



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: October 21, 2010 **REPORT NO.** PC-10-086

ATTENTION: Planning Commission, Agenda of October 28, 2010

SUBJECT: VERIZON – ARDATH: PROJECT NO. 205594 PROCESS 4.

**OWNER/
APPLICANT:** George K. Reese
Verizon Wireless

SUMMARY

Issue(s): Should the Planning Commission approve a Wireless Communication Facility located at 7990 Via Capri in the La Jolla Community Planning area?

Staff Recommendation:

1. **Approve** Conditional Use Permit No. 729360.
2. **Approve** Coastal Development Permit No. 787722.
3. **Approve** Site Development Permit No. 787723.

Community Planning Group Recommendation: On September 2, 2010, the La Jolla Community Planning Association voted 12-0-1 to recommend approval of the Verizon – Ardath project with the condition that the equipment cabinets and antennas be painted to blend in with the hillside.

Environmental Review: This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 10, 2010, and the opportunity to appeal that determination ended October 1, 2010.

Fiscal Impact Statement: Verizon Wireless is the Financially Responsible Party and is responsible for costs associated with the processing of this permit application.

Code Enforcement Impact: None.



Housing Impact Statement: None.

BACKGROUND

Verizon currently has a Wireless Communication Facility (WCF) at this location in the backyard of a single-family residential home at 7990 Via Capri in the La Jolla Community Planning area. The project site is zoned SF (Single-Family) in the La Jolla Shores Planned District and the La Jolla Community Plan designates the site for Very Low Density Residential. Surrounding uses include single-family residential on the south, north and west. La Jolla Parkway (previously Ardath Road) is at the base of the hillside to the east.

Verizon originally received approval for three pipe mounted panel antennas and an equipment cabinet in 1995. At the time, there was no expiration date included in the permit, which approved three panel antennas mounted on pipes and an outdoor equipment cabinet. This project proposes to replace two of the existing antennas, remove one antenna, relocate an antenna and add an antenna. The total number of pipe mounted antennas would be four. Additionally, Verizon proposes to replace and relocate a telco cabinet and install a fiber cabinet.

LDC Section 141.0420 permits WCF's in residential zones with a Conditional Use Permit, Process 4.

DISCUSSION

The project site is a single-family home at the end of a cul-de-sac overlooking La Jolla Parkway. There are currently three pipe mounted antennas in the backyard along with an outdoor equipment cabinet and other small, incidental components. The WCF was installed some time in early 1996 and has been operating without any incidents since that time. Crown Castle also has a WCF at this location, which consists of four pipe mounted antennas and associated equipment. That facility was installed in 1995 by GTE, now operating as AT&T. The location above La Jolla Parkway is an ideal site for Verizon providing service to travelers along La Jolla Parkway, Interstate-5 and Highway-52.

The modifications proposed to the site include reconfiguring the antennas so that in total, there will be four pipe mounted antennas and two outdoor equipment cabinets. All of the antennas and equipment will be painted to better blend in with the hillside and vegetation. Additional native landscape will be installed to better screen the antennas and the existing chain link fencing will be replaced with green vinyl coated chain link fencing.

The portion of the property beyond the pad area for the house and backyard area is almost entirely in steep slopes. There are two bench cuts in the slope dividing the slope horizontally into thirds. The existing equipment is located on the upper bench cut where the new equipment components will also be congregated. Minimal disturbance is proposed for trenching for the coaxial cable conduit from the new equipment cabinet to the antennas (2.50 cubic yards), most of which will be within the bench cut. Additional excavation on the slope is proposed for the new post for the new antenna location (.15 cubic yards); and for the landscape (2.27 cubic yards).

The total excavation for this area is 4.92 cubic yards. The proposed excavation is minimal, but still requires a Site Development Permit.

The project site is located in the Coastal Overlay Zone, Non-Appealable area and as such requires a Coastal Development Permit.

Community Plan Analysis:

The La Jolla Community Plan and Local Coastal Program Land Use Plan states that telecommunication structures should be analyzed for visual impact in addition to ensuring public review and comment for those facilities located in residential areas. It also recommends that the Citywide Telecommunications Policy be adhered to. Council Policy 600-43, City of San Diego Wireless Communication Facilities, outlines locational preferences for WCF's where commercial and industrial properties have a higher preference and residential properties are the least preferred. In this case, the WCF has been located on this property for the past 14 years. The entire area surrounding this project site is residential so providing coverage in this same vicinity would have required use of a residential property. The project site provides service to Verizon customers traveling in and around the La Jolla Parkway area as well portions of Interstate-5 and Highway-52. The pipe mounted antennas are currently visible on the slope, but the addition of native landscape will provide screening to the surrounding properties as well as to the public rights-of-way. The equipment will be tucked back along the level area of the slope that appears to have been a drainage swale at one time. Additional native landscaping will provide screening of the equipment.

The La Jolla Community Plan and Local Coastal program Land Use Plan also identifies steep slopes as an important environmental resource to be protected. The Verizon – Ardath project proposes minimal excavation for the modification to the existing WCF. All grading activities will include restoration and native drought tolerant species are proposed to provide screening for the WCF.

The City's General Plan requires that WCF's be both minimally visible and visually respectful and compatible with the community. The antennas and equipment associated with this facility will be screened with native landscape and views of the WCF will be negligible. The Verizon – Ardath project is consistent with the recommendations of the Community Plan and the City's General Plan.

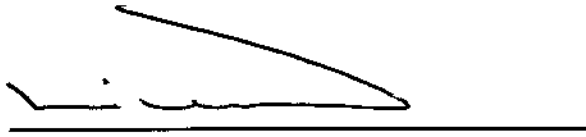
Conclusion:

Staff has reviewed the proposed project and all issues identified through that review process have been resolved in conformance with adopted City Council policies and land use plans as well as the regulations of the Land Development Code. Landscape screening will be added to minimize views of the WCF. The proposed project complies with the City's Land Development Code, the Wireless Communication Facility regulations, and the La Jolla Community Plan and Local Coastal Program Land Use Plan. Staff has provided draft findings to support the approval of the project and draft conditions of approval. Staff recommends that the Planning Commission approve the project as proposed.

ALTERNATIVES

1. **Approve CUP No. 729360, CDP No. 787722 and SDP No. 787723, with modifications.**
2. **Deny CUP No. 729360, CDP No. 787722 and SDP No. 787723, if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Karen Lynch-Ashcraft
Project Manager
Development Project Manager
Development Services Department

BROUGHTON/KLA

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Photos
11. Photosimulation
12. Copy of Original Permit
13. Project Chronology
14. Copy of Public Hearing Notice
15. Project Plans

15.
Rev 01-04-07/rh

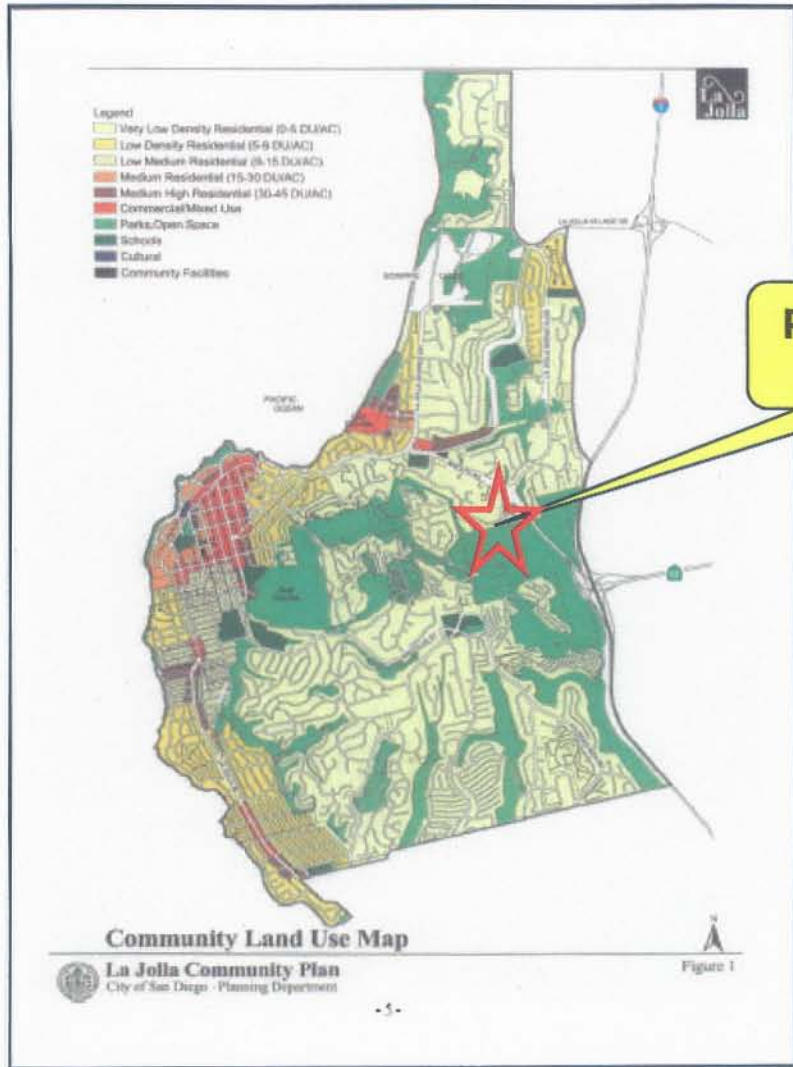


Aerial Photo

VERIZON – ARDATH PROJECT NUMBER 205594

7990 VIA CAPRI



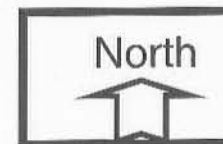


LA JOLLA COMMUNITY PLAN MAP



VERIZON -- ARDATH- PROJECT NUMBER 205594

7990 VIA CAPRI



ATTACHMENT 2



Project Location Map
VERIZON – ARDATH– PROJECT NUMBER 2055594
7990 VIA CAPRI



PROJECT DATA SHEET

PROJECT NAME:	Verizon -- Ardath	
PROJECT DESCRIPTION:	Modification of an existing wireless communication facility consisting of the reconfiguration of existing antennas, adding an additional antenna and an additional equipment cabinet.	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Conditional Use Permit, Coastal Development Permit and Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Very Low Density Residential	
<u>ZONING INFORMATION:</u>		
ZONE: SF (Single Family)		
HEIGHT LIMIT: 30-Foot maximum height limit.		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Very Low Density Residential; LJSPD:SF.	Single-Family Residential.
SOUTH:	Parks, Open Space; OP-2-1.	Open Space.
EAST:	Parks, Open Space; LJSPD:SF.	Single-Family Residential.
WEST:	Very Low Density Residential; LJSPD:SF.	Open Space.
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 2, 2010, the La Jolla Community Planning Association voted 12-0-1 to recommend approval of the Verizon – Ardath project with no conditions.	

**PLANNING COMMISSION
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 729360
COASTAL DEVELOPMENT PERMIT NO. 787722
SITE DEVELOPMENT PERMIT NO. 787723
VERIZON – ARDATH
PROJECT NO. 205594
DRAFT**

WHEREAS, Verizon Wireless, Permittee and George K. Reese, Owner, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.'s 729360, 787722, 787723), on portions of a .63 acre site;

WHEREAS, the project site is located at 7990 Via Capri in the LJSPD:SF zone of the La Jolla Community Planning area;

WHEREAS, the project site is legally described as All that certain real property situated in the County of San Diego, State of California, described as follows: Lot 36 of Azure Coast Unit No. 4, in the City of San Diego, County of San Diego, State of California, according to Map thereof No.6662, filed in the Office of San Diego County, June 11, 1970.;

WHEREAS, on October 28, 2010, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 729360, Coastal Development Permit No. 787722 and Site Development Permit No. 787723 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on September 10, 2010, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Sections 15302 and 15303;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated October 28, 2010.

FINDINGS:

Conditional Use Permit– Section §126.0305

1. The proposed development will not adversely affect the applicable land use plan;

Section A.15 of the Urban Design section of the City of San Diego's General Plan addresses wireless facilities. The General Plan states that wireless facilities should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. Although the facility is existing, Verizon is proposing to make modifications, which will include a reconfiguration of the antennas and the addition of one

antenna and an equipment cabinet. All of the components will be painted to blend in with the hillside and vegetation. Furthermore, landscape screening will be added to aid in blending the facility into the surrounding hillside so that views from below and across the canyon will be minimized.

The La Jolla Community Plan and Local Coastal Program Land states that telecommunication structures should be analyzed for visual impact and also to ensure public review and comment. This project is located in the backyard of a hillside home. The existing facility is not screened; however it is painted green to blend in with the existing vegetation. The modified facility will be repainted a color that blends more naturally with the hillside and native landscape material will be added to aid in screening of all of the facilities components.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit that requires Verizon to submit a cumulative RF study to demonstrate compliance with the applicable FCC regulations prior to building permit issuance. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of the City’s jurisdiction.

