXISTING FILL:  
N/A
- Prepared By:  
Name: Bryan Paul & Associates  
Address: 4435 EASTGATE MANE, SUITE 100  
San Diego, CA 92121  
Phone: (619) 453-1200  
Fax: (619) 453-1913
- Project Address:  
El Camino Road  
San Diego, CA 92130
- Project Name:  
Torrey Reserve Phase II
- TORREY VIEW  
MAP NO. 13239
- |                |          |
|----------------|----------|
| Revision 14:   |          |
| Revision 13:   |          |
| Revision 12:   |          |
| Revision 11:   | 05-08-03 |
| Revision 10:   | 03-02-03 |
| Revision 9:    | 02-19-03 |
| Revision 8:    | 08-22-02 |
| Revision 7:    | 01-01-03 |
| Revision 6:    | 03-24-03 |
| Revision 5:    | 1-14-01  |
| Revision 4:    | 12-18-02 |
| Revision 3:    | 1-25-02  |
| Revision 2:    | 3-18-01  |
| Revision 1:    | 5-24-01  |
| Original Date: | 11-11-00 |
| Sheet:         | 15 OF 18 |



**RICK ENGINEERING COMPANY**  
3480 FRANK ROAD  
SAN DIEGO, CA 92118  
619.293.0777  
619.293.9911

Professional Engineer Seal for John B. Goodard, Jr., No. 10022, State of California.

DATE: 4/09

CITY OF SAN DIEGO  
LANDSCAPE CONCEPT PLAN/BRUSH  
MANAGEMENT PROGRAM

BOTANICAL DESCRIPTION	COMMON NAME	PERCENTAGE/SIZE
<b>PLANT LEGEND</b>		
STREET TREE TO MATCH EXISTING STREET TREES		
PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	100% - 24" BOX
LARGE ACCENT TREE TO MATCH EXISTING TREES		
FRAXINUS TORREYANA	TORREY PINE	100% - 36" BOX
PARKING LOT TREE TO MATCH EXISTING TREES		
CUPANOPSIS ANACARDIACIDES	CARROTHOOD	100% - 36" BOX AND EXISTING CARROTHOOD
COLOR ACCENT TREE TO MATCH EXISTING TREES		
FRUNUS CERASIFERA	PURPLE-LEAF PLUM	40% - 36" BOX 60% - 24" BOX
ACCENT TREE TO MATCH EXISTING TREES		
STYAGNOPSIS RHAMNIFOLIUM	GREEN PALM	100% - 36" BOX
FRUNUS CERASIFERA	PURPLE-LEAF PLUM	100% - 36" BOX
SMALL ACCENT TREES (20 UNDER 12" MATURE HEIGHT)		
ASBUTUS UNEDOCOMPACTA	STRANDBERRY TREE	100% - 24" BOX
<b>PARKING LOT AND PERIMETER SCREENINGS &amp; SHRUBS</b>		
RIAPHIDOLEPIS NDICA	HAFFORD	15% - 5 GALLON
LEPTOGONUM KOPARUUM	NEW ZEALAND TEA TREE	50% - 5 GALLON
MIRROUR PLANT	MIRROUR PLANT	30% - 1 GALLON
DROUGHT TOLERANT NATIVE GRASSES	ORNAMENTAL GRASSES	
GAJARA LINDLAYERI	FLAX	
FRAXINUS SPECIES	ROSEMARY	
ROSMARINUS SPECIES	TOYON	
HETEROPHELES AMBULIFOLIA	LEMONADE BERRY	
RHUS INTEGRIFOLIA	CALIFORNIA LILAC	
CEANOTHUS SPECIES	ROCKROSE	
CISTUS SPECIES	GREVILLEA	
GREVILLEA		
<b>ACCENT SHRUBS (INCLUDES VARIETIES FROM ABOVE)</b>		
ANGIOSANTHUS HYBRID	KANGAROO PAK	80% - 5 GALLON
SALVIA SPECIES	SPANISH LAVENDER	20% - 1 GALLON
LYGNEOLA STORCHAS	FLAX	
BOUGAINVILLEA	BOUGAINVILLEA	
<b>LOW SHRUBS AND GROUND COVER PLANTINGS</b>		
NOTE: PLANTINGS WILL HAVE A VARIETY OF SPECIES PER THE CITY'S REQUEST.		
ROSMARINUS SPECIES	ROSEMARY	20% - 3 GALLON
LANTANA SPECIES	LANTANA	80% - 1 GALLON
GAZANIA SPECIES	GAZANIA	
CISTUS SPECIES	ROCKROSE	
DROUGHT TOLERANT NATIVE GRASSES	ORNAMENTAL GRASSES	
CEANOTHUS SPECIES	CALIFORNIA LILAC	
<b>CLIMBING / SCREENING VINE</b>		
HIGHS REPTENS	CREeping FIG	100% - 3 GALLON
<b>EXISTING TREES TO REMAIN</b>		
ARECASTRUM RHAMNIFOLIUM (GREEN PALM)	FRUNUS CERASIFERA (PURPLE PLUM)	POPULUS FREMONTI (COTTONWOOD)
PLATANUS RACEMOSA (CALIFORNIA SYCAMORE)	WASHINGTONIA ROBUSTA (MEXICAN FAN PALM)	PINUS TORREYANA (TORREY PINE)
CUPANOPSIS ANACARDIACIDES (CARROTHOOD)		

**LANDSCAPE NOTES**

- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR ANY IRRIGATION DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND LITTER CONDITION AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISPLACED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER CONDITION OF THE PERMIT.
- PLANTING: ALL SHRUB AND GROUND COVER AREAS TO RECEIVE A 2" LAYER OF MULCH.
- EXISTING AND VISUALLY ACCEPTABLE PARKING LOT TREES BEING DISPLACED BY THE PROPOSED BUILDINGS AND PARKING CONFIGURATION SHALL BE BOVED AND TRANSPLANTED WITHIN THE PROJECT. TREES THAT ARE INCAPABLE TO REMAIN SHALL BE THINNED AND PRUNED FOR THE DIRECTION OF A CERTIFIED ARBORIST.
- MINIMUM TREE SEPARATION DISTANCE: MINIMUM DISTANCE TO STREET TREE TRAFFIC SIGNAL (FROM RIGHT OF WAY) OR STREET UNDERGROUND UTILITY LINES - 5 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET ORIGINAL CENTERLINE - 10 FEET INTERSECTIONS (INTERSECTING CURB LINES OF THE STREET) - 25 FEET
- GRADED PAD AREAS SHALL BE HYDROSEDED TO PREVENT EROSION IN THE EVENT THAT CONSTRUCTION OF BUILDING(S) DOES NOT OCCUR WITHIN 90 DAYS OF FOLLOWING GRADING.
- A CURB OF AT LEAST 6" IN HEIGHT SHALL BE PROVIDED TO ALL LANDSCAPE AREAS IN OR ADJACENT TO VEHICULAR USE AREAS (REFER TO PLAN).
- CONTRACTOR SHALL PROVIDE MAINTENANCE AND REPAIR OF RUNOFF, EROSION CONTROL, FACILITIES AND IRRIGATION SYSTEMS DURING CONSTRUCTION OF THE PROJECT.

**LANDSCAPE CALCULATIONS**

STREET YARD	REMAINING YARD	VEHICULAR AREA
TOTAL AREA: 94,234 SF PLANTING AREA REQUIRED: 22,236 SF ENHANCED HARDSCAPE PROVIDED: 1,368 SF PLANT POINTS REQUIRED: 4,161 POINTS ACHIEVED THROUGH TREES: 3,849	TOTAL AREA: 81,996 SF PLANTING AREA REQUIRED: 5,481 SF ENHANCED HARDSCAPE PROVIDED: 4,801 SF PLANT POINTS REQUIRED: 2,276 POINTS ACHIEVED THROUGH TREES: 2,709	TOTAL AREA: 18,759 SF VEHICULAR AREA IN STREET YARD: 10,872 SF PLANTING AREA REQUIRED: 3,818 SF ENHANCED HARDSCAPE PROVIDED: 186 SF PLANT POINTS REQUIRED: 3,818 POINTS ACHIEVED THROUGH TREES: 2,709
PROVIDED: 29,879 SF TOTAL AREA PROVIDED: 22,851 SF THROUGH SHRUBS: N/A	PROVIDED: 631 SF TOTAL AREA PROVIDED: 1,578 SF THROUGH SHRUBS: 1,046	PROVIDED: 9,474 SF TOTAL AREA PROVIDED: 6,663 SF THROUGH SHRUBS: 1,046

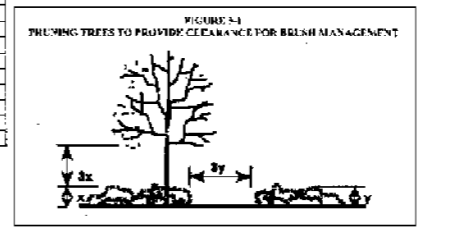
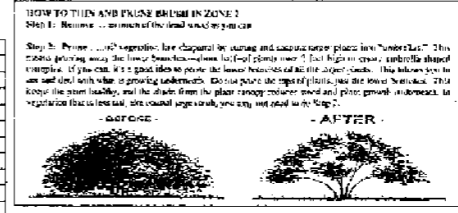
**BRUSH MANAGEMENT NOTES**

THIS PROJECT FALLS EAST OF INTERSTATE 805 AND EL CAMINO REAL. ZONE 1 (MODIFIED) - 8 FEET MINIMUM. ZONE 2 (MODIFIED) - 10 FEET MINIMUM. ZONE 3 (MODIFIED) - 12 FEET MINIMUM. ZONE 4 (MODIFIED) - 14 FEET MINIMUM. ZONE 5 (MODIFIED) - 16 FEET MINIMUM. ZONE 6 (MODIFIED) - 18 FEET MINIMUM. ZONE 7 (MODIFIED) - 20 FEET MINIMUM. ZONE 8 (MODIFIED) - 22 FEET MINIMUM. ZONE 9 (MODIFIED) - 24 FEET MINIMUM. ZONE 10 (MODIFIED) - 26 FEET MINIMUM. ZONE 11 (MODIFIED) - 28 FEET MINIMUM. ZONE 12 (MODIFIED) - 30 FEET MINIMUM.

- THE REQUIRED ZONE 1 WIDTH SHALL BE PROVIDED BETWEEN ZONE 1 AND THE UNDISTURBED NATIVE OR NATURALIZED VEGETATION AND SHALL BE MEASURED FROM THE EDGE OF ZONE 1 THAT IS FARTHEST FROM THE LIGHTABLE STRUCTURE TO THE EDGE OF UNDISTURBED VEGETATION.
- NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE 2.
- SENSITIVE SPECIES SUCH AS CEANOTHUS VERRUCOSUS, COMPTONIA FILICOIDES, VAR. LINCOLNIA, CORONOPSIS MARITIMA, FEROCACTUS VIRIDESCENS, AND RELIGIELLA CINERASCENS SHALL BE AVOIDED AND NOT DISTURBED DURING BRUSH MANAGEMENT WORK.
- BRUSH MANAGEMENT SHALL CONSIST OF PRUNING AND THINNING ONLY. NO LIVE TREES OR SHRUBS SHALL BE REMOVED FROM OPEN SPACE EXCEPT AS PERMITTED BY THE PERMITTEE. A PRE-CONSTRUCTION MEETING ON SITE WITH THE CONTRACTOR AND THE DEVELOPMENT SERVICES DEPARTMENT (MPC STAFF) TO DISCUSS AND OBTAIN THE IMPLEMENTATION OF THE BRUSH MANAGEMENT PROGRAM FROM TO ANY BRUSH MANAGEMENT WORK.
- ZONE 3 SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING THE IRRIGATION SYSTEM.

**EXISTING TREE LEGEND**

SYMBOL	SPECIES	SIZE	SYMBOL	SPECIES	SIZE
(1)	ARE. ROT.	28" DBH	(27)	PLA. RAC.	14" DBH
(2)	ARE. ROT.	32" DBH	(28)	ARE. ROT.	5" DBH
(3)	ARE. ROT.	24" DBH	(29)	ARE. ROT.	24" DBH
(4)	ARE. ROT.	28" DBH	(30)	ARE. ROT.	24" DBH
(5)	PLA. RAC.	14" DBH	(31)	ARE. ROT.	24" DBH
(6)	PLA. RAC.	18" DBH	(32)	ARE. ROT.	24" DBH
(7)	PLA. RAC.	18" DBH	(33)	ARE. ROT.	24" DBH
(8)	PLA. RAC.	18" DBH	(34)	ARE. ROT.	24" DBH
(9)	PLA. RAC.	14" DBH	(35)	ARE. ROT.	24" DBH
(10)	PLA. RAC.	18" DBH	(36)	ARE. ROT.	24" DBH
(11)	PLA. RAC.	14" DBH	(37)	ARE. ROT.	24" DBH
(12)	PLA. RAC.	14" DBH	(38)	ARE. ROT.	24" DBH
(13)	PLA. RAC.	14" DBH	(39)	ARE. ROT.	24" DBH
(14)	PLA. RAC.	14" DBH	(40)	ARE. ROT.	24" DBH
(15)	PLA. RAC.	14" DBH	(41)	ARE. ROT.	24" DBH
(16)	PLA. RAC.	14" DBH	(42)	ARE. ROT.	24" DBH
(17)	PLA. RAC.	14" DBH	(43)	ARE. ROT.	24" DBH
(18)	PLA. RAC.	14" DBH	(44)	ARE. ROT.	24" DBH
(19)	PLA. RAC.	14" DBH	(45)	ARE. ROT.	24" DBH
(20)	PLA. RAC.	14" DBH	(46)	ARE. ROT.	24" DBH
(21)	PLA. RAC.	14" DBH	(47)	ARE. ROT.	24" DBH
(22)	PLA. RAC.	14" DBH	(48)	ARE. ROT.	24" DBH
(23)	PLA. RAC.	14" DBH	(49)	ARE. ROT.	24" DBH
(24)	PLA. RAC.	14" DBH	(50)	ARE. ROT.	24" DBH
(25)	PLA. RAC.	14" DBH	(51)	ARE. ROT.	24" DBH
(26)	PLA. RAC.	14" DBH	(52)	ARE. ROT.	24" DBH
(27)	PLA. RAC.	14" DBH	(53)	ARE. ROT.	24" DBH
(28)	PLA. RAC.	14" DBH	(54)	ARE. ROT.	24" DBH
(29)	PLA. RAC.	14" DBH	(55)	ARE. ROT.	24" DBH
(30)	PLA. RAC.	14" DBH	(56)	ARE. ROT.	24" DBH
(31)	PLA. RAC.	14" DBH	(57)	ARE. ROT.	24" DBH
(32)	PLA. RAC.	14" DBH	(58)	ARE. ROT.	24" DBH
(33)	PLA. RAC.	14" DBH	(59)	ARE. ROT.	24" DBH
(34)	PLA. RAC.	14" DBH	(60)	ARE. ROT.	24" DBH
(35)	PLA. RAC.	14" DBH	(61)	ARE. ROT.	24" DBH
(36)	PLA. RAC.	14" DBH	(62)	ARE. ROT.	24" DBH
(37)	PLA. RAC.	14" DBH	(63)	ARE. ROT.	24" DBH
(38)	PLA. RAC.	14" DBH	(64)	ARE. ROT.	24" DBH
(39)	PLA. RAC.	14" DBH	(65)	ARE. ROT.	24" DBH
(40)	PLA. RAC.	14" DBH	(66)	ARE. ROT.	24" DBH
(41)	PLA. RAC.	14" DBH	(67)	ARE. ROT.	24" DBH
(42)	PLA. RAC.	14" DBH	(68)	ARE. ROT.	24" DBH
(43)	PLA. RAC.	14" DBH	(69)	ARE. ROT.	24" DBH
(44)	PLA. RAC.	14" DBH	(70)	ARE. ROT.	24" DBH
(45)	PLA. RAC.	14" DBH	(71)	ARE. ROT.	24" DBH
(46)	PLA. RAC.	14" DBH	(72)	ARE. ROT.	24" DBH
(47)	PLA. RAC.	14" DBH	(73)	ARE. ROT.	24" DBH
(48)	PLA. RAC.	14" DBH	(74)	ARE. ROT.	24" DBH
(49)	PLA. RAC.	14" DBH	(75)	ARE. ROT.	24" DBH
(50)	PLA. RAC.	14" DBH	(76)	ARE. ROT.	24" DBH
(51)	PLA. RAC.	14" DBH	(77)	ARE. ROT.	24" DBH
(52)	PLA. RAC.	14" DBH	(78)	ARE. ROT.	24" DBH
(53)	PLA. RAC.	14" DBH	(79)	ARE. ROT.	24" DBH
(54)	PLA. RAC.	14" DBH	(80)	ARE. ROT.	24" DBH
(55)	PLA. RAC.	14" DBH	(81)	ARE. ROT.	24" DBH
(56)	PLA. RAC.	14" DBH	(82)	ARE. ROT.	24" DBH
(57)	PLA. RAC.	14" DBH	(83)	ARE. ROT.	24" DBH
(58)	PLA. RAC.	14" DBH	(84)	ARE. ROT.	24" DBH
(59)	PLA. RAC.	14" DBH	(85)	ARE. ROT.	24" DBH
(60)	PLA. RAC.	14" DBH	(86)	ARE. ROT.	24" DBH
(61)	PLA. RAC.	14" DBH	(87)	ARE. ROT.	24" DBH
(62)	PLA. RAC.	14" DBH	(88)	ARE. ROT.	24" DBH
(63)	PLA. RAC.	14" DBH	(89)	ARE. ROT.	24" DBH
(64)	PLA. RAC.	14" DBH	(90)	ARE. ROT.	24" DBH
(65)	PLA. RAC.	14" DBH	(91)	ARE. ROT.	24" DBH
(66)	PLA. RAC.	14" DBH	(92)	ARE. ROT.	24" DBH
(67)	PLA. RAC.	14" DBH	(93)	ARE. ROT.	24" DBH
(68)	PLA. RAC.	14" DBH	(94)	ARE. ROT.	24" DBH
(69)	PLA. RAC.	14" DBH	(95)	ARE. ROT.	24" DBH
(70)	PLA. RAC.	14" DBH	(96)	ARE. ROT.	24" DBH
(71)	PLA. RAC.	14" DBH	(97)	ARE. ROT.	24" DBH
(72)	PLA. RAC.	14" DBH	(98)	ARE. ROT.	24" DBH
(73)	PLA. RAC.	14" DBH	(99)	ARE. ROT.	24" DBH
(74)	PLA. RAC.	14" DBH	(100)	ARE. ROT.	24" DBH



