

THE CITY OF SAN DIEGO

## **REPORT TO THE PLANNING COMMISSION**

DATE ISSUED:	October 23, 2008	REPORT NO. PC-09-029
ATTENTION:	Planning Commission, Agenda of	April 16, 2009
SUBJECT:	CARROLL RESIDENCE - PROJE PROCESS TWO APPEAL	CT NO. 161987.
OWNER/ APPLICANT:	Thomas E. Carroll and Kristin W. C Steven Lombardi / Steven Lombard	

### SUMMARY

**Issue:** Should the Planning Commission approve or deny an appeal of the Development Services Department's decision to approve a Coastal Development Permit to allow the demolition of an existing single-family residence and shed, and the construction of two new residential units at 4627 Del Monte Avenue within the Ocean Beach Community Planning area?

### Staff Recommendation:

1. **DENY** the appeal and UPHOLD the Development Services Department's decision to **APPROVE** Coastal Development Permit No. 579116.

<u>Community Planning Group Recommendation</u>: The Ocean Beach Planning Board voted 6-5 to recommend denial of the proposed project on February 4, 2009.

**Environmental Review:** This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15332, Infill Development, on September 3, 2008, and the opportunity to appeal that determination ended on September 17, 2008. The scope of the subject hearing only includes the project, and not the environmental determination.

**Fiscal Impact Statement:** All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

<u>Code Enforcement Impact</u>: None with this action. There are no open cases in the Neighborhood Code Compliance Department for this property.



**Housing Impact Statement:** The subject site is designated for low-medium residential with a density range of 8-14 dwelling units per net residential acre (du/ac) which would allow a maximum of two dwelling units on the site. The project proposes to demolish an existing single-family residence and construct two new single-family residences, which would provide a net gain of one dwelling unit in the community. The proposed project is within the coastal zone and has been reviewed for compliance with the regulations in the Coastal Overlay Zone Affordable Housing Replacement Requirements division of the Land Development Code. This division is not applicable to this proposal because the project contains less than three dwelling units.

### **BACKGROUND**

The 0.16-acre site is located at 4627 Del Monte Avenue between Froude Street and Ebers Street (Attachment 1), within the East Ocean Beach neighborhood of the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan (LCP) (Attachment 2). The Precise Plan designates the site for multi-family residential land use at a density of 8-14 dwelling units/acre (du/ac) (Attachment 3). The property development is regulated by RM-1-1 Zone which is tailored to multi-family development. The property is within a fully developed urbanized community and surrounded by a variety of single and multi-family housing types.

The property is developed with one existing single-family residence and utility shed constructed in 1968. The property is located within the Ocean Beach Cottage Emerging Historical District; however, City staff reviewed the project and determined the single-family house is not a designated contributing resource to the district, which has an established period of significance of 1887-1931. The project site is surrounded by a variety of single and multi-family housing types. The area includes an established single-family residential neighborhood to the south which is designated as a "Protected Single Family Neighborhoods", and a Multi-Family Residential Neighborhoods to the north, east, and west (Attachment 2).

The property is located within the Coastal Overlay Zone; therefore, a Coastal Development Permit is required for the demolition and new construction on the property.

On February 11, 2009, the Development Services Department approved the proposed project.

On February 26, 2009, the Ocean Beach Planning Board filed an appeal of the Process 2, Development Services Staff's decision asserting inconsistency with current and draft Community Plan (Attachment 9). This issue is discussed further in this report.

### **DISCUSSION**

### **Project Description:**

The project is requesting a Coastal Development Permit (CDP) in accordance with the City of San Diego Land Development Code to demolish an existing, one-story residential unit and shed, and the construction of one (1) two-story and one (1) three-story dwelling unit. The structures would be detached and sited front and back of the lot. The front unit is two stories in height and is identified on the plans as Building "A". The back unit is also two stories high above parking and is shown on the plans as Building "B". Building "A" would front on Del Monte Avenue with 3,003 square feet of gross floor area and includes three designated bedrooms, an office space, and two full and one half bathrooms along with the common living areas. Building "B" would be located off the rear alley for a total of 2,080 square-feet of gross floor area to include 1,290 square feet of living area and 790 square feet of non-habitable floor area designated as two, two-car garages to accommodate both units. Access to the garage spaces is from the abutting alley. Building "B" is a two bedroom unit with one full and one half bathrooms.

The architectural style of the new units could be described as Contemporary. The two homes are organized in and around landscaped courtyards that have a strong relationship with indoor/outdoor space creating natural ventilation through out the home. The footprints of both buildings only use 44% of the site, leaving 56% of the site for open space, allowing landscaping with native ground cover and a porous hardscape. Four parking spaces are located under the rear unit. The proposed project would include several sustainable building practices consistent with the goals for Sustainable Development and Urban Forestry in the General Plan, such as using photovoltaic solar collectors on the main house' roof that will supply about 75% of the electrical and heating needs. The "rain screen" exterior wall system is cementious [hardie board], including a "living green screen" system used to soften the exterior walls. The structures also include off-setting plains that provide building articulation which is accented by balconies and decks with glass railings.

The two units would be compatible with the surrounding neighborhood and the Ocean Beach community which offers a diverse mix of residential development both new and old, with a variety of large and small unit types.

### Community Plan Analysis:

The proposed project is a Coastal Development Permit (CDP) to demolish an existing residence and construct two residential for-rent units on a 0.16-acre site. The subject site, at 4627 Del Monte Avenue in Ocean Beach, is designated for Low-Medium Density Residential at 8-14 dwelling units per acre (du/ac). The proposal to construct two dwelling units would meet the density range of the medium residential designation.

The <u>Residential Land Use and Housing Element</u> of the Ocean Beach Precise Plan includes the recommendation to promote the continuation of an economically balanced housing market, providing for all age groups and family types. This project proposes to meet the balanced community goal by paying a fee in-lieu of providing affordable units on-site.

The <u>Community Appearance and Design Element</u> of the Ocean Beach Precise Plan includes the goal to, "Maintain the existing character of Ocean Beach as exemplified by a mixture of small scale residential building types and styles and to upgrade the physical character of the community." The proposed project meets this goal by incorporating finished materials, colors and structural elements/architectural details similar to other structures in the neighborhood. The proposed project is also featuring a well-articulated design with balconies and porches which implements these goals, and the new construction is in the form of garden-type units, absent from

excessive height and bulk and compatible in design with the existing community. In addition, the proposal with extensive landscaping, including planters, a pond and concrete pavers fulfills the community plan's goal. A floor area ratio of 0.75 also assists in controlling building bulk. The applicant has also provided staff with a photographic survey of development in the immediate neighborhood that demonstrates the existence of similar structures in terms of height, bulk, scale, as well as architecture.

The <u>Conservation Element</u> of the City of San Diego General Plan contains policies to guide the conservation of the resources that are fundamental components of San Diego's environment, and are relied upon for continued economic prosperity. The proposed project is utilizing sustainable building practices in the construction of the residence including skylights and photovoltaic panels on the roof that will cut energy requirements. Also, the demolition plan for the project states that the contractor will recycle all material.

### Zoning:

The project meets the density of the RM-1-1 zone which allows for one dwelling unit for each 3,000 square feet of lot area. Therefore, the 7,000 square-foot project site would allow two units. The proposed density is within the allowable density of both the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan, and the San Diego Municipal Code (SDMC) RM-1-1 zone.

The SDMC establishes a maximum Floor Area Ratio (FAR) of 0.75, or 5,250 square feet for this property. The project proposes 4,293 square feet of living area, and 790 square feet of garage for a total area of 5,083 square feet.

The project meets all development requirements of the Municipal Code and recommendations of the community plan with respect to building height and setbacks. The maximum building height would be 29' 8". All required setbacks are observed, and no deviation or variance is sought in conjunction with the Coastal Development Permit application.

### Community Planning Group Recommendation

The Ocean Beach Planning Board voted 6-5 to recommend denial of the proposed project on February 4, 2009, for the following reason: 1) excessive bulk & scale, 2) lack of second story articulation, 3) inconsistency with the Ocean Beach Precise Plan for neighborhood consistency (Attachment 10).

The Development Services Department's technical review staff applied the appropriate regulations for bulk and scale of the Land Development Code and the Ocean Beach Precise Plan, including the underlying RM-1-1 Zone development regulations, and determined that the project complies with all of the applicable requirements in terms of height, bulk, scale, size, density, setbacks, lot coverage, and floor area. Further, it is generally considered that a project that wholly complies with the Land Development Code and does not deviate from the development regulations for structure height, building setbacks and gross floor area, does not present bulk and scale issues. A field reconnaissance of the surrounding neighborhood found that there are several

types of developments similar in size to the proposed project, making the Carroll Residences compatible with the local community.

### Project-Related Issues:

### Appeal Issues:

The appeal of the Development Services Department's decision to approve the project is based mainly on the inconsistency with current and draft Community Plan (Attachment 9). This issue is addressed below with staff's response:

### Community Plan Consistency

The Ocean Beach Precise Plan designates the property for multi-family residential land use at a density of 8-14 dwelling units per net residential acre. As previously noted, the proposed development is consistent with both the recommended land use and the development intensity prescribed for the site in the Ocean Beach Precise Plan and conforms to all development regulations of the RM-1-1 zone. Further, the proposed project would implement several goals and recommendations of the Precise Plan through implementation of the Land Use and Community Planning Element, Housing Element and the Urban Design Element of the General Plan. Specifically, the project would add an additional unit within a multi-family zone and preserve the character of the neighborhood and the community.

Staff reviewed the project pursuant to the Ocean Beach Community Plan and determined that the project would be consistent with the proposed and existing neighborhood character. The project proposes the demolition of an existing one-story, single-family house and the construction of two detached, two and three-story structures. The front unit facing Del Monte Avenue includes a first story porch and the second floor has a deck, creating off-setting planes which will reduce perceived impacts from the two story unit, preserving a pedestrian orientation that assists in implementing the "small-scale residential building types" identified in the Ocean Beach Precise Plan. In addition, the applicant has also supplied evidence of other two and three-story residences in the neighborhood.

### Conclusion:

In summary, staff has determined the proposed project is consistent with the purpose and intent of the Ocean Beach Precise Plan design guidelines, and conforms to all applicable development regulations of the San Diego Municipal Code in effect regarding the RM-1-1 Zone, as allowed through the Coastal Development Permit Process. Staff has concluded that the proposed project will not adversely affect the General Plan or the Ocean Beach Precise Plan. Staff has determined the required findings can be supported as substantiated in the draft resolution (Attachment 8) and recommends that the Planning Commission deny the appeal and uphold the approval of the project as conditioned.

### **ALTERNATIVES**

- 1. **Deny** the appeal and uphold the Development Services Department's decision to **Approve** Coastal Development Permit No. 579116; or
- 2. Approve the appeal and deny the project.

Respectfully submitted,

Mike Westlake Program Manager Development Services Department

Laila Iskandar Project Manager Development Services Department

Attachments:

- 1. Project Location Map
- 2. Aerial Photograph
- 3. Community Plan Land Use Map
- 4. Project Data Sheet
- 5. Project Development Plans
- 6. Site Photos
- 7. Draft Permit with Conditions
- 8. Draft Resolution with Findings
- 9. Copy of Appeal(s)
- 10. Community Planning Group Recommendation
- 11. Ownership Disclosure Statement





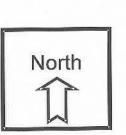


**Project Location Map** CARROLL RESIDENCE - PROJECT NO. 161987 4627 Del Monte Avenue

North

### **PROJECT SITE** 4627 Del Monte Avenue





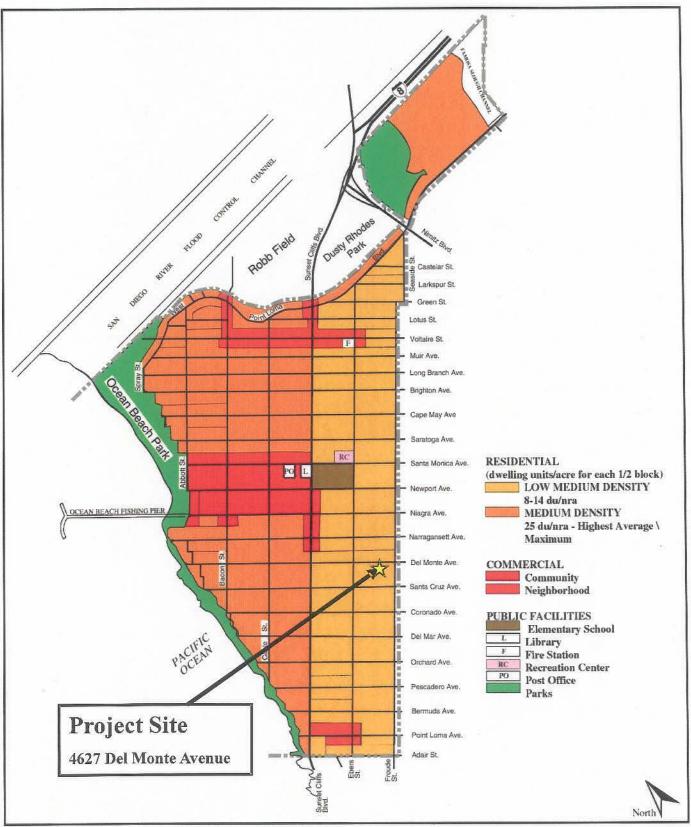


## **Aerial Photo**

CARROLL RESIDENCE - PROJECT NUMBER 161987

4627 Del Monte Avenue

### ATTACHMENT 3



10-15-02 JA.ob1



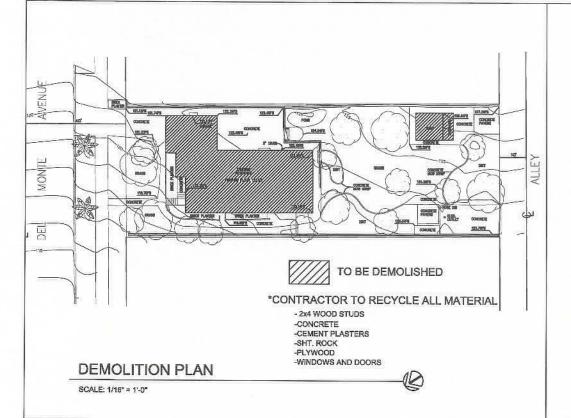
Community Plan Land Use Ocean Beach Community Plan Area City of San Diego Planning Department

## ATTACHMENT 4

	PROJECT DATA S	SHEE	Т
PROJECT NAME:	Carroll Residences		
PROJECT DESCRIPTION:	Demolition of an existing sing of two new for rent residentia		ly residence and shed, and construction
COMMUNITY PLAN AREA:	Ocean Beach		
DISCRETIONARY ACTIONS:	Coastal Development Permit		
COMMUNITY PLAN LAND USE DESIGNATION:	Low Medium Density Reside	ntial (8-	14 dwelling units per acre)
ZONE: DENSITY: HEIGHT LIMIT: LOT SIZE: FLOOR AREA RATIO: FRONT SETBACK: SIDE SETBACK: STREETSIDE SETBACK: REAR SETBACK: PARKING:	CURRENT ZONING INFORMATION: RM-1-1 (multi-unit residentia 1 du/3,000 sf – 1 dwelling un 30' max 6,000 sf minimum 0.75 15 feet min; 20 feet 5' min/ 8' standard N/A 15' including half width of th 4 spaces	it	PROPOSED: RM-1-1 2 dwelling unit 29'8" 7,000 sf existing 0.73 15 feet/ 26'-10" (2 <sup>nd</sup> story) 5'/11'-6"&7'-6"(opposite side) N/A 15'-8" including half width of the alley 4 spaces
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXIS	FING LAND USE
NORTH:	Multiple Family; RM-1-1	Multip	ble Family residential
SOUTH:	Single Family; RS-1-7	Single	Family residential
EAST:	Multiple Family; RM-1-1	Multip	ble Family residential
WEST:	Multiple Family; RM-1-1	Multip	ble Family residential
DEVIATIONS OR VARIANCES REQUESTED:	None		
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Ocean Beach Planning B proposed project on February		ted 6-5 to recommend denial of the

#### GENERAL NOTES

- 1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
- 2. THERE ARE NO EXISTING OR PROPOSED BUS STOPS
- З. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE 4. ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SDMC, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS
- 5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
- 6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BMP'S ON THE FINAL CONSTRUCTION DRAWINGS, IN ACCORDANCE WITH THE APPROVED WATER QUALITY TECHNICAL RPORT.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS. THE APPLICANT SHALL ASSURE BY 7. THE PERMIT AND BOND, THE CLOSURE OF THE EXISTING DRIVEWAY, CREATING A WING FOR THE ADJACENT PROPERTY, WITH REPLACEMENT TO CITY STANDARD CURB AND GUTTER, THE REPAIR OF A PORTION OF DAMAGED SIDEWALK AND THE REMOVAL OF THE EXISTING BORDERED LANDSCAPING IN THE RIGHT-OF-WAY OF DEL MONTE AVE., ALL SATIDFACTORY TO THE CITY ENGINEER.
- THE DRAINAGE SYSTEM PROPOSED FOR THIS DEVELOPMENT IS PRIVATE AND SUBJECT TO 8. APPROVAL BY THE CITY ENGINEER.
- 9. PRIOR TO FOUNDATION INSPECTION, THE APPLICANT SHALL SUBMIT A BUILDING PAD CERTIFICATION SIGNED BY A REGISTERED CIVIL ENGINEER OR LISCENSED LAND SURVEYOR, CERTIFYING THE PAD ELEVATION BASED ON USGS DATUM IS IN ACCORDANCE WITH THE APPROVED PLANS.
- 10. ESTIMATED YARDS OF CUT (INCLUDING FOUNDATION) = 152 SQUARE YARDS TO BE USED AS FILL. NO MATERIAL IS ESTIMATED TO BE IMPORTED OR EXPORTED.
- 11. SEE SHEET A-8 FOR BACK HOUSE PRIVATE OPEN SPACE REQUIREMENT.
- 12. ANY PROPOSED PUBLIC SEWER FACILITIES ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT CITY OF SAN DIEGO SEWER DESIGN GUIDE
- 13. ALL PROPOSED PRIVATE SEWER FACILITIES ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA PLUMBING BOARD.
- 14. ALL WATER SERVICES TO THE SITE WILL REQUIRE PRIVATE, ABOVE GROUND BACK FLOW PREVENTION DEVICES.
- 15. THE APPLICANT SHALL REMOVE EXISTING UNUSED WATER SERVICES AND INSTALL A NEW WATER SERVICE AND METER WHICH MUST BE LOCATED OUTSIDE ANY DRIVEWAY OR VEHICULAR USE AREA.



