



THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** August 5, 2010                      REPORT NO. PC-10-070

**ATTENTION:**                      **Planning Commission, Agenda of August 12, 2010**

**SUBJECT:**                      SPRINT/CLEARWIRE – UPAS / PROJECT NO. 199584  
PROCESS 4

**OWNER/  
APPLICANT:**                      Upas Homeowners Association/  
Sprint/Clearwire

### SUMMARY

**Issue(s):** Should the Planning Commission approve a Wireless Communication Facility located at 666 Upas Street within the Uptown community planning area?

**Staff Recommendation:** Approve Conditional Use Permit No. 700236.

**Community Planning Group Recommendation:** On May 4, 2010, the Uptown Planners voted 13-0-1 to recommend approval of the Sprint/Clearwire- Upas project (Attachment 11).

**Environmental Review:** This project was determined to be exempt per the Categorical Exemption for Existing Facilities, Section 15301 in accordance with State of California Environmental Quality Act (CEQA) Guidelines. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 12, 2010, and the opportunity to appeal that determination ended March 1, 2010 (Attachment 7).

**Fiscal Impact Statement:** Sprint/Clearwire is the financially responsible party for this project and is responsible for costs associated with processing this project.

**Code Enforcement Impact:** None.

**Housing Impact Statement:** None.

### BACKGROUND



A permit for a Wireless Communication Facility (WCF) at this location was originally issued to Sprint in 2001 for six panel antennas and a 280 square foot equipment enclosure on the roof top behind the existing parapet wall at 666 Upas Street (Attachment 10). The original Sprint permit contains an expiration date of February 16, 2011, and Sprint/Clearwire has submitted this application for a CUP to allow some modifications to the facility and the ability to continue operating at this location.

The project site is located in the MR-400 Zone of the Mid-Cities Planned District (Attachment 1). The Land Use Map of the Uptown Community Plan designates the site for "Very High Density Residential 6" at a density range of 73-110 dwelling units per acre (Attachment 2). Surrounding uses include Balboa Park to the south, single-family residential to the east and multi-family residential to the west and north (Attachment 3).

WCF's located within a residential zone are permitted with a Conditional Use Permit (Process 4). The proposed project is consistent with all development regulations of the MR-400 Zone and no deviations are required to approve the proposed project (Attachment 6).

## **DISCUSSION**

The project site includes a sixteen story multi-family residential condominium complex. Sprint currently has three panel antennas façade mounted to the mechanical penthouse and three antennas behind an FRP screen box on the building façade with associated equipment cabinets on the roof deck of the penthouse (Attachment 9). Sprint/Clearwire is now proposing to replace two panels on each of the two sectors and add three microwave dishes behind the existing mechanical screen. A new equipment cabinet would be added to the existing equipment enclosure, which currently houses three cabinets. No outward changes in appearance are proposed. The existing cabinets are not visible from any grounded vantage point. The existing and proposed panel antennas on the northern elevation simulate the design of the mechanical penthouse and are nearly invisible from any appreciable distance blending with the structure. The existing FRP screen box on the eastern elevation also would have no outward change in appearance. Two panels would be removed from the existing mechanical screen on top of the parapet and replaced with FRP panels to fully screen the new microwave dishes.

Wireless Communication Facilities (WCF) are permitted throughout the City as a separately regulated use by the Wireless Communication Facility regulations, in accordance with Land Development Code (LDC) section 141.0420.

Council Policy 600-43, "Wireless Communication Facilities," assigns preference levels to the locations of WCF. This policy encourages these facilities be located away from residential uses. Typically, WCF proposed in non-residential zones, such as commercial or industrial, are considered more preferable than those located in residential zones. To encourage carriers to locate in non-residential zones, projects proposed in those areas are permitted with a lower approval process level, such as a Limited Use or Neighborhood Use Permit. In this case, the WCF is existing and has operated with no complaints for the past ten years. The facility is on the

roof top away from the residents in the building and an on-air Radio Frequency report will be required prior to any building permits being issued.

The proposed project complies with LDC Section 141.0420, which requires a project to be designed to integrate with the structure on which it is proposed through the use of architecture, landscape design and siting solutions. The existing and proposed antennas would be located either on the penthouse or the building more than 170 feet above the street grade (Attachment 9). The antennas are facade mounted and covered with RF screen boxes. The existing and proposed facility would not be visible from the street below. Only from a distance is the facility visible yet the effect of the distance diminishes its appearance. Sprint/Clearwire would be required to paint all of the equipment cabinets to match the penthouse wall.

### **General Plan Analysis:**

The City's General Plan requires that wireless facilities be both minimally visible and visually respectful and compatible with the community. The antennas associated with this facility are facade mounted and covered with RF screen boxes or located behind FRP screens that are painted and textured to match the adjacent building surface. All associated electrical equipment cabinets are located on the roof deck of the penthouse. Based on the project's design, it is compatible with the City's General Plan. The Uptown Community Plan does not discuss wireless communication facilities.

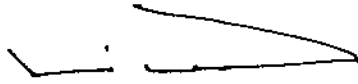
### **Conclusion:**

Staff has reviewed the proposed project and all issues identified through that review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development Code. The antennas are designed to be nearly imperceptible to the casual observer. The proposed project complies with the City's Land Development Code, the Wireless Communication Facility regulations, and the Uptown Community Plan. Staff has provided draft findings to support approval of the project (Attachment 5), and draft conditions of approval (Attachment 6). Staff is recommending the Planning Commission approve the project as proposed.

### **ALTERNATIVES**

1. **Approve** Conditional Use Permit No. 716790, **with modifications.**
2. **Deny** Conditional Use Permit No. 716790, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



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Mike Westlake  
Program Manager  
Development Services Department



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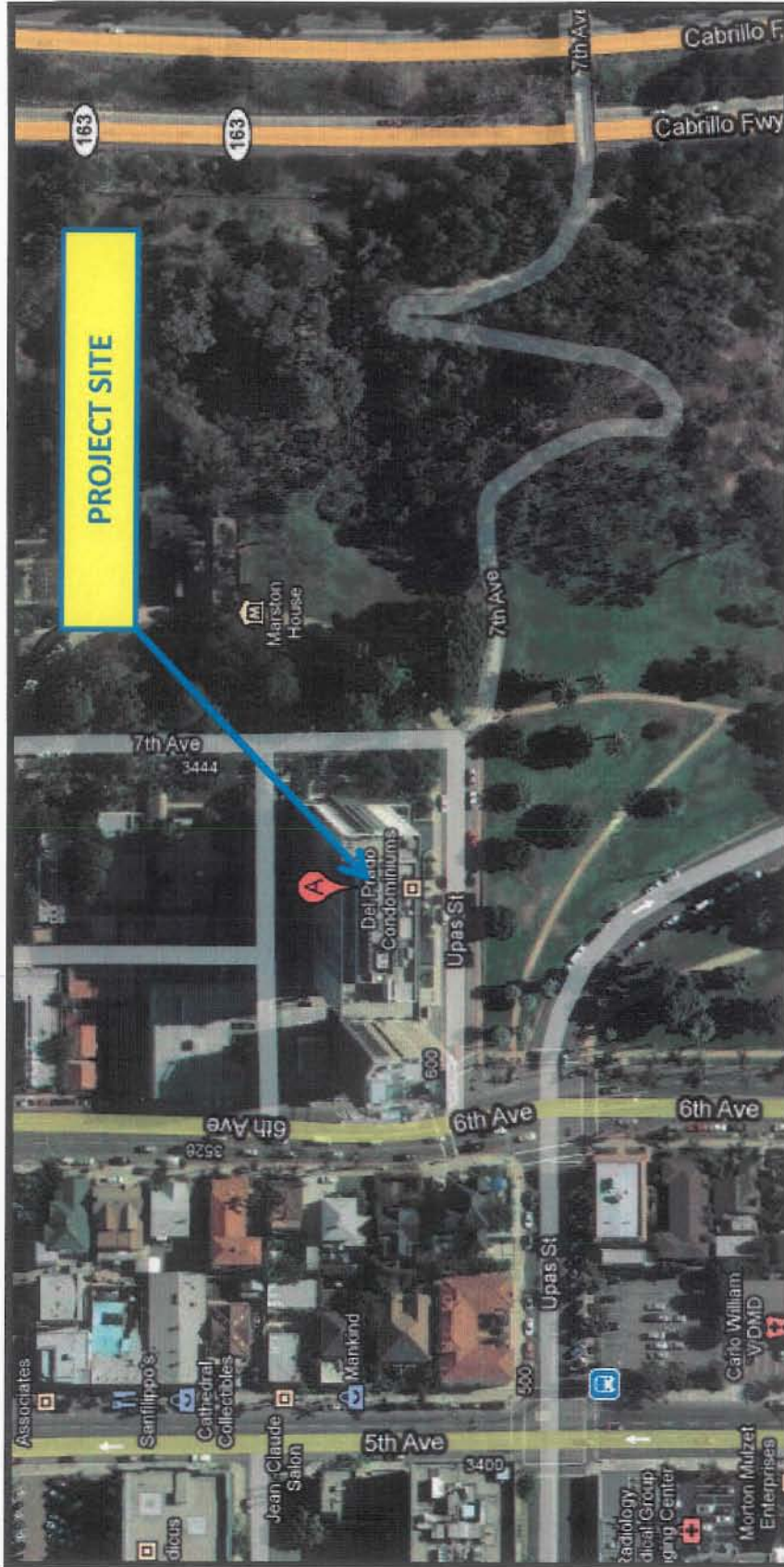
Karen Lynch-Ashcraft  
Project Manager  
Development Services Department

## BROUGHTON/KLA

### Attachments:

1. Aerial
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Plans
9. Photos
10. Copy of Permit 99-0923-46
11. Community Planning Group Recommendation
12. Ownership Disclosure
13. Project Chronology
14. Notice of Public Hearing

Rev 01-04-07/rh



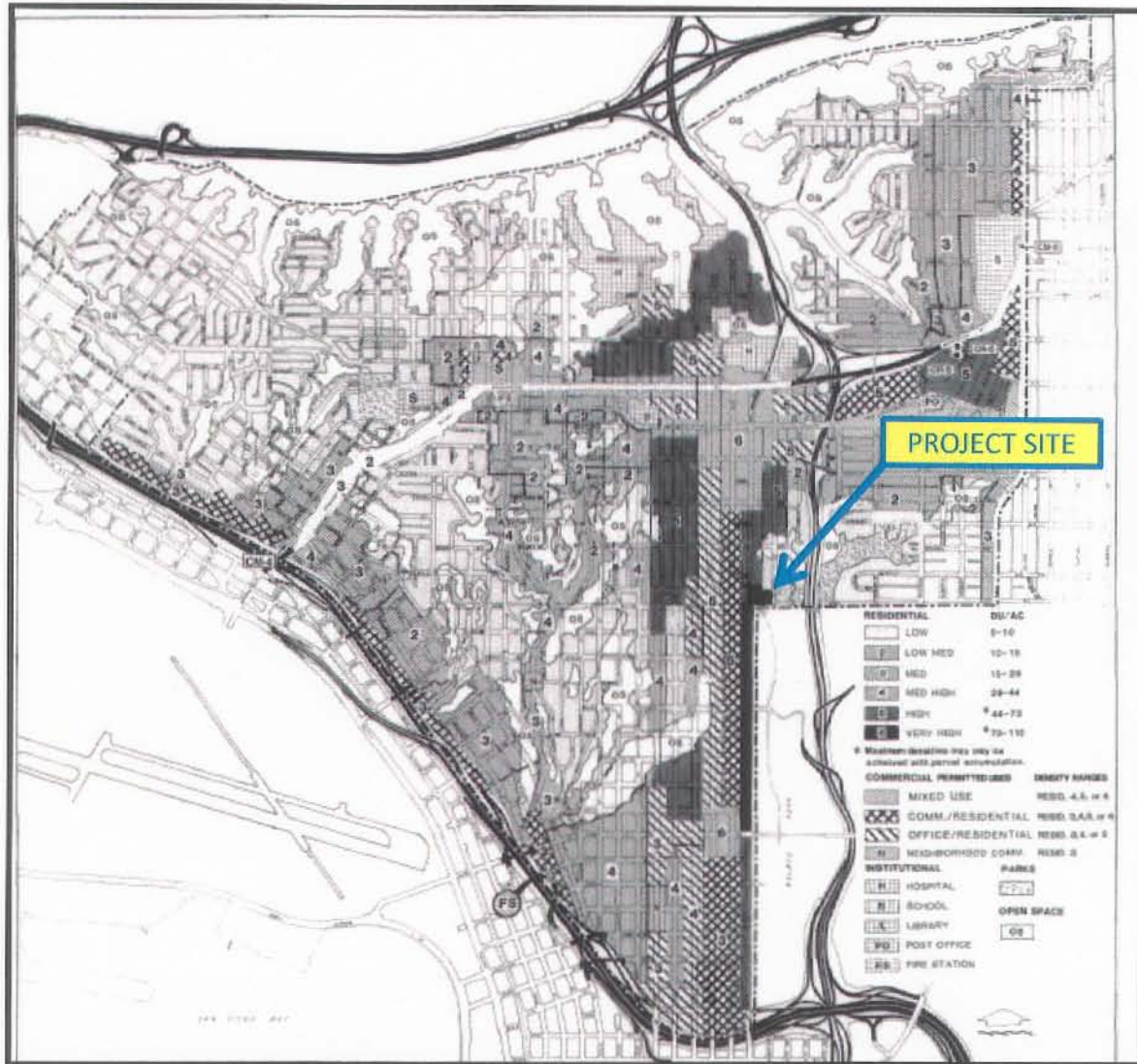
# Aerial Photo

SPRINT/CLEARWIRE – UPAS CONDOS PROJECT NUMBER 199584

666 UPAS STREET





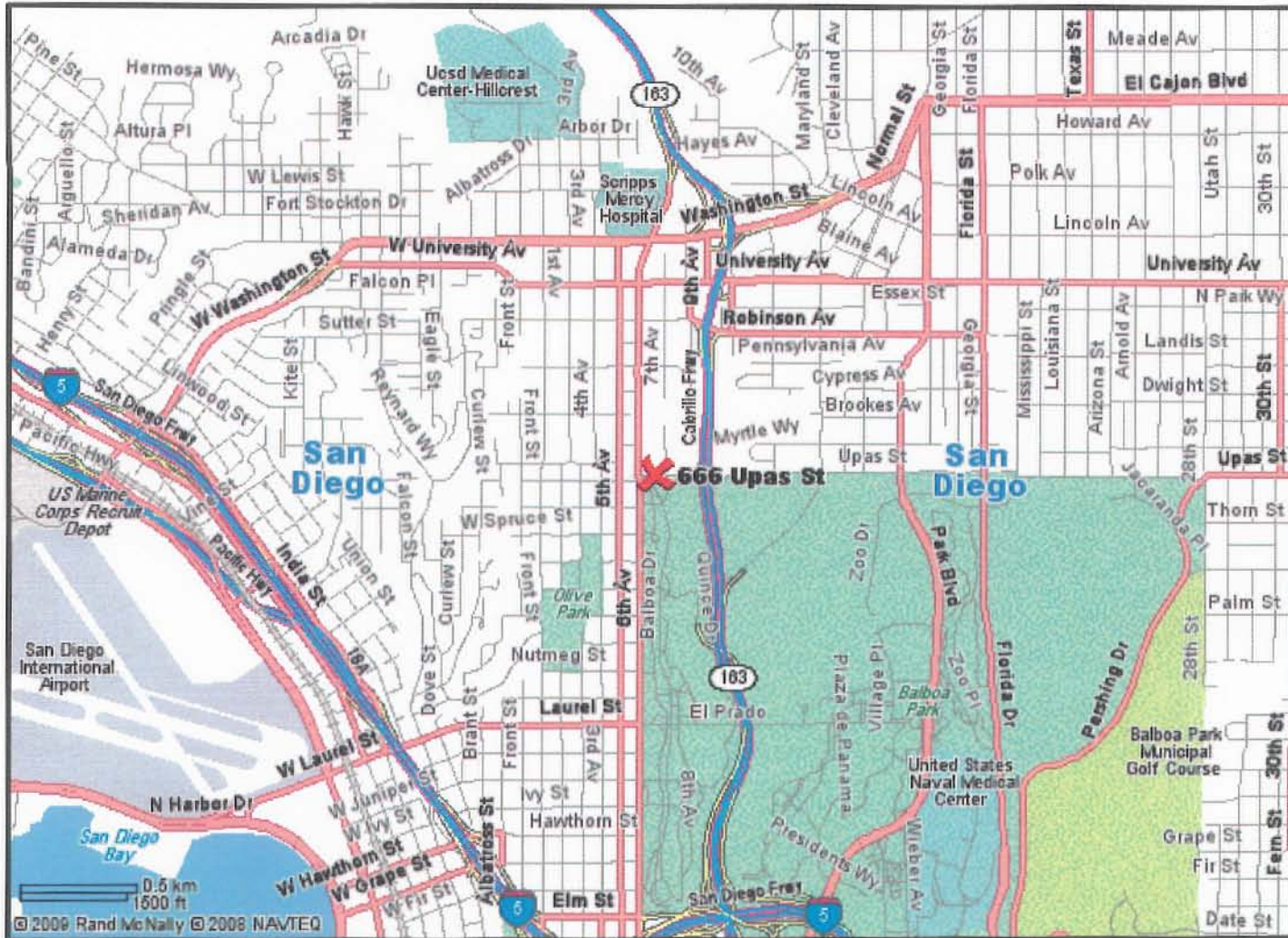


## UPTOWN COMMUNITY PLAN MAP

**SPRINT/CLEARWIRE – UPAS CONDOS – PROJECT NUMBER 199584**

**666 UPAS STREET**





## Project Location Map

SPRINT/CLEARWIRE – UPAS CONDOS– PROJECT NUMBER 199584

666 UPAS STREET



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Upas Condos	
<b>PROJECT DESCRIPTION:</b>	WCF consisting of a total of six panel antennas, three microwave dishes and four equipment cabinets.	
<b>COMMUNITY PLAN AREA:</b>	Uptown	
<b>DISCRETIONARY ACTIONS:</b>	Conditional Use Permit	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Very High Residential (73-110 du/ac)	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> RM-400 <b>HEIGHT LIMIT:</b> 150-Foot maximum height limit. <b>FLOOR AREA RATIO:</b> 3.75 maximum.		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Low Residential/Very High Residential; RS-1-5.	Multi-Family Residential/Single-Family Residential
<b>SOUTH:</b>	Open Space; Unzoned.	Balboa Park
<b>EAST:</b>	Parks; OP-1-1.	Marston House
<b>WEST:</b>	Very High Residential; MR-400.	Multi-Family Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	None.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On May 4, 2010, the Uptown Planners voted 13-0-1 to recommend approval of this project.	