3. The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code; and

The project complies with all applicable development regulations of the Land Development Code. Wireless Communication Facilities (WCF) are permitted in residential zones with a Conditional Use Permit. LDC Section 141.0420 requires WCF’s to be minimally visible through the use of architecture, landscape and siting solutions. This project is located on a slope in the rear portion of a property containing a single family home. The modified project will include native landscape screening, which will minimize the views of the facility from surrounding properties, the public right-of-way and homes across the canyon. The project site is located in the Coastal Overlay Zone, Non-Appealable Area 2, which requires a Coastal Development Permit, even though the project site is approximately 1 ½ miles east from the Pacific Ocean. A Site Development Permit is required due to the steep slopes located on the rear portion of the property. A total of 4.92 cubic yards will be excavated within the steep slope area and will include trenching to provide conduit from the equipment cabinet to the antennas, excavation for the new antenna post and holes for the new native landscape material. All areas of excavation will be recompacted and any effected groundcover will be replaced. The project complies with the regulations contained within the San Diego Land Development Code.

4. The proposed use is appropriate at the proposed location.

A wireless communication facility proposed in a residential area is required to justify why other less sensitive land uses were not explored. In this case, the facility has operated for the past 14 years with no complaints. Verizon is now proposing to reconfigure and update the WCF. The project site is located above La Jolla Parkway on the rear slope of a single family home. It provides critical service to the immediate area as well as Highway-52 and Interstate-5. Due to the topographical elevation of this facility and the fact that the site is surrounded by residential homes, there are no other less sensitive land uses that could provide the same coverage. Once the facility is painted color and the new native landscaping installed, the WCF will not be very visible to the surrounding area. Because of its geographical location, the WCF provides an important link in the La Jolla Parkway/Highway-52/Interstate-5 service area.

Coastal Development Permit - Section 126.0708

1. The proposed coastal *development* will not encroach upon any existing physical access way that is legally used by the public or any proposed public access way identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and

The Verizon- Ardath project is not located near an existing physical access way or a public access way identified in the La Jolla Community Plan and Local Coastal Program Land Use Plan. Although the WCF is not located in an area that would impact views of the ocean or other scenic resources, the facility will be updated and native landscape materials will be installed to help minimize the visibility, which will enhance any potential negative views that may occur.

2. The proposed coastal development will not adversely affect *environmentally sensitive lands*; and

The rear portion of this property is almost entirely within steep slopes covered with ice plant. Two bench cuts exist on the slope to aid in drainage. The majority of modifications and new components will occur in and along that bench cut, however minimal excavation is required to provide a path for the conduit from the new equipment cabinet to the antennas, in addition to the holes needed for the new antenna post and the new landscape materials. All together, there will be 4.92 cubic yards of excavation and all proposed disturbance will be recompacted and planted so that there are no negative impacts associated with this project.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The La Jolla Community Plan and Local Coastal Program Land Use Plan states that telecommunication structures should be analyzed for visual impact in addition to ensuring public review and comment for those facilities located in residential areas. It also recommends that the Citywide Telecommunications Policy be adhered to. Council Policy 600-43, City of San Diego Wireless Communication Facilities, outlines locational preferences for WCF's where commercial and industrial properties have a higher preference and residential properties are the least preferred.

In this case, the WCF has been located on this property for the past 14 years. The entire area surrounding this project site is residential so providing coverage in this same vicinity would have required use of a residential property. The project site provides service to Verizon customers traveling in and around the La Jolla Parkway area as well portions of Interstate-5 and Highway-52. The pipe mounted antennas are currently visible on the slope, but the addition of native landscape will provide screening to the surrounding properties as well as to the public rights-of-way. The equipment will be tucked back along the level area of the slope that appears to have been a drainage swale at one time. Additional native landscaping will provide screening of the equipment.

The La Jolla Community Plan and Local Coastal program Land Use Plan also identifies steep slopes as an important environmental resource to be protected. The Verizon – Ardath project proposes minimal excavation for the modification to the existing WCF. All grading activities will include restoration and native drought tolerant species are proposed to provide screening for the WCF.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The Verizon – Ardath project is located approximately 1 ½ miles east from the Pacific Ocean, therefore, the project will not impact public access or public recreation policies contained within the California Coastal Act.

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan;

Section A.15 of the Urban Design section of the City of San Diego's General Plan addresses wireless facilities. The General Plan states that wireless facilities should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. Although the facility is existing, Verizon is proposing to make modifications, which will include a reconfiguration of the antennas and the addition of one antenna and an equipment cabinet. All of the components will be painted to blend in with the hillside and vegetation. Furthermore, landscape screening will be added to aid in blending the facility into the surrounding hillside so that views from below and across the canyon will be minimized.

The La Jolla Community Plan and Local Coastal Program Land states that telecommunication structures should be analyzed for visual impact and also to ensure public review and comment. This project is located in the backyard of a hillside home. The existing facility is not screened; however it is painted green to blend in with the existing vegetation. The modified facility will be repainted a color that blends more naturally with the hillside and native landscape material will be added to aid in screening of all of the facilities components.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit that requires Verizon to submit a cumulative RF study to demonstrate compliance with the applicable FCC regulations prior to building permit issuance. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within matters of the City’s jurisdiction.

3. The proposed development will comply with the applicable regulations of the Land Development Code.

The project complies with all applicable development regulations of the Land Development Code. Wireless Communication Facilities (WCF) are permitted in residential zones with a Conditional Use Permit. LDC Section 141.0420 requires WCF’s to be minimally visible through the use of architecture, landscape and siting solutions. This project is located on a slope in the rear portion of a property containing a single family home. The modified project will include native landscape screening, which will minimize the views of the facility from surrounding properties, the public right-of-way and homes across the canyon. The project site is located in the Coastal Overlay Zone, Non-Appealable Area 2, which requires a Coastal Development Permit, even though the project site is approximately 1 ½ miles east from the Pacific Ocean. A Site Development Permit is required due to the steep slopes located on the rear portion of the property. A total of 4.92 cubic yards will be excavated within the steep slope area and will include trenching to provide conduit from the equipment cabinet to the antennas, excavation for the new antenna post and holes for the new native landscape material. All areas of excavation will be recompacted and any effected groundcover will be replaced. The project complies with the regulations contained within the San Diego Land Development Code.

Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The project site is located on the rear portion of a single family home. The home and backyard are relatively flat, but beyond the pad area, the lot slopes steeply down to La Jolla Parkway where the majority of the property is considered steep slopes. A Site Development Permit is required in order to ensure that the development proposed for this project complies with the Environmentally Sensitive Lands regulations. A total of 4.92 cubic yards will be excavated within the steep slope area and will include trenching to provide conduit from the equipment cabinet to the antennas, excavation for the new antenna post and holes for the new native landscape material. All areas of excavation will be recompacted and any effected groundcover will be replaced. The project complies with the regulations contained within the San Diego Land Development Code.

- 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;**

The project consists of minimal grading for the new equipment cabinet, the conduit from that cabinet to the antennas, a hole for a new antenna post and holes where the new landscape will be planted. All together, a maximum of 5.52 cubic yards will be excavated in both the steep slopes and in the disturbed areas. The proposed excavation will not result in undue risk from geologic or erosional forces, flood hazards or fire hazards.

- 3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;**

The project is located on the rear portion of a single family home on a steeply sloping embankment. There are two bench cuts running horizontally across the entire embankment. The majority of the project is proposed on the upper bench cut. Minimal excavation is required on the steep slopes, which includes trenching for the conduit from the equipment to the antennas, a hole for the new post for the antenna and holes for the new landscape material. All of these areas will be restored to the original condition and if any ground cover is removed as a result of this activity, it will be replaced in kind.

- 4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;**

The project site is not located in the MHPA nor is it located immediately adjacent to it.

- 5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and**

The project site is located approximately 1 ½ miles east of the Pacific Ocean, therefore it will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

- 6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.**

No negative impacts occur as a result of this project proposal and no mitigation is required.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 729360, Coastal Development Permit No. 787722 and Site Development Permit No. 787723 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No.'s 729360, 787722, 787723, a copy of which is attached hereto and made a part hereof.

Karen Lynch-Ashcraft
Development Project Manager
Development Services

Adopted on: October 28, 2010

Internal Order No. 24000718

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501
Delete one of the above.

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24000718

CONDITIONAL USE PERMIT NO. 729360
COASTAL DEVELOPMENT PERMIT NO. 787722
SITE DEVELOPMENT PERMIT NO. 787723
VERIZON – ARDATH
PROJECT NO. 205594
PLANNING COMMISSION
DRAFT

This Conditional Use Permit No. 729360/Coastal Development Permit No. 787722/Site Development Permit No. 787723 is granted by the Planning Commission of the City of San Diego to George K. Rees, Trustee, Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420, Chapter 12, Article 06, Division 07 and Chapter 14, Article 03, Division 01. The .63-acre site is located at 7990 Via Capri in the LJSPD:SF zone of the La Jolla Community Planning area. The project site is legally described as: All that certain real property situated in the County of San Diego, State of California, described as follows: Lot 36 of Azure Coast Unit No. 4, in the City of San Diego, County of San Diego, State of California, according to Map thereof No.6662, filed in the Office of San Diego County, June 11, 1970.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated October 28, 2010, on file in the Development Services Department.

The project shall include:

- a. A total of four panel antennas mounted on one of three maximum 7-foot high steel posts (one post will support two panel antennas). An existing post will be removed and a new one will be added, but in no case shall the number of posts exceed three;

- b. Two equipment cabinets, a fiber cabinet and other small incidental accessory equipment as shown in Exhibit A, dated October 28, 2010;
- c. Replacement of the existing chain link fence with green vinyl-coated chain link fencing;
- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. This Permit and corresponding use of this site shall **expire on October 28, 2010**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
4. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for compliance, which may include penalties and fines.
5. Under no circumstances, does approval of this permit authorize (insert applicant name) or their tenants to utilize this site for wireless communication purposes beyond the permit expiration date. Implicit use of this permit beyond the effective date of this permit is prohibited.

6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

7. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

8. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

9. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

10. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

11. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

12. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

13. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de

novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

14. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

15. The project proposes to export 2 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

17. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

19. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

20. Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days

of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

21. Proposed landscape species shall consist of native plants sufficient to screen the WCF. Quantity and sizes shall be determined at the Building Permit review stage.

PLANNING/DESIGN REQUIREMENTS:

22. All antennas and equipment shall be painted to match the landscape backdrop to the satisfaction of Development Services. Colors shall be approved prior to obtaining Building Permits.

23. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.

24. All equipment, including transformers, emergency generators and air conditioners shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

25. All facilities and related equipment shall be maintained in good working order and free from trash, debris, graffiti and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days.

26. Once this site is deemed complete from construction, Verizon is required to send a letter (Subject: Planning Inspection Project Number 205594) to the City of San Diego, Development Services Department requesting for a planning inspection. The site is officially deemed complete once the City Manager signs the letter. The applicant shall be provided with a copy of the signed letter for record purposes.

27. Verizon is responsible for notifying the city prior to the sale or takeover of this site to any other provider or if the site is no longer operational resulting in the removal and the restoration of this site to its original condition.

28. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed

on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on October 28, 2010 and Approved by Resolution Number_____.

Permit Type/PTS Approval No.: CUP No. 729360/CDP No. 787722/SDP No. 787723
Date of Approval: October 28, 2010

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Karen Lynch-Ashcraft
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Verizon Wireless
Permittee

By _____
Leslie Vartanian
Verizon Wireless, Manager
Network Real Estate

George K. Reese
Owner

By _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 205594 PROJECT TITLE: Verizon Ardath CUP

PROJECT LOCATION-SPECIFIC: 7990 Via Capri, La Jolla, CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: CONDITIONAL USE PERMIT, COASTAL DEVELOPMENT PERMIT, AND SITE DEVELOPMENT PERMIT for modifications to an existing wireless communication facility located in the SF zone of the La Jolla Planned District within the La Jolla Community Planning area. The project would expand the existing equipment area and install one new equipment cabinet and one fiber cabinet; remove, relocate, and replace three (3) wireless antennas mounted to steel pipes and install one (1) new antenna for a total of four (4) antennas; remove and replace one telco cabinet; remove and replace existing chainlink fence with vinyl covered 'green' fence; and add minor landscape improvements and irrigation for the landscaping.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Kerrigan Diehl, PlanCom, Inc.
302 State Place
Escondido, CA 92029
(760) 587-3003

EXEMPT STATUS: (CHECK ONE)

- () MINISTERIAL (SEC. 21080(b)(1); 15268);
() DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
() EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
(✓) CATEGORICAL EXEMPTION: 15302: REPLACEMENT OR RECONSTRUCTION AND 15303: NEW CONSTRUCTION

REASONS WHY PROJECT IS EXEMPT: The proposed activity is exempt from CEQA pursuant to Section 15302 (Replacement or Reconstruction) of the State CEQA Guidelines, as the project includes replacing existing facilities on the same site that will have substantially the same purpose and capacity as the facilities being replaced. Section 15303 also applies as the project proposes additional new wireless communication equipment and screening (landscape and fencing) on the project site. The project will not result in impacts to any sensitive environments or otherwise result in an impact based on the exceptions to this exemption as identified in CEQA Section 15300.2.

