



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: October 23, 2008 **REPORT NO. PC-09-029**

ATTENTION: Planning Commission, Agenda of April 16, 2009

SUBJECT: CARROLL RESIDENCE - PROJECT NO. 161987.
PROCESS TWO APPEAL

**OWNER/
APPLICANT:** Thomas E. Carroll and Kristin W. Carroll (Attachment 11)
Steven Lombardi / Steven Lombardi Architect

SUMMARY

Issue: Should the Planning Commission approve or deny an appeal of the Development Services Department's decision to approve a Coastal Development Permit to allow the demolition of an existing single-family residence and shed, and the construction of two new residential units at 4627 Del Monte Avenue within the Ocean Beach Community Planning area?

Staff Recommendation:

1. **DENY** the appeal and **UPHOLD** the Development Services Department's decision to **APPROVE** Coastal Development Permit No. 579116.

Community Planning Group Recommendation: The Ocean Beach Planning Board voted 6-5 to recommend denial of the proposed project on February 4, 2009.

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Article 19 Section 15332, Infill Development, on September 3, 2008, and the opportunity to appeal that determination ended on September 17, 2008. The scope of the subject hearing only includes the project, and not the environmental determination.

Fiscal Impact Statement: All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action. There are no open cases in the Neighborhood Code Compliance Department for this property.

Housing Impact Statement: The subject site is designated for low-medium residential with a density range of 8-14 dwelling units per net residential acre (du/ac) which would allow a maximum of two dwelling units on the site. The project proposes to demolish an existing single-family residence and construct two new single-family residences, which would provide a net gain of one dwelling unit in the community. The proposed project is within the coastal zone and has been reviewed for compliance with the regulations in the Coastal Overlay Zone Affordable Housing Replacement Requirements division of the Land Development Code. This division is not applicable to this proposal because the project contains less than three dwelling units.

BACKGROUND

The 0.16-acre site is located at 4627 Del Monte Avenue between Froude Street and Ebers Street (Attachment 1), within the East Ocean Beach neighborhood of the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan (LCP) (Attachment 2). The Precise Plan designates the site for multi-family residential land use at a density of 8-14 dwelling units/acre (du/ac) (Attachment 3). The property development is regulated by RM-1-1 Zone which is tailored to multi-family development. The property is within a fully developed urbanized community and surrounded by a variety of single and multi-family housing types.

The property is developed with one existing single-family residence and utility shed constructed in 1968. The property is located within the Ocean Beach Cottage Emerging Historical District; however, City staff reviewed the project and determined the single-family house is not a designated contributing resource to the district, which has an established period of significance of 1887-1931. The project site is surrounded by a variety of single and multi-family housing types. The area includes an established single-family residential neighborhood to the south which is designated as a "Protected Single Family Neighborhoods", and a Multi-Family Residential Neighborhoods to the north, east, and west (Attachment 2).

The property is located within the Coastal Overlay Zone; therefore, a Coastal Development Permit is required for the demolition and new construction on the property.

On February 11, 2009, the Development Services Department approved the proposed project.

On February 26, 2009, the Ocean Beach Planning Board filed an appeal of the Process 2, Development Services Staff's decision asserting inconsistency with current and draft Community Plan (Attachment 9). This issue is discussed further in this report.

DISCUSSION

Project Description:

The project is requesting a Coastal Development Permit (CDP) in accordance with the City of San Diego Land Development Code to demolish an existing, one-story residential unit and shed, and the construction of one (1) two-story and one (1) three-story dwelling unit. The structures would be detached and sited front and back of the lot. The front unit is two stories in height and

is identified on the plans as Building “A”. The back unit is also two stories high above parking and is shown on the plans as Building “B”. Building “A” would front on Del Monte Avenue with 3,003 square feet of gross floor area and includes three designated bedrooms, an office space, and two full and one half bathrooms along with the common living areas. Building “B” would be located off the rear alley for a total of 2,080 square-feet of gross floor area to include 1,290 square feet of living area and 790 square feet of non-habitable floor area designated as two, two-car garages to accommodate both units. Access to the garage spaces is from the abutting alley. Building “B” is a two bedroom unit with one full and one half bathrooms.

The architectural style of the new units could be described as Contemporary. The two homes are organized in and around landscaped courtyards that have a strong relationship with indoor/outdoor space creating natural ventilation through out the home. The footprints of both buildings only use 44% of the site, leaving 56% of the site for open space, allowing landscaping with native ground cover and a porous hardscape. Four parking spaces are located under the rear unit. The proposed project would include several sustainable building practices consistent with the goals for Sustainable Development and Urban Forestry in the General Plan, such as using photovoltaic solar collectors on the main house’ roof that will supply about 75% of the electrical and heating needs. The “rain screen” exterior wall system is cementitious [hardie board], including a “living green screen” system used to soften the exterior walls. The structures also include off-setting plains that provide building articulation which is accented by balconies and decks with glass railings.

The two units would be compatible with the surrounding neighborhood and the Ocean Beach community which offers a diverse mix of residential development both new and old, with a variety of large and small unit types.

Community Plan Analysis:

The proposed project is a Coastal Development Permit (CDP) to demolish an existing residence and construct two residential for-rent units on a 0.16-acre site. The subject site, at 4627 Del Monte Avenue in Ocean Beach, is designated for Low-Medium Density Residential at 8-14 dwelling units per acre (du/ac). The proposal to construct two dwelling units would meet the density range of the medium residential designation.

The Residential Land Use and Housing Element of the Ocean Beach Precise Plan includes the recommendation to promote the continuation of an economically balanced housing market, providing for all age groups and family types. This project proposes to meet the balanced community goal by paying a fee in-lieu of providing affordable units on-site.

The Community Appearance and Design Element of the Ocean Beach Precise Plan includes the goal to, “Maintain the existing character of Ocean Beach as exemplified by a mixture of small scale residential building types and styles and to upgrade the physical character of the community.” The proposed project meets this goal by incorporating finished materials, colors and structural elements/architectural details similar to other structures in the neighborhood. The proposed project is also featuring a well-articulated design with balconies and porches which implements these goals, and the new construction is in the form of garden-type units, absent from

excessive height and bulk and compatible in design with the existing community. In addition, the proposal with extensive landscaping, including planters, a pond and concrete pavers fulfills the community plan's goal. A floor area ratio of 0.75 also assists in controlling building bulk. The applicant has also provided staff with a photographic survey of development in the immediate neighborhood that demonstrates the existence of similar structures in terms of height, bulk, scale, as well as architecture.

The Conservation Element of the City of San Diego General Plan contains policies to guide the conservation of the resources that are fundamental components of San Diego's environment, and are relied upon for continued economic prosperity. The proposed project is utilizing sustainable building practices in the construction of the residence including skylights and photovoltaic panels on the roof that will cut energy requirements. Also, the demolition plan for the project states that the contractor will recycle all material.

Zoning:

The project meets the density of the RM-1-1 zone which allows for one dwelling unit for each 3,000 square feet of lot area. Therefore, the 7,000 square-foot project site would allow two units.

The proposed density is within the allowable density of both the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan, and the San Diego Municipal Code (SDMC) RM-1-1 zone.

The SDMC establishes a maximum Floor Area Ratio (FAR) of 0.75, or 5,250 square feet for this property. The project proposes 4,293 square feet of living area, and 790 square feet of garage for a total area of 5,083 square feet.

The project meets all development requirements of the Municipal Code and recommendations of the community plan with respect to building height and setbacks. The maximum building height would be 29' 8". All required setbacks are observed, and no deviation or variance is sought in conjunction with the Coastal Development Permit application.

Community Planning Group Recommendation

The Ocean Beach Planning Board voted 6-5 to recommend denial of the proposed project on February 4, 2009, for the following reason: 1) excessive bulk & scale, 2) lack of second story articulation, 3) inconsistency with the Ocean Beach Precise Plan for neighborhood consistency (Attachment 10).

The Development Services Department's technical review staff applied the appropriate regulations for bulk and scale of the Land Development Code and the Ocean Beach Precise Plan, including the underlying RM-1-1 Zone development regulations, and determined that the project complies with all of the applicable requirements in terms of height, bulk, scale, size, density, setbacks, lot coverage, and floor area. Further, it is generally considered that a project that wholly complies with the Land Development Code and does not deviate from the development regulations for structure height, building setbacks and gross floor area, does not present bulk and scale issues. A field reconnaissance of the surrounding neighborhood found that there are several

types of developments similar in size to the proposed project, making the Carroll Residences compatible with the local community.

Project-Related Issues:

Appeal Issues:

The appeal of the Development Services Department's decision to approve the project is based mainly on the inconsistency with current and draft Community Plan (Attachment 9). This issue is addressed below with staff's response:

Community Plan Consistency

The Ocean Beach Precise Plan designates the property for multi-family residential land use at a density of 8-14 dwelling units per net residential acre. As previously noted, the proposed development is consistent with both the recommended land use and the development intensity prescribed for the site in the Ocean Beach Precise Plan and conforms to all development regulations of the RM-1-1 zone. Further, the proposed project would implement several goals and recommendations of the Precise Plan through implementation of the Land Use and Community Planning Element, Housing Element and the Urban Design Element of the General Plan. Specifically, the project would add an additional unit within a multi-family zone and preserve the character of the neighborhood and the community.

Staff reviewed the project pursuant to the Ocean Beach Community Plan and determined that the project would be consistent with the proposed and existing neighborhood character. The project proposes the demolition of an existing one-story, single-family house and the construction of two detached, two and three-story structures. The front unit facing Del Monte Avenue includes a first story porch and the second floor has a deck, creating off-setting planes which will reduce perceived impacts from the two story unit, preserving a pedestrian orientation that assists in implementing the "small-scale residential building types" identified in the Ocean Beach Precise Plan. In addition, the applicant has also supplied evidence of other two and three-story residences in the neighborhood.


Conclusion:

In summary, staff has determined the proposed project is consistent with the purpose and intent of the Ocean Beach Precise Plan design guidelines, and conforms to all applicable development regulations of the San Diego Municipal Code in effect regarding the RM-1-1 Zone, as allowed through the Coastal Development Permit Process. Staff has concluded that the proposed project will not adversely affect the General Plan or the Ocean Beach Precise Plan. Staff has determined the required findings can be supported as substantiated in the draft resolution (Attachment 8) and recommends that the Planning Commission deny the appeal and uphold the approval of the project as conditioned.

ALTERNATIVES

1. **Deny** the appeal and uphold the Development Services Department's decision to **Approve** Coastal Development Permit No. 579116; or
2. **Approve** the appeal and deny the project.

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Laila Iskandar
Project Manager
Development Services Department

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Community Plan Land Use Map
4. Project Data Sheet
5. Project Development Plans
6. Site Photos
7. Draft Permit with Conditions
8. Draft Resolution with Findings
9. Copy of Appeal(s)
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement



Project Location Map

CARROLL RESIDENCE - PROJECT NO. 161987

4627 Del Monte Avenue



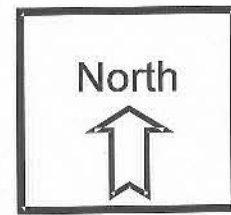
PROJECT SITE
4627 Del Monte Avenue

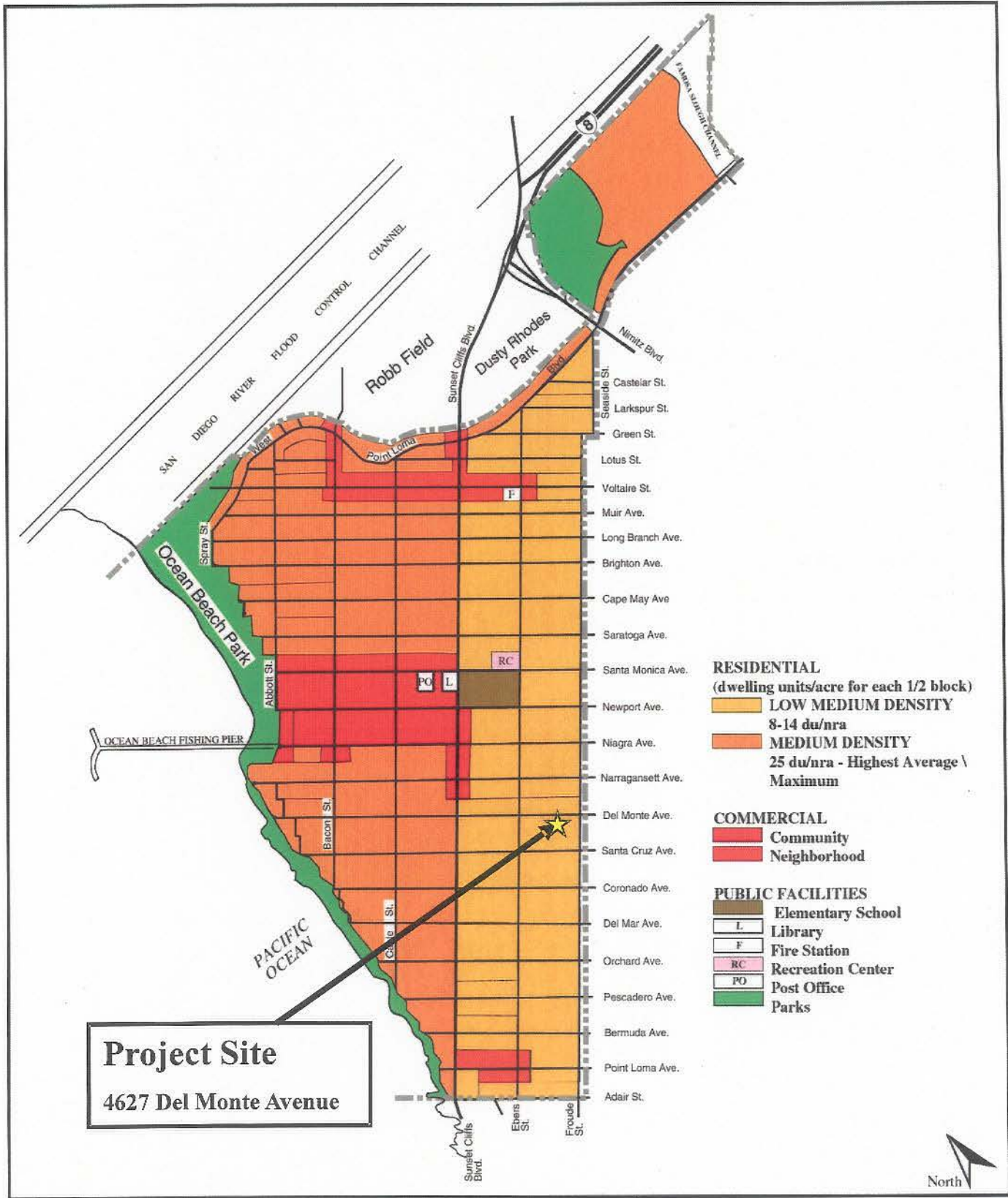


Aerial Photo

CARROLL RESIDENCE – PROJECT NUMBER 161987

4627 Del Monte Avenue





Project Site
4627 Del Monte Avenue

RESIDENTIAL
(dwelling units/acre for each 1/2 block)

- LOW MEDIUM DENSITY**
8-14 du/nra
- MEDIUM DENSITY**
25 du/nra - Highest Average \ Maximum

COMMERCIAL

- Community**
- Neighborhood**

PUBLIC FACILITIES

- Elementary School**
- L **Library**
- F **Fire Station**
- RC **Recreation Center**
- PO **Post Office**
- Parks**



PROJECT DATA SHEET

PROJECT NAME:	Carroll Residences	
PROJECT DESCRIPTION:	Demolition of an existing single-family residence and shed, and construction of two new for rent residential units.	
COMMUNITY PLAN AREA:	Ocean Beach	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Low Medium Density Residential (8-14 dwelling units per acre)	
	<u>CURRENT ZONING INFORMATION:</u>	<u>PROPOSED:</u>
ZONE:	RM-1-1 (multi-unit residential)	RM-1-1
DENSITY:	1 du/3,000 sf – 1 dwelling unit	2 dwelling unit
HEIGHT LIMIT:	30' max	29'8"
LOT SIZE:	6,000 sf minimum	7,000 sf existing
FLOOR AREA RATIO:	0.75	0.73
FRONT SETBACK:	15 feet min; 20 feet	15 feet/ 26'-10" (2 nd story)
SIDE SETBACK:	5' min/ 8' standard	5'/11'-6" & 7'-6" (opposite side)
STREETSIDE SETBACK:	N/A	N/A
REAR SETBACK:	15' including half width of the alley	15'-8" including half width of the alley
PARKING:	4 spaces	4 spaces
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Multiple Family; RM-1-1	Multiple Family residential
SOUTH:	Single Family; RS-1-7	Single Family residential
EAST:	Multiple Family; RM-1-1	Multiple Family residential
WEST:	Multiple Family; RM-1-1	Multiple Family residential
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Ocean Beach Planning Board voted 6-5 to recommend denial of the proposed project on February 4, 2009.	

GENERAL NOTES

1. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4)
2. THERE ARE NO EXISTING OR PROPOSED BUS STOPS
3. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SDMC, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BMP'S ON THE FINAL CONSTRUCTION DRAWINGS, IN ACCORDANCE WITH THE APPROVED WATER QUALITY TECHNICAL REPORT.
7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL ASSURE, BY THE PERMIT AND BOND, THE CLOSURE OF THE EXISTING DRIVEWAY, CREATING A WING FOR THE ADJACENT PROPERTY, WITH REPLACEMENT TO CITY STANDARD CURB AND GUTTER, THE REPAIR OF A PORTION OF DAMAGED SIDEWALK AND THE REMOVAL OF THE EXISTING BORDERED LANDSCAPING IN THE RIGHT-OF-WAY OF DEL MONTE AVE., ALL SATISFACTORY TO THE CITY ENGINEER.
8. THE DRAINAGE SYSTEM PROPOSED FOR THIS DEVELOPMENT IS PRIVATE AND SUBJECT TO APPROVAL BY THE CITY ENGINEER.
9. PRIOR TO FOUNDATION INSPECTION, THE APPLICANT SHALL SUBMIT A BUILDING PAD CERTIFICATION SIGNED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR, CERTIFYING THE PAD ELEVATION BASED ON USGS DATUM IS IN ACCORDANCE WITH THE APPROVED PLANS.
10. ESTIMATED YARDS OF CUT (INCLUDING FOUNDATION) = 152 SQUARE YARDS TO BE USED AS FILL. NO MATERIAL IS ESTIMATED TO BE IMPORTED OR EXPORTED.
11. SEE SHEET A-8 FOR BACK HOUSE PRIVATE OPEN SPACE REQUIREMENT.
12. ANY PROPOSED PUBLIC SEWER FACILITIES ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ESTABLISHED CRITERIA IN THE MOST CURRENT CITY OF SAN DIEGO SEWER DESIGN GUIDE.
13. ALL PROPOSED PRIVATE SEWER FACILITIES ARE TO BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA PLUMBING BOARD.
14. ALL WATER SERVICES TO THE SITE WILL REQUIRE PRIVATE, ABOVE GROUND BACK FLOW PREVENTION DEVICES.
15. THE APPLICANT SHALL REMOVE EXISTING UNUSED WATER SERVICES AND INSTALL A NEW WATER SERVICE AND METER WHICH MUST BE LOCATED OUTSIDE ANY DRIVEWAY OR VEHICULAR USE AREA.
16. A MINIMUM OF 4 AUTOMOBILE SPACES ARE REQUIRED BY THE LDC. ALL ON-SITE PARKING STALLS AND AISLE WIDTHS SHALL BE IN COMPLIANCE WITH REQUIREMENTS OF THE CITY'S LDC AND SHALL NOT BE CONVERTED AND/OR UTILIZED FOR ANY OTHER PURPOSE, UNLESS OTHERWISE AUTHORIZED IN WRITING BY THE DEVELOPMENT SERVICES DIRECTOR.
17. NOISE ATTENUATION MEASURES THAT WILL BE PROVIDED TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dBC FOR ALL HABITABLE ROOMS.
18. ALL ROOMS HAVE BEEN VERIFIED TO HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING IN ACCORDANCE WITH CBC SECTION 1026 PER PLANS, ELEVATIONS AND THE WINDOW AND DOOR SCHEDULE. ALL OPENINGS ARE TO BE AT LEAST 5.7 SQUARE FEET, WITH A MINIMUM NET CLEAR OPENING HEIGHT OF 24 INCHES AND MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES. THE MAXIMUM HEIGHT FROM FLOOR SHALL BE 44 INCHES. ALL OPERABLE AWNINGS AND CASEMENTS SHALL OPEN 180 DEGREES. SEE PLANS, ELEVATIONS AND WINDOW/DOOR SCHEDULE FOR MEASUREMENTS AND SIZES.
19. GLASS USED AS HANDRAIL ASSEMBLY OR A GUARD SECTION SHALL BE CONSTRUCTED OF EITHER SINGLE FULLY TEMPERED GLASS, LAMINATED FULLY TEMPERED GLASS OR LAMINATED HEAT-STRENGTHENED GLASS. GLAZING IN RAILING IN-FILL PANELS SHALL BE OF AN APPROVED SAFETY GLAZING MATERIAL THAT CONFORMS TO THE PROVISIONS OF SECTION 2406.1.1. FOR ALL GLAZING TYPES, THE MINIMUM NOMINAL THICKNESS SHALL BE 3/4" INCH. FULLY TEMPERED GLASS AND LAMINATED GLASS SHALL COMPLY WITH CATEGORY II OF CPSC 16 CFR 1201, LISTED IN CHAPTER 35, SECTION 2407.1.
20. CONSTRUCTION SHALL BE ACCORDING TO DRAWINGS WITHIN, AND NO FIELD CHANGES SHALL BE MADE WITHOUT ARCHITECT'S APPROVAL.