PLANNING COMMISSION RESOLUTION NO.  
CONDITIONAL USE PERMIT NO. 700236  
**SPRINT/CLEARWIRE – UPAS CONDOS**  
**PROJECT NO. 199584**

WHEREAS, UPAS HOMEOWNERS ASSOCIATION, Owner and SPRINT/CLEARWIRE, Permittee, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 700236), on portions of a .62 acre site;

WHEREAS, the project site is located at 666 Upas Street in the MR-400 zone of the Uptown Community Planning area;

WHEREAS, the project site is legally described as Lot 1, 2 and 3 of Park Upas in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 5161 filed in the Office of County Recorder of San Diego County;

WHEREAS, on August 12, 2010, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 700236, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on August 12, 2010, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated August 12, 2010.

FINDINGS:

**Findings for Conditional Use Permit Approval – Section §126.0305**

**1. The proposed *development* will not adversely affect the applicable *land use plan*;**

The Uptown Community Plan does not address wireless communication facilities as a specific land use; however, Section A.15 of the Urban Design section of the City of San Diego's General Plan does address wireless facilities. The General Plan states that wireless facilities should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The existing antennas are currently façade mounted and covered with identical sized RF boxes. The antennas that are proposed to be replaced will still be housed within the existing RF boxes or located behind FRP screening that will replicate the appearance of the existing mechanical screen. No outward change in appearance will take place. The existing equipment, consisting of three outdoor cabinets are located behind the existing mechanical

screen. The equipment is not visible from a grounded vantage point. The façade mounted antennas will be installed according to mounting standards found both in the Communication Antenna regulations as well as the Wireless Communication Facility Guidelines; therefore, the Upas Condos project will not adversely affect the Uptown Community Plan or the General Plan.

**2. The proposed *development* will not be detrimental to the public health, safety, and welfare;**

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit that requires Sprint and Clearwire to submit a cumulative RF study to demonstrate compliance with the applicable FCC regulations prior to building permit issuance. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of the City’s jurisdiction.

**3. The proposed *development* will comply to the maximum extent feasible with the regulations of the Land Development Code; and**

The facility was originally approved by staff on February 16, 2001. The permit included a ten year expiration, as is customary with these types of facilities. The new project is virtually the same project as the original facility and there will be no outward change in appearance. The requested modifications will enable Sprint to implement their 4G technology through Clearwire. The antennas and all components will be painted and textured to match the building. All equipment cabinets will be required to be painted to match the penthouse. The project complies with all of the development regulations of the RM-400 zone.

**4. The proposed use is appropriate at the proposed location.**

This project is an existing wireless communication facility permitted in 2001 under previous San Diego Municipal Code regulations. The project was processed as a ministerial permit and was approved by staff with a condition allowing the facility to operate for a period of ten years.

The project consists of three antennas installed on the rooftop penthouse, three installed on the eastern façade and three located behind an existing mechanical screen. Ideally, residential uses should not be used if there are other non-residential uses available. However, the topography in the area and the building height make this particular site conducive for a wireless facility as opposed to other adjacent properties that are lower in elevation. The facility has existed at this location for nine years with no complaints and all WCF components are either invisible from a ground perspective or painted and textured to match the penthouse. Based on the concealment of the antennas and associated equipment and the carrier’s coverage and height requirements, this facility is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 700236 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 700236, a copy of which is attached hereto and made a part hereof.

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Karen Lynch-Ashcraft  
Development Project Manager  
Development Services

Adopted on: August 12, 2010

Internal Order No. 24000519

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24000519

**CONDITIONAL USE PERMIT NO. 700236**  
**SPRINT/CLEARWIRE – UPAS CONDOS**  
**PROJECT NO. 199584**  
**PLANNING COMMISSION**  
**DRAFT**

This Conditional Use Permit No. 700236 is granted by the Planning Commission of the City of San Diego to UPAS HOWEOWNERS ASSOCIATION, Owner, and SPRINT/CLEARWIRE, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420. The .62-acre site is located at 666 Upas Street in the MR-400 zone of the Uptown Community Planning area. The project site is legally described as: Lot 1, 2 and 3 of Park Upas in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 5161 filed in the Office of County Recorder of San Diego County.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 12, 2010, on file in the Development Services Department.

The project shall include:

- a. An existing wireless communication facility consisting of six panel antennas to be modified to include the following: North Sector – two (2) Sprint panel antennas and one (1) Clearwire panel antenna each encased in an FRP box; East Sector – two (2) Sprint panel antennas and one (1) Clearwire, façade mounted onto the building and covered with an FRP box and two (2) Clearwire microwave dishes located behind the existing mechanical screen; and South Sector – one (1) Clearwire microwave dish located behind the existing mechanical screen. Three existing Sprint equipment cabinets are located on the rooftop behind the mechanical screen and Clearwire will add another cabinet to this location;



- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within six (6) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. This **Permit** and corresponding use of this site shall **expire on August 12, 2020**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for compliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize **the Owner/Permittee** or their tenants to utilize this site for wireless communication purposes beyond the permit expiration date. Implicit use of this permit beyond the effective date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to

control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**PLANNING/DESIGN REQUIREMENTS:**

14. All performance conditions in this permit must be completed within 90 days of this approval.
15. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
16. Within 90 days of approval of this permit, all equipment cabinets shall be painted to match the penthouse wall where they are located.
17. Prior to obtaining building permits, the construction documents shall include a note that all equipment cabinets shall be painted to match the penthouse.
18. Within 90 days of approval of this permit, all antenna screen boxes shall be repainted to match the corrugated metal upon which they are mounted.
19. Prior to the issuance of a construction permit, the telecommunication provider shall provide certification describing evidence that the cumulative field measurements of radio frequency power densities for all antennas installed on the premises are below the federal standards.
20. All equipment, including transformers, emergency generators and air conditioners shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
21. Prior to obtaining a Construction Permit the following items must be illustrated on the construction drawings; coax cable tray, meters, telco, A/C units, generator receptacles, cable runs, bridges, dog houses and external ports. These appurtenances must be minimized visually so as to avoid the effect of changing the outward appearance of the project from what was approved on the exhibits.
22. The applicant of record is responsible for notifying the city prior to the sale or takeover of this site to any other provider.
23. This wireless communication facility shall be removed or replaced if it is determined that the facility or components of the facility are obsolete.
24. Directional antennas when installed on a building façade shall be installed as illustrated in Exhibit A. All coaxial cable must be hidden from view. No mounting pipes or similar apparatus

shall be visible in any type installation. For removed or future antennas, no exposed mounting apparatus shall remain absent antennas.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 12, 2010 and Resolution No. XXXXXX.



Permit Type/PTS Approval No.: CUP No. 700236

Date of Approval: August 12, 2010

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

\_\_\_\_\_  
Karen Lynch-Ashcraft  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**Upas Homeowners Association**  
Owner

**Sprint**  
Permittee

By \_\_\_\_\_  
NAME  
TITLE

By \_\_\_\_\_  
NAME  
TITLE

**Clearwire**  
Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

NOTICE OF EXEMPTION

ATTACHMENT 7

TO:  X  RECORDER/COUNTY CLERK  
P.O. BOX 1750, MS A-33  
1600 PACIFIC HWY, ROOM 260  
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO  
DEVELOPMENT SERVICES DEPARTMENT  
1222 FIRST AVENUE, MS 501  
SAN DIEGO, CA 92101

\_\_\_\_ OFFICE OF PLANNING AND RESEARCH  
1400 TENTH STREET, ROOM 121  
SACRAMENTO, CA 95814

PROJECT NO.: 198251 PROJECT TITLE: Sprint/Clearwire Upas Condos

PROJECT LOCATION-SPECIFIC: 666 Upas Street, San Diego, CA

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit to modify an existing wireless communication facility by replacing two (2) panel antennas and adding two (2) new panel antennas. The project is located on the roof of an existing multi-residential building at 666 Upas Street in the MR-400 Zone of Mid City Communities Planned District. The project site is also within the Uptown Community Plan and the FAA Part 77 Overlay.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Mike McNelly, Clearwire  
4400 Carillon Point  
Kirkland, WA 98033  
619-454-1839

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: 15301: EXISTING FACILITIES

REASONS WHY PROJECT IS EXEMPT: The proposed activity is exempt from CEQA pursuant to Section 15301 (Existing Facilities) of the State CEQA Guidelines. None of the exceptions described in CEQA Guidelines Section 15300.2 apply, and the project has no potential to result in significant effect on the environment.

LEAD AGENCY CONTACT PERSON: M. Blake

TELEPHONE: (619) 446-5375

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?  
 YES  NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Michael McG / Senior Planner  
SIGNATURE/TITLE

2/12/10  
DATE

CHECK ONE:  
 SIGNED BY LEAD AGENCY  
 SIGNED BY APPLICANT

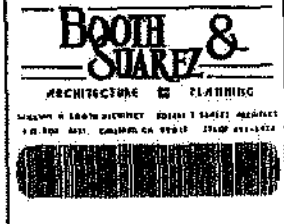
DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:

# Sprint clearwire®

Together with NEXTEL

## UPAS CONDOS SD34XC670/CA-SDG5249A

666 UPAS STREET  
SAN DIEGO, CA 92103



### FAA, TITLE 14, PART 77 EXEMPTION

"I WILLIAM M. BOOTH DO HEREBY CERTIFY THAT THE STRUCTURE(S) OR MODIFICATION TO EXISTING STRUCTURE(S) SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION BECAUSE PER SECTION 77.15 (a) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS (CFR) PART 77, NOTIFICATION IS NOT REQUIRED."



### LEGAL DESCRIPTION

LOTS 1, 2 AND 3 IN PARK UPAS, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5161, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, APRIL 22, 1963.

EXCEPTING THEREFROM ALL UNITS AS SHOWN ON THE AMENDED DEL PRADO CONDOMINIUM PLAN RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 16, 1972 AS DOCUMENT NO. 216496 OF OFFICIAL RECORDS.

### PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

**UPAS CONDOS**  
 SD34XC670/CA-SDG5249A  
 666 UPAS STREET  
 SAN DIEGO, CA 92103

### PROJECT INFORMATION

#### PROJECT DESCRIPTION:

CLEARWIRE PROPOSES TO REPLACE (2) PANEL ANTENNAS AND ADD (3) DIRECTIONAL ANTENNAS TO AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY. THE PANEL ANTENNAS SHALL BE MOUNTED INSIDE EXISTING RF TRANSPARENT SCREENS AND THE DIRECTIONAL ANTENNAS SHALL BE FACADE MOUNTED TO THE EXISTING MECHANICAL SCREEN BEHIND NEW SCREEN BOXES. A NEW EQUIPMENT CABINET IS ALSO PROPOSED TO BE MOUNTED ON AN EXISTING STEEL PLATFORM ON THE ROOF OF THE EXISTING BUILDING.

#### APPLICANT:

CLEARWIRE  
5781 COPLEY DRIVE, SUITE 100  
SAN DIEGO, CA 92111  
CONTACT: ANNE FORD  
PHONE: (619) 454-1830

#### PROPERTY OWNER:

666 UPAS HOMEOWNERS ASSOCIATION  
666 UPAS STREET  
SAN DIEGO, CA 92103  
CONTACT: BOB BRODER  
PHONE: (619) 260-0500

#### CODE INFORMATION:

ZONING CLASSIFICATION: MCPPD-MR-400  
FAA PART 77

#### TOWER OWNER:

N/A

#### JURISDICTION: CITY OF SAN DIEGO

BUILDING CODE: 2007 CBC

EXISTING CONSTRUCTION TYPE: I-A

PROPOSED CONSTRUCTION TYPE: I-A

EXISTING OCCUPANCY: R-3

PROPOSED OCCUPANCY: B

EXISTING USE: TELECOMMUNICATIONS FACILITY

PROPOSED USE: TELECOMMUNICATIONS FACILITY

#### PERMIT REQUIRED:

CONDITIONAL USE PERMIT

#### POWER COMPANY:

SDG&E  
PHONE: 1-800-336-7343

#### SITE LOCATION: (BASED ON NAD 83):

LATITUDE: 32.7414° N

LONGITUDE: -117.1566° W

TOP OF STRUCTURE AGL: 180'-0"

BASE OF STRUCTURE AMSL: 293'-0"

#### PARCEL NUMBER(S):

452-430-27-66

#### AREA OF PARCEL:

0.82 ACRES

#### PROJECT AREA:

100 S.F. LEASE AREA

#### PROJECT LEAD:

CONTACT: KEVIN BECKER, WESTOWER  
PHONE: (658) 992-5973

#### SITE ACQUISITION:

CONTACT: ALEX TSATUROV, WESTOWER  
PHONE: (658) 472-4048

#### PERMITTING:

CONTACT: ALEX TSATUROV, WESTOWER  
PHONE: (658) 472-4048

#### CONSTRUCTION:

CONTACT: KEVIN HALE, WESTOWER  
PHONE: (619) 335-8434

#### RF ENGINEER:

CONTACT: MICHAEL ZELLER, CLEARWIRE  
PHONE: (780) 272-0023

#### BH ENGINEER:

CONTACT: VALENTINE ARHMAN  
PHONE: (248) 212-4233

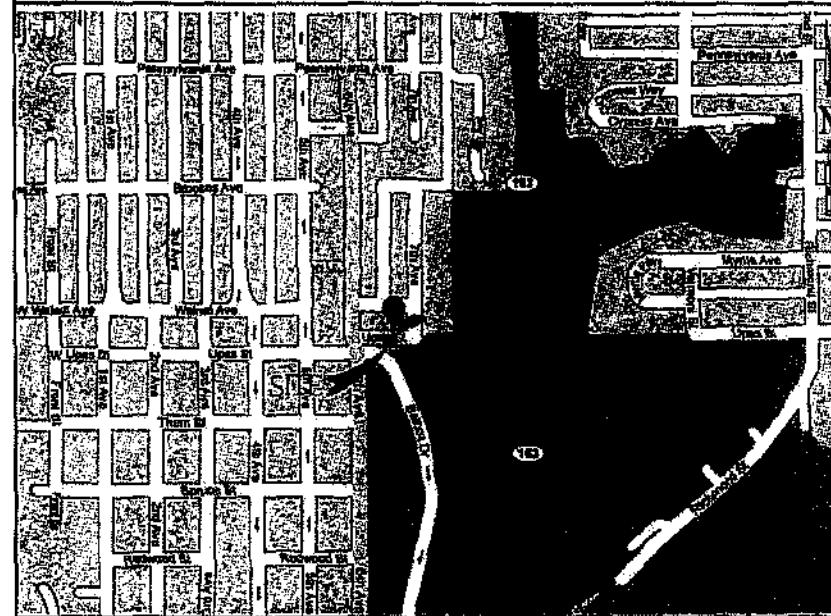
#### EXISTING CARRIERS:

SPRINT/NEXTEL  
VERIZON

#### GENERAL INFORMATION:

1. PARKING REQUIREMENTS ARE UNCHANGED.
2. TRAFFIC IS UNAFFECTED.
3. NO COMMERCIAL SIGNAGE IS PROPOSED.
4. NO ADDITIONAL IMPERVIOUS AREA IS PROPOSED.