LEAD AGENCY CONTACT PERSON: M. Blake

TELEPHONE: (619) 446-5375

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
() YES () NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

[Signature] / Senior Planner
SIGNATURE/TITLE

Sept. 13, 2010
DATE

CHECK ONE:

- (X) SIGNED BY LEAD AGENCY
() SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



LA JOLLA COMMUNITY PLANNING ASSOCIATION
P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900
http://www.LaJollaCPA.org Email: Info@LaJollaCPA.org

Regular Meeting – 2 September 2010

Attention: Karen Lynch-Ashcraft
DSD, City of San Diego

Project: Verizon Wireless “Ardath”
7990 Via Capri
PN 205594

Action: Approve project as shown on the plans presented and forward the recommendation to the City of San Diego. **Vote:** 12-0-1

Submitted by: *Joseph LaCava* **2 September 2010**
Joe LaCava, President **Date**
La Jolla CPA

PRC – August 2010

Verizon Wireless “Ardath”

- PROJECT NUMBER: 205594
- TYPE OF STRUCTURE: Wireless Communication Facility –pole mounted antennas
- LOCATION: 7990 Via Capri
- PLANNER: Karen Lynch-Ashcraft; KLynchAsh@sanidiego.gov
- OWNERS REP: Plancom Inc.; Shelly Kilbourn; shellykilbourn@cox.net

Project Description: Replacing (3) existing antennas mounted to steel pipes with (3) updated antennas and the installation of (1) additional antenna for a total of (4). The project also includes installation of (1) new equipment cabinet on a 3’x5’ concrete pad within Verizon’s equipment area. Additionally, the existing Telco cabinet will be replaced with an updated Telco cabinet.

Approve project as shown on the plans presented. (They have been annotated to show the equipment cabinet and antennas painted green or camouflaged to blend in with the hillside.)

Passed 4-0-1



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

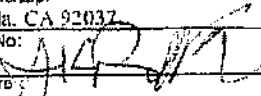
Project Title: Verizon Wireless - Ardath Project No. For City Use Only

Project Address:
 7990 Via Capri, La Jolla, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing this Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 George K. Reese, Trustee
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 7990 Via Capri
 City/State/Zip:
 La Jolla, CA 92037
 Phone No: _____ Fax No: _____
 Signature:  Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____



Looking south from La Jolla Parkway



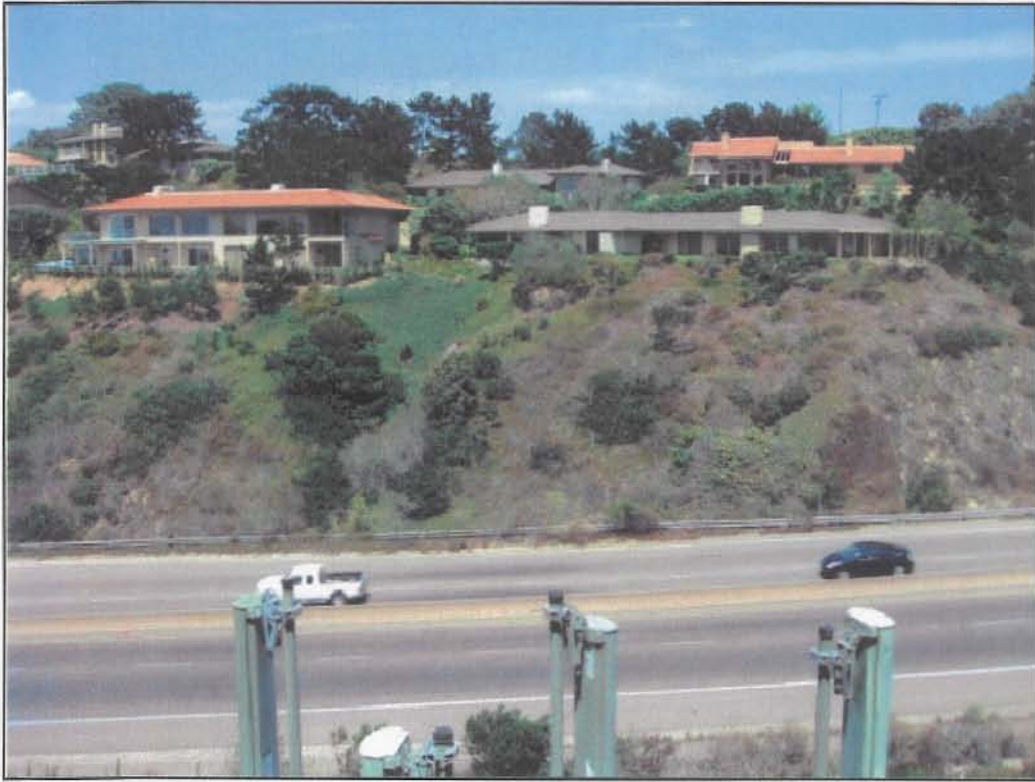
Looking east toward La Jolla Parkway



Looking southeast from La Jolla Scenic Drive



Looking west from La Jolla Parkway



Looking north from project site

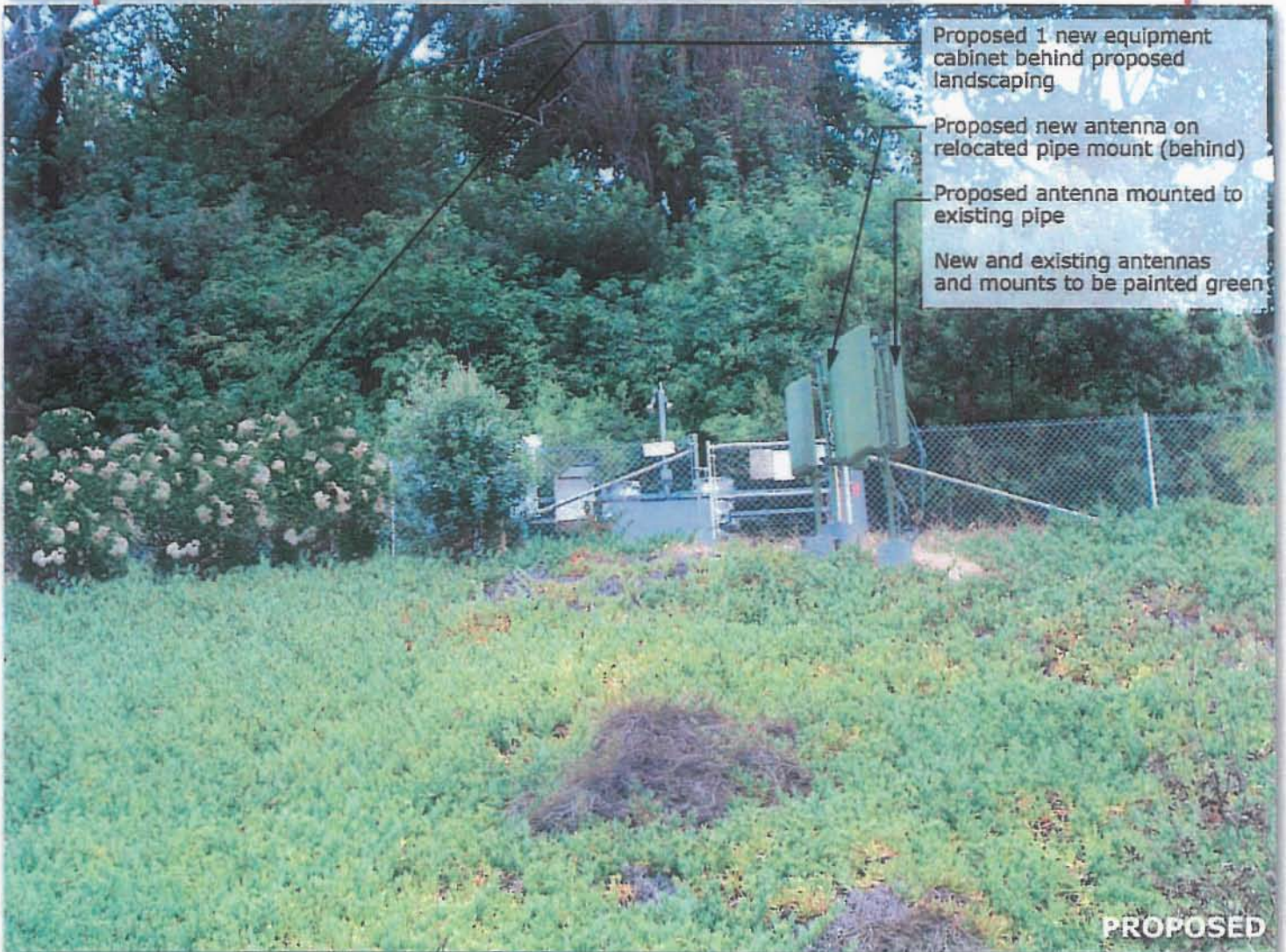


Existing equipment cabinet

EXISTING



Ardath
7990 Via Capri
La Jolla, CA 92037
MTX-48



Proposed 1 new equipment cabinet behind proposed landscaping

Proposed new antenna on relocated pipe mount (behind)

Proposed antenna mounted to existing pipe

New and existing antennas and mounts to be painted green

PROPOSED

Photosimulation of proposed telecommunications site



THE CITY OF

SAN DIEGO

CITY OPERATIONS BUILDING • 1222 First Avenue • M.S. 501 • San Diego, California 92101

ATTACHMENT 12

OFFICE OF
DEVELOPMENT SERVICES
DEPARTMENT
236-6460

DATE: December 21, 1994

APPLICANT: Kevin Mcgee
Airtouch Cellular
5355 Mira Sorrento Pl. #500
San Diego, CA 92121

PERMIT NO.: 91-0302-42, Ardath Summit

ADDRESS: 7990 Via Capri
San Diego, Ca 92037

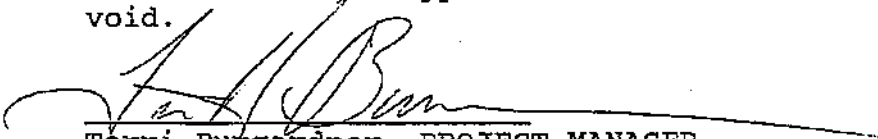
PROJECT: Installation of a low power self contained (LPSC)
Cellular Facility including 3 directional (Panel)
Cellular Antennas and an Equipment Box.

PLANNING DIRECTOR ACTION: Approval

The Development Services Department grants **APPROVAL** of your application, subject to the following description of work:
Installation of a Cellular Communication Facility consisting of a LPSC Equipment Box and three Directional (Panel) Antennas.

The antenna facility is proposed to be located at 7990 Via Capri at the rear of the property. All of the work proposed is included on the plans marked "Exhibit A," on file in the Development Services Department.

All work authorized by this permit shall be in conformance with the description of work contained herein and as indicated on the plans submitted to the Building Inspection Division and stamped with the Development and Environmental Planning (DEP) Division approval. All modifications to this structure or site not directly approved by this permit, shall require further review by DEP. Building permits must be obtained within six months from the date of this approval or this authorization shall be null and void.


Terri Bumgardner, PROJECT MANAGER
Associate Planner

CC: file



DIVERSITY
BRINGS US ALL TOGETHER

**Project Chronology
Verizon - Ardath
PTS No. 205594**

Date	Action	Description	City Review Time	Applicant Response
3/2/10	Submittal for Completeness Check			
3/24/10	Completeness Review Assessment - Project Deemed Complete		22 days	
6/23/10	First Full Submittal	Normal Submittal		2 months, 30 days
7/20/10	First Assessment		27 days	
8/16/10	Second Submittal			27 days
9/9/10	Issues Resolved		24 days	
10/28/10	Planning Commission Hearing		1 month, 19 days	
TOTAL STAFF TIME**			4 months 2 days	
TOTAL APPLICANT TIME**				3 month 27 days
TOTAL PROJECT RUNNING TIME**			7months, 26 days	

**Based on 30 days equals to one month.



THE CITY OF SAN DIEGO

ATTACHMENT 14

DATE OF NOTICE: October 15, 2010

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING: October 28, 2010
TIME OF HEARING: 9:00 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
202 C Street, San Diego, California 92101

PROJECT TYPE: Conditional Use Permit/Coastal Development Permit/Site
Development Permit, CEQA Exempt, Process 4
PROJECT NUMBER: 205594
PROJECT NAME: VERIZON - ARDATH
APPLICANT: Shelly Kilbourn, PlanCom, Inc.

COMMUNITY PLAN AREA: La Jolla
COUNCIL DISTRICT: District 1

CITY PROJECT MANAGER: Karen Lynch-Ashcraft, Development Project Manager
PHONE NUMBER/E-MAIL: (619) 446-5351 klynchash@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a modification to an existing wireless communication facility on the hillside behind the home located at 7990 Via Capri.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be

limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on September 10, 2010 and the opportunity to appeal that determination ended October 1, 2010.

