

DATE ISSUED: May 5, 2011 **REPORT NO. PC- 11-048**

ATTENTION: Planning Commission, Agenda of May 19, 2011

SUBJECT: FRONT AND CEDAR (230 W. CEDAR) – CENTRE CITY PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT NO.2010-59 FOR THE CONSTRUCTION OF A NINE UNIT RESIDENTIAL PROJECT INCLUDING THE RELOCATION AND REHABILITATION OF A DESIGNATED HISTORICAL RESOURCE FOR OFFICE / RETAIL USE – LITTLE ITALY NEIGHBORHOOD OF THE DOWNTOWN COMMUNITY PLAN AREA – **PROCESS FOUR**

**OWNER/
APPLICANT:** Front and Cedar, L.P./
Cornerstone Communities Corporation

SUMMARY

Issue(s): Should the City of San Diego Planning Commission (“Commission”) approve Planned Development Permit/Site Development Permit (PDP/SDP) No. 2010-59 for the Front and Cedar project, a three-story, nine-unit residential project, including deviations to the Centre City Planned District Ordinance (PDO) and the relocation and rehabilitation of the Frank L. Rawson Residence, City of San Diego Historical Resources Board (HRB) Site No. 297?

Staff Recommendation: That the Commission **Approve** PDP/SDP No. 2010-59, subject to the conditions listed in the draft PDP/SDP No. 2010-59 (“Permit”) for the Front and Cedar project.

Community Planning Group Recommendation: On April 20, 2011, the Centre City Advisory Committee (CCAC) voted 19 in Favor, 0 opposed to recommend that the Commission approve PDP/SDP No. 2010-59, subject to the applicant making a presentation at a Little Italy Association meeting and the conditions in the draft Permit. The applicant went before the Little Italy Association on April 26, 2011 and received support for the project.

Historical Resources Board Recommendation: On April 28, 2011, the HRB voted 8 in Favor, 0 opposed to recommend that the Commission approve SDP No. 2010-59, subject to conditions. The HRB did not make a recommendation on the PDP and requested deviations.

Environmental Review: This activity is covered under the Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, PDO, and 10th Amendment to the Redevelopment Plan for the Centre City Redevelopment Project (including all subsequent addenda) certified by the Redevelopment Agency pursuant to Resolution No. R-04001 adopted effective March 14, 2006, in compliance with the California Environmental Quality Act (CEQA). The FEIR is a "Program EIR" prepared in compliance with State CEQA Guidelines Section 15168. An Environmental Secondary Study (ESS) was prepared on March 30, 2011 for the project to evaluate the project's compliance with the above documents. Based on the conclusions of the ESS, the environmental impacts of the proposed project were adequately addressed in the FEIR and the proposed project is within the scope of the development program described in the FEIR. Therefore, no further environmental documentation is required under CEQA.

Fiscal Impact Statement: None

BACKGROUND

The 8,900 square-foot project site is located at 230 W. Cedar Street in the Little Italy neighborhood within the Downtown Community Planning Area. The land use designation of the site is Employment/Residential Mixed-Use (ER) under the Centre City PDO. The ER District provides synergies between educational institutions and residential neighborhoods. A variety of uses are permitted in this district including office, residential, hotel, research and development, educational, and medical facilities. The proposed type and mix of uses in the project are consistent with the requirements of the ER District.

The site is narrow (50' x 178'), and slopes down approximately six feet from west to east. The site contains the Frank L. Rawson Residence; HRB Site No. 297 (Rawson Residence) located between two adjacent, non-historical buildings. Surrounding the site are a variety of uses including the 22-story Double Tree Hotel directly to the north, the Current apartment project to the south, the 1-5 freeway off-ramp to the east and a two-story office building to the west.

Under the regulations of the PDO, the development permit for a structure of this size would be subject to administrative review by the Centre City Development Corporation ("Corporation"); however, the applicant is requesting approval of a PDP to allow deviations to the development regulations of the PDO and approval of an SDP for the relocation of the historical resource (both permits are Process 4 applications, subject to review and approval by the Commission).

DEVELOPMENT TEAM

ROLE	FIRM/CONTACT	OWNERSHIP
Developer/Owner	Front and Cedar L.P./Cornerstone Communities Corporation	Ure R. Kretowicz (Sole Owner/Privatey Owned)
Architect	Starck Architecture and Planning	Jamie Starck (Privatey Owned)

Project Description: The following is a summary of the project:

Site Area	8,900 square feet
Maximum Base FAR (with bonuses)	6.5 (8.0)
Minimum FAR	4.0
Proposed FAR	2.49 * See PDP discussion below
FAR Incentives, Exemptions or Bonuses	None
Stories / Height	3 stories / 50 feet
Amount of Retail Space	1,310 square feet (within historical resource)
Amount of Office Space	2,356 (within historical resource)
Total Number of Housing Units	9 condominiums
Parking	
Required	9
Proposed	9
Number of Buildings/Units Demolished	2 (non-designated structures) / 9 units
Inclusionary Housing Ordinance Compliance	Payment of In-Lieu Fee
Assessor's Parcel Nos.	533-361-06, 533-354-07 & 08

DISCUSSION

The Front and Cedar project consists of a three-story (50-foot-tall) residential building comprised of nine townhomes. Each townhome will have an individual at-grade parking garage with direct entry into the unit accessed at mid-block off of Cedar Street into the unit by a common driveway located on an open motor court accessed by a mid-block driveway on Cedar Street. The overall design concept of the residential building is clean and modern. Materials used for the base of the building include metal cladding, brick, painted concrete and storefront windows that are in alignment with the building massing above. The upper floor facades incorporate plaster, painted metal siding, and an array of windows that reinforce the building articulation, while at the same time provide a connection to the ground plane below. A glass and metal clad frame tower at the corner of Union and Cedar streets punctuates the building design while providing panoramic views of the city and bay. Additional design elements include high ceiling garages (for provision

of potential garage lifts to park two vehicles), large roof decks, and decorative metal railings.

Historical Building Relocation

The project also includes the relocation and rehabilitation of a locally designated historical resource. The Rawson Residence was designated as a Local Historical Resource and added to the San Diego Local Register as HRB Site No. 297 on October 24, 1990. The designation was based on the buildings architectural style as a late Victorian use of the Italianate style. It was built in 1888 as a single family residence with additional furnished rooms for rent. According to the Sanborn Fire Maps, by 1921 the structure had been converted into apartments. Today, the structure contains five apartments in two levels over a partial basement.

The Rawson Residence will be moved from its current mid-block location approximately 75 feet to the northeast corner of the site after demolition of the existing non-historic structures. The orientation of the residence will be consistent with its original location (facing south). Once relocated, the Rawson Residence will be rehabilitated to accommodate approximately 1,300 square feet of street level retail and 2,600 square feet of office space above.

Rehabilitation of the structure includes the replacement of non-original windows on the east and south elevations with new wood windows or salvaged windows from the north and west elevations where a new rated wall is required; removal of the non-original porch and, replacement with a new porch and stairs; renovation of existing wood trim and siding on the upper floors and painted board and batt siding at ground level; and replacement of non-original composition shingles with wood (redwood or cedar) shingles on the pitched mansard roof. Finally, the exterior of the building will be painted in Victorian Era colors. All work proposed on the building will be consistent with the U.S. Secretary of the Interior Standard's (Standards).

Project Related Issues:

Planned Development Permit (PDP)

The applicant is requesting four deviations, via approval of a PDP, to the following development regulations of the PDO:

1. Floor Area Ratio (FAR) - The PDO requires a minimum base FAR of 4.0 with a maximum FAR of 6.5. The project as proposed has an FAR of 2.49. The fact that the project site is narrow and contains a designated historical resource limits the number of units, parking and floor area that can reasonably be accommodated on the site. The scale of the project is appropriate at this location, particularly along Union Street, and will be complementary to the scale of the historical resource that will be retained and

rehabilitated as part of the project.

2. **Street Wall Setback** - The PDO requires the street wall to be setback a minimum of three feet and a maximum of 10 feet from the property line for projects containing ground level residential units. The project is designed to the property line, but provides the three foot setback for the main residential entries. Based upon an analysis of the surrounding developments, staff has determined that many projects throughout the surrounding neighborhood are built to the street property line with no setback. Applying the street wall setback on this site is difficult due to the smaller than average lot depth and size. Allowing the ground-floor of the project to be located at the property line maximizes the development potential of the site and results in a more desirable design consistent with the fine grain nature of the neighborhood.
3. **Finish Floor Elevations** - The PDO requires that ground-floor residential units provide finished floor elevations of between 18 and 42 inches above the adjoining sidewalk for a minimum depth of 10 feet inside the unit. The intent of these regulations is to provide grade changes that differentiate private space from the public realm, in addition to providing floors and windows above the street level which allow privacy for ground-level residential units. The proposed project, as designed contains units with ground level access with finished floor elevations ranging up to 14 inches above grade as the site slopes from east to west. The main living areas are located on the second and third floors thereby minimizing the impacts typically associated with street level units. The smaller lot size and site slope makes it difficult to negotiate the elevation differences between the sidewalk, entries and garages, therefore, it is appropriate to allow these deviations and provide the majority of the living space on the second and third floors.
4. **Above-Grade Parking Enclosure** – The PDO requires that all parking within a development be enclosed and architecturally screened. Enclosing and screening parking serves to shield adjacent land uses and the right of way from any visual, noise or light impacts associated with parking. The proposed parking for the project is separated from the right-of-way by the residential units; however, the motor-court is open to the sky and not fully enclosed. The adjacent property has a five story parking garage wall directly to the north of the site and the open areas above the drive aisle will not be visible from the adjacent property. Any sound or light generated from the cars in the drive aisles will not be heard or seen from the adjacent property.

Pursuant to Section 143.0401 of the Land Development Code (LDC), the purpose of a PDP is “to provide flexibility in the application of development regulations for projects where strict application of the base zone regulations would restrict design options and result in a less desirable project. The intent of the Planned Development Permit regulations is to accommodate, to the greatest extent possible, an equitable balance of development types, intensities, styles, site constraints, project amenities, public improvements, and community and City benefits.”

PDP Findings

The findings for approval of a PDP listed below are evaluated to determine if the proposed deviations facilitate a project that is beneficial to the community and results in a more desirable project than could otherwise be achieved if the project were required to rigorously adhere to the development regulations.

1. *The proposed use or development will not adversely affect the applicable land use plan.*

The proposed project is consistent with the objectives of the Downtown Community Plan and the Centre City PDO. The project is designed to meet the majority of the development standards for the ER land use designation, with the exception of the FAR, street wall, ground floor heights and parking enclosure. The requested deviations will provide relief from the strict application of the development standards in order to allow for more efficient use of the site given the constraints associated with the size of the lot and the existing historical building on site. The requested deviations meet the intent of the regulations and will have a negligible impact on the surrounding neighborhood.

2. *The proposed use or development will not be detrimental to the public health, safety, and welfare.*

The granting of the deviations and approval of the project will not have an impact on the public health, safety and general welfare. Overall, the proposed development is consistent with the plans for this neighborhood and will contribute to its vitality by rehabilitating a historical resource and providing an attractive streetscape and development.

3. *The proposed use or development will comply to the maximum extent feasible with the regulations of the Land Development Code.*

The proposed development will meet all the requirements of the LDC and Centre City PDO with the four deviations, which are allowable under a PDP. With approval of the

PDP/SDP, the project will comply to the maximum extent feasible with all applicable regulations.

4. *The proposed development, when considered as a whole, will be beneficial to the community.*

The existing site has a number of challenges including, but not limited to, lot size, topographical constraints, and the presence of a historical resources located in the middle of the site. Approval of the deviations facilitates the redevelopment of the site given these constraints. The benefits of the proposed project outweigh any impacts associated with the proposed minor deviations. The project will result in the rehabilitation and adaptive re-use of a historical building and redevelopment of an underutilized site.

5. *Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.*

The proposed deviations are appropriate at this location as strict conformance with the development regulations would create major challenges to the redevelopment of the site. The proposed redevelopment project is compatible in size and scale with the surrounding neighborhood while increasing the density of the site.

Site Development Permit (SDP)

The proposed relocation of the Rawson Residence is a Substantial Alteration under San Diego Municipal Code Section 143.0251, thereby requiring approval of an SDP. The proposed rehabilitation work on the building will be consistent with the Standards and will not create any adverse impacts to the designated building.

SDP Findings

The Commission must make specific findings to grant the SDP request, as well as supplemental findings for the proposed relocation of the historical resource. The following are an evaluation of the required findings:

General Findings – SDMC § 126.0504 (a)

1. *The proposed development will not adversely affect the applicable land use plan.*

The Downtown Community Plan lists the following goals and policies in regards to historical resources:

- a) For locally designated historical resources, “Whenever possible, retain resource on-site. Partial retention, relocation or demolition of a resource shall only be permitted through applicable City procedures.”
- b) Protect historical resources to communicate downtown’s heritage.
- c) Encourage the rehabilitation and reuse of historical resources.
- d) Allow development adjacent to historical resources respectful of context and heritage, while permitting contemporary design solutions that do not adversely impact historical resources.
- e) Encourage the retention of historical resources on-site with new development. If retention of the historical resource on-site is found to be infeasible under appropriate City review procedures, the potential relocation of the historical resource to another location within downtown shall be explored, and if feasible, adopted as a condition of an SDP.

The Front and Cedar project meets all of the design goals of the Downtown Community Plan and Centre City PDO for new developments in this area. The project will activate Cedar Street, add to the vitality of the neighborhood, and provide nine new residential units. It will also rehabilitate a historical building and provide unique retail and office space for a small business. While the Downtown Community Plan only promotes relocation of a historical resource as a last resort, the relocation of the Rawson Residence is a practical means of protecting the threatened resource and preserves its architectural heritage within the neighborhood. If the Commission can make the findings for approval of an SDP, then the project can be found consistent with the Downtown Community Plan. In addition, the FEIR for the Downtown Community Plan recognized that not all historical resources may be preserved in the downtown area due to conflicting housing and employment goals; however, the project retains and rehabilitates the Rawson Residence on-site.

2. *The proposed development will not be detrimental to the public health, safety and welfare.*

The proposed development will consist of a three-story mixed-use project, including the relocation and rehabilitation of a designated historical resource. The proposed project will be consistent with the Downtown Community Plan and Centre City PDO with approval

of a PDP/SDP. The project will be compatible with the nearby residential and commercial buildings and other new developments in the area without harming the public health, safety and welfare.

3. *The proposed development will comply with the applicable provisions of the Land Development Code.*

The proposed project will meet the development standards of the Centre City PDO with approval of a PDP/SDP. The proposed relocation of the designated building is a Substantial Alteration requiring an SDP, consistent with Municipal Code Section 143.0251. The proposed rehabilitation work on the building will be consistent with the Standards and will not create any adverse impacts to the designated building. Impacts related to the proposed relocation would be reduced through implementation of the required mitigation measures found in the Environmental Secondary Study (ESS) and additional permit conditions.

Substantial Alteration Findings – SDMC § 126.0504 (h)

Findings for the relocation of a designated historical resource are required for approval of the permit, consistent with Municipal Code Section 126.0504(h) as follows:

1. *There are no feasible measures, including maintaining the resource on site, that can further minimize the potential adverse effects on historical resources.*

The purpose of the City of San Diego Historical Resources Regulations is to protect, preserve and, where damaged, restore the historical resources of San Diego, which include historical buildings, historical structures or historical objects, important archaeological sites, historical districts, historical landscapes, and traditional cultural properties. These regulations are intended to assure that development occurs in a manner that protects the overall quality of historical resources and seeks to minimize the potential for any adverse effects on the historical resource.

To minimize the potential adverse effects on the Rawson Residence that will be caused by the proposed development, the developer evaluated three scenarios as follows:

- a. Relocation of the resource to an off-site location - Under this scenario, the developer would relocate the Rawson Residence to another off-site location within the Downtown Community Plan Area boundaries or elsewhere within the City of San Diego.

- b. Incorporation of the resource into the proposed project – This scenario evaluates two options both of which retain the Rawson Residence in its current location. The first option contemplates that the Rawson Residence would remain as a free-standing structure with new development occurring to the east and west of the resource. The second option includes the partial or full integration of the Rawson Residence as part of the development.
- c. Relocation of the resource to the western portion of the block – This scenario involves relocating the Rawson Residence to the western side of the block rather than the eastern side of the block as currently proposed.

All three scenarios were found to be infeasible by the developer. A thorough explanation provided by the developer for each of the three scenarios has been included as Attachment 2.

- 2. *The proposed relocation will not destroy the historical, cultural or architectural values of the historical resource and the relocation is part of a definitive series of actions that will assure the preservation of the designated historical resource.*

The relocation, rehabilitation and reuse of the Rawson Residence will not destroy the historical and architectural values of the resource. The developer will stabilize and relocate the structure to the relocation site and thereafter rehabilitate the resource. The proposed rehabilitation is limited to the replacement of windows, replacement of porch and stairs, renovation of existing character defining features, replacement of roof shingles and new paint consistent with the Victorian Era color scheme. The rehabilitation will be consistent with the Standards to ensure the historical and architectural values are maintained. A qualified historical architect monitor will supervise the relocation and rehabilitation aspects of the project. Once relocation and rehabilitation is complete the designation status of the resource will be transferred to its relocation site and will remain a designated resource under the jurisdiction of the HRB.

The developer will be required to implement measures identified in the FEIR Mitigation, Monitoring and Reporting Program (MMRP) pertaining to the relocation, rehabilitation, and reuse of a designated historic resource and will comply with the rules, regulations and ordinances pertaining to the designation status and the conditions of the SDP as required by the San Diego Municipal Code. In addition, the developer will prepare a Historical American Building Survey (HABS) of the property and the adjacent relocation site consistent with the National Park Service's Criterion Consideration B for moved

properties and the City's Historical Resources Regulations. These measures ensure that the proposed relocation, rehabilitation and reuse will not destroy the historical, cultural, or architectural values of the historical resource and the relocation will be part of a definitive series of actions to assure the preservation of the designated historical resource.

3. *There are special circumstances or conditions apart from the existence of the historical resource, applying to the land that are peculiar to the land and are not of the applicant's making, whereby the strict application of the provisions of the historical resources regulations would deprive the property owner of reasonable use of the land.*

The Downtown Community Plan's goals for the surrounding neighborhood call for greater development intensity, especially on vacant and underdeveloped sites. Since the time during which the Rawson Residence was designated as a historical resource, the area surrounding the site has seen an increase in density and larger scale development consistent with these goals. Included in this growth are multi-story development projects which are located directly south, southwest, and southeast from the Rawson Residence. The existing site constraints, location of the historical resource, and the overall setting and context of the neighborhood constitute special circumstances and conditions which exist apart from the presence of the historical resource.

These special circumstances applying to the land are peculiar to the land and are not of the developers making. Therefore the strict application of the provisions of the historical resources regulations would deprive the developer, as the property owner, of reasonable use of the land compared to other properties in the area and the goals and policies of the Downtown Community Plan.

Community Plan Analysis:


The Downtown Community Plan encourages a diversity of commercial opportunities, housing types and uses. The project is consistent with, and implements, the goals for the Little Italy Neighborhood by facilitating its continued evolution as a cohesive, mixed-use waterfront neighborhood. In addition, the project will relocate, rehabilitate and adaptively re-use a locally designated historical resource, which will enhance the condition of the site.

Conclusion:

The Front and Cedar project furthers the Downtown Community Plan goals and objectives in an attractive and sensitively designed new development that brings back to life a designated historical resource into the downtown fabric. The requisite PDP and SDP findings can be made

and implementation of Mitigation Measures as identified in the ESS, including Hist. A.1-2 and Hist-B.1-1 will mitigate the impacts to the historical resource; therefore, staff recommends that the Commission approve PDP/SDP No. 2010-59, including deviations to the Centre City PDO development regulations and relocation of the Frank L. Rawson Residence, HRB Site No. 297, subject to the conditions in the attached draft Permit.

Respectfully submitted,



Lucy Contreras, Associate Planner
Centre City Development Corporation



Frank Alessi, Executive Vice President & CFO
Centre City Development Corporation

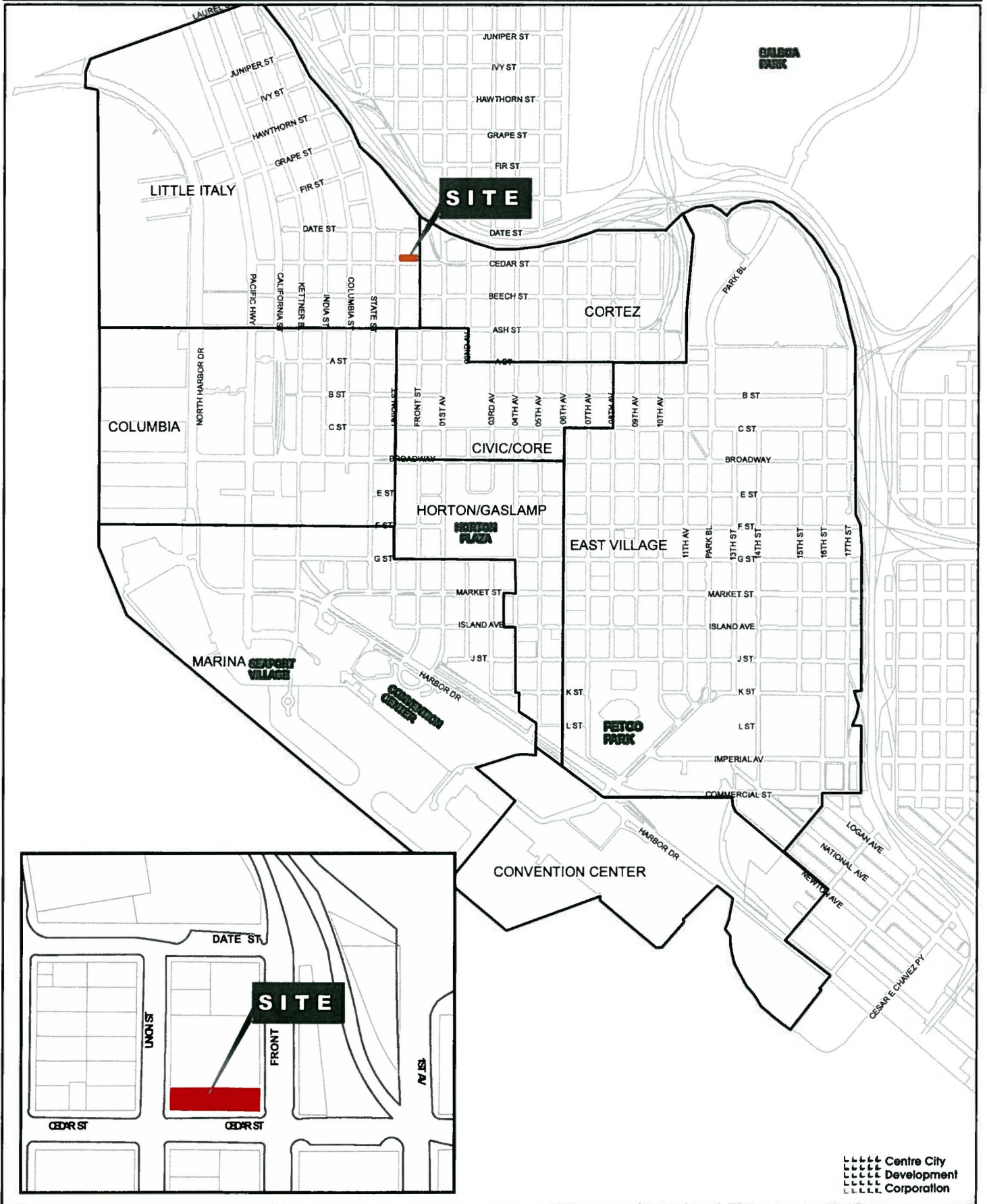


Brad Richter, Asst. Vice President – Planning
Centre City Development Corporation

Attachments:

1. Project Location Map
2. Alternative Scenarios (submitted by developer)
3. Draft Treatment Conservation Plan
4. Draft PDP/SDP No. 2010-59
5. Basic/Concept Schematic Drawings
6. ESS dated March 30, 2011

Front & Cedar Project Attachment I



SUMMARY OF ALTERNATIVES SCENARIOS

To minimize the potential adverse effects on the Rawson Residence three options were evaluated - a, b, and c. These options are presented here as:

(a) Relocation of the resource to another off-site location.

This option contemplates the relocation of the Rawson Residence to another off-site location within downtown San Diego or elsewhere in the City. The Owner/Permittee owns the parcels located east and west of the Rawson Residence. No other properties are owned in close proximity to the Rawson Residence within the Little Italy Subarea or within the Employment/Residential Mixed Use land use classification. In addition, no other properties were found to be available for acquisition within the Little Italy Subarea or Employment/Residential Mixed Use classification which would provide a comparable orientation, setting, and general environment to that of Rawson Residence's present (original) location. Any other off-site location outside of the Little Italy Subarea or Employment/Residential Mixed Use classification would not provide a comparable orientation, setting, and general environment to that of Rawson Residence's original location. Therefore, implementation of this option cannot further minimize the potential adverse effect upon the historical resource and is not considered feasible.

(b)(1) Incorporation of the resource into the proposed Front and Cedar project—Free-Standing Structure.

The proposed project involves the relocation, rehabilitation, and reuse of a historic resource, City of San Diego Historical Landmark #292, the Frank L. Rawson Residence. Once relocated, the former location of the Rawson Residence, as well as two adjacent parcels to the east, will be consolidated and developed into two lots as part of the "Front & Cedar" project. This project proposes nine (9) condominium units, three (3) stories in height, with roof decks, two and three bedrooms, and a one car attached garage at ground level for each unit.

This option contemplates the incorporation of the Rawson Residence into the proposed Front and Cedar project as a free-standing structure. In order for the Rawson Residence to remain as a free-standing structure in its current location, the proposed Front & Cedar project would have to be divided, or bifurcated, into two sections along the eastern and western portions of the block. The Rawson Residence would remain in, or near, the center of the development. The result of a free-standing integration would mean a loss of approximately 3 residential units and approximately 5,000 total square feet of space. In order for this option to occur, curb cuts would have to be made along the east and west portions of the project in order to facilitate access to the development along these elevations. This re-adjustment may, in turn, result in an adverse impact upon traffic circulation. In addition, gas lines and other utilities would have to be split between the east and west portions of the project. Doubling of utilities would be infeasible. Further, the proposed rehabilitation aspect of the Rawson Residence, which has been determined to be consistent with the Secretary of the Interior's Standards, would have to be re-designed or abandoned altogether, and the proposed mixed use for the building either reconsidered or

abandoned altogether. Therefore, implementation of this option cannot further minimize the potential adverse effect upon the historical resource and is not considered feasible.

(b)(2) Incorporation of the resource into the proposed Front & Cedar project—Integration.

This option contemplates the full or partial integration of the Rawson Residence into the proposed Front and Cedar project. Similar to option (b)(1) above, in order for the Rawson Residence to remain in its current location and be integrated into the development, the proposed Front & Cedar project would have to be divided, or bifurcated, into two sections along the eastern and western portions of the block. The Rawson Residence would remain in, or near, the center of the development. The result of this integration would mean a loss of approximately 3 residential units and approximately 5,000 total square feet of space. In order to achieve any measure of integration, the east, west, and north elevations of the Rawson Residence would have to be incorporated or subsumed into the new surrounding development. This would result in an adverse impact upon the historical resource and is not considered feasible.

Similar to option (b)(1) above, in order for this option to occur, curb cuts would have to be made along the east and west portions of the project in order to facilitate access to the development along these elevations. This re-adjustment may, in turn, result in an adverse impact upon traffic circulation. In addition, gas lines and other utilities would have to be re-routed around, or through, the historic resource in order to join together the east and west portions of the project. Further, the proposed rehabilitation aspect of the Rawson Residence, which has been determined to be consistent with the Secretary of the Interior's Standards, would have to be re-designed or abandoned altogether, and the proposed mixed use for the building either reconsidered or abandoned altogether. Therefore, implementation of this option cannot further minimize the potential adverse effect upon the historical resource and is not considered feasible.

(c) Relocation of the resource to the western side of the Block.

This option contemplates the relocation of the Rawson Residence to the western side of the Block, rather than the eastern side of the Block, as proposed. Along the western side of the Block, there currently exists the "Cedar Apartments," a two-story multi-family residential structure located at 240 West Cedar Street, at the northeast corner of Front and Union Streets. The building is located on a parcel which measures approximately 50 feet x 62 feet. This structure was determined not to be historic by the Historical Site Board (today the Historical Resources Board) in 1990, and more recently, by City of San Diego Plan-Historic Staff in June 2009. The proposed Front & Cedar project involves the removal of this structure in conjunction with the development, and the surrounding area in close proximity to this location includes large and small-scale mixed uses. The western side of the Block is located up-hill from the eastern side Block location, which is the proposed site of the Rawson Residence.

If this option is implemented, whereby the Rawson Residence is relocated to the western side of the Block, rather than the eastern side of the Block, the building will lose its proposed visual prominence. As proposed, the Rawson Residence is intended to be moved to the northwestern corner of Front and Cedar Streets. The size of this parcel measures approximately 30 feet x 125 feet, or approximately 3,690 total square feet (approximately 0.08 acres). The size of this parcel

is larger than that along the western portion of the Block. Directly across the street from the parcel, to the east, is an open parking lot. Front Street at this location serves as an exit from Interstate 5 traffic heading south into downtown. While there are some large-scale mixed uses in close proximity to this location, they number fewer than those located near the western side of the Block, and include more small scale-mixed uses and businesses. Therefore, the proposed location for the Rawson Residence provides a larger parcel, less surrounding density, and more open space and transportation ability to better view the resource and its architectural significance. Should this option be implemented, the resource would be relocated to a smaller parcel, with higher surrounding densities, and reduced open space and transportation opportunities to view the resource. In comparison to the proposed relocation site, this option would reduce the visual benefit to the public. Therefore, implementation of this option cannot further minimize the potential adverse effect upon the historical resource and is not considered feasible.

TREATMENT PLAN

DATE: March 31, 2011

PROJECT: Frank L. Rawson Residence
Located at 230 West Cedar Street, San Diego, CA 92101
APN: 533-354-08-00
HRB Site # 292

SUBJECT: Treatment Plan

PROJECT TEAM:

Project Architect: Starck Architecture & Planning
Historic Architect & Monitor: John Eisenhart, Union
Principal Investigator: Scott A. Moomjian, Attorney at Law
General Contractor: Cornerstone Communities
House Mover: Joe Hansen, John T. Hansen Enterprises

PROPERTY DESCRIPTION:

The Frank L. Rawson Residence is a historically designated example of the Late Victorian period Italianate style architecture, formerly used as worker housing. Built in 1888, this treatment plan is being prepared to move this historic building from its current location at 230 West Cedar Street in Downtown San Diego to approximately 75 feet to the east on the same Block to 1602 Front Street in Downtown San Diego. It will be rehabilitated at this new location.

INTRODUCTION:

The implementation of the Treatment Plan for the relocation and transportation of the Rawson Residence will be facilitated by a qualified historical structure mover, under the supervision of the Project Architect and Historic Architect/Monitor in a manner consistent with the mitigation, monitoring, and reporting program for this project. This Treatment Plan is to be accompanied by a copy of HABS drawings of the property prepared by the Historic Architect/Monitor, drawings that outline the proposed stabilization and preparation of the structure for relocation and drawings of the proposed rehabilitation of the structure at the new location. This Treatment Plan and its related drawings will be included in all subsequent plans for the discretionary permit processing and construction documents. Review and approval by Plan-Historic staff for consistency with this Treatment Plan and the U.S. Secretary of the Interior's Standards is required for all discretionary and ministerial permit actions.

PREPARATION/RELOCATION OF STRUCTURE:

1. Preparation of the structure prior to move.

The entire structure is to be stabilized, braced, and secured. Specific procedures to be determined by qualified historical structure mover. The implementation of these procedures will

occur only after approval from Monitor. Mover to outline points of entry of steel beams through structure. Exterior siding or trim pieces affected by this shall be removed prior to damage. These pieces to be stored and refastened during rehabilitation. Structural framing members at non-visible areas may be braced with sheathing/blocking, etc., as required. Fenestration to be secured and covered for protection with ¾" plywood sheathing. Minimal drilling into exterior siding for wood screw fasteners. Exterior plumbing pipes shall be removed. All site utilities to be disconnected. The non-original front porch and staircase parallel to the entry will be removed. Rear addition is non-historic and may also be removed. The entire structure to be moved as a whole. Monitor to be notified prior to modification of structure required for move. Consistent with Standards #6, 7, 9 and 10.

2. Movement of structure.

The Rawson Residence will be moved to 1602 Front Street after the demolition of the existing, non-historic building and construction of first floor of new building. The orientation of the Rawson Residence shall be consistent with its original location (i.e. facing south). New structural system to be designed to accommodate historic structure. Any temporary bracing will be removed and any required rehabilitation of the structure will commence. Consistent with Standards #1, 9, 10.

3. House Mover to outline path of move, sequence of move, and means in which the Rawson Residence is secured for move. Monitor and City Staff to approve plan prior to moving date. Consistent with Standards #1.

4. Partial demolition/ removal of interior of structure.

Prior to the start of the demolition/ removal process. The Contractor and Monitor will meet on site to review the scope of demolition/removal work. During demolition/removal, Contractor to inform Monitor of discovery of any architectural elements (brackets, posts, casing, doors, leaded windows, etc...) on site. Monitor to evaluate relevance of such materials. Consistent with Standards #6, 7, and 9.

EXISTING FOUNDATION:

The Rawson Residence has wood perimeter pony walls on masonry foundation wall. The interior framing is post and beam on masonry piers. Floor framing is original Douglas Fir 1x 6 plank on 2x6 floor joists at 16" o.c. All structural members below the bottom of floor joists may be removed as required for the move. Consistent with Standards #9 and 10.

NEW FOUNDATION:

During the relocation process, the new foundation will be installed. The finish floor shall be consistent with the approved height specified on the stamped building plans. Perimeter foundation finish to be stone, concrete or wood consistent with the materials specified on the stamped building plans.

EXISTING FRAMING:

Horizontal members:

First floor framing is original Douglas Fir 1x 6 plank on 2x6 floor joists at 16" o.c.

Second floor framing is original Douglas Fir 1x 6 plank on 2x10 floor joists at 16" o.c.

Roof framing is original Douglas Fir 1x plank on 2x roof joists.

The framing members are all old growth and should remain in place with allowance for new interior design/ planning as required for adaptive reuse. Complete demolition/removal of structural joists, plank members is not acceptable.

Vertical members: Exterior wall framing is thought to be balloon framing with 2x4's at 16" o.c. This will be left in place. Interior wall framing consists of 2x4 or 2x3 studs with wood lath and plaster finish. New interior design/ planning as required for adaptive reuse will allow for the removal of interior walls and finishes. Consistent with Standards #2, 9 and 10.

ROOF:

Roof consists of two areas. The pitched mansard sections are presently composed of non-original composition shingles. These are to be removed. Original roof appears to be wood shingle. New redwood or cedar shingle to match original. The wood framing of the mansard may be repaired or reconstructed (match existing) as required. Exact wood roofing material profile to be determined. The main roof has not been inspected. It is not visible to public and therefore may be replaced with built-up roofing, single ply or similar system. The location of downspouts should occur at inconspicuous areas avoiding the southeast corner and south elevation. Consistent with Standards #6, 9 and 10.

EXTERIOR FINISHES:

The existing horizontal shiplap siding from skirt board to soffit will remain as is. Repair shall be "dutchman" type. If board has minor cracks, repair with wood epoxy filler. If the entire board is damaged, an existing shiplap board taken from a non-visible area shall replace it. If this is not possible, a new shiplap board of the same profile may be used as a replacement. Wood fenestration casings (head, jamb, sill and apron) will remain and be repaired as necessary. Missing pieces to be replicated to match existing consistent with Standards #2, 6, 7, 9, and 10.

EXTERIOR DOORS AND WINDOWS:

The existing original windows will remain and be repaired for smooth operation. A new pulley and rope system will be installed to match existing. A new friction type system is not allowed. Existing fenestration units to be removed where new rated wall is required at North and West elevations. Salvage window units to be used to replace window units in poor condition or non-original on the East and South elevations. (Notify Monitor before this action occurs). If new wood windows are necessary, the original windows will serve as a template.

Main door is non-original. A new four panel door similar in style to interior type with period hardware to be installed. Consistent with Standards #2, 6, 7, 9 and 10.

EXTERIOR PORCH:

The non-original front porch will be removed and replaced with a new porch and stairs. Stairs to have wood balustrade similar in style to interior balustrade/ historic photos. Historic brackets and frieze board for front porch to be installed consistent with photographic evidence. Consistent with Standards # 6, 9 and 10.

ELECTRICAL & LIGHTING:

The existing electrical and lighting system will be upgraded to conform to current code. Electrical meter shall be located discretely away from public view. Exterior lighting fixtures to be surface mounted or pendant type sympathetic to Victorian Style. Consistent with Standards #9 and 10.

PLUMBING:

All exterior plumbing and vent pipe to be dismantled. New interior plumbing and vents to be installed as required. Areas in exterior siding where old pipes have been removed to be repaired with "dutchman" from salvaged siding from building. The plumbing system will be upgraded to conform to current code. Consistent with Standards #9 and 10.

HEATING:

New HVAC units may be installed on the roof or inside the structure. If located on the roof, position equipment away from south and east elevations so public visibility from the Front and Cedar streets is not possible. If visible, a screen shall be erected to block view. The structure to be modified at a minimum to accommodate these units. HVAC to conform to current code. Consistent with Standards #9 and 10.

PAINTING:

Paint scheme on the exterior of the building shall be in Victorian Era colors. Existing structure to be tested for lead paint and if detected, follow current laws for careful removal. Monitor and City Staff to approve final paint scheme. Consistent with Standards #6.

LANDSCAPING:

The new site will be landscaped and hardscaped in accordance with all relevant regulations of the Land Development Code for the relocation, rehabilitation, and reuse of historic resources. Consistent with Standards #9 and 10.

RECONSTRUCTION/REHABILITATION:

The cleaning of all historic material/fabric shall occur through using the gentlest means possible. An appropriate means of control and disposal of lead or other chemicals shall be provided. Historic fabric shall be retained as much as possible. Do not sandblast or water power wash materials. The character defining massing/form of the structure is a two story wood building with vertical stacked fenestration openings, a pair of two story rectangular bays at the South Elevation and a partial mansard roof around perimeter. The character defining material elements are: shiplap siding, windows, casing and trim boards, wood roof, Attachment of materials shall be similar to the original, historic method. Should damage occur to the resource, it shall be repaired in conformance with the Secretary of the Interior's Standards for Rehabilitation or Reconstruction. Consistent with Standards #2, 6, 9, and 10.

