



THE CITY OF SAN DIEGO

Date of Notice: April 12, 2011

NOTICE OF DECISION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 23427623

APPROVAL TYPE(S):	SUBSTANTIAL CONFORMANCE REVIEW
PROJECT NAME/NUMBER:	KOOKLANI SCR/PROJECT NO. 126578
APPLICANT:	Mark and Mina Kooklani
COMMUNITY PLAN AREA:	La Jolla
COUNCIL DISTRICT:	1
CITY PROJECT MANAGER:	Jeffrey A. Peterson, Development Project Manager
MAILING ADDRESS:	1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER/E-MAIL:	(619) 446-5237 / JAPeterson@san Diego.gov

On April 12, 2011, Development Services Staff APPROVED an application for a (Process 2) Substantial Conformance Review (SCR) to Coastal Development Permit (CDP) No. 9045 and La Jolla Shores Planned District Permit (LJSPDP) No. 9046 for the Kooklani I Residence; and CDP No. 9047 and LJSPDP No. 9048 for the Kooklani II Residence. This application included revised architectural design for the two previously approved single family residences. The project sites are located at 7451 Hillside Drive (Kooklani I) and 7447 Hillside Drive (Kooklani II) in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan Area, Coastal Overlay Zone (Non-appealable Area 2), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone for Coastal Impact Area, Residential Tandem Parking Overlay Zone, and Council District 1. If you have any questions about this project, the decision, or wish to receive a copy of the resolution approving or denying the project, contact the City Project Manager above.

The decision by staff can be appealed to the **Planning Commission** no later than twelve (12) business days of the decision date. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101. Please **do not e-mail your appeal** as it will not be accepted. The decision of the Planning Commission is final. The final decision by the City of San Diego is not appealable to the California Coastal Commission.

Mitigated Negative Declaration Nos. 3200 and 5281 were prepared for the Kooklani projects. The current project was reviewed in accordance with CEQA Section 15162 and was determined that no additional impacts and/or mitigation measures are required beyond those that were

analyzed in the original environmental document. Therefore, the previously certified Mitigated Negative Declarations Nos. 3200 and 5281 adequately covers the activity being proposed.

This information will be made available in alternative formats for persons with disabilities upon request.

cc: Tony Crisafi, Chair of the La Jolla Community Planning Association
Lesley Henegar, Planner, CPCI



THE CITY OF SAN DIEGO

April 12, 2011

Francisco Mendiola
CDGI
P. O. Box 84892
San Diego, CA 92138

Dear Mr. Mendiola:

Subject: Kooklani Substantial Conformance Review (SCR) Approval Letter;
Project No. 126578; Account/Internal Order No. 23427623;
La Jolla Community Plan Area

The Development Services Department has completed and APPROVED a (Process 2) Substantial Conformance Review (SCR) for the subject project. The project sites are located at 7451 Hillside Drive (Kooklani I) and 7447 Hillside Drive (Kooklani II) in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan Area, Coastal Overlay Zone (Non-appealable Area 2), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone for Coastal Impact Area, Residential Tandem Parking Overlay Zone, and Council District 1. Your request for substantial conformance for the proposed modifications was described in your March 27, 2007, application to the Development Services Department. The SCR was determined to be consistent with the objectives, standards, guidelines and conditions of the previously approved Permits.


The approved modifications include a redesign of the interior and exterior and architectural style for the two single family residences; and have been designed within the existing footprint, grade, floor area ratio, and overall envelope of the previously approved structures. The requested changes to the previously approved Exhibits "A" for this project have been determined by City Staff to be consistent with the general intent, terms and conditions of approved Coastal Development Permit (CDP) No. 9045 and La Jolla Shores Planned District Permit (LJSPDP) No. 9046 for the Kooklani I Residence; and CDP No. 9047 and LJSPDP No. 9048 for the Kooklani II Residence, as well as any other applicable regulations, development standards and guidelines of the Municipal Code in effect for this site. All applicable and relevant conditions and findings of approval as specified in the approved CDP No. 9045 and LJSPDP No. 9046 for the Kooklani I Residence; and CDP No. 9047 and LJSPDP No. 9048 for the Kooklani II Residence, shall remain in full effect for this site, unless otherwise specified by the Development Services Department.

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Mr. Mendiola
Project No. 126578
April 12, 2011

This decision by staff can be appealed to the Planning Commission no later than twelve (12) business days of the decision date in accordance with Land Development Code Section 112.0504(b). Therefore, this appeal period shall expire on April 28, 2011. If appealed, the decision of the Planning Commission is final. The final decision by the City of San Diego is not appealable to the California Coastal Commission.

Once the appeal period has expired, a copy of this letter and stamped plans will be retained in the SCR file with an additional copy placed in original Project File Nos. 3200 and 5281. You will receive copies of your approved SCR plan set in a project closeout package within two (2) weeks after the project file has been closed. If you have any questions, I may be reached by telephone at (619) 446-5237 or via e-mail at JAPeterson@sandiego.gov.

Sincerely,



Jeffrey A. Peterson
Development Project Manager

cc: File
Project File Nos. 3200 and 5281
Mark and Mina Kooklani
Tony Crisafi, Chair of the La Jolla Community Planning Association
Lesley Henegar, Planner, CPCI
Reviewing Staff



Kooklani I RESIDENCE

<p>SYMBOLS</p> <p>PROJECT NORTH</p> <p>GRID REFERENCE</p> <p>ENLARGE PLAN AREA REFERENCE</p> <p>DETAIL OF SECTION</p> <p>CROSS SECTION REF</p> <p>SHEET ON WHICH DETAIL OR SECTION IS DRAWN</p> <p>ELEVATION REFERENCE</p> <p>DETAIL REFERENCE</p> <p>PLAN TITLE</p> <p>DRAWING TITLE REF. SHEET NUMBER</p> <p>ROOM NUMBER</p> <p>WORKING POINT</p> <p>REVISION</p> <p>DOOR NUMBER</p> <p>WINDOW NUMBER</p> <p>GLAZING WINDOW NUMBER</p> <p>DIRECTION OF ELEVATION</p> <p>DETAIL REFERENCING INTERIOR ELEVATION</p> <p>SHEET NUMBER</p> <p>OUTLINE OF STRUCTURE (ABOVE OR BELOW) CENTER LINE</p>	<p>EXTRAS</p>	<p>VICINITY MAP</p> <p>PACIFIC OCEAN</p> <p>TORREY PINES RD.</p> <p>ACACIA DR.</p> <p>LA JOLLA</p> <p>NORTH</p>	<p>LOCATION MAP</p>
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752 5TH AVE.
SAN DIEGO
CA. 92101
(619) 858 2345

REVISIONS

DRAWN	DATED

<p>ABBREVIATIONS</p> <table border="0"> <tr><td>ALT. ARCH. ARCH.</td><td>A ALTERNATE ARCHITECT/ARCHITECTURAL</td><td>JST. JOIST</td><td>JT. JOINT</td></tr> <tr><td>BLDG. BLDG.</td><td>B BUILDING</td><td>K.O. KNOCK OUT</td><td>K K</td></tr> <tr><td>BL. BOT. BOT.</td><td>BL. BOTTOM</td><td>LCKR.(R) LOCKER (R)</td><td>M MAX.</td></tr> <tr><td>C. C.</td><td>C. CHANNEL</td><td>MAX. MECH. MECHANICAL</td><td>MFR. MFR.</td></tr> <tr><td>C.L. C.L.</td><td>C.L. CENTER LINE</td><td>MISC. MISC.</td><td>MISC. MISC.</td></tr> <tr><td>C.M. C.M.</td><td>C.M. CAST IN PLACE</td><td>N N</td><td>N NORTH</td></tr> <tr><td>C.O. C.O.</td><td>C.O. CONCRETE</td><td>N.T.S. N.T.S.</td><td>N.O. NOT TO SCALE</td></tr> <tr><td>CONC. CONC.</td><td>CONC. CONCRETE</td><td>N.O. N.O.</td><td>O OUTSIDE DIAMETER</td></tr> <tr><td>CONC. CTR. CTR.</td><td>CONC. CENTER</td><td>O.P.P. O.P.P.</td><td>O.P.P. OPPOSITE</td></tr> <tr><td>DEPT. DET.</td><td>DEPT. DETAIL</td><td>P P</td><td>P PROPERTY LINE</td></tr> <tr><td>DIAM. DIA.</td><td>DIAM. DIAMETER</td><td>PL PARTIN.</td><td>PL PLATE</td></tr> <tr><td>DN. DN.</td><td>DN. DIMENSIONS</td><td>PLAS. PLAS.</td><td>PLAS. PLASTER</td></tr> <tr><td>DWG. DWG.</td><td>DWG. DRAWING</td><td>PL. PL.</td><td>PL. POINT</td></tr> <tr><td>E.O. E.O.</td><td>E.O. EXPANSION JOINT</td><td>R R</td><td>R REINFORCED CONCRETE</td></tr> <tr><td>EA. EA.</td><td>EA. EACH</td><td>R.C. R.C.</td><td>R.C. REINFORCED CONCRETE</td></tr> <tr><td>ELEC. ELEC.</td><td>ELEC. ELECTRIC</td><td>R.D. R.D.</td><td>R.D. ROOF DRAIN</td></tr> <tr><td>EQUIP. EQUIP.</td><td>EQUIP. EQUIPMENT</td><td>REF. REF.</td><td>REF. REFERENCE</td></tr> <tr><td>EXP. EXP.</td><td>EXP. EXISTING</td><td>REF. REF.</td><td>REF. REINFORCE / REINFORCING</td></tr> <tr><td>EXT. EXT.</td><td>EXT. EXPOSED</td><td>SC. SC.</td><td>SC. SCALE</td></tr> <tr><td>F F</td><td>F FLOOR DRAIN</td><td>SECT. SECT.</td><td>SECT. SECTION</td></tr> <tr><td>F.D. F.D.</td><td>F.D. FIRE EXTINGUISHER CABINET</td><td>SH. SH.</td><td>SH. SHEET</td></tr> <tr><td>FF. FF.</td><td>FF. FINISH FLOOR</td><td>SH. SH.</td><td>SH. SIMILAR</td></tr> <tr><td>F.O.C. F.O.C.</td><td>F.O.C. FACE OF CONCRETE</td><td>SPEC. SPEC.</td><td>SPEC. SPECIFICATIONS</td></tr> <tr><td>F.O.S. F.O.S.</td><td>F.O.S. FACE OF STUD</td><td>SQ. SQ.</td><td>SQ. SQUARE</td></tr> <tr><td>F.O.W. F.O.W.</td><td>F.O.W. FACE OF WALL</td><td>ST. ST.</td><td>ST. STEEL</td></tr> <tr><td>FR. FR.</td><td>FR. FRESH</td><td>ST. ST.</td><td>ST. STRUCTURAL</td></tr> <tr><td>FLR. FLR.</td><td>FLR. FLOOR / FLOORING</td><td>T T</td><td>T TOP OF CONCRETE</td></tr> <tr><td>FND. FND.</td><td>FND. FOUNDATION</td><td>T.O.P. T.O.P.</td><td>T.O.P. TOP OF PAWING</td></tr> <tr><td>FT. FT.</td><td>FT. FEET</td><td>TY. TY.</td><td>TY. TYPICAL</td></tr> <tr><td>FTG. FTG.</td><td>FTG. FOOTING</td><td>U U</td><td>U UNIFORM BUILDING CODE</td></tr> <tr><td>G. G.</td><td>G. GENERAL</td><td>U.N.G. U.N.G.</td><td>U.N.G. UNLESS NOTED OTHERWISE</td></tr> <tr><td>GL. GL.</td><td>GL. GLASS</td><td>V V</td><td>V VAPOR BARRIER</td></tr> <tr><td>GR. GR.</td><td>GR. GRADE</td><td>VB. VB.</td><td>VB. VERTICAL</td></tr> <tr><td>H. H.</td><td>H. HOLE BOMB</td><td>VE. VE.</td><td>VE. VERTICAL</td></tr> <tr><td>H.M. H.M.</td><td>H.M. HOLLOW METAL</td><td>W. W.</td><td>W. WATER RESISTANT</td></tr> <tr><td>HORIZ. HORIZ.</td><td>HORIZ. HORIZONTAL</td><td>WWF WWF</td><td>WWF WOVEN WIRE FABRIC</td></tr> <tr><td>HR. HR.</td><td>HR. HOUR</td><td>WP WP</td><td>WP WATERPROOF</td></tr> <tr><td>HT. HT.</td><td>HT. HEIGHT</td><td></td><td></td></tr> <tr><td>I I</td><td>I INCLUDED</td><td></td><td></td></tr> <tr><td>INCL. INCL.</td><td>INCL. INFORMATION</td><td></td><td></td></tr> <tr><td>INSUL. INSUL.</td><td>INSUL. INSULATION</td><td></td><td></td></tr> </table>	ALT. ARCH. ARCH.	A ALTERNATE ARCHITECT/ARCHITECTURAL	JST. JOIST	JT. JOINT	BLDG. BLDG.	B BUILDING	K.O. KNOCK OUT	K K	BL. BOT. BOT.	BL. BOTTOM	LCKR.(R) LOCKER (R)	M MAX.	C. C.	C. CHANNEL	MAX. MECH. MECHANICAL	MFR. MFR.	C.L. 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INSULATION			<p>LEGAL DESCRIPTIONS</p> <p>A PORTION OF LOT "B" OF THE RESUBDIVISION OF LA JOLLA HILLS NO. 2, IN THE CITY OF SAN DIEGO, COUNTY SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THERE OF NO. 2087, FILLED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1920. DIGITAL DISTRIBUTION, 10/20/99.</p> <p>PROJECT DATA</p> <p>ADDRESS: Soledad Avenue and Hillside Dr. La Jolla, CA</p> <p>DESCRIPTION: SINGLE FAMILY RESIDENCE 5 BEDROOM, 3 CAR GARAGE</p> <p>CLIMATE ZONE: 7</p> <p>LOT AREA: 18,165 SQ. FT.</p> <p>OCCUPANCY: RESIDENTIAL</p> <p>CONSTRUCTION TYPE: V. NON RATED</p> <p>GOVERNING CODE: 2001 CBC</p> <p>ZONE: SF_LJSPD</p> <p>F.A.R.: 38 %</p> <table border="1"> <tr><td>MAIN FLOOR</td><td>3,432.41 SQ. FT.</td></tr> <tr><td>BASEMENT LEVEL</td><td>4,242.87 SQ. FT.</td></tr> <tr><td>TOTAL HABITABLE</td><td>7,675.08 SQ. FT.</td></tr> </table> <p>GARAGE: 916.77 SQ. FT.</p> <p>FAR CALCULATIONS</p> <table border="1"> <tr><td>MAIN FLOOR HABITABLE</td><td>3,432.41 SQ. 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SAN DIEGO, CA. 92121 (858) 598 - 8855 FAX: (858) 598 - 8955 ENGINEER: AHMAD ZAREI No. 4118</p> <p>MECHANICAL ENG. BEAR TECHNOLOGYS 7774 CALLE MAJOR CARLSBAD CA. 92009 (760) 635-2327</p> <p>CIVIL ENG. CIVIL ENGINEERING DESIGN GROUP 1657 SYCAMORE AVE. VISTA CA. 92081 760 - 599 - 8585 760 - 599 - 8901</p> <p>GEOLOGIST ALLIED EARTH TECHNOLOGY 9633 Pacific Heights Boulevard, Suite C San Diego, CA. 92121 (619) 457-4515 Senior Engineering Geologist Bryan Miller-Hicks</p> <p>THIS PROJECT SHALL COMPLY WITH THE 2001 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24).</p>	<p>GENERAL NOTES</p> <table border="1"> <thead> <tr> <th>SETBACKS</th> <th>REQ.</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr><td>FRONT</td><td>VARIES</td><td>VARIES</td></tr> <tr><td>SIDE</td><td>4'-0"</td><td>4'-0"</td></tr> <tr><td>S. SIDE</td><td>N/A</td><td>N/A</td></tr> <tr><td>REAR</td><td>7'-0"</td><td>7'-0"</td></tr> </tbody> </table> <table border="1"> <thead> <tr> <th>PARKING</th> <th>REQ.</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr><td>Residential</td><td>2</td><td>3</td></tr> </tbody> </table> <p>La Jolla Shores Planned Dist.</p> <table border="1"> <tr><td>Lot Area</td><td></td><td>16,165.00 SF.</td></tr> <tr><td>Foot Print</td><td>4,228.42 SF</td><td>(26.15%)</td></tr> <tr><td>Hardscape</td><td>6,373.32 SF</td><td>(39.43%)</td></tr> <tr><td>Landscape</td><td>9,791.88 SF</td><td>(60.57%)</td></tr> </table>	SETBACKS	REQ.	PROPOSED	FRONT	VARIES	VARIES	SIDE	4'-0"	4'-0"	S. SIDE	N/A	N/A	REAR	7'-0"	7'-0"	PARKING	REQ.	PROPOSED	Residential	2	3	Lot Area		16,165.00 SF.	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MAIN FLOOR	3,432.41 SQ. FT.																																																																																																																																																																																																																																																								
BASEMENT LEVEL	4,242.87 SQ. FT.																																																																																																																																																																																																																																																								
TOTAL HABITABLE	7,675.08 SQ. FT.																																																																																																																																																																																																																																																								
MAIN FLOOR HABITABLE	3,432.41 SQ. FT.																																																																																																																																																																																																																																																								
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BASEMENT EXEMPT	2,311.83 S.Q. FT.																																																																																																																																																																																																																																																								
BASEMENT TO FAR	1,929.49 SQ. FT.																																																																																																																																																																																																																																																								
TOTAL AREA TOWARDS FAR	5,978.67 SQ. FT.																																																																																																																																																																																																																																																								
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Lot Area		16,165.00 SF.																																																																																																																																																																																																																																																							
Foot Print	4,228.42 SF	(26.15%)																																																																																																																																																																																																																																																							
Hardscape	6,373.32 SF	(39.43%)																																																																																																																																																																																																																																																							
Landscape	9,791.88 SF	(60.57%)																																																																																																																																																																																																																																																							
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A-7.1	WINDOW & DOOR SCHEDULE																																																																																																																																																																																																																																																								
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E-2	ELECTRICAL PLAN - BASEMENT LEVEL																																																																																																																																																																																																																																																								

kooklani I Residence
Single Family Residence
Soledad Avenue and Hillside Drive, San Diego, CA 92037

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PROJECT NO.

DATE 05-27-06

PRINT DATE 12/20/2010

SHEET TITLE

Title Sheet

SHEET NO.

T-1

cdgi@cdgi.org



NOTES:

- ① THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION, GRADE SHALL NOT EXCEED 24'-30" ABOVE
- ② SURFACE WATER WILL DRAIN AWAY FROM BUILDING MIN. 1% SLOPE
- ③ WATER SEWER & GAS MAINS EXIST.
- ④ YARD SETBACKS ARE TO BE MEASURED FROM THE EXTERIOR WALL FINISH TO THE PROPERTY LINE AND NOT FROM THE OUTSIDE OF THE FOOTING (OR FACE-OF-STUDS). THE PLANS MUST BE DESIGNED WITH THE WALL FINISH THICKNESS (I.S. 7/8" STUCCO, ETC.) ADDED TO THE PLAN FOR THE SETBACK. THE FIELD INSPECTOR WILL ADD THE PLANNED WALL FINISH THICKNESS TO THE FOUNDATION SETBACK REQUIREMENT MUST BE AFTER PLAN APPROVAL, THE EFFECT ON MEETING THE SETBACK REQUIREMENT MUST BE CONSIDERED TO GET CHANGE APPROVED BY THE BUILDING AND PLANNING DEPARTMENTS.
- ⑤ OWNER TO OBTAIN A CONSTRUCTION PERMIT FROM THE ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO WORKING IN THE PUBLIC RIGHT-OF-WAY. FAILURE TO DO SO WILL RESULT IN ISSUANCE OF A STOP WORK NOTICE AND DOUBLE PERMIT FEES. IT IS THE RESPONSIBILITY OF THE OWNER TO KNOW WHERE HIS/HER PROPERTY LINE IS.
- ⑥ BUILDING ADDRESS TO BE PROVIDED IN A VISIBLE & LEGIBLE FROM THE STREET.
- ⑦ POST INDICATOR VALVES, FIRE DEP. CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS SIDE OF STRUCTURE.
- ⑧ PROVIDE ABOVE GROUND BACK FLOW PREVENTION DEVICES IN LINE WITH THE SERVICE, ADJACENT TO RIGHT-OF-WAY.