**EXISTING OPEN SPACE EASEMENT VEGETATION LEGEND**

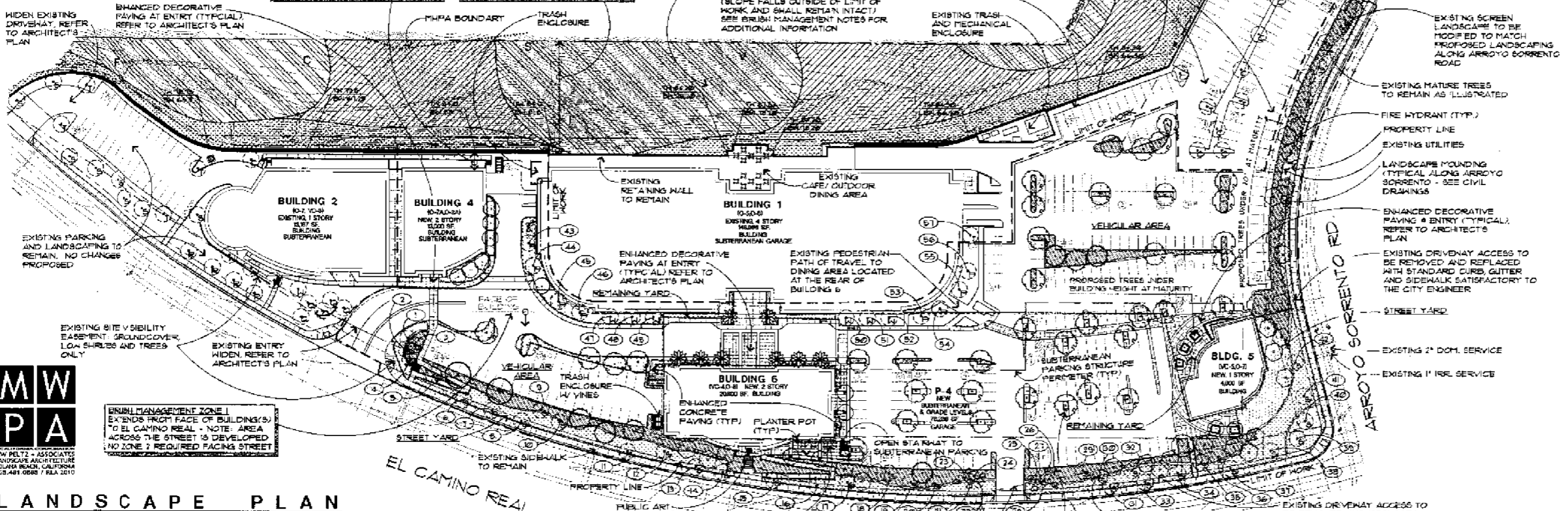
- DIESAR COASTAL SPACE SCREENS
- SOUTHERN MARITIME CHAPARRAL
- PREVIOUSLY DISTURBED AREAS - REVEGETATED W/ NATIVE PLANT SPECIES
- EXISTING PARKING AND LANDSCAPING TO REMAIN
- EXISTING TRASH AND MECHANICAL ENCLOSURE
- EXISTING OPEN SPACE EASEMENT PER MAP 30092, WITH EXISTING MATURE NATIVE VEGETATIVE SLOPE (SLOPE FALLS OUTSIDE OF LIMIT OF WORK AND SHALL REMAIN INTACT) SEE BRUSH MANAGEMENT NOTES FOR ADDITIONAL INFORMATION
- EXISTING SCREEN LANDSCAPING TO BE MODIFIED TO MATCH PROPOSED LANDSCAPING ALONG ARROYO SORRENTO ROAD
- EXISTING MATURE TREES TO REMAIN AS ILLUSTRATED
- FIRE HYDRANT (TYP.)
- PROPERTY LINE
- EXISTING UTILITIES
- LANDSCAPE MOUNDING (TYPICAL ALONG ARROYO SORRENTO - SEE CIVIL DRAWINGS)
- ENHANCED DECORATIVE PAVING AT ENTRY (TYPICAL) REFER TO ARCHITECT'S PLAN
- EXISTING DRIVEWAY ACCESS TO BE REMOVED AND REPLACED WITH STANDARD CURB, GUTTER AND SIDEWALK SATISFACTORY TO THE CITY ENGINEER
- STREET YARD
- EXISTING 2" DOM. SERVICE
- EXISTING 1" IRRL. SERVICE
- EXISTING DRIVEWAY ACCESS TO BE REMOVED AND REPLACED WITH STANDARD CURB, GUTTER AND SIDEWALK SATISFACTORY TO THE CITY ENGINEER
- RAISED PLANTERS W/ ORNAMENTAL GRASSES (TYP AT SUBTERRANEAN PARKING)
- SCREEN-EDGE OUTSIDE OF EASEMENT (TYP)

**HARDSCAPE LEGEND**

- ENHANCED PAVING AS NOTED (REFER TO ARCHITECT'S PLAN)
- HIDDEN EXISTING DRIVEWAY REFER TO ARCHITECT'S PLAN
- ENHANCED DECORATIVE PAVING AT ENTRY (TYPICAL) REFER TO ARCHITECT'S PLAN
- MHPA BOUNDARY
- TRASH ENCLOSURE
- EXISTING PEDESTRIAN PATH OF TRAVEL TO DINING AREA LOCATED AT THE REAR OF BUILDING 6
- ENHANCED DECORATIVE PAVING AT ENTRY (TYPICAL) REFER TO ARCHITECT'S PLAN
- REMAINING YARD
- EXISTING DRIVEWAY ACCESS TO BE REMOVED AND REPLACED WITH STANDARD CURB, GUTTER AND SIDEWALK SATISFACTORY TO THE CITY ENGINEER
- STREET YARD
- EXISTING 2" DOM. SERVICE
- EXISTING 1" IRRL. SERVICE
- EXISTING DRIVEWAY ACCESS TO BE REMOVED AND REPLACED WITH STANDARD CURB, GUTTER AND SIDEWALK SATISFACTORY TO THE CITY ENGINEER
- RAISED PLANTERS W/ ORNAMENTAL GRASSES (TYP AT SUBTERRANEAN PARKING)
- SCREEN-EDGE OUTSIDE OF EASEMENT (TYP)

**BRUSH MANAGEMENT ZONE 1** EXTENDS FROM FACE OF BUILDING(S) TO THE FACE OF EXISTING REMAINING WALL (APPROX. 8') - SEE BRUSH MANAGEMENT NOTES FOR ADDL. INFO.

**BRUSH MANAGEMENT ZONE 2** EXTENDS FROM BACK OF EXISTING WALL UPSLOPE TO PROPERTY LINE (APPROX. 50') - SEE BRUSH MANAGEMENT NOTES FOR ADDL. INFO.



Development Summary

NO.	DESCRIPTION	STATUS
1.	PROJECT PLAN	COMPLETED
2.	REQUIRED PERMITS/APPROVALS	PENDING
3.	LOCAL ORDINANCE	PENDING
4.	STATE PERMITS	PENDING
5.	CONTRACTS	PENDING
6.	CONSTRUCTION	PENDING
7.	OPERATION	PENDING

LANDSCAPE PLAN



SHEET 14 - LANDSCAPE CONCEPT PLAN/ BRUSH MANAGEMENT PROGRAM

Prepared By: BRIAN PAUL & ASSOCIATES, INC.  
Address: 4435 EASTGATE MALL, SUITE 100  
San Diego, CA 92108  
Phone: (619) 453-6000  
Fax: (619) 453-6000



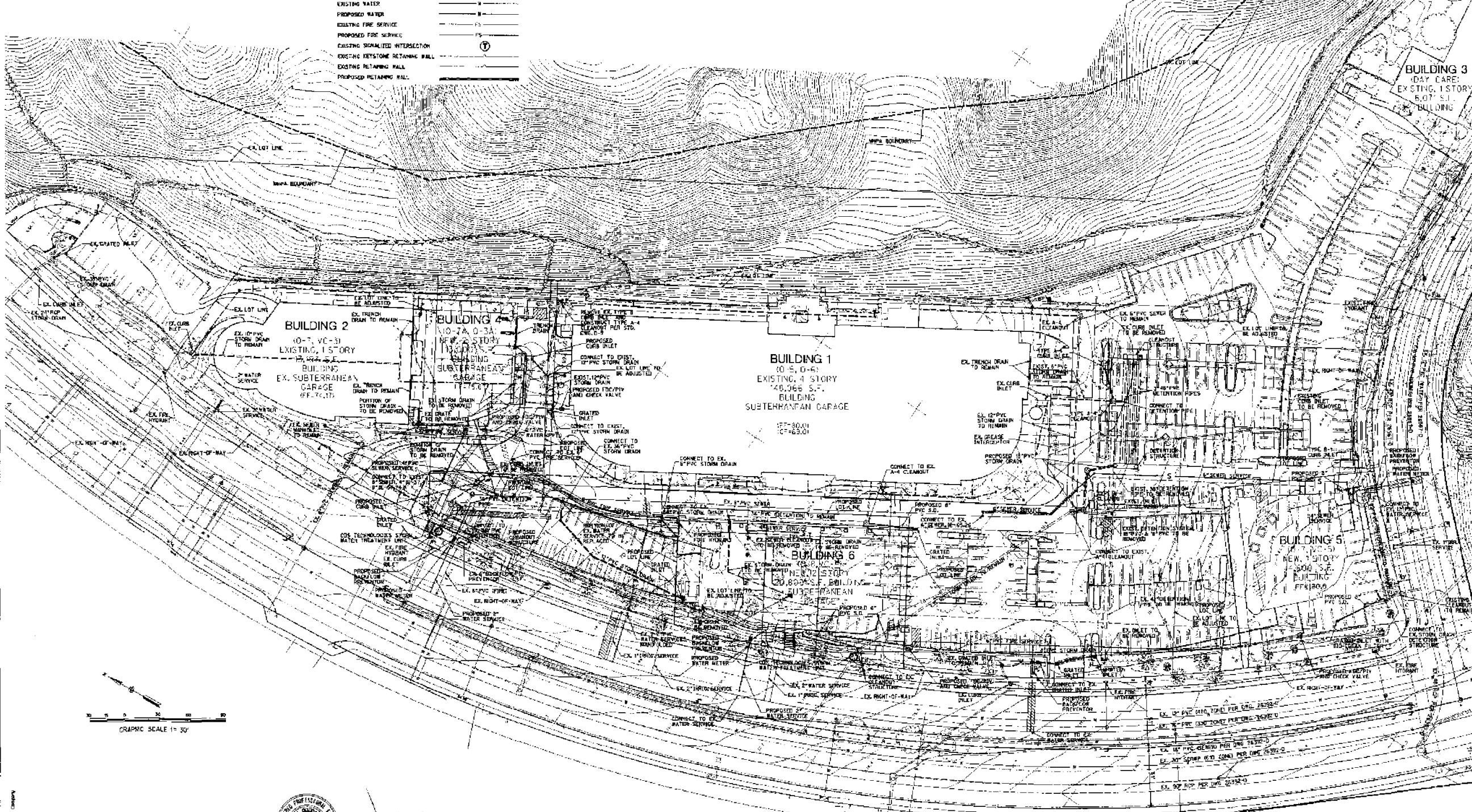
**DRAINAGE DESCRIPTION**  
 THE SOUTHERLY PORTION OF THE SITE SURFACE DRAINS WESTWARD TO A CATCH BASIN IN THE PARKING LOT. FLOWS ARE THEN CONVEYED THROUGH AN EXISTING IMPROVED GRABBLE SYSTEM WHICH DETAINS THE FLOWS PRIOR TO DISCHARGING INTO THE PUBLIC SYSTEM IN AROUND SERRANO ROAD.  
 THE NORTHERLY PORTION OF THE PROJECT DRAINS NORTHWEST TO AN EXISTING PRIVATE STORM DRAIN SYSTEM. THESE FLOWS ARE THEN RETAINED UNDERGROUND FROM TO DISCHARGING INTO THE PUBLIC STORM DRAIN SYSTEM IN EL CAMINO REAL.

**TOPOGRAPHY**  
 TOPOGRAPHY WAS COMPILED FROM RECORD DATA BY RICK ENGINEERING COMPANY ON 11-10-03

**REFERENCE DRAWINGS**  
 CITY OF SAN DIEGO CIVIL NO. 272013  
 CITY OF SAN DIEGO CIVIL NO. 28587-0  
 CITY OF SAN DIEGO CIVIL NO. 28392-0

**LEGEND**

EXISTING LOT LINE	---
EXISTING EASEMENT LINE	---
RIGHT-OF-WAY	---
EXISTING CONTOUR ELEV	---
PROPOSED CONTOUR ELEV	---
OUTLIGHT LINE	---
EXISTING SEWER	---
PROPOSED SEWER	---
EXISTING STORM DRAIN	---
PROPOSED STORM DRAIN	---
EXISTING WATER	---
PROPOSED WATER	---
EXISTING FIRE SERVICE	---
PROPOSED FIRE SERVICE	---
EXISTING SIGNALIZED INTERSECTION	---
EXISTING KEYSTONE RETAINING WALL	---
EXISTING RETAINING WALL	---
PROPOSED RETAINING WALL	---



**Development Summary**

1. PROJECT NO.	ARCHITECT	CIVIL ENGINEER	LANDSCAPE ARCHITECT
BRIAN PALL & ASSOCIATES, INC.	RICK ENGINEERING	M.W. PELTZ	
CONTACT: MARK DAVIS	CONTACT: GARY OSTEGARDO	CONTACT: MARK PELTZ	
4325 EASTGATE ROAD, SUITE 100	5820 FERRERA ROAD	143 SOUTH 2847th	
SAN DIEGO, CA 92121	SAN DIEGO, CA 92110	SALINAS BEACH, CA 92078	
TEL: (619) 453-1200	TEL: (619) 291-3707	TEL: (858) 451-0880	
FAX: (619) 453-1913	FAX: (619) 291-4165	FAX: (858) 451-4600	

2. REFERRED PERMITS/APPROVALS  
 APPROVAL FROM THE CITY ENGINEER, SAN DIEGO, CALIFORNIA, FOR THE SITE LOCATED WITHIN THE EXISTING TORREY RESERVE DEVELOPMENT, CROSSROADS FOR THE SITE. THE EL CAMINO REAL AND AROUND SERRANO ROAD, THE OFFICE BUILDINGS ARE LOCATED ON A 1/4 ACRE NET AREA LOT WITHIN THE SA TORREY RESERVE DEVELOPMENT. THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PERMITS FOR PERMITS NO. 03-000.

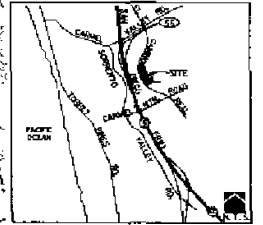
3. LEAD DESIGNER  
 PROJECT NO. 1, 2, 3 AND 4 OF MAP NO. 050-1010 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 15, 2000.

4. ASSessor'S PERMIT NUMBER  
 001-290-24 001-290-25 001-290-26 001-290-27

5. OWNER'S NAME  
 PACIFIC TORREY RESERVE HOLDINGS, LP  
 CONTACT: JOHN CAMBERLIN  
 11455 EL CAMINO REAL, SUITE 200  
 SAN DIEGO, CA 92121  
 TEL: (619) 520-7500  
 FAX: (619) 520-0200

6. ARCHITECT'S NAME  
 ARCHITECT  
 BRIAN PALL & ASSOCIATES, INC.  
 CONTACT: MARK DAVIS  
 4325 EASTGATE ROAD, SUITE 100  
 SAN DIEGO, CA 92121  
 TEL: (619) 453-1200  
 FAX: (619) 453-1913

7. EXISTING UTILITIES  
 SEE SHEET 15 FOR FULLY SPRAWLED, BUILDING 5 TYPE FULLY SPRAWLED, BUILDING 6 TYPE FULLY SPRAWLED, PAV. TYPE FULLY SPRAWLED.
8. EXISTING UTILITIES  
 SEE SHEET 15 FOR FULLY SPRAWLED, BUILDING 5 TYPE FULLY SPRAWLED, BUILDING 6 TYPE FULLY SPRAWLED.
9. EXISTING UTILITIES  
 SEE SHEET 15 FOR FULLY SPRAWLED, BUILDING 5 TYPE FULLY SPRAWLED, BUILDING 6 TYPE FULLY SPRAWLED.
10. EXISTING UTILITIES  
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11. EXISTING UTILITIES  
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12. EXISTING UTILITIES  
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13. EXISTING UTILITIES  
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14. EXISTING UTILITIES  
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15. EXISTING UTILITIES  
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16. EXISTING UTILITIES  
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17. EXISTING UTILITIES  
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18. EXISTING UTILITIES  
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19. EXISTING UTILITIES  
 SEE SHEET 15 FOR FULLY SPRAWLED, BUILDING 5 TYPE FULLY SPRAWLED, BUILDING 6 TYPE FULLY SPRAWLED.
20. EXISTING UTILITIES  
 SEE SHEET 15 FOR FULLY SPRAWLED, BUILDING 5 TYPE FULLY SPRAWLED, BUILDING 6 TYPE FULLY SPRAWLED.



Prepared By: Name: Brian Pall & Associates  
 Address: 4325 EASTGATE ROAD, SUITE 100, SAN DIEGO, CA 92121  
 Phone: (619) 453-1200  
 Fax: (619) 453-1913  
 Project Address: El Camino Road, San Diego, CA 92121  
 Project Name: Torrey Reserve Phase II  
 Sheet Title: SHEET 15 UTILITY PLAN

Revision 14	
Revision 13	
Revision 12	
Revision 11	05-09-03
Revision 10	05-02-03
Revision 9	02-19-03
Revision 8	02-02-03
Revision 7	01-30-03
Revision 6	12-24-02
Revision 5	11-19-02
Revision 4	12-14-02
Revision 3	1-22-02
Revision 2	8-18-01
Revision 1	5-24-01
Original Date:	03-17-00
Sheet:	15 of 16
DEP:	

**RICK ENGINEERING COMPANY**  
 5820 FERRERA ROAD  
 SAN DIEGO, CA 92110  
 (619) 291-3707  
 (619) 291-4165

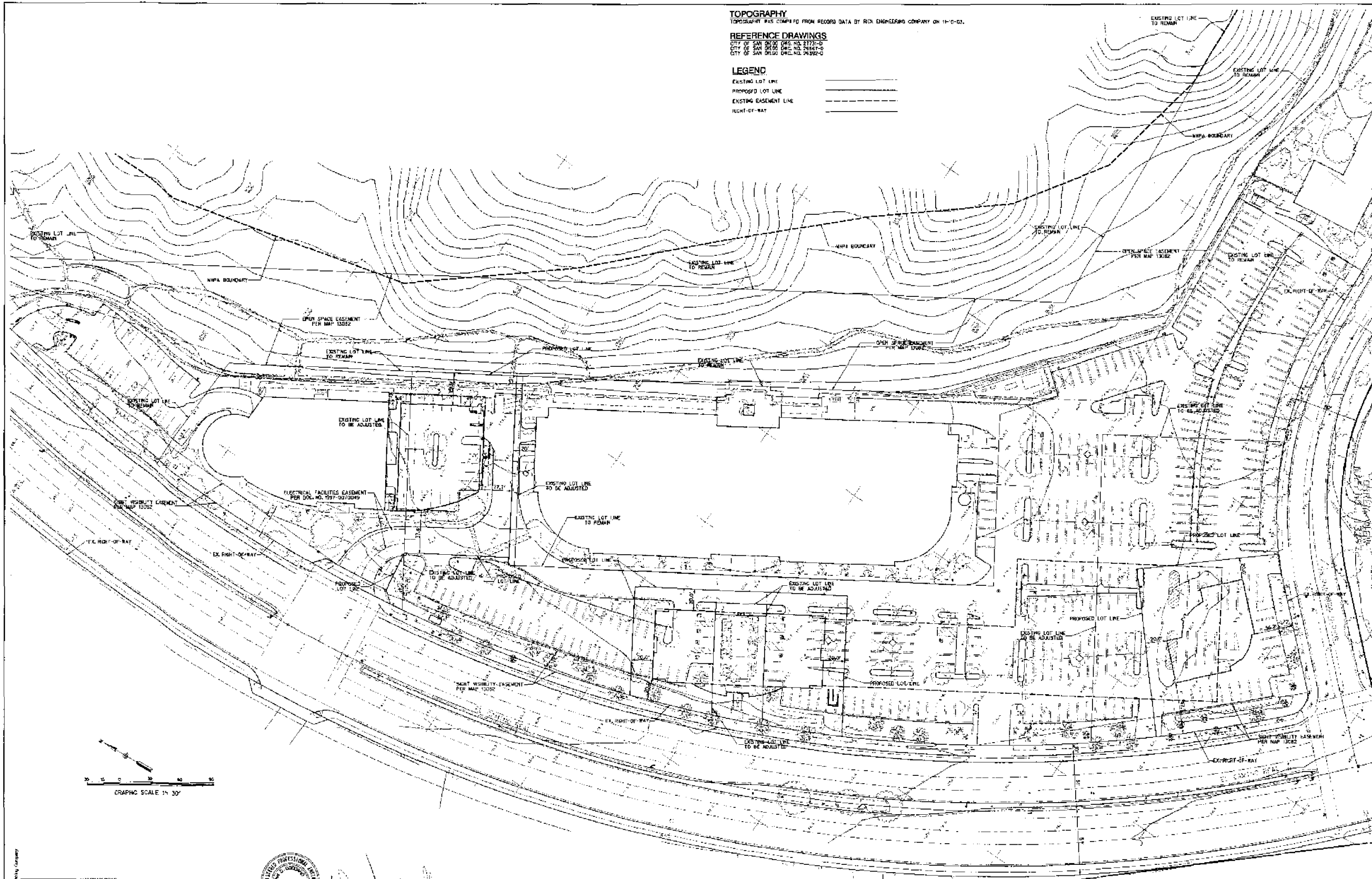


JOHN B. GIDDARD, JR., P.E. 53337  
 DATE: 8/10/03

**TOPOGRAPHY**  
TOPOGRAPHY WAS COMPILED FROM RECORD DATA BY RICK ENGINEERING COMPANY ON 11-0-03.

**REFERENCE DRAWINGS**  
CITY OF SAN DIEGO DMC NO. 27733-D  
CITY OF SAN DIEGO DMC NO. 26861-D  
CITY OF SAN DIEGO DMC NO. 26392-C

**LEGEND**  
EXISTING LOT LINE  
PROPOSED LOT LINE  
EXISTING EASEMENT LINE  
RIGHT-OF-WAY



Development Summary

<b>PROJECT:</b> TMR	<b>CIVIL ENGINEER:</b>	<b>LANDSCAPE ARCHITECT:</b>
<b>ARCHITECT:</b>	<b>PAVING ENGINEERING:</b>	<b>M.N. PELTZ:</b>
BRIAN PAUL & ASSOCIATES, INC.	CONTACT: GARY USTICARD	CONTACT: MARK PELTZ
CONTACT: MARK DAVIS	4475 Eucalypta Mall, Suite 100	143 South Center
San Diego, CA 92121	San Diego, CA 92110	San Diego, CA 92105
Tel: (619) 452-1000	Tel: (619) 297-0707	Tel: (619) 481-0888
Fax: (619) 452-1013	Fax: (619) 297-0109	Fax: (619) 481-6474

**2. WORKS PLANS/APPENDICES**  
GENERAL NOTE: THERE ARE ADDITIONAL BUILDING, GRADING & EROSION CONTROL PLANS LOCATED WITHIN THE EXISTING TRUCK ACCESS DEVELOPMENT PROPOSALS FOR THE SITE. USE OF CHAINED PINS AND APPROVED SURVEYS SHALL BE USED. BUILDINGS ARE LOCATED ON A 1/8 ACRE TRUCK AREA LOT WITHIN THE 54 ACRE TRUCK RESERVE DEVELOPMENT. THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PUD-07 PROJECT NO. 94-0001.