### VICINITY MAP



### DRIVING DIRECTIONS

FROM THE CLEARWIRE OFFICE AT 5781 COPLEY DRIVE, SUITE 100, SAN DIEGO, CA 92111:

- START OUR DRIVING EAST ON COPLEY DRIVE TOWARD HICKMAN FIELD DRIVE (0.0 MILES)
- TURN RIGHT ONTO HICKMAN FIELD DRIVE (0.4 MILES)
- TURN LEFT ONTO CONVOY COURT (0.3 MILES)
- TURN RIGHT ONTO SHARLINE STREET (0.1 MILES)
- TURN RIGHT ONTO CLAREMONT MESA BOULEVARD (0.4 MILES)
- MERGE ONTO I-805 S (1.9 MILES)
- MERGE ONTO CA-163 S TOWARD DOWNTOWN (4.2 MILES)
- TAKE EXIT 20 TOWARD UNIVERSITY AVENUE (0.2 MILES)
- TURN SLIGHT RIGHT ONTO 5TH AVENUE
- TURN RIGHT ONTO THORN STREET (0.1 MILES)
- TURN RIGHT ONTO 5TH AVENUE (0.1 MILES)
- TURN RIGHT ONTO UPAS STREET (0.1 MILES)
- TURN LEFT ONTO 6TH AVENUE (0.0 MILES)
- TURN RIGHT ONTO UPAS STREET (0.0 MILES)
- END AT 666 UPAS STREET

APPROVAL	DATE	SIGNATURE
CLEARWIRE:		
LANDLORD:		
CONST:		
S/A:		
R.F.:		
ZONING:		
A&E:		
R.F.:		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

### DRAWING INDEX

- T-1 TITLE SHEET
- T-2 GENERAL NOTES & SPECIFICATIONS
- A-0 SITE PLAN
- A-1 EQUIPMENT PLAN
- A-2 ROOF & ANTENNA PLANS
- A-3 EXTERIOR ELEVATIONS
- A-3.1 EXTERIOR ELEVATIONS
- A-4 EQUIPMENT DETAILS
- A-5 ANTENNA DETAILS

### APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- CALIFORNIA BUILDING CODE, TITLE 24, 2007 EDITION
- CALIFORNIA PLUMBING CODE, 2007 EDITION
- CALIFORNIA MECHANICAL CODE, 2007 EDITION
- CALIFORNIA ELECTRICAL CODE, 2007 EDITION
- CALIFORNIA FIRE CODE, 2007 EDITION
- CALIFORNIA ENERGY CODE, 2007 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

### ABBREVIATIONS

A/C	AIR CONDITIONING	HORIZ	HORIZONTAL	PLYWD	PLYWOOD
AGL	ABOVE FINISH GRADE	HR	HOUR	PROJ	PROJECT
APPROX	APPROXIMATELY	HT	HEIGHT	PROP	PROPERTY
		HVAC	HEATING	PT	PRESSURE TREATED
BLDG	BUILDING	ID	INSIDE DIAMETER	REG	REQUIRED
BLK	BLOCKING	IN	INCH	RIA	ROUGH OPENING
CLD	CEILING	INT	INTERIOR	SHT	SHEET
CLR	CLEAR	INSUL	INSULATION	SM	SIMILAR
CONC	CONCRETE	INTL	INTERNATIONAL	SPEC	SPECIFICATION
CONST	CONSTRUCTION	INT	INTERIOR	SQ	SQUARE FOOT
CONT	CONTINUOUS	IBC	INTERNATIONAL BUILDING CODE	SS	STAINLESS STEEL
DBL	DOUBLE	LBS	POUNDS	STL	STEEL
DN	DOWN	MAX	MAXIMUM	STRUCT	STRUCTURAL
DIAG	DIAGONAL	MCH	MECHANICAL	STD	STANDARD
DN	DOWN	MET	METAL	SUSP	SUSPENDED
DET	DETAIL	MFR	MANUFACTURER	THRU	THROUGH
DWG	DRAWING	MGR	MANAGER	TYP	TYPICAL
EA	EACH	MIN	MINIMUM	UNO	UNLESS NOTED OTHERWISE
ELEV	ELEVATION	MISC	MISCELLANEOUS	UNT	UNTYPED
ELEC	ELECTRICAL	NR	NOT APPLICABLE	VERT	VERTICAL
EQ	EQUAL	NTS	NOT TO SCALE	VF	VERIFY IN FIELD
EQUIP	EQUIPMENT	OC	ON CENTER	W/O	WITHOUT
EXT	EXTERIOR	OD	OUTSIDE DIAMETER	WP	WATERPROOF
FN	FINISH				
FLOOR	FLOOR				
FT	FOOT				
GA	GALVE				
GALV	GALVANIZED				
GC	GENERAL CONTRACTOR				
GRND	GROUND				
GYP BD.	GYPSONUM WALL BOARD				

### PROJECT TEAM

#### PROJECT ARCHITECT

WILLIAM BOOTH & ROBERT SUAREZ  
ARCHITECTURE & PLANNING  
P.O. BOX 4651  
CARLSBAD, CA 92018  
PHONE: (760) 434-8474  
FAX: (760) 434-8506  
CONTACT: RANDAL WILLIAMS

#### PROJECT MANAGER

WESTOWER COMMUNICATIONS, INC.  
4445 EASTGATE MALL, SUITE 200  
SAN DIEGO, CA 92121  
CONTACT: KEVIN BECKER  
PHONE: (658) 992-5973

### REVISIONS

NO.	DATE	DESCRIPTION	INITIAL
1	08/11/08	DESIGN REVIEW	rw
2	08/18/08	ISSUE 2D	rw
3	09/22/08	REVISED ISSUE 2D	rw
4	11/20/08	ANTENNA CHANGES	rw
5	01/15/09	SUBMITTAL SET	rw
6	02/05/09	REVISED SUBMITTAL SET	rw
7	04/08/09	PLANNING COMMENTS	rw
8	04/14/09	PLANNING COMMENTS 2	rw

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE  
TITLE SHEET

SHEET NUMBER  
**T-1**

GENERAL SPECIFICATIONS

- 1. THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
2. THIS FACILITY IS AN UNOCCUPIED FIBER TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED PROJECT INCLUDING ELEVATION, ELECTRICAL, MECHANICAL AND STRUCTURAL INSTALLATIONS AS WELL AS WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. SHOULD ANY ERRORS, OMISSIONS, OR DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY CLEARWIRE CONSTRUCTION MANAGER AND THE ARCHITECT IN WRITING. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. IF A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ARCHITECT ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT ALL PROBLEMS THAT RESULT.
4. DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS ARE INTENDED TO BE DIAGNOSTIC ONLY. DIMENSIONS SHOWN HAVE PRECEDENCE OVER DRAWING SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD, UNLESS SPECIFICALLY NOTED. DO NOT FABRICATE ANY MATERIALS OR BEGIN ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
5. THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE DRAWINGS.
6. CONTRACTOR SHALL NOTIFY THE CLEARWIRE CONSTRUCTION MANAGER, THE PROPERTY OWNER AND THE ARCHITECT IF ANY DETAILS ARE CONSIDERED IMPRACTICAL, UNSUITABLE, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO ANY DETAIL. DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MAJOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
7. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE CLEARWIRE CONSTRUCTION MANAGER AND THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL VERIFY ALL TELEPHONE & RADIO EQUIPMENT LAYOUTS, SPECIFICATIONS, INSTALLATION AND FINAL LOCATIONS WITH CLEARWIRE CONSTRUCTION MANAGER PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH EMISSION RADIO SYSTEMS.
9. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS DIFFERENCES REGARDING EXACT MEANINGS, THE CLEARWIRE CONSTRUCTION MANAGER AND THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.
10. THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO CLEARWIRE.
11. THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKMEN ARE ON THE SITE AND SHALL SUPERVISE AND DIRECT ALL WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
12. WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM ACCEPTABLE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:
NRCNA NATIONAL ROOFING CONTRACTORS ASSOCIATION
O'HARE INTERNATIONAL CENTER
10255 N. HIGHWAY ROAD, SUITE 800
ROSEMONT, IL 60018
SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE
CHANTILLY, VA 20151-1200
NLP INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
820 TRANSFER ROAD
ST. PAUL, MN 55114-1400
13. INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
14. THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BRACING, FRAMING, HANGERS OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING THE SAME.
15. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
16. THE CONTRACTOR SHALL PROTECT THE PROPERTY OWNERS, AND CLEARWIRE PROPERTY FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING FINISHES, CONSTRUCTION, STRUCTURE, LANDSCAPING, CURBS, STAIRS, OR EQUIPMENT, ETC. SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF CLEARWIRE, AND THE PROPERTY OWNER, OR THE OWNER'S REPRESENTATIVE, AT THE EXPENSE OF THE CONTRACTOR.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REMEDY, ANY FAILURE, IMPROPER, OR DEFECTIVE MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK BY CLEARWIRE UNDER THIS CONTRACT.

- 18. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, OR CONTACT AN OUTSIDE AGENCY TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONNECTION WITH THE EXECUTION OF WORK.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY CLEARWIRE.
20. THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER, CLEARWIRE, AND THE CITY OR GOVERNING AGENCY.
21. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RETURNING THE CONSTRUCTION DOCUMENTS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. THIS SHALL BE DONE AFTER THE SITE HAS BEEN AWARDED FINAL INSPECTION BY THE RESPONSIBLE BUILDING AGENCY. ONE SET OF RETURNED DRAWINGS SHALL BE PROVIDED TO THE CLEARWIRE CONSTRUCTION MANAGER.
22. THE LATEST EDITION OF ALL PERMITTED AND APPROVED PLANS PERTAINING TO THIS PROJECT SHALL BE KEPT IN A FLAM BOX AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
23. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A DAILY BASIS, EXCEPT FOR THAT SPECIFIED AS REMAINING THE PROPERTY OF THE BUILDING OR PROPERTY OWNER AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANUP THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEAN-UP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A GREEN CLEAN CONDITION AT THE END OF EACH DAY AND VACUUM CLEAN CONDITION, FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE AT COMPLETION OF WORK.
24. THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.
25. ALL EXPOSED METAL SHALL BE HOT-DIPPED GALVANIZED.
26. SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHAL APPROVED MATERIALS IF AND WHERE APPLICABLE TO THIS FACILITY AND PROJECT SITE.
27. PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-AT0BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA CONSTRUCTION.
28. ELECTRICAL POWER SYSTEM SHALL BE GROUNDED PER NEC ARTICLES 250 AND 810.
29. ALL NEW OPENINGS IN THE EXTERIOR ENVELOPE OF CONDITIONED SPACES SUCH AS AT WALL AND ROOF PENETRATIONS SHALL BE GALVANIZED OR SEALED TO LIMIT INFILTRATION OF AIR AND MOISTURE.
30. UPON COMPLETION OF CONSTRUCTION, CLEARWIRE CONSTRUCTION MANAGER SHALL CONDUCT A WALK-THRU WITH PROPERTY OWNER OR REPRESENTATIVE OF PROPERTY OWNER.
31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SYSTEM EQUIPMENT IN A CLEAN WORKING ORDER UNTIL ACCEPTANCE OF THE PROJECT BY CLEARWIRE.
32. INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.

- ROOFING & WATERPROOFING NOTES:
1. CONTRACTOR SHALL CONTACT BUILDING OWNER TO DETERMINE IF ROOF IS UNDER WARRANTY. CONTRACTOR SHALL GUARANTEE THAT ANY AND ALL NEW ROOFING WORK MEETS THE SPECIFICATION OF ANY EXISTING ROOFING WARRANTIES SUCH THAT THE WARRANTY IS NOT MADE VOID AS A RESULT OF THIS WORK. IF IT IS DETERMINED THAT THE ARCHITECT'S DETAILING IS INADEQUATE OR IMPROPER OR IF ANY OTHER DISCREPANCY IS FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE CLEARWIRE PROJECT MANAGER AND THE ARCHITECT IN WRITING. ULTIMATELY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE ORIGINAL ROOF MANUFACTURER'S SPECIFICATIONS.
2. CONTRACTOR SHALL USE METHODS & MATERIALS SIMILAR AND COMPATIBLE WITH EXISTING MATERIALS & CONDITIONS FOR ROOF PATCHING, NEW PENETRATIONS, ETC.
3. THE CONTRACTOR SHALL PROPERLY SEAL ALL NEW ROOF & BUILDING ENVELOPE PENETRATIONS SUCH THAT THE INTEGRITY OF THE ORIGINAL BUILDING ASSEMBLY AND ALL APPLICABLE WARRANTIES ARE MAINTAINED.
4. IF IT IS DEEMED NECESSARY TO REMOVE EXISTING FINISHES AND/OR MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING FINISHES AND MATERIALS TO LIKE-NEW CONDITION. CONTRACTOR SHALL MAINTAIN THE ORIGINAL COLORS TEXTURES & FINISHES UNLESS SPECIFICALLY NOTED TO THE CONTRACTOR OR APPROVED BY THE CLEARWIRE CONSTRUCTION MANAGER IN ADVANCE.
5. AT THE CLEARWIRE CONSTRUCTION MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE ROOFTOP WALKWAYS TO ALL NEW EQUIPMENT INCLUDING ANTENNAS AND ITS UNDS AND ALONG COAX CABLE ROUTING. ON CONVENTIONAL ROOFING, THE WALK PLATS SHALL BE "DUNK BOARDS" AS MANUFACTURED BY APC OR EQUAL. ON SPECIAL ROOFING SYSTEMS SUCH AS SINGLE JOUSSEPH ROOFING WILL REQUIRE A SPECIFIC PRODUCT AS NOTED ON PLANS OR AS REQUIRED BY NOTES 1 & 2 ABOVE.

- PENETRATION AT FIRE-RATED ASSEMBLIES
1. AT THE CLEARWIRE PROJECT MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE "TIGHT" HIGH PERFORMANCE FIRESTOP SYSTEM (FSB01) AT ALL FIRE-RATED PENETRATIONS INSTALLED PER MANUFACTURER'S LATEST INSTALLATION SPECIFICATIONS
2. ALL PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO MAINTAIN AN EQUAL OR GREATER FIRE RATING

PAINTING NOTES & SPECIFICATIONS

- A. GENERAL
1. ALL PAINT PRODUCT LINES SHALL BE SHERWIN WILLIAMS UNLESS SPECIFICALLY NOTED TO THE CONTRARY.
2. CONTRACTOR SHALL PREPARE ALL SURFACES AND APPLY ALL FINISHES PER LATEST EDITION OF MANUFACTURER'S SPECIFICATIONS.
3. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS REGARDING SUFFICIENT DRYING TIME BETWEEN COATS WITH PROVISIONS AS RECOMMENDED BY MANUFACTURER FOR EXISTING WEATHER CONDITIONS.
4. FINISH COLOR AND TEXTURE OF ALL PAINTED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES UNLESS OTHERWISE NOTED.
5. ALL PAINT MATERIAL DATA SHEETS SHALL BE PROVIDED TO THE CLEARWIRE CONSTRUCTION MANAGER.
6. PREPARE PREVIOUSLY PAINTED SURFACE BY LIGHT SANDING WITH 400 GRIT SANDPAPER AND NON-HYDROCARBON WASH. PREPARE GALVANIZED SURFACES BY ACID ETCH OR SOLVENT CLEANING IN ACCORDANCE WITH SSPC-SP-1.
7. FURNISH DROP CLOTHS, SHIELDS, MARKING, AND PROTECTIVE METHODS TO PREVENT SPRAY OR DROPPINGS FROM DAMAGING ADJACENT SURFACES AND FACILITIES.
8. APPLY PAINT BY AIRLESS SPRAY, SANDING LIGHTLY BETWEEN EACH SUCCEEDING ENAMEL COAT ON FLAT SURFACES. APPLY MATERIAL TO ACHIEVE A COATING NO THINNER THAN THE DRY FILM THICKNESS INDICATED.
9. APPLY BLOCK FILLER TO CONCRETE BLOCK CONSTRUCTION AT A RATE TO ENSURE COMPLETE COVERAGE WITH PORES COMPLETELY FILLED.
10. CONTRACTOR SHALL CORRECT RUINS, SACS, HISSSES AND OTHER DEFECTS INCLUDING INADEQUATE COVERAGE AS DIRECTED BY THE CLEARWIRE CONSTRUCTION MANAGER. REPAIRS AS NECESSARY TO JOINT SURFACES WHICH ARE SMOOTH, EVENLY COATED WITH UNIFORM SHEEN AND FREE FROM BUBBLES.
B. PAINTING SCOPE
1. PAINT THE FOLLOWING MATERIALS AND SYSTEMS CHECKED BELOW WITH THE COATING SYSTEM INDICATED.
PAINTING SCOPE
SURFACE TO BE PAINTED COATING SYSTEM UNIT TO BE PAINTED NO. OF COATS TO BE PAINTED
2. COATING SYSTEM SPECIFICATIONS
1. ONE ACRYLIC COATING (SERIES 886) BY SHERWIN WILLIAMS CO. 1 MIL DFT PER COAT APPLIED IN TWO COATS OVER 5TH GENERATION PRIMER (886A50).
2. 100% ACRYLIC LATEX COATING EQUIVALENT TO A-100 (SERIES A-82) BY SHERWIN WILLIAMS CO. 1 MIL DFT PER COAT APPLIED IN TWO COATS OVER SHERWIN PRIMER.
C. PAINT & PRIMER
ANTENNAS
PRIMER - MEM AQUA ED-10252
CORROTHANE II 886W200/886V21
TOPCOAT -
SITE CABINET
PRIMER - MEM AQUA ED-10252
CORROTHANE II 886W200/886V22
TOPCOAT -
CONCRETE MASONRY (NEW)
PRIMER - PRO MAR EXTERIOR BLOCK FILLER
TOPCOAT - 2 COATS A-100 LATEX HOUSE & TRIM SHEEN TO MATCH
CONCRETE STUCCO (EXISTING)
2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH
WOOD
PRIMER - A-100 EXTERIOR ALKID WOOD PRIMER Y-24W200
TOPCOAT - 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH ADJACENT SURFACES
GLU-LAM BEAMS
PRIMER - A-100 EXTERIOR ALKID WOOD PRIMER Y-24W200 TWO COATS SHIP APPLIED PER GLU-LAM MANUFACTURER'S SPECIFICATIONS
TOPCOAT - SUPERPAINT A-80 SERIES A-80 SATIN A-84 GLOSS, TWO COATS SHIP OR FIELD APPLIED AT CONTRACTOR'S OPTION
FIELD CUTS / DAMAGE (PRIOR TO PRIME & PAINT)
PRIME & SECOND COAT - CLIPPING CLEAR WOOD PRESERVATIVE #18B-0356
ALL PENETRATIONS INTO FINISHED GLU-LAM SHALL BE CALKED WITH "SHARPLEY" SEALANT
STEEL TOUCH UP
STEEL THAT HAS BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZED PAINT

