



THE CITY OF SAN DIEGO
REPORT TO THE PLANNING COMMISSION

DATE ISSUED: December 2, 2010 **REPORT NO. PC-10-105**

ATTENTION: Planning Commission, Agenda of December 9, 2010

SUBJECT: AT&T MOBILITY – LA JOLLA COMMONS
PROJECT NO. 212265, PROCESS 4

**OWNER/
APPLICANT:** CITY OF SAN DIEGO
AT&T MOBILITY

SUMMARY

Issue(s): Should the Planning Commission approve an existing Wireless Communication Facility located at 4949 Eastgate Mall Drive within the University Community Planning Area?

Staff Recommendation:

1. **APPROVE** Planned Development Permit No. 798878.
2. **APPROVE** Neighborhood Use Permit No. 798879.

Community Planning Group Recommendation: On October 12, 2010 the University Community Planning Board voted to recommend approval of this project (Attachment 10).

Environmental Review: The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines, Section 15303, New Construction. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on September 10, 2010, and the opportunity to appeal that determination ended October 6, 2010 (Attachment 12).

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.



Housing Impact Statement: None with this action.

BACKGROUND

The project is located on the City of San Diego North City Water Reclamation Plant. The reclamation plant consists of several water treatment buildings/tanks in addition to an administrative building on the north westerly side of the property. All authorized vehicles and personnel must enter through a secure entrance on the Eastgate Mall access path. The property is surrounded by the 805 Freeway to the west, Miramar Road to the south, Eastgate Mall Drive to the north, and industrial development to the east. Although the facility is located within the Part 77 FAA notification area, the proposed design will not exceed the permitted height allowance and will not require an FAA No Hazard to Air Navigation notice.

DISCUSSION

Project Description - AT&T Mobility submitted an application for a Neighborhood Use Permit (NUP) and a Planned Development Permit (PDP) to install a Wireless Communication Facility (WCF) consisting of the installation of twelve antennas concealed behind Fiberglass Reinforced Panels (FRPs). As illustrated in the zoning drawings and the photosimulation, the FRP panel has been designed to replicate the current rooftop pyramid feature (Attachment 5). Due to this unique and creative design, AT&T Mobility will be able to fully conceal their proposed antennas from any public perspectives. The associated ground mounted equipment is located behind a three-sided 8-foot high wall (approximately 371-square feet) within an existing planter area on the westerly side of the property. Due primarily to the existing topography, the westerly side of the property where the equipment is proposed is set back from the 805 Freeway and screened by the existing raised grade reducing all visual impacts to the proposed equipment location (Attachment 8).

Wireless Communication Facility(WCF) Regulation - The project is located within the RS-1-14 zone and requires an NUP, per Municipal Code Section 141.0420(d)(2) which states that a Neighborhood Use Permit is required for all Wireless Communication Facilities in Residential zone where the antennas associated with the WCF are located more than 100 feet from the property line of day care(s), elementary and middle school, and single or multi-unit residential uses. The project also requires a PDP to exceed the 35-foot height limit established within the RS-1-14 zone and to exceed the 250-square foot equipment size limitation per Municipal Code Section 141.0420(g)(3). These following deviations result in a consolidated NUP and PDP, Planning Commission decision with appeal rights to the City Council. After thoroughly reviewing this project, staff has determined that this WCF is appropriate and complies with City of San Diego Municipal Code section 141.0420.

Community Plan Analysis: The project location has been designated for industrial use in the University Community Plan (Attachment 2). The University Community Plan does not contain specific policies on wireless communication facility development.

Council Policy 600-43 - The guidelines establish a hierarchy from the most preferred locations

(Preference 1) to the least preferred location (Preference 4) for WCFs. The project is proposed within a Preference 2 location according to Council Policy 600-43, which categorizes WCF's according to land use in which they are located. In this case, the project is located in a residential zone containing a non-residential use and is considered to be a Preference 2 location. However, the proposed deviations required a PDP resulting in a Process 4 level decision. The applicant is required to submit a site justification letter explaining why a Preference 2 site was selected over Preference 1 level sites. AT&T Mobility's site justification letter pointed to a combination of concerns from the limited availability of preference 1 locations and the ability to design a completely concealed facility. Also, due to the existing height of the water treatment building, the expected coverage to the surrounding area may be reduced if moved to another location.

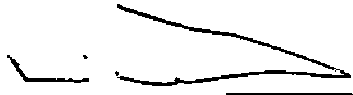
General Plan - The General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of the facility is to be aesthetically pleasing and respectful of the neighborhood context. The AT&T Mobility WCF design consists of twelve antennas fully concealed inside a rooftop pyramid feature. As illustrated on the photosimulation, the design of the faux pyramid is consistent with the other rooftop pyramid. The associated ground mounted equipment is behind a three-sided 8-foot high wall within an existing planter area on the westerly side of the property. Due primarily to the existing topography, the westerly side of the property where the equipment is proposed is set back from the 805 Freeway and screened by the existing raised grade reducing all visual impacts to the proposed equipment location.

Conclusion - The project has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the development regulations from the RS-1-14 zone and the Wireless Communication Facilities Regulations Section 141.0420 except for the requested deviations. The project as proposed is requesting a height deviation to exceed the 35-foot height limit and to exceed the 250-square feet equipment limitation. These deviations can be supported by staff as a result of the creative design employed by the applicant. With the fully stealth design, neither the antennas, nor the equipment will be visible. Therefore, staff supports the University Planning Group's recommendation to support the proposed AT&T Mobility project. In conclusions, Staff recommends that the Planning Commission approve Planned Development Permit No. 798878 and Neighborhood Use Permit No. 798879.

ALTERNATIVES

1. **APPROVE** Planned Development Permit No. 798878 and Neighborhood Use Permit No. 798879, **with modifications.**
2. **DENY** Planned Development Permit No. 798878 and Neighborhood Use Permit No. 798879, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



Simon Tse
Associate Planner
Development Services Department

Attachments:

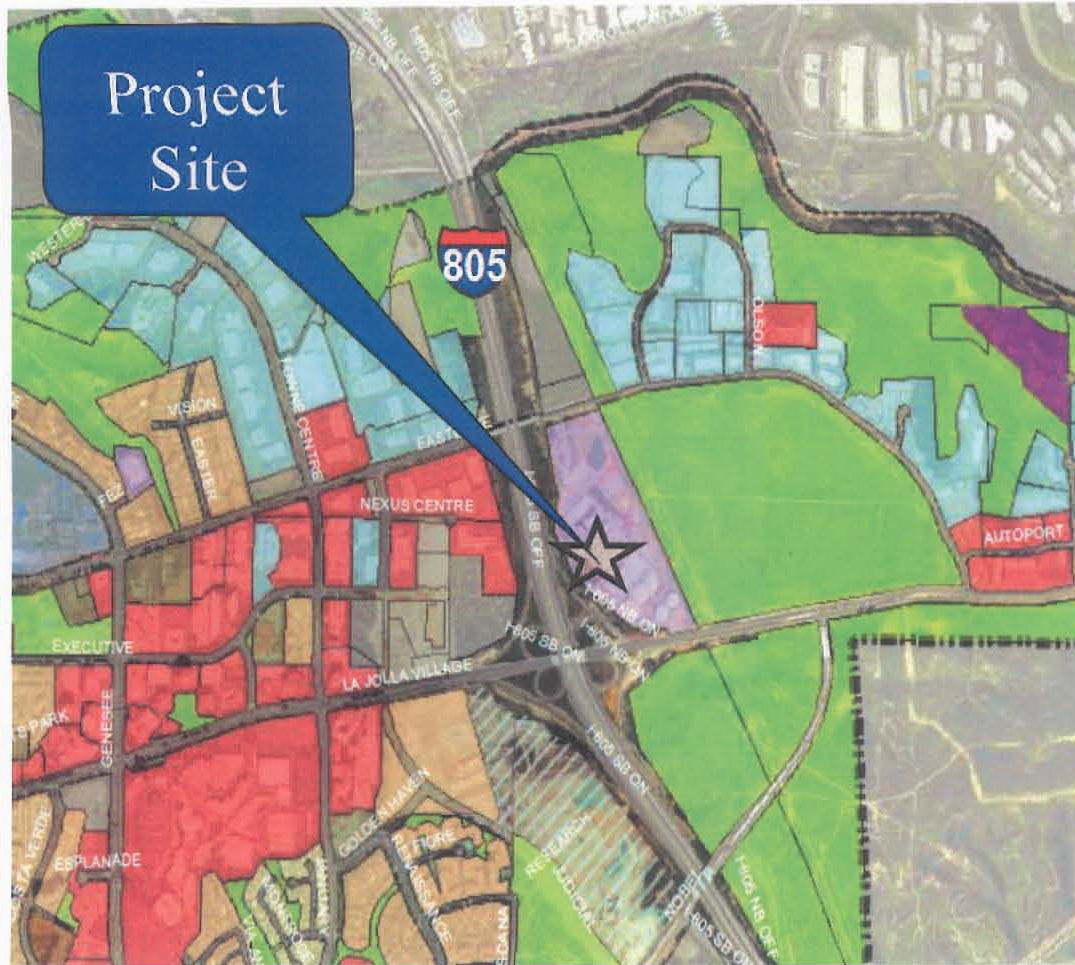
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Project Site Plan(s)
6. Draft Resolution with Findings
7. Draft Permit with Conditions
8. Photo Simulation(s)
9. Project Site Photo(s)
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Notice of Exemption
13. Notice of Hearing
14. Project Chronology



Aerial Photo

AT&T Mobility La Jolla Commons - Project No. 212265
4949 Eastgate Mall Drive, San Diego, CA 92121





Map ONE

University

Existing Conditions

Land Use

Legend

- Single Family Residential
- Multi-Family Residential
- Group Quarters
- Mobile Home Park
- Commercial
- Commercial (under construction)
- Industrial: Warehouse/Storage
- Industrial (under construction)
- Extractive Industry
- Communication Utilities; Transportation Related
- Junkyard/Landfill
- Institutional
- Military Use
- Schools
- Park; Open Space
- Private Recreation
- Undeveloped
- Bodies of Water



Community Land Use Map (University)

AT&T Mobility La Jolla Commons - Project No. 212265
 4949 Eastgate Mall Drive, San Diego, CA 92121





Project Location Map

AT&T Mobility La Jolla Commons - Project No. 212265
 4949 Eastgate Mall Drive, San Diego, CA 92121



PROJECT DATA SHEET

PROJECT NAME:	AT&T Mobility La Jolla Commons	
PROJECT DESCRIPTION:	Wireless Communication Facility (WCF) consisting of twelve (12) panel antennas completely concealed inside a faux pyramid on the rooftop of the existing water treatment building. The ground mounted equipment is concealed behind a 371-square feet CMU enclosure, not visible to the public.	
COMMUNITY PLAN AREA:	University	
DISCRETIONARY ACTIONS:	Planned Development Permit & Neighborhood Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Industrial	
<u>(OP-1-1) ZONING INFORMATION:</u>		
ZONE: RS-1-14 HEIGHT LIMIT: 35-feet FRONT SETBACK: 15-feet SIDE SETBACK: 10-feet REAR SETBACK: 4-feet		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	RS-1-14	Undeveloped Land
SOUTH:	RS-1-14	Undeveloped Land
EAST:	AR-1-1	US Government
WEST:	RS-1-14	805 Freeway
DEVIATIONS OR VARIANCES REQUESTED:	The project proposes to exceed the 35-foot height limit and to exceed the 250-square feet equipment limitation.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On October 12, 2010, the University Planning Group voted to support the AT&T Mobility La Jolla Commons project (Attachment 9).	



at&t

LA JOLLA COMMONS 4949 EASTGATE MALL DRIVE SAN DIEGO, CALIFORNIA 92121 SS0079

JRA

Jeffrey Rome & Associates, Inc.
Arizona • California • Nevada
Arizona: (602) 286-5579
California: (949) 760-3929
Nevada: (702) 795-0059

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED.

