



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: November 11, 2010 **REPORT NO. PC-10-098**

ATTENTION: Planning Commission, Agenda of November 18, 2010

SUBJECT: CLEARWIRE – PENNSYLVANIA
PROJECT NO. 207390, PROCESS 4

OWNER: COASTAL ASSOCIATION SRV, INC.
APPLICANT: CLEARWIRE

SUMMARY

Issue(s): Should the Planning Commission approve a Wireless Communication Facility (WCF) at 836 West Pennsylvania Avenue within the Uptown Planning Area?

Staff Recommendation: APPROVE Conditional Use Permit No. 777872.

Community Planning Group Recommendation: On October 6, 2010 the Uptown Community Planning Committee voted 14-0-1 to recommend approval of this project (Attachment 12).

Environmental Review: The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines, Section 15301, Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 14, 2010, and the opportunity to appeal that determination ended October 28, 2010 (Attachment 8).

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.



BACKGROUND

The existing 45-foot high condominium building currently contains two existing Wireless Communication Facilities completely concealed behind rooftop cupolas (Verizon Wireless and T-Mobile). The property is zoned MR-1000 in the Mid-City Communities Planned District and it is designated for residential use in the Uptown Planning Area. The site is surrounded by multi-family units to the north, south and east of the property and single family units to the west (Attachment 1). Clearwire's proposed WCF will be concealed inside an existing empty rooftop cupola. Therefore, no additional rooftop structure is being proposed at this location. Instead, all the proposed Clearwire antennas, microwave dishes and associated equipment will be appropriately concealed.

DISCUSSION

Project Description - Clearwire is proposing to install a total of six (6) panel antennas and three (3) microwave dishes inside an existing rooftop cupola. The equipment associated with this project will also be placed inside the existing rooftop cupola and will not be visible to the public. Portions of the cupola will be removed and replaced with Fiberglass Reinforced Panels (FRP) to allow the antennas and microwave dish to transmit signals to the intended coverage and designated areas. The FRP screening will be painted and textured to match the existing cupola resulting in minimal visual impact (Attachment 10). This proposed WCF would allow Clearwire to provide 4G speed internet to the surrounding area.

Community Plan Analysis - The proposed WCF is located in an area identified as Low Density Residential in the Uptown Community Plan. The Uptown Community Plan does not contain specific policies on wireless communication facility development; therefore there are no Community Plan land use issues associated with the location of the proposed project. The Uptown Community Plan contains urban policies for new development to be compatible with the color, texture, architectural detail and overall appearance of the surrounding neighborhood. Additionally, visually distracting rooftop appendages such as stairway towers and mechanical equipment should be screened from public view. Clearwire's proposed design will be fully camouflaged and concealed on the rooftop from the surrounding area, therefore this facility is consistent with the design policies within the Uptown Community Plan.

Project-Related Issues - The project is proposed within a preference 4 location according to Council Policy 600-43, which is a residential land use. This is the least desirable location and the applicant must demonstrate that sites within the Preference 1, 2, and 3 locations were explored in good faith and found unacceptable. The surrounding area identified within Clearwire's search ring primarily consists of multi-family residential uses. The nearest commercial districts are located several blocks north, along University Avenue. This area was identified by Clearwire and considered too distant to be a feasible option within this search ring area to provide coverage that can be achieved with this facility. In this situation, the facility is concealed and the visual impacts have been minimized. Other options were considered however, due to topography, height constraints, and limited design options, staff believes this proposal meets the intent of the regulations and the Guidelines. Therefore, staff supports the proposed design at its current

location and has determined that it will not cause a visual impact.

General Plan - The General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of the facility is to be aesthetically pleasing and respectful of the neighborhood context. The Clearwire WCF is using an existing rooftop element (Attachment 9) which will result in a completely concealed design. Therefore, staff has determined that the proposed WCF has been designed to the extent possible to be integrated and respectful to the neighborhood context.

Conclusion: Staff has reviewed the proposed project and has determined the project is consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the development regulations of the Mid City Community Planned District MR-1000 zone and the Wireless Communication Facility regulations. A Conditional Use Permit is required as the facility is located on a residential use within a residential zone. The required findings can be made (Attachment 5) to support staff's recommendation. Therefore, staff recommends the Planning Commission approve Conditional Use Permit No. 777872.

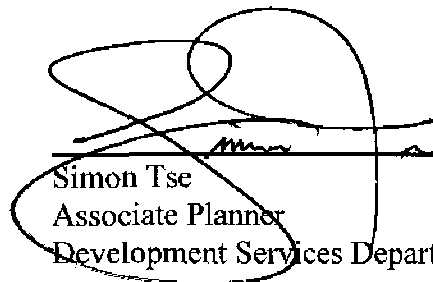
ALTERNATIVES

1. **APPROVE** Conditional Use Permit No. 777872, **with modifications.**
2. **DENY** Conditional Use Permit No. 777872, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Simon Tse
Associate Planner
Development Services Department

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Resolution
6. Draft Permit
7. Project Plan(s)
8. Notice of Exemption

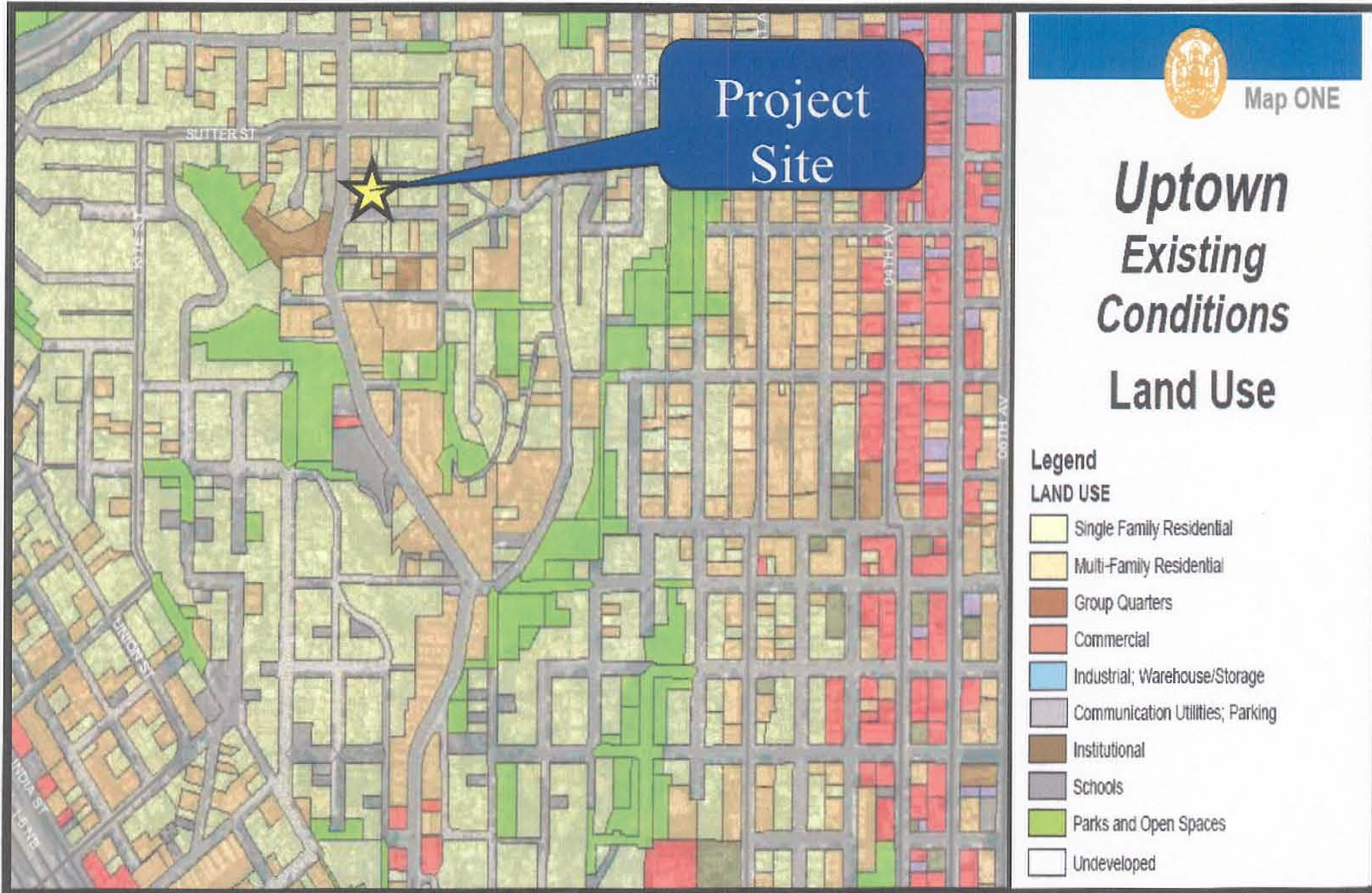
9. Photo Survey
10. Photo Simulation(s)
11. Ownership Disclosure Statement
12. Community Planning Group Recommendation
13. Project Chronology
14. Notice of Hearing



Aerial Photo

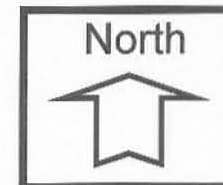
CLEARWIRE – PENNSYLVANIA – PROJECT NO. 207390
836 W. PENNSYLVANIA AVENUE, SAN DIEGO, CA 92103

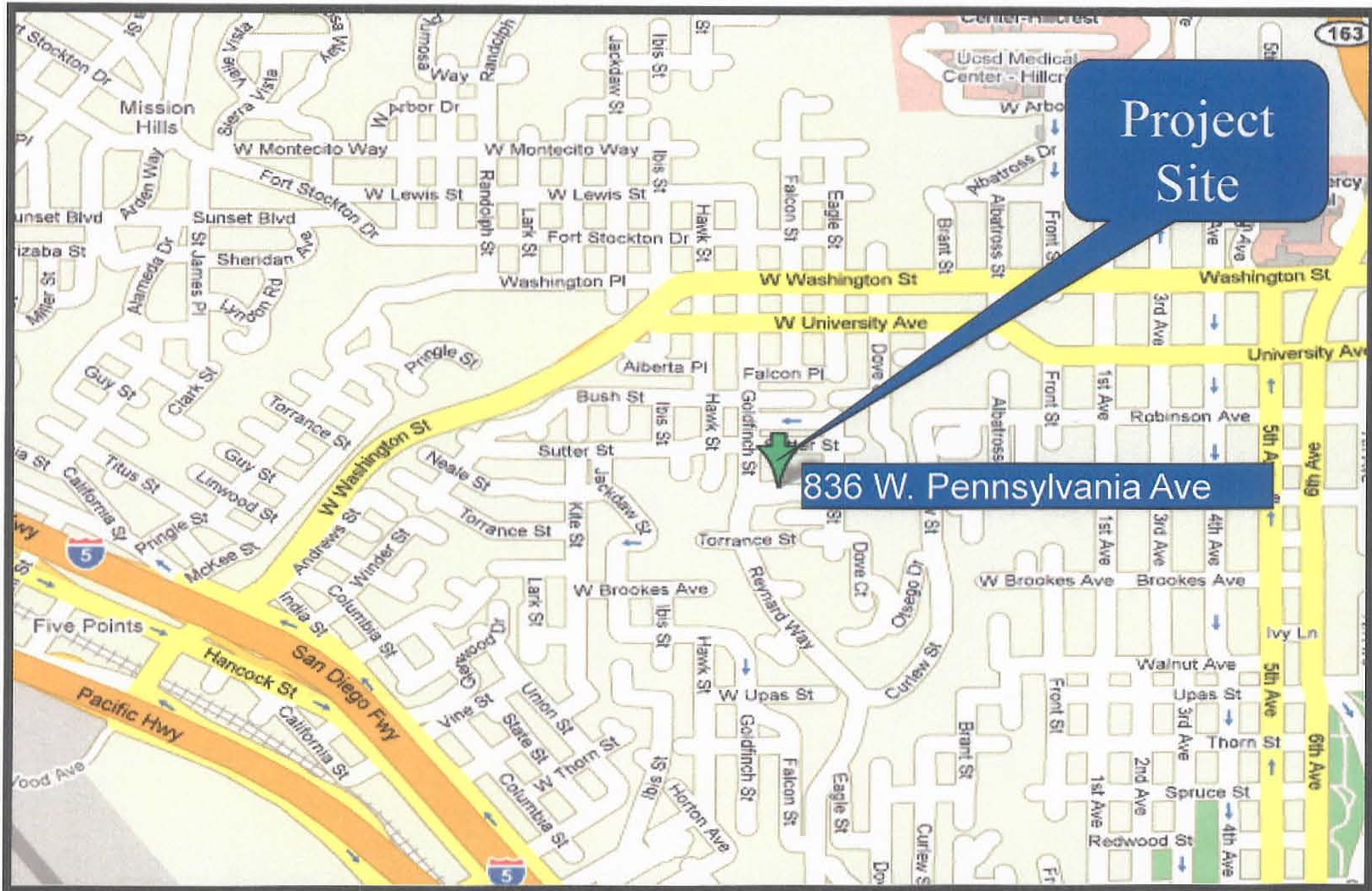




Community Land Use Map (Uptown)

CLEARWIRE – PENNSYLVANIA – PROJECT NO. 207390
836 W. PENNSYLVANIA AVENUE, SAN DIEGO, CA 92103





Project Location Map

CLEARWIRE – PENNSYLVANIA – PROJECT NO. 207390
836 W. PENNSYLVANIA AVENUE, SAN DIEGO, CA 92103



PROJECT DATA SHEET

PROJECT NAME:	Clearwire - Pennsylvania	
PROJECT DESCRIPTION:	A Wireless Communication Facility (WCF) consisting of the installation of six (6) panel antennas and three (3) microwave dishes concealed inside an existing rooftop cupola. The associated equipment will also be located inside the existing rooftop cupola and will not be visible to the public.	
COMMUNITY PLAN AREA:	Uptown	
DISCRETIONARY ACTIONS:	Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	MR-1000	
<u>ZONING INFORMATION:</u>		
	<u>Required</u>	<u>Proposed</u>
Zone:	MR-1000	MR-1000
Height Limit:	50 feet	45 feet
Front Setback:	10 feet	10 feet
Interior Side Setback:	6 feet	6 feet
Street Side Setback:	6 feet	6 feet
Rear Setback:	1 feet if alley, 15 feet if no alley	1 feet
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	MR-1000	Multi-Family Housing
SOUTH:	MR-1000/MR-3000	Multi-Family Housing
EAST:	MR-3000	Multi-Family Housing
WEST:	RS-1-7	Single-Family Housing
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Uptown Community Planning Group voted 14-0-1 to recommend approval of the project on October 6, 2010.	

PLANNING COMMISSION
RESOLUTION NO. _____
CONDITIONAL USE PERMIT NO. 777872
CLEARWIRE PENNSYLVANIA
DRAFT

WHEREAS, COASTAL ASSOCIATION SRV, INC., Owner & CLEARWIRE, Permittee, filed an application with the City of San Diego for a permit to install a Wireless Communication Facility (WCF) consisting of the six (6) panel antennas and three (3) microwave dishes completely concealed inside an existing rooftop cupola. The equipment associated with this project will also be installed in the rooftop cupola and will not be visible to the public as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 777872;

WHEREAS, the project site is located at 836 W. Pennsylvania Avenue, in the Mid City Community Planned District MR-1000 zone within the Uptown Community Plan.

WHEREAS, the project site is legally described as parcel 1 of parcel map no. 14561, in the City of San Diego, County of San Diego, State of California, filed in the office of the County recorder of San Diego County, December 1, 1986. Together with that portion of the alley as vacated by the City of San Diego resolution #287127 recorded April 2, 1996. As file no. 175293 of official records adjoining said land on the east.

WHEREAS, on November 18, 2010, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 777872 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 12, 2010 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301, Existing Facilities and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated November 18, 2010.

FINDINGS:

Conditional Use Permit - Section 126.0305

1. **The proposed development will not adversely affect the applicable land use plan;** The Uptown Community Plan does not address wireless communication facilities as a specific land use. However, the City of San Diego General Plan addresses these facilities, recommending that they minimize visual impact by concealing the wireless facilities in existing structures when possible, designing facilities to be aesthetically pleasing and respectful to the neighborhood context and concealing mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. Pursuant to the San Diego Land Development Code, wireless communication facilities are permitted in all zones citywide with the appropriate permit process.

Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. The six (6) panel antennas and three (3) microwave dishes will be completely concealed inside an existing rooftop cupola. Portions of the cupola will be replaced with Fiberglass Reinforced Panels (FRP) to allow the antennas and microwave dishes to transmit their signals. The FRP screen walls will be painted and textured to match. The associated equipment is also concealed inside the existing rooftop cupola and will not be visible to the public. As a result, the proposed development would not adversely affect the Uptown Community Plan or the City of San Diego General Plan and Progress Guide.