LEGEND

- PREVIOUS APPROVED BUILDING
- NEW BUILDING

NOTE:
 EXISTING WATER METER ON PARCEL 1 TO BE KILLED AND REPLACED FOR NEW WM LOCATION
 * NOTE THAT ALL WATER FACILITIES ARE PRIVATE, INCLUDING DOMESTIC, FIRE AND IRRIGATION SYSTEMS.
 * OWNER AGREES TO CONSTRUCT ALL PROPOSED PUBLIC WATER FACILITIES IN ACCORDANCE WITH CITY REGULATIONS.
 * THE ENTIRE ROOF SHALL BE A CLASS "A" ROOFING ASSEMBLY



Site Plan
 1/8" = 1' 0"

3

752 5TH AVE.
 SAN DIEGO
 CA. 92101
 (619)858 2345

REVISIONS

DRAWN	DATED
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 Single Family Residence
 Soledad Avenue and Hillside Drive, San Diego, CA 92037

DRAWN pp
 CHECKED TOPO
 PROJECT NO.
 DATE 06-27-06
 PRINT DATE 3/9/2011
 SHEET TITLE

Site Plan

SHEET NO.
A-1

cdgi@cdgi.org



752 5TH AVE.
SAN DIEGO
CA. 92101
(619)858 2345

REVISIONS

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Single Family Residence
Soledad Avenue and Hillside Drive, San Diego, CA 92037

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PROJECT NO. 122209

DATE 06-27-06

SHEET TITLE

Basement Level

SHEET NO.

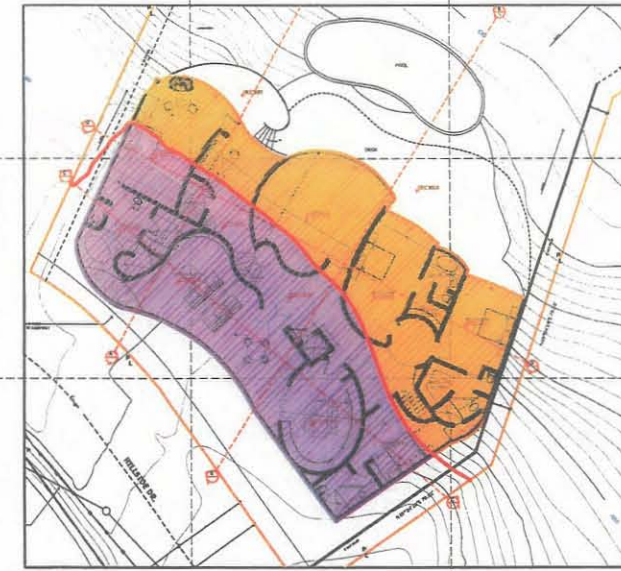
A-2.2

cdgi@cdgi.org

ATTACHMENT 11



PARCEL 1
PER MAP 19618
AREA = 16,165 SQ. FT.



BASEMENT AREA TO F.A.R.
A: 3,471.52 sf

BASEMENT EXEMPT
A: 852.65 sf

Basement level

1/8" = 1'-0"

4

LEGEND

- 01- ENTRY FOYER
- 02- STAIR 1
- 03- DINING ROOM
- 04- LIVING ROOM
- 05- FAMILY ROOM
- 06- NOOK
- 07- KITCHEN
- 08- PANTRY
- 09- STAIR 2
- 10- POWDER ROOM
- 11- HALL
- 12- BATH 1
- 13- BEDROOM 1
- 14- PATIO
- 15- DECK 1
- 16- GALLERY 1
- 17- LINEN
- 18- BATH 2
- 19- BATH 3
- 20- BEDROOM 2
- 21- DECK 2
- 22- MASTER BEDROOM
- 23- M.B. BATHROOM
- 24- M.B. WALK-IN CLOSET
- 25- BALCONY
- 26- DECK 3
- 27- E. GARAGE
- 28- STAIR 3

NOTES:

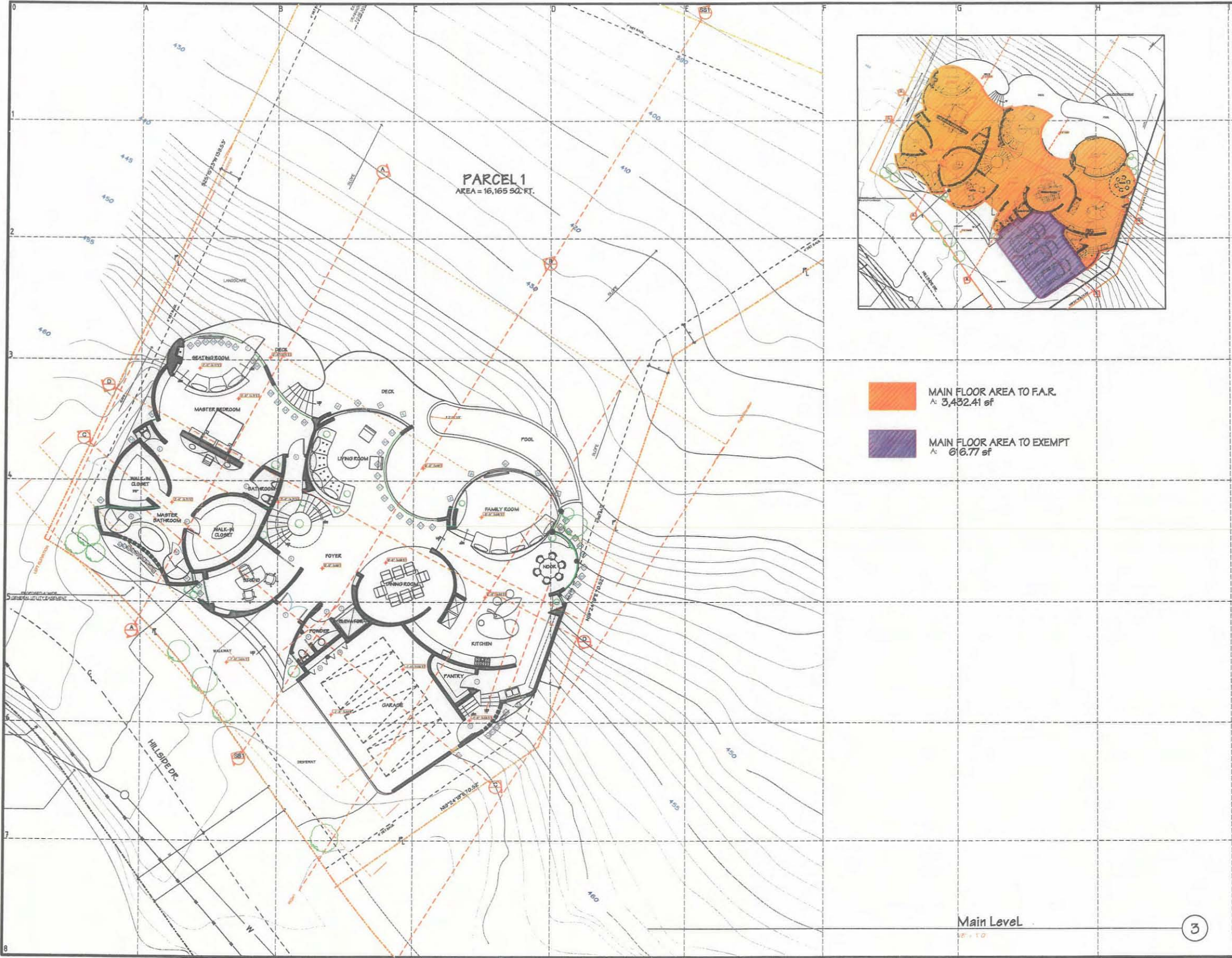
- 1) MOF SHELVES TYPICAL TO BE PAINTED WITH ENAMEL FINISH.
- 2) DRYER VENT MUST TRIM WALL.
- 3) NEW 90 GAL. WATER HEATER, 150,000 BTU INSTALLED WITH NEW CIRCULATION PUMP 1" COPPER FEED LINE HUB. NOTE: VENT THROUGH COMBUSTION AIR USE LOWVOLTAGE DOOR FIT VALVE THROUGH FRONT.
- 4) BUILT-IN SINK PER CABINET MAKER.
- 5) FINISHING PER CABINET MAKER.
- 6) DRYFIT SEAL @ ALL WINDOW AND DOOR OPENINGS.
- 7) NOTE ALL DOORS AND WINDOWS TO BE SEALED AND CAULKED AS PER TITLE-24.
- 8) ALL BOTTOM PLATES TO BE SEALED AND CAULKED.
- 9) FINISH FLOOR SPOUT ELEVATIONS AS STATED CHECK FINISH SCHEDULE FOR TYPE AND THICKNESS OF MATERIALS TO BE ACCOUNTED FOR FINISH FLOORING.
- 10) PENETRATIONS OF FIRE RESISTIVE WALLS, FLOOR, CEILING, SHALL BE PROTECTED AS REQUIRED IN IBC SECTION 709 AND 716.
- 11) CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS.
- 12) SHOW THAT 100 SQ. IN. OF MAKE UP AIR REQUIRED AT GARMENT ROOM.
- 13) PLASTER-PAINTED OVER WOOD BASED SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" PAPER.
- 14) WATER FEATURE - POOL BY SEPARATE PERMIT.

MECHANICAL NOTES:

- 1) ALL HEATING TO BE PROVIDED WITH NEW HEAT EXCHANGERS BY CHANGERS. ALL NEW DUCT WORK TO BE INSTALLED.
- 2) CHARGER (HISING) 150,000 BTU FURNACE (V)R COMBUSTION AIR THROUGH LOWVOLTAGE DOOR.
- 3) PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW ROSE FIRE.
- 4) PROVIDE ULTRA LOW FLUSH TOILETS AND MAXIMUM 2.2 GPM FLOW OR FAUCETS.
- 5) SHOWER HEADS TO HAVE MAXIMUM 2.5 GPM FLOW.
- 6) STATE SAFE SAFETY CODE, SEC. "D" 21.2.1 MAKE THE USE OF CHLOROPOLYESTER (CPVC) FOR INTERIOR WATER SUPPLY PIPING.
- 7) USE TYPE (V) COPPER FOR ALL WATER SUPPLY & VENT LINES.
- 8) ALL HOT WATER LINE TO BE INSULATED.
- 9) PROVIDE MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS AND WATER CLOSET IF OPERABLE WINDOWS ARE NOT PROVIDED.
- 10) DISCHARGE POINT OF EXHAUST AIR WILL BE AT LEAST 7' FROM ANY OPENING WHICH ALLOWS AIR ENTER INTO OCCUPIED PORTIONS OF THE BUILDING.
- 11) IN SHOWERS AND TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
- 12) APPROVED SPARKARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS.
- 13) PVI CLOSETS OR ALCOHOLS MUST BE 12" WIDER THEN THE FURNACE OR FURNACES BEING INSTALLED.
- 14) GAS VENTS AND NON COMBUSTIBLE PIPING WALLS, PASSING THRU THESE FLOORS OR LEVELS, SHALL BE EFFECTIVELY DRAFT STOPPED @ EACH FLOOR OR CEILING AND ALSO DRAFT 12" HT ON BALCONY FRAMES.
- 15) OUT PUT HEATING 73,140 BTU.

SYMBOLS

- EXISTING WALLS TO REMAIN
- NEW WALLS, NOTE EXTERIOR WALL TO BE 2X4 U.O.N.
- EXISTING RETAINING WALLS
- NEW RETAINING WALLS
- HOSE BIB
- EMERGENCY EGRESS
- RETURN AIR ON WALL



MAIN FLOOR AREA TO F.A.R.
A: 3,432.41 sf

MAIN FLOOR AREA TO EXEMPT
A: 616.77 sf

LEGEND

- 01- ENTRY FOYER
- 02- STAIR 1
- 03- DINING ROOM
- 04- LIVING ROOM
- 05- FAMILY ROOM
- 06- NOOK
- 07- KITCHEN
- 08- PANTRY
- 09- STAIR 2
- 10- POWDER ROOM
- 11- HALL
- 12- BATH 1
- 13- BEDROOM 1
- 14- PATIO
- 15- DECK 1
- 16- GALLERY 1
- 17- LINEN
- 18- BATH 2
- 19- BATH 3
- 20- BEDROOM 2
- 21- DECK 2
- 22- MASTER BEDROOM
- 23- M.B. BATHROOM
- 24- M.B. WALK-IN CLOSET
- 25- BALCONY
- 26- DECK 3
- 27- E. GARAGE
- 28- STAIR 3

NOTES:

1. MFP SHEETS TYPICAL TO BE PAINTED WITH ENAMEL FINISH
2. EXTERIOR VENT THRU WALL
3. NEW 80 G.A. WATER HEATER, 100,000 BTU INSTALLED WITH NEW CIRCULATION PUMP T COPPER FEED LINE. NOTE: VENT THRU ROOF COMBUSTION AIR USE LOWERED DOOR FIT THRU THROUGH FRONT
4. BUILT-IN BATH PER CABINET MAKER
5. BUSTING PER CABINET MAKER
6. SUFFICEAL @ ALL WINDOW AND DOOR OPENINGS
7. NOTE ALL DOORS AND WINDOWS TO BE SEALED AND CALLED AS PER TITLE 24
8. ALL BOTTOM PLATES TO BE SEALED AND CALLED
9. FINISH FLOOR SPOT ELEVATIONS AS STATED CHECK FINISH SCHEDULE FOR TYPE AND THICKNESS OF MATERIALS TO BE ACCOUNTED FOR FINISH FLOORING
10. PENETRATIONS OF FIRE RESISTIVE WALLS, FLOOR, CEILING, SHALL BE PROTECTED AS REQUIRED IN USC SECTION 709 AND 710
11. CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS
12. SHOW THAT 600 SIG. IN. OF MAKE UP AIR REQUIRED AT LAUNDRY ROOM
13. PLASTER, GYP. OVER WOOD BASED SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE 57 PAPER
14. WATER FEATURE - POOL BY SEPARATE PERMIT

MECHANICAL NOTES:

1. ALL HEATING TO BE PROVIDED WITH NEW DUCT WORK TO BE INSTALLED
2. CARBIDE ABRASION RESISTANT FURNACE LOWERED DOOR
3. PERMANENT VACUUM MEASURES SHALL BE INCLUDED WITH ALL NEW ROSE BOTS
4. PROVIDE ULTRA LOW FLOW SHOWER HEADS AND MAXIMUM 2.0 GPM FLOW ON SHOWER HEADS
5. SHOWER HEADS TO HAVE MAXIMUM 2.0 GPM FLOW
6. BANISH THE USE OF CHLORINATED POLYETHYLENE (CPVC) FOR INTERIOR WATER SUPPLY PIPING
7. USE TYPE 1/2" COPPER FOR ALL WATER SUPPLY AND VENT LINES
8. ALL HOT WATER LINE TO BE INSULATED
9. PROVIDE MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS AND WATER CLOSET IF OPENABLE WINDOWS ARE NOT PROVIDED
10. DISCHARGE POINT OF EXHAUST AIR WILL BE AT LEAST 3' FROM ANY OPENING WHICH ALLOWS AIR ENTRY AND OCCUPIED PORTIONS OF THE BUILDING
11. IN SHOWERS AND TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES
12. APPROVED-BRAND-AREAS MUST BE INSTALLED ON ALL CHIMNEYS
13. PAN CLOSETS OR ALCOHOLS MUST BE 12" WIDER THEN THE FURNACE OR FURNACES BEING INSTALLED
14. GAS VENTS AND NON COMBUSTIBLE PIPING WALLS, PASSING THRU THESE FLOORS OR CEILING, SHALL BE EFFECTIVELY DRAFT STOPPED @ EACH FLOOR OR CEILING AND ALSO DRAFT STOPPED ON WALLS/FRAMES
15. OUTPUT HEATING 77340 BTU

SYMBOLS

- EXISTING WALLS TO REMAIN
- NEW WALLS, NOTE EXTERIOR WALL TO BE 204 U.O.M.
- EXISTING RETAINED WALLS
- NEW RETAINING WALLS
- HOSE BIB
- EMERGENCY EGRESS
- RETURN AIR ON WALL

752 5TH AVE.
SAN DIEGO
CA. 92101
(619)858 2345

REVISIONS

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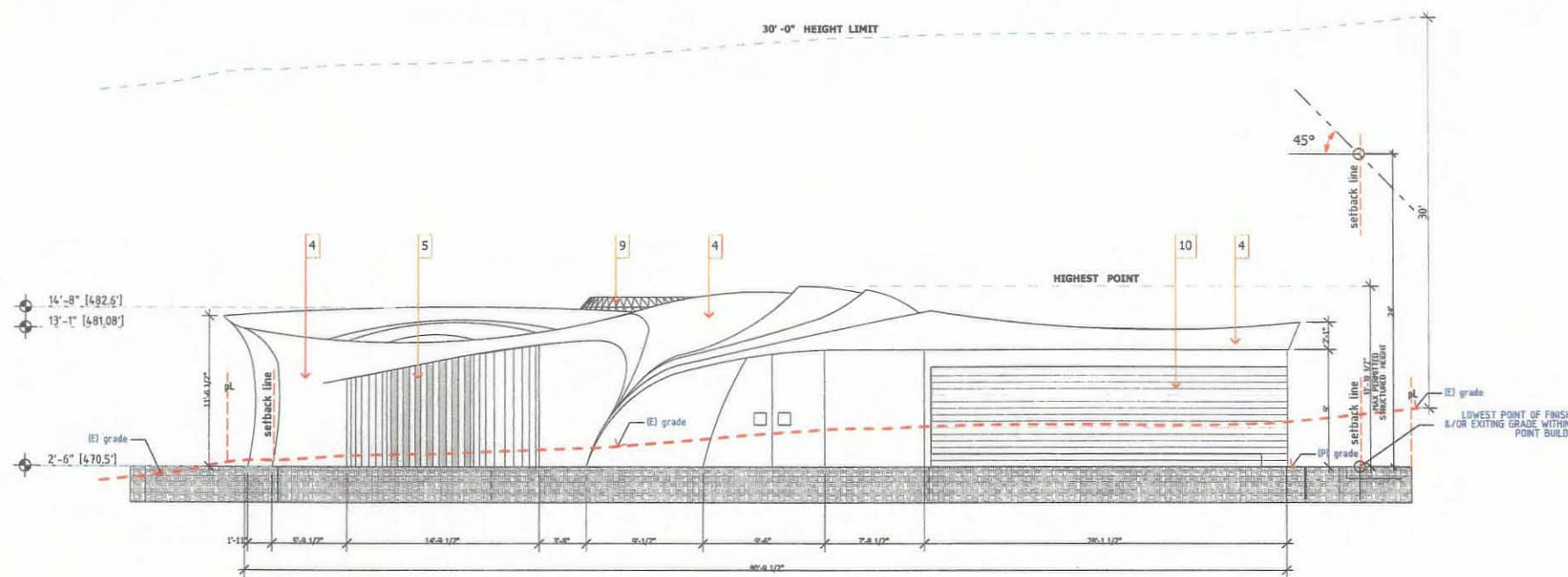
kookiani I Residence
Single Family Residence
Soledad Avenue and Hillside Drive, San Diego, CA 92037

DRAWN pp
CHECKED
PROJECT NO. 122209
DATE 06-27-06
SHEET TITLE

Main Level

SHEET NO.
A-2.1

cdgi@cdgi.org



South Elevation

2

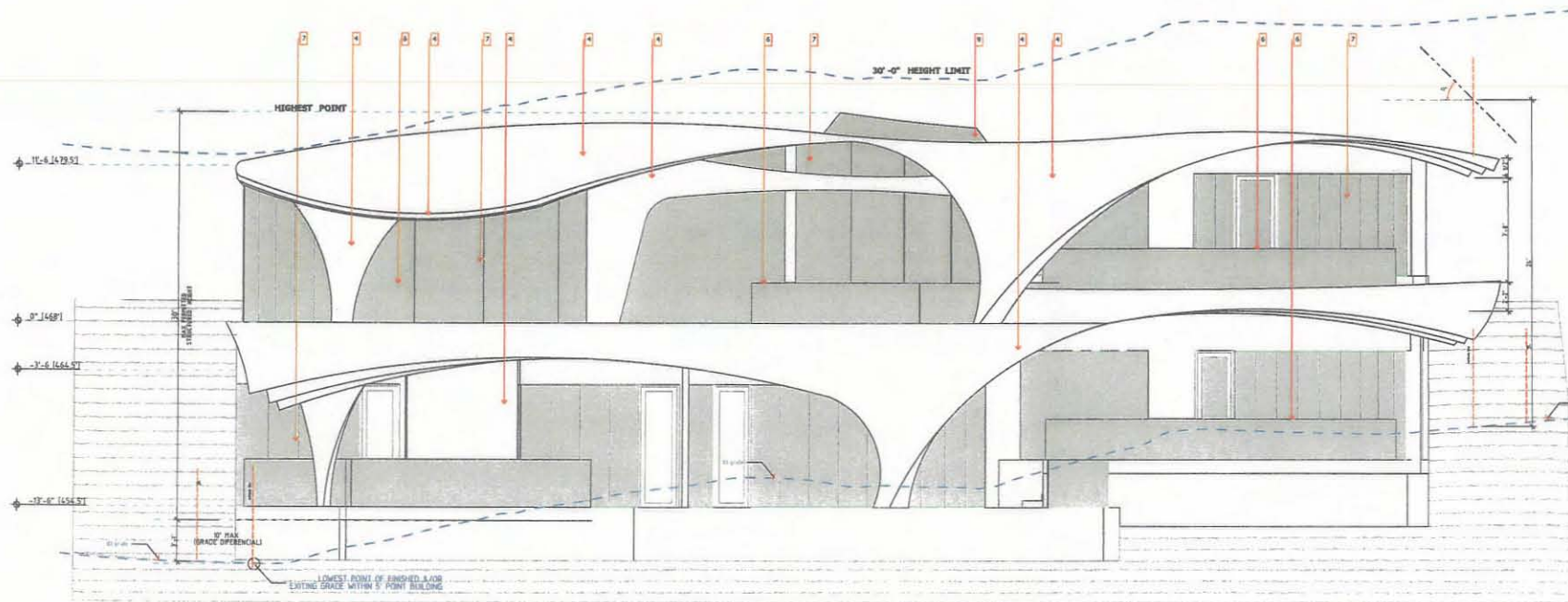
LEGEND

- 1.- NEW ROOF TILE
- 2.- EXISTING WALL TO REMAIN
- 3.- NEW METAL COPPER FACIA
- 4.- NEW STUCCO FINISH
- 5.- WINDOW PER SCHEDULE
- 6.- HANDRAIL PER DETAIL
- 7.- GLAZING PER SCHEDULE
- 8.- DOOR PER SCHEDULE
- 9.- SKYLIGHT
- 10.- GARAGE DOOR PER SCHEDULE

752 5TH AVE.
SAN DIEGO
CA. 92101
(619)858 2345

REVISIONS

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North Elevation

1

kooklani I Residence
Single Family Residence

Soledad Avenue and Hillside Drive, San Diego, CA 92037

DRAWN pp

CHECKED TOPO

PROJECT NO.