STRUCTURAL SPECIFICATIONS

- A. GENERAL
1. PRECEDENCE: UNLESS OTHERWISE NOTED OR SPECIFIED IN THESE DRAWINGS, THE FOLLOWING GENERAL NOTES SHALL APPLY. INFORMATION ON THESE DRAWINGS SHALL HAVE THE FOLLOWING PRECEDENCE:
A. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
B. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
C. MATERIAL NOTES AND SPECIFICATIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS.
2. OTHER TRADES: SEE OTHER SHEETS IN THESE DRAWINGS FOR INFORMATION AND DIMENSIONS NOT SHOWN THAT MAY BE NEEDED TO PROPERLY COMPLETE THIS FOUNDATION WORK.
3. SIMILAR DETAILS: CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
4. SHORING: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. THIS INCLUDES UNDERPINNING EXISTING FOOTINGS WHERE APPLICABLE.
5. MEANS & METHODS: THESE DRAWINGS AND ASSOCIATED DETAILS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.
6. WATERPROOFING: WATERPROOFING AND DRAINAGE DETAILS AND SPECIFICATIONS, AS WELL AS DIMENSIONS SHOWN ON STRUCTURAL DRAWINGS ARE FOR GENERAL INFORMATION PURPOSES ONLY. ARCHITECTURAL WATERPROOFING DETAILS, WHERE APPLICABLE APPEAR ELSEWHERE IN THESE DRAWINGS.
B. STEEL
1. ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS SHALL CONFORM TO ASTM A-36 AND BE FABRICATED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AISC.
2. ALL BOLTS SHALL CONFORM TO ASTM A-307 UNLESS OTHERWISE NOTED ON PLANS. HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A-325.
3. STEEL PIPE COLUMNS SHALL BE GRADE "B" CONFORMING TO ASTM A500.
4. STEEL TUBING SHALL BE GRADE "B" CONFORMING TO ASTM A500.
5. ALL WELDING SHALL BE DONE BY THE SHIELDED ARC METHOD. ALL WELDERS SHALL BE PROPERLY QUALIFIED AND BE PRE-APPROVED. SURPLUS METAL SHALL BE DRESSED OFF TO SMOOTH, EVEN SURFACES WHERE WELDS ARE NOT EXPOSED TO VIEW. ALL WELDING SHALL COMPLY WITH THE LATEST A.W.S. SPECIFICATIONS.
6. THE FOLLOWING WELDING EQUIPMENT MUST BE USED:
A. 220 AMP FUSES
B. ROD OVEN
C. CRIBBERS
7. NO BUZZ BOXES SHALL BE USED.
8. ALL STRUCTURAL STEEL SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE DESIGN ENGINEER AND THE CITY INSPECTOR.
9. ALL HIGH STRENGTH BOLTS SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE CITY INSPECTOR.
10. STEEL THAT HAS BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZING PAINT.
11. WELDING INDICATED IN THESE DRAWINGS IS DESIGNED FOR ONE HALF OF ALLOWABLE CODE STRESSES UNLESS SPECIFICALLY NOTED "FULL STRESS" AT END OF WELD SYMBOL.
C. CONCRETE
1. STRENGTH: CONCRETE FOR THIS PROJECT SHALL HAVE THE FOLLOWING MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT AGE OF 28 DAYS:
LOCATION STRENGTH WEIGHT SLUMP ADMIXTURE
A. MONOPILE FOUNDATION 4000psi 150pcf 4" NONE
B. SLAB AND FOOTING 2500psi 150pcf 4" NONE
2. INSPECTION: CONCRETE WITH SPECIFIED STRENGTH GREATER THAN 2500psi SHALL BE CONTINUOUSLY INSPECTED DURING PLACEMENT BY A DEPUTY INSPECTOR EMPLOYED BY A TESTING LABORATORY APPROVED BY THE BUILDING DEPARTMENT.
3. REBAR GRADES: REINFORCING STEEL SHALL BE CLEAN PREFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:
#4 & SMALLER BARS.....GRADE 60
#5 & LARGER BARS.....GRADE 60
ALL BARS AT CAISSON FOOTINGS.....GRADE 60
4. CEMENT
FOOTINGS & SLABS: TYPE K, LOW ALKALI, CONFORMING TO ASTM C-150
PIER & CAISSON FOOTINGS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150
SEE CONCRETE AN SOIL SULFATE CONTENT NOTES ELSEWHERE ON THIS SHEET
5. AGGREGATE: AGGREGATE USED IN THE CONCRETE SHALL CONFORM TO ASTM C-33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. THE MAXIMUM SIZE AGGREGATE IN CONCRETE WORK SHALL BE THE FOLLOWING:
FOOTINGS, PAD & SLABS 8" THICK OR LESS: 3/4" GRAVEL
PIER CAISSON FOOTINGS: 1" GRAVEL
6. WATER: SHALL BE CLEAN AND FREE FROM DELETERIOUS AMOUNT OF ACIDS, ALKALIS, ORGANIC MATERIALS AND SHALL BE SUITABLE FOR HUMAN CONSUMPTION.

Sprint logo and address: 5781 Copley Drive, Suite 100, San Diego, CA 92111.

Booth & Suarez logo and address: 666 Upas Street, San Diego, CA 92103.

Table with 2 columns: Item, Description. Includes concrete in contact with earth, wall exterior face, wall interior face, structural slabs, beams, girders and columns.

- 1. PENETRATIONS NO SLEEVES OR CHASES SHALL BE PLACED IN BEAMS, SLABS, WALLS AND COLUMNS, EXCEPT THOSE SHOWN ON THESE DRAWINGS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATIONS OF ANY AIR-OR WATER-TIGHT SLEEVES OR CHASES. ALL PLENUMS, ELECTRICAL AND MECHANICAL OPENINGS SHALL BE IN SLEEVES. CORING IS NOT ALLOWED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
2. EMBEDDED ITEMS & ANCHORS: ALL ANCHOR BOLTS, REINFORCING STEEL, DOGS, INSERTS, ETC. SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE. NO REPOSITIONING DURING CONCRETE POUR IS PERMITTED.
3. ANCHORS: ALL ANCHOR BOLTS, REINFORCING STEEL, DOGELS, INSERTS, ETC., SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE. NO REPOSITIONING DURING CONCRETE POUR IS ALLOWED.
4. CURING: SLABS SHALL BE SPRAYED WITH A CURING COMPOUND IMMEDIATELY AFTER FINISHING. CURING COMPOUNDS USED ON CONCRETE WHERE TILE OR FLOOR COVERING IS TO BE BONDED TO THE CONCRETE SURFACE SHALL BE APPROVED BY THE TILE OR FLOOR COVERING MANUFACTURER. KEEP SLAB WET FOR A 7 DAY MINIMUM PERIOD.
5. CONSOLIDATION: ALL CONCRETE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATING EQUIPMENT.

- 6. DIMER
1. ALL FRAMING LUMBER FOR 4X AND LARGER BEAMS SHALL BE NO. 1 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
2. ALL FRAMING LUMBER FOR 3X RAFTERS AND JOISTS SHALL BE NO. 2 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON DRAWINGS.
3. STRIPPING, BLOCKING, BACKING AND OTHER NON-STRUCTURAL LUMBER SHALL BE NO. 2 OR 5D & BTR GRADE DOUGLAS FIR, S4S, 2X4 STUD WALLS SHALL BE D.F. STANDARD & BTR.
4. ALL BEAMS, JOISTS AND RAFTERS SHALL BE INSTALLED WITH CROWN SIDE UP.
5. ROOF PLYWOOD SHALL HAVE A SPAN INDEX RATIO 32/16. EDGE NAIL WITH #6 AT 6" O.C. UNLESS NOTED OTHERWISE ON PLANS. FIELD NAIL WITH #6 AT 12" O.C.
6. PLYWOOD SHEETS SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS AND WITH THE EDGES STAGGERED, UNLESS NOTED OTHERWISE ON THE PLANS.
7. PLYWOOD SHALL BE GRADE MARKED BY DPFA, T&CO, OR PTL AND SHALL CONFORM TO PS 1-83.
8. THE MAXIMUM MOISTURE CONTENT OF ALL LUMBER SHALL NOT EXCEED 19% AT THE TIME OF INSTALLATION.
9. MINIMUM NAILING SHALL COMPLY WITH TABLE 2.30A.9.1 OF THE 2007 CBC. ALL NAILS SHALL BE COMMON WIRE NAILS.
10. ALL BOLTS SHALL HAVE STANDARD CUT WASHERS UNDER HEADS AND/OR NUTS WHERE IN CONTACT WITH WOOD.
11. LAG BOLTS SHALL BE SCREWED INTO PLACE, NOT DRIVEN. LAG BOLTS SHALL BE INSTALLED IN PRE-DRILLED HOLES WITH A DIAMETER EQUAL TO 73% DIAMETER OF BOLT.

REVISIONS table with columns: NO., DATE, DESCRIPTION, INITIAL.

SHEET TITLE: NOTES & SPECIFICATIONS

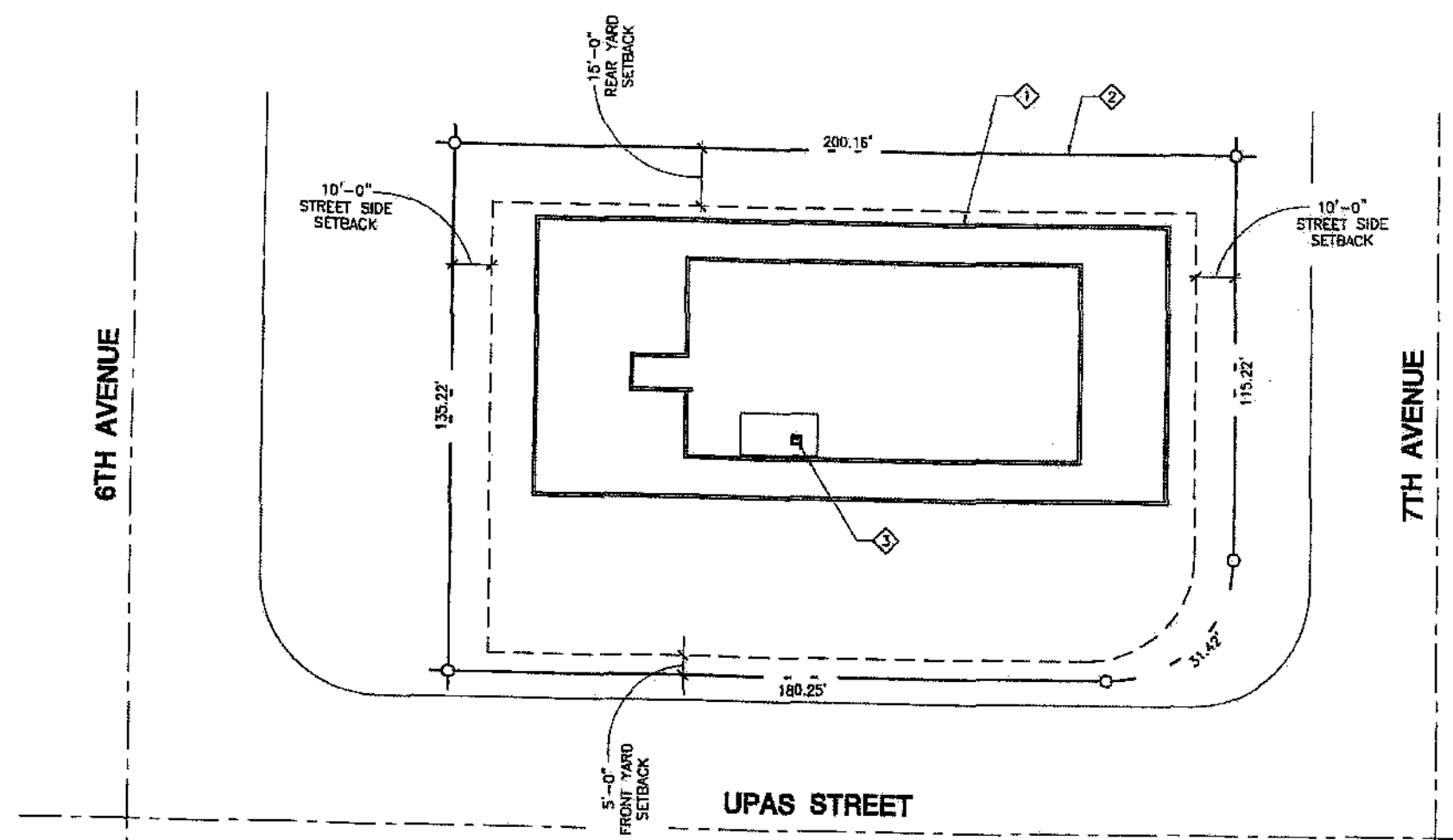
SHEET NUMBER: T-2





**KEYED NOTES:**

- ① EXISTING CONDOMINIUM BUILDING
- ② PROPERTY LINE (TYPICAL)
- ③ PROPOSED CLEARWIRE EQUIPMENT CABINET MOUNTED ON AN EXISTING STEEL PLATFORM ON THE ROOF OF THE EXISTING BUILDING



**SITE PLAN**  
SCALE: 1" = 40'-0"



**NOTE:**  
DIMENSIONS SHOWN ON THIS PLAN TO EXISTING BUILDINGS, & FENCES APPROXIMATE. FIELD VERIFY ALL AS-BUILT CONDITIONS

**CLEARWIRE TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:**

**PANEL:** 2500-2686 MHz BAND WIDTH  
450 WATTS PER SECTOR

**DIRECTIONAL:** 1B & 80 CHz BAND WIDTH  
100 WATTS PER TRANSMITTER

**EXISTING EASEMENTS:**  
NO EXISTING EASEMENTS ARE SHOWN WHICH REFLECTS PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS. EASEMENTS ARE SUBJECT TO REVIEW OF TITLE REPORT.

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REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	04/04/08	DRAWING REVIEW	FW
2	04/04/08	TOUR 2D	FW
3	04/02/08	REVISED TOUR 2D	FW
4	04/02/08	RELOCATED ANTENNAS	FW
5	04/15/08	SUBMITTAL SET	FW
6	04/15/08	REVISED SUBMITTAL SET	FW
7	04/08/08	PLANNING COMMENTS	FW
8	04/11/08	PLANNING COMMENTS 2	FW

**SHEET TITLE**  
SITE PLAN

**SHEET NUMBER**  
**A-0**



Together with NEXTEL  
5761 COPLEY DRIVE, SUITE 100  
SAN DIEGO, CA 92111



ARCHITECTURE & PLANNING

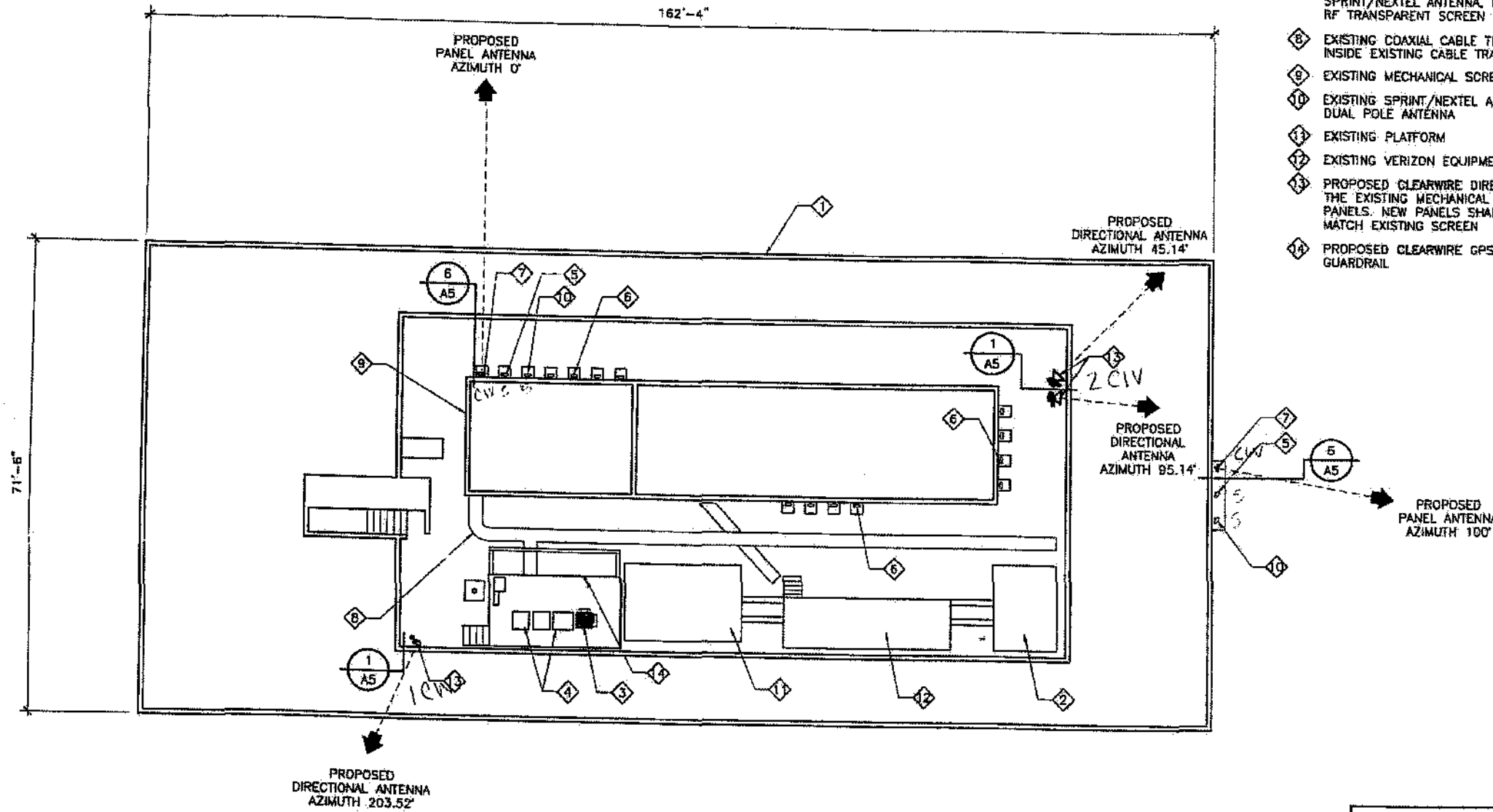
REGISTERED ARCHITECT REGISTERED PLANNING ARCHITECT  
200-704-4441 200-704-4442 (FAX) 200-704-4443