**3. LOCAL DESCRIPTION**  
PARCELS 1, 2, 3, 4, 5 AND 6 OF MAP NO. 10082 IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 11, 2000.

**4. ASSOCIATED PERMIT NUMBERS**

AP# 207-298-56	SD-20-14	307-230-57	307-230-58
307-202-52			

**5. OWNER'S NAME**  
PACIFIC TORREY RESERVE HOLDINGS, LP  
CONTACT: JOHN CHAMBERLAIN  
1900 ZEPHYRUS PARK, SUITE 200  
San Diego, CA 92130  
Tel: (619) 550-7600  
Fax: (619) 550-2600

**6. DESIGNER'S NAME**  
ARCHITECT  
BRIAN PAUL & ASSOCIATES, INC.  
CONTACT: MARK DAVIS  
4475 Eucalypta Mall, Suite 100  
San Diego, CA 92121  
Tel: (619) 452-1000  
Fax: (619) 452-1013

**7. CONSTRUCTION TYPE**  
BUILDING A: 1 STORY 1-1/2 FLOOR BUILDING, BUILDING TYPE: FULLY FINISHED.  
BUILDING B: 1 STORY 1-1/2 FLOOR BUILDING, 1-1/2 FLOOR 2-1/2 FLOOR, FULLY FINISHED.

**8. COMPANY CLASSIFICATION**  
BUILDING A: BUILDING A & BUILDING B: GROUP 1  
1-1 BUILDING: GROUP 1, DIVISION 1

**9. CALIFORNIA BUILDING CODE**  
THE CALIFORNIA BUILDING CODE 01010-28

**10. OTHER DESIGNATION APPLICABLE TO OVERLAP DESIGNATIONS**  
NONE

**11. PROJECT ID NUMBER**  
15-0001

**12. NAMES OF STORIES**  
BUILDING A: 1ST STORY BUILDING, BUILDING B: 1ST STORY BUILDING  
BUILDING B: 1ST STORY BUILDING, 1-1/2 FLOOR BUILDING & 2-1/2 FLOOR BUILDING

**13. BUILDING ELEVATION**  
BUILDING A: 2ND FLOOR BUILDING 22'-0" BUILDING B: 1-1/2 FLOOR BUILDING 12'-0" TO TOP OF FINISH FLOORING.  
NO MEASURED FROM TOP OF FIRST FLOOR BUILDING SLAB TO TOP OF BUILDING FOOTING.

**14. FLOOR AREA**  
BUILDING A: 10,000 SQ. FT. BUILDING B: 10,000 SQ. FT.  
BUILDING B: 20,000 SQ. FT. TOTAL 30,000 SQ. FT.

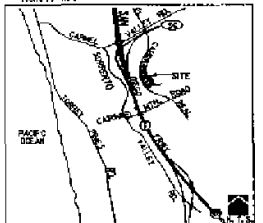
**15. FLOOR AREA RATIO**  
FOR EXISTING LOT: 1.00774 / LOT AREA 1.11  
FOR PROPOSED LOT: 1.16 / LOT AREA 2.25000 / 1.03

**16. EXISTING USE/OCUPANCY**  
PARKING LOT

**17. PROPOSED USE/OCUPANCY**  
BUILDING A: BUILDING B: 1-1/2 FLOOR BLDG. / OFFICE / SERVICE BUILDING, LEASE SPACE  
1-1/2 FLOOR BLDG. / OFFICE

**18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES**  
N/A

**19. LOCATION OF OR EXISTING BILL**  
CITY MAP



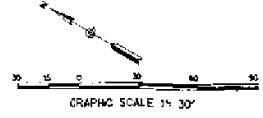
Prepared By: Brian Davis, Associate  
Address: 4475 Eucalypta Mall, #100  
San Diego, CA 92121  
Phone: 619-452-1000  
Fax: 619-452-1013

Project Address:  
Camino 16  
San Diego, CA 92110

Project Name:  
Torrey Reserve Phase II

Sheet Title:  
SHEET 16  
LOT LINE EXHIBIT

Revision 01	
Revision 02	
Revision 03	05-06-03
Revision 04	05-06-03
Revision 05	07-19-07
Revision 06	04-22-07
Revision 07	11-30-06
Revision 08	10-24-03
Revision 09	7-16-02
Revision 10	12-16-02
Revision 11	3-22-02
Revision 12	9-18-01
Revision 13	3-24-02
Original Date:	11-03-03
Sheet:	16 of 16
DATE:	



**RICK ENGINEERING COMPANY**  
3610 FRANK ROAD  
SAN DIEGO, CALIFORNIA 92108  
419.291.8700  
RICK@RICK-ENG.COM

**Professional Engineer Seal:**  
RICK ENGINEERING COMPANY  
No. 20097  
Exp. 06/13  
State of California

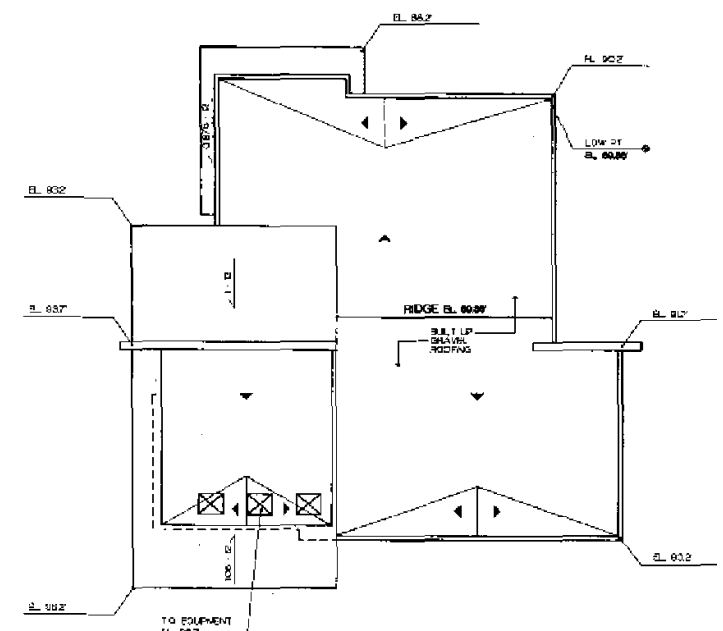
DATE: \_\_\_\_\_

Development Summary

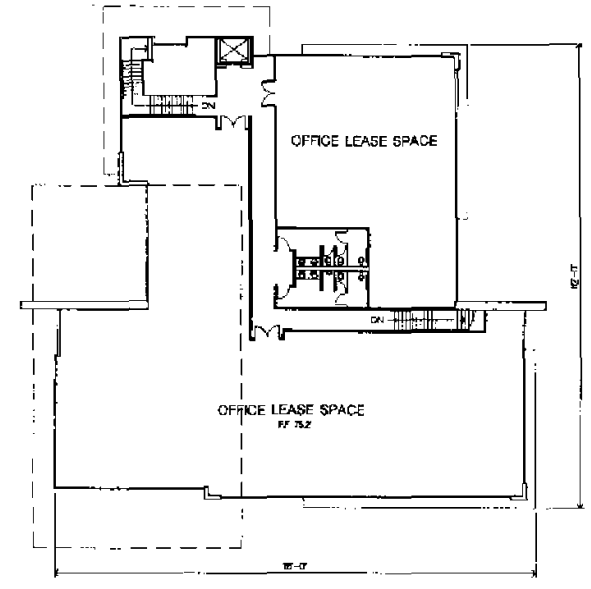
1. PROJECT TEAM LANDSCAPE ARCHITECT MAY PELTZ CONTACT: MARY PELTZ 443 SOUTH GEORGE SUNNYVALE, CA 94085 Tel: (950) 481-0888 Fax: (950) 481-8808	CIVIL ENGINEER RICK ENGINEERING CONTACT: GARY OSTEWARD 5920 Friar Road San Diego, CA 92120-2508 Tel: (619) 291-4307 Fax: (619) 291-1965	TRAFFIC ENGINEER LINGGOTT, LAW & GREENSPAN ENGRS CONTACT: JOHN HEDIN 4540 CALIFORNIA STREET #100 San Diego, CA 92111 Tel: (619) 300-5800 Fax: (619) 300-6810
2. REQUIRED PERMITS/APPROVALS THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PCD/CDP PERMIT NO. 08-0556		
3. LEGAL DESCRIPTION LOT #1, MAP NO. 13157		
4. ASSessor'S PARCEL NUMBER 301-280-12		
5. OWNER'S NAME PACIFIC TORREY RESERVE HOLDINGS, LP CONTACT: JOHN CHAMBERS, ASST 1750 E. Camino Real, Suite 700 San Diego, CA 92108 Tel: (619) 350-3600 Fax: (619) 350-2600		
6. DESIGNER'S NAME ARCHITECT BPA ARCHITECTURE PLANNING INTERIORS CONTACT: MARY DAVIS 4435 Geopline Mall, Suite 100 San Diego, CA 92121 Tel: (619) 453-1000 Fax: (619) 453-8149		
7. CONSTRUCTION TYPE OFFICE - TYPE III - NO SPRINKLERS & LEN OF ONE HOUR PARKING STRUCTURE - TYPE I - 1 HOUR WITH FIRE SHUTTLING		
8. COMPANY CLASSIFICATION TYPE I - 1 / MULTITENANT OFFICE - GROUP 'E' PARKING STRUCTURE - 'S-3'		
9. BUILDING CODE 2001 CALIFORNIA BUILDING CODE		
10. ZONING DESCRIPTION ZONING CODE: EO-1-2		
11. PROJECT U.S. NUMBER		
12. NUMBER OF STORIES OFFICE: 2 STORY PARKING STRUCTURE: 5 STORY (SEE SEPARATE LAYOUT AND ONLY PARKING & TOP)		
13. BUILDING HEIGHT SEE ELEVATIONS		
14. GROSS FLOOR AREA BUILDING 13 = 20,306 SF, BUILDING 14 = 20,000 SF		
15. FLOOR AREA RATIO FOR FRONT BLDG 1: 207,734/1,436,616 SF = 0.14 FOR ENTIRE BLDG 1 & 2: 228,147/1,634,884 SF = 0.14 FOR ENTIRE BLDG 1 & 2: 532,272/3,868,600 SF = 0.14		
16. EXISTING USE/OCCUPANCY PARKING STRUCTURE		
17. PROPOSED USE/OCCUPANCY TYPE I - 1 / MULTITENANT OFFICE - GROUP 'E' WITH PARKING STRUCTURE - 'S-3'		
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES 1995		
19. CONDITION OF SOIL COMPACTED FILL		

TORREY RESERVE - UNIT TWO - PHASE IV

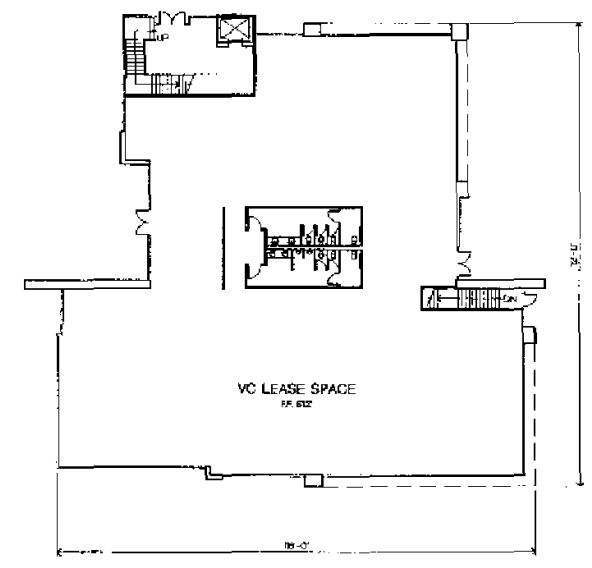
Prepared By: Name: BPA Architecture Planning Interiors Contact: Mary Davis Address: 4435 Geopline Mall, Suite 100 San Diego, CA 92121 Phone: (619) 453-1000 Fax: (619) 453-8149	Project Address: BL CAMPUS REAL SAN DIEGO, CA 92121	Project Name: TORREY RESERVE UNIT 2 - PHASE IV	Original Date: 02/13/07	Sheet: 4 of 4
Revision 14	Revision 13	Revision 12	Revision 11	Revision 10
Revision 9	Revision 8	Revision 7	Revision 6	Revision 5
Revision 4	Revision 3	Revision 2	Revision 1	07/15/06
08/27/07	02/13/07			



Bldg 14 Roof Plan  
SCALE: 1/8" = 1'-0"



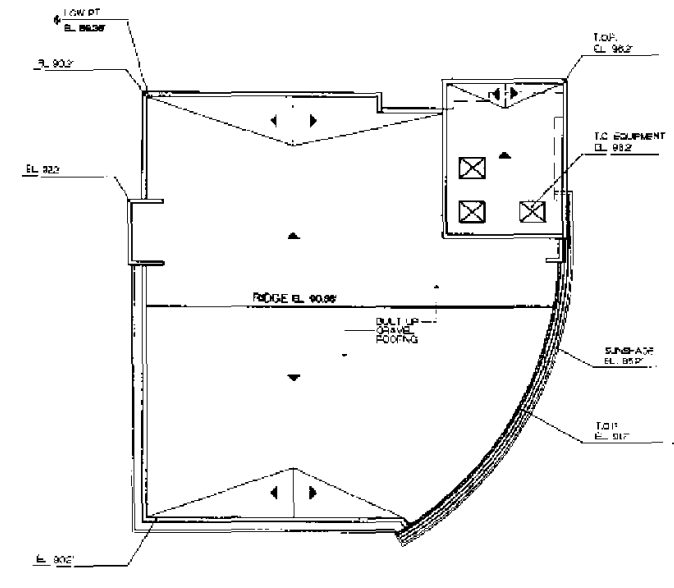
Bldg 14 Second Floor Plan  
SCALE: 1/8" = 1'-0"



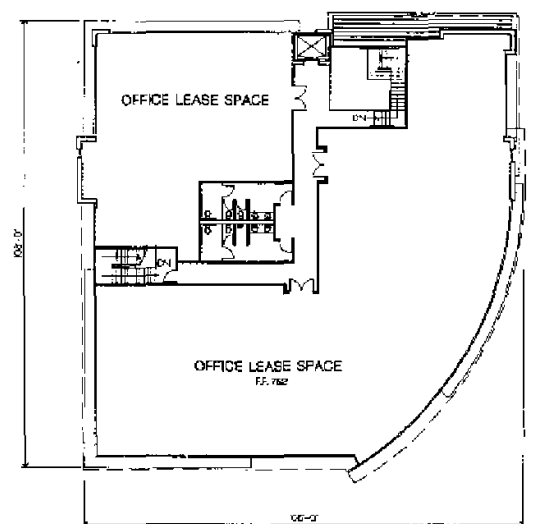
Bldg 14 First Floor Plan  
SCALE: 1/8" = 1'-0"

GENERAL NOTE  
ALL ROOFTOP EQUIPMENT ON BUILDING 13A AND 13B NOT TO BE LOCATED IN UNZONED OVERHEAD SPACE.

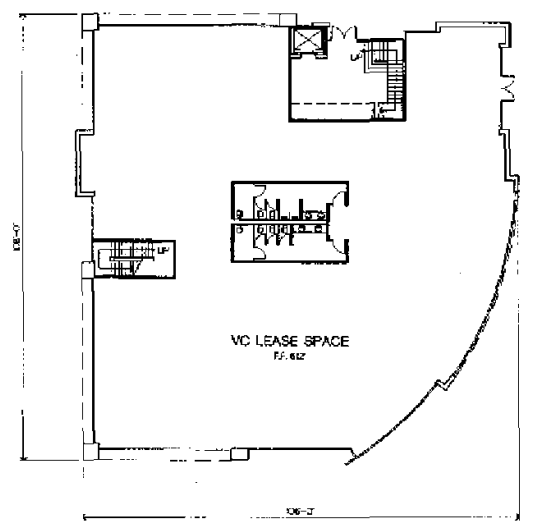
- LEGEND
- RO & CO. ROOF DRAIN AND EXHAUST/LEAN
  - SUPPLY OF EXHAUST FAN
  - SLOPED GRADE
  - FLOW DIRECTION - 3/4" x 1/4"



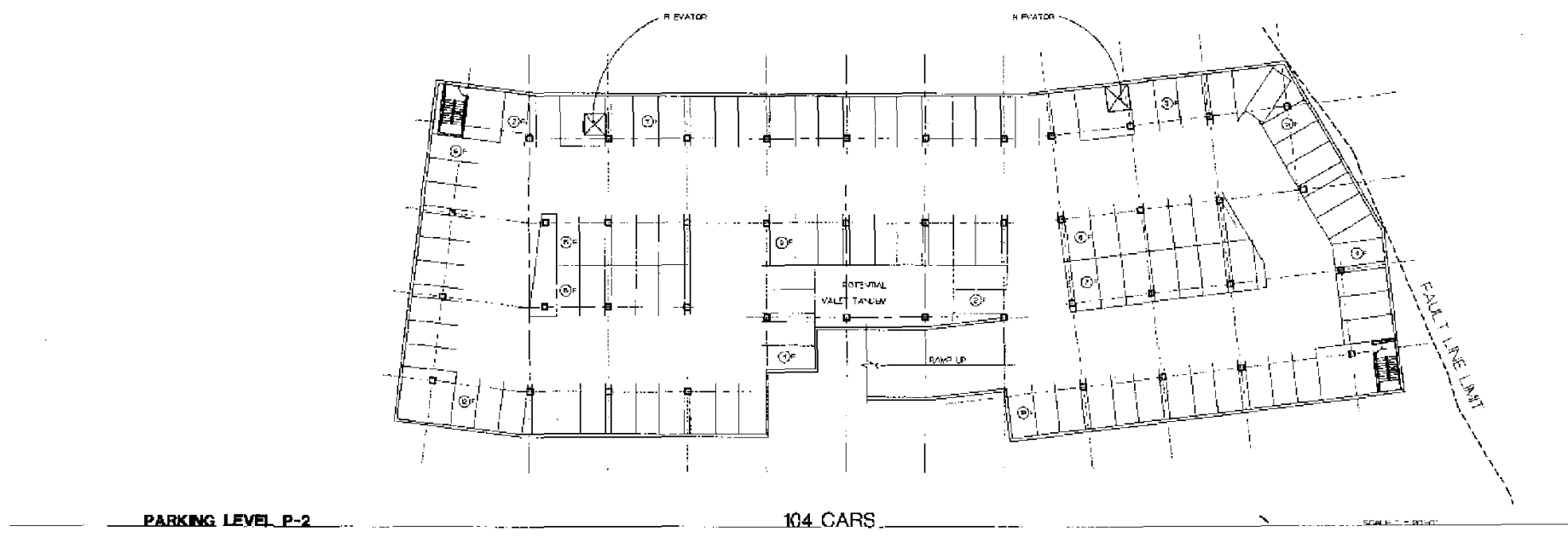
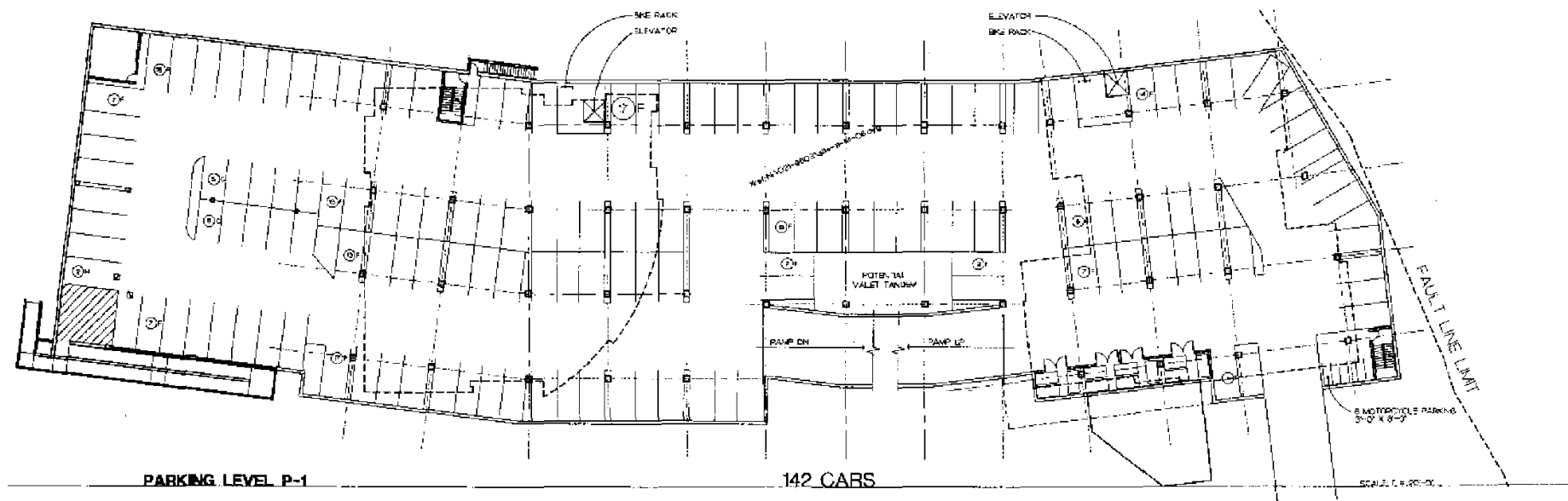
Bldg 13 Roof Plan  
SCALE: 1/8" = 1'-0"