DATE 06-27-06

PRINT DATE 3/2/2011

SHEET TITLE

Elevations

SHEET NO.

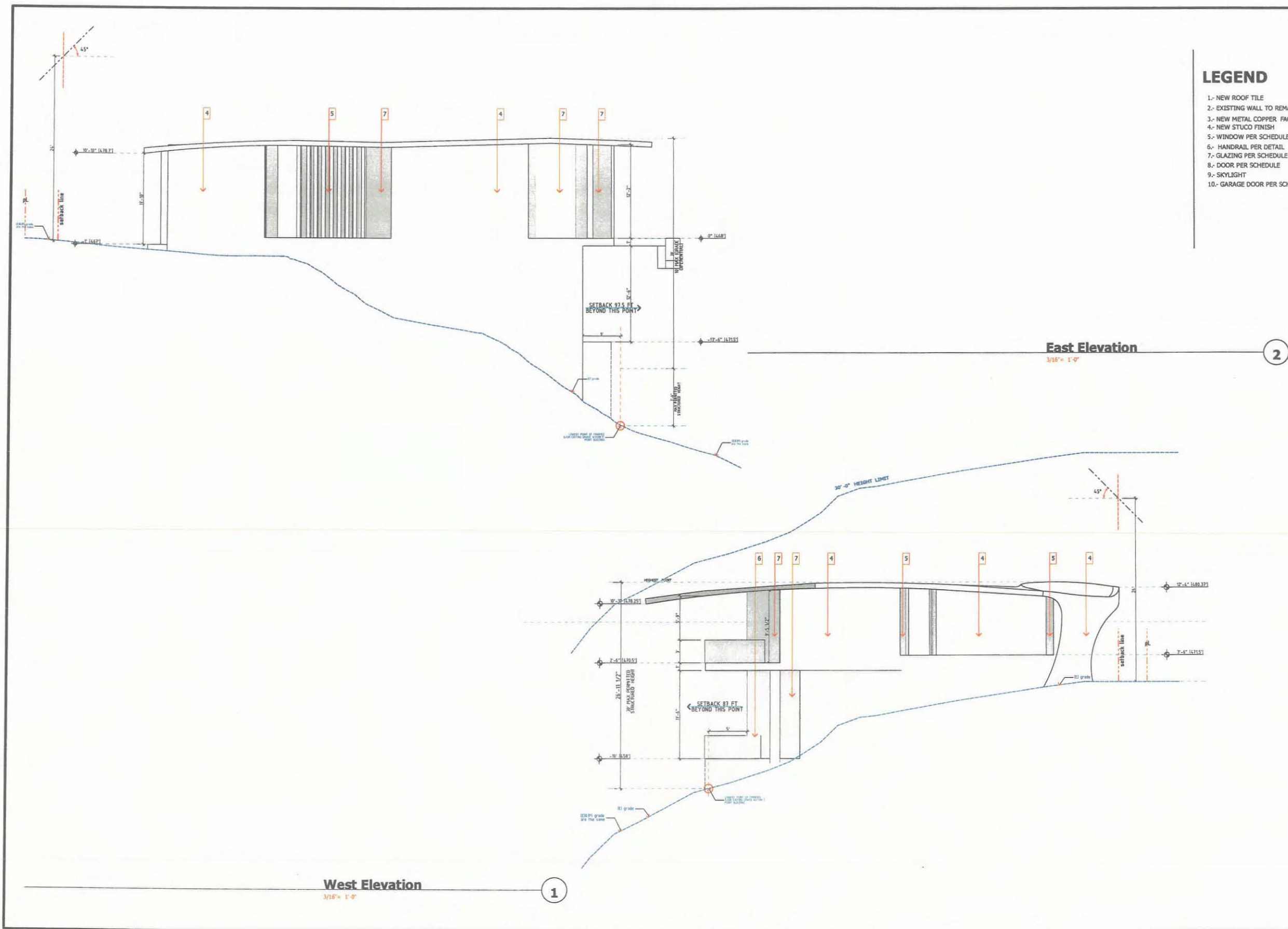
A-4.1

cdg@cdg.org



LEGEND

- 1.- NEW ROOF TILE
- 2.- EXISTING WALL TO REMAIN
- 3.- NEW METAL COPPER FACIA
- 4.- NEW STUCCO FINISH
- 5.- WINDOW PER SCHEDULE
- 6.- HANDRAIL PER DETAIL
- 7.- GLAZING PER SCHEDULE
- 8.- DOOR PER SCHEDULE
- 9.- SKYLIGHT
- 10.- GARAGE DOOR PER SCHEDULE



752 5TH AVE.
SAN DIEGO
CA. 92101
(619)858 2345

REVISIONS

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kooklani I Residence
Single Family Residence

Soledad Avenue and Hillside Drive, San Diego, CA 92037

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PROJECT NO.	
DATE	06-27-06
PRINT DATE	3/9/2011
SHEET TITLE	

Elevations (2)

SHEET NO.
A-4.2

cdgj@cdgj.org



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CA. 92101
(619)858 2345

REVISIONS

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Single Family Residence

Soledad Avenue and Hillside Drive, San Diego, CA 92037

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DATE 06-27-06

PRINT DATE 3/13/2011

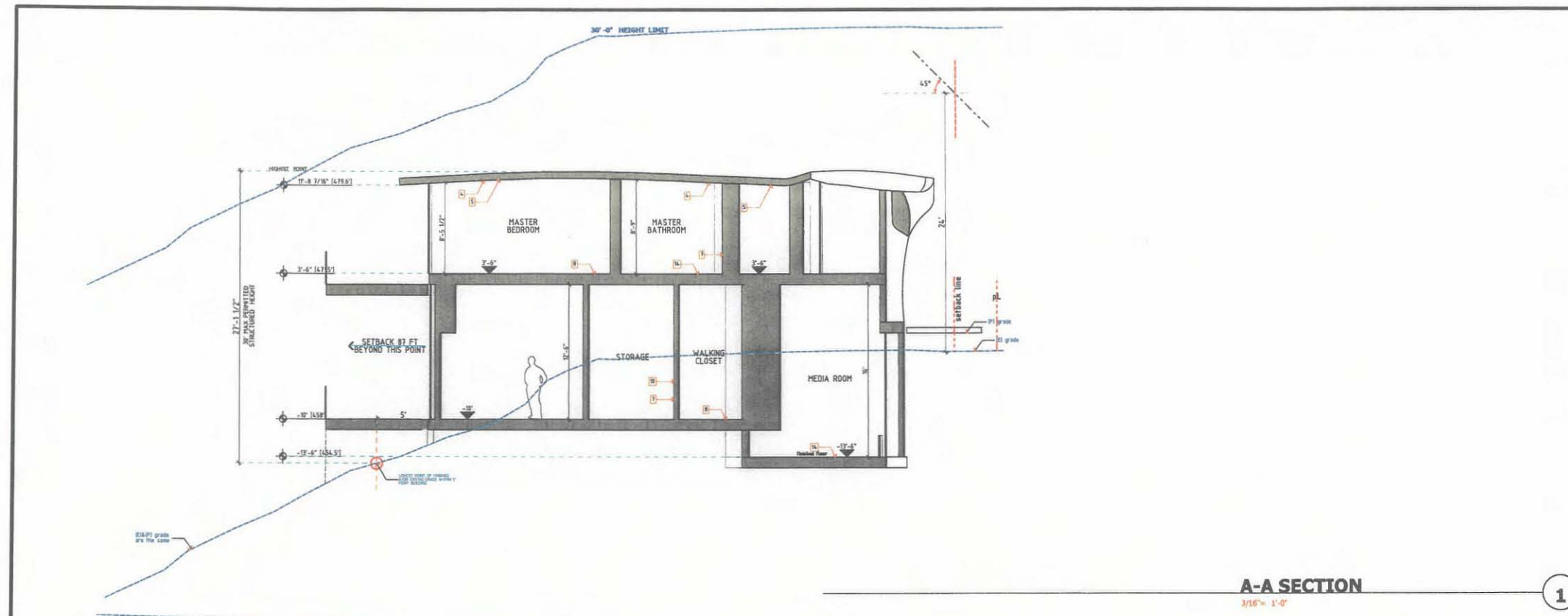
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Sections

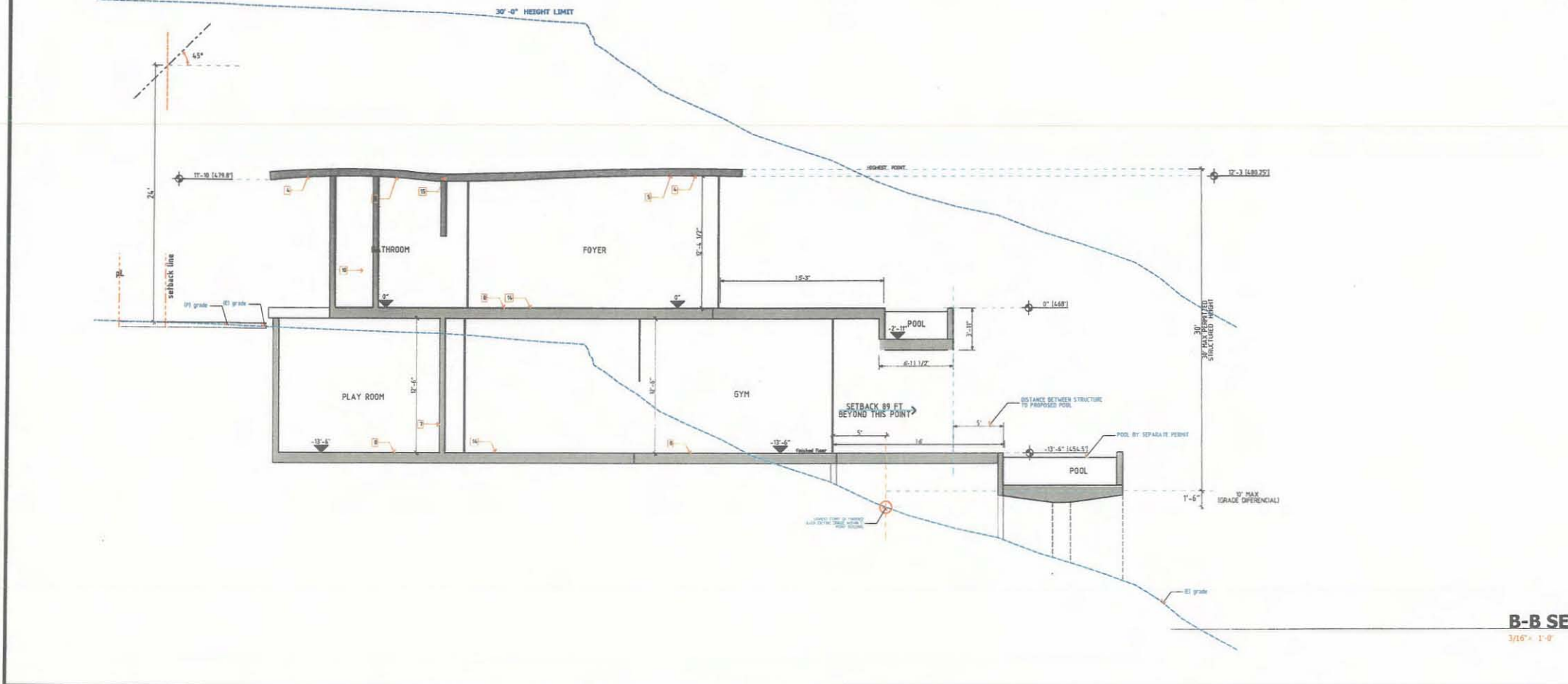
SHEET NO.

A-5.1

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A-A SECTION
3/16" = 1'-0"



B-B SECTION
3/16" = 1'-0"

KEY NOTES

- 1 EXISTING ROOF PER STRUCTURAL
- 2 BUILT-UP ROOF PER ROOF PLAN
- 3 COPPER PATINA GALVANIZED STANDING SEAM MTL. ROOF
- 4 2X RAFTERS(CLG. JOIST PER STRUCTURAL DWGS.
- 5 FLOOR \ RAFTERS JOIST PER STRUCT. DWGS.
- 6 BEAM PER STRUCTURAL DWGS.
- 7 R-13 INSULATION AT WALLS
- 8 FLOORING PER FLOORING PATTERN
- 9 SKYLIGHT PER ROOF PLAN
- 10 STUD WALL PER PLANS
- 11 5/8" TYPE "X" DRYWALL PER FINISH SCHEDULE
- 12 5/8" DRAY WALL PER FINISH SCHED.
- 13 GUARDRAIL HANDRAIL SYS.
- 14 CONCRETE SLAB PER FINISH SCHED.
- 15 FOOTING PER FOUNDATION PLAN
- 16 R-30 INSULATION AT CEILING
- 18 EXTER. CEMENT PLASTER OVER METAL LATH AND BLDG. PAPER
- 19 RETAINING WALL PER STRUCTURAL



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REVISIONS

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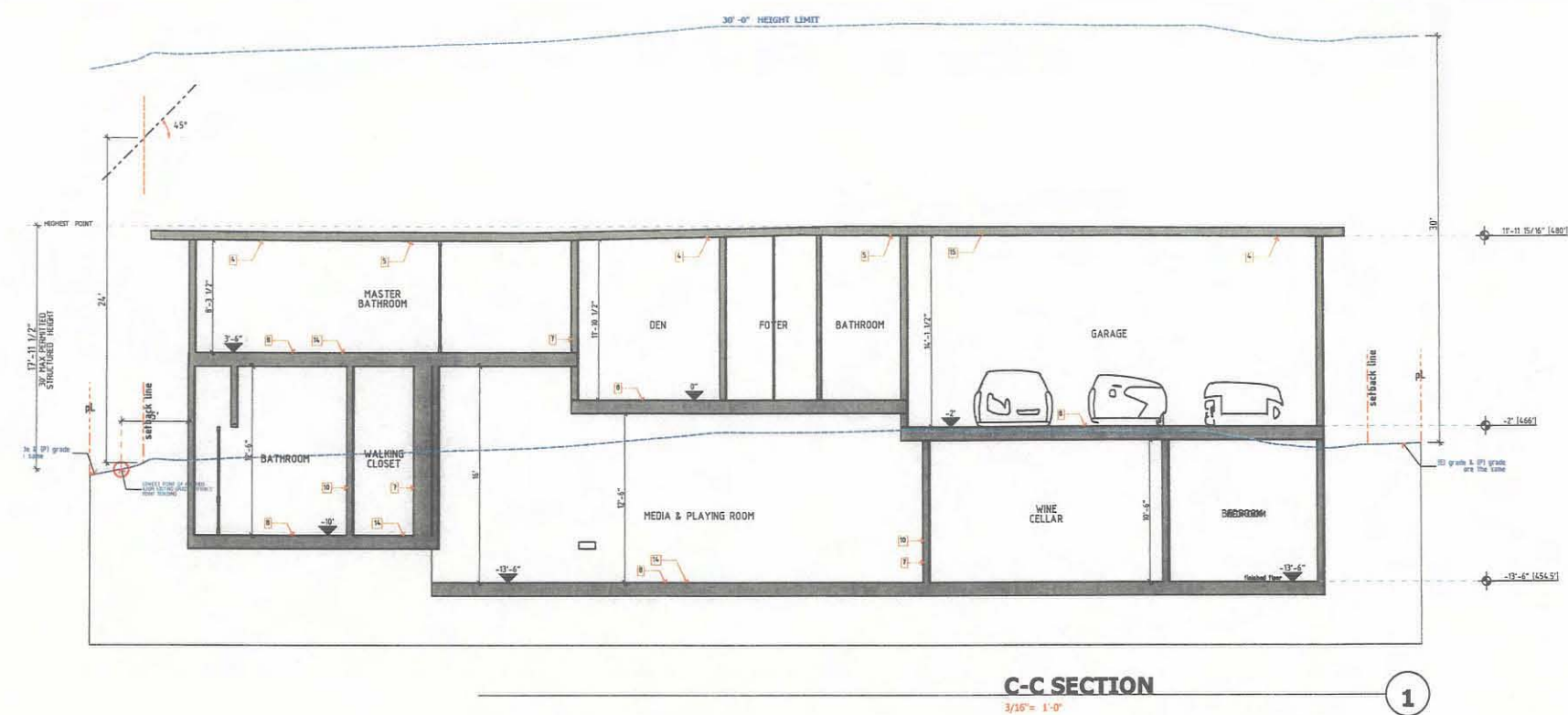
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Single Family Residence

Soledad Avenue and Hillside Drive, San Diego, CA 92037

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PROJECT NO.
DATE 06-27-06
PRINT DATE 3/2/2011
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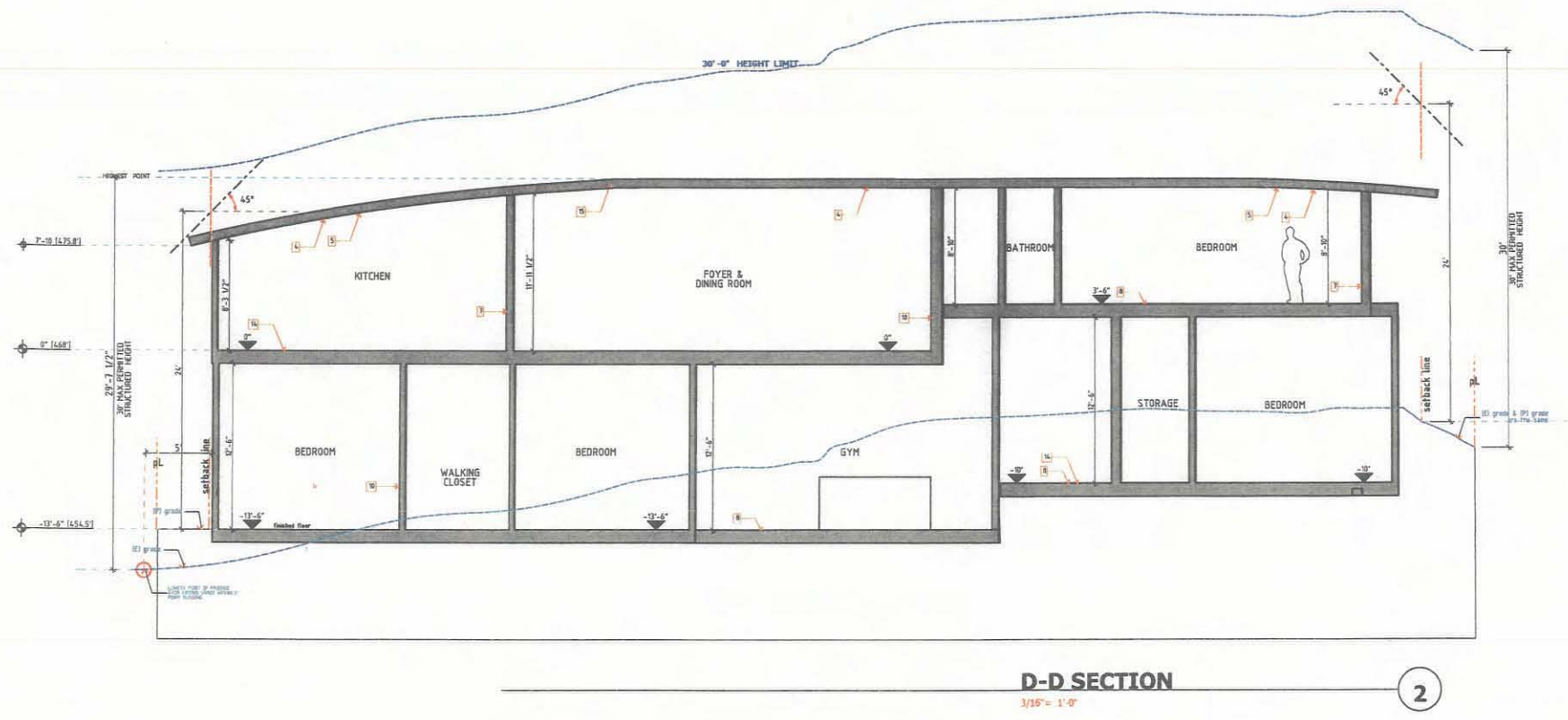
Sections