A MINIMUM OF 4 AUTOMOBILE SPACES ARE REQUIRED BY THE LDC. ALL ON-SITE PARKING STALLS AND AISLE WIDTHS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE CITY'S LDC AND SHALL NOT BE CONVERTED AND/OR UTILIZED FOR ANY OTHER PURPOSE, UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE DEVELOPMENT SERVICES DIRECTOR.

16.

17.

18.

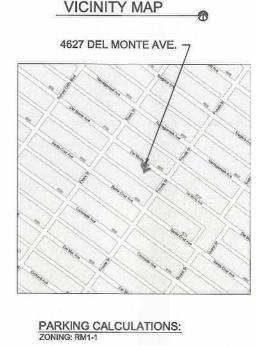
19.

20.

NOISE ATTENUATION MEASURES THAT WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dB CNEL FOR ALL HABITABLE ROOMS.

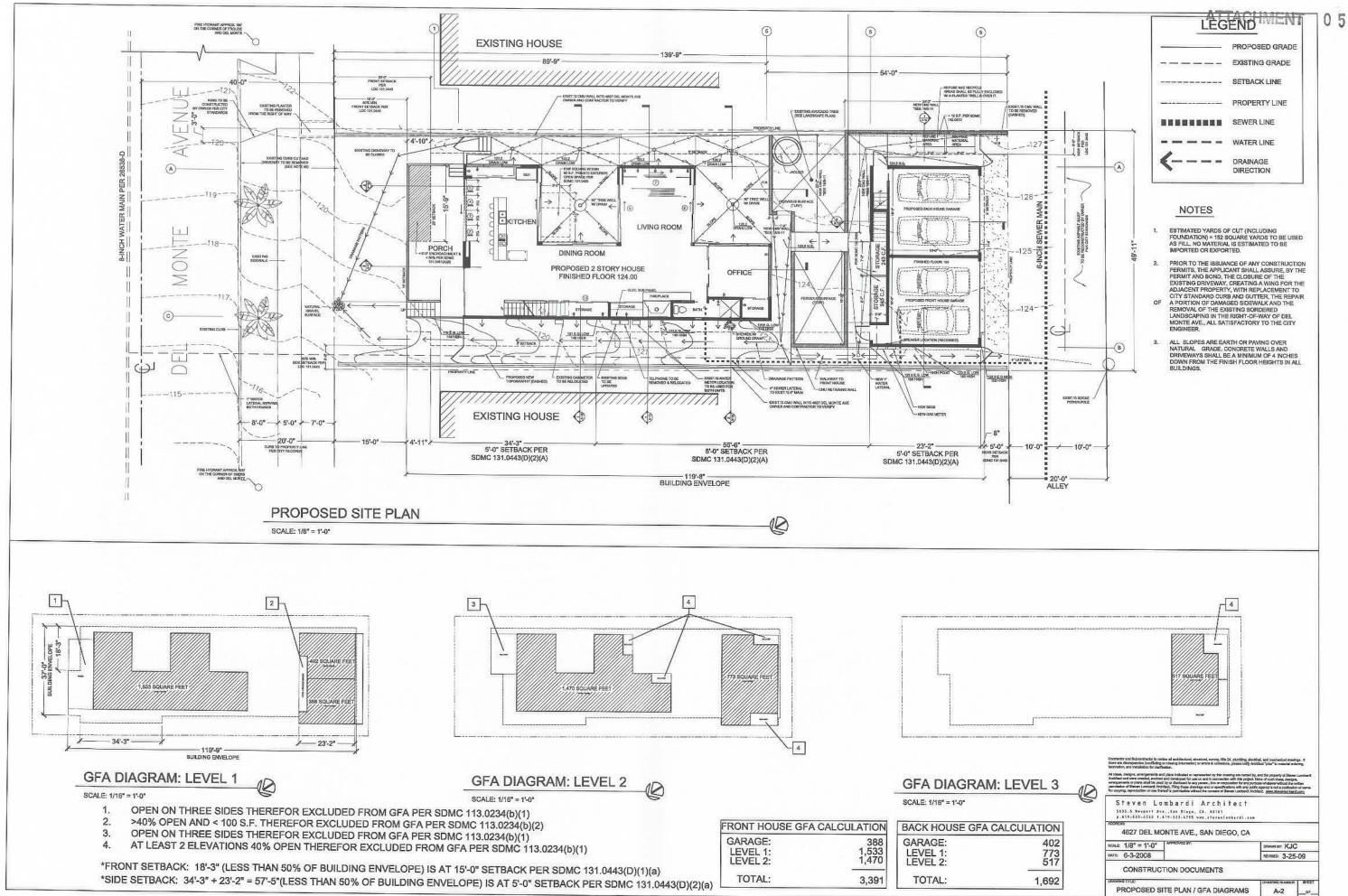
- ALL ROOMS HAVE BEEN VERIFIED TO HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING IN ACCORDANCE WITH CBC SECTION 1026 PER PLANS, ELEVATIONS AND THE WINDOW AND DOOR SCHEDULE. ALL OPENINGS ARE TO BE AT LEAST 5.7 SQUARE FEET, WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES AND MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT FROM FLOOR SHALL BE 44 INCHES. ALL OPERABLE AWNINGS AND CASEMENTS SHALL OPEN 180 DEGREES. SEE PLANS, ELEVATIONS AND WINDOW/DOOR SCHEDULE FOR MEASUREMENTS AND SIZES.
- GLASS USED AS HANDRAIL ASSEMPLY OR A GUARD SECTION SHALL BE CONSTRUCTED OF ETHER SINGLE FULLY TEMPERED GLASS, LAMINATED FULLY TEMPERED GLASS OR LAMINATED HEAT-STREANGTHENED GLASS. GLAZING IN RAILING IN-FILL PANELS SHALL BE OF AN APPROVED SAFETY GLAZING MATERIAL THAT CONFORMS TO THE PROVISIONS OF SECTION 2406.1.1. FOR ALL GLAZING TYPES, THE MINIMUM NOMINAL THICKNESS SHALL BE 7/4 \* INCH. FULLY TEMPERED GLASS AND LAMINATED GLASS SHALL COMPLY WITH CATEGORY II OF CPSC 16 CFR 1201, LISTED IN CHAPTER 35, SECTION 2407.1.
- CONSTRUCTION SHALL BE ACCORDING TO DRAWINGS WITHIN, AND NO FIELD CHANGES SHALL BE MADE WITHOUT ARCHITECT'S APPROVAL

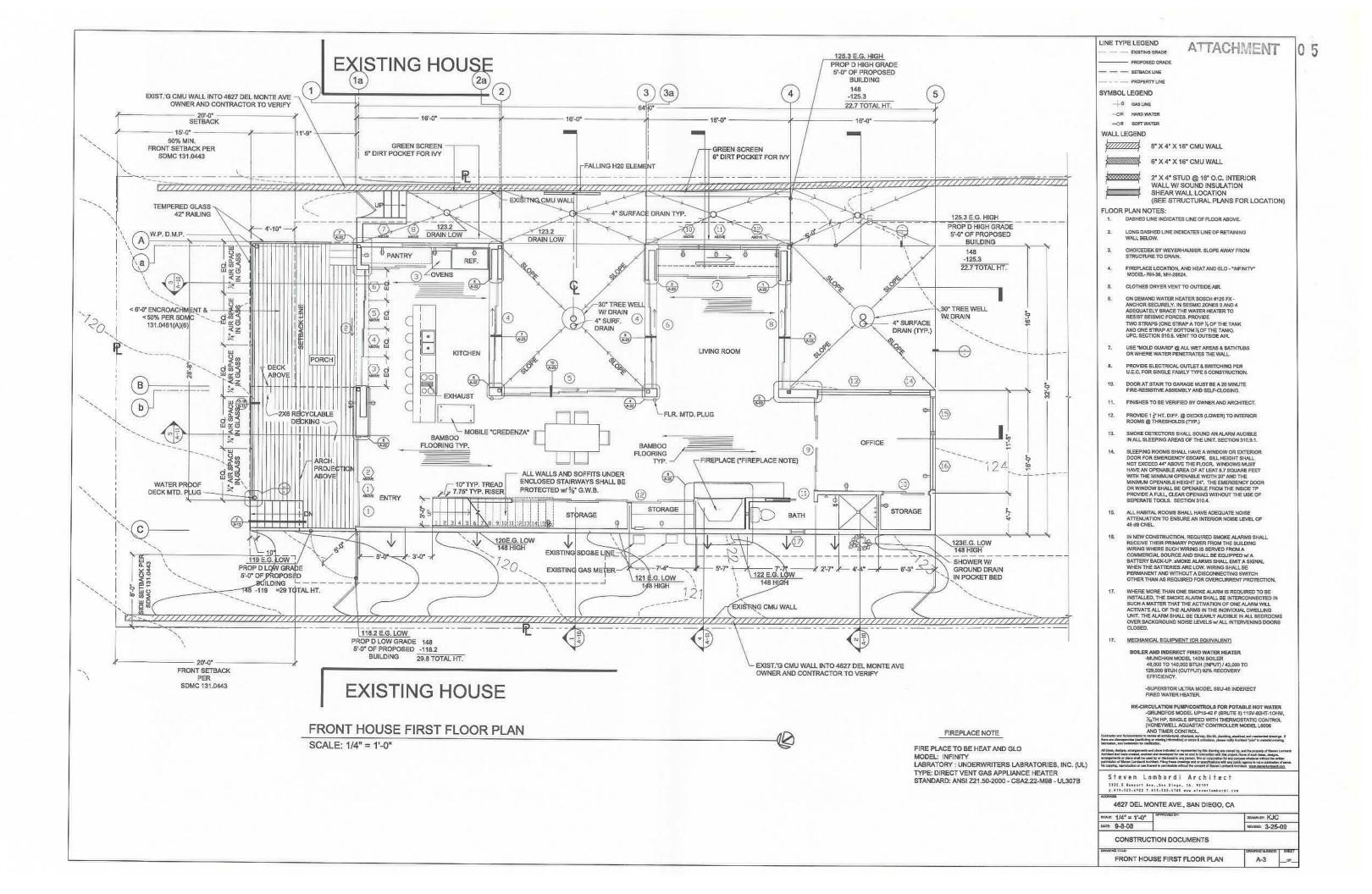
SCOPE OF WORK:	DATA REMOVE EXISTING 1 STORY	L.	PRAWING SCHEDULECHMENT
153.551533.5578.557	RESIDENTIAL AND REPLACE WITH (1) TWO STORY RESIDENTIAL AND (1) 3	T-1	TITLE SHEET / DEMO PLAN
	STORY RESIDENTIAL (GARAGE + 2 STORY) EXISTING HOUSE DOES NOT	C-1	TOPOGRAPHIC SURVEY
	MEET HISTORICAL DEFINITION	L-1	EXISTING LANDSCAPE PLAN
		L-2	PROPOSED LANDSCAPE
OCCUPANCY:	R-3 SINGLE FAMILY RESIDENCE	A-1 A-2	EXISTING FLOOR PLAN PROPOSED SITE FLAN / GFA D/AGRAMS
		A-3	FRONT HOUSE FIRST FLOOR PLAN
CONSTRUCTION TYPE:	TYPE V B (WOOD FRAME THROUGHOUT) RESIDENTIAL BLDG&	A-4	FRONT HOUSE SECOND FLOOR PLAN
	GARAGE. BLDG, CODES USED;	A-5	FRONT HOUSE ROOF PLAN
	-2007 INTERNATIONAL BUILDING	A-6	BACK HOUSE GARAGE PLAN
	-2008 CALIFORNIA BUILDING CODE	A-7	BACK HOUSE LEVEL 2 FLOOR PLAN
		A-8	BACK HOUSE LEVEL 3 FLOOR FLAN
ZONE:	RM-1-1	A-9	BACK HOUSE ROOF PLAN
OVERLAY ZONE DESIGNATION:	AIRPORT APPROACH	A-10	FRONT HOUSE SECTIONS 1
	AIRPORT ENVIRONS COASTAL HEIGHT LIMIT	A-11	FRONT HOUSE SECTIONS 2
	COASTAL (CITY) NON-APPEALABLE	A-12 A-13	BACK HOUSE SECTIONS FRONT HOUSE NORTH / SOUTH ELEVATION
		A-14	FRONT HOUSE EAST / WEST ELEVATION
REQUIRED DISCRETION		A-15	BACK HOUSE NORTH / SOUTH ELEVATION
APPROVALS:	COASTAL DEVELOPMENT PERMIT BUILDING PERMIT	A-16	BACK HOUSE EAST / WEST ELEVATION
EASEMENTS:	NONE	A-17	FRONT HOUSE WALL SECTIONS 1
PARKING REQ.		A-18	FRONT HOUSE WALL SECTIONS 2
PARKING REQ.	2 SPACES PER DWELLING UNIT (SDMC 142.0520) = 4 SPACES	A-19	FRONT HOUSE WALL SECTIONS 3
	PROVIDED: 4 SPACES	A-20	BACK HOUSE WALL SECTIONS 1
SQUARE FEET:	FRONT HOUSE 3391 SF	A-21	BACK HOUSE WALL SECTIONS 2
	BACK HOUSE 1692 SF TOTAL: 5083 SF	A-22	ENLARGED FLOOR PLAN
	(*SEE GFA CALCS. A-2)	A-23	DETAILS 1
	FRONT HOUSE HABITIABAL AREA:	A-24	DETAILS 2
	3003 SF BACK HOUSE HABITIBAL AREA:	A-25	DETAILS 3
	1290 SF	A-26	WINDOW AND DOOR SCHEDULE
BUILDING HEIGHT:	30	A-27 A-28	BMP PLAN SPECIFICATIONS 1
LOT AREA:	7,000 SF	A-28 A-29	SPECIFICATIONS 1 SPECIFICATIONS 2
ALLOWABLE F.A.R:	0.75	A-30	SPECIFICATIONS 3
PROPOSED F.A.R.	0.73	E-1	FRONT HOUSE LEVEL 1 ELECTRICAL PLAN
ALLOWABLE FLOOR AR		E-2	FRONT HOUSE LEVEL 2 ELECTRICAL PLAN
		E-3	BACK HOUSE LEVEL 2 ELECTRICAL PLAN
EXISTING AREA:	1,362 SF	E-4	BACK HOUSE LEVEL 3 ELECTRICAL PLAN
NEW TOTAL AREA:	5,083 SF.	S-1	NOTES
A.P.N:	448-491-19	S-1A	NOTES
PROJECT ADDRESS:	4627 DEL MONTE AVE. (FRONT)	S-2	DETAILS
	4629 DEL MONTE AVE. (BACK) SAN DIEGO, CA 92107	S-3	DETAILS
EGAL DESCRIPTION:	LOTS 31 & 32, BLOCK 21 OF MAP NO.	S-4	DETAILS
CHARACTER STOCK	279	S-5	FRONT HOUSE FOUNDATION PLAN
PROJE	CT TEAM	S-6	FRONT HOUSE FIRST FLOOR FRAMING PLAN
		S-7 S-8	FRONT HOUSE SECOND FLOOR/ROOF FRAMING PLAN BACK HOUSE FOUNDATION/FIRST FLOOR FRAMING PLAN
		S-8 S-9	BACK HOUSE FOUNDATION/FIRST FLOOR FRAMING FLAM BACK HOUSE SECOND FLOOR / ROOF FRAMING FLAN
	STEVEN LOMBARDI ARCHITECT	S-9 S-10	FOUNDATION / SHEAR TRANSFER DETAILS
	LIC.# C21826	S-10	FOUNDATION / SHEAR TRANSFER DETAILS
	5035.5 NEWPORT AVE. SAN DIEGO, CA 92107	8-12	TYPICAL STRUCTURAL DETAILS
	619.523.4722	S-13	FOUNDATION / SHEAR TRANSFER DETAILS
		S-14	FOUNDATION / SHEAR TRANSFER DETAILS
	ENVISION ENGINEERING, INC.	S-15	FOUNDATION / SHEAR TRANSFER DETAILS
	1125 WEST MORENA BLVD., STE. B	S-16	DETAILS
	SAN DIEGO, CA 92101 619.275.6726	S-17	SHEAR WALL DETAILS
		T-24	FRONT HOUSE TITLE-24
	SPEAR & ASSOCIATES 475 PRODUCTION STREET SAN MARCOS, CA 92078 760.736.2040	<u>T-24</u>	BACK HOUSE TITLE-24
	GEO SOILS 5741 PALMER WAY CARLSBAD, CA 92008 760.438.3155		
	THOMAS AND KRISTIN CARROLL 4627 & 4629 (FUTURE BACK HOUSE) DEL MONTE AVE. SAN DIEGO CA. 92107 619.993-0203		Constant and Educationate to review of antibacture quotient assume, 100 A, parking, wherein a dimensional control of the strain and antibacture and antibacture and antibacture and antibacture and antibacture and antibacture. All chains, doing and a distraints, please of antibacture and antibacture antibacture and antibacture antibacture and antibacture antibacture and antibacture
	TAILORED ENERGY SERVICES 1640 W. LONGVIEW STOCKTON, CA 95207 (888) 310-0808		1.515-522-522 f 155-522-5115 wys.steventueserdi.com           Accreate