ATTACHMENTS:

Treatment Drawings: HABS documents

RECORDING REQUESTED BY:
Centre City Development Corporation
Architecture & Planning Division
401 B Street, Suite 400
San Diego, CA 92101

WHEN RECORDED MAIL TO:
Centre City Development Corporation
401 B Street, Suite 400
San Diego, CA 92101

THIS SPACE FOR RECORDER'S USE ONLY

**NOTE: COUNTY RECORDER, PLEASE
RECORD AS RESTRICTION USE OR
DEVELOPMENT OF REAL
PROPERTY AFFECTING THE TITLE
TO OR POSSESSION THEREOF**

**CENTRE CITY
PLANNED DEVELOPMENT PERMIT/SITE DEVELOPMENT PERMIT NO. 2010-59
(APN#'S 533-361-06, 533-354-07&08)
CITY OF SAN DIEGO PLANNING COMMISSION**

This Planned Development Permit/Site Development Permit No. 2010-59 is granted by the City of San Diego Planning Commission to Cornerstone Communities Corporation, Owner/Permittee, pursuant to San Diego Municipal Code Chapter 12, Article 6, Divisions 5 and 6. The 8,900 site is located at 230 W. Cedar Street in the Little Italy Neighborhood of the Downtown Community Plan Area. The development site is further described in Exhibit "A" in the City of San Diego, State of California, according to map thereof made by L.L. Lockling on file in the office of the County Recorder of San Diego County, is located in the Employment/Residential Mixed-Use District of the Downtown Community Plan Area; and,

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner/Permittee for a Planned Development Permit/Site Development Permit to construct and operate uses as described and identified by size, dimension, quantity, type and location as follows and on the approved exhibits on file in the offices of the City Clerk of the City of San Diego and the Centre City Development Corporation (CCDC).

1. General

The Owner/Permittee shall construct, or cause to be constructed on the site, a three-story (50 foot tall) mixed-use development consisting of nine condominium units; including the relocation, rehabilitation and reuse of City of San Diego Historical Resources Board (HRB) Site No. 297, the Frank L. Rawson Residence (Rawson Residence). The total

Floor Area Ratio (FAR) of the development for all uses above ground shall not exceed 6.5.

2. Site Development Permit

The City of San Diego Planning Commission hereby grants a Site Development Permit (SDP) allowing the Relocation of a Designated Historical Resource as follows:

a. City of San Diego HRB Site No. 297, Frank L. Rawson Residence

HRB Site No. 297, the Rawson Residence located at 230 W. Cedar Street will be relocated from its current location at 230 W. Cedar Street approximately 75 feet to the east on the same block to 1602 Front Street in the Little Italy Neighborhood of the Downtown Community Plan Area. The Rawson Residence will be rehabilitated to include approximately 1,300 square feet of street level retail and 2,600 square feet of office space.

All modifications to, and rehabilitation of, the Rawson Residence, shall be performed in accordance with the National Park Service Standards for Relocation, U.S. Secretary of the Interior's Standards (Standards) for rehabilitation of historical structures, City of San Diego Historical Resource Guidelines and the Treatment Plan required under the Final Environmental Impact Report (FEIR) Mitigation, Monitoring, and Reporting Program (MMRP) Measures HIST A.1-1 and HIST A.1-2. In addition, the following conditions apply:

1. HABS Level III documentation shall be completed for the structure.
2. A qualified historical architect monitor (approved by Plan-Historic staff) will supervise the relocation, rehabilitation and reuse of the building.
3. A permanent plaque shall be provided on the exterior wall of the historic building describing the old address. The design shall be approved by City of San Diego Plan-Historic staff.
4. A traditional Victorian Era style color scheme shall be proposed by the Owner/Permittee and approved by the City of San Diego Plan-Historic staff.
5. If any of the materials (exterior walls, window frames, roof and architectural details) are deteriorated and cannot be rehabilitated, and/or not permitted to be reinstalled by the City of San Diego building officials, they may be recreated of new materials with the prior approval of the materials and execution methods by City of San Diego Plan-Historic staff.

3. Planned Development Permit

The City of San Diego Planning Commission hereby grants a Planned Development Permit (PDP) granting the following deviations:

- a. Deviations to the Floor Area Ratio (FAR) requirements of Centre City Planned District Ordinance (PDO) Section 156.0309(a) to allow a reduction in the minimum base FAR of 4.0 to 2.49.
- b. Deviations to the Street Wall Setback requirements of PDO Section 156.0310(d) (1)(C) to allow the Street Wall to be built to the property line in lieu of the minimum 3 foot and maximum 10 foot setback from the property line for projects containing ground level residential units as required under the PDO .
- c. Deviations to the Finish Floor Elevation requirements of PDO Section 156.0311(n)(4) to allow the ground floor residential units to provide finish floor elevations ranging up to 14 inches above grade.
- d. Deviations to the Enclosed Parking requirements of PDO Section 156.0313 (e) to allow an open motor-court which provides access to individual unit parking garages from a mid-block driveway on Cedar Street.

3. Parking

The development shall provide nine parking spaces to City of San Diego standard size dedicated to the exclusive use of the Development.

4. Airport Approach and Environs Overlay Zone

The Owner/Permittee shall comply with the procedures established by the City of San Diego Airport Approach Overlay Zone (AAOZ) (and any successor or amendment t hereto) for structures which exceed 30 feet in height (Chapter 13, Article 2, Division 2 of the San Diego Municipal Code) and shall be required to obtain and submit to CCDC and City a Federal Aviation Administration (FAA) Determination of No Hazard to Air Navigation or a No FAA Notification Self-Certification Agreement under City of San Diego Information Bulletin No. 503.

5. Environmental Impact Mitigation and Archaeological/Paleontological Protection

Demolition, grading, and excavation of the site shall comply with the MMRP measures of the 2006 FEIR for the Downtown San Diego Community Plan and Centre City PDO.

6. Development Impact Fees

The development will be subject to Centre City Development Impact Fees. For Developments containing commercial space(s) the Owner/Permittee shall provide to the City's Facilities Financing Department the following information at the time of application for building permit plan check: 1) total square footage for commercial lease spaces and all areas within the building dedicated to support those commercial spaces including, but not limited to: loading areas, service areas and corridors, utility rooms, and commercial parking areas; and 2) applicable floor plans showing those areas outlined for verification. In addition, it shall be responsibility of the Owner/Permittee to provide all necessary documentation for receiving any "credit" for existing buildings to be removed.

7. Urban Design Standards

The proposed development, including its architectural design concepts and off-site improvements, shall be consistent with the Centre City PDO and Centre City Streetscape Manual. These standards, together with the following specific conditions, will be used as a basis for evaluating the development through all stages of the development process.

- a. Architectural Standards - The architecture of the development shall establish a high quality of design and complement the design and character of the Little Italy District and the site's location at Cedar, Union and Front streets as shown in the approved Basic Concept/Schematic Drawings on file with CCDC. The development shall utilize a coordinated color scheme consistent with the approved Basic Concept/Schematic Drawings.
- b. Form and Scale - The development shall consist of a three-story building with a maximum building height of 50 feet measured to the top of the roofline, with roof equipment enclosures, elevator penthouses, and mechanical screening above this height permitted per the Centre City PDO and the FAA. All building elements shall be complementary in form, scale, and architectural style.
- c. Building Materials - All building materials shall be of a high quality as shown in the Basic Concept/Schematic Drawings and approved materials board. All materials and installation shall exhibit high-quality design, detailing, and construction execution to create a durable and high quality finish. The base of the buildings shall be clad in upgraded materials and carry down to within 1 (one) inch of finish sidewalk grade, as illustrated in the approved Basic Concept/Schematic Drawings. Any plaster materials shall consist of a hard trowled, or equivalent, smooth finish. Any stone materials shall employ larger modules and full-corner profiles to create a substantial and non-veneer appearance. All down-spouts, exhaust caps, and other additive elements shall be superior grade for urban locations, carefully composed to reinforce the

architectural design. Reflectivity of the glass shall be the minimum reflectivity required by Title 24.

All construction details shall be highest standard and executed to minimize weathering, eliminate staining, and not cause deterioration of materials on adjacent properties or the public right of way. No substitutions of materials or colors shall be permitted without the prior written consent of CCDC. A final materials board which illustrates the location, color, quality, and texture of proposed exterior materials shall be submitted with 100% Construction Drawings and shall be consistent with the materials board approved with the Basic Concept/Schematic Drawings.

- d. Street Level Design - Street level windows shall be clear glass and may be lightly tinted. Architectural features such as awnings and other design features which add human scale to the streetscape are encouraged where they are consistent with the design theme of the structure. Exit corridors including garage/motor-court entrances shall provide a finished appearance to the street with street level exterior finishes wrapping into the openings a minimum of ten feet.

All exhaust caps, lighting, sprinkler heads, and other elements on the undersides of all balconies and projection surfaces shall be logically composed and placed to minimize their visibility, while meeting code requirements. All soffit materials shall be high quality and consistent with adjacent elevation materials (no stucco or other inconsistent material), and incorporate drip edges and other details to minimize staining and ensure long-term durability.

- e. Utilitarian Areas - Areas housing trash, storage, or other utility services shall be located in the garage or otherwise completely concealed from view of the public right-of-way and adjoining developments, except for utilities required to be exposed by the City or utility company. The development shall provide trash and recyclable material storage areas per Municipal Code Sections 142.0810 and 142.0820. Such areas shall be provided within an enclosed building/garage area and shall be kept clean and orderly at all times. The development shall implement a recycling program to provide for the separation of recyclable materials from the non-recyclable trash materials.
- f. Mail/Delivery Locations - It is the Owner/Permittee's responsibility to coordinate mail service and mailbox locations with the United States Postal Service and to minimize curb spaces devoted to postal/loading use. The Owner/Permittee shall locate all mailboxes and parcel lockers outside of the public right-of-way, either within the building or recessed into a building wall. A single, centralized interior mail area in a common lobby area is encouraged for all residential units within a development, including associated townhouses with individual street entrances. Individual commercial spaces shall utilize a centralized delivery stations within

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the building or recessed into a building wall, which may be shared with residential uses sharing a common street frontage address.

- g. Vehicle Access - Vehicular access to the site shall be limited to Cedar Street; the curb cut may not exceed 18 feet in width.
- h. Circulation and Parking - The Owner/Permittee shall prepare a plan which identifies the location of curbside parking control zones, parking meters, fire hydrants, trees, and street lights. Such plan shall be submitted in conjunction with 100% Construction Drawings.
- i. Open Space/Project Amenities - A landscape plan that illustrates the relationship of the proposed on- and off-site improvements and the location of water, and electrical hookups shall be submitted with 100% Construction Drawings.
- j. Roof Tops - A rooftop equipment and appurtenance location and screening plan shall be prepared and submitted with 100% Construction Drawings. Any roof-top mechanical equipment must be grouped, enclosed, and screened from surrounding views.
- k. Signage - All signs shall comply with the City of San Diego Sign Regulations and the Centre City PDO.
- l. Lighting - A lighting plan which highlights the architectural qualities of the proposed development and also enhances the lighting of the public right-of-way shall be submitted with 100% Construction Drawings. All lighting shall be designed to avoid illumination of adjoining properties.
- m. Noise Control - All mechanical equipment, including but not limited to, air conditioning, heating and exhaust systems, shall comply with the City of San Diego Noise Ordinance and California Noise Insulation Standards as set forth in Title 24 of the California Code of Regulations. All mechanical equipment shall be located to mitigate noise and exhaust impacts on adjoining development, particularly residential. Owner/Permittee shall provide evidence of compliance at 100% Construction Drawings.
- n. Energy Considerations - The design of the improvements shall include, where feasible, energy conservation construction techniques and design, including cogeneration facilities, and active and passive solar energy design. The Owner/Permittee shall demonstrate consideration of such energy features during the review of the 100% Construction Drawings.
- o. Street Address - Building address numbers shall be provided that are visible and legible from the public right-of-way.

8. On-Site Improvements

All off-site and on-site improvements shall be designed as part of an integral site development. An on-site improvement plan shall be submitted with the 100% Construction Drawings. Any on-site landscaping shall establish a high quality of design and be sensitive to landscape materials and design planned for the adjoining public rights-of-way.

9. Off-Site Improvements

The following public improvements shall be installed in accordance with the Centre City Streetscape Manual. The Manual is currently being updated and the Owner/Permittee shall install the appropriate improvements according to the latest requirements at the time of Building Permit issuance:

	Cedar Street	Union Street	Front Street
Paving	Little Italy Paving	Little Italy	Little Italy
Street Trees	Jacaranda	Raywood Ash	Jacaranda
Street Lights	CCDC Gateway	Little Italy Standard	CCDC Standard

All trees shall be planted at a minimum 36-inch box size with tree grates provided as specified in the CCDC Streetscape Manual, and shall meet the requirements of Title 24. Tree spacing shall be accommodated after street lights have been sited, and generally spaced 20 to 25 feet on center. All landscaping shall be irrigated with private water service from the subject property.

The Owner/Permittee will be responsible for evaluating, with consultation with CCDC, whether any existing trees within the right-of-way shall be maintained and preserved. No trees shall be removed prior to obtaining a Tree Removal Permit from the City Streets Division per City Council Policy 200-05.

- a. Street Lights - All existing lights shall be evaluated to determine if they meet current CCDC and City requirements, and shall be modified or replaced if necessary.
- b. Sidewalk Paving - Any specialized paving materials shall be approved through the execution of an Encroachment Removal and Maintenance Agreement with the City.
- c. On-Street Parking - The Owner/Permittee shall maximize the on-street parking wherever feasible.

- d. **Public Utilities** - The Owner/Permittee shall be responsible for the connection of on-site sewer, water and storm drain systems from the development to the City Utilities located in the public right-of-way. Sewer, water, and roof drain laterals shall be connected to the appropriate utility mains within the street and beneath the sidewalk. The Owner/Permittee may use existing laterals if acceptable to the City, and if not, Owner/Permittee shall cut and plug existing laterals at such places and in the manner required by the City, and install new laterals. Private sewer laterals require an Encroachment Maintenance and Removal Agreement.

All roof drainage and sump drainage, if any, shall be connected to the storm drain system in the public street, or if no system exists, to the street gutters through sidewalk underdrains. Such underdrains shall be approved through an Encroachment Removal Agreement with the City. The Owner/Permittee shall comply with the City of San Diego Storm Water Management and Discharge Control Ordinance and the storm water pollution prevention requirements of Chapter 14, Article 2, Division 1 and Chapter 14, Article 2, Division 2 of the Land Development Code.

- e. **Franchise Public Utilities** - The Owner/Permittee shall be responsible for the installation or relocation of franchise utility connections including, but not limited to, gas, electric, telephone and cable, to the development and all extensions of those utilities in public streets. Existing franchised utilities located above grade serving the property and in the sidewalk right-of-way shall be removed and incorporated into the adjoining development where feasible.
- f. **Fire Hydrants** - If required, the Owner/Permittee shall install fire hydrants at locations satisfactory to the City of San Diego Fire Department and Development Services Department.
- g. **Water Meters and Backflow Preventers** - The Owner/Permittee shall locate all water meters and backflow preventers in locations satisfactory to the Water Utilities Department and CCDC. Backflow preventers shall be located outside of the public right-of-way adjacent to the development's water meters, either within the building, a recessed alcove area, or within a plaza or landscaping area. The devices shall be screened from view from the public right-of-way. All items of improvement shall be performed in accordance with the technical specifications, standards, and practices of the City of San Diego's Engineering and Building Inspection Departments and shall be subject to their review and approval. Improvements shall meet the requirements of Title 24 of the State Building Code.
- h. **Planters** - The maximum allowed encroachment for planters into the right-of-way shall be two feet, six inches, measured to the face of the curb or other barrier surrounding the planted area. A minimum 6-foot clear path shall be maintained

between the face of the planter and the edge of any tree grate or other obstruction in the right-of-way.

10. Removal and/or Remedy of Soil and/or Water Contamination

The Owner/Permittee shall (at its own cost and expense) remove and/or otherwise remedy as provided by law and implementing rules and regulations, and as required by appropriate governmental authorities, any contaminated or hazardous soil and/or water conditions on the Site. Such work may include without limitation the following:

- a. Remove (and dispose of) and/or treat any contaminated soil and/or water on the site (and encountered during installation of improvements in the adjacent public rights-of-way which the Owner/Permittee is to install) as necessary to comply with applicable governmental standards and requirements.
- b. Design construct all improvements on the site in a manner which will assure protection of occupants and all improvements from any contamination, whether in vapor or other form, and/or from the direct and indirect effects thereof.
- c. Prepare a site safety plan and submit it to the appropriate governmental, CCDC, and other authorities for approval in connection with obtaining a Building Permit for the construction of improvements on the site. Such site safety plan shall assure workers and other visitors to the site of protection from any health and safety hazards during development and construction of the improvements. Such site safety plan shall include monitoring and appropriate protective action against vapors and/or the effect thereof.
- d. Obtain from the County of San Diego and/or California Regional Water Quality Control Board and/or any other authorities required by law any permits or other approvals required in connection with the removal and/or remedy of soil and/or water contamination, in connection with the development and construction on the site.
- e. If required due to the presence of contamination, an impermeable membrane or other acceptable construction alternative shall be installed beneath the foundation of the building. Drawings and specifications for such vapor barrier system shall be submitted for review and approval by the appropriate governmental authorities.

11. Construction Fence

Owner/Permittee shall install a construction fence pursuant to specifications of, and a permit from, the City Engineer. The fence shall be solid plywood with wood framing, painted a consistent color with the development's design, and shall contain a pedestrian passageway, signs, and lighting as required by the City Engineer. The fencing shall be maintained in good condition and free of graffiti at all times.

12. Development Identification Signs

Prior to commencement of construction on the Site, the Owner/Permittee shall prepare and install, at its cost and expense, one sign on the barricade around the site which identifies the development. The sign shall be at least four (4) feet by six (6) feet and be visible to passing pedestrian and vehicular traffic. The signs shall at a minimum include:

- Color rendering of the development
- Development name
- Developer
- Completion Date
- For information call _____.

The sign shall also contain the CCDC "Paradise in Progress" logo and the Downtown Construction Hotline phone number. Additional development signs may be provided around the perimeter of the site. All signs shall be limited to a maximum of 160 square feet per street frontage. Graphics may also be painted on any barricades surrounding the site. All signs and graphics shall be submitted to CCDC for approval prior to installation.

13. This Centre City PDP/SDP shall be conditioned upon obtaining a Building Permit within three (3) years from the date of issuance. If a Building Permit has not been obtained in three years and the development is to proceed, the Permittee must apply for an extension in compliance with the provisions of the CCPDO and LDC.
14. Construction and operation of the approved use shall comply at all times with the regulations of this or any other governmental agencies.
15. This permit is a covenant running with the lands and shall be binding upon the Owner/Permittee and any successor or successors, and the interest of any successor shall be subject to each and every condition set out.
16. This development shall comply with the standards, policies, and requirements in effect at the time of approval of this development, including any successor or new policies, financing mechanisms, phasing schedules, plans and ordinances adopted by the City of San Diego.
17. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the

Centre City Planned Development Permit/Site Development Permit 2010-59
Front and Cedar Condominiums

defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

18. No permit for construction, operation, or occupancy of any facility shall be granted nor shall any activity authorized by this permit be conducted on the premises until this Permit is recorded in the OFFICE OF THE COUNTY RECORDER.

Passed and adopted by the City of San Diego Planning Commission on May 19, 2011.

AUTHENTICATED BY THE CENTRE CITY DEVELOPMENT CORPORATION

Lucy Contreras Date
Associate Planner

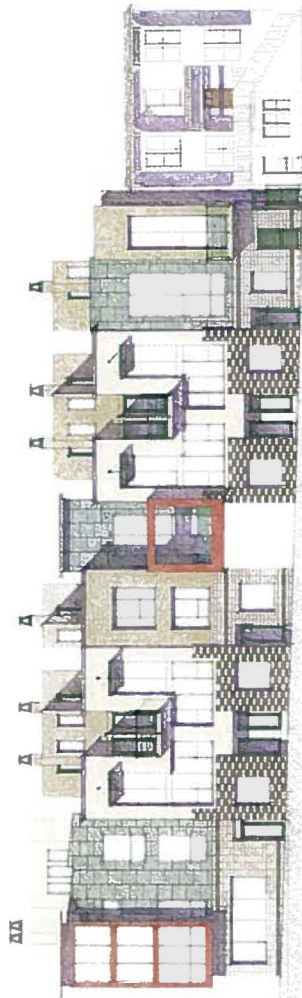
**Note: Notary Acknowledgement
must be attached per Civil Code
Section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Cornerstone Communities, Inc.
Owner/Permitte

By: _____
Ure Kretowicz
General Partner
Cornerstone Communities, Inc.

**Note: Notary Acknowledgement
must be attached per Civil Code
Section 1189 et seq.**



FRONT STREET

FRONT STREET

OWNER:
CORNERSTONE COMMUNITIES
 555 Executive Dr.
 San Diego, CA 92121
 Contact: Alan Robson, Lisa Krawitz
 619 594-7078 FAX: 619 594-7079
 Email: alanr@cornerstonecomm.com, lisk@cornerstonecomm.com

ARCHITECT:
STARCK ARCHITECTURE + PLANNING
 250 West Cedar Street, Suite 100
 San Diego, CA 92101
 Contact: Dan Mulren, Jamie Starck, Jr., Brian Mahonagh
 619 259-7078 FAX: 619 259-7079
 Email: dan@starck.com, jstarck@starck.com, brianm@starck.com

TITLE SHEET
FRONT AND CEDAR
CORNERSTONE COMMUNITIES



Project No.	STARCK ARCHITECTURE AND PLANNING
Revision 10	
Revision 9	
Revision 8	
Revision 7	
Revision 6	
Revision 5	
Revision 4	
Revision 3	
Revision 2	
Revision 1	
Project Name	FRONT AND CEDAR
Original Date	08/09
Sheet	1
Title Sheet	01A

PROJECT / ZONING INFORMATION

AREA ANALYSIS

BUILDING AREAS

PROJECT TEAM

SHEET INDEX

ZONING INFORMATION

Front & Cedar is a proposed 8 unit apartment and historic building...

Table with columns: Description, Equipment, Quantity, Material, etc. detailing building requirements for various components like roof, walls, windows, etc.

Table with columns: AREA, PLAN #, FLOOR, SQUARE FEET. Lists building areas for Plans 1 through 8, including Permitted Level, Total Living Area, Garage, and Deck areas.

Table with columns: PLAN #, FLOOR, SQUARE FEET, TOTAL AREA. Shows area calculations for various plans and floors.

Table with columns: PLAN #, FLOOR, SQUARE FEET, TOTAL AREA. Shows area calculations for various plans and floors, including garage and deck areas.

FAR CALCULATION tables for Plan 1, Plan 2, Plan 3, Plan 4, Plan 5, and Plan 6. Includes sub-sections for FAR Calculation (Historic Structure), FAR Calculation (Residential Townhome), and FAR Calculation (Detached Single-Family).

PROJECT DESCRIPTION. FRONT AND CEDAR PROJECT DESCRIPTION. 1. DEVELOPMENT CONCEPT: Front & Cedar is a proposed 8 unit condominium and historic building...

PROJECT TEAM. CONSULTING ARCHITECTS: STARK ARCHITECTURE AND PLANNING. CONSULTING ENGINEERS: STARK ARCHITECTURE AND PLANNING. CIVIL ENGINEER: STARK ARCHITECTURE AND PLANNING. LANDSCAPE ARCHITECT: STARK ARCHITECTURE AND PLANNING.

SHEET INDEX table listing architectural drawings (Title Sheet, Project Data, Code Data, Site Plan, FAR Calculation, etc.) and civil drawings (Site Plan, Landscape Drawings, etc.).

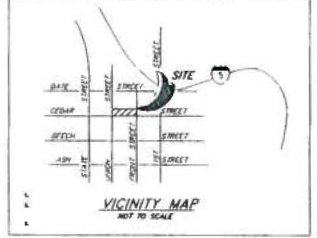
GRADE PLANE ANALYSIS. TABLE 1: GRADE PLANE ANALYSIS. TABLE 2: GRADE PLANE ANALYSIS. Includes columns for Sides, Height, Average Adjusted Grade, and Number of Shades.

PROJECT DATA

FRONT AND CEDAR CORNERSTONE COMMUNITIES



VICINITY MAP



HISTORIC INFORMATION

Historic information text detailing the project's relationship to historic structures and the city's historic context.

FIRE DEPARTMENT NOTES:

Fire department notes regarding fire safety requirements, fire hydrant locations, and other relevant information.

Table with columns: Proposed By, Project Address, Project Name, etc. Providing contact information for Stark Architecture and the project details.

CODE ANALYSIS (RESIDENTIAL)

SDP / PDP FINDINGS
Site Development Permit and Planned
Development Permit (PD/DP)

Minimum height shall be 11 feet for all buildings.
Minimum height shall be 11 feet for all buildings.

Minimum height shall be 11 feet for all buildings.
Minimum height shall be 11 feet for all buildings.

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CODE ANALYSIS (RESIDENTIAL)

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Site Development Permit and Planned
Development Permit (PD/DP)

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CODE ANALYSIS (HISTORIC BLDG)

SDP / PDP FINDINGS
Site Development Permit and Planned
Development Permit (PD/DP)

Minimum height shall be 11 feet for all buildings.
Minimum height shall be 11 feet for all buildings.

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Minimum height shall be 11 feet for all buildings.

CODE ANALYSIS (HISTORIC BLDG)

SDP / PDP FINDINGS
Site Development Permit and Planned
Development Permit (PD/DP)

Minimum height shall be 11 feet for all buildings.
Minimum height shall be 11 feet for all buildings.

Minimum height shall be 11 feet for all buildings.
Minimum height shall be 11 feet for all buildings.

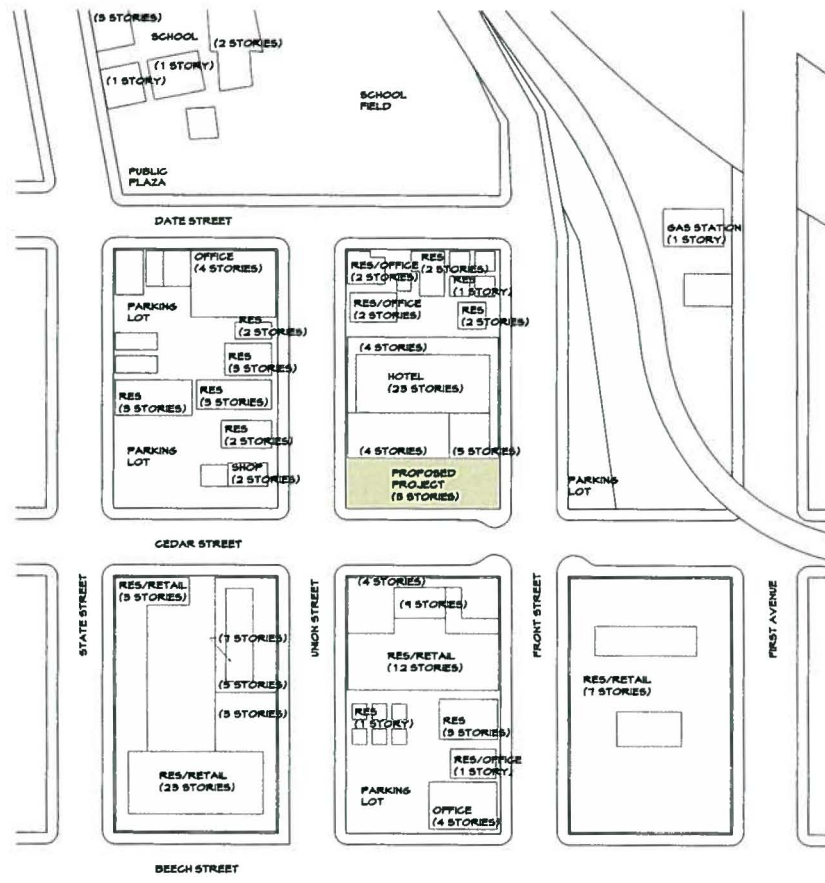
Minimum height shall be 11 feet for all buildings.
Minimum height shall be 11 feet for all buildings.

Minimum height shall be 11 feet for all buildings.
Minimum height shall be 11 feet for all buildings.

CODE ANALYSIS / SDP/PDP FINDINGS
FRONT AND CEDAR
CORNERSTONE COMMUNITIES



Table with project details: Project Name, Address, City, State, Zip, etc.



VICINITY MAP / REGIONAL SITE PLAN

FRONT AND CEDAR
CORNERSTONE COMMUNITIES



200803204
10/19/10

A-04 VICINITY MAP / REGIONAL SITE PLAN	
Project By:	STARCK ARCHITECTURE
Team:	AND PLANNING
Address:	2045 KETNER BLVD SAN DIEGO, CA 92181
Phone:	(619) 298-7070
Project Address:	235 WEST CEDAR STREET SAN DIEGO, CA 92101
Project Name:	FRONT AND CEDAR
Sheet Title:	VICINITY MAP / REGIONAL SITE PLAN
Revision 11	_____
Revision 10	_____
Revision 9	_____
Revision 8	_____
Revision 7	_____
Revision 6	_____
Revision 5	_____
Revision 4	_____
Revision 3	_____
Revision 2	_____
Revision 1	_____
Original Date:	10/19/10
Scale:	1/8" = 1'-0"
City:	_____

4

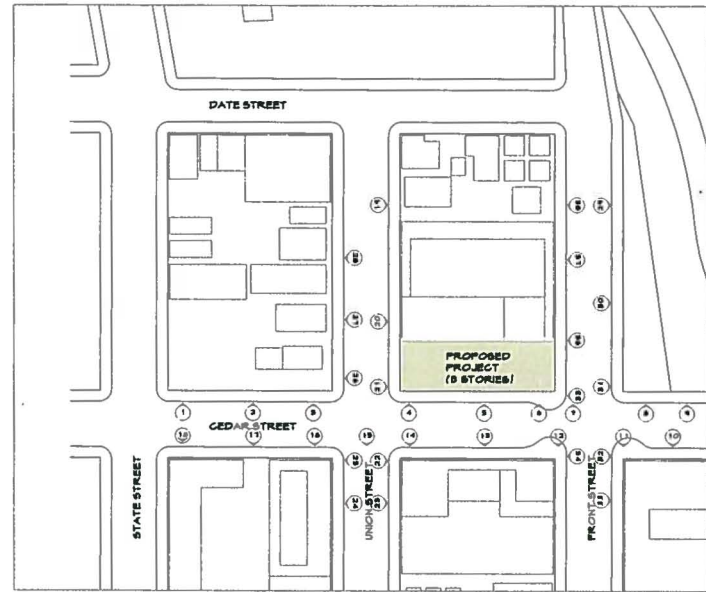


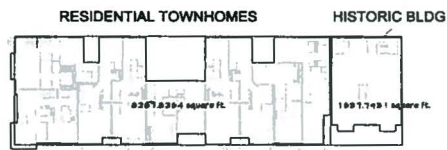
PHOTO SURVEY
**FRONT AND CEDAR
 CORNERSTONE COMMUNITIES**



309662021
 1/16/2016

A-65 PHOTO SURVEY

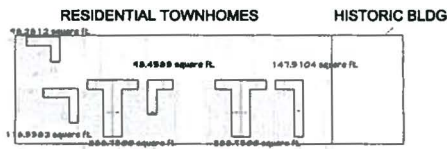
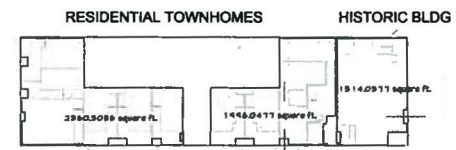
Project By:	STARCK ARCHITECTURE AND PLANNING	Revision 11:	_____
Date:	2016 KETTNER BLVD	Revision 10:	_____
Address:	2045 KETTNER BLVD	Revision 9:	_____
City:	SAN DIEGO, CA 92181	Revision 8:	_____
Phone:	(619) 298-7878	Revision 7:	_____
Project Address:	230 WEST CEDAR STREET	Revision 6:	_____
	SAN DIEGO, CA 92181	Revision 5:	_____
Project Name:	FRONT AND CEDAR	Revision 4:	_____
		Revision 3:	_____
		Revision 2:	_____
		Revision 1:	_____
Sheet No.:	PHOTO SURVEY	Original Date:	1/16/2016
		Drawn:	_____
		IEP:	_____



THIRD FLOOR BUILDING PLAN

3 FIRST FLOOR BUILDING PLAN

1



ROOF DECK LEVEL BUILDING PLAN

4 SECOND FLOOR BUILDING PLAN

2



FAR CALCULATION

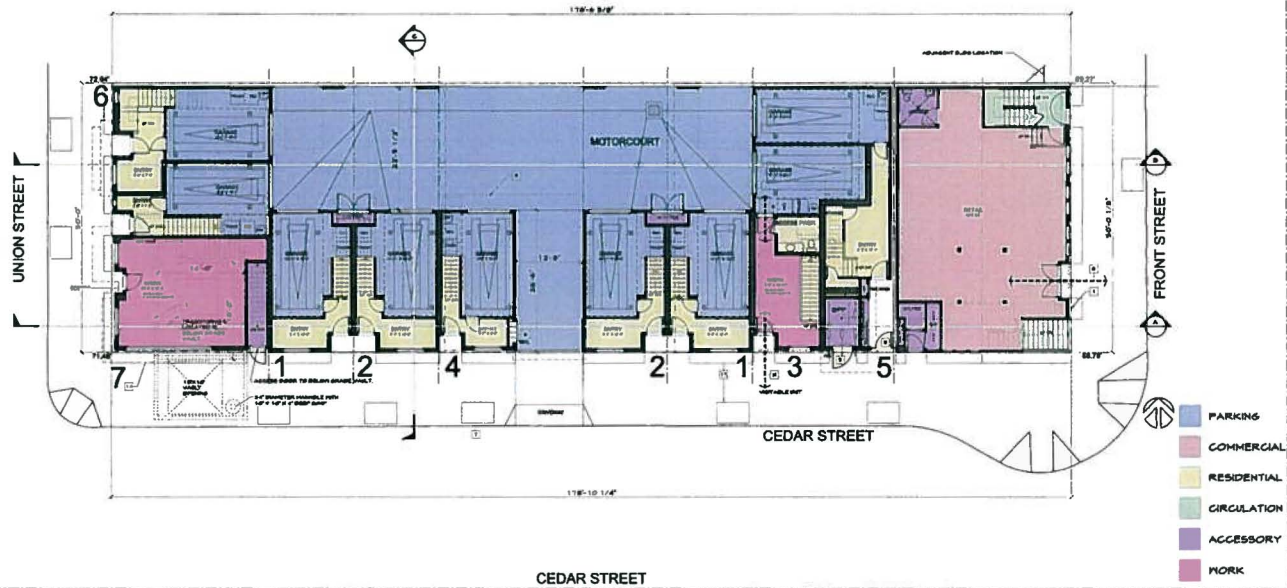
FRONT AND CEDAR
CORNERSTONE COMMUNITIES



USE	AREA (SQ FT)	MAX FAR	MAX FAR
RESIDENTIAL TOWNHOMES	148.4989	1.0	148.4989
HISTORIC BLDG	147.9104	1.0	147.9104
TOTAL	296.4093	1.0	296.4093

Prepared By: STARCK ARCHITECTURE
 AND PLANNING
 2548 KETTER BLVD
 SAN DIEGO, CA 92101
 (619) 238-7070
 220 WEST CEDAR STREET
 SAN DIEGO, CA 92101
 FRONT AND CEDAR
 FAR CALCULATION

Revision 11 _____
 Revision 10 _____
 Revision 9 _____
 Revision 8 _____
 Revision 7 _____
 Revision 6 _____
 Revision 5 _____
 Revision 4 _____
 Revision 3 _____
 Revision 2 _____
 Revision 1 _____
 Original Date: 10/18/16
 Sheet: _____
 OF: 6



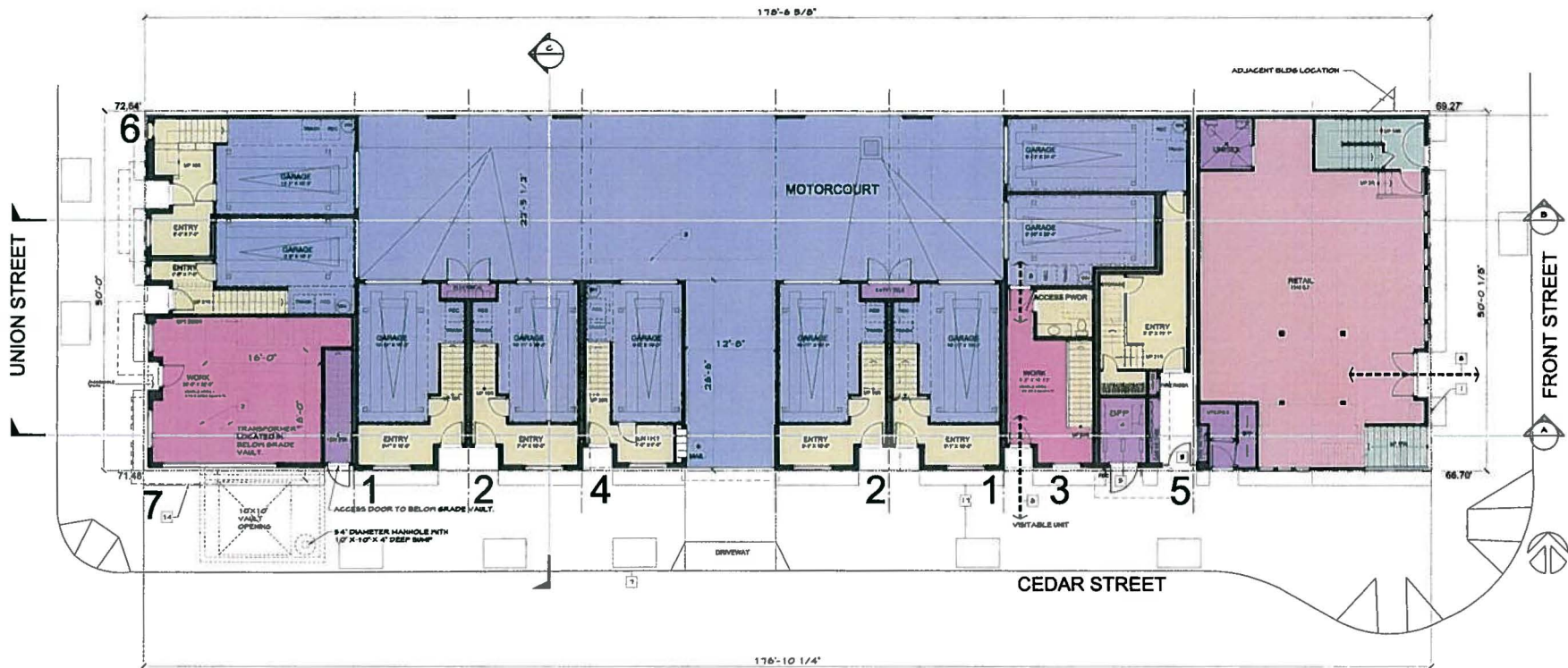
FIRST FLOOR BUILDING PLAN WITH CONTEXT

FRONT AND CEDAR CORNERSTONE COMMUNITIES



- PLAN KEYNOTES** NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS PLAN.
- 1 SITE PROPERTY LINE - SEE CIVL PLANS.
 - 2 EDGE OF TRANSFORMER ROOM BELOW.
 - 3 OUTLINE OF FLOOR ABOVE.
 - 4 WATER CONNECTIONS / LOCATION OF BACKFLOW PREVENTORS.
 - 5 METAL GATE.
 - 6 MAILBOX LOCATION.
 - 7 MAIL LOADING AREA.
 - 8 PEDESTRIAN ACCESS PATH.
 - 9 PLASTER PARAPET.
 - 10 BUILT-UP ROOFING.
 - 11 ROOF CRACKET / CROSS SLOPE.
 - 12 ROOF SCUPPER / OVERFLOW SCUPPER / DOWNSPOUT.
 - 13 MECHANICAL EQUIPMENT.
 - 14 PERMITTED ARCHITECTURAL PROJECTIONS.
 - A) OPEN PERIOD PROJECTION: 2'-0" BEYOND PROPERTY LINE AT FRONT ELEVATION.
 - 15 EXISTING FIRE HYDRANT (APPROXIMATE LOCATION).
 - 16 ON-STREET PARKING SPACES (XX TOTAL).
 - 17 PLANTERS - SEE LANDSCAPE / CIVL PLANS.