SHEET NO.
A-5.2
cdgi@cdgi.org



C-C SECTION
3/16" = 1'-0"

1



D-D SECTION
3/16" = 1'-0"

2

KEY NOTES

- 1 EXISTING ROOF PER STRUCTURAL
- 2 BUILT-UP ROOF PER ROOF PLAN
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- 4 2X RAFTERS\CLG. JOIST PER STRUCTURAL DWGS.
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(619)858 2345

REVISIONS

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kooklani I Residence
Single Family Residence

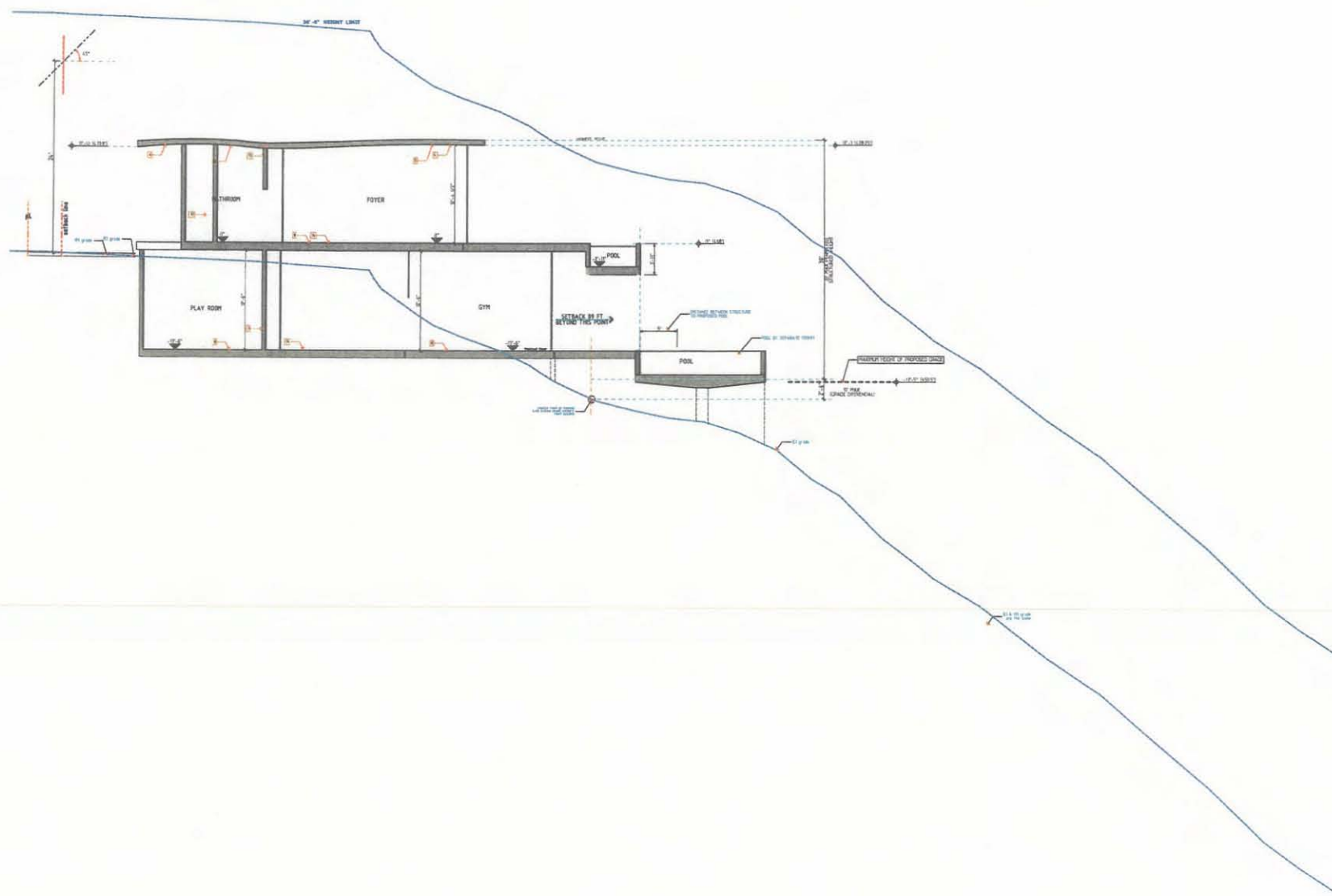
Soledad Avenue and Hillside Drive, San Diego, CA 92037

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PROJECT NO.	
DATE	06-27-06
PRINT DATE	3/9/2011
SHEET TITLE	

Site Sections

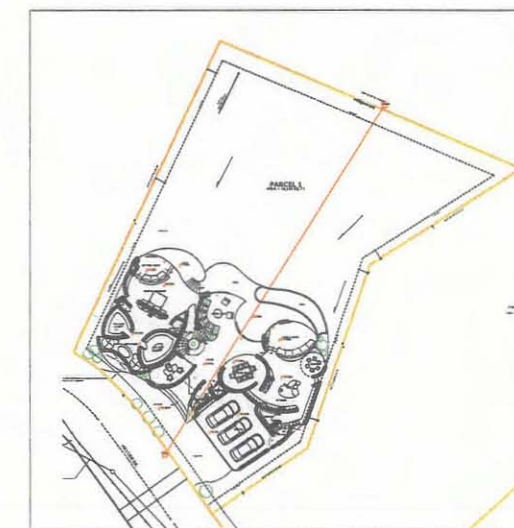
SHEET NO.
A-5.3

cdgi@cdgi.org



SITE SECTION
1/32" = 1'-0"

2



Site Section Key Map

1/32" = 1'-0"

1

KEY NOTES

- 1 EXISTING ROOF PER STRUCTURAL
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- 18 EXTER. CEMENT PLASTER OVER METAL LATH AND BLDG. PAPER
- 19 RETAINING WALL PER STRUCTURAL

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ZONE 3 - SELECTIVE CLEARING

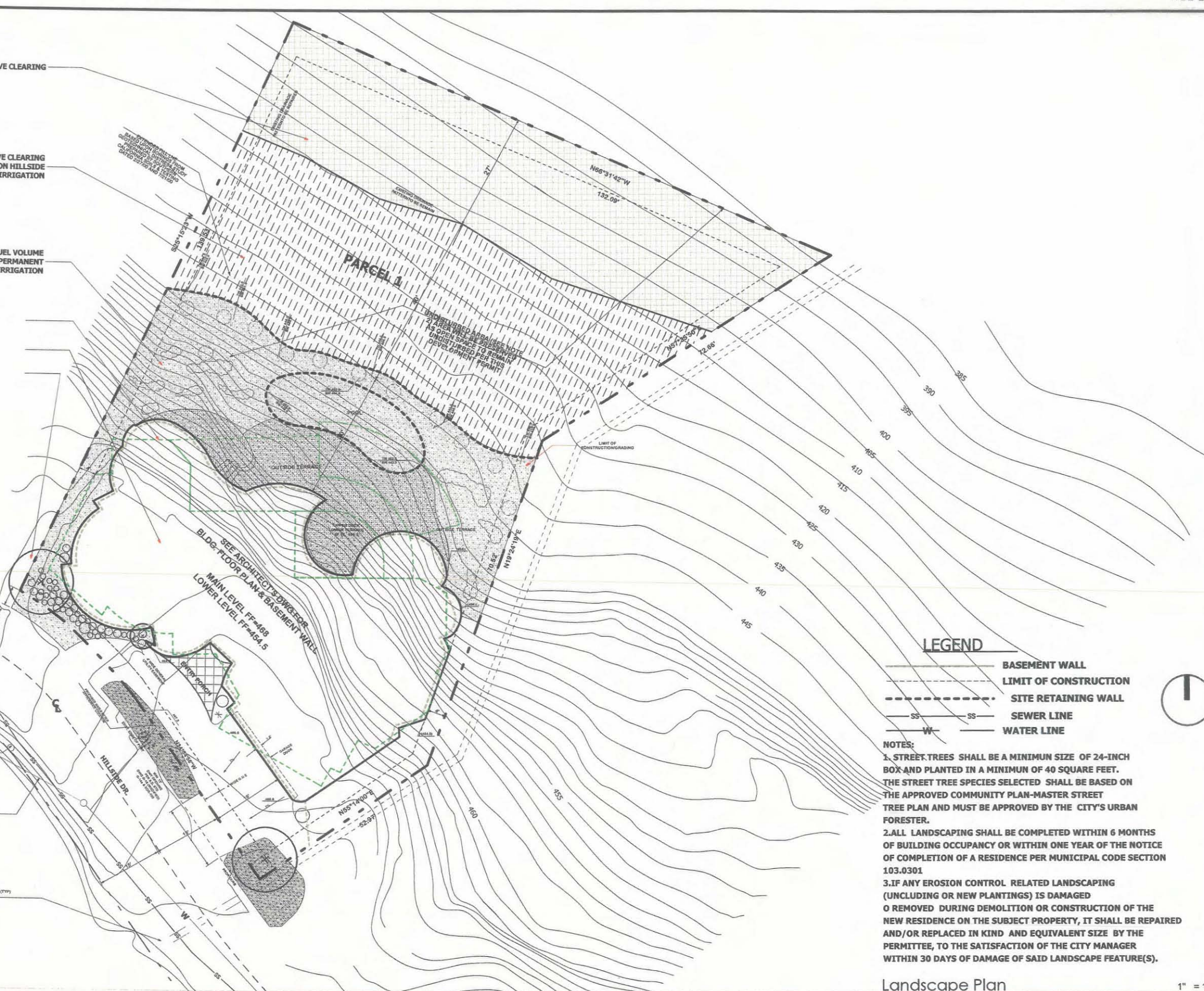
ZONE 2 - SELECTIVE CLEARING
NEW NATIVE PLANTING ON HILLSIDE
TEMPORARY IRRIGATION

ZONE 1 - NEW LOW FUEL VOLUME
PLANTING ON HILLSIDE PERMANENT
IRRIGATION

PROPOSED PROJECT

PROPOSED HOUSE

STREET TREES



LEGEND

- BASEMENT WALL
- - - - - LIMIT OF CONSTRUCTION
- - - - - SITE RETAINING WALL
- SS-SS- SEWER LINE
- W- WATER LINE

NOTES:

1. STREET TREES SHALL BE A MINIMUM SIZE OF 24-INCH BOX AND PLANTED IN A MINIMUM OF 40 SQUARE FEET. THE STREET TREE SPECIES SELECTED SHALL BE BASED ON THE APPROVED COMMUNITY PLAN-MASTER STREET TREE PLAN AND MUST BE APPROVED BY THE CITY'S URBAN FORESTER.
2. ALL LANDSCAPING SHALL BE COMPLETED WITHIN 6 MONTHS OF BUILDING OCCUPANCY OR WITHIN ONE YEAR OF THE NOTICE OF COMPLETION OF A RESIDENCE PER MUNICIPAL CODE SECTION 103.0301
3. IF ANY EROSION CONTROL RELATED LANDSCAPING (INCLUDING OR NEW PLANTINGS) IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION OF THE NEW RESIDENCE ON THE SUBJECT PROPERTY, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE BY THE PERMITTEE, TO THE SATISFACTION OF THE CITY MANAGER WITHIN 30 DAYS OF DAMAGE OF SAID LANDSCAPE FEATURE(S).

Landscape Plan

1" = 10'

DRAWN	DATE

P.O. BOX 84180 92138 SAN DIEGO CA. tel. (619) 8582345 fax. (619) 8582344

SITE ADDRESS
HILLSIDE DR. LA JOLLA CA 92037

CDGI
C O O N C E P T O

Kooklani

DRAWN	JT
REVISED	
PROJECT #	
PROJECT DATE	6/21/06
DRAWING DATE	5/11/2011
SHEET TITLE	Landscape Plan
SHEET NO.	

L-1



Kooklani II RESIDENCE

SYMBOLS		EXTRAS	VICINITY MAP	LOCATION MAP																													
PROJECT NORTH GRID REFERENCE ENLARGE PLAN AREA REFERENCE DETAIL OF SECTION CROSS SECTION REF. SHEET ON WHICH DETAIL OR SECTION IS DRAWN ELEVATION REFERENCE DETAIL REFERENCE PLAN TITLE DRAWING TITLE REF. SHEET NUMBER ROOM NUMBER WORKING POINT REVISION DOOR NUMBER WINDOW NUMBER GLAZING WINDOW NUMBER DIRECTION OF ELEVATION DETAIL REFERENCING INTERIOR ELEVATION SHEET NUMBER OUTLINE OF STRUCTURE (ABOVE OR BELOW) CENTER LINE																																	
ABBREVIATIONS	LEGAL DESCRIPTIONS	DIRECTORY	GENERAL NOTES	SHEET INDEX																													
<p>A ALTERNATE ARCHITECT / ARCHITECTURAL ASPHALT</p> <p>B BUILDING BEAM BOTTOM</p> <p>C CHANNEL CONSTRUCTION JOINT CENTER LINE CEMENT CAST IN PLACE COLUMN CONC. CONSTRUCTION CONTINUOUS CENTER</p> <p>D DEPARTMENT DETAIL DIAMETER DIM. DN. DWG.</p> <p>E EXPANSION JOINT EACH ELEC. EQ. EQUIP. EXHAUST EXIST. EXT.</p> <p>F FLOOR DRAIN FINISH FLOOR FACE OF CONCRETE F.O.C. FACE OF STUCCO FIN. FINISH FLOOR / FLOORING FOUNDATION FEET FOOTING</p> <p>G GENERAL GLASS GRADE</p> <p>H HOSE BIBB HOLLOW METAL HORIZONTAL HOUR HEIGHT</p> <p>I INCLUDED INFORMATION INSULATION</p> <p>J JOIST JOINT K</p> <p>K.O. KNOCK OUT</p> <p>L LOCKER (S)</p> <p>M MAXIMUM MECH. MEMBR. MFR. MIN. MISCELLANEOUS</p> <p>N NORTH NOT TO SCALE NUMBER</p> <p>O OUTSIDE DIAMETER OPENING OPPOSITE</p> <p>P PROPERTY LINE PARTITION PLATE PLASTER PNR POINT</p> <p>R REINFORCED CONCRETE ROOF DRAIN REFER. REFERENCE REINFORCE / REINFORCING</p> <p>S SCALE SECTION SHEET SIMILAR SPECIFICATIONS SQUARE STEEL STRUCTURAL</p> <p>T TOP OF CONCRETE TOP OF PAVING TYPICAL</p> <p>U UNIFORM BUILDING CODE UNLESS NOTED OTHERWISE</p> <p>V VAPOR BARRIER VERTICAL</p> <p>W WATER RESISTANT WOMEN WIRE FABRIC WATERPROOF</p>	<p>A PORTION OF LOT "B" OF THE RESUBDIVISION OF LA JOLLA HILLS NO. 2, IN THE CITY OF SAN DIEGO, COUNTY SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2087, FILLED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, DECEMBER 21, 1920. DIGITAL DISTRIBUTION, 10/20/99.</p> <p>PROJECT DATA</p> <p>ADDRESS: Soledad Avenue and Hillside Dr. La Jolla, CA</p> <p>DESCRIPTION: SINGLE FAMILY RESIDENCE 4 BEDROOM, 3 CAR GARAGE</p> <p>CLIMATE ZONE: 7</p> <p>LOT AREA: 18,835 SQ. FT.</p> <p>OCCUPANCY: RESIDENTIAL - SFD</p> <p>CONSTRUCTION TYPE: V, NON RATED</p> <p>GOVERNING CODE: 2001 CBC</p> <p>ZONE: SF/LJSPD</p> <p>F.A.R.: 29.8 %</p> <p>PROPOSED RESIDENCE</p> <p>MAIN FLOOR: 2,612.09 SQ. FT.</p> <p>BASEMENT LEVEL: 3,978.17 SQ. FT.</p> <p>TOTAL HABITABLE: 6,890.26 SQ. FT.</p> <p>GARAGE</p> <p>557.54 SQ. FT.</p> <p>FAR CALCULATIONS</p> <p>MAIN FLOOR HABITABLE: 2,612.09 SQ. FT.</p> <p>BASEMENT LEVEL: 3,978.17 SQ. FT.</p> <p>BASEMENT EXEMPT: 1,805.87 SQ. FT.</p> <p>BASEMENT TO FAR: 2,372.23 SQ. FT.</p> <p>TOTAL AREA TOWARDS FAR: 5,541.86 SQ. FT.</p> <p>LANDSCAPE AREA: 12,378.09 SQ. FT.</p> <p>HARDSCAPE AREA: 6,456.91 SQ. FT.</p> <p>FAR CALCULATION: 5,541.86 SQ. FT. / 18,835 SQ. FT. = 29.8</p>	<p>PROJECT OWNER Mark & Mina Kooklani 752 5TH AVE. SAN DIEGO, CA. 92101 PHONE: (619) 858-2345 FAX: (619) 858-2344 E-MAIL: ogdi@cdgi.org</p> <p>PROJECT DESIGNER CDGI 752 5TH AVE. SAN DIEGO, CA. 92101 PHONE: (619) 858-2345 FAX: (619) 858-2344 E-MAIL: ogdi@cdgi.org</p> <p>STRUCTURAL ENG. DELTA ENGINEERING 8736 PRODUCTION AVE. SAN DIEGO, CA. 92121 (858) 506 - 8855 FAX: (858) 566 - 8955 ENGINEER: AHMAD ZAREI No. 4118</p> <p>MECHANICAL ENG. BEAR TECHNOLOGYS 7774 CALLE MEJOR CARLSBAD CA. 92009 (760) 635-2327</p> <p>CIVIL ENG. CIVIL ENGINEERING DESIGN GROUP 1057 SYCAMORE AVE. VISTA CA. 92081 760 - 599 - 8585 760 - 599 - 8901</p> <p>GEOLOGIST ALLIED EARTH TECHNOLOGY 9833 Pacific Heights Boulevard, Suite C San Diego, CA. 92121 (619) 457-4515 Senior Engineering Geologist Bryan Miller-Hicks</p> <p>THIS PROJECT SHALL COMPLY WITH THE 2001 EDITION OF THE CALIFORNIA BUILDING CODE (TITLE 24).</p>	<table border="1"> <thead> <tr> <th>SETBACKS</th> <th>REQ.</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>FRONT</td> <td>VARIABLES</td> <td>VARIABLES</td> </tr> <tr> <td>SIDE</td> <td>4'-0"</td> <td>4'-0"</td> </tr> <tr> <td>S. SIDE</td> <td>N/A</td> <td>N/A</td> </tr> <tr> <td>REAR</td> <td>7'-0"</td> <td>7'-0"</td> </tr> </tbody> </table> <table border="1"> <thead> <tr> <th>PARKING</th> <th>REQ.</th> <th>PROPOSED</th> </tr> </thead> <tbody> <tr> <td>Residential</td> <td>2</td> <td>3</td> </tr> </tbody> </table> <p>La Jolla Shores Planned Dist.</p> <table border="1"> <thead> <tr> <th>Lot Area</th> <th>18,835.00 SF.</th> </tr> </thead> <tbody> <tr> <td>Foot Print</td> <td>2,978.17 SF (15.81%)</td> </tr> <tr> <td>Hardscape</td> <td>6,456.91 SF (34.28%)</td> </tr> <tr> <td>Landscape</td> <td>12,378.09 SF (65.72%)</td> </tr> </tbody> </table>	SETBACKS	REQ.	PROPOSED	FRONT	VARIABLES	VARIABLES	SIDE	4'-0"	4'-0"	S. SIDE	N/A	N/A	REAR	7'-0"	7'-0"	PARKING	REQ.	PROPOSED	Residential	2	3	Lot Area	18,835.00 SF.	Foot Print	2,978.17 SF (15.81%)	Hardscape	6,456.91 SF (34.28%)	Landscape	12,378.09 SF (65.72%)	<p>T-1 TITLE SHEET GN GENERAL NOTES</p> <p>A-1 SITE PLAN A-2.1 MAIN LEVEL FLOOR PLAN A-2.2 BASEMENT LEVEL FLOOR PLAN A-3 ROOF PLAN A-4.1 ELEVATIONS A-4.2 ELEVATIONS A-5.1 SECTIONS A-5.2 SECTIONS A-5.3 SITE SECTIONS</p> <p>L-1 LANDSCAPE PLAN</p>
SETBACKS	REQ.	PROPOSED																															
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<p>SCOPE OF WORK</p> <p>CONSTRUCTION OF NEW SINGLE FAMILY RESIDENCE WITH 4 BEDROOMS, 4 1/2 BATHS AND 3 CAR GARAGE</p>				<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>DRAWN</th> <th>DATED</th> </tr> </thead> <tbody> <tr> <td><input type="checkbox"/></td> <td></td> </tr> <tr> <td><input type="checkbox"/></td> <td></td> </tr> <tr> <td><input type="checkbox"/></td> <td></td> </tr> <tr> <td><input type="checkbox"/></td> <td></td> </tr> <tr> <td><input type="checkbox"/></td> <td></td> </tr> </tbody> </table> <p>752 5TH AVE. SAN DIEGO CA. 92101 (619)858 2345</p> <p>Kooklani II Residence Single Family Residence Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037</p> <p>DRAWN pp CHECKED TOPO DATE 15-08-06 PRINT DATE 12/20/2010 SHEET TITLE Title Sheet SHEET NO. T-1 cdgi@cdgi.org</p> <p>ATTACHMENT 11</p>	DRAWN	DATED	<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>		<input type="checkbox"/>																		
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REVISIONS