2. **The proposed development will not be detrimental to the public health, safety, and welfare;** The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require Clearwire to submit an RF report to the City of San Diego prior to the issuance of a building permit. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area.
3. **The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code;** and The project complies with all applicable development regulations of the Land Development Code and the City of San Diego Wireless Communication Facility regulations (Land Development Code Section 141.0420). This section of the Code requires telecommunication facilities to be minimally visible through the use of architecture, landscape architecture and siting solutions. The antennas are concealed inside the existing rooftop cupola along with the associated equipment. The existing use of the property is residential and as such, a Conditional Use Permit is required. There are no deviations from the development regulations or variances requested with this application. Therefore, Clearwire’s project is in full compliance with the applicable regulations of the Land Development Code.
4. **The proposed use is appropriate at the proposed location.** Typically, the City of San Diego encourages wireless carriers to locate on non-residential properties. In this case, the search ring identifies non-residential properties, but due to the height of the existing building, Clearwire was able to cover a larger objective area with one site. Equally important, the facility contained an existing cupola that could be used as a fully stealthed design, allowing the WCF to be completely concealed while minimizing all visual impacts to the existing condominium. All six (6) panel antennas and three (3) microwave dishes are concealed inside the existing rooftop cupola and as such, it meets the Wireless Communication Facility regulations. Additionally, Clearwire is required to submit a Radio Frequency Study demonstrating compliance with Federal Communication Commissions standards. This project has been designed to comply with Section 141.0420 and the Wireless Communication Facility Guidelines. Additionally, this site will address Clearwire’s limited network coverage to the roadways, homes, and business located in the area. Thus, the proposed use is appropriate for this site.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 777872 is hereby GRANTED by the Conditional Use Permit to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 777872 copy of which is attached hereto and made a part hereof.

Simon Tse - Associate Planner
Development Services

Adopted on: November 18, 2010

Internal Order No. 24000784

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 24000784

CONDITIONAL USE PERMIT NO. 777872
CLEARWIRE PENNSYLVANIA
PROJECT NO. 207390
PLANNING COMMISSION
DRAFT

This Conditional Use Permit is granted by the Planning Commission, of the City of San Diego to **COASTAL ASSOCIATION SRV, INC.**, Owner, and **CLEARWIRE**, Permittee, pursuant to San Diego Municipal Code [SDMC] section Chapter 12, Article 6, Division 2 and Section 141.0420. The site is located at 836 West Pennsylvania Ave in the Mid City Community Planned District MR-1000 zone of the Uptown Community Plan. The project site is legally described as parcel 1 of parcel map no. 14561, in the City of San Diego, County of San Diego, State of California, filed in the office of the County recorder of San Diego County, December 1, 1986. Together with that portion of the alley as vacated by the City of San Diego resolution #287127 recorded April 2, 1996. As file no. 175293 of official records adjoining said land on the east.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 18, 2010, on file in the Development Services Department.

The project shall include:

- a. A Wireless Communication Facility (WCF) consisting of the installation of six (6) panel antennas and three (3) microwave dishes completely concealed inside an existing rooftop cupola. The associated equipment will also be located inside the existing rooftop cupola, not visible to the public; and
- b. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owner/Permittee and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted
9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

10. In the event that any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The proposed design complies with the Telecommunication Facility Guidelines as a Complete Concealment Facility and as a result, the permit will not contain an expiration date. It is the responsibility of the wireless carrier and owner(s) to maintain the appearance of the approved facility to the conditions set forth in this permit unless the site is removed and restored to its original condition. Code compliance shall be notified if the appearance or the scope of the project has changed without the approval of the City Manager.

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

13. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

14. Any party on whom fees, dedications, reservations or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

15. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

16. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved Exhibit "A" is damaged or removed during construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy or a Final Landscape Inspection or activation of WCF. No trees are permitted to be removed or significantly trimmed as part of this project.

PLANNING/DESIGN REQUIREMENTS:

17. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) for this Permit establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

18. The building materials and paint used for the RF transparent screen shall not result in any noticeable lines or edges in the transition as illustrated in the approved Exhibit "A".

19. The rooftop screening wall shall be enclosed on all four sides with replacement Fiberglass Reinforced Panels (FRP) painted and textured to match as illustrated in the approved Exhibit "A".

20. The photosimulation(s) for the proposed project must be printed (not stapled) on the building plans. This is to ensure the construction team building the project is aware of City expectations with regard to the appearance of the finished project.

21. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and exhibits (including, but not limited to, elevations, and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.

22. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

23. Any future requested amendments to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

24. No mechanical equipment, tank, duct, elevator, cooling tower, mechanical ventilator or air conditioner shall be erected, constructed, converted, established, altered, or enlarged on the roof of any building, unless all such equipment and appurtenances are contained within a completely enclosed, architecturally integrated structure whose top and sides may include grillwork, louvers, and latticework.

25. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.

26. Prior to obtaining a Construction Permit the following items must be illustrated on the construction drawings; coax cable tray, meters, telco, A/C units, generator receptacles, cable runs, bridges, dog houses and external ports. These appurtenances must be minimized visually

so as to avoid the effect of changing the outward appearance of the project from what was approved on the exhibits.

27. Once this site is deemed complete from construction, Clearwire is required to send a letter (Subject: Planning Inspection Project Number 207390) to the City of San Diego, Development Services Department requesting for a planning inspection. The site is officially deemed complete once the City Manager signs the letter. The applicant shall be provided with a copy of the signed letter for record purposes.

28. Clearwire is responsible for notifying the city prior to the sale or takeover of this site to any other provider.

INFORMATION ONLY:

- Please note that an **Administrative Planning Hold** will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 687-5984 to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.

APPROVED by the Planning Commission of the City of San Diego on November 18, 2010 by Resolution Number _____.

Conditional Use Permit No. 777872
PTS No. 207390/Internal Order No. 24000784
Date of Approval: November 18, 2010

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse, Associate Planner
City of San Diego

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1180 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

COASTAL ASSOCIATION SRV, INC.
Owner

By _____

PRINTED NAME: _____

PRINTED TITLE: _____

CLEARWIRE
Permittee

By _____

PRINTED NAME: _____

PRINTED TITLE: _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1180 et seq.**

clearwire®

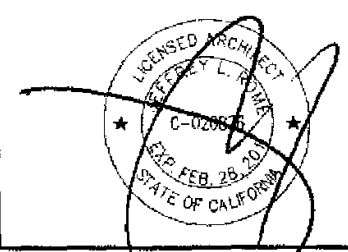
PENNSYLVANIA

CA-SDG5049A

836 WEST PENNSYLVANIA AVENUE
SAN DIEGO, CALIFORNIA 92103

FAA, TITLE 14, PART 77 EXEMPTION

I, JEFFREY L. ROME DO HEREBY CERTIFY THAT THE STRUCTURE OR MODIFICATION TO EXISTING STRUCTURE SHOWN ON THESE PLANS DO NOT REQUIRE FEDERAL AVIATION ADMINISTRATION NOTIFICATION PER SECTION 77.13(g) OF TITLE 14 OF THE CODE OF FEDERAL REGULATIONS CFR PART 77, NOTIFICATION IS NOT REQUIRED.



clearwire
4400 CARILLON POINT
KIRKLAND, WASHINGTON 98033

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

WESTOWER COMMUNICATIONS INC

JRA
Jeffrey Rome & Associates, Inc.
Arizona • California • Nevada
Arizona: (602) 289-3579
California: (949) 780-3929
Nevada: (702) 795-0099



PENNSYLVANIA
CA-SDG5049A
836 WEST PENNSYLVANIA AVENUE
SAN DIEGO, CALIFORNIA 92103

PROJECT INFORMATION

PROJECT DESCRIPTION:
CLEARWIRE PROPOSES TO CONSTRUCT AN UNSTAFFED TELECOMMUNICATIONS FACILITY CONSISTING OF A THREE-SECTOR ANTENNA ARRAY WITH (2) ANTENNAS PER SECTOR AND (3) DIRECTIONAL ANTENNAS MOUNTED BEHIND A PROPOSED FRP SCREEN WALL WITH EQUIPMENT CABINET INSIDE FRP SCREEN WALL.

APPLICANT:
CLEARWIRE
4400 CARILLON POINT
KIRKLAND, WASHINGTON 98033
CONTACT: DAVE PUTNAM
PHONE: (780) 402-4295

PROPERTY OWNER:
THE POINT AT MISSION HILLS MAINTENANCE CORPORATION
A CALIFORNIA NON-PROFIT CORPORATION

TOWER OWNER:
N/A

PROJECT LEAD:
CONTACT: KENT BECKER, WESTOWER
PHONE: (858) 692-5973

SITE ACQUISITION / ZONING:
CONTACT: STEPHANIE VALDEZ, WESTOWER
PHONE: (619) 417-9925

PERMITTING:
CONTACT: JIM TODARO, WESTOWER
PHONE: (949) 350-4712

CONSTRUCTION COORDINATOR:
CONTACT: KEVIN HALE, WESTOWER
PHONE: (818) 335-9434

RF ENGINEER:
CONTACT: MICHAEL ZELLER
PHONE: (760) 272-0023

BH ENGINEER:
CONTACT: VALENTINE ARHILAM
PHONE: (248) 212-4233

CODE INFORMATION:
ZONING CLASSIFICATION: MCCPD-MR-1000
JURISDICTION: CITY OF SAN DIEGO
BUILDING CODE: 2007 CALIFORNIA BUILDING CODE

EXISTING OCCUPANCY: U-2
PROPOSED OCCUPANCY: U-2
EXISTING USE: TELECOMMUNICATIONS FACILITY
PROPOSED USE: TELECOMMUNICATIONS FACILITY

TELCO COMPANY:
N/A

POWER COMPANY:
SUGGEI, DAN BARRIOS
PHONE: (858) 636-3907

SITE LOCATION:
LATITUDE: 32.745722
LONGITUDE: -117.171139
TOP OF STRUCTURE ASL: 35.00'

PARCEL NUMBER:
451-193-19-45

AREA OF PARCEL:
0.57 ACRES

PROJECT AREA:
175 S.F. LEASE AREA

OTHER ON-SITE TELECOM FACILITIES:
T-MOBILE
VERIZON

GENERAL INFORMATION:
1. PAVING REQUIREMENTS ARE UNCHANGED.
2. TRAFFIC IS UNAFFECTED.
3. SIGNAGE IS PROPOSED.
4. NO ADDITIONAL IMPERVIOUS AREA IS PROPOSED.

ZONING INFORMATION:
PROCESS: CONDITIONAL USE PERMIT (A)
OVERLAYS: NONE

VICINITY MAP



DRAWING INDEX

- T-1 TITLE SHEET
- T-2 GENERAL NOTES AND SPECIFICATIONS
- A-0 SITE PLAN
- A-1 ENLARGED SITE PLAN
- A-2 ELEVATIONS
- A-2.1 ELEVATIONS
- A-3 EQUIPMENT DETAILS
- A-4 ANTENNA DETAILS
- L-0 EXISTING LANDSCAPE PLAN

LEGAL DESCRIPTION

LOT 1 OF 836 WEST PENNSYLVANIA AVENUE IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 15118, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, SEPTEMBER 20, 2005.

ANTENNA OPERATING FREQUENCY

PANEL ANTENNAS TRANSMIT BETWEEN 2500-2681 MHz DIRECTIONAL ANTENNAS TRANSMIT BETWEEN 18-80 GHz
PANEL ANTENNAS RECEIVE BETWEEN 2500-2681 MHz DIRECTIONAL ANTENNAS POWER LEVEL 100 WATTS ERP
PANEL ANTENNAS POWER LEVEL 450 WATTS ERP GPS ANTENNAS TRANSMIT AT 1575.42 MHz

DRIVING DIRECTIONS

FROM THE CLEARWIRE OFFICES AT: 5781 COPLEY DRIVE, SUITE 100 SAN DIEGO, CALIFORNIA 92111

- HEAD EAST ON COPLEY DRIVE TOWARD HICKMAN FIELD DRIVE. (0.0 MILES)
- TURN RIGHT ONTO HICKMAN FIELD DRIVE. (0.4 MILES)
- TURN LEFT ONTO CONROY STREET. (0.3 MILES)
- TURN RIGHT ONTO SHAWLINE STREET. (0.1 MILES)
- TURN RIGHT ONTO CLAIREMONT MESA BOULEVARD. (0.4 MILES)
- MERGE ONTO I-805 SOUTH. (1.8 MILES)
- MERGE ONTO CA-163 SOUTH TOWARD DOWNTOWN. (4.4 MILES)
- TAKE THE WASHINGTON STREET WEST EXIT, EXIT 2B. (0.2 MILES)
- MERGE ONTO WASHINGTON STREET. (0.8 MILES)
- TURN LEFT ONTO GOLDFINCH STREET. (0.3 MILES)
- GOLDFINCH STREET BECOMES REYNARD WAY. (0.6 MILES)
- TURN LEFT ONTO WEST PENNSYLVANIA AVENUE. (0.1 MILES)
- TURN SHARP LEFT TO STAY ON WEST PENNSYLVANIA AVENUE. (0.0 MILES)
- DESTINATION IS ON THE LEFT.

APPROVAL	DATE	SIGNATURE
CLEARWIRE:		
LANDLORD:		
CONST:		
S/A:		
R.F.:		
ZONING:		
AAE:		
R.F.:		

REVIEWERS SHALL CLEARLY PLACE INITIALS ADJACENT TO EACH REDLINE NOTE AS DRAWINGS ARE BEING REVIEWED

ABBREVIATIONS

A/C	AIR CONDITIONING	HORZ	HORIZONTAL	PLYWD	PLYWOOD
AGL	ABOVE GRADE LINE	HR	HOUR	PROJ	PROJECT
APPROX	APPROXIMATELY	HT	HEIGHT	PROP	PROPERTY
BLDG	BUILDING	HVAC	HEATING VENTILATION AIR CONDITIONING	PT	PRESSURE TREATED
BLK	BLOCKING	ID	INSIDE DIAMETER	REQ	REQUIRED
CLG	CEILING	IN	INCH	RM	ROOM
CLR	CLEAR	INFO	INFORMATION	RO	ROUGH OPENING
CONC	CONCRETE	INSUL	INSULATION	SHT	SHEET
CONC	CONCRETE	INT	INTERIOR	SIM	SIMILAR
CONT	CONTIGUOUS	INTL	INTERNATIONAL	SPEC	SPECIFICATION
DBL	DOUBLE	IEC	INTERNATIONAL BUILDING CODE	SF	SQUARE FOOT
DIA	DIAMETER	SS	STAINLESS STEEL	SS	STAINLESS STEEL
DNAG	DIAGONAL	STL	STEEL	STL	STEEL
DN	DOWN	STRUC	STRUCTURAL	STD	STRUCTURAL
DET	DETAIL	STB	STRUCTURAL	SUSP	SUSPENDED
DWG	DRAWING	MAX	MAXIMUM	TBD	TO BE DETERMINED
EA	EACH	MECH	MECHANICAL	THRU	THROUGH
ELEV	ELEVATION	MFL	MANUFACTURE	TRND	TINNED
ELEC	ELECTRICAL	MGR	MANAGER	TYP	TYPICAL
EQ	EQUAL	MIS	MISCELLANEOUS	UNC	UNLESS NOTED OTHERWISE
EQUP	EQUIPMENT	NA	NOT APPLICABLE	VERT	VERTICAL
EXT	EXTERIOR	NTS	NOT IN CONTRACT NOT TO SCALE	VIF	VERIFY IN FIELD
FIN	FINISH	OC	ON CENTER	W/	WITH
FLOOR	FLOURESCENT	OD	OUTSIDE DIAMETER	W/O	WITHOUT
FLR	FLOOR			WP	WATER PROOF
FT	FOOT				
GA	GAUGE				
GALV	GALVANIZED				
GC	GENERAL CONTRACTOR				
GRND	GROUND				
GYP	GYPSONUM WALL BOARD				

PROJECT TEAM

PROJECT ARCHITECT
JEFFREY ROME & ASSOCIATES
3 SAN JOAQUIN PLAZA, SUITE 155
NEWPORT BEACH, CALIFORNIA 92280
CONTACT: LARRY F. JUDD
PHONE: (949) 780-3929
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PROJECT MANAGER
WESTOWER
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SAN DIEGO, CALIFORNIA 92121
CONTACT: KENT BECKER
PHONE: (760) 715-8703
FAX: (858) 612-2094

NO.	DATE	DESCRIPTION	INITIAL
1	06-21-06	BOOK 2D REVIEW (P1)	RB
2	06-21-06	100% FINAL 2D'S (P2)	LFJ
3	06-28-06	CLIENT COMMENTS (P3)	LFJ
4	06-28-06	CLIENT COMMENTS (P4)	LFJ
5	06-28-06	CLIENT COMMENTS (P5)	LFJ