PROJECT DATA

SCOPE OF WORK: REMOVE EXISTING 1 STORY RESIDENTIAL AND REPLACE WITH (1) TWO STORY RESIDENTIAL AND (1) 3 STORY RESIDENTIAL (GARAGE + 2 STORY) EXISTING HOUSE DOES NOT MEET HISTORICAL DEFINITION

OCCUPANCY: R-3 SINGLE FAMILY RESIDENCE

CONSTRUCTION TYPE: TYPE V B (WOOD FRAME THROUGHOUT) RESIDENTIAL BLDG & GARAGE.
BLDG. CODES USED:
 -2007 INTERNATIONAL BUILDING CODE
 -2008 CALIFORNIA BUILDING CODE

ZONE: RM-1-1

OVERLAY ZONE DESIGNATION: AIRPORT APPROACH AIRPORT ENVIRONS COASTAL HEIGHT LIMIT COASTAL (CITY) NON-APPEALABLE

REQUIRED DISCRETIONARY APPROVALS: COASTAL DEVELOPMENT PERMIT BUILDING PERMIT

EASEMENTS: NONE

PARKING REQ. 2 SPACES PER DWELLING UNIT (SDMC 142.0520) = 4 SPACES
 PROVIDED: 4 SPACES

SQUARE FEET:
 FRONT HOUSE 3391 SF
 BACK HOUSE 1692 SF
 TOTAL: 5083 SF
 (*SEE GFA CALCS. A-2)

FRONT HOUSE HABITABLE AREA: 3053 SF
BACK HOUSE HABITABLE AREA: 1290 SF

BUILDING HEIGHT: 30

LOT AREA: 7,000 SF

ALLOWABLE F.A.R.: 0.75

PROPOSED F.A.R.: 0.73

ALLOWABLE FLOOR AREA: 5,250 SF

EXISTING AREA: 1,362 SF

NEW TOTAL AREA: 5,083 SF

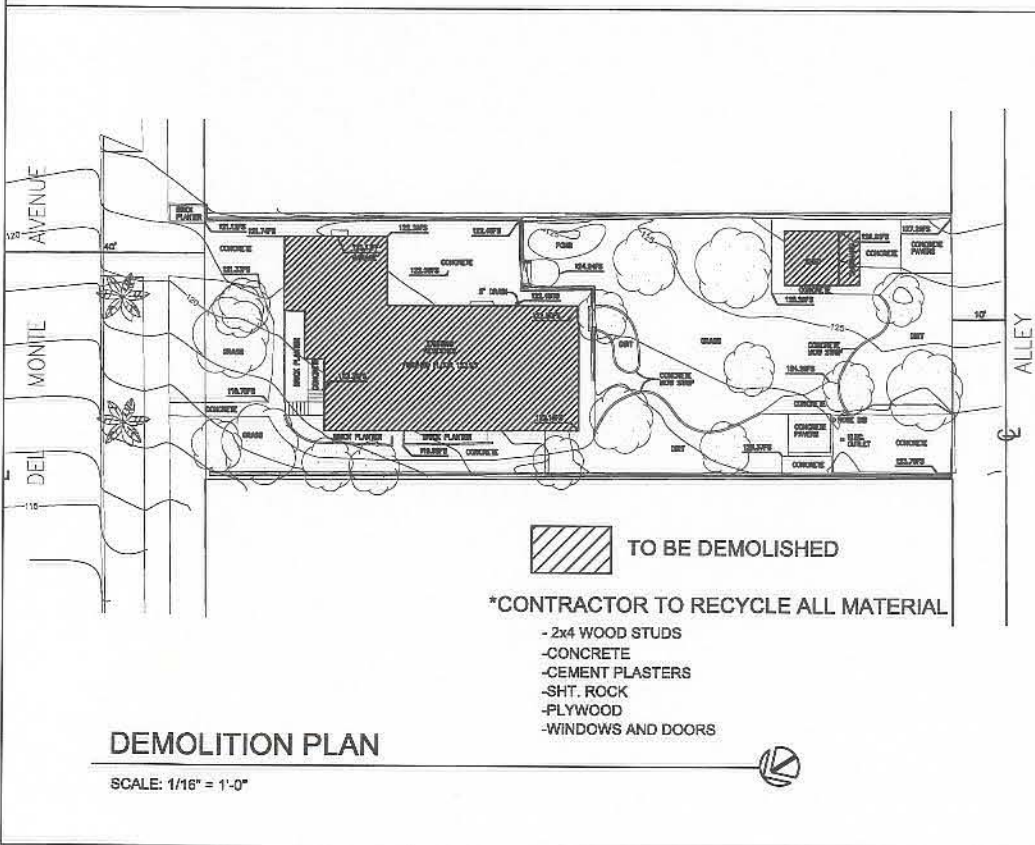
A.P.N.: 448-491-19

PROJECT ADDRESS: 4627 DEL MONTE AVE. (FRONT)
 4629 DEL MONTE AVE. (BACK)
 SAN DIEGO, CA 92107

LEGAL DESCRIPTION: LOTS 31 & 32, BLOCK 21 OF MAP NO. 279

DRAWING SCHEDULE

T-1	TITLE SHEET / DEMO PLAN
C-1	TOPOGRAPHIC SURVEY
L-1	EXISTING LANDSCAPE PLAN
L-2	PROPOSED LANDSCAPE
A-1	EXISTING FLOOR PLAN
A-2	PROPOSED SITE PLAN / GFA DIAGRAMS
A-3	FRONT HOUSE FIRST FLOOR PLAN
A-4	FRONT HOUSE SECOND FLOOR PLAN
A-5	FRONT HOUSE ROOF PLAN
A-6	BACK HOUSE GARAGE PLAN
A-7	BACK HOUSE LEVEL 2 FLOOR PLAN
A-8	BACK HOUSE LEVEL 3 FLOOR PLAN
A-9	BACK HOUSE ROOF PLAN
A-10	FRONT HOUSE SECTIONS 1
A-11	FRONT HOUSE SECTIONS 2
A-12	BACK HOUSE SECTIONS
A-13	FRONT HOUSE NORTH / SOUTH ELEVATION
A-14	FRONT HOUSE EAST / WEST ELEVATION
A-15	BACK HOUSE NORTH / SOUTH ELEVATION
A-16	BACK HOUSE EAST / WEST ELEVATION
A-17	FRONT HOUSE WALL SECTIONS 1
A-18	FRONT HOUSE WALL SECTIONS 2
A-19	FRONT HOUSE WALL SECTIONS 3
A-20	BACK HOUSE WALL SECTIONS 1
A-21	BACK HOUSE WALL SECTIONS 2
A-22	ENLARGED FLOOR PLAN
A-23	DETAILS 1
A-24	DETAILS 2
A-25	DETAILS 3
A-26	WINDOW AND DOOR SCHEDULE
A-27	BMP PLAN
A-28	SPECIFICATIONS 1
A-29	SPECIFICATIONS 2
A-30	SPECIFICATIONS 3
E-1	FRONT HOUSE LEVEL 1 ELECTRICAL PLAN
E-2	FRONT HOUSE LEVEL 2 ELECTRICAL PLAN
E-3	BACK HOUSE LEVEL 2 ELECTRICAL PLAN
E-4	BACK HOUSE LEVEL 3 ELECTRICAL PLAN
S-1	NOTES
S-1A	NOTES
S-2	DETAILS
S-3	DETAILS
S-4	DETAILS
S-5	FRONT HOUSE FOUNDATION PLAN
S-6	FRONT HOUSE FIRST FLOOR FRAMING PLAN
S-7	FRONT HOUSE SECOND FLOOR/ROOF FRAMING PLAN
S-8	BACK HOUSE FOUNDATION/FIRST FLOOR FRAMING PLAN
S-9	BACK HOUSE SECOND FLOOR / ROOF FRAMING PLAN
S-10	FOUNDATION / SHEAR TRANSFER DETAILS
S-11	FOUNDATION / SHEAR TRANSFER DETAILS
S-12	TYPICAL STRUCTURAL DETAILS
S-13	FOUNDATION / SHEAR TRANSFER DETAILS
S-14	FOUNDATION / SHEAR TRANSFER DETAILS
S-15	FOUNDATION / SHEAR TRANSFER DETAILS
S-16	DETAILS
S-17	SHEAR WALL DETAILS
T-24	FRONT HOUSE TITLE-24
T-24	BACK HOUSE TITLE-24



VICINITY MAP



PARKING CALCULATIONS:
 ZONING: RM1-1

FRONT UNIT: 3 BEDROOM + OFFICE = 2.25 CARS
 BACK UNIT: 2 BEDROOM = 2.00 CARS

TOTAL SPACES: 4.25 (4) CARS REQUIRED

PROJECT TEAM

ARCHITECT: STEVEN LOMBARDI ARCHITECT
 LIC.# C21826
 5035.5 NEWPORT AVE.
 SAN DIEGO, CA 92107
 619.523.4722

STRUCTURAL ENGINEER: ENVISION ENGINEERING, INC.
 1125 WEST MORENA BLVD., STE. B
 SAN DIEGO, CA 92101
 619.275.6726

SURVEYOR: SPEAR & ASSOCIATES
 475 PRODUCTION STREET
 SAN MARCOS, CA 92078
 760.736.2040

GEO TECHNICAL: GEO SOILS
 5741 PALMER WAY
 CARLSBAD, CA 92008
 760.438.3155

LEGAL OWNER: THOMAS AND KRISTIN CARROLL
 4627 & 4629 (FUTURE BACK HOUSE)
 DEL MONTE AVE.
 SAN DIEGO CA. 92107
 619.993-0203

TITLE 24 TAILORED ENERGY SERVICES
 1640 W. LONGVIEW
 STOCKTON, CA 95207
 (888) 310-0808

Contractor and Subcontractor to review all architectural, structural, survey, site 24, plumbing, electrical, and mechanical drawings. If there are discrepancies (conflicting or missing information) or errors & omissions, please notify Architect "before" to mutual satisfaction, and resolution for conditions.

All ideas, designs, arrangements and plans indicated or recommended by the drawing are owned by, and the property of Steven Lombardi Architect and shall be used, modified and developed for use in and in connection with this project. Items of such items, design, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose without the written permission of Steven Lombardi Architect. Filing these drawings and specifications with any public agency is not a publication of same. No copying, reproduction or use thereof is permitted without the consent of Steven Lombardi Architect. www.stevenlombardi.com

Steven Lombardi Architect
 5035.5 Newport Ave., San Diego, CA 92107
 p. 619-523-4722 f. 619-523-4785 www.stevenlombardi.com

ADDRESS: 4627 DEL MONTE AVE., SAN DIEGO, CA

SCALE: 1/8" = 1'-0" APPROVED BY: DRAWN BY: KJC
 DATE: 7-28-08 REVISED: 3-25-09

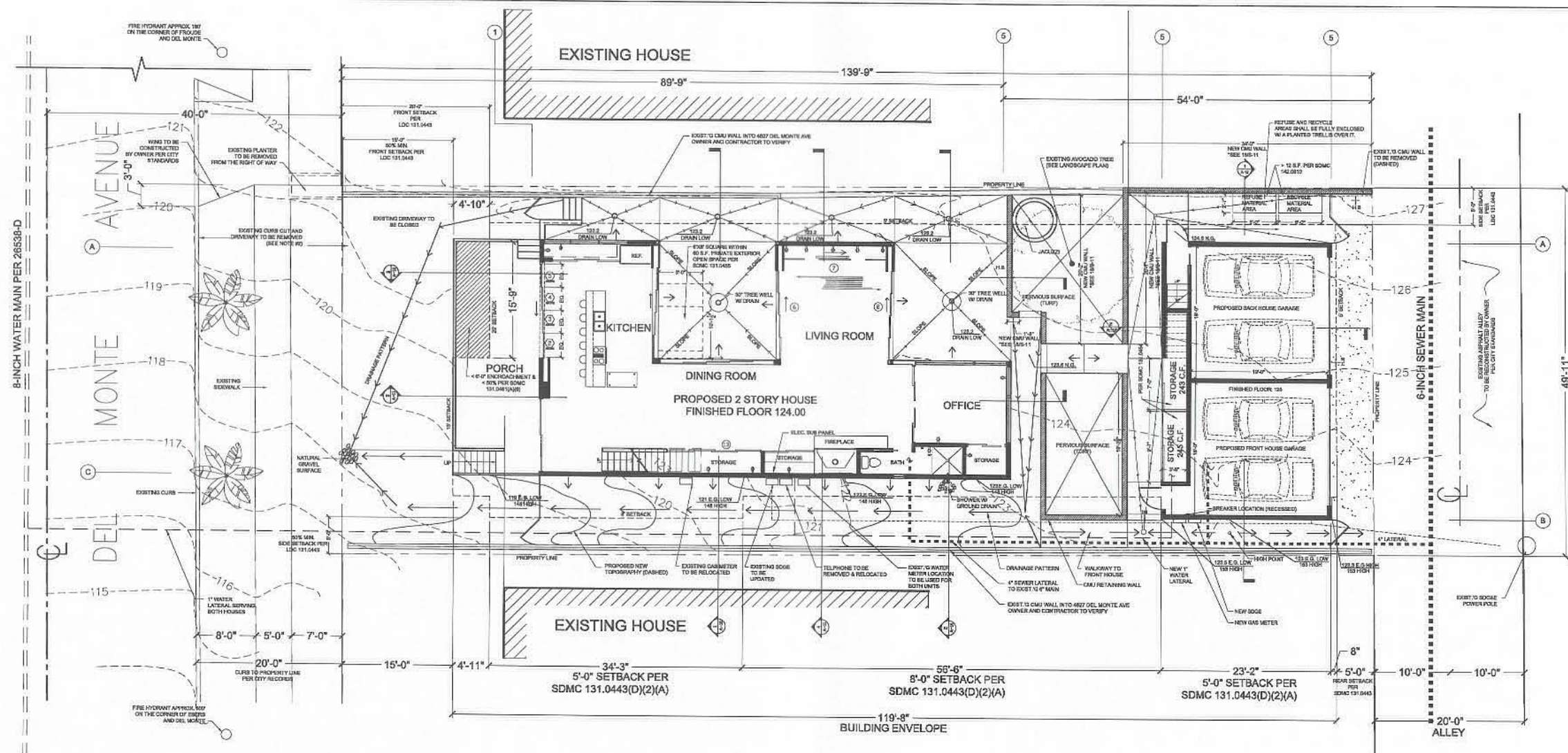
CONSTRUCTION DOCUMENTS

DRAWING TITLE: TITLE SHEET/DEMOLITION PLAN DRAWING NUMBER: T-1 SHEET: 1 OF 1

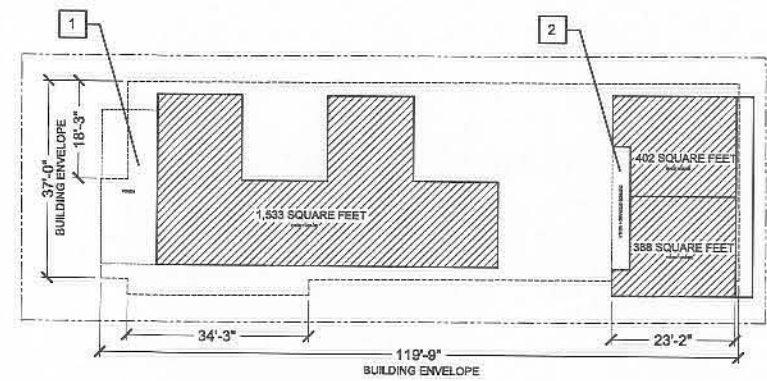
- PROPOSED GRADE
- - - EXISTING GRADE
- - - SETBACK LINE
- - - PROPERTY LINE
- ▬ SEWER LINE
- - - WATER LINE
- ← DRAINAGE DIRECTION

NOTES

1. ESTIMATED YARDS OF CUT (INCLUDING FOUNDATION) = 162 SQUARE YARDS TO BE USED AS FILL. NO MATERIAL IS ESTIMATED TO BE IMPORTED OR EXPORTED.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL ASSURE, BY THE PERMIT AND BOND, THE CLOSURE OF THE EXISTING DRIVEWAY, CREATING A WING FOR THE ADJACENT PROPERTY, WITH REPLACEMENT TO CITY STANDARD CURB AND GUTTER, THE REPAIR A PORTION OF DAMAGED SIDEWALK AND THE REMOVAL OF THE EXISTING BORDERED LANDSCAPING IN THE RIGHT-OF-WAY OF DEL MONTE AVE., ALL SATISFACTORY TO THE CITY ENGINEER.
3. ALL SLOPES ARE EARTH OR PAVING OVER NATURAL GRADE. CONCRETE WALLS AND DRIVEWAYS SHALL BE A MINIMUM OF 4 INCHES DOWN FROM THE FINISH FLOOR HEIGHTS IN ALL BUILDINGS.



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



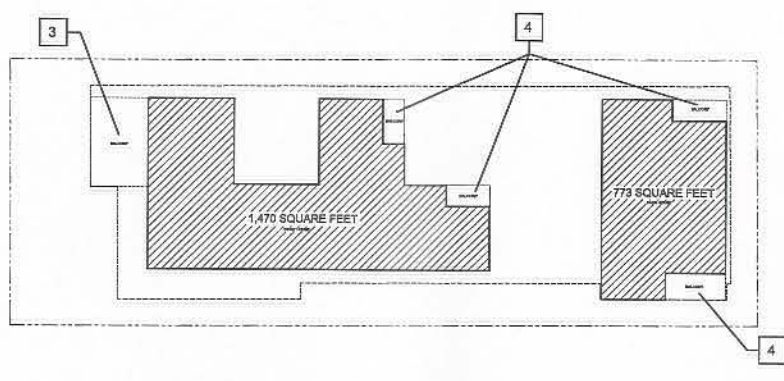
GFA DIAGRAM: LEVEL 1

SCALE: 1/16" = 1'-0"

1. OPEN ON THREE SIDES THEREFOR EXCLUDED FROM GFA PER SDMC 113.0234(b)(1)
2. >40% OPEN AND < 100 S.F. THEREFOR EXCLUDED FROM GFA PER SDMC 113.0234(b)(2)
3. OPEN ON THREE SIDES THEREFOR EXCLUDED FROM GFA PER SDMC 113.0234(b)(1)
4. AT LEAST 2 ELEVATIONS 40% OPEN THEREFOR EXCLUDED FROM GFA PER SDMC 113.0234(b)(1)

*FRONT SETBACK: 18'-3" (LESS THAN 50% OF BUILDING ENVELOPE) IS AT 15'-0" SETBACK PER SDMC 131.0443(D)(1)(a)

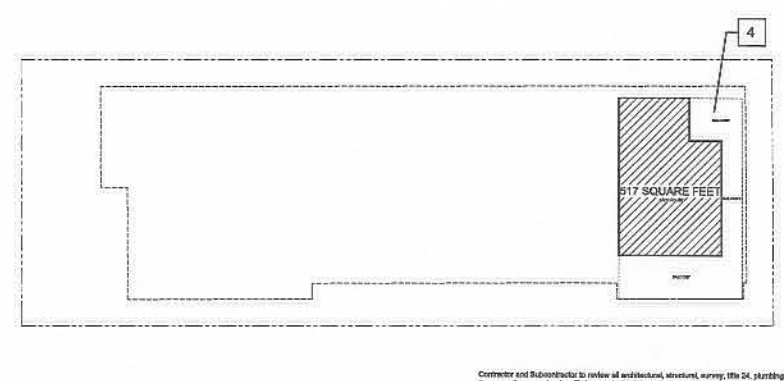
*SIDE SETBACK: 34'-3" + 23'-2" = 57'-5" (LESS THAN 50% OF BUILDING ENVELOPE) IS AT 5'-0" SETBACK PER SDMC 131.0443(D)(2)(a)



GFA DIAGRAM: LEVEL 2

SCALE: 1/16" = 1'-0"

FRONT HOUSE GFA CALCULATION	
GARAGE:	388
LEVEL 1:	1,533
LEVEL 2:	1,470
TOTAL:	3,391



GFA DIAGRAM: LEVEL 3

SCALE: 1/16" = 1'-0"

BACK HOUSE GFA CALCULATION	
GARAGE:	402
LEVEL 1:	773
LEVEL 2:	517
TOTAL:	1,692

Contractor and Subcontractor to review all architectural, structural, survey, life safety, electrical, and mechanical drawings, if there are discrepancies (including or missing information) or errors in construction, please notify Architect/Engineer in writing, indicating location, and installation for clarification.

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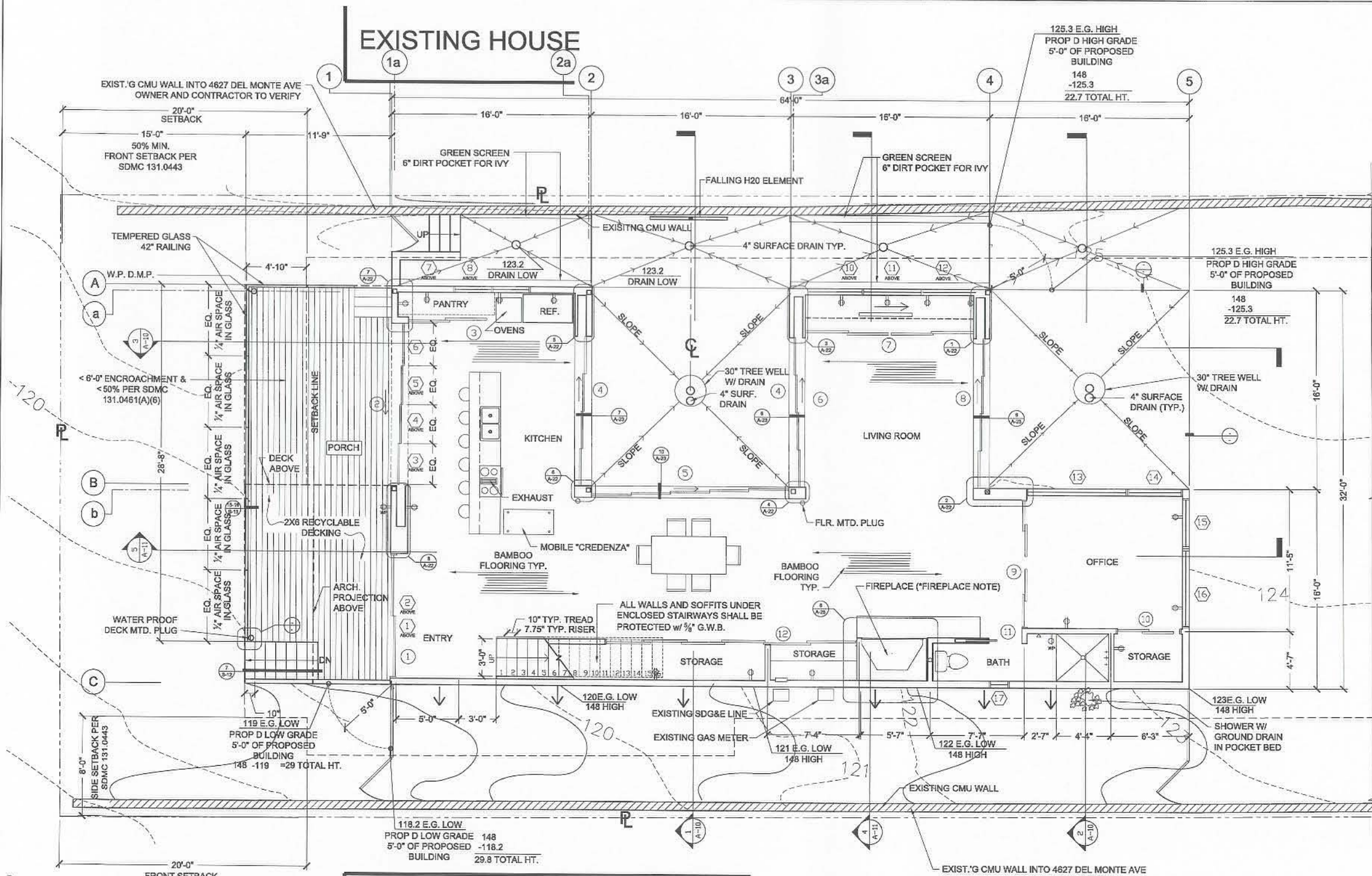
ADDRESS:
4627 DEL MONTE AVE., SAN DIEGO, CA

SCALE: 1/8" = 1'-0" APPROVED BY: [Signature] DRAWN BY: KJC
DATE: 6-3-2008 REVISED: 3-25-09

CONSTRUCTION DOCUMENTS

DRAWING TITLE: PROPOSED SITE PLAN / GFA DIAGRAMS DRAWING NUMBER: A-2 SHEET: 2 OF 2

EXISTING HOUSE



EXISTING HOUSE

FRONT HOUSE FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

LINE TYPE LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- SETBACK LINE
- PROPERTY LINE

SYMBOL LEGEND

- ⊕ GAS LINE
- H— HARD WATER
- S— SOFT WATER

WALL LEGEND

- [Hatched Pattern] 8" X 4" X 16" CMU WALL
- [Hatched Pattern] 6" X 4" X 16" CMU WALL
- [Hatched Pattern] 2" X 4" STUD @ 16" O.C. INTERIOR WALL W/ SOUND INSULATION SHEAR WALL LOCATION (SEE STRUCTURAL PLANS FOR LOCATION)

FLOOR PLAN NOTES:

- DASHED LINE INDICATES LINE OF FLOOR ABOVE.
- LONG DASHED LINE INDICATES LINE OF RETAINING WALL BELOW.
- CHOICEDEK BY WEYERHAEUSER. SLOPE AWAY FROM STRUCTURE TO DRAIN.
- FIREPLACE LOCATION, AND HEAT AND GLO - "INFINITY" MODEL- RH-36, MH-28824.
- CLOTHES DRYER VENT TO OUTSIDE AIR.
- ON DEMAND WATER HEATER BOSCH #125 FX- ANCHOR SECURELY, IN SEISMIC ZONES 3 AND 4 ADEQUATELY BRACE THE WATER HEATER TO RESIST SEISMIC FORCES. PROVIDE TWO STRAPS (ONE STRAP A TOP 1/2 OF THE TANK AND ONE STRAP AT BOTTOM 1/2 OF THE TANK). UPC, SECTION 510.5. VENT TO OUTSIDE AIR.
- USE "MOLD GUARD" @ ALL WET AREAS & BATHTUBS OR WHERE WATER PENETRATES THE WALL.
- PROVIDE ELECTRICAL OUTLET & SWITCHING PER U.E.C. FOR SINGLE FAMILY TYPE 5 CONSTRUCTION.
- DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.
- FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.
- PROVIDE 1 1/2" HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THRESHOLDS (TYP.).
- SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. SECTION 310.4.
- ALL HABITABLE ROOMS SHALL HAVE ADEQUATE NOISE ATTENUATION TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dBA CNEL.
- IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS W/ ALL INTERVENING DOORS CLOSED.
- MECHANICAL EQUIPMENT (OR EQUIVALENT)
 - BOILER AND INDIRECT FIRED WATER HEATER -MUNCHKIN MODEL 140M BOILER 48,000 TO 140,000 BTUH (INPUT) / 43,000 TO 129,000 BTUH (OUTPUT) 92% RECOVERY EFFICIENCY.
 - SUPERSTOR ULTRA MODEL SSU-46 INDIRECT FIRED WATER HEATER.
 - RE-CIRCULATION PUMP/CONTROLS FOR POTABLE HOT WATER -GRUNDFOS MODEL UP15-42 F (BRUTE II) 115V-60HT-10HM, 1/2 HP, SINGLE SPEED WITH THERMOSTATIC CONTROL (HONEYWELL AQUASTAT CONTROLLER MODEL L6006 AND TIMER CONTROL.