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Kooklani II Residence
Single Family Residence
Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037

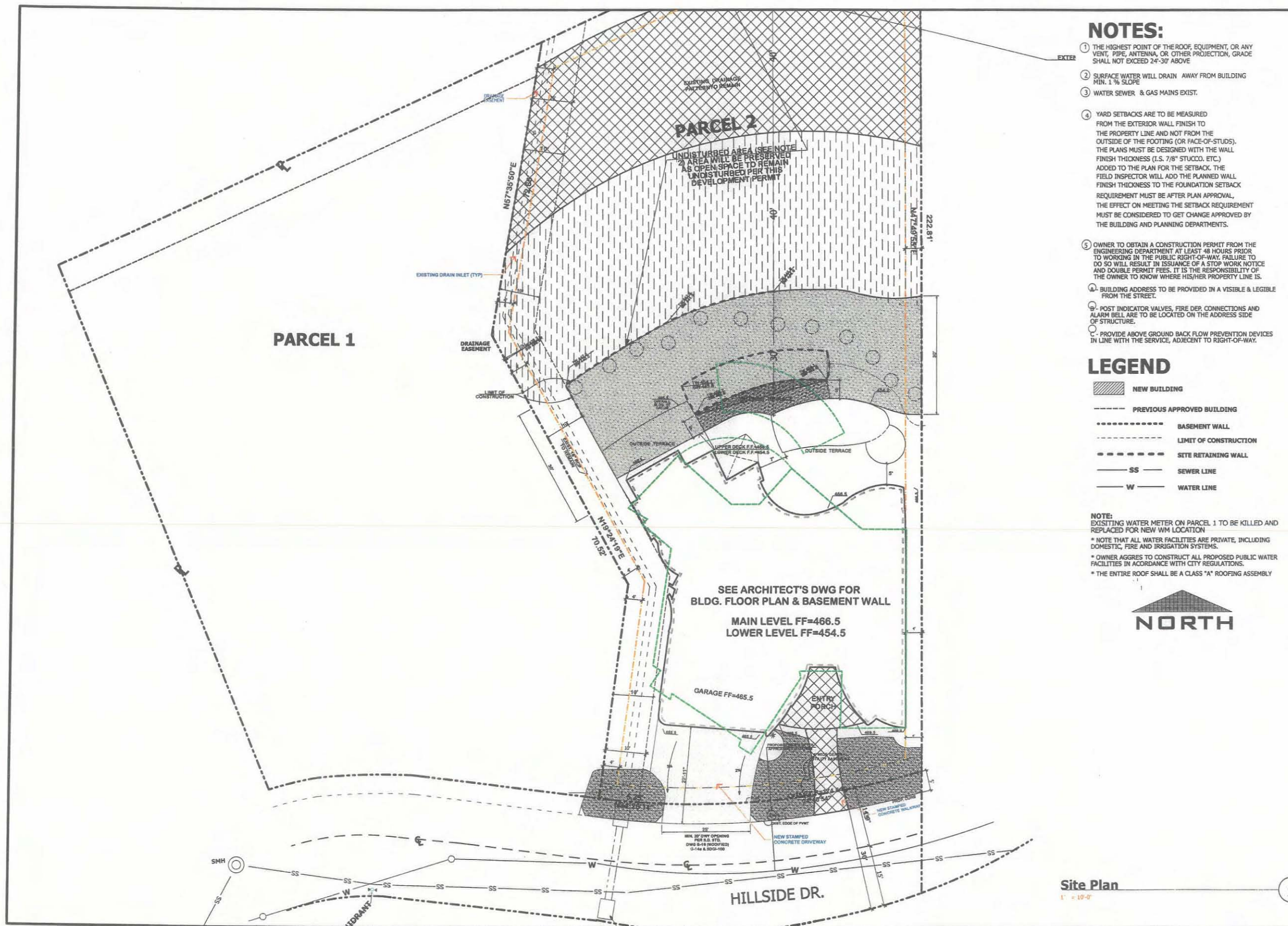
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DATE	15-08-06
PRINT DATE	3/9/2011
SHEET TITLE	

Site Plan

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ATTACHMENT 11



Site Plan 1" = 10'-0" 2



752 5TH AVE.
SAN DIEGO
CA. 92101
(619)858 2345

REVISIONS	
DRAWN	DATED

Kookiani II Residence
Single Family Residence
Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037

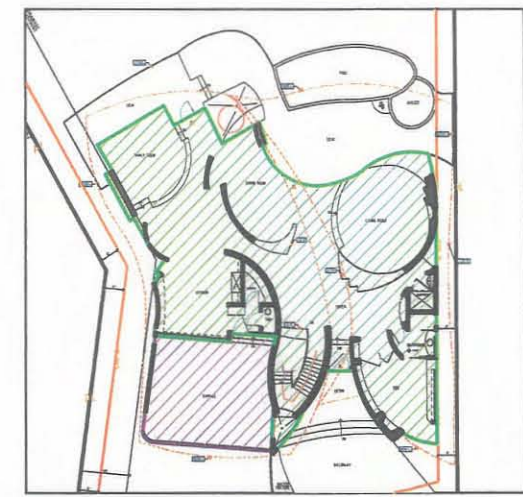
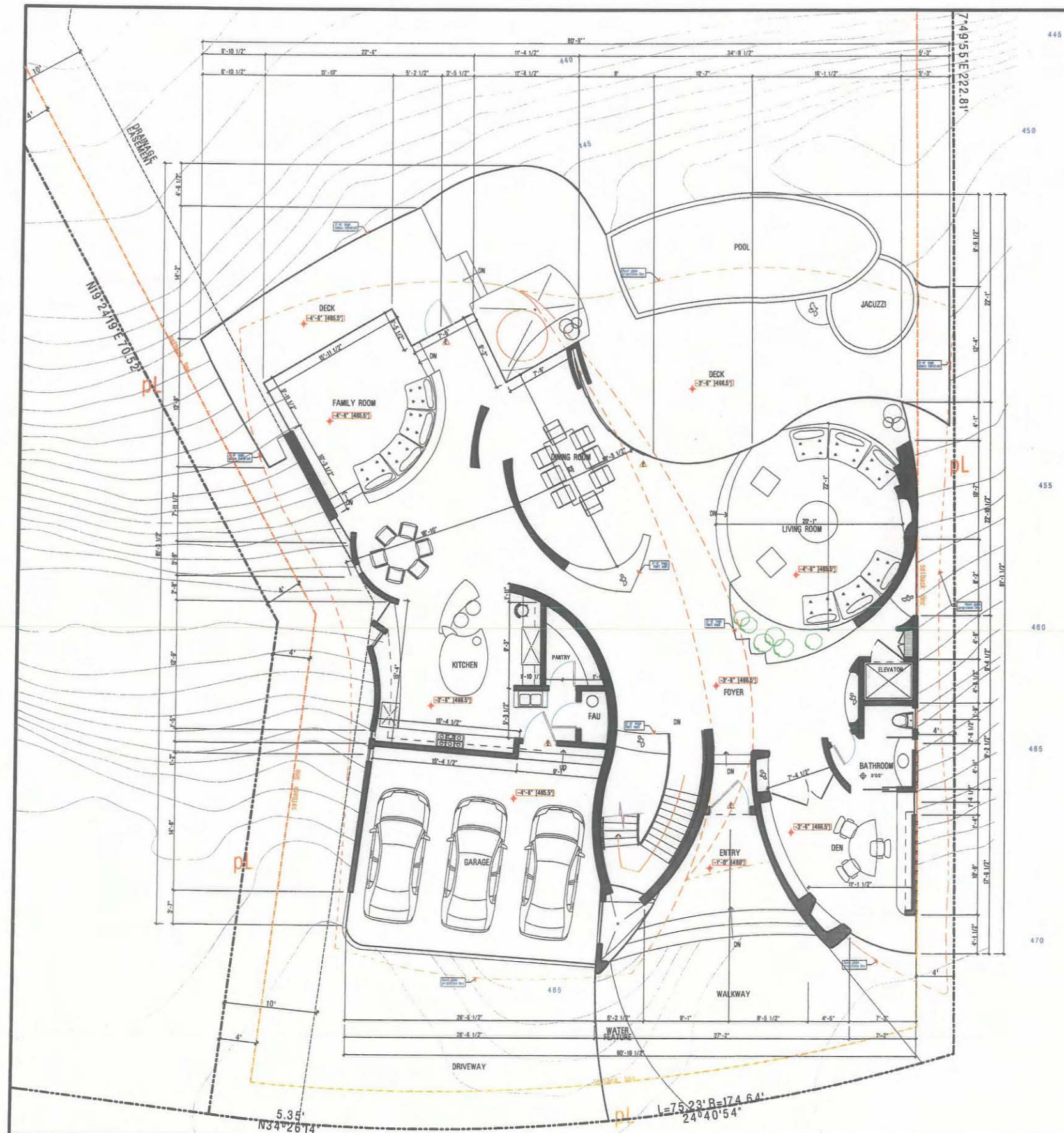
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DATE	15-08-06
PRINT DATE	24/07/2007
SHEET TITLE	

Main level

SHEET NO.
A-2.1

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ATTACHMENT 11



FAR Key Map Main Level
1/16" = 1'-0"

Main Level
3/16" = 1'-0"

LEGEND

- 01- ENTRY FOYER
- 02- STAIR 1
- 03- DINING ROOM
- 04- LIVING ROOM
- 05- FAMILY ROOM
- 06- NOOK
- 07- KITCHEN
- 08- PANTRY
- 09- STAIR 2
- 10- POWDER ROOM
- 11- HALL
- 12- BATH 1
- 13- BEDROOM 1
- 14- PATIO
- 15- DECK 1
- 16- GALLERY 1
- 17- LINEN
- 18- BATH 2
- 19- BATH 3
- 20- BEDROOM 2
- 21- DECK 2
- 22- MASTER BEDROOM
- 23- M.B. BATHROOM
- 24- M.B. WALK-IN CLOSET
- 25- BALCONY
- 26- DECK 3
- 27- E. GARAGE
- 28- STAIR 3

NOTES:

- 1) MDF SHELVES TYPICAL TO BE PAINTED WITH CHANEL FINISH
- 2) DRYER VENT VENT THRU WALL
- 3) NEW 50 GA. WATER HEATER, 10,000 BTU INSTALLED WITH NEW CIRCULATION PUMP P COPPER FEED LINE MIN. NOTE: VENT THRU ROOF COMBUSTION AIR USE LOWERED DOOR 3" WALK THROUGH FRONT
- 4) BUILT-IN BAR PER CABINET MAKER
- 5) BUILT-IN PER CABINET MAKER
- 6) JIFFY SEAL @ ALL WINDOW AND DOOR OPENINGS
- 7) NOTE ALL DOORS AND WINDOWS TO BE SEALED AND CAULKED AS PER TITLE 24
- 8) ALL BOTTOM PLATES TO BE SEALED AND CAULKED
- 9) FINISH FLOOR SPOT ELEVATIONS AS STATED CHECK FINISH SCHEDULE FOR TYPE AND THICKNESS OF MATERIALS TO BE ACCOUNTED FOR FINISH FLOORING
- 10) PENETRATIONS OF FIRE RESISTIVE WALLS, FLOOR, CEILING, SHALL BE PROTECTED AS REQUIRED IN IBC, SECTION 709 AND 710.
- 11) CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS
- 12) SHOW FRAMING AND ALL W.L. OF MAKE UP AIR REQUIRED AT LAUNDRY ROOM
- 13) PLASTER APPLIED OVER WOOD BASED SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" PAPER
- 14) WATER FEATURE - POOL, BY SEPARATE PERMIT

MECHANICAL NOTES:

- 1) ALL HEATING TO BE PROVIDED WITH NEW FURNACE OR BOILER. ALL NEW DUCT WORK TO BE INSTALLED
- 2) CARRIER 48500 BTU/DHRS FURNACE WITH COMBUSTION AIR THROUGH LOWERED DOOR
- 3) PERMANENT MAXIMUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBS
- 4) PROVIDE ULTRA LOW FLOOR HEATS AND MAXIMUM 2.5 G.P.M. FLOW IN PLUGS
- 5) SHOWER HEADS TO HAVE MAXIMUM 2.5 G.P.M. FLOW
- 6) STATE SAFE A SAFETY CODE, SEC. 07921 BANS THE USE OF COMBUSTIBLE PANTRY CHIMNEYS OF ALL TYPES
- 7) USE TYPE IM, COPPER FOR ALL WATER SUPPLY & VENT LINES
- 8) ALL HOT WATER LINE TO BE INSULATED
- 9) PROVIDE MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS AND WATER CLOSET IF OPERABLE WINDOWS ARE NOT PROVIDED
- 10) DISCHARGE POINT OF EXHAUST AIR WILL BE AT LEAST 3' FROM ANY OPENING WHICH ALLOWING AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING
- 11) IN SHOWERS AND TUB-SHOWER COMBINATIONS, CONTROL VALVES MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES
- 12) APPROVED SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS
- 13) PAU CLOSETS OR ALCOVES MUST BE 12" WIDER THEN THE FURNACE OR FURNACES BEING INSTALLED
- 14) GAS VENTS AND NON COMBUSTIBLE PIPING WALLS, PASSING THRU THREE FLOORS OR LESS, SHALL BE EFFECTIVELY DRAFT STOPPED @ EACH FLOOR OR CEILING AND ALSO EVERY 12'-0" ON BALCONY FRAMES
- 15) OUT PUT HEATING 77400 BTU

SYMBOLS

- EXISTING WALLS TO REMAIN
- NEW WALLS, NOTE EXTERIOR WALL TO BE 2X4 U.O.N.
- EXISTING RETAINING WALLS
- NEW RETAINING WALLS
- HOSE BIB
- EMERGENCY EGRESS
- RETURN AIR ON WALL



752 5TH AVE.
SAN DIEGO
CA. 92101
(619)858 2345

REVISIONS

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Kookiani II Residence
Single Family Residence
Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037

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CHECKED TOPD

DATE 15-08-06
PRINT DATE 3/2/2011

SHEET TITLE

Basement

SHEET NO.

A-2.2

cdgi@cdgi.org

ATTACHMENT 11



FAR Key Map Basement
1/16" = 1'-0"

BASEMENT AREA TO F.A.R.
A: 3,471.52 sf

BASEMENT EXEMPT
A: 852.65 sf

Basement level
3/16" = 1'-0"

LEGEND

- 01.- ENTRY FOYER
- 02.- STAIR 1
- 03.- DINING ROOM
- 04.- LIVING ROOM
- 05.- FAMILY ROOM
- 06.- NOOK
- 07.- KITCHEN
- 08.- PANTRY
- 09.- STAIR 2
- 10.- POWDER ROOM
- 11.- HALL
- 12.- BATH 1
- 13.- BEDROOM 1
- 14.- PATIO
- 15.- DECK 1
- 16.- GALLERY 1
- 17.- LINEN
- 18.- BATH 2
- 19.- BATH 3
- 20.- BEDROOM 2
- 21.- DECK 2
- 22.- MASTER BEDROOM
- 23.- M.B. BATHROOM
- 24.- M.B. WALK-IN CLOSET
- 25.- BALCONY
- 26.- DECK 3
- 27.- E. GARAGE
- 28.- STAIR 3

NOTES:

- 1) HOF SHELVES TYPICAL TO BE PAINTED WITH ENAMEL FINISH.
- 2) EXTERIOR VENT VENT THRU WALL.
- 3) NEW 50 GAL. WATER HEATER, 100,000 BTU INSTALLED WITH NEW CALCULATOR PUMP 1" COPPER FEED LINE AND VENT THRU ROOF. COMBUSTION AIR USE LOWPRESSED DOOR VENT VALVE THROUGH FLOOR.
- 4) BUILT-IN BAR PER CABINET MAKER.
- 5) MUST-HIS PER CABINET MAKER.
- 6) SIFTY SEAL @ ALL WINDOWS AND DOOR OPENINGS.
- 7) NOTE ALL DOORS AND WINDOWS TO BE SEALED AND CALLED AS PER TITLE-24.
- 8) ALL BOTTOM PLATES TO BE SEALED AND CALLED.
- 9) FINISH FLOOR SPOT ELEVATIONS AS STATED CHECK FINISH SCHEDULE FOR TYPE AND THICKNESS OF MATERIALS TO BE ACCOUNTED FOR FINISH FLOORING.
- 10) PENETRATIONS OF FIRE RESISTIVE WALL, FLOOR, CEILING, SHALL BE PROTECTED AS REQUIRED IN USC SECTION 709 AND 710.
- 11) CONTRACTOR TO COMPLY WITH ALL OSHA REQUIREMENTS.
- 12) SHOW THAT 100 SQ. IN. OF MAKE UP AIR REQUIRED AT LAUNDRY ROOM.
- 13) PLASTER APPLIED OVER WOOD BASED SHEATHING SHALL INCLUDE TWO LAYERS OF GRADE "D" PAPER.
- 14) WATER FEATURE - POOL BY SEPARATE PERMIT.

MECHANICAL NOTES:

- 1) ALL HEATING TO BE PROVIDED WITH NEW HEAT PUMPS BY CARLIER, ALL NEW DUCT WORK TO BE INSTALLED.
- 2) CARLIER 48500(1500)21 FURNACE VTR COMBUSTION AIR THROUGH LOADED DOOR.
- 3) PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW ROSE BIBS.
- 4) PROVIDE ULTRA LOW FLOW TOILETS AND WASHROOMS 2.2 G.P.M. FLOW OR FAUCETS.
- 5) SHOWER HEADS TO HAVE MAXIMUM 2.5 G.P.M. FLOW.
- 6) STATE SAFE & SAFETY CODE, SEC. 1792.1 BANNING THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR WETWORK WATER SUPPLY PIPING.
- 7) USE TYPE (M) COPPER FOR ALL WATER SUPPLY & VENT LINES.
- 8) ALL HOT WATER LINE TO BE INSULATED.
- 9) PROVIDE MECHANICAL VENTILATION CAPABLE OF PROVIDING FIVE AIR CHANGES PER HOUR IN BATHROOMS AND WALKER CLOSET IF OPERABLE WINDOWS ARE NOT PROVIDED.
- 10) DISCHARGE POINT OF EXHAUST AIR WILL BE AT LEAST 7' FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- 11) IN SHOWERS AND TUB-SHOWER COMBINATIONS, CENTRAL DRAINS MUST BE PRESSURE BALANCED OR THERMOSTATIC HOUSING VALVES.
- 12) APPROVED SPRINKLE ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS.
- 13) RAU CLOSETS OR ALCOVES MUST BE 12" WIDER THAN THE FURNACE OR PURNACES BEING INSTALLED.
- 14) GAS VENTS AND HIGH COMBUSTIBLE PIPING WALLS, PASSING THRU THREE FLOORS OR LESS, SHALL BE EFFECTIVELY DRAFT STOPPED @ EACH FLOOR OR CEILING, AND ALSO EXCEED 1" @ OF WALL OR FRAMES.
- 15) OUT PUT HEATING 72,140 BTU.