Prepared By:	Stanck Architecture	Checked By:	
Name:	AND PLANNING	Reviewed By:	
Address:	2045 KETTER BLVD	Reviewed By:	
	SAN DIEGO, CA 92101	Reviewed By:	
Phone:	(619) 298-7878	Reviewed By:	
Project Address:	230 WEST CEDAR STREET	Reviewed By:	
	SAN DIEGO, CA 92101	Reviewed By:	
Project Name:	FRONT AND CEDAR	Project No.:	1308170
Sheet No.:		Original Date:	10/18/19
		Drawn By:	
		Date:	



FIRST FLOOR BUILDING PLAN

FRONT AND CEDAR
CORNERSTONE COMMUNITIES

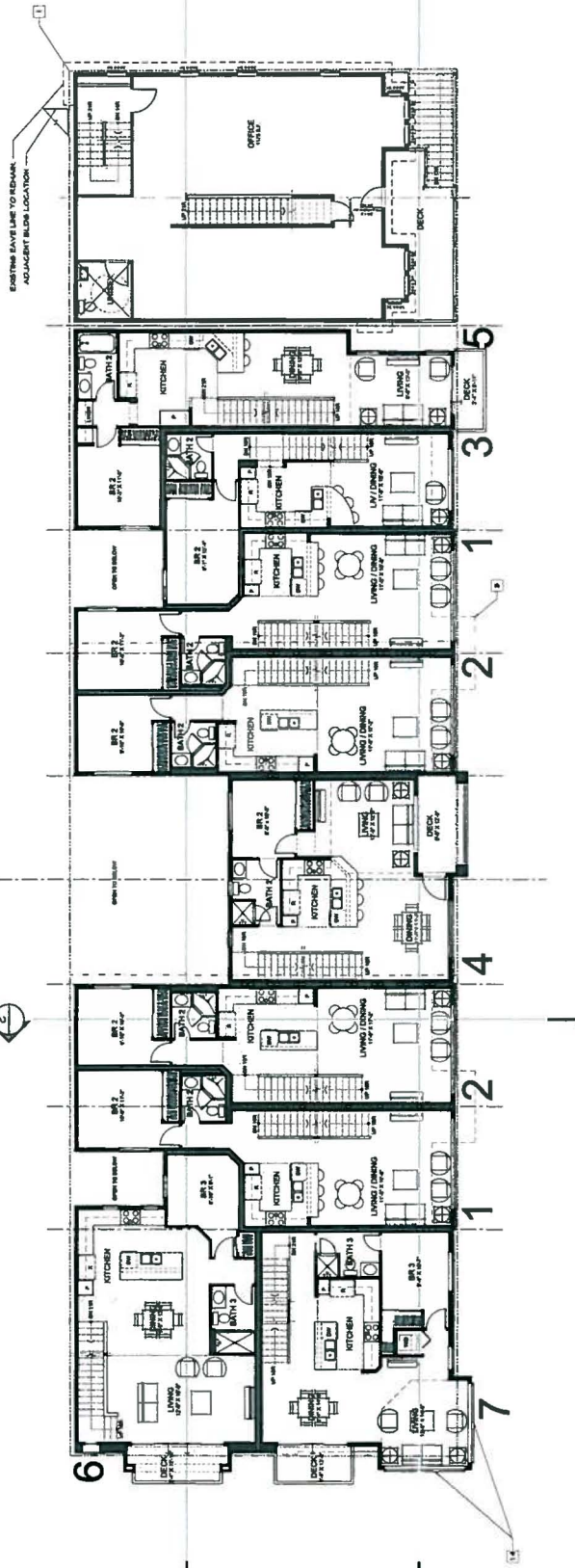
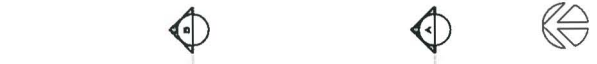


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1306478

PLAN KEYNOTES NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS PLAN.

- 1 SITE PROPERTY LINE - SEE CIVL PLANS.
- 2 EDGE OF TRANSFORMER ROOM BELOW.
- 3 OUTLINE OF FLOOR ABOVE.
- 4 WATER CONNECTIONS / LOCATION OF BACKFLOW PREVENTORS.
- 5 METAL GATE.
- 6 MAILBOX LOCATION.
- 7 MAIL LOADING AREA.
- 8 PEDESTRIAN ACCESS PATH.
- 9 PLASTER PARAPET.
- 10 BUILT-UP ROOFING.
- 11 ROOF CRACKET / CROSS SLOPE.
- 12 ROOF SCUPPER / OVERFLOW SCUPPER / DOWNSPOUT.
- 13 MECHANICAL EQUIPMENT.
- 14 PERMITTED ARCHITECTURAL PROJECTIONS:
A) ORIEL WINDOW PROJECTION 3'-0" BEYOND PROPERTY LINE AT FRONT PER SON.
- 15 EXISTING FIRE HYDRANT (APPROXIMATE LOCATION).
- 16 ON-STREET PARKING SPACES (SEE TOTAL).
- 17 PLANTERS - SEE LANDSCAPE / CIVL PLANS.

Project No.	STARCK ARCHITECTURE	Version	
Name	AND PLANNING	Revision	10
Address	2045 KETTNER BLVD	Revision	9
	SAN DIEGO, CA 92161	Revision	7
Phone	(619) 288-7676	Revision	6
Project Address	230 WEST CEDAR STREET	Revision	5
	SAN DIEGO, CA 92101	Revision	4
Project Name	FRONT AND CEDAR	Revision	3
Sheet No.	1300 V13	Revision	2
Sheet Title	FIRST FLOOR BUILDING PLAN	Revision	1
Date	10/10/10	Drawn By	JKA
		Checked By	JKA



PLAN KEYNOTES NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS PLAN.

- 1. SITE PROPERTY LINE - SEE GDL PLAN
- 2. EDGE OF TRANSFORMER ROOM BELOW
- 3. OUTLINE OF FLOOR ABOVE
- 4. WATER CONNECTIONS / LOCATION OF BATHROOM PREVENTIONS
- 5. METAL SATE
- 6. HALLWAY LOCATION
- 7. HALL LANDING AREA
- 8. PEDESTRIAN ACCESS PATH
- 9. PLASTER PARAPET
- 10. BUILDUP ROOFING
- 11. ROOF CASCKET / GABLE SLOPE
- 12. ROOF SCUPPER / OVERLAYS SCUPPER / DOWNPOUT
- 13. MECHANICAL EQUIPMENT
- 14. PERMITTED ARCHITECTURAL PROJECTIONS FROM PROPERTY LINE AT PLANT FLOOR GDN.
- 15. EXISTING TREE IMPACT (APPROXIMATE LOCATION)
- 16. ON-STREET PARKING SPACES (SEE TOTAL)
- 17. PLUMBING - SEE LAYOUTS / GDL PLAN

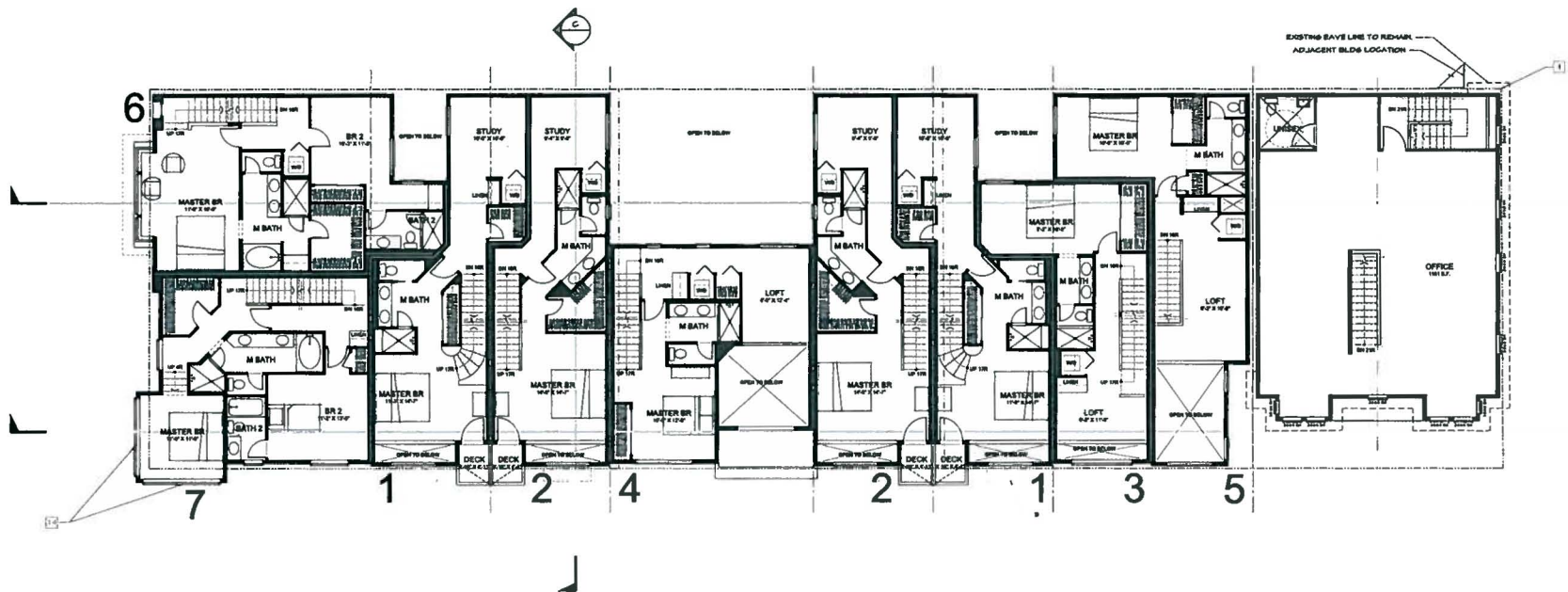
SECOND FLOOR BUILDING PLAN

**FRONT AND CEDAR
CORNERSTONE COMMUNITIES**

2017-17C



Project No.	_____
Revision 1	_____
Revision 2	_____
Revision 3	_____
Revision 4	_____
Revision 5	_____
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Revision 10	_____
Revision 11	_____
Revision 12	_____
Revision 13	_____
Revision 14	_____
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Revision 16	_____
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Revision 49	_____
Revision 50	_____



THIRD FLOOR BUILDING PLAN
FRONT AND CEDAR
CORNERSTONE COMMUNITIES

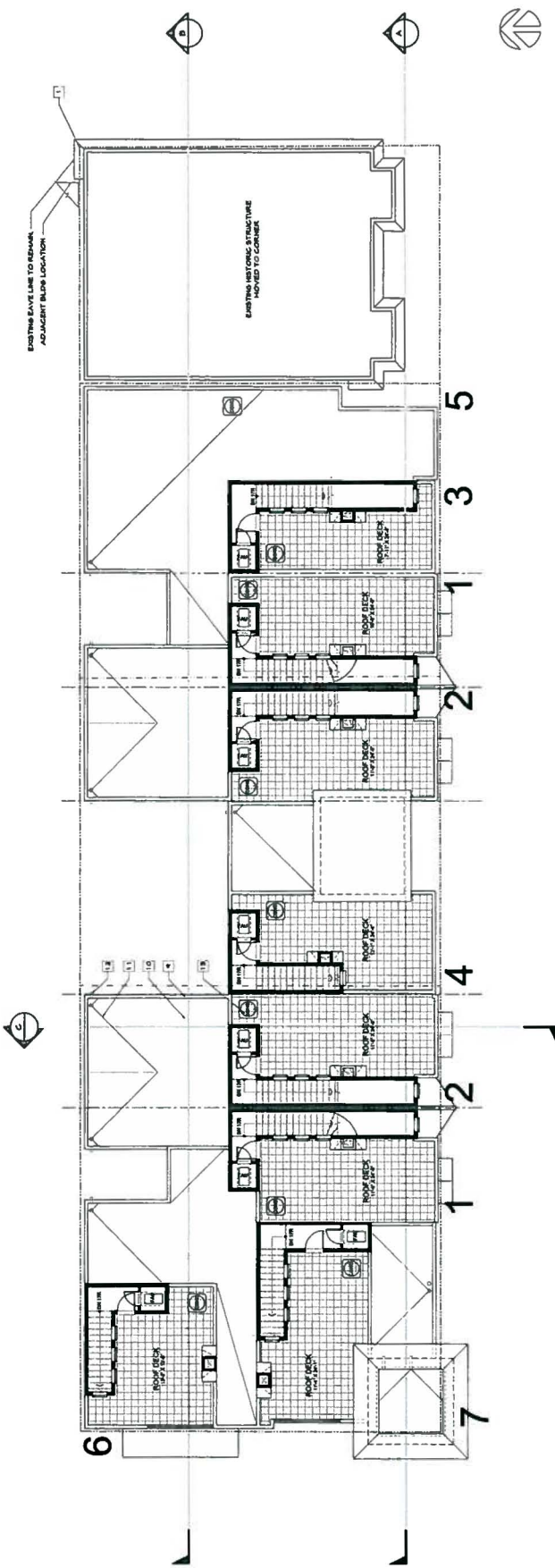


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12/10/16

PLAN KEYNOTES NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS PLAN.

- 1 SITE PROPERTY LINE - SEE CIVIL PLANS.
- 2 EDGE OF TRANSFORMER ROOM BELOW.
- 3 OUTLINE OF FLOOR ABOVE.
- 4 WATER CONNECTIONS / LOCATION OF BACKFLOW PREVENTORS.
- 5 METAL GATE.
- 6 MAILBOX LOCATION.
- 7 MAIL LOADING AREA.
- 8 PEDESTRIAN ACCESS PATH.
- 9 PLASTER PARAPET.
- 10 BUILT-UP ROOFING.
- 11 ROOF GACKET / GROSS SLOPE.
- 12 ROOF SCUPPER / OVERFLOW SCUPPER / DOWNSPOUT.
- 13 MECHANICAL EQUIPMENT.
- 14 PERMITTED ARCHITECTURAL PROJECTIONS:
 a. CRUEL PROTRUSION PROJECTION: 3'-0" BEYOND PROPERTY LINE AT FRONT PER SIDE.
- 15 EXISTING FIRE HYDRANT (APPROXIMATE LOCATION).
- 16 ON-STREET PARKING SPACES (OK TOTAL).
- 17 PLANTERS - SEE LANDSCAPE / CIVIL PLANS.

Prepared By:	Starck
Drawn By:	Starck
Checked By:	Starck
Reviewed By:	Starck
Project Name:	FRONT AND CEDAR
Project No.:	1210 1/15
Project Date:	10/18/16
Sheet No.:	10



ROOF LEVEL BUILDING PLAN

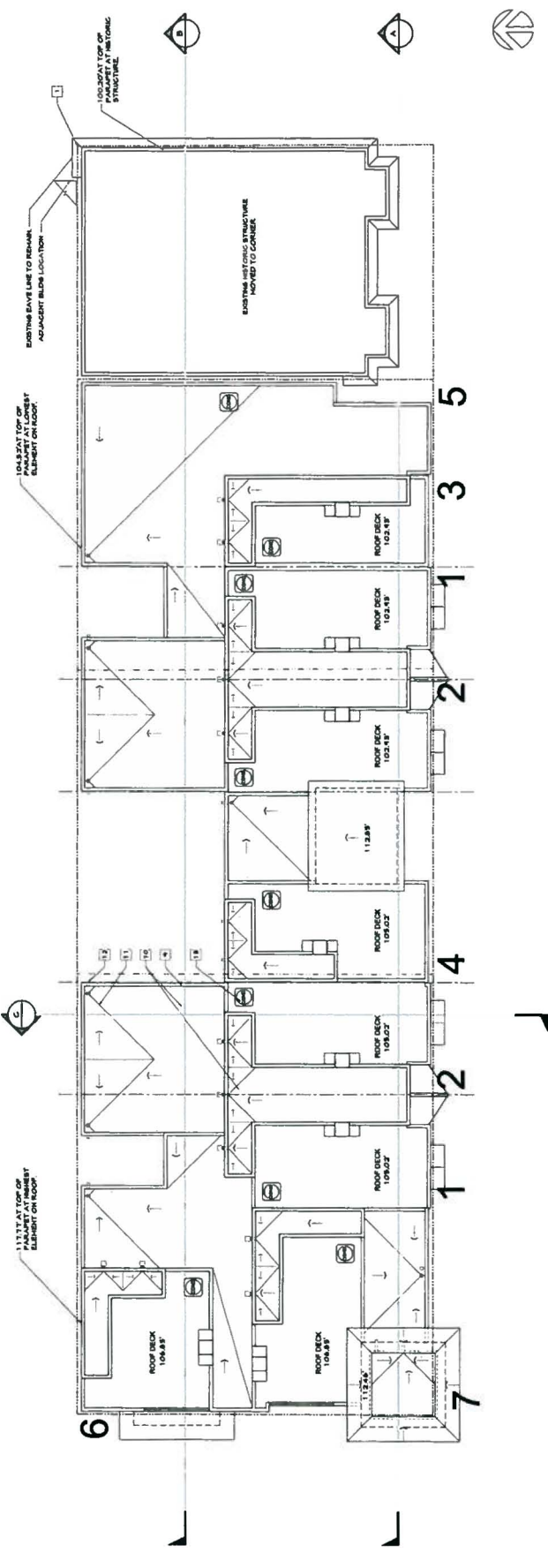
FRONT AND CEDAR
CORNERSTONE COMMUNITIES



PLAN KEYNOTES

- NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS PLAN
1. SITE PROPERTY LINE - SEE CIVIL PLANS
 2. EDGE OF TRANSFORMER ROOM BELOW
 3. OUTLINE OF FLOOR ABOVE
 4. PLASTER CONNECTION / LOCATION OF BACKLASH PREVENTORS
 5. METAL GATE
 6. MECHANICAL EQUIPMENT
 7. HULLBORN LOCATION
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Revision #	Description	Date
1	ISSUE FOR PERMIT	10/15/2020
2	REVISIONS TO PERMIT	10/20/2020
3	REVISIONS TO PERMIT	10/25/2020
4	REVISIONS TO PERMIT	11/05/2020
5	REVISIONS TO PERMIT	11/15/2020
6	REVISIONS TO PERMIT	11/25/2020
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8	REVISIONS TO PERMIT	12/15/2020
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100	REVISIONS TO PERMIT	07/05/2023



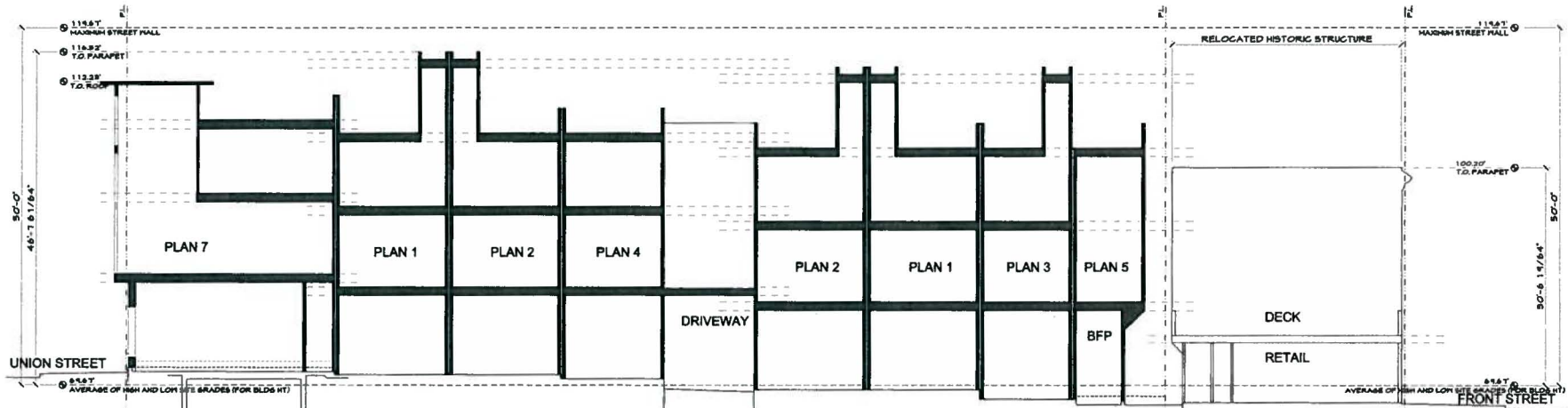
PLAN KEYNOTES NOTE: NOT ALL KEYNOTES MAY APPLY TO THIS PLAN

- 1 SITE PROPERTY LINE - SEE CIVIL PLAN
- 2 EDGE OF TRANSFORMER ROOM BELOW
- 3 OUTLINE OF FLOOR ABOVE
- 4 WATER CONNECTIONS / LOCATION OF BACKFLOW PREVENTORS
- 5 METAL GATE
- 6 HALLWAY LOCATION
- 7 HALL LANDING AREA
- 8 PEDESTRIAN ACCESS PATH
- 9 PLASTER FINISH
- 10 8" x 16" ROOFING
- 11 ROOF GUTTER / GROSS SLOPE
- 12 ROOF GUTTER / OVERFLOW SCUPPER / DOWNSPOUT
- 13 MECHANICAL EQUIPMENT
- 14 PERMITTED ARCHITECTURAL PROJECTIONS
- 15 PERMITTED PERIMETER PROJECTION 3'-0" BEYOND PROPERTY LINE AT PLANT FLOOR
- 16 EXISTING WBS HYDRANT (APPROXIMATE LOCATION)
- 17 ON-STREET PARKING SPACES (SEE TOTAL)
- 18 PLANTERS - SEE LANDSCAPE / CIVIL PLAN

ROOF PLAN
FRONT AND CEDAR
CORNERSTONE COMMUNITIES



Prepared By:	STANCK ARCHITECTURE
Drawn By:	JAS PLANNING
Project Name:	2041 BETTNER BLVD
Project Address:	SAN DIEGO, CA 92101
Project Phone:	619 294-2979
Project Email:	
Project Location:	2041 WEST CEDAR STREET
Project City:	SAN DIEGO, CA 92101
Project State:	CA
Project Zip:	92101
Project Year:	2019
Project Date:	10/18/19
Project No.:	190199
Project Title:	ROOF PLAN
Sheet No.:	12

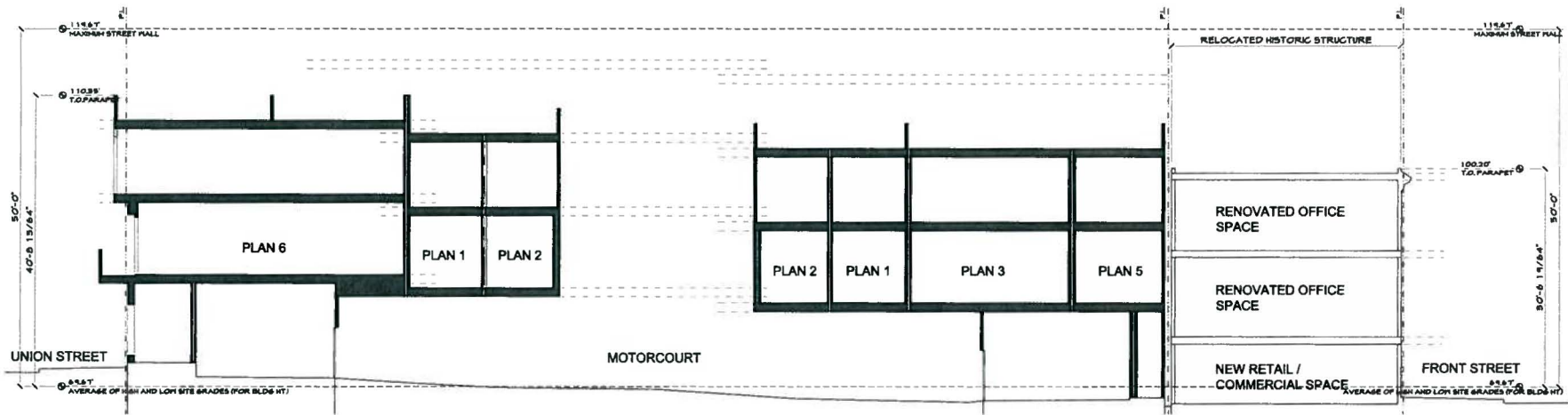


A LONGITUDINAL SECTION

BUILDING SECTIONS
FRONT AND CEDAR
 CORNERSTONE COMMUNITIES



Prepared By:	STARCK ARCHITECTURE	Revision:	
Typed:	AND PLANNING	Revision:	
Address:	2048 KETTNER BLVD	Revision:	
	SAN DIEGO, CA 92101	Revision:	
Phone:	(619) 298-7676	Revision:	
Project Address:	238 WEST CEDAR STREET	Revision:	
	SAN DIEGO, CA 92101	Revision:	
Project Name:	FRONT AND CEDAR	Revision:	12/29/10
Sheet:	BUILDING SECTIONS	Revision:	10/18/10
Scale:		Sheet:	
		Drawn:	
		Checked:	



B LONGITUDINAL SECTION THROUGH MOTORCOURT

BUILDING SECTIONS

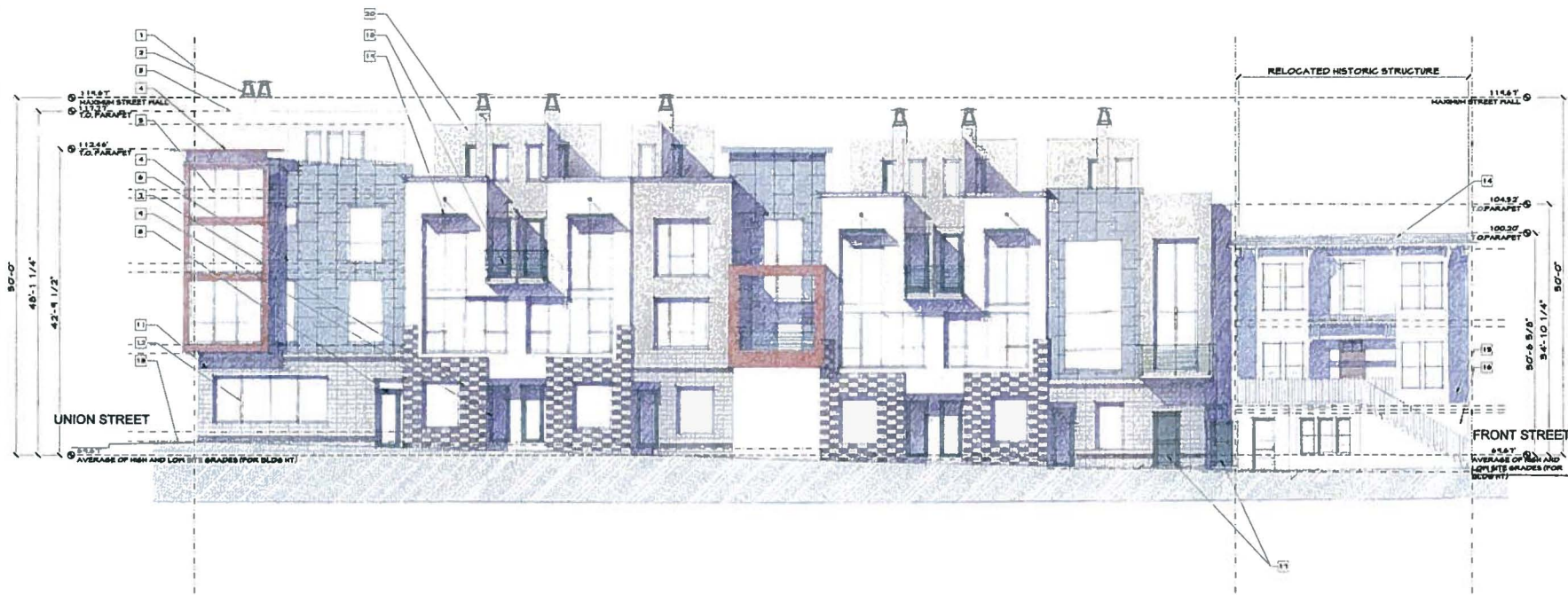
**FRONT AND CEDAR
CORNERSTONE COMMUNITIES**

3/16"=1'-0"



2008222222.1
12061706

Prepared By:	STARCK ARCHITECTURE	Section 11:	
Type:	AND PLANNING	Section 12:	
Address:	2945 KETTNER BLVD	Section 13:	
	SAN DIEGO, CA 92101	Section 14:	
Phone:	(619) 298-7878	Section 15:	
Project Address:	230 WEST CEDAR STREET	Section 16:	
	SAN DIEGO, CA 92101	Section 17:	
Project Name:	FRONT AND CEDAR	Section 18:	12061706
Sheet Title:	BUILDING SECTIONS	Drawn Date:	10/18/10
		Sheet:	
		Of:	



A SOUTH ELEVATION

EXTERIOR ELEVATIONS

FRONT AND CEDAR
CORNERSTONE COMMUNITIES

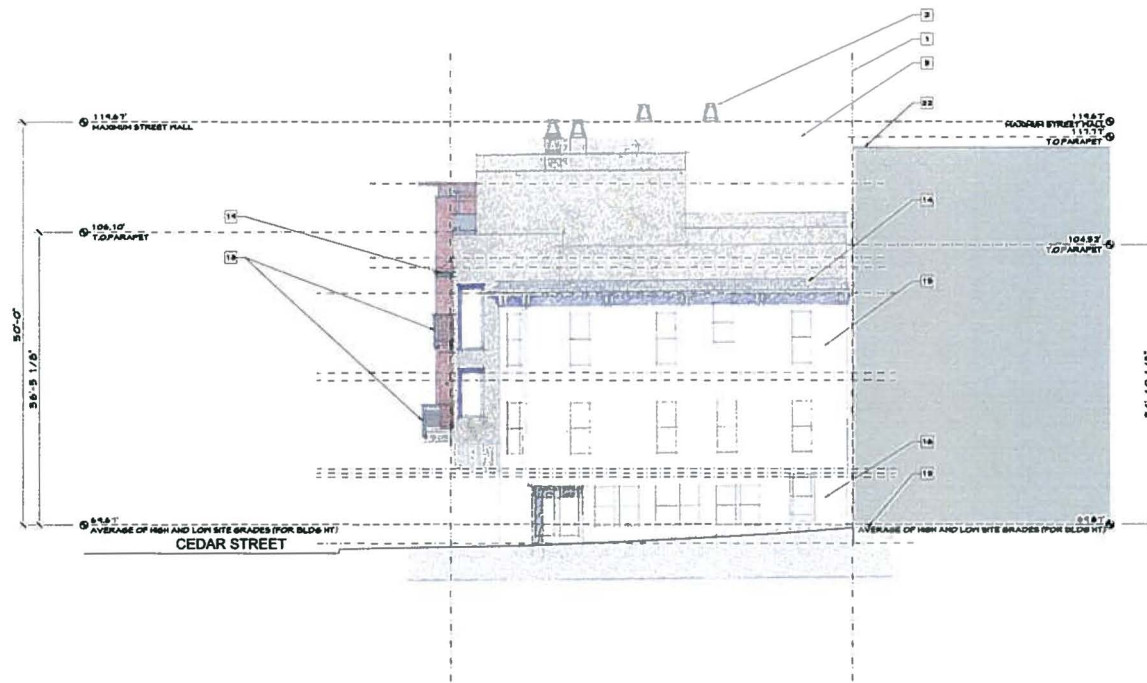


200833028
134676

EXTERIOR ELEVATION KEYNOTES

- 1 SITE PREPARATION LANE
- 2 SAND FINISHED METAL CORNERPOST AND
- 3 PLASTER FINISH
- 4 PAINTED METAL
- 5 METAL FINISHES / SLATED GLASS DOORS
- 6 METAL GLAZING
- 7 BRICK CLADDING
- 8 PAINTED METAL GUTTER DOWN
- 9 PAINTED METAL HORIZONTAL DOWN
- 10 METAL BRICKWORK, SAND-CAST BRICK / METAL
- 11 BRICKWORK BLOCK
- 12 PAINTED METAL GUTTER DOWN
- 13 PAINTED METAL GUTTER DOWN
- 14 PAINTED METAL GUTTER DOWN
- 15 PAINTED METAL GUTTER DOWN
- 16 PAINTED METAL GUTTER DOWN
- 17 PAINTED METAL GUTTER DOWN
- 18 PAINTED METAL GUTTER DOWN
- 19 PAINTED METAL GUTTER DOWN
- 20 PAINTED METAL GUTTER DOWN
- 21 PLASTER FINISH
- 22 METAL FINISH

Prepared By	STARCH ARCHITECTURE	Scale	AS SHOWN
Drawn By	AND PLANNING	Revision	10
Address	2345 KETTER BLVD	Revision	8
	SAN DIEGO, CA 92101	Revision	7
Phone	(619) 288-7676	Revision	6
Project Address	238 WEST CEDAR STREET	Revision	4
	SAN DIEGO, CA 92101	Revision	3
Project Name	FRONT AND CEDAR	Revision	2
Sheet Title	EXTERIOR ELEVATIONS	Drawn Date	12/21/10
		Drawn By	16



B EAST ELEVATION

EXTERIOR ELEVATIONS

**FRONT AND CEDAR
CORNERSTONE COMMUNITIES**

3/18/14-01

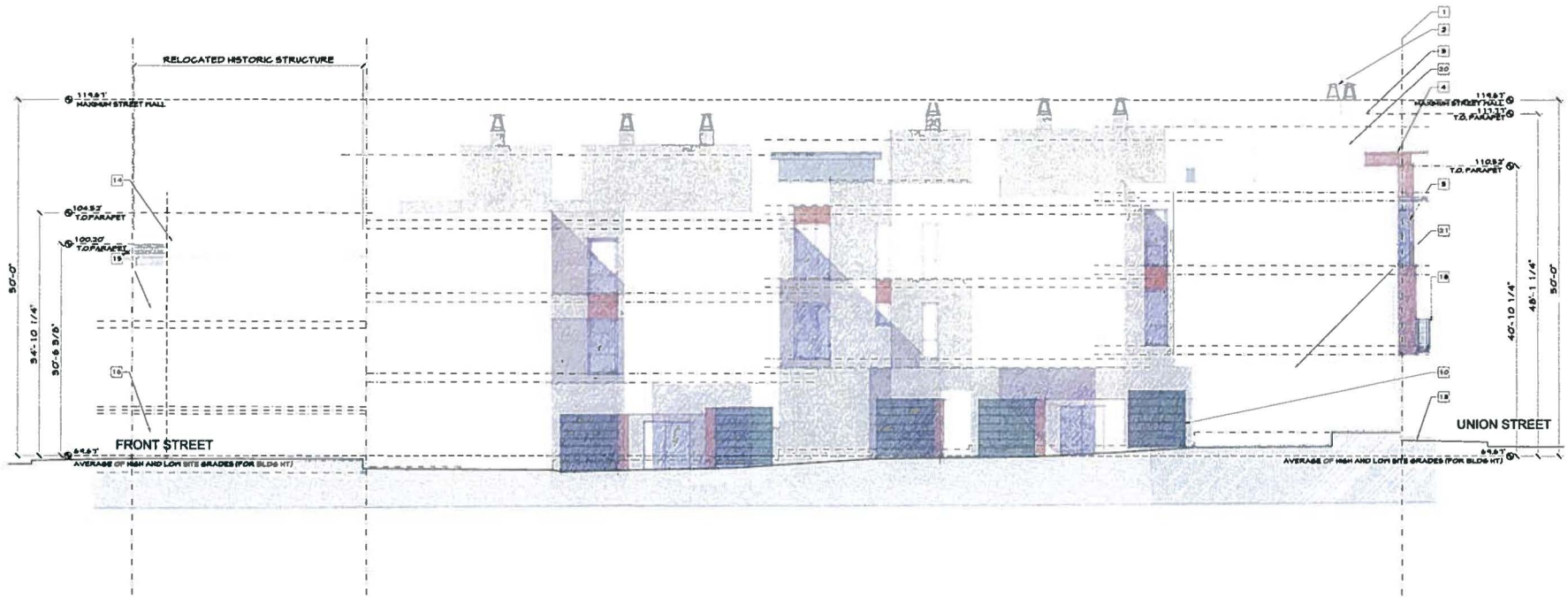


20080301
130614

EXTERIOR ELEVATION KEYNOTES

- 01 STU PLASTER/TYPE LIME
- 02 POLYURETHANE METAL ROOFING CURT.
- 03 PLASTER PARAPET
- 04 PAINTED METAL
- 05 METH. ROOFING / RAINWATER DRAINAGE
- 06 METAL CLADDING
- 07 BRICK ASBEST.
- 08 PAINTED METAL ENTRY DOOR
- 09 PAINTED METAL WINDOW SILL
- 10 METAL SIDING
- 11 METAL SIDING, GROUND COVER / UNDER LAY
- 12 CERAMIC TILE
- 13 PAINTED METAL SUBMERGED ROOFING SYSTEM
- 14 BRICK COURSE
- 15 BRICK COURSE WITH TYPICAL PAINT/STAIN
- 16 BRICK COURSE, ROOF EDGE
- 17 METH. ROOFING
- 18 PAINTED METAL, GATE
- 19 PAINTED METAL, GARAGE
- 20 PAINTED METAL, ARCH
- 21 METH. ROOFING / RAINWATER DRAINAGE
- 22 PLASTER EXPANDED JOINT
- 23 BUTYLE OF ADJACENT BUILDING