Bldg 13 Second Floor Plan  
SCALE: 1/8" = 1'-0"



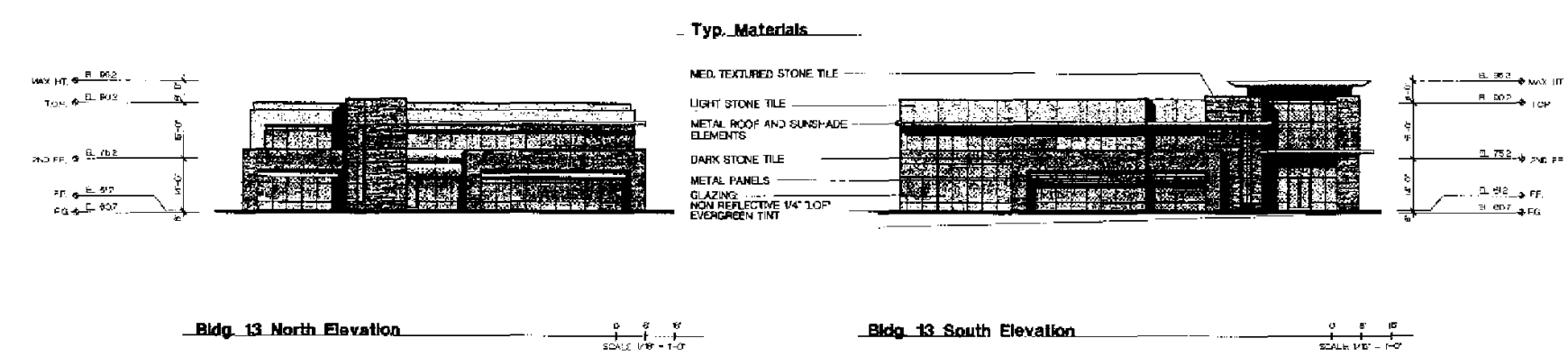
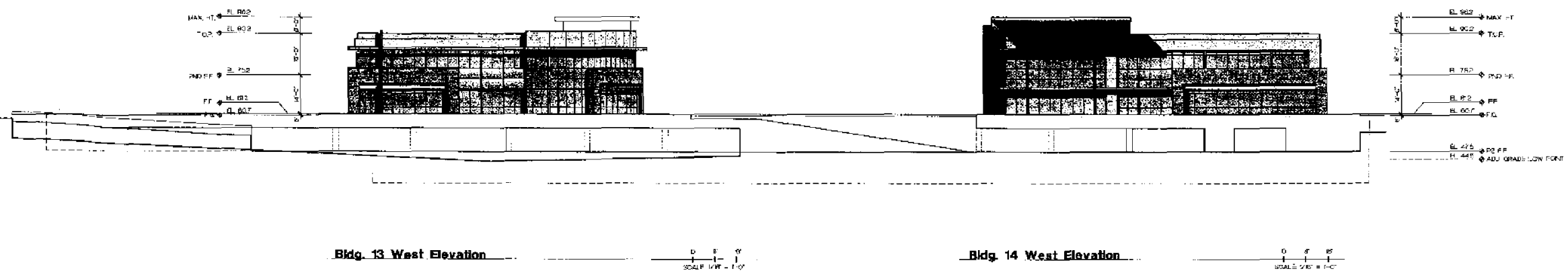
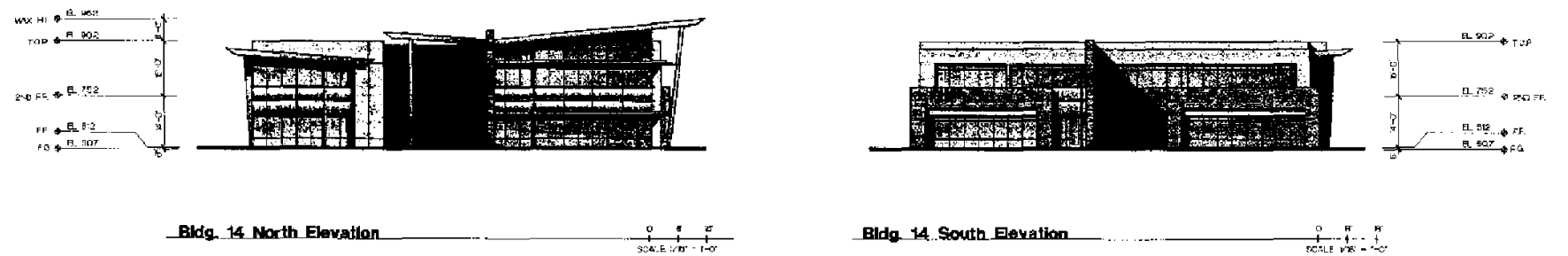
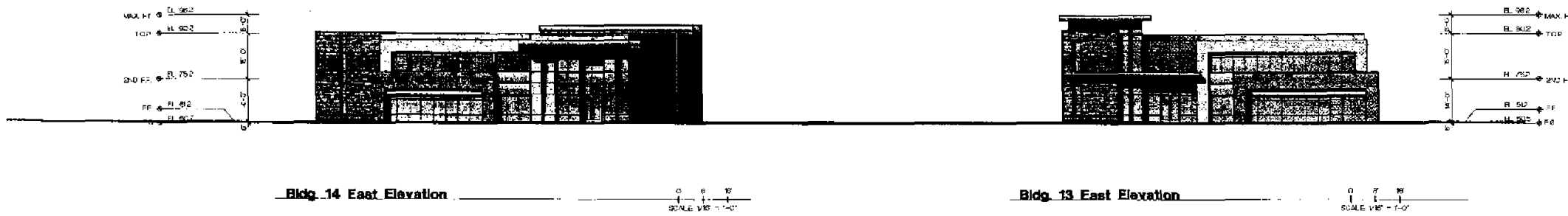
Bldg 13 First Floor Plan  
SCALE: 1/8" = 1'-0"



Development Summary		
1. PROJECT TEAM LANDSCAPE ARCHITECT M.W. PELTZ CONTACT: M.W. PELTZ 415 504-1131 San Diego, CA 92101 Tel: (619) 481-0868 Fax: (619) 481-0868	CIVIL ENGINEER TRICK ENGINEERING CONTACT: GARY ORTEGA 4500 Friar Road San Diego, CA 92108-2806 Tel: (619) 251-4301 Fax: (619) 251-4301	TRAFFIC ENGINEER UNDOIT, LAW & GREENSPAN, ENGRS CONTACT: JOHN HEATING 4540 PLAZA STREET, #100 San Diego, CA 92111 Tel: (619) 300-8100 Fax: (619) 300-8100
2. REQUIRED PERMITS/APPROVALS THIS PROJECT IS BEING SUBMITTED AS AN ADDENDUM TO APPROVED PD/CD/DM/MS NO. 18-2513		
3. LEGAL DESCRIPTION LOT #, MAP NO. 0167		
4. ASSESSOR'S PARCEL NUMBER 307-350-40		
5. OWNER'S NAME PACIFIC TORREY RESERVE HOLDINGS LP CONTACT: JOHN CHAMBERLAIN 8855 El Camino Real, Suite 200 San Diego, CA 92126 Tel: (619) 360-0100 Fax: (619) 360-0100		
6. DESIGNER'S NAME ARCHITECT SFA ARCHITECTURE PLANNING INTERIORS CONTACT: MARY DAVIS 4130 LaSalle Mill Suite 100 San Diego, CA 92121 Tel: (619) 453-2000 Fax: (619) 453-9838		
7. CONSTRUCTION TYPE OFFICE - TYPE II - 1 HR. SPRINKLERS IN LEN OF ONE HOUR PARKING STRUCTURE - TYPE II - 1 HOUR WITH FIRE SPRINKLERS		
8. OCCUPANT CLASSIFICATION OFFICE - 2 / MULTI-TENANT OFFICE - GROUP B PARKING STRUCTURE - S-3		
9. BUILDING CODE 2001 CALIFORNIA BUILDING CODE		
10. ZONE DESCRIPTION EXERCISING ZONE - CO-1-2		
11. PROJECT ID NUMBER		
12. NUMBER OF STORIES OFFICE - 2 STORY PARKING STRUCTURE - SUBTERRANEAN LEVEL AND OPEN PARKING @ 1/F		
13. BUILDING HEIGHT SEE CALCULATIONS		
14. CROSS FLOOR AREA BUILDING 13 - 30,000 SF; BUILDING 14 - 20,100 SF		
15. FLOOR AREA RATIO FOR ENTIRE UNIT 1: 207,254/1,436,616 SF = 0.14 FOR ENTIRE UNIT 2: 327,343/1,984,384 SF = 0.16 FOR ENTIRE UNIT 1 & 2: 534,597/3,421,000 SF = 0.15		
16. EXISTING USE/OCCUPANCY PARKING STRUCTURE		
17. PROPOSED USE/OCCUPANCY OFFICE - 2 / MULTI-TENANT OFFICE - GROUP B PARKING STRUCTURE - S-3		
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES 1998		
19. CONDITION OF SOIL COMPACTED FILL		

TORREY RESERVE - UNIT TWO - PHASE IV

Prepared By:	Revision 10:
Name: SFA Architecture, Planning Interiors	Revision 11:
Contact: Parsons Link Davis	Revision 12:
Address: 4421 Torrey Hills Blvd, Suite 100	Revision 13:
San Diego, CA 92121	Revision 14:
Phone: (619) 453-2000	Revision 15:
Fax: (619) 453-9838	Revision 16:
Project Address:	Revision 17:
8, CAMINO REAL	Revision 18:
SAN DIEGO, CA 92107	Revision 19:
	Revision 20:
	Revision 21:
Project Name:	Revision 22:
TORREY RESERVE UNIT 2 - PHASE IV	Revision 23:
	Revision 24:
	Revision 25:
Sheet Title:	Revision 26:
	Revision 27:
	Revision 28:
	Revision 29:
	Revision 30:

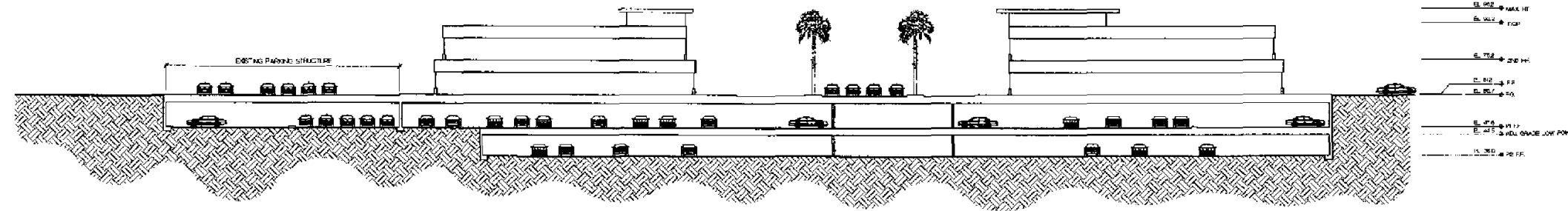


- Typ. Materials**
- MED. TEXTURED STONE TILE
  - LIGHT STONE TILE
  - METAL ROOF AND SUNSHADE ELEMENTS
  - DARK STONE TILE
  - METAL PANELS
  - GLAZING
  - NON REFLECTIVE 1/4" LOP EVERGREEN TINT

Development Summary		
1. PROJECT TEAM	LANDSCAPE ARCHITECT	CIVIL ENGINEER
M.W. FELTZ	RICK ENGINEERING	UNSCOTT, LAW & GREENSPAN ENGRS
CONTACT: MRC FELTZ	CONTACT: GARY OSTEGARD	CONTACT: JOHN KEATING
143 202 7th Street, Suite 200	5420 Friars Road	4542 PLUMMER STREET, #100
San Diego, CA 92101	San Diego, CA 92101-2540	San Diego, CA 92111
Tel: (619) 481-0888	Tel: (619) 291-4387	Tel: (619) 500-8800
Fax: (619) 481-8808	Fax: (619) 291-4160	Fax: (619) 500-8800
2. REQUIRED PERMITS/APPROVALS		
THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED EDO/CDP PERMIT NO. 93-0550		
3. LEGAL DESCRIPTION		
LOT #1, MAP NO. 13182		
4. ASSessor'S PARCEL NUMBER		
307-310-43		
5. OWNER'S NAME		
PACIFIC TORREY RESERVE HOLDINGS LP		
CONTACT: JOHN CHAMBERLAIN		
1655 E Camino Real, Suite 200		
San Diego, CA 92108		
Tel: (619) 450-0600		
Fax: (619) 250-0620		
6. ARCHITECT		
BPA ARCHITECTURE PLANNING INTERIORS		
CONTACT: MARK DAVIS		
4438 Estrella Blvd, Suite 100		
San Diego, CA 92121		
Tel: (619) 453-5000		
Fax: (619) 453-0283		
7. CONSTRUCTION TYPE		
OFFICE - TYPE 1 - 1 HR. SPRINKLER 2 HRS. OF ONE HOUR		
PARKING STRUCTURE - TYPE 1 - 1 HOUR WITH FIRE SEPARATION		
8. OCCUPANCY CLASSIFICATION		
VE A 3 / MULTITENANT OFFICE - GROUP 3		
PARKING STRUCTURE - 100		
9. BUILDING CODE		
200 CALIFORNIA BUILDING CODE		
10. ZONING DESCRIPTION		
UNDEVELOPED ZONE - CD-1-S		
11. PROJECT ID NUMBER		
12. NUMBER OF STORIES		
OFFICE - 1 STORY		
PARKING STRUCTURE - SUBTERRANEAN LEVEL AND OPEN PARKING @ TOP		
13. BUILDING HEIGHT		
SEE EXISTING		
14. GROSS FLOOR AREA		
BUILDING 13 = 70,000 SF, BUILDING 14 = 20,700 SF		
15. FLOOR AREA RATIO		
FOR ENR UNIT 1: 207,724/1,436,616 SF = 0.14		
FOR ENR UNIT 2: 325,333/694,984 SF = 0.47		
FOR ENR UNIT 3 & 4: 333,177/2,256,900 SF = 0.15		
16. EXISTING USE/OCCUPANCY		
PARKING STRUCTURE		
17. PROPOSED USE/OCCUPANCY		
VE A 3 / MULTITENANT OFFICE - GROUP 3		
WITH PARKING STRUCTURE - S 3		
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES		
1998		
19. CONDITION OF SOIL		
COMPACTED		

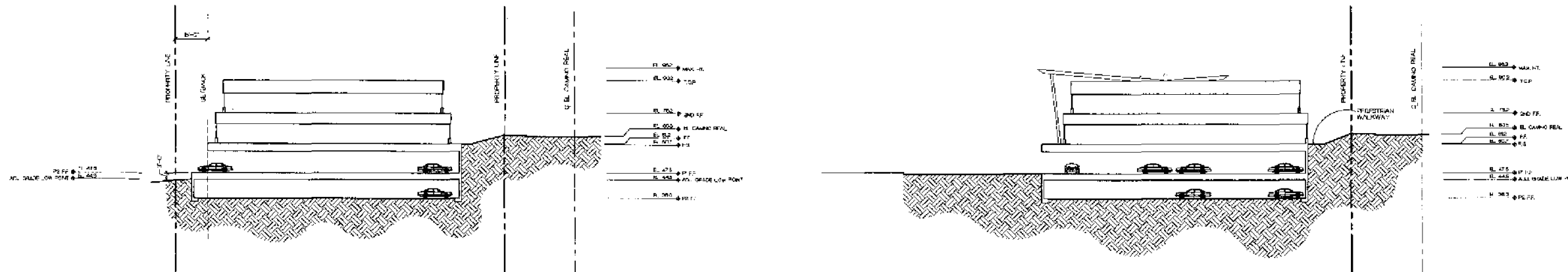
TORREY RESERVE - UNIT TWO - PHASE IV

Prepared By:	Reviewed By:
Name: MPA Architecture, Torrey Reserve	Reviewed By: _____
Contact: Mark Davis	Reviewed By: _____
Address: 4438 Estrella Blvd, Suite 100	Reviewed By: _____
San Diego, CA 92121	Reviewed By: _____
Phone: (619) 453-5000	Reviewed By: _____
Fax: (619) 453-0283	Reviewed By: _____
Project Address:	Reviewed By: _____
1655 E Camino Real	Reviewed By: _____
San Diego, CA 92108	Reviewed By: _____
Project Name:	Reviewed By: _____
TORREY RESERVE UNIT 2 - PHASE IV	Reviewed By: _____
Order Date:	Reviewed By: _____
Sheet: 6 of 11	Reviewed By: _____
Scale:	Reviewed By: _____
DCP:	Reviewed By: _____



Section 1 - 1

0 5 10  
SCALE: 1" = 20'-0"



Section 2 - 2

0 5 10  
SCALE: 1" = 20'-0"

Section 3 - 3

0 5 10  
SCALE: 1" = 20'-0"

Development Summary

1. PROJECT TEAM LANDSCAPE ARCHITECT: <b>MMV PELTZ</b> CONTACT: <b>MIKE PELTZ</b> 143 SOUTH CEDAR SOLANA BEACH, CA 92075 TEL: (949) 481-0669 FAX: (949) 481-8808	CIVIL ENGINEER <b>FRICK ENGINEERING</b> CONTACT: <b>SARAY OSTROGARC</b> 8550 YEARS ROAD SAN DIEGO, CA 92121-0506 TEL: (619) 291-4387 FAX: (619) 291-4195	TRAFFIC ENGINEER <b>EMBOOTT, LAW &amp; GREENSPAN, ENGRS</b> CONTACT: <b>JOHN KEATING</b> 2542 RUFFENHUGH STREET, #100 SAN DIEGO, CA 92108 TEL: (619) 594-8800 FAX: (619) 594-8800
2. REQUIRED PERMITS/APPROVALS THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PCD/CDP PERMIT NO. 08-0358.		
3. LEGAL DESCRIPTION LOT #1, MAP NO. 13187		
4. ASSessor'S PARCEL NUMBER 371-399-42		
5. OWNER'S NAME <b>PACIFIC TORREY RESERVE HOLDINGS, LP</b> CONTACT: <b>JOHN CHAMBERLAIN</b> 1435 Camino Real, Suite 200 San Diego, CA 92108 Tel: (619) 594-0800 Fax: (619) 594-0820		
6. DESIGNER'S NAME <b>ARCHITECT</b> <b>BPA ARCHITECTURE PLANNING INTERIORS</b> CONTACT: <b>WINK DAVIS</b> 4435 Esplanade Mall, Suite 100 San Diego, CA 92121 Tel: (619) 453-8000 Fax: (619) 453-8010		
7. CONSTRUCTION TYPE OFFICE = TYPE II-1 HR. SPANGLERS IN LEX OR LEX HOUR PARKING STRUCTURE = TYPE I - 1 HOUR WITH HR. SPANGLERS		
8. OCCUPANCY CLASSIFICATION IC 4.1 / MULTI-TENANT OFFICE - GROUP 2 PARKING STRUCTURE = "S-3"		
9. BUILDING CODE 2001 CALIFORNIA BUILDING CODE		
10. ZONING DESCRIPTION LANDMARK ZONE DD-1-2		
11. PROJECT ID NUMBER		
12. NUMBER OF STORES OFFICE: 2 STORES PARKING STRUCTURE: SUBSTANTIAL LEVEL AND OPEN PARKING @ TOP		
13. BUILDING HEIGHT SL. VARIATIONS		
14. GROSS FLOOR AREA BUILDING 17 = 20,500 SF, BUILDING 14 = 10,000 SF		
15. FLOOR AREA RATIO FOR OFFICE UNIT 1: 207,724/1,436,616 SF = 0.14 FOR OFFICE UNIT 2: 127,333/894,584 SF = 0.14 FOR OFFICE UNIT 3: 533,274/3,759,600 SF = 0.14		
16. EXISTING USE/OCCUPANCY PARKING STRUCTURE		
17. PROPOSED USE/OCCUPANCY IC 4.1 / MULTI-TENANT OFFICE - GROUP 2 WITH PARKING STRUCTURE "S-3"		
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES 1998		
19. CONDITION OF SOIL COMPACTED FILL		

TORREY RESERVE - UNIT TWO - PHASE IV

Prepared By: Name: <b>BPA Architecture Planning Interiors</b> Contact Person: <b>Wink Davis</b> Address: <b>4435 Esplanade Mall, Suite 100</b> <b>San Diego, CA 92121</b> Phone: <b>(619) 453-8000</b> Fax: <b>(619) 453-8010</b>	Project Address: <b>1435 Camino Real</b> <b>SAN DIEGO, CA 92108</b>	Project Name: <b>TORREY RESERVE UNIT 2 - PHASE IV</b>	Revision 10: _____ Revision 9: _____ Revision 8: _____ Revision 7: _____ Revision 6: _____ Revision 5: _____ Revision 4: _____ Revision 3: _____ Revision 2: _____ Revision 1: _____ Original Date: <b>08/14/07</b> Drawn: _____ Checked: _____ Scale: _____
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**LEGEND**

6" CURB	---
6" CURB & GUTTER	---
DIRECTION OF FLOW	---
PROPERTY BOUNDARY	---
PROPOSED SLOPE	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
SPOT ELEVATION	---
DAYLIGHT LINE	---
FINISH FLOOR ELEVATION	FF-62
HARDSCAPE	---
CROSS CUTTER	---
EXISTING STORM DRAIN	SD
EXISTING BASE LINE	---
EXISTING SEWER LINE	---
RETAINING WALL	---

**POST CONSTRUCTION BMP'S**

ALL PERMANENT CONTROLS & BMP'S SHALL BE PRIVATELY MAINTAINED TO THE SATISFACTION OF THE CITY ENGINEER.