SYMBOLS

- EXISTING WALLS TO REMAIN
- NEW WALLS, NOTE EXTERIOR WALL TO BE 204 U.O.N.
- EXISTING RETAINING WALLS
- NEW RETAINING WALLS
- HOSE BIB
- EMERGENCY EGRESS
- RETURN AIR ON WALL

3



752 5TH AVE.
SAN DIEGO
CA. 92101
(619)858 2345

REVISIONS

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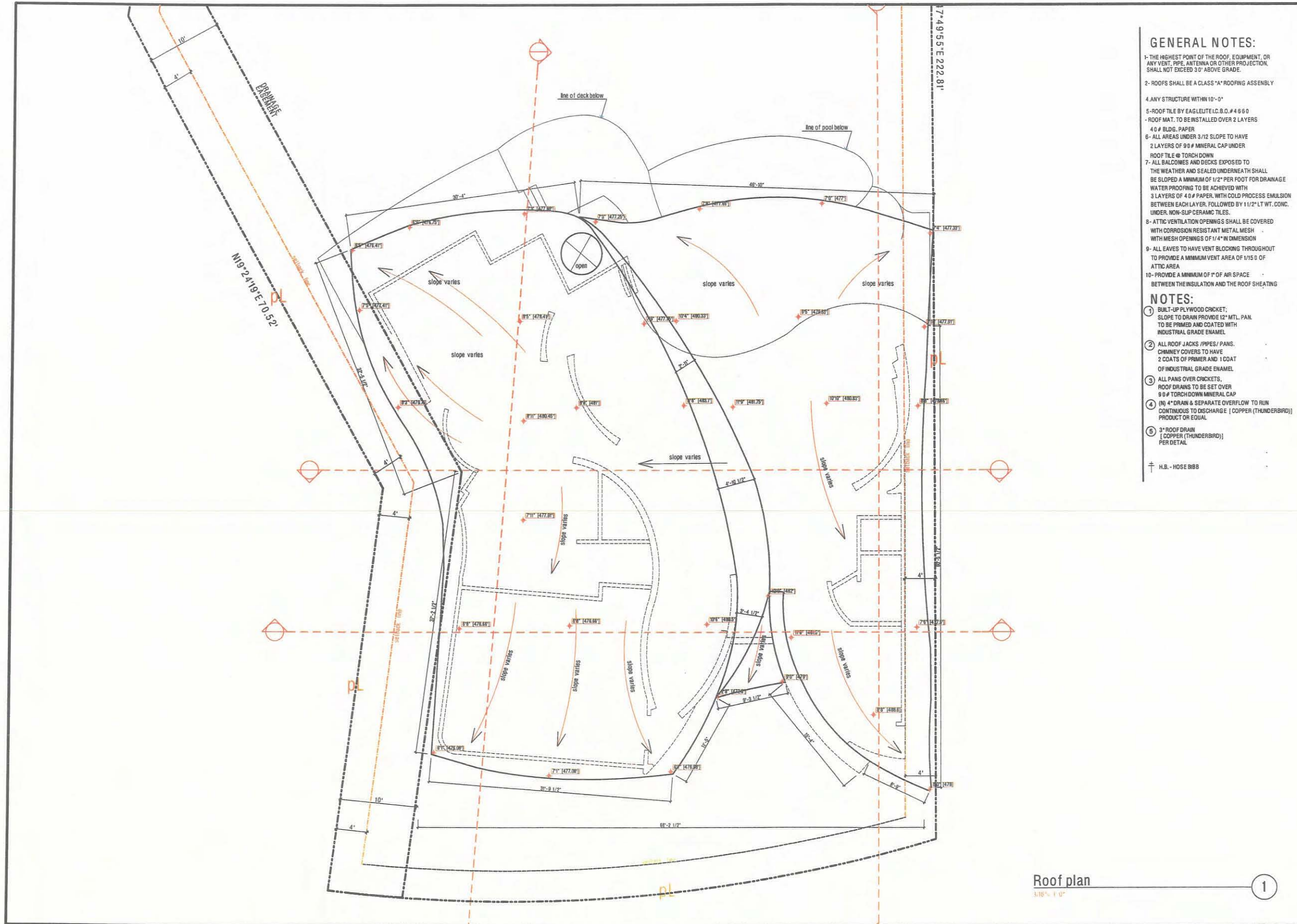
Kooklani II Residence
Single Family Residence
Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037

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CHECKED TOPO
DATE 15-08-06
PRINT DATE 24/07/2007
SHEET TITLE

Roof Plan

SHEET NO.
A-3
cdgi@cdgi.org

ATTACHMENT 11



GENERAL NOTES:

- 1- THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION, SHALL NOT EXCEED 3'0\"
- 2- ROOFS SHALL BE A CLASS "A" ROOFING ASSEMBLY
- 4- ANY STRUCTURE WITHIN 10'-0"
- 5- ROOF TILE BY EAGLE LITE I.C. 8.0 # 4650
- 6- ROOF MAT. TO BE INSTALLED OVER 2 LAYERS
- 7- 40 # BLDG. PAPER
- 8- ALL AREAS UNDER 3/12 SLOPE TO HAVE 2 LAYERS OF 90 # MINERAL CAP UNDER ROOF TILE @ TORCH DOWN
- 9- ALL BALCONIES AND DECKS EXPOSED TO THE WEATHER AND SEALED UNDERNEATH SHALL BE SLOPED A MINIMUM OF 1/2" PER FOOT FOR DRAINAGE WATER PROOFING TO BE ACHIEVED WITH 3 LAYERS OF 40 # PAPER, WITH COLD PROCESS EMULSION BETWEEN EACH LAYER, FOLLOWED BY 1 1/2" LT WT. CONC. UNDER. NON-SLIP CERAMIC TILES.
- 10- ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION
- 11- ALL LEAVES TO HAVE VENT BLOCKING THROUGHOUT TO PROVIDE A MINIMUM VENT AREA OF 1/150 OF ATTIC AREA
- 12- PROVIDE A MINIMUM OF 1" OF AIR SPACE BETWEEN THE INSULATION AND THE ROOF SHEATHING

NOTES:

- 1 BUILT-UP PLYWOOD CRICKET; SLOPE TO DRAIN PROVIDE 12" MTL. PAN. TO BE PRIMED AND COATED WITH INDUSTRIAL GRADE ENAMEL
- 2 ALL ROOF JACKS / PIPES / PANS. CHIMNEY COVERS TO HAVE 2 COATS OF PRIMER AND 1 COAT OF INDUSTRIAL GRADE ENAMEL
- 3 ALL PANS OVER CRICKETS, ROOF DRAINS TO BE SET OVER 90 # TORCH DOWN MINERAL CAP
- 4 (N) 4" DRAIN & SEPARATE OVERFLOW TO RUN CONTINUOUS TO DISCHARGE (COPPER (THUNDERBIRD) PRODUCT OR EQUAL
- 5 3" ROOF DRAIN (COPPER (THUNDERBIRD) PER DETAIL

H.S. - HOSE BIBB

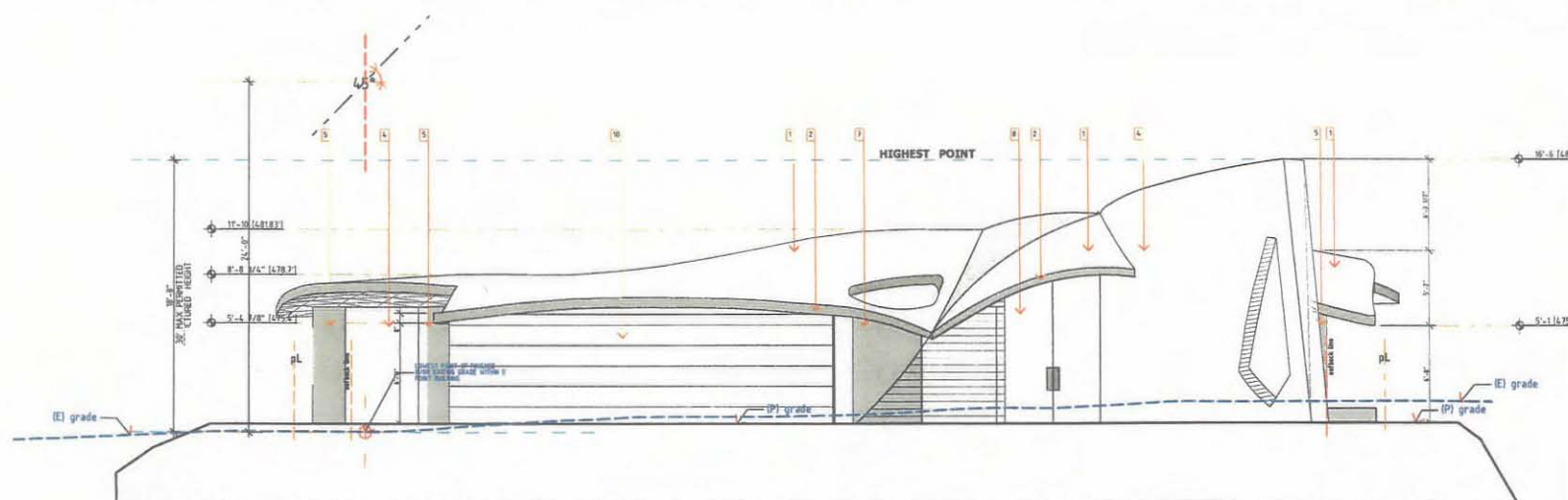
Roof plan
3/16" = 1'-0"

1



LEGEND

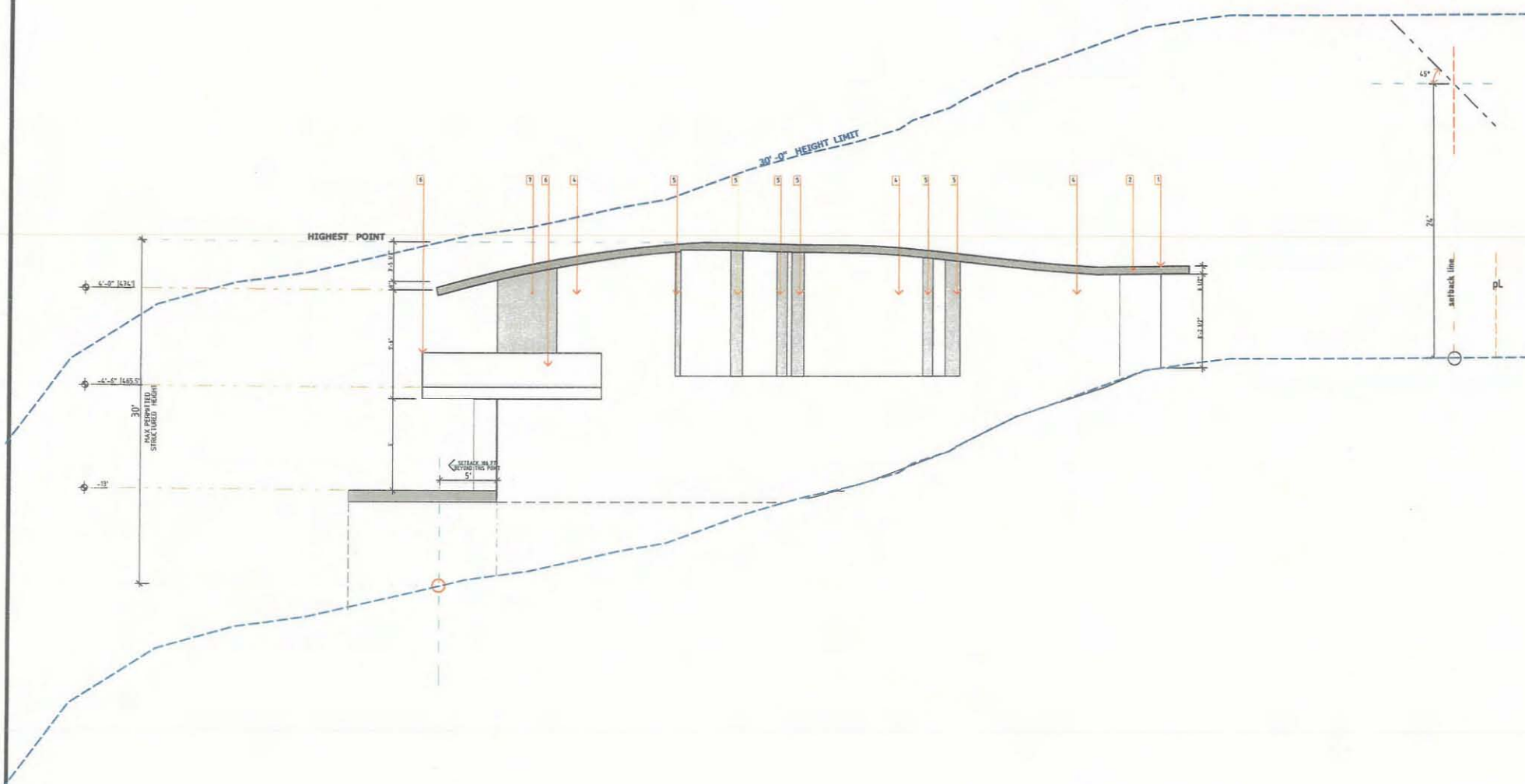
- 1.- NEW ROOF TILE
- 2.- EXISTING WALL TO REMAIN
- 3.- NEW METAL COPPER FACIA
- 4.- NEW STUCCO FINISH
- 5.- WINDOW PER SCHEDULE
- 6.- HANDRAIL PER DETAIL
- 7.- GLAZING PER SCHEDULE
- 8.- DOOR PER SCHEDULE
- 9.- FIRE PLACE DIRECT VENT
See Note 6a/A-2.1
- 10.- GARAGE DOOR PER SCHEDULE



South Elevation

3/16" = 1'-0"

1



West Elevation

3/16" = 1'-0"

2

752 5TH AVE.
SAN DIEGO
CA. 92101
(619)858 2345

REVISIONS

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Kookiani II Residence
Single Family Residence
Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037

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DATE 15-08-06
PRINT DATE 3/9/2011
SHEET TITLE

Elevations

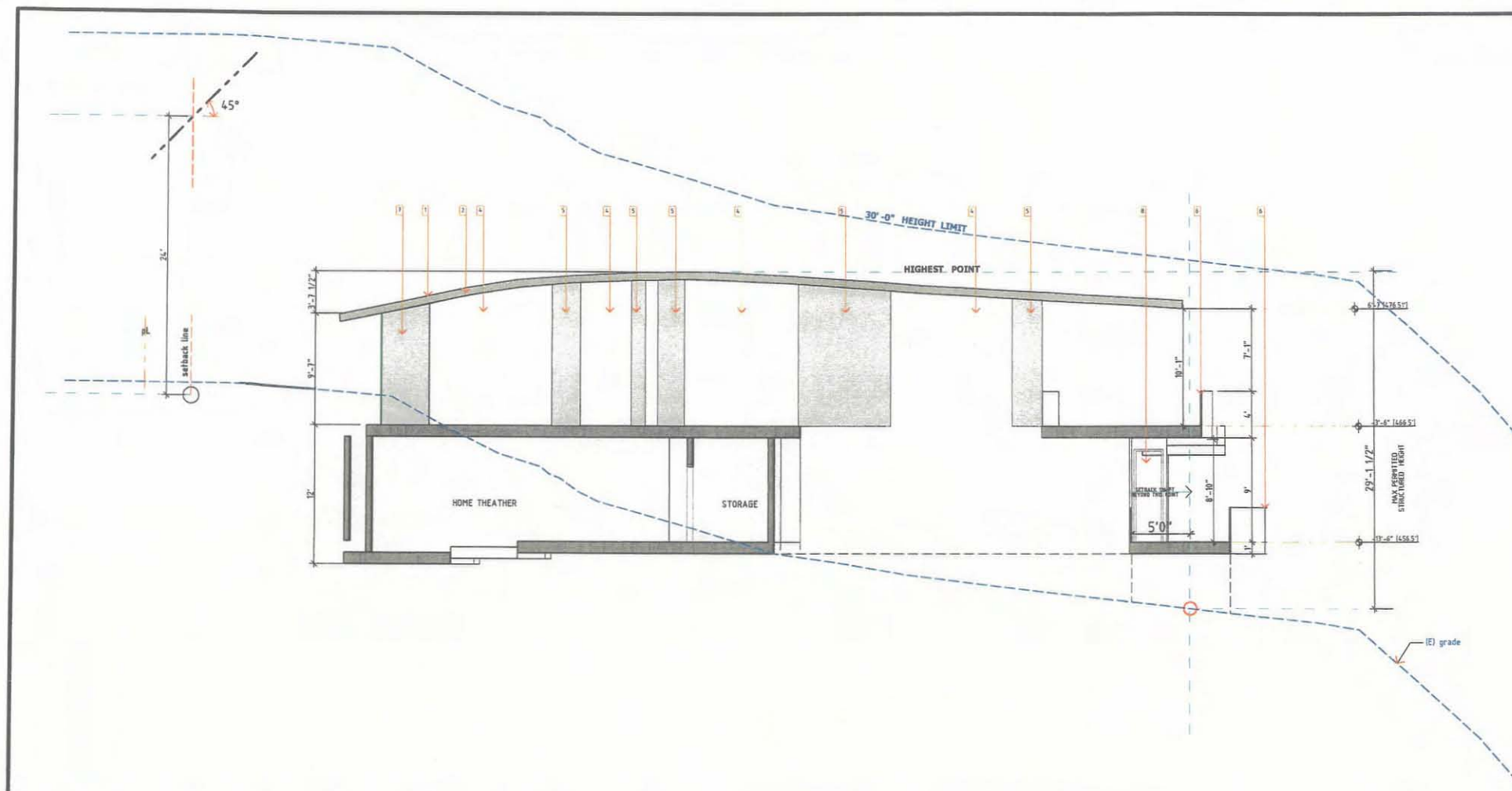
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cdgi@cdgi.org



LEGEND

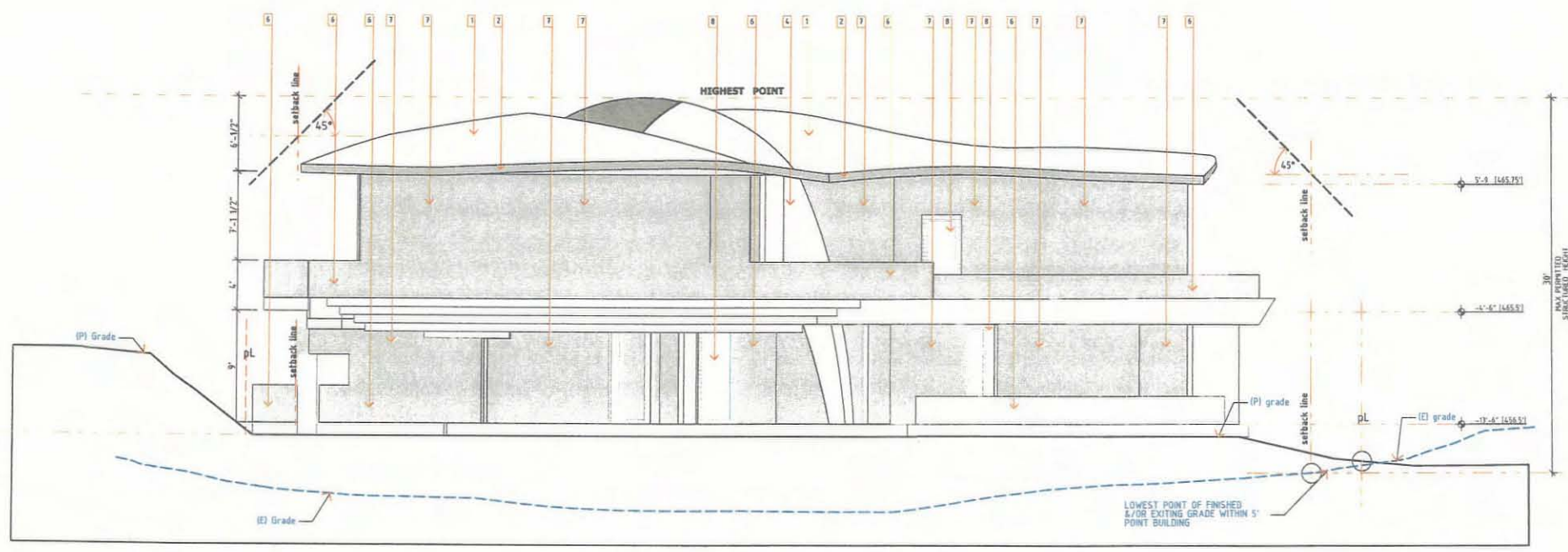
- 1- NEW ROOF TILE
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- 3- NEW METAL COPPER FACIA
- 4- NEW STUCCO FINISH
- 5- WINDOW PER SCHEDULE
- 6- HANDRAIL PER DETAIL
- 7- GLAZING PER SCHEDULE
- 8- DOOR PER SCHEDULE
- 9- FIRE PLACE DIRECT VENT
See Note 6A/A-2.1
- 10- GARAGE DOOR PER SCHEDULE



East Elevation

3/16" = 1'-0"

2



North Elevation

3/16" = 1'-0"

1

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CA. 92101
(619)858 2345

REVISIONS

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Kooklani II Residence
Single Family Residence
Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037

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DATE 15-08-06

PRINT DATE 3/9/2011

SHEET TITLE

Elevations (2)

SHEET NO.