The final decision by the City of San Diego is not appealable to the California Coastal Commission. If you want to receive a Notice of Final Action, you must submit a written request to the City Project Manager listed above.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24000718

Revised 12/5/08 RH



ARDATH
7990 VIA CAPRI
LA JOLLA, CA 92037
MTX-48

VICINITY MAP

THOMAS GUIDE PAGE 1227, J-5

ADDRESS
 7990 VIA CAPRI
 LA JOLLA, CA 92037

COORDINATES
 LATITUDE: 32° 50' 40" NORTH
 LONGITUDE: 117° 14' 28" WEST

DIRECTIONS:
 (FROM YZW'S OFFICES IN IRVINE:) TAKE J-5 SOUTH TO THE LA JOLLA VILLAGE DRIVE EXIT. TAKE A RIGHT ON LA JOLLA VILLAGE DRIVE AND HEAD WEST TO TORREY PINES ROAD. TURN LEFT ON TORREY PINES ROAD AND GO TO HIDDEN VALLEY ROAD. TURN LEFT ON HIDDEN VALLEY ROAD AND GO TO VIA CAPRI. TURN ON TO VIA CAPRI. SITE IS APPROXIMATELY 1/2 MILE DOWN AT THE END OF THE CUL-DE-SAC.

CONSULTANT TEAM

ARCHITECT:
 WILLIAM BOOTH & ROBERT SUAREZ
 ARCHITECTURE & PLANNING
 P.O. BOX 4551
 CARLSBAD, CA 92018
 (760) 434-8474
 (760) 434-8596 (FAX)

LEASING/PLANNING:
 FLANCON, INC.
 BRENT HELMING
 302 STATE PLACE
 ESCONDIDO, CA 92029
 (760) 533-6055

SURVEYOR:
 JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE SUITE 107
 SAN CLEMENTE, CALIFORNIA 92672
 (949) 248-4685

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE.

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92718
CONTACT: BRENT HELMING
 PHONE: (760) 533-6055

OWNER: DR. GREGORY REESE
 7990 VIA CAPRI
 LA JOLLA, CA 92037

PROJECT DESCRIPTION:
 AT AN EXISTING VERIZON WIRELESS TELECOMMUNICATIONS FACILITY THE FOLLOWING MODIFICATIONS ARE PROPOSED:

- EXPAND EXISTING VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT AREA. INSTALL ONE ADDITIONAL CABINET AND ONE FIBER CABINET FOR VERIZON WIRELESS.
- REMOVE, RELOCATE, & REPLACE (3) EXISTING VERIZON WIRELESS ANTENNAS MOUNTED TO GALVANIZED STEEL PIPES. INSTALL ONE NEW VERIZON ANTENNA (TOTAL OF 4 ANTENNAS).
- REMOVE & REPLACE ONE EXISTING TELCO CABINET & INSTALL ONE ADDITIONAL TELCO/FIBER CABINET
- REMOVE & REPLACE EXISTING CHAINLINK FENCE ON HILLSIDE WITH VINYL COVERED "GREEN" FENCE
- MINOR LANDSCAPE AND IRRIGATION IS PLANNED FOR THIS PROJECT

LEGAL DESCRIPTION:
 LOT 36 OF AZURE COAST UNIT #4 ACCORDING TO MAP #6662 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 11, 1970

PROJECT ADDRESS: 7990 VIA CAPRI
 LA JOLLA, CA 92037

ASSESSORS PARCEL NUMBER: 353-170-16

EXISTING ZONING: LUSPB-16

LAND USE APPROVAL: 91-0302-42
 ARDATH SUMMIT

PROPOSED OCCUPANCY: NONE (EXTERIOR RADIO EQUIPMENT CABINETS ONLY)

NOTE: THERE ARE TWO EXISTING TELECOMMUNICATIONS FACILITIES ON SITE. (VERIZON, & CROWN CASTLE)

SHEET SCHEDULE

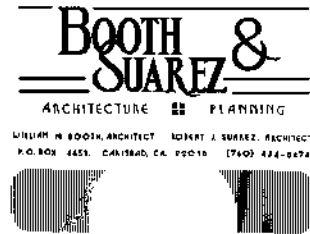
T-1	TITLE SHEET
A-0	SITE PLAN
A-0.1	SLOPE ANALYSIS PLANS & DETAILS
A-1	ENLARGED SITE PLAN
A-2	EXTERIOR ELEVATIONS & DETAILS
L-1	LANDSCAPE DEVELOPED PLAN
C-1	TOPOGRAPHIC SURVEY

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 CALIFORNIA STATE BUILDING CODE, TITLE 24, 2007 EDITION
 CALIFORNIA PLUMBING CODE, 2007 EDITION
 CALIFORNIA MECHANICAL CODE, 2007 EDITION
 CALIFORNIA ELECTRICAL CODE, 2007 EDITION
 CALIFORNIA ENERGY CODE, 2007 EDITION, WHICH ADOPT THE 1997 UBC, 2000 UMC, 2000 UPC, 2002 NEC AND 2004 CEC
 IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.



PREPARED FOR

P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
ARDATH
 7990 VIA CAPRI
 LA JOLLA, CA 92037
MTX-48
 SAN DIEGO COUNTY

DRAWING DATES

06/05/09	ZD REVIEW (ral)
07/27/09	EQUIPMENT REVISION (ao)
08/04/09	REVISED ZD (ao)
11/12/09	CITY COMMENTS (ao)
05/25/10	CITY COMMENTS (ao)
08/13/10	CITY COMMENTS (alb)

SHEET TITLE
TITLE SHEET
&
PROJECT DATA

PROJECTS\verizon\09057zd\09057zT1.DWG

T-1

PREPARED FOR

 P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
ARDATH
 7990 VIA CAPRI
 LA JOLLA, CA 92037
MTX-48
 SAN DIEGO COUNTY

DRAWING DATES

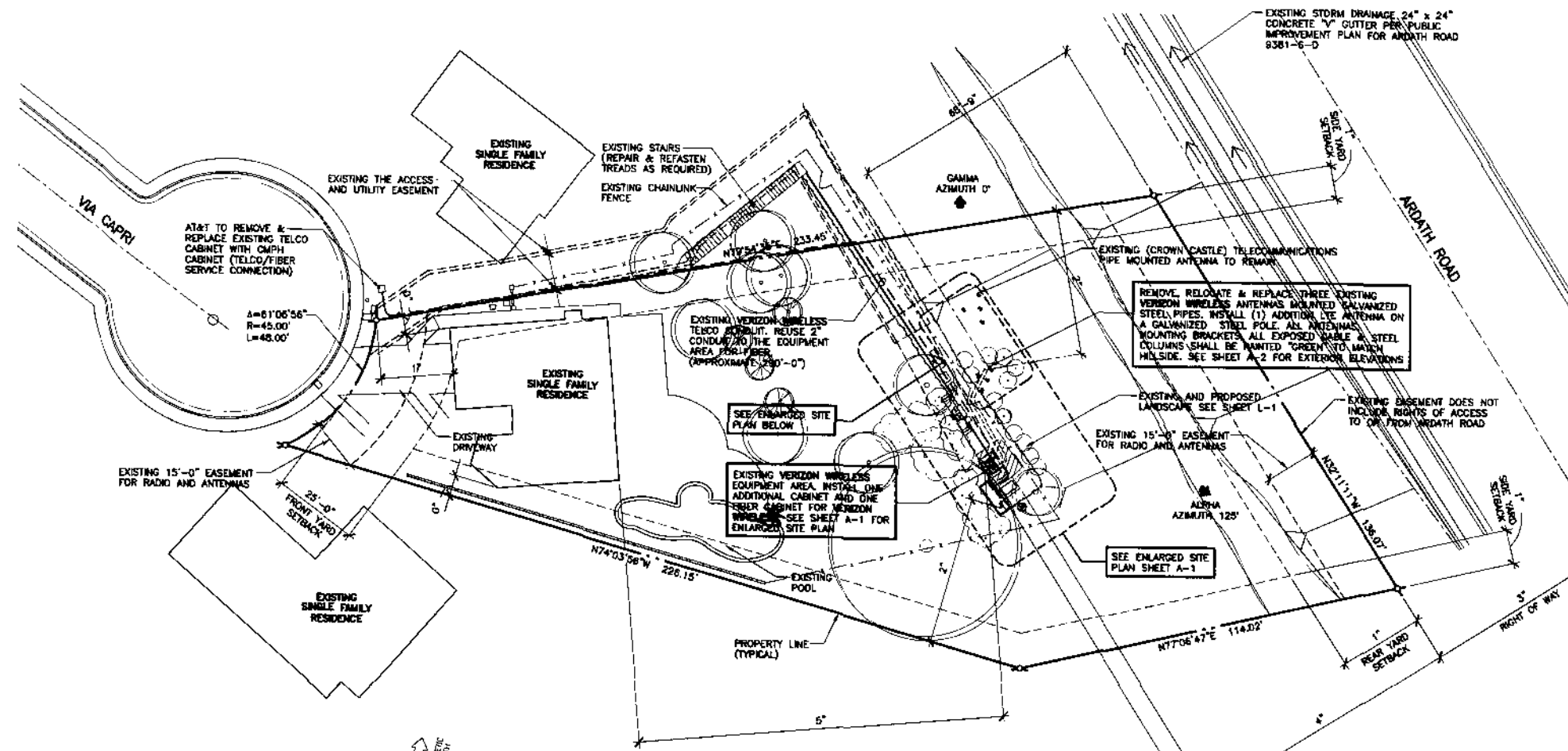
06/05/09	2D REVIEW (rol)
07/27/09	EQUIPMENT REVISION (oo)
08/04/09	REVISED 2D (oo)
11/12/09	CITY COMMENTS (oo)
05/26/10	CITY COMMENTS (oo)
08/13/10	CITY COMMENTS (cib)

SHEET TITLE

SITE PLAN

PROJECTS\verizon\09057zd\09057zA0.DWG

A-0



PROPOSED LAND DISTURBANCE

LOCATION	AREA	DEPTH	CUL. YARDS
ANTENNA POST:	1.0 SQ. FT.	3.00 FT.	.15 CUL. YDS.
CABINET PAD:	19.5 SQ. FT.	0.83 FT.	.80 CUL. YDS.
TRENCH:	24.3 SQ. FT.	2.83 FT.	2.50 CUL. YDS.
LANDSCAPE:	30.70 SQ. FT.	2.50 FT.	3.27 CUL. YDS.
TOTAL AREA:	75.5 SQ. FT.		5.52 CUL. YDS.

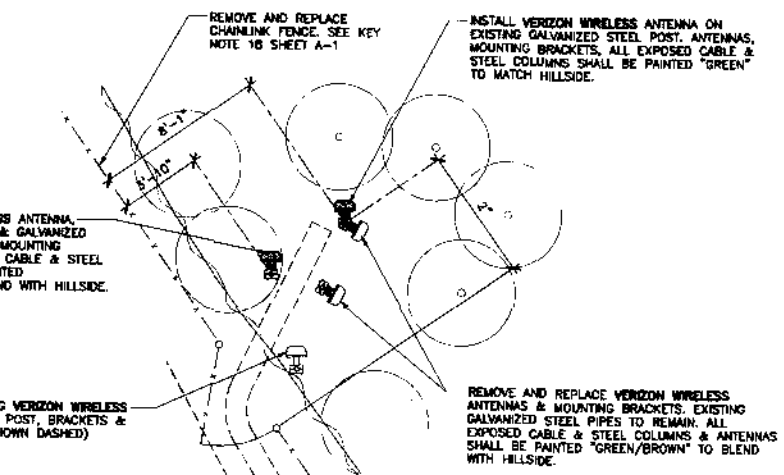
SITE PLAN
 SCALE: 1" = 30'-0"

DEVELOPMENT NOTES:

- PROPOSED IMPROVEMENTS SHALL BE CONSTRUCTED ON AN EXISTING GRADING BENCH CONSTRUCTED PER IMPROVEMENT PLAN 13937-5-0
- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT
- ALL EXCAVATED MATERIAL LISTED TO BE EXPORTED, SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE "GREEN BOOK"), 2003 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE.
- ACCESSORY STRUCTURES LOCATED WITHIN BRUSH MANAGEMENT ZONES SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION SUFFICIENT TO PREVENT TRANSMITTING OF FIRE HABITABLE STRUCTURES

GRADING DATA TABLE:

CUT (FOOTING, LANDSCAPE, TRENCH & PAD):	5.5 YARDS
FILL:	2 YARDS
EXPORT:	3.5 YARDS



PARTIAL SITE PLAN
 SCALE: 1" = 1'-0"

License's Conditions
 Standard Wireless Facility Project
 for Post-construction RMP's

I/ we the undersigned, as licensee of a portion of the property described in
 7990 VIA CAPRI LA JOLLA, CA 92037
 (Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Minimize Pollution from the Project Area" and incorporate "Site Design" and "Storm Control" BMP's.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediment
- Trash
- Trash & Debris
- Organic Dissolving Solvents
- Oil & Grease
- Stainless & Vitreous Particles

I/ we will incorporate the following into the site design:

- Minimize non-development storm characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable interlocking pavers
- Construct natural areas
- Use natural drainage systems as opposed to flood control or underground drainage systems
- Design roof tops, walkways, patios and driveways with adjacent landscaping prior to developing to the grade drainage systems
- Prevent existing water ways and debris
- Protect all slopes from erosion

Additionally, I/ we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain barrel devices and flow meters as needed.