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
TITLE SHEET

SHEET NUMBER
T-1

GENERAL SPECIFICATIONS

1. THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
2. THIS FACILITY IS AN UNOCCUPIED PDS TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
3. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED PROJECT INCLUDING DEMOLITION, ELECTRICAL, MECHANICAL AND STRUCTURAL INSTALLATIONS, AS WELL AS WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. SHOULD ANY ERRORS, OMISSIONS, OR DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY CLEARWIRE CONSTRUCTION MANAGER AND THE ARCHITECT IN WRITING. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. IF A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ARCHITECT ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT ALL PROBLEMS THAT RESULT.
4. DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS ARE INTENDED TO BE DIAGNOSTIC ONLY. FIGURED DIMENSIONS HAVE PRECEDENCE OVER DRAWING SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS, OR BEGIN ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
5. THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE DRAWINGS.
6. CONTRACTOR SHALL NOTIFY THE CLEARWIRE CONSTRUCTION MANAGER, THE PROPERTY OWNER AND THE ARCHITECT IF ANY DETAILS ARE CONSIDERED IMPRACTICAL, UNSUITABLE, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE IF WORK IS PERFORMED. IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO ANY DETAIL DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
7. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE CLEARWIRE CONSTRUCTION MANAGER AND THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL VERIFY ALL TELEPHONE & RADIO EQUIPMENT LAYOUTS, SPECIFICATIONS, PERFORMANCE, INSTALLATION AND FINAL LOCATIONS WITH CLEARWIRE CONSTRUCTION MANAGER PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE EQUIPMENT CABINET MANUFACTURER.
9. ALL SYMBOLS & ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE CLEARWIRE CONSTRUCTION MANAGER AND THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.
10. THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO CLEARWIRE.
11. THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKMEN ARE ON THE SITE AND SHALL SUPERVISE AND DIRECT ALL WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
12. WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:
 - NRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION
10255 W. HIGGINS ROAD, SUITE 500
ROSEMONT, IL 60018-9697
 - SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE
CHATELTY, VA 20151-1209
 - IFLP INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
P.O. BOX 1483
LAFAYETTE, CA 94549
13. INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
14. THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BRACING, FRAMING, HANGERS OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING THE SAME.
15. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (DISHA) REQUIREMENTS.
16. THE CONTRACTOR SHALL PROTECT THE PROPERTY OWNERS, AND CLEARWIRE PROPERTY FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING FINISHES, CONSTRUCTION, STRUCTURE, LANDSCAPE, CURBS, STAIRS, OR EQUIPMENT, ETC. SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF CLEARWIRE, AND THE PROPERTY OWNER'S REPRESENTATIVE, AT THE EXPENSE OF THE CONTRACTOR.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REPAIR, ANY FACILITY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK BY CLEARWIRE UNDER THIS CONTRACT.
18. IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR THE REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONNECTION WITH THE EXECUTION OF WORK.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY CLEARWIRE.

PAINTING NOTES & SPECIFICATIONS

- A. GENERAL**
1. ALL PAINT PRODUCT LINES SHALL BE SHERWIN WILLIAMS CO. UNLESS SPECIFICALLY NOTED OTHERWISE.
 2. CONTRACTOR SHALL PREPARE ALL SURFACES AND APPLY ALL FINISHES FOR LATEST EDITION OF MANUFACTURER'S SPECIFICATIONS.
 3. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS REGARDING SUFFICIENT DRYING TIME BETWEEN COATS WITH PROMISONS AS RECOMMENDED BY MANUFACTURER FOR EXISTING WEATHER CONDITIONS.
 4. FINISH COLOR AND TEXTURE OF ALL PAINTED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES UNLESS OTHERWISE NOTED.
 5. ALL PAINT MATERIAL DATA SHEETS SHALL BE PROVIDED TO THE CLEARWIRE CONSTRUCTION MANAGER.
 6. PREPARE PREVIOUSLY PAINTED SURFACE BY LIGHT SANDING WITH 400 GRIT SANDPAPER AND NON-HYDROCARBON WAX PREPARE GALVANIZED SURFACES BY ACID ETCH OR SOLVENT CLEANING IN ACCORDANCE WITH SSPC-SP1.
 7. FURNISH DROP CLOTHES, SHIELDS, MASKING AND PROTECTIVE METHODS TO PREVENT SPRAY OR OVERRUNGS FROM DAMAGING ADJACENT SURFACES AND FACILITIES.
 8. APPLY PAINT BY AIRLESS SPRAY, SANDING LIGHTLY BETWEEN EACH SUCCEEDING ENAMEL COAT ON FLAT SURFACES. APPLY MATERIAL TO ACHIEVE A COATING NO THINNER THAN THE DRY FILM THICKNESS INDICATED.
 9. APPLY BLOCK FILLER TO CONCRETE BLOCK CONSTRUCTION AT A RATE TO ENSURE COMPLETE COVERAGE WITH PORES COMPLETELY FILLED.
 10. CONTRACTOR SHALL CORRECT FLAKS, SABS, ISSUES AND OTHER DEFECTS INCLUDING INADEQUATE COVERAGE AS DIRECTED BY THE CLEARWIRE CONSTRUCTION MANAGER. REPAIR AS NECESSARY TO ACHIEVE SURFACES WHICH ARE UNIFORM, EVENLY COATED WITH UNIFORM SHEEN AND FREE FROM BLEMISHES.
- B. PAINTING SCOPE**
1. PAINT THE FOLLOWING MATERIALS AND SYSTEMS CHECKED BELOW WITH THE COATING SYSTEM INDICATED.

PAINTING SCOPE	
NO.	DESCRIPTION
1	CONCRETE BLOCK CONSTRUCTION
2	CONCRETE MASONRY
3	CONCRETE STUCCO (EXISTING)
4	GLAZED CERAMIC TILE
5	GLAZED CERAMIC TILE (EXISTING)
6	GLAZED CERAMIC TILE (EXISTING)
7	GLAZED CERAMIC TILE (EXISTING)
8	GLAZED CERAMIC TILE (EXISTING)
9	GLAZED CERAMIC TILE (EXISTING)
10	GLAZED CERAMIC TILE (EXISTING)
11	GLAZED CERAMIC TILE (EXISTING)
12	GLAZED CERAMIC TILE (EXISTING)
13	GLAZED CERAMIC TILE (EXISTING)
14	GLAZED CERAMIC TILE (EXISTING)
15	GLAZED CERAMIC TILE (EXISTING)
16	GLAZED CERAMIC TILE (EXISTING)
17	GLAZED CERAMIC TILE (EXISTING)
18	GLAZED CERAMIC TILE (EXISTING)
19	GLAZED CERAMIC TILE (EXISTING)
20	GLAZED CERAMIC TILE (EXISTING)

ROOFING & WATERPROOFING NOTES

1. CONTRACTOR SHALL CONTACT BUILDING OWNER TO DETERMINE IF ROOF IS UNDER WARRANTY. CONTRACTOR SHALL GUARANTEE THAT ANY AND ALL NEW ROOFING WORK MEETS THE SPECIFICATION OF ANY EXISTING ROOFING WARRANTIES SUCH THAT THE WARRANTY IS NOT MADE INVALID AS A RESULT OF THIS WORK. IF IT IS DETERMINED THAT THE ARCHITECT'S DETAILING IS INADEQUATE OR INAPPROPRIATE OR IF ANY OTHER DISCREPANCY IS FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE CLEARWIRE PROJECT MANAGER IN WRITING. ULTIMATELY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE ORIGINAL ROOF MANUFACTURER'S SPECIFICATIONS.
2. CONTRACTOR SHALL USE METHODS AND MATERIALS SIMILAR AND COMPATIBLE WITH EXISTING MATERIALS & CONDITIONS FOR ROOF PATCHING, NEW PENETRATIONS, ETC.
3. THE CONTRACTOR SHALL PROPERLY SEAL ALL NEW ROOF & BUILDING ENVELOPE PENETRATIONS SUCH THAT THE INTEGRITY OF THE ORIGINAL BUILDING ASSEMBLY AND ALL APPLICABLE WARRANTIES ARE MAINTAINED.
4. IF IT DEEMED NECESSARY TO REMOVE EXISTING FINISHES AND/OR MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING FINISHES AND MATERIALS TO LIKE-NEW CONDITION. CONTRACTOR SHALL MAINTAIN THE ORIGINAL COLORS, TEXTURES & FINISHES UNLESS SPECIFICALLY NOTED TO THE CONTRARY OR APPROVED BY THE CLEARWIRE CONSTRUCTION MANAGER IN ADVANCE.
5. AT THE CLEARWIRE CONSTRUCTION MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE ROOFTOP WALKPADS TO ALL NEW EQUIPMENT INCLUDING ANTENNAS AND BTS UNITS AND ALONG COAX CABLE ROUTING ON CONVENTIONAL ROOFING. THE WALK PAD SHALL BE "BUCK BOARDS" AS MANUFACTURED BY APC OR EQUAL. ON SPECIAL ROOFING SYSTEMS SUCH AS SINGLE MEMBRANE ROOFS WILL REQUIRE A SPECIFIC PRODUCT AS NOTED ON PLANS OR AS REQUIRED BY NOTES 1 & 2 ABOVE.

PENETRATION AT FIRE RATED ASSEMBLIES

1. AT THE CLEARWIRE PROJECT MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE "UL" HIGH PERFORMANCE FIRESTOP SYSTEM #F801 AT ALL FIRE RATED PENETRATIONS INSTALLED PER MANUFACTURER'S LATEST INSTALLATION SPECIFICATIONS.
2. ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO MAINTAIN AN EQUAL OR GREATER FIRE RATING.

STRUCTURAL SPECIFICATIONS

- A. GENERAL**
- PRECEDENCE: UNLESS OTHERWISE SHOWN OR SPECIFIED, THE FOLLOWING GENERAL NOTES SHALL APPLY. INFORMATION ON THESE DRAWINGS SHALL HAVE THE FOLLOWING PRECEDENCE:
- A. ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
 - B. NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
 - C. MATERIAL NOTES AND SPECIFICATIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS.
2. OTHER TRADES: SEE THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN.
 3. GENERAL DETAILS AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
 4. SHORING: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. THIS INCLUDES UNDERPINNING EXISTING FOOTINGS WHERE APPLICABLE.
 5. SAFETY: THESE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE INDICATED. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.
 6. WATERPROOFING: WATERPROOFING AND DRAINAGE DETAILS AND SPECIFICATIONS, ALTHOUGH SOMETIMES SHOWN ON STRUCTURAL DRAWING ARE OF GENERAL INFORMATION PURPOSES ONLY. WATERPROOFING AND DRAINAGE ARE SOLELY THE DESIGN RESPONSIBILITY OF THE ARCHITECT.
- B. STEEL**
1. ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS SHALL CONFORM TO ASTM A-36 AND BE FABRICATED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AISC.
 2. ALL BOLTS SHALL CONFORM TO ASTM A-307 UNLESS OTHERWISE NOTED ON PLANS. HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A-325.
 3. STEEL PIPE COLUMNS SHALL BE GRADE "B" CONFORMING TO ASTM A53.
 4. STEEL TUBING SHALL BE GRADE "B" CONFORMING TO ASTM A600.
 5. ALL WELDING SHALL BE DONE BY THE SHIELDED ARC METHOD. ALL WELDERS SHALL BE PROPERLY QUALIFIED AND BE PRE-APPROVED. SURPLUS METAL SHALL BE DRESSED OFF TO SMOOTH, EVEN SURFACES WHERE WELDS ARE NOT EXPOSED TO VIEW. ALL WELDING SHALL COMPLY WITH THE LATEST A.I.W.S. SPECIFICATIONS.
 6. THE FOLLOWING WELDING EQUIPMENT MUST BE USED:
 - A. 250 AMP WELDERS.
 - B. ROD OVEN.
 - C. GRINDERS.
 7. NO BUZZ BOXES SHALL BE USED.
 8. ALL STRUCTURAL STEEL SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE DESIGN ENGINEER AND THE CITY INSPECTOR.
 9. ALL HIGH STRENGTH BOLTS SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE INSPECTOR.
 10. STEEL THAT HAD BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZED PAINT.
 11. WELDING INDICATED IN THESE DRAWINGS IS DESIGNED FOR ONE HALF OF ALLOWABLE CODE STRESSES UNLESS SPECIFICALLY NOTED "FULL STRESS" AT END OF WELD SYMBOL.
- C. CONCRETE**
1. STRENGTH: CONCRETE FOR THE PROJECT SHALL HAVE THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT AGE OF 28 DAYS:

LOCATION	STRENGTH	WT.	SUMP	AD MIXTURE
A. MONOPOLE FOUNDATION	4000psi	150pcf	4"	NONE
B. SLABS AND FOOTINGS	2500psi	150pcf	4"	NONE
 2. INSPECTION: CONCRETE WITH SPECIFIED STRENGTH GREATER THAN 2500psi SHALL BE CONTINUOUSLY INSPECTED DURING PLACEMENT BY A DEPUTY INSPECTOR EMPLOYED BY A TESTING LABORATORY APPROVED BY THE BUILDING DEPT.
 3. REPAIR GRADING: REINFORCING STEEL SHALL BE CLEAN REFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:
 - #4 & SMALLER BARS.....GRADE 40
 - #5 & LARGER BARS.....GRADE 60
 - ALL BARS AT CASSION FOOTING.....GRADE 60
 4. CEMENT: FOUNDATIONS & SLABS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.
PIER/CASSION FOOTINGS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.
 5. AGGREGATE: USED IN THE CONCRETE SHALL CONFORM TO ASTM C-33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. THE MAXIMUM SIZE AGGREGATE IN CONCRETE WORK SHALL BE THE FOLLOWING:
 - A. FOUNDATIONS & SLABS 9" OR LESS: 3/4" GRAVEL
 - B. PIER/CASSION FOOTING: 1" GRAVEL.
 6. WATER: SHALL BE CLEAN AND FREE FROM DELETERIOUS AMOUNT OF ACIDS, ALKALIS, ORGANIC MATERIALS AND SHALL BE SUITABLE FOR HUMAN CONSUMPTION.