A-4.2

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CA. 92101
(619)858 2345

REVISIONS

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Kookiani II Residence
Single Family Residence
Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037

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Sections

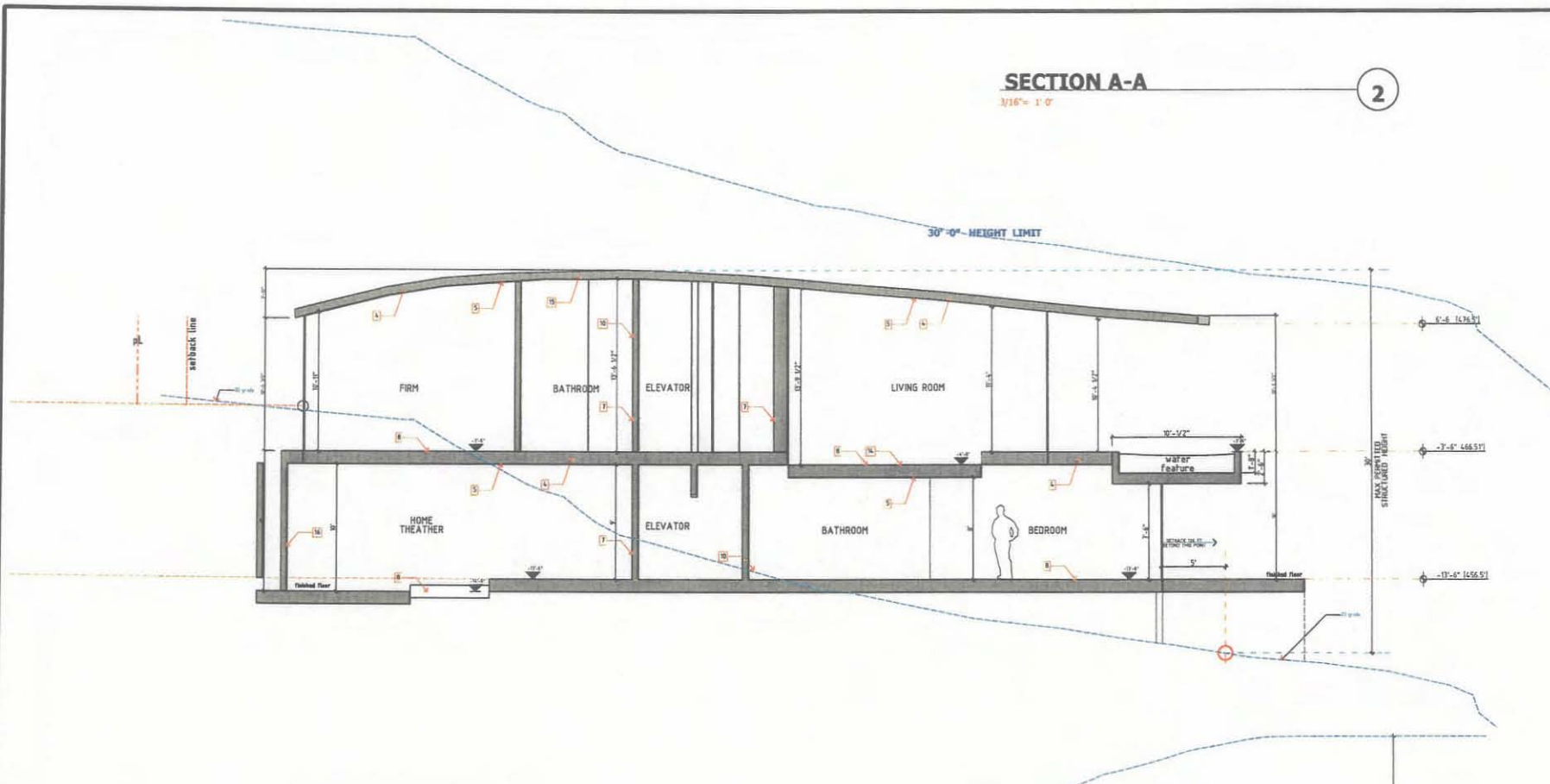
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SECTION A-A

3/16" = 1'-0"

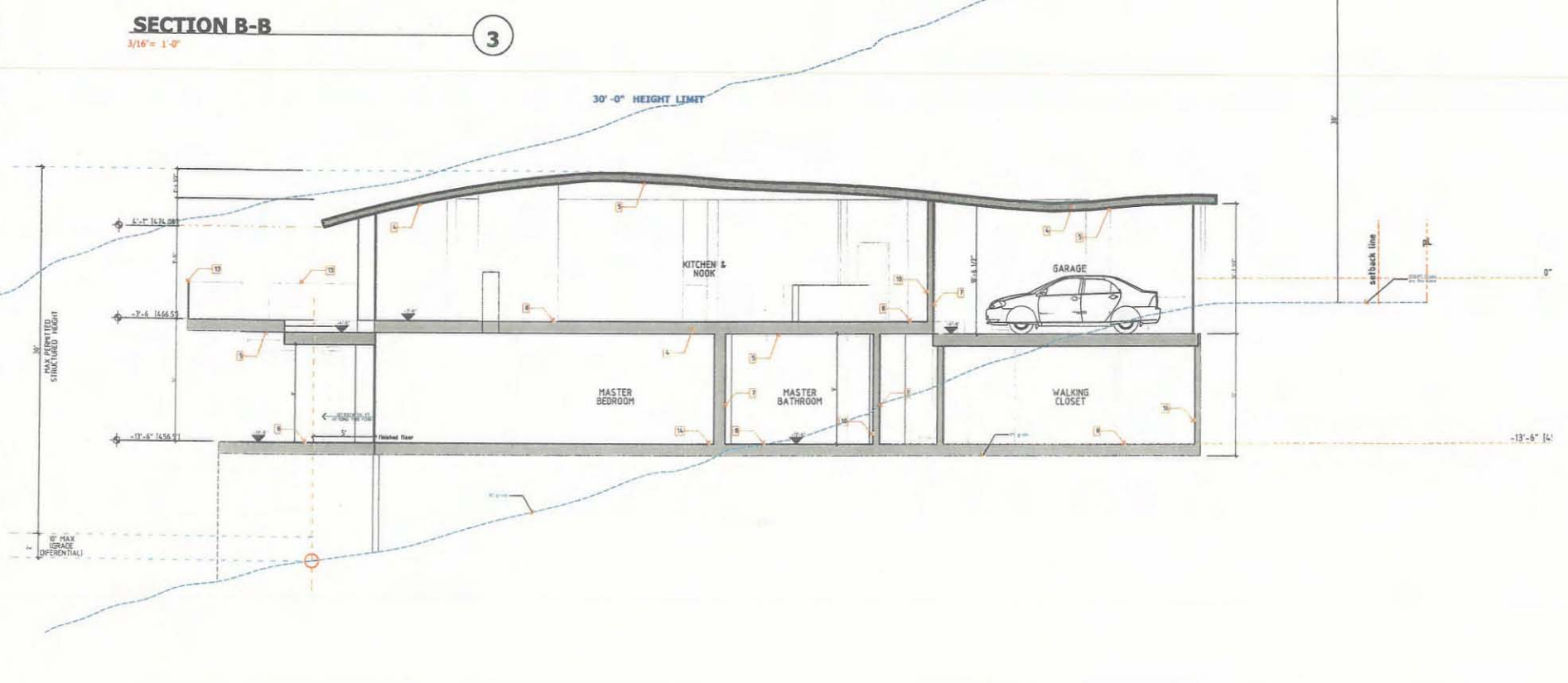
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SECTION B-B

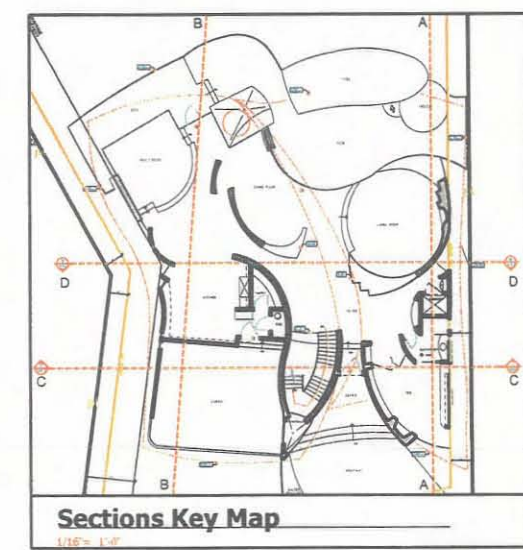
3/16" = 1'-0"

3



KEY NOTES

- 1 EXISTING ROOF PER STRUCTURAL
- 2 BUILT-UP ROOF PER ROOF PLAN
- 3 COPPER PATINA GALVANIZED STANDING SEAM MTL. ROOF
- 4 2X RAFTERS\CLG. JOIST PER STRUCTURAL DWGS.
- 5 FLOOR \ RAFTERS JOIST PER STRUCT. DWGS.
- 6 BEAM PER STRUCTURAL DWGS.
- 7 R-13 INSULATION AT WALLS
- 8 FLOORING PER FLOORING PATTERN
- 9 SKYLIGHT PER ROOF PLAN
- 10 STUD WALL PER PLANS
- 11 5/8" TYPE "X" DRYWALL PER FINISH SCHEDULE
- 12 5/8" DRAY WALL PER FINISH SCHED.
- 13 GUARDRAIL HANDRAIL SYS.
- 14 CONCRETE SLAB PER FINISH SCHED.
- 15 FOOTING PER FOUNDATION PLAN
- 16 R-30 INSULATION AT CEILING
- 18 EXTER. CEMENT PLASTER OVER METAL LATH AND BLDG. PAPER
- 19 RETAINING WALL PER STRUCTURAL



Sections Key Map

1/16" = 1'-0"



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REVISIONS

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Kookiani II Residence
Single Family Residence
Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037

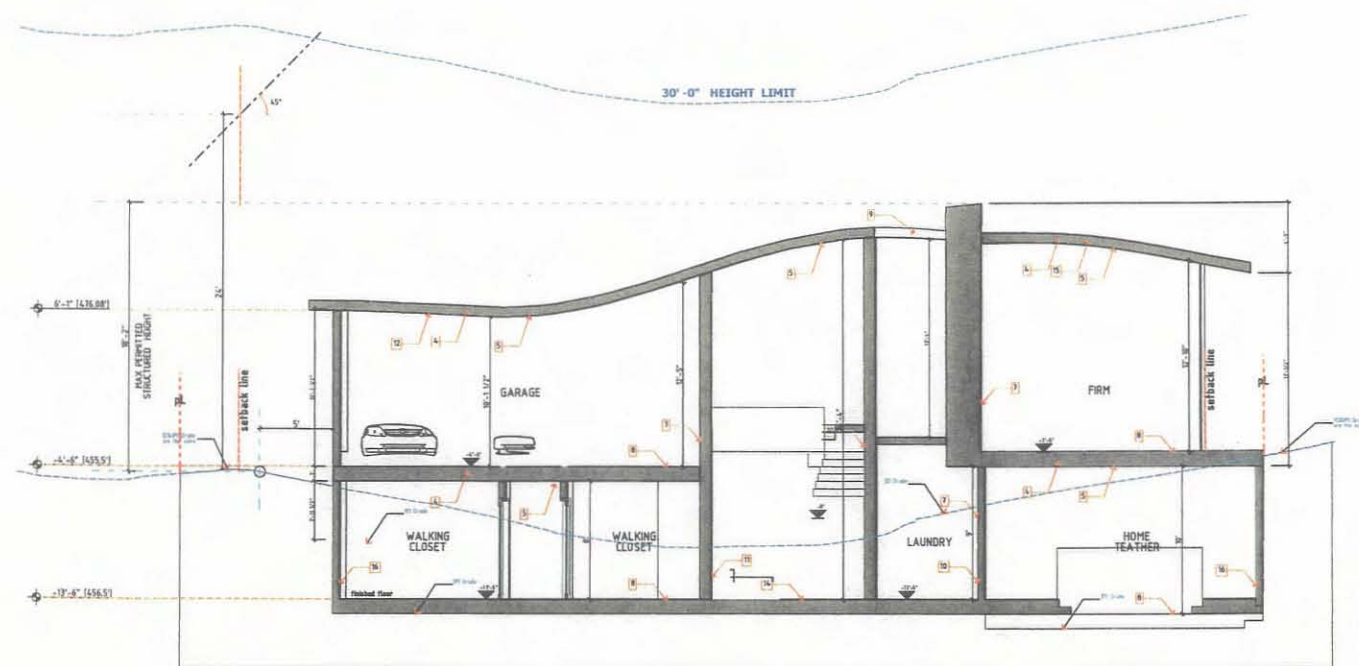
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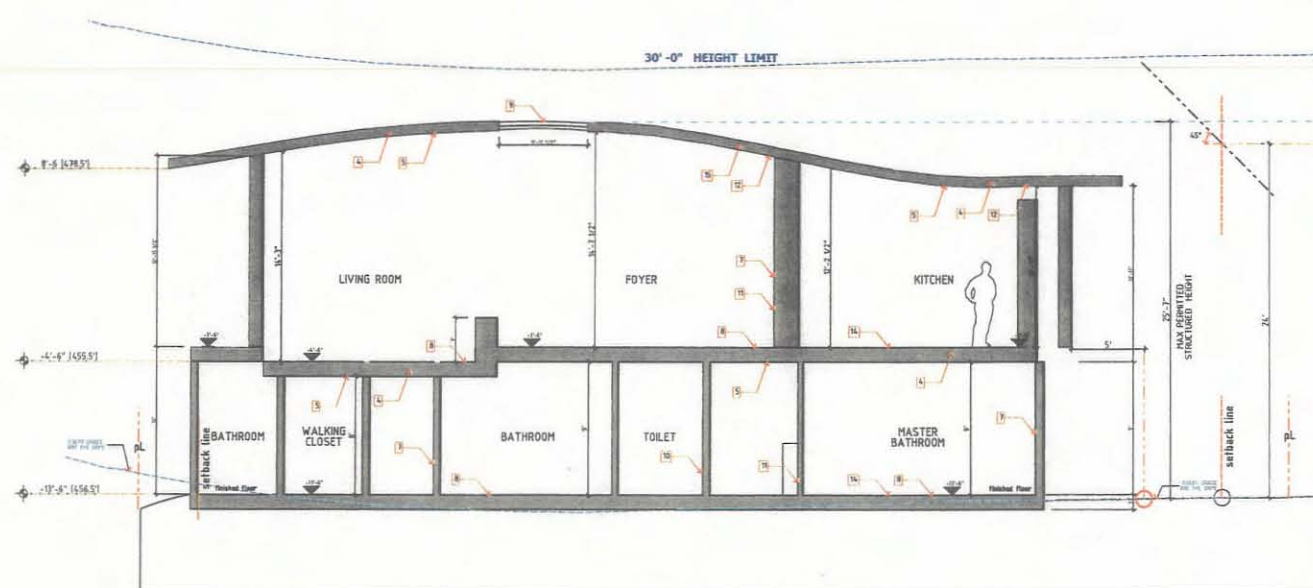
SHEET NO.
A-5.2

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ATTACHMENT 11



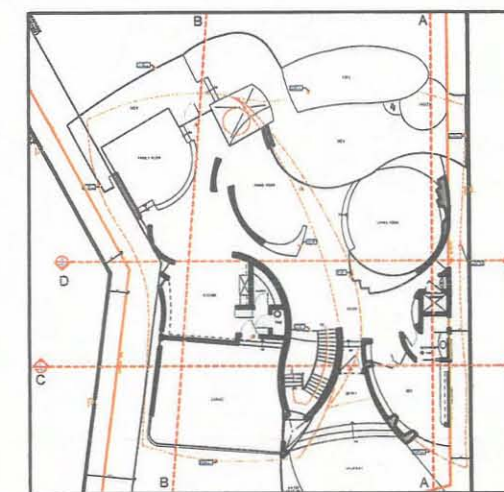
SECTION C-C
3/16" = 1'-0"



SECTION D-D
3/16" = 1'-0"

KEY NOTES

- 1 EXISTING ROOF PER STRUCTURAL
- 2 BUILT-UP ROOF PER ROOF PLAN
- 3 COPPER PATINA GALVANIZED STANDING SEAM MTL. ROOF
- 4 2X RAFTERS\CLG. JOIST PER STRUCTURAL DWGS.
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- 15 FOOTING PER FOUNDATION PLAN
- 16 R-30 INSULATION AT CEILING
- 18 EXTER. CEMENT PLASTER OVER METAL LATH AND BLDG. PAPER
- 19 RETAINING WALL PER STRUCTURAL



Sections Key Map
1/16" = 1'-0"



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CA. 92101
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REVISIONS

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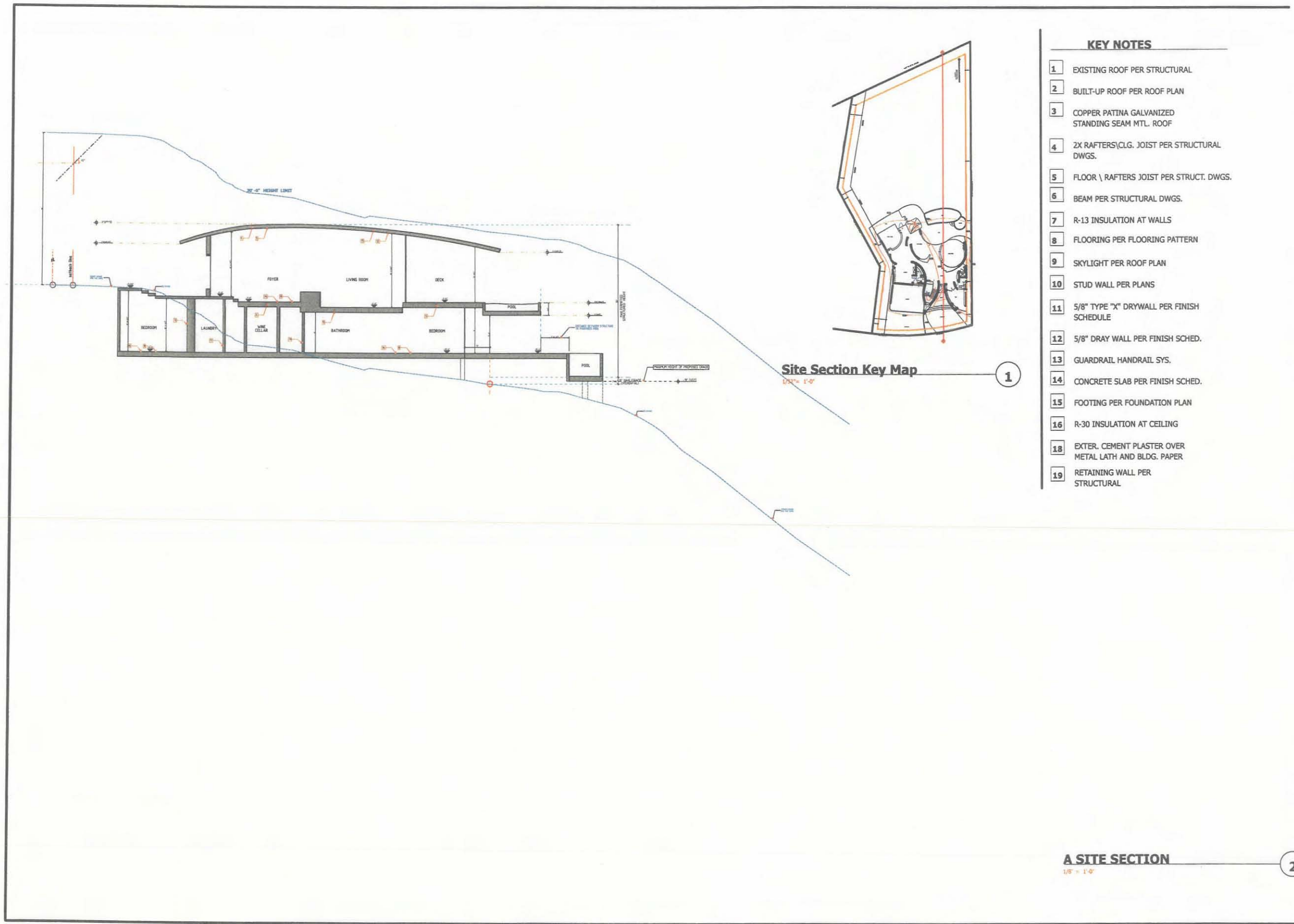
Kooklani II Residence
Single Family Residence
Soledad Avenue and Hillside Drive, La Jolla Cal., ST 92037

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CHECKED	TOPQ
DATE	15-08-06
PRINT DATE	3/9/2011
SHEET TITLE	