PROTECTING AND MAINTAINING PROPER SURFACE DRAINAGE IS IMPERATIVE TO ASSURE SOIL STABILITY AND TO REDUCE EROSION.

NO STORM OR IRRIGATION WATER SHALL BE ALLOWED TO DISCHARGE OVER THE TOP OF CUT OR FILL SLOPES. PERMANENT EROSION CONTROL MEASURES SUCH AS COMPLETE LANDSCAPING WITH DROUGHT-TOLERANT, SLOPE-STABILIZING VEGETATION SHALL BE PROVIDED TO THE SATISFACTION OF THE CITY ENGINEER.

AN INTEGRAL PART OF ACHIEVING ADEQUATE POLLUTANT REMOVAL FROM COLLECTED STORM WATER IS THE IMPLEMENTATION OF SOURCE CONTROL PRACTICES THAT REDUCE THE AMOUNT OF CONTAMINANTS OF THE GROUND SURFACE THAT CAN COME IN DIRECT CONTACT WITH SURFACE FLOWS. THESE PRACTICES INCLUDE:

1. ENCOURAGE PROPER USE AND DISPOSAL OF MATERIALS INCLUDING FERTILIZERS, PESTICIDES, AND HERBICIDES AND INCLUDING APPROPRIATE METHODS, RATES, AND FREQUENCY OF APPLICATION OF THESE CHEMICALS.
2. ENCOURAGE ALTERNATIVE METHODS FOR CONTROLLING WEEDS AND INSECTS USING PHYSICAL, BIOLOGICAL, AND LOWER-TOXICITY METHODS.
3. RECYCLE CHEMICALS TO THE EXTENT POSSIBLE AND DISPOSE OF MATERIALS IN A SAFE AND PROPER MANNER.

**TOPOGRAPHY SOURCE**

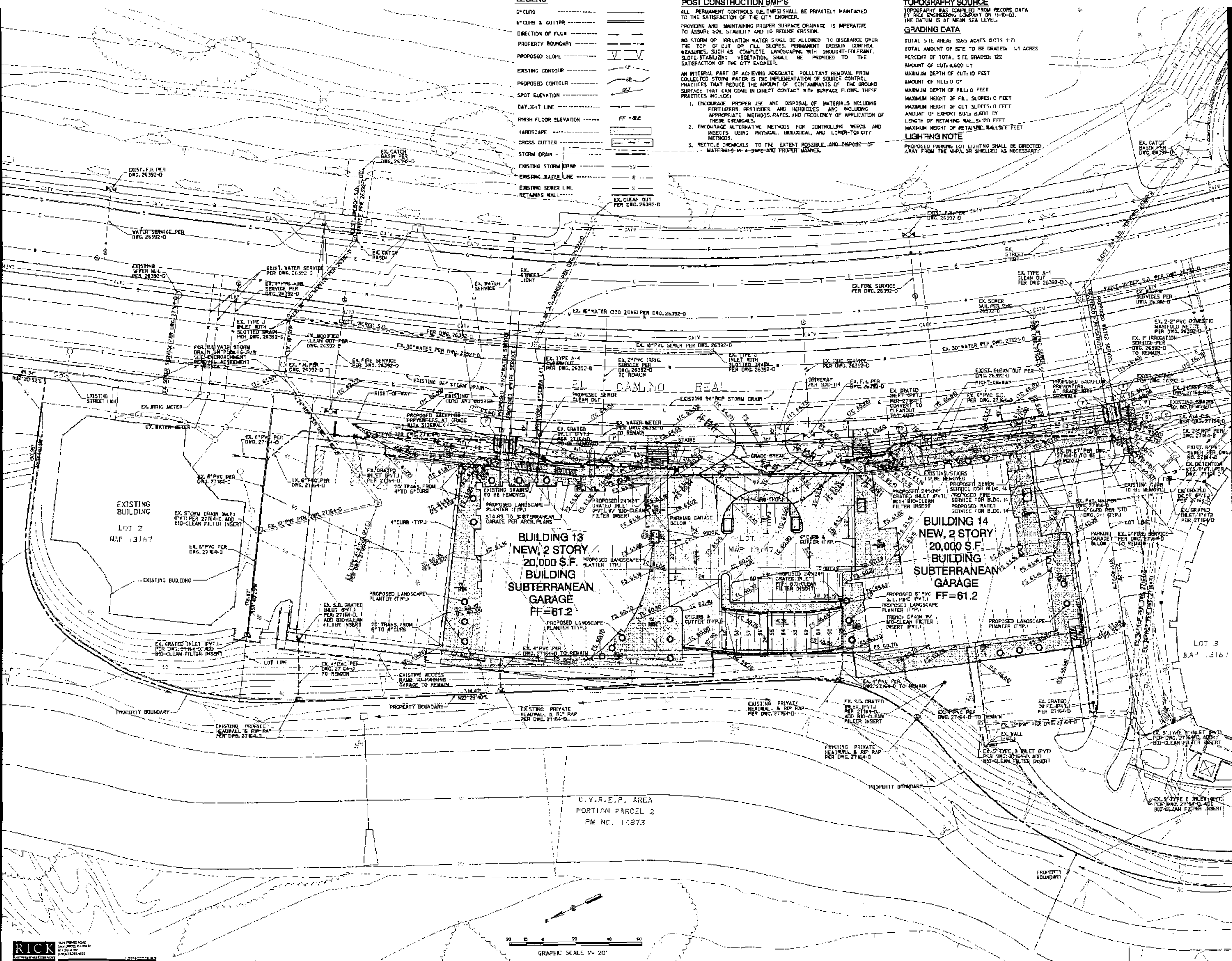
TOPOGRAPHY WAS COMPILED FROM RECORD DATA BY RICK ENGINEERING COMPANY ON 11-10-03. THE DATUM IS AT MEAN SEA LEVEL.

**GRADING DATA**

TOTAL SITE AREA: 1545 ACRES (LOTS 1-7)  
 TOTAL AMOUNT OF SITE TO BE GRADED: 14 ACRES  
 PERCENT OF TOTAL SITE GRADED: 0.92  
 AMOUNT OF CUT: 6,600 CY  
 MAXIMUM DEPTH OF CUT: 10 FEET  
 AMOUNT OF FILL: 0 CY  
 MAXIMUM DEPTH OF FILL: 0 FEET  
 MAXIMUM HEIGHT OF FILL SLOPES: 0 FEET  
 MAXIMUM HEIGHT OF CUT SLOPES: 0 FEET  
 LENGTH OF RETAINING WALLS: 100 FEET  
 MAXIMUM HEIGHT OF RETAINING WALLS: 5 FEET

**LIGHTING NOTE**

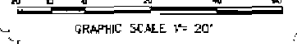
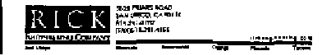
PROPOSED PARKING LOT LIGHTING SHALL BE DIRECTED AWAY FROM THE NHP, OR SHIELDED AS NECESSARY.

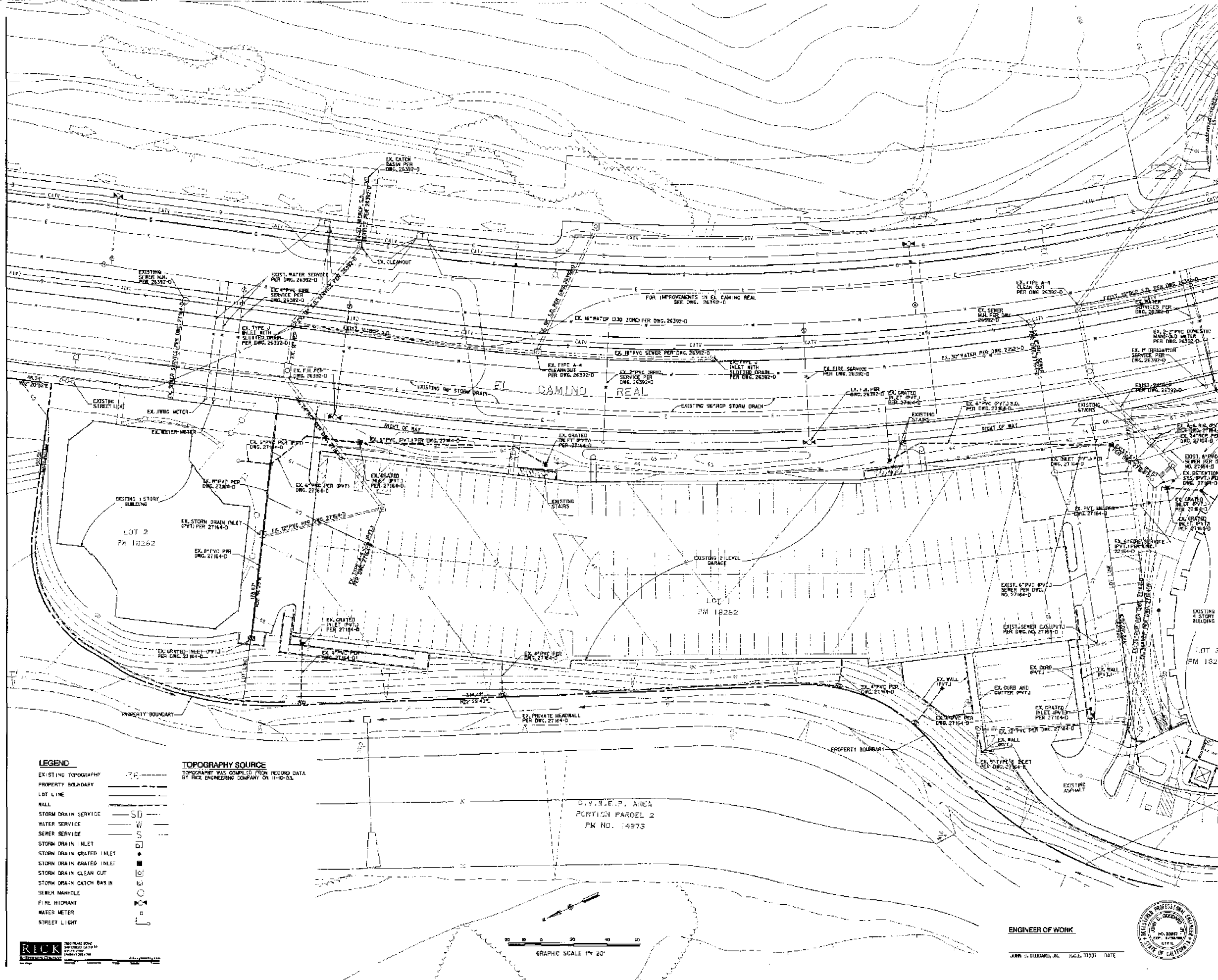


Development Summary			
<b>1. PROJECT TEAM</b>	LANDSCAPE ARCHITECT M.W. PELTZ CONTACT: MIKE PELTZ 143 SOUTH GARDEN SAN DIEGO, CA 92108 Tel: (655) 491-0880 Fax: (655) 491-0880	CIVIL ENGINEER RICK ENGINEERING CONTACT: GARY COSTAGAR 520 TOWN ROAD SAN DIEGO, CA 92108-2206 Tel: (619) 231-8777 Fax: (619) 231-4465	TRAFFIC ENGINEER LINSCOTT, LAM & GREENSPAN, ENGRS CONTACT: JOHN KEATING 6450 RUFFIN STREET, #100 SAN DIEGO, CA 92121 Tel: (655) 300-4888 Fax: (655) 300-8870
<b>2. REQUIRED PERMITS/APPROVALS</b>	THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PCD/CCDP PERMIT NO. 98-0200. THE PROJECT PROPOSES THE PARTIAL DEMOLITION OF AN EXISTING SUBTERRANEAN PARKING STRUCTURE FOR THE CONSTRUCTION OF 2 BUILDINGS AND A SUBTERRANEAN PARKING STRUCTURE. EACH BUILDING WILL BE 2 STORIES AND 20,000 SQUARE FEET.		
<b>3. LOCAL DESCRIPTION</b>	LOT 1 OF MAP NO. 13167		
<b>4. ASSESSOR'S PARCEL NUMBER</b>	307-389-40		
<b>5. OWNER'S NAME</b>	PACIFIC TORREY RESERVE HOLDINGS, LP CONTACT: JOHN CHAMBERLAIN 11455 El Camino Real, Suite 200 San Diego, CA 92130 Tel: (858) 350-2600 Fax: (858) 350-2620		
<b>6. DESIGNER'S NAME</b>	ARCHITECT EPA ARCHITECTURE PLANNING INTERIORS CONTACT: MARK GAMES 4435 Eastgate Mall, Suite 100 San Diego, CA 92121 Tel: (655) 453-1200 Fax: (655) 453-1913		
<b>7. CONSTRUCTION TYPE</b>	OFFICE - TYPE 1-1 INC. SPRINKLERS IN LEN OF ONE HOUR PARKING STRUCTURE - TYPE 1 - 1 HOUR WITH FIRE SPRINKLERS		
<b>8. OCCUPANCY CLASSIFICATION</b>	OFFICE - TYPE 1-1 PARKING STRUCTURE - TYPE 1-1		
<b>9. BUILDING CODE</b>	2007 CALIFORNIA BUILDING CODE		
<b>10. ZONING DESIGNATION</b>	UNDERLYING ZONE: CO-1-2		
<b>11. PROJECT ID NUMBER</b>			
<b>12. NUMBER OF STORIES</b>	OFFICE: 2 STORY PARKING STRUCTURE - SUBTERRANEAN LEVEL AND OPEN PARKING @ TOP		
<b>13. BUILDING HEIGHT</b>	5'-2" (18' CONDO)		
<b>14. GROSS FLOOR AREA</b>	BUILDING 13: 20,000 SF, BUILDING 14: 20,000 SF		
<b>15. FLOOR AREA RATIO</b>	FOR CHURCH UNIT 1: 202,731/4,248,818 SF = 0.14 FOR ENTIRE UNIT 2: 322,911/8,494,515 SF = 0.36 FOR ENTIRE UNIT 1 & 2: 525,642/1,358,800 SF = 0.29		
<b>16. EXISTING USE/OCCUPANCY</b>	PARKING STRUCTURE		
<b>17. PROPOSED USE/OCCUPANCY</b>	OFFICE - TYPE 1-1 WITH PARKING STRUCTURE - TYPE 1-1		
<b>18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES</b>	NONE		
<b>19. CONDITION OF SOIL</b>	COMPACTED FILL		

**TORREY RESERVE UNIT TWO - PHASE IV**

Prepared By:	Revisions 14:
Name: EPA Architecture Planning Interiors	Revisions 13:
Contact: Mark Games	Revisions 12:
Address: 4435 Eastgate Mall, Suite 100	Revisions 11:
San Diego, CA 92121	Revisions 10:
Phone #: 655-453-1200	Revisions 9:
Fax #: 655-453-1913	Revisions 8:
Project Address:	Revisions 7:
EL CAMINO REAL	Revisions 6:
SAN DIEGO, CA 92138	Revisions 5:
Project Name:	Revisions 4:
TORREY RESERVE UNIT 2 - PHASE IV	Revisions 3:
Sheet Title:	Revisions 2: 02/15/08
	Revisions 1: 08/16/07
	Original Date: 02/15/07
	Sheet 8 of 11
	DCP:



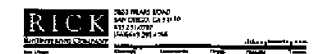
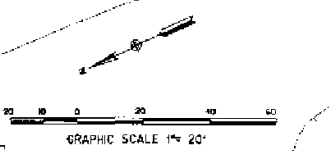


**LEGEND**

EXISTING TOPOGRAPHY	- - - - -
PROPERTY BOUNDARY	— — — — —
LOT LINE	— — — — —
WALL	— — — — —
STORM DRAIN SERVICE	SD — — — — —
WATER SERVICE	W — — — — —
SEWER SERVICE	S — — — — —
STORM DRAIN INLET	□
STORM DRAIN GRATED INLET	■
STORM DRAIN GRATED INLET	■
STORM DRAIN CLEAN OUT	⊕
STORM DRAIN CATCH BASIN	⊕
SEWER MANHOLE	⊕
FIRE HYDRANT	⊕
WATER METER	⊕
STREET LIGHT	⊕

**TOPOGRAPHY SOURCE**  
 TOPOGRAPHY WAS OBTAINED FROM RECORD DATA BY RICK ENGINEERING COMPANY ON 11-10-03.

S.V.R.C.P. AREA  
 PORTION PARCEL 2  
 PK NO. 4973



ENGINEER OF WORK  
 JOHN D. DEBARDI, JR. S.C.E. 31031 DATE



Development Summary

- PROJECT TEAM**

LANDSCAPE ARCHITECT M.W. PELTZ CONTACT: MIKE PELTZ 143 SOUTH GARDEN SALINA BEACH, CA 92073 Tel: (658) 481-0888 Fax: (658) 481-0888	CIVIL ENGINEER RICK ENGINEERING CONTACT: GARY OSTECARD 2600 Friess Road San Diego, CA 92110-2296 Tel: (619) 291-0721 Fax: (619) 251-4155	TRAFFIC ENGINEER UNSCOTT, LAW & GREENSPAN, ENGINEERS CONTACT: JOHN KEATING 4042 RUFFNER STREET, #100 San Diego, CA 92111 Tel: (619) 348-8888 Fax: (619) 348-8898
--	--	---
- REQUIRED PERMITS/APPROVALS**  
 THIS PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PERMITS/CDP PERMIT NO. 98-0280. THE PROJECT PROPOSES THE PARTIAL DEMOLITION OF AN EXISTING SUBTERRANEAN PARKING STRUCTURE FOR THE CONSTRUCTION OF 2 BUILDINGS AND A SUBTERRANEAN PARKING STRUCTURE. EACH BUILDING WILL BE 2 STOREYS AND 20,000 SQUARE FEET.
- LEGAL DESCRIPTION**  
 LOT 1 OF MAP NO. 12867
- ASSASSINATED PARKING NUMBER**  
 307-380-48
- OWNER'S NAME**  
 PACIFIC TORREY RESERVE HOLDINGS, LP  
 CONTACT: JOHN CHAMBERLAIN  
 11455 El Camino Real, Suite 200  
 San Diego, CA 92130  
 Tel: (658) 350-2600  
 Fax: (658) 350-2620
- DESIGNER'S NAME**  
 ARCHITECT  
 BPA ARCHITECTURE PLANNING INTERIORS  
 CONTACT: MARK DAVIS  
 4435 Eastgate Mall, Suite 100  
 San Diego, CA 92121  
 Tel: (658) 453-1200  
 Fax: (658) 453-1913
- CONSTRUCTION TYPE**  
 OFFICE - TYPE 1-1 HR. SPRINKLERS IN LUN OF ONE HOUR  
 PARKING STRUCTURE - TYPE 8 - 1 HOUR WITH FIRE SPRINKLERS
- OCCUPANCY CLASSIFICATION**  
 VC / MULTI-TENANT OFFICE - GROUP 'B'  
 PARKING STRUCTURE - 'S-3'
- BUILDING CODE**  
 2008 CALIFORNIA BUILDING CODE
- ZONING DESIGNATION**  
 UNRES ZONE - CO-1-3
- PROJECT ID NUMBER**
- NUMBER OF STOREYS**  
 OFFICE: 2 STORY  
 PARKING STRUCTURE - SUBTERRANEAN LEVEL AND OPEN PARKING @ TOP
- BUILDING HEIGHT**  
 3'-0" (TO CURB)
- GROSS FLOOR AREA**  
 BUILDING 15-20,000 SF, BUILDING 14-20,000 SF
- FLOOR AREA RATIO**  
 FOR EXISTING UNIT 1: 207,734/13,868 SF = 0.14  
 FOR EXISTING UNIT 2: 325,349/84,094 SF = 0.38  
 FOR EXISTING UNIT 1 & 2: 533,077/1,328,900 SF = 0.328
- EXISTING OCCUPANCY**  
 PARKING STRUCTURE
- PROPOSED OCCUPANCY**  
 VC / MULTI-TENANT OFFICE - GROUP 'B'  
 WITH PARKING STRUCTURE - 'S-3'
- YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES**  
 1988
- CONDITION OF SOIL**  
 COMPACTED FILL