FIREPLACE NOTE

FIRE PLACE TO BE HEAT AND GLO
MODEL: INFINITY
LABORATORY: UNDERWRITERS LABORATORIES, INC. (UL)
TYPE: DIRECT VENT GAS APPLIANCE HEATER
STANDARD: ANSI Z21.50-2000 - CSA2.22-M98 - UL307B

Contractor and Subcontractor to review and acknowledge, sign, date, stamp, seal, and provide drawings. If there are discrepancies (conflicting or missing information) or errors or omissions, please notify Architect "prior" to material ordering, fabrication, and installation for corrections.

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ADDRESS:
4627 DEL MONTE AVE., SAN DIEGO, CA

SCALE: 1/4" = 1'-0" APPROVED BY: DRAWN BY: KJC
DATE: 9-8-08 REVISED: 3-25-09

CONSTRUCTION DOCUMENTS

DRAWING TITLE: FRONT HOUSE FIRST FLOOR PLAN DRAWING NUMBER: A-3 SHEET: 1 OF 1

- LINE TYPE LEGEND**
- EXISTING GRADE
 - PROPOSED GRADE
 - SETBACK LINE
 - PROPERTY LINE
- SYMBOL LEGEND**
- +G GAS LINE
 - CH HARD WATER
 - CS SOFT WATER

- WALL LEGEND**
- 8" X 4" X 16" CMU WALL
 - 6" X 4" X 16" CMU WALL
 - 2" X 4" STUD @ 16" O.C. INTERIOR WALL W/ SOUND INSULATION
 - SHEAR WALL LOCATION (SEE STRUCTURAL PLANS FOR LOCATION)

- FLOOR PLAN NOTES:**
1. DASHED LINE INDICATES LINE OF FLOOR ABOVE.
 2. LONG DASHED LINE INDICATES LINE OF RETAINING WALL BELOW.
 3. CHOICEDEK BY WEYERHAUSER. SLOPE AWAY FROM STRUCTURE TO DRAIN.
 4. FIREPLACE LOCATION, AND HEAT AND GLO - "INFINITY" MODEL - RH-36, MH-28824.
 5. CLOTHES DRYER VENT TO OUTSIDE AIR.
 6. ON DEMAND WATER HEATER BOSCH #125 FX - ANCHOR SECURELY. IN SEISMIC ZONES 3 AND 4 ADEQUATELY BRACE THE WATER HEATER TO RESIST SEISMIC FORCES. PROVIDE TWO STRAPS (ONE STRAP A TOP 1/3 OF THE TANK AND ONE STRAP AT BOTTOM 1/3 OF THE TANK). UPC, SECTION 510.5. VENT TO OUTSIDE AIR.
 7. USE "MOLD GUARD" @ ALL WET AREAS & BATHTUBS OR WHERE WATER PENETRATES THE WALL.
 8. PROVIDE ELECTRICAL OUTLET & SWITCHING PER U.E.C. FOR SINGLE FAMILY TYPE S CONSTRUCTION.
 9. PROVIDE SMOKE DETECTORS IN ALL SLEEPING AND HALLWAYS INCLUDING DINING AND LIVING ROOMS. AREAS MUST BE PERMANENTLY WIRED WITH BATTERY BACKUP.
 10. DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.
 11. FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.
 12. PROVIDE 1" HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THRESHOLDS (TYP.)
 13. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.
 14. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TP PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. SECTION 310.4.
 15. ALL HABITUAL ROOMS SHALL HAVE ADEQUATE NOISE ATTENUATION TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dB CNEL.
 16. MECHANICAL EQUIPMENT (OR EQUIVALENT)
 - BOILER AND INDIRECT FIRED WATER HEATER
 - MUNCHIN MODEL 140M BOILER
 - 46,000 TO 140,000 BTUH (INPUT) / 43,000 TO 126,000 BTUH (OUTPUT) 92% RECOVERY EFFICIENCY.
 - SUPERSTOR ULTRA MODEL SSU-46 INDIRECT FIRED WATER HEATER.
 - RE-CIRCULATION PUMP/CONTROLS FOR POTABLE HOT WATER
 - GRUNDFOS MODEL UP15-42 F (BRUTE I) 115V-60HT-10HM,
 - 1/2 HP, SINGLE SPEED WITH THERMOSTATIC CONTROL (HONEYWELL AQUASTAT CONTROLLER MODEL L8006 AND TIMER CONTROL.

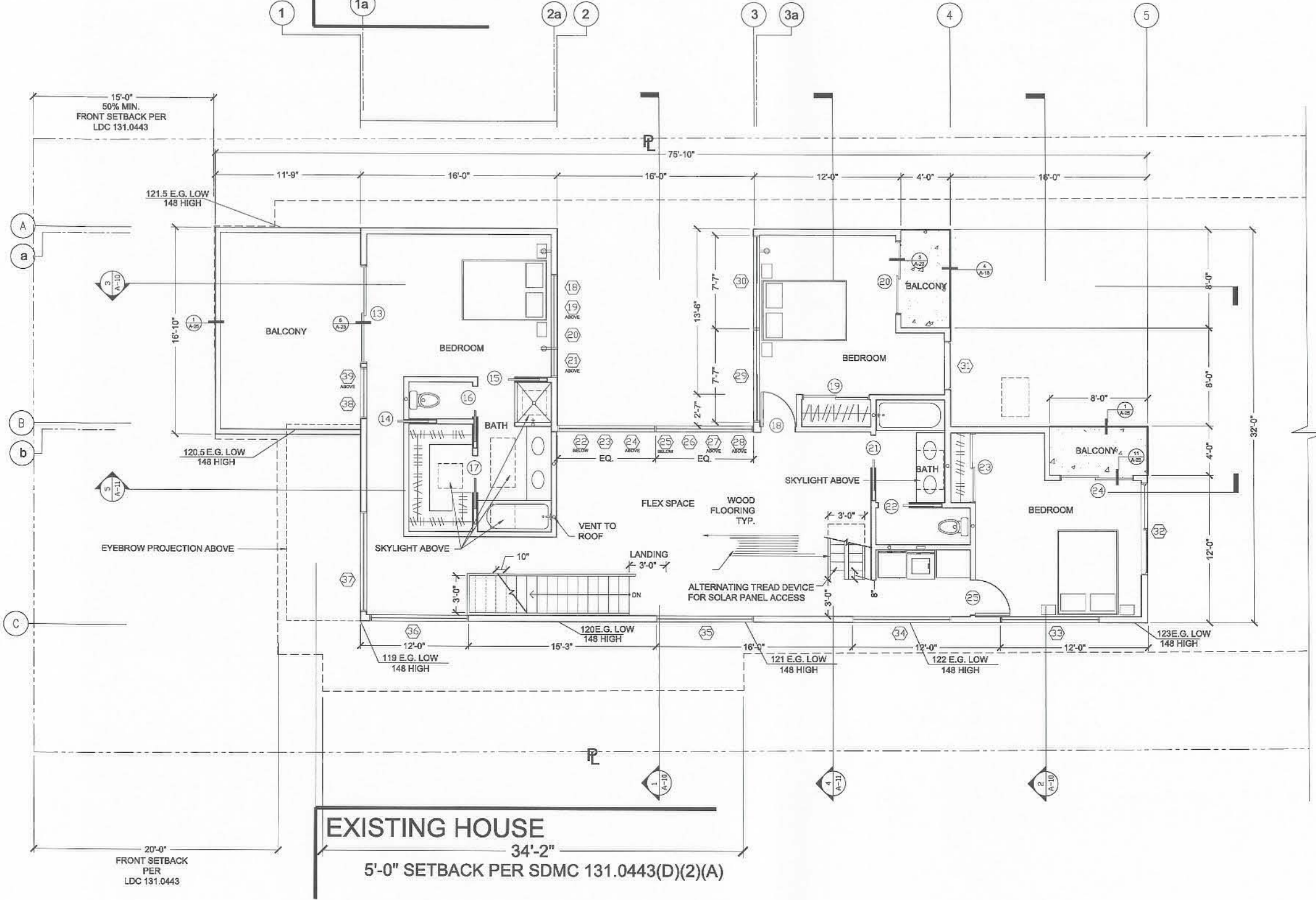
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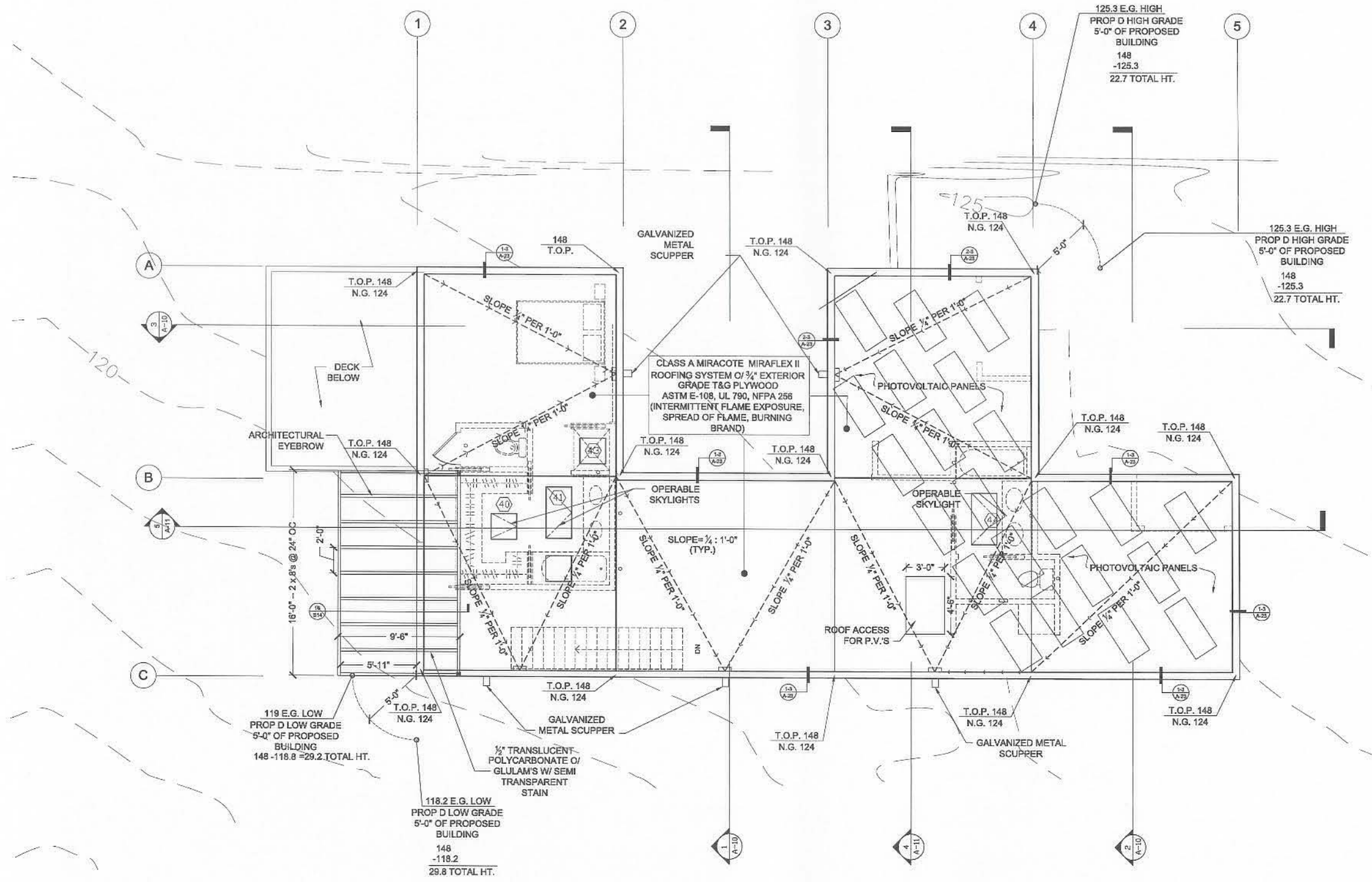
Steven Lombardi Architect	
5035 S Newport Ave., San Diego, CA 92107	
P: 619-523-4722 F: 619-523-4785 www.stevenlombardi.com	
ADDRESS: 4627 DEL MONTE AVE., SAN DIEGO, CA	
SCALE: 1/4" = 1'-0"	APPROVED BY:
DATE: 9-8-08	DESIGNER: KJC
	REVISION: 3-25-09
CONSTRUCTION DOCUMENTS	
DRAWING TITLE:	DRAWING NUMBER:
FRONT HOUSE SECOND FLOOR PLAN	A-4

EXISTING HOUSE

EXISTING HOUSE



FRONT HOUSE SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

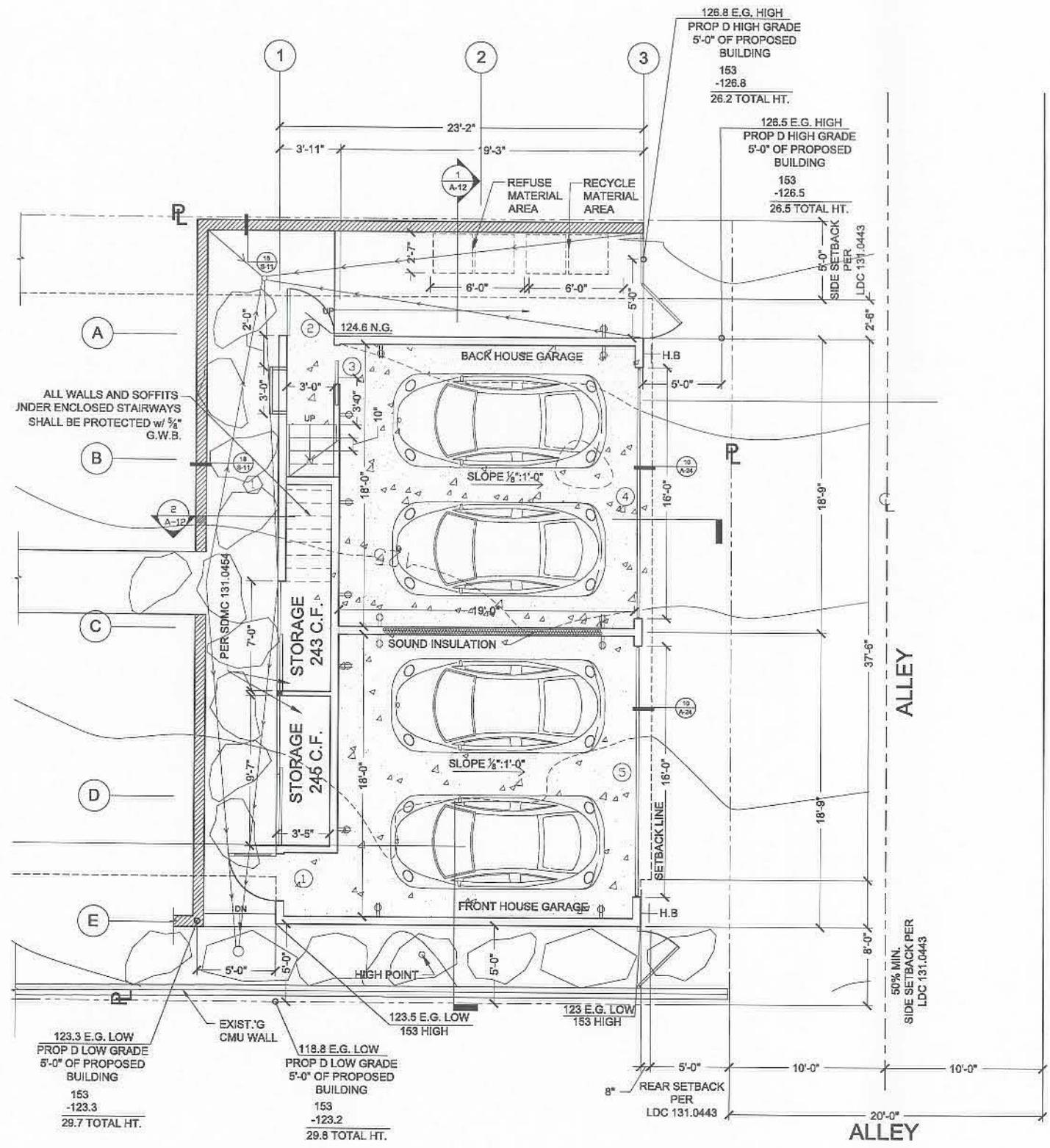


FRONT HOUSE ROOF PLAN
SCALE: 1/4" = 1'-0"

Contractor and Subcontractor to review all architectural, structural, survey, site DC, plumbing, electrical, and mechanical drawings. If there are discrepancies (conflicting or missing information) or errors & omissions, please notify Architect "plus" to material ordering, fabrication, and installation for clarification.

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ADDRESS: 4627 DEL MONTE AVE., SAN DIEGO, CA	
SCALE: 1/4" = 1'-0" DATE: 7-28-08	APPROVED BY: DRAWN BY: KJC REVISED: 3-25-09
CONSTRUCTION DOCUMENTS	
DRAWING TITLE: FRONT HOUSE ROOF PLAN	DRAWING NUMBER: A-5 SHEET: 05



OCCUPANCY SEPARATION NOTE
 -THE PRIVATE GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT AND ITS ATTIC AREA BY MEANS OF A MINIMUM 1/2" G.W.B. APPLIED TO THE GARAGE SIDE

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- SETBACK LINE
- PROPERTY LINE

SYMBOL LEGEND

- GAS LINE
- HARD WATER
- SOFT WATER

WALL LEGEND

- 8" X 4" X 16" CMU WALL
- 6" X 4" X 16" CMU WALL
- 2" X 4" STUD @ 16" O.C. INTERIOR WALL W/ SOUND INSULATION
- SHEAR WALL LOCATION (SEE STRUCTURAL PLANS FOR LOCATION)
- FINISHED CONCRETE

- FLOOR PLAN NOTES:**
- DASHED LINE INDICATES LINE OF FLOOR ABOVE.
 - LONG DASHED LINE INDICATES LINE OF RETAINING WALL BELOW.
 - CHOICEDEK BY WEYERHAEUSER. SLOPE AWAY FROM STRUCTURE TO DRAIN.
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 - ON DEMAND WATER HEATER BOSCH #125 FX - ANCHOR SECURELY, IN SEISMIC ZONES 3 AND 4 ADEQUATELY BRACE THE WATER HEATER TO RESIST SEISMIC FORCES. PROVIDE TWO STRAPS (ONE STRAP A TOP 1/3 OF THE TANK AND ONE STRAP AT BOTTOM 1/3 OF THE TANK). UPC, SECTION 510.5. VENT TO OUTSIDE AIR.
 - USE "MOLD GUARD" @ ALL WET AREAS & BATH TUBS OR WHERE WATER PENETRATES THE WALL.
 - PROVIDE ELECTRICAL OUTLET & SWITCHING PER U.E.C. FOR SINGLE FAMILY TYPE 5 CONSTRUCTION.
 - DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.
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 - PROVIDE 1 1/2" HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THRESHOLDS (TYP.)
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 - ALL HABITABLE ROOMS SHALL HAVE ADEQUATE NOISE ATTENUATION TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dB CNEL.
 - IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED w/ A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
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 - MECHANICAL EQUIPMENT (OR EQUIVALENT)**
BOILER AND INDIRECT FIRED WATER HEATER
 -MUNCHKIN MODEL 140M BOILER
 48,000 TO 140,000 BTUH (INPUT) / 43,000 TO 120,000 BTUH (OUTPUT) 92% RECOVERY EFFICIENCY.
 -SUPERSTOR ULTRA MODEL SSU-45 INDIRECT FIRED WATER HEATER.
RE-CIRCULATION PUMP/CONTROLS FOR POTABLE HOT WATER
 -GRUNDFOSS MODEL UPS-42 F (BRUTE II) 115V-60HT-120W, 1/2" HP, SINGLE SPEED WITH THERMOSTATIC CONTROL (HONEYWELL AQUASTAT CONTROLLER MODEL L6006 AND TIMER CONTROL.