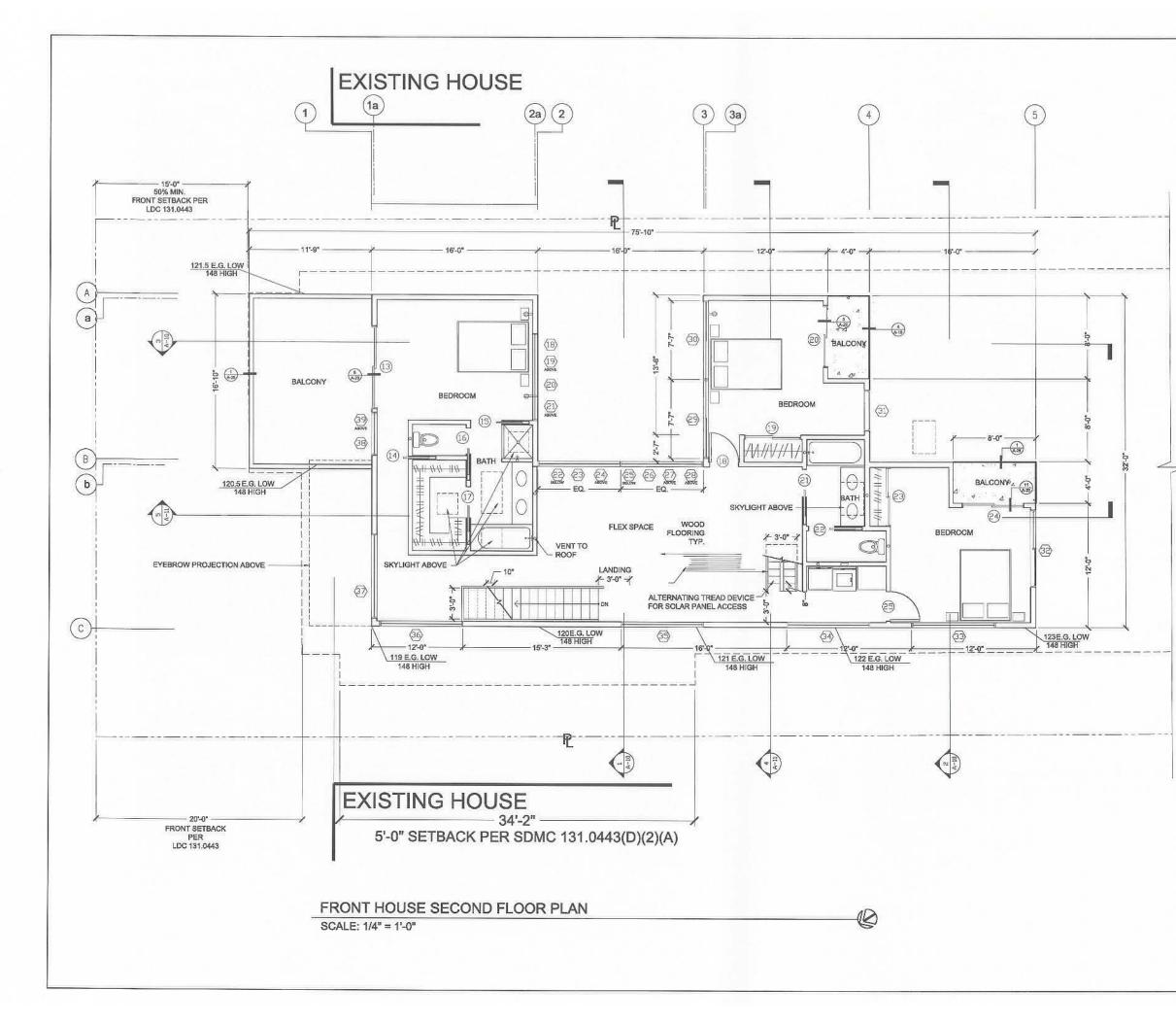


FRONT UNIT: 3 BEDROOM + OFFICE= 2.25 CARS BACK UNIT: 2 BEDROOM = 2.00 CARS

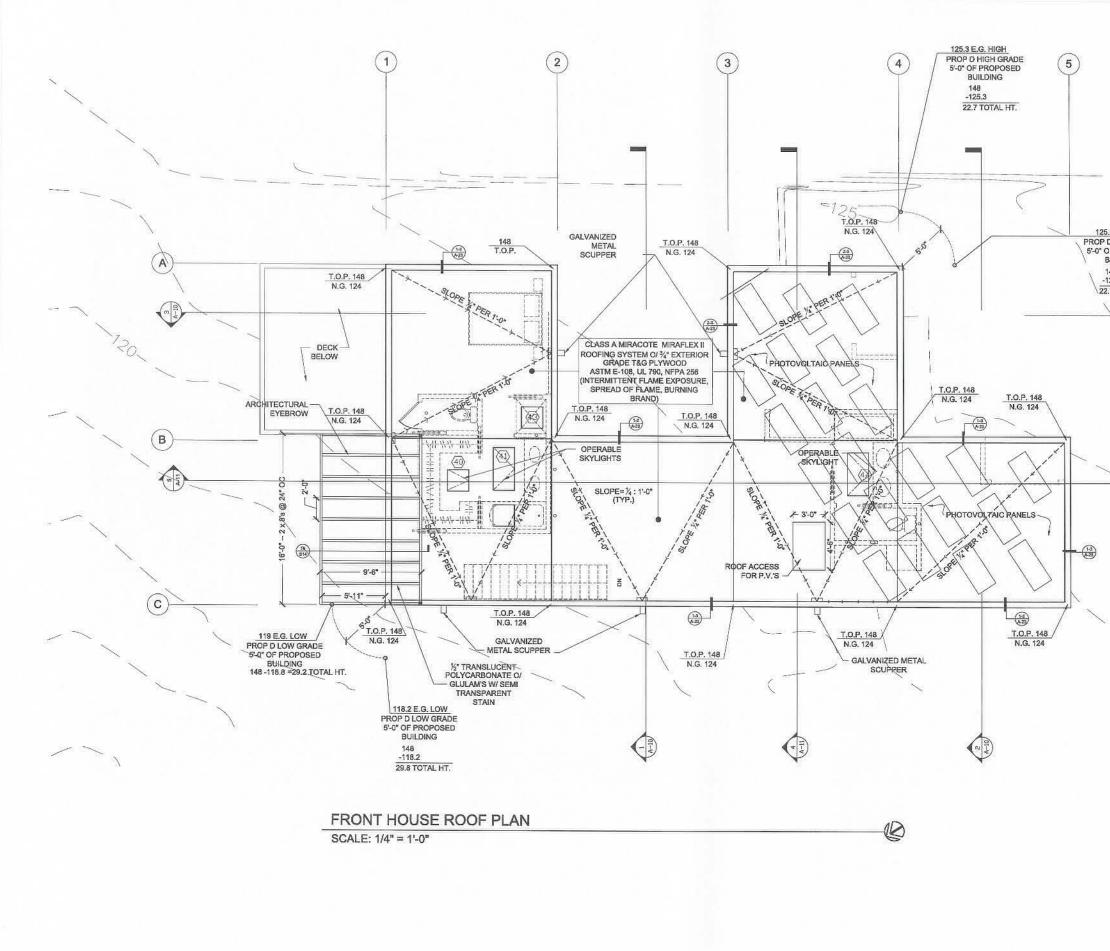
TOTAL SPACES: 4.25 (4) CARS REQUIRED



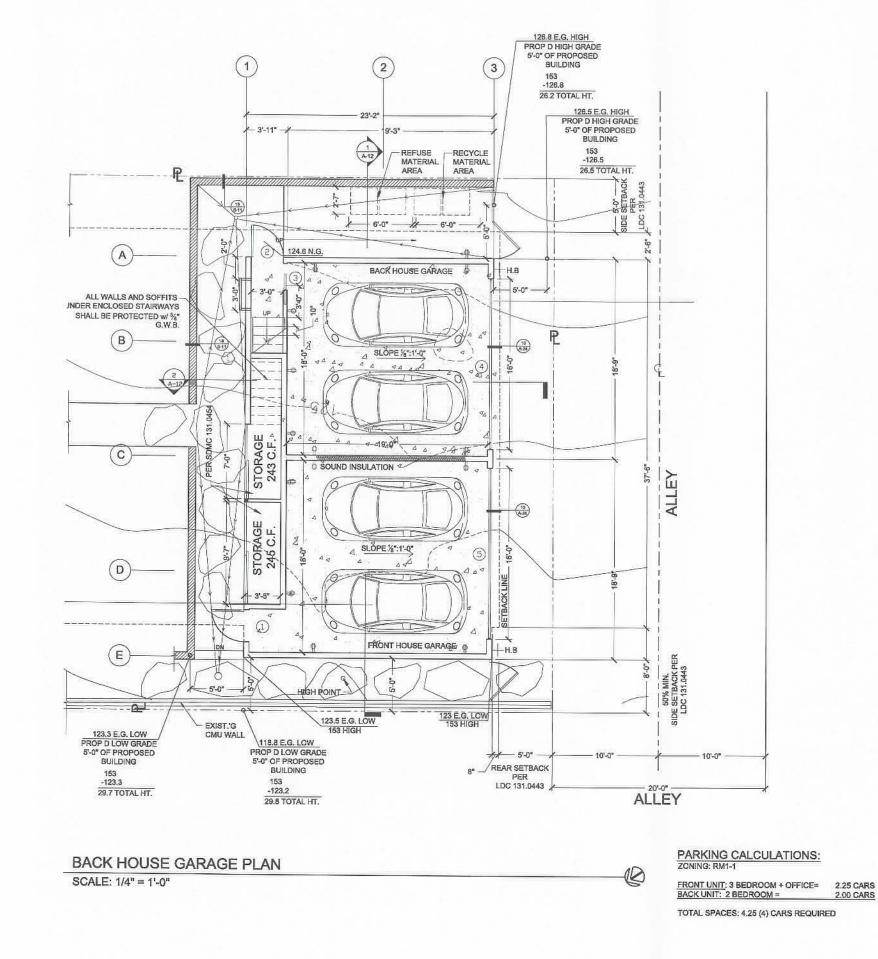




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<ol> <li>CHOICEDEK BY WEYERHAUSER. SLOPE AWAY FROM STRUCTURE TO DRAM.</li> <li>FIREPLACE LOCATION, AND HEAT AND GLO -'INFINITY' MODEL RH-38. MH-2822.</li> <li>CLOTHES DRYER VENT TO OUTSIDE AR.</li> <li>ON DEMAND WATER HEATER BOSCH #125 FX- ANCHOR SECURELY. IN SEGMIC ZONES J AND A ADDUATELY BRUE STRAP TO YS JOT THE TANK: ANCHOR SECURELY. IN SEGMIC ZONES J AND A ADDUATELY BRUE STRAP TO YS JOT THE TANK: U.C., SECTION SIGN. FWATT OO UNTSIDE AR.</li> <li>U.S.E "MOLD GUARD" &amp; ALL WET AREAS &amp; BATHTUBS OR WHERE WATER FORCES, PROVIDE TWO STRAPS (DKS. VENT TO OUTSIDE AR.</li> <li>U.S.E "MOLD GUARD" &amp; ALL WET AREAS &amp; BATHTUBS OR WHERE WATER FORCES. THE TANK: U.C., ECOTION SIGN. VENT TO OUTSIDE AR.</li> <li>U.S.E "MOLD GUARD" &amp; ALL WET AREAS &amp; BATHTUBS OR WHERE WATER FORCES. OUTET TANK: U.C., FOR SINGLE FAMILY TYPE S CONSTRUCTION.</li> <li>PROVIDE ELECTRICAL OUTET AS WITCHING PER U.E.C. FOR SINGLE FAMILY TYPE S CONSTRUCTION.</li> <li>PROVIDE ELECTRICAL OUTET AS WITCHING PER U.E.C. FOR SINGLE FAMILY TYPE S CONSTRUCTION.</li> <li>PROVIDE ELECTRICAL OUTET AS WITCHING PER U.E.C. FOR SINGLE FAMILY TYPE S CONSTRUCTION.</li> <li>PROVIDE LY T. DIFF. &amp; BECKS LOWER NO AND AREAS MUST BE PERMANENTLY WIRED WITH BATTERY BACKUP.</li> <li>DOOR AT STAR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.</li> <li>FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.</li> <li>PROVIDE 1 J' HT. DIFF. &amp; BECKGROOM SIGN.</li> <li>SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR MENDALE REGOLDS (TYP)</li> <li>SMOKE DETECTORS SHALL SOUND AN ALARM AUDISLE INALL SLEEPING AREAS OF THE UNIT. SECTION 310.4.1</li> <li>SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR MENDALE HEIGHT'. HEAT S''''''''''''''''''''''''''''''''''''</li></ol>	2.			INDICATES	LINE OF RETAIN	NG	
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<ol> <li>ON DEMAND WATER HEATER BOSCH #125 FX- AACHOR SECURELY. IN SEGMIC ZONES 3 AND A ADEQUATELY BRACE THE WATER TO RESIST SEISMIC FORCES. PROVIDE TWO STRAPS (OWE STRAP A TO'Y AOT THE TANK AND OWE STRAP AT BOTTOM % OF THE TANK AND OWE STRAPS TO WHET AREAS &amp; BATHTUBS OR WHERE WATER PENETRATES THE WALL</li> <li>PROVIDE ELECTRICAL OUTLET &amp; SWITCHING PER U.E.C. FOR SINGLE FAMILY TYPE &amp; CONSTRUCTION.</li> <li>PROVIDE SMOKE DETECTORS IN ALL SLEEPING AND HALLWAYS INCLUDING DINING AND LIVING ROOMS. AREAS MUST BE OPERMANENTLY WIRED WITH BATTERY BACKUP.</li> <li>DOOR AT STAR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSENG.</li> <li>FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.</li> <li>PROVIDE 1 / HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THRESHOLDS (TYP.)</li> <li>SMOKE DETECTORS SHALL HAVE AWINDS WE RETERIOR DOOR FOR EMERGENCY ESCARE. SLL HEIGHT SHALL NOT EXCEED 4# ADOY THE HEIGHT SHALL HAVE AND SELF HIMALL SLEEPING ARCOMS SHALL HAVE AWINDS WE RETERIOR DOOR FOR EMERGENCY ESCARE. SLL HEIGHT SHALL NOT EXCEED 4# ADOY THE FLEXION THE INSIDE TO PROVIDE A FULL, LEAR OPENNEL FROM THE INSIDE TO PROVIDE A FULL (LEAR OPENNEL FROM THE INSIDE TO HIMINUM OPENNEL AREAS OF THE LIVIT. SCIOLAR HEIGHT WITH THE INSIDE TOORS SHALL HAVE ADECOLAR TIMOSE ATTENUATION TO DENSURE AN INTERIOR MODEL TEND SEPEMARE TOOLS. SCIOLON THE INSIDE TO PROVIDE A FULL (LEAR OPENNEL AREA OFTICE HOUSE ATTENUATION TO DENSURE AN INTERIOR MODEL TEND SEPEMARE TOOLS. SCIOLAR AND ADE ADOUT THE INSIDE TO PROVIDE A FULL (LEAR OPENNEL AREA OFTICE TO SEPEMARE TOOLS. SCIOLAR ADOUT HE INSIDE TO PROVIDE A FULL (LEAR OPENNEL METATER -ANRCHKIN MODEL HOUSE AN INTERIOR MODEL LEVEL OF 45 dB 00 CHE. DOUE TO MODINE AND LEAR ADOUT HE INSIDE TO MUST AND THERE CON</li></ol>	1788) 	MODEL- P	RH-36, MH-2	28824.	ALAND GLO - "IN	and f	
ACHOR SECURELY. IN SEGMIC ZONES JAND 4 ACHOR SECURELY. IN SEGMIC ZONES JAND 4 SEGURATELY RACE THE WATER TO RESIST SEISMIC FORCES. PROVIDE TWO STRAPS (OWE STRAP A TO YA) OF THE TANK AND OWE STRAP AT BOTTOM % OF THE TANK AND OWE STRAP AT BOTTOM % OF THE TANK AND OWE STRAP AT BOTTOM % OF THE TANK AND OWE STRAP AT BOTTOM % OF THE TANK AND OWE STRAP AT BOTTOM % OF THE TANK . UPC, SECTION \$10.3. VENT TO OWISIDE AIR USE "MOLD GUARD" & ALL WET AREAS & BATHTUBS OR WHERE WATER PENETRATES THE WALL . PROVIDE ELECTRICAL OUTLET & SWITCHING PER U.E.C. FOR SINGLE FAMILY TYPE 5 CONSTRUCTION PROVIDE SUNCE DETECTORS IN ALL SLEEPING AND HALWAYS INCLUDING DINING AND LIVING ROOMS. AREAS MUST BE PERMANENTLY WIRED WITH BATTERY BACKUP DOOR AT START TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT PROVIDE 1 <sup>1</sup> HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THEESHOLDS (TYP.) . SMOKE DETECTORS SHALL SHOULD AN ALARM AUDIBLE INALL SLEEPING AREAGO THE UNIT. SECTION 310.2.1 SMOKE DETECTORS SHALL AVE A WINDOW GRUETEROR DOOR FOR EMERGENCY ESCAPE. SLL HEIGHT SHALL NOT ESCEED 4F ADOY THE ALORY WINDOWS MUST HALL SLEEPING ARCMON SHALL HAVE AND MODEL TO AND THE MINUT OPENALE AREA OF AT LEAT 5.7 SUBLICATION MONT OPENALE AREA OF AT LEAT 5.7 SUBLICATION SUBMEL BEING ROOMS SHALL HAVE AN WINDOW MUST HIT THE BUNNAM OPENALE PERON WINDOW MUST HIT THE BUNNAM OPENALE AREA OF AT LEAT 5.7 SUBLICATION MONT OPENALE AREA OF AT LEAT 5.7 SUBLICATION SUBMEL AND OPENALE FEROM WINDOUT THE SO F SEFERATE TOOLS. SECTION 310.4 MOTEOCHANICL EQUIPMENT (OR EQUIVALENT) BOLLER AND INDERECT TRED WATER HEATER -MANGAL DEVENALE MODEL TO THE SUBPRISE ATTENUATION TO INSURE AN INTERION MODEL TO THE MONT OF AND ONE SUBJE FROM THE INSUE TO SUBME AND THE READERS -MAND ONE SUBJE AN INTERION MODEL TO SUBPRISE ATTENUATION TO INSURA AN INTERION MODEL TO SUBPRISE ATTENUATI							
<ol> <li>USE "MOLD GUARD" @ ALL WET AREAS &amp; BATHTUBS OR WHERE WATER PENETRATES THE WALL.</li> <li>PROVIDE ELECTRICAL OUTLET &amp; SWITCHING PER U.E.C. FOR SINGLE FAMILY TYPE &amp; CONSTRUCTION.</li> <li>PROVIDE SMOKE DETECTORS IN ALL SLEPPING AND MALWAYS INCLUDING DINING AND LINING ROOMS. AREAS MUST BE PERMANEENTLY WIRED WITH BATTERY BACKUP.</li> <li>DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE FREE-RESISTIVE ASSEMBLY AND SELF-CLOSING.</li> <li>FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.</li> <li>PROVIDE 1<sup>+</sup> HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THEEBHOLDS (TYP).</li> <li>SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.</li> <li>SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR ROOMS @ THEEBHOLDS (TYP).</li> <li>SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.</li> <li>SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR NOT EXCEED 44' ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AL LEAT. SP GUARE FEET WITH THE MINIMUM OPENABLE WIDTH 27' AND THE MINIMUM OPENABLE AREA OF AL LEAT. SP GUARE FEET WITH THE MINIMUM OPENABLE WIDTH 27' AND THE MINIMUM OPENABLE AREA OF AL LEAT. SP GUARE FEET WITH THE MINIMUM OPENABLE WIDTH 27' AND THE MINIMUM OPENABLE HEADEN WITHOUT THE USE OF SEPERATE TOOLS. SECTION 310.4.</li> <li>ALL HABITAL ROOMS SHALL HAVE ADEQUATE NOISE LEVEL OF AS 60 CNEL.</li> <li>MECHANICAL EQUIPMENT (OR EQUIVALENT)</li> <li>BOLER AND INDERECT FIRED WATER MEATER - 40000FINI MODEL 14000 BITH (INPUT) 14,000 TO 12,000 BITH (OUTPUT) 92%, RECOVERY EFFICIENCY.</li> <li>SUPERSTOR ULTRA MODEL SOUTH AG INDERECT FIRED WATER HEATER.</li> <li>MECHANICAL EQUIPMENT ON TROLS FOR POTABLE HOT WATER - GRUNDFOS MODEL UP15427 (ERUTE II) 115V-404T-10HM, % THER CONTROL.</li> <li>MUNDERSTRUCTION DUMPLOATER ON TROLLER MODEL LEDOS AND THMER CONTROL.</li> <li>MUNDERSTRUCTION DUMPLOATER ON TROLLER MODEL LEDOS AND THMER CONTROL.</li> <li>MUNDERSTRUCTION DUMPLOATER ON T</li></ol>	6.	ANCHOR ADEQUAT RESIST S TWO STR AND ONE	SECURELY. TELY BRACE EISMIC FOR APS (ONE S STRAP AT I	IN SESMIC THE WAT RCES. PROV STRAP A TO BOTTOM 1/3	ZONES 3 AND 4 ER HEATER TO //DE IP /3 OF THE TAN OF THE TANK).	ĸ	