PREPARED FOR
 at&t
5738 PACIFIC CENTER BOULEVARD
2ND FLOOR
SAN DIEGO, CALIFORNIA 92121



APPROVALS

R.F. _____
ZONING _____
CONSTRUCTION _____
SITE ACQUISITION _____
OWNER APPROVAL _____

SITE NAME

LA JOLLA COMMONS
PROJECT NUMBER
SS0079
4949 EASTGATE MALL DRIVE
SAN DIEGO, CALIFORNIA 92121

DRAWING DATES

04/01/10 PRELIM ZD REVIEW (P1)
04/20/10 100% ZD'S (P2)
05/17/10 CLIENT COMMENTS (F3)
07/06/10 CLIENT COMMENTS (F4)
07/22/10 CLIENT COMMENTS (F5)

SHEET TITLE

TITLE SHEET

T-1

SPECIAL INSPECTIONS

1 CONCRETE	13.1 VERIFY SOIL CONDITIONS ARE SUBSTANTIALLY IN CONFORMANCE WITH THE SOIL INVESTIGATION REPORT
2 BOLTS INSTALLED IN CONCRETE	13.2 VERIFY THAT FOUNDATION EXCAVATIONS EXTEND TO PROPER DEPTH AND BEARING STRATA
3 CONCRETE MOMENT-RESISTING SPACE FRAME	13.3 PROVIDE SOIL COMPACTION TEST RESULTS, DEPTH OF FILL, RELATIVE DENSITY, BEARING VALUES
4 REINFORCING STEEL AND PRESTRESSING STEEL	13.4 PROVIDE SOIL EXPANSION TEST RESULTS, EXPANSION INDEX, RECOMMENDATIONS FOR FOUNDATIONS, ON-GRADE FLOOR SLAB DESIGN FOR EACH BUILDING SITE
5.1 ALL STRUCTURAL WELDING	14 SMOKE CONTROL SYSTEM
5.2 WELD TESTING DUCTILE MOMENT-RESISTING STEEL FRAME	15 SPECIAL CASES (DESCRIBE)
5.3 WELDING REINFORCING STEEL	16 OFF-SITE FABRICATION OF BUILDING COMPONENTS
6 HIGH-STRENGTH BOLTING	17 OTHER SPECIAL INSPECTIONS AS REQUIRED BY DESIGNER
7 STRUCTURAL MASONRY	
8 REINFORCED GYPSUM CONCRETE	
9 INSULATING CONCRETE FILL	
10 SPRAY-APPLIED FIREPROOFING	
11 DEEP FOUNDATIONS (PILING, DRILLED & CAISSONS)	
12 SHOTCRETE	

NO.	DESCRIPTION OF TYPE OF INSPECTION REQUIRED, LOCATION, REMARKS.

CONSULTANT TEAM

CLIENTS REPRESENTATIVE:
BLACK & VEATCH
9280 WILLOW CREEK ROAD
SUITE: 310
SAN DIEGO, CALIFORNIA 92131
PHONE: (858) 603-7647
CONTACT: JAMES O'MALLEY

ARCHITECT:
JEFFREY ROME & ASSOCIATES
3 SAN JOAQUIN PLAZA
SUITE: 155
NEWPORT BEACH, CALIFORNIA 92660
PHONE: (949) 760-3929
FAX: (949) 760-3931
CONTACT: JEFFREY ROME

LAND SURVEYOR:
BERT HAZE AND ASSOCIATES, INC.
3881 AIRWAY AVENUE
SUITE: K-1
COSTA MESA, CALIFORNIA 92626
PHONE: 714-557-1567
FAX: 714-557-1568
CONTACT: BERT HAZE

ELECTRICAL ENGINEER:
EDS, INC.
14835 TOFT DRIVE
LAKE ELSINORE, CALIFORNIA 92530
PHONE: (951) 351-1800
FAX: (951) 609-9348
CONTACT: ROBERT CASTRO

PROJECT DESCRIPTION

AT&T MOBILITY PROPOSES TO CONSTRUCT, OPERATE AND MAINTAIN AN UNMANNED WIRELESS COMMUNICATIONS FACILITY. THIS FACILITY WILL CONSIST OF THE FOLLOWING:

- INSTALL (N) (6) AT&T OUTDOOR EQUIPMENT CABINETS MOUNTED ON A PROPOSED CONCRETE PAD WITHIN AN EXISTING POURED IN PLACE ENCLOSURE.
- INSTALL (N) (12) AT&T ANTENNAS WITH (N) (24) TMA'S MOUNTED IN A PROPOSED FRP PYRAMID ON ROOFTOP.
- INSTALL (N) (18) LINES OF COAX.
- POWER AND TELEPHONE UTILITY RUNS TO PROPOSED EQUIPMENT AREA.

BMPS

STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER NO. 2001.01 NPDES NO. CAS010875 ([HTTP://WWW.SWRCB.CA.GOV/RWQCB9/PROGRAMS/SD_STORMWATER.HTML](http://www.swrcb.ca.gov/rwqcb9/PROGRAMS/SD_STORMWATER.HTML)) AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE ([HTTP://CLERKDOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF?MMW_OBJECTID=090014518008CC43](http://CLERKDOC.SANNET.GOV/RIGHTSITE/GETCONTENT/LOCAL.PDF?MMW_OBJECTID=090014518008CC43))

- NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.
1. SUFFICIENT BMPS MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMPS.
 2. ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS ¼40 OR GREATER.
 3. A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
 4. ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
 5. ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
 6. THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

DEVELOPMENT SUMMARY

APPLICANT:	AT&T WIRELESS 5738 PACIFIC CENTER BOULEVARD, 2ND FLOOR SAN DIEGO, CALIFORNIA 92121
LAND OWNER:	CITY OF SAN DIEGO SITE CONTACT: CHRISTIAN ANDERSON 4949 EASTGATE MALL DRIVE SAN DIEGO, CALIFORNIA 92121 PHONE: (619) 236-7073
OTHER ON-SITE TELECOM FACILITIES:	NO
ASSESSORS PARCEL NUMBER:	345-021-01
EXISTING ZONING:	RS1-14
PROPOSED PROJECT AREA:	356 SQ. FT.
EXISTING TYPE OF CONSTRUCTION:	II-N (NON-SPRINKLERED)
PROPOSED TYPE OF CONSTRUCTION:	II-N (NON-SPRINKLERED)
EXISTING OCCUPANCY:	B-2
PROPOSED OCCUPANCY:	B-2
JURISDICTION:	CITY OF SAN DIEGO

SHEET INDEX

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T-2	GENERAL SPECIFICATIONS
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN AND ANTENNA CONFIGURATIONS
A-1.1	ENLARGED EQUIPMENT LAYOUT AND ANTENNA CONFIGURATIONS
A-2	ELEVATIONS
A-2.1	ELEVATIONS
A-3	ANTENNA DETAILS
L-1	LANDSCAPE DEVELOPMENT PLAN AS-BUILT
C-1	SITE SURVEY (FOR REFERENCE ONLY)
C-2	SITE SURVEY (FOR REFERENCE ONLY)

RF INFORMATION

	GSM	UMTS
Tx	859 - 874.6 MHz	874.6 - 879.6 MHz
	890 - 891.4 MHz	1945 - 1950 MHz
	1950 - 1952.8 MHz	
	1970 - 1980 MHz	
Rx	824 - 829.4 MHz	829.6 - 834.4 MHz
	845 - 846.4 MHz	1865 - 1869.8 MHz
	1870 - 1872.8 MHz	
	1890 - 1900 MHz	
MAX ERP:	850 MHz: 54 WATTS 1900 MHz: 54.5 WATTS	

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA FIRE CODE, 2007 EDITION
CALIFORNIA BUILDING CODE, 2007 EDITION
CALIFORNIA PLUMBING CODE, 2007 EDITION
CALIFORNIA MECHANICAL CODE, 2007 EDITION
NATIONAL ELECTRICAL CODE, 2007 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24"x36" FORMAT. IF THIS DRAWING SET IS NOT 24"x36", THIS SET IS NOT TO SCALE.

VICINITY MAP



GENERAL SPECIFICATIONS

- THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
- THIS FACILITY IS AN UNENCLOSED PCS TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED PROJECT INCLUDING DEMOLITION, ELECTRICAL, MECHANICAL AND STRUCTURAL INSTALLATIONS, AS WELL AS WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. SHOULD ANY ERRORS, OMISSION, OR DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY AT&T MOBILITY CONSTRUCTION MANAGER AND THE ARCHITECT IN WRITING. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK BY THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE. IF A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ARCHITECT ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT ALL PROBLEMS THAT RESULT.
- DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS ARE INTENDED TO BE DIAGRAMMATIC ONLY. FIGURED DIMENSIONS HAVE PRECEDENCE OVER DRAWING SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS, OR BEGIN ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
- THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE DRAWINGS.
- CONTRACTOR SHALL NOTIFY THE AT&T MOBILITY CONSTRUCTION MANAGER, THE PROPERTY OWNER AND THE ARCHITECT IF ANY DETAILS ARE CONSIDERED IMPRACTICAL, UNSOUND, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO ANY DETAIL. DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
- EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE AT&T MOBILITY CONSTRUCTION MANAGER AND THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL TELEPHONE & RADIO EQUIPMENT LAYOUTS, SPECIFICATIONS, PERFORMANCE, INSTALLATION AND FINAL LOCATIONS WITH AT&T MOBILITY CONSTRUCTION MANAGER PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH ERICSSON RADIO SYSTEMS.
- ALL SYMBOLS & ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE AT&T MOBILITY CONSTRUCTION MANAGER AND THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO AT&T MOBILITY.
- THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKMEN ARE IN THE SITE AND SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:
 - NRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION
O'HARE INTERNATIONAL CENTER
10256 W. HOBBS ROAD, SUITE 600
ROSEMONT, IL 60018
 - SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE
CHARLITY, VA 22921-1236
 - ITP INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
820 TRANSFER ROAD
ST. PAUL, MN 55114-1408
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BRACING, FRAMING, HANGARS OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING THE SAME.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT THE PROPERTY OWNERS, AND AT&T MOBILITY PROPERTY FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING FINISHES, CONSTRUCTION, STRUCTURE, LANDSCAPING, CURBS, STAIRS, OR EQUIPMENT, ETC. SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF AT&T MOBILITY, AND THE PROPERTY OWNER'S REPRESENTATIVE, AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REPAIR, ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK BY AT&T MOBILITY UNDER THIS CONTRACT.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, OR CONTACT AN OUTSIDE AGENCY TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR THE REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY AT&T MOBILITY.

JRA

Jeffrey Rome & Associates, Inc.
Arizona • California • Nevada

Arizona: (602) 298-5579
California: (949) 780-3929
Nevada: (702) 793-0059

PROPRIETARY INFORMATION

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AT&T WIRELESS IS STRICTLY PROHIBITED.