**TORREY RESERVE UNIT TWO - PHASE IV**

Prepared By: BPA Architecture Planning Interiors  
 Contact Person: Mark Davis  
 Address: 4435 Eastgate Mall, Suite 100  
 San Diego, CA 92121  
 Phone #: 658-453-1200  
 Fax #: 658-453-1913

Project Address:  
 EL CAMINO REAL  
 SAN DIEGO, CA 92130

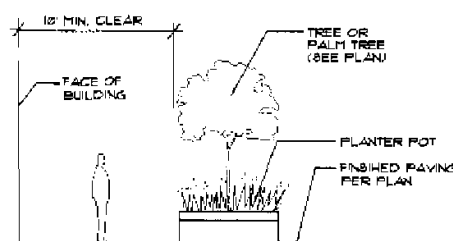
Project Name:  
 TORREY RESERVE UNIT 2 - PHASE IV

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	07/25/08
Revision 1:	09/24/07
Original Date:	05/18/07
Sheet:	9 of 11
DDP#:	

Sheet Title:  
**SHEET 9**  
**TOPOGRAPHIC MAP**



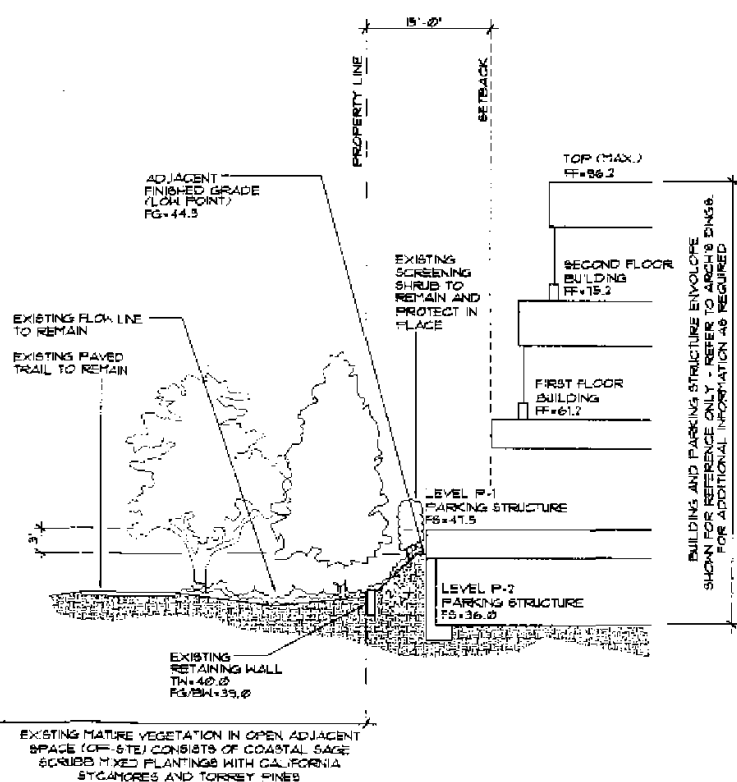




NOTES:  
 1. PLANTER POTS ARE NOT FIXED IN PLACE AND CAN BE RELOCATED IN THE EVENT THAT THE TREE IS UNABLE TO BE PRUNED TO MEET THE 10' CLEARANCE REQUIREMENT FOR BRUSH MANAGEMENT.  
 2. ONLY TREES LOCATED BETWEEN THE WEST FACE OF THE BUILDING WALL AND THE ADJACENT OPEN SPACE ARE SUBJECT TO THE CONDITIONS AND REQUIREMENTS FOR BRUSH MANAGEMENT. IN SUCH INSTANCES, IF SPACE IS LIMITED, PALM TREES ARE AN OPTION TO BROAD-HEADED ORNAMENTAL TREES. SEE PLANT MATERIAL LEGEND FOR ADDITIONAL INFORMATION.

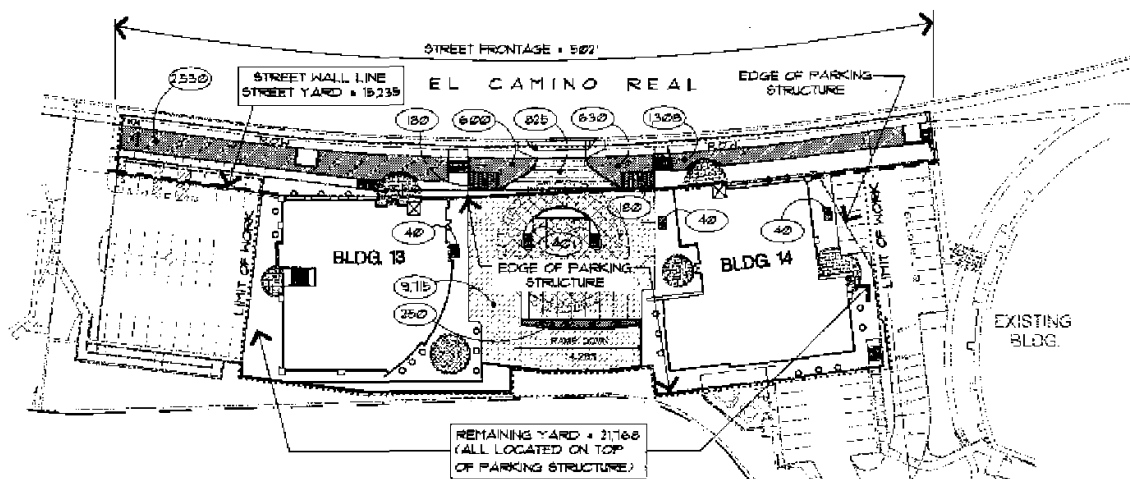
**BRUSH MANAGEMENT TREE SEPARATION DISTANCE SECTION**

SCALE: 1/4" = 1'-0"  
 TYPICAL SECTION



**LANDSCAPE SECTION A-A'**

SCALE: 1/8" = 1'-0"  
 LOOKING NORTH



STREET TREES		SYMBOLS LEGEND		VEHICULAR USE AREA (VUA) INSIDE STREET YARD	
STREET FRONTAGE	592 LF	STREET YARD PLANTING AREA	[Symbol]	VUA OUTSIDE STREET YARD PLANTING AREA	[Symbol]
NUMBER OF STREET TREES REQUIRED	1 TREE / 30 LF	VEHICULAR USE AREA (VUA) OUTSIDE STREET YARD	[Symbol]	VUA INSIDE STREET YARD PLANTING AREA	[Symbol]
NUMBER OF STREET TREES PROVIDED	27 TREES				

STREET YARD		REMAINING YARD		V.U.A. - OUTSIDE STREET YARD		V.U.A. - INSIDE STREET YARD	
TOTAL AREA (PER PLAN)	15,235 SF x .25	TOTAL AREA (PER PLAN)	21,768 SF x .25	TOTAL AREA (PER PLAN)	5,115 SF x .25	TOTAL AREA (PER PLAN)	825 SF x .25
PLANTING AREA REQ'D	3,809 SF	NOTE: ENTIRE REMAINING YARD IS LOCATED ON TOP LEVEL OF PARKING STRUCTURE - ALL AREAS ARE PROVIDED WITH ENHANCED CONCRETE PEDESTRIAN WALKS AND PLAZAS WITH SITE FURNISHINGS AND LANDSCAPING IN PLANTER POTS	5,442 SF	PLANTING AREA REQ'D	127 SF	PLANTING AREA REQ'D	42 SF
PLANTING AREA PROVIDED	5,038 SF		12,000 SF	PLANTING AREA PROVIDED	410 SF	PLANTING AREA PROVIDED	340 SF
EXCESS AREA PROVIDED	1,275 SF			EXCESS AREA PROVIDED	118 SF	EXCESS AREA PROVIDED	318 SF
POINTS REQUIRED	15,235 SF x .25			POINTS REQUIRED	5,115 SF x .25	POINTS REQUIRED	625 SF x .25
PLANTING POINTS REQ'D	162 PTS.			PLANTING POINTS REQ'D	292 PTS.	PLANTING POINTS REQ'D	42 PTS.
PLANTING POINTS PROVIDED (ACHIEVED WITH TREES ONLY)	793 PTS.			PLANTING POINTS PROVIDED (TREES AND SHRUBS)	230 PTS.	PLANTING POINTS PROVIDED (TREES AND SHRUBS)	126 PTS.
EXCESS POINTS PROVIDED	31 PTS.			EXCESS AREA USED IN EXCHANGE OF REDUCED POINT REQUIREMENT (UP TO 75%)	62 PTS.	TREE POINTS REQ'D	27 PTS.
				EXCESS POINTS PROVIDED	0 PTS.	TREE POINTS PROVIDED	40 PTS.
				POINTS REQUIRED	15,235 SF x .25		
				PLANTING POINTS REQ'D	162 PTS.		
				PLANTING POINTS PROVIDED (ACHIEVED WITH TREES ONLY)	793 PTS.		
				EXCESS AREA USED IN EXCHANGE OF REDUCED POINT REQUIREMENT (UP TO 75%)	230 PTS.		
				EXCESS POINTS PROVIDED	0 PTS.		

**LANDSCAPE CALCULATIONS AND AREA DIAGRAM**

SCALE: 1" = 20' - 0"



Development Summary

1. PROJECT TEAM	LANDSCAPE ARCHITECT M.W. PELTZ CONTACT: MIKE PELTZ 145 SOUTH CEDROS SOLANA BEACH, CA 92076 Tel: (951) 481-0888 Fax: (951) 481-0808	CIVIL ENGINEER RICK ENGINEERING CONTACT: GARY OSTEGARD 5520 FINNS ROAD SAN DIEGO, CA 92108-2668 Tel: (619) 291-4387 Fax: (619) 291-4905	TRAFFIC ENGINEER LINSCOTT, LAW & GREENSPAN, ENGRS CONTACT: JEAN KEATING 4542 RUFFINER STREET #100 SAN DIEGO, CA 92111 Tel: (619) 300-8900 Fax: (619) 300-8910
2. REQUIRED PERMITS/APPROVALS	THE PROJECT IS BEING SUBMITTED AS AN AMENDMENT TO APPROVED PCO/CCP PERMIT NO. 14-0028. THE PROJECT PROPOSES THE PARTIAL DEMOLITION OF AN EXISTING SUBTERRANEAN PARKING STRUCTURE FOR THE CONSTRUCTION OF 7 BUILDINGS AND 7 SUBTERRANEAN PARKING STRUCTURE. EACH BUILDING WILL BE 2 STORIES AND 10,000 SQUARE FEET.		
3. LEGAL DESCRIPTION	LOT #1, MAP #0.13157		
4. ASSESSOR'S PARCEL NUMBER	307-388-01		
5. OWNER'S NAME	PACIFIC TORREY RESERVE HOLDINGS LP CONTACT: JOHN CHAMBERLAIN 1955 B Camino Real, Suite 200 San Diego, CA 92108 Tel: (619) 360-2100 Fax: (619) 360-2020		
6. DESIGNER'S NAME	ARCHITECT BPA ARCHITECTURE PLANNING INTERIORS CONTACT: MARK DAVIS 4425 Eastgate Mall, Suite 100 San Diego, CA 92121 Tel: (619) 453-1200 Fax: (619) 453-1019		
7. CONSTRUCTION TYPE	OFFICE - TYPE I-1, HR. SPRINKLERS IN LIEU OF ONE HOUR PARKING STRUCTURE - TYPE II - 1 HOUR WITH FIRE SPRINKLERS		
8. OCCUPANCY CLASSIFICATION	OFFICE / MULTI-TENANT OFFICE - GROUP 1B PARKING STRUCTURE - S-3		
9. BUILDING CODE	2001 CALIFORNIA BUILDING CODE		
10. ZONING JURISDICTION	UNDERLYING ZONE: CO-1-2		
11. PROJECT ID NUMBER			
12. NUMBER OF STORIES	OFFICE: 2 STORY PARKING STRUCTURE: SUBTERRANEAN LEVEL AND OPEN PARKING @ TOP		
13. BUILDING HEIGHT	X-X' (6 (OFFICE))		
14. GROSS FLOOR AREA	BUILDING 13 = 10,000 SF, BUILDING 14 = 10,000 SF		
15. FLOOR AREA RATIO	FOR EXIST. UNIT 1: 207,734/3,435,816 SF = 0.11 FOR EXIST. UNIT 2: 325,363/894,984 SF = 0.36 TOP EXIST. UNIT 1 & 2: 533,127/2,558,600 SF = 0.20		
16. EXISTING USE/OCCUPANCY	PARKING STRUCTURE		
17. PROPOSED USE/OCCUPANCY	OFFICE / MULTI-TENANT OFFICE - GROUP 1B WITH PARKING STRUCTURE - S-3		
18. YEAR OF CONSTRUCTION OF ALL EXISTING STRUCTURES	1988		
19. REMOVAL OF SOIL COMPACTED HILL			

**TORREY RESERVE - UNIT TWO - PHASE IV PARCEL EL CAMINO REAL**

Prepared By:	MWP Associates	Revision 4:	
Name:	Michael Parsons, Mark Davis	Revision 3:	
Address:	4425 Eastgate Mall, Suite 100 San Diego, CA 92121	Revision 2:	
Phone:	(619) 453-1200	Revision 1:	
Fax:	(619) 453-1019	Revision 0:	
Project Address:	EL CAMINO REAL	Revision 5:	
		Revision 4:	
		Revision 3:	
		Revision 2:	07/15/08
		Revision 1:	02/18/07
Project Name:	TORREY RESERVE UNIT 2 - PHASE IV	Original Date:	02/18/07
		Sheet:	11 of 11
		Scale:	DCP

**LANDSCAPE CALCULATIONS AND LANDSCAPE SECTIONS**

PLANNING COMMISSION  
RESOLUTION NO. V2  
PLANNED DEVELOPMENT PERMIT NO. 490145 and  
COASTAL DEVELOPMENT PERMIT NO. 490146  
Amending Planned Commercial Development and Coastal Development Permit  
Nos. 85-0824 and 98-0550  
**TORREY RESERVE [MMRP] PTS#1450**

WHEREAS, PACIFIC TORREY RESERVE HOLDINGS, L.P., Owner/Permittee, filed an application with the City of San Diego for a Planned Development Permit and Coastal Development Permit to amend Planned Commercial Development and Coastal Development Permit Nos. 85-0824 and 98-0550 to develop three additional buildings, subterranean parking and landscaping within the existing Torrey Reserve development (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 490145 and 490146), on portions of a 11.24 acre site;

WHEREAS, the project site is located north of Arroyo Sorrento Road and east of El Camino Real in the CO-1-2 Zone of the Torrey Hills Community Plan area;

WHEREAS, the project site is legally described as Parcels 1, 2, 3, 4, 5 and 6 of Parcel Map No. 18561, filed in the Office of the County Recorder of San Diego County on October 13, 2000;

WHEREAS, on V13 - DATE, the Planning Commission of the City of San Diego considered Planned Development Permit No. 490145 and Coastal Development Permit No. 490146, amending Planned Commercial Development and Coastal Development Permit Nos. 85-0824 and 98-0550, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated V19 - DATE.

FINDINGS:

**Planned Development Permit - Section 126.0604**

**A. Findings for all Planned Development Permits**

- 1. The proposed development will not adversely affect the applicable land use plan.** The proposed commercial office development on a 11.24 acre site is designated for Visitor Commercial use by the Torrey Hills Community Plan and allows commercial development at the intensities allowed by the existing CO-1-2 Zone. The proposed project is consistent with this designation. Being determined the project is consistent with the General Plan, the Torrey Hills Community Plan, the regulations of the CO-1-2 Zone and the Sorrento Hills Development Agreement provisions, the proposed development will not adversely affect the applicable land use plan.

**2. The proposed development will not be detrimental to the public health, safety, and welfare.** The proposed development includes the contribution of its fair share cost towards construction of public improvements in the Torrey Hills community. The proposed development will construct necessary on-site wastewater and water facilities to serve the occupants of the development; will enter into a Maintenance Agreement for the ongoing permanent Best Management Practices [BMP] maintenance; and will comply with all requirements of State Water Resources Control Board [SWRCB] Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. The development will also provide for the health, safety, and welfare of the occupants by locating Zone 1 Brush Management outside the MPHA and Zone 2 Brush Management inside the MPHA and outside of lands owned by the City while providing setbacks for structures adjacent to fuel sources. All structures constructed will be reviewed prior to the issuance of construction permits by professional staff for compliance with all relevant and applicable building, electrical, mechanical and fire codes to assure the structures will meet or exceed the current regulations. As such the proposed development will not be detrimental to the public health, safety, and welfare.

**3. The proposed development will comply with the regulations of the Land Development Code.** The proposed development complies with the regulations of the CO-1-2 Zone and site specific development regulations for the property. No deviations or variances are required to approve the proposed project. The proposed development complies with all relevant regulations of the Land Development Code. Specific conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and have been written as such into Planned Development Permit No. 490145 and Coastal Development Permit No. 490146. Development of the property will meet all requirements of these regulations. Concept plans for the project identify all other development criteria in effect for the site. All relevant regulations will be complied with at all times for the life of the project. In these ways the proposed development will comply with the applicable and relevant regulations of the Land Development Code.

**4. The proposed development, when considered as a whole, will be beneficial to the community.** The community will benefit from the additional office development through the provision of increased office space in the community available for local residents to locate their businesses in the community. This in turn may result in fewer vehicle trips leaving the community utilizing the local road system rather than the freeway network, reducing commute times, reducing the consumption of limited precious resources, reducing negative impacts to air quality which result from the burning of fossil fuels, and other such efficiencies resulting from nearby residents working in or near the community of their place of residence. These project goals will provide additional commercial office opportunities in the community. The resulting benefits of the project will be positive for the community and City of San Diego.

**5. Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.** The project proposes no deviations from the Land Development Code regulations. The proposed Planned Development Permit is required to amend a previous discretionary permit, Planned Commercial Development and Coastal Development Permit Nos. 85-0824 and 98-0550 and is not required to

allow any deviations as none are proposed. Thus the project will be a desirable development in that it will be consistent with all the requirements of the CO-1-2 Zone as it relates to the development of the site.

**Coastal Development Permit - Section 126.0708**

**A.**

1. **The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.** The 11.24 acre site is located approximately three miles east from the Pacific Ocean. No physical accessway legally used by the public or proposed public accessway will be compromised or encroached upon with the approval of the project as none exist crossing the property leading to and along the ocean and other scenic coastal areas. No existing or proposed physical accessway exists or is designated on or across the site. From the site no public views to or along the ocean or other scenic coastal areas presently exist and none will be impacted from the approval of the project.
2. **The proposed coastal development will not adversely affect environmentally sensitive lands.** The site is designated by the Torrey Hills Community Plan for Visitor Commercial use and allows commercial development at the intensities allowed by the existing CO-1-2 Zone. The proposed project is consistent with this designation. Being determined the project is consistent with the Progress Guide and General Plan, the Torrey Hills Community Plan, the regulations of the CO-1-2 Zone and the Sorrento Hills Development Agreement provisions, the proposed development will not adversely affect the applicable land use plan. There are no impacts to sensitive lands as none exist on the site.
3. **The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.** The certified Local Coastal Program, the Torrey Hills Community Plan, designates this site for Visitor Commercial use. The proposed development will comply with the certified Local Coastal Program and the regulations of the Implementation Program. No variances or deviations are required to approve the project as proposed.
4. **For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.** The site, approximately three miles east of the Pacific Ocean, is not between the nearest public road and the sea or shoreline of any body of water within the Coastal Overlay Zone. The site is located in Torrey Hills Community Plan east of Interstate 5. The development of a commercial office development will have no affect upon the public's access to coastal resources or recreation policies of Chapter 3 of the Coastal Act. The site does not contain any existing or planned access routes to the sea or shoreline of any body of water within the Coastal Overlay Zone and will have no affect upon the recreation policies of Chapter 3 of the Coastal Act in that all necessary parking is provided on the site for employees and visitors. Being determined that the proposed project

will have no affect upon the access or recreational policies of the Coastal Act, the proposed project is therefore in conformance with the policies of such act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 490145 and Coastal Development Permit No. 490146 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 490145 and 490146, a copy of which is attached hereto and made a part hereof.