<ul> <li>PROVIDE ELECTRICAL OUTLETA SWITCHING PER UEC. FOR SINGLE FAMILY TYPE 5 CONSTRUCTION.</li> <li>PROVIDE SMOKE DETECTORS IN ALL SLEEPING AND MALAWAYS INCLUDING DINING AND LINKO ROOMS. AREAS MUST BE PERMANENTLY WIRED WITH BATTERY BACKUP.</li> <li>DOOR AT STAR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTVE ASSEMBLY AND SELF-CLOSING.</li> <li>FINSHES TO BE VERIFIED BY OWNER AND ARCHITECT.</li> <li>PROVIDE 1<sup>1</sup>/<sub>2</sub> HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THRESHOLDS (TYP.)</li> <li>SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.</li> <li>SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44: ADOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAT 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WOTH 22: THE EMERGENCY DOOR OR WINDOW SHALL HAVE A WINDOW THE USE OF SEPERATE TOOLS. SECTION 310.4.</li> <li>ALL ABETAL ROOMS SHALL HAVE ADREQUATE NOISE ATTENUATION TO ENSURE AN INTERIOR NOISE LEVEL OF AS GEORE.</li> <li>MECHANICAL EQUIPMENT (OR EQUIVALENT)</li> <li>BOILER AND INDERECT FIRED WATTER HEATER MUNIMUM OPENABLE, FIRO WATER HEATER MUNICAL HABITAL ROOMS SHALL HAVE ADREQUATE NOISE EFFICIENCY.</li> <li>SUFFERIAL TOOLS. SECTION 310.4.</li> <li>ALL HABITAL ROOMS SHALL HAVE ADREQUATE NOISE LEVEL OF AS GEORE.</li> <li>MECHANICAL EQUIPMENT (OR EQUIVALENT)</li> <li>BOILER AND INDERECT FIRED WATTER HEATER MUNICALINI MODEL FLOOR WITHOUT THE USE OF SEPERATE TOOLS. SECTION 310.4.</li> <li>MECHANICAL EQUIPMENT (OR EQUIVALENT)</li> <li>SUFERSTOR ULTRA MODEL SSU-46 INDERECT FIRED WATER HEATER.</li> <li>SUFFICIENCY.</li>     &lt;</ul>	7.	USE "MOL	LD GUARD*	@ ALL WE	AREAS & BATHT	TUBS	
U.E.C. FOR SINGLE FAMILY TYPE 5 CONSTRUCTION. 9. PROVIDE SMOKE DETECTORS IN ALL SLEEPING AND MANA AREAS MUST BE PERMANENTLY WIRED WITH BATTERY BACKUP. 10. DOOR AT START TO GARAGE MUST BE A 20 MINUTE FRE-RESISTIVE ASSEMBLY AND SELF-CLOSING. 11. FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT. 12. PROVIDE 1 \$ HT. DIFF. @ DECKS (LOWER) TO INTERIOR RODMS @ THREEHOLDS (TYP.) 13. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1. 14. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44' ABOVE THE FLOOR. WINDOW SN BUST HAVE AN OPENABLE AREA OF AT LEAST 57 SOUARE FEET WITH THE MINIMUM OPENABLE WITH 24'. THE EMERGENCY DOOR OR WINDOW SHALL HAVE A WINDOW SN BUST HAVE AN OPENABLE AREA OF AT LEAST 57 SOUARE FEET WITH THE MINIMUM OPENABLE WITH 24'. THE EMERGENCY DOOR OR WINDOW SHALL HAVE A ADVE THE LOOR. WINDOW SMOST HAVE AN OPENABLE AREA OF AT LEAST 57 SOUARE FEET WITH THE MINIMUM OPENABLE WITH 24'. THE EMERGENCY DOOR OR WINDOW SHALL HAVE A ADVE ADEQUATE NOISE ATTENUATION TO ENSURE AN INTENIOR NOISE LEVEL OF AS DEPERATE TOOLS. SECTION 310.4. 15. ALL HABITAL ROOMS SHALL HAVE ADEQUATE NOISE LEVEL OF AS DEVENDED AT ULL, CLEAR OPENING WITHOUT THE USE OF SEPERATE TOOLS. SECTION 310.4. 16. MECHANICAL EQUIPMENT (OR EQUIVALENT) BOILER AND INDERECT FIRED WATER HEATER MUNIMUM, OPENABLE FROM THENION NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR NOISE LEVEL OF AS DEVENTION TO ENSURE AN INTERIOR N	8.	PROVIDE	ELECTRICA	AL OUTLET	& SWITCHING PE		
HALLWAYS INCLUDING DINING AND LIVING ROOMS.         AREAS MUST BE PERMANENTLY WIRED WITH BATTERY BACKUP.         10.       DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE FRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.         11.       FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.         12.       PROVIDE 1 } HT. DIFF. 90 DECKS (LOWER) TO INTERIOR RODMS © THRESHOLDS (TYP)         13.       SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL GLEEPING AREAS OF THE UNIT. SECTION 310.9.1.         14.       SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR REMEGENCY ESCAPE. SILL HERICHT SHALL NOT EXCEED 44" ABOVE THE LOOK. WINDOW OR EXTERIOR DOOR FOR REMEGENCY ESCAPE. SILL HERICHT SHALL NOT EXCEED 44" ABOVE THE FLOOM WINDOW OR EXTERIOR DOOR FOR REMEGENCY ESCAPE. SILL HERICHT SHALL NOT EXCEED 44" ABOVE THE FLOOM WINDOW SMUST HAVE AN OPENABLE AREA OF AD LEXT 52 SOLUME FEET WITH THE MINIMUM OPENABLE WIDTH 22" AND THE MINIMUM OPENABLE HERICHT 42". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TP PROVIDE A FULL CLEAR OPENNABLE HERICHT THE USE OF SEPERATE TOOLS. SECTION 310.4.         15.       ALL HABITAL ROOMS SHALL HAVE ADEQUATE NOISE ATENNAMON TO ENSURE AN INTERIOR NOISE LEVEL OF 45 GB ONEL.         16.       MECHANICAL EQUIPMENT (OR EQUIVALENT)         BOILER AND INDERECT FIRED WATER HEATER -RUNDFOS MODEL DITH (UNTPUT) 43,000 TO 120,000 DTH (UDTPUT) 52%, RECOVERY EFFICIENCY.         SUPERSTOR ULTRA MODEL SBU-46 INDERECT FIRED WATER HEATER.         ALL HABITAL FIGURATION PUMPICONTROLS FOR POTABLE HOT WATER -GRUNDFOS MODEL UP15-42 F (BRUTE II) 115V-40HT.10HK, % THE MERICHT UNDERECT THE WATER HEA		U.E.C. FO	R SINGLE F	AMILY TYP	E 5 CONSTRUCT	ION.	
FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.         11.       FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.         12.       PROVIDE 1 } HT. DIFF. @ DECKS (LOWER) TO INTERIOR RODMS @ THRESHOLDS (TYP.)         13.       SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.         14.       SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED AVA ADOVE THE FLOOR. WINDOW SMUST HAVE AN OPENABLE AREA OF AT LEAT 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WITH 24°. THE EINSTEET PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPERATE TOOLS. SECTION 310.4.         15.       ALL HABITAL ROOMS SHALL HAVE A DEQUIVALENT)         BOULER AND INDERECT FIRED WATER HEATER         MINIMUM OPENABLE, FROM THE INSIDE TP PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPERATE TOOLS. SECTION 310.4.         16.       MECHANICAL EQUIPMENT (OR EQUIVALENT)         BOULER AND INDERECT FIRED WATER HEATER         MUNCHINI MOCEL 140M BOILER       -SUPERSTOR ULTRA MODEL SSU-46 INDERECT FIRED WATER HEATER         -SUPERSTOR ULTRA MODEL SOL-46 INDERECT FIRED WATER HEATER       -SUPERSTOR ULTRA MODEL SOL-46 INDERECT FIRED WATER HEATER         -SUPERSTOR ULTRA MODEL SOL-46 INDERECT FIRED WATER HEATER       -SUPERSTOR ULTRA MODEL SOL-66 INDERECT FIRED WATER HEATER         -SUPERSTOR ULTRA MODEL SOL-46 INDERECT FIRED WATER HEATER       -SUPERSTOR ULTRA MODEL SOL-60 INTROLLER MODEL LEDOG AND THE SINDER SOLE (SOUTH - OHM, 'S, THE SINDERED SOLE (SOUTH - OHM, 'S, THE SINDERED SOLE (S	а.	HALLWAY AREAS M	INCLUDIN	NG DINING.	AND LIVING ROO	MS.	
<ol> <li>PROVIDE 1 / HT. DIFF. @ DECKS (LOWER) TO INTERIOR RODUS @ THRESHOLDS (TYP.)</li> <li>SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL GLEPPING AREAS OF THE UNIT. SECTION 310.9.1.</li> <li>SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR REMERGENCY ESCAPE. SILL HEREINT FALL NOT EXCEED 44' ABOVE THE FLOOR. WINDOWS OR EXTERIOR DOOR FOR REMERGENCY ESCAPE. SILL HEREINT FALL NOT EXCEED 44' ABOVE THE FLOOR. WINDOWS OR EXTERIOR DOOR FOR REMERGENCY ESCAPE. SILL HEREINT FALL NOT EXCEED 44' ABOVE THE FLOOR. WINDOWS ONEST HAVE AN OPENABLE AREA OF AT LEAT 53' OUANE FEET WITH THE MINIMUM OPENABLE WIDTH 20' AND THE MINIMUM OPENABLE HERONT THE INSIDE TP PROVIDE A FULL CLEAR OPENNABLE FROM THE INSIDE TP PROVIDE A FULL CLEAR OPENNABLE THOUT THE USE OF SEPERATE TOOLS. SECTION 310.4.</li> <li>ALL HABITAL ROOMS SHALL HAVE ADEQUATE NOISE 45 dB ONEL.</li> <li>MECHANICAL EQUIPMENT (OR EQUIVALENT)</li> <li>BOILER AND INDERECT FIRED WATER HEATER -REMOVED AUDIO BTUH (INVIT) / 43,000 TO 122,000 BTUH (OUTPUT) 52%, RECOVERY EFFICIENCY.</li> <li>SUPERSTOR ULTRA MODEL SPOR POTABLE HOT WATER -GRUNDFOS MODEL UP15-42 F (BRUTE II) 115/4-00HT-10HM, %_TH HP, SINOLE SPEED WITH THERMOSTATIC CONTROL (IONEYWELL AQUASTATIC CONTROL.</li> <li>CONTROL THER CONTROL.</li> <li>CONTROL THER SECOND AUDIO BUDY (INVIT) / 43,000 TO 122,000 BTUH (INVIT) / 542 F (BRUTE II) 115/4-00HT-10HM, %_TH HP, SINOLE SPEED WITH THERMOSTATIC CONTROL (IONEYWELL AQUASTATIC CONTROL.</li> <li>CONTROL THER SECOND AUDIO AUDIO BUDY (INVIT) / 43,000 TO 126,000 ETHER AUDIO BUDY (INVIT) / 43,000 TO 126,000 ETHE AVE., SAND DIESCO. CA</li> <li>MATER HEATER</li> <li>MARCHARM AUDIO A</li></ol>	10.						
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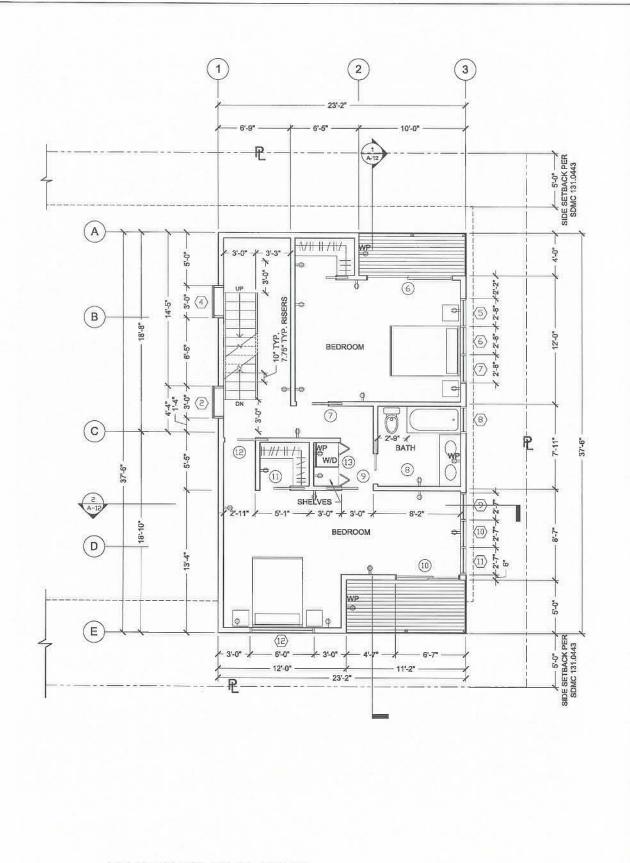