Prepared By	Starck	Scale	
Client	STARCK ARCHITECTURE AND PLANNING	Key plan	10
Address	2545 KETTER BLVD SAN DIEGO, CA 92101	Scale of 1	
Phone	(619) 596-7678	Scale of 2	
Project Name	235 WEST CEDAR STREET SAN DIEGO, CA 92101	Scale of 3	
Project No.	FRONT AND CEDAR	Scale of 4	
Sheet No.	EXTERIOR ELEVATIONS	Scale of 5	
Scale	1/8" = 1'-0"	Scale of 6	
Date	12/18/14	Scale of 7	
Drawn By		Scale of 8	
Checked By		Scale of 9	
Scale		Scale of 10	



C NORTH ELEVATION

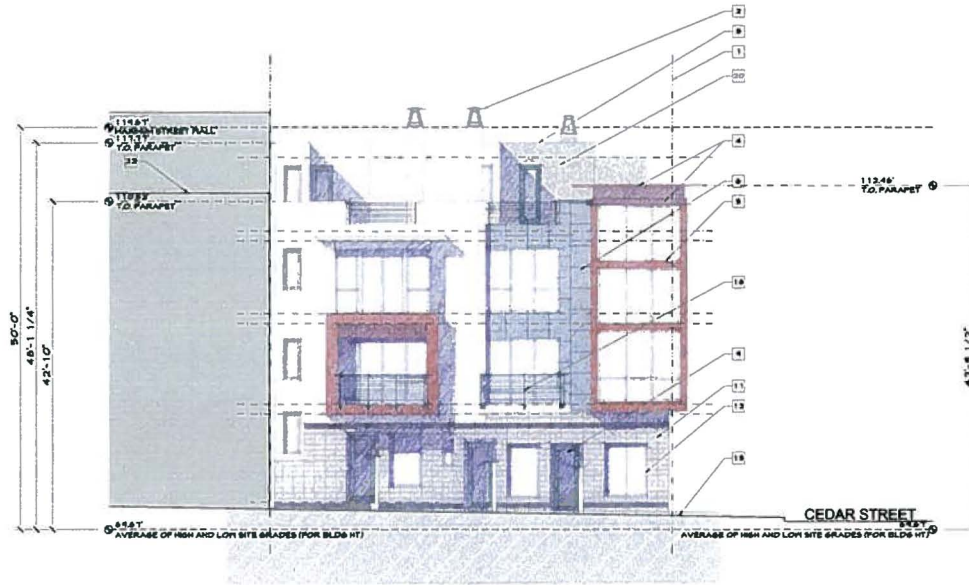
EXTERIOR ELEVATIONS
**FRONT AND CEDAR
 CORNERSTONE COMMUNITIES**
 3/16"=1'-0"



EXTERIOR ELEVATION KEYNOTES

- 1. SFE FINISHES LINE
- 2. GALVANNEED METAL GUTTER CAP
- 3. PLASTER FINISH
- 4. PAINTED METAL
- 5. VINYL SIDING / ALUMINUM CLADDING
- 6. METAL SIDING
- 7. BRICK ANCHOR
- 8. PAINTED METAL GUTTER DOWN
- 9. PAINTED METAL FINISH DOWN
- 10. METAL SIDING DOWN TO HORIZ. FIN.
- 11. CONCRETE BLOCK
- 12. PAINTED METAL STAINLESS STEEL ROOF SYSTEM
- 13. FINISH GRADE
- 14. EXISTING HISTORIC STRUCTURE RELOCATION
- 15. METALLIC ROOF PANEL
- 16. VERTICAL CORRUGATED METAL
- 17. PAINTED METAL SIDING
- 18. PAINTED METAL SIDING
- 19. PAINTED METAL SIDING
- 20. METALLIC CORRUGATED PLASTER FINISH
- 21. PLASTER EXPOSED JOINT
- 22. FINISH OF ADJACENT BUILDING

Prepared By:	STARCK ARCHITECTURE	Revision #:	
Name:	AND PLANNING	Revision #:	
Address:	2045 KETTER BLVD	Revision #:	
	SAN DIEGO, CA 92101	Revision #:	
Phone:	(619) 286-7978	Revision #:	
Project Address:	230 WEST CEDAR STREET	Revision #:	
	SAN DIEGO, CA 92101	Revision #:	
Project Name:	FRONT AND CEDAR	Revision #:	1309/110
Sheet Title:	EXTERIOR ELEVATIONS	Revision #:	18/18/19



D WEST ELEVATION

EXTERIOR ELEVATIONS

FRONT AND CEDAR
CORNERSTONE COMMUNITIES

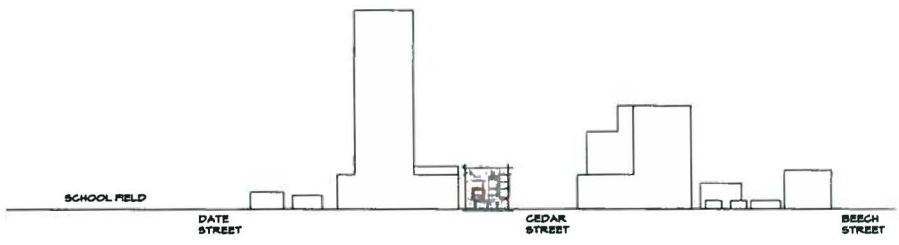


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12/1/19

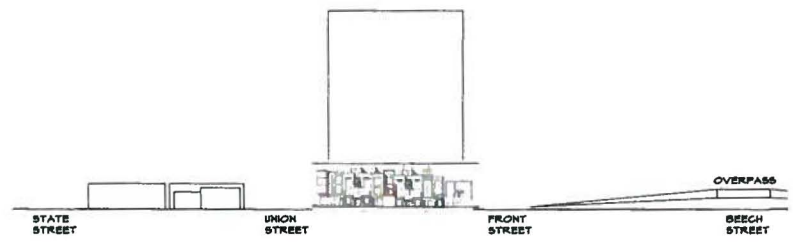
EXTERIOR ELEVATION KEYNOTES

1. SITE PREPARED PLUMB
2. GALVANNEED METAL ROOFING CAP
3. PLASTER FINISH
4. PAINTED METAL
5. WOOD FINISHES / SLIDING GLASS DOORS
6. METAL SLIDING
7. BRICK ACCENT
8. PAINTED METAL EXTERIOR FINISH
9. PAINTED METAL FINISH DOORS
10. METAL SECTIONAL GARAGE DOORS / DOOR FIN
11. ASPH/FLT SLAB
12. PAINTED METAL / TRANSPARENT ROOFING SYSTEM
13. FLOOR FINISH
14. CONCRETE VERTICAL STRUCTURE FINISHES
15. METAL PANELS
16. PAINTED METAL DOORS
17. VERTICAL ROOF FINISH
18. PAINTED METAL WALL
19. PAINTED METAL GARAGE
20. PAINTED METAL DOORS
21. METAL GLASS DOOR FINISHES
22. PLASTER EXTERIOR FINISH
23. FINISH OF ADJACENT BUILDING

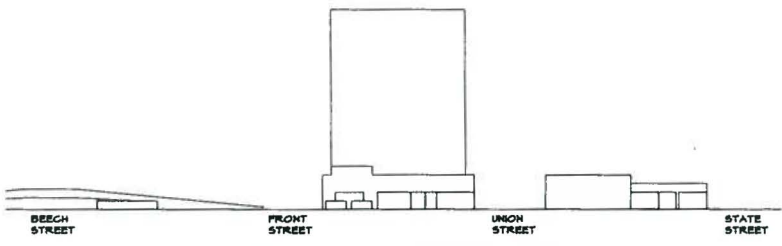
Prepared By:	STARCK ARCHITECTURE	Revision:	
Name:	AND PLANNING	Revision:	1E
Address:	2545 KETTER BLVD	Revision:	9
	SAN DIEGO, CA 92101	Revision:	3
Phone #:	(619) 298-7870	Revision:	6
Project Address:	230 WEST CEDAR STREET	Revision:	4
	SAN DIEGO, CA 92101	Revision:	5
Project Name:	FRONT AND CEDAR	Revision:	12/1/19
Sheet No.:	101/170	Revision:	101/170
Drawn By:		Scale:	
Checked By:		Date:	
Project Name:	EXTERIOR ELEVATIONS	Scale:	



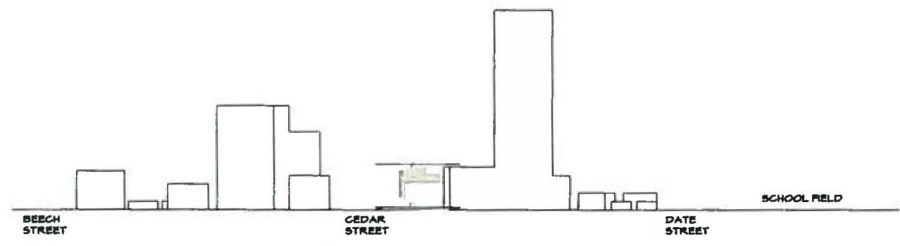
C WEST ELEVATION (UNION STREET)



A NORTH ELEVATION (CEDAR STREET)



D SOUTH ELEVATION (DATE STREET)



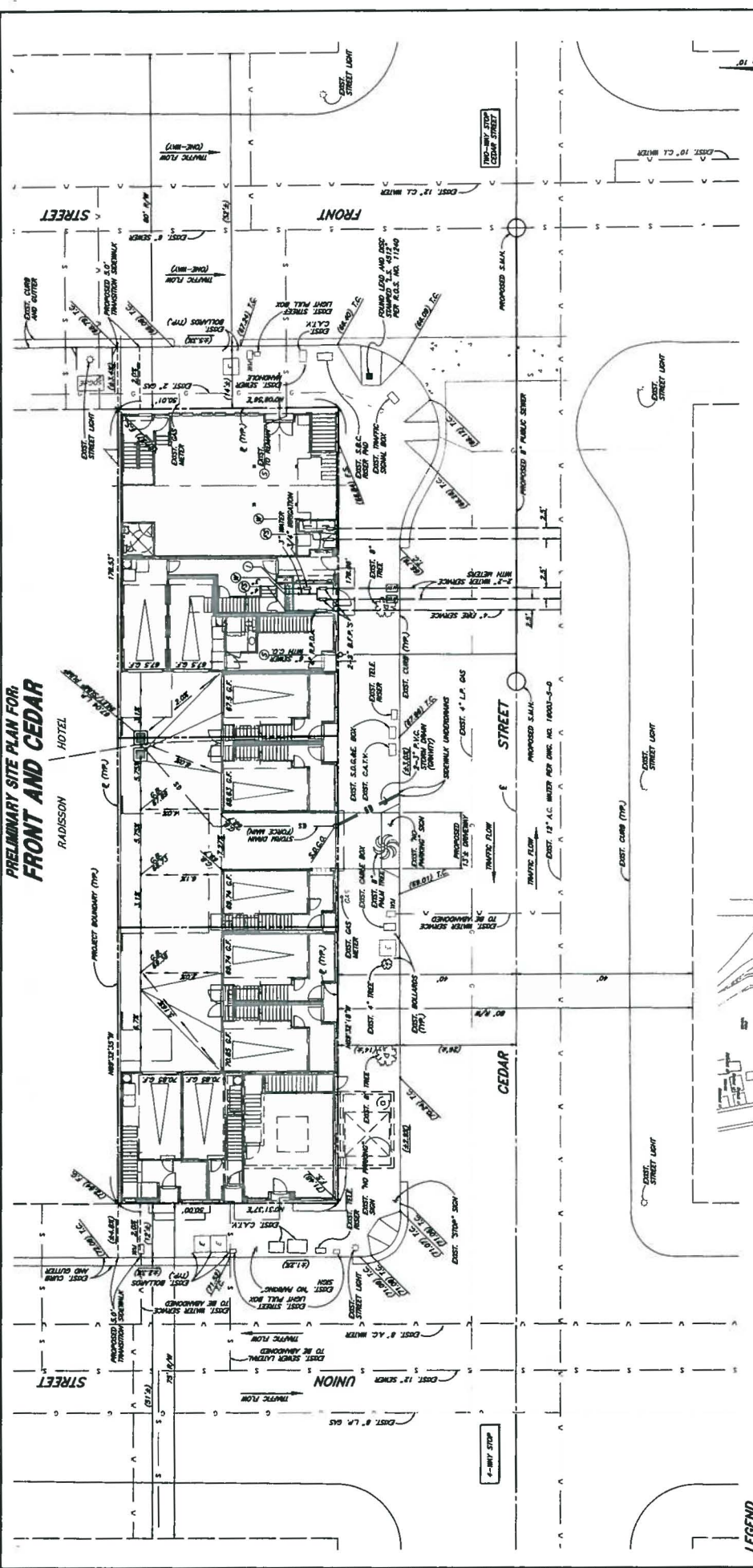
B EAST ELEVATION (FRONT STREET)

VICINITY ELEVATIONS
**FRONT AND CEDAR
 CORNERSTONE COMMUNITIES**
 1"=32'



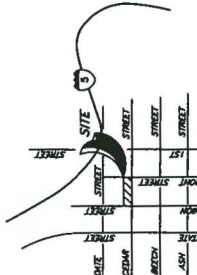
A-18 VICINITY ELEVATIONS	
Prepared By:	Revision 11 _____
Client:	Revision 10 _____
Project Name:	Revision 9 _____
Address:	Revision 8 _____
Phone #:	Revision 7 _____
Project Address:	Revision 6 _____
230 WEST CEDAR STREET	Revision 5 _____
SAN DIEGO, CA 92101	Revision 4 _____
	Revision 3 _____
	Revision 2 _____
	Revision 1 _____
Project Name:	Project Date: 10/18/10
FRONT AND CEDAR	Sheet: _____
Drawn By:	Scale: _____
VICINITY ELEVATIONS	DATE: _____

**PRELIMINARY SITE PLAN FOR
FRONT AND CEDAR**



LEGEND

SYMBOL	DESCRIPTION
(Symbol: Dashed line)	PROJECT BOUNDARY
(Symbol: Solid line)	ADJ. CENTERLINE
(Symbol: Dotted line)	EXISTING CURB AND GUTTER
(Symbol: Dashed line with dots)	EXISTING PEDESTRIAN WALK
(Symbol: Dotted line with dots)	EXISTING SEWER
(Symbol: Dotted line with dots)	EXISTING WATER
(Symbol: Dotted line with dots)	EXISTING WATER METER
(Symbol: Dotted line with dots)	EXISTING GAS
(Symbol: Dotted line with dots)	EXISTING STREET LIGHT
(Symbol: Dotted line with dots)	EXISTING ELECTRICAL TRANSFORMER AND
(Symbol: Dotted line with dots)	EXISTING S.G.A.M.E. GAS VALVE



REGIONAL VICINITY MAP
NOT TO SCALE

SB&O
PLANNING ENGINEERING SURVEYING
1000 N. 10th St.
Minneapolis, MN 55412
612-338-1100

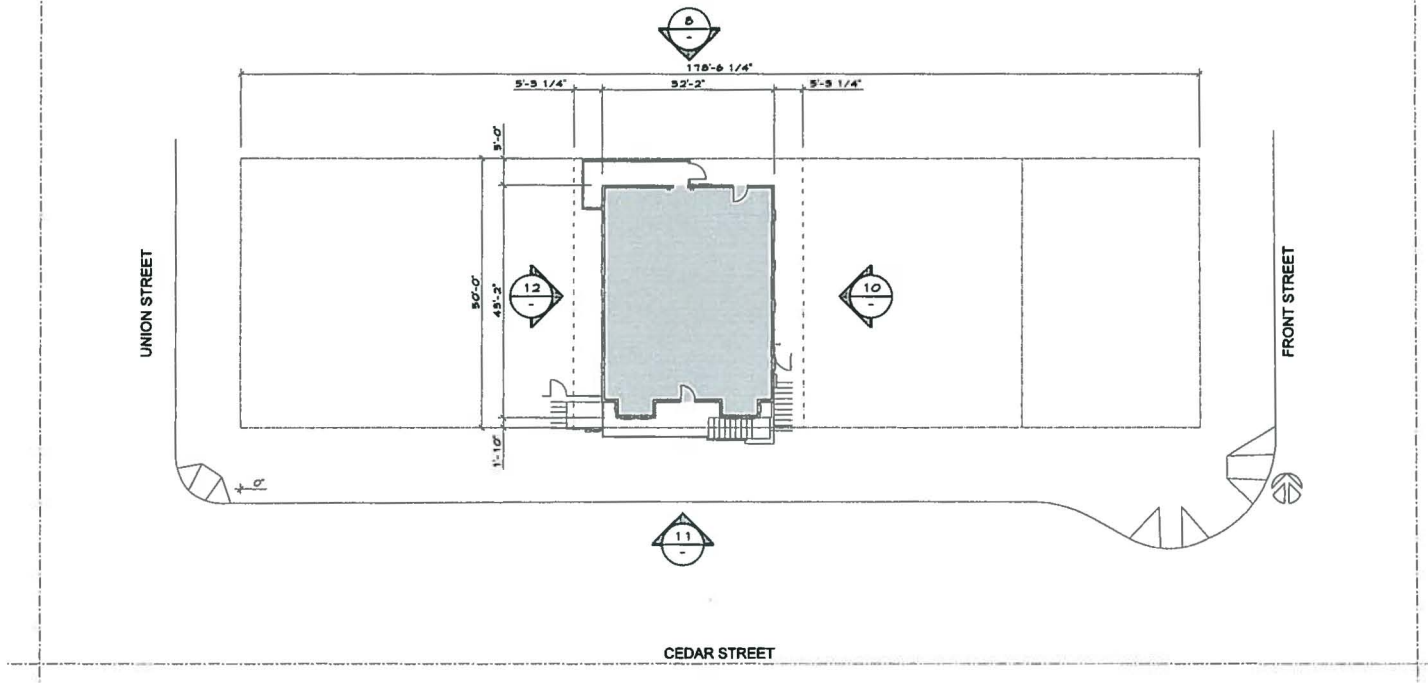
PRELIMINARY SITE PLAN FOR:
FRONT AND CEDAR

DESIGN	J.P.
DRAWN	J.P.
CHECKED	J.P.
DATE	7-7-10
PROJECT NO.	1
SHEET	1

FINAL DATE: 7-7-10
PROJECT NO.: 1
SHEET: 1



EXISTING



EXISTING SITE PLAN

HISTORIC INFORMATION

FRONT AND CEDAR CORNERSTONE COMMUNITIES

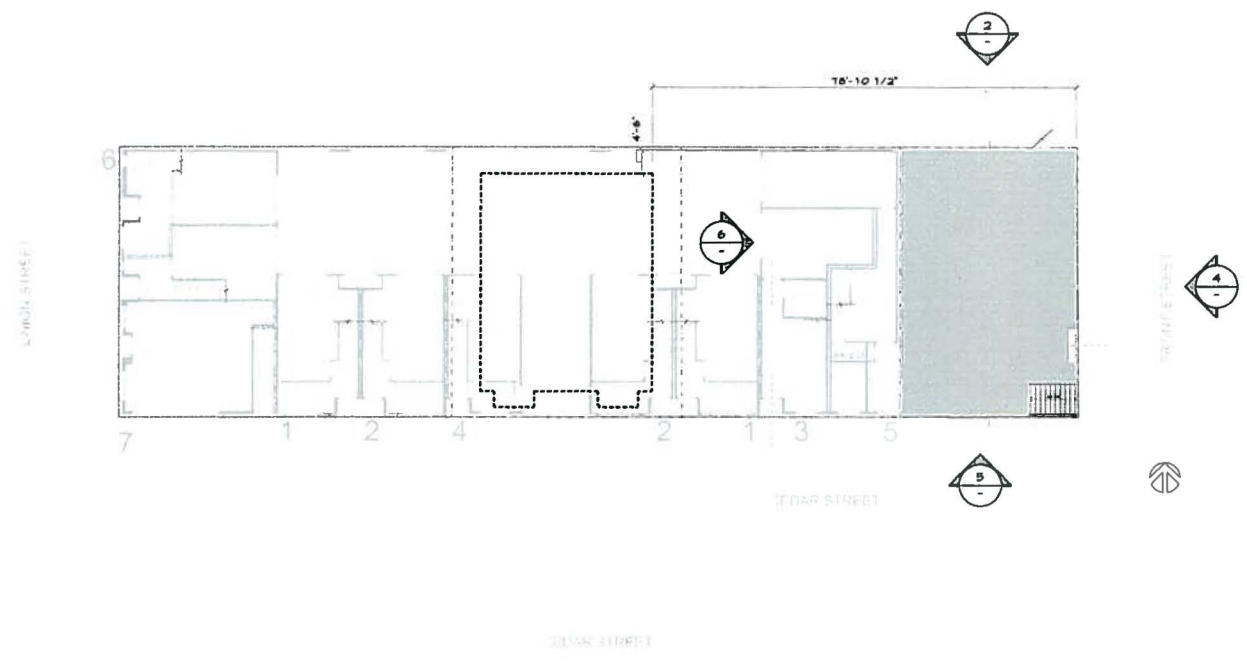


PROPOSED MODIFICATIONS

Front & Cedar is a proposed 8 unit condominium project which involves the relocation and rehabilitation of the Frank L. Rawson Residence. The project site currently consists of 3 lots, which will be consolidated into 2 lots. The Rawson Residence is proposed to be moved approximately 75 feet from its current location toward the center of the block, to the corner of Front and Cedar Streets and renovated as retail on the ground floor with two levels of office space above. The relocation and rehabilitation associated with the Rawson Residence has been determined to be consistent with the Secretary of the Interior's Standards for Historic Properties by HRB Staff. The condominiums will be on a separate lot from the Rawson Residence. Both lots are located in the Centre City Planned District, employment/residential mixed-use (ER) land use district. All existing structures, previously been determined to be non-historic, will be removed.

Prepared By:	STARCK ARCHITECTURE	Scale:	AS SHOWN
Project Name:	AND PLANNING	Scale:	1/8" = 1'-0"
Address:	2645 KETTER BLVD	Scale:	1/8" = 1'-0"
City:	SAN DIEGO, CA 92101	Scale:	1/8" = 1'-0"
Phone:	(619) 299-7978	Scale:	1/8" = 1'-0"
Project Address:	238 WEST CEDAR STREET	Scale:	1/8" = 1'-0"
City:	SAN DIEGO, CA 92101	Scale:	1/8" = 1'-0"
Project Name:	FRONT AND CEDAR	Scale:	1/8" = 1'-0"
Project No.:	1208 V10	Scale:	1/8" = 1'-0"
Sheet No.:	15/19/10	Scale:	1/8" = 1'-0"
Sheet Title:	HISTORIC INFORMATION	Scale:	1/8" = 1'-0"

NEW



NEW SITE PLAN

1

HISTORIC INFORMATION

FRONT AND CEDAR CORNERSTONE COMMUNITIES



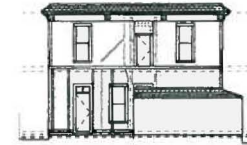
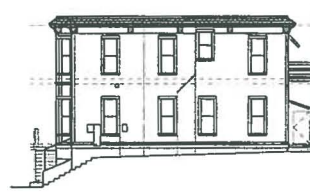
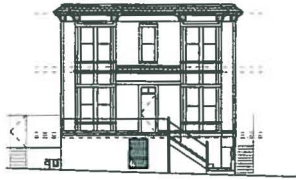
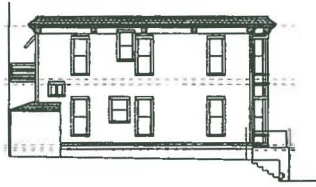
PROPOSED MODIFICATIONS

Front & Cedar is a proposed 9 unit condominium project which involves the relocation and rehabilitation of the Frank L. Rawson Residence. The project site currently consists of 3 lots, which will be consolidated into 2 lots. The Rawson Residence is proposed to be moved approximately 75 feet from its current location toward the center of the block, to the corner of Front and Cedar Streets and renovated as retail on the ground floor with two levels of office space above. The relocation and rehabilitation associated with the Rawson Residence has been determined to be consistent with the Secretary of the Interior's Standards for Historic Properties by HRB Staff. The condominiums will be on a separate lot from the Rawson Residence. Both lots are located in the Centre City Planned District, employment/residential mixed-use (ER) land use district. All existing structures, previously been determined to be non-historic, will be removed.

Project No.	_____	Revision	_____
Client	STARCK ARCHITECTURE	Revision 02	_____
Address	2045 KETTNER BLVD	Revision 01	_____
City	SAN DIEGO, CA 92101	Revision 01	_____
Phone	(619) 298-7678	Revision 01	_____
Project Address	238 WEST CEDAR STREET	Revision 01	_____
City	SAN DIEGO, CA 92101	Revision 01	_____
Project Name	FRONT AND CEDAR	Revision 01	_____
Project No.	1208/1/15	Revision 01	_____
Project Date	10/18/16	Revision 01	_____
Sheet No.	_____	Revision 01	_____
Project Name	HISTORIC INFORMATION	Revision 01	_____

24

EXISTING



LEFT ELEVATION

7

FRONT ELEVATION

5

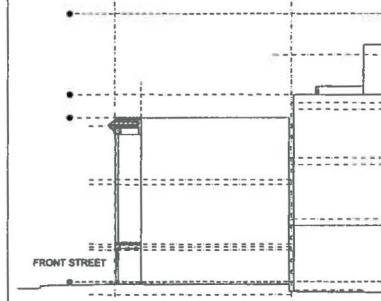
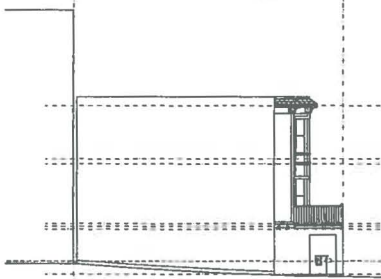
RIGHT ELEVATION

3

REAR ELEVATION

1

NEW



LEFT ELEVATION

8

FRONT ELEVATION

6

RIGHT ELEVATION

4

REAR ELEVATION

2

HISTORIC INFORMATION

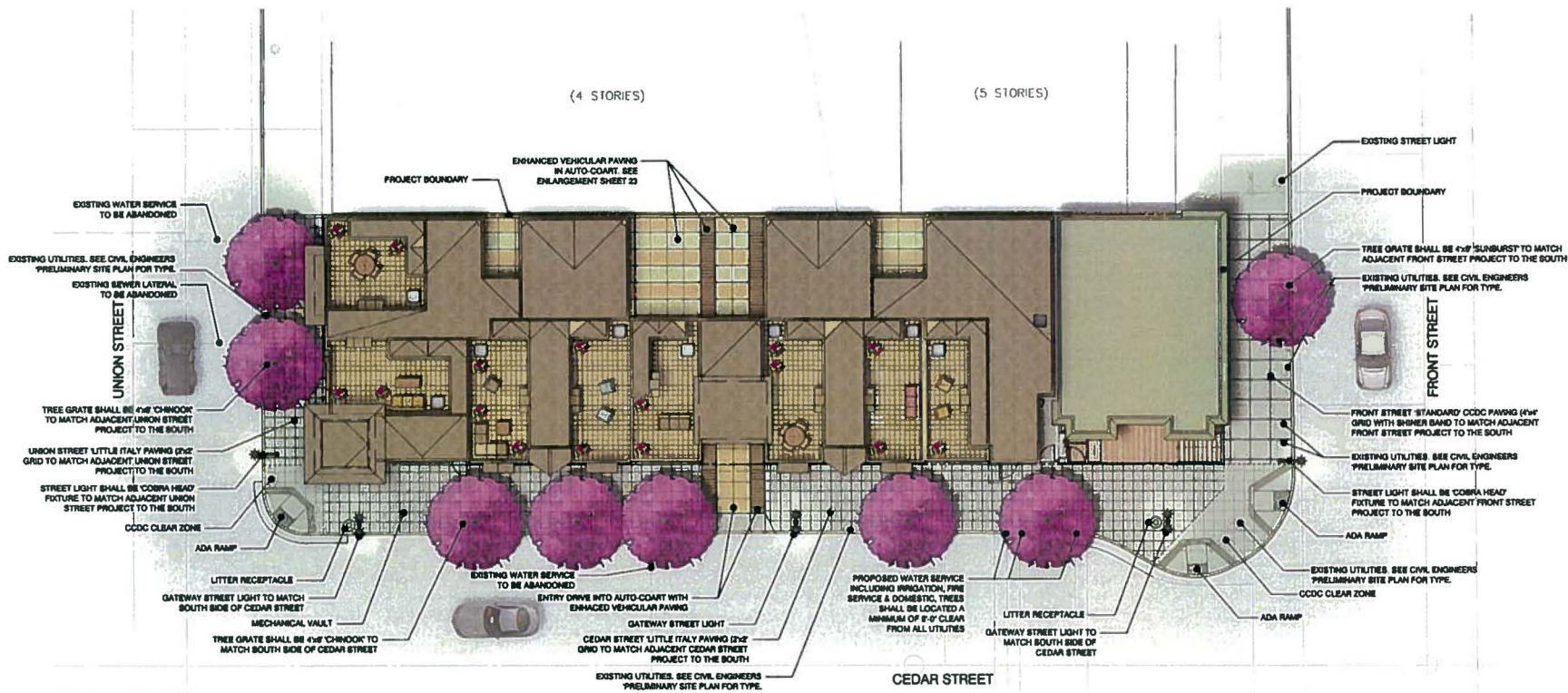
FRONT AND CEDAR CORNERSTONE COMMUNITIES



PROPOSED MODIFICATIONS

Front & Cedar is a proposed 8 unit condominium project which involves the relocation and rehabilitation of the Frank L. Rawson Residence. The project site currently consists of 3 lots, which will be consolidated into 2 lots. The Rawson Residence is proposed to be moved approximately 75 feet from its current location toward the center of the block, to the corner of Front and Cedar Streets and renovated as retail on the ground floor with two levels of office space above. The relocation and rehabilitation associated with the Rawson Residence has been determined to be consistent with the Secretary of the Interior's Standards for Historic Properties by HRB Staff. The condominiums will be on a separate lot from the Rawson Residence. Both lots are located in the Central City Planned District, employment/residential mixed-use (ER) land use district. All existing structures, previously been determined to be non-historic, will be removed.

Prepared by:	STARCK ARCHITECTURE	Rev. 1	
Name:	AND PLANNING	Rev. 2	
Address:	2845 KETTER BLVD	Rev. 3	
	SAN DIEGO, CA 92101	Rev. 4	
Phone #:	(619) 299-7079	Rev. 5	
Project Address:	238 WEST CEDAR STREET	Rev. 6	
	SAN DIEGO, CA 92101	Rev. 7	
Project Name:	FRONT AND CEDAR	Rev. 8	12/8/10
		Rev. 9	10/18/10
Sheet:	HISTORIC INFORMATION	Sheet:	
		By:	



PLANTING LEGEND

TREES					
QTY.	SYM.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
8		JACARANDA MIMOSIFOLIA	JACARANDA	36" BOX	STANDARD TRUNK

STREETSCAPE FURNISHINGS LEGEND

QTY.	SYM.	DESCRIPTION	MODEL/#	MANUFACTURER
1		TREE GRATE	'STARBURST' SERIES 2, 4x8'	IRONSMITH
6		TREE GRATE	'CHINOOK' 4x8'	URBAN ACCESSORIES
2		STREET LIGHT	TYPE 15 COBRA HEAD FIXTURE	XX
3		STREET LIGHT (GATEWAY)	#VI-C-C2-F/16, OR #B1747	VALLEY IRON STEEL, OR UNION METAL PACIFIC
2		LITTER RECEPTACLE	'RENAISSANCE' #2817-FT	TIMBERFORM

NOTE:
MANUFACTURER HAS BEEN PROVIDED FOR REFERENCE ONLY. STREETSCAPE FURNISHINGS SHALL BE EQUAL TO THE SPECIFICATIONS PROVIDED AND OUTLINED IN THE CCDC STREETSCAPE MANUAL.

LANDSCAPE CONCEPT PLAN & LEGEND
**FRONT AND CEDAR
CORNERSTONE COMMUNITIES**

gmp
Gillespie
Moody
Patterson, Inc.
LANDSCAPE ARCHITECTS
A P A R T N E R S

www.gmplandarch.com
4125 Sorrento Valley Blvd.
Suite D San Diego
California 92121
Tel 650 558 8977
Fax 650 558 9188

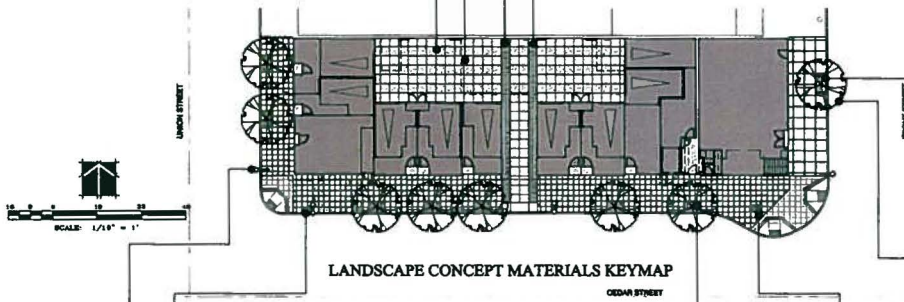


Prepared By: GILLESPIE, MOODY, PATTERSON Revision 11: _____
 Name: _____ Revision 10: _____
 Address: 4125 SORRENTO VALLEY BLVD Revision 9: _____
SAN DIEGO, CALIFORNIA 92121 Revision 8: _____
 Phone #: (650) 558-8977 Revision 7: _____
 Project Address: _____ Revision 6: _____
FRONT AND CEDAR Revision 5: _____
SAN DIEGO, CA 92101 Revision 4: _____
 Project Name: _____ Revision 3: _____
FRONT AND CEDAR Revision 2: _____
 Original Date: 09/14/10 Revision 1: _____
 Sheet Title: _____
LANDSCAPE CONCEPT PLAN & LEGEND DDPY _____

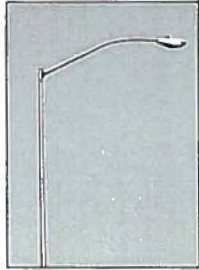
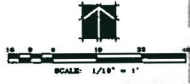
26

ENHANCED VEHICULAR PAVING AT AUTO COART
SHALL BE BANDED INTEGRAL COLOR CONCRETE

ENHANCED VEHICULAR BANDING AT AUTO
COART SHALL BE DECORATIVE LINEAR PAVERS



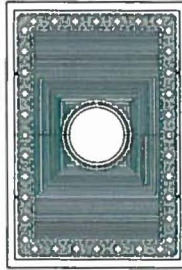
LANDSCAPE CONCEPT MATERIALS KEYMAP



STREET LIGHT
TYPE 15 COBRA HEAD FIXTURE



LITTER RECEPTACLE
LITTLE ITALY RENAISSANCE #2817-FT
BY TIMBERFORM



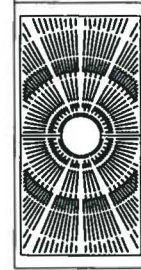
TREE GRATE
4x8' 'CHINOOK'
BY URBAN ACCESSORIES



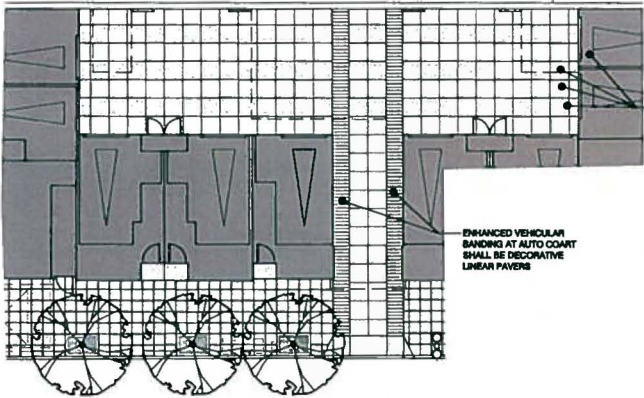
STREET LIGHT
#V1-C-2-F/16, OR #B1747
BY VALLEY IRON STEEL, OR
UNION METAL PACIFIC



STREET TREE
BOTANICAL NAME: JACARANDA MIMOSIFOLIA
COMMON NAME: JACARANDA
36' BOX



TREE GRATE
4x8' 'STARBURST' SERIES 2
BY IRONSMITH



ENHANCED VEHICULAR
PAVING AT AUTO COART
SHALL BE BANDED INTEGRAL
COLOR CONCRETE

ENHANCED VEHICULAR
BANDING AT AUTO COART
SHALL BE DECORATIVE
LINEAR PAVERS

AUTO COART ENLARGEMENT: 1/16"=1'-0"

FRONT AND CEDAR CORNERSTONE COMMUNITIES

gmp
Gillespie
Moody
Patterson, Inc.
LANDSCAPE ARCHITECTS
A NATIONAL

www.gmplandscape.com
4125 Sorrento Valley Blvd.
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California 92121
Tel 858 558 8877
Fax 858 558 9188

18/14/18

Prepared By:	_____	Revision 11:	_____
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	SAN DIEGO, CALIFORNIA 92121	Revision 8:	_____
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		Revision 6:	_____
Project Address:	_____	Revision 5:	_____
	FRONT AND CEDAR	Revision 4:	_____
	SAN DIEGO, CA 92101	Revision 3:	_____
		Revision 2:	_____
Project Name:	FRONT AND CEDAR	Revision 1:	_____
Sheet Title:	LANDSCAPE CONCEPT MATERIALS KEYMAP	Original Date:	10/14/18
Sheet No.:	27	City:	_____

ENVIRONMENTAL SECONDARY STUDY

FOR THE PROPOSED

FRONT AND CEDAR PROJECT

March 2011

Prepared for: Cornerstone Communities
4365 Executive Drive
San Diego, CA 92121

Preparation Administered by: Centre City Development Corporation
401 B Street, Suite 400
San Diego, CA 92101

Prepared by: ICF International
9775 Businesspark Avenue, Suite 200
San Diego, CA 92131

ENVIRONMENTAL SECONDARY STUDY

1. PROJECT TITLE: Front and Cedar Project

2. DEVELOPER: Jack Robson and Ure Kretowics, Cornerstone Communities

3. PROJECT LOCATION: An approximately 8,900 square foot site located on the north side of Cedar Street, between Front and Union streets in the Little Italy Redevelopment District of the Centre City Redevelopment Project (**Figure 1**). Centre City includes approximately 1,500 acres of the metropolitan core of San Diego, bounded by Interstate 5 on the north and east and San Diego Bay on the south and southwest. Centre City is located 15 miles north of the United States International Border with Mexico.