BACK HOUSE GARAGE PLAN
 SCALE: 1/4" = 1'-0"

PARKING CALCULATIONS:
 ZONING: RM1-1
 FRONT UNIT: 3 BEDROOM + OFFICE = 2.25 CARS
 BACK UNIT: 2 BEDROOM = 2.00 CARS
 TOTAL SPACES: 4.25 (4) CARS REQUIRED

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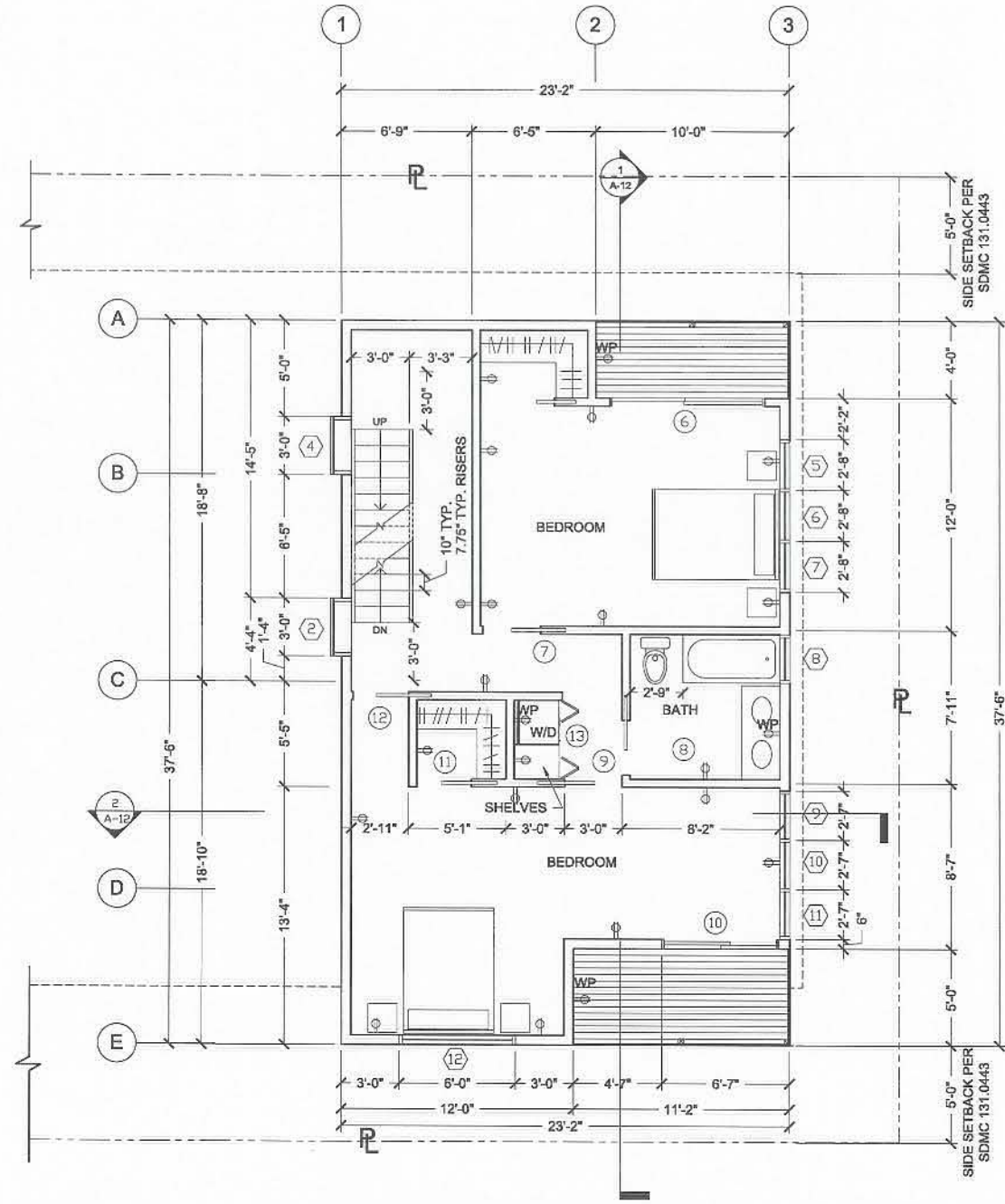
Steven Lombardi Architect
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 P: 619-523-4722 F: 619-523-4785 www.stevencolombardi.com

PROJECT:
 4627 DEL MONTE AVE., SAN DIEGO, CA

SCALE: 1/4" = 1'-0" **APPROVED BY:** **DATE:** 7-28-08 **DESIGN BY:** KJC **REVISION:** 3-25-09

CONSTRUCTION DOCUMENTS

DRAWING NUMBER: BACK HOUSE GARAGE PLAN **SHEET:** A-6 **OF:** 1



BACK HOUSE LEVEL 2 PLAN
SCALE: 1/4" = 1'-0"

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- SETBACK LINE
- PROPERTY LINE

SYMBOL LEGEND

- GAS LINE
- HARD WATER
- SOFT WATER

WALL LEGEND

- [Pattern] 8" X 4" X 16" CMU WALL
- [Pattern] 6" X 4" X 16" CMU WALL
- [Pattern] 2" X 4" STUD @ 16" O.C. INTERIOR WALL W/ SOUND INSULATION
- [Pattern] SHEAR WALL LOCATION (SEE STRUCTURAL PLANS FOR LOCATION)

- FLOOR PLAN NOTES:**
1. DASHED LINE INDICATES LINE OF FLOOR ABOVE.
 2. LONG DASHED LINE INDICATES LINE OF RETAINING WALL BELOW.
 3. CHOICEDEK BY WEYERHAEUSER. SLOPE AWAY FROM STRUCTURE TO DRAIN.
 4. FIREPLACE LOCATION, AND HEAT AND GLO - "INFINITY" MODEL-RH-36, MH-2824.
 5. CLOTHES DRYER VENT TO OUTSIDE AIR.
 6. ON DEMAND WATER HEATER BOSCH #125 FX - ANCHOR SECURELY. IN SEISMIC ZONES 3 AND 4 ADEQUATELY BRACE THE WATER HEATER TO RESIST SEISMIC FORCES. PROVIDE TWO STRAPS (ONE STRAP A TOP 1/3 OF THE TANK AND ONE STRAP AT BOTTOM 1/3 OF THE TANK). UPC, SECTION 510.5. VENT TO OUTSIDE AIR.
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 8. PROVIDE ELECTRICAL OUTLET & SWITCHING PER U.E.C. FOR SINGLE FAMILY TYPE 5 CONSTRUCTION.
 10. DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.
 11. FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.
 12. PROVIDE 1 1/2" HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THRESHOLDS (TYP.)
 13. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.8.1.
 14. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. SECTION 310.4.
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- MECHANICAL EQUIPMENT (OR EQUIVALENT)**
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 - MUNCHKIN MODEL 140M BOILER
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 - GRUNDFOS MODEL UP16-42 F (BRUTE II) 115V-60HT-10HM,
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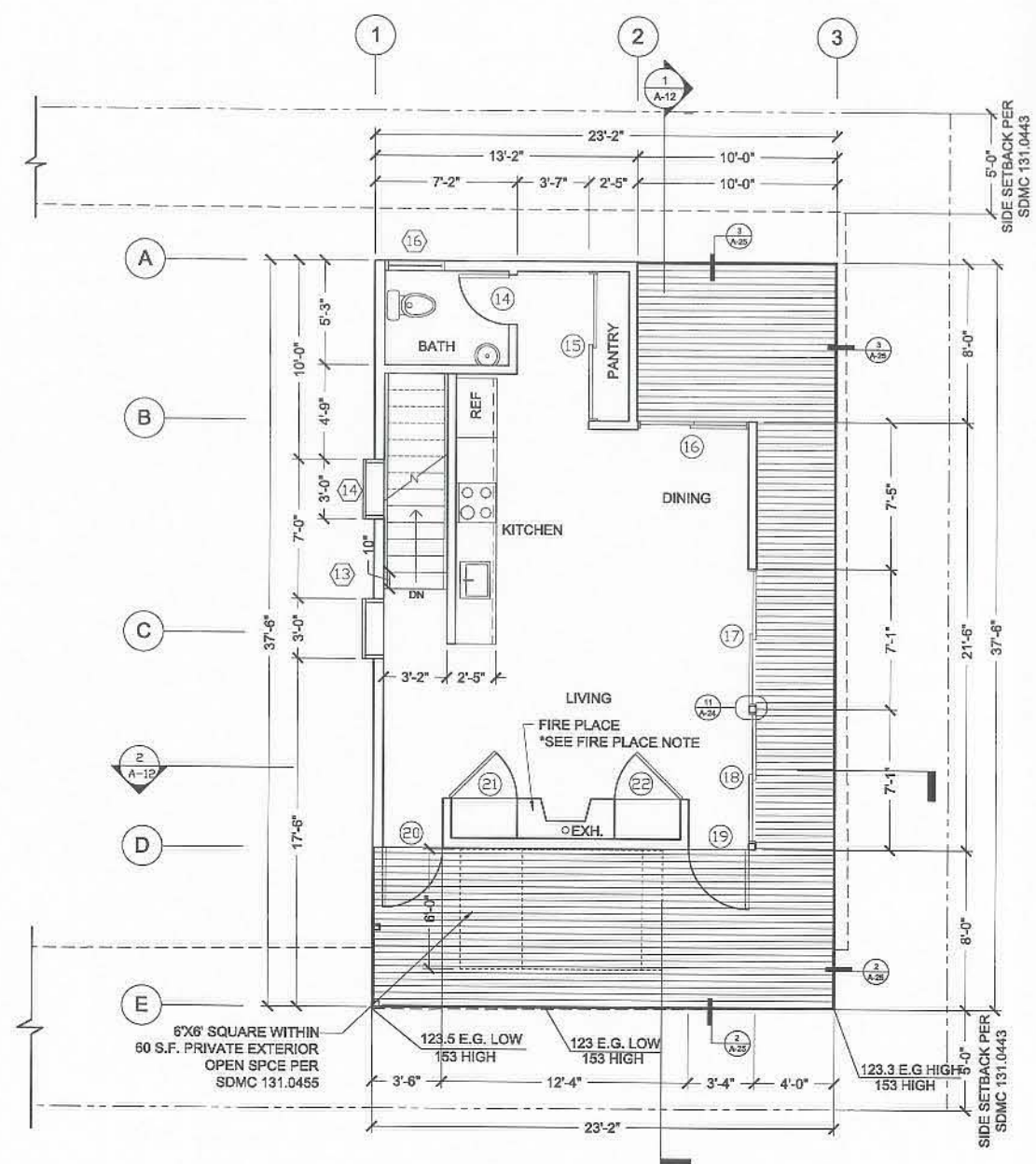
SCALE: 1/4" = 1'-0" APPROVED BY: DRAWN BY: KJC
DATE: 7-28-08 REVISED: 3-25-09

CONSTRUCTION DOCUMENTS

DRAWING NUMBER: A-7 SHEET: 1 OF 1

FIREPLACE NOTE

FIRE PLACE TO BE HEAT AND GLO
 MODEL: INFINITY
 LABORATORY : UNDERWRITERS LABRATORIES, INC. (UL)
 TYPE: DIRECT VENT GAS APPLIANCE HEATER
 STANDARD: ANSI Z21.50-2000 - CSA2.22-M98 - UL307B



LEGEND

--- EXISTING GRADE
 --- PROPOSED GRADE
 --- SETBACK LINE
 --- PROPERTY LINE

SYMBOL LEGEND

--- GAS LINE
 --- HARD WATER
 --- SOFT WATER

WALL LEGEND

8" X 4" X 16" CMU WALL
 6" X 4" X 16" CMU WALL
 2" X 4" STUD @ 16" O.C. INTERIOR
 WALL W/ SOUND INSULATION
 SHEAR WALL LOCATION
 (SEE STRUCTURAL PLANS FOR LOCATION)

- FLOOR PLAN NOTES:**
- DASHED LINE INDICATES LINE OF FLOOR ABOVE.
 - LONG DASHED LINE INDICATES LINE OF RETAINING WALL BELOW.
 - CHOICEDEK BY WEYERHAEUSER. SLOPE AWAY FROM STRUCTURE TO DRAIN.
 - FIREPLACE LOCATION, AND HEAT AND GLO - "INFINITY" MODEL- RH-36, MH-28824.
 - CLOTHES DRYER VENT TO OUTSIDE AIR.
 - ON DEMAND WATER HEATER BOSCH #125 FX - ANCHOR SECURELY. IN SEISMIC ZONES 3 AND 4 ADEQUATELY BRACE THE WATER HEATER TO RESIST SEISMIC FORCES. PROVIDE TWO STRAPS (ONE STRAP A TOP 1/2 OF THE TANK AND ONE STRAP AT BOTTOM 1/2 OF THE TANK). UPC, SECTION 510.5. VENT TO OUTSIDE AIR.
 - USE "MOLD GUARD" @ ALL WET AREAS & BATHTUBS OR WHERE WATER PENETRATES THE WALL.
 - PROVIDE ELECTRICAL OUTLET & SWITCHING PER U.E.C. FOR SINGLE FAMILY TYPE 5 CONSTRUCTION.
 - DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.
 - FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.
 - PROVIDE 1 1/2" HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THRESHOLDS (TYP.)
 - SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.
 - SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TP PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. SECTION 310.4.
 - ALL HABITAT ROOMS SHALL HAVE ADEQUATE NOISE ATTENUATION TO ENSURE AN INTERIOR NOISE LEVEL OF 45 dB CNEL.
 - IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED w/ A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARM SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS w/ ALL INTERVENING DOORS CLOSED.
 - MECHANICAL EQUIPMENT (OR EQUIVALENT)**
 BOILER AND INDIRECT FIRED WATER HEATER
 -MUNCHIKIN MODEL 140M BOILER
 -49,000 TO 140,000 BTUH (INPUT) / 43,000 TO 123,000 BTUH (OUTPUT) 92% RECOVERY EFFICIENCY.
 -SUPERSTOR ULTRA MODEL SSU-45 INDIRECT FIRED WATER HEATER.
 RE-CIRCULATION PUMP/CONTROLS FOR POTABLE HOT WATER
 -GRUNDFOS MODEL UP15-02 F (BRUTE II) 11.67-50HT-10-0HM,
 1/2HP, SINGLE SPEED WITH THERMOSTATIC CONTROL (HONEYWELL AQUASTAT CONTROLLER MODEL L6006 AND TIMER CONTROL.

BACK HOUSE LEVEL 3 PLAN
 SCALE: 1/4" = 1'-0"

Contractor and Subcontractor to review all architectural, structural, survey, site, plumbing, electrical, and mechanical drawings. If there are discrepancies (including or including) or errors & omissions, please notify architect "prior" to material ordering, fabrication, and installation for our files.

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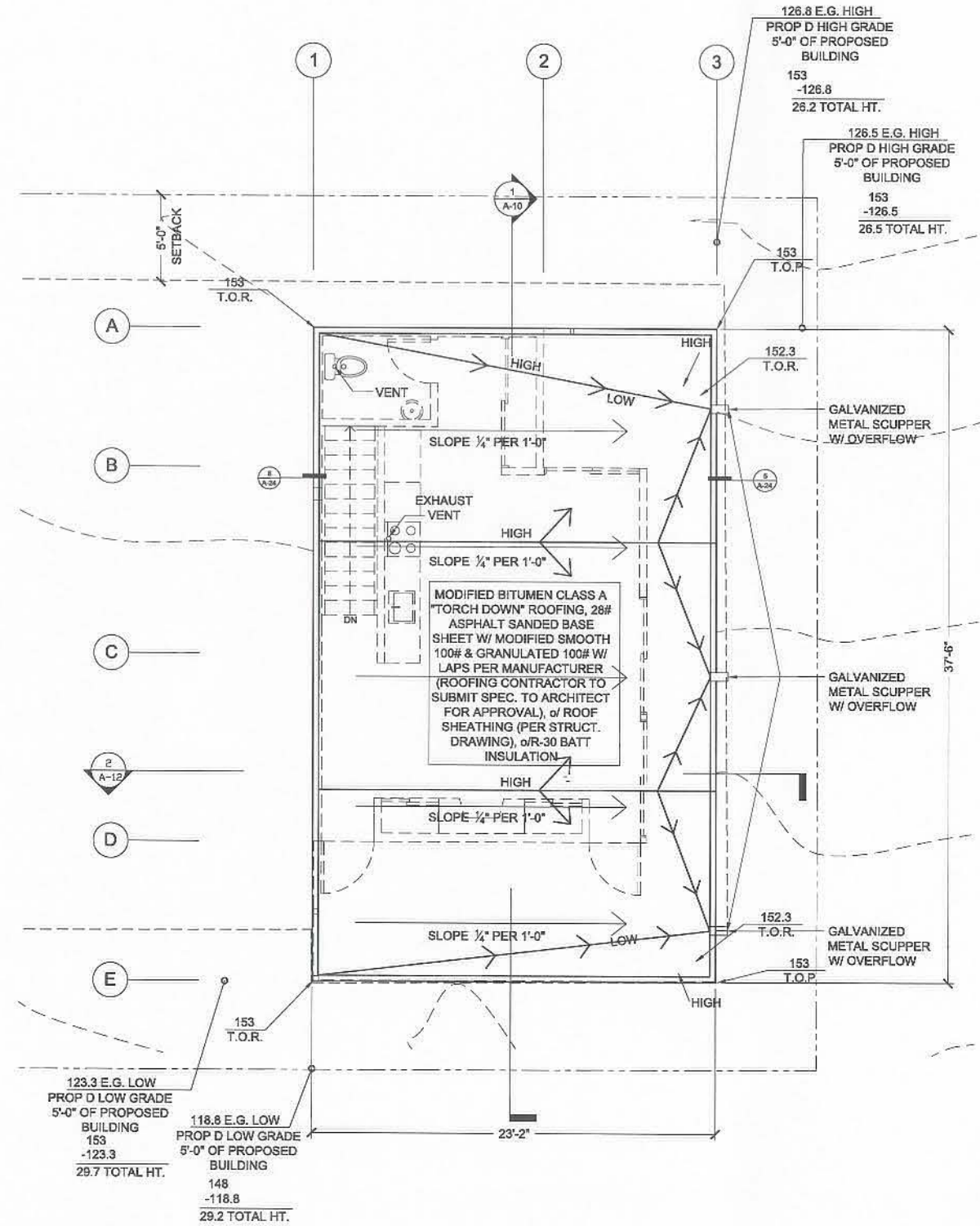
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 4827 DEL MONTE AVE., SAN DIEGO, CA

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 DATE: 7-28-08 REVISION: 3-25-09

CONSTRUCTION DOCUMENTS

DRAWING TITLE: BACK HOUSE LEVEL 3 FLOOR PLAN DRAWING NUMBER: A-8 SHEET: 1 OF 1



BACK HOUSE ROOF PLAN
SCALE: 1/4" = 1'-0"

- LEGEND**
- EXISTING GRADE
 - - - PROPOSED GRADE
 - - - SETBACK LINE
 - - - PROPERTY LINE
- SYMBOL LEGEND**
- +G GAS LINE
 - OH HARD WATER
 - OS SOFT WATER
- WALL LEGEND**
- [Hatched pattern] 8" X 4" X 16" CMU WALL
 - [Hatched pattern] 6" X 4" X 16" CMU WALL
 - [Hatched pattern] 2" X 4" STUD @ 16" O.C. INTERIOR WALL W/ SOUND INSULATION
 - [Hatched pattern] SHEAR WALL LOCATION (SEE STRUCTURAL PLANS FOR LOCATION)

- FLOOR PLAN NOTES:**
1. DASHED LINE INDICATES LINE OF FLOOR ABOVE.
 2. LONG DASHED LINE INDICATES LINE OF RETAINING WALL BELOW.
 3. CHOICEDEK BY WEYERHAEUSER. SLOPE AWAY FROM STRUCTURE TO DRAIN.
 4. FIREPLACE LOCATION, AND HEAT AND GLO - "INFINITY" MODEL- RH-38, MH-28824.
 5. CLOTHES DRYER VENT TO OUTSIDE AIR.
 6. ON DEMAND WATER HEATER BOSCH #H25 FX - ANCHOR SECURELY. IN SEISMIC ZONES 3 AND 4 ADEQUATELY BRACE THE WATER HEATER TO RESIST SEISMIC FORCES. PROVIDE TWO STRAPS (ONE STRAP AT TOP 1/3 OF THE TANK AND ONE STRAP AT BOTTOM 1/3 OF THE TANK). UPC, SECTION 510.5. VENT TO OUTSIDE AIR.
 7. USE "MOLD GUARD" @ ALL WET AREAS & BATHTUBS OR WHERE WATER PENETRATES THE WALL.
 8. PROVIDE ELECTRICAL OUTLET & SWITCHING PER U.E.C. FOR SINGLE FAMILY TYPE 5 CONSTRUCTION.
 9. PROVIDE SMOKE DETECTORS IN ALL SLEEPING AND HALLWAYS INCLUDING DINING AND LIVING ROOMS. AREAS MUST BE PERMANENTLY WIRED WITH BATTERY BACKUP.
 10. DOOR AT STAIR TO GARAGE MUST BE A 20 MINUTE FIRE-RESISTIVE ASSEMBLY AND SELF-CLOSING.
 11. FINISHES TO BE VERIFIED BY OWNER AND ARCHITECT.
 12. PROVIDE 1 1/2" HT. DIFF. @ DECKS (LOWER) TO INTERIOR ROOMS @ THRESHOLDS (TYP.)
 13. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT. SECTION 310.9.1.
 14. SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TP PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPERATE TOOLS. SECTION 310.4.
 15. **MECHANICAL EQUIPMENT (OR EQUIVALENT)**
 - BOILER AND INDIRECT FIRED WATER HEATER**
 - MUNCHING MODEL 140M BOILER
 - 48,000 TO 140,000 BTUH (INPUT) / 43,000 TO 128,000 BTUH (OUTPUT) 92% RECOVERY EFFICIENCY.
 - SUPERSTOR ULTRA MODEL SSU-46 INDIRECT FIRED WATER HEATER.
 - RE-CIRCULATION PUMP/CONTROLS FOR POTABLE HOT WATER**
 - GRUNDFOS MODEL UP15-42 F (BRUTE II) 115V-60HT-10HM,
 - 1/2" HP, SINGLE SPEED WITH THERMOSTATIC CONTROL (HONEYWELL AQUASTAT CONTROLLER MODEL LB008 AND TIMER CONTROL.

Contractor and Subcontractor to review all architectural, structural, survey, site, plumbing, electrical, and mechanical drawings. If there are discrepancies (conflicting or missing information) or errors or omissions, please notify architect "immediately" in written notation, including, and detailing the correction.

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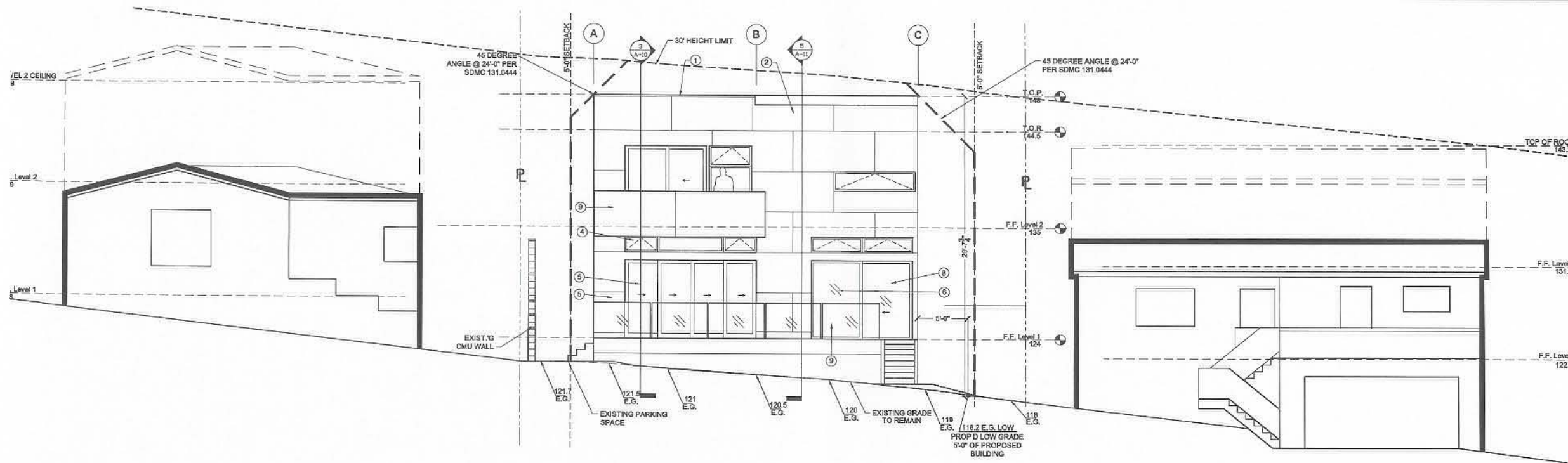
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5015 J. Newjerry Ave., San Diego, CA 92117
P: 619-523-4721 F: 619-523-4722 www.stevenlombardi.com

ADDRESS:
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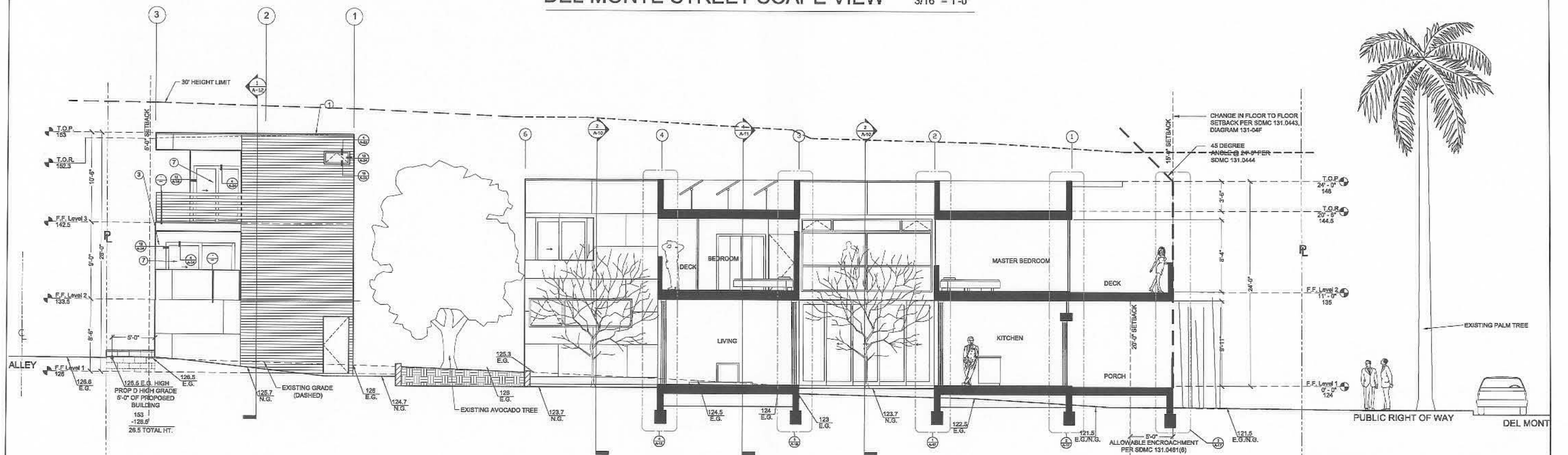
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DATE: 7-28-08 REVISION: 3-25-09