#### OCCUPANCY SEPARATION NOTE

-THE PRIVATE GARAGE SHALL BE SEPARATED I DWELLING UNITAND ITS ATTIC AREA BY MEANS ½" G.W.B. APPLIED TO THE GARAGE SIDE

2.00 CARS

		0 5
	PROPOSED GRADE     OH HARD WATER     OH HARD WATER	~ ~
FROM THE		1.44
OF A MINIMIM	WALL LEGEND	
	6" X 4" X 16" CMU WALL	
	2" X 4" STUD @ 16" O.C. INTERIOR	
	WALL W/ SOUND INSULATION SHEAR WALL LOCATION (SEE STRUCTURAL PLANS FOR LOCATION)	
	4 FINISHED CONCRETE	
	1. DASHED LINE INDICATES LINE OF FLOOR ABOVE.	
	2. LONG DASHED LINE INDICATES LINE OF RETAINING WALL BELOW.	
	3. CHOICEDEK BY WEYERHAUSER. SLOPE AWAY FROM STRUCTURE TO DRAIN.	
	<ol> <li>FIREPLACE LOCATION, AND HEAT AND GLO - "INFINITY" MODEL- RH-36, MH-28824.</li> </ol>	-
	5. CLOTHES DRYER VENT TO OUTSIDE AIR.	
	6. ON DEMAND WATER HEATER BOSCH #125 FX - ANCHOR SECURELY, IN SESMIC ZONES 3 AND 4	
	ADEQUATELY BRACE THE WATER HEATER TO RESIST SEISMIC FORCES, PROVIDE TWO STRAPS (ONE STRAP A TOP % OF THE TANK	
	AND ONE STRAP AT BOTTOM (20 FTHE TANK AND ONE STRAP AT BOTTOM (20 FTHE TANK), UPC, SECTION 510.5, VENT TO OUTSIDE AIR.	
	7. USE "MOLD GUARD" @ ALL WET AREAS & BATHTUBS OR WHERE WATER PENETRATES THE WALL.	
	8. PROVIDE ELECTRICAL OUTLET & SWITCHING PER	
	U.E.C. FOR SINGLE FAMILY TYPE 5 CONSTRUCTION. 10. DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE	
	FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING. 11. FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.	
	12. PROVIDE 1 2 HT, DIFF. @ DECKS (LOWER) TO INTERIOR	
	ROOMS @ THRESHOLDS (TYP.) 13. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE	
	IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.	
	14. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY SECAPE. SLL HERKIT SHALL NOT EXCEED 44* ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAT 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20* AND THE MINIMUM OPENABLE HEIGHT 24*. THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TP PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPERATE TOOLS. SECTION 310.4.	
	15. ALL HABITAL ROOMS SHALL HAVE ADEQUATE NOISE ATTENUATION TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dB CNEL.	
	16. IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRNG WHERE SUCH WIRNE IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED W A BATTERY BACK-UP, SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRNING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.	
	17. WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MATTER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE NOVIDUAL DVELLING UNIT. THE ALARM SHALL BE CLEARLY AUDISLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WALL INTERVENING DOORS CLOSED.	
	17. MECHANICAL EQUIPMENT (OR EQUIVALENT)	
	BOILER, AND INDERLEGT FIRED WATER HEATER -MUNCHION MODEL TOM BOILER 40,000 TO 140,000 BTUH (INPUT) / 43,000 TO 123,000 BTUH (OUTPUT) 92% RECOVERY EFFICIENCY.	
	-SUPERSTOR ULTRA MODEL SSU-45 INDERECT FIRED WATER HEATER.	
	RE-CIRCULATION PUMP/CONTROLS FOR POTABLE HOT WATER -GRUNDFOS MODEL UP15-42 F (BRUTE II) 115V-60HT-10HM, 5/5TH HP. SINGLE SPEED WITH THERMOSTATIC CONTROL (HONEYWELL AQUASTAT CONTROLLER MODEL L6008 AND TIMER CONTROL.	
	Contractor and Bulconstructor to review all workbactures, estuations, express, 989-281, plantings, devolutar, and resolutational devolupe. If have any disconsponded (postfolding or making) information) or errors & ordentices, plantes relatively Architect "price" to making ordening. Safety and any all vehicables for contractions.	
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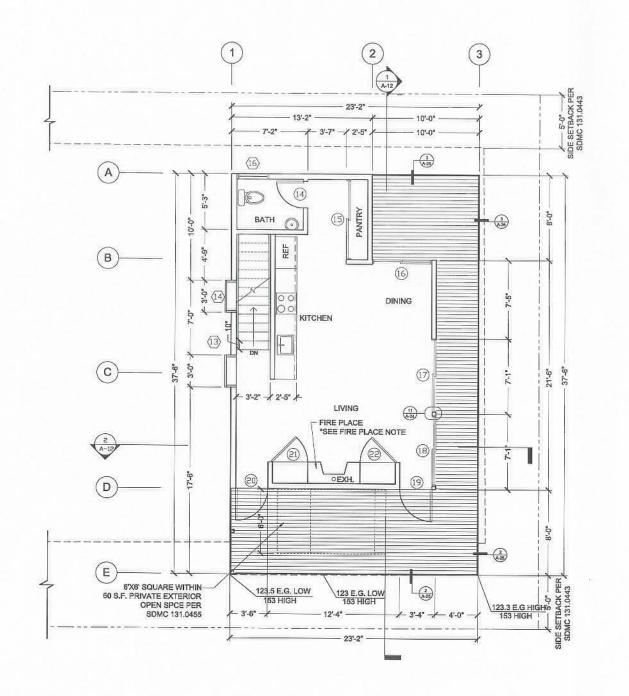
BACK HOUSE LEVEL 2 PLAN SCALE: 1/4" = 1'-0"

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4		E LOCATION	AND HEAT AND 4	SLO - "INFINI	TY*		
5.	CLOTHES	DRYER VEN	T TO OUTSIDE AIF	L.			
6,	ANCHOR ADEQUAT	SECURELY. I	EATER BOSCH #1 N SESMIC ZONES THE WATER HEAT	3 AND 4			
	TWO STR	STRAP AT BO	RAP A TOP ½ OF THE	TANK).			
7.	USE "MOL	LD GUARD" (	ALL WET AREAS	& BATHTUB	3		
8.	PROVIDE	ELECTRICAL	NETRATES THE V	HING PER			
10.	DOOR AT	STAIR TO GA	MILY TYPE 5 CON NRAGE MUST BE /	20 MINUTE			
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17.	MECHAN	IICAL EQUIPN	IENT (OR EQUIVA	LENT)			
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		SUPERSTOR	ULTRA MODEL S	SU-45 INDER	ECT		
	į	GRUNDFOS M 3/25 TH HP, SIN (HONEYWELL AND TIMER C		(BRUTE II) 1 THERMOST ROLLER MC	15V-60HT-1C ATIC CONTR DEL L6006	ohm, Sol	
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#### FIREPLACE NOTE

FIRE PLACE TO BE HEAT AND GLO MODEL: INFINITY LABRATORY : UNDERWRITERS LAB TYPE: DIRECT VENT GAS APPLIANC STANDARD: ANSI Z21.50-2000 - CS/