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**KEYED NOTES:**

- 1 EXISTING CONDOMINIUM BUILDING
- 2 EXISTING ROOFTOP MECHANICAL EQUIPMENT (TYPICAL)
- 3 PROPOSED CLEARWIRE EQUIPMENT CABINET MOUNTED ON AN EXISTING STEEL PLATFORM ON THE ROOF OF THE EXISTING BUILDING
- 4 EXISTING SPRINT/NEXTEL EQUIPMENT CABINETS
- 5 EXISTING SPRINT/NEXTEL ANTENNAS BEHIND RF TRANSPARENT SCREENS
- 6 EXISTING VERIZON ANTENNAS IN INDIVIDUAL BOX SCREENS
- 7 PROPOSED CLEARWIRE PANEL ANTENNA TO REPLACE EXISTING SPRINT/NEXTEL ANTENNA PIPE MOUNTED BEHIND AN EXISTING RF TRANSPARENT SCREEN ON THE EXISTING BUILDING
- 8 EXISTING COAXIAL CABLE TRAY: RUN PROPOSED COAXIAL CABLE INSIDE EXISTING CABLE TRAY
- 9 EXISTING MECHANICAL SCREEN
- 10 EXISTING SPRINT/NEXTEL ANTENNA TO BE REPLACED WITH A DUAL POLE ANTENNA
- 11 EXISTING PLATFORM
- 12 EXISTING VERIZON EQUIPMENT
- 13 PROPOSED CLEARWIRE DIRECTIONAL ANTENNA MOUNTED BEHIND THE EXISTING MECHANICAL SCREEN BEHIND NEW RF TRANSPARENT PANELS. NEW PANELS SHALL BE TEXTURED AND PAINTED TO MATCH EXISTING SCREEN
- 14 PROPOSED CLEARWIRE GPS ANTENNA MOUNTED TO THE EXISTING GUARDRAIL



**NOTE:**  
EXACT LOCATION OF PROPOSED ANTENNAS  
MAY CHANGE SLIGHTLY TO AVOID EXISTING  
SCREEN SUPPORT FRAMING

**ROOF PLAN**  
SCALE: 1" = 20'-0"



REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	08/01/09	DRAWING REVIEW	rcw
2	08/18/09	ISSUE 2D	rcw
3	10/22/09	REVISED ISSUE 2D	rcw
4	11/04/09	RELOCATED ANTENNAS	rcw
5	01/13/10	SUBMITTAL SET	rcw
6	02/03/10	REVISED SUBMITTAL SET	rcw
7	04/08/10	PLANNING COMMENTS	rcw
8	04/11/10	PLANNING COMMENTS 2	rcw

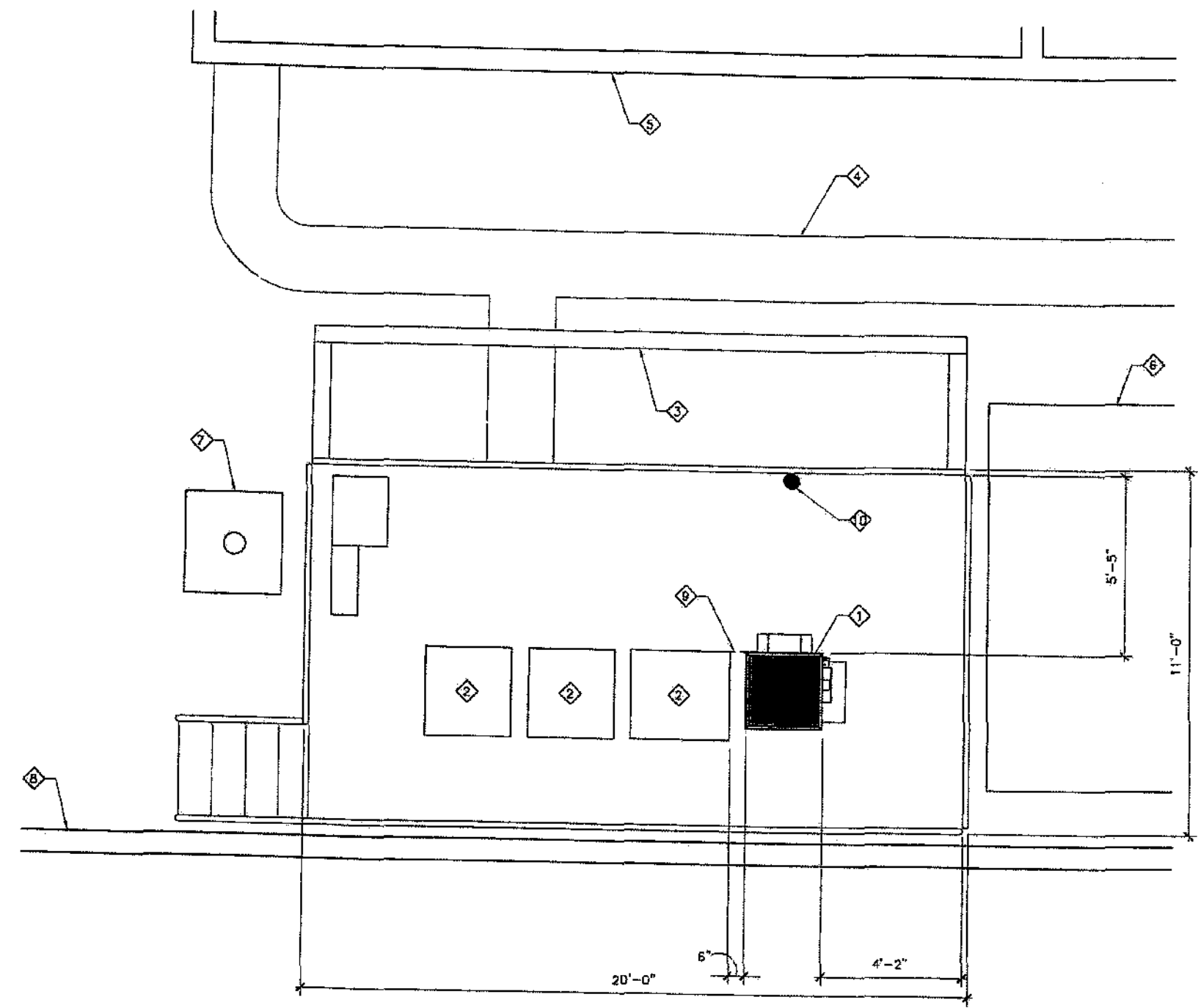
SHEET TITLE  
ROOF PLAN

SHEET NUMBER  
**A-1**



**KEYED NOTES:**

- ① PROPOSED CLEARWIRE EQUIPMENT CABINET MOUNTED ON AN EXISTING STEEL PLATFORM ON THE ROOF OF THE EXISTING BUILDING
- ② EXISTING SPRINT/NEXTEL EQUIPMENT CABINETS
- ③ EXISTING STEEL PLATFORM FRAME
- ④ EXISTING COAXIAL CABLE TRAY, RUN PROPOSED COAXIAL CABLE INSIDE EXISTING CABLE TRAY
- ⑤ EXISTING PENTHOUSE WALL
- ⑥ EXISTING PLATFORM
- ⑦ EXISTING CHIMNEY
- ⑧ EXISTING PARAPET WALL
- ⑨ ALIGN FRONT OF CABINETS
- ⑩ PROPOSED CLEARWIRE GPS ANTENNA MOUNTED TO THE EXISTING GUARDRAIL



**EQUIPMENT PLAN**  
SCALE: 1/4" = 1'-0"

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	02/02/09	DRAWING REVIEW	msf
2	02/18/09	LOGIC 2D	msf
3	02/22/09	REVISED TOOLS 2D	msf
4	01/06/10	RELOCATED ANTENNAS	msf
5	01/13/10	SUBMITTAL SET	msf
6	02/02/10	REVISED SUBMITTAL SET	msf
7	04/06/10	PLANNING COMMENTS	msf
8	06/11/10	PLANNING COMMENTS 2	msf

SHEET TITLE  
EQUIPMENT PLAN

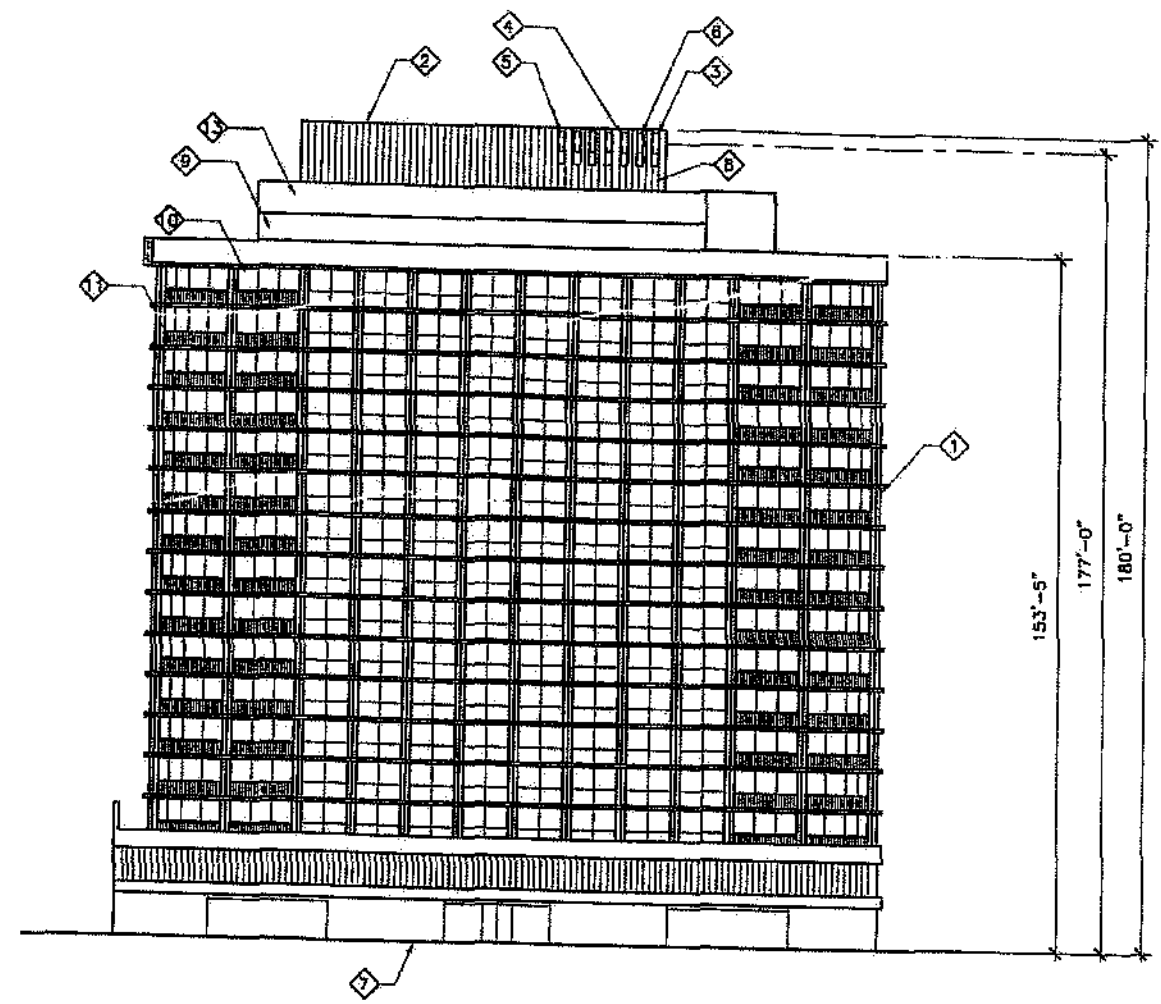
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**A-2**

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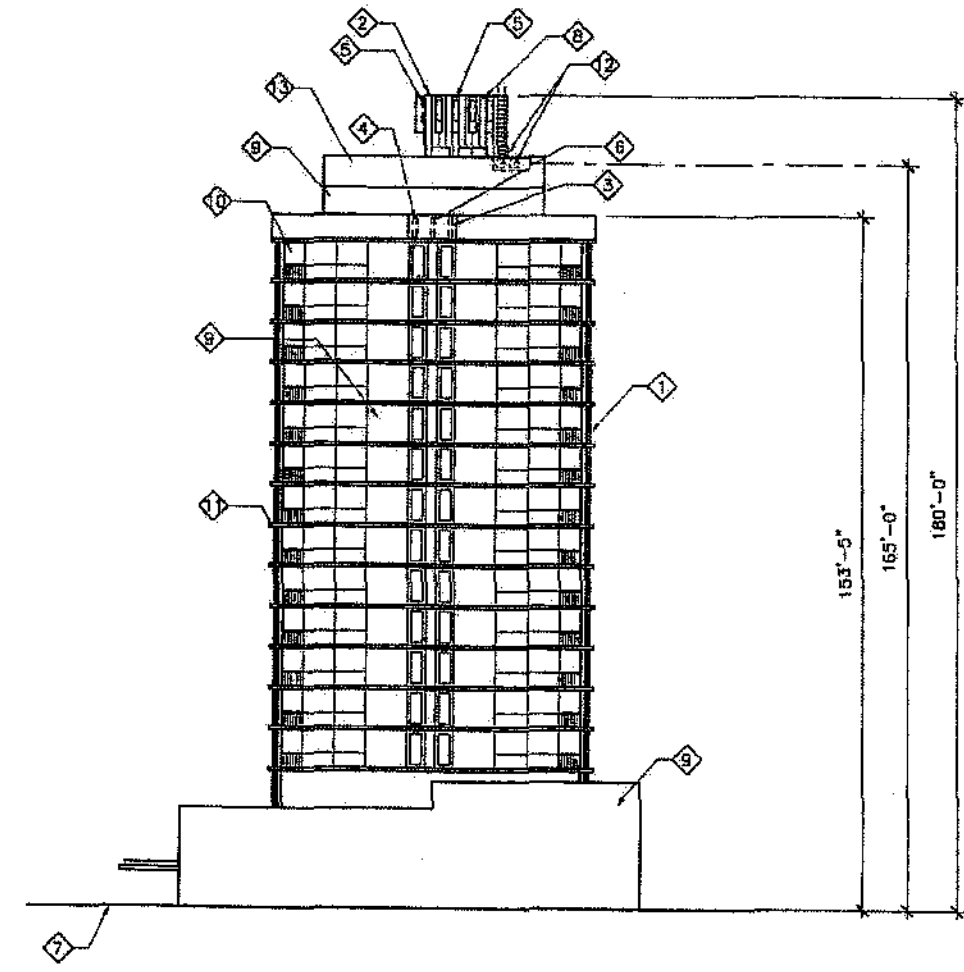


**KEYED NOTES:**

- 1 EXISTING CONDOMINIUM BUILDING
- 2 EXISTING PENTHOUSE
- 3 PROPOSED CLEARWIRE ANTENNA TO REPLACE EXISTING SPRINT/NEXTEL ANTENNA, PIPE MOUNTED BEHIND AN EXISTING RF TRANSPARENT SCREEN ON THE EXISTING BUILDING.
- 4 EXISTING SPRINT/NEXTEL ANTENNA TO BE REPLACED WITH A DUAL POLE ANTENNA
- 5 EXISTING VERIZON ANTENNAS IN INDIVIDUAL BOX SCREENS
- 6 EXISTING SPRINT/NEXTEL ANTENNAS
- 7 EXISTING GRADE
- 8 EXISTING PAINTED CORRUGATED METAL FINISH
- 9 EXISTING PANTED CONCRETE
- 10 EXISTING WINDOW (TYPICAL)
- 11 EXISTING METAL RAIL (TYPICAL)
- 12 PROPOSED CLEARWIRE DIRECTIONAL ANTENNA MOUNTED BEHIND THE EXISTING MECHANICAL SCREEN BEHIND NEW RF TRANSPARENT PANELS. NEW PANELS SHALL BE TEXTURED AND PAINTED TO MATCH EXISTING SCREEN
- 13 EXISTING PAINTED FOAM SCREEN WITH STEEL FRAMING



**NORTH ELEVATION**  
SCALE: 1" = 40'-0"



**EAST ELEVATION**  
SCALE: 1" = 40'-0"

**NOTE:**  
EXACT LOCATION OF PROPOSED ANTENNAS MAY CHANGE SLIGHTLY TO AVOID EXISTING SCREEN SUPPORT FRAMING

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REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	08/01/08	DRAWING REVIEW	RPV
2	08/18/08	100% ZD	RPV
3	09/22/08	REVISED 100% ZD	RPV
4	11/04/08	RELOCATED ANTENNAS	RPV
5	02/13/09	SUBMITTAL SET	RPV
6	02/05/09	REVISED SUBMITTAL SET	RPV
7	04/08/09	PLANNING COMMENTS	RPV
8	04/17/09	PLANNING COMMENTS 2	RPV