I/ we will maintain the above Standard Permit RMP's for the duration of the lease.

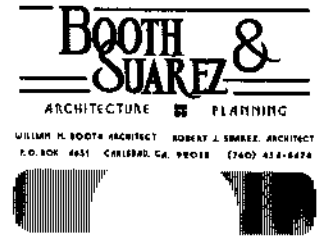
Licensee: **Dwight Woods** Company Name: **Verizon Wireless**
 (Print Name)
 Licensee: **Dwight Woods** Date: **1-9-2008**

VERIZON WIRELESS TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:

CDMA EQUIPMENT:
 TX FREQUENCY: 1885-1970 MHz
 RX FREQUENCY: 1885-1890 MHz
 TX POWER: 800W

PCS EQUIPMENT:
 TX FREQUENCY: 880-894 MHz
 RX FREQUENCY: 835-848 MHz
 TX POWER: 6150W

BOUNDARY NOTE:
 THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A TITLE REPORT WAS NOT PROVIDED AND A BOUNDARY SURVEY WAS NOT PERFORMED



PREPARED FOR
verizon wireless
P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

ABC	DATE
RE	DATE
RF	DATE
WT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

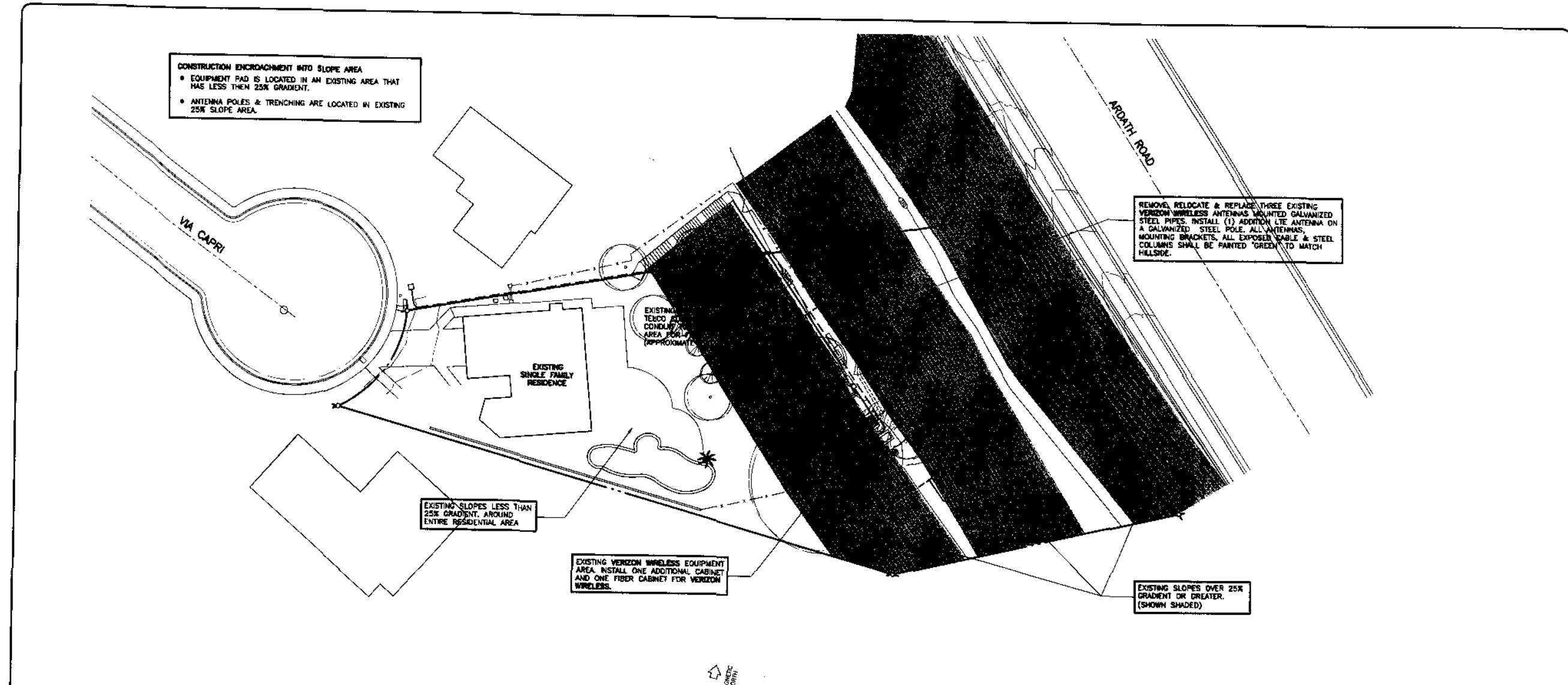
PROJECT NAME
ARDATH
7990 VIA CAPRI
LA JOLLA, CA 92037
MTX-48
SAN DIEGO COUNTY

DRAWING DATES
05/28/10 CITY COMMENTS (ao)
08/13/10 CITY COMMENTS (elb)

SHEET TITLE
SLOPE ANALYSIS PLAN

PROJECTS\verizon\09057zd\08057xad.1.DWG

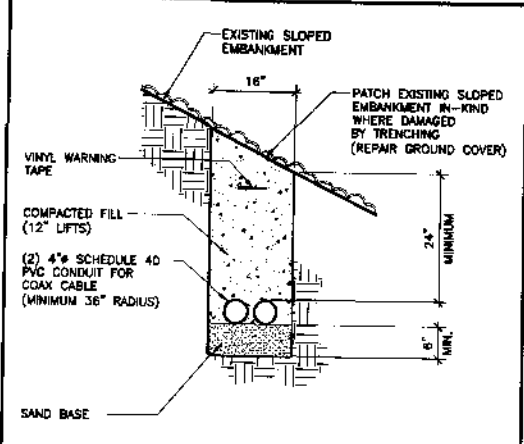
A-0.1



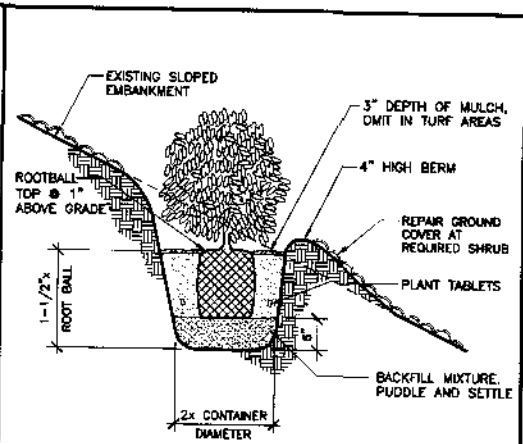
SLOPE ANALYSIS PLAN
SCALE: 1" = 50'-0"

PROPOSED LAND DISTURBANCE

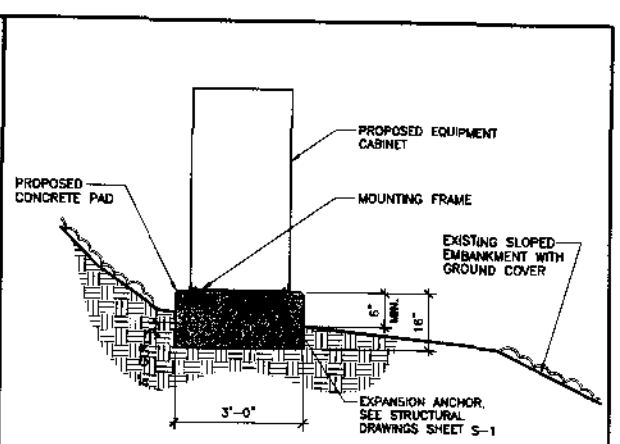
LOCATION	AREA	DEPTH	CU. YARDS
ANTENNA POST:	1.0 SQ. FT.	3.00 FT.	.15 CU. YDS.
CABINET PAD:	19.5 SQ. FT.	0.83 FT.	.60 CU. YDS.
TRENCH:	24.3 SQ. FT.	2.83 FT.	2.50 CU. YDS.
LANDSCAPE:	30.70 SQ. FT.	2.00 FT.	2.27 CU. YDS.
TOTAL AREA:	75.5 SQ. FT.		5.52 CU. YDS.



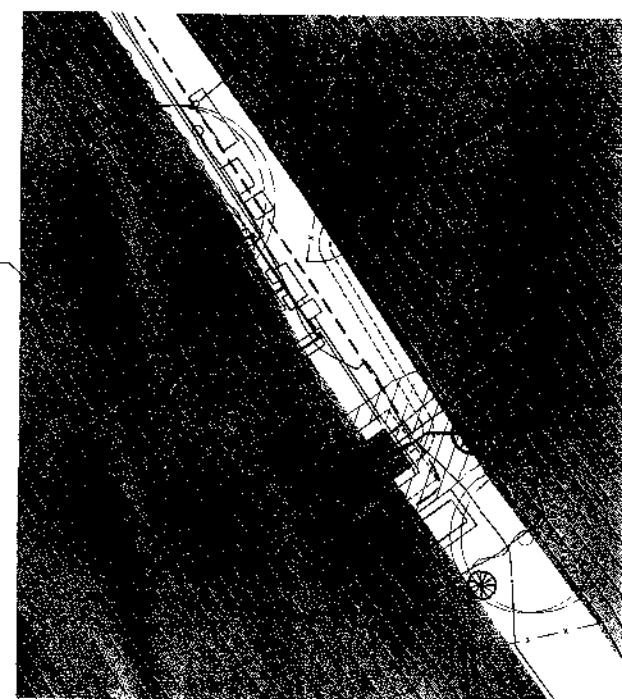
COAXIAL CABLE CONDUIT TRENCH SCALE: 3/4" = 1'-0" 1



PLANTING ON SLOPE GRADE SCALE: N.T.S. 2

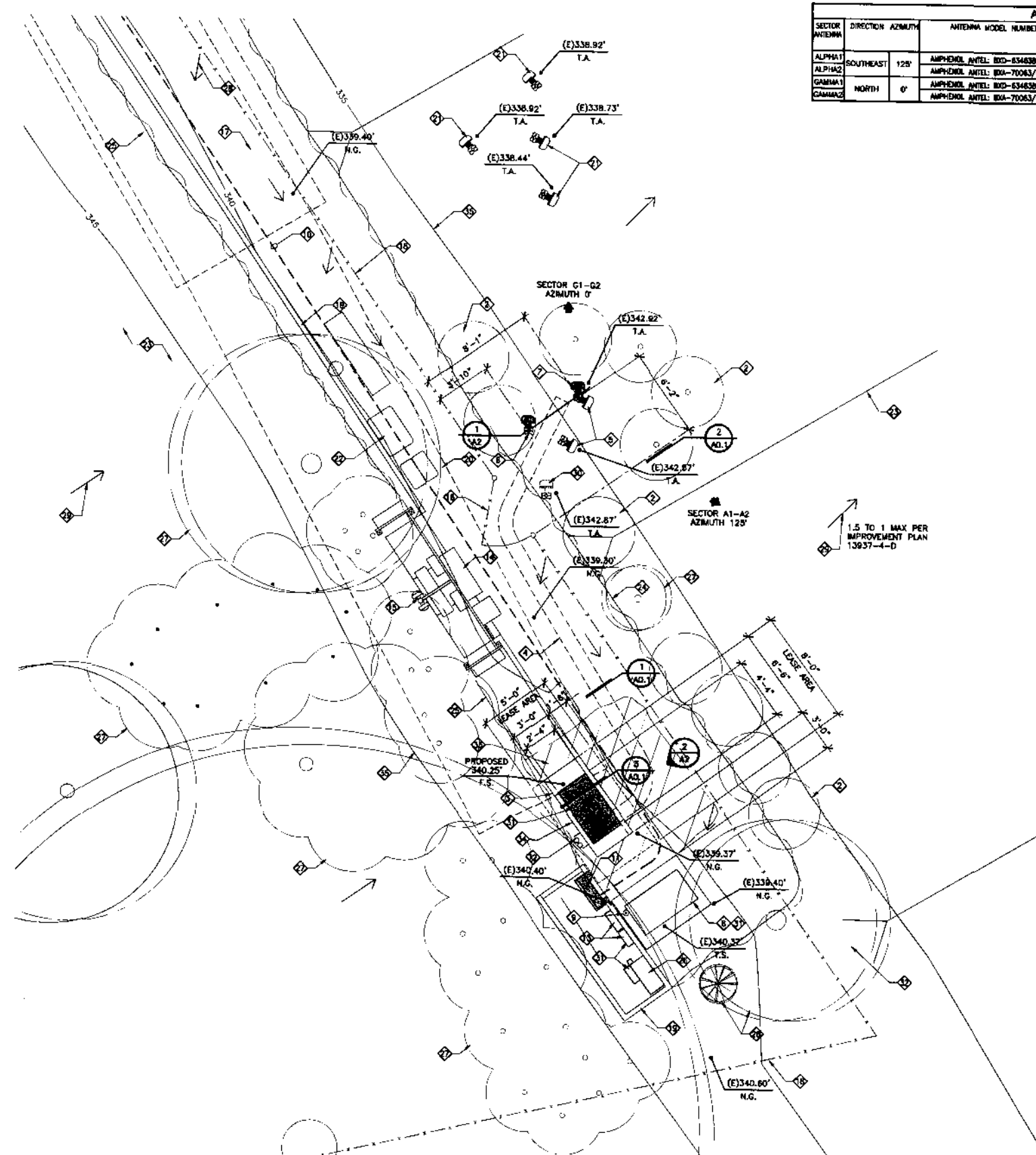


EQUIPMENT FRAME TO SLAB SCALE: 1/2" = 1'-0" 3



ENLARGED SLOPE ANALYSIS PLAN
SCALE: 1/2" = 1'-0"