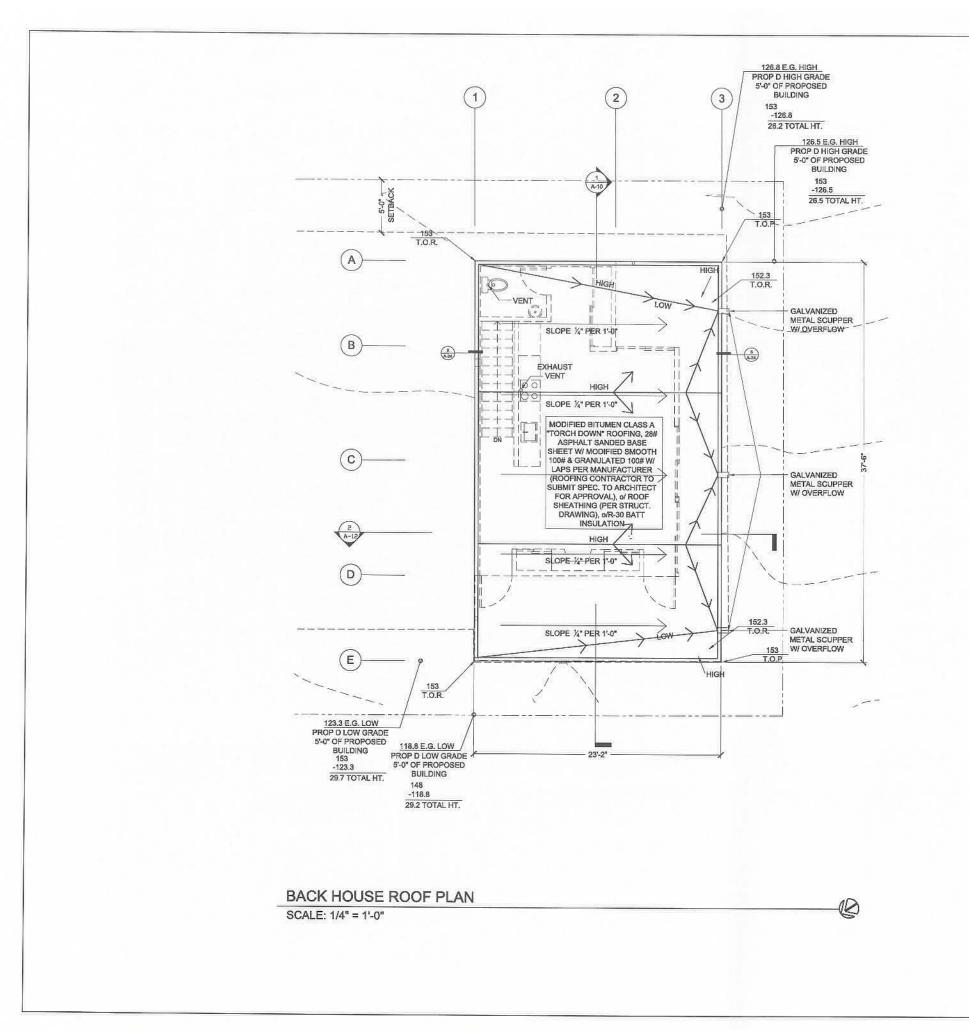


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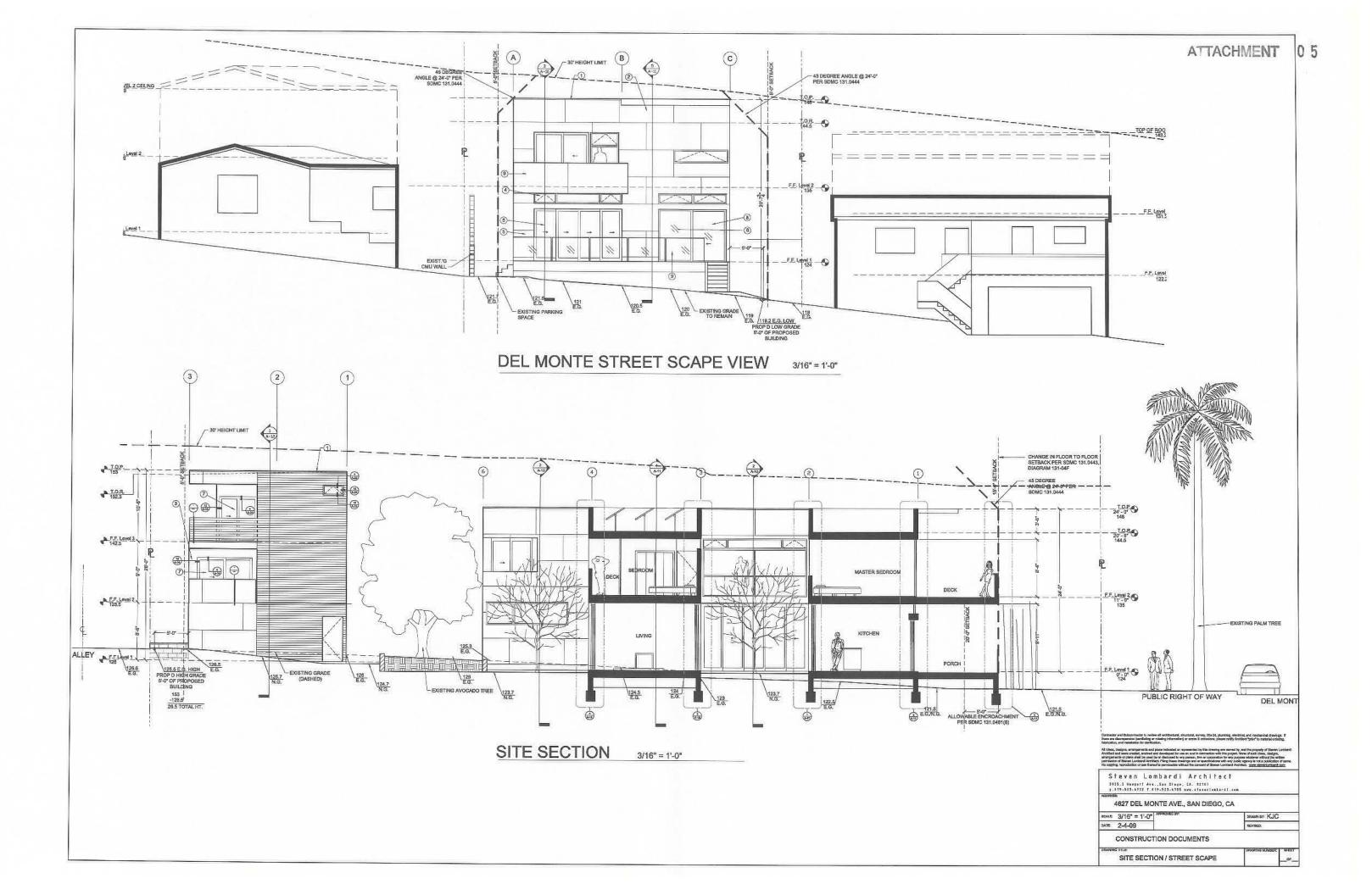
BACK HOUSE LEVEL 3 PLAN

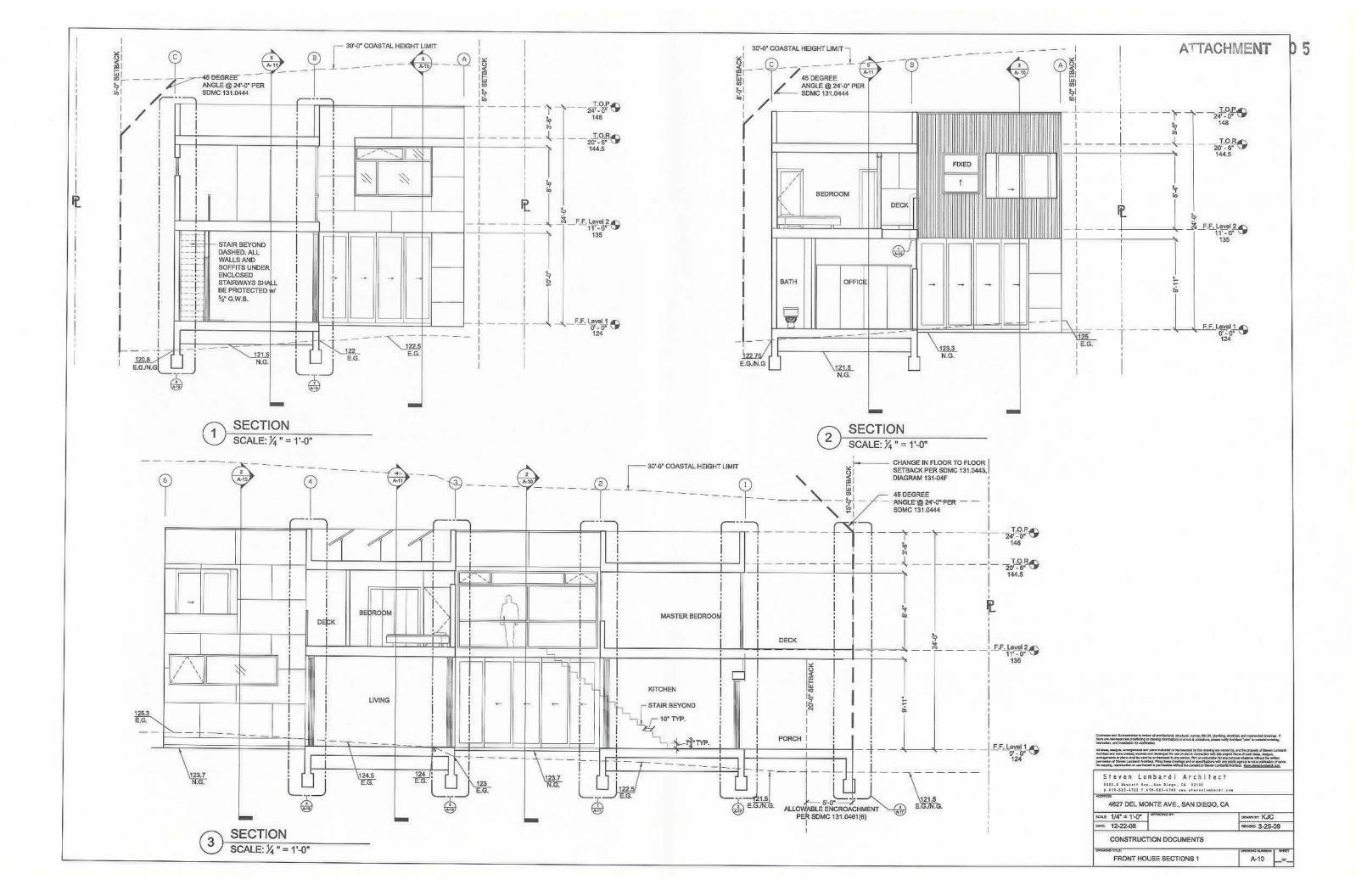
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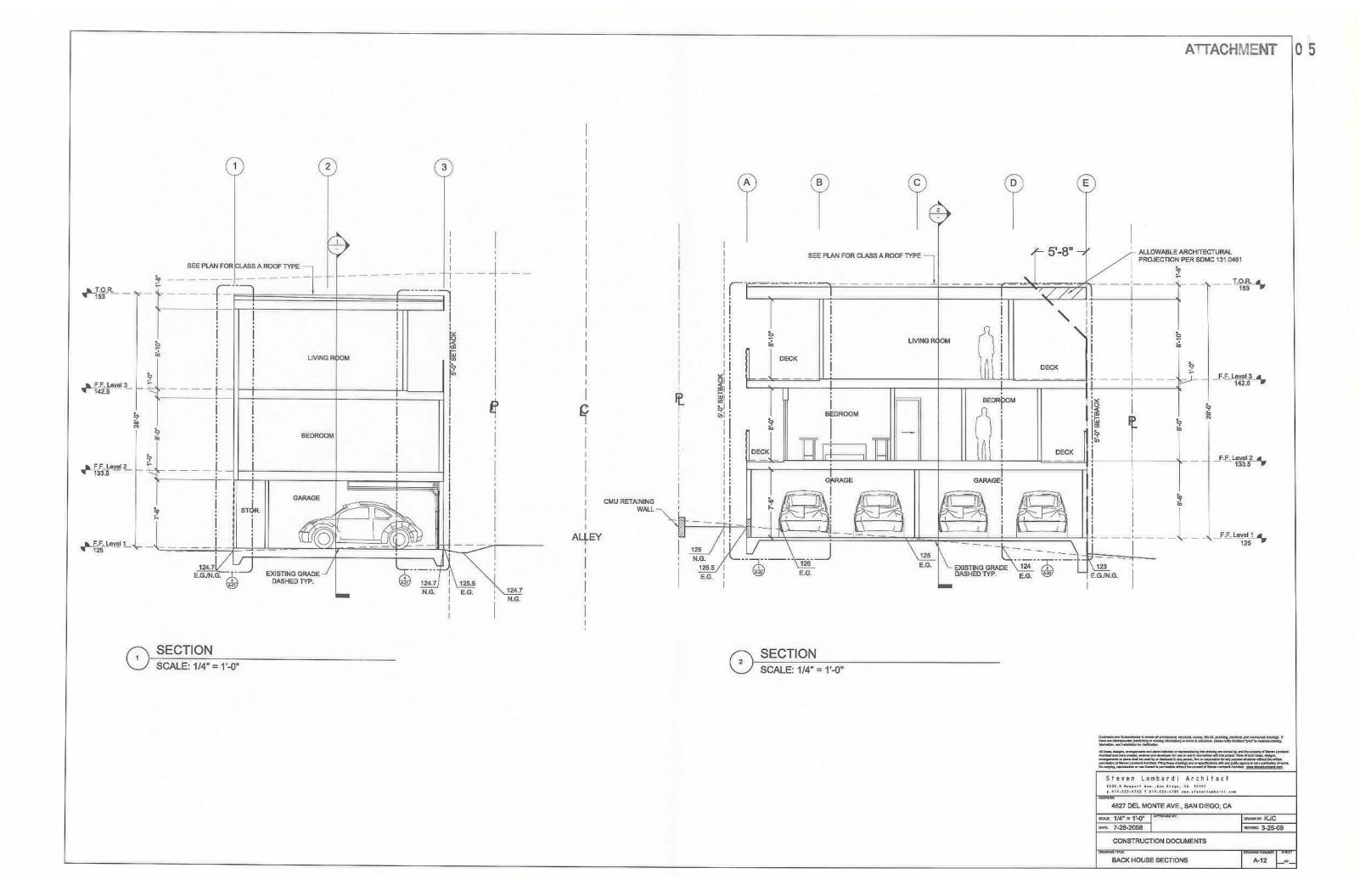
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	-OH HARD WATER	
	-OS SOFT WATER	
	WALL LEGEND	
	2000 8" X 4" X 16" CMU WALL	
	5"X 4" X 16" CMU WALL	
	2" X 4" STUD @ 16" O.C. INTERIOR WALL W/ SOUND INSULATION	
	SHEAR WALL LOCATION	
	(SEE STRUCTURAL PLANS FOR LOCATION)	
	FLOOR PLAN NOTES: 1. DASHED LINE INDICATES LINE OF FLOOR ABOVE.	
	2. LONG DASHED LINE INDICATES LINE OF RETAINING	
	WALL BELOW.	
	<ol> <li>CHOICEDEK BY WEYERHAUSER, SLOPE AWAY FROM STRUCTURE TO DRAIN.</li> </ol>	
	<ol> <li>FIREPLACE LOCATION, AND HEAT AND GLO - "INFINITY" MODEL- RH-36, MH-28824.</li> </ol>	
	5. CLOTHES DRYER VENT TO OUTSIDE AIR.	
	6. ON DEMAND WATER HEATER BOSCH #125 FX -	
	ANCHOR SECURELY. IN SESMIC ZONES 3 AND 4 ADEQUATELY BRACE THE WATER HEATER TO	
	RESIST SEISMIC FORCES, PROVIDE TWO STRAPS (ONE STRAP A TOP ½ OF THE TANK	
	AND ONE STRAP AT BOTTOM ½ OF THE TANK). UPC, SECTION 510.5. VENT TO OUTSIDE AIR.	
	7. USE "MOLD GUARD" @ ALL WET AREAS & BATHTUBS OR WHERE WATER PENETRATES THE WALL.	
	8. PROVIDE ELECTRICAL OUTLET & SWITCHING PER	
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	10. DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.	
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	12. PROVIDE 1 2" HT. DIFF. @ DECKS (LOWER) TO INTERIOR	
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	<ol> <li>SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310,9.1.</li> </ol>	
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	-MUNCHKIN MODEL 140M BOLLER 46,000 TO 140,000 BTUH (INPUT) / 43,000 TD 129,000 BTUH (OLIPPUT) / 43,000 TD	
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	-SUPERSTOR ULTRA MODEL SSU-45 INDERECT FIRED WATER HEATER.	
	RE-CIRCULATION PUMP/CONTROLS FOR POTABLE NOT WATER	
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	BACK HOUSE LEVEL 3 FLOOR PLAN A-8	