SHEET TITLE  
EXTERIOR ELEVATIONS

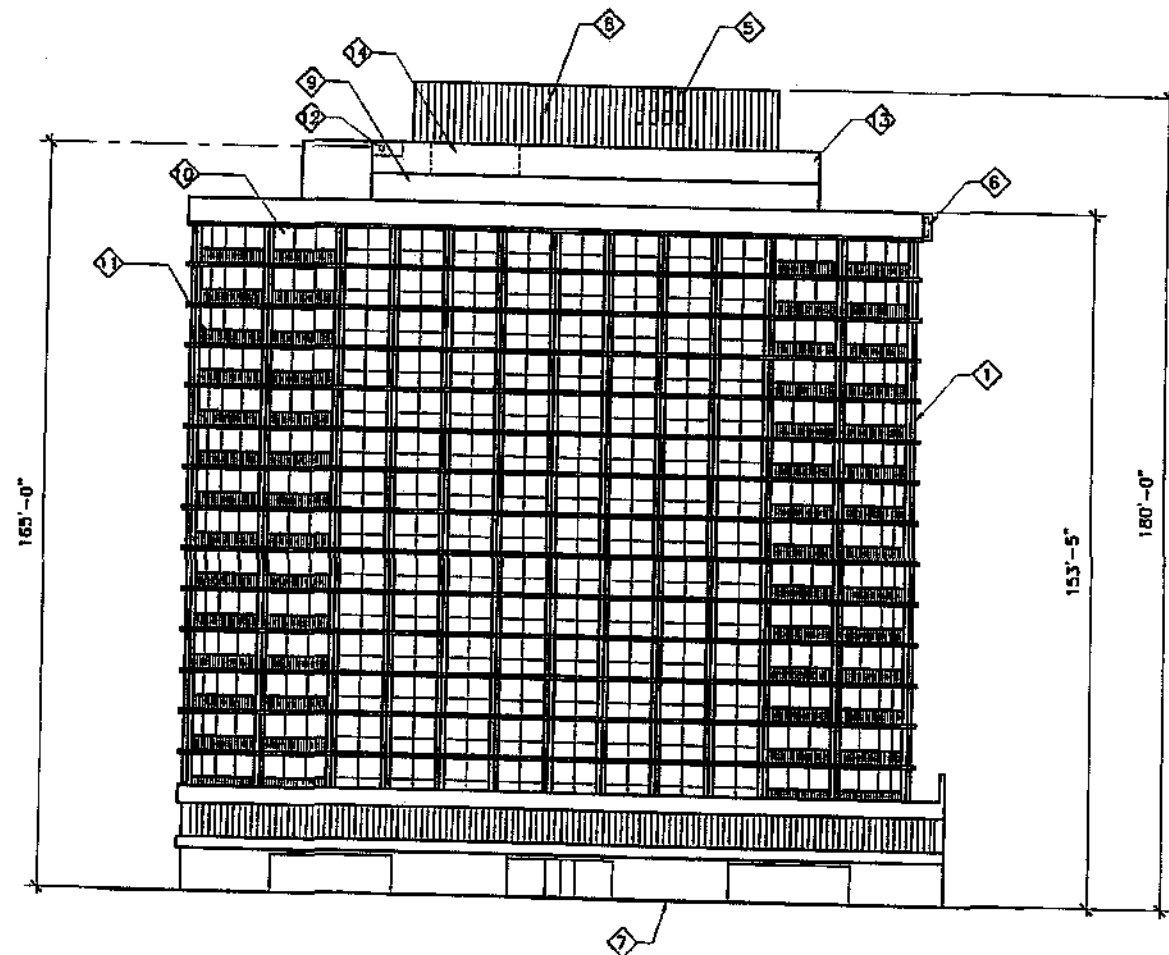
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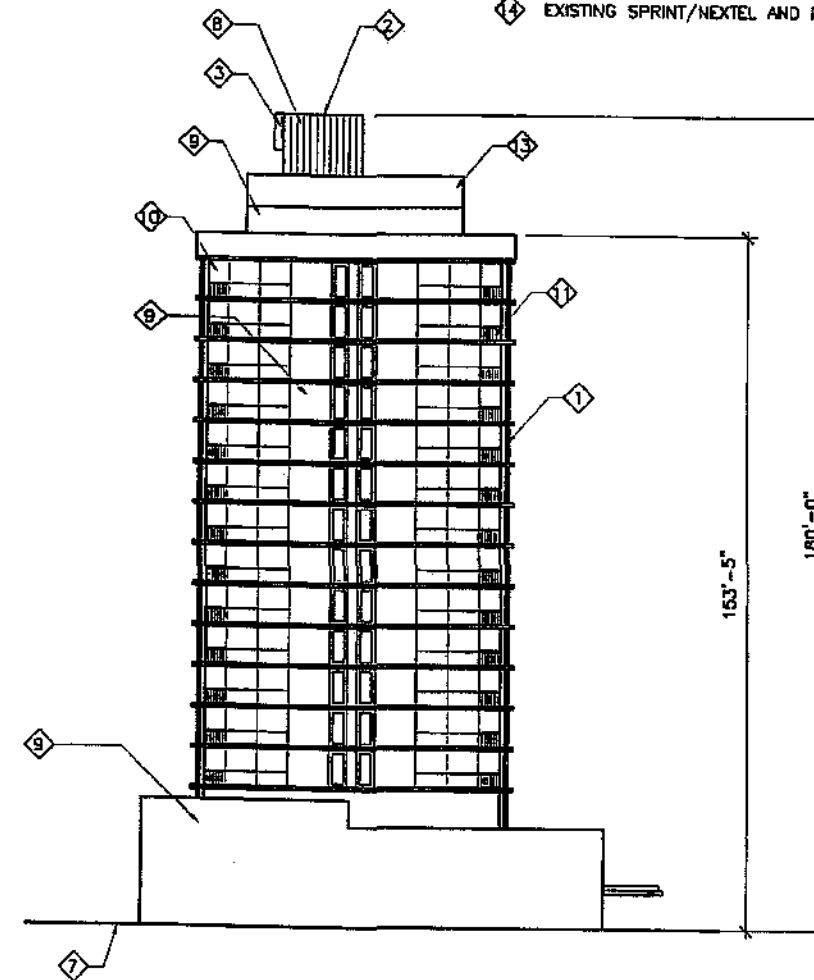


**KEYED NOTES:**

- 1 EXISTING CONDOMINIUM BUILDING
- 2 EXISTING PENTHOUSE
- 3 PROPOSED CLEARWIRE ANTENNA TO REPLACE EXISTING SPRINT/NEXTEL ANTENNA, PIPE MOUNTED BEHIND AN EXISTING RF TRANSPARENT SCREEN ON THE EXISTING BUILDING
- 4 EXISTING SPRINT/NEXTEL ANTENNA TO BE REPLACED WITH A DUAL POLE ANTENNA
- 5 EXISTING VERIZON ANTENNAS IN INDIVIDUAL BOX SCREENS
- 6 EXISTING SPRINT/NEXTEL ANTENNAS
- 7 EXISTING GRADE
- 8 EXISTING PAINTED CORRUGATED METAL FINISH
- 9 EXISTING PAINTED CONCRETE
- 10 EXISTING WINDOW (TYPICAL)
- 11 EXISTING METAL RAIL (TYPICAL)
- 12 PROPOSED CLEARWIRE DIRECTIONAL ANTENNA MOUNTED BEHIND THE EXISTING MECHANICAL SCREEN BEHIND NEW RF TRANSPARENT PANELS. NEW PANELS SHALL BE TEXTURED AND PAINTED TO MATCH EXISTING SCREEN
- 13 EXISTING PAINTED FOAM SCREEN WITH STEEL FRAMING
- 14 EXISTING SPRINT/NEXTEL AND PROPOSED CLEARWIRE EQUIPMENT AREA



**SOUTH ELEVATION**  
SCALE: 1" = 40'-0"



**WEST ELEVATION**  
SCALE: 1" = 50'-0"

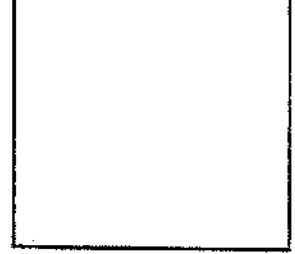
**NOTE:**  
EXACT LOCATION OF PROPOSED ANTENNAS  
MAY CHANGE SLIGHTLY TO AVOID EXISTING  
SCREEN SUPPORT FRAMING

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REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	08/09/08	DRAWING REVIEW	REV
2	08/11/08	100% CD	REV
3	08/22/08	REVISED 100% CD	REV
4	01/02/09	RELOCATED ANTENNAS	REV
5	01/13/09	SUBMITTAL SET	REV
6	02/03/09	REVISED SUBMITTAL SET	REV
7	04/06/09	PLANNING COMMENTS	REV
8	04/11/09	PLANNING COMMENTS 2	REV

SHEET TITLE  
EXTERIOR ELEVATIONS

SHEET NUMBER  
**A-3.1**

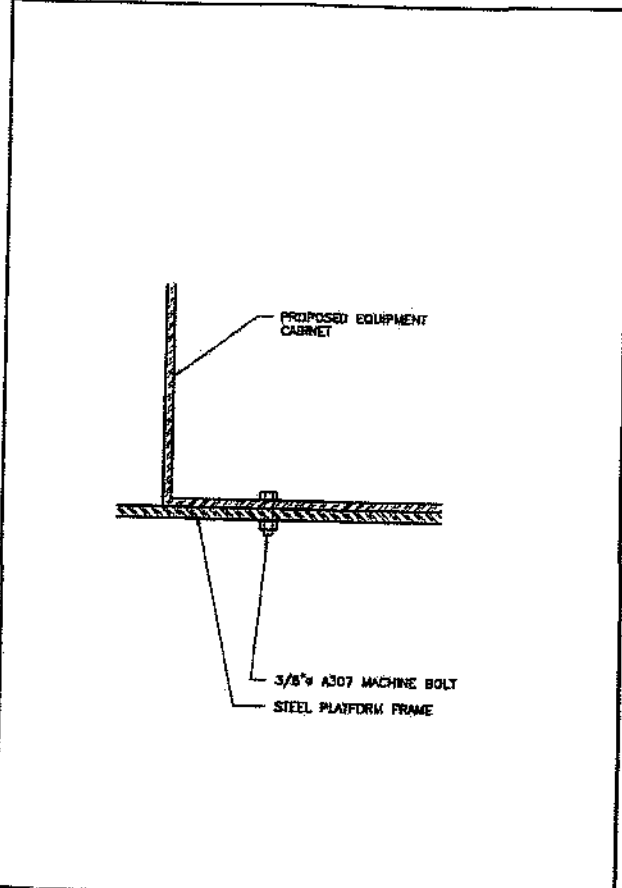


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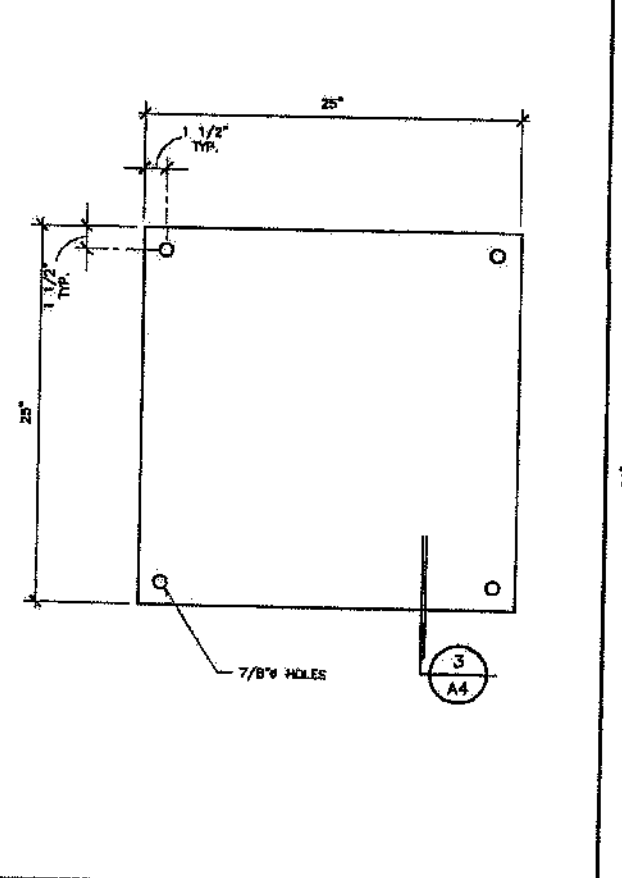
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REV.	DATE	DESCRIPTION	INITIAL
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2	05/14/08	ISSUE 2D	mmf
3	05/22/08	RELOCATED 100K 2D	mmf
4	05/29/08	RELOCATED ANTENNAS	mmf
5	07/11/08	SUBMITTAL SET	mmf
6	08/01/08	REVISION SUBMITTAL SET	mmf
7	08/01/08	PLANNING COMMENTS	mmf
8	08/11/08	PLANNING COMMENT 2	mmf

SHEET TITLE  
 DETAILS

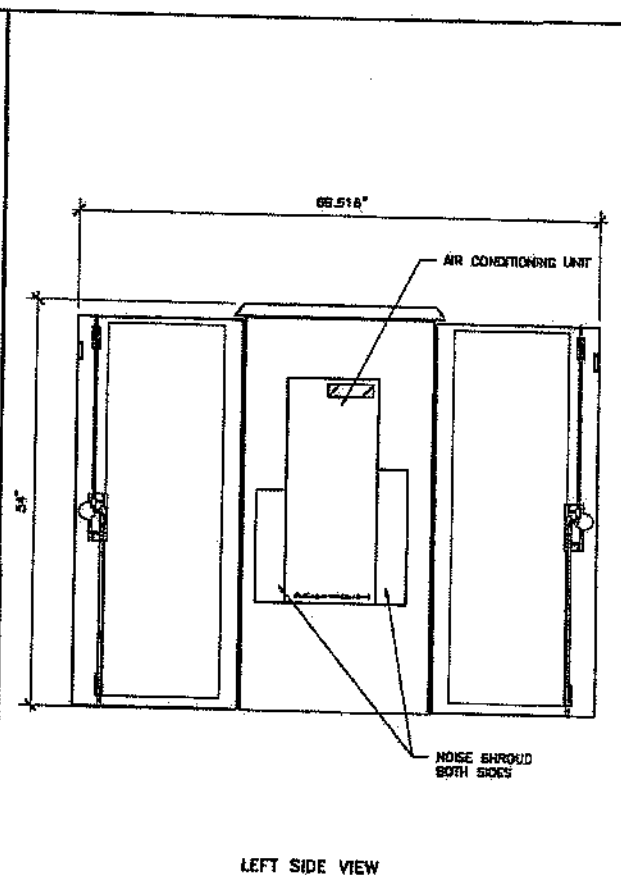
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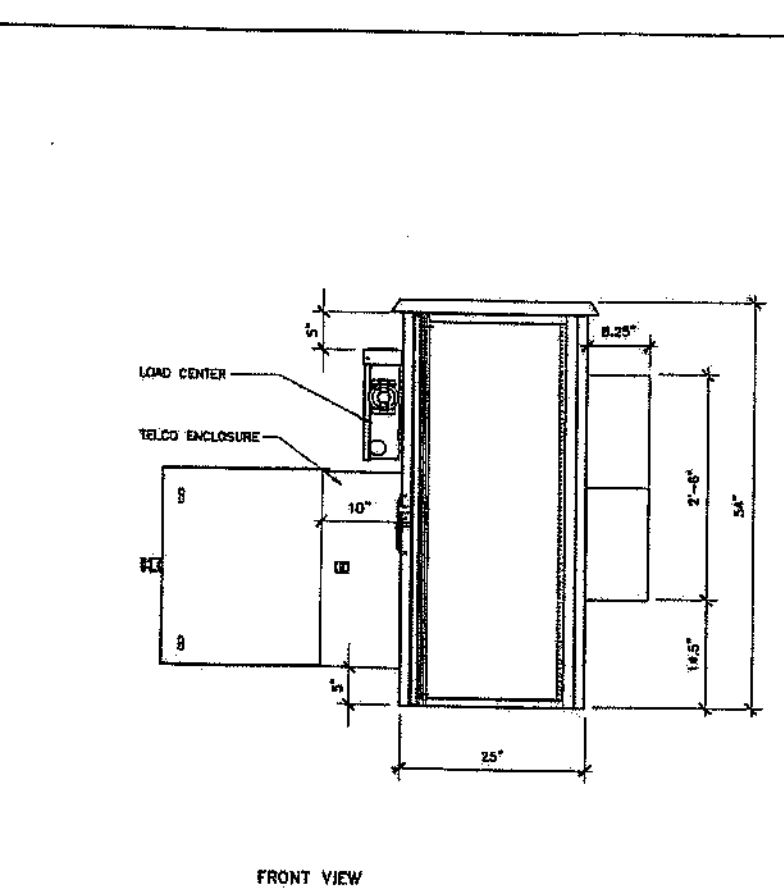
**MOUNTING BOLT** SCALE: 1"=1'-0" **3**