7. MIXING: PREPARATION OF CONCRETE SHALL CONFORM TO ASTM C-94. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY A TESTING AGENCY.
 8. SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE FLOPPED THROUGH REINFORCING STEEL (AS IN WALLS, COLUMNS, CASSION, AND DROP CASSIONS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOOPPERS, CHUTES, TRUNKS OR PUMP HOSE SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5 FT.
 9. SPLICES OF REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 30 DIAMETERS AND SECURELY WIRED TOGETHER. SPACES OF ADJACENT REINFORCING BARS SHALL BE STAGGERED WHEREVER POSSIBLE.
 10. REAR CLEARANCE: MINIMUM COVERAGE FOR JOISTS, BEAMS, GIRDERS AND COLUMNS SHALL BE TO FACE OF STRUPTS OR TIES, UNLESS OTHERWISE NOTED. CONCRETE COVERAGE FOR REINFORCING BARS TO FACE OF BAR SHALL BE AS FOLLOWS:
 - A. CONCRETE IN CONTACT WITH EARTH, UNFORMED 3"
 - B. CONCRETE IN CONTACT WITH EARTH, FORMED 2"
 - C. WALL, EXTERIOR FACE 1-1/2"
 - D. WALL, INTERIOR FACE 1"
 - E. STRUCTURAL SLABS 3/4"
 - F. JOISTS 3/4"
 - G. BEAMS, GIRDERS & COLUMNS 1-1/2"
 11. PENETRATIONS: NO SLEEVES OR CHASES SHALL BE PLACED IN BEAMS, SLABS, WALLS AND COLUMNS, EXCEPT THOSE SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATIONS OF ANY ADDITIONAL SLEEVES OR CHASES. ALL PLUMBING, ELECTRICAL, AND MECHANICAL OPENINGS SHALL BE SLEEVED. CORING IS NOT ALLOWED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
 12. EMBEDDED ITEMS: CONDUIT PLACED IN A CONCRETE SLAB SHALL NOT HAVE AN OUTSIDE DIAMETER GREATER THAN 1/4 THE THICKNESS OF THE SLAB. CONDUIT SHALL NOT BE EMBEDDED IN SLABS THAT IS LESS THAN 3-1/2" THICK, UNLESS SLAB IS LOCALLY THICKENED. MINIMUM CLEAR DISTANCE BETWEEN CONDUITS SHALL BE SIX INCHES.
 13. ANCHORING: ALL ANCHOR BOLTS, REINFORCING STEEL, DOWELS, INSERTS, ETC. SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE. NO REPOSITIONING DURING CONCRETE POUR IS ALLOWED.
 14. CURING: SLABS SHALL BE SPRAYED WITH A CURING COMPOUND IMMEDIATELY AFTER FINISHING. CURING COMPOUNDS USED ON CONCRETE WHERE THERE IS FLOOR COVERING IS TO BE BONDED TO THE CONCRETE SURFACE SHALL BE APPROVED BY THE TILE OR FLOOR COVERING MANUFACTURER. KEEP SLAB WET FOR A 7 DAY MINIMUM PERIOD.
 15. CONSOLIDATION: ALL CONCRETE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATING EQUIPMENT.
- D. TIMBER**
1. ALL FRAMING LUMBER FOR 4X AND LARGER BEAMS SHALL BE NO. 1 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 2. ALL FRAMING LUMBER FOR 2X RAFTERS AND JOISTS SHALL BE NO. 2 GRADE DOUGLAS FIR, S4S, UNLESS NOTED OTHERWISE ON DRAWINGS.
 3. STRIPPING, BLOCKING, BACKING AND OTHER NON-STRUCTURAL LUMBER SHALL BE NO. 2 OR SFD & BTR GRADE DOUGLAS FIR, S4S 2X4 STUD WALLS SHALL BE D.F. STANDARD & BTR.
 4. ALL BEAMS, JOISTS AND RAFTERS SHALL BE INSTALLED WITH CROWN SIDE UP.
 5. ROOF PLYWOOD SHALL MATCH EXISTING PLYWOOD SHEATHING WITH A SPAN INDEX RATIO OF 32/18. EDGE NAIL WITH 8d AT 6" O.C. UNLESS NOTED OTHERWISE ON PLANS. FIELD NAIL WITH 8d AT 12" O.C.
 6. PLYWOOD SHEETS SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS AND WITH THE EDGES STAGGERED, UNLESS NOTED OTHERWISE ON THE PLANS.
 7. PLYWOOD SHALL BE GRADE MARKED BY DPLA, TICO, OR PTL AND SHALL CONFORM TO PS-1-83.
 8. THE MAXIMUM MOISTURE CONTENT OF ALL LUMBER SHALL NOT EXCEED 24% AT THE TIME OF INSTALLATION.
 9. MINIMUM NAILING SHALL COMPLY WITH TABLE 23-1-a of BUILDING CODE. ALL NAILS SHALL BE COMMON WIRE NAILS.
 10. ALL BOLTS SHALL HAVE STANDARD CUT WASHERS UNDER HEADS AND/OR NUTS WHERE IN CONTACT WITH WOOD.
 11. LAG BOLTS SHALL BE SPOKED INTO PLACE, NOT DRIVEN. LAG BOLTS SHALL BE INSTALLED IN PRE-DRILLED HOLES WITH A DIAMETER EQUAL TO 75% DIAMETER OF BOLT.
 12. CONNECTORS: ALL SHEET METAL FRAMING CONNECTORS SHOWN IN THE PLANS SHALL BE MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY. SUBSTITUTIONS MAY BE MADE WHEN APPROVED BY THE STRUCTURAL ENGINEER.
 13. ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE WELDMANAGED PRESSURE TREATED LUMBER OR A NATURALLY DECAY RESISTANT LUMBER SUCH AS REDWOOD OR CEDAR.
 14. ALASKAN YELLOW CEDAR GLUE-LAMINATED BEAMS (GLEB'S)
 - A. LUMBER SPECIES: ALASKAN YELLOW CEDAR (A.C.) CONFORMING TO 20E-41
 - B. STRENGTH PROPERTIES:
 - F_b BOTTOM FIBER BENDING STRESS 2000psi MIN.
 - F_v TOP FIBER BENDING STRESS 1000psi MIN.
 - F_v SHEAR STRESS 190psi MIN.
 - F_c COMPRESSIVE STRESS PERPENDICULAR TO GRAIN 550psi MIN.
 - E MODULUS ELASTICITY 1400psi MIN.
 - C. CAMBER TO RADIUS OF 1600' U.O.J.H.
 - D. ALL GLEB'S SHALL BE FABRICATED WITH EXTERIOR GLUE.
 - E. MANUFACTURE OF GLEB'S SHALL CONFORM TO THE USC.
 - F. GLEB-LAM MATERIAL SHALL BE IN ACCORDANCE WITH ANSI/AWC 190-1 AND ASTM D3737.

clearwire

4400 CARILLON POINT
KIRKLAND, WASHINGTON 98033

PROPRIETARY INFORMATION

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WEST TOWER COMMUNICATIONS INC

JRA

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LICENSED ARCHITECT
STATE OF CALIFORNIA

PENNSYLVANIA

CA-SDG5049A

955 WEST PENNSYLVANIA AVENUE
SAN DIEGO, CALIFORNIA 92103

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	08-11-00	ADD 3D REVIEW (#1)	RB
2	08-21-00	ISSUE FINAL 2D'S (#2)	LF
3	08-18-00	CLIENT COMMENTS (#3)	LF
4	08-18-00	CLIENT COMMENTS (#4)	LF
5	08-18-00	CLIENT COMMENTS (#5)	LF

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
GENERAL NOTES AND SPECIFICATIONS

SHEET NUMBER
T-2

SITE PLAN KEYNOTES

- 1 PROPOSED CLEARWIRE ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 2 PROPOSED CLEARWIRE EQUIPMENT BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 3 EXISTING BUILDING ROOFTOP.
- 4 EXISTING PROPERTY LINE.
- 5 EXISTING ROOF MOUNTED CABLE TRAY.
- 6 EXISTING ROOF ACCESS.
- 7 EXISTING VERIZON ANTENNAS MOUNTED BEHIND EXISTING FRP SCREEN.
- 8 EXISTING T-MORILE ANTENNAS MOUNTED BEHIND EXISTING FRP SCREEN.
- 9 PROPOSED CLEARWIRE POWER RUN FROM EXISTING ELECTRICAL ROOM ON FIRST FLOOR THROUGH PROPOSED CONDUIT; ROUTE TO BE DETERMINED IN FIELD.
- 10 EXISTING TREES; SEE NOTE D UNDER ENGINEERING GENERAL NOTES.
- 11 EXISTING PROPERTY SETBACK; SEE ITEM C BELOW.

SITE PLAN GENERAL NOTES

- A. PROPERTY LINE DIMENSIONS ARE APPROXIMATED FROM INFORMATION AVAILABLE ON THE SAN DIEGO COUNTY GIS WEBSITE.
- B. ALL WORK TO BE PERFORMED ON EXISTING ROOFTOP AND WILL NOT BE AFFECTED BY ANY EASEMENTS.
- C. THE SETBACKS FOR THIS SITE ARE:
- | | |
|--------------|--------|
| FRONT: | 10'-0" |
| REAR: | 15'-0" |
| STREET SIDE: | 8'-0" |
| SIDE: | 6'-0" |

ENGINEERING GENERAL NOTES

- A. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- B. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS - SEE BELOW.
- C. ANY PARTY ON WHOM FEES, DEDICATIONS, RESERVATIONS OR OTHER EXACTIONS HAVE BEEN IMPOSED AS CONDITIONS OF APPROVAL OF THIS DEVELOPMENT PERMIT, MAY PROTEST THE IMPOSITION WITHIN 90 DAYS OF THE APPROVAL OF THIS DEVELOPMENT PERMIT BY FILING A WRITTEN PROTEST WITH THE CITY CLERK PURSUANT TO CALIFORNIA GOVERNMENT CODE 86022.

Licensee's Certificate
Standard Professional Engineer
In The State of California

I, the undersigned as Licensee(s) of the property described as
888 WEST PENNSYLVANIA AVENUE
SAN DIEGO, CALIFORNIA 92103
(Address or legal description)

Understand that in accordance with the San Diego Municipal Code, Land Development, Subdivision, Storm Water Standards, this project is required to "Minimize Pollution from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I/We certify to the best of my/our knowledge, information and belief, that the proposed land use is as follows:

- Soilborne
- Nuisance
- Trash & Debris
- Oxygen Demanding Substances
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design:

- Minimize ground disturbance and erosion
- Minimize impervious foot print by constructing walkways, patios and driveway aprons with permeable surfaces
- Conserve natural areas
- Use natural drainage systems as opposed to hard pipes or underground drainage systems
- Drain roof runoff, downspouts, patios and driveways into adjacent landscaping prior to discharging to the public drainage system
- Prevent sediment from clogging and straining
- Prevent all silt from erosion

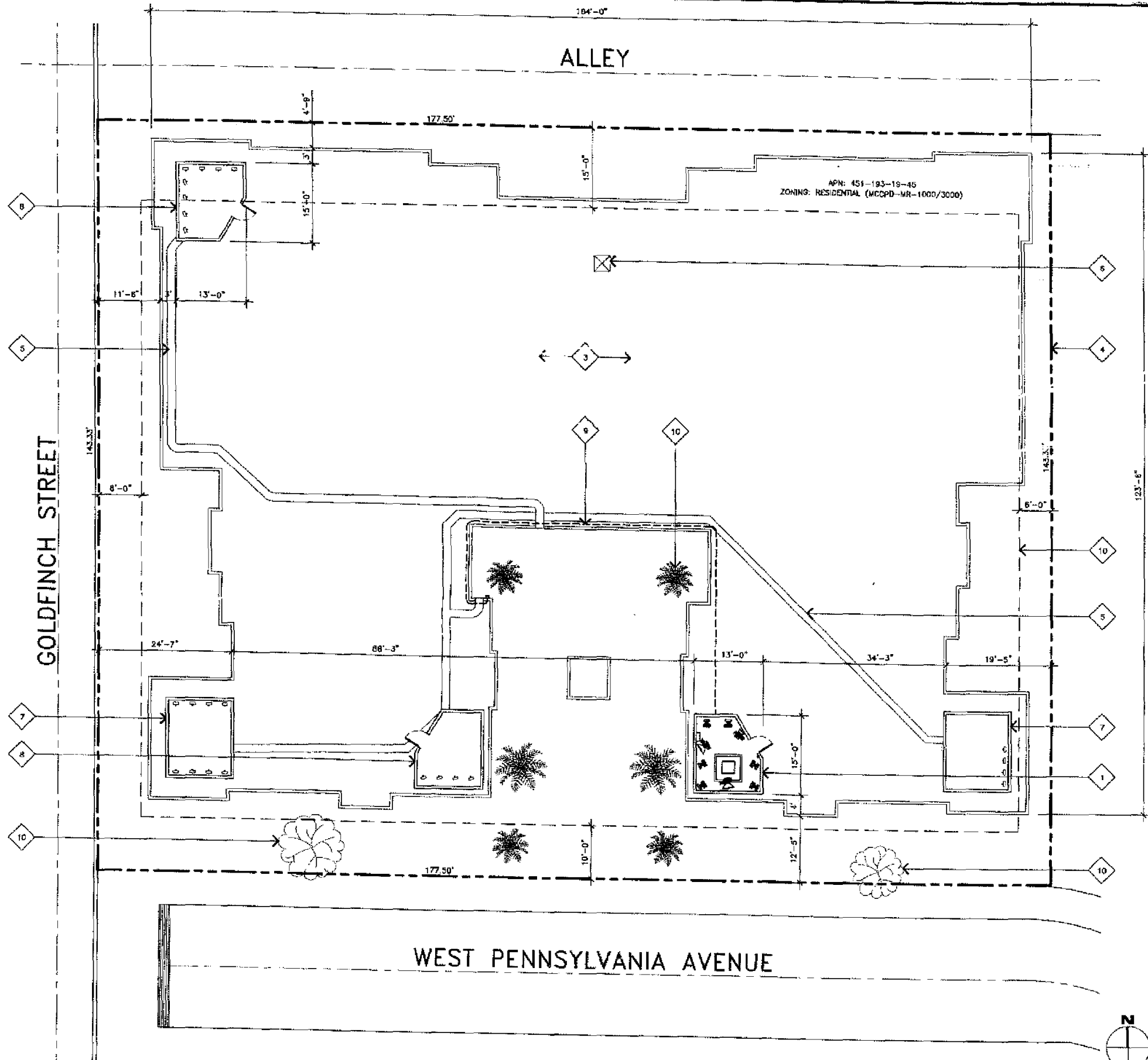
Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design - incorporating rain shut off devices and flow restrictors

I/We will maintain the above Standard Professional BMPs for the duration of the time.

Licensee: **DAVE PUTNAM** (Print Name) Company Name: **CLEARWIRE**

Licensee: *[Signature]* Date: **3/9/2010**



SITE PLAN

SCALE:
1"=10'-0" 0 5' 10'



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4400 CARILLON POINT
KIRKLAND, WASHINGTON 98033

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Nevada: (702) 736-0058



PENNSYLVANIA
CA-SDG5049A
888 WEST PENNSYLVANIA AVENUE
SAN DIEGO, CALIFORNIA 92103

REVISIONS			
NO.	DATE	DESCRIPTION	DRAWN
1	08-21-09	BIDDING REVIEW (P1)	JB
2	09-01-09	TOOK FINAL ZD'S (P2)	LJU
3	02-12-10	CLIENT COMMENTS (P3)	LJU
4	06-15-10	CLIENT COMMENTS (P4)	LJU
5	08-31-10	CLIENT COMMENTS (P5)	LJU

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

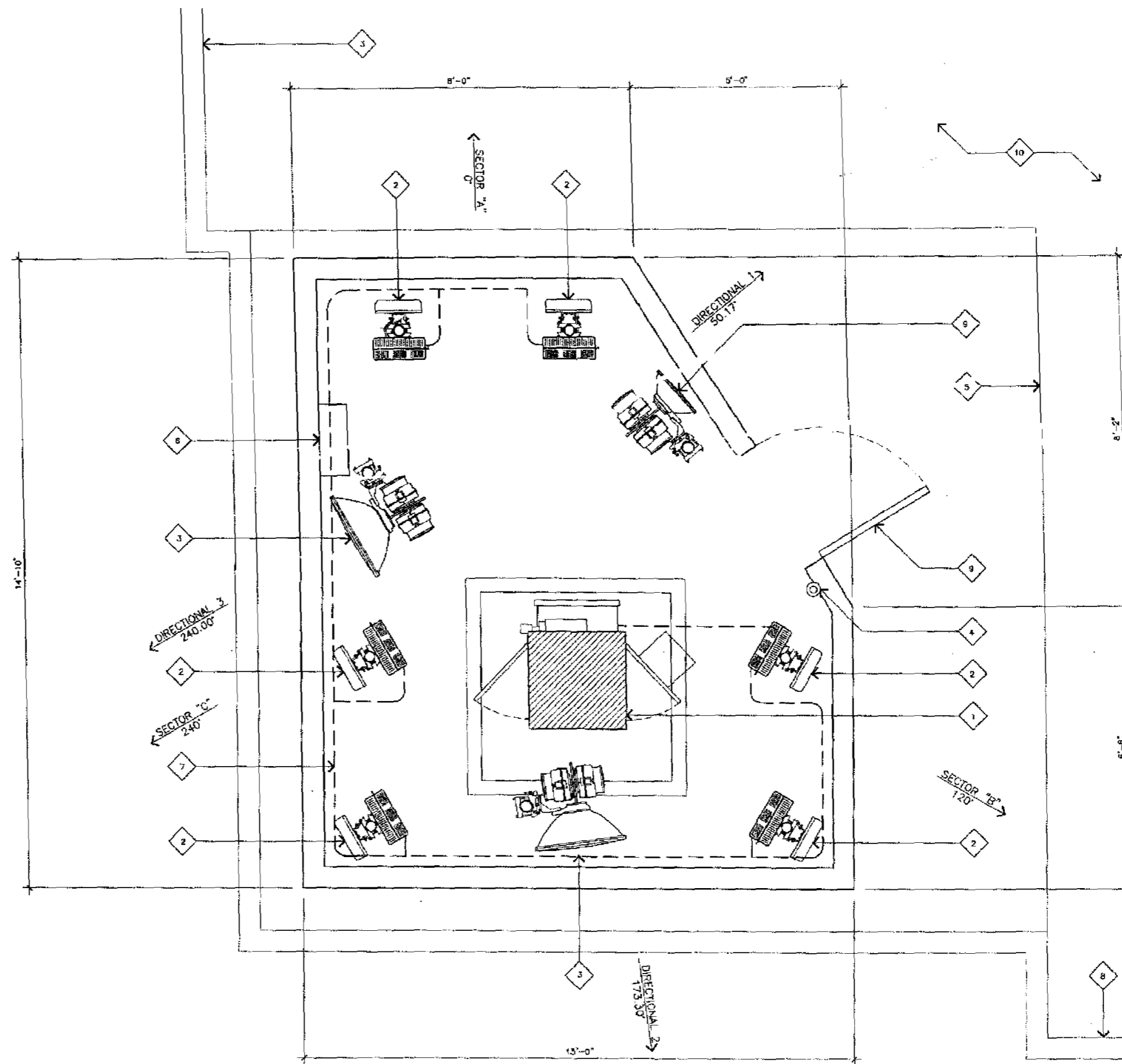
SHEET TITLE
SITE PLAN

SHEET NUMBER
A-0

JRA PROJECT NUMBER: 090311

ROOF PLAN KEYNOTES

- 1 PROPOSED CLEARWIRE EQUIPMENT CABINETS MOUNTED ON PROPOSED STEEL PLATFORM; SEE SHEET A-3.
- 2 PROPOSED CLEARWIRE PANEL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE DETAIL 9/A-4.
- 3 PROPOSED CLEARWIRE DIRECTIONAL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE DETAILS 4/A-4 AND 5/A-4.
- 4 PROPOSED CLEARWIRE GPS ANTENNA MOUNTED ON EXISTING SCREEN WALL TO BE MODIFIED WITH FRP.
- 5 EXISTING SCREEN WALL PLATFORM.
- 6 PROPOSED CLEARWIRE ELECTRICAL PANEL.
- 7 PROPOSED CLEARWIRE (2) 3/4" CONDUITS TO ANTENNAS.
- 8 EXISTING PARAPET.
- 9 PROPOSED 3'-0" WDC ACCESS DOOR.
- 10 EXISTING ROOFTOP.