4. PROJECT SETTING: The Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance (PDO), and Redevelopment Plan for the Centre City Project Area describes the existing setting of Centre City including the Little Italy Redevelopment District. This description is hereby incorporated by reference. Located in the highly urbanized downtown environment, the project site encompasses the southerly 50 feet of block located north of Cedar Street, bounded by Front Street to the east and Union Street to the west (**Figure 2**). The existing site consists of three lots, which are proposed to be consolidated into two lots. The site currently contains two residential buildings and a commercial building. The residential buildings are located generally on the western and central thirds of the site and the commercial building is located on the eastern third. The residential building in the center portion of the lot, The Frank L. Rawson Residence, was designated by the San Diego Historical Resources Board (HRB) as Local Historical Resource No. 292 on October 24, 1990 for its architectural significance. The other structures onsite, which are not designated historical structures, will be removed.

Land uses that surround the project site include a 23-story hotel with a four-and five-story parking structure that directly abuts the site within the northern portion of the block. Other surrounding uses include low-rise residential buildings and a two-story shop to the west, across Union Street; a 12-story mixed-use tower to the south, across Cedar Street; and a surface parking lot to the east, across Front Street.

5. PROJECT DESCRIPTION: The Front and Cedar project consists of two phases. First, the historical building, as described above, would be moved approximately 75 feet from its current location to the eastern portion of the site on the corner of Front and Cedar Street. The historical structure would then be rehabilitated consistent with the Secretary of the Interior Standards for Rehabilitation and adaptively reused to include commercial/retail. The ground floor would be utilized for retail with two levels of office space above. Because development of the site requires relocation of a designated historical resource, the relocation is considered to be a substantial alteration under San Diego Municipal Code Land Development Code (LDC) Section 143.0251 and would require approval of a Site Development Permit (SDP), and therefore approval from the City of San Diego Planning Commission.

Prior to the Planning Commission decision, the LDC requires a recommendation from the HRB. The HRB has adopted the following procedures for making recommendations to decision-makers: The HRB shall make a recommendation on only those aspects of the matter that relate to the historical aspects of the project. The HRB's recommendation action(s) shall relate to the cultural resources section, recommendations, findings and mitigation measures of the final environmental document, the SDP findings for historical purposes, and/or the project's compliance with the Secretary of the Interior's Standards for Treatment of Historic Properties. If the HRB desires to recommend the inclusion of additional conditions, the motion should include a request for staff to incorporate permit conditions to capture the Board's recommendations when the project moves forward to the decision maker.

The second phase of the project includes construction of a new three-story residential building on the remaining western portion of the site. The new building consists of nine three-story townhomes, all with one-car garages, and eight including roof decks. **Figure 3** depicts the preliminary site plan for the project. **Figure 4** illustrates the floor plan at the ground level which includes the layout of the retail space (historical building) and the individual garages and entryways of the residential units. **Figure 5** and **6** depicts the second and third levels respectively, both containing floor plans of the residential units and the office space of the historical building. **Figure 7** shows the roof plan including the individual roof decks for the residential units.

Figures 8 through **11** depict the building elevations. The overall design concept of the residential building is clean and modern, in accordance with the existing urban character of the site. Materials used for the base of the building include painted concrete and large storefront windows that are synchronized with the building massing above. The upper floors incorporate plaster, painted metal siding, and an array of windows that reinforce the building articulation, while at the same time provide a connection to the ground plane below. A glass and metal clad frame tower at the corner of Union and Cedar Street punctuates the building design while providing panoramic views of the city and bay. Additionally, special design elements include high garages, large roof decks, and decorative metal railings. The relocated historical building would be restored to its original design, with renovation of the existing wood trim and siding for the upper two floors. The lowest floor would include painted board and batt siding.

The project is located in the Employment/Residential Mixed-Use land use designation, which provides synergies between educational institutions and residential neighborhoods, or transition between the Core and residential neighborhoods. This classification permits a variety of uses, including office, residential, hotel, research and development, and educational and medical facilities.

The PDO permits a maximum base Floor Area Ratio (FAR) of 6.5 and a minimum FAR of 4.0 on the project site. The project proposes a FAR of 2.49. Due to certain site constraints, the developer will seek a deviation from the required minimum FAR. Site constraints include limited parking to the first floor, due to narrow site width, site slope, limited vehicle access, and PDO street wall requirements. The maximum

number of parking spaces is also limited, which limits the number of units that can be placed on the site and the amount of floor area that can be created. In lieu of strict conformance, units have been extended vertically with proposed active roofscapes comprised of roof decks, vertical stair enclosures, and chimneys.

The project is requesting three additional deviations from the PDO standards for the project through a Planned Development Permit (PDP) to allow flexibility from the strict application of the development regulations. A deviation per the PDO street wall setback from ground level is requested since the project above the front doors at the upper floors does not always comply with this requirement. Strict conformance to this requirement would reduce the FAR and create less functional floor plans. In lieu of strict conformance, street elevations are highly articulated with offset planes, balconies, and varied materials and colors.

The project is also requesting a deviation per the PDO floor elevation at ground level requirement, which necessitates the project to provide 18" to 42" finish floor elevation at ground floor residential above the adjacent sidewalk for 10 feet. Due to site slope, limited vehicle access, and a narrow first floor, the amount of finish floor elevation possible falls short of the requirement and results in limited space for front door stoops, no flexibility in setting garage floor elevations, and difficulty in providing steps to negotiate elevation differences between the sloping sidewalk entries and garages. In lieu of this requirement, major living spaces are on the second floors (providing separation from street activity), and steps and stoops are provided where possible.

The last deviation requested by the project is per the PDO requirement that requires enclosures over access aisles for above grade enclosed private garages. Placing an enclosure over the proposed motorcourt would conflict with the design, result in difficult access for maintenance, and would create privacy issues for the adjacent living spaces. In lieu of providing a concrete lid over the motorcourt, the project proposes to open the motorcourt to the sky. This would make the motorcourt more a more pleasant space and safer than an enclosed parking garage since residents would provide "eyes on the street" informal surveillance. Additionally, the adjacent property has a five-story parking structure that is immediately to the north. The open areas above the drive aisles would not be visible from the adjacent property. Also, any sound generated from the movement of cars in the aisles would not be heard on the adjacent property. Lastly, enhanced paving and hardscape design would be provided to make the motorcourt a visually amenity for the residents and the neighboring building to the north.

6. CEQA COMPLIANCE: The Centre City Redevelopment Community Plan and related activities have been addressed by the following environmental documents, which were prepared prior to this Secondary Study and are hereby incorporated by reference:

Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and 10th Amendment to the Redevelopment Plan for the Centre City Project (State Clearinghouse Number 2003041001, certified by the Redevelopment Agency (Resolution No. R-04001) and the City Council (Resolution No. R-301265) on March 14, 2006.

Addendum to the FEIR for the 11th Amendment to the Redevelopment Plan for the Centre City Redevelopment Project, Amendments to the San Diego Downtown Community Plan, Centre City Planned District Ordinance, Marina Planned District Ordinance, and Mitigation, Monitoring and Reporting Program of the FEIR for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and the Redevelopment Plan for the Centre City Redevelopment Project certified by the Redevelopment Agency by Resolution R-04193 and by the city council by R-302932 on July 31, 2007.

The FEIR is a "Program EIR" as described in Section 15168 of the State CEQA Guidelines. The aforementioned environmental document is the most recent and comprehensive environmental document pertaining to the proposed project. This environmental document is available for review at the office of Centre City Development Corporation, 401 B Street, Suite 400, San Diego, CA 92101.

This Secondary Study has been prepared in compliance with the San Diego Redevelopment Agency's amended "Procedures for Implementation of CEQA and the State CEQA Guidelines" (adopted July 17, 1990). Under these Agency Guidelines, environmental review for subsequent specific development projects is accomplished using the Secondary Study process defined in the Agency Guidelines, as allowed by Sections 15168 and 15180 of the State CEQA Guidelines. The Secondary Study includes the same evaluation criteria as the Initial Study defined in Section 15063 of the State CEQA Guidelines. Under this process, the Secondary Study is prepared for each subsequent specific development project to determine whether the potential impacts were anticipated in the FEIR. No additional documentation is required for subsequent specific development projects if the Secondary Study determines that the potential impacts have been adequately addressed in the FEIR and subsequent specific development projects implement appropriate mitigation measures identified in the Mitigation Monitoring and Reporting Program (MMRP) that accompanies the FEIR.

If the Secondary Study identifies new impacts or a substantial change in circumstances, additional environmental documentation is required. The form of this documentation depends upon the nature of the impacts of the subsequent specific development project being proposed. Should a proposed project result in: a) new or substantially more severe significant impacts that are not adequately addressed in the FEIR, or b) there is a substantial change in circumstances that

would require major revision to the FEIR, or c) that any mitigation measures or alternatives previously found not to be feasible or not previously considered would substantially reduce or lessen any significant effects of the project on the environment, a Subsequent or Supplement to the EIR would be prepared in accordance with Sections 15162 or 15163 of the State CEQA Guidelines (CEQA Statutes Section 21166). If the lead agency under CEQA finds pursuant to Sections 15162 and 15163, no new significant impacts will occur or no new mitigation will be required, the lead agency can approve the subsequent specific development project as being within the scope of the project covered by the FEIR, and no new environmental document is required.

7. PROJECT-SPECIFIC ENVIRONMENTAL ANALYSIS: See attached Environmental Checklist and *Section 10 Evaluation of Environmental Impacts*.

8. MITIGATION, MONITORING AND REPORTING PROGRAM: As described in the Environmental Checklist and summarized in **Attachment A**, the following mitigation measures included in the MMRP, found in volume 1.B.2 of the FEIR, will be implemented by the proposed project:

AQ-B.1-1; HIST-A.1-1; HIST-A.1-2; HIST-B.1-1; PAL-A.1-1

9. DETERMINATION: In accordance with Sections 15168 and 15180 of the CEQA Guidelines, the potential impacts associated with future development within the Centre City Redevelopment Project are addressed in the Final Environmental Impact Report (FEIR) prepared for the San Diego Downtown Community Plan, Centre City Planned District Ordinance and 10th Amendment to the Redevelopment Plan for the Centre City Redevelopment Project, which was certified on March 14, 2006 and the Addendum to the FEIR certified by the Redevelopment Agency by Resolution R-04193 and by the City Council by R-302932 on July 31, 2007.

These previous documents address the potential effects of future development within the Centre City Redevelopment Project based on buildout forecasts projected from the land use designations, density bonus, and other policies and regulations governing development intensity and density. Based on this analysis, the FEIR and Addendum concluded that development would result in significant impacts related to the following issues (mitigation and type of impact shown in parentheses):

Significant but Mitigated Impacts

- Air Quality: Construction Emissions (AQ-B.1) (D)
- Paleontology: Impacts to Significant Paleontological Resources (PAL-A.1) (D/C)

Significant and Not Mitigated Impacts

- Air Quality: Mobile Source Emissions (AQ-A.1) (C)
- Historical Resources: Architectural (HIST-A.1) (D/C)

- Historical Resources: Archeological (HIST-B.1) (D/C)
- Water Quality: Urban Runoff (WQ-A.1) (C)
- Land Use: Physical Changes Related to Transient Activity (LU-B.6) (C)
- Noise: Exterior Traffic Level Increase on Grid Streets (NOI-A.1) (C)
- Noise: Exterior Traffic Noise in Residential Development (NOI-C.1) (C)
- Traffic: Impact on Surrounding Streets (TRF-A.1) (C)
- Traffic: Impact on Freeway Ramps and Segments (TRF-A.2) (C)
- Parking: Excessive Parking Demand (TRF-D.1) (C)

In certifying the FEIR and approving the San Diego Downtown Community Plan, Planned District Ordinance and 10th Amendment to the Redevelopment Plan, the San Diego City Council and Redevelopment Agency adopted a Statement of Overriding Considerations which determined that the unmitigated impacts were acceptable in light of economic, legal, social, technological or other factors including the following.

Overriding Considerations

- Implement Downtown's Role As Primary Urban Center
- Relieve Growth Pressure On Outlying Communities
- Organize Balanced Mix Of Uses Around Neighborhood Centers
- Maximize Employment
- Capitalize On Transit Opportunities

The proposed activity analyzed within this secondary study is covered under the Final Environmental Impact Report (FEIR) for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and 10th Amendment to the Redevelopment Plan for the Centre City Redevelopment Project, which was certified by the Redevelopment Agency by Resolution R-04001 and by the City Council by Resolution R-301265 on March 14, 2006, and the Addendum to the FEIR for the 11th Amendment to the Redevelopment Plan for the Centre City Redevelopment Project, Amendments to the San Diego Downtown Community Plan, Centre City Planned District Ordinance, Marina Planned District Ordinance, and Mitigation, Monitoring and Reporting Program of the FEIR for the San Diego Downtown Community Plan, Centre City Planned District Ordinance, and the 10th Amendment to the Redevelopment Plan for the Centre City Redevelopment Project certified by the Redevelopment Agency by Resolution R-04193 and by the City Council by R-302932 on July 31, 2007. This activity is adequately addressed in the environmental documents noted above and the secondary study prepared for this project reveals there is no change in circumstance, additional information, or project changes to warrant additional environmental review. Because the prior environmental documents adequately covered this activity as part of the

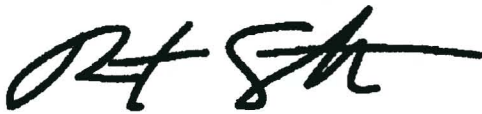
previously approved project, this activity is not a separate project for purposes of review under the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15060(c)(3), 15180, and 15378(c).

SUMMARY OF FINDINGS: In accordance with Public Resources Code sections 21166, 21083.3, and CEQA Guidelines sections 15168 and 15183, the following findings are derived from the environmental review documented by this Secondary Study and the 2006 FEIR:

1. No substantial changes are proposed in the Centre City Redevelopment Project (Project), or with respect to the circumstances under which the Project is to be undertaken as a result of the development of the proposed project, which will require important or major revisions in the 2006 FEIR or 2007 Addendum to the FEIR for the Project;
2. No new information of substantial importance to the Centre City Redevelopment Project has become available which was not known or could not have been known at the time the 2006 FEIR for the Project was certified as complete, and which shows that the Project will have any significant effects not discussed previously in the 2006 FEIR or 2007 Addendum to the FEIR, or that any significant effects previously examined will be substantially more severe than shown in the 2006 FEIR or 2007 Addendum to the FEIR, or that any mitigation measures or alternatives previously found not to be feasible or not previously considered would substantially reduce or lessen any significant effects of the project on the environment;
3. No Negative Declaration, Subsequent EIR, or Supplement or Addendum to the 2006 FEIR is necessary or required;
4. The development of the site will have no significant effect on the environment, except as identified and considered in the 2006 FEIR and 2007 Addendum to the FEIR for the Centre City Redevelopment Project. No new or additional project-specific mitigation measures are required for this project; and
5. The proposed project and its associated activities would not have any new effects that were not adequately covered in the 2006 FEIR or 2007 Addendum to the FEIR, and therefore, the proposed project is within the scope of the program approved under 2006 FEIR and 2007 Addendum to the FEIR.

The Centre City Development Corporation (CCDC), the implementing body for the Redevelopment Agency of the City of San Diego, administered the preparation of this Secondary Study.

Signature of Lead Agency Representative



Date

Signature of Preparer

March 30, 2011
Date

ENVIRONMENTAL CHECKLIST

10. EVALUATION OF ENVIRONMENTAL IMPACTS

This environmental checklist evaluates the potential environmental effects of the proposed project consistent with the significance thresholds and analysis methods contained in the FEIR for the San Diego Downtown Community Plan, Centre City Planned District Ordinance (PDO), and Redevelopment Plan for the Centre City Project Area. Based on the assumption that the proposed activity is adequately addressed in the FEIR, the following table indicates how the impacts of the proposed activity relate to the conclusions of the FEIR. As a result, the impacts are classified into one of the following categories:

- Significant and Not Mitigated (SNM)
- Significant but Mitigated (SM)
- Not Significant (NS)

The checklist identifies each potential environmental effect and provides information supporting the conclusion drawn as to the degree of impact associated with the proposed project. As applicable, mitigation measures from the FEIR are identified and are summarized in Attachment A to this Secondary Study. Some of the mitigation measures are plan-wide and not within the control of the proposed project. Other measures, however, are to be specifically implemented by the proposed project. Consistent with the FEIR analysis, the following issue areas have been identified as Significant and Not Mitigated even with inclusion of the proposed mitigation measures, where feasible:

- Air Quality: Mobile Source Emissions (AQ-A.1) (C)
- Historical Resources: Architectural (HIST-A.1) (D/C)
- Historical Resources: Archeological (HIST-B.1) (D/C)
- Water Quality: Urban Runoff (WQ-A.1) (C)
- Land Use: Physical Changes Related to Transient Activity (LU-B.6) (C)
- Noise: Exterior Traffic Level Increase on Grid Streets (NOI-A.1) (C)
- Noise: Exterior Traffic Noise in Residential Development (NOI-C.1) (C)
- Traffic: Impact on Surrounding Streets (TRF-A.1) (C)
- Traffic: Impact on Freeway Ramps and Segments (TRF-A.2) (C)
- Parking: Excessive Parking Demand (TRF-D.1) (C)

The following Overriding Considerations apply directly to the proposed project:

- Implement Downtown's Role As Primary Urban Center
- Relieve Growth Pressure On Outlying Communities
- Organize Balanced Mix Of Uses Around Neighborhood Centers
- Maximize Employment
- Capitalize On Transit Opportunities

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
1. AESTHETICS/VISUAL QUALITY:						
<p>a) Substantially disturb a scenic resource, vista or view from a public viewing area, including a State scenic highway or view corridor designated by the San Diego Downtown Community Plan? Views of scenic resources such as San Diego Bay, San Diego-Coronado Bay Bridge, Point Loma, Coronado, Petco Park and the downtown skyline are afforded by the public viewing areas within and around the downtown and along view corridor streets within the planning area. Additionally, Highway 163 is a State Scenic Highway entering downtown at 10th Avenue; however, this highway is not in close proximity to the proposed project and therefore would not impact this scenic resource. Therefore, significant impacts associated with these issues could occur.</p> <p>The proposed project would be three-stories including roof decks (approximately 50-foot tall) in the Little Italy District. The architectural features of the proposed project do not include extreme height, bulk, scale, or a site orientation that would substantially disturb views of the San Diego Bay, San Diego-Coronado Bay Bridge, Point Loma, Coronado, Petco Park and the downtown skyline from public viewing areas. The project would be located on a street designated by the San Diego Downtown Community Plan as a view corridor (Cedar Street), which requires a 15-foot view corridor setback above a height of 50 feet. Since the proposed building would only reach a height of 50 feet, the project is</p>					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p><i>not subject to this requirement. Therefore, impacts associated with these issues would not be significant.</i></p> <p><i>Lastly, the project site itself does not possess any significant scenic resources that could be impacted by the proposed project. Impacts to onsite scenic resources are not significant.</i></p>						
<p>(b) Substantially incompatible with the bulk, scale, color and/or design of surrounding development? The bulk, scale, and design of the proposed project would be compatible with the existing and planned development of the surrounding area (Little Italy District). Redevelopment of the site would improve the condition of the site by restoring an existing historical structure and providing a new, modern building on a currently underutilized site. The historical building would be relocated approximately 75 feet to the eastern portion of the project site and fully restored to its original design, with renovation of the existing wood trim and siding. The new building would utilize an attractive clean design that is sensitive to existing development and is compatible with the redeveloping character of the surrounding neighborhood. The 40-foot street wall and stair towers to roof decks relate very well to the lower four-story portion of the apartment building across Cedar Street to the south. Both low-rise buildings and high-rise buildings as tall as 23 stories surround the project site and the scale of the proposed project would be consistent with that of surrounding buildings. Additionally, the building helps to</p>					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>buffer the five-story parking structure directly to the north. Therefore, project-level and cumulative impacts associated with this issue would not occur.</i>						
(c) Substantially affect daytime or nighttime views in the area due to lighting? The proposed project would not involve a substantial amount of exterior lighting or include materials that would generate substantial glare. The City's Light Pollution Law (Municipal Code Section 101.1300 et seq.) also protects nighttime views (e.g., astronomical activities) and light-sensitive land uses from excessive light generation by development in the downtown area. Therefore, the proposed project's conformance with these requirements would ensure that direct and cumulative impacts associated with this issue are not significant.					X	X
2. AGRICULTURAL RESOURCES:						
(a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland) to non-agricultural use? Centre City is an urban downtown environment that does not contain land designated as prime agricultural soils by the Soils Conservation Service, nor does it contain prime farmlands designated by the California Department of Conservation. Therefore, no impact to agricultural resources would occur.					X	X
(b) Conflict with existing zoning for agricultural use, or a Williamson Act contract? The area does not contain, nor is it near, land zoned for agricultural use or land subject to a Williamson					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>Act Contract pursuant to Section 512101 of the California Government Code. Therefore, impacts resulting from conflicts with existing zoning for agricultural use or a Williamson Act Contract would not occur.</i>						
3. AIR QUALITY:						
(a) Conflict with or obstruct implementation of an applicable air quality plan, including the County's Regional Air Quality Strategies or the State Implementation Plan? <i>The proposed residential mixed-use development is consistent with the Employment/Residential Mixed-Use land use designation of the San Diego Downtown Community Plan and Centre City PDO, the land use policies and regulations of which are in accordance with those of the Regional Air Quality Strategy (RAQS). Thus, the proposed project would not conflict with, but would help implement, the RAQS with its compact, high intensity land use. No impact to the applicable air quality plan would occur.</i>					X	X
(b) Expose sensitive receptors to substantial air contaminants including, but not limited to, criteria pollutants, smoke, soot, grime, toxic fumes and substances, particulate matter, or any other emissions that may endanger human health? <i>The proposed project could involve the exposure of sensitive receptors to substantial air contaminants during short-term construction activities and over the long-term operation of the project. The potential for short-term, temporary impacts to sensitive receptors during construction activities would be mitigated to below a level of significance</i>			X			X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>through compliance with the City's mandatory standard dust control measures and the dust control and construction equipment emission reduction measures required by FEIR Mitigation Measure AQ-B.1-1 (see Attachment A).</p> <p>The proposed project could involve the exposure of sensitive receptors to air contaminants over the long-term operation of the project, such as carbon monoxide exposure (commonly referred to as CO "hot spots") due to traffic congestion near the project site. However, the FEIR concludes that development within the downtown would not expose sensitive receptors to significant levels of any of the substantial air contaminants. Since the land use designation of the proposed development does not differ from the land use designation assumed in the FEIR analysis, the project would not expose sensitive receptors to substantial air contaminants beyond the level assumed by the FEIR. Additionally, the proposed project is not located close enough to any industrial activities to be impacted by any emissions potentially associated with such activities. Therefore, impacts associated with this issue would not be significant. Project impacts associated with the generation of substantial air contaminants are discussed below in 3.c.</p>						
(c) Generate substantial air contaminants including, but not limited to, criteria pollutants, smoke, soot, grime, toxic fumes and substances, particulate matter, or any other emissions that may endanger human health?		X	X			

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>Implementation of the proposed project could result in potentially adverse air quality impacts related to the following air emission generators: construction and mobile-sources. Site preparation activities and construction of the proposed project would involve short-term, potentially adverse impacts associated with the creation of dust and the generation of construction equipment emissions. The clearing, grading, demolition, and other construction activities associated with the proposed project would result in dust and equipment emissions that, when considered together, could endanger human health. Implementation of FEIR Mitigation Measure AQ-B.1-1 (see Attachment A) would reduce dust and construction equipment emissions generated during construction of the proposed project to a level below significance.</p> <p>The air emissions generated by automobile trips associated with the proposed project would not exceed air quality significance standards established by the San Diego Air Pollution Control District. However, the project's mobile source emissions, in combination with dust generated during the construction of the project, would contribute to the significant and unmitigated cumulative impact to air quality identified in the FEIR. The proposed residential mixed-use project does not propose any uses that would significantly increase stationary-source emissions in the downtown planning area; therefore, impacts from stationary sources would be not significant.</p>						

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
4. BIOLOGICAL RESOURCES:						
(a) Substantially effect, either directly or through habitat modifications, any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by local, state or federal agencies? <i>Due to the highly urbanized nature of the downtown area, there are no sensitive plant or animal species, habitats, or wildlife migration corridors within the area. In addition, the ornamental trees and landscaping included in the proposed project are considered of no significant value to the native wildlife in their proposed location. Therefore, no impact associated with this issue could occur.</i>					X	X
(b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations by local, state or federal agencies? <i>As identified in the FEIR, the San Diego Downtown Community Plan area is not within a subregion of the San Diego County Multiple Species Conservation Program (MSCP). Therefore, impacts associated with substantial adverse effects on riparian habitat or other sensitive natural communities identified in local or regional plans, policies, and regulations by local, state or federal agencies would not occur.</i>					X	X
5. GEOLOGY AND SOILS:						
(a) Substantial health and safety risk associated with seismic or geologic hazards? <i>The proposed project site is in a seismically active</i>					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>region. There are no known active or potentially active faults located on the project site. However, the project site is located within the Rose Canyon Fault Zone, which is designated as an Earthquake Fault Zone by the California Department of Mines and Geology. A seismic event on this fault could cause significant groundshaking on the proposed project site. Therefore, the potential exists for substantial health and safety risks on the project site associated with a seismic hazard.</p> <p>Although the potential for geologic hazards (landslides, liquefaction, slope failure, and seismically-induced settlement) is considered low due to the site's moderate to non-expansive geologic structure, such hazards could nevertheless occur. Conformance with, and implementation of, all seismic-safety development requirements, including all applicable requirements of the Alquist-Priolo Zone Act, the seismic design requirements of the International Building Code (IBC), the City of San Diego Notification of Geologic Hazard procedures, and all other applicable requirements would ensure that the potential impacts associated with seismic and geologic hazards are not significant.</p>						
6. GREENHOUSE GAS EMISSIONS:						
(a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment? California's Assembly Bill 32 (AB 32), the Global Warming Solutions Act of 2006, codified the State's greenhouse gas (GHG) emissions						
					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>target by requiring the State's GHG emissions to be reduced to 1990 levels by 2020. To achieve these GHG reductions outlined in AB 32, there would have to be widespread reductions of GHG emissions across the California economy. Some of the reductions would come in the form of changes in vehicle emissions and mileage, changes in the sources of electricity, and increases in energy efficiency by existing facilities as well as other measures. The remainder of the necessary GHG reductions would come from requiring new facility development to have lower carbon intensity than "Business-as-Usual" (BAU), or existing, conditions. In addition, State Senate Bill 97 (SB 97) directed the Office of Planning and Research (OPR) to adopt CEQA Guidelines concerning the effects and mitigation of GHG emissions. The new CEQA Guidelines became effective in March 2010.</p> <p>The new CEQA Guidelines require either a quantitative or qualitative discussion of the amount of GHG emissions that would result from the project, determination if those emissions would result in a significant impact on the environment, and identification of feasible mitigation measures to reduce GHG emissions if a significant impact is found.</p> <p>Neither CCDC nor the City of San Diego has adopted thresholds of significance for GHG emissions. However, according to the technical memorandum titled "Addressing Greenhouse Gas Emissions from Projects Subject to CEQA", the City is utilizing, for the interim, the 900 metric ton (MT) threshold</p>						

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>presented by CAPCOA (CAPCOA 2008). The memorandum identifies project types and project sizes that are estimated to emit 900 MT of GHGs per year. Projects that are greater than or equal to the project sizes listed in the memorandum must perform a GHG analysis. The memorandum identifies a 70 unit apartment/condominium as large enough to emit 900 MT: and projects larger than this would require a GHG analysis. The project proposes a three-story residential mixed-use development consisting of nine townhomes, 3,694 square feet (sf) of commercial space, and 2,356 sf of office space. While the project does not necessarily exceed any of the project sizes shown in the screening criteria table within the memorandum, the total emissions from the combination of the proposed land uses could potentially exceed the 900 MT threshold. As such, a GHG analysis was performed.</p> <p>Construction and operation of the proposed project would both result in GHG emissions. Construction and operational emissions were calculated using the URBEMIS2007 (version 9.2.4) model. For construction, CO2 emissions calculated in URBEMIS defaults regarding equipment and project schedule. Construction-related nitrous oxide (N2O) and methane (CH4) were calculated outside of the model using emission factors from the General Reporting Protocol (Climate Change Action Registry 2009). Construction-related emissions were summed and amortized (average) over an estimated 30-year project life, and added to operational emissions.</p>						

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>Operations-related GHG emissions from mobile sources were calculated within the URBEMIS model, using URBEMIS defaults regarding vehicle fleet in 2012 and the same trip rates assumed with Section 16.a below. Emissions related to electricity and natural gas consumption from the proposed land used were calculated using land use consumption rates from South Coast Air Quality Management District (SCAQMD 1993) and published emission factors for electricity and natural gas consumption.</p> <p>The proposed project would result in approximately 421 metric tons of carbon dioxide equivalent (MTCO₂e) per year from construction and operations, which is well below the 900 MTCO₂e threshold currently used by the City for residential and commercial developments (see Attachment B). In addition, the project would place residents and retail near existing transit facilities, within a walkable neighborhood, and near existing retail opportunities. As such, the project would result in fewer emissions than if a similar project were to be constructed in another neighborhood within the San Diego region that lacks such emission-reducing features.</p> <p>Given the above analysis, the proposed project would not result in significant impacts on the environment. Project emissions would not exceed the 900 MTCO₂e threshold used by the City and would not have a significant impact on the environment. Therefore, this</p>						

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>impact is considered less than significant.</i>						
(b) Conflict with any applicable plan, policy, or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gas? As stated above in Section 5.a, construction and operation of the proposed project would not result in a significant impact related to GHG emissions on the environment. The project complies with the City of San Diego interim reduction thresholds, which are based on the AB 32 reduction thresholds, as well as complying with the CCDC's Sustainable Master Plan. The project proposes infill and mixed-use development, which is consistent with the goals of Senate Bill 375. Therefore, the project does not conflict with any applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases. This impact is considered less than significant.					X	X
7. HAZARDS AND HAZARDOUS MATERIALS:						
(a) Substantial health and safety risk related to onsite hazardous materials? The FEIR states that contact with, or exposure to, hazardous building materials, soil and ground water contaminated with hazardous materials, or other hazardous materials could adversely affect human health and safety during short-term construction or long term operation of a development. The proposed project is subject to federal, state, and local agency regulations for the handling of hazardous building materials and waste. Compliance with all applicable requirements of the					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
County of San Diego Department of Environmental Health and federal, state, and local regulations for the handling of hazardous building materials and wastes would ensure that potential health and safety impacts caused by exposure to onsite hazardous materials are not significant during short term, construction activities. In addition, herbicides and fertilizers associated with the landscaping of the project could pose a significant health risk over the long-term operation of the project. However, the proposed project's adherence to existing mandatory federal, state, and local regulations controlling these materials would ensure that long-term health and safety impacts associated with onsite hazardous materials over the long-term operation of the project are not significant.						
(b) Be located on or within 2,000 feet of a site that is included on a list of hazardous materials sites compiled pursuant to Government Code § 65962.5 and, as a result, would it create a significant hazard to the public or the environment? The proposed project is not located on the State of California Hazardous Waste and Substances Sites List. However, as indicated by the Phase I Environmental Site Assessment report prepared for the site by Christian Wheeler Engineering in 2010, numerous listed sites are located within 2,000 feet of the project site including the adjacent site to the north, which is identified as having current or previous underground tanks. However, the Phase I report concluded that based on location of					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>close-proximity sites, current governmental regulations regarding the use of hazardous materials, the stratigraphic conditions, drainage gradients, and elevations, the possible effect of these offsite sources on the users of the project site are considered to be low. In addition, the FEIR states that significant impacts to human health and the environment regarding hazardous waste sites would be avoided through compliance with mandatory federal, state, and local regulations as described in section 7.a above, and no mitigation measures would be required.</i>						
<i>(c) Substantial safety risk to operations at San Diego International Airport? The proposed project is within the boundaries of the Airport Influence Area of the Airport Land Use Compatibility Plan (ALUCP) for San Diego International Airport (SDIA). The project is subject to FAA determination of no hazard to air navigation prior to issuance of any development permit. Therefore, impacts associated with this issue are not anticipated to occur.</i>					X	X
<i>(d) Substantially impair implementation of an adopted emergency response plan or emergency evacuation plan? The project does not propose any features that would affect an emergency response or evacuation plan. Therefore, no impact associated with this issue is anticipated.</i>					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
8. HISTORICAL RESOURCES:						
<p>(a) Substantially impact a significant historical resource, as defined in § 15064.5? <i>The project site currently contains the Frank L. Rawson Residence (Rawson Residence), which was designated by the Historical Resources Board (HRB) as Local Historical Resource No. 292 on October 24, 1990. Development of the site would involve the relocation and restoration of the Rawson Residence building. Relocation would entail moving the structure approximately 75 feet from its current location at the center of the project site to the eastern portion of the project site on the corner of Front and Cedar Street. The building would then be completely restored consistent with the Secretary of the Interior Standards for Rehabilitation of Historical Resources and used for commercial/retail purposes; therefore, not creating any adverse impacts to the historical resource</i></p> <p><i>Because the relocation of the Rawson Residence is considered a substantial alteration and requires approval of an SDP pursuant to Municipal Code Section 143.0251, implementation of Mitigation Measure HIST-A.1-1, (as applicable to San Diego Register-Listed Resources) and Mitigation Measure HIST-A.1-2 (potential for direct and/or indirect impacts to a retained or relocated local resource) is required. Consistent with the conclusions of the FEIR, implementation of these mitigation measures and any conditions of approval stemming from them (as may be ultimately approved by the Planning Commission), may or may not be sufficient to</i></p>	X	X				

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>reduce the impacts to below a level of significance. Therefore, consistent with the analysis of the FEIR, the proposed project could result in significant and unmitigated impacts.</p> <p>The City Council adopted a Statement of Overriding Considerations for this potential significant impact identified in the FEIR, thereby acknowledging that the benefits of implementing the Downtown Community Plan outweigh the potential for impacts resulting from such actions (refer to P.6 of this Secondary Study). Because of the adoption of Overriding Considerations for this impact, there is no further environmental review required for the proposed relocation and preservation of the Rawson Residence if the Planning Commission makes the required findings and approves the SDP and conditions the project with Mitigation Measures HIST-A.1-1 and HIST-A.1-2 (see Attachment A).</p>						
(b) Substantially impact a significant archaeological resource pursuant to § 15064.5, including the disturbance of human remains interred outside of formal cemeteries? The likelihood of encountering archaeological resources is greatest for projects that include grading and/or excavation of areas on which past grading and/or excavation activities have been minimal (e.g., surface parking lots). Since archaeological resources have been found within inches of the ground surface in the downtown planning area, even minimal grading activities can impact these resources. In addition, the likelihood of encountering	X	X				

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	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>subsurface human remains during construction and excavation activities, although considered low, is possible. Thus, the demolition, grading, and surface clearance activities associated with development of the proposed project could have potentially adverse impacts to archaeological resources, including buried human remains. Implementation of FEIR Mitigation Measure HIST-B.1-1, (see Attachment A) would minimize, but not fully mitigate, these potential impacts. Since the potential for archaeological resources and human remains on the proposed project site cannot be confirmed until construction activities are conducted, the exact nature and extent of impacts associated with the proposed project cannot be predicted. Consequently, the required mitigation may or may not be sufficient to reduce these direct project-level impacts to below a level of significance. Therefore, project-level impacts associated with this issue remain potentially significant and not fully mitigated, and consistent with the analysis of the FEIR. Furthermore, project-level significant impacts to important archaeological resources would contribute to the potentially significant and unmitigated cumulative impacts identified in the FEIR.</p>						
<p>(c) Substantially impact a unique paleontological resource or site or unique geologic feature? The proposed project site is underlain by the Bay Point Formation, which has high paleontological resource potential. The FEIR concludes that development would have potentially adverse impacts to</p>			X	X		

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>paleontological resources if grading activities are conducted beyond a depth of 1-3 feet. The project's demolition and grading activities could involve excavation beyond the FEIR standard, resulting in potentially significant impacts to paleontological resources. However, implementation of FEIR Mitigation Measure PAL-A.1-1 (see Attachment A) would ensure that the proposed project's potentially direct impacts to paleontological resources are not significant. Furthermore, the project would not impact any resources outside of the project site. The mitigation measures for direct impacts fully mitigate for paleontological impacts, therefore, the project's contribution to cumulative impacts to paleontological resources would be significant but mitigated because the same measures that mitigate direct impacts would also mitigate for any cumulative impacts.</i>						
9. HYDROLOGY AND WATER QUALITY:						
(a) Substantially degrade groundwater or surface water quality? <i>The project's construction and grading activities may involve soil excavation at a depth that could surpass known groundwater levels, which would indicate that groundwater dewatering might be required. Compliance with the requirements of either (1) the San Diego Regional Water Quality Control Board under a National Pollution Discharge Elimination system general permit for construction dewatering (if dewatering is discharged to surface waters), or (2) the City of San Diego Metropolitan Wastewater Department (if dewatering is discharged into the City's sanitary sewer</i>		X			X	