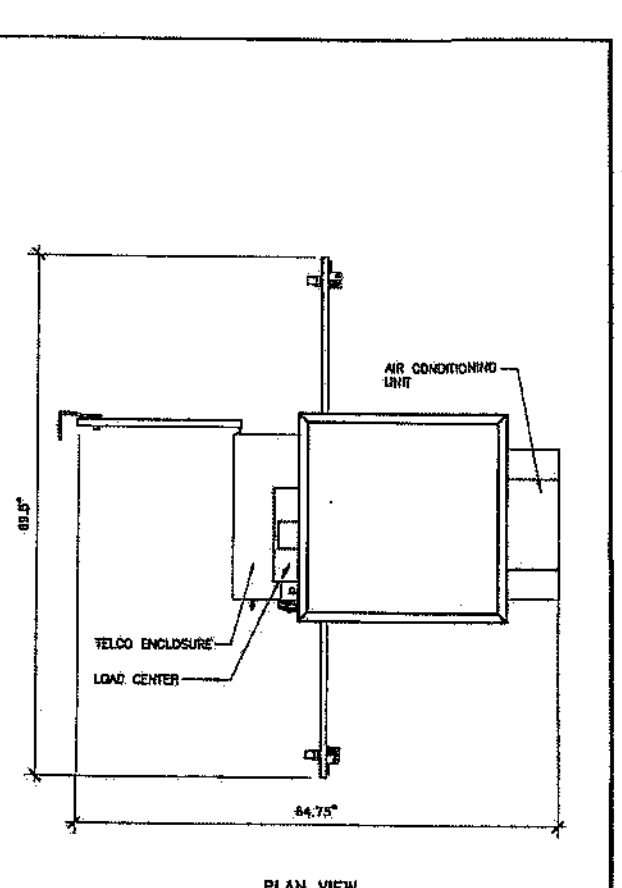
**BOLTING PATTERN** SCALE: 1"=1'-0" **2**



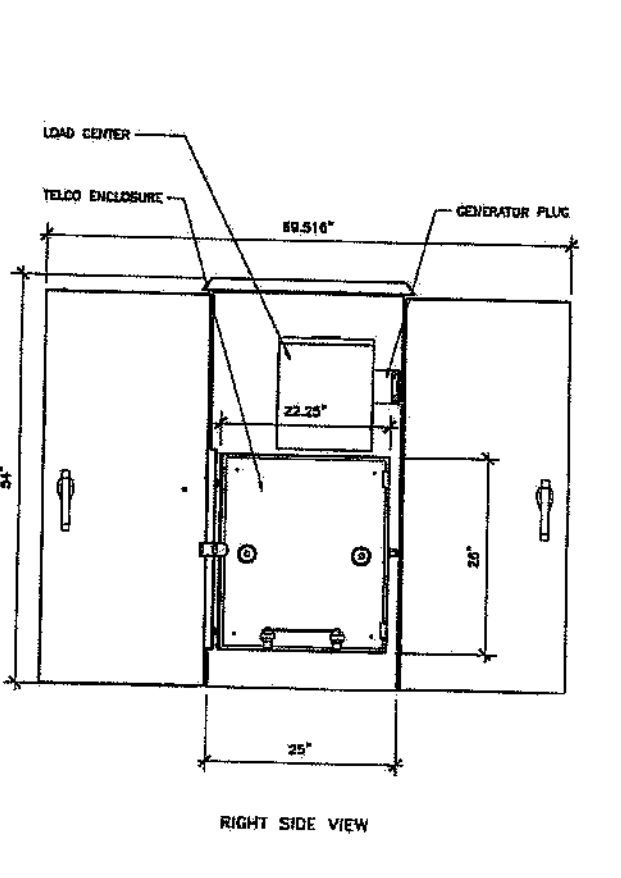
LEFT SIDE VIEW



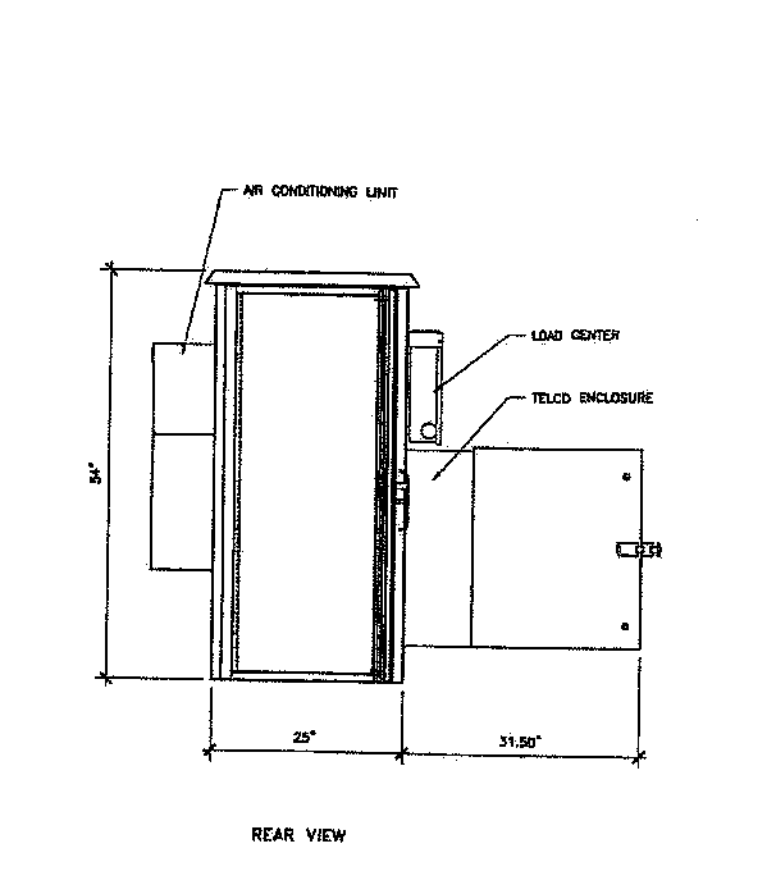
FRONT VIEW



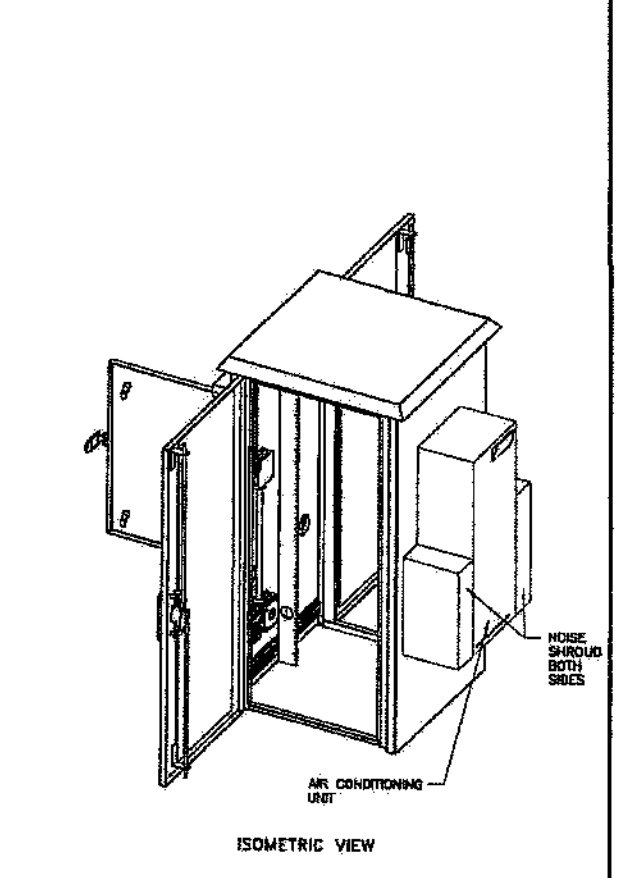
PLAN VIEW



RIGHT SIDE VIEW



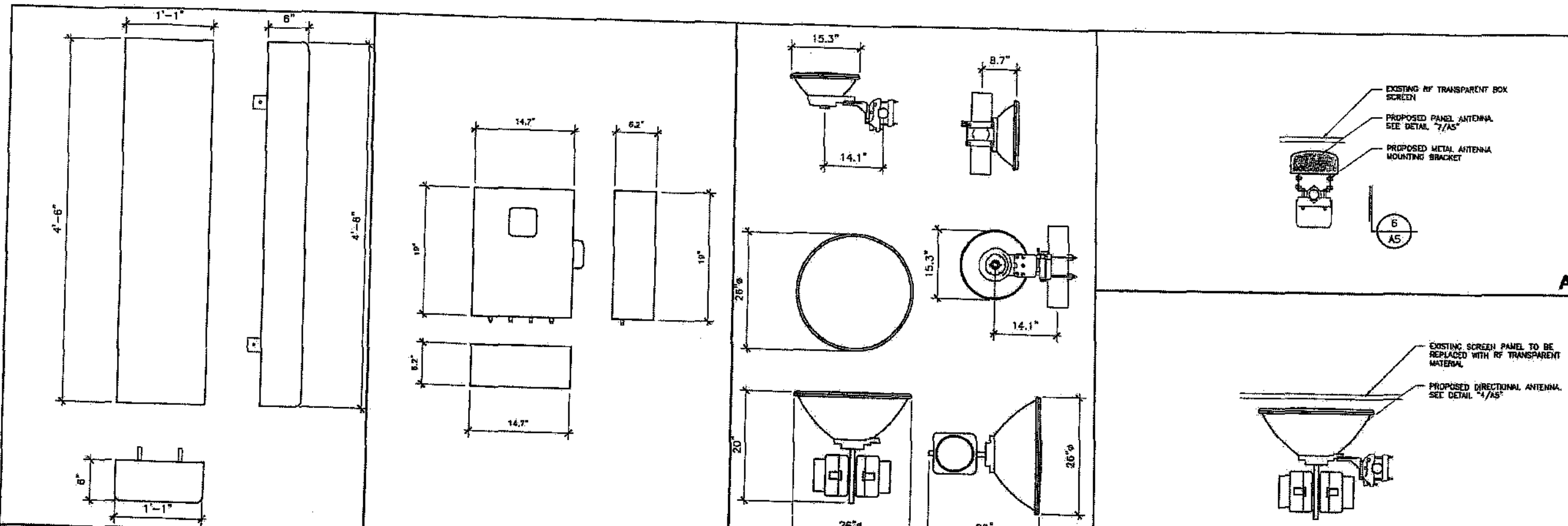
REAR VIEW



ISOMETRIC VIEW

**EQUIPMENT CABINET**

SCALE: NONE **1**



PANEL ANTENNA

SCALE: NONE

7

REMOTE RADIO UNIT (RRU)

SCALE: NONE

5

DIRECTIONAL ANTENNA

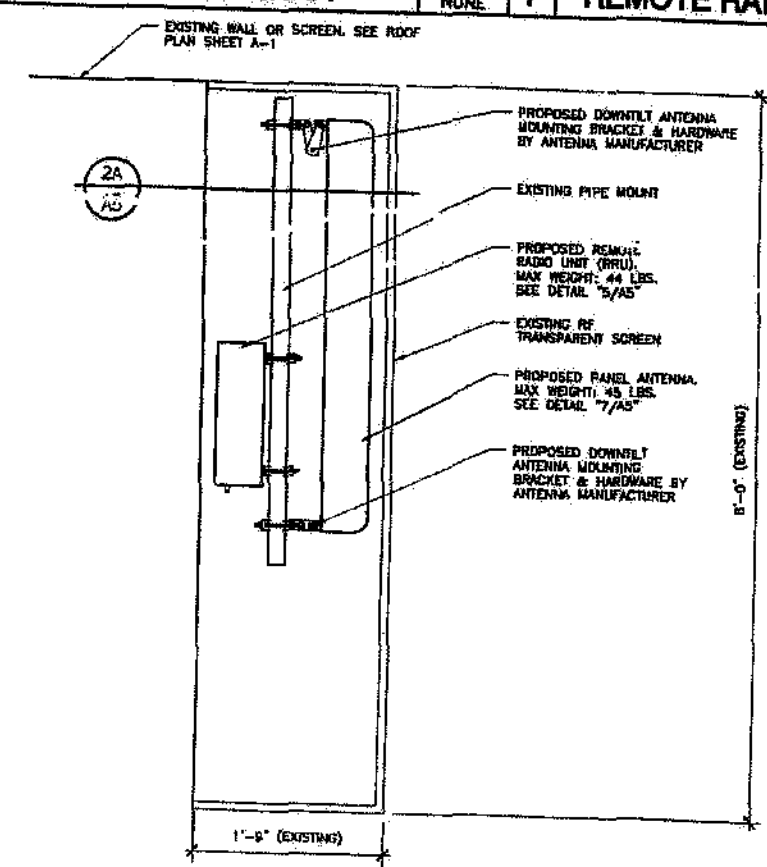
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ANTENNA PLAN VIEW

SCALE: NONE

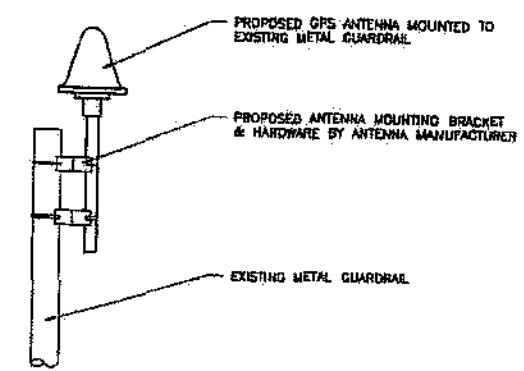
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ANTENNA & RRU MOUNTING DETAIL

SCALE: NONE

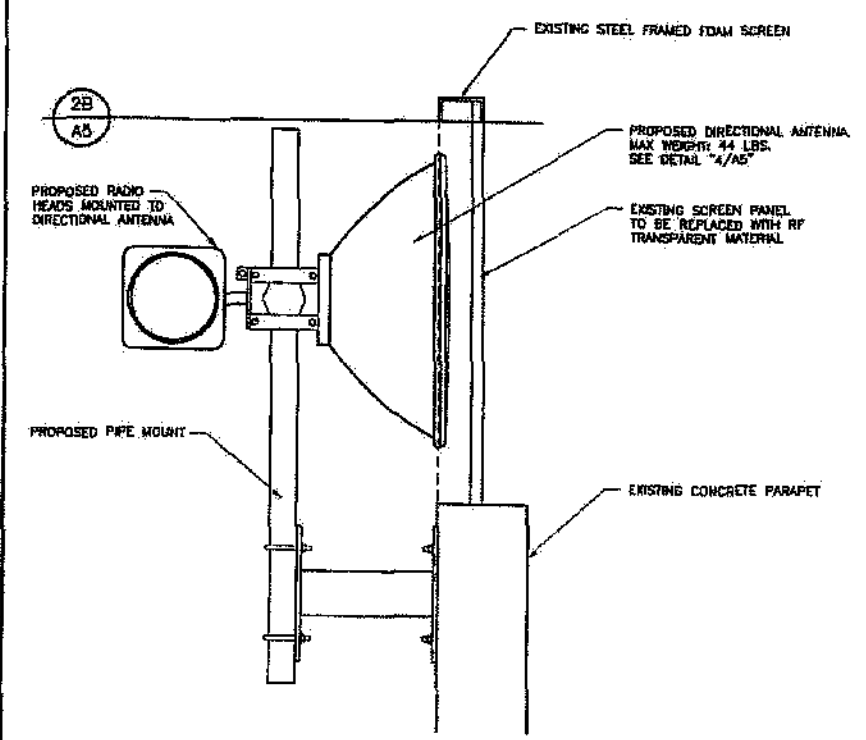
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GPS ANTENNA

SCALE: NONE

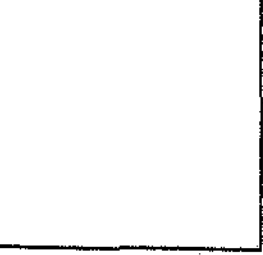
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DIRECTIONAL MOUNTING DETAIL

SCALE: NONE

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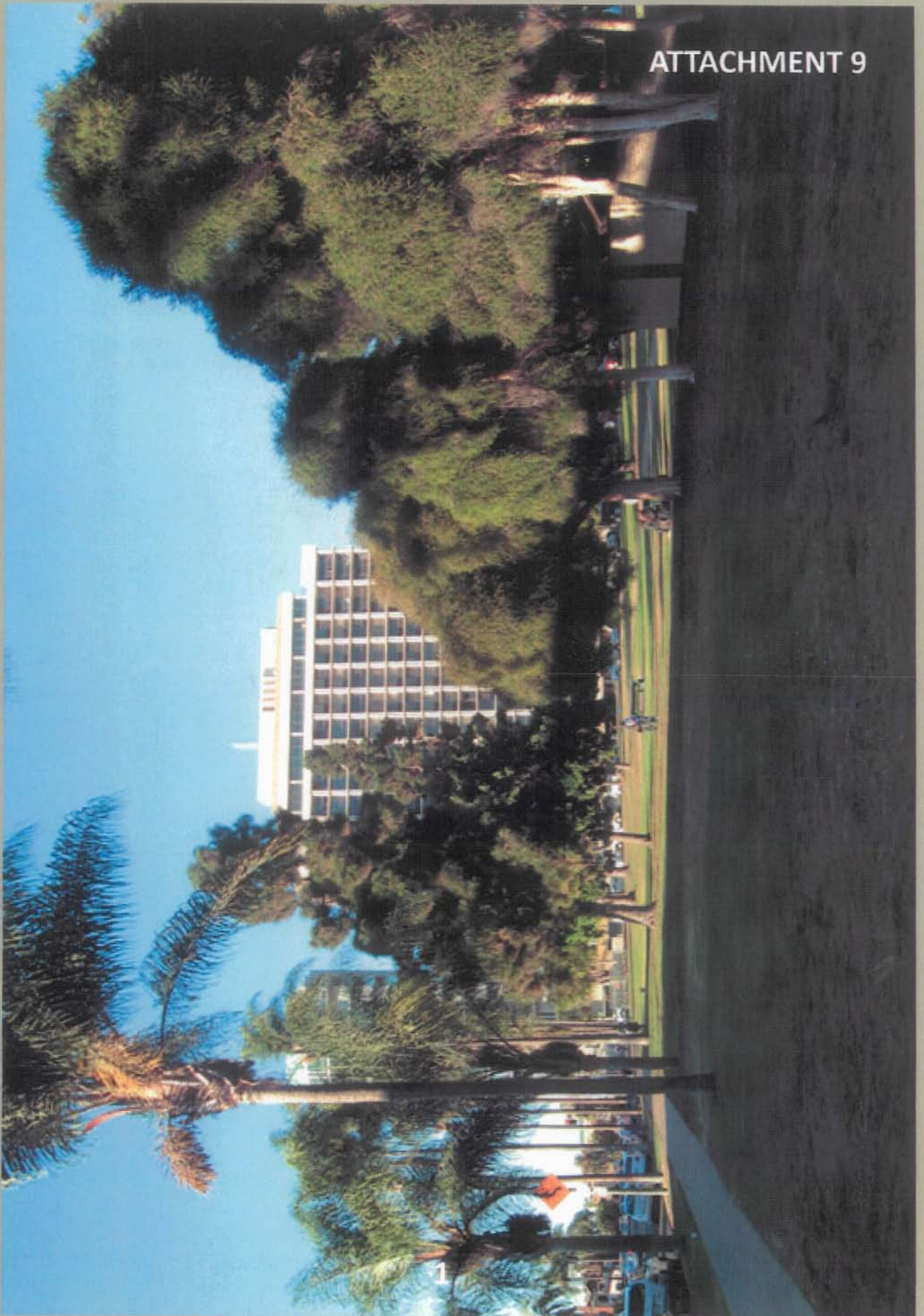
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REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	04/03/08	DRAWING REVIEW	MS
2	04/16/08	LOOK 2D	MS
3	04/22/08	REVISED 100% 2D	MS
4	01/04/09	RELOCATED ANTENNAS	MS
5	01/13/09	SUBMITAL SET	MS
6	02/02/09	REVISED SUBMITAL SET	MS
7	01/08/09	PLANNING COMMENTS	MS
8	04/11/09	PLANNING COMMENTS 2	MS