PREPARED FOR



5736 PACIFIC CENTER BOULEVARD
2ND FLOOR
SAN DIEGO, CALIFORNIA 92121



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME

LA JOLLA COMMONS

PROJECT NUMBER

SS0079
4949 EASTGATE MALL DRIVE
SAN DIEGO, CALIFORNIA 92121

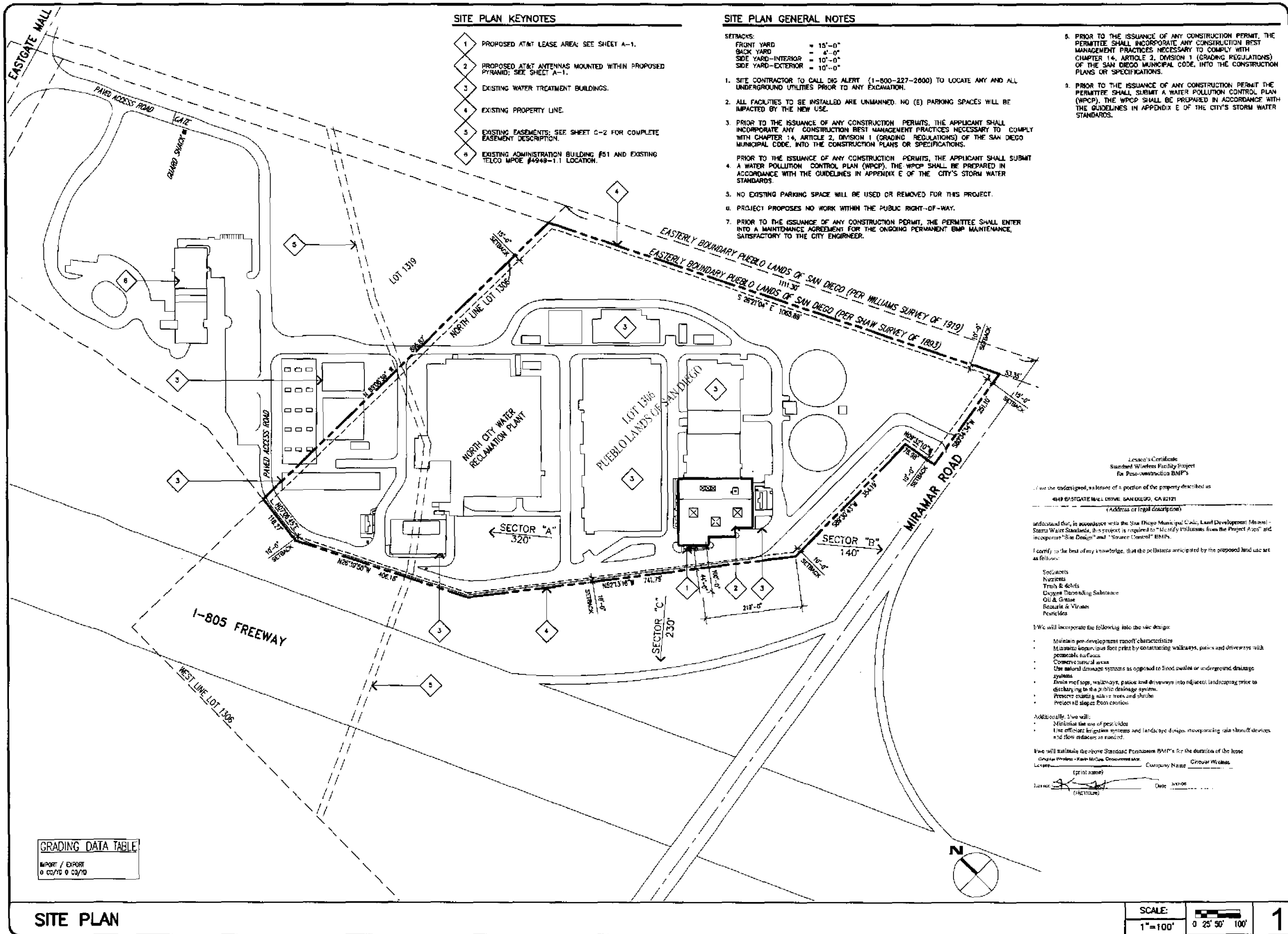
DRAWING DATES

04/01/10 PRELIM 2D REVIEW (P1)
04/29/10 100% 2D'S (P2)
05/17/10 CLIENT COMMENTS (P3)
07/08/10 CLIENT COMMENTS (P4)
07/22/10 CLIENT COMMENTS (P5)

SHEET TITLE

GENERAL SPECIFICATIONS

T-2



SITE PLAN KEYNOTES

- 1 PROPOSED AT&T LEASE AREA; SEE SHEET A-1.
- 2 PROPOSED AT&T ANTENNAS MOUNTED WITHIN PROPOSED PYRAMID; SEE SHEET A-1.
- 3 EXISTING WATER TREATMENT BUILDINGS.
- 4 EXISTING PROPERTY LINE.
- 5 EXISTING EASEMENTS; SEE SHEET C-2 FOR COMPLETE EASEMENT DESCRIPTION.
- 6 EXISTING ADMINISTRATION BUILDING #51 AND EXISTING TELCO WPOE #4949-1.1 LOCATION.

SITE PLAN GENERAL NOTES

- SETBACKS:**
 FRONT YARD = 15'-0"
 BACK YARD = 4'-0"
 SIDE YARD-INTERIOR = 10'-0"
 SIDE YARD-EXTERIOR = 10'-0"
1. SITE CONTRACTOR TO CALL DIG ALERT (1-800-227-2600) TO LOCATE ANY AND ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
 2. ALL FACILITIES TO BE INSTALLED ARE UNMANNED. NO (E) PARKING SPACES WILL BE IMPACTED BY THE NEW USE.
 3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
 5. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED FOR THIS PROJECT.
 6. PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
 7. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

8. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
9. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

GRADING DATA TABLE

IMPORT / EXPORT
0 03/10 0 03/10

SITE PLAN

SCALE: 1" = 100' 0' 25' 50' 100'

1

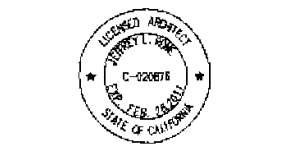
JRA
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 Arizona • California • Nevada

Arizona: (602) 296-5579
 California: (949) 780-3929
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PREPARED FOR

5738 PACIFIC CENTER BOULEVARD
 2ND FLOOR
 SAN DIEGO, CALIFORNIA 92121



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME
LA JOLLA COMMONS

PROJECT NUMBER
SS0079

4949 EASTGATE MALL DRIVE
 SAN DIEGO, CALIFORNIA 92121

DRAWING DATES

04/01/10	PRELIM 2D REVIEW (P1)
04/20/10	100% 2D'S (P2)
05/17/10	CLIENT COMMENTS (P3)
07/06/10	CLIENT COMMENTS (P4)
07/22/10	CLIENT COMMENTS (P5)

SHEET TITLE
SITE PLAN

A-0

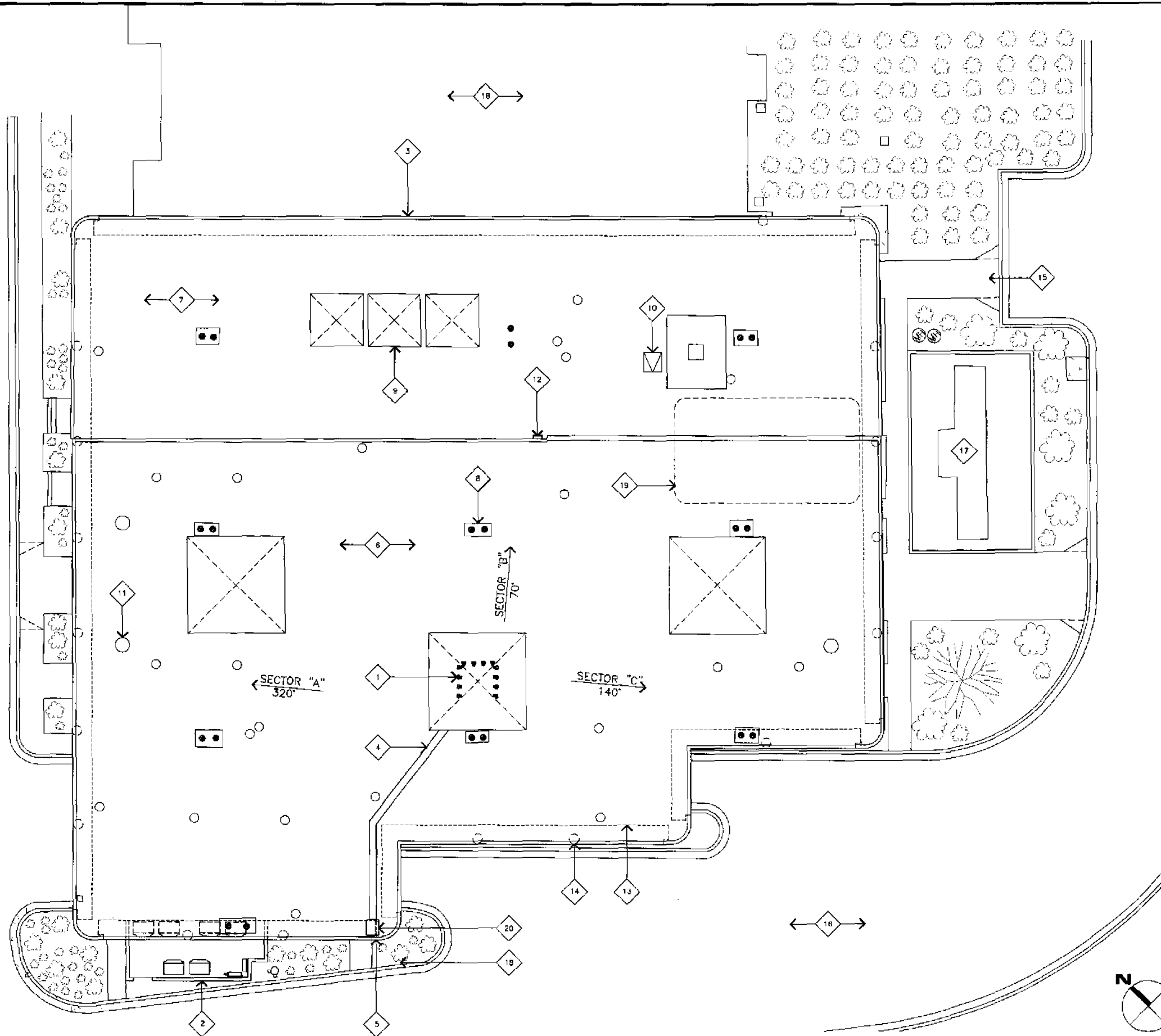
JRA JOB NUMBER 100540

SITE PLAN KEYNOTES

- 1 PROPOSED AT&T ANTENNAS (4 PER SECTOR, 12 TOTAL) MOUNTED TO PROPOSED PYRAMID; SEE SHEET A-1.1.
- 2 PROPOSED AT&T EQUIPMENT CABINETS WITHIN AT&T LEASE AREA; SEE SHEET A-1.1.
- 3 EXISTING BUILDING #05.
- 4 NEW 18" WIDE ROOF MOUNTED HORIZONTAL COAX CABLE TRAY.
- 5 NEW VERTICAL COAX CABLE TRAY MOUNTED ON WALL BELOW; PAINTED TO MATCH EXISTING BUILDING.
- 6 EXISTING UPPER LEVEL ROOF DECK.
- 7 EXISTING LOWER LEVEL ROOF DECK.
- 8 EXISTING ROOF DRAINS, TYPICAL.
- 9 EXISTING SKYLIGHT, TYPICAL.
- 10 EXISTING ROOF ACCESS HATCH.
- 11 EXISTING ROOF VENT, TYPICAL.
- 12 EXISTING ROOF ACCESS LADDER.
- 13 EXISTING BUILDING OVERHANG.
- 14 EXISTING CONCRETE COLUMN, TYPICAL.
- 15 EXISTING CONCRETE WALKWAY.
- 16 EXISTING PAVED ACCESS ROAD.
- 17 EXISTING ELECTRICAL EQUIPMENT.
- 18 EXISTING CONCRETE.
- 19 EXISTING FIRST FLOOR ELECTRICAL ROOM AND NEW AT&T POWER AND TELCO SOURCE; SEE SHEET A-1.1.
- 20 NEW AT&T COAX CABLE HOOD.