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>system under the Industrial Waste Pretreatment Program), and (3) the mandatory requirements controlling the treatment and disposal of contaminated dewatered groundwater would ensure that potential impacts associated with construction dewatering and the handling of contaminated groundwater are not significant. In addition, Best Management Practices (BMPs) required as part of the local Storm Water Pollution Prevention Plan (SWPPP) would ensure that short-term water quality impacts during construction are not significant. The proposed project would result in similar hard structure areas and other impervious surfaces as the existing site that would generate urban runoff with the potential to degrade groundwater or surface water quality. However, implementation of BMPs required by the local Standard Urban Stormwater Mitigation Program (SUSMP) and Stormwater Standards would reduce the project's long-term impacts. Thus, adherence to the state and local water quality controls would ensure that direct impacts to groundwater and surface water quality would not be significant.</p> <p>Despite not resulting in direct impacts to water quality, the FEIR found that the urban runoff generated by the cumulative development in the downtown would contribute to the existing significant cumulative impact to the water quality of San Diego Bay. No mitigation other than adherence to existing regulations has been identified in the FEIR to feasibly reduce this</p>						

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>cumulative impact to below a level of significance. Consistent with the FEIR, the project's contribution to the cumulative water quality impact would remain significant and unmitigated.</i>						
(b) Substantially increase impervious surfaces and associated runoff flow rates or volumes? The proposed project site is currently developed and covered with impervious surfaces. Implementation of the proposed project would result in impervious surfaces similar to those that exist onsite. Thus, the proposed project would not substantially increase the runoff volume entering the storm drain system. Therefore, impacts associated with this issue are not significant. (Impacts associated with the quality of urban runoff are analyzed in Section 8.a.)					X	X
(c) Substantially impede or redirect flows within a 100-year flood hazard area? The project site is not located within a 100-year floodplain. Similarly, the proposed project would not affect offsite flood hazard areas, as no 100-year floodplains are located downstream. Therefore, impacts associated with these issues are not significant.					X	X
(d) Substantially increase erosion and sedimentation? The project site is currently developed with impervious surfaces. The hydrology of the proposed site would not be substantially altered by implementation of the proposed project as the site would maintain a similar quantity of impervious surfaces and, therefore, the proposed project would not					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
substantially increase the long-term potential for erosion and sedimentation. However, the potential for erosion and sedimentation could increase during the short-term during site preparation and other construction activities. The proposed project's compliance with regulations mandating the preparation and implementation of a SWPPP would ensure that impacts associated with erosion and sedimentation are not significant.						
10. LAND USE AND PLANNING:						
(a) Physically divide an established community? The proposed project does not propose any features or structures that would physically divide an establishment community. Impacts associated with this issue would not occur.					X	X
(b) Substantially conflict with the City's General Plan and Progress Guide, Downtown Community Plan or other applicable land use plan, policy, or regulation? The project site is located within the Little Italy District of the Centre City Planned District under the San Diego Downtown Community Plan. The project site is within the Centre City PDO designated Employment/Residential Mixed-Use Land Use District. The Employment/Residential Mixed-Use Land Use District provides synergies between educational institutions and residential neighborhoods, or transition between the Core and residential neighborhoods. This classification permits a variety of uses, including office, residential, hotel, research and development, and educational and medical facilities.					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>The Centre City PDO permits a maximum base Floor Area Ratio (FAR) of 6.5 and a base FAR of 4.0 on the proposed project site. As discussed in Section 5 above, (refer to P. 2 and 3 of this Secondary Study), site constraints (including narrow site width, slope, and limited vehicle access) and PDO street wall requirements, have limited the project's floor area to a FAR of 2.49, and the proposed project is requesting a deviation due to these site constraints. This deviation request results in a minor adjustment to the development standards of the PDO and would require approval from the Planning Commission through a PDP. With approval of this deviation through the PDP process, the project conforms to the design measures required by the San Diego Downtown Community Plan and PDO.</p> <p>As discussed in Section 5 above, (refer to P. 3 of this Secondary Study), the proposed project is requesting certain deviations due to PDO requirements regarding street wall setbacks, finish ground floor elevations, and enclosures of access aisles for above grade enclosed private garages. These deviation requests result in minor adjustments to the development standards of the PDO and would require approval from the Planning Commission through a PDP. With approval of these deviations through the PDP process, the project conforms to the design measures required by the San Diego Downtown Community Plan and PDO.</p> <p>As discussed in 7.c, the proposed project is</p>						

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>within the jurisdiction of the Airport Land Use Compatibility Plan (ALUCP) for San Diego International Airport (SDIA) and is subject to FAA determination of no hazard to air navigation prior to issuance of any development permit. In addition, the proposed project would not conflict with other applicable land use plans, policies, or regulations. The proposed project complies with the goals and requirements of the San Diego Downtown Community Plan, and meets all applicable standards of the PDO. Therefore, no significant direct or cumulative impacts associated with an adopted land use plan would occur.</i>						
<i>(c) Substantial incompatibility with surrounding land uses? Sources of land use incompatibility include lighting, shading, industrial activities, and noise. The proposed project would not result in, or be subject to, adverse impacts due to substantially incompatible land uses. Compliance with the City's Light Pollution Ordinance would ensure that land use incompatibility impacts related to the proposed project's emitting of, and exposure to, lighting are not significant. In addition, the FEIR concludes that existing mandatory regulations addressing land use compatibility with industrial activities would ensure that residents of, and visitors to, the proposed project are not subject to potential land use incompatibilities (potential land use incompatibilities resulting from hazardous materials and air emissions are evaluated elsewhere in this Secondary Study). Similarly, the project site is not directly adjacent to any</i>					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
major planned neighborhood parks that could be significantly impacted by shading from the project. Potentially significant impacts associated with the project's incompatibility with traffic noise on adjacent grid streets are discussed in Sections 12.b and 12.c. No impacts associated with incompatibility with surrounding land use would occur.						
(d) Substantially impact surrounding communities due to sanitation and litter problems generated by transients displaced by downtown development? Although not expected to be a substantial direct impact of the project because substantial numbers of transients are not known to congregate onsite, the project, in tandem with other downtown redevelopment activities, would have a significant cumulative impact on surrounding communities resulting from sanitation problems and litter generation by transients who are displaced from downtown into surrounding canyons and vacant land as discussed in the FEIR. Continued support of Homeless Outreach Teams (HOTs) and similar transient outreach efforts would reduce, but not fully mitigate, the adverse impacts to surrounding neighborhoods caused by the transient relocation. Therefore, the proposed project would result in cumulatively significant and not fully mitigated impacts to surrounding neighborhoods.		X			X	
11. MINERAL RESOURCES:						
(a) Substantially reduce the availability of important mineral resources? The FEIR states					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>that the viable extraction of mineral resources is limited in the Centre City due to its urbanized nature and the fact that the area is not designated as having high mineral resource potential. Therefore, no impact associated with this issue would occur.</i>						
12. NOISE:						
(a) Substantial noise generation? <i>The proposed project would not result in substantial noise generation from any stationary sources over the long-term. Short-term construction noise impacts would be avoided by adherence to construction noise limitations imposed by the City's Noise Abatement and Control Ordinance. In addition, the proposed project is consistent with the land use designation for this site in the Downtown Community Plan. Therefore, as significant noise impacts were not identified in the Downtown Community Plan, the proposed project is not expected to result in substantial noise increases. Thus, no significant impact related to noise generation would be associated with the proposed project. However, the project would, in combination with other development in the downtown, contribute to the cumulatively significant traffic noise increases on nine street segments. This impact is consistent with the analysis of the FEIR and considered cumulatively significant and not mitigated.</i>		X			X	
(b) Substantial exposure of required outdoor residential open spaces or public parks and plazas to noise levels (e.g. exposure to levels exceeding 65 dBA CNEL)? <i>The proposed project is considered a residential mixed-use</i>		X			X	

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>development and the balcony spaces proposed by the project are required by the PDO. Additionally, roof decks are provided on a majority of the residential units that provide additional outdoor open space. According to the FEIR, the project site is located on a street segment of Front Street that is expected to carry traffic volumes that could create traffic noise in excess of 65 dBA CNEL. However, none of the open areas proposed by the project would be constructed along this segment. Instead, the historical resource, which would not include residential units and is not required to provide outdoor open space, is proposed to be relocated along this street segment. Therefore, substantial exposure of required outdoor open space areas to noise levels exceeding the 65 dBA CNEL standard would not occur.</p> <p>As detailed in response 12 (a) above, the proposed project would not result in direct significant noise impacts due to generation of vehicular traffic. Thus, direct significant noise impacts to outdoor spaces at adjacent existing or future residential units would not occur. However, the project would, in combination with other development in the downtown, contribute to cumulatively significant traffic noise increases. This cumulative noise effect could adversely affect adjacent residential outdoor spaces. This impact is consistent with the analysis of the FEIR and considered cumulatively significant and not mitigated.</p>						

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
(c) Substantial interior noise within habitable rooms (e.g. levels in excess of 45 dBA CNEL)? As traffic noise levels on the street segments bordering the project's residential units are not expected to reach levels in excess of 65 dBA CNEL, interior noise levels within habitable rooms would not experience interior noise levels in excess of 45 dBA CNEL (the FEIR standard). Additionally, the project would be required to comply with State Building Codes for interior noise levels. Therefore, impacts associated with this issue would be less than significant.					X	X
13. POPULATION AND HOUSING:						
(a) Substantially induce population growth in an area? The proposed project is consistent in land use with the San Diego Downtown Community Plan. Adverse physical changes associated with the population growth generated by the proposed project would not exceed those analyzed throughout the FEIR and this Secondary Study. Therefore, project-level and cumulative impacts associated with this issue are not significant.					X	X
(b) Substantial displacement of existing housing units or people? A commercial building and two rooming houses currently exist on the project site. One of the rooming houses is a designated historical resource and would be relocated to the east side of the project site and completely restored. The other rooming house and commercial building would be demolished. Removal of the commercial building and one existing housing unit would not displace substantial numbers of existing					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>housing or substantial numbers of people, necessitating the construction of replacement housing elsewhere. Therefore, project-level and cumulative impacts associated with this issue are not significant.</i>						
14. PUBLIC SERVICES AND UTILITIES:						
(a) Substantial adverse physical impacts associated with the provision of new schools? The FEIR concludes that the additional student population anticipated at build out of the downtown area would require the construction of at least one additional school. In and of itself, the proposed project would not generate a sufficient number of students to warrant construction of a new school facility. However, the project would contribute, in combination with other development in downtown to the need for at least one additional school in downtown, consistent with the analysis of the FEIR. Nevertheless, as indicated in the FEIR, the specific future location of a new school is unknown at present time. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis of the physical changes in the downtown planning area, which may occur from future construction of schools, would be speculative and no further analysis of their impacts is required. However, construction of new schools would be subject to CEQA. Environmental documentation prepared pursuant to CEQA would identify potentially significant impacts and appropriate mitigation measures.					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
(b) Substantial adverse physical impacts associated with the provision of new libraries? The FEIR concludes that, cumulatively, development in the downtown would generate the need for a new Main Library and possibly several smaller libraries within the downtown. In and of itself, the proposed project would not generate additional demand necessitating the construction of new library facilities. However, the proposed project would contribute to the cumulative need for new library facilities in the downtown identified in the FEIR. Nevertheless, the specific future location of these facilities (except the Main Library) is unknown at present time. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis of the physical changes in the downtown planning area, which may occur from future construction of these public facilities, would be speculative and no further analysis of their impacts is required (The environmental impacts of the Main Library were analyzed in a Secondary Study prepared by CCDC in 2001). Environmental documentation prepared pursuant to CEQA would identify potentially significant impacts and appropriate mitigation measures.					X	X
(c) Substantial adverse physical impacts associated with the provision of new fire protection/emergency facilities? The FEIR does not conclude that the cumulative development of the downtown would generate additional demand necessitating the construction of new fire protection/emergency facilities. Since the					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
land use designation of the proposed development is consistent with the land use designation assumed in the FEIR analysis, the project would not generate a level of demand for fire protection/emergency facilities beyond the level assumed by the FEIR. However, the FEIR reports that the San Diego Fire Department is in the process of securing sites for two new fire stations in the downtown area. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis of the physical changes in the downtown planning area that may occur from future construction of this fire station facility would be speculative and no further analysis of the impact is required. However, construction of the second new fire protection facility would be subject to CEQA. Environmental documentation prepared pursuant to CEQA would identify significant impacts and appropriate mitigation measures.						
(d) Substantial adverse physical impacts associated with the provision of new law enforcement facilities? The FEIR analyzes impacts to law enforcement service resulting from the cumulative development of the downtown and concludes the construction of new law enforcement facilities would not be required. Since the land use designation of the proposed development is consistent with the land use designation assumed in the FEIR analysis, the project would not generate a level of demand for law enforcement facilities beyond the level assumed by the FEIR. However, the need for a new facility could be					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
identified in the future. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis of the physical changes in the downtown planning area that may occur from the future construction of law enforcement facilities would be speculative and no future analysis of their impacts would be required. However, construction of new law enforcement facilities would be subject to CEQA. Environmental documentation prepared pursuant to CEQA would identify potentially significant impacts and appropriate mitigation measures.						
(e) Substantial adverse physical impacts associated with the provision of new water transmission or treatment facilities? The FEIR concludes that new water treatment facilities would not be required to address the cumulative development of downtown. In addition, water pipe improvements that may be needed to serve the proposed project are categorically exempt from environmental review under CEQA as stated in the FEIR. Therefore, impacts associated with this issue would not be significant.					X	X
(f) Substantial adverse physical impacts associated with the provision of new storm water facilities? The FEIR concludes that the cumulative development of the downtown would not impact the existing downtown storm drain system. Since implementation of the proposed project would result in an amount of impervious surfaces similar to the existing use of the site, the amount of runoff volume entering the storm drain system would not create demand for new storm water					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>facilities. Direct and cumulative impacts associated with this issue are considered not significant.</i>						
(g) Substantial adverse physical impacts associated with the provision of new wastewater transmission or treatment facilities? The FEIR concludes that new wastewater treatment facilities would not be required to address the cumulative development of the downtown. In addition, sewer improvements that may be needed to serve the proposed project are categorically exempt from environmental review under CEQA as stated in the FEIR. Therefore, impacts associated with this issue would not be significant.					X	X
(h) Substantial adverse physical impacts associated with the provision of new landfill facilities? The FEIR concludes that cumulative development within the downtown would increase the amount of solid waste to the Miramar Landfill and contribute to the eventual need for an alternative landfill. Although the proposed project would generate a higher level of solid waste than the existing use of the site, implementation of a mandatory Waste Management Plan and compliance with the applicable provisions of the San Diego Municipal Code would ensure that both short-term and long-term project-level impacts are not significant. However, the project would contribute, in combination with other development activities in downtown, to the cumulative increase in the generation of solid waste sent to Miramar					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
Landfill and the eventual need for a new landfill as identified in the FEIR. The location and size of a new landfill is unknown at this time. Pursuant to Section 15145 of the California Environmental Quality Act (CEQA), analysis from the physical changes that may occur from future construction of landfills would be speculative and no further analysis of their impacts is required. However, construction or expansion of a landfill would be subject to CEQA. Environmental documentation prepared pursuant to CEQA would identify potentially significant impacts of the proposed project and appropriate mitigation measures. Therefore, cumulative impacts of the proposed project are also considered not significant.						
15. RECREATIONAL FACILITIES:						
(a) Substantial increase in the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated? The FEIR discusses impacts to parks and other recreational facilities and the maintenance thereof and concludes that buildout of the Downtown Community Plan would not result in significant impacts associated with this issue. Since the land use designation of the proposed development does not differ from the land use designation assumed in the FEIR analysis, the project would not generate a level of demand for parks and recreational facilities beyond the level assumed by the FEIR. Therefore, substantial deterioration of existing neighborhood or regional parks would not					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
occur or be substantially accelerated as a result of the proposed project. No significant impacts with this issue would occur.						
16. TRANSPORTATION/TRAFFIC:						
(a) Cause the LOS on a roadway segment or intersection to drop below LOS E? Based on Centre City Cumulative Traffic Generation Rates for commercial projects contained in the May 2003 San Diego Municipal Code Trip Generation Manual, the worst-case scenario for automobile trips by the project is 197 Average Daily Trips (ADT) based on a trip generation rate of five ADT per residential unit (total of 45 ADT), $(0.85[\ln(T) = 0.756 \ln(x) + 3.95])$ ADT per 1,000 square feet of commercial space (total of 85 ADT), and 18 ADT per 1,000 square feet of retail space (total of 67 ADT) for the proposed residential mixed-use project. Since this does not exceed the 2,400 ADT significance threshold established in the FEIR, the proposed project's impacts on roadway segments or intersections downtown would be significant without mitigation. With buildout of the Downtown Community Plan, a total of 62 intersections are anticipated to operate at LOS F; however, none of the impacted intersections are adjacent to the project site. Although the project's direct impacts on downtown roadway segments or intersections would not be significant, the traffic generated by the proposed project would, in combination with the traffic generated by other downtown development, contribute to the significant cumulative traffic impacts projected in the FEIR to occur on a number of		X			X	

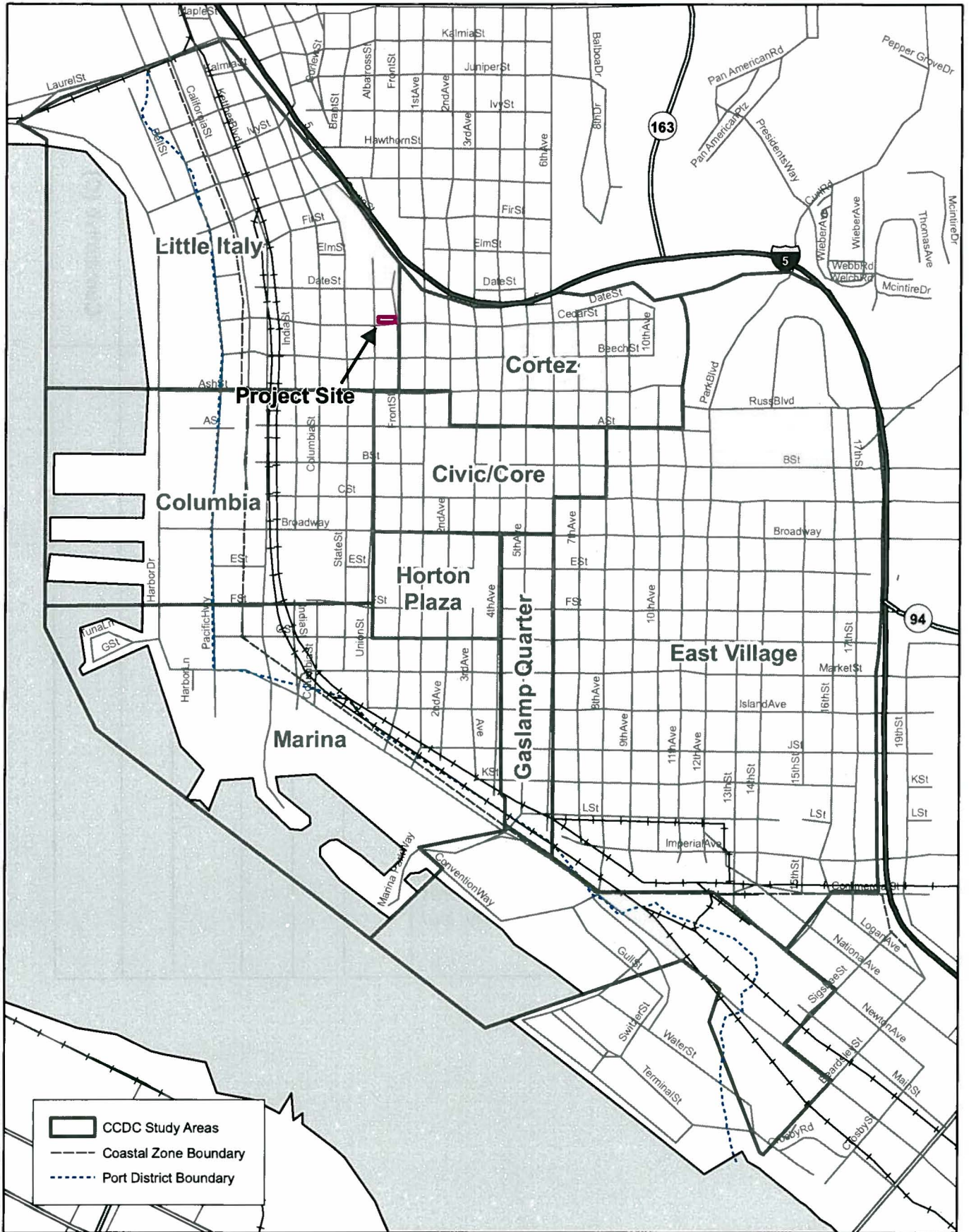
	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
downtown roadway segments and intersections, and streets within neighborhoods surrounding the Plan area at buildout of the downtown. The FEIR includes mitigation measures to address these impacts, but the identified measures may or may not be able to fully mitigate these cumulative impacts due to constraints imposed by bicycle and pedestrian activities and the land uses adjacent to affected roadways. These mitigation measures are not the responsibility of the proposed project, and are therefore not included in Attachment A. Therefore, consistent with the analysis of the FEIR, the proposed project would contribute to significant cumulative impacts associated with this issue.						
(b) Cause the LOS on a freeway segment to drop below LOS E or cause a ramp delay in excess of 15 minutes? The FEIR concludes that development within the downtown would result in significant cumulative impacts to freeway segments and ramps serving the downtown planning area. Since the land use designation of the proposed development is consistent with the land use designation assumed in the FEIR analysis, the proposed development would contribute on a cumulative-level to the substandard LOS F identified in the FEIR on all freeway segments in the downtown area and several ramps serving the downtown. FEIR Mitigation Measure TRF-A.2.1-1 would reduce these impacts to the extent feasible, but not to below the level of significance. This mitigation measure is not the responsibility of the proposed project, and therefore is not		X			X	

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>included in Attachment A. The FEIR concludes that the uncertainty associated with implementing freeway improvements and limitations in increasing ramp capacity limits the feasibility of fully mitigating impacts to these facilities. Thus, the proposed project's cumulative-level impacts to freeways would remain significant and unavoidable, consistent with the analysis of the FEIR. The proposed project would not have a direct impact on freeway segments and ramps.</p>						
<p>(c) Create an average demand for parking that would exceed the average available supply? The proposed project, composed of residential units, office space, and retail space, is considered residential mixed-use per the Centre City PDO. Thus, the proposed project is in conformance with applicable land use plans. The Centre City PDO requires a minimum of one off-street parking space per residential unit and is exempt from required guest spaces since the project has less than 30 residential units. Retail and commercial office parking requirements are also exempt since retail and commercial office space would total less than 30,000 and 50,000 square feet respectively. Therefore, the project would result in the need for a minimum of nine parking spaces. Because implementation of the project would result in nine parking spaces, the number of spaces required by the Centre City PDO, the project would not have a significant direct impact on downtown parking.</p>						

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<p>However, demand generated by cumulative downtown development would exceed the amount of parking provided by such development in accordance with the PDO. Implementation of FEIR Mitigation Measure TRF-D.1-1 would reduce, but not fully mitigate, the significant cumulative impact of excessive parking demand (this mitigation measure is not the responsibility of the proposed project, and therefore is not included in Attachment A). Therefore, the proposed project would contribute to the cumulatively significant and not mitigated shortfall in parking supply anticipated to occur throughout the downtown by the FEIR.</p>						
<p>(d) Substantially discourage the use of alternative modes of transportation or cause transit service capacity to be exceeded? The proposed project does not include any features that would discourage the use of alternatives modes of transportation. In addition, the project site is located five blocks from an existing light-rail trolley station, and there is regular bus service adjacent to the project site on Front Street and elsewhere in the Little Italy District. The project's proximity to several existing and planned community serving uses, including nearby shopping and recreational activities, also encourages walking. Additionally, SANDAG has indicated that transit facilities should be sufficient to serve the downtown population without exceeding capacity.</p>					X	X

	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
17. MANDATORY FINDINGS OF SIGNIFICANCE:						
(a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California history or prehistory? <i>As indicated in the FEIR, due to the highly urbanized nature of the downtown area, no sensitive plant or animal species, habitats, or wildlife migration corridors are located in the Centre City area. However, the project does have potential to eliminate important examples of major periods of California history or prehistory at the project level. No other aspects of the project would substantially degrade the environment. Cumulative impacts described in the subsection 16.b below.</i>	X	X				
(b) Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)? <i>As acknowledged in the FEIR, implementation of the Downtown Community Plan, PDO, and Redevelopment Plan would result in cumulative impacts associated with: air</i>		X				

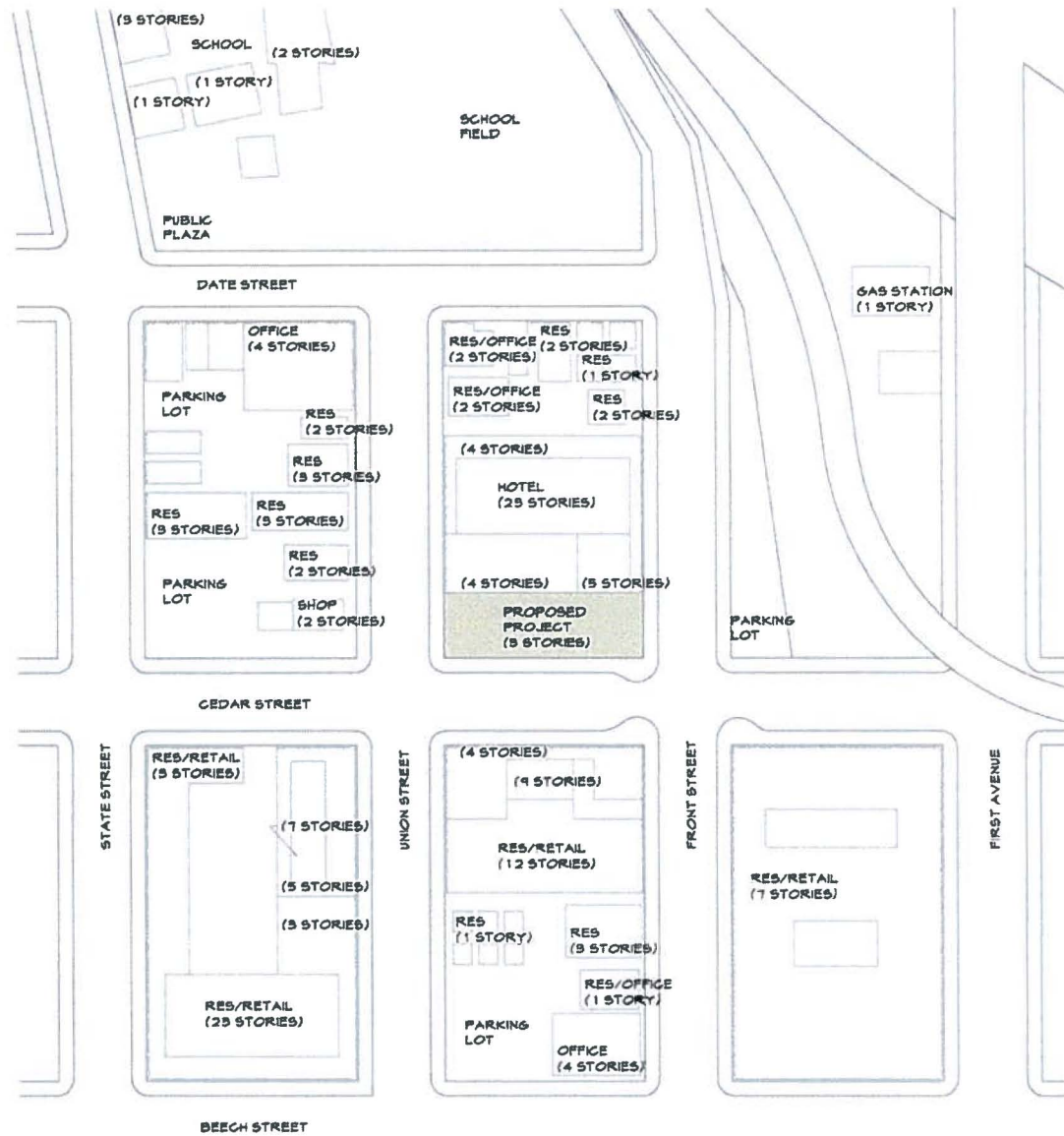
	Significant And Not Mitigated (SNM)		Significant But Mitigated (SM)		Not Significant (NS)	
	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)	Direct (D)	Cumulative (C)
Issues and Supporting Information						
<i>quality, historical resources, paleontological resources, physical changes associated with transient activities, noise, parking, traffic, and water quality. This project would contribute to those impacts. Implementation of the mitigation measures identified in the FEIR would reduce some significant impacts; however, the impacts would remain significant and immitigable. Cumulative impacts would not be greater than those identified in the FEIR.</i>						
(c) Does the project have environmental effects that would cause substantial adverse effects on human beings, either directly or indirectly? As described elsewhere in this study, the proposed project would result in significant and unmitigated impacts. Those impacts associated with air and noise could have substantial adverse effects on human beings. However, these impacts would be no greater than those assumed in the FEIR. Implementation of the mitigation measures identified in the FEIR would mitigate many, but not all, of the significant impacts.	X	X				



N

 NO SCALE

Figure 1
Location Map
 March 2011

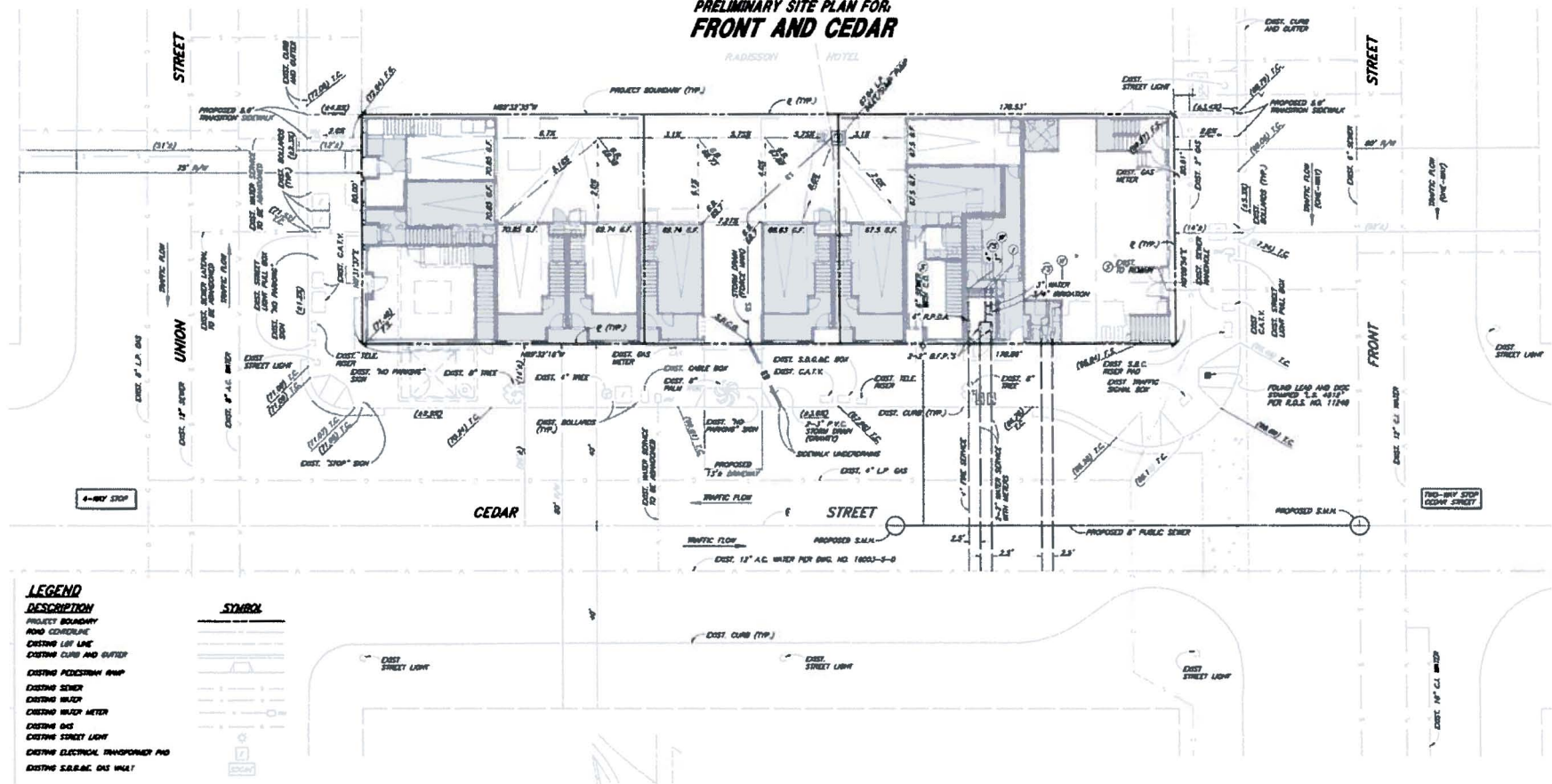


Source: Starck Architecture



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PRELIMINARY SITE PLAN FOR FRONT AND CEDAR