ROOF PLAN

SCALE:
3/4"=1'-0" 0 .5' 1' 2' 1

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KIRKLAND, WASHINGTON 98033

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WESTOWER COMMUNICATIONS INC

JRA
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Arizona: (602) 296-5579
California: (849) 780-3928
Nevada: (702) 795-0058

DESIGNED ARCHITECT
PROPERTY OF
C-2,0876
EST. FEB. 28, 2000

PENNSYLVANIA
CA-SDG5049A
838 WEST PENNSYLVANIA AVENUE
SAN DIEGO, CALIFORNIA 92103

REVISIONS

NO.	DATE	DESCRIPTION	INITIAL
1	08-21-08	80% ZD REVIEW (P1)	RB
2	08-01-08	100% FINAL ZD'S (P2)	LJF
3	02-12-10	CLIENT COMMENTS (P3)	LJF
4	08-15-10	CLIENT COMMENTS (P4)	LJF
5	08-23-10	CLIENT COMMENTS (P5)	LJF

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

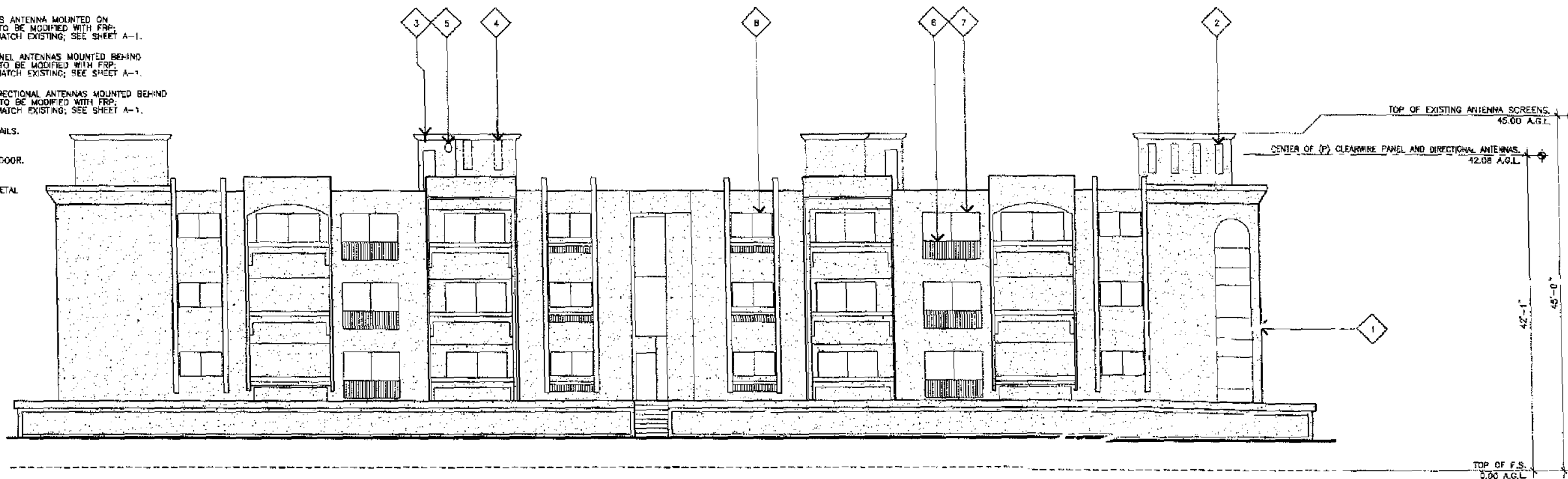
SHEET TITLE
ROOF PLAN

SHEET NUMBER
A-1

JRA PROJECT NUMBER: 090311

ELEVATION KEYNOTES

- 1 EXISTING STUCCO BUILDING.
- 2 EXISTING OTHER CARRIER ANTENNAS MOUNTED BEHIND EXISTING FRP SCREEN.
- 3 PROPOSED CLEARWIRE GPS ANTENNA MOUNTED ON EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 4 PROPOSED CLEARWIRE PANEL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 5 PROPOSED CLEARWIRE DIRECTIONAL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 6 EXISTING METAL GUARD RAILS.
- 7 EXISTING SLIDING GLASS DOOR.
- 8 EXISTING WINDOW WITH METAL FRAME.

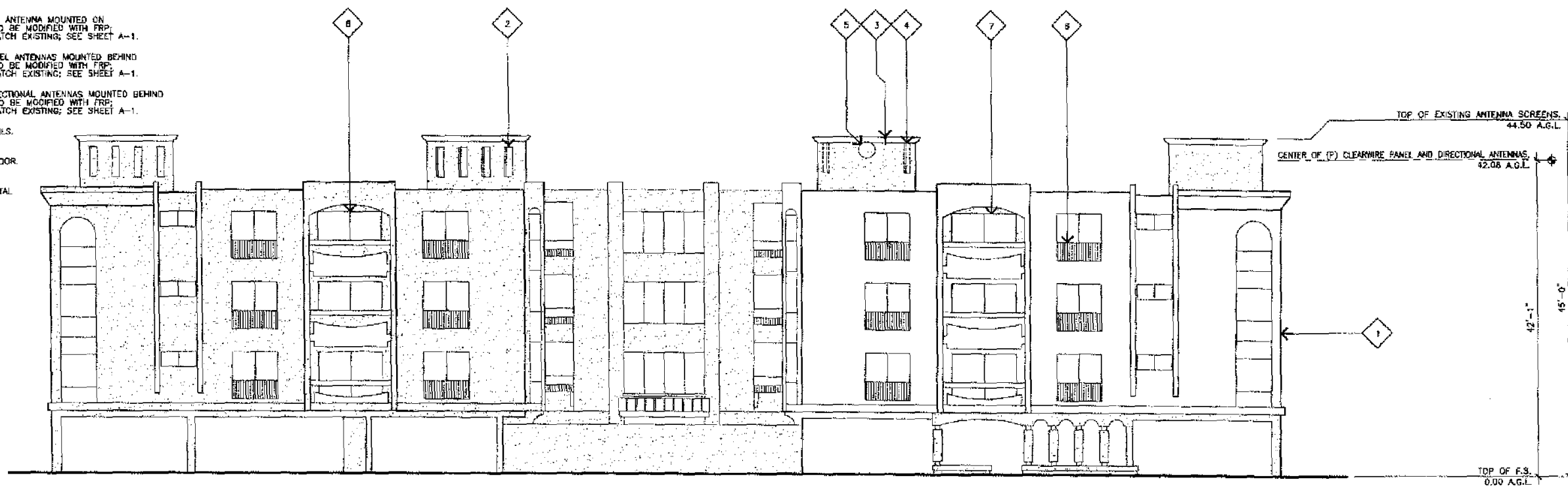


NORTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8" 2

ELEVATION KEYNOTES

- 1 EXISTING STUCCO BUILDING.
- 2 EXISTING OTHER CARRIER ANTENNAS MOUNTED BEHIND EXISTING FRP SCREEN.
- 3 PROPOSED CLEARWIRE GPS ANTENNA MOUNTED ON EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 4 PROPOSED CLEARWIRE PANEL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 5 PROPOSED CLEARWIRE DIRECTIONAL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 6 EXISTING METAL GUARD RAILS.
- 7 EXISTING SLIDING GLASS DOOR.
- 8 EXISTING WINDOW WITH METAL FRAME.



SOUTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8" 1

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KIRKLAND, WASHINGTON 98033

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Nevada: (702) 795-0650



PENNSYLVANIA

CA-SDG5049A

838 WEST PENNSYLVANIA AVENUE
SAN DIEGO, CALIFORNIA 92103

REVISIONS

NO.	DATE	DESCRIPTION	INITIAL
1	08-21-09	90% 2D REVIEW (P1)	FB
2	09-31-09	TOOK FINAL 2D'S (P2)	LFJ
3	02-12-10	CLIENT COMMENTS (P3)	LFJ
4	06-15-10	CLIENT COMMENTS (P4)	LFJ
5	08-31-10	CLIENT COMMENTS (P5)	LFJ

NOT FOR CONSTRUCTION UNLESS LABELLED AS CONSTRUCTION SET

SHEET TITLE
ELEVATIONS

SHEET NUMBER

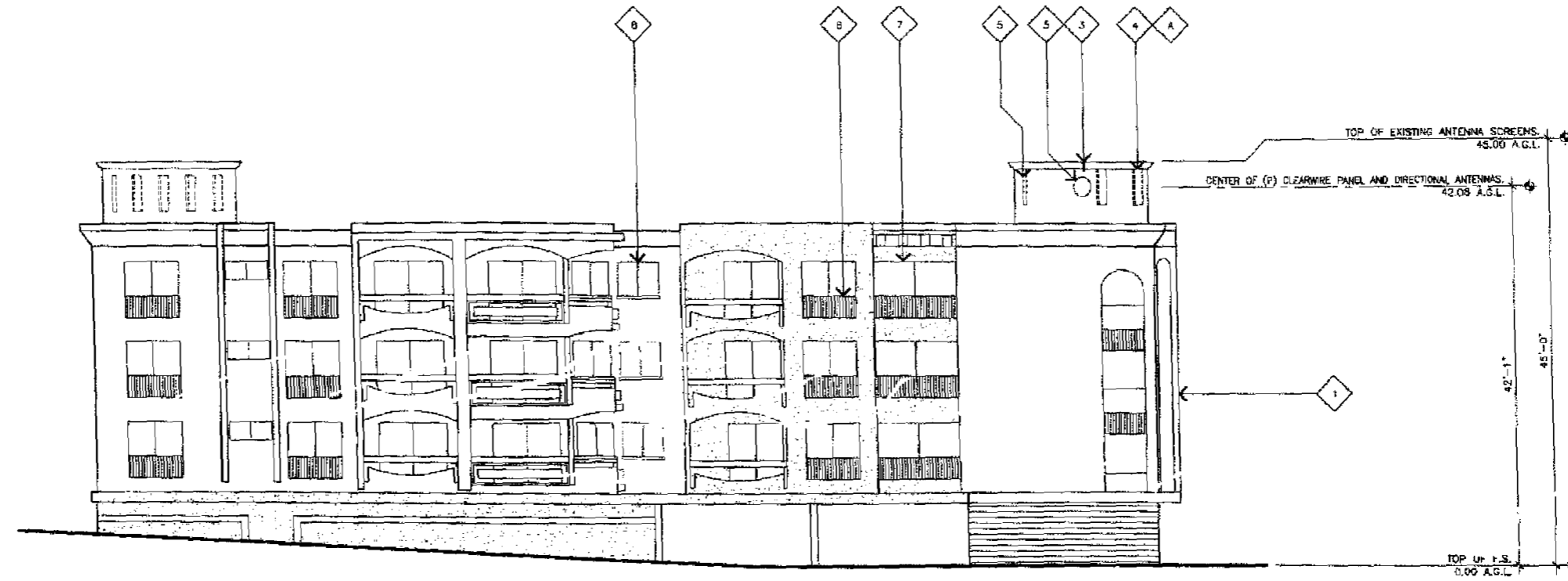
A-2

ELEVATION KEYNOTES

- 1 EXISTING STUCCO BUILDING.
- 2 EXISTING OTHER CARRIER ANTENNAS MOUNTED BEHIND EXISTING FRP SCREEN.
- 3 PROPOSED CLEARWIRE OPS ANTENNA MOUNTED ON EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 4 PROPOSED CLEARWIRE PANEL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 5 PROPOSED CLEARWIRE DIRECTIONAL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 6 EXISTING METAL GUARD RAILS.
- 7 EXISTING SLIDING GLASS DOOR.
- 8 EXISTING WINDOW WITH METAL FRAME.

ELEVATION GENERAL NOTES

- A OTHER CARRIER'S ANTENNA SCREEN WALL NOT SHOWN FOR CLARITY.



WEST ELEVATION

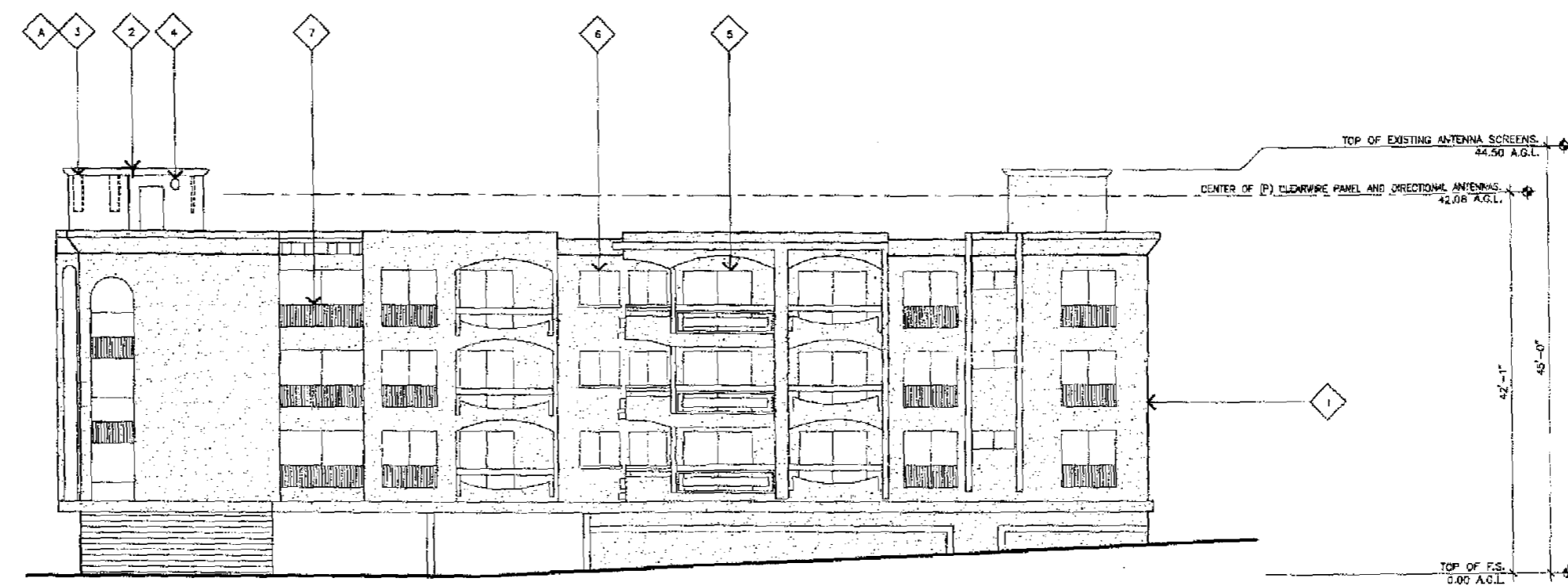
SCALE: 1/8"=1'-0" 0 4' 8' 2

ELEVATION KEYNOTES

- 1 EXISTING BUILDING.
- 2 PROPOSED CLEARWIRE OPS ANTENNA MOUNTED ONTO EXISTING FRP SCREEN.
- 3 PROPOSED CLEARWIRE PANEL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 4 PROPOSED CLEARWIRE DIRECTIONAL ANTENNAS MOUNTED BEHIND EXISTING SCREEN WALL TO BE MODIFIED WITH FRP; TEXTURE AND PAINT TO MATCH EXISTING; SEE SHEET A-1.
- 5 EXISTING SLIDING GLASS DOOR.
- 6 EXISTING WINDOW WITH METAL FRAME.
- 7 EXISTING METAL GUARD RAILS.

ELEVATION GENERAL NOTES

- A OTHER CARRIER'S ANTENNA SCREEN WALL NOT SHOWN FOR CLARITY.