ANTENNA COAXIAL CABLE SCHEDULE

SECTOR	AZIMUTH	COAX CABLE LENGTH	COAX SIZE
A	320°	125'	7/8"
B	70°	125'	7/8"
C	140°	125'	7/8"



ENLARGED SITE PLAN

SCALE: 3/32" = 1'-0" 0' 3' 6" 12" 1

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 2ND FLOOR
 SAN DIEGO, CALIFORNIA 92121



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME

LA JOLLA COMMONS

PROJECT NUMBER

SS0079

4949 EASTGATE MALL DRIVE
 SAN DIEGO, CALIFORNIA 92121

DRAWING DATES

- 04/01/10 PRELIM 2D REVIEW (P1)
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- 05/17/10 CLIENT COMMENTS (P3)
- 07/06/10 CLIENT COMMENTS (P4)
- 07/22/10 CLIENT COMMENTS (P5)

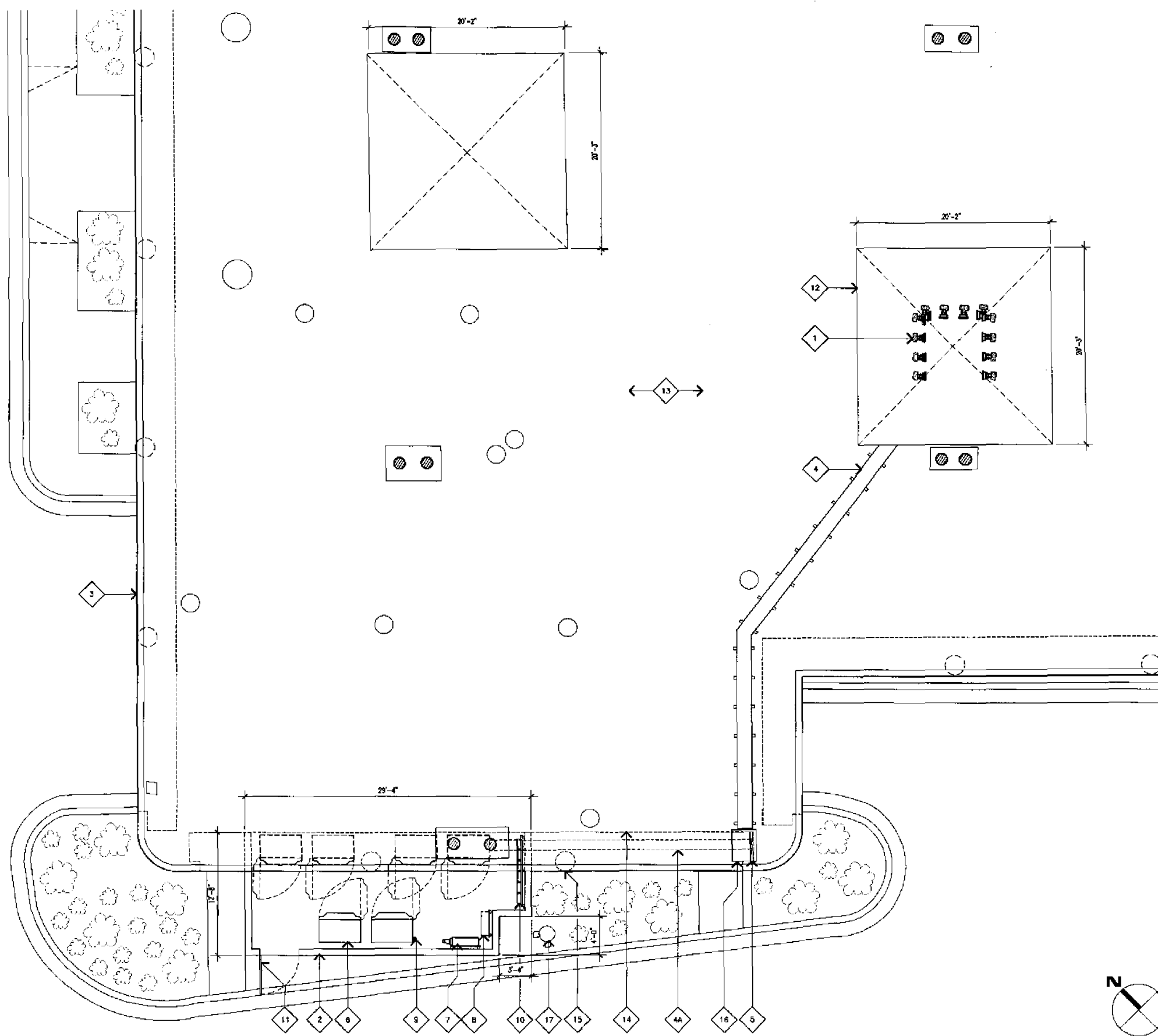
SHEET TITLE

ENLARGED SITE PLAN

A-1

SITE PLAN KEYNOTES

- 1 PROPOSED AT&T ANTENNAS (4 PER SECTOR, 12 TOTAL) AND (24) TNA'S MOUNTED IN PROPOSED PYRAMID.
- 2 PROPOSED AT&T LEASE AREA WITH 8'-0" HIGH POURED IN PLACE ENCLOSURE TO MATCH EXISTING BUILDING.
- 3 EXISTING BUILDING #05.
- 4 PROPOSED AT&T ROOF MOUNTED HORIZONTAL COAX CABLE TRAY.
- 4A PROPOSED AT&T UNDERGROUND CONDUITS WITH COAX.
- 5 PROPOSED AT&T VERTICAL COAX CABLE TRAY MOUNTED ON WALL BELOW, PAINTED AND TEXTURED TO MATCH EXISTING BUILDING.
- 6 PROPOSED AT&T OUTDOOR EQUIPMENT CABINET MOUNTED TO PROPOSED CONCRETE SLAB.
- 7 PROPOSED AT&T ELECTRICAL PANEL MOUNTED ON H-FRAME.
- 8 PROPOSED AT&T TLOC PANEL MOUNTED ON H-FRAME.
- 9 PROPOSED GPS ANTENNA MOUNTED TO EQUIPMENT CABINET.
- 10 PROPOSED (6) AT&T RACK MOUNTED DIPLEXERS.
- 11 PROPOSED AT&T 4'-0" WIDE METAL ACCESS GATE.
- 12 PROPOSED AT&T PYRAMID TO MATCH EXISTING.
- 13 EXISTING UPPER LEVEL ROOF DECK.
- 14 EXISTING BUILDING OVERHANG.
- 15 EXISTING CONCRETE COLUMN, TYPICAL.
- 16 PROPOSED AT&T ROOF MOUNTED DOG HOUSE.
- 17 EXISTING FIRE HYDRANT.



ENLARGED SITE PLAN

SCALE: 3/16" = 1'-0" 0 3' 6" 1

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 2ND FLOOR
 SAN DIEGO, CALIFORNIA 92121



APPROVALS

R.F. _____
 ZONING _____
 CONSTRUCTION _____
 SITE ACQUISITION _____
 OWNER APPROVAL _____

SITE NAME
LA JOLLA COMMONS
 PROJECT NUMBER
SS0079
 4949 EASTGATE MALL DRIVE
 SAN DIEGO, CALIFORNIA 92121

DRAWING DATES
 04/01/10 PRELIM 2D REVIEW (P1)
 04/20/10 100% 2D'S (P2)
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 07/06/10 CLIENT COMMENTS (P4)
 07/22/10 CLIENT COMMENTS (P5)

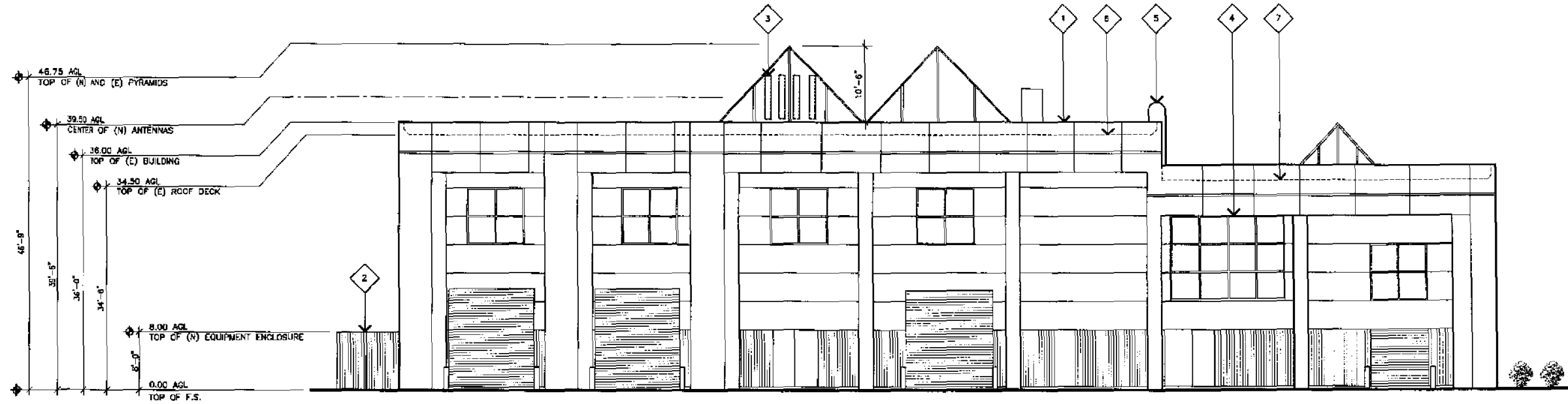
SHEET TITLE

ENLARGED EQUIPMENT LAYOUT

A-1.1

SITE PLAN KEYNOTES

- 1 EXISTING BUILDING.
- 2 PROPOSED AT&T 8'-0" HIGH POURED IN PLACE ENCLOSURE.
- 3 PROPOSED AT&T ANTENNAS (4 PER SECTOR, 12 TOTAL) MOUNTED TO PROPOSED PYRAMID.
- 4 EXISTING WINDOW, TYPICAL.
- 5 EXISTING ROOF ACCESS LADDER, (BEYOND).
- 6 EXISTING UPPER LEVEL ROOF DECK.
- 7 EXISTING LOWER LEVEL ROOF DECK.