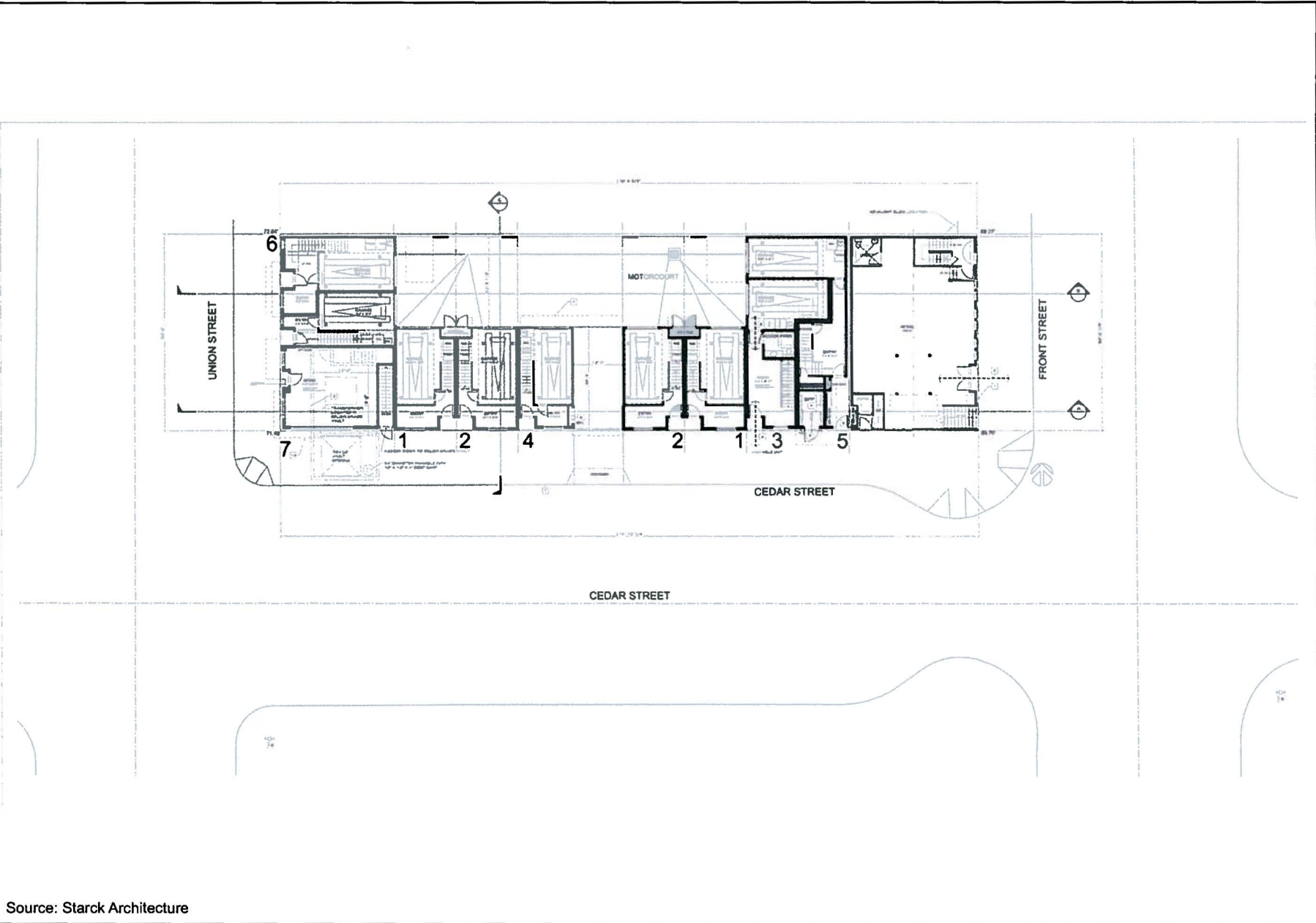


Source: Starck Architecture



Figure 3
Preliminary Site Plan
March 2011

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Source: Starck Architecture

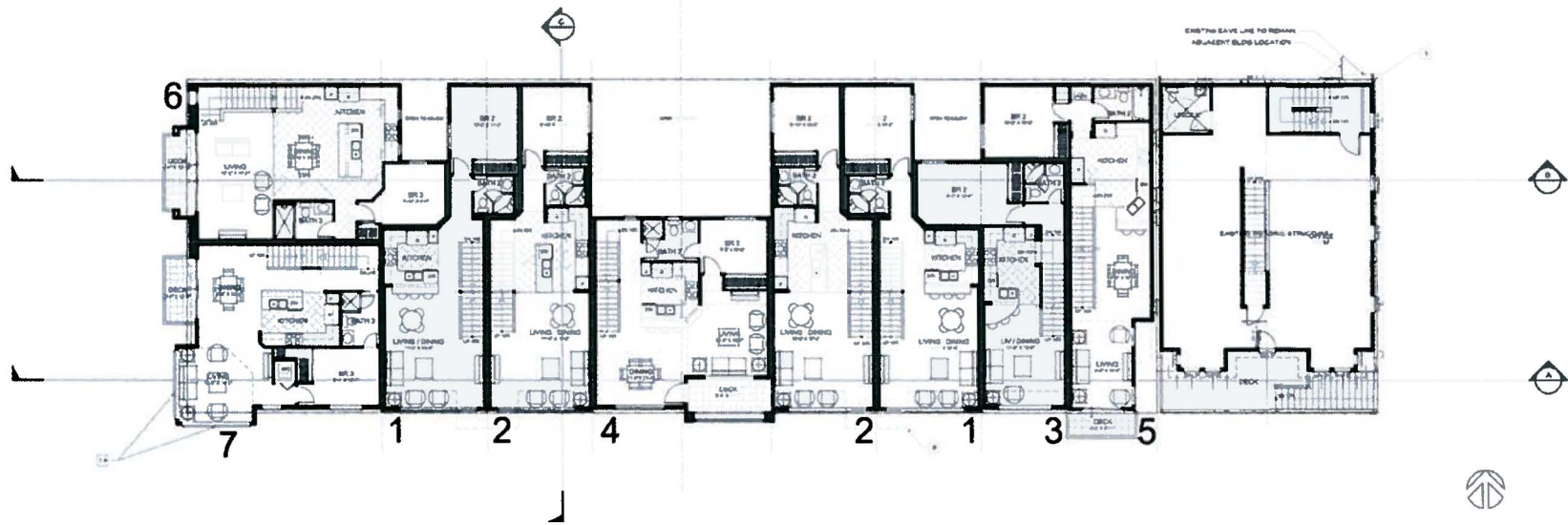


NO SCALE

Front and Cedar Project
CCDC Secondary Study

Figure 4
First Floor Building Plan
March 2011

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Source: Starck Architecture

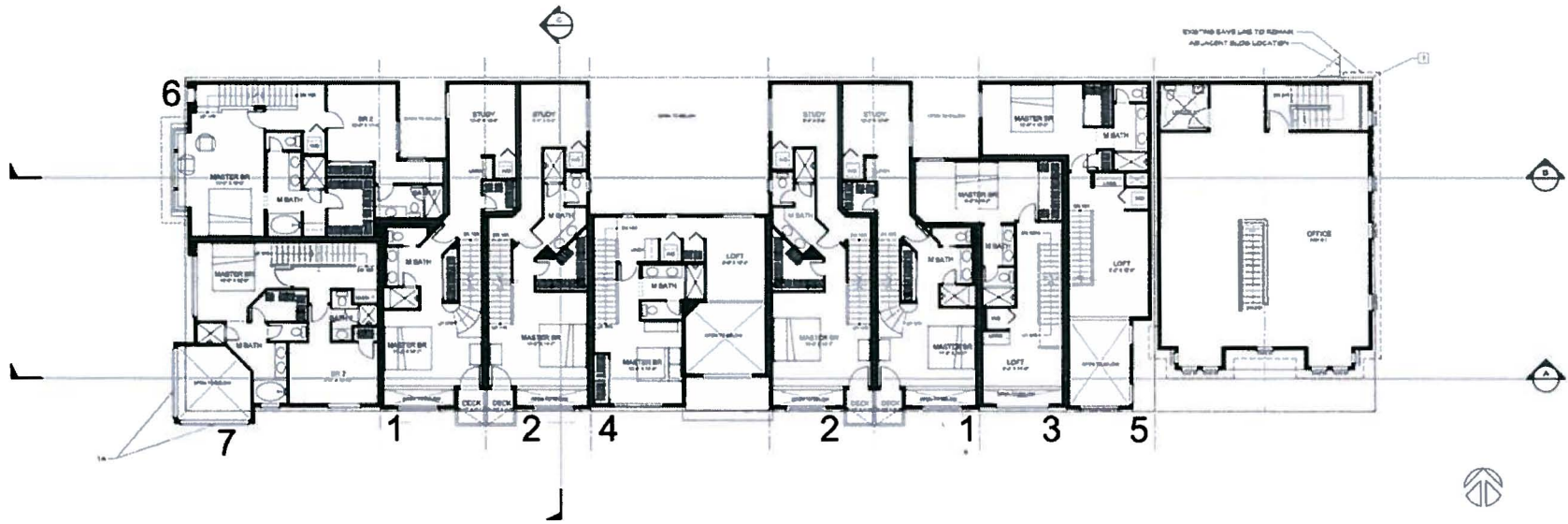


NO SCALE

Front and Cedar Project
CCDC Secondary Study

Figure 5
Second Floor Building Plan
March 2011

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Source: Starck Architecture



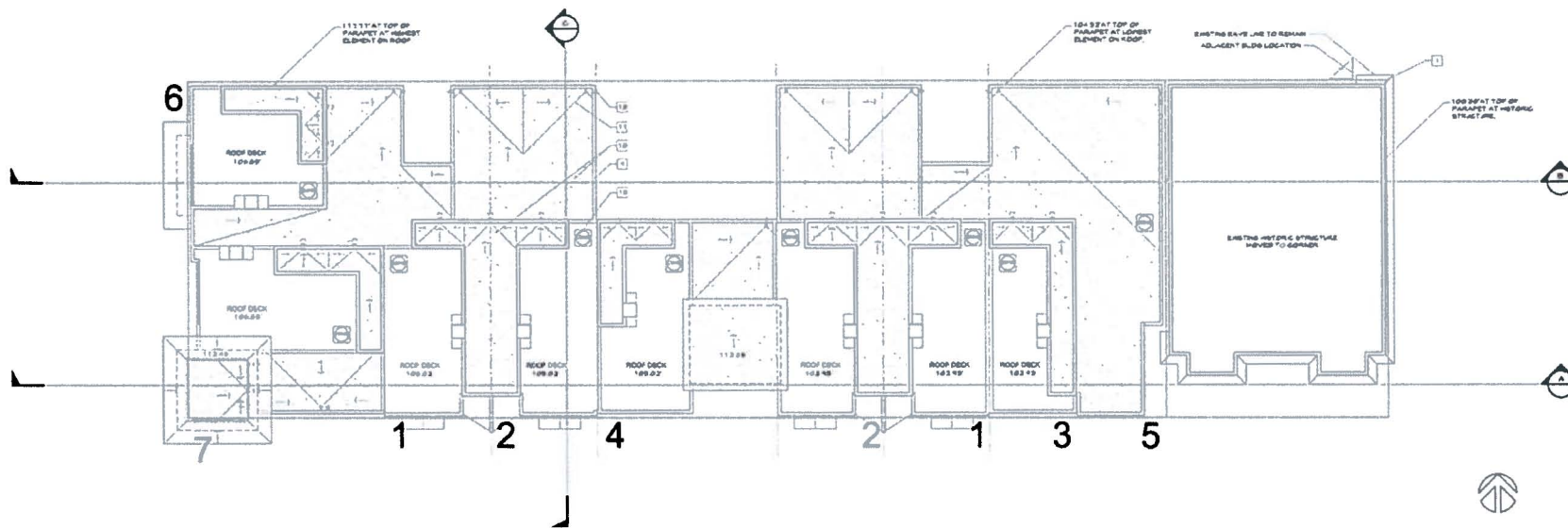
NO SCALE

Front and Cedar Project
CCDC Secondary Study

Figure 6
Third Floor Building Plan
March 2011

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Source: Starck Architecture



N
NO SCALE

Front and Cedar Project
CCDC Secondary Study

Figure 7
Roof Plan
March 2011

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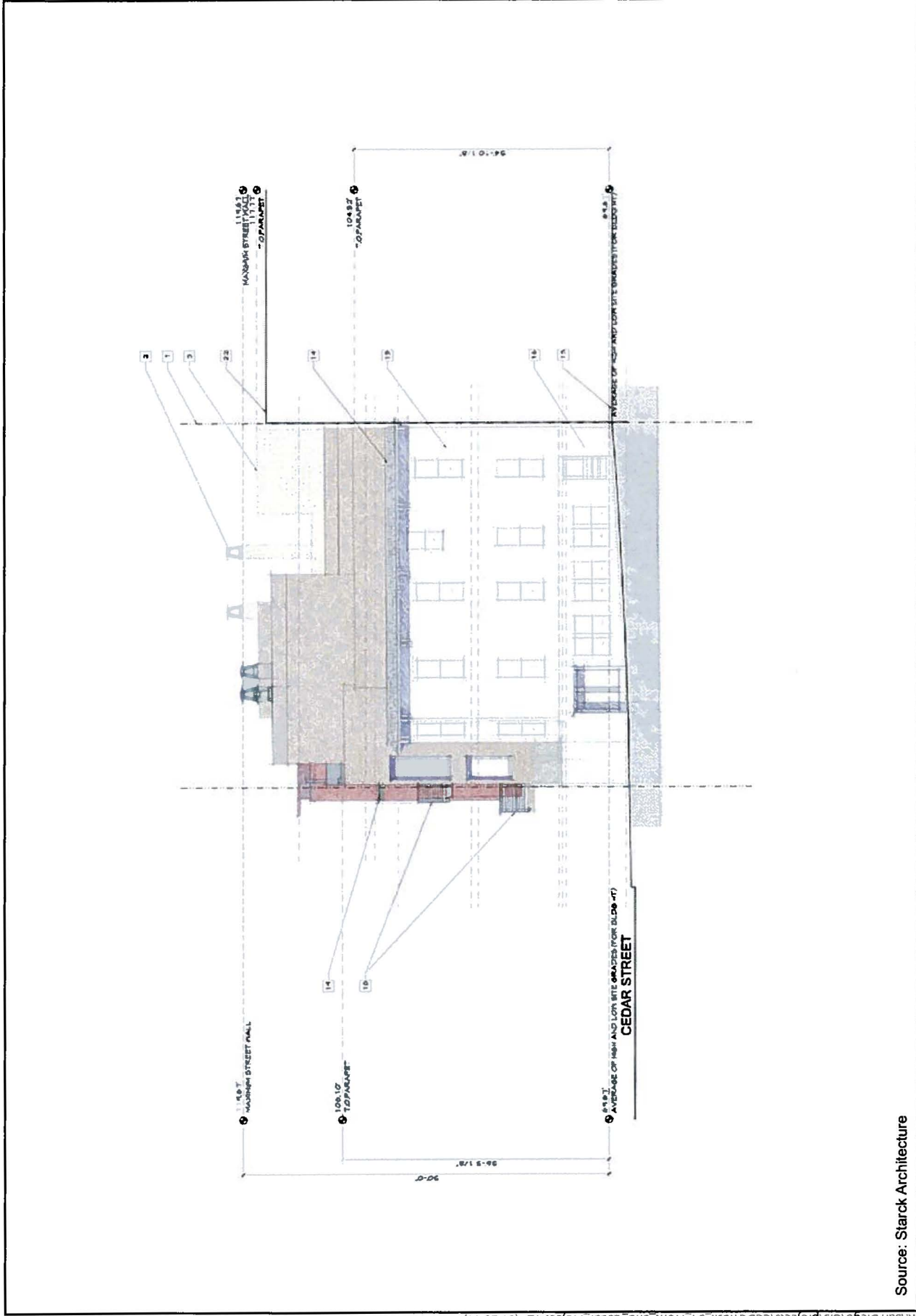


Source: Starck Architecture

NO SCALE

Front and Cedar Project
CCDC Secondary Study

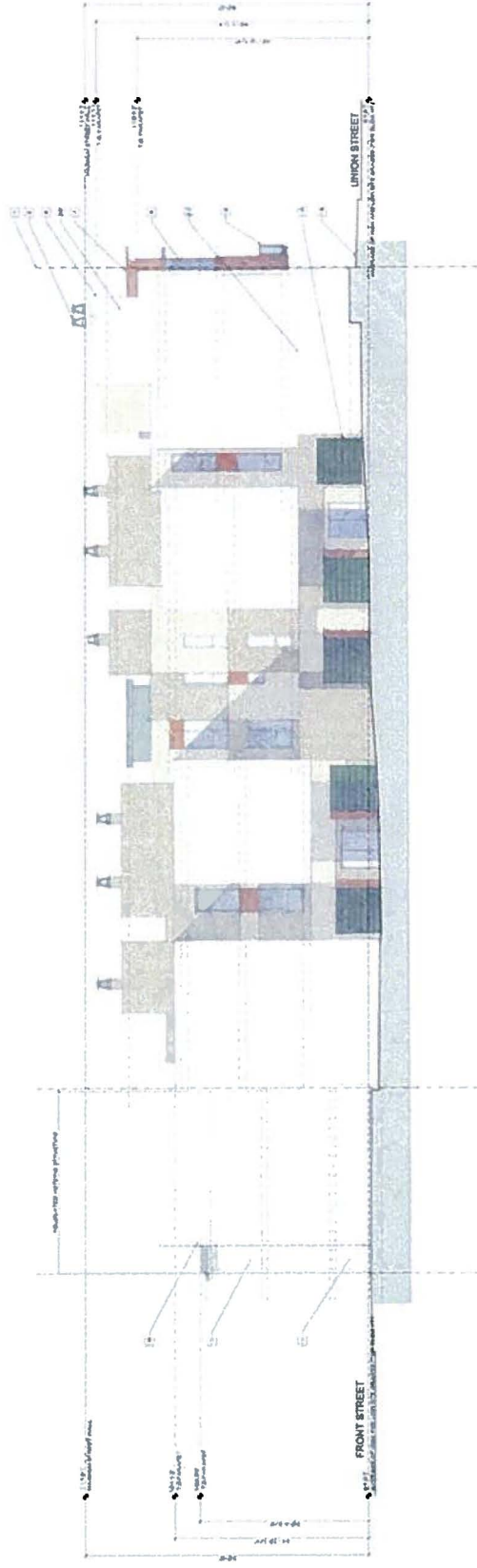
Figure 8
South Elevation
March 2011



Source: Starck Architecture

Figure 9
East Elevation
March 2011

NO SCALE
Front and Cedar Project
CCDC Secondary Study

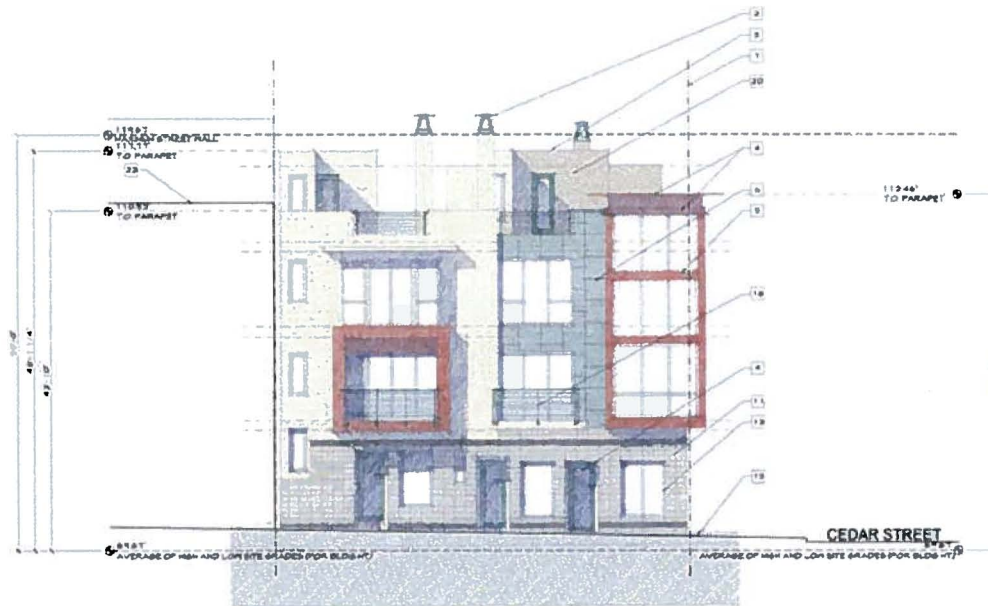


Source: Starck Architecture

Figure 10
North Elevation
Marc2011

NO SCALE
Front and Cedar Project
CCDC Secondary Study

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Source: Starck Architecture

NO SCALE

Front and Cedar Project
CCDC Secondary Study

Figure 11
West Elevation
March 2011

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
AIR QUALITY (AQ)				
<p>Impact AQ-B.1: Dust and construction equipment engine emissions generated during grading and demolition would impact local and regional air quality. (Direct and Cumulative)</p>	<p><i>Mitigation Measure AQ-B.1-1:</i> Prior to approval of a Grading or Demolition Permit, the City shall confirm that the following conditions have been applied, as appropriate:</p> <ol style="list-style-type: none"> 1. Exposed soil areas shall be watered twice per day. On windy days or when fugitive dust can be observed leaving the development site, additional applications of water shall be applied as necessary to prevent visible dust plumes from leaving the development site. When wind velocities are forecast to exceed 25 miles per hour, all ground disturbing activities shall be halted until winds that are forecast to abate below this threshold. 2. Dust suppression techniques shall be implemented including, but not limited to, the following: <ol style="list-style-type: none"> a. Portions of the construction site to remain inactive longer than a period of three months shall be seeded and watered until grass cover is grown or otherwise stabilized in a manner acceptable to the CCDC. b. On-site access points shall be paved as soon as feasible or watered periodically or otherwise stabilized. c. Material transported offsite shall be either sufficiently watered or securely covered to prevent excessive amounts of dust. d. The area disturbed by clearing, grading, earthmoving, or excavation operations shall be minimized at all times. 3. Vehicles on the construction site shall travel at speeds less than 15 miles per hour. 4. Material stockpiles subject to wind erosion during construction activities, which will not be utilized within three days, shall be covered with plastic, an alternative cover deemed equivalent to plastic, or sprayed with a nontoxic chemical stabilizer. 5. Where vehicles leave the construction site and enter adjacent public streets, the streets shall be swept daily or washed down at the end of the work day to remove soil tracked onto the paved surface. Any visible 	<p>Prior to Demolition or Grading Permit (Design)</p>	<p>Developer</p>	<p>City</p>

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>track-out extending for more than fifty (50) feet from the access point shall be swept or washed within thirty (30) minutes of deposition.</p> <ol style="list-style-type: none"> 6. All diesel-powered vehicles and equipment shall be properly operated and maintained. 7. All diesel-powered vehicles and gasoline-powered equipment shall be turned off when not in use for more than five minutes, as required by state law. 8. The construction contractor shall utilize electric or natural gas-powered equipment in lieu of gasoline or diesel-powered engines, where feasible. 9. As much as possible, the construction contractor shall time the construction activities so as not to interfere with peak hour traffic. In order to minimize obstruction of through traffic lanes adjacent to the site, a flag-person shall be retained to maintain safety adjacent to existing roadways, if necessary. 10. The construction contractor shall support and encourage ridesharing and transit incentives for the construction crew. 11. Low VOC coatings shall be used as required by SDAPCD Rule 67. Spray equipment with high transfer efficiency, such as the high volume-low pressure (HPLV) spray method, or manual coatings application such as paint brush hand roller, trowel, spatula, dauber, rag, or sponge, shall be used to reduce VOC emissions, where feasible. 12. If construction equipment powered by alternative fuel sources (LPG/CNG) is available at comparable cost, the developer shall specify that such equipment be used during all construction activities on the development site. 13. The developer shall require the use of particulate filters on diesel construction equipment if use of such filters is demonstrated to be cost-competitive for use on this development. 14. During demolition activities, safety measures as required by City/County/State for removal of toxic or hazardous materials shall be utilized. 15. Rubble piles shall be maintained in a damp state to minimize dust generation. 16. During finish work, low-VOC paints and efficient transfer systems shall be utilized, to the extent possible. 			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	17. If alternative-fueled and/or particulate filter-equipped construction equipment is not feasible, construction equipment shall use the newest, least-polluting equipment, whenever possible.			
HISTORICAL RESOURCES (HIST)				
<p>Impact HIST-A.1: Future development in downtown could impact significant architectural structures. (Direct and Cumulative)</p>	<p>Mitigation Measure HIST-A.1-1: For construction or development permits that may impact potentially historical resources which are 45 years of age or older and which have not been evaluated for local, state and federal historic significance, a site specific survey shall be required in accordance with the Historical Resources Regulations in the Land Development Code. Based on the survey and the best information available, City Staff to the Historical Resources Board (HRB) shall determine whether historical resources exist, whether potential historical resource(s) is/are eligible for designation as designated historical resource(s) by the HRB, and the precise location of the resource(s). The identified historical resource(s) may be nominated for HRB designation as a result of the survey pursuant to Chapter 12, Article 3, Division 2, Designation of Historical Resource procedures, of the Land Development Code.</p> <p>All applications for construction and development permits where historical resources are present on the site shall be evaluated by City Staff to the HRB pursuant to Chapter 14, Article 3, Division 2, Historical Resources Regulations of the Land Development Code.</p> <ul style="list-style-type: none"> • National Register-Listed/Eligible, California Register-Listed/Eligible Resources: Resources listed in or formally determined eligible for the National Register or California Register and resources identified as contributing within a National or California Register District, shall be retained onsite and any improvements, renovation, rehabilitation and/or adaptive reuse of the property shall ensure its preservation and be consistent with the Secretary of the Interior’s Standards for the Treatment of Historic Properties (1995) and the associated Guidelines. • San Diego Register-Listed Resources: Resources listed in the San Diego Register of historical Resources, or determined to be a contributor to a San Diego Register District, shall, whenever possible, be retained on-site. Partial retention, relocation, or demolition of a resource shall only be permitted according to Chapter 14, Article 3, Division 2, Historical Resources Regulations of the Land Development Code. 	<p>Prior to Development Permit (Design)</p> <p>Prior to Demolition, Grading, and/or Building Permit (Design)</p> <p>Prior to Certificate of Occupancy (Implementation)</p>	<p>Developer</p>	<p>CCDC/City</p>

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p><i>Mitigation Measure HIST-A.1-2:</i> If the potential exists for direct and/or indirect impacts to retained or relocated designated and/or potential historical resources (“historical resources”), the following measures shall be implemented in coordination with a Development Services Department designee and/or City Staff to the Historic Resources Board (HRB) (“City Staff”) in accordance with Chapter 14, Article 3, Division 2, Historical Resources Regulations of the Land Development Code.</p> <p>I. Prior to Permit Issuance</p> <p>A Construction Plan Check</p> <p>a. 1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit Building Permits, but prior to the first Preconstruction (Precon) Meeting, whichever is applicable, City Staff shall verify that the requirements for historical monitoring during demolition and/or stabilization have been noted on the appropriate construction documents.</p> <p>(a) Stabilization work can not begin until a Precon Meeting has been held at least one week prior to issuance of appropriate permits.</p> <p>b. (b) Physical description, including the year and type of historical resource, and extent of stabilization shall be noted on the plans.</p> <p>B. Submittal of Treatment Plan for Retained Historical Resources</p> <p>c. 1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit and Building Permits, but prior to the first Precon Meeting, whichever is applicable, the Applicant shall submit a Treatment Plan to City Staff for review and approval in accordance in accordance with the Secretary of the Interior’s Standards for the Treatment of Historic Properties (1995) and the associated Guidelines. The Treatment Plan shall include measures for protecting any –historical resources, as defined in the Land Development Code, during construction related activities (e.g., removal of non-historic features, demolition of adjacent structures, subsurface structural support, etc.). The</p>			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>Treatment Plan shall be shown as notes on all construction documents (i.e., Grading and/or Building Plans).</p> <p>C. Letters of Qualification have been submitted to City Staff</p> <p>d. 1. The applicant shall submit a letter of verification to City Staff identifying the Principal Investigator (PI) for the project and the names of all persons involved in this MMRP (i.e., Architectural Historian, Historic Architect and/or Historian), as defined in the City of San Diego Historical Resources Guidelines (HRG).</p> <p>e. 2. City Staff will provide a letter to the applicant confirming that the qualifications of the PI and all persons involved in the historical monitoring of the project meet the qualification standards established by the HRG.</p> <p>f. 3. Prior to the start of work, the applicant must obtain approval from City Staff for any personnel changes associated with the monitoring program.</p> <p>II. Prior to Start of Construction</p> <p>A. Documentation Program (DP)</p> <p>g. 1. Prior to the first Precon Meeting and/or issuance of any construction permit, the DP shall be submitted to City Staff for review and approval and shall include the following:</p> <p>(a) Photo Documentation</p> <p>4. (1) Documentation shall include professional quality photo documentation of the historical resource(s) prior to any construction that may cause direct and/or indirect impacts to the resource(s) with 35mm black and white photographs, 4x6 standard format, taken of all four elevations and close-ups of select architectural elements, such as, but not limited to, roof/wall junctions, window treatments, and decorative hardware. Photographs shall be of archival quality and easily reproducible.</p> <p>5. (2) Xerox copies or CD of the photographs shall be submitted for archival storage</p>			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>with the City of San Diego Historical Resources Board and the CCDC Project file. One set of original photographs and negatives shall be submitted for archival storage with the California Room of the City of San Diego Public Library, the San Diego Historical Society and/or other relative historical society or group(s).</p> <p>(b) Required drawings</p> <p>6. (1) Measured drawings of the building's exterior elevations depicting existing conditions or other relevant features shall be produced from recorded, accurate measurements. If portions of the building are not accessible for measurement, or cannot be reproduced from historic sources, they should not be drawn, but clearly labeled as not accessible. Drawings produced in ink on translucent material or archivally stable material (blue-line drawings) are acceptable). Standard drawing sizes are 19" x 24" or 24" x 36", standard scale is 1/4" = 1 foot.</p> <p>7. (2) One set of measured drawings shall be submitted for archival storage with the City of San Diego Historical Resources Board, the CCDC Project file, the South Coastal Information Center, the California Room of the City of San Diego Public Library, the San Diego Historical Society and/or other historical society or group(s).</p> <p>h. 2. Prior to the first Precon Meeting, City Staff shall verify that the DP has been approved.</p> <p>B. PI Shall Attend Precon Meetings</p> <p>i. 1. Prior to beginning any work that may impact any historical resource(s) which is/are subject to this MMRP, the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor.</p>			

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	<p>Resident Engineer (RE), Historical Monitor(s), Building Inspector (BI), if appropriate, and City Staff. The qualified Historian and/or Architectural Historian shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Historical Monitoring program with the Construction Manager and/or Grading Contractor.</p> <p>(a) If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with City Staff, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.</p> <p>j. 2. Historical Monitoring Plan (HMP)</p> <p>(a) Prior to the start of any work that is subject to an HMP, the PI shall submit an HMP which describes how the monitoring would be accomplished for approval by City Staff. The HMP shall include an Historical Monitoring Exhibit (HME) based on the appropriate construction documents (reduced to 11x17) to City Staff identifying the areas to be monitored including the delineation of grading/excavation limits.</p> <p>(b) Prior to the start of any work, the PI shall also submit a construction schedule to City Staff through the RE indicating when and where monitoring will occur.</p> <p>(c) The PI may submit a detailed letter to City Staff prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as underpinning, shoring and/or extensive excavation which could result in impacts to, and/or reduce impacts to the on-site or adjacent historical resource.</p> <p>C. Implementation of Approved Treatment Plan for Historical Resources</p> <p>k. 1. Implementation of the approved Treatment Plan for the</p>			

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	<p>protection of historical resources within the project site may not begin prior to the completion of the Documentation Program as defined above.</p> <ul style="list-style-type: none"> l. 2. The qualified Historical Monitor(s) shall attend weekly jobsite meetings and be on-site daily during the stabilization phase for any retained or adjacent historical resource to photo document the Treatment Plan process. m. 3. The qualified Historical Monitor(s) shall document activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day and last day (Notification of Monitoring Completion) of the Treatment Plan process and in the case of ANY unanticipated incidents. The RE shall forward copies to City Staff. n. 4. Prior to the start of any construction related activities, the applicant shall provide verification to City Staff that all historical resources on-site have been adequately stabilized in accordance with the approved Treatment Plan. This may include a site visit with City Staff, the CM, RE or BI, but may also be accomplished through submittal of the draft Treatment Plan photo documentation report. o. 5. City Staff will provide written verification to the RE or BI after the site visit or upon approval of draft Treatment Plan report indicating that construction related activities can proceed. <p>III. During Construction</p> <ul style="list-style-type: none"> A. Qualified Historical Monitor(s) Shall be Present During Grading/Excavation/Trenching <ul style="list-style-type: none"> p. 1. The Qualified Historical Monitor(s) shall be present full-time during grading/excavation/trenching activities which could result in impacts to historical resources as identified on the HME. The Construction Manager is responsible for notifying the RE, PI, and City Staff of changes to any construction activities. q. 2. The Qualified Historical Monitor(s) shall document field 			

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	<p>activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY incidents involving the historical resource. The RE shall forward copies to City Staff.</p> <p>r. 3. The PI may submit a detailed letter to City Staff during construction requesting a modification to the monitoring program when a field condition arises which could effect the historical resource being retained on-site or adjacent to the construction site.</p> <p>B. Notification Process</p> <p>s. 1. In the event of damage to a historical resource retained on-site or adjacent to the project site, the Qualified Historical Monitor(s) shall direct the contractor to temporarily divert construction activities in the area of historical resource and immediately notify the RE or BI, as appropriate, and the PI (unless Monitor is the PI).</p> <p>t. 2. The PI shall immediately notify City Staff by phone of the incident, and shall also submit written documentation to City Staff within 24 hours by fax or email with photos of the resource in context, if possible.</p> <p>C. Determination/Evaluation of Impacts to a Historical Resource</p> <p>u. 1. The PI shall evaluate the incident relative to the historical resource.</p> <p>(a) The PI shall immediately notify City Staff by phone to discuss the incident and shall also submit a letter to City Staff indicating whether additional mitigation is required.</p> <p>(b) If impacts to the historical resource are significant, the PI shall submit a proposal for City Staff review and written approval in accordance with Chapter 14, Article 3, Division 2, Historical Resources Regulations of the Land Development Code and the Secretary of the Interior's</p>			

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	<p>Standards for the Treatment of Historic Properties (1995) and the associated Guidelines. Direct and/or indirect impacts to historical resources from construction activities must be mitigated before work will be allowed to resume.</p> <p>(c) If impacts to the historical resource are not considered significant, the PI shall submit a letter to City Staff indicating that the incident will be documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.</p> <p>IV. Night Work</p> <p>A. If night and/or weekend work is included in the contract</p> <p>v. 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the Precon Meeting.</p> <p>2. The following procedures shall be followed.</p> <p>(a) No Impacts/Incidents In the event that no historical resources were impacted during night and/or weekend work, the PI shall record the information on the CSVR and submit to City Staff via fax by 8 am of the next business day.</p> <p>(b) Potentially Significant Impacts If the PI determines that a potentially significant impact has occurred to a historical resource, the procedures detailed under Section III - During Construction shall be followed.</p> <p>(c) The PI shall immediately contact City Staff, or by 8 am of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.</p> <p>B. If night and/or weekend work becomes necessary during the course of construction:</p> <p>w. 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.</p> <p>x. 2. The RE, or BI, as appropriate, shall notify City Staff</p>			

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	<p>immediately.</p> <p>C. All other procedures described above shall apply, as appropriate.</p> <p>V. Post Construction</p> <p>A. Submittal of Draft Monitoring Report</p> <p>y. 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Historical Resources Guidelines and Appendices which describes the results, analysis, and conclusions of all phases of the Historical Monitoring Program (with appropriate graphics) to City Staff for review and approval within 90 days following the completion of monitoring.</p> <p>(a) The preconstruction Treatment Plan and Documentation Plan (photos and measured drawings) and Historical Commemorative Program, if applicable, shall be included and/or incorporated into the Draft Monitoring Report.</p> <p>(b) The PI shall be responsible for updating (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any existing site forms to document the partial and/or complete demolition of the resource. Updated forms shall be submitted to the South Coastal Information Center with the Final Monitoring Report.</p> <p>z. 2. City Staff shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.</p> <p>aa. 3. The PI shall submit revised Draft Monitoring Report to City Staff for approval.</p> <p>bb. 4. City Staff shall provide written verification to the PI of the approved report.</p> <p>cc. 5. City Staff shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.</p> <p>B. Final Monitoring Report(s)</p> <p>dd. 1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one</p>			

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	<p>copy to City Staff (even if negative), within 90 days after notification from City Staff that the draft report has been approved.</p> <p>2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from City Staff.</p>			
<p>Impact HIST-B.1: Development in downtown could impact significant buried archaeological resources. (Direct and Cumulative)</p>	<p><i>Mitigation Measure HIST-B.1-1:</i> If the potential exists for direct and/or indirect impacts to significant buried archaeological resources, the following measures shall be implemented in coordination with a Development Services Department designee and/or City Staff to the Historic Resources Board (HRB) ("City Staff") in accordance with Chapter 14, Article 3, Division 2, Historical Resources Regulations of the Land Development Code. Prior to issuance of any permit that could directly affect an archaeological resource, City Staff shall assure that all elements of the MMRP are performed in accordance with all applicable City regulations and guidelines by an Archaeologist meeting the qualifications specified in Appendix B of the San Diego Land Development Code, Historical Resources Guidelines. City Staff shall also require that the following steps be taken to determine: (1) the presence of archaeological resources and (2) the appropriate mitigation for any significant resources which may be impacted by a development activity. Sites may include residential and commercial properties, privies, trash pits, building foundations, and industrial features representing the contributions of people from diverse socio-economic and ethnic backgrounds. Sites may also include resources associated with pre-historic Native American activities. Archeological resources which also meet the definition of historical resources or unique archaeological resources under CEQA or the SDMC shall be treated in accordance with the following evaluation procedures and applicable mitigation program:</p> <p>Step I-Initial Evaluation</p> <p>An initial evaluation for the potential of significant subsurface archaeological resources shall be prepared to the satisfaction of City Staff as part of an Environmental Secondary Study for any activity which involves excavation or building demolition. The initial evaluation shall be guided by an appropriate level research design in accordance with the City's Land Development Code, Historical Resources Guidelines. The person</p>	<p>Prior to Demolition or Grading Permit (Design)</p> <p>Prior to Certificate of Occupancy (Implementation)</p>	<p>Developer</p>	<p>City Staff</p>

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	<p>completing the initial review shall meet the qualification requirements as set forth in the Historical Resources Guidelines and shall be approved by City Staff. The initial evaluation shall consist , at a minimum, of a review of the following historical sources: The 1876 Bird's Eye View of San Diego, all Sanborn Fire Insurance Company maps, appropriate City directories and maps that identify historical properties or archaeological sites, and a records search at the South Coastal Information Center for archaeological resources located within the property boundaries. Historical and existing land uses shall also be reviewed to assess the potential presence of significant prehistoric and historic archaeological resources. The person completing the initial review shall also consult with and consider input from local individuals and groups with expertise in the historical resources of the San Diego area. These experts may include the University of California, San Diego State University, San Diego Museum of Man, Save Our Heritage Organization (SOHO), local historical and archaeological groups, the Native American Heritage Commission (NAHC), designated community planning groups, and other individuals or groups that may have specific knowledge of the area. Consultation with these or other individuals and groups shall occur as early as possible in the evaluation process.</p> <p>When the initial evaluation indicates that important archaeological sites may be present on a project site but their presence cannot be confirmed prior to construction or demolition due to obstructions or spatially limited testing and data recovery, the applicant shall prepare and implement an archaeological monitoring program as a condition of development approval to the satisfaction of City Staff. If the NAHC Sacred Lands File search is positive for Native American resources within the project site, then additional evaluation must include participation of a local Native American consultant in accordance with CEQA Sections 15064.5(d), 15126.4(b)(3) and Public Resources Code Section 21083.2.</p> <p>No further action is required if the initial evaluation demonstrates there is no potential for subsurface resources. The results of this research shall be summarized in the Secondary Study.</p> <p>Step 2-Testing</p> <p>A testing program is required if the initial evaluation demonstrates that there is a potential for subsurface resources. The testing program shall be conducted during the hazardous materials remediation or following the</p>			

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	<p>removal of any structure or surface covering which may be underlain by potential resources. The removal of these structures shall be conducted in a manner which minimizes disturbance of underlying soil. This shall entail a separate phase of investigations from any mitigation monitoring during construction.</p> <p>The testing program shall be performed by a qualified Historical Archaeologist meeting the qualifications specified in Appendix B of the San Diego Land Development Code, Historical Resources Guidelines. The Historical Archaeologist must be approved by City Staff prior to commencement. Before commencing the testing, a treatment plan shall be submitted for City Staff approval that reviews the initial evaluation results and includes a research design. The research design shall be prepared in accordance with the City's Historical Resources Guidelines and include a discussion of field methods, research questions against which discoveries shall be evaluated for significance, collection strategy, laboratory and analytical approaches, and curation arrangements. All tasks shall be in conformity with best practices in the field of historic urban archaeology. A recommended approach for historic urban sites is at a minimum fills and debris along interior lot lines or other areas indicated on Sanborn maps.</p> <p>Security measures such as a locked fence or surveillance shall be taken to prevent looting or vandalism of archaeological resources as soon as demolition is complete or paved surfaces are removed. These measures shall be maintained during archaeological field investigations. It is recommended that exposed features be covered with steel plates or fill dirt when not being investigated.</p> <p>The results of the testing phase shall be submitted in writing to City Staff and shall include the research design, testing results, significance evaluation, and recommendations for further treatment. Final determination of significance shall be made in consultation with City Staff, and with the Native American community, if the finds are prehistoric. If no significant resources are found and site conditions are such that there is no potential for further discoveries, then no further action is required. If no significant resources are found but results of the initial evaluation and testing phase indicates there is still a potential for resources to be present in portions of the property that could not be tested, then mitigation monitoring is required and shall be conducted in accordance with the provisions set forth in Step 4 - Monitoring. If significant resources are discovered during the testing program, then data recovery in</p>			

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	<p>accordance with Step 3 shall be undertaken prior to construction. If the existence or probable likelihood of Native American human remains or associated grave goods area discovered through the testing program, the Qualified Archaeologist shall stop work in the area, notify the City Building Inspector, City staff, and immediately implement the procedures set forth in CEQA Guidelines Section 15064.5 and the California Public Resources Code (PRC) Section 5097.98 for discovery of human remains. This procedure is further detailed in the Mitigation, Monitoring and Reporting Program (Step 4). City Staff must concur with evaluation results before the next steps can proceed.</p> <p>Step 3-Data Recovery</p> <p>For any site determined to be significant, a Research Design and Data Recovery Program (RDDR) shall be prepared in accordance with the City's Historical Resources Guidelines, approved by City Staff, and carried out to mitigate impacts before any activity is conducted which could potentially disturb significant resources. The archaeologist shall notify City Staff of the date upon which data recovery will commence ten (10) working days in advance.</p> <p>All cultural materials collected shall be cleaned, catalogued and permanently curated with an appropriate institution. Native American burial resources shall be treated in the manner agreed to by the Native American representative or be reinterred on the site in an area not subject to further disturbance in accordance with CEQA section 15164.5 and the Public Resources Code section 5097.98. All artifacts shall be analyzed to identify function and chronology as they relate to the history of the area. Faunal material shall be identified as to species and specialty studies shall be completed, as appropriate. All newly discovered archaeological sites shall be recorded with the South Coastal Information Center at San Diego State University. Any human bones and associated grave goods of Native American origin encountered during Step 2-Testing, shall, upon consultation, be turned over to the appropriate Native American representative(s) for treatment in accordance with state regulations as further outlined under Step 4-Monitoring (Section IV. Discovery of Human Remains).</p> <p>A draft Data Recovery Report shall be submitted to City Staff within twelve months of the commencement of the data recovery. Data Recovery Reports shall describe the research design or questions, historic context of the finds.</p>			

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	<p>field results, analysis of artifacts, and conclusions. Appropriate figures, maps and tables shall accompany the text. The report shall also include a catalogue of all finds and a description of curation arrangements at an approved facility, and a general statement indicting the disposition of any human remains encountered during the data recovery effort (please note that the location of reinternment and/or repatriation is confidential and not subject to public disclosure in accordance with state law). Finalization of draft reports shall be subject to City Staff review.</p> <p>Step 4 – Monitoring</p> <p>If no significant resources are encountered, but results of the initial evaluation and testing phase indicates there is still a potential for resources to be present in portions of the property that could not be tested, then mitigation monitoring is required and shall be conducted in accordance with the following provisions and components:</p> <p>I. Prior to Permit Issuance</p> <p>A. Construction Plan Check</p> <ol style="list-style-type: none"> 1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Permits and Building Permits, but prior to the first Precon Meeting, whichever is applicable, City Staff shall verify that the requirements for Archaeological Monitoring and Native American monitoring, where the project may impact Native American resources, have been noted on the appropriate construction documents. <p>B. Letters of Qualification have been submitted to City Staff</p> <ol style="list-style-type: none"> 1. The applicant shall submit a letter of verification to City Staff identifying the Principal Investigator (PI) for the project and the names of all persons involved in the archaeological monitoring program, as defined in the City of San Diego Historical Resources Guidelines (HRG). If applicable, individuals involved in the archaeological monitoring program must have completed the 40-hour HAZWOPER training with certification documentation. 2. City Staff will provide a letter to the applicant confirming that the qualifications of the PI and all persons involved in the archaeological monitoring of the project meet the qualifications established in the HRG. 			