EAST ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 1

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 4400 CARILLON POINT
 KIRKLAND, WASHINGTON 98033

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WESTOWER COMMUNICATIONS INC

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 Nevada: (702) 785-0054

REGISTERED ARCHITECT
 PROJECT L-7006
 C-020876
 EXP. 12-31-2011
 STATE OF CALIFORNIA

PENNSYLVANIA
 CA-SDG5049A
 888 WEST PENNSYLVANIA AVENUE
 SAN DIEGO, CALIFORNIA 92103

REVISIONS

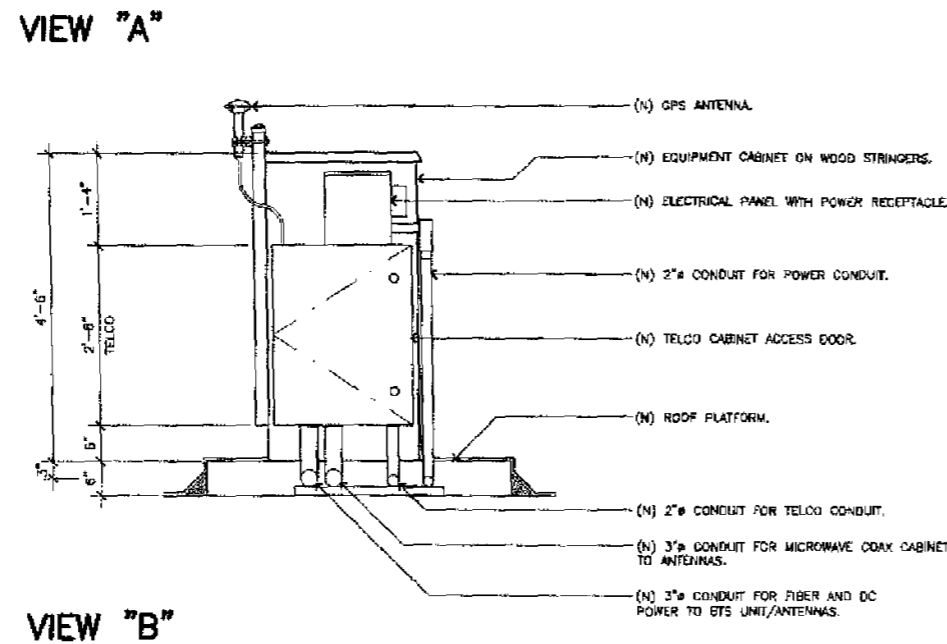
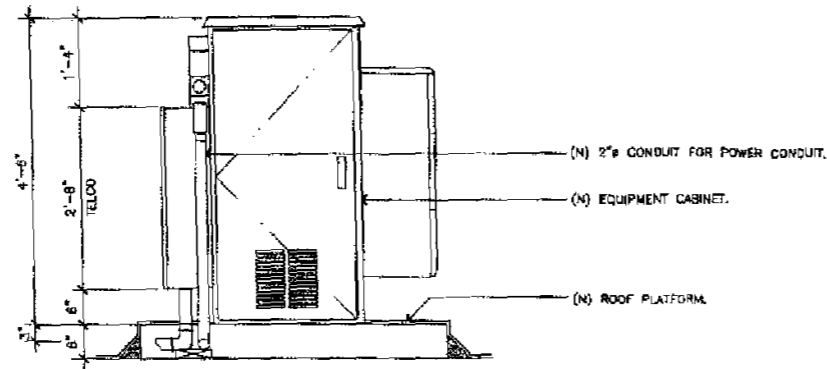
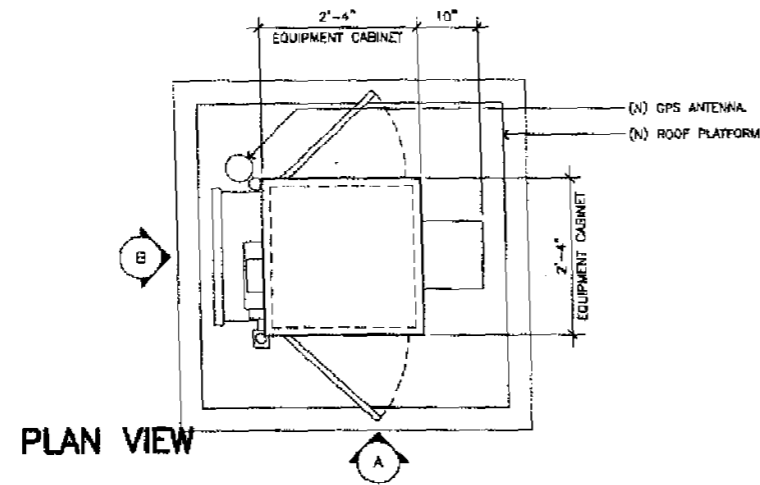
NO.	DATE	DESCRIPTION	INITIAL
1	08-21-08	FOR 2D REVIEW (P1)	BR
2	08-28-08	FOR FINAL 2D'S (P2)	LFJ
3	02-12-10	CLIENT COMMENTS (P3)	LFJ
4	08-15-10	CLIENT COMMENTS (P4)	LFJ
5	08-31-10	CLIENT COMMENTS (P5)	LFJ

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
ELEVATIONS

SHEET NUMBER
A-2.1

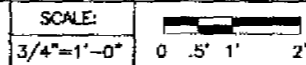
JRA PROJECT NUMBER: 090311



GENERAL NOTES

1. ABOVE GROUND CONDUIT TO BE SCH. 40 PVC OR METAL.
2. UNDERGROUND CONDUIT TO BE SCH. 40 PVC.

WOOD STRINGERS WITH EQUIPMENT CABINET DETAIL

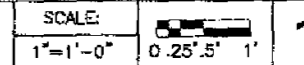


3

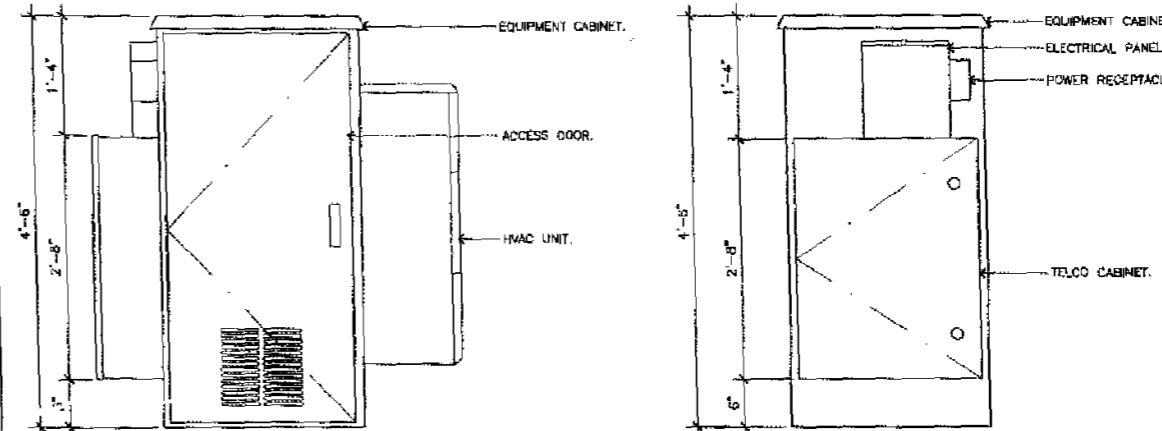
GENERAL NOTES

1. MANUFACTURER: ODB UNLIMITED, MODEL #00-500X OR #00-500XC.
2. EQUIPMENT CABINET HAS A STAINLESS STEEL FACTORY FINISH, PROTECT AS REQUIRED.

EQUIPMENT CABINET DETAIL

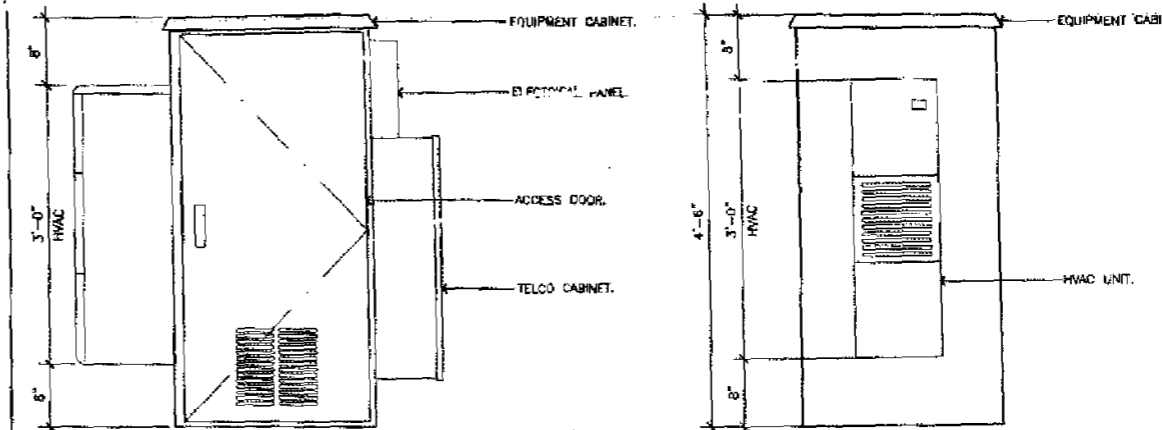


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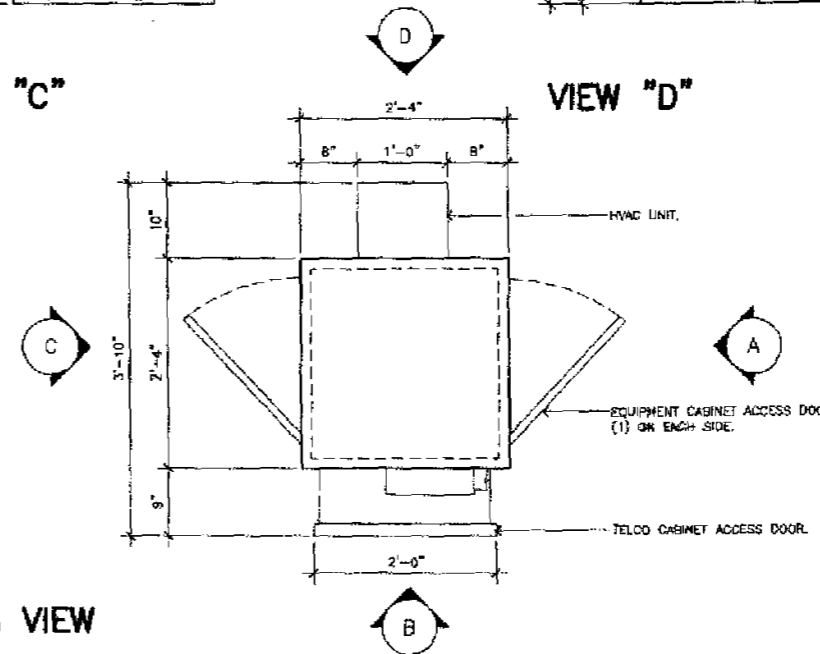
VIEW "A"

VIEW "B"



VIEW "C"

VIEW "D"



PLAN VIEW

clearwre

4400 CARILLON POINT
KIRKLAND, WASHINGTON 98033

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Nevada: (702) 793-0058

REGISTERED ARCHITECT
JEFFREY T. ROWE
C-626876
EXPIRES FEB. 28, 2011
STATE OF CALIFORNIA

PENNSYLVANIA

CA-SDG5049A

837 WEST PENNSYLVANIA AVENUE
SAN DIEGO, CALIFORNIA 92103

REVISIONS

NO.	DATE	DESCRIPTION	INITIAL
1	06-21-08	80% 2D REVIEW (P1)	RD
2	06-28-08	100% FINAL 2D'S (P2)	LFJ
3	09-12-10	CLIENT COMMENTS (P3)	LFJ
4	06-13-10	CLIENT COMMENTS (P4)	LFJ
5	06-23-10	CLIENT COMMENTS (P5)	LFJ

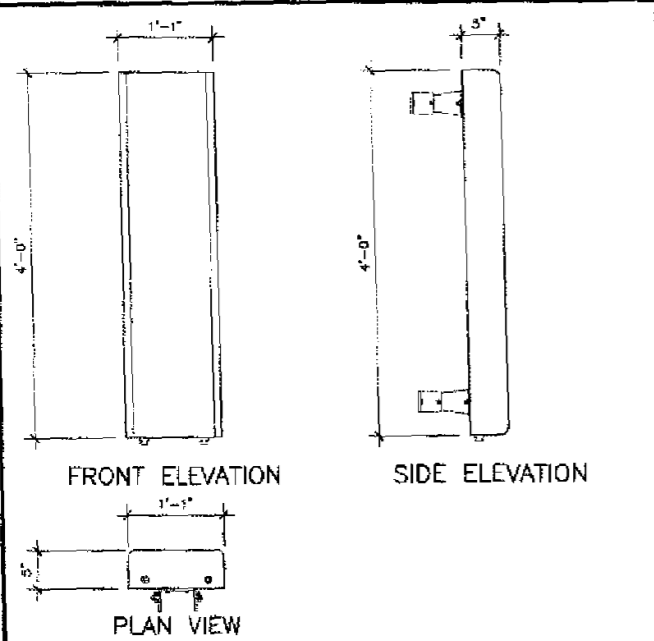
NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE

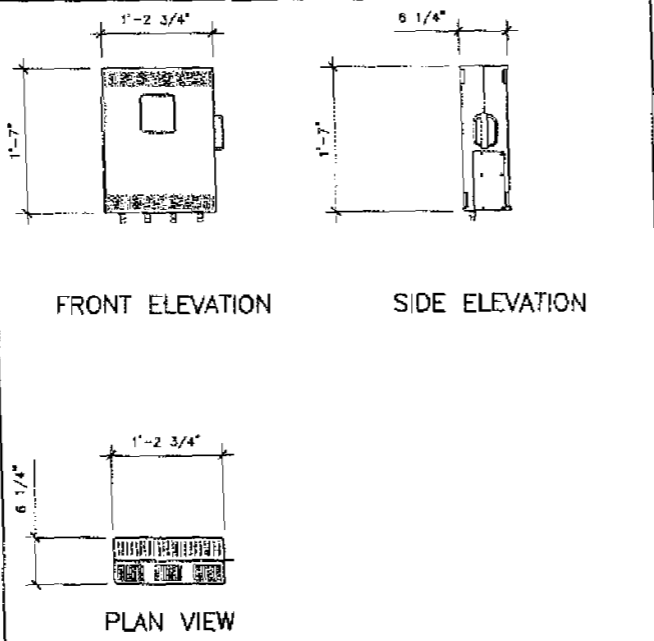
EQUIPMENT DETAILS

SHEET NUMBER

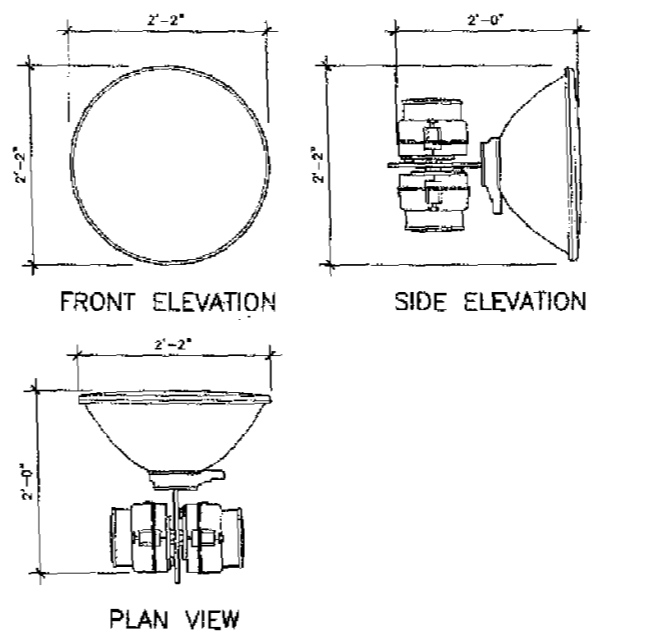
A-3



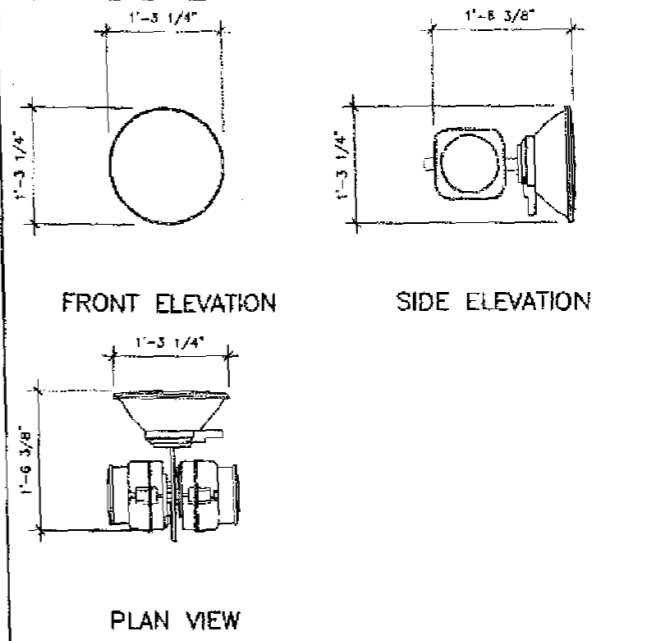
PANEL ANTENNA SCALE: NONE **10**



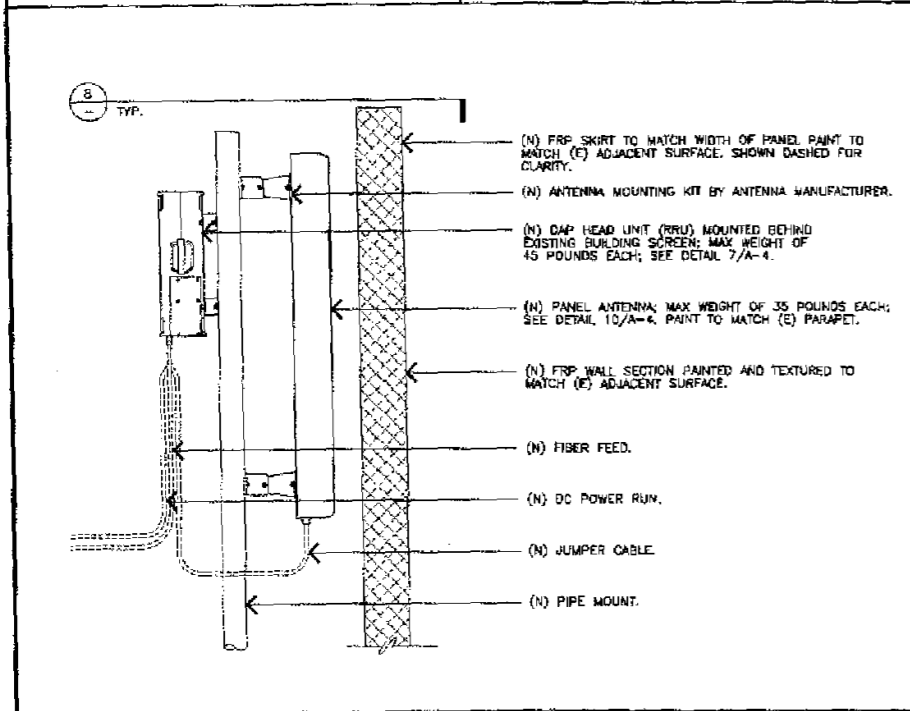
DAP HEAD UNIT (RRU) SCALE: NONE **7**



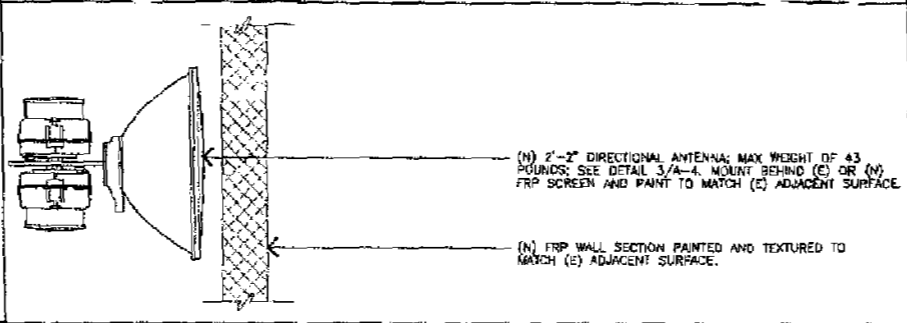
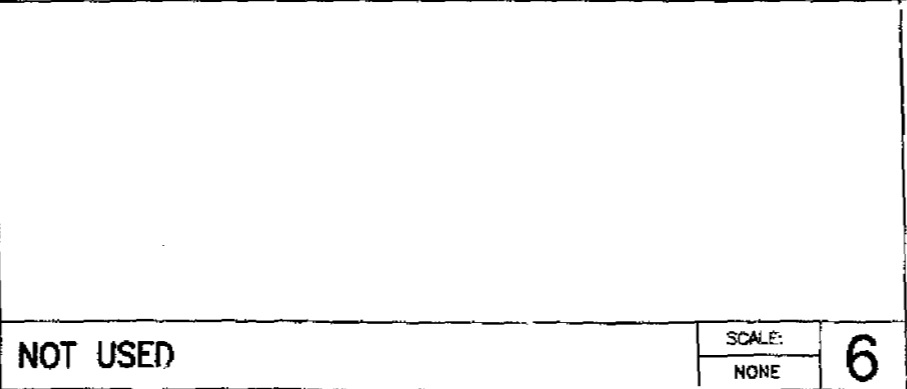
2' DIRECTIONAL ANTENNA SCALE: NONE **3**



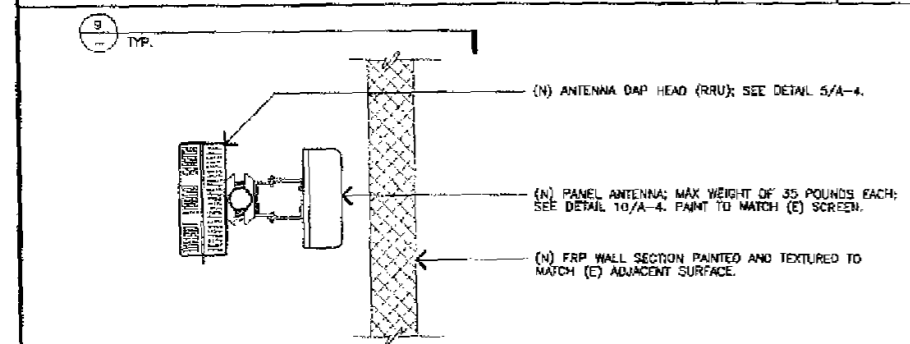
1' DIRECTIONAL ANTENNA SCALE: NONE **2**



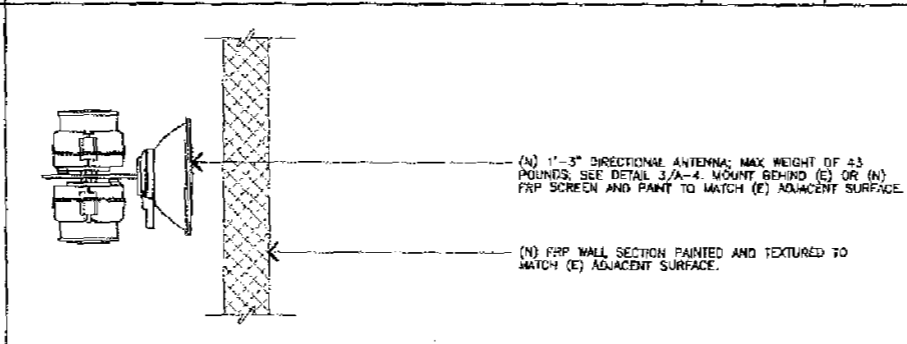
ANTENNA & DAP HEAD MOUNTING DETAIL SCALE: NONE **9**



2' DIRECTIONAL ANTENNA MOUNTING PLAN SCALE: NONE **5**



ANTENNA & DAP HEAD MOUNTING PLAN SCALE: NONE **8**



1' DIRECTIONAL ANTENNA MOUNTING PLAN SCALE: NONE **4**



NOT USED SCALE: NONE **1**

clearw
 4400 CARILLON POINT
 KIRKLAND, WASHINGTON 98033
 PROPRIETARY INFORMATION
 THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

WESTOWER COMMUNICATIONS INC

JRA
 Jeffrey Rowe & Associates, Inc.
 Arizona - California - Nevada
 Arizona: (602) 396-3579
 California: (949) 760-3329
 Nevada: (702) 795-0058

PENNSYLVANIA
CA-SDG5049A
 835 WEST PENNSYLVANIA AVENUE
 SAN DIEGO, CALIFORNIA 92103

REVISIONS			
NO.	DATE	DESCRIPTION	INITIAL
1	06-21-09	90% 2D REVIEW (P1)	FR
2	06-01-09	100% FINAL 2D'S (P2)	LJ
3	02-12-10	CLIENT COMMENTS (P3)	LJ
4	06-16-10	CLIENT COMMENTS (P4)	LJ
5	08-31-10	CLIENT COMMENTS (P5)	LJ

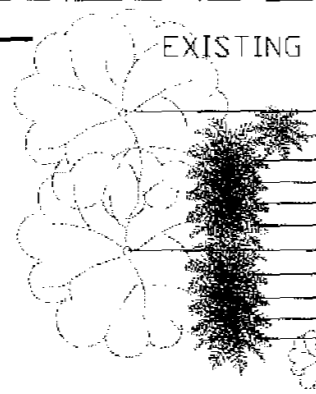
NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

SHEET TITLE
ANTENNA DETAILS

SHEET NUMBER
A-4

EXISTING TREE SITE PLAN KEYNOTES

- 1 ALL EXISTING SITE TREES WILL CONTINUE TO BE WATERED AND MAINTAINED.
- 2 NO TREES SHALL BE REMOVED OR SIGNIFICANTLY TRIMMED AS PART OF THIS PROJECT.



EXISTING MAJOR PLANT MATERIAL LEGEND

#	BOTANICAL NAME	COMMON NAME	CALIP.	HEIGHT	CANOPY	REMARKS
1	EUCALYPTUS CITRIDORA	LEMON SCENTED GUM	24"	56'	32'	PLANTED IN ASTRO TURF
2	PHOENIX ROEBELENI	PIGMY PALM		5' LBT		PLANTED IN ASTRO TURF
3	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM		10' LBT		PLANTED IN ASTRO TURF/PATIO
4	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM		18' LBT		PLANTED IN ASTRO TURF/PATIO
5	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM		36' LBT		PLANTED IN ASTRO TURF/PATIO
6	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM		22' LBT		PLANTED IN ASTRO TURF/PATIO
7	EUCALYPTUS CITRIDORA	LEMON SCENTED GUM	23"	58'	27'	PLANTED IN ASTRO TURF
8	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM		12' LBT		PLANTED IN RETAINING WALL PLANTER
9	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM		9' LBT		PLANTED IN RETAINING WALL PLANTER
10	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM		7' LBT		PLANTED IN RETAINING WALL PLANTER
11	ARECASTRUM ROMANZOFFIANUM	QUEEN PALM		5' LBT		PLANTED IN RETAINING WALL PLANTER
12	SCHINUS TEREBINIFOLIA	BRIZILAN PEPPER	6"-8"	12'	18'	PLANTED IN RETAINING WALL PLANTER



PETER BEAUDETTE MILES
LANDSCAPE ARCHITECT
22831 BELQUEST DRIVE
LAKE FOREST, CA. 92830
(949) 770-1436

clearw^{to}
1400 CARILLON POINT
KIRKLAND, WASHINGTON 98033

PROPRIETARY INFORMATION
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WESTOWER COMMUNICATIONS INC

JRA
Jeffrey Roma & Associates, Inc.
Arizona - California - Nevada
Arizona: (602) 286-5570
California: (949) 760-3928
Nevada: (702) 755-0088



PENNSYLVANIA
CA-SDG5049A
836 WEST PENNSYLVANIA AVENUE
SAN DIEGO, CALIFORNIA 92103

REVISIONS			
NO.	DATE	DESCRIPTION	INITIALS
1	08-21-08	BID# 20 REVIEW (R1)	RE
2	09-09-08	100% FINAL 20'S (P2)	LFJ
3	10-17-08	CLIENT COMMENTS (P3)	LFJ
4	10-18-08	CLIENT COMMENTS (P4)	LFJ
5	10-21-08	CLIENT COMMENTS (P5)	LFJ

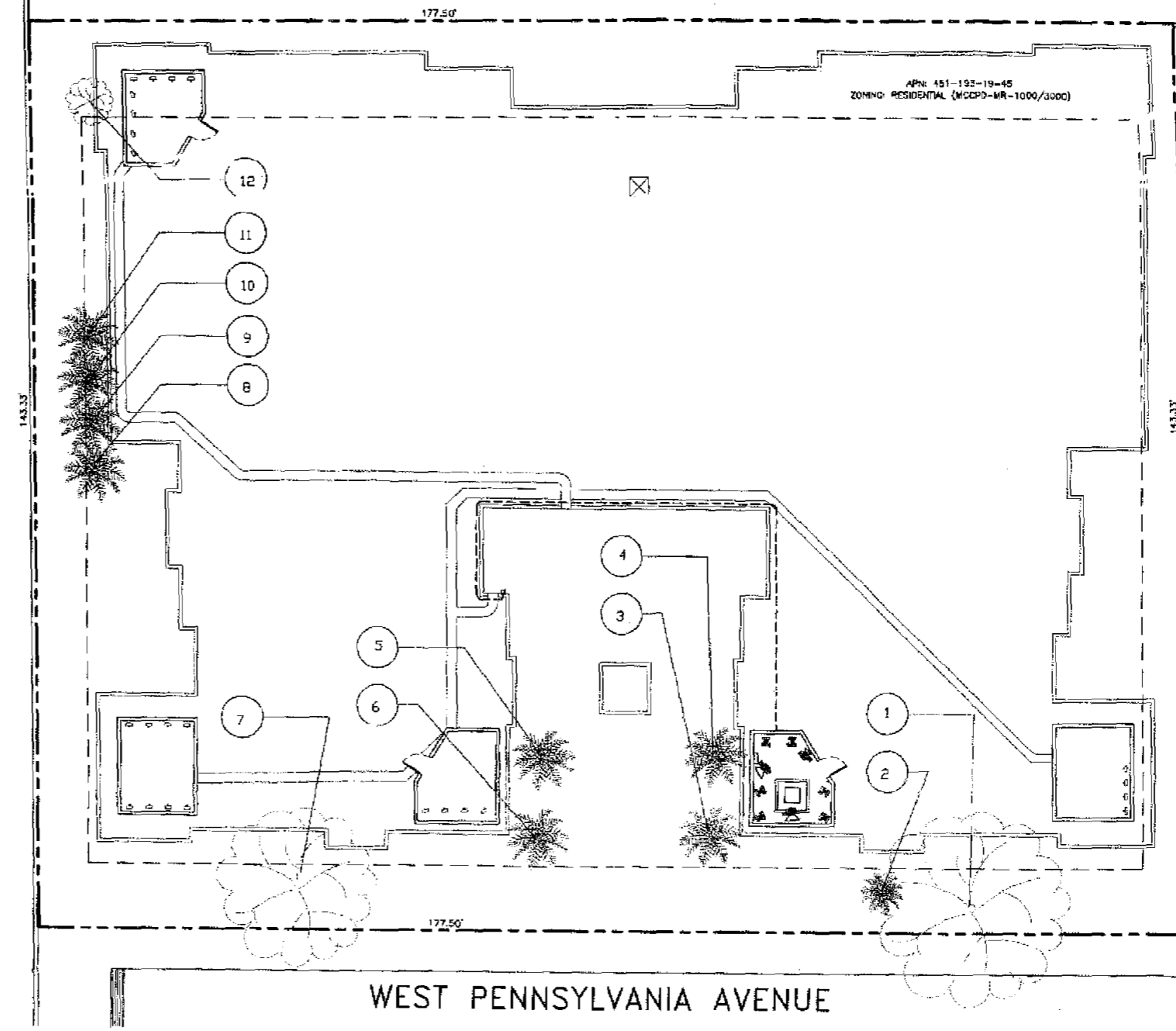
SHEET TITLE
EXISTING PLANTING

SHEET NUMBER
L-0

GOLDFINCH STREET

ALLEY

WEST PENNSYLVANIA AVENUE



APR 451-192-19-45
ZONING: RESIDENTIAL (MDCPD-MR-1000/3000)