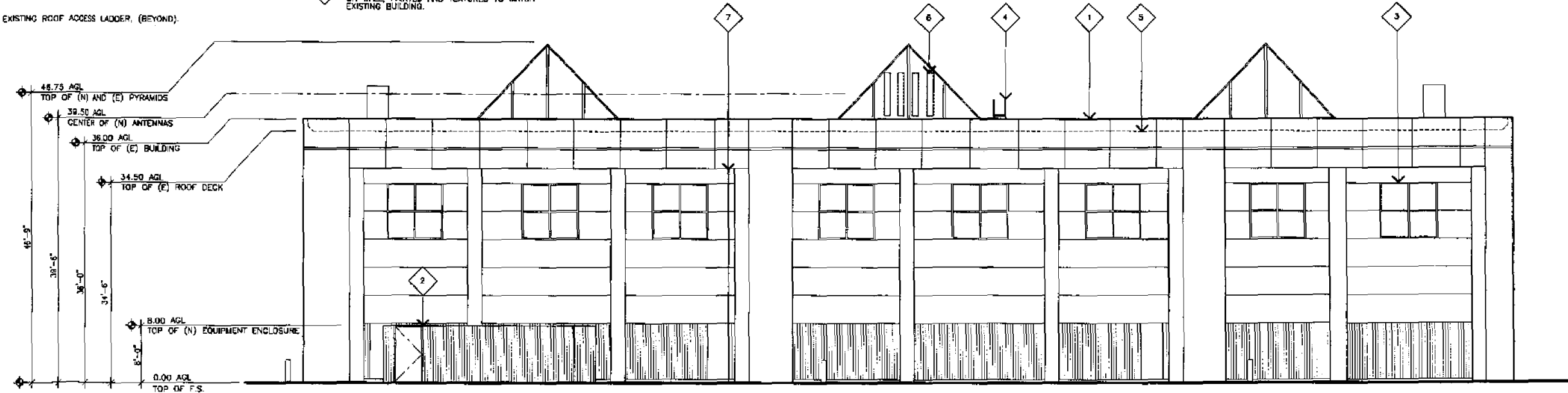


SOUTHEAST ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 1

SITE PLAN KEYNOTES

- 1 EXISTING BUILDING
- 2 PROPOSED AT&T 8'-0" HIGH POURED IN PLACE ENCLOSURE.
- 3 EXISTING WINDOW, TYPICAL.
- 4 EXISTING ROOF ACCESS LADDER, (BEYOND).
- 5 EXISTING UPPER LEVEL ROOF DECK.
- 6 PROPOSED AT&T ANTENNAS (4 PER SECTOR, 12 TOTAL) MOUNTED TO PROPOSED PYRAMID.
- 7 PROPOSED AT&T VERTICAL COAX CABLE TRAY MOUNTED ON WALL, PAINTED AND TEXTURED TO MATCH EXISTING BUILDING.



SOUTHWEST ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 2

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 5736 PACIFIC CENTER BOULEVARD
 2ND FLOOR
 SAN DIEGO, CALIFORNIA 92121



APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

SITE NAME
LA JOLLA COMMONS
 PROJECT NUMBER
SS0079
 4949 EASTGATE MALL DRIVE
 SAN DIEGO, CALIFORNIA 92121

DRAWING DATES
 04/01/10 PRELIM 20 REVIEW (P1)
 04/20/10 100% 20'S (P2)
 05/17/10 CLIENT COMMENTS (P3)
 07/08/10 CLIENT COMMENTS (P4)
 07/22/10 CLIENT COMMENTS (P5)

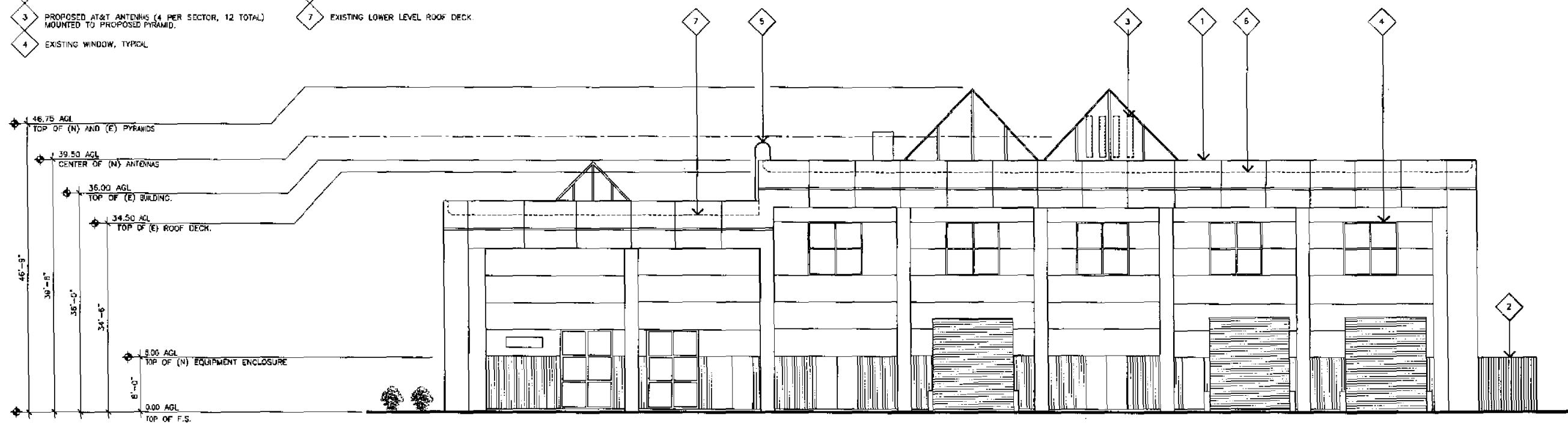
SHEET TITLE

ELEVATIONS

A-2

SITE PLAN KEYNOTES

- 1 EXISTING BUILDING.
- 2 PROPOSED AT&T 8'-0" HIGH POURED IN PLACE ENCLOSURE.
- 3 PROPOSED AT&T ANTENNAS (4 PER SECTOR, 12 TOTAL) MOUNTED TO PROPOSED PYRAMID.
- 4 EXISTING WINDOW, TYPICAL.
- 5 EXISTING ROOF ACCESS LADDER.
- 6 EXISTING UPPER LEVEL ROOF DECK.
- 7 EXISTING LOWER LEVEL ROOF DECK.

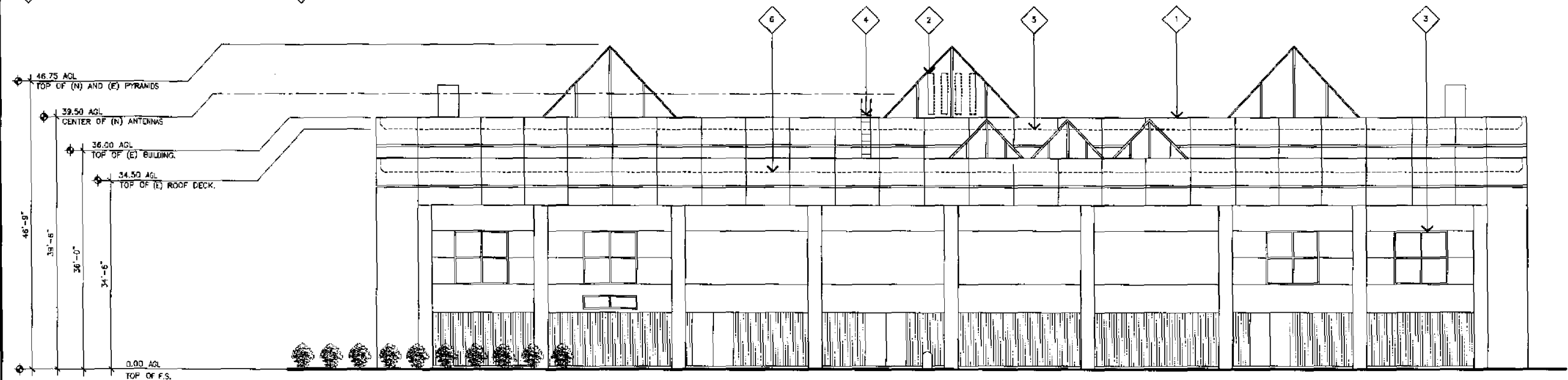


NORTHWEST ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 1

SITE PLAN KEYNOTES

- 1 EXISTING BUILDING.
- 2 PROPOSED AT&T ANTENNAS (4 PER SECTOR, 12 TOTAL) MOUNTED TO PROPOSED PYRAMID.
- 3 EXISTING WINDOW, TYPICAL.
- 4 EXISTING ROOF ACCESS LADDER.
- 5 EXISTING UPPER LEVEL ROOF DECK.
- 6 EXISTING LOWER LEVEL ROOF DECK.



NORTHEAST ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 2

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 SAN DIEGO, CALIFORNIA 92121



APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME
LA JOLLA COMMONS

PROJECT NUMBER
SS0079

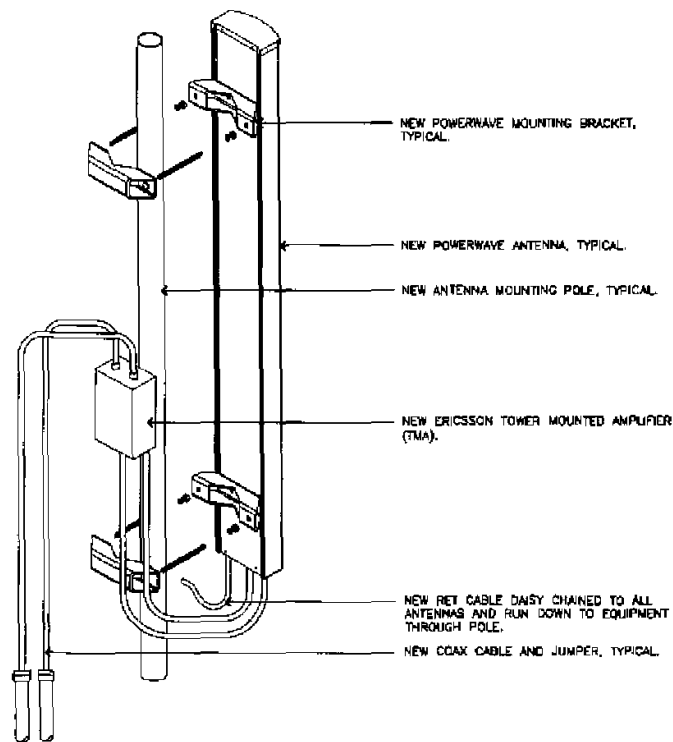
4949 EASTGATE MALL DRIVE
 SAN DIEGO, CALIFORNIA 92121

DRAWING DATES

04/01/10	PRELIM 2D REVIEW (P1)
04/20/10	100% 2D'S (P2)
05/17/10	CLIENT COMMENTS (P3)
07/08/10	CLIENT COMMENTS (P4)
07/22/10	CLIENT COMMENTS (P5)

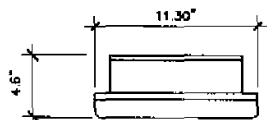
SHEET TITLE
ELEVATIONS

A-2.1

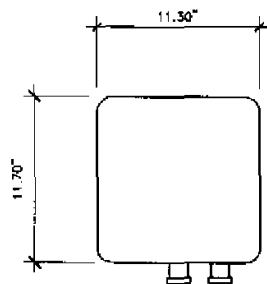


ERICSSON KRY 112 75/1 TMA

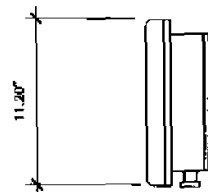
BANDWIDTH: 25 @ 800 MHZ, 60 @ 1900MHZ
 WEIGHT: 30 LBS.
 RF CONNECTORS: DIN 7/16 FEMALE