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John S. Fisher  
Development Project Manager  
Development Services

Adopted on: V27 - DATE OF APPROVAL

Job Order No. 410001

PLANNING COMMISSION  
RESOLUTION NO. V2  
PLANNED DEVELOPMENT PERMIT NO. 427638 and  
COASTAL DEVELOPMENT PERMIT NO. 427637  
Amending Planned Commercial Development and Coastal Development Permit  
Nos. 85-0824 and 98-0550  
**TORREY RESERVE PHASE IV**

WHEREAS, PACIFIC TORREY RESERVE HOLDINGS, LP, Owner/Permittee, filed an application with the City of San Diego for a Planned Development Permit and a Coastal Development Permit to amend Planned Commercial Development Permit No. 85-0824 to allow the addition of two buildings on an existing developed site. The new buildings are described as Building 13; a two-story 20,000 square foot office building and Building 14; a two-story 20,000 square foot office building on an existing 11.65 acre site zoned CO-1-2 and within the boundaries of the Torrey Hills Community Plan. Other improvements would include landscaping, site improvements and improvements in the public right-of-way (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 427638 and 427637), on portions of a 11.65 acre site;

WHEREAS, the project site is located at 11502 El Camino Real in the CO-1-2 Zone of the Torrey Hills Community Plan area;

WHEREAS, the project site is legally described as Lot 1 of Map No. 13167;

WHEREAS, on V13 - DATE, the Planning Commission of the City of San Diego considered Planned Development Permit No. 427638 and Coastal Development Permit No. 427637 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated V19 - DATE.

FINDINGS:

**Planned Development Permit - Section 126.0604**

**A. Findings for all Planned Development Permits**

1. **The proposed development will not adversely affect the applicable land use plan.** The proposed commercial office development on a 11.65 acre site is designated for Visitor Commercial use by the Torrey Hills Community Plan and allows commercial development at the intensities allowed by the existing CO-1-2 Zone. The proposed project is consistent with this designation. Being determined the project is consistent with the Progress Guide and General Plan, the Torrey Hills Community Plan, the regulations of the CO-1-2 Zone and the Sorrento Hills Development Agreement provisions, the proposed development will not adversely affect the applicable land use plan.

2. **The proposed development will not be detrimental to the public health, safety, and welfare.** The proposed development includes the contribution of its fair share cost towards construction of public improvements in the Torrey Hills community. The proposed development will construct necessary sewer and water facilities to serve the occupants of the development; will enter into a Maintenance Agreement for the ongoing permanent Best Management Practices [BMP] maintenance; and will comply with all requirements of State Water Resources Control Board [SWRCB] Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. The development will also provide for the health, safety, and welfare of the occupants by locating Zone 1 Brush Management outside the MPHA and Zone 2 Brush Management inside the MHPA and outside of lands owned by the City while providing setbacks for structures adjacent to fuel sources. All structures constructed will be reviewed by professional staff for compliance with all relevant and applicable building, electrical, mechanical and fire codes to assure the structures will meet or exceed the current regulations. As such the proposed development will not be detrimental to the public health, safety, and welfare.

3. **The proposed development will comply with the regulations of the Land Development Code.** The proposed development complies with the regulations of the CO-1-2 Zone and site specific development regulations for the property. No deviations or variances are required to approve the proposed project. The proposed development complies with all relevant regulations of the Land Development Code. Specific conditions of approval require the continued compliance with all relevant regulations of the City of San Diego in effect for this site and have been written as such into Planned Development Permit No. 427638 and Coastal Development Permit No. 427637. Development of the property will meet all requirements of these regulations. Concept plans for the project identify all other development criteria in effect for the site. All relevant regulations will be complied with at all times for the life of the project. In these ways the proposed development will comply with the applicable and relevant regulations of the Land Development Code.

4. **The proposed development, when considered as a whole, will be beneficial to the community.** The existing site will benefit from the additional office development through the provision of increased office space in the community available for local residents to locate their businesses in the community. The project being located in the community will in turn result in fewer vehicle trips leaving the community utilizing the local road system rather than the freeway network, reducing commute times and the consumption of limited resources, reducing negative impacts to air quality which result from the burning of fossil fuels, and other such efficiencies resulting from nearby residents working in or near the community of their place of residence. These project goals will provide additional commercial office opportunities in the community. The resulting benefits of the project will be positive for the community and City of San Diego.

5. **Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.** The project proposes no deviations from the Land Development Code regulations. The proposed Planned Development Permit is required to amend a previous discretionary permit, Planned Commercial Development and Coastal Development Permit Nos. 85-0824 and 98-0550 and is not required to allow any deviations as none are proposed. Thus the project will be a desirable development in



that it will be consistent with all the requirements of the CO-1-2 Zone as it relates to the development of the site.

**Coastal Development Permit - Section 126.0708**

A.

**1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.** The 11.65 acre site is located approximately three miles east from the Pacific Ocean. No physical accessway legally used by the public or proposed public accessway will be compromised or encroached upon with the approval of the project as none exist crossing the property leading to and along the ocean and other scenic coastal areas. No existing or proposed physical accessway exists or is designated on or across the site. From the site no public views to or along the ocean or other scenic coastal areas presently exist and none will be impacted from the approval of the project.

**2. The proposed coastal development will not adversely affect environmentally sensitive lands.** The site is designated by the Torrey Hills Community Plan for Visitor Commercial use and allows commercial development at the intensities allowed by the existing CO-1-2 Zone. The proposed project is consistent with this designation. Being determined the project is consistent with the Progress Guide and General Plan, the Torrey Hills Community Plan, the regulations of the CO-1-2 Zone and the Sorrento Hills Development Agreement provisions, the proposed development will not adversely affect the applicable land use plan. There are no impacts to sensitive lands as none exist on the site.

**3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.** The certified Local Coastal Program, the Torrey Hills Community Plan, designates this site for Visitor Commercial use. The proposed development will comply with the certified Local Coastal Program and the regulations of the Implementation Program. No variances or deviations are required to approve the project as proposed.

**4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.** The site, approximately three miles east of the Pacific Ocean, is not between the nearest public road and the sea or shoreline of any body of water within the Coastal Overlay Zone. The site is located in Torrey Hills Community Plan east of Interstate 5. The development of a commercial office development will have no affect upon the public's access to coastal resources or recreation policies of Chapter 3 of the Coastal Act. The site does not contain any existing or planned access routes to the sea or shoreline of any body of water within the Coastal Overlay Zone and will have no affect upon the recreation policies of Chapter 3 of the Coastal Act in that all necessary parking is provided on the site for employees and visitors. Being determined that the proposed project

will have no affect upon the access or recreational policies of the Coastal Act, the proposed project is therefore in conformance with the policies of such act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 427638 and Coastal Development Permit No. 427637 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 427638 and 427637, a copy of which is attached hereto and made a part hereof.

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John S. Fisher  
Development Project Manager  
Development Services

Adopted on: V27 - DATE OF APPROVAL

Job Order No. 427513

cc: Legislative Recorder, Planning Department

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 410001

**PLANNED DEVELOPMENT PERMIT NO. 490145 and**  
**COASTAL DEVELOPMENT PERMIT NO. 490146**  
Amending Planned Commercial Development and Coastal Development Permit No. 85-0824  
**TORREY RESERVE [MMRP] PTS#1450**  
**PLANNING COMMISSION**

This Planned Development Permit No. 490145 and Coastal Development Permit No. 490146, amending Planned Commercial Development and Coastal Development Permit No. 85-0824, is granted by the Planning Commission of the City of San Diego to PACIFIC TORREY RESERVE HOLDINGS, L.P., Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0600 and 126.0700. The 11.24 acre site is located north of Arroyo Sorrento Road and east of El Camino Real in the CO-1-2 Zone of the Torrey Hills Community Plan area. The project site is legally described as Parcels 1, 2, 3, 4, 5 and 6 of Parcel Map No. 18561, filed in the Office of the County Recorder of San Diego County on October 13, 2000.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to develop three additional buildings, subterranean parking and landscaping within the existing Torrey Reserve development, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [INSERT Approval Date] , on file in the Development Services Department.

The project shall include:

- a. Addition of three buildings on the existing, developed site. The new buildings are described as Building 4; a two-story 13,000 square foot office building over subterranean parking structure, Building 5; a one story 4,600 square foot office building and Building 6; a two-story 20,800 square foot office building over subterranean parking;
- b. Landscaping (planting, irrigation and landscape related improvements), brush management, site improvements and improvements in the public right-of-way;
- c. Off-street parking; and

- d. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site. This project is subject to the provisions of the 1989 Sorrento Hills Development Agreement, Doc. No. 00-17300, filed May 15, 1989 in the Office of the City Clerk.

**STANDARD REQUIREMENTS:**

1. This permit amends Planned Commercial Development and Coastal Development Permit No. 85-0824 as necessary to allow the development described within this permit and as shown on Exhibit "A." Further, condition number 21 of Planned Commercial Development and Coastal Development Permit No. 85-0824 is deleted as a requirement of this project. Where there is a conflict between this permit and Planned Commercial Development and Coastal Development Permit No. 85-0824 as it may relate to allowing the development described within this permit and as shown on Exhibit "A" this permit shall prevail. Planned Commercial Development and Coastal Development Permit No. 85-0824 shall otherwise remain in full force and effect except as provided by this permit and described herein.
2. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
3. This Planned Development Permit/Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
4. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
5. Prior to issuance of any building permit, an enhancement fee shall be deposited with the Development Services Department for the Los Peñasquitos Watershed Restoration and Enhancement Program. The enhancement fee shall be computed on the basis of site grading at a rate of \$0.005 per square foot for all areas graded, with an additional rate of \$0.03 per square foot

for all impervious surfaces created by the development. The enhancement fee shall be computed by the Owner/Permittee and verified and collected by the Development Services Department.

6. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.

7. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

11. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

14. This Permit may be developed in phases.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

15. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

16. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 1450, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

17. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration No. 1450, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be complied with, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

**Paleontology**  
**MHPA Land Use Adjacency**

18. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

**ENGINEERING REQUIREMENTS:**

19. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit from the City Engineer, referred to as an “engineering permit,” for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

20. Prior to the issuance of any permits, the Owner/Permittee shall provide and maintain a shared access and parking agreement for this development.

21. This project proposes to export 28,000 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

22. Prior to building occupancy, the Owner/Permittee shall conform to the Municipal Code, “Public Improvement Subject to Desuetude or Damage.” If repair or replacement of such public improvements is required, the Owner/Permittee shall obtain the required permits for work in the public right-of-way, satisfactory to the permit issuing authority.

23. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99-08 and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CA S0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99-08-DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in Section C.7 of SWRCB Order No. 99-08-DWQ.

24. Prior to the issuance of any construction permit the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices (BMP’s) on the final construction drawings.

25. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

26. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

**LANDSCAPE REQUIREMENTS:**

27. If any existing hardscape or landscape indicated on the approved plans is damaged or removed during demolition or construction it shall be the responsibility of the Permittee/Owner to assure such damage or removed item shall be repaired and/or replaced in kind and equivalent size per the approved plans within fifteen days.

28. In the event that the Landscape Plan and the Site Plan conflict, the Landscape Plan shall prevail.

29. Prior to issuance of any construction permits for structures, including permits for shell structures, complete landscape and irrigation construction documents consistent with the Landscape Standards, including planting and irrigation plans, details and specifications, shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A."

30. Prior to issuance of any construction permit for parking structures, the Owner/Permittee shall submit on the planting and irrigation plans a signed statement by a Registered Structural Engineer indicating that supporting structures are designed to accommodate the necessary structural loads and associated planting and irrigation.

31. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall provide a forty square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

32. Prior to final inspection, it shall be the responsibility of the Owner/Permittee to install all required landscape. A No Fee Street Tree Permit, if applicable, shall be obtained for the installation, establishment and on-going maintenance of all street trees.

33. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit landscape construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Land Development Manual Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A."

34. The Owner/Permittee shall ensure that all proposed landscaping, especially landscaping adjacent to native habitat, shall not include exotic plant species that may be invasive to native habitats. Plant species found within the California Invasive Plant Council's (Cal-IPC) Invasive Plant Inventory and the City of San Diego's Land Development Manual; Landscape Standards are prohibited.



**BRUSH MANAGEMENT PROGRAM REQUIREMENTS:**

35. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A."
36. Prior to issuance of any construction permits, a complete set of Brush Management Construction Documents shall be submitted for approval to the Development Services Department and the Fire Marshall. The construction documents shall be in substantial conformance with Exhibit "A" and shall comply with the Uniform Fire Code, M.C. 55.0101; the Land Development Manual, Landscape Standards; and the Land Development Code, Landscape Regulations Section 142.0412 (Ordinance 19413).
37. The Brush Management Program shall consist of Zone One consistent with Exhibit "A" and a standard Zone Two of 90 feet. Zone Two shall be maintained on the entirety of Open Space Easement Lot 1 shown on Tentative Map No. 850824.
38. Within Zone One, combustible accessory structures, including, but not limited to decks, trellises, gazebos, et cetera, shall not be permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and Development Services Department approval.
39. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Owner/Permittee to schedule a pre-construction meeting on-site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."
40. In Zone One, plant material shall be selected to visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape Analysis Section and the Environmental Analysis Section.
41. Prior to final inspection and issuance of any Certificate of Occupancy, the approved Brush Management Program shall be implemented.
42. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Land Development Manual, Landscape Standards.

**PLANNING/DESIGN REQUIREMENTS:**

43. No fewer than 693 off-street parking spaces, including 14 accessible and 54 carpool spaces, 14 motorcycle, 13 bicycle spaces, and 3 loading spaces off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Shower and locker facilities shall be maintained and available on the property for bicyclists storing bicycles in the 13 bicycle spaces. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.

44. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

45. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations. Signage will conform to the current standard on the existing site. All illumination shall be reverse channel backlit design and no internally illuminated boxes shall be allowed.

46. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

47. The Owner/Permittee shall develop and offer for rent or lease no less than twenty percent of the ground floor area of the building with commercial visitor uses as defined in the CV (Commercial--Visitor) Zones. Commercial Visitor uses within twenty percent of the total ground floor building area may include yet not be limited to: retail, restaurant and bank use. Building locations for visitor uses are specifically identified on the Exhibit "A." The remaining eighty percent of the ground floor area may be developed with commercial uses such as financial, specialized commercial, office and corporate headquarters or any other use allowed by the CO-1-2 and CV Zones

48. Prior to the issuance of any building permits, complete outdoor lighting information shall be submitted to the Development Services Department, Land Development Review Division, for review and approval. Complete lighting information shall include a plan view photometric analysis indicating an isofoot candle plot and a point by point plot to include all areas within the private property and to extend a minimum of 50 feet beyond the property line, construction details as necessary to direct installation of the outdoor lighting system, manufacturers name, visors, prisms, lenses and reflectors and a lighting plan locating each fixture in plan view and a legend. The outdoor lighting system shall be designed, manufactured and installed to allow shading, adjusting, and shielding of the light source so all outdoor lighting is directed to fall only onto the same premises as light sources are located. Parking lot light standards shall be no higher than eighteen feet.

49. Prior to the issuance of any occupancy permit, a night inspection shall be required to verify compliance of the outdoor lighting system. No light shall be directed to fall outside the property line. Light levels along the perimeter of the property shall be measured no higher than three footcandles. Light levels throughout the development shall be the least practical level necessary to effectively illuminate the operation. Sky glow or light halo shall be reduced to the greatest extent practical and in no case shall initial light levels be measured exceeding eight footcandles anywhere within the site. The Owner/Permittee, or an authorized representative, shall provide a luminance meter to measure light levels as required establishing conformance with the conditions of this Permit during the night inspection. Night inspections may be required additional fees as determined by the Development Services Department.

50. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences, or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment stored not higher than any adjacent wall.

51. No mechanical equipment, tank, duct, elevator enclosure, cooling tower, mechanical ventilator, or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed, architecturally integrated structure whose top and sides may include grillwork, louvers, and latticework.

52. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (SDMC) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A".

#### **TRANSPORTATION REQUIREMENTS**

53. Prior to the issuance of the first occupancy permit, the Owner/Permittee shall close the two existing driveways on Arroyo Sorrento Road and on El Camino Real and replace the two driveways with standard curb, gutter and sidewalk, satisfactory to the City Engineer.

54. The Owner/Permittee shall set aside sufficient property to provide for at least 720 parking spaces, to the satisfaction of the City Engineer.

55. The Owner/Permittee shall implement a Transportation Demand Management Plan to reduce peak period automobile use with such techniques as carpooling, vanpooling, transit, at least 75% subsidy of transit passes, bicycling, walking, telecommuting, compressed work weeks or flextime shall be provided to the patrons/employees to the satisfaction of the City Engineer.

56. The Owner/Permittee shall monitor the Transportation Demand Management (TDM) Plan annually for a period of five years to verify the TDM Plan adequately mitigates the proposed reductions in minimum parking requirements, including a Parking Occupancy Study, to be submitted to the City to the satisfaction of the City Engineer.

57. In the event the TDM Plan does not adequately mitigate for the reductions in the minimum parking requirements, the Owner/Permittee shall provide a shuttle service to connect to the Sorrento Valley Station or closest transit station, with an annual report for a period of two years, to the satisfaction of the City Engineer.

58. In the event the TDM Plan and the private shuttle is unable to adequately mitigate the reductions in minimum parking requirements, the Owner/Permittee shall construct additional

parking spaces to meet the 720 minimum parking spaces required onsite, to the satisfaction of the City Engineer.

**INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the Planning Commission of the City of San Diego on  
[date and resolution number] .

Permit Type/PTS Approval No.: PDP No. 490145  
and CDP No. 490146

Date of Approval:

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

\_\_\_\_\_  
John S. Fisher  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1180 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**PACIFIC TORREY RESERVE  
HOLDINGS, L.P.**  
Owner/Permittee

By \_\_\_\_\_  
John Chamberlain  
Chief Executive Officer

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1180 et seq.**

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 427513

**PLANNED DEVELOPMENT PERMIT NO. 427638 and**  
**COASTAL DEVELOPMENT PERMIT NO. 427637**  
Amending Planned Commercial Development and Coastal Development Permit No. 85-0824  
**TORREY RESERVE PHASE IV [MMRP] PTS#124765**  
**PLANNING COMMISSION**

This Planned Development Permit No. 427638 and Coastal Development Permit No. 427637, amending Planned Commercial Development No. 85-0824, is granted by the Planning Commission of the City of San Diego to PACIFIC TORREY RESERVE HOLDINGS, LP, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0600 and 126.0700. The 11.65 acre site is located at 11502 El Camino Real in the CO-1-2 Zone of the Torrey Hills Community Plan area. The project site is legally described as Lot 1 of Map No. 13167.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to allow the addition of two buildings on an existing developed site. The new buildings are described as Building 13; a two-story 20,000 square foot office building and Building 14; a two-story 20,000 square foot office building, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated [INSERT Approval Date], on file in the Development Services Department.

The project shall include:

- a. Two new buildings: Building 13; a two-story 20,000 square foot office building and Building 14; a two-story 20,000 square foot office building;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking; and
- d. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the

adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site. This project is subject to the provisions of the 1989 Sorrento Hills Development Agreement, Doc. No. 00-17300, filed May 15, 1989 in the Office of the City Clerk.

**STANDARD REQUIREMENTS:**

1. This permit amends Planned Commercial Development and Coastal Development Permit Nos. 85-0824 as necessary to allow the development described within this permit and as shown on Exhibit "A." Further, condition number 21 of Planned Commercial Development and Coastal Development Permit No. 85-0824 is deleted as a requirement of this project. Where there is a conflict between this permit and Planned Commercial Development and Coastal Development Permit No. 85-0824 as it may relate to allowing the development described within this permit and as shown on Exhibit "A" this permit shall prevail. Planned Commercial Development and Coastal Development Permit No. 85-0824 shall otherwise remain in full force and effect except as provided by this permit and described herein.
2. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
3. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. Prior to issuance of any building permit, an enhancement fee shall be deposited with the Development Services Department for the Los Peñasquitos Watershed Restoration and Enhancement Program. The enhancement fee shall be computed on the basis of site grading at a rate of \$0.005 per square foot for all areas graded, with an additional rate of \$0.03 per square foot for all impervious surfaces created by the development. The enhancement fee shall be computed by the Owner/Permittee and verified and collected by the Development Services Department.
5. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.

6. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

7. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

8. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

9. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

10. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

11. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

12. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any



claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

13. This Permit may be developed in phases.

**ENVIRONMENTAL/MITIGATION REQUIREMENTS:**

14. Mitigation requirements are tied to the environmental document, specifically the Mitigation, Monitoring, and Reporting Program (MMRP). These MMRP conditions are incorporated into the permit by reference or authorization for the project

15. The mitigation measures specified in the Mitigation Monitoring and Reporting Program, and outlined in Mitigated Negative Declaration No. 124765, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL/MITIGATION REQUIREMENTS.

16. The Owner/Permittee shall comply with the Mitigation, Monitoring, and Reporting Program (MMRP) as specified in Mitigated Negative Declaration No. 124765, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

**Land Use/MHPA Land Use Adjacency Guidelines  
Paleontological Resources**

17. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

**ENGINEERING REQUIREMENTS:**

18. Prior to the building occupancy, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

20. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.

21. Prior to building occupancy, the Owner/Permittee shall construct a thirty foot wide driveway on El Camino Real, satisfactory to the City Engineer.

22. The drainage system proposed for this development is private and subject to approval by the City Engineer.

23. This project proposes to export 8,600 cubic yards of material from the project site. All export material shall be discharged into a legal disposal site. The approval of this project does not allow the onsite processing and sale of the export material unless the underlying zone allows a construction and demolition debris recycling facility with an approved Neighborhood Use Permit or Conditional Use Permit per LDC Section 141.0620(i).

24. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.

25. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99 08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 99 08 DWQ.

26. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, for landscaping in El Camino Real, satisfactory to the City Engineer.

**LANDSCAPE REQUIREMENTS:**

27. Prior to issuance of any construction permit for parking structures, the Owner/Permittee shall submit on the planting and irrigation plans a signed statement by a Registered Structural Engineer indicating that supporting structures are designed to accommodate the necessary structural loads and associated planting and irrigation.

28. Prior to issuance of any construction permits for grading, the Owner/Permittee shall submit landscape construction documents for the revegetation and hydroseeding of all disturbed land in accordance with the Land Development Manual Landscape Standards and to the satisfaction of

the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A."

29. Prior to issuance of any construction permits for public right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall provide a forty square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

30. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit "A." These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as landscaping area.

31. Prior to issuance of any construction permits for buildings, including shell, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A".

32. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the removal, installation, establishment, and on-going maintenance of all street trees.

33. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

34. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

35. If any required landscape, including existing or new plantings, hardscape, landscape features, et cetera, indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to a Certificate of Occupancy.

36. The Owner/Permittee shall ensure that all proposed landscaping, especially landscaping adjacent to native habitat, shall not include exotic plant species that may be invasive to native habitats. Plant species found within the California Invasive Plant Council's (Cal-IPC) Invasive

Plant Inventory and the City of San Diego's Land Development Manual; Landscape Standards are prohibited.

37. Trees proposed within all Brush Management Zones shall be planted and maintained such that a ten foot clear area is maintained between the tree canopy and building wall.

**BRUSH MANAGEMENT PROGRAM REQUIREMENTS:**

38. The Owner/Permittee shall implement the following requirements in accordance with the Brush Management Program shown on Exhibit "A".

39. Prior to issuance of any construction permits for grading, Landscape Construction Documents required for the construction permit shall be submitted showing the brush management zones on the property in substantial conformance with Exhibit "A."

40. Prior to issuance of any construction permits, a complete set of Brush Management Construction Documents shall be submitted for approval to the Development Services Department and the Fire Marshall. The construction documents shall be in substantial conformance with Exhibit "A" and shall comply with the Uniform Fire Code, M.C. 55.0101; the Land Development Manual, Landscape Standards; and the Land Development Code, Landscape Regulations Section 142.0412 (Ordinance 19413).

41. The Brush Management Program shall implement two zones consistent with the Brush Management Regulations of the Land Development Code Section 142.0412 as follows: Brush Management Zone 1 extends from the face of Buildings to the edge of the parking structure. Brush Management Zone 2 extends from the edge of the parking structure down slope to the property line.

42. Within Zone One, combustible accessory structures, including, but not limited to decks, trellises, gazebos, et cetera, shall not be permitted while non-combustible accessory structures may be approved within the designated Zone One area subject to Fire Marshall and Development Services Department approval.

43. The following note shall be provided on the Brush Management Construction Documents: "It shall be the responsibility of the Permittee to schedule a pre-construction meeting on-site with the contractor and the Development Services Department to discuss and outline the implementation of the Brush Management Program."

44. In Zone One, plant material shall be selected to visually blend with the existing hillside vegetation. No invasive plant material shall be permitted as jointly determined by the Landscape Analysis and Environmental Analysis Sections.

45. All new Zone Two planting shall be temporarily irrigated with an above-ground irrigation system until established. Zone Two shall be maintained on a regular basis by pruning and thinning plants, removing weeds, and maintaining the temporary irrigation system. Only native vegetation shall be planted or hydroseeded. If Zone Two is being revegetated, fifty percent

(50%) of the planting area shall be seeded with material that does not grow taller than twenty-four inches.

46. Prior to final inspection and issuance of any Certificate of Occupancy, the approved Brush Management Program shall be implemented. The Brush Management Program shall be maintained at all times in accordance with the City of San Diego's Land Development Manual, Landscape Standards.

**PLANNING/DESIGN REQUIREMENTS:**

47. No fewer than 990 parking spaces shall be permanently maintained on site within the approximate location shown on the project's Exhibit "A." Include 20 disabled accessible spaces, a minimum of 86 carpool, 20 motorcycle and 21 bicycle spaces (8 lockers/1 shower) and five loading spaces shall be provided on site. Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the City Manager.

48. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

49. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations. Signage will conform to the current standard on the existing site. All illumination shall be reverse channel backlit design and no internally illuminated boxes shall be allowed.

50. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

51. The Owner/Permittee shall develop and offer for rent or lease no less than twenty percent of the ground floor area of the building with commercial visitor uses as defined in the CV (Commercial Visitor) Zone. Commercial Visitor uses within twenty percent of the total ground floor building area may include yet not be limited to: retail, restaurant and bank use. Building locations for visitor uses are specifically identified on the Exhibit "A." The remaining eighty percent of the ground floor area may be developed with commercial uses such as financial, specialized commercial, office and corporate headquarters or any other use allowed by the CO-1-2 and CV Zones.

52. Prior to the issuance of any building permits, complete outdoor lighting information shall be submitted to the Development Services Department, Land Development Review Division, for review and approval. Complete lighting information shall include a plan view photometric analysis indicating an isofoot candle plot and a point by point plot to include all areas within the private property and to extend a minimum of 50 feet beyond the property line, construction details as necessary to direct installation of the outdoor lighting system, manufacturers name,

visors, prisms, lenses and reflectors and a lighting plan locating each fixture in plan view and a legend. The outdoor lighting system shall be designed, manufactured and installed to allow shading, adjusting, and shielding of the light source so all outdoor lighting is directed to fall only onto the same premises as light sources are located. Parking lot light standards shall be no higher than eighteen feet.

53. Prior to the issuance of any occupancy permit, a night inspection shall be required to verify compliance of the outdoor lighting system. No light shall be directed to fall outside the property line. Light levels along the perimeter of the property shall be measured no higher than three footcandles. Light levels throughout the development shall be the least practical level necessary to effectively illuminate the operation. Sky glow or light halo shall be reduced to the greatest extent practical and in no case shall initial light levels be measured exceeding eight footcandles anywhere within the site. The Owner/Permittee, or an authorized representative, shall provide a luminance meter to measure light levels as required establishing conformance with the conditions of this Permit during the night inspection. Night inspections may be required additional fees as determined by the Development Services Department.

54. Outdoor storage of merchandise, material and equipment is permitted in any required interior side or rear yard, provided the storage area is completely enclosed by walls, fences, or a combination thereof. Walls or fences shall be solid and not less than six feet in height and, provided further, that no merchandise, material or equipment stored not higher than any adjacent wall.

55. No mechanical equipment, tank, duct, elevator enclosure, cooling tower, mechanical ventilator, or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed, architecturally integrated structure whose top and sides may include grillwork, louvers, and latticework.

56. Prior to the issuance of building permits, construction documents shall fully illustrate compliance with the Citywide Storage Standards for Trash and Recyclable Materials (SDMC) to the satisfaction of the City Manager. All exterior storage enclosures for trash and recyclable materials shall be located in a manner that is convenient and accessible to all occupants of and service providers to the project, in substantial conformance with the conceptual site plan marked Exhibit "A".

#### **TRANSPORTATION REQUIREMENTS**

57. Implement the TDM Plan with a design to reduce peak period automobile use using techniques as carpooling, vanpooling, transit, bicycling, walking, telecommuting, compressed work weeks or flextime. Specifically, transit subsidies at 75% or higher must be provided to the patrons/employees to encourage the use of transit, to the satisfaction of the City Engineer.

58. Monitor the TDM Plan annually for five years to verify if the TDM Plan adequately mitigates the proposed reductions in the 1058 parking spaces required, including a Parking Occupancy Study, submitted to the City, to the satisfaction of the City Engineer.

59. Provide private shuttle service to the patrons/employees in the event that the TDM Plan does not adequately mitigate the reductions in the minimum parking space requirement. The shuttle service shall connect the project site to the Coaster Transit Center in Sorrento Valley. This service shall be monitored annually for a period of two years after implementation, with a report to the City, to the satisfaction of the City Engineer.

60. In the event that the TDM Plan and private shuttle service is not able to adequately mitigate the proposed reductions in minimum parking requirements, the City Manager may require the Owner/Permittee to construct additional parking spaces to a total of 1058 parking spaces.

61. The Owner/Permittee shall set aside land for a parking facility to allow for future construction or expansion of a parking facility to provide for a total of 1058 parking spaces, to the satisfaction of the City Engineer.

**GEOLOGY REQUIREMENTS:**

62. Prior to the issuance of any construction permits, the Owner/Permittee shall provide additional geotechnical information for the review and approval of the City Geologist, satisfactory to the City Geologist and Development Services Department.

**PARK & RECREATION REQUIREMENTS:**

63. There shall be no brush management impacts on the adjacent City fee-owned open space.

**WASTEWATER REQUIREMENTS:**

64. All proposed public sewer facilities shall be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide. Proposed facilities that do not meet the current standards shall be private or re-designed.

65. All proposed private sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

66. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any public sewer facilities.

67. All on-site wastewater systems shall private.

**WATER REQUIREMENTS:**

68. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) as needed, and the removal of any existing unused services, utilizing the existing 16-inch diameter water main within the El

Camino Real right-of-way adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

69. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) on each water service within the development, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

70. Prior to the issuance of any certificates of occupancy, the public water facilities, necessary to serve this development, shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

71. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current editions of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities and associated easements, as shown on approved Exhibit "A," shall be modified at final engineering in accordance with accepted studies and standards.

**INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the Planning Commission of the City of San Diego on  
[date and resolution number] .



Permit Type/PTS Approval No.: PDP No. 427638  
and CDP No. 427637

Date of Approval:

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

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John S. Fisher  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1180 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**PACIFIC TORREY RESERVE  
HOLDINGS, L.P.**

Owner/Permittee

By \_\_\_\_\_  
John Chamberlain  
Chief Executive Officer

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1180 et seq.**

April 28, 2009

Mr. John Fisher, RLA  
Development Project Manager  
Development Services Department  
1222 First Avenue, MS 501  
San Diego, CA 92101-4155

SUBJECT: TORREY RESERVE AND TORREY RESERVE PHASE IV  
DEVELOPMENTS

Dear Mr. Fisher:

The Torrey Hills Community Planning Board reviewed and approved the referenced project on April 21, 2009 by a 11-0-1 vote.

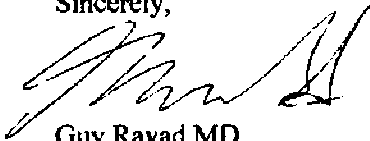
**Motion:** Approval of the Torrey Reserve and Torrey Reserve Phase IV projects with the following conditions:

1. ○ Signage will conform to the current standard that is in use by the existing development - reverse channel backlit design. No internally illuminated box signs.
2. ○ Parking lot lighting will not exceed 18 ft high and will be shielded so that all light is directed onto the development.
3. ○ The landscaping will be modified as presented to include evergreen variety trees at the Arroyo Sorrento entrance and along Arroyo Sorrento Rd. These trees will be of a variety that when mature will not block the ocean views of the nearby residential community. The palm trees associated with building 5 will be selected and maintained so that their height never exceeds the height of building 5. Consider incorporating a berm along Arroyo Sorrento Rd to help shield parking areas. Evergreen shrubs will be utilized to further shield parking areas along Arroyo Sorrento Rd. The replacement of existing Sycamore trees is encouraged.
4. ○ Modified building 5 height and architecture will be incorporated as presented and will use real stone on the exterior walls. If there is outside seating it will not be allowed in the set-back which is intended to provide a landscaped buffer zone between building 5 and the Arroyo Sorrento entry.
5. ○ If a drive-through is incorporated for building 5, it must be inside the parking lot and on the north side of building 5. It must not be in the landscaped buffer zone between building 5 and Arroyo Sorrento Rd/El Camino Real.

- 6. ○ If restaurants are constructed there will be a good faith effort to incorporate air scrubber devices (odor abatement equipment) on the commercial vent hoods. These devices should not negatively impact the visual architecture. The intent of this request is to reduce or eliminate the impact of undesirable odors related to cooking emissions on the adjacent residential community which is directly in the path of the prevailing winds.
- 7. ○ To the extent it is possible, try to redesign internal vehicle circulation for Torrey Reserve Phase IV for easy access to the existing traffic light in order to exit left onto northbound El Camino Real rather than leaving via the right-only exit to southbound El Camino Real and then traversing three high-speed lanes in order to make a U-turn to go northbound.

Attachments 1 and 2 detail some of the modifications that were presented and approved.

Sincerely,



Guy Ravad, MD  
Chair, Torrey Hills Community Planning Board.

Cc: File  
Lesley Henegar





AMERICAN ASSETS, INC.

Torrey Reserve 07  
Reduced Height



## **Pacific Torrey Reserve Holdings, LP, Ownership Disclosure**

Pacific Torrey Reserve Holdings, LP, Owner/Applicant

Pacific Torrey Reserve Holdings, LP is composed of two limited partnerships:

Pacific Torrey Reserve Assets and Pacific American Assets Holdings

Pacific Torrey Reserve Assets:

John Chamberlain, President  
Robert F. Barton, Secretary  
Earnest S. Rady, Owner 100%

Pacific American Assets Holdings:

Carol Mcarton  
Daniel Blankstein  
Debra Olenick-Hirsch  
Gail Wagner  
Leonard Blankstein  
Linda Blankstein  
Max Blankstein  
Roberta Olenick

Donald Rady Trust, c/o  
Donald Rady, Trustee

Harry Rady Trust, c/o  
Harry Rady, Trustee

Margo Rady Trust, c/o  
Margo Rady, Trustee, and

Ernest S. Rady Trust, c/o:  
John Chamberlain, Trustee  
Robert F. Barton, Trustee  
Bernard Feldman, Trustee  
Earnest S. Rady, Trustee

<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	<b>Torrey Reserve – Project 1450</b>	
<b>PROJECT DESCRIPTION:</b>	<b>Addition of three buildings on an existing developed site</b>	
<b>COMMUNITY PLAN AREA:</b>	<b>Torrey Hills</b>	
<b>DISCRETIONARY ACTIONS:</b>	<b>Planned Development Permit and Coastal Development Permit.</b>	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	<b>Commercial</b>	
<b>ZONING INFORMATION:</b> <b>ZONE: CO-1-2</b> <b>HEIGHT LIMIT: 60 feet</b> <b>LOT SIZE: 5,000 square feet, minimum</b> <b>FLOOR AREA RATIO: 1.5</b> <b>FRONT SETBACK: 10 feet minimum</b> <b>SIDE SETBACK: 10 feet minimum.</b> <b>STREETSIDE SETBACK: 10 feet minimum</b> <b>REAR SETBACK: 10 feet</b> <b>PARKING: 693 spaces</b>		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	<b>Open Space</b>	<b>Open Space</b>
<b>SOUTH:</b>	<b>Open Space &amp; Residential</b>	<b>Open Space &amp; Residential</b>
<b>EAST:</b>	<b>Open Space &amp; Residential</b>	<b>Open Space &amp; Residential</b>
<b>WEST:</b>	<b>Commercial &amp; Open Space</b>	<b>Commercial &amp; Open Space</b>
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	<b>None requested or required.</b>	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	<b>On September 18, 2007 the Torrey Hills Community Planning Board voted 7:0:0 to recommend denial of the proposed actions.</b>	

<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	Torrey Reserve Phase IV – Project 124765	
<b>PROJECT DESCRIPTION:</b>	Addition of two buildings on an existing developed site	
<b>COMMUNITY PLAN AREA:</b>	Torrey Hills	
<b>DISCRETIONARY ACTIONS:</b>	Planned Development Permit and Coastal Development Permit.	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Commercial Office	
<b>ZONING INFORMATION:</b>		
<b>ZONE: CO-1-2</b> <b>HEIGHT LIMIT: 60 feet</b> <b>MINIMUM LOT SIZE: 5000 square feet</b> <b>FLOOR AREA RATIO: 1.5</b> <b>FRONT SETBACK: 10 feet minimum</b> <b>SIDE SETBACK: 10 feet</b> <b>STREETSIDE SETBACK: 10 feet</b> <b>REAR SETBACK: 10 feet</b> <b>PARKING: 990 parking spaces required.</b>		
<b>ADJACENT PROPERTIES:</b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	(Outside Plan boundary)	State Route 56
<b>SOUTH:</b>	Open Space	Open Space
<b>EAST:</b>	Commercial & Open Space	Commercial & Open Space
<b>WEST:</b>	(Outside Plan boundary)	Interstate 5
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None requested or required.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On September 18, 2007 the Torrey Hills Community Planning Group voted 7:0:0 to recommend denial of the proposed actions.	



DEVELOPMENT SERVICES  
**Project Chronology**  
**Torrey Reserve - PTS# 1450**

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time</b>	<b>Applicant Response</b>
03/26/02	First Submittal	Project Deemed Complete		
04/24/02	First Assessment Letter		21 days	
01/07/03	Second Submittal			184 days
02/06/03	Second Review Complete		22 days	
07/24/03	Third Submittal			120 days
08/25/03	Third Review Complete		22 days	
11/12/03	Fourth Submittal			57 days
12/18/03	Fourth Review Complete		26 days	
11/15/06	Fifth Submittal			1071 days
12/14/06	Fifth Review Complete		21 days	
08/31/07	Sixth Submittal			181 days
10/10/07	Sixth Review Complete		50 days	
01/02/08	Seventh Submittal			42 days
01/28/08	Seventh Review Complete		14 days	
03/05/08	Eighth Submittal			27 days
03/27/08	Eighth Review Complete		16 days	
05/08/08	Ninth Submittal			30 days
06/10/08	Ninth Review Complete		23 days	
06/10/08	Issues Complete		0 days	
05/14/09	Public Hearing		351 days	
<b>TOTAL STAFF TIME</b>			<b>566 days</b>	
<b>TOTAL APPLICANT TIME</b>				<b>1,712 days</b>
<b>TOTAL PROJECT RUNNING TIME</b>		From Deemed Complete to Planning Commission	<b>72 months and 8 days</b>	

DEVELOPMENT SERVICES  
**Project Chronology**  
**Torrey Reserve Phase IV - PTS# 124765**

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time</b>	<b>Applicant Response</b>
03/09/07	First Submittal	Project Deemed Complete		
05/04/07	First Assessment Letter		40 days	
09/19/07	Second Submittal			98 days
10/24/07	Second Review Complete		25 days	
08/04/08	Third Submittal			203 days
09/29/08	Third Review Complete		40 days	
10/31/08	Fourth Submittal			24 days
11/24/08	Fourth Review Complete		16 days	
11/24/08	Issues Complete		0 days	
05/14/09	Public Hearing		123 days	
<b>TOTAL STAFF TIME</b>			<b>244 days</b>	
<b>TOTAL APPLICANT TIME</b>				<b>325 days</b>
<b>TOTAL PROJECT RUNNING TIME</b>		From Deemed Complete to Planning Commission	<b>18 months and 29 days</b>	