ANTENNA AND COAXIAL CABLE SCHEDULE										
SECTOR ANTENNA	DIRECTION	AZMUTH	ANTENNA MODEL NUMBER	DOWNTILT	SECTOR ANGLE	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	COAX SIZE
ALPHA1	SOUTHEAST	125°	AMPHEOL ANTEL: BDA-6346380CF	0°	N/A		6	35'-0"	0'-0"	7/8"
ALPHA2			AMPHEOL ANTEL: BDA-70063/4CF							
GAMMA1	NORTH	0°	AMPHEOL ANTEL: BDA-6346380CF	0°	N/A		6	35'-0"	0'-0"	7/8"
GAMMA2			AMPHEOL ANTEL: BDA-70063/4CF							



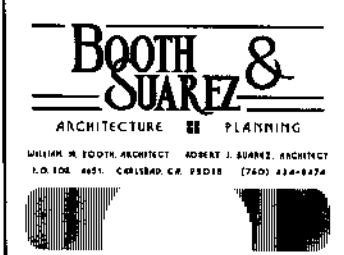
ENLARGED SITE PLAN
SCALE: 1/8" = 1'-0"

ENLARGED SITE PLAN NOTES:

- 1. INSTALL VERIZON WIRELESS EQUIPMENT CABINET 51 3/16" WIDE x 57 1/16" HIGH x 27 9/16" DEEP (SHOWN SHADED)
- 2. PROPOSED LANDSCAPE SCREEN SHRUBS. SEE SHEET L-1 FOR LANDSCAPE PLAN
- 3. PROPOSED POURED-IN-PLACE CONCRETE PAD FOR VERIZON WIRELESS CABINETS. SLOPE TO EXISTING PERVIOUS DIRT PATH
- 4. PROPOSED VERIZON WIRELESS CABLE TRENCH. REPAIR IN-KIND LANDSCAPE AREA DAMAGED IN COURSE OF CONSTRUCTION.
- 5. REMOVE AND REPLACE EXISTING VERIZON WIRELESS ANTENNAS & BRACKETS. EXISTING GALVANIZED STEEL PIPES TO REMAIN. ALL EXPOSED CABLE, ANTENNAS & STEEL COLUMNS SHALL BE PAINTED "GREEN/BROWN" TO BLEND WITH HILLSIDE.
- 6. INSTALL VERIZON WIRELESS ANTENNA, BRACKETS, CABLE & GALVANIZED STEEL POST. (SHOWN DASHED) ANTENNAS, MOUNTING BRACKETS, ALL EXPOSED CABLE & STEEL COLUMNS SHALL BE PAINTED "GREEN/BROWN" TO BLEND WITH HILLSIDE.
- 7. INSTALL VERIZON WIRELESS ANTENNA ON EXISTING GALVANIZED STEEL POST. ANTENNAS, MOUNTING BRACKETS, ALL EXPOSED CABLE & STEEL COLUMNS SHALL BE PAINTED "GREEN/BROWN" TO BLEND WITH HILLSIDE.
- 8. EXISTING VERIZON WIRELESS EQUIPMENT CABINET ON A CONCRETE PAD
- 9. EXISTING GPS ANTENNA MOUNTED TO EQUIPMENT CABINET
- 10. EXISTING VERIZON WIRELESS TELCO CONDUIT, REUSE 2" CONDUIT FOR FIBER TO THE EQUIPMENT AREA. (APPROXIMATE 290'-0") SEE SHEET A-0 FOR ROUTE
- 11. PROPOSED VERIZON WIRELESS 30" x 36" x 8" TERMINATION BOX ON UNISTRUT H-FRAME ABOVE EXISTING TELCO BOX
- 12. PROPOSED (2) 4" CONDUITS FOR COAX CABLE
- 13. EXISTING ELECTRICAL PANELS MOUNTED TO WOOD FRAME
- 14. EXISTING TELECOMMUNICATIONS EQUIPMENT CABINETS ON A CONCRETE PAD
- 15. EXISTING LIGHT FIXTURE
- 16. EXISTING CHAINLINK GATE
- 17. EXISTING DIRT PATH
- 18. REMOVE AND REPLACE EXISTING CHAINLINK FENCE WITH NEW VINYL COATED (GREEN) FENCE OF SAME HEIGHT ±4"
- 19. EXISTING 4" x 4" PRESSURE TREATED WOOD
- 20. EXISTING UNDERGROUND UTILITY PULL-BOXES
- 21. EXISTING (CROWN CASTLE) TELECOMMUNICATIONS PIPE MOUNTED ANTENNA TO REMAIN
- 22. EXISTING VERIZON WIRELESS 24" x 36" UNDERGROUND TELCO PULL-BOX
- 23. EXISTING SLOPE EMBANKMENT (STEEP SLOPES)
- 24. EXISTING TOP OF SLOPE
- 25. EXISTING BOTTOM OF SLOPE
- 26. REMOVE & REPLACE EXISTING TELCO BOX WITH NEW M.S. FIBER CABINET
- 27. EXISTING LANDSCAPE SHRUBS AND TREE
- 28. SURFACE DRAINAGE OF EXISTING (BENCH) PATHWAY (NO CHANGE)
- 29. SLOPE OF EXISTING EMBANKMENT (NO CHANGE)
- 30. REMOVE EXISTING VERIZON WIRELESS ANTENNA, STEEL POLE, BRACKETS & COAX CABLE (SHOWN DASHED)
- 31. PAINT ALL VERIZON WIRELESS CABINETS "GREEN/BROWN" TO BLEND WITH HILLSIDE.
- 32. EXISTING GRADED BENCH SURFACE DRAINAGE FLOW DISCHARGED AREA INTO EXISTING LANDSCAPE SHRUBS AND GROUND COVER (SHOWN HATCHED)
- 33. INSTALL GRAVEL BASE OVER FILTER FABRIC AROUND PROPOSED IMPERVIOUS SURFACE TO REDUCE STORM WATER DISCHARGE VELOCITIES ON EXISTING GRADED BENCH
- 34. RETAINING WALL NOT REQUIRED FOR INSTALLATION OF NEW VERIZON CABINET
- 35. EXISTING CONTOURS LINES (NO CHANGE)

ENGINEERING NOTES:

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.



PREPARED FOR

P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
GPS	DATE
EE/OUT	DATE

PROJECT NAME
ARDATH
7990 VIA CAPRI
LA JOLLA, CA 92037
MTX-48
SAN DIEGO COUNTY

DRAWING DATES

06/05/09	2D REVIEW (rol)
07/27/09	EQUIPMENT REVISION (oo)
08/04/09	REVISED 2D (oo)
11/12/09	CITY COMMENTS (oo)
05/28/10	CITY COMMENTS (oo)
08/13/10	CITY COMMENTS (rlb)

SHEET TITLE
EQUIPMENT ENCLOSURE & ANTENNA PLANS

PROJECTS\verizon\09057zd\09057za1.DWG

Booth & Suarez
 ARCHITECTURE ■ PLANNING
 WILLIAM R. BOOTH, ARCHITECT ROBERT J. SUAREZ, ARCHITECT
 P.O. BOX 4651, CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

 P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 222-7000

APPROVALS

ARC	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
DPS	DATE
EE/OUT	DATE

PROJECT NAME
ARDATH
 7990 VIA CAPRI
 LA JOLLA, CA 92037
MTX-48
 SAN DIEGO COUNTY

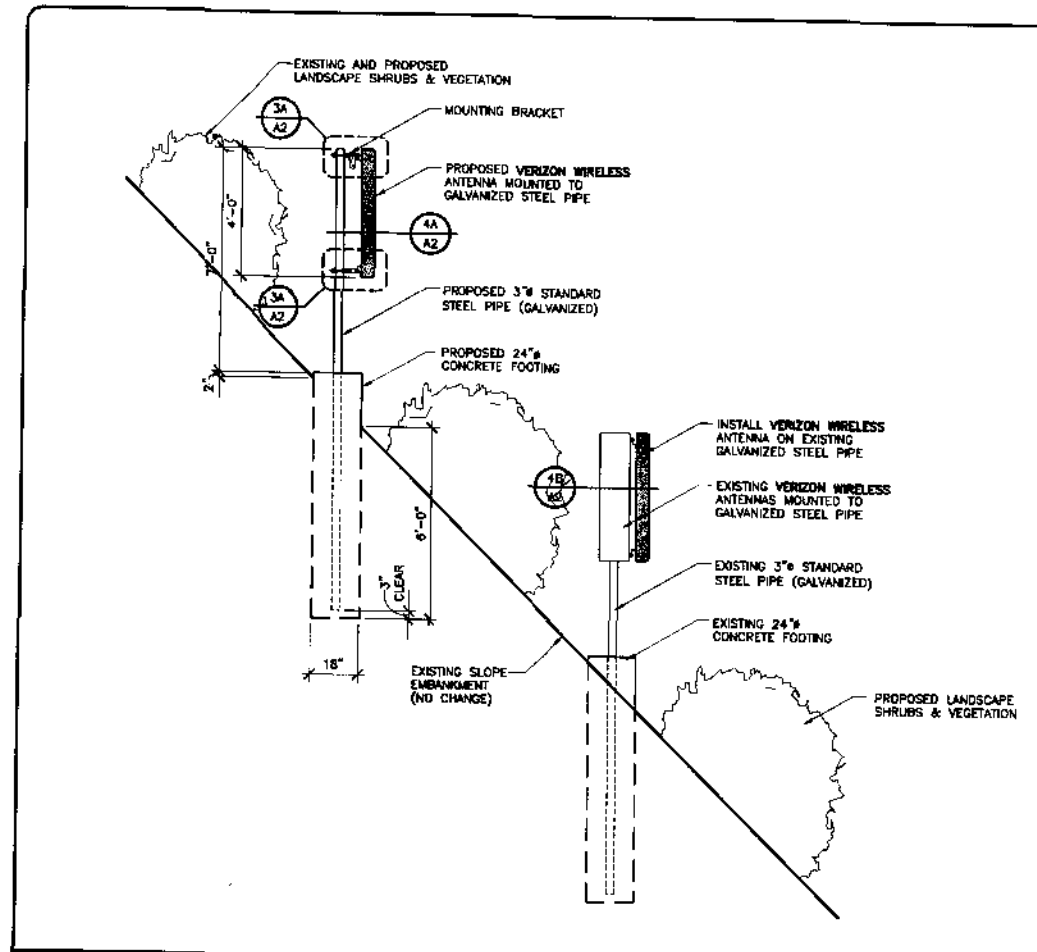
DRAWING DATES

06/05/08	2D REVIEW (rol)
07/27/08	EQUIPMENT REVISION (oo)
08/04/08	REVISED 2D (oo)
11/18/09	CITY COMMENTS (oo)
05/28/10	CITY COMMENTS (oo)
06/15/10	CITY COMMENTS (cb)

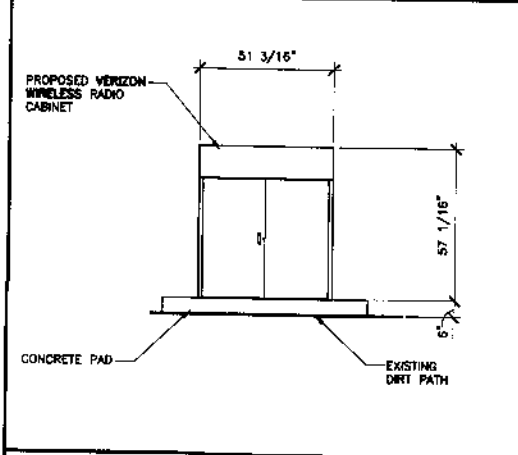
SHEET TITLE
EXTERIOR ELEVATIONS & DETAILS