CONSTRUCTION DOCUMENTS

DRAWING NUMBER: A-9 SHEET: 1 OF 1



DEL MONTE STREET SCAPE VIEW 3/16" = 1'-0"

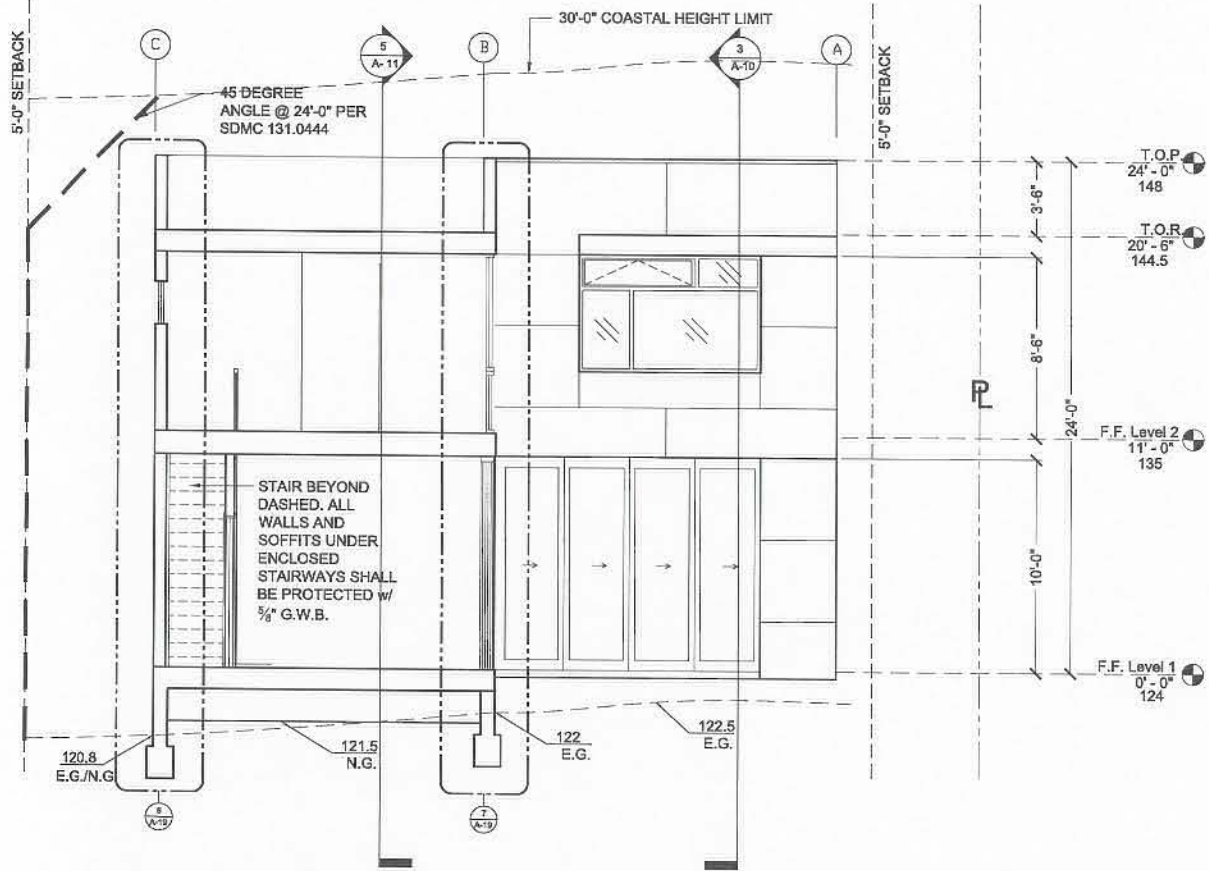


SITE SECTION 3/16" = 1'-0"

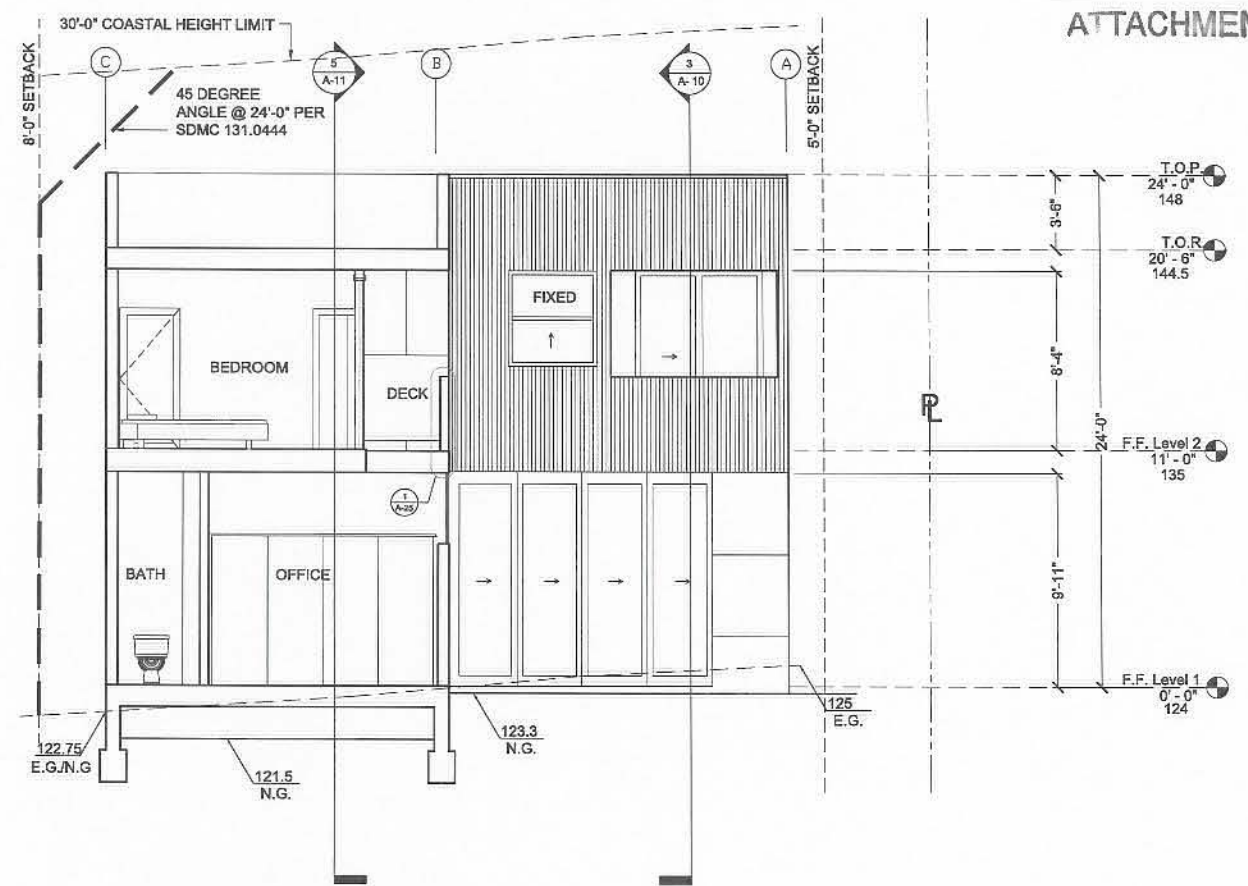
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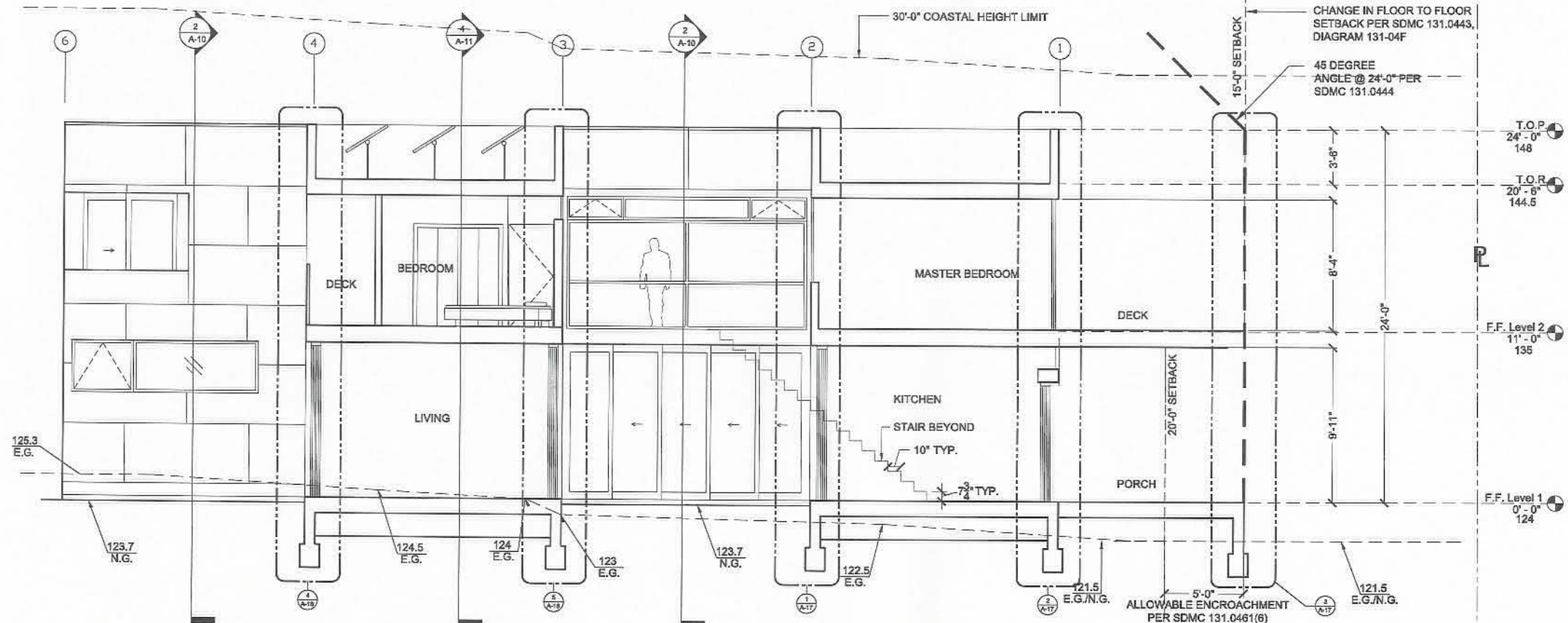
Steven Lombardi Architect	
3915 J Neffport Ave., San Diego, CA 92101	
p. 619-523-4732 f. 619-523-4785 www.stevenlombardi.com	
ADDRESS	
4627 DEL MONTE AVE., SAN DIEGO, CA	
SCALE: 3/16" = 1'-0"	APPROVED BY:
DATE: 2-4-09	DRAWN BY: KJC
REVIEWED:	
CONSTRUCTION DOCUMENTS	
DRAWING TITLE:	DRAWING NUMBER: SHEET:
SITE SECTION / STREET SCAPE	01



1 SECTION
SCALE: 1/4" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"

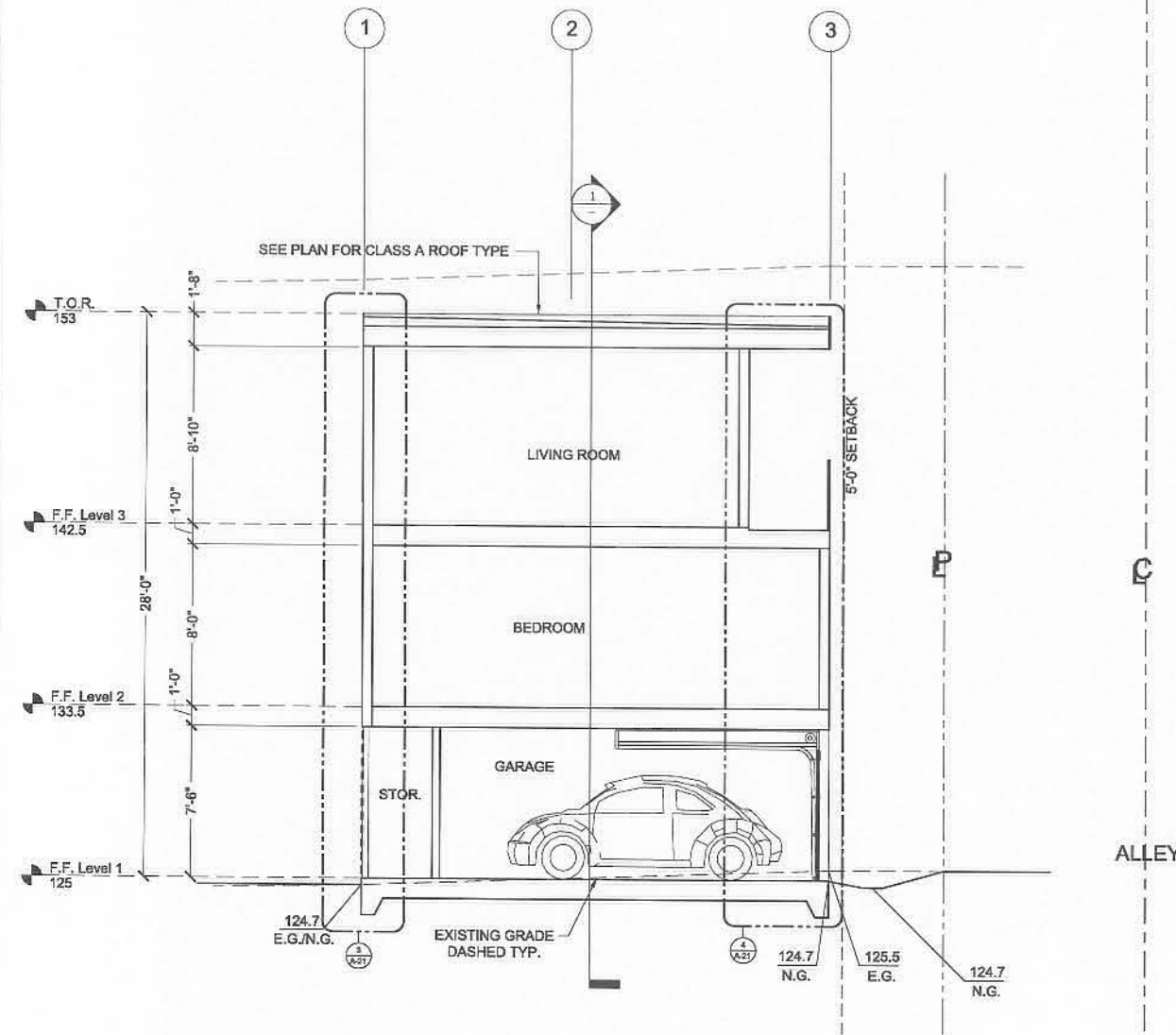


3 SECTION
SCALE: 1/4" = 1'-0"

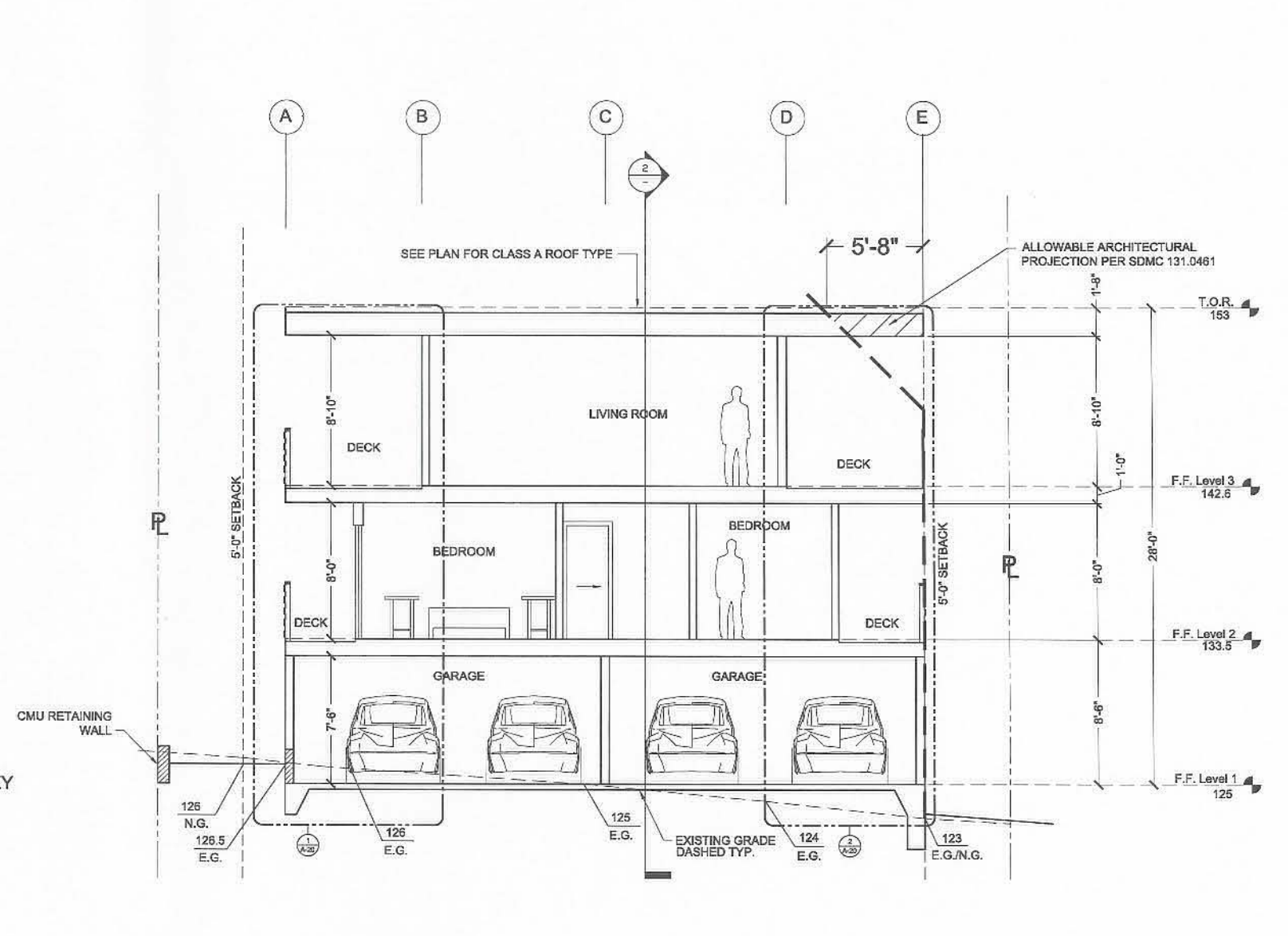
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ADDRESS:	
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DATE: 12-22-08	REVISION: 3-25-09
DRAWING NUMBER: A-10	
SHEET: OF	
DRAWING TITLE: FRONT HOUSE SECTIONS 1	



1 SECTION
SCALE: 1/4" = 1'-0"



2 SECTION
SCALE: 1/4" = 1'-0"

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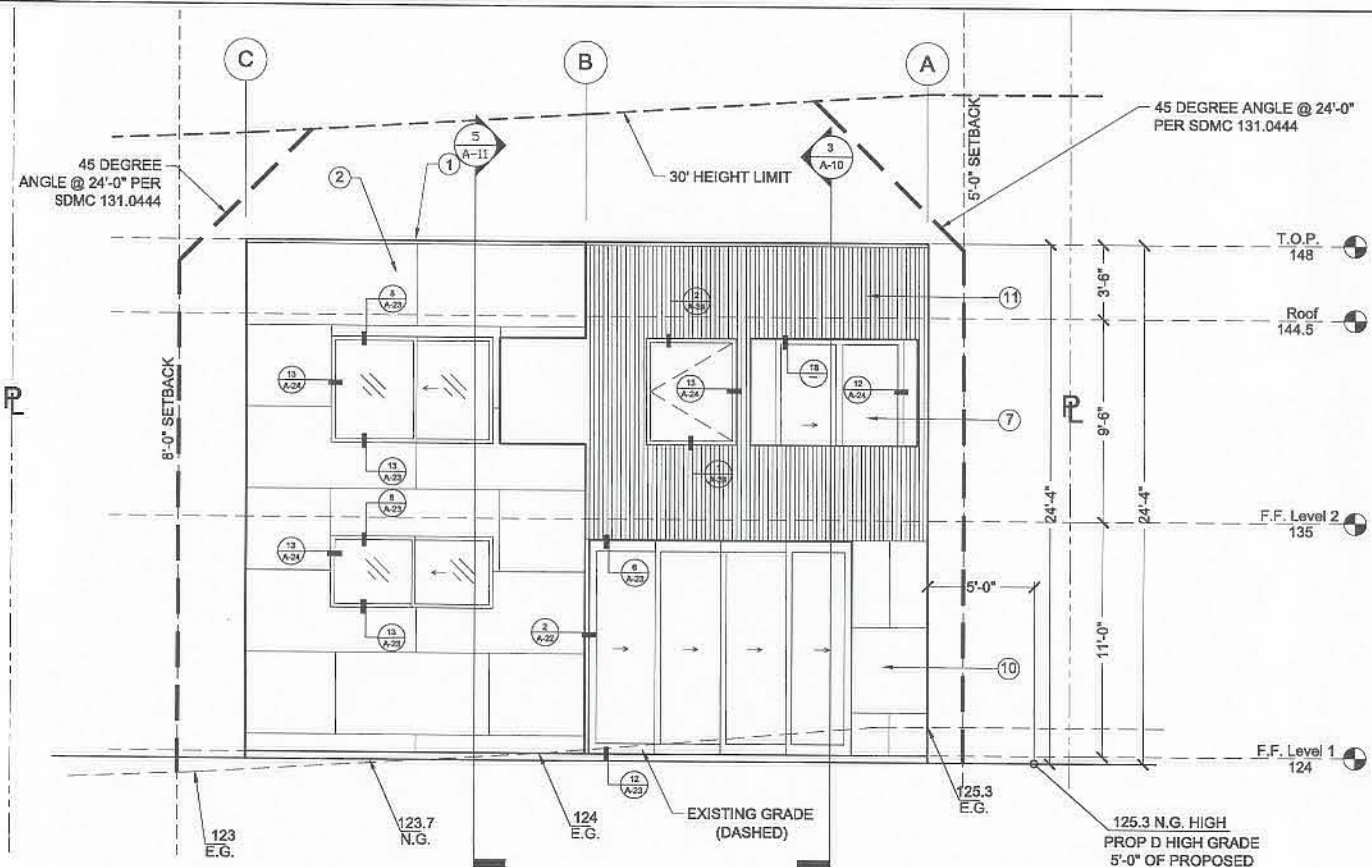
Steven Lombardi Architect 5135 S. Neaveport Ave., San Diego, CA 92101 P. 619-522-6122 F. 619-522-6185 www.stevenlombardi.com	
ADDRESS 4527 DEL MONTE AVE., SAN DIEGO, CA	
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CONSTRUCTION DOCUMENTS	
DRAWING TITLE: BACK HOUSE SECTIONS	DRAWING NUMBER: A-12 SHEET: ___ OF ___

NOTES:

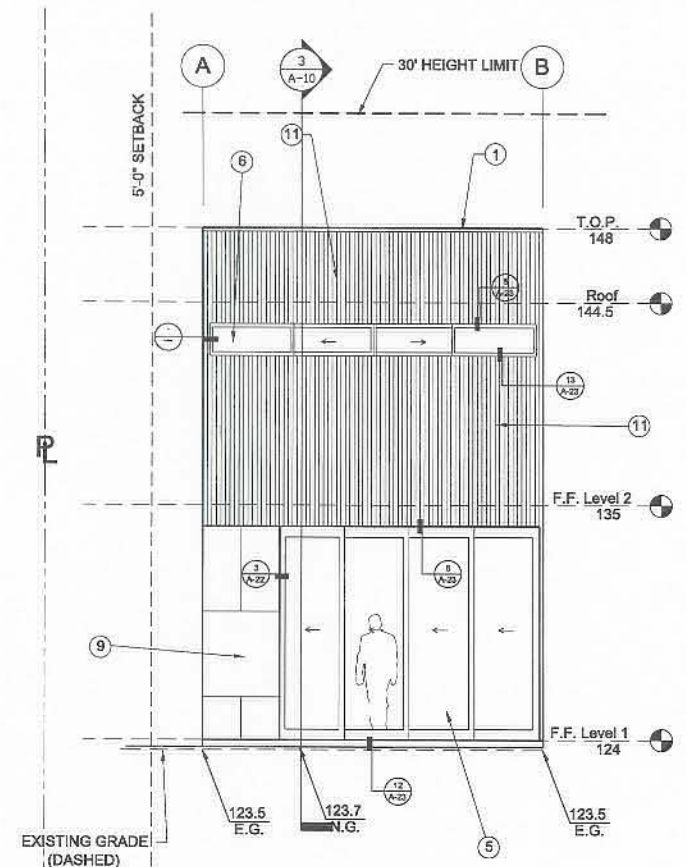
1. THE BUILDING IS SUBJECT TO THE REQUIREMENT OF PROPOSITION D HEIGHT LIMITATIONS.
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

MATERIALS LEGEND

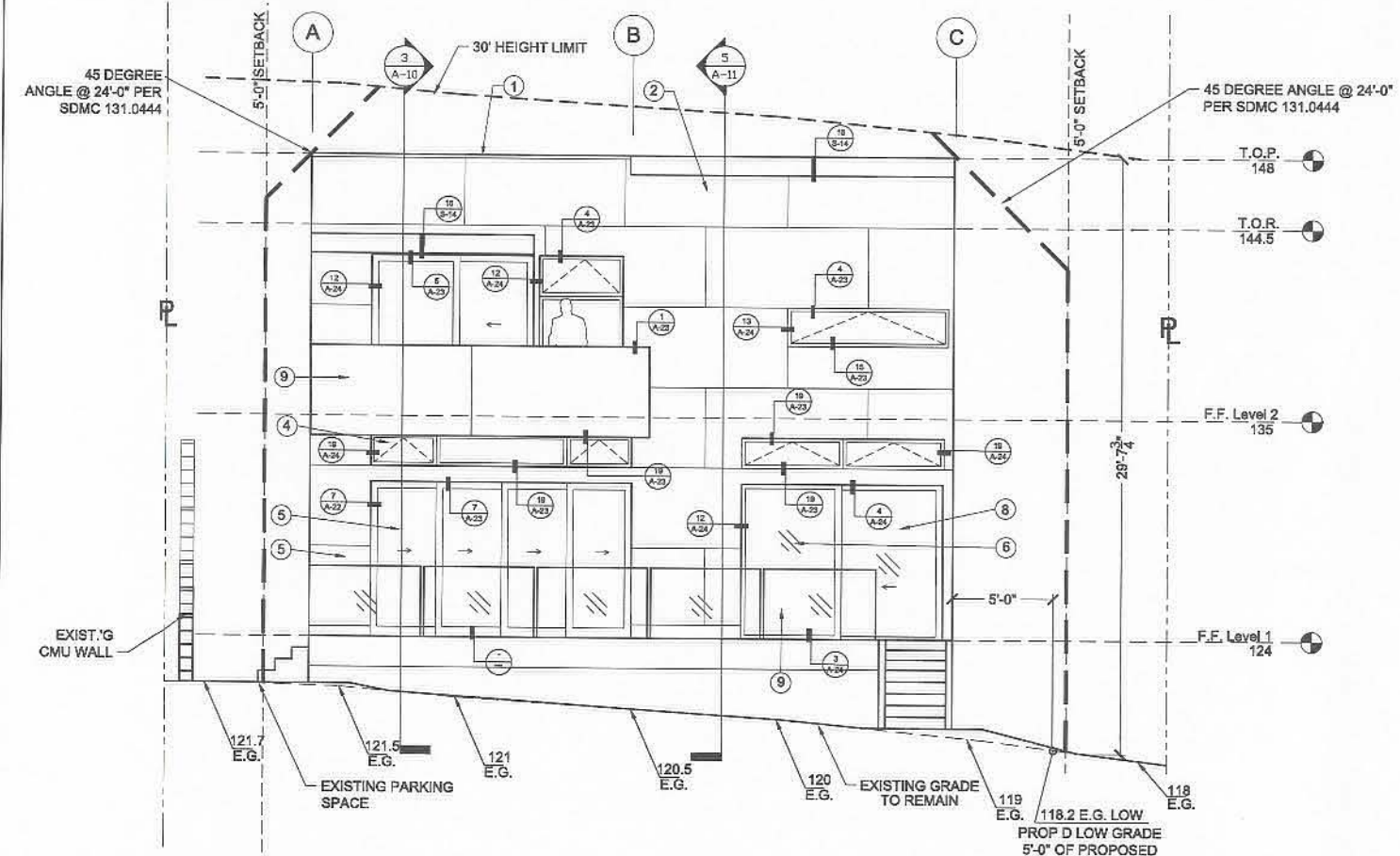
1. 2" Aluminum Flashing Cap
2. 4' x 8' x 5/8" Painted Hardi-Board
3. 12" x 8' x 5/8" Painted Hardi-Board
5. Sliding Glass Panel Door
7. Glass Sliding Door
8. Glass Entry Door
9. 1/2" Temp. Glass Railing
10. Wood Siding
11. Aluminum Siding
12. 4" x 8' x 5/8" Painted Hardi-Board
13. GREEN SCREEN



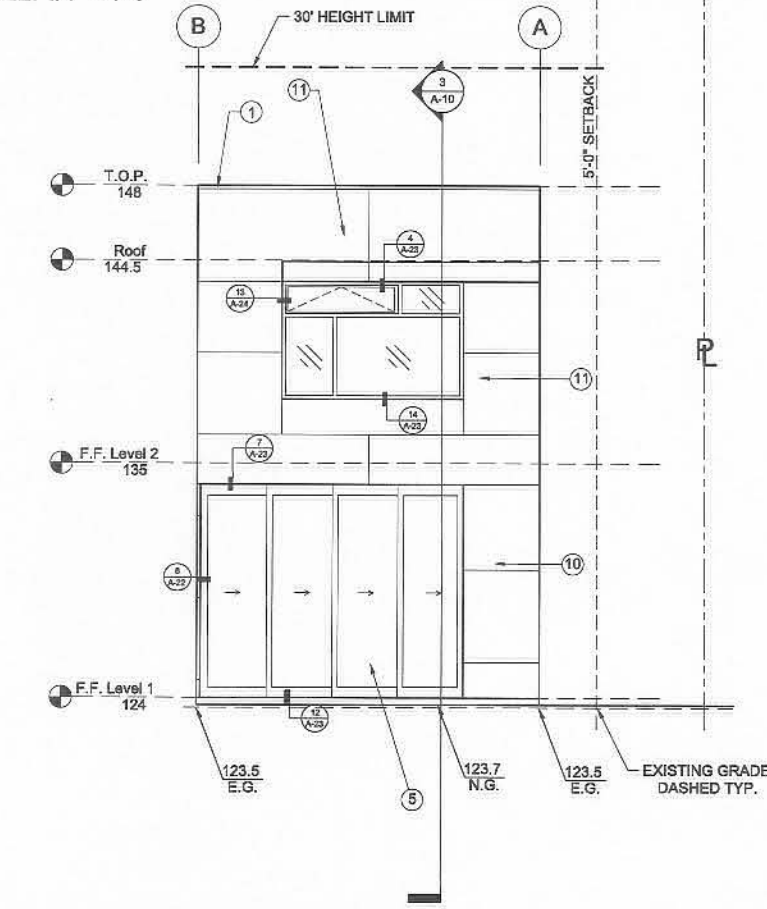
1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 SOUTH COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH COURTYARD ELEVATION
SCALE: 1/4" = 1'-0"

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SCALE: 1/8" = 1'-0" APPROVED BY: DRAWN BY: KJC
DATE: 7-28-2008 REVISED: 3-25-09

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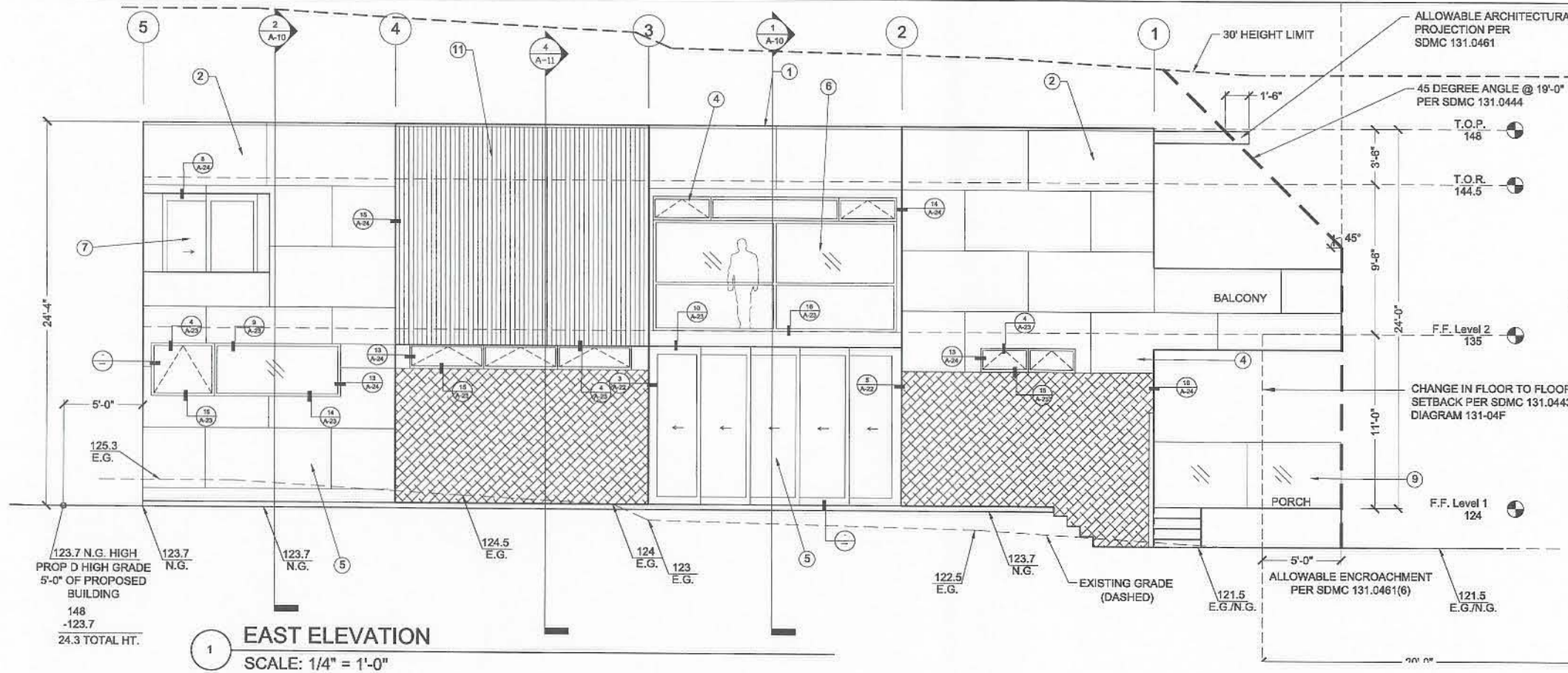
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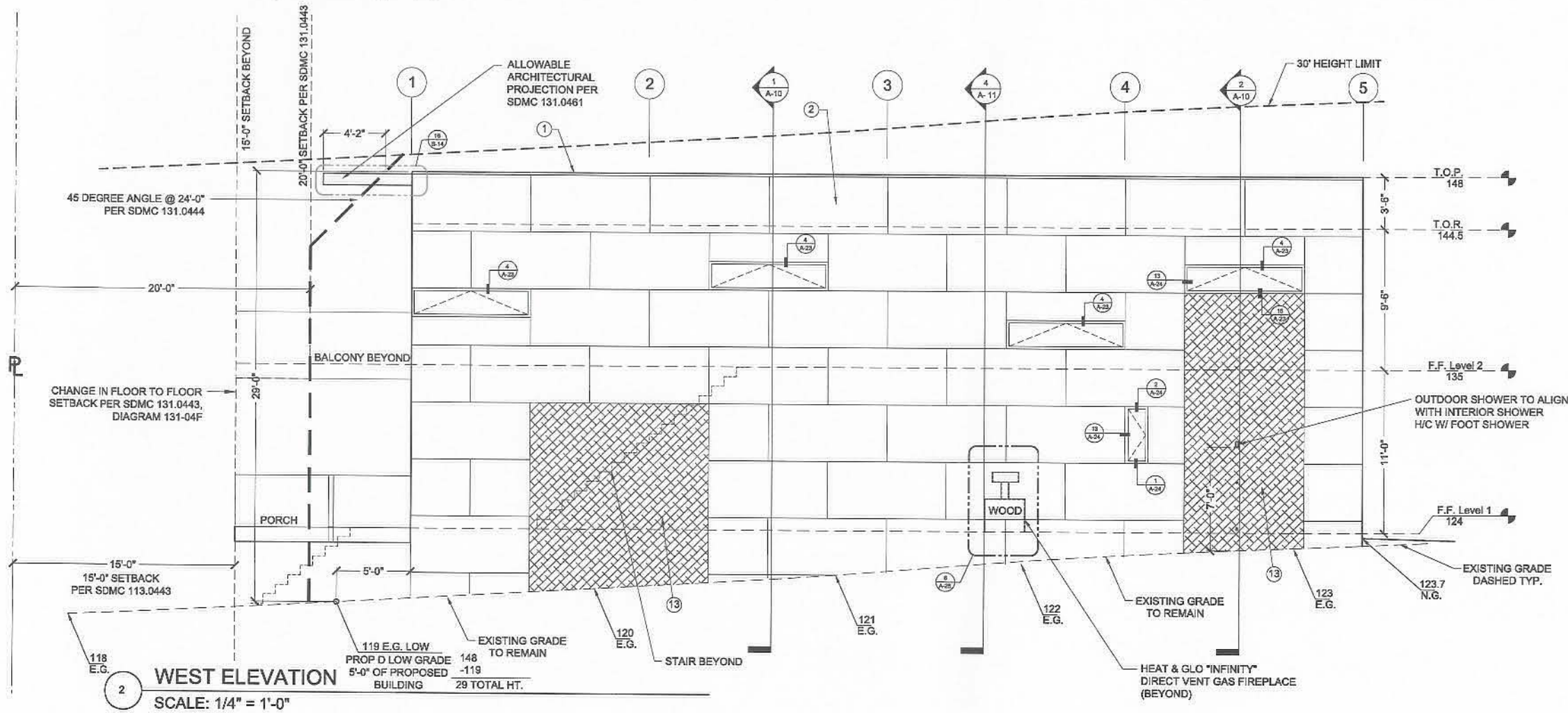
1. THE BUILDING IS SUBJECT TO THE REQUIREMENT OF PROPOSITION D HEIGHT LIMITATIONS.
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

MATERIALS LEGEND

1. 2" Aluminum Flashing Cap
2. 4' x 8' x 5/16" Painted Hardi-Board
3. 12" x 8' x 5/16" Painted Hardi-Board
5. Sliding Glass Panel Door
7. Glass Sliding Door
8. Glass Entry Door
9. 1/2" Temp. Glass Railing
10. Wood Siding
11. Aluminum Siding
12. 4' x 8' x 5/16" Painted Hardi-Board
13. GREEN SCREEN



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

Contractor and Subcontractor to review all architectural, structural, survey, site, plumbing, electrical, and mechanical drawings. If there are discrepancies (conflicting or missing information) of notes & conditions, please notify Architect "prior" to material ordering, fabrication, and installation for clarification.

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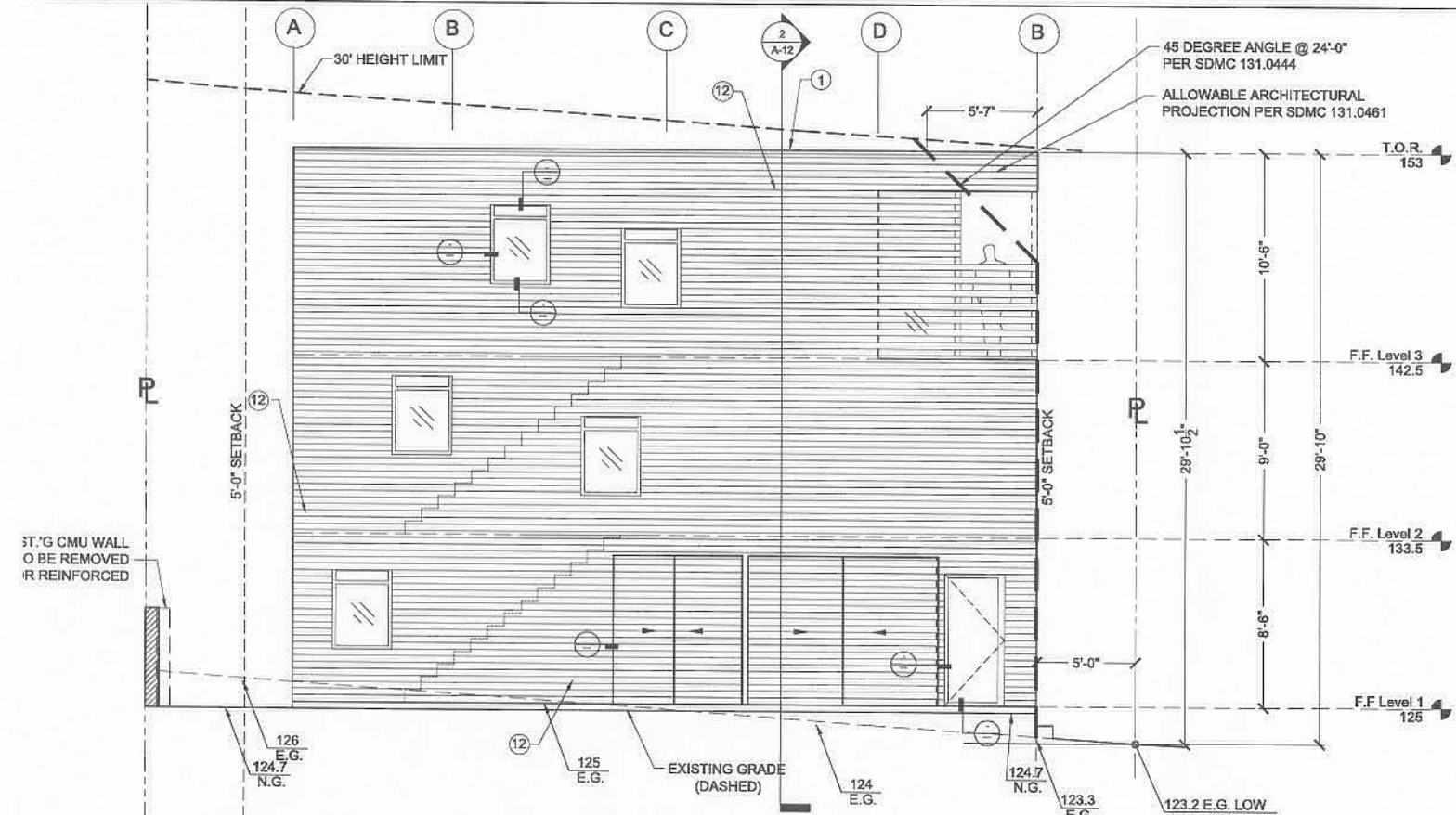
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SCALE: 1/4" = 1'-0" DATE: 7-28-2008	APPROVED BY: DRAWN BY: KJC REVISED: 3-25-09
CONSTRUCTION DOCUMENTS	
DRAWING TITLE: FRONT HOUSE EAST / WEST ELEVATIONS	SHEET NUMBER: A-14 OF

NOTES:

1. THE BUILDING IS SUBJECT TO THE REQUIREMENT OF PROPOSITION D HEIGHT LIMITATIONS.
2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

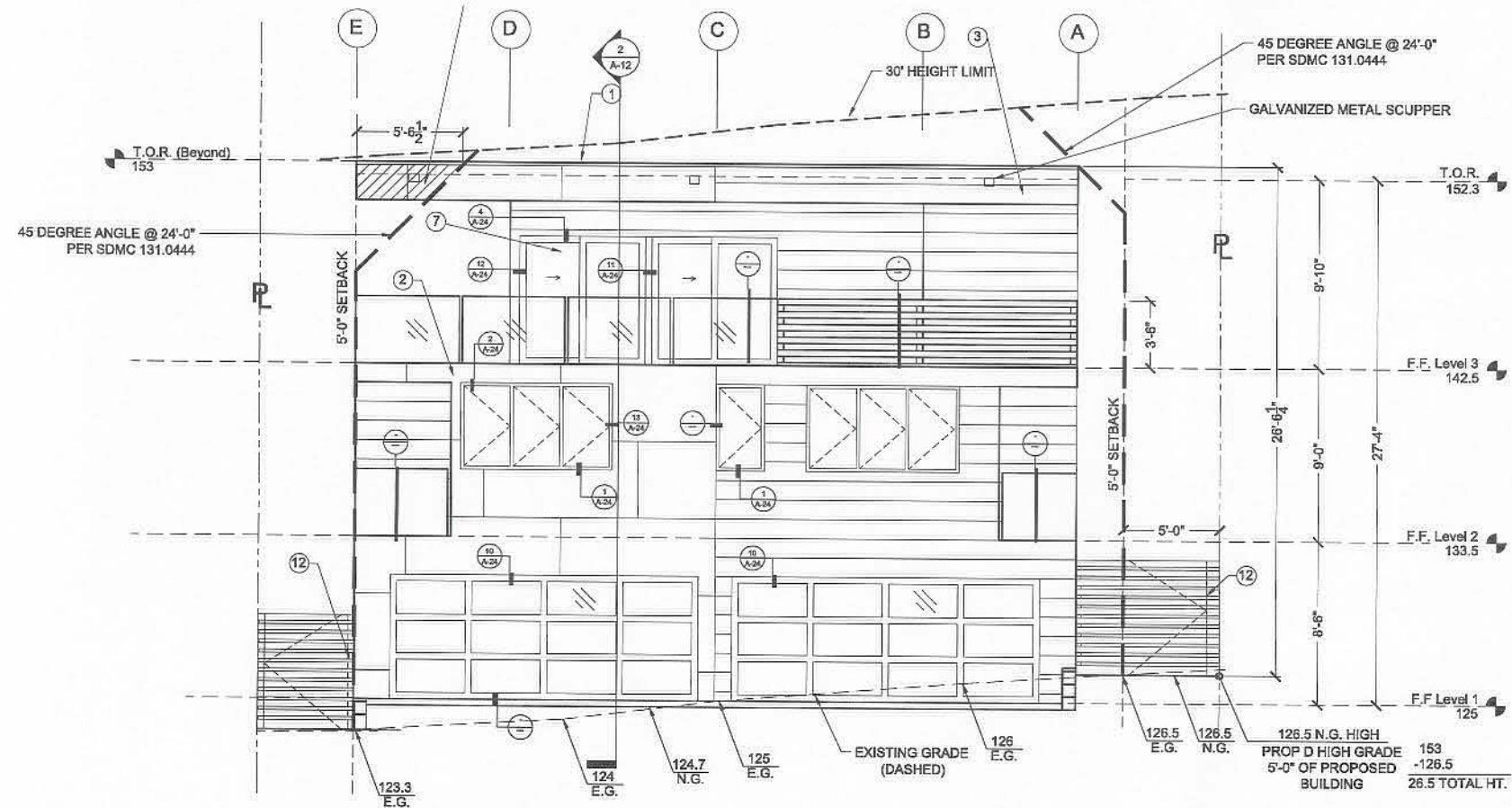
MATERIALS LEGEND

1. 2" Aluminum Flashing Cap
2. 4' x 8' x 3/8" Painted Hardi-Board
3. 12" x 8' x 3/8" Painted Hardi-Board
5. Sliding Glass Panel Door
7. Glass Sliding Door
8. Glass Entry Door
9. 1/2" Temp. Glass Railing
10. Wood Siding
11. Aluminum Siding
12. 4" x 8' x 3/8" Painted Hardi-Board
13. GREEN SCREEN



1 BACK HOUSE NORTH ELEVATION
SCALE: 1/4" = 1'-0"

123.2 E.G. LOW
PROP D LOW GRADE
5'-0" OF PROPOSED
BUILDING
153
-123.2
29.8 TOTAL HT.



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

126.5 N.G. HIGH
PROP D HIGH GRADE
5'-0" OF PROPOSED
BUILDING
153
-126.5
26.5 TOTAL HT.

Contractor and Subcontractor to review all structural, structural, survey, fire, plumbing, electrical, and mechanical drawings. If there are discrepancies (conflicting or missing information) or errors & omissions, please notify Architect "prior" to material ordering, fabrication, and installation for clarification.