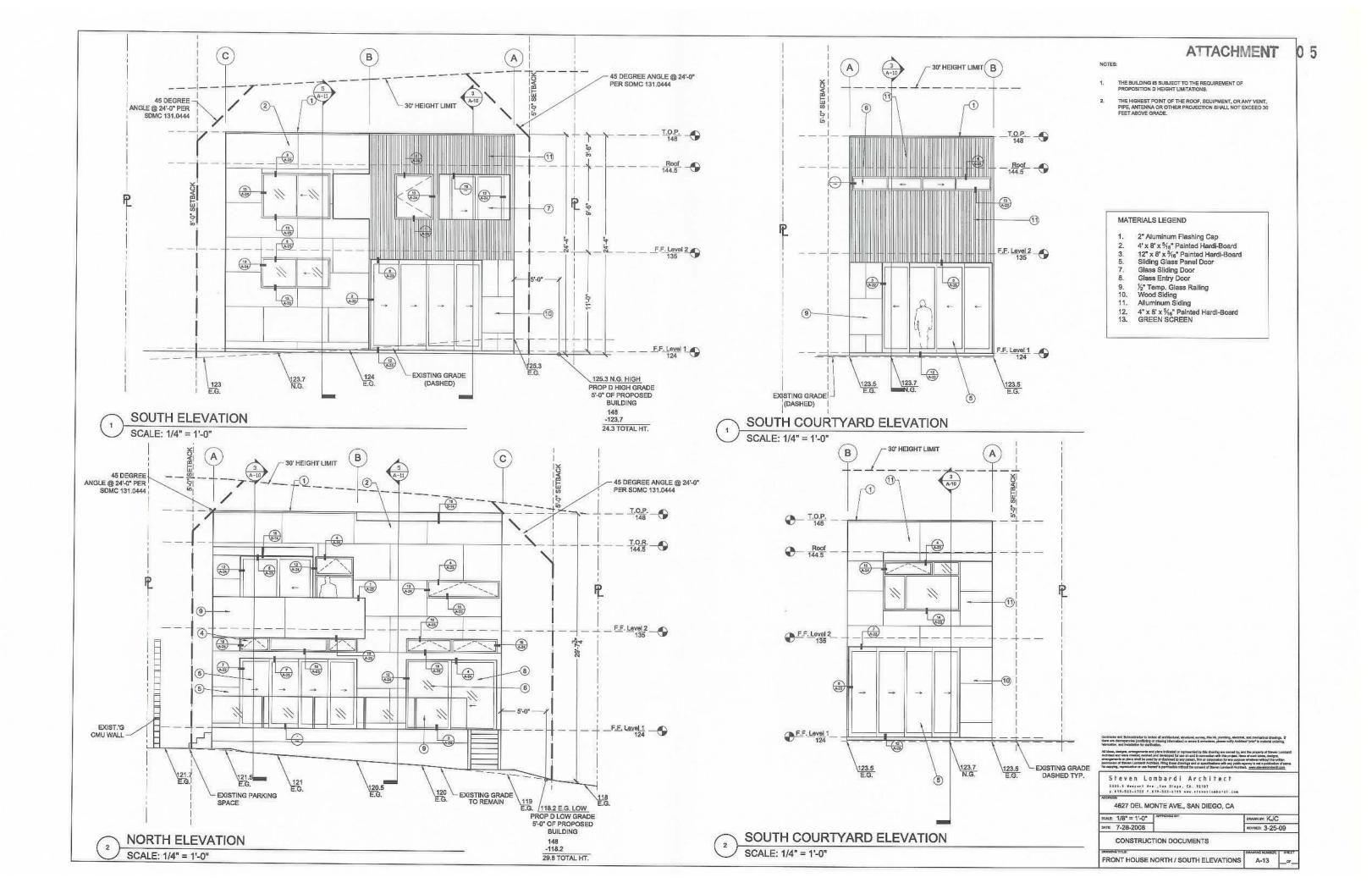


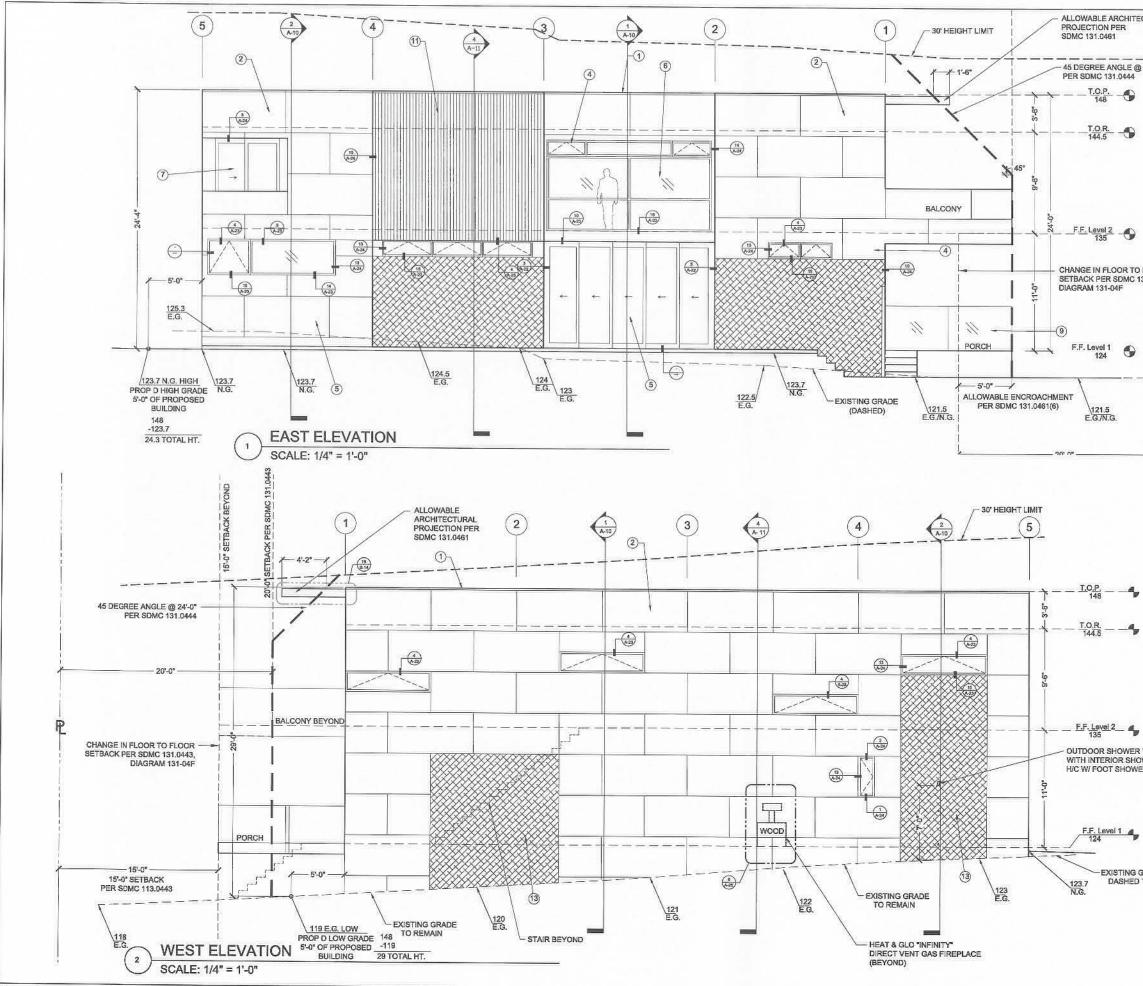
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	INE INDICATES LINE OF RETAINING	1	
WALL BELOW.			
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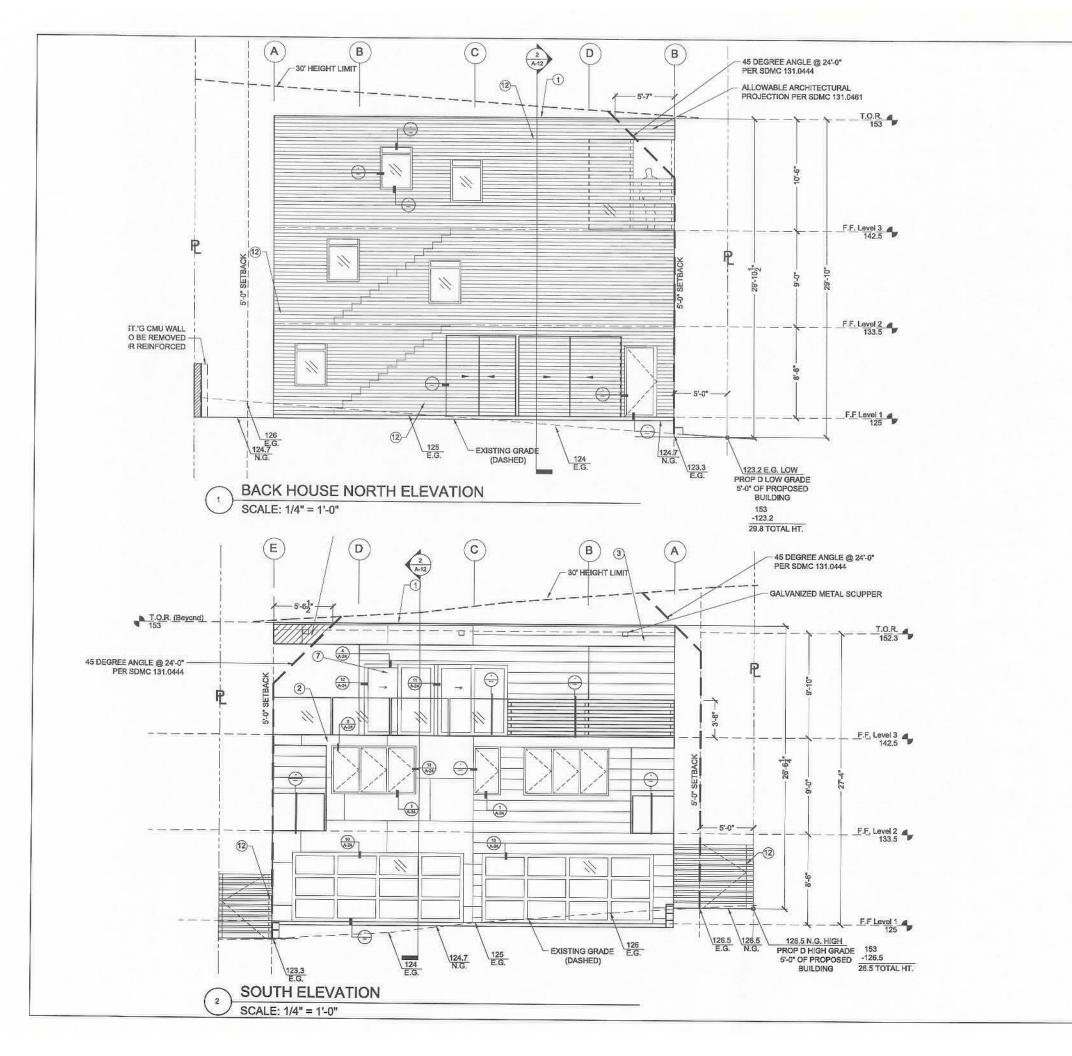








	ATTACHMENT	0
2 19'-0"	<ol> <li>THE BUILDING IS SUBJECT TO THE REQUIREMENT OF PROPOSITION D HEIGHT LIMITATIONS.</li> <li>THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.</li> </ol>	
r L		
FLOOR 31.0443,	MATERIALS LEGEND         1.       2" Aluminum Flashing Cap         2.       4' x 8' x %te <sup>®</sup> Painted Hardi-Board         3.       12" x 8' x %te <sup>®</sup> Painted Hardi-Board         5.       Sliding Glass Panel Door         7.       Glass Sliding Door         8.       Glass Entry Door         9.       ½" Temp. Glass Railing         10.       Wood Siding         11.       Alluminum Siding         12.       4" x 8' x %te <sup>®</sup> Painted Hardi-Board         13.       GREEN SCREEN	
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#### NOTES:

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### THE BUILDING IS SUBJECT TO THE REQUIREMENT OF PROPOSITION D HEIGHT LIMITATIONS.

THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE. 2.

#### MATERIALS LEGEND

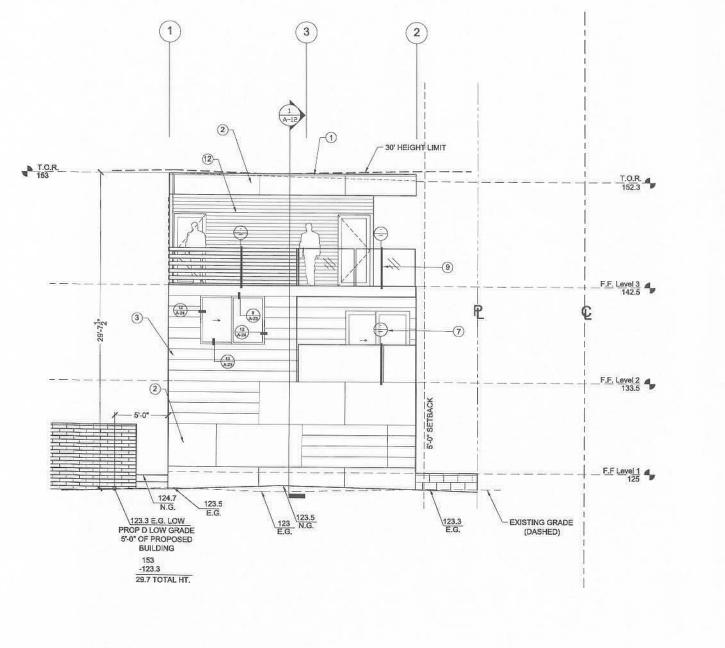
- 1.
- 2" Aluminum Flashing Cap 4' x 8' x 5\% "Painted Hardi-Board 12' x 8' x 5\%" Painted Hardi-Board Sliding Glass Panel Door Glass Sliding Door Glass Entry Door 2.
- 3. 5
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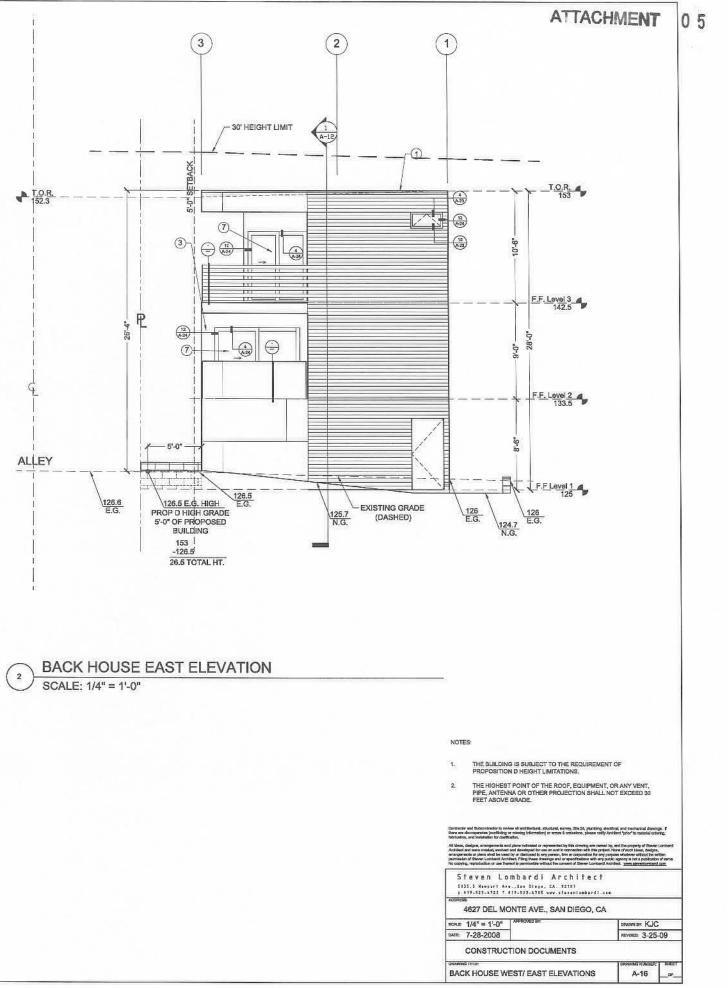
- Glass Entry Door
   ½" Temp. Glass Railing
   Wood Siding
   Alluminum Siding
   4" x 8" x <sup>5</sup>/<sub>6</sub>" Painted Hardl-Board
   GREEN SCREEN

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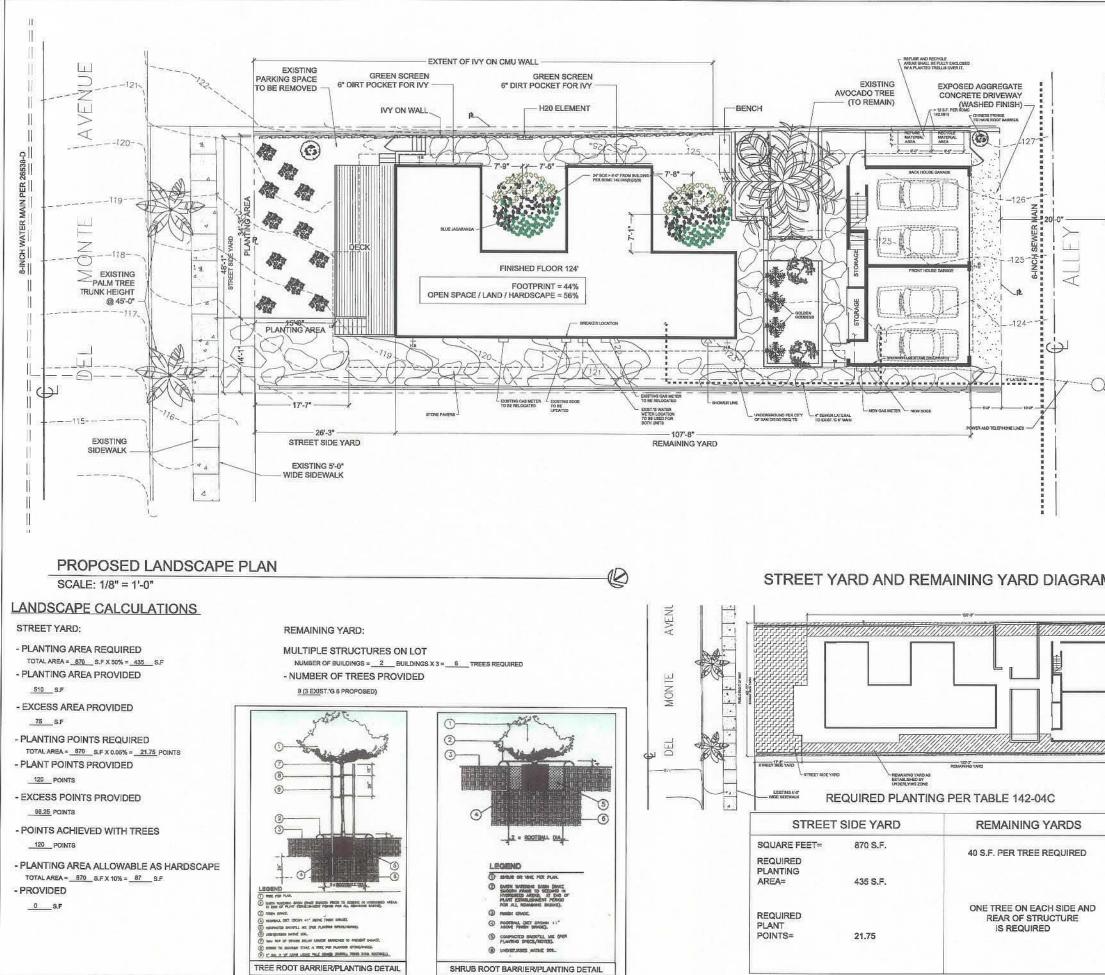
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Architect and were created, evolves emargements or plant shell be use permission of Steven Lombard Arc	All plans indicated or represented by this dewring are connet by, a net developed for use on and in connection with this project. No of by or disclosed to any parton, firm or components for any parps frietd. Filling these drawings are or appetituation, with any parton proof is permissible without the connect of drawer. Londowski Architecture proof is permissible without the connect of drawer. Londowski Architecture and the second second second second second second second second proof is permissible without the connect of drawer. Londowski Architecture and the second	one of such kines, designs, an admission addition the writ adency is rat a sublication o	len diente
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SCALE 1/4" = 1'-0"	MYYNONED BY:	DRAWN BY: KJC	
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DATE: 7-28-2008		REVEED: 3-25-	09
CONSTRUC	TION DOCUMENTS	REVEED: 3-25-	09