TOP VIEW



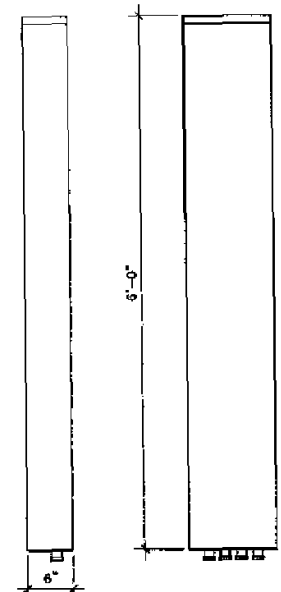
FRONT VIEW



RIGHT VIEW

POWERWAVE ANTENNA P65-16-XLH-RR

RADOME MATERIAL: GRP
 RADOME COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: 72"x12"x6" (1829x305x152)
 WEIGHT, WITH PRE-MOUNTED BRACKETS: 44 LBS
 CONNECTOR: 4 X 7/16 DIN FEMALE



ANTENNA MOUNTING

5

TMA TO BE LOCATED INSIDE STRUCTURE

3

ANTENNA SPECIFICATIONS

SCALE:
NONE

1

NOT USED

6

NOT USED

4

NOT USED

2

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5738 PACIFIC CENTER BOULEVARD
 2ND FLOOR
 SAN DIEGO, CALIFORNIA 92121



APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

SITE NAME

LA JOLLA COMMONS

PROJECT NUMBER

SS0079

4949 EASTGATE MALL DRIVE
 SAN DIEGO, CALIFORNIA 92121

DRAWING DATES

04/01/10 PRELIM ZD REVIEW (P1)
 04/20/10 100% ZD'S (P2)
 05/17/10 CLIENT COMMENTS (P3)
 07/05/10 CLIENT COMMENTS (P4)
 07/22/10 CLIENT COMMENTS (P5)

SHEET TITLE

ANTENNA DETAILS

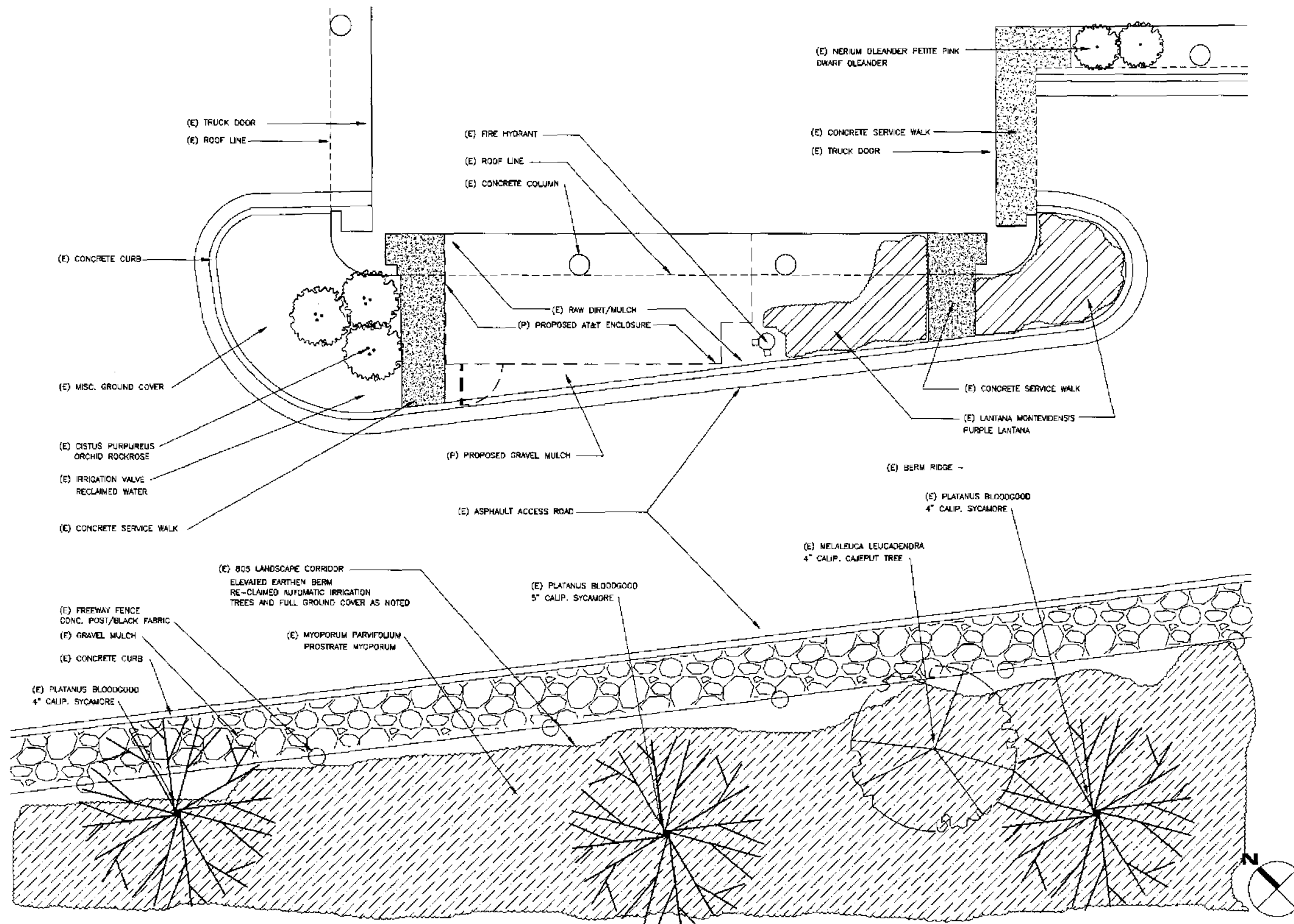
A-3

EXISTING LANDSCAPE PLAN NOTES

1. EXISTING LANDSCAPE IS CURRENTLY AND WILL CONTINUE TO BE MAINTAINED BY THE NORTH CITY WATER STAFF AS PART OF THE LEASE WITH AT&T MOBILITY.
2. CONTACT AT NORTH CITY WATER IS LYNN CHOU.
3. EXISTING IRRIGATION ON THE NORTH CITY AND 805 BUFFER CORRIDOR IS RECLAIMED - ANY MODIFICATION OR REPAIR TO EXISTING WILL FOLLOW THE REQUIREMENTS FOR RECLAIMED WATER.
4. EXISTING IRRIGATION WITHIN THE PROPOSED LEASE AREA WILL BE REMOVED AND THE LATERAL LINES SLEEVED FROM THE SOUTH WEST TO THE NORTH EAST, RE-CONNECTED, FLUSHED AND MADE OPERATIONAL TO THE SATISFACTION OF THE NORTH CITY WATER DEPARTMENT.
5. THE REMAINING SLIVER OUTSIDE THE NEW ENCLOSURE WILL BE FINISHED WITH GRAVEL MULCH TO MATCH THE BAND ALONG THE 805 BUFFER FENCE.
6. THE EARTHEN BERM ON THE 805 BUFFER CORRIDOR SCREENS THE PROPOSED FACILITY.



PETER BEAUDETTE MILES
LANDSCAPE ARCHITECT
 22631 BELQUEST DRIVE
 LAKE FOREST, CA. 92630
 (949) 770-1436



ENLARGED AS-BUILT LANDSCAPE SITE PLAN

SCALE: 3/16"=1'-0" 0 3' 6" 1

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APPROVALS

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SITE NAME
LA JOLLA COMMONS

PROJECT NUMBER
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4949 EASTGATE MALL DRIVE
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07/06/10	CLIENT COMMENTS (P4)
07/22/10	CLIENT COMMENTS (P5)

SHEET TITLE
LANDSCAPE DEVELOPMENT PLAN AS-BUILT

L-1

PLANNING COMMISSION
RESOLUTION NO. _____
PLANNED DEVELOPMENT PERMIT NO. 798878
NEIGHBORHOOD USE PERMIT NO. 798879
AT&T MOBILITY LA JOLLA COMMONS
PTS NO. 221265
DRAFT

WHEREAS, **CITY OF SAN DIEGO.**, Owner, and **AT&T MOBILITY**, Permittee, filed an application with the City of San Diego for a permit to install a Wireless Communication Facility (WCF) consisting of twelve (12) panel antennas concealed behind Fiberglass Reinforced Panels (FRP) inside a faux pyramid structure to match others. The 371- square feet equipment enclosure is located within an existing planter area on the westerly side of the property behind an eight foot high CMU wall as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Planned Development Permit No. 798878 and Neighborhood Use Permit No. 798879;

WHEREAS, the project site is located at 4949 Eastgate Mall Drive, San Diego, CA 92121, in the RS-1-14 zone of the University Community Plan;

WHEREAS, the project site is legally described as that portion of pueblo Lot 1306, of the Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to map made by James Pascoe in 1870, a copy of which was filed in the Office of the County Recorder of San Diego County, November 14, 1921 and known as miscellaneous map no. 36, lying easterly of the easterly line of state highway 11-SD-805 as described in deed to State of California recorded January 8, 1971 as file/page no. 3902 of official records and lying northerly of the northerly line of Miramar Road as described in parcel 1 of document recorded August 27, 1973 as file/page no. 73-214715 of official records;

WHEREAS, on December 9, 2010, the Planning Commission of the City of San Diego considered Planned Development Permit No. 798878 and Neighborhood Use Permit No. 798879 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

WHEREAS, on September 10, 2010, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 [New Construction] and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated December 9, 2010.

FINDINGS:

Findings for all Planned Development Permits

1. **The proposed development will not adversely affect the applicable land use plan; Neither the**

City of San Diego General Plan nor the University Community Plan addresses wireless communication facilities as a specific land use. Pursuant to the San Diego Land Development Code, wireless communication facilities are permitted in all zones citywide with the appropriate permit process. Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. The site is currently designated for an industrial use in the University Community Plan. The WCF as designed is located on the roof of the existing water treatment building, completely concealed behind Fiberglass Reinforced Panels (FRP) within a pyramid structure designed to match the existing ones on site. The equipment associated with this project is located within an existing planter area, behind an 8-foot high CMU wall will not be visible to the public. The General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of facilities is to be aesthetically pleasing and respectful of the neighborhood context. The AT&T design is consistent with the General Plan's requirement since the WCF is completely concealed behind a rooftop feature minimizing any visual impacts to and from the site. Therefore, the AT&T Mobility WCF 4949 Eastgate Mall Drive does comply with the City of San Diego General Plan will not adversely affect the applicable land use plan.

2. **The proposed development will not be detrimental to the public health, safety, and welfare;** The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A condition has been included with the project to required AT&T Mobility to submit an RF report to the City of San Diego demonstrating compliance with the FCC standards for wireless facilities. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area.
3. **The proposed development will comply with the regulations of the Land Development Code;** The AT&T Mobility WCF complies with Municipal Code Section 141.0420 which requires WCFs to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with the existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions. The project is completely concealed on the rooftop of an existing water treatment building within the North City Water Reclamation Plant. The associated ground mounted equipment is located behind a three-sided 8-foot high wall (approximately 371-square feet) within an existing planter area on the westerly side of the property. Due primarily to the existing topography, the westerly side of the property where the equipment is proposed is set back from the 805 Freeway screened by the existing raised grade reducing any visual impacts to the proposed equipment location

However, the project is located within the RS-1-14 zone which has a 35-foot height limitation. The proposed WCF is located on highest point of the building consistent with the other pyramid design, and requires a Planned Development Permit for the height deviation. Although the project exceeds the height requirement, the WCF is concealed behind the faux pyramid structure and is consistent with the existing rooftop elements. Therefore, the height deviation can be supported by staff.