PROJECTS\verizon\090572d\090572a2.dwg

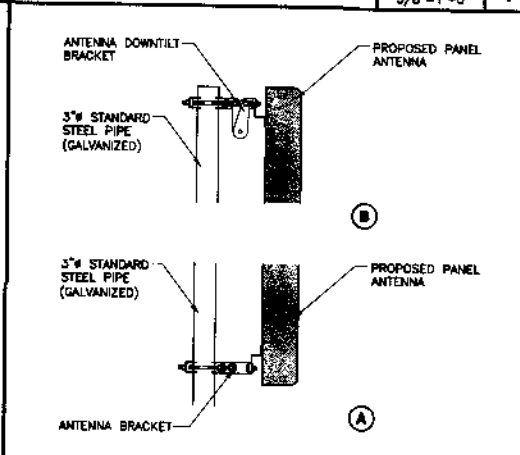
A-2



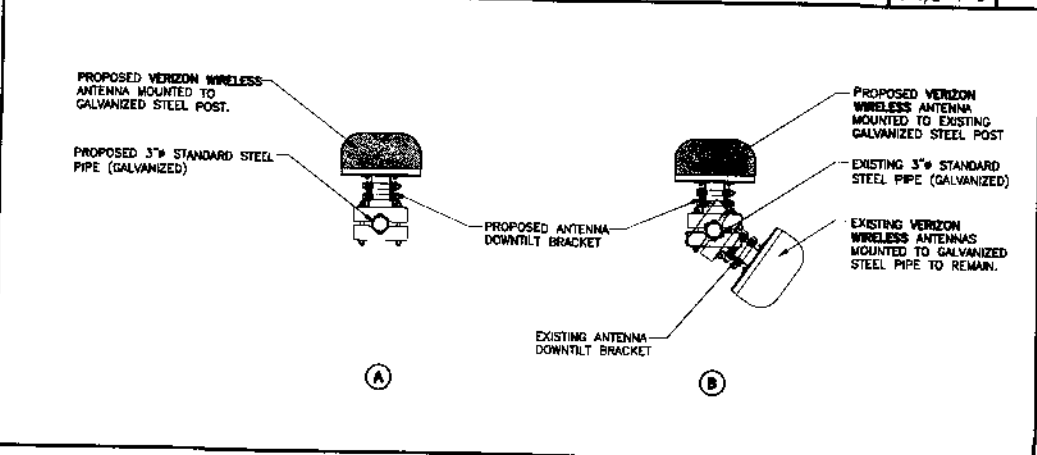
ANTENNA DETAIL SCALE 3/8"=1'-0" 1



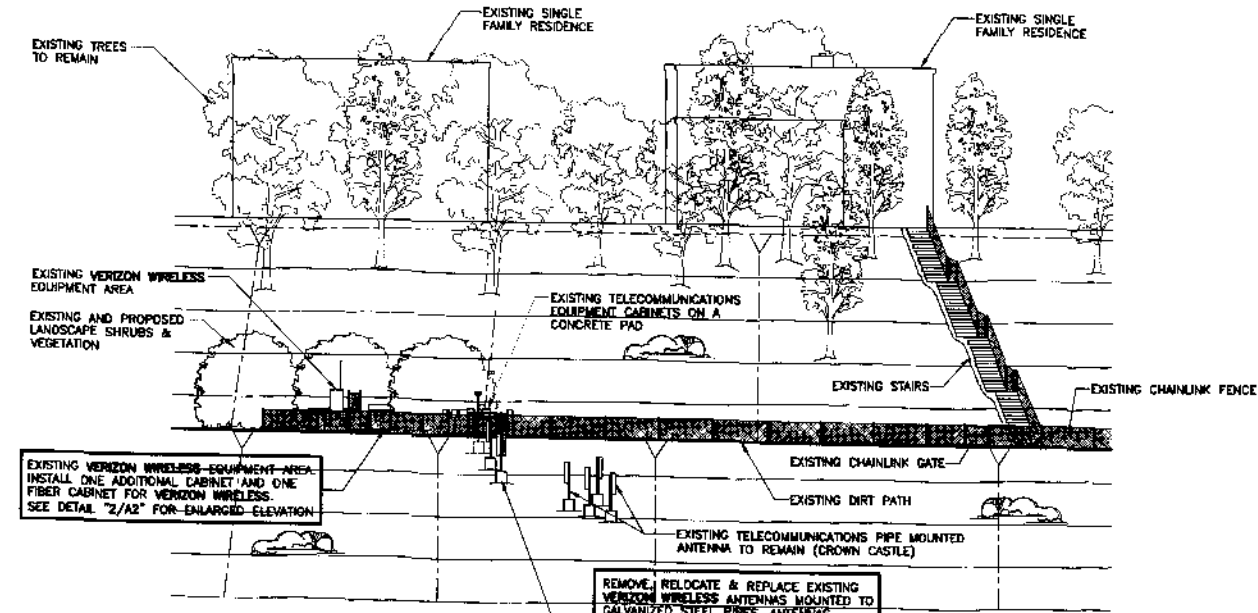
CABINET ELEVATION SCALE 3/8"=1'-0" 2



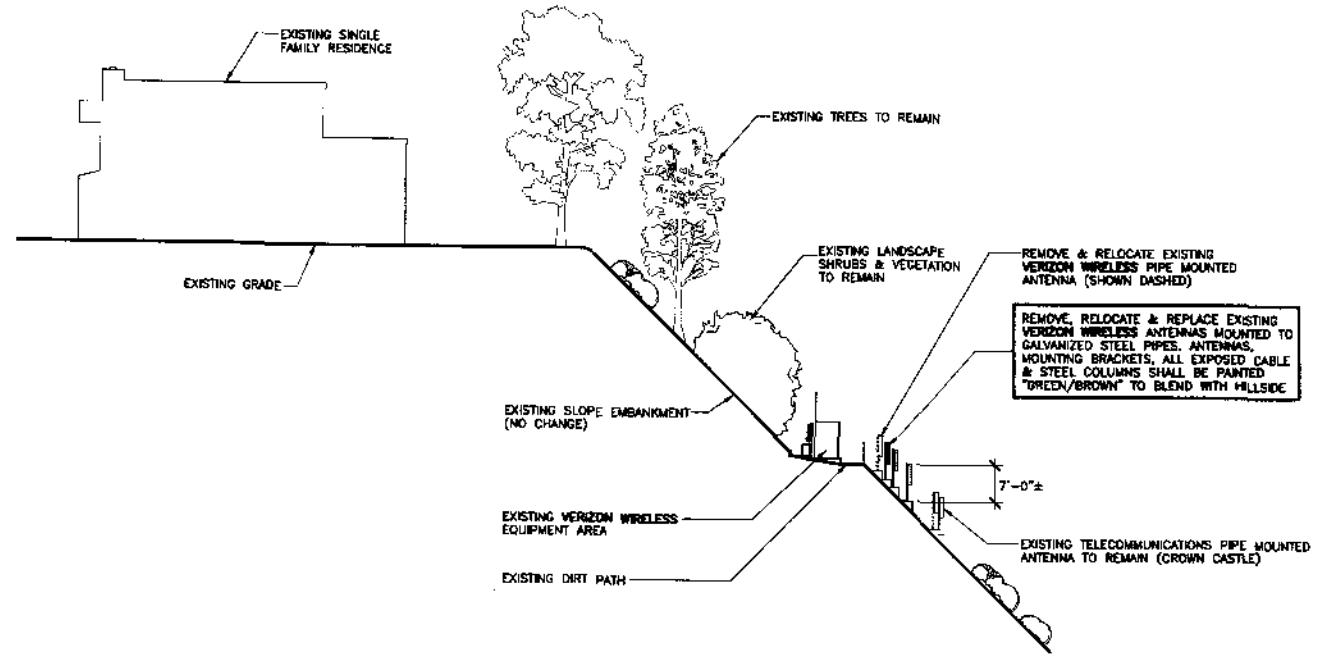
ANTENNA PIPE MOUNT SCALE 1-1/2"=1'-0" 3



PIPE MOUNTED ANTENNAS WITH SKIRTS SCALE 1-1/2"=1'-0" 4



EAST ELEVATION SCALE 1/8"=1'-0"



SOUTH ELEVATION / SECTION SCALE 1/8"=1'-0"



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 222-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

ARDATH

7990 VIA CAPRI
 LA JOLLA, CA 92037
MTX-48
 SAN DIEGO COUNTY

DRAWING DATES

07/27/09	EQUIPMENT REVISION (oo)
08/04/09	REVISED 2D (oo)
11/12/09	CITY COMMENTS (oo)
05/28/10	CITY COMMENTS (oo)
08/13/10	CITY COMMENTS (cb)

SHEET TITLE

LANDSCAPE DEVELOPED PLAN

PROJECTS\verizon\09057zd\09057zL1.DWG

L-1

PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. ALL TREE AND SHRUB AREAS SHALL RECEIVE A 3" LAYER OF COURSE MULCH. GROUND COVER AREA SHALL RECEIVE A 1" LAYER OF FINE MULCH. SAMPLES OF MULCH ARE TO BE SUBMITTED TO THE CITY FOR APPROVAL AT LEAST TWO WEEKS BEFORE DELIVERY.
3. PLANTING INSTALLATION CRITERIA:
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
4. PLANTING MAINTENANCE CRITERIA:
 ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
5. IRRIGATION: EXISTING IRRIGATION SHALL BE PROTECTED IN PLACE. ANY IRRIGATION VALVES OR PIPES DAMAGED DURING CONSTRUCTION SHALL BE REPLACED IN-KIND AS REQUIRED FOR PROPER OPERATION & IRRIGATION OF THE EXISTING AND PROPOSED VEGETATION.
6. VERIZON WIRELESS IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA. CONTACT: P.O. BOX 19707, IRVINE, CA 92623-9707 (949) 222-7000
7. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY VERIZON WIRELESS. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

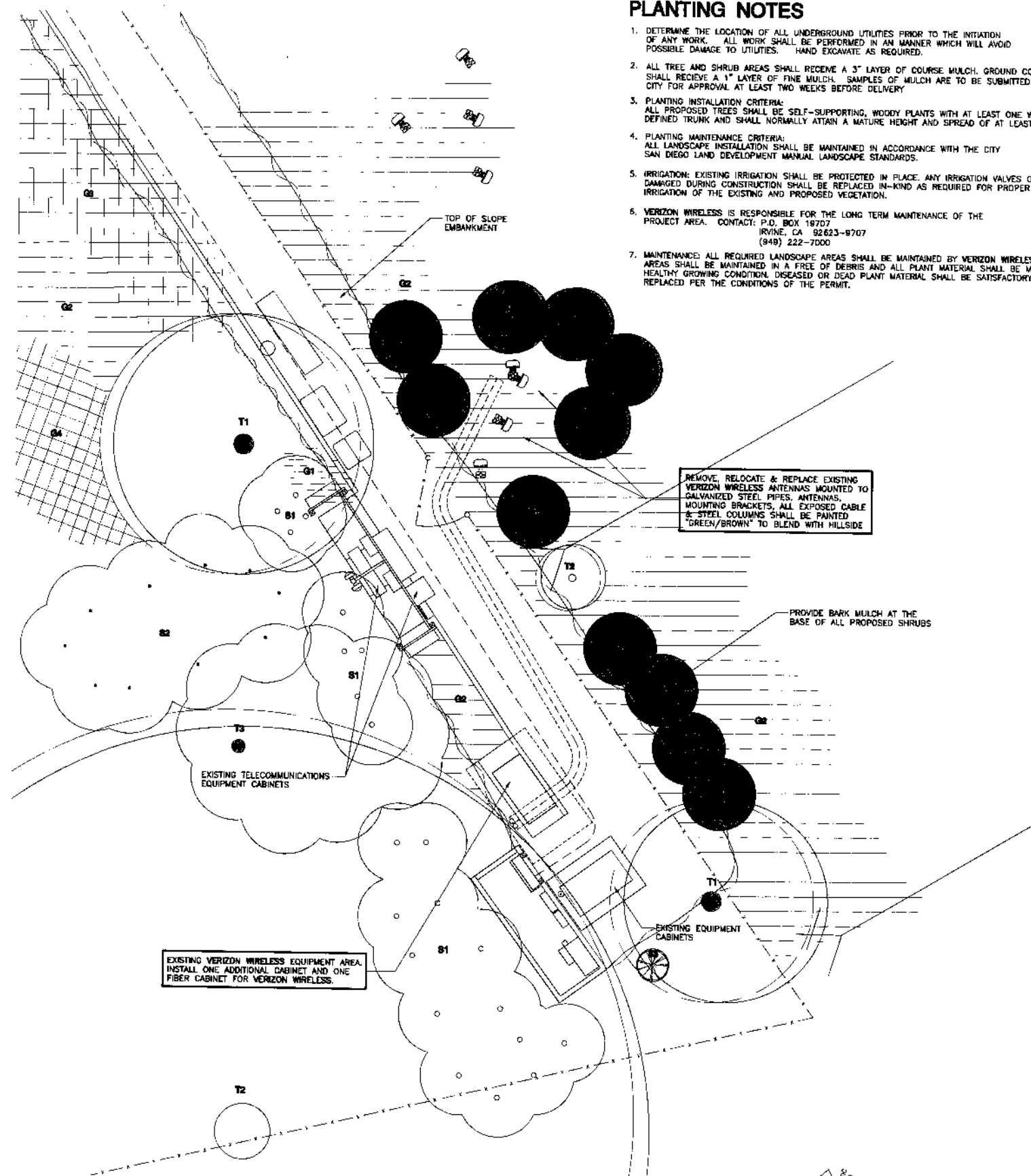
WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO LANDSCAPE REGULATIONS AND ALL OTHER CITY OF ENCINITAS LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER APPLICABLE CITY AND REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS.
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
7. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, FLOODING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.
8. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND WASTING.
9. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	MATURE HEIGHT & SPREAD
T1	EXISTING PODOCARPUS MENKELII	LONG LEAF YELLOW WOOD PODOCARPUS	EXISTING	2	30' HEIGHT 30' SPREAD
TE	EXISTING EUCALYPTUS CITRODORA	LEMON SCENTED EUCALYPTUS	EXISTING	2	80' HEIGHT 40' SPREAD
T3	EXISTING ACACIA MEARNSII	BLACK WATTLE	EXISTING	1	30' HEIGHT 30' SPREAD
S1	EXISTING TECOMARIA CAPENSIS	RED CAPE HONEYSUCKLE	EXISTING	-	20' HEIGHT 10' SPREAD
S2	EXISTING ACACIA RETINOIDES	MIMOSA ACACIA	EXISTING	-	20' HEIGHT 25' SPREAD
S3	EXISTING CORTADERIA SELLOANA	PAMPAS GRASS	EXISTING	1	10' HEIGHT 10' SPREAD
S4	PROPOSED NEROLIUM OLEANDER "PETITE PINK"	DWARF PINK OLEANDER	15 GAL.	7	4' HEIGHT 6' SPREAD
S5	PROPOSED CYTISUS SCOPARIUS	COMMON BROOM	15 GAL.	4	4' HEIGHT 4' SPREAD
G1	EXISTING OSTEOSPERMUM FRUTICOSUM	FREEWAY DAISY	EXISTING	-	1.5' HEIGHT 6' SPREAD
G2	EXISTING CORPOBROTUS EDULIS	HIGHWAY ICEPLANT	EXISTING	-	1' HEIGHT 30' SPREAD
G3	EXISTING ACACIA REDOLENS	PROSTRATE ACACIA	EXISTING	-	2' HEIGHT 15' SPREAD
G4	EXISTING APTEA CORDIFOLIA	RED APPLE	EXISTING	-	6' HEIGHT 2' SPREAD