SHEET TITLE  
DETAILS

SHEET NUMBER  
**A-5**

VIEW 2 - SOUTH ELEVATION



ATTACHMENT 9



EAST ELEVATION-Existing  
Conditions

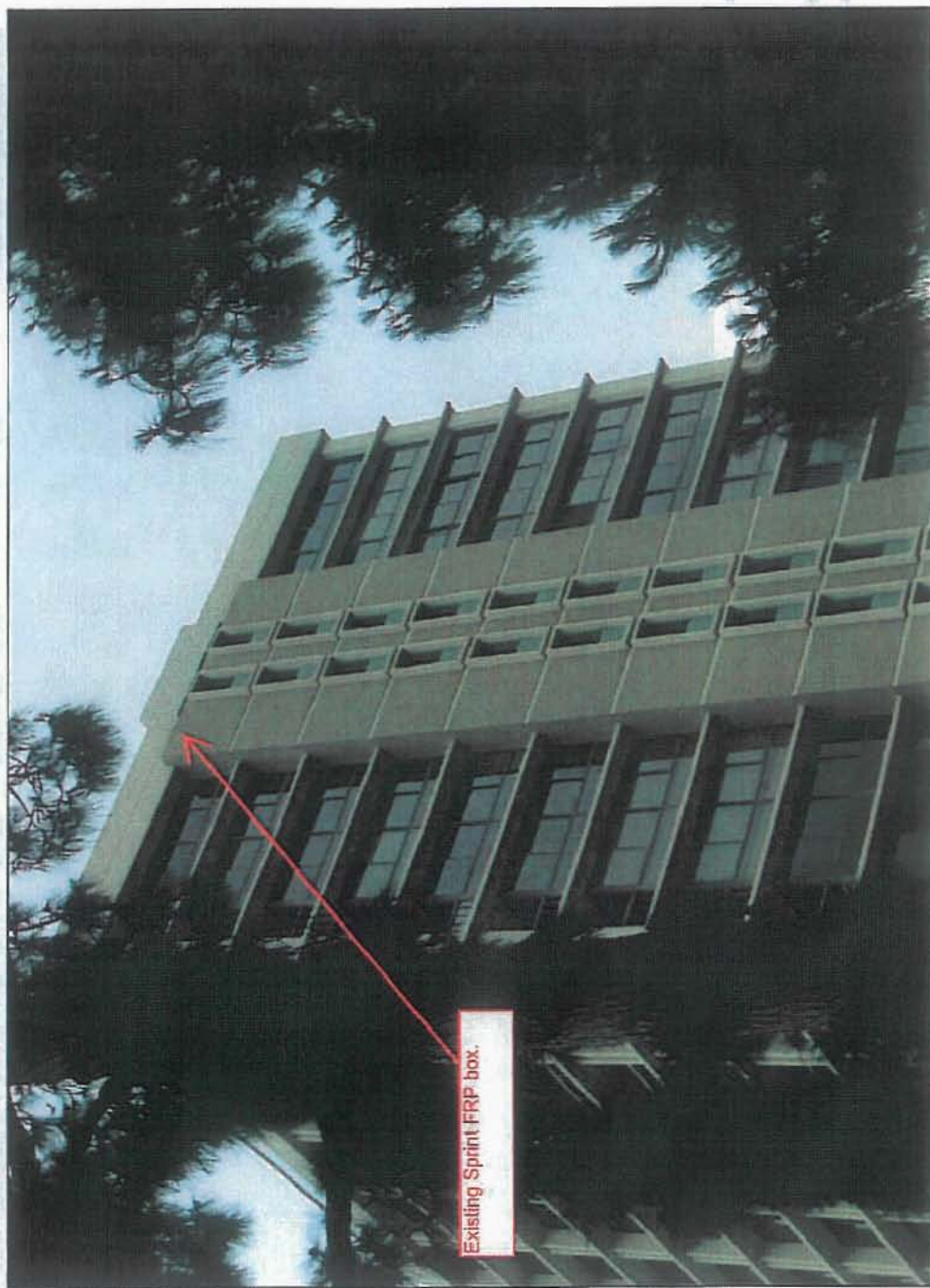
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**Sprint**



Existing Sprint FRP box.

**Sprint**<sup>®</sup>



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EAST ELEVATION-Existing  
Conditions



Existing Verizon FRP  
boxes on the east  
elevation panthouse.

3



# Sprint

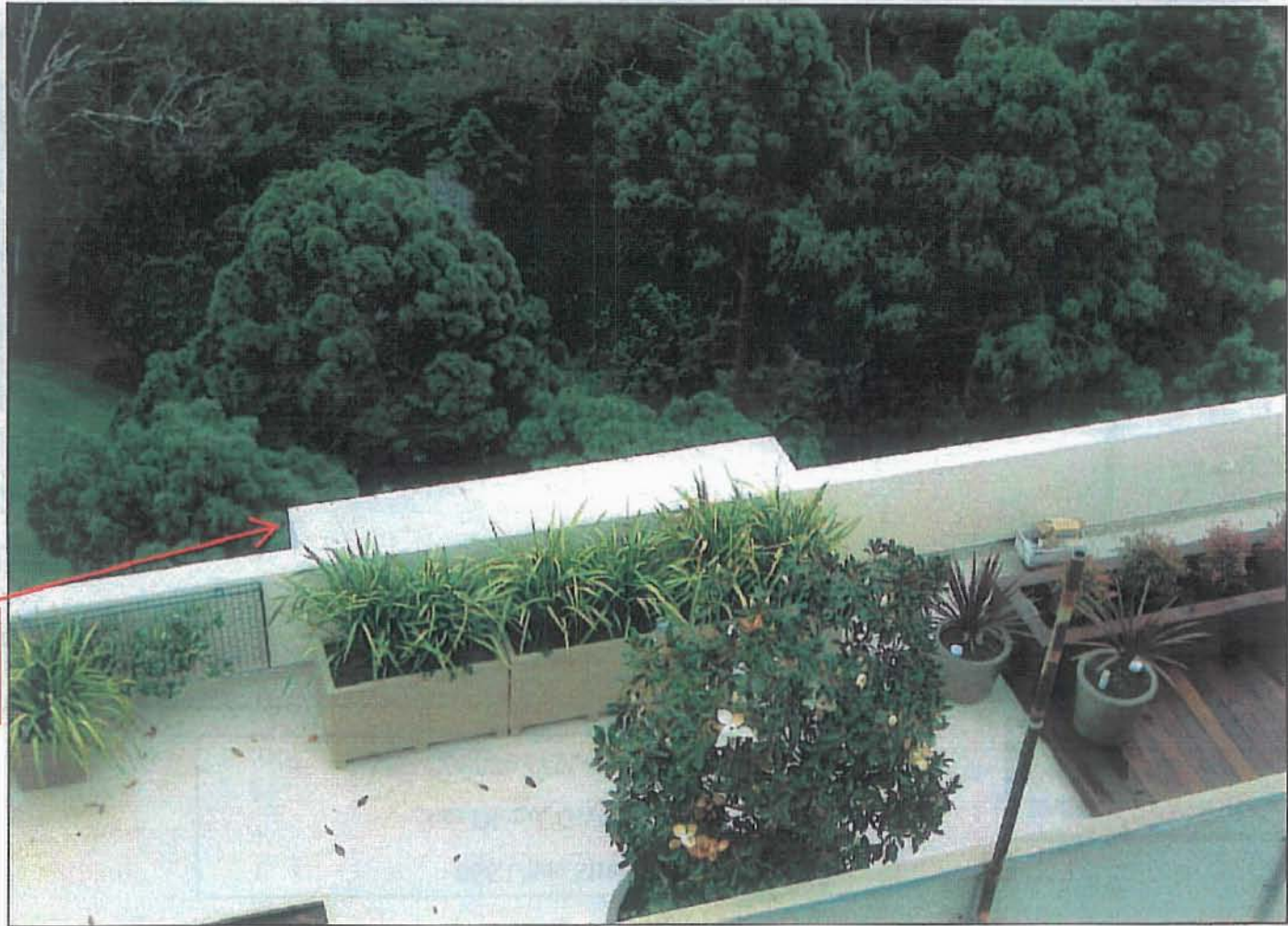


666 Upas Street  
San Diego, CA 92103  
SD34XC670 / CA-SDG5249A

EAST ELEVATION-Existing  
Conditions

4

Existing Sprint FRP box (view from  
above penthouse)



ATTACHMENT 9



ATTACHMENT 10

THE CITY OF SAN DIEGO

Date: February 16, 2001

Applicant: Sprint Communication C/O WFI  
3725 Talbot St. PMB  
San Diego, CA 92106  
Attn: Shelly Kilbourn

Permit No.: 99-0923-46 Telecommunication Antenna Approval, Project Name

Address: 666 Upas St.

Subject: **PROPOSED MINOR TELECOMMUNICATION FACILITY**

**DEVELOPMENT SERVICES ACTION:**

It has been determined by **Development Services** that this proposal does not substantiate a major telecommunication facility and therefore will not be required to proceed a Conditional Use Permit (Process Three). This decision is based on the City of San Diego's Land Development Code, Section 141.0405, Communication Antennas. This proposal has been reviewed with the California Environmental Quality Act (CEQA) and has been determined to be exempt per Section 15268.

Development Services grants **APPROVAL** of your application subject to the following:

- The facility shall be designed and constructed in accordance with the approved Exhibit "A", dated February 16, 2011. No modification or alteration shall be permitted to the approved exhibit "A" unless revised plans are submitted and approved by Planning and Development Review.
- The facility will consist of a total of six (six) panel antennas (two arrays of three antennas) flush-mounted on the north and east elevations of the existing structure. Each antenna array shall be located behind Radio Frequency screening in which will be painted and textured to match the existing structure.

1 of 2



**Development Services**

1222 First Avenue, MS 501 • San Diego, CA 92101-4155  
Tel (619) 446-5460

- The facility shall include a 280 square-foot, equipment enclosure located on the roof, behind the existing parapet. The equipment enclosure will house equipment cabinets and associated electronic equipment and be painted and textured to match the existing structure.
- This **APPROVAL** and corresponding use of this site **shall expire on February 16, 2011** Upon expiration of this permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to it's original condition preceding approval of this permit.
- Prior to the expiration of this Approval, the Permittee may request an Administrative Extension of Time to the permit for an additional ten years. An Administrative Extension of Time may be granted by Development Services if it is determined that no material change in circumstance has occurred that would effect the validity of this approval as a Minor Telecommunication facility.

All work authorized by this permit shall be in conformance with the description of work contained herein and as indicated on the plans submitted to the Building Review Division and stamped with the Development Services "**CONFORMS**" stamp. All modifications to this structure or site not directly approved by this permit shall require further review by Development Services. Building permits must be obtained within six months from the date of this approval or this authorization shall be null and void.

  
William Zouges  
Project Manager

**Lynch-Ashcraft, Karen**

---

**From:** Leo Wilson [leo.wikstrom@sbcglobal.net]  
**Sent:** Friday, July 09, 2010 12:09 PM  
**To:** Lynch-Ashcraft, Karen  
**Cc:** Pangilinan, Marlon  
**Subject:** Re: Sprint/Clearwire - Upas Condos PTS 199584

Hi Karen:

The project was moved to the consent agenda in May 2010, and approved by a 13-0-1 vote.

The minutes for the May meeting were not ready for review and approval at the June meeting; and there was no July meeting -- so they will not be approved until August 3rd. I can prepare a memorandum of motion and send it to you regarding the vote on the project.

Leo Wilson

--- On Fri, 7/9/10, Lynch-Ashcraft, Karen <KLynchAsh@sandiego.gov> wrote:

From: Lynch-Ashcraft, Karen <KLynchAsh@sandiego.gov>  
Subject: Sprint/Clearwire - Upas Condos PTS 199584  
To: "leo.wikstrom@sbcglobal.net" <leo.wikstrom@sbcglobal.net>  
Cc: "Pangilinan, Marlon" <MPangilinan@sandiego.gov>  
Date: Friday, July 9, 2010, 8:49 AM

Hi Guys,

Do either of you have the minutes from the 5/4/10 meeting regarding the vote on this project?

Thanks,

kla

Karen Lynch-Ashcraft | City of San Diego | Development Services Department | Entitlements | Telecom Section |  
619.446.5351 [klynchash@sandiego.gov](mailto:klynchash@sandiego.gov)



City of San Diego  
Development Services  
1222 First Ave., MS-302  
San Diego, CA 92101  
(619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

Project Title

Upas Condos

Project No. For City Use Only

199584

Project Address:

666 Upas Street, San Diego, CA 92103

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services)  
Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (5-05)

Project Title: 666 UPAS HOMEOWNERS ASSOCIATION

**Part II - To be completed when property is held by a corporation or partnership**

Legal Status (please check):

Corporation  Limited Liability or-  General) What State? \_\_\_\_\_ Corporate Identification No. 33-0689255  
 Partnership

**By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached  Yes  No**

Corporate/Partnership Name (type or print):  
666 UPAS HOMEOWNERS ASSOCIATION

Owner  Tenant/Lessee

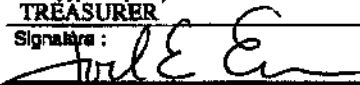
Street Address:  
666 UPAS STREET

City/State/Zip:  
SAN DIEGO, CA 92103

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
( 619 ) 299-8944

Name of Corporate Officer/Partner (type or print):  
JOEL E. EWAN

Title (type or print):  
TREASURER

Signature :  Date: JANUARY 5, 2010

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_



**Project Chronology**  
**Sprint/Clearwire – Upas Condos**  
**PTS No. 199584**

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time</b>	<b>Applicant Response</b>
1/14/10	First Submittal	Project Deemed Complete & distributed		
3/12/10	First Submittal Assessment Letter out		1 month, 26 days	
4/29/10	Second submittal	Normal Submittal		1 month, 17 days
5/28/10	Second Assessment		29 days	
6/11/10	Third Submittal			1 month, 3 days
7/8/10	Issues Resolved		27days	
8/12/10	Planning Commission Hearing		1 month, 4 days	
<b>TOTAL STAFF TIME**</b>			<b>4 months 26 days</b>	
<b>TOTAL APPLICANT TIME**</b>				<b>2 months 20 days</b>
<b>TOTAL PROJECT RUNNING TIME**</b>		From Deemed Complete to PC Hearing	<b>6 months 29 days</b>	



THE CITY OF SAN DIEGO

ATTACHMENT 14

DATE OF NOTICE: July 29, 2010

# NOTICE OF PUBLIC HEARING PLANNING COMMISSION

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**DATE OF HEARING:** August 12, 2010  
**TIME OF HEARING:** 9:00 A.M.  
**LOCATION OF HEARING:** Council Chambers, 12th Floor, City Administration Building,  
202 C Street, San Diego, California 92101

**PROJECT TYPE:** CONDITIONAL USE PERMIT, CEQA EXEMPT,  
PROCESS 4  
**PROJECT NUMBER:** 199584  
**PROJECT NAME:** SPRINT/CLEARWIRE – UPAS CONDOS  
**APPLICANT:** Alex Tsaturov, Westtower Communications

**COMMUNITY PLAN AREA:** Uptown  
**COUNCIL DISTRICT:** District 3

**CITY PROJECT MANAGER:** Karen Lynch-Ashcraft, Development Project Manager  
**PHONE NUMBER/E-MAIL:** (619) 446-5351, [klynchash@sandiego.gov](mailto:klynchash@sandiego.gov)

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As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a modification to an existing wireless communication facility located at 666 Upas Street.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services) or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

## ATTACHMENT 14

This project was determined to be categorically exempt from the California Environmental Quality Act on February 12, 2010 and the opportunity to appeal that determination ended March 8, 2010.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24000519

Revised 12/5/08 RH