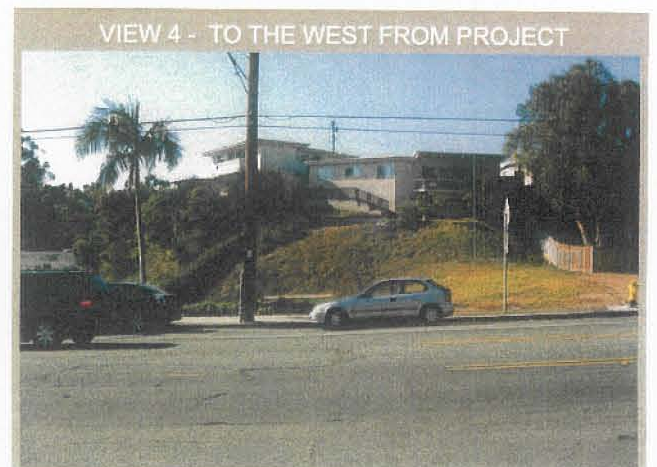
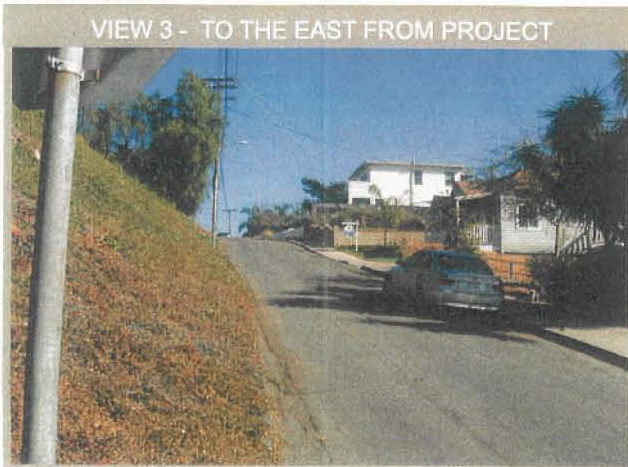
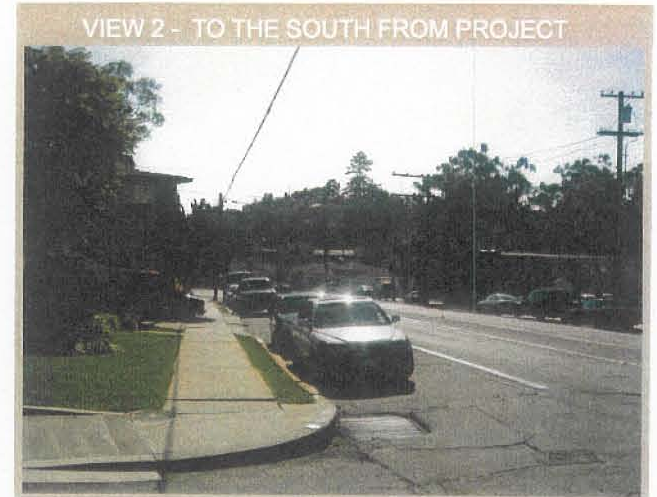
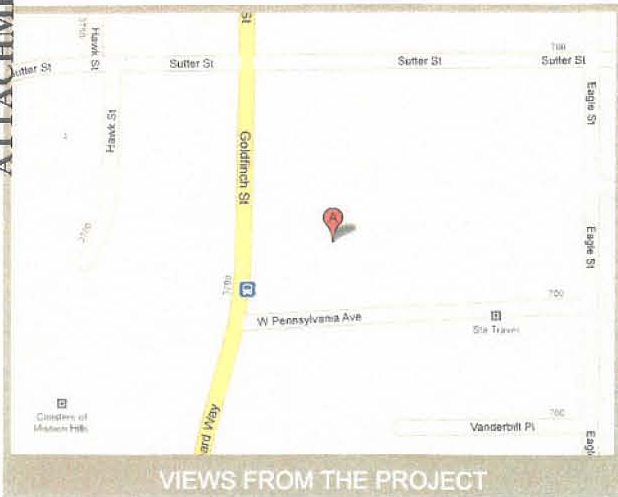
EXISTING TREE SITE PLAN

SCALE: 3/32"=1'
0 3' 6' 12'

1

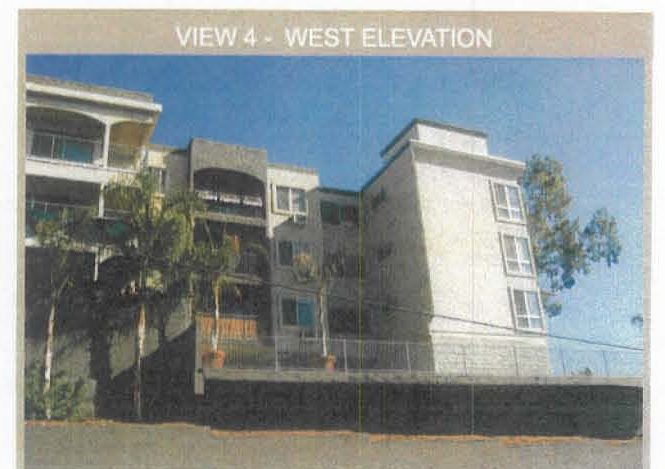
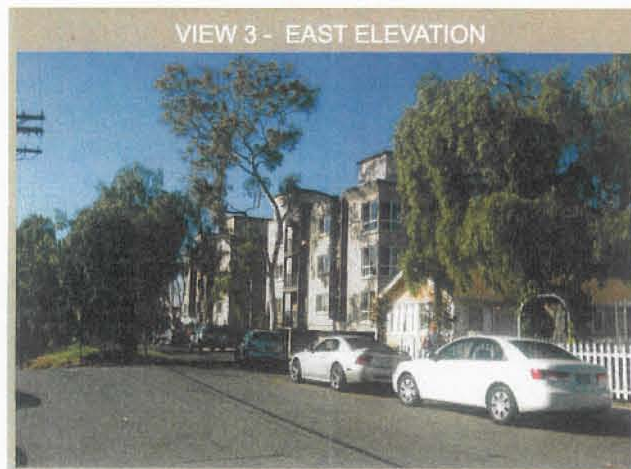
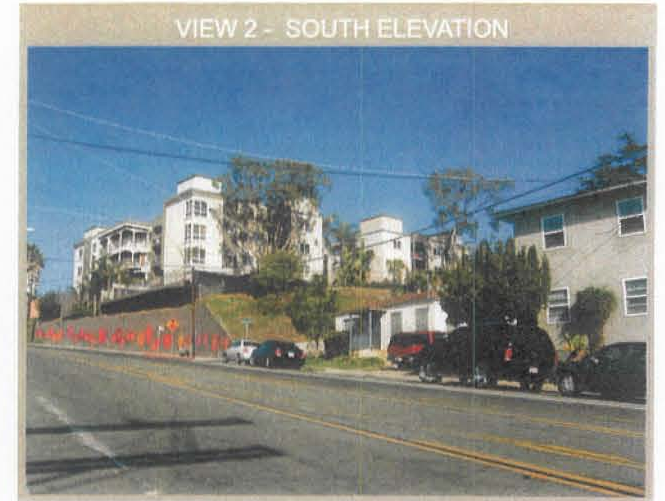
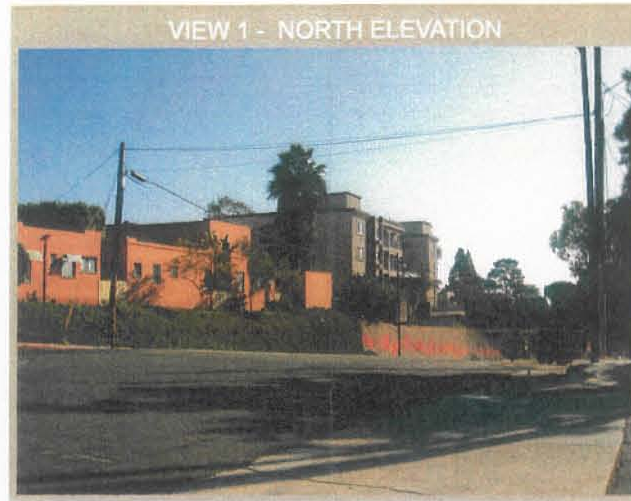
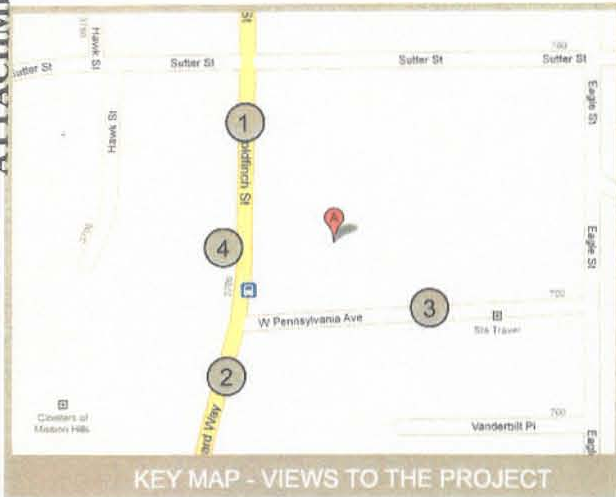
JRA PROJECT NUMBER: 090311

PHOTO SURVEY



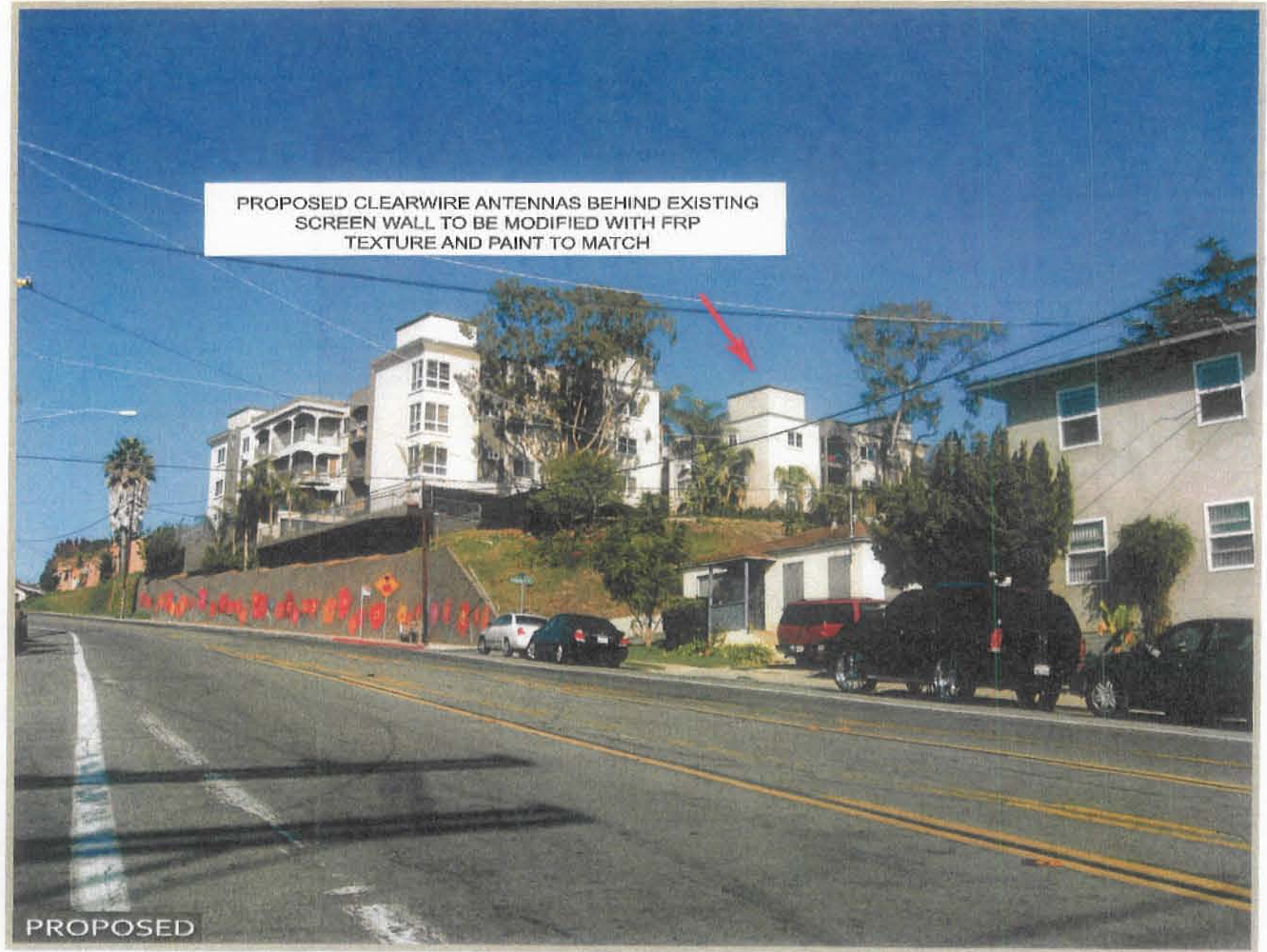
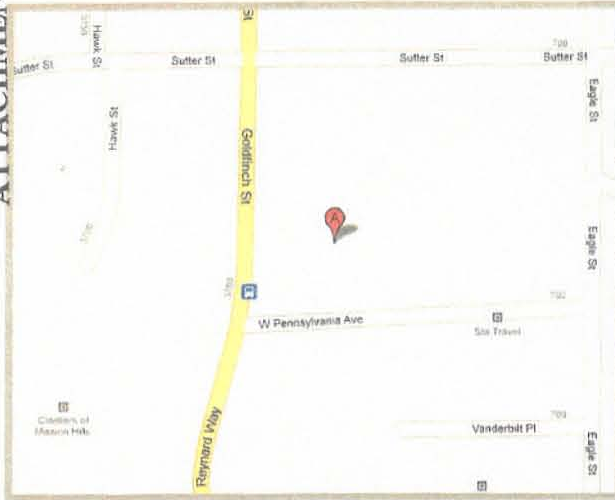
Prepared for:
City of San Diego
Department of Planning
1222 First Ave MS301
San Diego, CA 92101

Prepared by:
WesTower Communications Inc
Contract Representative for
Clearwire



Prepared for:
City of San Diego
Department of Planning
1222 First Ave MS301
San Diego, CA 92101

Prepared by:
WesTower Communications Inc
Contract Representative for
Clearwire





City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title Project No. For City Use Only
 Clearwire - Pennsylvania - CA-SDG5049

Project Address:
 836 Pennsylvania Avenue, San Diego, CA 92103

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
THE POINT AT MISSION HILLS MAINTENANCE

Owner Tenant/Lessee CORP

Street Address: 336 W PENNSYLVANIA AVE

City/State/Zip: SAN DIEGO, CA 92103

Phone No: 619 527 2740 Fax No: _____

Name of Corporate Officer/Partner (type or print):
JAN KLEISSL

Title (type or print): HOA SECRETARY

Signature: _____ Date: 3/16/2009

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Tse, Simon

From: Leo Wilson [leo.wikstrom@sbcglobal.net]
Sent: Thursday, October 07, 2010 1:54 PM
To: Tse, Simon
Subject: Re: Clearwire Pennsylvania PTS 207390

Hi Simon:

The project was moved to, and approved, on the consent agenda. The vote was 14-0-1 (non-voting chair).

Leo

--- On Thu, 10/7/10, Tse, Simon <STse@saniego.gov> wrote:

From: Tse, Simon <STse@saniego.gov>
Subject: Clearwire Pennsylvania PTS 207390
To: "leo.wikstrom@sbcglobal.net" <leo.wikstrom@sbcglobal.net>
Date: Thursday, October 7, 2010, 10:08 AM

Good morning Leo

I spoke with the applicant this morning and he had informed me that this project was supported by the Uptown Planners. Can you confirm that this is the case? If you don't mind, can you provide me the vote count? Thank you in advance for your response.

ST

Simon Tse Planner Office: 619.687.5984 Fax: 619.446.5499

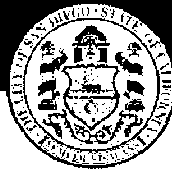
Development Services Department

1222 First Avenue, 5th Floor San Diego, CA 92101-4155

CLEARWIRE - PENNSYLVANIA**PROJECT CHRONOLOGY**

PTS NO. 207390 INTERNAL ORDER NO 24000784

Date	Action	Description	City Review	Applicant Response
3/25/2010	First Submittal	Project Deemed Complete		
4/27/2010	First Assessment Letter		33 days	
7/29/2010	Second Submittal			94 days
9/8/2010	Second Assessment Letter		40 days	
10/11/2010	All issues resolved			33 days
11/18/2010		Planning Commission Hearing	38 days	
Total Staff Time:		Does not include City Holidays and Furlough	111 days	
Total Applicant Time:		Does not include City Holidays and Furlough		127 days
Total Project Running Time:		From Deemed Complete to PC Hearing	238 days	



THE CITY OF SAN DIEGO

DATE OF NOTICE: October 27, 2010

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING: November 18, 2010
TIME OF HEARING: 9:00 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
202 C Street, San Diego, California 92101

PROJECT TYPE: CONDITIONAL USE PERMIT
PROJECT NUMBER: PTS #207390
PROJECT NAME: CLEARWIRE PENNSYLVANIA
APPLICANT: Mark Berlin

COMMUNITY PLAN AREA: Uptown
COUNCIL DISTRICT: 2

CITY PROJECT MANAGER: SIMON TSE, Development Project Manager
PHONE NUMBER: (619) 687-5984

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a new Wireless Communication Facility at 836 West Pennsylvania Avenue in the MR-1000 zone within the Uptown community plan. The Wireless Communication Facility (WCF) consists of the installation of six (6) panel antennas and three (3) microwave dishes completely concealed inside an existing rooftop cupola. The associated equipment will also be located inside the existing rooftop cupola, not visible to the public.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court,

you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project is exempt from environmental review pursuant to Article 19, Section 15301, Existing Facilities, of the California Environmental Quality Act (CEQA). The environmental exemption determination for this project was made on October 14, 2010, and the opportunity to appeal that determination ended on October 28, 2010. This project is not pending an appeal of the environmental determination.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call the Disability Services Program Coordinator at 236-5979 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are available for the meeting upon request.

Internal Order No. 24000784