The project is also proposing to exceed the 250-square foot equipment limitation per Municipal Code Section 141.0420(g)(3). The 371 square foot equipment enclosure is located within an existing planter area. The equipment is effectively screened behind a new 8-foot high CMU wall with the equipment abutting the existing water treatment building. The associated cable tray will also be placed on the corner of the water treatment building, and will be painted and textured to match. More importantly, due to the existing topography, the westerly side of the property where the equipment is proposed is adequately set back from the 805 Freeway and screened by the existing raised grade reducing any visual impacts to the proposed equipment location. Therefore, the equipment limitation deviation to exceed the 250 square feet can be supported by staff.

4. **The proposed development, when considered as a whole, will be beneficial to the community;** The proposed wireless communication facility is fully concealed reducing any significant visual impact to the neighboring residents and surrounding community. As part of this application, AT&T Mobility will increase cellular data and voice coverage to and around the surrounding community. More importantly, with the requested deviations, both the antennas and equipment will not be visible to the general public and when considered as a whole, will be beneficial to the community.
5. **Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.** The proposed rooftop pyramid with FRP panels conceals all twelve panel antennas minimizing all visual impacts to and from the facility. This unique and creative concealment design, allows AT&T Mobility to further improve their voice and data coverage to the surrounding area. To comply with the height requirement for the RS-1-14 zone, potential designs may include façade mounted antennas and other more obtrusive structures at or below 35 feet. This proposed rooftop WCF concealed inside a faux pyramid feature is a more desirable design as opposed to façade mounted antennas or a 35-foot high stand alone structure. Such installations are discouraged when a design such as the AT&T Mobility's can be accomplished to fully conceal the antennas without adding any visual impacts to the site. Therefore, the deviations to exceed the maximum allowable height of 35 feet and to exceed the equipment size limitation of 250-square feet would result in a completely concealed project, and a more desirable project than would be achieved if designed in strict conformance with the development regulations of the RS-1-14 zone and Municipal Code Section 141.0420.

Neighborhood Use Permit - Section 126.0205

1. **The proposed development will not adversely affect the applicable land use plan;** Neither the City of San Diego General Plan nor the University Community Plan addresses wireless communication facilities as a specific land use. Pursuant to the San Diego Land Development Code, wireless communication facilities are permitted in all zones citywide with the appropriate permit process. Wireless communication facilities are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public view. The site is currently designated for an industrial use in the University Community Plan. The WCF as designed is located on the roof of the existing water treatment building, completely concealed behind Fiberglass Reinforced Panels (FRP) within a pyramid structure designed to match the existing ones on site. The equipment associated with this project is located within an existing planter area, behind an 8-foot high CMU wall will not be visible to the public. The General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening

techniques to hide or blend the facilities into the surrounding area. The design of facilities is to be aesthetically pleasing and respectful of the neighborhood contact. The AT&T design is consistent with the General Plan's requirement since the WCF is completely concealed behind a rooftop feature minimizing any visual impacts to and from the site. Therefore, the AT&T Mobility WCF 4949 Eastgate Mall Drive does comply with the City of San Diego General Plan will not adversely affect the applicable land use plan.

- 2. The proposed development will not be detrimental to the public health, safety, and welfare; and** The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions.” A condition has been included with the project to required AT&T Mobility to submit an RF report to the City of San Diego demonstrating compliance with the FCC standards for wireless facilities. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area.

3. The proposed development will comply with the applicable regulations of the Land Development Code. The AT&T Mobility WCF complies with Municipal Code Section 141.0420 which requires WCFs to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with the existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions. The project is completely concealed on the rooftop of an existing water treatment building within the North City Water Reclamation Plant. The associated ground mounted equipment is located behind a three-sided 8-foot high wall (approximately 371-sqaure feet) within an existing planter area on the westerly side of the property. Due primarily to the existing topography, the westerly side of the property where the equipment is proposed is set back from the 805 Freeway screened by the existing raised grade reducing any visual impacts to the proposed equipment location

However, the project is located within the RS-1-14 zone which has a 35-foot height limitation. The proposed WCF is located on highest point of the building consistent with the other pyramid design, and requires a Planned Development Permit for the height deviation. Although the project exceeds the height requirement, the WCF is concealed behind the faux pyramid structure and is consistent with the existing rooftop elements. Therefore, the height deviation can be supported by staff.

The project is also proposing to exceed the 250-square feet equipment limitation per Municipal Code Section 141.0420(g)(3). The 371 square feet equipment enclosure is located within an exiting planter area. The equipment is effectively screened behind a new 8-foot high CMU wall with the equipment abutting the existing water treatment building. The associated cable tray will also be placed on the corner of the water treatment building, and will be painted and textured to match. More importantly, due to the existing topography, the westerly side of the property where the equipment is proposed is adequately set back from the 805 Freeway and screened by the existing raised grade reducing any visual impacts to the proposed equipment location. Therefore, the equipment limitation deviation to exceed the 250 square feet can be supported by staff.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 798878 and Neighborhood Use Permit No. 798879 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. 798878 and Neighborhood Use Permit No. 798879 copy of which is attached hereto and made a part hereof.

Simon Tse - Associate Planner
Development Services

Adopted on December 9, 2010

Internal Order No. 24000926

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24000926

PLANNED DEVELOPMENT PERMIT NO. 798878
NEIGHBORHOOD USE PERMIT NO. 798879
AT&T MOBILITY LA JOLLA COMMONS PTS 212265
PLANNING COMMISSION
DRAFT

This Planned Development Permit No. 798878 and Neighborhood Use permit No. 798879 is granted by the Planning Commission of the City of San Diego to **CITY OF SAN DIEGO**, Owner, and **AT&T MOBILITY**, Permittee, pursuant to San Diego Municipal Code [SDMC] section Chapter 12, Article 6, Division 6 and Chapter 12, Article 4, Division and LDC 141.0420 of the Wireless Communication Facilities regulations. The site is located at 4949 Eastgate Mall in the RS-1-14 zone of the University Community Plan. The project site is legally described as that portion of pueblo Lot 1306, of the Pueblo Lands of San Diego, in the City of San Diego, County of San Diego, State of California, according to map made by James Pascoe in 1870, a copy of which was filed in the Office of the County Recorder of San Diego County, November 14, 1921 and known as miscellaneous map no. 36, lying easterly of the easterly line of state highway 11-SD-805 as described in deed to State of California recorded January 8, 1971 as file/page no. 3902 of official records and lying northerly of the northerly line of Miramar Road as described in parcel 1 of document recorded August 27, 1973 as file/page no. 73-214715 of official records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee for a Wireless Communication Facility (WCF), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 9, 2010, on file in the Development Services Department.

The project shall include:

- a. Wireless Communication Facility (WCF) consisting of twelve (12) panel antennas concealed behind Fiberglass Reinforced Panels (FRP) inside a faux pyramid structure

to match others. The 371- square feet equipment enclosure is located within an existing planter area on the westerly side of the property behind an eight foot high CMU wall and;

- b. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.

2. The project complies with the Telecommunication Facility Guidelines as a Complete Concealment Facility and as a result, the permit will not contain an expiration date. It is the responsibility of the wireless carrier and owner(s) to maintain the appearance of the approved facility to condition set forth in this permit unless the site is removed and restored to its original condition. Code compliance shall be notified if the appearance or the scope of the project has changed without the approval of the City Manager.

3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

7. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

12. The project proposes to export no material from the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
13. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
14. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
16. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
17. Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

PLANNING/DESIGN REQUIREMENTS:

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.
19. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
20. Once the Permittee deems the construction pursuant to this Permit complete, Permittee shall send a letter (Subject: Planning Inspection Project Number **212265**) to the City of San Diego, Development Services Department requesting a planning inspection. The site is officially deemed complete once the City Manager signs the letter. The Permittee shall be provided with a copy of the signed letter for record purposes.

21. All facilities and related equipment shall be maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days.
22. The Permittee shall notify the City prior to the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
23. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the 'Exhibit A.'
24. No overhead cabling is allowed for this project.
25. The Permittee shall not cause or allow the antennas located on the building to be different sizes (length, width, or height) than as shown on the stamped approved plans.
26. The proposed cable tray shall be painted and textured (design to include the horizontal lines) to match the existing water treatment building to the satisfaction of the Development Services Department.
27. The final product shall conform to the stamp approved plans and approved photosimulations prior to final inspection approval.
28. Please note that an Administrative Planning Hold will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at **619-687-5984** to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final.
29. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.
30. All equipment, including transformers, emergency generators and air conditioners belonging to AT&T Mobility shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
31. All facilities and related equipment shall be maintained in good working order and free from trash, debris, graffiti and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days

32. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA to the satisfaction of the Development Services Department.

33. Use of or replacement of any building façade or mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the faux pyramid. All FRP shall be painted and textured to match the existing pyramid feature to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on **December 9, 2010** by Resolution Number _____.

Planned Development Permit No. 798878
Neighborhood Use Permit No. 798879
PTS No. 212265/Internal Order No. 24000926
Date of Approval: December 9, 2010

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse
Associate Planner

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

CITY OF SAN DIEGO
Owner

By _____
NAME
TITLE

AT&T MOBILITY
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

EXISTING



SS0079
North City Water Treatment
4949 Eastgate Mall Dr.
San Diego, CA 92121



Proposed antennas mounted within
proposed pyramid

Proposed equipment enclosure
(not visible at this angle)
to match existing building



PROPOSED

Photosimulation of proposed telecommunications site



PHOTO STUDY & KEY MAP

PROPOSAL TO ESTABLISH AND OPERATE A
NEW DIGITAL PCS
COMMUNICATIONS FACILITY

SS0079

AT&T – North City Water Treatment
4949 Eastgate Mall Drive
San Diego, CA

Prepared for:

**City of San Diego
Development Services**

1222 1st Avenue
San Diego, CA 92101

Prepared by:

PlanCom, Inc.

*Contractor Representatives for
AT&T*

302 State Place

Escondido, CA 92029

Contact: Shelly Kilbourn, Land Use Consultant
(619) 208-4685

May 24, 2010



North Elevation



South Elevation



West Elevation



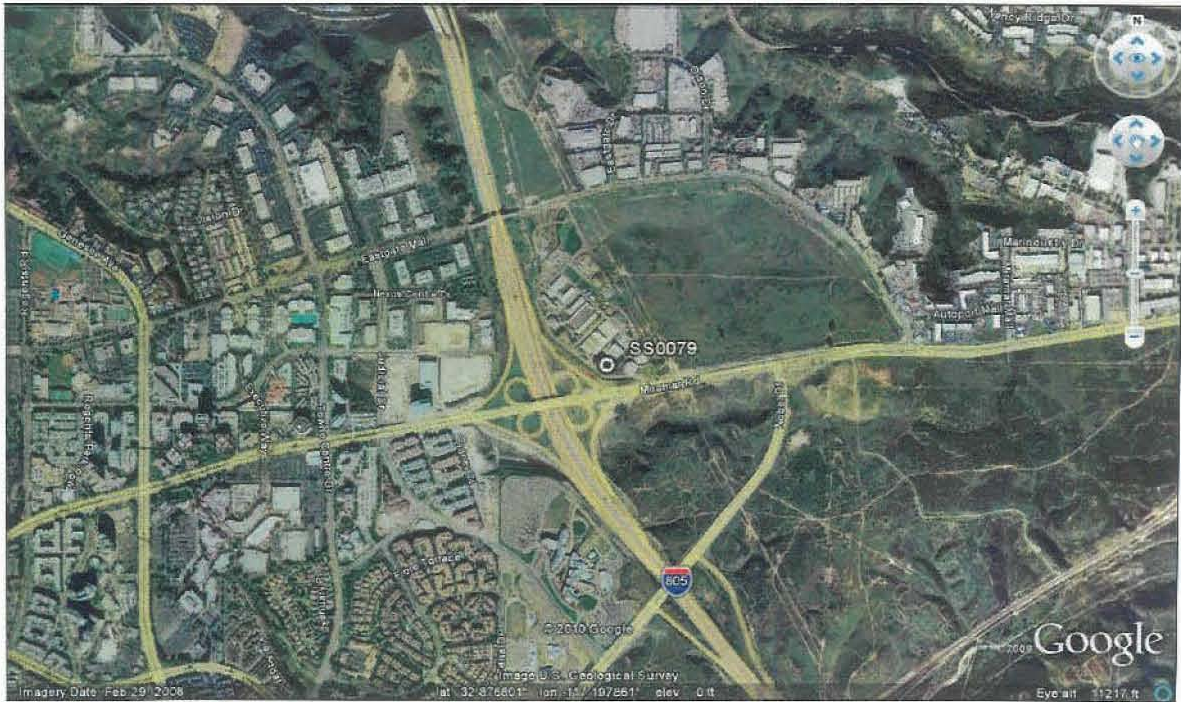
Existing Rooftop Pyramid (Design to match)



Location of proposed AT&T architectural pyramid element to match existing



Location of Proposed Equipment (not visible from public views)



Aerial view of project and surroundings



Aerial of Subject Site

UNIVERSITY COMMUNITY PLANNING GROUP
 University Town Center – Forum Hall
 Executive Committee Monthly Meeting – Tuesday, October 12, 2010
 Minutes (Draft)

Directors present: Janay Kruger (Chair), Kris Kopensky (Secretary), Milt Phegley (Membership Secretary), Charley Herzfeld, Peter Burch, Linda Colley, Nan Madden, Mark Young, Deryl Adderson, Sam L. Greening, Jr., Pat Wilson, Harry Walker, Doug Williamson, Marilyn Dupree, Alice Tana, Sherry Jones, George Lattimer, and Juan H. Lias.

Directors absent: William Geckeler, Petr Krysl, and UCSD Student Representative

1. **Call Meeting to Order** – Janay Kruger (Chair) at 6:02 PM.
2. **Pledge of Allegiance.**
3. **Agenda Adoption** – Item 10, coast income, rescheduled to November, Item 15, Superloop moved to its place, motion to move by Alice Tana seconded by Doug Williamson, 13 votes for and 2 against, motion passed.
4. **Approval of September Minutes** – Revision recommended by Charley Herzfeld to edit item 12.vii and to revise spelling of his name throughout, recommendation by George Lattimer to edit item 12.viii, and recommendation by Doug Williamson to edit item 3.
Motion: motion to approve with changes by Doug Williamson, seconded by Deryl Adderson
Vote: Unanimous (abstention by Harry Walker and Pat Wilson).

Announcements – Janay Kruger (chair),

- a. Update on stop signs at Sodrbloom and Bothe, Nan has reviewed policy with parents of preschool, Janay working to get city and community to meet to resolve.
 - b. Planning commission and UCPG denied variance for Garden Communities however City Council approved waiver. History of issue from George Lattimer.
 - c. Review of CPC meeting. Discussion was mostly medical marijuana, discussion on whether or not to bring to UCPG, no strong recommendation to bring to UCPG.
5. **SDPD Al Alvarez – Community Update**, absent.
 6. **Reports-**
 - a. **Membership - Milt Phegley** (Membership secretary) –
 - i. Forms on hand to sign up as UCPG general member.
 - ii. List on hand to document meeting attendance.
 - b. **UCSD – Milt Phegley**
 - c. **Councilperson Sherri Lightner Office** – Jesse Mays
 - i. At last council meeting, Sheri pointed out that more affordable housing was needed, Jesse shared stats on community housing.
 - ii. New community newsletter "spotlight" available by email request.
 - iii. Sheri asked for city council to draft a letter to Governor Scharwenager in opposition of increasing cap on CCDC, but motion did not pass.
 - iv. Discussions continue with UCSD on FBA and impact studies
 - d. **Supervisor Ron Roberts Office** – Woo Jin Shim
 - i. None
 - e. **Assemblyman Nathan Fletcher** – Sterling McHale
 - i. Budget, near passed, should be available by mid October.
 - ii. Assemblyman has 21 bills passed, 10 signed in 09/10 session.
 - iii. Discussion on bill passed for increase of CCDC cap.
 - f. **53rd District** – Daniel Hazard for Congresswoman Susan Davis
 - i. Susan's primary goal and focus is economy and small business.
 - ii. Introduced legislation to further define state education criteria.
 - iii. Newsletters available.

- g. **50th District** – absent.
- h. **MCAS Miramar** - Juan H. Lias
 - i. No announcement but appreciates support or tolerance of air show.
- i. **Planning Department** – Absent

7. Public Comment

- i. None

8. Action Item: La Jolla Commons Cellular - Shelly Kilbourn, PLANCOM representing AT&T

- i. Drawings and detail provided.

Motion: Motion to recommend approval by Linda Colley, seconded by Doug Williamson **Vote: Unanimous in favor, motion passed.**

9. Action Item: Super Loop Committee Suggestions - Alice Tana and Dale Disharoon

- i. Review of noise issues associated with super loop, presentation by Dale attached.

Motion: Motion for UCPG to send a letter to FTA regarding peer review and noise fix from report discussed in presentation by Alice Tana, seconded by George Lattimer. **Vote: 14 to approve, 2 against, motion passed.**

10. Information Item: AMC Theaters at La Jolla Square Center - Paul Mc Neill

- i. Change in food service and remodel project, presentation and hand out attached.

11. Information Item: Mid Coast Trolley Status - Anne Steinbrenner and Greg Gastelum

- i. Presentation and Handout attached.
- ii. looking at feasibility about adding a station at VA hospital.
- iii. Environmental analysis underway.
- iv. Application to FTA in 2010.
- v. Draft SEIS/SEIR public review planned in summer/fall 2011.
- vi. More info at www.sandag.org/midcoast or 619.595.5620 and midcoast@sandag.org

12. Information Item: Water Purification Demonstration Plan - Cathy Pieroni

- i. Presentation attached, details alternative water options and needs as well as demonstration diagram of advanced water purification processes.
- ii. More info at www.purewatersd.org, Purewatersd@sandiego.gov, or by phone at 619.533.7572.

13. Action Item: NUP, Urgent Care Facility 4085 Governor Drive - Janay Kruger

- i. Attachment, neighborhood use permit, community planning committee distribution form, and email from Michelle Sokolowski regarding proposed urgent care.
- ii. Executive committee shared concerns about needing more information and a representative from the Urgent Care Facility available for questions.

Motion: Motion to request more information and a presentation by a representative of the Urgent Care Facility by Harry Walker, seconded by George Lattimer. **VOTE: Unanimous (recusal by Deryl Adderson), motion passed.**

14. Information Item: Update on RFP for sale or lease of 80 acres east of I-805, City Property to construct a natural gas power plant, south of Miramar Road. RFP Due 8/17/10, 200, 300 megawatts - Russ Gibbons

- i. Russ absent.
- ii. Public recommendation to invite Mayor to meeting to discuss.
- iii. Marines at MCAS have not taken position as they have not been presented information.

15. Ad Hoc Committees

- a. Glider park –
 - i. meeting about a month or two ago

- ii. Things moving through park system
- iii. Park system will come to UCPG before going to city

16. Adjourn – 9:02 PM

Submitted by:

Kristopher J. Kopensky, Secretary
University Community Planning Group

Ownership Disclosure Statement



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval(s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Votling Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title	Project No. For City Use Only
AT&T Mobility La Jolla Commons	212265
Project Address:	
4949 Eastgate Mall Drive	

Part I - To be completed when property is held by individual(s)

By signing this Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter as identified above will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of individual (type or print):	Name of individual (type or print):
City of San Diego/ READ	
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency
Street Address:	Street Address:
1200 3rd Avenue 17th Floor	
City/State/Zip:	City/State/Zip:
Phone No:	Phone No:
619-236-6722	
Fax No:	Fax No:
Signature :	Signature :
Date:	Date:
Name of individual (type or print):	Name of individual (type or print):
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No:	Phone No:
Fax No:	Fax No:
Signature :	Signature :
Date:	Date:

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 212265

PROJECT TITLE: AT&T Mobility La Jolla Commons

PROJECT LOCATION-SPECIFIC: 4949 Eastgate Mall Drive, San Diego, CA 92121

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Planned Development Permit and a Neighborhood Use Permit (NUP) for a Wireless Communication Facility (WCF) consisting of six (6) outdoor equipment cabinets and twelve (12) antennas. The proposed antennas would be concealed inside a rooftop pyramid feature designed to match existing rooftop pyramids. A 373-square-foot equipment enclosure, housing the equipment cabinets, would be located on the ground level in existing planter area along the northwest portion of the existing building. The project is located at 4949 Eastgate Mall in the RS-1-14 zone, within the University community plan.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Kevin Becker
AT&T Mobility
5738 Pacific Center Boulevard
San Diego, CA 92121
858-824-9853

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
 DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
 EMERGENCY PROJECT (SEC. 21080(b)(4); 15269(b)(c))
 CATEGORICAL EXEMPTION: 15303: NEW CONSTRUCTION

REASONS WHY PROJECT IS EXEMPT: The project is exempt pursuant to Section 15303 because the project proposes new wireless communication equipment (including screening via new roof pyramid and equipment cabinet) with a new telecom use at the structure. The project will not result in impacts to any sensitive environments or otherwise result in an impact based on the exceptions to this exemption as identified in CEQA Section 15300.2.

LEAD AGENCY CONTACT PERSON: M. Blake

TELEPHONE: (619) 446-5375

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

M. Blake / Senior Planner
SIGNATURE/TITLE

Sept. 10, 2010
DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

DATE OF NOTICE: November 8, 2010

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING: December 9, 2010
TIME OF HEARING: 9:00 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
202 C Street, San Diego, California 92101

PROJECT TYPE: NEIGHBORHOOD USE PERMIT & PLANNED
DEVELOPMENT PERMIT PROCESS LEVEL 4
PROJECT NUMBER: 212265
PROJECT NAME: AT&T MOBILITY LA JOLLA COMMONS
APPLICANT: Shelly Kilbourn

COMMUNITY PLAN AREA: UNIVERSITY
COUNCIL DISTRICT: District 5

CITY PROJECT MANAGER: SIMON TSE, Development Project Manager
PHONE NUMBER: (619) 687-5984

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility (WCF) located at 4949 Eastgate Mall in the RS-1-14 zone within the University community plan. The proposed antennas are concealed inside a rooftop pyramid feature designed to match existing. The equipment associated with the project shall be placed on the ground level, behind a fenced enclosure.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public

hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on September 10, 2010 and the opportunity to appeal that determination ended October 6, 2010.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order No. 24000926

AT&T Mobility La Jolla Commons
PROJECT CHRONOLOGY
PTS #212265 INT #24000926

Date	Action	Description	City Review	Applicant Response
6.1.2010	First Submittal	Project Deemed Complete		
6.24.2010	First Assessment Letter		23 days	
8.3.2010	Second Submittal			30 days
9.2.2010	Second Assessment Letter		30 days	
10.13.2010	All issues resolved			41 days
12.9.2010	Scheduled for Planning Commission		57 days	
Total Staff Time:		Including City Holidays and Furlough	110 days	
Total Applicant Time:		Including City Holidays and Furlough		71 days
Total Project Running Time:		From Deemed Complete to PC Hearing	181 days	