PRO	POSED PLANTS	LEGEND		* 1	TACHM	and I.V.	
SYMBOL	BOTANICAL NAME	COMMON NAME	ΩΤΥ.	HT.	FORMFUNCTION	SIZE	POINTS
	PHYLLOSTACHY NIGRA	BLACK BAMBOO	12	257	ORN. VERTICAL ELEMENT SPACED 5'-0" ON CENTER	100% CL 15 GAL	120 STREET YARD REQUIREMENT
	JACARANCA MINOSFOLIA	BLIE JACARANDA	z	32'	FLOWERING TREE	10074 (G 24° BGX	REMAINING YARD REQ.
*	IAMIBUSA MURTPLEX GOLDEN GODDESF	G. GODDESS BAMBOO	4	12	UPRIGHT SCREEN SPACED 414" ON CENTER	100% @ 24" BOX	REMAINING YARD REQ.
	HEDERA HELIK	ENGLISH NY	23	26	GROUNDCOVER	100% @ 5 GAL	45
-:-:·:	LOLIUM MULTIFLORUM	ANNUAL RYEGRASS		2.5	ORNAMENTAL GRASS	100% @ 5 GAL	
0	CHIONANTHUS RETUBUS	CHINESE FRINGE	2	21/	ALLEY VECETATION	100% @ 15 (IAL	
NEW FIX	TURE LEGEND	1					
s¥³ ₽	GAS						
12	HOSE BIB						
D I	SHOWER HEAD						
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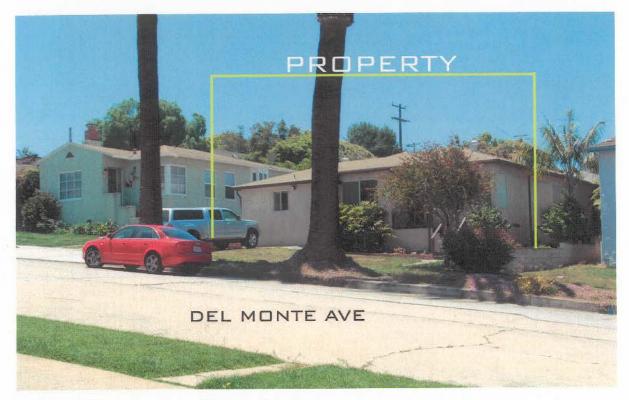
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PROPOSED LANDSCAPE PLAN

### **ATTACHMENT 6**

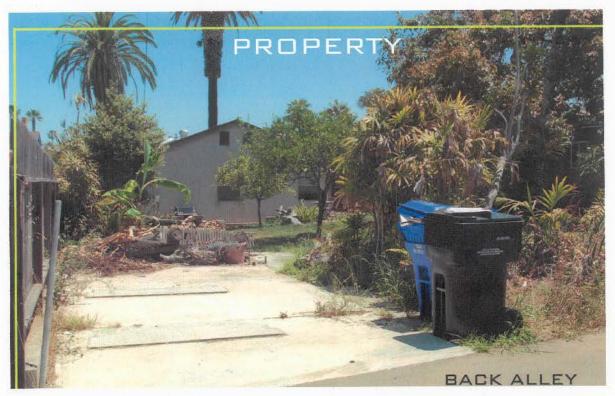


## Front of Property – Photo Survey

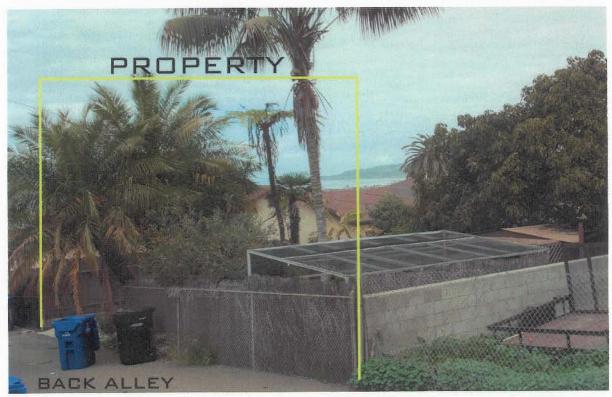


Front of Property – Photo Survey

### ATTACHMENT 6



## Rear of Property – Photo Survey



Rear of Property – Photo Survey

RECORDING REQUESTED BY CITY OF SAN DIEGO DEVELOPMENT SERVICES PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO PROJECT MANAGEMENT PERMIT CLERK MAIL STATION 501 Delete one of the above.

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 43-1362

### COASTAL DEVELOPMENT PERMIT NO. 579116 CARROLL RESIDENCE - PROJECT NO. 161987 PLANNING COMMISSION

This Coastal Development Permit No. 579116 is granted by the Planning Commission of the City of San Diego to THOMAS E. CARROLL AND KRISTIN W. CARROLL, Owners and Permittees, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.16-acre site is located at 4627 Del Monte Avenue between Froude Street and Ebers Street in the RM-1-1 Zone, the Coastal Overlay Zone; the Coastal Height Limit Overlay Zone; the Airport Approach Overlay Zone; the Airport Influence Area zone; and FAA Part 77 Noticing areas for San Diego International Airport, within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan Area. The project site is legally described as Lots 31 and 32, Block 21 of Ocean Beach, according to the Map thereof No. 279.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish an existing residential unit and shed, and construct two new detached dwelling units, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 16, 2009, on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing dwelling unit and shed;
- b. The construction of two new detached dwelling units totaling 5,083 square-feet as follows:
  - Building "A": 3,003 square feet
  - Building "B": 1,290 square feet above 790 square feet two, two-car garages

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and
- e. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

### STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.

2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.

4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

### **ENGINEERING REQUIREMENTS:**

11. Prior to the issuance of any building permits, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

12. Prior to the issuance of any construction permits, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

13. Prior to the issuance of any construction permits, the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

14. Prior to the issuance of any construction permits, the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.

15. Prior to the issuance of any construction permits, the applicant shall assure, by permit and bond, the closure of the existing driveway, creating a wing for the adjacent property, with replacement to City standard curb and gutter, the repair of a portion of damaged sidewalk and the removal of the existing bordered landscaping in the right-of-way of Del Monte Avenue, all satisfactory to the City Engineer.

16. The drainage system proposed for this development is private and subject to approval by the City Engineer.

17. Prior to foundation inspection, the applicant shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is in accordance with the approved plans.

18. Prior to the issuance of any construction permits, the applicant shall assure, by permit and bond, to reconstruct the AC alley with a current City Standards Concrete Pavement Full Width Alley, in the alley adjacent to the site.

### AFFORDABLE HOUSING:

19. Prior to the issuance of any building permits, the developer shall comply with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code.

### LANDSCAPE REQUIREMENTS:

20. In the event that a foundation only permit is requested by the Permittee or Subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

21. Prior to issuance of any construction permits for buildings the Permittee or Subsequent Owner shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.

22. Prior to Final Inspection, it shall be the responsibility of the Permittee or Subsequent Owner to install all required landscape. A "No Fee" Street Tree Permit, if applicable, shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

23. The Permittee or Subsequent Owner shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

24. The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual; Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Permittee or Subsequent Owner is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to Final Landscape Inspection.

### PLANNING/DESIGN REQUIREMENTS:

26. No fewer than four off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.

27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. Prior to the issuance of any building permits, the Owner/Permittee shall grant an avigation easement to the San Diego County Regional Airport Authority as required by the Airport Land Use Compatibility Plan for San Diego International Airport. The Owner/Permittee shall obtain the required avigation easement language from the San Diego County Regional Airport Authority.

29. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the avigation easement.

30. The project must be sound attenuated to 45 dB CNEL interior noise level. The applicant will be required to spend no more than 10% of construction costs to meet noise attenuation requirements. An acoustical study may be required to determine if the development proposal meets the noise standards pursuant to the Airport Environs Overlay Zone regulations.

31. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

### WATER REQUIREMENTS:

32. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway, and the removal of all existing unused services, within the right-of-way adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

33. Prior to the issuance of any certificates of occupancy, all public water facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

34. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

35. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities, and associated easements, as shown on approved Exhibit."A" shall be modified at final engineering to comply with standards.

### **INFORMATION ONLY:**

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on April 16, 2009.

### **ATTACHMENT 7**

### Permit Type/PTS Approval No.: <u>Coastal Development Permit No. 579116</u> Date of Approval: April 16, 2009

### AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Laila Iskandar Development Project Manager

NOTE: Notary acknowledgment must be attached per Civil Code section 1189 et seq.

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

[Thomas E. Carroll] Owner/Permittee

By \_\_\_\_\_

[Kristin W. Carroll] Owner/Permittee

By\_\_\_\_\_

**NOTE:** Notary acknowledgments must be attached per Civil Code section 1189 et seq.

### **ATTACHMENT 8**

### PLANNING COMMISSION RESOLUTION NO. XXXX COASTAL DEVELOPMENT PERMIT NO. 579116 CARROLL RESIDENCE - PROJECT NO. 161987

WHEREAS, THOMAS E. CARROLL AND KRISTIN W. CARROLL, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish an existing residential unit and shed, and construct two new detached dwelling units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 579116), on portions of a 0.16-acre site;

WHEREAS, the project site is located at 4627 Del Monte Avenue in the RM-1-1 Zone within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan Area;

WHEREAS, the project site is legally described as Lots 31 and 32, Block 21 of Ocean Beach, according to the Map thereof No. 279;

WHEREAS, on February 11, 2009, the Development Services Department of the City of San Diego approved Coastal Development Permit No. 579116, pursuant to Section 126.0708 of the Municipal Code of the City of San Diego; and

WHEREAS, on February 26, 2009, the Ocean Beach Planning Board filed an appeal of the Process 2 Development Services Department's decision; and

WHEREAS, on April 16, 2009, the Planning Commission of the City of San Diego considered the appeal of Coastal Development Permit No. 579116, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated April 16, 2009.

### FINDINGS:

### Coastal Development Permit Findings - Section 126.0708:

1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;

The project proposes the demolition of an existing single story residential unit and shed, and the construction of two new, detached two-story residential dwelling units. The project site is

located at 4627 Del Monte Avenue between Froude Street and Ebers Street in the multi-family RM-1-1 zone, within the East Ocean Beach neighborhood of the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan. The project is located within the Coastal Overlay Zone, approximately three blocks from the Pacific Ocean. All development will occur on private property. Due to its distance from the coastline, the Ocean Beach Precise Plan and Local Coastal Program do not identify this location as a designated physical accessway to the coastal area, therefore, the project will not encroach upon any existing or proposed physical accessway identified in the Local Coastal Program. The project location is not within or adjacent to any designated public view corridors. However, it is within the Coastal Overlay Zone which requires the maximum height of structures not to exceed 30 feet. The maximum height of the proposed project would be below the 30-foot height limit and the project features and overall development of the site is consistent with all applicable Plans and Programs and meets all regulations. Accordingly, the proposed project will not impact any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan

# 2. The proposed coastal development will not adversely affect environmentally sensitive lands;

The project proposes the demolition of an existing single story residential unit and shed, and the construction of two new, detached residential dwelling units. The property is surrounded on all sides with existing residential development. The property abuts dedicated public right-of-way along Del Monte Avenue to the north and a dedicated public alley to the south.

The project is located within an urbanized area, surrounded by a fully developed residential neighborhood, and does not contain Environmentally Sensitive Lands (ESL); therefore the project would not adversely affect these resources. The project is located outside and is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA). The proposed construction will not conflict with the Multiple Species Conservation Plan (MSCP), and will not adversely affect environmentally sensitive lands.

### 3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program;

The project proposes the demolition of an existing single-story residential unit and the construction of two new, detached residential dwelling units. The proposed coastal development is consistent with the recommended residential land use, design guidelines, and development standards in effect for this site per the RM-1-1 zone, the Coastal Overlay and the Coastal Height Limitation Overlay zones, and the City of San Diego General Plan and as prescribed by the Ocean Beach Precise Plan. No deviations to applicable land use and development policies are included with this application.

The development would meet the goals of the Ocean Beach Precise Plan/LCP by providing an additional unit within a multi-family zone. The proposed project is also featuring a well-articulated design with balconies and porches, and will be constructed is in the form of garden-

type units, absent from excessive height and bulk, that preserve the character of the neighborhood and the community. In addition, the proposed project is utilizing sustainable building practices in the construction of the residence which implements the community's goals. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

### 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project proposes the demolition of an existing single-family dwelling unit and shed, and the construction of two new, detached residential dwelling units, on a 7,000-square-foot site. The project site is located at 4627 Del Monte Avenue, approximately three blocks from the Pacific Ocean and is not located between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone and therefore is not required to demonstrate conformance with the public access and recreation policies of the California Coastal Act as required by this finding.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, the appeal is denied and Coastal Development Permit No. 579116 is hereby GRANTED by the Planning Commission to the referenced Owners/Permittees, in the form, exhibits, terms and conditions as set forth in Permit No. 579116, a copy of which is attached hereto and made a part hereof.

Laila Iskandar Development Project Manager Development Services

Adopted on: April 16, 2009

Job Order No. 43-1362

cc: Legislative Recorder, Planning Department

	City of San Diego Development Services 1222 First Ave. 3rd Floor San Diego, CA 92101 (619) 446-5210	Development f vironmental Determi Appeal Appli	nation DS-3031
THE CITY OF SAN DIESO			
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2. Appellant Pleas	e check one U Applicant X Officially BFACH RANNER BUARD	y recognized Planning Committee U "Inf	erested Person" (Per M.C. Sec.
Name P. Box Address	7090 SAN DIELO	City State Zip Code	619-708-3769 Telephone
3. Applicant Name		g appealed). Complete if different from a	
4. Project Informa Permit/Environment	tion al Determination & Permit/Document No 10# 43-1362	11 FEB ZOUP	City Project Manager: ' L. ISHA NDAR
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Note: Faxed appe	als are not accepted. Appeal fees are		
		web site at <u>www.sandiego.gov/development-se</u> able in alternative formats for persons with disa	

DS-3031 (03-07)

Commun	nity Pl	anning
	Con	ımittee
Distribution	Form	Part 2

Project Name : CARROL	L RESIDENCE		Project Number 161987	Distribution Date 11/26/08
2 residential for rent units	EACH JO#43-1362. (PROCESS 2 on a 0.16 acre site at 4627 Del Mon alable), Coastal Ht Limit, Airport /	te Avenue in the RM-1-1	Zone within the Oc	ean Beach Community Plan,
Project Location: 4627 D	el Monte Avenue			
Applicant Name: Kristin	Carroll		Applicant Phone (619) 795- 3188	No.
Related Projects				
Project Manager Laila Iskandar		Phone Number (619) 446-5297	Fax Number (619) 446-5245	E-mail Address liskandar@sandiego.gov
Community Plan Ocean Beach		Council District		
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To request this document in alternative format, call (619) 446-5446 or (800) 735-2929 (TT). Be sure to see us on the WorldWide Web at www.sandiego.gov/development-services

City of San Diego Development Services 1222 First Ave., MS-302 San Diego, CA 92101 (619) 446-5210

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