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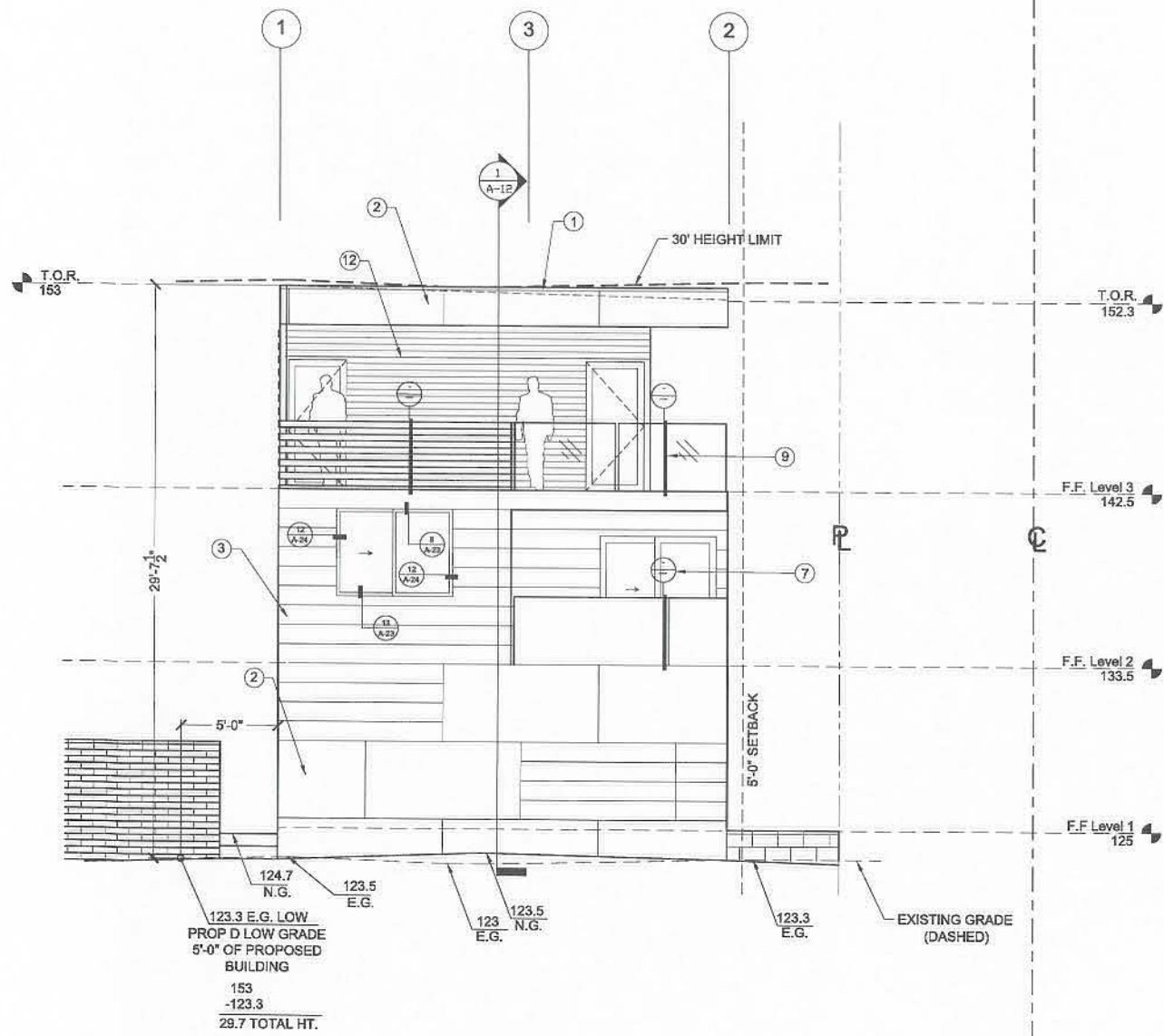
Steven Lombardi Architect
1231 S. Newport Ave., San Diego, CA 92107
P. 619-522-6722 F. 619-522-3725 www.stevenlombardi.com

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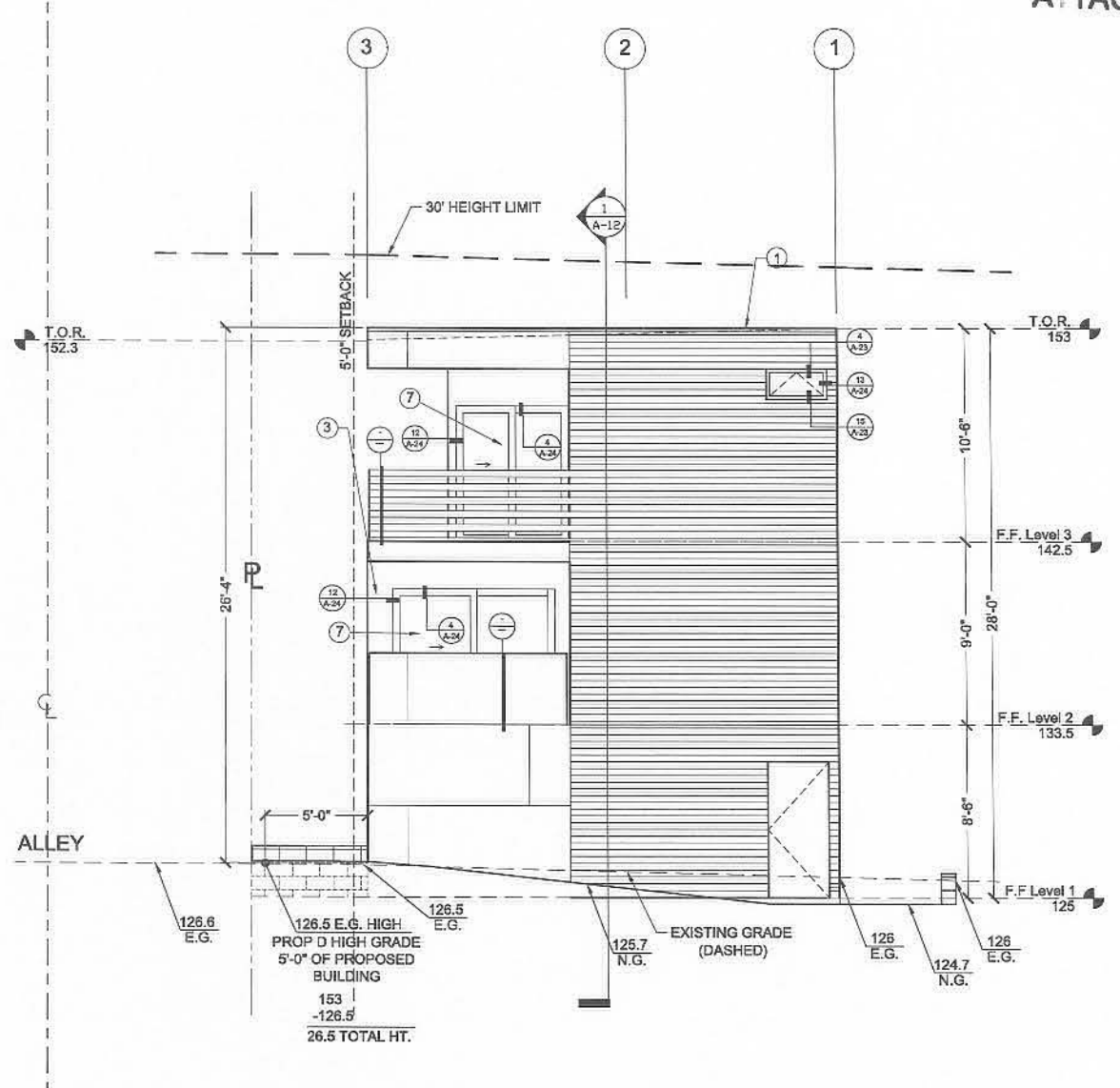
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DATE: 7-28-2008 REVISIONS: 3-25-09

CONSTRUCTION DOCUMENTS

DRAWING TITLE: BACK HOUSE NORTH / SOUTH ELEVATIONS DRAWING NUMBER: A-15 SHEET: _____ OF _____



1 BACK HOUSE WEST ELEVATION
SCALE: 1/4" = 1'-0"



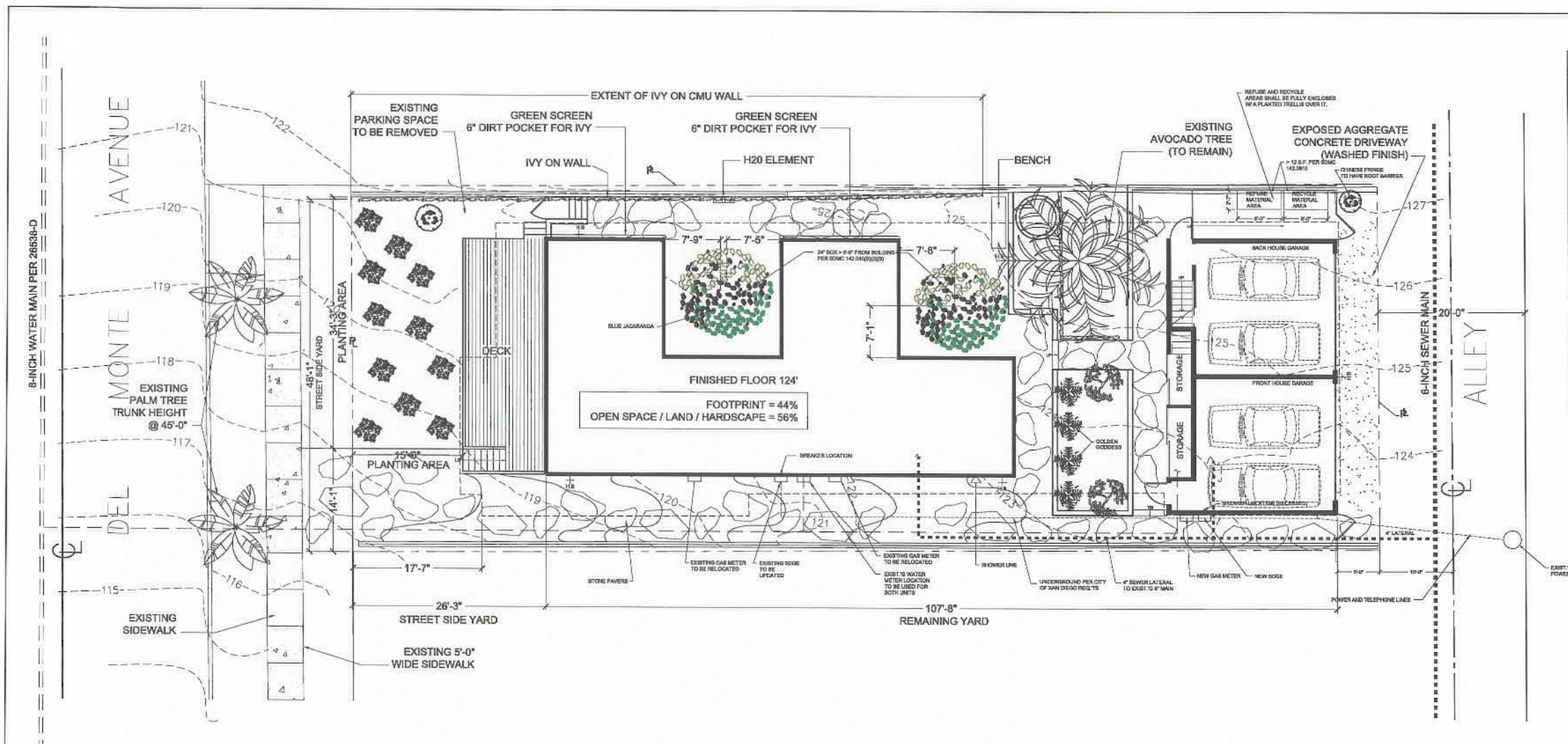
2 BACK HOUSE EAST ELEVATION
SCALE: 1/4" = 1'-0"

- NOTES:
1. THE BUILDING IS SUBJECT TO THE REQUIREMENT OF PROPOSITION D HEIGHT LIMITATIONS.
 2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.

Contractor and Subcontractor to review all architectural, structural, survey, fire, plumbing, electrical, and mechanical drawings. If there are discrepancies (conflicting or missing information) or errors & omissions, please notify Architect "prior" to material ordering, fabrication, and installation for clarification.

All ideas, designs, arrangements and plans included or represented by this drawing are owned by, and the property of Steven Lombardi Architect and were created, worked and developed for use on and in connection with this project. These drawings, designs, arrangements or plans shall be used by or disclosed to any person, firm or corporation for any purpose whatsoever without the written permission of Steven Lombardi Architect. Filing these drawings and/or specifications with any public agency is not a publication of same. No copyright, reproduction or use beyond its permission without the consent of Steven Lombardi Architect. www.slv.com/contact-us

Steven Lombardi Architect 5135 S. Hawport Ave., San Diego, CA. 92107 P. 619-523-4722 F. 619-523-4785 www.slv.com/contact-us	
ADDRESS: 4627 DEL MONTE AVE., SAN DIEGO, CA	
SCALE: 1/4" = 1'-0"	APPROVED BY: [Signature]
DATE: 7-28-2008	DESIGNED BY: KJC REVISED: 3-25-09
CONSTRUCTION DOCUMENTS	
DRAWING TITLE: BACK HOUSE WEST/ EAST ELEVATIONS	DRAWING NUMBER: A-16



PROPOSED PLANTS LEGEND						
SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	HT.	FORM/FUNCTION	SIZE
	PHYLLOSTACHY NIGRA	BLACK BAMBOO	12	20'	ORN. VERTICAL ELEMENT SPACED 3'-0" ON CENTER	100% @ 18 GAL
	JACARANDA MIMOSIFOLIA	BLUE JACARANDA	2	30'	FLOWERING TREE	100% @ 24" BOX
	BAMBUSA MULTIFLORA GOLDEN GODDESS	G. GODDESS BAMBOO	4	12'	UPRIGHT SCREEN SPACED 4'-0" ON CENTER	100% @ 24" BOX
	HEDERA HELIX	ENGLISH IVY	20	20'	GROUND COVER	100% @ 5 GAL
	LOLIUM MULTIFLORUM	ANNUAL RYEGRASS	2.0		ORNAMENTAL GRASS	100% @ 5 GAL
	DIKORANTHUS RETICULUS	CHINESE FENCE	2	20'	ALLEY VEGETATION	100% @ 18 GAL

NEW FIXTURE LEGEND	
	GAS
	HOSE BIB
	SHOWER HEAD

LANDSCAPE NOTES

- ALL REQUIRED PLANT MATERIAL SHALL BE IRRIGATED WITH A PERMANENT, BELOW-GRADE IRRIGATION SYSTEM UNLESS SPECIFIED OTHERWISE IN THIS DIVISION.
- ALL REQUIRED IRRIGATION SYSTEMS SHALL BE AUTOMATIC, ELECTRICALLY CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE-RESISTANT CONDITION.
- IRRIGATION SYSTEMS SHALL MEET THE FOLLOWING DESIGN REQUIREMENTS: (A) NO IRRIGATION RUNOFF OR OVERSPRAY SHALL CROSS PROPERTY LINES OR PAVED AREAS;
- LAWN AREAS SHALL NOT EXCEED 10 PERCENT OF THE PLANTING AREA ON A PREMISES, EXCLUDING REQUIRED COMMON AREAS, ACTIVE RECREATION AREAS, AND AREAS LOCATED WITHIN THE PUBLIC RIGHT-OF-WAY BETWEEN THE CURB AND PUBLIC SIDEWALK. THIS RESTRICTION DOES NOT APPLY TO SINGLE DWELLING UNIT RESIDENTIAL USES IN RESIDENTIAL ZONES.
- ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
- ESTIMATED YARDS OF CUT (INCLUDING FOUNDATION) = 152 SQUARE YARDS TO BE USED AS FILL. NO MATERIAL IS ESTIMATED TO BE IMPORTED OR EXPORTED.

PROPOSED LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

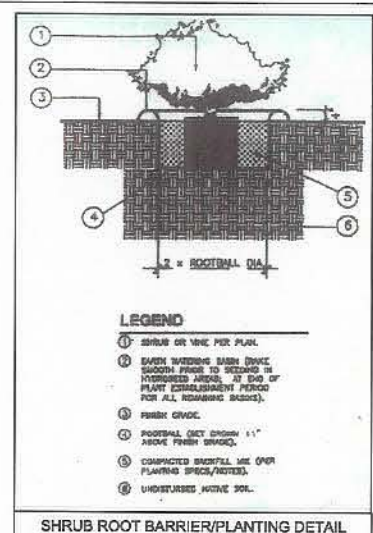
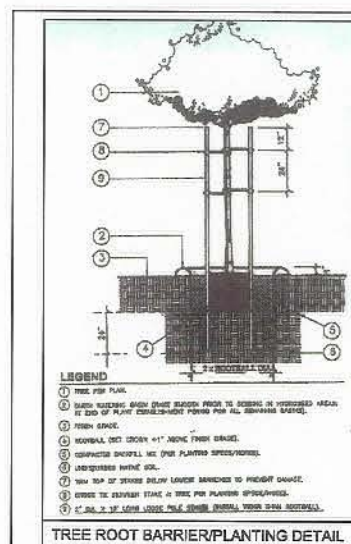
LANDSCAPE CALCULATIONS

STREET YARD:

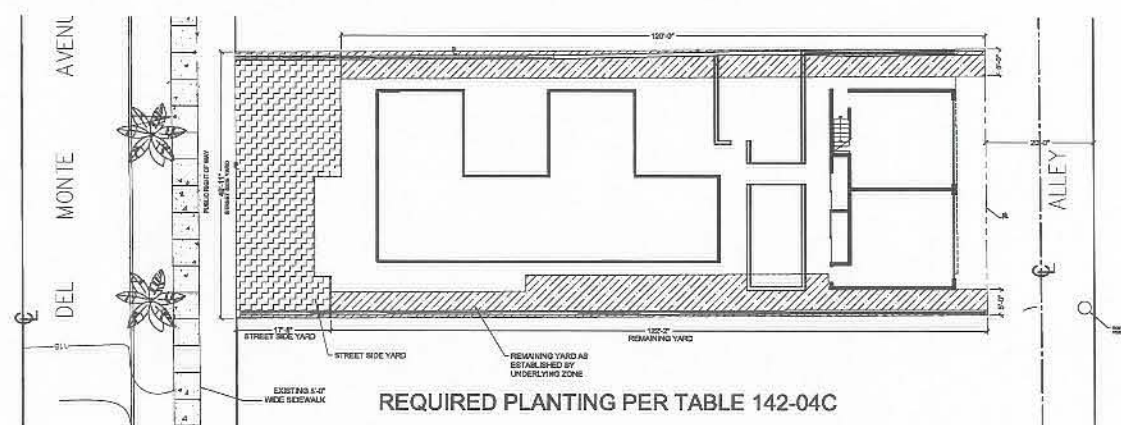
- PLANTING AREA REQUIRED
TOTAL AREA = 870 S.F. X 50% = 435 S.F.
- PLANTING AREA PROVIDED
510 S.F.
- EXCESS AREA PROVIDED
75 S.F.
- PLANTING POINTS REQUIRED
TOTAL AREA = 870 S.F. X 0.05% = 21.75 POINTS
- PLANT POINTS PROVIDED
120 POINTS
- EXCESS POINTS PROVIDED
98.25 POINTS
- POINTS ACHIEVED WITH TREES
120 POINTS
- PLANTING AREA ALLOWABLE AS HARDSCAPE
TOTAL AREA = 870 S.F. X 10% = 87 S.F.
- PROVIDED
0 S.F.