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	<p>3. Prior to the start of work, the applicant must obtain written approval from City Staff for any personnel changes associated with the monitoring program.</p> <p>II. Prior to Start of Construction</p> <p>A. Verification of Records Search</p> <ol style="list-style-type: none"> 1. The PI shall provide verification to City Staff that a site-specific records search (1/4 mile radius) has been completed. Verification includes, but is not limited to a copy of a confirmation letter from South Coastal Information Center, or, if the search was in-house, a letter of verification from the PI stating that the search was completed. 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities. 3. The PI may submit a detailed letter to City Staff requesting a reduction to the ¼ mile radius. <p>B. PI Shall Attend Precon Meetings</p> <ol style="list-style-type: none"> 1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the PI, Native American consultant/monitor (where Native American resources may be impacted), Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), the Native American representative(s) (where Native American resources may be impacted), Building Inspector (BI), if appropriate, and City Staff. The qualified Archaeologist and the Native American consultant/monitor shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Archaeological Monitoring program with the Construction Manager and/or Grading Contractor. <ol style="list-style-type: none"> (a) If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with City Staff, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring. 2. Archaeological Monitoring Plan (AMP) <ol style="list-style-type: none"> (a) Prior to the start of any work that requires monitoring, the PI shall submit an Archaeological Monitoring Plan (with verification that the AMP has been reviewed and approved by the Native American consultant/monitor 			

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	<p>when NA resources may be impacted) which describes how the monitoring would be accomplished for approval by City Staff and the Native American monitor. The AMP shall include an Archaeological Monitoring Exhibit (AME) based on the appropriate construction documents (reduced to 11x17) to City Staff identifying the areas to be monitored including the delineation of grading/excavation limits.</p> <ul style="list-style-type: none"> (b) The AME shall be based on the results of a site-specific records search as well as information regarding existing known soil conditions (native or formation). (c) Prior to the start of any work, the PI shall also submit a construction schedule to City Staff through the RE indicating when and where monitoring will occur. (d) The PI may submit a detailed letter to City Staff prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate site conditions such as depth of excavation and/or site graded to bedrock, etc., which may reduce or increase the potential for resources to be present. <p>III. During Construction</p> <ul style="list-style-type: none"> A. Monitor(s) Shall be Present During Grading/Excavation/Trenching <ul style="list-style-type: none"> 1. The Archaeological monitor shall be present full-time during all soil disturbing and grading/excavation /trenching activities which could result in impacts to archaeological resources as identified on the AME. The Construction Manager is responsible for notifying the RE, PI, and City Staff of changes to any construction activities. 2. The Native American consultant/monitor shall determine the extent of their presence during soil disturbing and grading/excavation/trenching activities based on the AME, and provide that information to the PI and City Staff. If prehistoric resources are encountered during the Native American consultant/monitor's absence, work shall stop and the Discovery Notification Processes detailed in Sections III.B-C, and IVA-D, shall commence. 3. The archeological and Native American consultant/monitor 			

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	<p>shall document field activity via the Consultant Site Visit Record (CSV). The CSV's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of ANY discoveries. The RE shall forward copies to City Staff.</p> <p>4. The PI may submit a detailed letter to City Staff during construction requesting a modification to the monitoring program when a field condition such as modern disturbance post-dating the previous grading/trenching activities, presence of fossil formations, or when native soils are encountered that may reduce or increase the potential for resources to be present.</p> <p>B. Discovery Notification Process</p> <ol style="list-style-type: none"> 1. In the event of a discovery, the Archaeological Monitor shall direct the contractor to temporarily divert all soil disturbing activities, including but not limited to, digging, trenching, excavating, or grading activities in the area of discovery and in the area reasonably suspected to overlay adjacent resources and immediately notify the RE or BI, as appropriate. 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery. 3. The PI shall immediately notify City Staff by phone of the discovery, and shall also submit written documentation to City Staff within 24 hours by fax or email with photos of the resource in context, if possible. 4. No soil shall be exported off-site until a determination can be made regarding the significance of the resource specifically if Native American resources are encountered. <p>C. Determination of Significance</p> <ol style="list-style-type: none"> 1. The PI and Native American consultant/monitor, where Native American resources are discovered, shall evaluate the significance of the resource. If Human Remains are involved, follow protocol in Section IV below. <ol style="list-style-type: none"> (a) The PI shall immediately notify City Staff by phone to discuss significance determination and shall also submit a letter to City Staff indicating whether additional 			

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	<p>mitigation is required.</p> <p>(b) If the resource is significant, the PI shall submit an Archaeological Data Recovery Program (ADRP) which has been reviewed by the Native American consultant/monitor when applicable, and obtain written approval from City Staff and the Native American representative(s), if applicable. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.</p> <p>(c) If the resource is not significant, the PI shall submit a letter to City Staff indicating that artifacts will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that that no further work is required.</p> <p>IV. Discovery of Human Remains If human remains are discovered, work shall halt in that area and no soil shall be exported off-site until a determination can be made regarding the provenance of the human remains; and the following procedures set forth in CEQA Section 15064.5(e), the California Public Resources Code (Sec. 5097.98) and State Health and Safety Code (Sec. 7050.5) shall be undertaken:</p> <p>A. Notification</p> <ol style="list-style-type: none"> 1. Archaeological Monitor shall notify the RE or BI as appropriate, City Staff, and the PI, if the Monitor is not qualified as a PI. City Staff will notify the appropriate Senior Planner in the Environmental Analysis Section (EAS) of the Development Services Department to assist with the discovery process. 2. The PI shall notify the Medical Examiner after consultation with the RE, either in person or via telephone. <p>B. Isolate discovery site</p> <ol style="list-style-type: none"> 1. Work shall be directed away from the location of the discovery and any nearby area reasonably suspected to overlay adjacent human remains until a determination can be made by the Medical Examiner in consultation with the PI concerning the provenance of the remains. 2. The Medical Examiner, in consultation with the PI, will determine the need for a field examination to determine the 			

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	<p>provenance.</p> <p>3. If a field examination is not warranted, the Medical Examiner will determine with input from the PI, if the remains are or are most likely to be of Native American origin.</p> <p>C. If Human Remains are determined to be Native American</p> <p>1. The Medical Examiner will notify the Native American Heritage Commission (NAHC) within 24 hours. By law, ONLY the Medical Examiner can make this call.</p> <p>2. NAHC will immediately identify the person or persons determined to be the Most Likely Descendent (MLD) and provide contact information..</p> <p>3. The MLD will contact the PI within 24 hours or sooner after the Medical Examiner has completed coordination, to begin the consultation process in accordance with CEQA Section 15064.5(e) and the California Public Resources and Health & Safety Codes.</p> <p>4. The MLD will have 48 hours to make recommendations to the property owner or representative, for the treatment or disposition with proper dignity, of the human remains and associated grave goods.</p> <p>5. Disposition of Native American Human Remains will be determined between the MLD and the PI, and if:</p> <p>(a) The NAHC is unable to identify the MLD, OR the MLD failed to make a recommendation within 48 hours after being notified by the Commission; OR;</p> <p>(b) The landowner or authorized representative rejects the recommendation of the MLD and mediation in accordance with PRC 5097.94 (k) by the NAHC fails to provide measures acceptable to the landowner, THEN,</p> <p>(c) In order to protect these sites, the Landowner shall do one or more of the following:</p> <p>(1) Record the site with the NAHC;</p> <p>(2) Record an open space or conservation easement on the site;</p> <p>(3) Record a document with the County.</p> <p>6. Upon the discovery of multiple Native American human remains during a ground disturbing land development activity, the landowner may agree that additional conferral with descendants is necessary to consider culturally appropriate treatment of multiple Native American human remains.</p>			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>Culturally appropriate treatment of such a discovery may be ascertained from review of the site utilizing cultural and archaeological standards. Where the parties are unable to agree on the appropriate treatment measures the human remains and buried with Native American human remains shall be reinterred with appropriate dignity, pursuant to Section 5.c., above.</p> <p>D. If Human Remains are not Native American</p> <ol style="list-style-type: none"> 1. The PI shall contact the Medical Examiner and notify them of the historic era context of the burial. 2. The Medical Examiner will determine the appropriate course of action with the PI and City staff (PRC 5097.98). 3. If the remains are of historic origin, they shall be appropriately removed and conveyed to the San Diego Museum of Man for analysis. The decision for interment of the human remains shall be made in consultation with City Staff, the applicant/landowner and the San Diego Museum of Man. <p>V. Night and/or Weekend Work</p> <p>A. If night and/or work is included in the contract</p> <ol style="list-style-type: none"> 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the Precon Meeting. 2. The following procedures shall be followed. <ol style="list-style-type: none"> (a) No Discoveries In the event that no discoveries were encountered during night and/or weekend work, the PI shall record the information on the CSVr and submit to City Staff via fax by 8 am of the next business day. (b) Discoveries All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction, and IV – Discovery of Human Remains. Discovery of human remains shall always be treated as a significant discovery. (c) Potentially Significant Discoveries If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction and IV-Discovery of 			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>Human Remains shall be followed.</p> <p>(d) The PI shall immediately contact City Staff, or by 8 am of the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.</p> <p>B. If night and/or weekend work becomes necessary during the course of construction</p> <ol style="list-style-type: none"> 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin. 2. The RE, or BI, as appropriate, shall notify City Staff immediately. <p>C. All other procedures described above shall apply, as appropriate.</p> <p>VI. Post Construction</p> <p>A. Submittal of Draft Monitoring Report</p> <ol style="list-style-type: none"> 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative) prepared in accordance with the Historical Resources Guidelines and Appendices which describes the results, analysis, and conclusions of all phases of the Archaeological Monitoring Program (with appropriate graphics) to City Staff, for review and approval within 90 days following the completion of monitoring. <ol style="list-style-type: none"> (a) For significant archaeological resources encountered during monitoring, the Archaeological Data Recovery Program shall be included in the Draft Monitoring Report. (b) Recording sites with State of California Department of Parks and Recreation <p>The PI shall be responsible for recording (on the appropriate State of California Department of Park and Recreation forms-DPR 523 A/B) any significant or potentially significant resources encountered during the Archaeological Monitoring Program in accordance with the City's Historical Resources Guidelines, and submittal of such forms to the South Coastal Information Center with the Final Monitoring Report.</p> 2. City Staff shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report. 			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<ul style="list-style-type: none"> 3. The PI shall submit revised Draft Monitoring Report to City Staff for approval. 4. City Staff shall provide written verification to the PI of the approved report. 5. City Staff shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals. B. Handling of Artifacts and Submittal of Collections Management Plan, if applicable <ul style="list-style-type: none"> 1. The PI shall be responsible for ensuring that all cultural remains collected are cleaned and catalogued. 2. The PI shall be responsible for ensuring that all artifacts are analyzed to identify function and chronology as they relate to the history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate. 3. The PI shall submit a Collections Management Plan to City Staff for review and approval for any project which results in a substantial collection of historical artifacts. C. Curation of artifacts: Accession Agreement and Acceptance Verification <ul style="list-style-type: none"> 1. The PI shall be responsible for ensuring that all artifacts associated with the survey, testing and/or data recovery for this project are permanently curated with an appropriate institution. This shall be completed in consultation with City Staff and the Native American representative, as applicable. 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and City Staff. 3. When applicable to the situation, the PI shall include written verification from the Native American consultant/monitor indicating that Native American resources were treated in accordance with state law and/or applicable agreements. If the resources were reinterred, verification shall be provided to show what protective measures were taken to ensure no further disturbance in accordance with section IV – Discovery of Human Remains, subsection 5.(d). D. Final Monitoring Report(s) <ul style="list-style-type: none"> 1. The PI shall submit one copy of the approved Final Monitoring Report to the RE or BI as appropriate, and one 			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>copy to City Staff (even if negative), within 90 days after notification from City Staff that the draft report has been approved.</p> <p>2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from- City Staff which includes the Acceptance Verification from the curation institution.</p>			
PALEONTOLOGICAL RESOURCES (PAL)				
<p>Impact PAL-A.1: Excavation in geologic formations with a moderate to high potential for paleontological resources could have an significant impact on these resources, if present. (Direct)</p>	<p><i>Mitigation Measure PAL-A.1-1:</i> In the event the Secondary Study indicates the potential for significant paleontological resources, the following measures shall be implemented as determined appropriate by CCDC.</p> <p>I. Prior to Permit Issuance</p> <p>A. Construction Plan Check</p> <ol style="list-style-type: none"> 1. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Permits and Building Permits, but prior to the first preconstruction meeting, whichever is applicable, Centre City Development Corporation (CCDC) shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents. <p>B. Letters of Qualification have been submitted to CCDC</p> <ol style="list-style-type: none"> 1. The applicant shall submit a letter of verification to CCDC identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines. 2. CCDC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project. 3. Prior to the start of work, the applicant shall obtain approval from CCDC for any personnel changes associated with the monitoring program. <p>II. Prior to Start of Construction</p> <p>A. Verification of Records Search</p> <ol style="list-style-type: none"> 1. The PI shall provide verification to CCDC that a site-specific records search has been completed. Verification includes, but is 	<p>Prior to Demolition, Grading or Building Permit (Design)</p> <p>Prior to Certificate of Occupancy (Implementation)</p>	<p>Developer</p>	<p>CCDC/City</p>

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.</p> <ol style="list-style-type: none"> 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities. <p>B. PI Shall Attend Precon Meetings</p> <ol style="list-style-type: none"> 1. Prior to beginning any work that requires monitoring, the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and CCDC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor. <ol style="list-style-type: none"> a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with CCDC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring. 2. Identify Areas to be Monitored <ol style="list-style-type: none"> a. Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to CCDC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation). 3. When Monitoring Will Occur <ol style="list-style-type: none"> a. Prior to the start of any work, the PI shall also submit a construction schedule to CCDC through the RE indicating when and where monitoring will occur. b. The PI may submit a detailed letter to CCDC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as 			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.</p> <p>III. During Construction</p> <p>A. Monitor Shall be Present During Grading/Excavation/Trenching</p> <ol style="list-style-type: none"> 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. The Construction Manager is responsible for notifying the RE, PI, and CCDC of changes to any construction activities. 2. The monitor shall document field activity via the Consultant Site Visit Record (CSVR). The CSVR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (Notification of Monitoring Completion), and in the case of any discoveries. The RE shall forward copies to CCDC. 3. The PI may submit a detailed letter to CCDC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present. <p>B. Discovery Notification Process</p> <ol style="list-style-type: none"> 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate. 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery. 3. The PI shall immediately notify CCDC by phone of the discovery, and shall also submit written documentation to CCDC within 24 hours by fax or email with photos of the resource in context, if possible. <p>C. Determination of Significance</p> <ol style="list-style-type: none"> 1. The PI shall evaluate the significance of the resource. <ol style="list-style-type: none"> a. The PI shall immediately notify CCDC by phone to discuss significance determination and shall also submit a letter to CCDC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall 			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>be at the discretion of the PI.</p> <ul style="list-style-type: none"> b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from CCDC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume. c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to CCDC unless a significant resource is encountered. d. The PI shall submit a letter to CCDC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required. <p>IV. Night Work</p> <ul style="list-style-type: none"> A. If night work is included in the contract <ul style="list-style-type: none"> 1. When night work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting. 2. The following procedures shall be followed. <ul style="list-style-type: none"> a. No Discoveries <ul style="list-style-type: none"> (1) In the event that no discoveries were encountered during night work, The PI shall record the information on the CSVR and submit to CCDC via fax by 9am the following morning, if possible. b. Discoveries <ul style="list-style-type: none"> (1) All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction. c. Potentially Significant Discoveries <ul style="list-style-type: none"> (1) If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed. d. The PI shall immediately contact CCDC, or by 8AM the following morning to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made. 			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>B. If night work becomes necessary during the course of construction</p> <ol style="list-style-type: none"> 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin. 2. The RE, or BI, as appropriate, shall notify CCDC immediately. <p>C. All other procedures described above shall apply, as appropriate.</p> <p>VI. Post Construction</p> <p>A. Submittal of Draft Monitoring Report</p> <ol style="list-style-type: none"> 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative) which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to CCDC for review and approval within 90 days following the completion of monitoring, <ol style="list-style-type: none"> a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report. b. Recording Sites with the San Diego Natural History Museum <ol style="list-style-type: none"> (1) The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report. 2. CCDC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report. 3. The PI shall submit revised Draft Monitoring Report to CCDC for approval. 4. CCDC shall provide written verification to the PI of the approved report. 5. CCDC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals. <p>B. Handling of Fossil Remains</p> <ol style="list-style-type: none"> 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued. 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to 			

SIGNIFICANT IMPACT(S)	MITIGATION MEASURE(S)	IMPLEMENTATION TIME FRAME	IMPLEMENTATION RESPONSIBILITY	VERIFICATION RESPONSIBILITY
	<p>species; and that specialty studies are completed, as appropriate</p> <p>C. Curation of fossil remains: Deed of Gift and Acceptance Verification</p> <ol style="list-style-type: none"> 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution. 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and CCDC. <p>D. Final Monitoring Report(s)</p> <ol style="list-style-type: none"> 1. The PI shall submit two copies of the Final Monitoring Report to CCDC (even if negative), within 90 days after notification from CCDC that the draft report has been approved. 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from CCDC which includes the Acceptance Verification from the curation institution. 			

Urbemis 2007 Version 9.2.4

Combined Summer Emissions Reports (Pounds/Day)

File Name: G:\San Diego\10_Staff\Air Quality Staff\CCDC Front & Cedar\Front and Cedar Cornerstone Communities.urb924

Project Name: Front and Cedar Cornerstone Communities

Project Location: South Coast AQMD

On-Road Vehicle Emissions Based on: Version : Emfac2007 V2.3 Nov 1 2006

Off-Road Vehicle Emissions Based on: OFFROAD2007

Summary Report:

CONSTRUCTION EMISSION ESTIMATES

	<u>CO2</u>
2011 TOTALS (lbs/day unmitigated)	2,371.69

2012 TOTALS (lbs/day unmitigated)	1,076.82
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AREA SOURCE EMISSION ESTIMATES

	<u>CO2</u>
TOTALS (lbs/day, unmitigated)	182.76

OPERATIONAL (VEHICLE) EMISSION ESTIMATES

	<u>CO2</u>
TOTALS (lbs/day, unmitigated)	1,976.62

SUM OF AREA SOURCE AND OPERATIONAL EMISSION ESTIMATES

	<u>CO2</u>
TOTALS (lbs/day, unmitigated)	2,159.38

Construction Unmitigated Detail Report:

CONSTRUCTION EMISSION ESTIMATES Summer Pounds Per Day, Unmitigated

	<u>CO2</u>
Time Slice 3/3/2011-3/21/2011	824.67
Active Days: 13	
Demolition 03/03/2011-03/21/2011	824.67
Fugitive Dust	0.00
Demo Off Road Diesel	700.30
Demo On Road Diesel	0.00
Demo Worker Trips	124.37
Time Slice 3/24/2011-6/20/2011	<u>2,371.69</u>
Active Days: 63	
Mass Grading 03/24/2011-06/20/2011	2,371.69
Mass Grading Dust	0.00
Mass Grading Off Road Diesel	2,247.32
Mass Grading On Road Diesel	0.00
Mass Grading Worker Trips	124.37
Time Slice 6/23/2011-8/1/2011	<u>2,371.69</u>
Active Days: 28	
Fine Grading 06/23/2011-08/01/2011	2,371.69
Fine Grading Dust	0.00
Fine Grading Off Road Diesel	2,247.32
Fine Grading On Road Diesel	0.00
Fine Grading Worker Trips	124.37

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Time Slice 8/4/2011-8/15/2011	1,839.01
Active Days: 8	
Trenching 08/04/2011-08/15/2011	1,839.01
Trenching Off Road Diesel	1,714.64
Trenching Worker Trips	124.37
Time Slice 8/18/2011-8/29/2011	1,236.81
Active Days: 8	
Asphalt 08/18/2011-08/29/2011	1,236.81
Paving Off-Gas	0.00
Paving Off Road Diesel	979.23
Paving On Road Diesel	39.94
Paving Worker Trips	217.64
Time Slice 9/1/2011-12/30/2011	1,076.84
Active Days: 87	
Building 09/01/2011-04/24/2012	1,076.84
Building Off Road Diesel	893.39
Building Vendor Trips	54.71
Building Worker Trips	128.75
Time Slice 1/2/2012-4/24/2012	<u>1,076.82</u>
Active Days: 82	
Building 09/01/2011-04/24/2012	1,076.82
Building Off Road Diesel	893.39
Building Vendor Trips	54.71
Building Worker Trips	128.72

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Time Slice 4/27/2012-5/22/2012	28.28
Active Days: 18	
Coating 04/27/2012-05/22/2012	28.28
Architectural Coating	0.00
Coating Worker Trips	28.28

Phase Assumptions

Phase: Demolition 3/3/2011 - 3/21/2011 - Default Demolition Description

Building Volume Total (cubic feet): 0

Building Volume Daily (cubic feet): 0

On Road Truck Travel (VMT): 0

Off-Road Equipment:

1 Concrete/Industrial Saws (10 hp) operating at a 0.73 load factor for 8 hours per day

1 Rubber Tired Dozers (357 hp) operating at a 0.59 load factor for 1 hours per day

2 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 6 hours per day

Phase: Fine Grading 6/23/2011 - 8/1/2011 - Default Fine Site Grading/Excavation Description

Total Acres Disturbed: 0.84

Maximum Daily Acreage Disturbed: 0.21

Fugitive Dust Level of Detail: Default

20 lbs per acre-day

On Road Truck Travel (VMT): 0

Off-Road Equipment:

1 Graders (174 hp) operating at a 0.61 load factor for 6 hours per day

1 Rubber Tired Dozers (357 hp) operating at a 0.59 load factor for 6 hours per day

1 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 7 hours per day

1 Water Trucks (189 hp) operating at a 0.5 load factor for 8 hours per day

Phase: Mass Grading 3/24/2011 - 6/20/2011 - Default Mass Site Grading/Excavation Description

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1/27/2011 11:55:58 AM

Total Acres Disturbed: 0.84

Maximum Daily Acreage Disturbed: 0.21

Fugitive Dust Level of Detail: Default

20 lbs per acre-day

On Road Truck Travel (VMT): 0

Off-Road Equipment:

1 Graders (174 hp) operating at a 0.61 load factor for 6 hours per day

1 Rubber Tired Dozers (357 hp) operating at a 0.59 load factor for 6 hours per day

1 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 7 hours per day

1 Water Trucks (189 hp) operating at a 0.5 load factor for 8 hours per day

Phase: Trenching 8/4/2011 - 8/15/2011 - Default Trenching Description

Off-Road Equipment:

2 Excavators (168 hp) operating at a 0.57 load factor for 8 hours per day

1 Other General Industrial Equipment (238 hp) operating at a 0.51 load factor for 8 hours per day

1 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 0 hours per day

Phase: Paving 8/18/2011 - 8/29/2011 - Default Paving Description

Acres to be Paved: 0.21

Off-Road Equipment:

4 Cement and Mortar Mixers (10 hp) operating at a 0.56 load factor for 6 hours per day

1 Pavers (100 hp) operating at a 0.62 load factor for 7 hours per day

1 Rollers (95 hp) operating at a 0.56 load factor for 7 hours per day

1 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 7 hours per day

Phase: Building Construction 9/1/2011 - 4/24/2012 - Default Building Construction

Off-Road Equipment:

1 Cranes (399 hp) operating at a 0.43 load factor for 4 hours per day

2 Forklifts (145 hp) operating at a 0.3 load factor for 6 hours per day

1 Tractors/Loaders/Backhoes (108 hp) operating at a 0.55 load factor for 8 hours per day

Phase: Architectural Coating 4/27/2012 - 5/22/2012 - Default Architectural Coating Description

Rule: Residential Interior Coatings begins 1/1/2005 ends 6/30/2008 specifies a VOC of 100

Rule: Residential Interior Coatings begins 7/1/2008 ends 12/31/2040 specifies a VOC of 50

Rule: Residential Exterior Coatings begins 1/1/2005 ends 6/30/2008 specifies a VOC of 250

Rule: Residential Exterior Coatings begins 7/1/2008 ends 12/31/2040 specifies a VOC of 100

Rule: Nonresidential Interior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250

Rule: Nonresidential Exterior Coatings begins 1/1/2005 ends 12/31/2040 specifies a VOC of 250

Area Source Unmitigated Detail Report:

AREA SOURCE EMISSION ESTIMATES Summer Pounds Per Day, Unmitigated

<u>Source</u>	<u>CO2</u>
Natural Gas	174.33
Hearth - No Summer Emissions	
Landscape	8.43
Consumer Products	
Architectural Coatings	
TOTALS (lbs/day, unmitigated)	182.76

Area Source Changes to Defaults

Operational Unmitigated Detail Report:

OPERATIONAL EMISSION ESTIMATES Summer Pounds Per Day, Unmitigated

Source	CO2
Condo/townhouse general	471.02
Strip mall	611.99
General office building	893.61
TOTALS (lbs/day, unmitigated)	1,976.62

Operational Settings:

Does not include correction for passby trips

Does not include double counting adjustment for internal trips

Analysis Year: 2012 Temperature (F): 80 Season: Summer

Emfac: Version : Emfac2007 V2.3 Nov 1 2006

Summary of Land Uses

Land Use Type	Acreage	Trip Rate	Unit Type	No. Units	Total Trips	Total VMT
Condo/townhouse general	0.56	5.00	dwelling units	9.00	45.00	454.63
Strip mall		18.00	1000 sq ft	3.69	66.42	595.99
General office building		36.08	1000 sq ft	2.36	85.15	866.60
					196.57	1,917.22

Vehicle Fleet Mix

Vehicle Type	Percent Type	Non-Catalyst	Catalyst	Diesel
Light Auto	51.5	0.6	99.2	0.2
Light Truck < 3750 lbs	7.3	1.4	95.9	2.7

Vehicle Fleet Mix

Vehicle Type	Percent Type	Non-Catalyst	Catalyst	Diesel
Light Truck 3751-5750 lbs	23.0	0.4	99.6	0.0
Med Truck 5751-8500 lbs	10.7	0.9	99.1	0.0
Lite-Heavy Truck 8501-10,000 lbs	1.6	0.0	81.2	18.8
Lite-Heavy Truck 10,001-14,000 lbs	0.5	0.0	60.0	40.0
Med-Heavy Truck 14,001-33,000 lbs	0.9	0.0	22.2	77.8
Heavy-Heavy Truck 33,001-60,000 lbs	0.5	0.0	0.0	100.0
Other Bus	0.1	0.0	0.0	100.0
Urban Bus	0.1	0.0	0.0	100.0
Motorcycle	2.8	60.7	39.3	0.0
School Bus	0.1	0.0	0.0	100.0
Motor Home	0.9	0.0	88.9	11.1

Travel Conditions

	Residential			Commercial		
	Home-Work	Home-Shop	Home-Other	Commute	Non-Work	Customer
Urban Trip Length (miles)	12.7	7.0	9.5	13.3	7.4	8.9
Rural Trip Length (miles)	17.6	12.1	14.9	15.4	9.6	12.6
Trip speeds (mph)	30.0	30.0	30.0	30.0	30.0	30.0
% of Trips - Residential	32.9	18.0	49.1			
% of Trips - Commercial (by land use)						
Strip mall				2.0	1.0	97.0

Travel Conditions

	Residential			Commercial		
	Home-Work	Home-Shop	Home-Other	Commute	Non-Work	Customer
General office building				35.0	17.5	47.5

Front and Cedar Construction GHG Calculations

0.000453592

Construction Phase	CO2 lbs/day (from URBEMIS)		CO2 POUNDS TOTAL		CO2 MT TOTAL		days of construction
	Off Road Emissions	on-road emissions	Off Road Emissions	on-road emissions	Off Road Emissions	on-road emissions	
demolition	700.3	124.4	9,103.9	1,616.8	4.1	0.7	13
mass grading	2,247.3	124.4	141,581.2	7,835.3	64.2	3.6	63
fine grading	2,247.3	124.4	62,925.0	3,482.4	28.5	1.6	28
Trenching for Utilities	1,714.6	124.4	13,717.1	995.0	6.2	0.5	8
paving	979.2	257.6	7,833.8	2,060.6	3.6	0.9	8
Building Construction	893.4	183.5	150,982.9	31,004.7	68.5	14.1	169
coatings	-	28.3	-	509.0	-	0.2	18
<i>total</i>	8,782.2	966.8	386,143.9	47,503.9	175.2	21.5	

Construction Phase	Off Road Emissions			On road Emissions and Worker Trips		CO2e (metric tons/yr)
	CO2 (metric tons/yr)	CH4 (metric tons/yr)	N2O (metric tons/yr)	CO2 (metric tons/yr)	Other (metric tons/yr)	
demolition	4.1	0.000236	0.000106	0.7	0.038599	4.9
mass grading	64.2	0.003670	0.001645	3.6	0.187055	68.5
fine grading	28.5	0.001631	0.000731	1.6	0.083135	30.5
Trenching for Utilities	6.2	0.000356	0.000159	0.5	0.023753	6.8
paving	3.6	0.000203	0.000091	0.9	0.049194	4.6
Building Construction	68.5	0.003913	0.001754	14.1	0.740185	83.9
coatings	-	0.000000	0.000000	0.2	0.012152	0.2
<i>Total Construction Emissions</i>	175.2	0.010009	0.004487	21.5	1.134073	199.4

Sources: URBEMIS 2007; CCAR 2009. 6.6 AMORTIZED

Diesel Fuel	CO2	CH4	N2O
kg CO2/gal diesel	10.15	0.00058	0.00026
g/gal diesel construction equip		0.58	0.26
ratio	1	5.71429E-05	2.56158E-05

Source: CH4 and N2O from Construction

Table C.6, GRP

tons/metric ton	Percent other GHGs (on road)
0.90718474	5.00%

GAS	CH4	N2O
GWP	21	310

Gasoline Fuel	CO2	CH4	N2O
kg CO2/gal diesel	8.81	0.0014	0.0001
ratio	1	0.00015891	1.13507E-05

Table C.9, GRP

Summary of Greenhouse Gas Emissions - Front and Cedar

	Pounds per day				Metric Tons Per Year			
	CO ₂	CH ₄	N ₂ O	CO ₂ e	CO ₂	CH ₄	N ₂ O	CO ₂ e
Mobile	1,976.62	0.23	0.28	2,068.06	327.48	0.04	0.05	342.62
Natural Gas	163.64	0.02	0.00	164.06	27.11	0.00	0.00	27.18
Electricity	266.98	0.01	0.00	268.14	44.23	0.00	0.00	44.42
Total Project	2,407.24	0.26	0.28	2,500.25	398.82	0.04	0.05	414.23

days per year 365.25
pounds to metric ton convert 0.000453592

CH4 and N2O from Mobile Sources - Front and Cedar

Mobile Sources

Vehicle Type	Emissions from Mobile Sources (lbs/day)						
	Percent Type	VMT by Type	Emission Factors ^a		CH ₄	N ₂ O	CO ₂ e
	100	1917.22	CH ₄	N ₂ O			<u>21/310^b</u>
Project							
Light Auto	51.5	987.37	0.04	0.04	0.09	0.09	28.82
Light Truck < 3750 lbs	7.3	139.96	0.05	0.06	0.02	0.02	6.06
Light Truck 3751-5750 lbs	23.0	440.96	0.05	0.06	0.05	0.06	19.10
Med Truck 5751-8500 lbs	10.7	205.14	0.12	0.20	0.05	0.09	29.18
Lite-Heavy Truck 8501-10,000 lbs	1.6	30.68	0.12	0.20	0.01	0.01	4.36
Lite-Heavy Truck 10,001-14,000 lbs	0.5	9.59	0.12	0.20	0.00	0.00	1.36
Med-Heavy Truck 14,001-33,000 lbs	0.9	17.25	0.06	0.05	0.00	0.00	0.64
Heavy-Heavy Truck 33,001-60,000 lbs	0.5	9.59	0.06	0.05	0.00	0.00	0.35
Other Bus	0.1	1.92	0.06	0.05	0.00	0.00	0.07
Urban Bus	0.1	1.92	0.06	0.05	0.00	0.00	0.07
Motorcycle	2.8	53.68	0.09	0.01	0.01	0.00	0.59
School Bus	0.1	1.92	0.06	0.05	0.00	0.00	0.07
Motor Home	0.9	17.25	0.05	0.06	0.00	0.00	0.75
Total Project			0.94	1.08	0.23	0.28	91.44
Net Emissions From Mobile Sources					0.23	0.28	91.44

^a Emission factors from Table C.4, [General Reporting Protocol](#), California Climate Action Registry, Jan 2009

^b Global Warming Potential is 1 for CO₂, 21 for CH₄, and 310 for N₂O. [General Reporting Protocol v3.1](#), California Climate Action Registry, Jan 2009.

Electricity and Natural Gas Consumption - Front and Cedar

Electricity Usage

Land Use	1,000 Sqft	Electricity Usage Rate ^a	Total Electricity Usage		CO ₂	CH ₄	Emission Factors (lbs/MMWh) ^b	
		(kWh/sq.ft/yr)	(KWh/year)	(MWh/day)	739.05	0.0302	N ₂ O	CO ₂ e
					Emissions from Electricity (lbs/day)			
Project								
Office	2.4	12.95	31,080.00	0.09	82.93	0.00	0.00	83.30
Retail	3.7	13.55	50,135.00	0.14	101.51	0.00	0.00	101.91
Residential (DU)	9.0	5.627	50,638.50	0.14	102.53	0.00	0.00	102.93
Total Project			131,853.50	0.36	286.98	0.01	0.00	288.14
Net Emissions From Electricity Usage					286.98	0.01	0.00	288.14

Natural Gas Usage

Land Use	1,000 Sqft	Natural Gas Usage Rate ^a	Total Natural Gas Usage		CO ₂	CH ₄	Emission Factors (kg/MMBtu) ^b	
		(cu.ft/sq.ft/mo)	(cu.ft/mo)	(Btu/day) ^c	53.06	0.005	N ₂ O	CO ₂ e
					Emissions from Natural Gas (lbs/day)			
Project								
Office	2.4	2.0	4,800.00	164,160.00	19.20	0.00	0.00	19.25
Retail	3.7	2.9	-	-	-	-	-	-
Residential (Multi-Family DU)	9.0	4.012	36,103.50	1,234,739.70	144.44	0.01	0.00	144.81
Total Project			40,903.50	1,398,899.70	163.64	0.02	0.00	164.06
Net Emissions From Natural Gas Usage					163.64	0.02	0.00	164.06

Summary of Stationary Emissions

	CO ₂	CH ₄	N ₂ O	CO ₂ e
Total Project Emissions (lbs/day)	430.62	0.03	0.00	432.20
Total Net Emissions (lbs/day)	430.82	0.03	0.00	432.20

^a Electricity Usage Rates from Table A9-11-A, *CEQA Air Quality Handbook*, SCAQMD, 1993.

^b CO₂ Emission Factor from SDG&E's 2008 Annual Emissions Report, N₂O and CH₄ Emission Factors from Table C.2, *General Reporting Protocol v3.1*, California Climate Action Registry, Jan 2009.

^c Global Warming Potential is 1 for CO₂, 21 for CH₄, and 310 for N₂O, *General Reporting Protocol v3.1*, California Climate Action Registry, Jan 2009.

^d Natural Gas Usage Rates from Table A9-12-A, *CEQA Air Quality Handbook*, SCAQMD, 1993.

^e Emission Factors from Table C.7 and Table C.8, *General Reporting Protocol v3.1*, California Climate Action Registry, Jan 2009.

^f 1 Cubic Foot of natural gas = 1,028 Btu, Energy Information Administration. Available http://www.eia.doe.gov/basics/conversion_basics.html