Site Sections

SHEET NO.
A-5.3

cdgi@cdgi.org



KEY NOTES

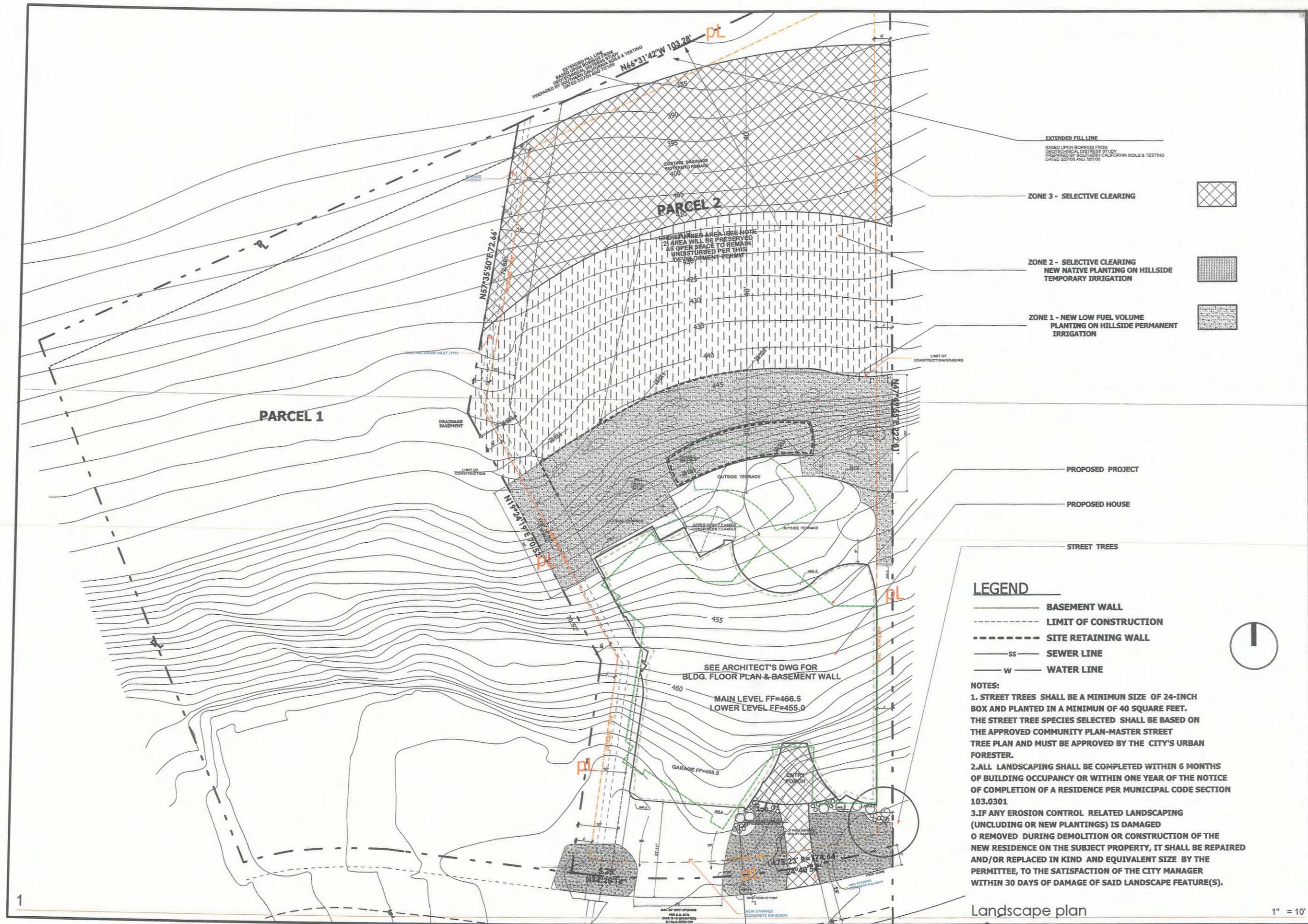
- 1 EXISTING ROOF PER STRUCTURAL
- 2 BUILT-UP ROOF PER ROOF PLAN
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- 18 EXTER. CEMENT PLASTER OVER METAL LATH AND BLDG. PAPER
- 19 RETAINING WALL PER STRUCTURAL

A SITE SECTION

1/8" = 1'-0"

2

cdgi@cdgius.com



DRAWN: _____
DATED: _____

P.O. BOX. 84180 92138 SAN DIEGO CA. TEL. (619) 8582345 FAX. (619) 8582344
 SITE ADDRESS: HILLSIDE DR. LA JOLLA CA 92037

CDGI
C O O N C E P T O

Kooklani 2

DRAWN: JT
 REVISED: _____
 PROJECT #: _____
 PROJECT DATE: 6/21/06
 DRAWING DATE: 5/11/2011
 SHEET TITLE:

Landscape Plan

SHEET NO.

L-1

APR 27 2011

 City of San Diego Development Services 1222 First Ave. 3rd Floor San Diego, CA 92101 (619) 446-5210 THE CITY OF SAN DIEGO	RECEIVED Development Permit/ Environmental Determination Appeal Application	FORM DS-3031 MARCH 2007

See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

1. Type of Appeal:

- Process Two Decision - Appeal to Planning Commission
 Process Three Decision - Appeal to Planning Commission
 Process Four Decision - Appeal to City Council
- Environmental Determination - Appeal to City Council
 Appeal of a Hearing Officer Decision to revoke a permit

2. Appellant Please check one Applicant Officially recognized Planning Committee "Interested Person" (Per M.C. Sec. 113.0103)

Name

La Jolla Community Planning Group

Address

P.O. Box 889

City

La Jolla

State

CA

Zip Code

92037

Telephone

858-459-9291 direct

3. Applicant Name (As shown on the Permit/Approval being appealed). Complete if different from appellant.

Mark & Mina Kooklani

4. Project Information

Permit/Environmental Determination & Permit/Document No.:

Kooklani SCR / Project No. 126578

Date of Decision/Determination:

April 12, 2011

City Project Manager:

Jeffrey A. Peterson

Decision (describe the permit/approval decision):

Approve and application for an SCR to CDP no. 9047 and LJSPDP no. 9048 for the Kooklani I Residence and CDP No. 8552 and

LJSPDP No. 8554 for the Kooklani II Residence located at 7451 and 7447 Hillside Dr. respectively.

5. Grounds for Appeal (Please check all that apply)

- Factual Error (Process Three and Four decisions only)
 Conflict with other matters (Process Three and Four decisions only)
 Findings Not Supported (Process Three and Four decisions only)
- New Information (Process Three and Four decisions only)
 City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

The La Jolla Community Planning Association was effectively denied its request to evaluate and make a recommendation on this application because:

- The Project Manager did not provide the revised plans when the applicant made resubmittals on 9-29-09 & 12-2-10.
- When the Project Manager (PM) sent current cycle issues to the LJ CPA on Feb. 18, 2011, he was requested to supply the plans; instead he referred the LJ CPA to the applicant who did not reply and later indicated he wanted the City to decide.
- On March 8, LJ CPA President Joe LaCava indicated to the Project Manager that the LJCPA would proceed with a review of the application even without the applicants presence. However, the LJCPA had no plans on which to make a recommendation.
- No further information was provided by the PM until the Notice of Decision dated April 12, 2011. After a 2+ year delay in processing with LJCPA was given no warning that a NOD was imminent and therefore did not schedule a project review (with or without the applicant) nor apply for an allowed 20-day extension. Having no other recourse, the LJCPA is forced to file this appeal simply to be given time to review the application as it is entitled to under Process 2.

6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: _____

LJCPA President Date: 4/27/11

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.

Upon request, this information is available in alternative formats for persons with disabilities.

DS-3031 (03-07)

Peterson, Jeff

From: Helen Boyden [hboyden@san.rr.com]
Sent: Tuesday, April 26, 2011 9:46 AM
To: Michelle Meagher
Subject: [Fwd: Kooklani attachment e-mails]

Michelle, here is the string of e-mails that should go with the appeal.

HElen

----- Original Message -----

Subject: Kooklani attachment e-mails
Date: Thu, 14 Apr 2011 13:35:57 -0700
From: Helen Boyden <mailto:hboyden@san.rr.com> <hboyden@san.rr.com>
To: Tony Crisafi <mailto:tcrisafi@islandarch.com>
<tcrisafi@islandarch.com>, Michelle Meagher
<mailto:mmeagher@islandarch.com> <mmeagher@islandarch.com>
CC: Jlacava@san.rr.com

-

Peterson, Jeff wrote: [April 12, 2011]

Tony,

Attached is the Notice of Decision and the SCR Approval Letter for the above listed project. Prior to the City's approval, I recommended again to the applicant to contact your group. However, the applicant requested the City to make a determination.

Jeffrey A. Peterson
Development Project Manager
Development Services Department
1222 First Avenue, MS 501

San Diego, CA 92101
Phone: (619) 446-5237
Fax: (619) 446-5499
Email: JAPeterson@sandiego.gov <BLOCKED::mailto:JAPeterson@sandiego.gov>

From: Joe LaCava [mailto:jlacava@san.rr.com]
Sent: Wednesday, March 09, 2011 7:31 AM
To: Peterson, Jeff
Cc: 'Helen Boyden'
Subject: RE: [Fwd: Re: Kooklani Substantial Conformance Review (SCR)-Project No. 126578]

Thanks Jeff. I appreciate the challenges you are facing.

Joe

-----Original Message-----

From: Peterson, Jeff [mailto:JAPeterson@sandiego.gov]
Sent: Wednesday, March 09, 2011 7:24 AM
To: 'jlacava@san.rr.com'
Cc: 'Helen Boyden'
Subject: RE: [Fwd: Re: Kooklani Substantial Conformance Review (SCR)-Project No. 126578]

Joe,

The applicant has not been in a rush on this project, in fact we (the City) have been pushing the applicant to complete the project (SCR). The only outstanding issue for the last three reviews has been the Geology regarding the design and the caissons that were in stalled. Our Geology staff met with the applicant to discuss the outstanding issues.

Because the applicant has not met the resubmittal deadlines, we put in the latest assessment letter that the resubmittal must be received on or before May 18, 2011. Since this project was recently assigned to me, and I am the 3rd DPM, I would like to get a decision on this project after this next resubmittal.

Jeffrey A. Peterson
Development Project Manager
Development Services Department
1222 First Avenue, MS 501

San Diego, CA 92101
Phone: (619) 446-5237
Fax: (619) 446-5499
Email: JAPeterson@sandiego.gov <BLOCKED::mailto:JAPeterson@sandiego.gov>

From: La Jolla Community Planning Association [mailto:info@lajollacpa.org]
Sent: Tuesday, March 08, 2011 3:48 PM
To: Peterson, Jeff
Cc: 'Helen Boyden'
Subject: RE: [Fwd: Re: Kooklani Substantial Conformance Review (SCR)-Project No. 126578]

Hi John,

Thank you for bearing with us as you take on this long delayed project.

So far, we have received no response from the applicant. My question to you is what is your timing to get to a staff decision? We are prepared to sit back as long as the city and the applicant are in no rush.

If you see this application moving quickly to a Staff Decision, then the planning group must too move quickly towards a recommendation. Under this scenario we will initiate the review process with or without the applicant as we are allowed to do under 600-24.

To the degree that you can, please advise us to the city's projected timing.

Thanks,

Joe

--

Joe LaCava

President, La Jolla Community Planning Association

<<http://www.lajollacpa.org/>> <http://www.LaJollaCPA.org>

Direct: 858.488.0160

Let us know as to the city's time.

----- Original Message -----

Subject:

Re: Kooklani Substantial Conformance Review (SCR)-Project No. 126578

Date:

Tue, 01 Mar 2011 14:51:52 -0800

From:

Helen Boyden <mailto:hboyden@san.rr.com> <hboyden@san.rr.com>

To:

francisco@cdgius.com

CC:

Peterson, Jeff <mailto:JAPeterson@sandiego.gov> <JAPeterson@sandiego.gov>, 'Joe LaCava' <mailto:jlacava@san.rr.com> <jlacava@san.rr.com>, Michelle Meagher <mailto:mmeagher@islandarch.com> <mmeagher@islandarch.com>

References:

<mailto:5FC005E9B71E6543B75EB0AFC724BBB1AB617F1BEB@MAIL203.AD.SANNET.GOV>
<5FC005E9B71E6543B75EB0AFC724BBB1AB617F1BEB@MAIL203.AD.SANNET.GOV>

Dear Mr. Mendiola,

We recently received the fifth cycle review and assessment letter for this SCR project. I queried Mr. Peterson as the La Jolla CPA had nothing in its files or archives about this project. You see his response below.

The La Jolla Shores Permit Review Committee, a subcommittee of the La Jolla Community Planning Association routinely evaluates Process Two SCR and other discretionary permits in the La Jolla Shores PDO. Its recommendations are considered by the LJCPA trustees and the resulting community advice is forwarded to the City.

The LJS PRC would like to schedule your project for a review in a timely fashion, assuming that you are going forward with the project. Our regularly scheduled meetings are the fourth Tuesday of every month at the La Jolla Recreation Center, corner of Prospect, Silverado and Draper.

The 2007 dates are before my service on the committee and the SCR package was apparently not retained in the LJCPA archives. I do not understand why the LJCPA was not sent the revised plans in December 2010.

Since we have no plans for either the original project or the SCR project, the Mr Peterson has suggested that we obtain them from you. Would you please have a set of the original plans, the permits, and the current plans delivered to my attention at Island Architects, 7632 Herschel Avenue, La Jolla, 92037; 858-459-9291? I am not one of their employees, but they receive the LJCPA mail. Please ascertain that the NOA is currently posted at the site as PRC members go by to check out the project site.

Please let me know your plans so we can coordinate a time for this project to be placed on the agenda. We already have two return projects slated for our March 22 meeting. In order to add you to this agenda, I would need to know very soon. I will be preparing a tentative agenda about March 9 and finalizing it around the 16th for posting later that week. Please return the attached form with both the permitted and the SCR dimensions on it. Please feel free to add items if warranted by your project.

Please contact me if you have any questions.

Helen Boyden, Chair
La Jolla Shores Permit Review Committee

Peterson, Jeff wrote:

Helen,

I am the third DPM on the project, since the first and then the second both retired from the City. I have pulled the information below from the file and the computer.

The SCR application was submitted on 3/27/2007, and a set of plans were routed to the community group on 3/27/2007, and the attached notice was sent out and posted on the site. The SCR is regarding the previously approved CDP No. 9047/LJSDP Permit No. 9048, which was approved on 11/21/2002.

The applicant obtained a grading permit (Drwg. No. 32866-D) in 2003 and started the grading and shoring work on the site. This permit vested the discretionary permits. On 3/27/2007, the SCR application was submitted and was being reviewed by staff. On 3/11/2008, staff was notified by NCCD to hold all reviews on the project until further noticed. The file does not provide the reason for the NCCD case, but on 8/13/2009 NCCD released the hold on the review of the SCR.

On 9/29/2009, the applicant submitted a construction change to the grading permit drawing, and the resubmitted the SCR plans for review. The outstanding issues were and are still Geology, and the shoring in relation to were and how they were constructed and installed. On 12/2/2010, the applicant submitted a second construction change to the grading permit drawing, and the resubmitted the SCR plans for review (Geology only outstanding review).

To request plans, the contact for the applicant is as follows:

Francisco Mendiola

CDGI

P. O. Box 84892

San Diego, CA 92138

Phone No: 619- 804-4463

Email: francisco@cdgius.com

If you have any more questions, please contact me.

Jeffrey A. Peterson
Development Project Manager
Development Services Department
1222 First Avenue, MS 501

San Diego, CA 92101
Phone: (619) 446-5237
Fax: (619) 446-5499
Email: JAPeterson@sandiego.gov <BLOCKED::mailto:JAPeterson@sandiego.gov>

-----Original Message-----

From: Helen Boyden [mailto:hboyden@san.rr.com]
Sent: Thursday, February 24, 2011 1:35 PM
To: Peterson, Jeff
Cc: jlacava@san.rr.com
Subject: Kooklani Substantial Conformance Review (SCR)-Project No. 126578,,

Dear Mr. Peterson:

The La Jolla CPA and LJS PRC minutes dating back to mid-2006 do not reflect hearing a project under the name of Kooklani. The archives contain no plans for either the original project or the SCR.

Original e-mail - this string truncated it.
Dear Mr. Peterson:

The La Jolla CPA and LJS PRC minutes dating back to mid-2006 do not reflect hearing a project under the name of Kooklani. The archives contain no plans for either the original project or the SCR.

By searching the City website, I see that this name appears under a listing of grading permits issued in 2005 that resulted in habitat losses, are listed as clients of a lobbyist for several years, and that structures at these addresses seem to have been designated as Historical landmarks in April 2000. However, a look at google earth seemed to indicate that there weren't any structures on the properties.

There are also no NOA's listed for the last year.

It appears from your letter to the applicant that the current application may be on the verge of being revoked and that there are many geological issues still to be resolved. We recently reviewed another project on Hillside (No. 216283 Trunkey Residence PS - 7595 Hillside Drive)

The LJCPA and thus the LJSPRC routinely evaluates Process 2 SCR applications

Would you please let me know when the SCR was noticed and e-mail me a copy?

If the project is going forward, the LJSPRC/LJCPA would like to review it at a publicly noticed hearing before the DSD makes a decision on it.

I would appreciate your help in determining the status and if it is going forward, please send the complete plans and application package via your usual delivery method. We would also like a set of the cycle reviews.

Thanks for your help in this matter.

Helen Boyden, Chair
La Jolla Shores Permit Review Committee

PLANNING COMMISSION RESOLUTION NO. xxxx-PC
SUBSTANTIAL CONFORMANCE REVIEW NO. 856825 TO
COASTAL DEVELOPMENT PERMIT NO. 9045 AND LA JOLLA
SHORES PLANNED DISTRICT PERMIT NO. 9046; AND
SUBSTANTIAL CONFORMANCE REVIEW NO. 856822 TO
COASTAL DEVELOPMENT PERMIT NO. 9047 AND LA JOLLA
SHORES PLANNED DISTRICT PERMIT NO. 9048
KOOKLANI SCR - PROJECT NO. 126578 [MMRP]

WHEREAS, on June 23, 2011, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering an appeal of the Development Services Department's decision to Approve Substantial Conformance Review (SCR) No. 856825 for 7451 Hillside Drive [Kooklani I] to Coastal Development Permit (CDP) No. 9045 and La Jolla Shores Planned District Permit (LJSPDP) No. 9046; and 7447 Hillside Drive [Kooklani II] to CDP No. 9047 and LJSPDP No. 9048;

WHEREAS, the project sites are located at 7451 Hillside Drive [Kooklani I] and 7447 Hillside Drive [Kooklani II] in the SF Zone of the La Jolla Shores Planned District within the La Jolla Community Plan Area, Coastal Overlay Zone (Non-appealable Area 2), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zone for Coastal Impact Area, Residential Tandem Parking Overlay Zone, and Council District 1. The site are legally described as Parcel 1 and Parcel 2 of Parcel Map No. 19618, being a division of a portion of Lot "B" on the Re-subdivision of La Jolla Hills No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2087, filed in the Office of the County Recorder of San Diego County December 21, 1920, together with that portion of Hillside Drive as dedicated to Public Use;

WHEREAS, 7451 HILLSIDE DRIVE, LLC AND 7447 HILLSIDE DRIVE, LLC, Owner/Permittee, requested SCR's to CDP No. 9045 and LJSPDP No. 9046 [Kooklani I] and CDP No. 9047 and LJSPDP No. 9048 [Kooklani II] for modifications include a redesign of the interior and exterior and architectural style for the two single family residences, which have been designed within the existing footprint, grade, floor area ratio, and overall envelope of the previously approved structures;

WHEREAS, the Planning Commission of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby **DENY** the Appeal and **UPHOLDS** the Development Services Department's decision to approve SCR) No. 856825 for 7451 Hillside Drive [Kooklani I] to Coastal Development Permit (CDP) No.

9045 and LJSPDP No. 9046; and 7447 Hillside Drive [Kooklani II] to CDP No. 9047 and LJSPDP No. 9048

Jeffrey A. Peterson
Development Project Manager
Development Services Department

Dated June 23, 2011
By a vote of: 5:1:1

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
KOOKLANI SCR - PROJECT NO. 126578 [MMRP]

Date	Action	Description	City Review Time (Working Days)	Applicant Response
3/27/2007	First Submittal	Project Deemed Complete (set of plans routed to Community Group)	-	-
5/2/2007	1st Assessment Letter	Copy sent to Community Group	25 days	
6/12/2007	2 nd Submittal			28 days
7/26/2007	2 nd Assessment Letter	Copy sent to Community Group	31 days	
1/11/2008	3 rd Submittal			114 days
2/4/2008	3 rd Assessment Letter	Copy sent to Community Group	16 days	
3/10/2008	Hold-NCCD Case	NCCD stopped the processing of SCR	-	-
8/12/2009	Released-NCCD	Stipulated Admin. Enforcement Order released hold on processing SCR	-	-
3/1/2010	4 th Submittal			127 days
4/2/2010	4 th Review Done	Review done & set to applicant, no change to staff comments, no Letter	22 days	
2/7/2011	5 th Submittal			204 days
2/18/2011	5 th Assessment Letter	Copy sent to Community Group	9 days	
3/21/2011	6 th Submittal			20 days
3/29/2011	6 th Review Done	All issues resolved	6 days	
4/12/2011	Public Hearing	Process 2 SCRs Approved by Development Services Department and Notice of Decision mailed out	9 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough, and NCCD Case)	118 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough, and NCCD Case)		493 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Decision	611 working days (4 years 20 days)	