NOTE: PATCH & REPAIR GROUND COVER WHERE DAMAGED BY TRENCHING AND INSTALLATION OF LANDSCAPE SHRUBS

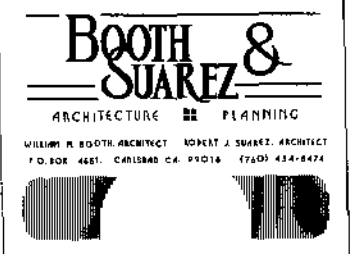


LANDSCAPE DEVELOPED PLAN

SCALE: 1/4" = 1'-0"

NOTE: EXISTING LANDSCAPE TREES AND SHRUBS ARE TO REMAIN. TRIM AS REQUIRED. INSTALL NEW CABINET ONLY. VERIFY WITH CITY OF SAN DIEGO PLANNING DEPARTMENT PRIOR TO TRIMMING.





PREPARED FOR
verizon wireless
P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

CONSULTANT
JRN CIVIL ENGINEERS
232 AVENIDA FABRICANTE,
SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4685

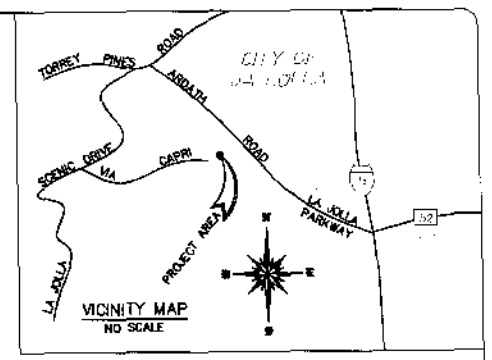
PROJECT NAME
ARDATH
7990 VIA CAPRI
LA JOLLA, CA. 92037
SAN DIEGO COUNTY

DRAWING DATES

SHEET TITLE
TOPOGRAPHIC SURVEY

PROJECTS\verizon\09057zd\09057zC1.DWG

C-1



DATUM STATEMENT:

BASIS OF BEARINGS:
BEARINGS SHOWN HEREON ARE BASED ON OBSERVATIONS OF THE CONTINUOUS OPERATING REFERENCE STATIONS (CORS) AS LISTED BELOW. INFORMATION ABOUT SAID STATIONS WAS RETRIEVED FROM THE CALIFORNIA SPATIAL REFERENCE CENTER AT [HTTP://WWW.SCRS.UCSD.EDU](http://www.scrs.ucsd.edu)
FROM STATION: SIO3
REFERENCE FRAME: NAD83 (CORS96)
EPOCH: 2002
TO STATION: SIO5
REFERENCE FRAME: NAD83 (CORS96)
EPOCH: 2002
INVERSED BEARING: S 00°54'13" E
BENCHMARK:
CITY OF SAN DIEGO BENCHMARK:
DESCRIPTION: CENTERLINE BC MONUMENT AT LA JOLLA SCENIC DRIVE NORTH AND LA JOLLA SCENIC DR 1000 FT N OF ARDATH RD.
ELEVATION: 331.91
DATUM: CITY OF SAN DIEGO, MEAN SEA LEVEL

DATE OF SURVEY:

APRIL 28, 2010

ASSESSORS PARCEL NUMBER:

353-170-16

NOTE:

THE BOUNDARY SHOWN HEREON IS FOR INFORMATIONAL PURPOSES ONLY, IT IS NOT THE RESULT OF A COMPLETE BOUNDARY SURVEY

ITEMS CORRESPONDING TO SCHEDULE "B":

BY: LAWYERS TITLE COMPANY
4100 NEWPORT PLACE DRIVE
SUITE 120
NEWPORT BEACH, CA. 92660
(949) 724-3170
TITLE NO.: 11932665-10
TITLE OFFICER: CHRIS MAZUR
DATED: APRIL 16, 2010

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS, CONDITIONS, RESTRICTIONS, TERMS AGREEMENTS AND MATTERS LISTED HEREON DENY ANY NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS MUST BE REFERRED TO LEGAL DESCRIPTION.

- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS, THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- 2 THE FACT THAT SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM ARDATH ROAD, SAID RIGHTS HAVE BEEN SEVERED BY DOCUMENT RECORDED MAY 3, 1993 AS INSTRUMENT NO. 761369 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS DEPICTED HEREON.
- 3 COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED JULY 11, 1970 AS INSTRUMENT NO. 101871 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, AMONGST THE VARIOUS PROVISIONS AFFECTING THE PROPERTY CONTAINED THEREIN THIS ITEM CONTAINS A PLOTTABLE 15' SETBACK LINE WHICH HAS BEEN DEPICTED HEREON. NOTE - THIS ITEM ALSO CONTAINS PROVISIONS FOR RADIO ANTENNAE WHICH STATES "ALL TELEVISION AND RADIO ANTENNAE OR AERIALS SHALL NOT EXTEND MORE THAN ONE (1) FOOT FROM THE ROOF."
- 4 AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS RECORDED APRIL 18, 1995 AS INSTRUMENT NO. 1995-0158978 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD AND IT IS NOT PLOTTED HEREON.
- 5 THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "EASEMENT AND ASSIGNMENT AGREEMENT" RECORDED OCTOBER 25, 2007 AS INSTRUMENT NO. 2007-0647854 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS APPROXIMATELY PLOTTED HEREON. NOTE - THE ACCESS AND UTILITY EASEMENTS DO NOT SET FORTH A BASIS OF ANGULAR ROTATION, HEREON THEY HAVE BEEN PLOTTED WITH THE ASSUMPTION THAT THEY WERE WRITTEN FROM A RECORD BASE, AS SHOWN ON MAP NUMBER 6662. THE COMMUNICATIONS EASEMENT AREA 1 AND 2 DESCRIPTIONS CANNOT BE PLOTTED AS WRITTEN.

ITEMS #5 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

LEGEND:

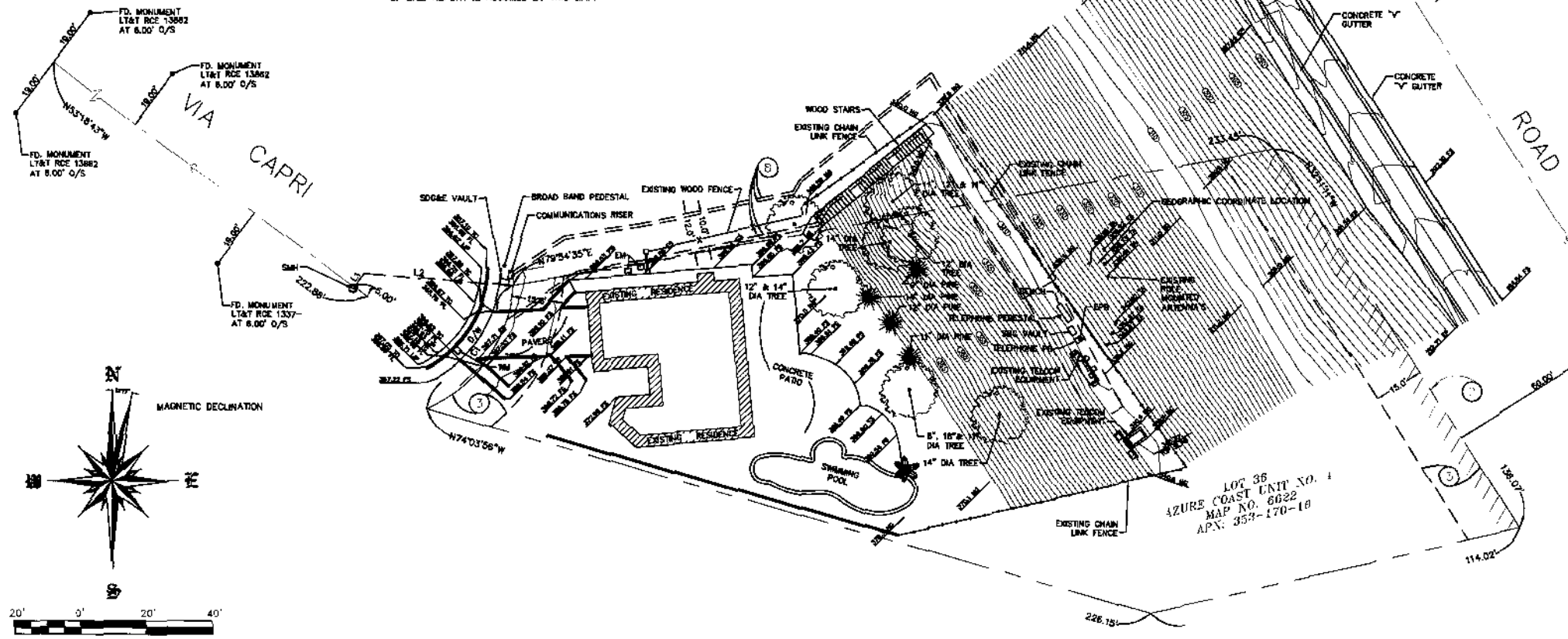
- APN - ASSESSORS PARCEL NUMBER
- D/W - DRIVEWAY
- DA - DIAMETER
- EM - ELECTRIC METER
- EPB - ELECTRIC PULLBOX
- EB - ELECTRIC BOX
- EP - EDGE OF PAVEMENT
- FD - FOUND
- FL - FLOW LINE
- FS - FINISH SURFACE
- EP - EDGE OF PAVEMENT
- EPB - ELECTRIC PULLBOX
- LT&T - LEAD, TACK AND TAG
- NO. - NUMBER
- PS - PULLBOX
- TA - TOP OF ANTENNA
- TC - TOP OF CURB
- SMH - SEWER MANHOLE
- NG - NATURAL GROUND
- O/S - OFFSET
- WM - WATER METER
- (Tree symbol) - EXISTING TREE

LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
LOT 38 OF AZURE COAST UNIT NO. 4, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 6662, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JUNE 11, 1970.
ASSESSOR'S PARCEL NUMBER: 353-170-16

COORDINATES:

LATITUDE: 32°50'39.643" N
LONGITUDE: 117°14'28.546" W
DATUM: NAD27
LATITUDE: 32°50'39.814" N
LONGITUDE: 117°14'31.877" W
DATUM: NAD83



LINE TABLE		
LINE	BEARING	LENGTH
L1	N36°41'17"E	5.00'
L2	N85°25'46"W	48.00'

CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	81°06'56"	45.00'	48.00'