REMAINING YARD:

- MULTIPLE STRUCTURES ON LOT
NUMBER OF BUILDINGS = 2 BUILDINGS X 3 = 6 TREES REQUIRED
- NUMBER OF TREES PROVIDED
9 (3 EXIST. 'G' & 6 PROPOSED)



STREET YARD AND REMAINING YARD DIAGRAM

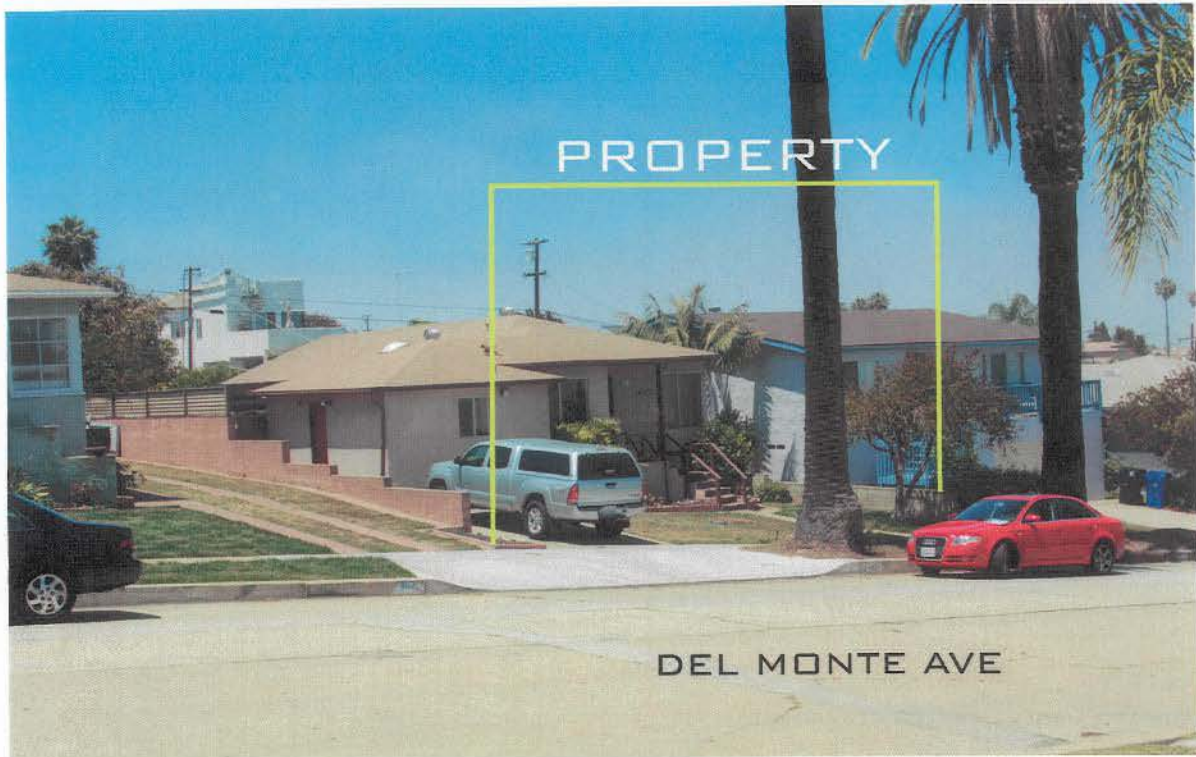


LEGEND	
	PROPOSED GRADE
	EXISTING GRADE
	SETBACK LINE
	PROPERTY LINE
	SEWER LINE
	WATER LINE

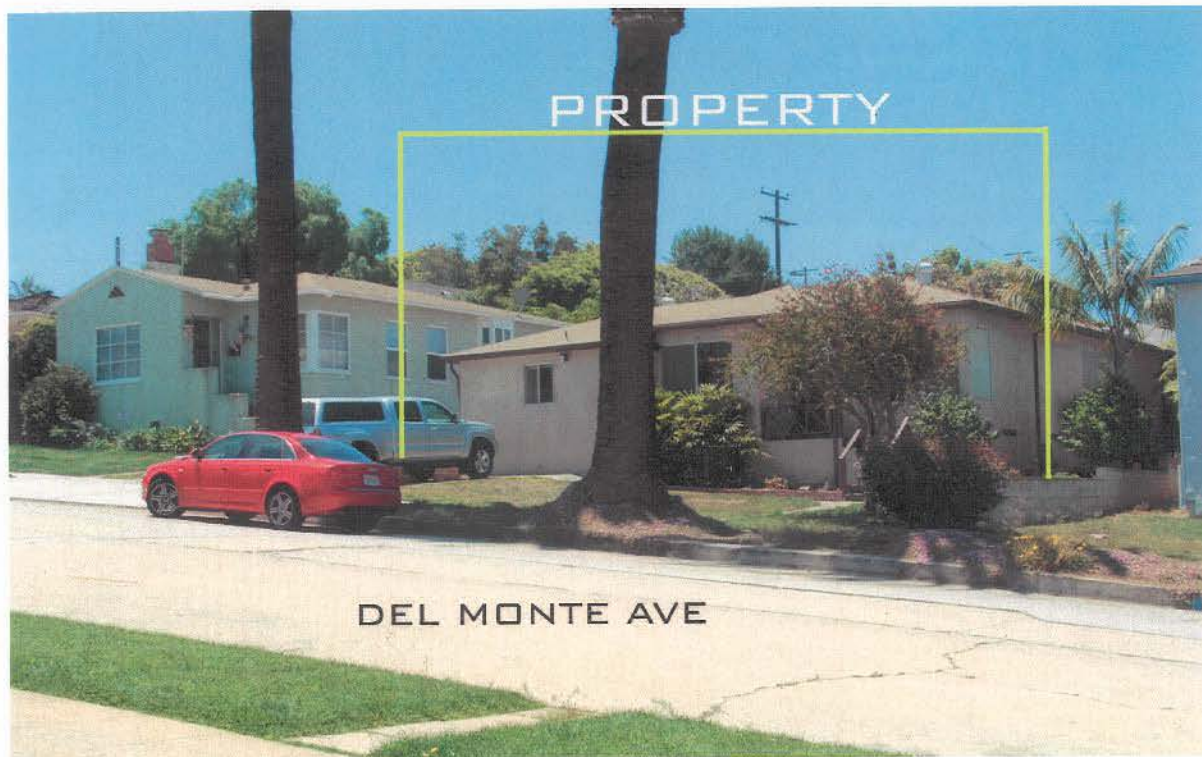
	STREET SIDE YARD	REMAINING YARDS
SQUARE FEET=	870 S.F.	40 S.F. PER TREE REQUIRED
REQUIRED PLANTING AREA=	435 S.F.	
REQUIRED PLANT POINTS=	21.75	ONE TREE ON EACH SIDE AND REAR OF STRUCTURE IS REQUIRED

Contractor and Subcontractor to review all architectural, structural, survey, site, etc. planting, electrical and mechanical drawings. If there are discrepancies (conflicting or missing information) or errors or omissions, please notify Architect "immediately" in writing. All dates, designs, measurements and other information represented by this drawing are correct by, and the property of Steven Lombardi Architect and were created, written and developed for use on and in connection with this project. None of such ideas, designs, measurements or plans shall be used by or disclosed to any person, firm or corporation for any purpose without the written permission of Steven Lombardi Architect. If any third party copies any or specifications with any rights agency at risk a publication of writing. No copying, reproduction or use in any form is permissible without the consent of Steven Lombardi Architect. www.stevenlombardi.com

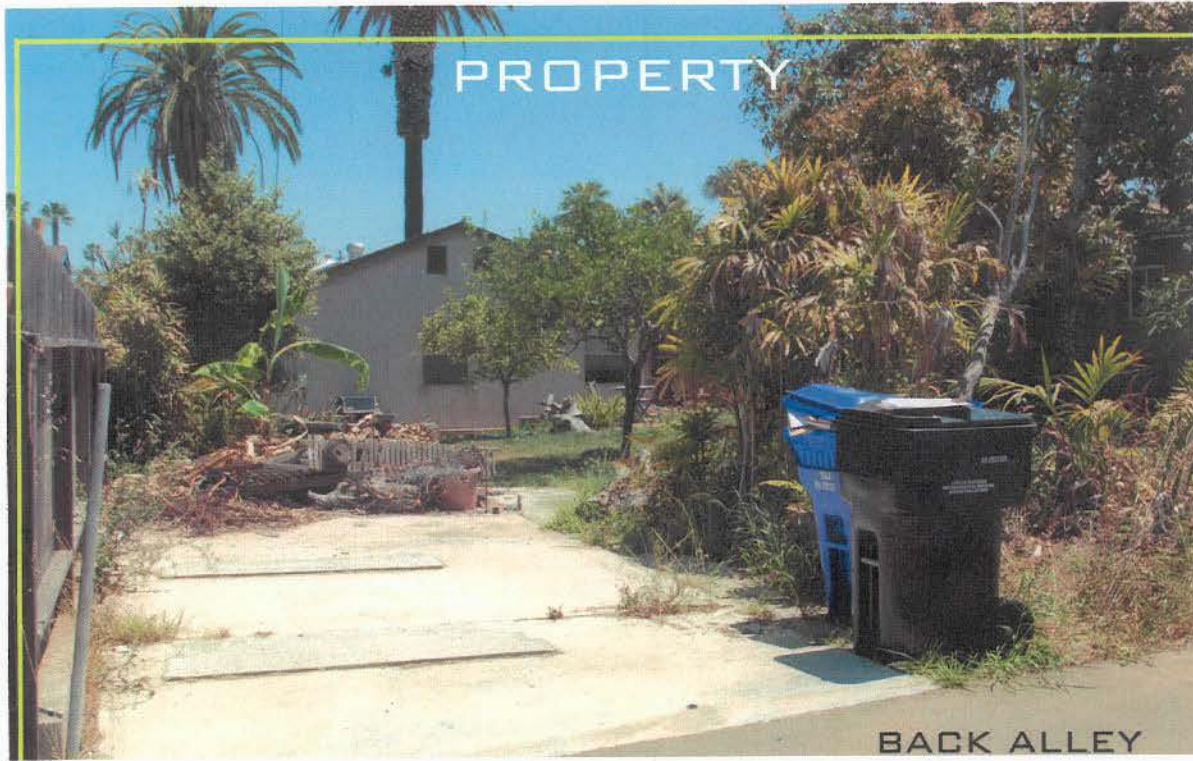
Steven Lombardi Architect 5235 S Newcourt Ave., San Diego, CA 92107 p. 619-522-4722 f. 619-522-4785 www.stevenlombardi.com	
ADDRESS: 4627 DEL MONTE AVE., SAN DIEGO, CA	DATE: 7-28-08
SCALE: 1/8" = 1'-0"	APPROVED BY: [Signature]
DRAWN BY: KJC	REVISIONS: 3-25-09
CONSTRUCTION DOCUMENTS	
DRAWING TITLE: PROPOSED LANDSCAPE PLAN	DRAWING NUMBER: L-2



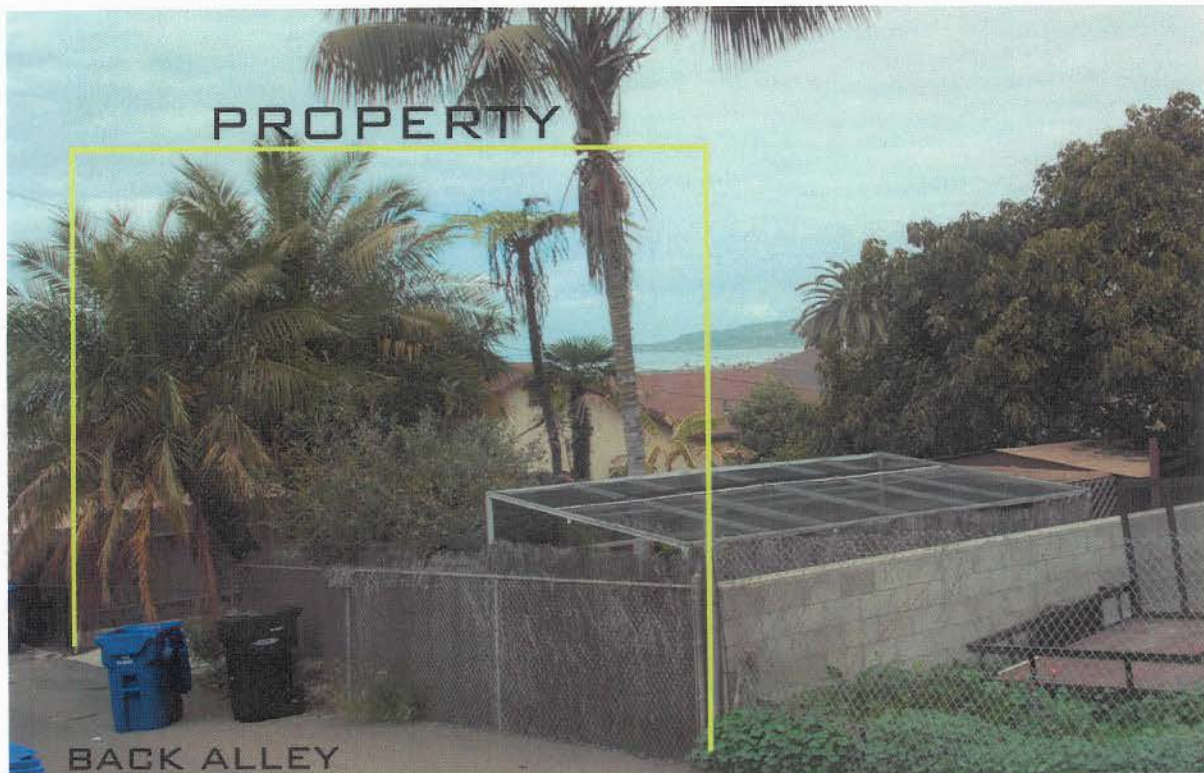
Front of Property – Photo Survey



Front of Property – Photo Survey



Rear of Property – Photo Survey



Rear of Property – Photo Survey

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501
Delete one of the above.

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 43-1362

COASTAL DEVELOPMENT PERMIT NO. 579116
CARROLL RESIDENCE - PROJECT NO. 161987
PLANNING COMMISSION

This Coastal Development Permit No. 579116 is granted by the Planning Commission of the City of San Diego to THOMAS E. CARROLL AND KRISTIN W. CARROLL, Owners and Permittees, pursuant to San Diego Municipal Code [SDMC] section 126.0708. The 0.16-acre site is located at 4627 Del Monte Avenue between Froude Street and Ebers Street in the RM-1-1 Zone, the Coastal Overlay Zone; the Coastal Height Limit Overlay Zone; the Airport Approach Overlay Zone; the Airport Influence Area zone; and FAA Part 77 Noticing areas for San Diego International Airport, within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan Area. The project site is legally described as Lots 31 and 32, Block 21 of Ocean Beach, according to the Map thereof No. 279.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish an existing residential unit and shed, and construct two new detached dwelling units, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 16, 2009, on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing dwelling unit and shed;
- b. The construction of two new detached dwelling units totaling 5,083 square-feet as follows:
 - Building "A": 3,003 square feet
 - Building "B": 1,290 square feet above 790 square feet two, two-car garages

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and
- e. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.

8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any building permits, the applicant shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
12. Prior to the issuance of any construction permits, the applicant shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
13. Prior to the issuance of any construction permits, the applicant shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
14. Prior to the issuance of any construction permits, the applicant shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.
15. Prior to the issuance of any construction permits, the applicant shall assure, by permit and bond, the closure of the existing driveway, creating a wing for the adjacent property, with replacement to City standard curb and gutter, the repair of a portion of damaged sidewalk and the removal of the existing bordered landscaping in the right-of-way of Del Monte Avenue, all satisfactory to the City Engineer.
16. The drainage system proposed for this development is private and subject to approval by the City Engineer.
17. Prior to foundation inspection, the applicant shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is in accordance with the approved plans.
18. Prior to the issuance of any construction permits, the applicant shall assure, by permit and bond, to reconstruct the AC alley with a current City Standards Concrete Pavement Full Width Alley, in the alley adjacent to the site.

AFFORDABLE HOUSING:

19. Prior to the issuance of any building permits, the developer shall comply with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

LANDSCAPE REQUIREMENTS:

20. In the event that a foundation only permit is requested by the Permittee or Subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the

Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions, and labeled as 'landscaping area.'

21. Prior to issuance of any construction permits for buildings the Permittee or Subsequent Owner shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.

22. Prior to Final Inspection, it shall be the responsibility of the Permittee or Subsequent Owner to install all required landscape. A "No Fee" Street Tree Permit, if applicable, shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

23. The Permittee or Subsequent Owner shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

24. The Permittee or Subsequent Owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Land Development Manual; Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Permittee or Subsequent Owner is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to Final Landscape Inspection.

PLANNING/DESIGN REQUIREMENTS:

26. No fewer than four off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.

27. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

28. Prior to the issuance of any building permits, the Owner/Permittee shall grant an avigation easement to the San Diego County Regional Airport Authority as required by the Airport Land Use Compatibility Plan for San Diego International Airport. The Owner/Permittee shall obtain the required avigation easement language from the San Diego County Regional Airport Authority.

29. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the avigation easement.

30. The project must be sound attenuated to 45 dB CNEL interior noise level. The applicant will be required to spend no more than 10% of construction costs to meet noise attenuation requirements. An acoustical study may be required to determine if the development proposal meets the noise standards pursuant to the Airport Environs Overlay Zone regulations.

31. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

WATER REQUIREMENTS:

32. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway, and the removal of all existing unused services, within the right-of-way adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

33. Prior to the issuance of any certificates of occupancy, all public water facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

34. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

35. The Owner/Permittee agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities, and associated easements, as shown on approved Exhibit "A" shall be modified at final engineering to comply with standards.

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on April 16, 2009.

Permit Type/PTS Approval No.: Coastal Development Permit No. 579116
Date of Approval: April 16, 2009

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Laila Iskandar
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

[Thomas E. Carroll]
Owner/Permittee

By _____

[Kristin W. Carroll]
Owner/Permittee

By _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NO. XXXX
COASTAL DEVELOPMENT PERMIT NO. 579116
CARROLL RESIDENCE - PROJECT NO. 161987

WHEREAS, THOMAS E. CARROLL AND KRISTIN W. CARROLL, Owners/Permittees, filed an application with the City of San Diego for a permit to demolish an existing residential unit and shed, and construct two new detached dwelling units (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 579116), on portions of a 0.16-acre site;

WHEREAS, the project site is located at 4627 Del Monte Avenue in the RM-1-1 Zone within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan Area;

WHEREAS, the project site is legally described as Lots 31 and 32, Block 21 of Ocean Beach, according to the Map thereof No. 279;

WHEREAS, on February 11, 2009, the Development Services Department of the City of San Diego approved Coastal Development Permit No. 579116, pursuant to Section 126.0708 of the Municipal Code of the City of San Diego; and

WHEREAS, on February 26, 2009, the Ocean Beach Planning Board filed an appeal of the Process 2 Development Services Department's decision; and

WHEREAS, on April 16, 2009, the Planning Commission of the City of San Diego considered the appeal of Coastal Development Permit No. 579116, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated April 16, 2009.

FINDINGS:

Coastal Development Permit Findings - Section 126.0708:

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan;**

The project proposes the demolition of an existing single story residential unit and shed, and the construction of two new, detached two-story residential dwelling units. The project site is

located at 4627 Del Monte Avenue between Froude Street and Ebers Street in the multi-family RM-1-1 zone, within the East Ocean Beach neighborhood of the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan. The project is located within the Coastal Overlay Zone, approximately three blocks from the Pacific Ocean. All development will occur on private property. Due to its distance from the coastline, the Ocean Beach Precise Plan and Local Coastal Program do not identify this location as a designated physical accessway to the coastal area, therefore, the project will not encroach upon any existing or proposed physical accessway identified in the Local Coastal Program. The project location is not within or adjacent to any designated public view corridors. However, it is within the Coastal Overlay Zone which requires the maximum height of structures not to exceed 30 feet. The maximum height of the proposed project would be below the 30-foot height limit and the project features and overall development of the site is consistent with all applicable Plans and Programs and meets all regulations. Accordingly, the proposed project will not impact any public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program Land Use Plan

2. The proposed coastal development will not adversely affect environmentally sensitive lands;

The project proposes the demolition of an existing single story residential unit and shed, and the construction of two new, detached residential dwelling units. The property is surrounded on all sides with existing residential development. The property abuts dedicated public right-of-way along Del Monte Avenue to the north and a dedicated public alley to the south.

The project is located within an urbanized area, surrounded by a fully developed residential neighborhood, and does not contain Environmentally Sensitive Lands (ESL); therefore the project would not adversely affect these resources. The project is located outside and is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA). The proposed construction will not conflict with the Multiple Species Conservation Plan (MSCP), and will not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program;

The project proposes the demolition of an existing single-story residential unit and the construction of two new, detached residential dwelling units. The proposed coastal development is consistent with the recommended residential land use, design guidelines, and development standards in effect for this site per the RM-1-1 zone, the Coastal Overlay and the Coastal Height Limitation Overlay zones, and the City of San Diego General Plan and as prescribed by the Ocean Beach Precise Plan. No deviations to applicable land use and development policies are included with this application.

The development would meet the goals of the Ocean Beach Precise Plan/LCP by providing an additional unit within a multi-family zone. The proposed project is also featuring a well-articulated design with balconies and porches, and will be constructed is in the form of garden-

type units, absent from excessive height and bulk, that preserve the character of the neighborhood and the community. In addition, the proposed project is utilizing sustainable building practices in the construction of the residence which implements the community's goals. Therefore, the proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project proposes the demolition of an existing single-family dwelling unit and shed, and the construction of two new, detached residential dwelling units, on a 7,000-square-foot site. The project site is located at 4627 Del Monte Avenue, approximately three blocks from the Pacific Ocean and is not located between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone and therefore is not required to demonstrate conformance with the public access and recreation policies of the California Coastal Act as required by this finding.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, the appeal is denied and Coastal Development Permit No. 579116 is hereby GRANTED by the Planning Commission to the referenced Owners/Permittees, in the form, exhibits, terms and conditions as set forth in Permit No. 579116, a copy of which is attached hereto and made a part hereof.

Laila Iskandar
Development Project Manager
Development Services

Adopted on: April 16, 2009

Job Order No. 43-1362

cc: Legislative Recorder, Planning Department



City of San Diego
 Development Services
 1222 First Ave. 3rd Floor
 San Diego, CA 92101
 (619) 446-5210

Development Permit/ Environmental Determination Appeal Application

FORM
DS-3031
 MARCH 2007

See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

- 1. Type of Appeal:**
- Process Two Decision - Appeal to Planning Commission
 - Process Three Decision - Appeal to Planning Commission
 - Process Four Decision - Appeal to City Council
 - Environmental Determination - Appeal to City Council
 - Appeal of a Hearing Officer Decision to revoke a permit

2. Appellant Please check one Applicant Officially recognized Planning Committee "Interested Person" (Per M.C. Sec. 113.0103)

Ocean Beach Planning Board, Landay Watson - Chairman

Name *PO Box 7090 San Diego CA 92107 619-708-3769*

Address City State Zip Code Telephone

3. Applicant Name (As shown on the Permit/Approval being appealed). Complete if different from appellant.

STEVEN LOMBARDE

4. Project Information

Permit/Environmental Determination & Permit/Document No.: <i>Permit # 161987 JO# 43-1362</i>	Date of Decision/Determination: <i>11 FEB 2009</i>	City Project Manager: <i>L. ISHAKDAR</i>
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Decision (describe the permit/approval decision): *APPROVED APPLICATION FOR COASTAL DEVELOPMENT PERMIT.*

- 5. Grounds for Appeal** (Please check all that apply)
- Factual Error (Process Three and Four decisions only)
 - Conflict with other matters (Process Three and Four decisions only)
 - Findings Not Supported (Process Three and Four decisions only)
 - New Information (Process Three and Four decisions only)
 - City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

INCONSISTENCY w/ CURRENT AND DRAFT COMMUNITY PLAN.

RECEIVED

FEB 26 2009

DEVELOPMENT SERVICES

6. Appellant's Signature I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: *[Signature]* Date: *26 FEB 09*

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5210

**Community Planning
 Committee
 Distribution Form Part 2**

Project Name : CARROLL RESIDENCE		Project Number 161987	Distribution Date 11/26/08
Project Scope : OCEAN BEACH JO#43-1362. (PROCESS 2) Coastal Development Permit to demolish existing residence and construct 2 residential for rent units on a 0.16 acre site at 4627 Del Monte Avenue in the RM-1-1 Zone within the Ocean Beach Community Plan, Coastal Overlay (non-appealable), Coastal Ht Limit, Airport Approach, Airport Influence Area, FAA Part 77. Council District 2. Notice Cards=1.			
Project Location: 4627 Del Monte Avenue			
Applicant Name: Kristin Carroll		Applicant Phone No. (619) 795- 3188	
Related Projects			
Project Manager Laila Iskandar	Phone Number (619) 446-5297	Fax Number (619) 446-5245	E-mail Address liskandar@sandiego.gov
Community Plan Ocean Beach	Council District		
Existing Zone	Proposed Zone	Building Height	Number of Stories
FAR			
Committee Recommendations (To be completed for Initial Review):			
<input type="checkbox"/> Vote to Approve	Members Yes: N. Taylor Watson Connolly Murphy Bushe T. Gawronski	Members No: Shamoun Lopez Klein J. Gawronski M. Taylor	Members Abstain
<input type="checkbox"/> Vote to Approve With Conditions Listed Below			Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below			Members Abstain
<input checked="" type="checkbox"/> Vote to Deny	Motion to deny	Members Yes 6	Members No 5
Agenda Date: 04 Feb 09		<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)	<input type="checkbox"/> Continued
Motion to deny on excessive bulk and scale (due to lack of 2nd story articulation) and inconsistency with the Ocean Beach Precise Plan for neighborhood consistency.			
NAME Landry Watson		TITLE Chairman	
SIGNATURE <i>L. Watson</i>		DATE 05 Feb 09	
Attach Additional Pages If Necessary. Please Return Within 30 Days of Distribution of Project Plans To: Project Management Division City Of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101			



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title

Project No. For City Use Only

161987

Project Address:

4627 DEL MONTE AVE. SAN DIEGO, CA 92107

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
Thomas & Kristin Carroll
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
4627 Del Monte Ave
City/State/Zip:
San Diego CA 92107
Phone No: 619-493-0203 Fax No:
Signature: [Signature] Date: 7/15/08

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of Individual (type or print):
Kristin Carroll
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
4627 Del Monte Ave
City/State/Zip:
San Diego CA
Phone No: 858-663-9997 Fax No:
Signature: [Signature] Date: 7/16/08

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date: