



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: January 19, 2012 **REPORT NO. PC-12-003**

ATTENTION: Planning Commission, Agenda of January 26, 2012

SUBJECT: THE HERITAGE ON IVANHOE - PROJECT NO. 222657
PROCESS FOUR

**OWNER/
APPLICANT:** Heritage on Ivanhoe, LLC, a California Limited Liability Company/
Paul D. Ross, Agent for the Owner

SUMMARY

Issue: Should the Planning Commission approve a 14 unit (for rent) residential development complex located at 7714-7742 Ivanhoe Avenue within the La Jolla Community Planning Area?

Staff Recommendation:

1. **APPROVE** Coastal Development Permit No. 793182; and
2. **APPROVE** Site Development Permit No. 936015.

Community Planning Group Recommendation: On November 3, 2011, the La Jolla Community Planning Association voted 14-0-0 (Chair recused) to recommend approval of the project (Attachment 9).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15301 (Existing Facilities) and 15332 (Infill Development), of the California Environmental Quality Act (CEQA). The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from a named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The project would not result in any significant impacts to biological resources, historical

resources, traffic, noise, air quality, or water quality. The environmental exemption determination for this project was made on November 18, 2011, and the opportunity to appeal that determination ended December 6, 2011 (Attachment 10). This project is not pending an appeal of the environmental determination.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The 0.72-acre project site is located at 7714-7742 Ivanhoe Avenue in the RM-3-7 Zone within the La Jolla Community Plan, which designates the site for Medium High Residential, 30-45 dwelling unit per acre (DU/AC). The project site could accommodate 31 dwelling units based on the underlying zone and 22-32 dwelling units based on the community plan. The project is proposing 14 units, with a density of 19 DU/AC. Although this is below the designated land use residential intensity, there are other factors that allow a determination of consistency with the community plan. The La Jolla Community Plan's primary policy is to maintain the existing residential character of the La Jolla neighborhoods. The proposed project would continue the traditional character of the neighborhood by retaining three of the original cottages and the addition of eleven new smaller homes on the site. The new homes would continue the small scale character of the village and blend into the single family neighborhood to the north and east of the project site.

This project is subject to the requirements of the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the San Diego Municipal Code).

BACKGROUND

The project site is located at 7714-7742 Ivanhoe Avenue (Attachment 1), on the west side of Ivanhoe Avenue and north of Kline Street (Attachment 2). The site is located in the RM-3-7 Zone (Attachment 3) within the La Jolla Community Plan Area (Attachment 4), Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zones (Coastal), Residential Tandem Parking Overlay Zone, and the Transit Area Overlay Zone. The community plan designates the site for Medium High Residential 30-45 dwelling unit per acre (DU/AC). The project site, occupying 0.72-acre, could accommodate 31 dwelling units based on the underlying zone and 22-32 dwelling units based on the community plan.

The project site is a rectangular shaped interior lot with frontage on Ivanhoe Avenue. The property has been previously graded and developed with eight detached single family dwelling units, two detached garages, and a parking lot. The existing dwelling units and accessory structures were constructed between 1908 and 1953. City staff conducted a historical review of the buildings and determined that the dwelling unit located at 7736 Ivanhoe Avenue was the only structure that was potentially historical. This structure was constructed in 1908 and is an example of craftsman architecture.

The project site is surrounded by urban development in the form of single family residential to the northeast and multi-family residential development to the east and southeast, which are zoned RS-1-7 and RM-1-1, and the community plan designates the sites for Low (5-9 DU/AC) to Low Medium Residential (9-15 DU/AC). The properties to the north and west contain commercial development and are within Zone 2 of the La Jolla Planned District, and the community plan designates the sites for Community Commercial. The property to the south contains a commercial development and is zoned RM-3-7, and the community plan designates the site for Medium High Residential (30-45 DU/AC).

DISCUSSION

Project Description:

The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from a named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units).

This particular area along Ivanhoe Avenue is part of La Jolla Village Park and has a significant number of original single family dwelling units that are an integral part in the early beach cottage days of La Jolla. By maintaining and rehabilitating the existing three dwelling units and the addition of three new detached dwelling units with comparable architectural style along Ivanhoe Avenue, the project retains the character of the neighborhood. In addition, the project design includes a higher density at the rear of the property, which is recommended by the community plan and permitted in the underlying zone.

Development of the proposed project requires the approval of a Process 2 Coastal Development Permit (CDP) for development within the Coastal Overlay Zone and a Process 4 Site Development Permit (SDP) for deviations from the applicable development regulations for a Sustainable Buildings project. As a component of the proposed project, the buildings will utilize renewable energy technology, self-generating at least 50-percent of the projected total energy consumption on site through photovoltaic technology (solar panels). Because the project utilizes renewable technologies and qualifies as a Sustainable Building under Council Policies 900-14 and 600-27, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Community Plan Analysis:

The proposed project is located at 7714-7742 Ivanhoe Avenue within the La Jolla Community Plan area. The site is designated for Medium High Residential at 30-45 dwelling unit per acre

(DU/AC). The project is consistent with the land use designation for residential uses. The project is proposing 14 units, with a density of 19 DU/AC. Although this is below the designated land use residential intensity, there are other factors that allow a determination of consistency with the community plan. There is multi-family residential development to the east of the project that is designated for 9-15 DU/AC. To the west of the site are commercial uses. South of the site is the location of what was once the Copley Library, with a land use designation of Medium High Residential at 30-45 DU/AC. To the north and north east are parcels with a land use designation of Low Density Residential at 5-9 DU/AC.

The proposed project would retain three of the original cottages on site. Two would be maintained in their original location and the third cottage would be relocated to the front of Ivanhoe Avenue. Eleven new homes would also be built for a total of 14 residential dwelling units.

The La Jolla Community Plan describes medium-high density as 30-45 dwelling units per net residential acre. This density is characterized by higher density condominiums and apartments and is implemented through the RM-3-7 zone. The proposed project, while proposing a lower density than the community plan recommends would continue the traditional character of the neighborhood by retaining three of the original cottages and the addition of eleven new smaller homes on the site. The new homes would continue the small scale character of the village and blend into the single family neighborhood to the north and east of the project site.

The La Jolla Community Plan's primary policy is to maintain the existing residential character of La Jolla's neighborhoods by encouraging build out of residential areas at the plan density. The proposed project would maintain the existing residential character which is single family to the north and north east.

The Plan also recommends avoiding extreme and intrusive changes to the residential scale of La Jolla's neighborhoods and promoting good design and harmony within the visual relationships and transitioning between new and older structures.

The General Plan, adopted in 2008, recommends in the Urban Design Element, (UD-16) promoting development that protects and improves upon the desirable features of San Diego's neighborhoods. It also recommends that infill housing be sensitive to the character and quality of existing neighborhoods.

Staff supports the proposed project as it would: retain the existing single family residential character of the neighborhood; retain three of the existing homes; provide street and side yard setbacks consistent with the neighborhood; and provide adequate landscaping on site. The deviation requested would be for a reduction of the side yard setback along the north and south property lines. The proposed deviation is necessary to provide a pattern of development that is consistent with the single-family and multi-family development in the immediate neighborhood. The proposed project does not adversely affect the La Jolla Community Plan.

Project-Related Issues:

Deviation- The project includes a request for a deviation for the reduction of the side yard

setbacks along the north and south property lines. The proposed deviation is necessary to provide a pattern of development that is consistent with the single-family and multi-family development in the immediate neighborhood. The RM-3-7 Zone requires that each side yard setback be a minimum of 5-feet or 10-percent of the lot width, whichever is greater, pursuant to Land Development Code (LDC) Section 131.0443(f)(2)(A). The property measuring approximately 205-feet wide and would require a 20-foot 6-inch side yard along both property lines. The project proposes a 5-foot side yard along the north and south property lines. Staff has determined that the deviation is appropriate and will result in a more desirable project that efficiently utilizes the site and while meeting the purpose and intent of the development regulations.

Coastal Overlay Zone Affordable Housing Replacement Regulations- The project includes the request to demolish five existing dwelling units within the Coastal Overlay Zone; however, the project is exempt from the requirement of providing affordable housing replacement pursuant to LDC Section 143.0820(d), since the demolition includes less than 10 dwelling units on a premises with more that one residential structure.

Conclusion:

With the approval of the requested deviation, the proposed project would retain the existing single family residential character of the neighborhood; retain three of the existing homes; provide street and side yard setbacks consistent with the neighborhood; and provide adequate landscaping on site. The proposed side yard deviation is necessary to provide a pattern of development that is consistent with the single-family and multi-family development in the immediate neighborhood. Staff finds the project consistent with the design guidelines and development standards in effect for this site, and meets the purpose and intent of the adopted La Jolla Community Plan, Land Development Code, Council Policies, and the General Plan.

ALTERNATIVE

1. **APPROVE** Coastal Development Permit No. 793182 and Site Development Permit No. 936015, **with modifications.**
2. **Deny** Coastal Development Permit No. 793182 and Site Development Permit No. 936015, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Program Manager
Development Services Department



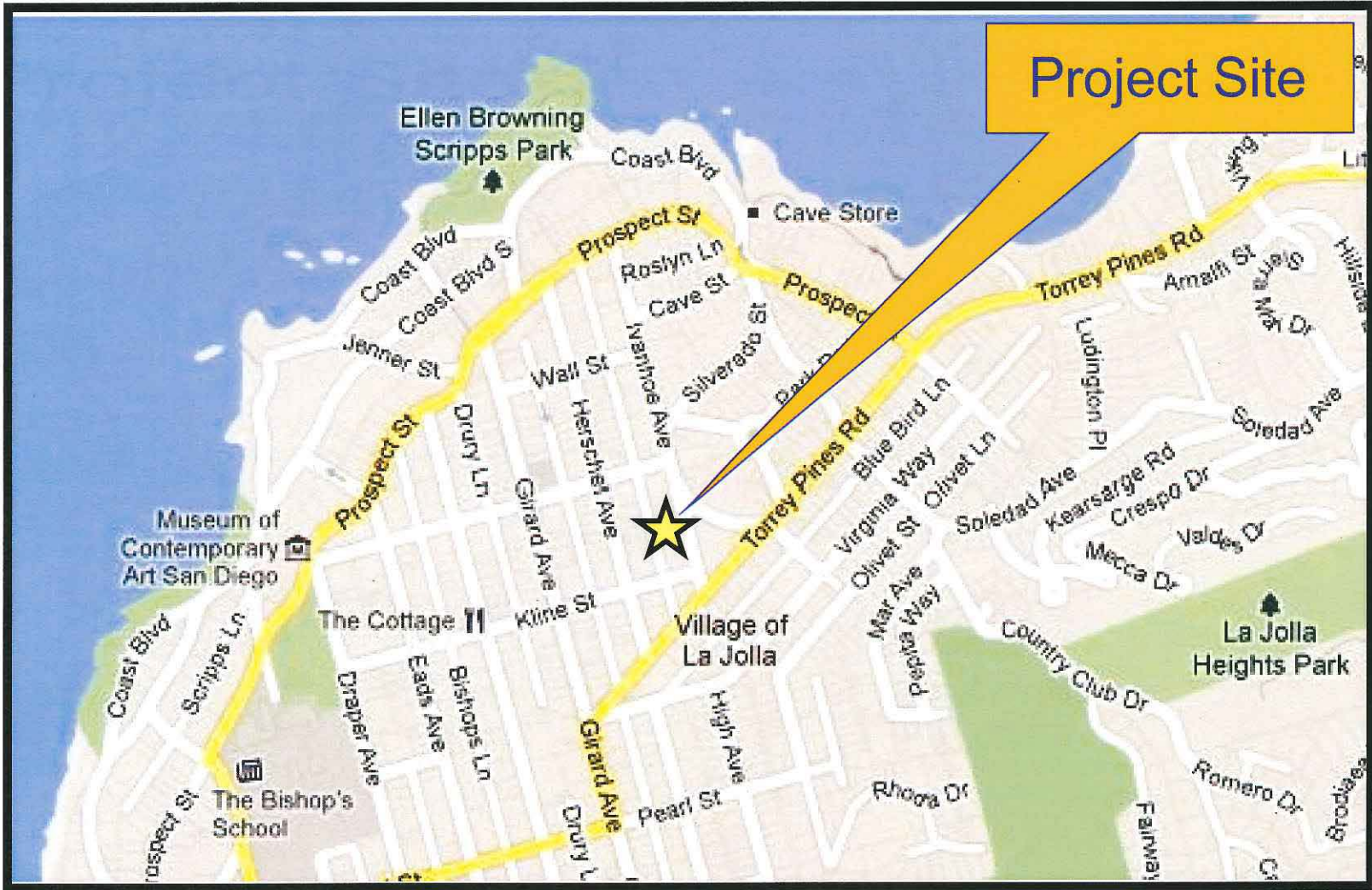
Jeffrey A. Peterson
Development Project Manger
Development Services Department

WESTLAKE/JAP

Attachments:

1. Project Location Map
2. Aerial Photograph
3. Zoning Map
4. La Jolla Community Plan Land Use Map
5. Project Data Sheet
6. Draft CDP SDP Permit Resolution with Findings
7. Draft CDP SDP Permit with Conditions
8. Project Plans
9. Community Planning Group Recommendation
10. Environmental Exemption
11. Ownership Disclosure Statement
12. Project Chronology

Internal Order No. 24001236



Location Map

The Heritage on Ivanhoe- Project No. 222657

7714-7742 Ivanhoe Avenue



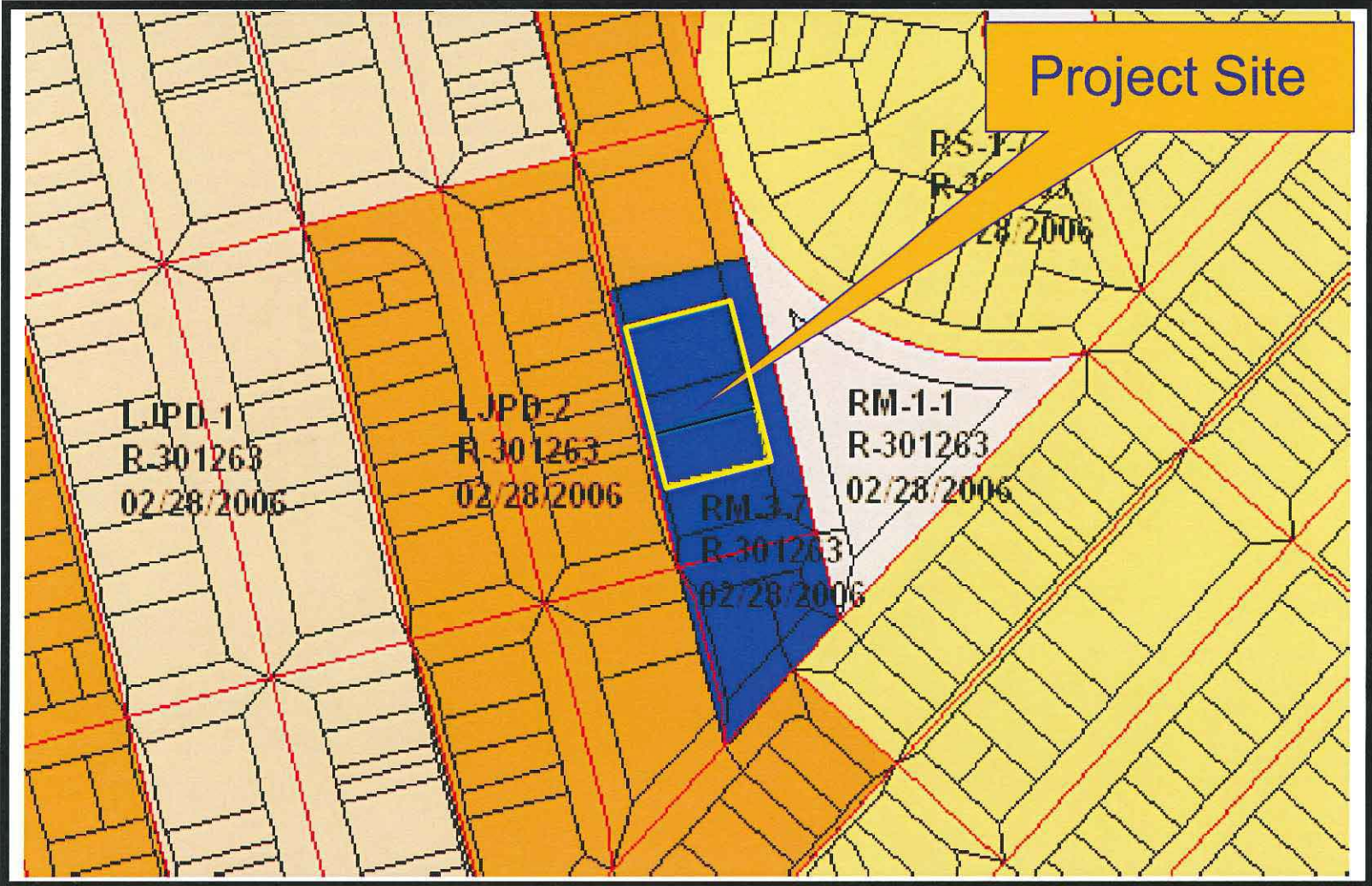


Aerial Photograph

The Heritage on Ivanhoe- Project No. 222657

7714-7742 Ivanhoe Avenue

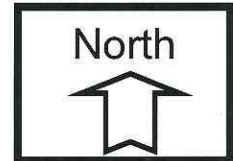


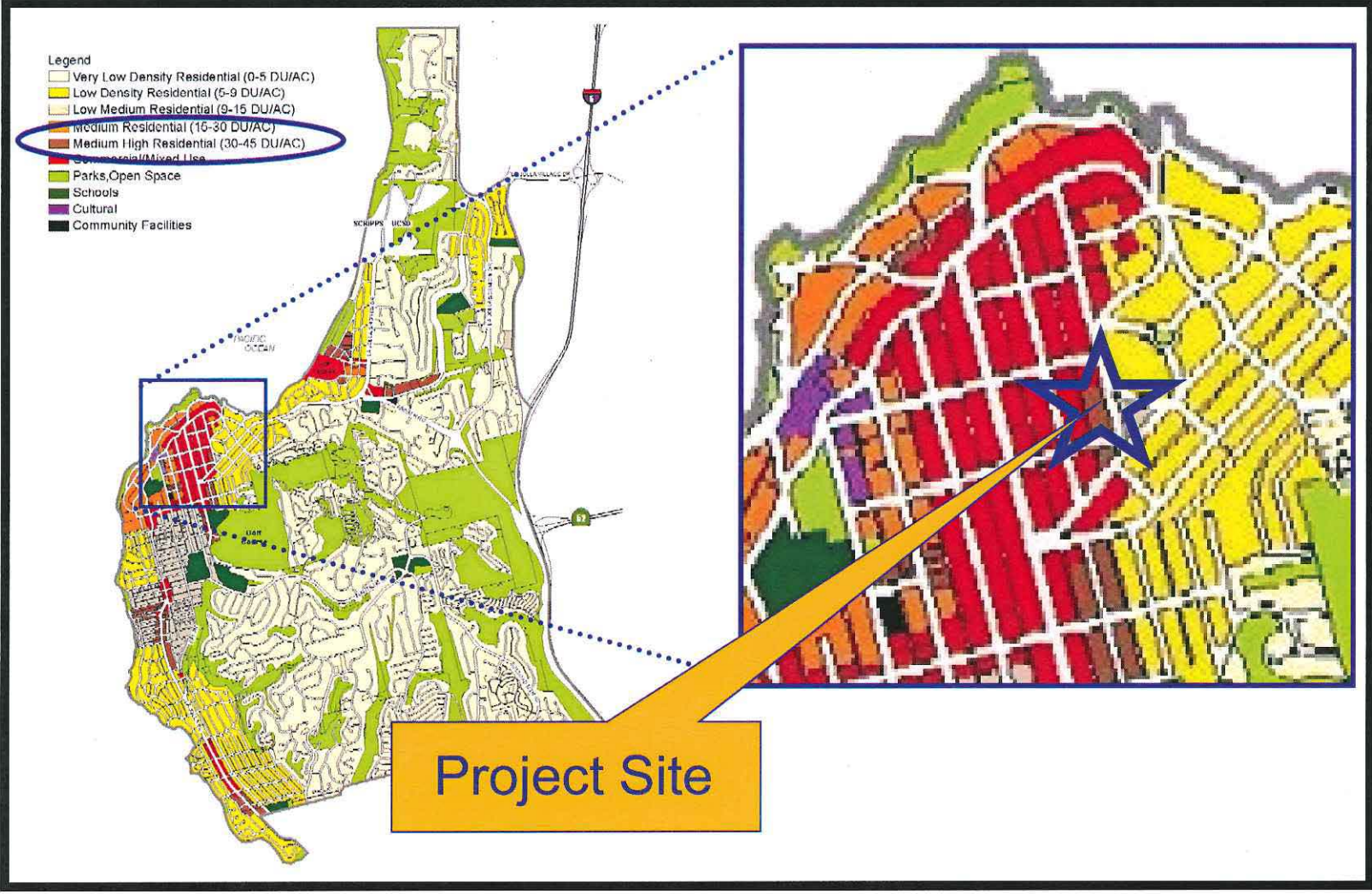


Zoning Map

The Heritage on Ivanhoe- Project No. 222657

7714-7742 Ivanhoe Avenue

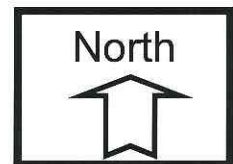




La Jolla Community Plan Land Use Map

The Heritage on Ivanhoe- Project No. 222657

7714-7742 Ivanhoe Avenue



PROJECT DATA SHEET

PROJECT NAME:	The Heritage on Ivanhoe - Project No. 222657
PROJECT DESCRIPTION:	14 unit (for rent) residential development complex
COMMUNITY PLAN AREA:	La Jolla
DISCRETIONARY ACTIONS:	Coastal Development Permit and Site Development Permit
COMMUNITY PLAN LAND USE DESIGNATION:	Medium High Residential, 30-45 dwelling unit per acre (DU/AC)

ZONING INFORMATION:

ZONE: RM-3-7 Zone

HEIGHT LIMIT: 30-foot maximum height limit (Coastal Height Limitation Overlay Zone)

LOT SIZE: 7,000 square foot

FLOOR AREA RATIO: 1.80

LOT COVERAGE: NA

FRONT SETBACK: 10-foot min./ 20-foot standard

SIDE SETBACK: 5-feet or 10-percent of the lot width, whichever is greater

(LDC Section 131.0443(f)(2)(A))

STREETSIDE SETBACK: NA

REAR SETBACK: 5-feet

PARKING: 28 spaces

<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Community Commercial; LJPD-Zone 2	Commercial Development
SOUTH:	Medium High Residential; RM-3-7	Commercial Development
EAST:	Low to Low Medium Residential; RS-1-7 & RM- 1-1	Single-family and Multi-family Residential Development
WEST:	Community Commercial; LJPD-Zone 2	Commercial Development
DEVIATIONS OR VARIANCES REQUESTED:	Deviation for a 5-foot side yard setbacks were a 20-foot 6-inch side yard setback would be required LDC Section 131.0443(f)(2)(A).	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On November 3, 2011, the La Jolla Community Planning Association voted 14-0-0 (Chair recused) to recommend approval of the project.	

PLANNING COMMISSION
 RESOLUTION NO. _____
 COASTAL DEVELOPMENT PERMIT NO. 793182
 SITE DEVELOPMENT PERMIT NO. 936015
THE HERITAGE ON IVANHOE - PROJECT NO. 222657

WHEREAS, HERITAGE ON IVANHOE, LLC, a California Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a 14 unit (for rent) residential development complex (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 793182 and 936015), on portions of a 0.72-acre site;

WHEREAS, the project site is located at 7714-7742 Ivanhoe Avenue in the RM-3-7 Zone within the La Jolla Community Plan Area, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zones (Coastal), Residential Tandem Parking Overlay Zone, and Transit Area Overlay Zone;

WHEREAS, the project site is legally described as Lots 3, 4 and 5 of Copley Subdivision, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 5426, filed in the Office of the County Recorder of San Diego County, July 22, 1964;

WHEREAS, on January 26, 2012, the Planning Commission of the City of San Diego considered Coastal Development Permit (CDP) No. 793182 and Site Development Permit (SDP) No. 936015 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on November 18, 2011, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality-Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 (Existing Facilities) and 15332 (Infill Development) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated January 26, 2012.

FINDINGS:

I. Coastal Development Permit - Section 126.0708(a)

- 1. The proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan; and**

The 0.72-acre project site is located at 7714-7742 Ivanhoe Avenue, on the west side of Ivanhoe Avenue and north of Kline Street, in the RM-3-7 Zone within the La Jolla Community Plan (LJCP). The property is a corner lot, and is located approximately 1,900-feet from the Pacific

Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Ivanhoe Avenue at this location is not designated as a physical accessway or view corridor, and does not contain intermittent or partial vistas, viewsheds or scenic overlooks within the adopted LJCP and Local Coastal Program Land Use Plan. With the approval of the deviation to the side yard setback, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use designation, design guidelines, and development standards in effect for this site and would not affect any physical accessway and/or public views to the Pacific Ocean. The project site is surrounded by urban development in the form of single family residential to the northeast, multi-family residential development to the east and southeast and commercial development to the north, west, and south. The proposed development would occur on private property.

2. The proposed coastal development will not adversely affect environmentally sensitive lands; and

The project site is located at 7714-7742 Ivanhoe Avenue, on the west side of Ivanhoe Avenue and north of Kline Street, in the RM-3-7 Zone within the LJCP. The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units). The subject property interior lot with frontage on Ivanhoe Avenue, and is located approximately 1,900-feet from the Pacific Ocean. The site is approximately 133-feet above Mean Sea Level (MSL) and is located above the 100-year floodplain. The site is not within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA) and does not contain any other environmentally sensitive lands as defined in San Diego Municipal Code (SDMC) 113.0103.

The City of San Diego conducted an environmental review of this site in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Guidelines 15301 (Existing Facilities) and 15332 (Infill Development). Therefore, it has been determined that the subdivision does not contain environmentally sensitive lands and would not adversely affect these resources.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program; and

The project site is located at 7714-7742 Ivanhoe Avenue, on the west side of Ivanhoe Avenue and north of Kline Street, in the RM-3-7 Zone within the LJCP. The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from a named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the

modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units). The property is not located between the sea and the first public roadway paralleling the sea. Ivanhoe Avenue at this location is not designated as a physical accessway or view corridor, and does not contain intermittent or partial vistas, viewsheds or scenic overlooks within the adopted LJCP and Local Coastal Program Land Use Plan. With the approval of the requested deviation, the project meets all applicable design guidelines and development standards in effect for this site and would not affect any physical accessway and/or public views to the Pacific Ocean. In addition, the project proposes to utilize renewable technology, self-generating at least 50 percent of its electrical energy needs through photovoltaic technology (solar panels), thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Building Policy.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The project site is located at 7714-7742 Ivanhoe Avenue, on the west side of Ivanhoe Avenue and north of Kline Street, in the RM-3-7 Zone within the LJCP. The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units). The property is a corner lot, and is located approximately 1,900-feet from the Pacific Ocean. The property is not located between the sea and the first public roadway paralleling the sea. Ivanhoe Avenue at this location is not designated as a physical accessway or view corridor, and does not contain intermittent or partial vistas, viewsheds or scenic overlooks within the adopted LJCP and Local Coastal Program Land Use Plan. With the approval of the requested deviation, the project meets all applicable design guidelines and development standards in effect for this site and no public view, public access to the water, public recreation facilities, or public parking facilities would be adversely affected by the approval of this development. Therefore, the proposed development has demonstrated conformance with the public access and recreation policies of the California Coastal Act as required by this finding.

II. Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits

- 1. The proposed development will not adversely affect the applicable land use plan;**

The project site is located at 7714-7742 Ivanhoe Avenue in the RM-3-7 Zone within the LJCP, which designates the site for Medium High Residential, 30-45 dwelling unit per acre (DU/AC). The project site could accommodate 31 dwelling units based on the underlying zone and 22-32 dwelling units based on the community plan. This particular area along Ivanhoe Avenue is part of La Jolla Village Park and has a significant number of original single family dwelling units that are an integral part in the early beach cottage days of La Jolla. The La Jolla Community Plan's primary policy is to maintain the existing residential character of the La Jolla neighborhoods. The proposed project, while proposing a lower density than the community plan recommends would continue the traditional character of the neighborhood by retaining three of the original cottages and the addition of eleven new smaller homes on the site. The new homes would continue the small scale character of the village and blend into the single family neighborhood to the north and east of the project site.

The proposed project would retain the existing single family residential character of the neighborhood; retain three of the existing homes; provide street and side yard setbacks consistent with the neighborhood; and provide adequate landscaping on site. The proposed side yard deviation is necessary to provide a pattern of development that is consistent with the single-family and multi-family development in the immediate neighborhood. As a component, the project proposes to utilize renewable technology, self-generating at least 50 percent of its electrical energy needs through photovoltaic technology (solar panels), thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Building Policy. The project is consistent with the design guidelines and development standards in effect for this site, and meets the purpose and intent of the adopted LJCP, Land Development Code (LDC), Council Policies, and the General Plan (GP). Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project site is located at 7714-7742 Ivanhoe Avenue, on the west side of Ivanhoe Avenue and north of Kline Street, in the RM-3-7 Zone within the LJCP. The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from a named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units).

The permit for the proposed development includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and

general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in CDP No. 793182 and SDP No. 936015, and other regulations and guidelines pertaining to the subject property per the LDC. The project applicant will be required to obtain building permits to show that all constructions will comply with all applicable Building and Fire Codes, and obtain public improvement permits for all work within the public right-of-way to show that all constructions will comply with City standards. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project site is located at 7714-7742 Ivanhoe Avenue, on the west side of Ivanhoe Avenue and north of Kline Street, in the RM-3-7 Zone within the LJCP. The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from a named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units).

The project includes a request for a deviation for the reduction of the side yard setbacks along the north and south property lines. The proposed deviation is necessary to provide a pattern of development that is consistent with the single-family and multi-family development in the immediate neighborhood. The purpose of setbacks is to provide space for light and air circulation, uniformity to a neighborhood, privacy, open space, access to and around buildings, and distance between neighbors to mitigate noise and odors. In addition, the setback requirements for the RM-3-7 zone help to prevent a walled effect along the street face as viewed from the public right-of-way, by increasing the requirement incrementally for wider lots. Specifically, the RM-3-7 zone requires a minimum side setback of 5 feet or 10 percent of the lot width, whichever is greater. The property measures approximately 205 feet, requiring side setbacks from the north and south property line of 20 feet and 6 inches. The project will be comprised of six detached dwelling units along Ivanhoe Avenue and four duplex buildings along the alley. This development pattern creates see-throughs between each structure and provides a consistent setback pattern through the Ivanhoe Avenue frontage and with the adjacent property to the south and north, consistent with the single-family and multi-family development in the immediate neighborhood. Therefore, the deviation is appropriate and will result in a more desirable project that efficiently utilizes the site and while meeting the purpose and intent of the development regulations of the LDC.

M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings

1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants;

The project site is located at 7714-7742 Ivanhoe Avenue, on the west side of Ivanhoe Avenue and north of Kline Street, in the RM-3-7 Zone within the LJCP. The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from a named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units).

As a component, the project proposes to utilize renewable technology, self-generating at least 50 percent of its electrical energy needs through photovoltaic technology (solar panels), thus meeting the requirements of Council Policy 900-14, the City Council's Sustainable Building Policy. Among the many other sustainable design features included in the project are the use of sustainable construction materials and practices. Operational sustainable features include the use of high efficacy lighting or occupancy sensors, Energy Star appliances, natural cooling and ventilations through operable dual pane Low-E glazed windows, water conserving native and pest resistant plant in the landscape, and a high efficiency irrigation system. Therefore, the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants.

2. The development will not be inconsistent with the purpose of the underlying zone; and

The project site is located at 7714-7742 Ivanhoe Avenue, on the west side of Ivanhoe Avenue and north of Kline Street, in the RM-3-7 Zone within the LJCP. The project site could accommodate 31 dwelling units based on the underlying zone. The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from a named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus

basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units).

The project includes a request for a deviation for the reduction of the side yard setbacks along the north and south property lines. The proposed deviation is necessary to provide a pattern of development that is consistent with the single-family and multi-family development in the immediate neighborhood. The purpose of setbacks is to provide space for light and air circulation, uniformity to a neighborhood, privacy, open space, access to and around buildings, and distance between neighbors to mitigate noise and odors. In addition, the setback requirements for the RM-3-7 zone help to prevent a walled effect along the street face as viewed from the public right-of-way, by increasing the requirement incrementally for wider lots. Specifically, the RM-3-7 zone requires a minimum side setback of 5 feet or 10 percent of the lot width, whichever is greater. The property measures approximately 205 feet, requiring side setbacks from the north and south property line of 20 feet and 6 inches. The project will be comprised of six detached dwelling units along Ivanhoe Avenue and four duplex buildings along the alley. This development pattern creates see-throughs between each structure and provides a consistent setback pattern through the Ivanhoe Avenue frontage and with the adjacent property to the south and north, consistent with the single-family and multi-family development in the immediate neighborhood. Therefore, the proposed development will not be inconsistent with the purpose of the underlying zone.

3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The project site is located at 7714-7742 Ivanhoe Avenue, on the west side of Ivanhoe Avenue and north of Kline Street, in the RM-3-7 Zone within the LJCP. The project proposes the demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from a named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units).

The project includes a request for a deviation for the reduction of the side yard setbacks along the north and south property lines. The proposed deviation is necessary to provide a pattern of development that is consistent with the single-family and multi-family development in the immediate neighborhood. The purpose of setbacks is to provide space for light and air circulation, uniformity to a neighborhood, privacy, open space, access to and around buildings, and distance between neighbors to mitigate noise and odors. In addition, the setback requirements for the RM-3-7 zone help to prevent a walled effect along the street face as viewed from the public right-of-way, by increasing the

requirement incrementally for wider lots. Specifically, the RM-3-7 zone requires a minimum side setback of 5 feet or 10 percent of the lot width, whichever is greater. The property measures approximately 205 feet, requiring side setbacks from the north and south property line of 20 feet and 6 inches. The project will be comprised of six detached dwelling units along Ivanhoe Avenue and four duplex buildings along the alley. This development pattern creates see-throughs between each structure and provides a consistent setback pattern through the Ivanhoe Avenue frontage and with the adjacent property to the south and north, consistent with the single-family and multi-family development in the immediate neighborhood. Therefore, the deviation is appropriate and will result in a more desirable project that efficiently utilizes the site and while meeting the purpose and intent of the development regulations of the LDC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Coastal Development Permit No. 793182 and Site Development Permit No. 936015 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 793182 and No. 936015, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: January 26, 2012

Internal Order No. 24001236

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24001236

COASTAL DEVELOPMENT PERMIT NO. 793182
 SITE DEVELOPMENT PERMIT NO. 936015
THE HERITAGE ON IVANHOE - PROJECT NO. 222657
 PLANNING COMMISSION

This Coastal Development Permit No. 793182 and Site Development Permit No. 936015 is granted by the Planning Commission of the City of San Diego to HERITAGE ON IVANHOE, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 126.0708. The 0.72-acre site is located at 7714-7742 Ivanhoe Avenue in the RM-3-7 Zone within the La Jolla Community Plan Area, Coastal Overlay Zone (Non-Appealable Area 2), Coastal Height Limitation Overlay Zone, Parking Impact Overlay Zones (Coastal), Residential Tandem Parking Overlay Zone, and Transit Area Overlay Zone. The project site is legally described as: Lots 3, 4 and 5 of Copley Subdivision, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 5426, filed in the Office of the County Recorder of San Diego County, July 22, 1964.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a 14 unit (for rent) residential development complex; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 26, 2012, on file in the Development Services Department.

The project shall include:

- a. The demolition of five of the eight existing single-dwelling units and subsequent construction of 11 residential units on the 0.72-acre site. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from a named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the

historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The total final dwelling count will be 14 (for rent) dwelling units (1 four-bedroom, 1 two-bedroom and 12 three-bedroom units);

- b. A deviation from SDMC Section 131.0443(f)(2)(A) to allow for a 5-foot standard side yard setback where a 5-foot or 10-percent (24-feet 6-inches) of the lot width, whichever is greater, is the standard requirement;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50-percent of the project's projected energy consumption; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **February 9, 2015**.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the

event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of a Certificate of Occupancy, the Owner/Permittee shall assure by permit and bond the closure of the existing non-utilized driveways, on Ivanhoe Avenue, with City standard curb, gutter and sidewalk, satisfactory to the City Engineer.

13. Prior to the issuance of a Certificate of Occupancy, the Owner/Permittee shall assure by permit and bond the replacement of the damaged sidewalk with the same scoring pattern City standard sidewalk, adjacent to the project site on Ivanhoe Avenue, per Standard Drawings G-7 and G-9, satisfactory to the City Engineer.

14. Prior to the issuance of a Certificate of Occupancy, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb with City standard curb and gutter, along the entire project frontage on Ivanhoe Avenue, per Standard Drawings G-2 and SDG-100, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.

19. Prior to foundation inspection, the applicant shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

20. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

21. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall take into account a 40 sq-ft area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

22. In the event that a foundation only permit is requested by the Permittee or subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

23. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

24. Prior to issuance of any construction permits for buildings a water budget shall be provided in accordance with the Water Conservation Requirements-Section 142.0413, Table 142-04I. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual. The Irrigation audit shall certify that all plants, irrigation systems, and landscape features have been installed and operate as approved by the Development Services Department prior to occupancy of use.

25. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

26. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
27. The Permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.
28. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/HISTORICAL RESOURCES REQUIREMENTS:

29. Prior to the issuance of any building permit(s) for current and future improvements to the single-dwelling unit at 7736 Ivanhoe Avenue, the Owner/Permittee shall submit the construction documents to the Historical Resource Division within the Development Services Department for review. The construction documents shall show all proposed improvements and shall be consistent with the Secretary of Interior Standards due to the historic nature of the structure.

PLANNING/DESIGN REQUIREMENTS:

30. The Owner/Permittee shall maintain a minimum of 28 automobile spaces (29 provided) and 2 motorcycle spaces off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." On-site parking spaces and aisle widths shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.
31. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption.
32. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
33. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as a condition of approval of this Permit. Where there is a conflict between a condition (including exhibits) of this Permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations. Where a condition (including exhibits) of this Permit

establishes a provision which is more restrictive than the corresponding regulation of the underlying zone, then the condition shall prevail.

34. Any future requested amendment to this Permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.

35. Prior to the issuance of building permits, construction documents shall show that all residential structures comply with the Coastal "Prop D" Height Limit of 30 feet.

36. The height(s) of the buildings(s) or structures shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this Permit.

37. All fences and retaining walls shall comply with the San Diego Municipal Code Section 142.0301.

38. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

39. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

TRANSPORTATION REQUIREMENTS

40. The Owner/Permittee shall maintain a minimum of 28 automobile spaces (29 provided) and 2 motorcycle off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." On-site parking spaces and aisle widths shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

41. The Owner/Permittee shall provide and maintain a 10-foot visibility triangle area along the property line on both sides of the project's main entrance on Flint Lane. No obstacles higher than 36-inches shall be located within this visibility area (e.g. landscape, hardscape, walls, shrubs, etc.).

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

42. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

43. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities, if required shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

44. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, if required in accordance with established criteria in the current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on January 26, 2012 and [Approved Resolution Number].

Permit Type/PTS Approval No.: CDP No. 793182 &
SDP No. 936015
Date of Approval: January 26, 2012

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

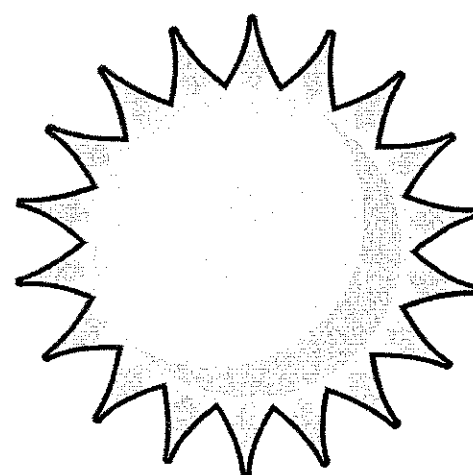
HERITAGE ON IVANHOE, LLC,
a California Limited Liability Company
Owner/Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

THE HERITAGE ON IVANHOE

7714 - 7736 IVANHOE AVENUE, LA JOLLA, CA 92037



A SUSTAINABLE PROJECT

RESUBMITTED FOR COASTAL DEVELOPMENT PERMIT & SITE DEVELOPMENT PERMIT

NOVEMBER 3, 2011

Prepared By:

Revision 1: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Original Date: 08-24-11

Project Name:
The Heritage on Ivanhoe

Sheet 1 of 26

Sheet Title:
COVER SHEET

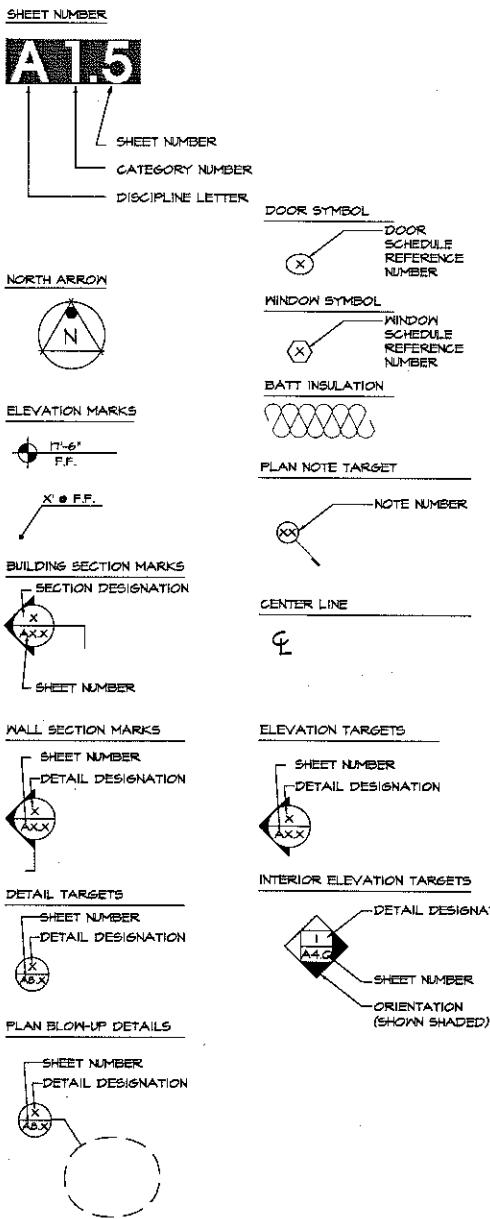
THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037



ABBREVIATIONS

Table of abbreviations for construction terms, including ACOUS., ACZ.T., ADJ., A.F.F., A.G.G., ALUM., ALT., A.P., APPROX., ARCH., ASPH., ASST., AUTO., BD., BLDG., BOT., B.U.R., CAB., CIRC., C.L., C.L.R., C.L.S., C.L.O., C.M.U., COL., CONC., CONF., CONN., CONSTR., CONT., CONTR., COORD., CORR., C.P.T., C.J., C.T., CTR., C.M., DBL., DEMO., DEPT., DIA., DIAS., DIFF., DIM., DIV., DN., D.P., DR., DTL., E., EA., ELAS., ELEC., ELEV., EMER., ENCL., ENGR., ENT., E.J., E.P.N.L., EQ., EQUIP., E.M.C., EXH., EXST., EXP., EXT., F.D., FDN., F.E., F.F., F.H.C., FIN., FL., FLEX., FLOOR., FRN., FURR., FUT., G.A., GALV., GEN., GL., GND., GR., GYP. BD., H.C., HOPD., H.M., HORZ., HR., HT., HTS., H.V.A.C., H.M., IN., INCAND., INCL., INSUL., INT., INTERM., JAN., J.T., KIT., LAM., LAIN., LAV., LB(S), L.P., LT., MACH., MAINT., MAS., MATL., MAX., MECH., MEMB., MEZZ., MFR., MIN., MISG., M.O., MOV., MTD., METAL, MILLION, N., N.I.C., NOM., N.T.S., O.A., O.C., O.P.D., OFF., O.H., O.P.N., O.P.P., PAV., P.C., P.L., P.LAM., PLAS., PLBS., PLND., PNT., PNL., POL., PROP., P.S.F., P.S.I., PTD., P.TN., P.T., QTY., R., RECF., REINF., R.O.A.L., RAD., R.B., R.C.P., R.D., REG., REF., REFR., REIN.F., REQD., RESL., REV., RFS., RM., R.O., S., SAN, SCHED., SECT., SECRTY., S.F., SHR., SHT., SIM., SL., S.P., SPEC., SPCR., SQ., S.S.T., STA., STL., STOR., STRUC., SUSP., SYM., T., T.O., T.A.B., T.A.G., TEL., TEMP., TER., THK., TLT., TOPO., T.V., TYP., UNEXC., UNF., UNO., UTL., VAC., V.C.T., VENT., VERT., VEST., V.I.F., VOL., V.T., N., NEST, M.C., M.D., M.F., M.H., M.N., M.M., M.P.P.S., M.T., M.W.F., YD.

SYMBOLS



PROJECT TEAM

OWNER: HERITAGE ON IVANHOE, LLC 4641 INGRAM STREET SAN DIEGO, CA 92104 P. 619-231-9905
ARCHITECT: JOHN HANNA + ASSOCIATES CONTACT: JOHN HANNA 1785 SMALLMOUNT ROAD ENCINITAS, CA 92024 P. 858-254-1667
SURVEYOR: SAN DIEGO LAND SURVEYING AND ENGINEERING, INC. CONTACT: ROBERT BATEMAN 9665 CHESAPEAKE DRIVE, SUITE 445 SAN DIEGO, CA 92123 P. 658-565-8562
LANDSCAPE ARCHITECT: JOHN HANNA + ASSOCIATES CONTACT: JOHN HANNA 1785 SMALLMOUNT ROAD ENCINITAS, CA 92024 P. 858-254-1667
CIVIL ENGINEER: SAN DIEGO LAND SURVEYING AND ENGINEERING, INC. CONTACT: ROBERT BATEMAN 9665 CHESAPEAKE DRIVE, SUITE 445 SAN DIEGO, CA 92123 P. 658-565-8562

PROJECT DATA

ASSESSORS PARCEL NUMBERS: 850-892-21, 850-892-22, 850-892-23
SCOPE OF WORK: PRESERVE AND EXPAND 2 EXISTING SINGLE-FAMILY HOUSES FACING IVANHOE AVENUE (T136 & T140 IVANHOE), RELOCATE A 3RD SINGLE-FAMILY HOUSE (T122 IVANHOE) FROM FLINT LANE (NAMED ALLEY) TO IVANHOE AVENUE AND EXPAND; CONSTRUCT 8 NEW 2-STORY + BASEMENT SINGLE-FAMILY HOUSES FACING IVANHOE AVENUE; CONSTRUCT 4 NEW 3-STORY DUPLEXES ABUTTING FLINT LANE (NAMED ALLEY); INSTALL NEW HARDSCAPE AND LANDSCAPE.
SITE ADDRESS: T114 - T136 IVANHOE AVENUE LA JOLLA, CA 92031
LEGAL DESCRIPTION: LOTS 3, 4, AND 5 OF COFLEY SUBDIVISION IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5426 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JULY 22, 1964.
LOT ZONING: RM-3-T
OVERLAYS: COASTAL HEIGHT LIMIT (PROP. D), COASTAL OVERLAY (NON-APPEALABLE AREA 2), COASTAL PARKING IMPACT, RESIDENTIAL TANDEM PARKING, TRANSIT AREA (NOTE: THE PROJECT IS NOT LOCATED WITHIN THE 'BEACH PARKING IMPACT AREA')
GOVERNING CODES: 2010 CBC, CEC, CFC, CMC, CPC, 2001 EES, GCR TITLE 14
OCCUPANCY: R-3
EXISTING LOT USE: SINGLE-FAMILY RESIDENCES, PRIVATE DETACHED GARAGES, & SURFACE PARKING
PROPOSED LOT USE: SINGLE-FAMILY RESIDENCES, DUPLEXES, & ENCLOSED PRIVATE GARAGES ATTACHED TO EACH UNIT
SEISMIC SAFETY STUDY: ZONE 52 (NOT EARTHQUAKE FAULT BUFFER)
EXISTING SOIL CONDITION: PREVIOUSLY GRADED AND DISTURBED

SHEET INDEX

Table listing sheet numbers and titles: T1.0 COVER SHEET, T1.1 PROJECT DATA & LEGEND, T1.2 GENERAL NOTES, CIVIL, C1 TOPOGRAPHIC SURVEY, C2 CONCEPTUAL GRADING PLAN, ARCHITECTURAL, D1 DEMOLITION SITE PLAN, A0.0 PROPOSED SITE PLAN, A0.1 BUILDING HEIGHT DIAGRAMS, A1.0 UNIT A1 FLOOR PLANS, A1.1 UNIT B1 FLOOR PLANS - 1ST FLOOR, A1.2 UNIT B1 FLOOR PLANS - 2ND FLOOR, A1.3 UNIT B1 FLOOR PLANS - ROOF & SCHEDULES, A1.4 UNIT C1, C2, & C3 FLOOR PLANS, A1.5 UNIT D1 FLOOR PLANS, A1.6 UNITS E1 + E2, E1-R + E2-R FLOOR PLANS, A1.7 UNITS E3 + E4, E3-R + E4-R FLOOR PLANS, A2.0 EXTERIOR ELEVATIONS, A2.1 EXTERIOR ELEVATIONS, A2.2 EXTERIOR ELEVATIONS, A2.3 UNIT B1 EAST ELEVATIONS, A2.4 UNIT B1 SOUTH ELEVATIONS, A2.5 UNIT B1 WEST ELEVATIONS, A2.6 UNIT B1 NORTH ELEVATIONS, A3.0 SITE SECTIONS, A4.0 UNIT B1 DETAILS, LANDSCAPE, L-1 LANDSCAPE DEVELOPMENT PLAN

PROPOSED DEVIATIONS

1. A DEVIATION FROM SAN DIEGO MUNICIPAL CODE (SDMC) SECTION 13.0448(1)(2)(A) FOR STANDARD SIDE YARD SETBACKS IN THE RM-3-T ZONE. SETBACK DEVIATION IS FOR 5'-0" WHERE 5'-0" OR 10% OF THE LOT WIDTH, WHICHEVER IS GREATER, IS THE STANDARD REQUIREMENT.

BUILDING DATA

CONSTRUCTION TYPE: VB - SPRINKLERED
NUMBER OF STORIES: 3
NUMBER OF DWELLING UNITS: 14
LOT SIZE: 3,427 S.F.
ALLOWABLE F.A.R.: 1.80
ALLOWABLE SQUARE FOOTAGE: 56,561 S.F.
ALLOWABLE LIVING AREA (PER S.D.M.C. SECTION 13.0446(1)): 37,712 (2/3 ALLOWABLE)
PROPOSED F.A.R.: 1.14
PROPOSED TOTAL SQUARE FOOTAGE: 51,441 S.F. (SEE TABLE BELOW)
PROPOSED LIVING AREA: 30,481 S.F. (37,712 S.F. ALLOWED)

Table comparing allowable and proposed lot coverage, building height, and living area.

GENERAL PLAN DEVELOPMENT GOALS

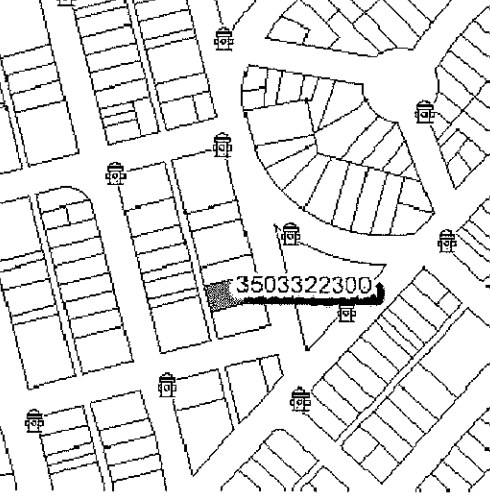
- THE PROPOSED PROJECT RECOGNIZES THE GOALS OF THE CONSERVATION ELEMENT OF THE CITY OF SAN DIEGO'S GENERAL PLAN.
IN AN EFFORT TO REACH THESE GOALS, THE PROJECT WILL EMPLOY THE FOLLOWING:
- SOLAR PHOTOVOLTAIC SYSTEM FOR GENERATING POWER ON SITE
- HIGH EFFICIENCY LIGHTING OR OCCUPANCY SENSORS WHERE APPLICABLE
- 'ENERGY STAR' APPLIANCES
- DUAL PANE LOW-E GLAZING ON ALL NEW WINDOWS
- USE OF LOW V.O.C. PAINTS AND LOW EMITTING ADHESIVES, COATINGS, CARPETS, AND OTHER FINISHES WHERE FEASIBLE
- USE OF ENGINEERED WOOD PRODUCTS WHERE APPLICABLE
- NATURAL COOLING AND VENTILATION WITH OPERABLE WINDOWS
- WATER CONSERVING NATIVE & PEST RESISTANT PLANTS IN LANDSCAPE DESIGN WHERE FEASIBLE
- USE OF PERMEABLE PAVING WHERE FEASIBLE
- USE OF RAIN SENSOR SHUT OFF DEVICES
- HIGH EFFICIENCY IRRIGATION SYSTEM WITH STATE OF THE ART LOW PRECIPITATION RATE SPRINKLER EQUIPMENT
- ELECTRICAL OUTLET ON SEPARATE CIRCUIT IN EACH GARAGE FOR ELECTRIC GAR USAGE

SQUARE FOOTAGE ANALYSIS

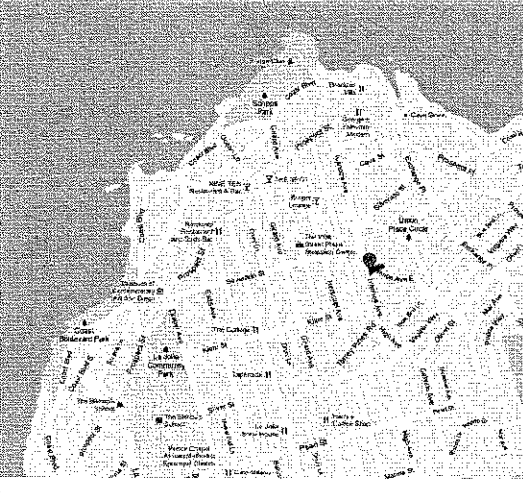
Table showing square footage analysis for units A1 through E8, including 1st floor, 2nd floor, 3rd floor, total living, garage, and decks.

NOTE: IN UNITS C1, C2, AND C3, 502 S.F. OF BASEMENT SQUARE FOOTAGE HAS BEEN EXCLUDED FROM THE SQUARE FOOTAGE CALCULATIONS BECAUSE IT IS MORE THAN 5'-0" BELOW GRADE (PER S.D.M.C. SECTION 13.0234(a)(1)) - SEE SHEETS A1.4 & A3.0

FIRE HYDRANT MAP



VICINITY MAP



PARKING ANALYSIS

Table showing parking analysis for units A1 through E8, including total parking spaces and motorcycle spaces.

Prepared By: [Signature]
Revision 1: X
Revision 2: X
Revision 3: X
Revision 4: X
Revision 5: X
Revision 6: X
Revision 7: X
Revision 8: X
Revision 9: X
Revision 10: X
Revision 11: 11-03-11

Project Addresses: T114 - T136 Ivanhoe Avenue La Jolla, CA 92031
Project Name: The Heritage on Ivanhoe
Original Date: 08-24-11
Sheet 2 of 26

PROJECT DATA & LEGEND

THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037

SPECIAL INSPECTIONS:

GENERAL REQUIREMENTS:

1. THE DESIGNER MUST PROVIDE A COMPLETE AND COMPREHENSIVE LISTING IDENTIFYING IN ONE LOCATION ON THE PLANS ALL WORK REQUIRING SPECIAL INSPECTION. THE LIST MUST BE PROJECT SPECIFIC AND MUST CONFORM TO THE REQUIREMENTS SPECIFIED IN BUILDING MEMORANDUM DS-511. SEE STRUCTURAL DRAWINGS FOR SUMMARY LIST.
2. TWO (2) PROPERLY COMPLETED AND SIGNED COPIES OF THE SPECIAL INSPECTION INSTRUCTIONS MUST BE SUBMITTED AT THE PERMIT SERVICES DIVISION PRIOR TO ISSUANCE OF THE PERMIT.
3. *A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION.*
4. *AN APPLICATION FOR OFF-SITE FABRICATION MUST BE SUBMITTED TO THE FIELD INSPECTION DIVISION FOR APPROVAL PRIOR TO FABRICATION.*
5. *A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE FIELD INSPECTION DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.*

SMOKE DETECTORS:

SINGLE- OR MULTIPLE-STATION SMOKE ALARMS SHALL BE INSTALLED AND MAINTAINED ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS; IN EACH ROOM USED FOR SLEEPING PURPOSES; IN EACH STORY WITHIN A DWELLING UNIT; INCLUDING BASEMENT BUT NOT LIMITED TO CRAWL SPACE AND UNINHABITABLE ATTICS.

IN NEW CONSTRUCTION, REQUIRED SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY SOURCE OF POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH A BATTERY BACK-UP. SMOKE ALARMS SHALL EMIT A SIGNAL WHEN THE BATTERIES ARE LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.

WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.

ROOM REQUIREMENTS:

1. CEILING HEIGHT AT ALL HABITABLE ROOMS (OTHER THAN KITCHENS AND BATHS) SHALL BE A MINIMUM OF 7'-6" (REFER TO PLANS AND SECTIONS FOR ACTUAL CEILING HEIGHTS).
2. CEILING HEIGHT AT ALL KITCHENS, HALLS, CORRIDORS, LAUNDRY ROOMS, AND BATHROOMS SHALL BE A MINIMUM OF 7'-0" CLEAR. (REFER TO PLANS AND SECTIONS FOR ACTUAL CEILING HEIGHTS).
3. GLAZING ADJACENT TO DOORS AND GLAZING IN FIXED PANELS ADJACENT TO WALKING SURFACES MUST BE OF SAFETY GLAZING (TEMPERED GLASS) MATERIALS.
4. PROVIDE SMOKE DETECTORS AT ALL BEDROOMS PER 1997 U.B.C. SECTION 910.4. HARDWIRE ALL SMOKE DETECTORS TO BUILDING ELECTRICAL AT NEW CONSTRUCTION.

MECHANICAL EQUIPMENT:

INSTALLATION MUST COMPLY WITH SECTIONS 904.304, 919 AND 920 OF THE UMC

ARCHITECT IS NOT RESPONSIBLE IN ANY WAY FOR THE SIZING, ROUTING, LAYOUT OR FINAL CONFIGURATION OF THE MECHANICAL SYSTEM. GENERAL CONTRACTOR TO ASSUME ALL LIABILITY & WARRANTY FOR PROVIDING SAID LAYOUT & FUNCTION INCLUDING REQUIRED DROPS & SOFFITS AS REQUIRED.

ELECTRICAL NOTES:

1. FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, SPECIALTIES, TRANSPORTATION, INCLUDING THE COSTS THEREOF, REQUIRED FOR OR INCIDENTAL TO PERFORM ALL OPERATIONS AND INSTALL THE WORK COMPLETE AS AN EXTENSION OF THE EXISTING SYSTEM.
 2. MAKE DETAILED ARRANGEMENTS WITH UTILITY COMPANIES FOR SERVICES, AND PAY ALL FEES AND CHARGES LEVIED BY THEM. NOTIFY UTILITY COMPANIES WHEN WORK UNDER THIS SECTION COMMENCES.
 3. COMPLETE POWER AND LIGHTING BRANCH CIRCUIT WIRING, INCLUDING JUNCTION BOXES, PULL BOXES, OUTLET BOXES, DEVICES, MATERIALS, AND EQUIPMENT FOR A COMPLETE INSTALLATION.
 4. COMPLETE LINE-VOLTAGE WIRING TO AND CONNECTION OF ELECTRICAL EQUIPMENT PROVIDED UNDER OTHER SECTIONS, INCLUDING APPLIANCES, PULL BOXES, OUTLET BOX SWITCHES.
 5. EXCAVATION, COMPACTED BACK FILL, AND CONCRETE WORK TO COMPLETE THE WORK UNDER THIS SECTION.
 6. ALL OUTLETS AND SWITCHES TO BE 'DECORA' TYPE, COLOR BY ARCHITECT.
1. FIELD VERIFY ALL EXISTING CONDITIONS

TITLE 24 LIGHTING NOTES:

- 1) IN THE KITCHEN, AT LEAST ONE-HALF OF THE WATTAGE RATING OF THE FIXTURES MUST BE HIGH EFFICIENCY WITH NON-HIGH EFFICIENCY FIXTURES SWITCHED SEPARATELY. NOTE: APPROXIMATELY 3/4 OF THE FIXTURES WILL BE REQUIRED TO BE OF THE HIGH EFFICIENCY VARIETY.
 - 2) IN THE BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS, ALL FIXTURES MUST BE HIGH EFFICIENCY STYLE OR BE CONTROLLED BY A MANUALLY-ON OCCUPANCY SENSOR.
 - 3) ALL OTHER ROOMS MUST MEET NEW ENERGY REQUIREMENTS AND ALL FIXTURES MUST BE HIGH EFFICIENCY OR BE CONTROLLED BY A MANUALLY-ON OCCUPANCY SENSOR OR DIMMER. (CLOSETS UNDER 70 SQUARE FEET ARE EXEMPT)
 - 4) ALL OUTDOOR LIGHTING FIXTURES MUST BE HIGH EFFICIENCY OR CONTROLLED BY A COMBINATION PHOTOCONTROL/MOTION SENSOR.
- NOTE: GENERALLY A HIGH EFFICIENCY STYLE OF FIXTURE IS FLOUORESCENT COMPLETE WITH ELECTRIC BALLASTS, REGULAR INCANDESCENT, QUARTZ HALOGEN AND HALOGEN MR LAMPS DO NOT COMPLY.

PLUMBING:

1. THE WORK CONSISTS OF A COMPLETE SYSTEM AS AN EXTENSION OF THE EXISTING SYSTEM INCLUDING SERVICE CONNECTIONS, DRAIN-WASTES, VENT, HOT AND COLD WATER, AND GAS LINES. EXCAVATION AND COMPACTED BACK-FILL REQUIRED AND THE INSTALLATION OF ALL FIXTURES, AND TRIM AND APPLIANCES.
2. SEWAGE CONNECTIONS SHALL BE MADE BY THE CONTRACTOR. THE CONTRACTOR SHALL DETERMINE DEPTH AND PROPER SLOPE FOR WASTE LINES PRIOR TO ESTABLISHING FLOOR HEIGHT.
3. MATERIALS SHALL BE STANDARD U.O.N. WATER LINES SHALL BE TYPE K COPPER BELOW GRADE AND TYPE M ABOVE GRADE. WASTE AND VENT SHALL BE ABS/DWV.
4. FIXTURES, TRIM, AND APPLIANCES. THE CONTRACTOR SHALL INSTALL ALL FIXTURES, TRIM AND APPLIANCES TO BE CONNECTED TO THE PLUMBING SYSTEM. THE CONTRACTOR SHALL INSPECT ALL UNITS WHEN DELIVERED TO THE JOB SITE AND REJECT ALL DAMAGED OR INCOMPLETE ITEMS. ALL ACCEPTED UNITS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR UNTIL COMPLETION OF THE JOB.
5. PROVIDE 24" CLEAR (MIN) @ TOILET FRONT & 15" CLEAR (MIN) @ CENTERLINE OF TOILET TO TOILET SIDEWALLS.
6. ALL NEW TOILETS TO BE ULTRA-LOW FLUSH TYPE. (1.6 GAL FLUSH)
7. PROVIDE PERMANENT VACUUM BREAKERS AT AT ALL HOSE BIBS, NEW & EXISTING LOCATIONS TYP.
8. MAXIMUM FLOW AT ALL NEW FAUCETS: 2.2 GAL PER MINUTE (GPM). MAXIMUM FLOW AT ALL NEW SHOWER HEADS: 2.5 GAL PER MINUTE (GPM).
9. PROVIDE MIXING VALVES AT SHOWERS PER SEC. 420.0 OF CFC 2001
10. GAS VENTS AND NON-COMBUSTIBLE PIPING IN WALLS PASSING THROUGH THREE FLOORS OR LESS, SHALL BE EFFECTIVELY DRAFT STOPPED AT EACH FLOOR OR CEILING UBC SECTION 711.3
11. WATER HEATER(S) SHALL COMPLY WITH SEC. 608.3 OF CFC 2001 FOR THERMAL EXPANSION REQUIREMENTS.
12. STATE HEALTH & SAFETY CODE SEC 17921.4 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING.

GENERAL NOTES:

27. ALL PRODUCTS AND MATERIALS REQUIRE SHOP DRAWINGS AND SAMPLE SUBMITTAL FOR ARCHITECTS APPROVAL PRIOR TO INSTALLATION.
28. THE CONTRACTOR AND THEIR SUBCONTRACTORS ARE RESPONSIBLE FOR REVIEWING THE CONTRACT DOCUMENTS IN DETAIL INCLUDING DIMENSIONS FOR THE PURPOSE OF DETERMINING THAT THE WORK CAN BE PERFORMED AS SHOWN PRIOR TO PROCEEDING WITH THE WORK. IF ANY CONFLICTS ARISE, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK IN QUESTION OR WITH RELATED WORK.
29. "TYPICAL" MEANS IDENTICAL FOR ALL SAME CONDITIONS & UNLESS OTHERWISE NOTED. "SIMILAR" MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON THE PLANS.
30. DIMENSIONS ARE TO THE FACE OF STUDS AND/OR CONCRETE BLOCK UNLESS OTHERWISE INDICATED TO BE TO FINISH DIMENSIONS.
31. GENERAL CONTRACTOR TO OBTAIN A CONSTRUCTION PERMIT FROM THE ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO WORKING IN THE PUBLIC RIGHT-OF-WAY. FAILURE TO DO SO WILL RESULT IN ISSUANCE OF A STOP WORK NOTICE AND DOUBLE PERMIT FEES. IT IS THE RESPONSIBILITY OF THE OWNER TO KNOW WHERE HIS/HER PROPERTY LINE IS.
32. UTILITIES EXISTING OR TEMPORARY SHALL BE LOCATED AND MARKED BY THE CONTRACTOR TO AVOID DAMAGE OR PERSONAL INJURY. CONTRACTOR TO PROVIDE ALL TEMPORARY UTILITIES REQUIRED DURING CONSTRUCTION.
33. THE PROJECT AREA AND BUILDING SITE SHALL BE MAINTAINED IN A SAFE CONDITION FREE FROM THE ACCUMULATION OF DEBRIS AND SCRAP MATERIAL.
34. THE HIGHEST PROJECTION OF ANY PART OF THE BUILDING INCLUDING CHIMNEYS, VENTS, TOWERS, ETC. SHALL NOT EXCEED 30' ABOVE GRADE (APPLIES TO PROJECTS WEST OF INTERSTATE 5 ONLY).
35. THE CONTRACTOR SHALL, UPON SUBSTANTIAL COMPLETION, FURNISH THE ARCHITECT AND HIS/HER ENGINEERS WITH 2 CASES OF WINE AS DETERMINED BY THE ARCHITECT.
36. CONTRACTOR TO SUBMIT ALL FINISHES, PRODUCTS, MATERIALS & ELEMENTS TO THE ARCHITECT FOR REVIEW THROUGH A FORMAL SHOP DRAWING PROCEDURE. ANY PRODUCTS, MATERIALS, FINISHES OR ELEMENTS INSTALLED WITHOUT A SHOP DRAWING SUBMITTAL & APPROVAL ARE NOT THE RESPONSIBILITY OF THE ARCHITECT AND THE CONTRACTOR AGREES TO HOLD THE ARCHITECT HARMLESS & INDEMNIFY THE ARCHITECT FROM ANY RESULTANT DAMAGES ARISING FROM THE INSTALLATION OF UNAPPROVED ITEMS.

BIDDING NOTES:

1. THE CONTRACTOR SHALL INSPECT THE PREMISES DURING THE COURSE OF BIDDING AND PRIOR TO THE START OF CONSTRUCTION IN ORDER TO BE FAMILIAR WITH POSSIBLE FIELD CONDITIONS THAT MAY ARISE. SUCH CONDITIONS ARE TO BE REFLECTED AND QUALIFIED IN THE BID.

DEMOLITION NOTES:

1. CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PREVENT DAMAGE TO ADJOINING AREAS, WHERE APPLICABLE.
2. CONTRACTOR TO REFERENCE NEW FLOOR PLANS AND SITE PLANS FOR PRECISE LIMITS OF DEMOLITION. CONSULT ARCHITECT IN AREAS OF UNCERTAINTY OR DISCREPANCY.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACINGS, SHORINGS, AND SUPPORT NECESSARY TO ACHIEVE THE FINISHED STRUCTURE.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS BEFORE STARTING WORK. THE ARCHITECT AND ENGINEER SHALL BE NOTIFIED, IN WRITING, IMMEDIATELY OF ANY DISCREPANCIES. DIMENSIONS SHOULD NOT BE SCALED FROM PLANS, ELEVATIONS, SECTIONS, OR DETAILS OF THESE DRAWINGS.

FIRE DEPT. NOTES:

1. INTERIOR FINISH SHALL COMPLY WITH CODES AS FOLLOWS: U.B.C. CHAPTER 8.
2. BUILDING NUMBERS SHALL BE EASILY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. (U.B.C. SECTION 904.4.4)
3. THE CONSTRUCTION REMODEL, OR DEMOLITION OF A BUILDING SHALL COMPLY WITH U.F.C. ARTICLE 87.

VENTILATION NOTE:

EXHAUST FAN / VENTILATION SYSTEM TO PROVIDE A MINIMUM OF 3 AIR CHANGES PER HOUR - DISCHARGING TO THE EXTERIOR OF THE BUILDING NOT CLOSER THAN 3 FT. FROM ANY EXTERIOR OPENING.

GENERAL NOTES:

1. THE SPECIFICATIONS, UNDER SEPARATE COVER, ARE AN INTEGRAL PART OF THESE CONSTRUCTION DOCUMENTS.
2. THE RECOMMENDATIONS CONTAINED IN THE SOILS REPORT FOR EARTH WORK AND FOUNDATION EXCAVATION ARE A PART OF THIS WORK. A COPY OF THIS REPORT IS AVAILABLE AT THE OFFICE OF THE ARCHITECT.
3. THE CONTRACTOR SHALL, AS PART OF THIS CONTRACT, FURNISH ALL MATERIAL LABOR, TRANSPORTATION AND EQUIPMENT AND PROPERLY INSTALL ALL WORK SPECIFIED HEREIN, SHOWN ON THE DRAWINGS, OR REASONABLY IMPLIED TO COMPLETE THE CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISHING OF HIS WORK IN THE MANNER AND FORM PRESCRIBED BY THE PLANS AND SPECIFICATIONS. REPORT DISCREPANCIES, ERRORS OR OMISSIONS IN THE PLANS AND SPECIFICATIONS PRIOR TO SUBMITTING ANY FINAL BIDS OR COMMENCING WITH ANY WORK.
5. CONTRACTORS ARE TO PROTECT ALL PROPERTY AND THE WORK OF ALL OTHER TRADES AGAINST DAMAGE OR INJURY CAUSED BY ACTIVITY OF ANOTHER SUBCONTRACTOR OR GENERAL CONTRACTOR. ANY DISCREPANCIES WITH OTHER TRADES WORK SHALL BE REPORTED TO THE GENERAL CONTRACTOR AND THE ARCHITECT PRIOR TO COMMENCING ANY WORK.
6. ALL CONSTRUCTION AND INSTALLATIONS SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL, CODES AND REGULATIONS WHICH GOVERN THIS TYPE OF CONSTRUCTION. THIS INCLUDES, BUT IS IN NO WAY LIMITED TO, THE CURRENT ADOPTED EDITION OF THE UNIFORM BUILDING CODE (1997 EDITION), UNIFORM PLUMBING CODE, NATIONAL ELECTRICAL CODE AND TITLE 24.
7. CONTRACTORS SHALL INDIVIDUALLY WARRANT FOR ONE YEAR ALL MATERIALS AND WORKMANSHIP EXCEPT AS OTHERWISE NOTED.
8. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS. DO NOT SCALE DRAWINGS. THE CONTRACTOR IS TO IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN THE DRAWINGS PRIOR TO STARTING ANY PORTION OF WORK.
9. WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK OR FOR MANUFACTURER'S STANDARD DETAILS AND INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
10. ITEMS SPECIFIED ON PLANS AND SPECIFICATIONS REPRESENT THE TYPE AND QUALITY REQUIRED. SUBCONTRACTORS MAY SUBSTITUTE "EQUAL" ITEMS IN THEIR BID WHEN APPROVED IN WRITING BY THE OWNER AND ARCHITECT.
11. CONTRACTOR SHALL, UPON COMPLETION OF HIS WORK, CLEAN AND CLEAR THE ENTIRE AREA OF ALL DEBRIS OR ANY OTHER MATERIAL CAUSED BY HIS OPERATION.
12. THE OWNER RESERVES THE RIGHT TO CHANGE, INCREASE OR REDUCE THE SCOPE OF THIS WORK. ALL CHANGES TO THIS CONTRACT SHALL BE ROUTED THROUGH THE ARCHITECT.
13. CONTRACTOR SHALL NOT MAKE CHANGES OR DO ANY EXTRA WORK WITHOUT WRITTEN AUTHORIZATION FROM THE OWNER OR HIS AUTHORIZED REPRESENTATIVE.
14. THE ARCHITECT SHALL IN NO WAY BE RESPONSIBLE FOR HOW THE FIELD WORK IS PERFORMED IN OR AROUND THE JOB SITE OR FOR METHODS OR TIMELINES OF PERFORMANCE OF THE WORK.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OR REPAIR, WITHOUT DAMAGE, OF ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES ENCOUNTERED IN AREAS WHERE EXCAVATIONS ARE NECESSARY AND SHALL REPAIR ANY SUCH DAMAGE AT HIS OWN EXPENSE. UTILITY LINES SHALL BE PROPERLY PROTECTED WHERE THEY MUST BE MAINTAINED UNDER A BUILDING.
17. THESE DRAWINGS ARE ISSUED AS A SET AND ARE NOT TO BE SEPARATED.
18. ALL CONSTRUCTION SHALL CONFORM WITH THE BUILDING DEPARTMENT STAMPED AND APPROVED SET OF DRAWINGS.
19. THE "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" STANDARD FORM OF THE AMERICAN INSTITUTE OF ARCHITECTS, LATEST EDITION, IS HEREBY MADE A PART OF THESE DRAWINGS.
20. THE CONTRACTOR IS TO MAINTAIN ALL EXISTING CONDITIONS IN A WATERPROOF AND PROTECTED STATE DURING THE COURSE OF DEMOLITION AND ALL REPAIR AND CONSTRUCTION WORK.
21. ALL FASTENERS ON THIS PROJECT ARE TO BE CORROSION RESISTANT, I.E. GALVANIZED STAINLESS STEEL OR EQUAL.
22. SMOKE DETECTORS SHALL BE INSTALLED PER THE REQUIREMENTS OF THE CURRENT EDITION OF THE UNIFORM BUILDING CODE IN ANY ROOM AS REQUIRED PER THE CODE.
23. ALL SHEET METAL AND GUTTER INSTALLATIONS SHALL COMPLY WITH THE LATEST EDITIONS OF THE S.M.A.C.N.A. ARCHITECTURAL SHEET METAL MANUAL.
24. ALL SHEET METAL FLASHING MATERIALS ARE TO BE PREPARED (ETCHING) AND PRIMED ON ALL SURFACES PRIOR TO INSTALLATION. TWO COATS OF PAINT ARE TO BE APPLIED TO ALL SURFACES. PROVIDE JOB TOUCHUP PRIOR TO INSTALLATION OF ANY METAL PIECES ON WHICH PRIMER IS SCRATCHED DUE TO TRANSPORTATION OR JOB CONDITIONS.
25. ALL SURFACES, JOINTS, EDGES AND PLANES ARE TO BE MAINTAINED AND COMPLETED IN A WATERTIGHT MANNER. SHOULD THE CONTRACTOR DISCOVER OR HAVE KNOWLEDGE OF ANY DETAIL OR CONDITION THAT MAY NOT BE WATERTIGHT OR COMPETENT, THE CONDITION SHOULD BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR REVIEW AND ANY RECOMMENDATIONS.
26. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCY OR VARIATION FROM THE PROPOSED DRAWINGS OR THE ORIGINAL CONSTRUCTION DOCUMENTS THAT WOULD AFFECT THE PERFORMANCE OR INSTALLATION OF ANY TYPICAL OR SIMILAR CONSTRUCTION DETAIL.

Prepared By:

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Project Name:
The Heritage on Ivanhoe

Sheet Title:

GENERAL NOTES

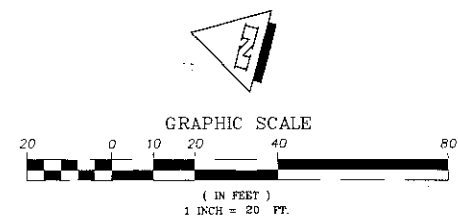
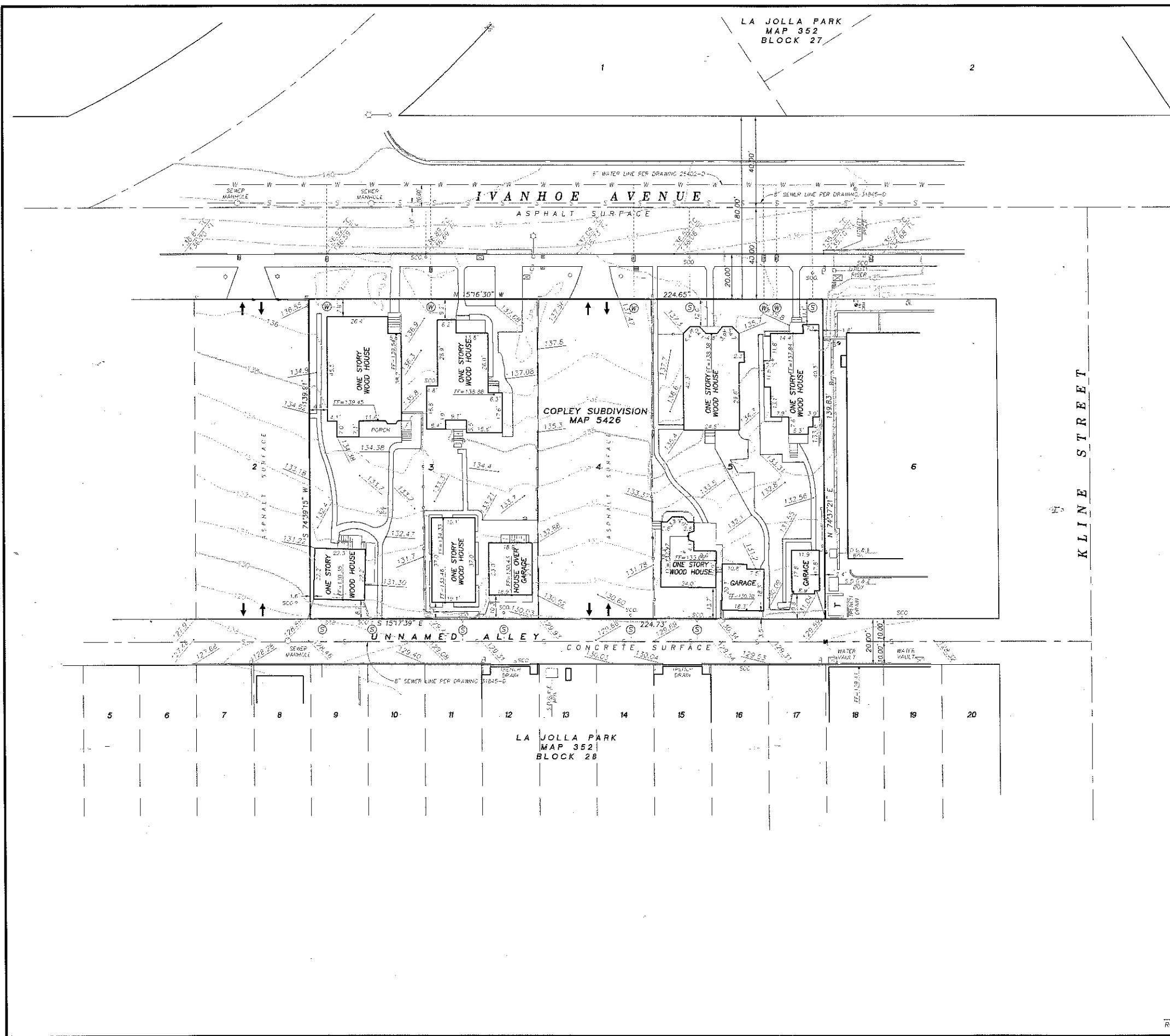
- Revision 7: X
- Revision 6: X
- Revision 5: X
- Revision 4: X
- Revision 3: X
- Revision 2: X
- Revision 1: 11-03-11

Original Date: 08-24-11

Sheet 3 Of 26

THE HERITAGE ON IVANHOE

7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037



- LEGEND:**
- INDICATES UTILITY POLE
 - ⊕ INDICATES UTILITY POLE ANCHOR
 - ⊠ INDICATES WATER METER
 - SC.O. INDICATES SEWER CLEAN OUT
 - ⊕ INDICATES DRAIN INLET
 - ⊙ INDICATES STREET LIGHT
 - ⊙ INDICATES LIGHT POLE
 - ⊕ INDICATES FIRE DEPARTMENT CONNECTION
 - ⊕ INDICATES POST INDICATOR VALVE
 - ⊕ INDICATES FIRE HYDRANT
 - ⊠ INDICATES ELECTRIC VAULT, EXCEPT AS NOTED.
 - T INDICATES TRASH ENCLOSURE
 - ⊕ INDICATES WATER SERVICE
 - ⊕ INDICATES SEWER SERVICE
 - ⊕ INDICATES WOOD FENCE
 - ⊕ INDICATES BLOCK WALL

LEGAL DESCRIPTION:

LOTS 3, 4 AND 5 OF COPLEY SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5426, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 22, 1964.

PROPERTY AREA:

31,427 SQUARE FEET / 0.721 ACRE

EASEMENT NOTES:

1. AN EASEMENT GRANTED TO SAN DIEGO GAS AND ELECTRIC FOR UTILITIES AND ACCESS, RECORDED DECEMBER 20, 1940 IN BOOK 1106, PAGE 377 OF OFFICIAL RECORDS. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED OF RECORD AND THEREFORE COULD NOT BE PLOTTED.
2. AN EASEMENT FOR SIDEWALK PURPOSES, PER DOCUMENTS RECORDED MAY 28, 1962 AS INSTRUMENT NO. 90452 AND JULY 13, 1962 PER INSTRUMENT NO. 119260 AND 119261 ALL OF OFFICIAL RECORDS.

BENCH MARK:

CITY OF SAN DIEGO BENCH MARK. BRASS PLUG AT THE NORTHWEST CORNER OF IVANHOE AVENUE AND SILVERADO STREET. ELEVATION = 129.26 M.S.L.

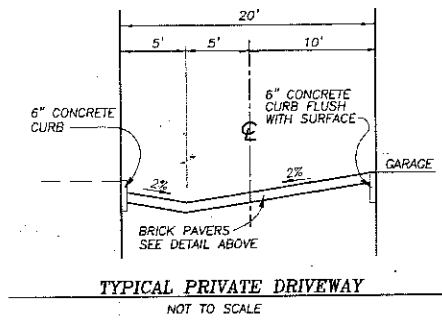
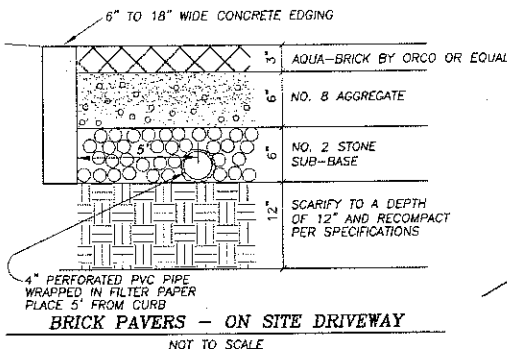
Sheet 4 of 26 **C1**



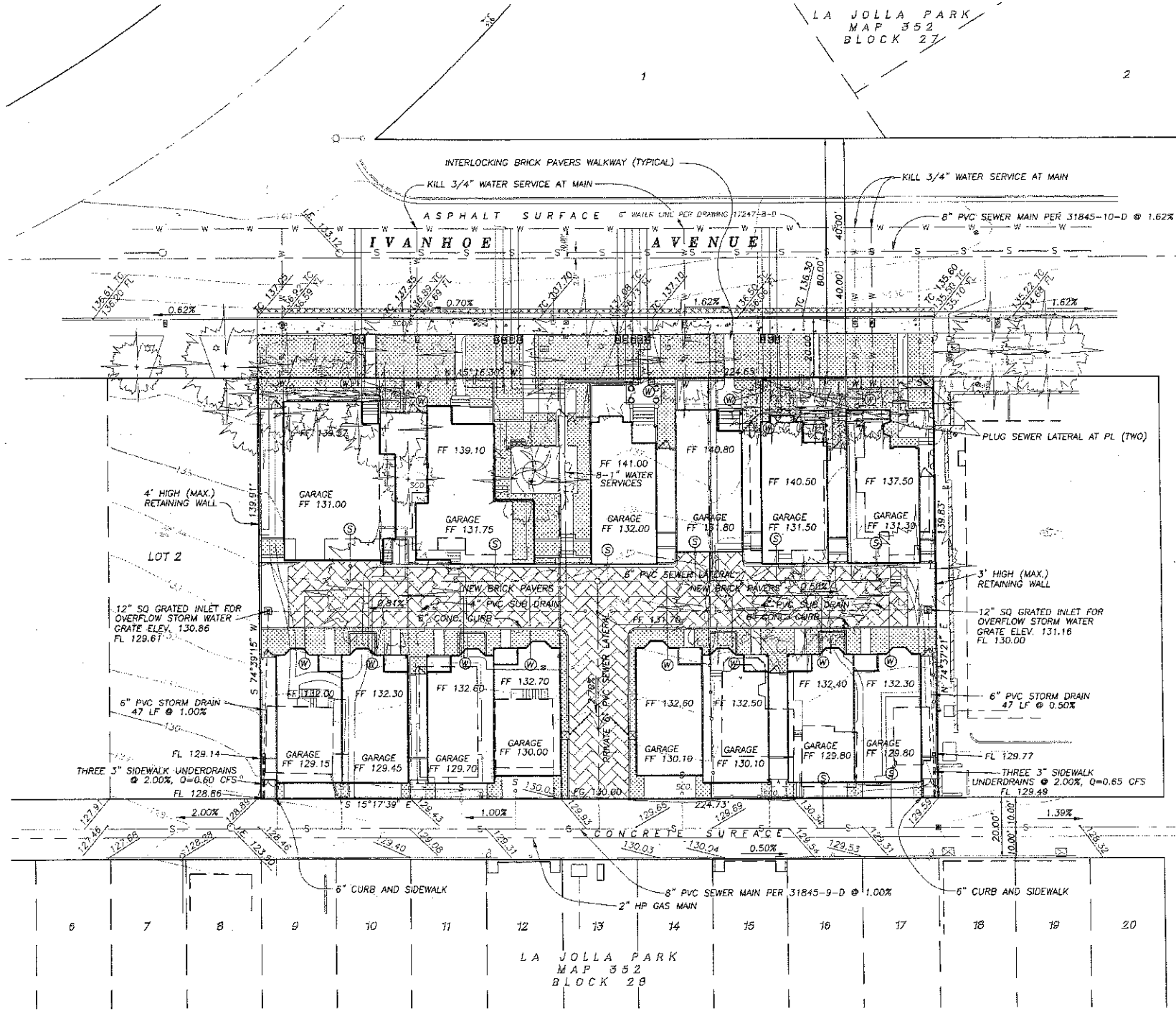
TOPOGRAPHICAL SURVEY		
For the exclusive use of: KD DEVELOPMENT, INC. 4641 INGRAMHAM STREET SAN DIEGO, CALIFORNIA 92109		
San Diego Land Surveying & Engineering, Inc.		
9665 Chesapeake Drive, Suite 445, San Diego, California 92123-1364 Phone: (619) 565-8362 Fax: (619) 565-4354		
Date: 08-18-2011	Revised:	Revised:
Scale: 1"=20'	Drawn by: G.H.G.	Sheet 1 of 1 Sheet
Drawing: Ivanhoe Ave 7700 Topo		A.P.N. 350-332-21

7700 IVANHOE AVENUE

CONCEPTUAL GRADING PLAN



- NOTE:**
- EXISTING BUS/TRANSIT STOPS ARE ADJACENT TO THIS SITE.
 - PRIVATE IMPROVEMENTS CONSIST OF RESTORING THREE EXISTING UNITS AND THE CONSTRUCTION OF 11 NEW UNITS, LANDSCAPING AND IRRIGATION PIPES, MINOR GRADING AND THE CONSTRUCTION OF PERIMETER RETAINING WALLS.
 - PUBLIC IMPROVEMENTS CONSIST OF NEW CURB GUTTER AND SIDEWALK, 14 NEW 1" WATER SERVICES AND 5 KILL EXISTING 3/4" WATER SERVICES, 8 NEW PRIVATE 4" SEWER LATERALS AND PRIVATE 6" COLLECTION LATERAL AND PLUG 2 EXISTING 4" SEWER LATERALS, CLOSING CURB CUT, TRENCH RESURFACING IN THE ALLEY AND IVANHOE AVENUE, AND UNDERGROUND UTILITIES.
 - DRAINAGE SYSTEM PROPOSED FOR THIS SITE: STORM WATER WILL PERCOLATE THROUGH BRICK PAVERS AND LANDSCAPED AREAS BEFORE SHEET FLOWING TO THE PUBLIC ALLEY OR MANHOLE STREET, OR COLLECTED IN THE SUB-DRAIN LOCATED IN THE PRIVATE DRIVE WHICH DISCHARGES VIA SIDEWALK UNDERDRAINS TO THE PUBLIC ALLEY. INLETS ARE PROVIDED TO INTERCEPT OVER FLOWS FROM THE BRICK PAVERS.
 - ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK.
 - NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN TEN FEET OF ANY WATER AND SEWER FACILITIES.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 - THE OWNER SHALL RECORD AN ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT FOR THE INTERLOCKING BRICK PAVEMENTS AND PRIVATE 6" SEWER LATERAL WITHIN THE PUBLIC STREET OR ALLEY RIGHT OF WAY.

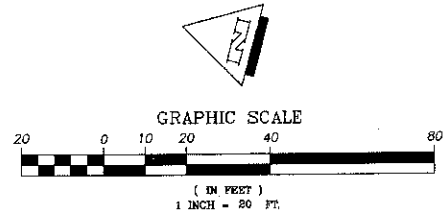


LEGEND:

PROPERTY LINE	---
BUILDING PAD	---
AC PAVING	---
PCC CURB AND GUTTER PER G-2	---
PCC SIDEWALK PER G-7	---
PERVIOUS BRICK PAVERS - BMP	---
LANDSCAPED AREA - BMP	---
DIRECTION OF DRAINAGE	---
PRIVATE STORM SUB-DRAIN / STORM DRAIN	---
EXISTING SEWER LATERAL	S
NEW 4" SEWER LATERAL	④
EXISTING 3/4" WATER SERVICE, KILL AT MAIN	W
NEW 1" WATER SERVICE	①
SEWER CLEAN OUT	⊙
EXISTING BUILDING	---
EXISTING ELECTRIC VAULT	⊕
EXISTING WOOD FENCE	---
EXISTING PUBLIC STREET LIGHT	---
EXISTING PRIVATE YARD LIGHT	---
EXISTING POWER POLE	---
EXISTING FIRE HYDRANT	---
EXISTING WALL	---
EXISTING WATER METER	---
EXISTING STREET TREE	---

TC = TOP OF CURB NG = NATURAL GRADE CUT = GUTTER ELEVATION
 TP = TOP OF PAVING FF = FINISH FLOOR GRT = GRATE ELEVATION
 TW = TOP OF WALL FG = FINISH GRADE SCC = SEWER CLEAN OUT
 BW = BOTTOM OF WALL FL = FLOW LINE SMH = SEWER MANHOLE

ENGINEER OF WORK:
 SAN DIEGO LAND SURVEYING & ENGINEERING, INC.
 9665 CHESAPEAKE DRIVE, SUITE 445
 SAN DIEGO, CALIFORNIA 92123 (858) 565-8362
 PROJECT NO. 339-332-21
 DWG. NO. IVANHOE AVE 7700 CGP-01.DWG
 11-01-2011
 MICHAEL L. SMITH, R.C.E. 35471 DATE
 REGISTRATION EXPIRES SEPTEMBER 30, 2013



GRADING TABULATION: TOTAL SITE AREA 31,427 SF / 0.7215 ACRES

ITEM	AREA	%
TOTAL AMOUNT OF SITE TO BE GRADED	27,027 SF	86.0%
AMOUNT OF SITE WITH 25 PERCENT SLOPE OR >	0 SF	0.0%
AMOUNT OF SITE WITH SLOPES SUBJECT TO ESL	0 SF	0.0%

GRADING OUTSIDE OF BUILDING ENVELOPE:

AMOUNT OF FILL	0 CY	AMOUNT OF CUT =	1,420 CY
MAX. DEPTH OF FILL	0 FT	MAX. DEPTH OF CUT	4 FT
MAX. HEIGHT OF FILL SLOPE	0 FT	MAX. HEIGHT OF CUT SLOPE	0 FT

EXPORT SOIL = 1,420 CY

FREE STANDING RETAINING WALLS LENGTH 290' MAX HEIGHT 4'

Prepared By:
 SAN DIEGO LAND SURVEYING AND ENGINEERING, INC.
 9665 CHESAPEAKE DRIVE, SUITE 445
 SAN DIEGO, CA 92123
 858-565-8362

Consultants:
 Landscape Architect:
 JOHN HANNA + ASSOCIATES
 1735 SMALLWOOD ROAD
 ENCINITAS, CA 92024
 858-258-1967 FAX 858-369-5611

Soils Engineer:
 NAME
 ADDRESS
 ADDRESS
 PHONE AND FAX

Benchmark:
 CITY OF SAN DIEGO BENCH MARK BRASS PLUG AT THE NORTHWEST CORNER OF IVANHOE AVENUE AND SILVERADO STREET.
 ELEVATION = 129.26 M.S.L.

Project Legal Description:
 LOTS 3, 4 AND 5 OF COPLEY SUBDIVISION, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 5426, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY JULY 22, 1964.

Project Name:
 7700 IVANHOE AVENUE

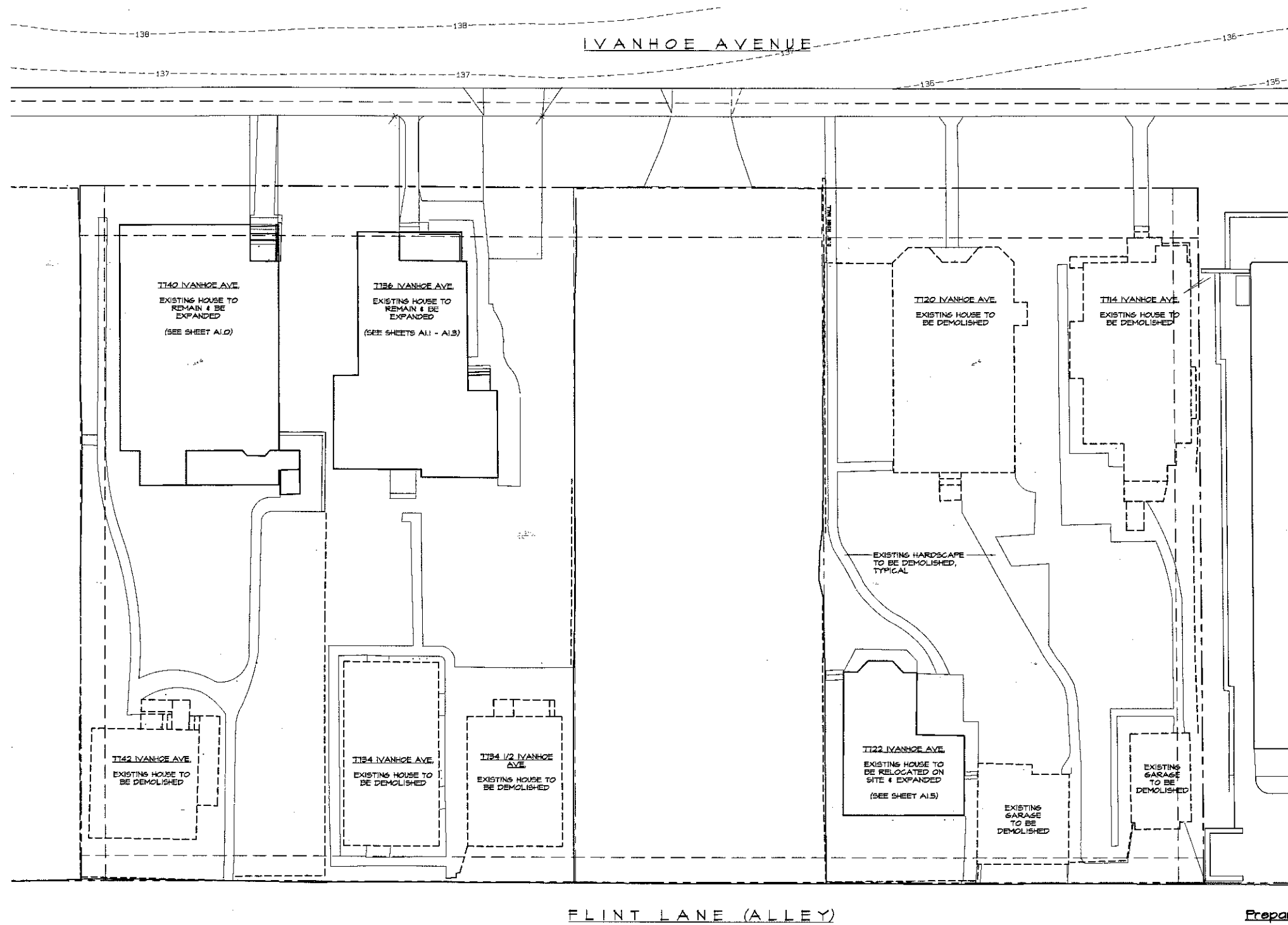
Project Address:
 7700 Ivanhoe Avenue
 San Diego, Ca 92037
 A.P.N. 350-332-21

Project Owner:
 Copley Press Inc.

Scale:
 1" = 20'
 Original Date: AUGUST 23, 2011
 Revised: OCT. 26, 2011

Sheet Title:
CONCEPTUAL GRADING PLAN

Sheet 5 of 26



THE HERITAGE ON IVANHOE
 7714 - 7736 IVANHOE AVENUE
 LA JOLLA, CA 92037

Prepared By:

- Revision 7: X
- Revision 6: X
- Revision 5: X
- Revision 4: X
- Revision 3: X
- Revision 2: X
- Revision 1: 11-03-11

Project Addresses:
 7714 - 7736 Ivanhoe Avenue
 La Jolla, CA 92037

Original Date: 08-24-11

Project Name:
 The Heritage on Ivanhoe

Sheet 6 Of 26

DEMOLITION SITE PLAN

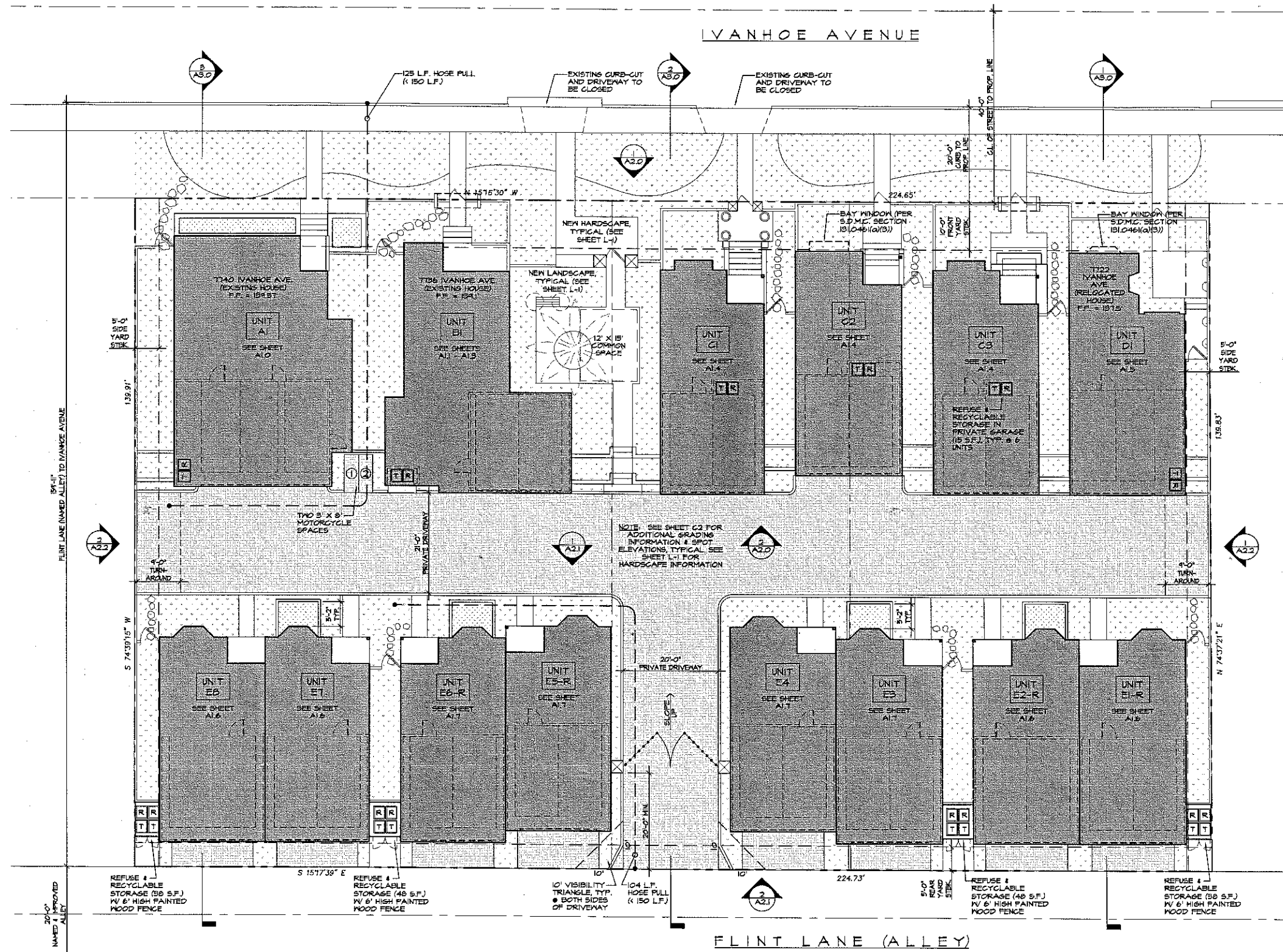
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Sheet Title: **DEMOLITION SITE PLAN**



DATE: 11-03-11

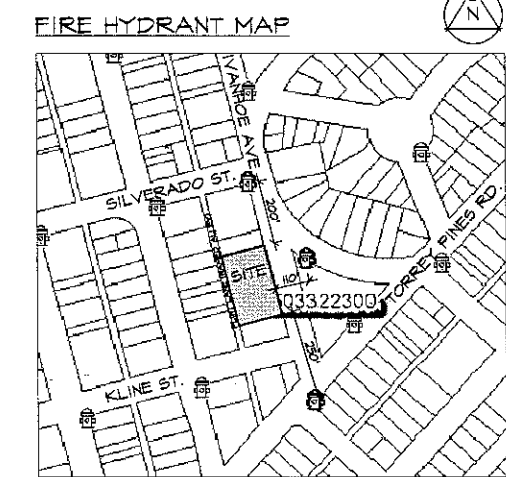


LEGEND

- BUILDING FOOTPRINT (SEE SHEETS A1.0 - A1.7)
- PRIVATE DRIVEWAY (SEE SHEET L-1)
- NEW LANDSCAPE (SEE SHEET L-1)
- NEW LANDSCAPE (SEE SHEET L-1)
- NEW HARDSCAPE (SEE SHEET L-1)
- PROPERTY LINE
- SETBACK LINE

GENERAL NOTES

1) POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS / ACCESS SIDE OF



THE HERITAGE ON IVANHOE

7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037

Prepared By:

- Revision 7: X
- Revision 6: X
- Revision 5: X
- Revision 4: X
- Revision 3: X
- Revision 2: X
- Revision 1: 11-03-11

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

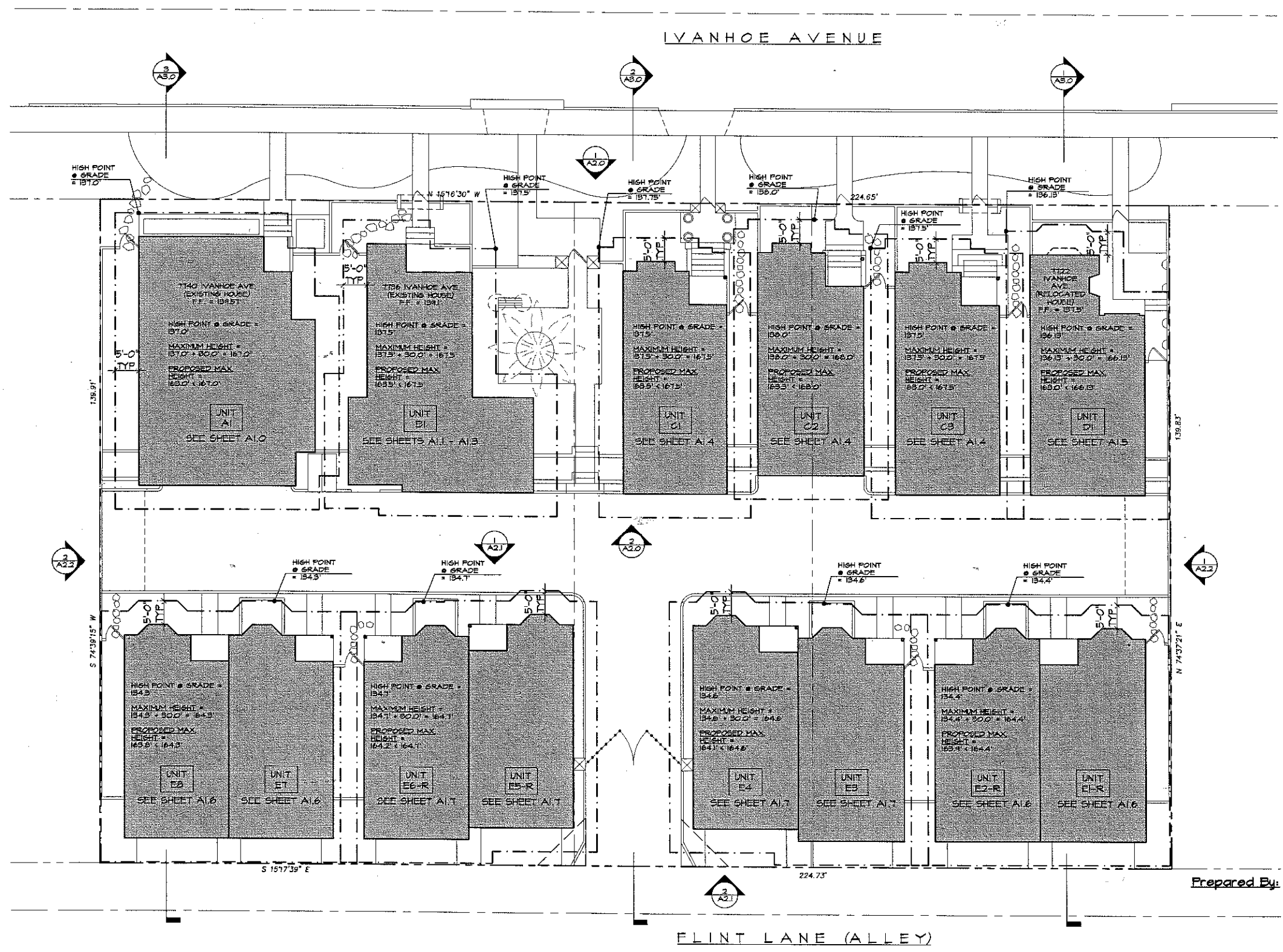
Original Date: 08-24-11

Project Name:
The Heritage on Ivanhoe

Sheet 7 of 26

Sheet Title: **PROPOSED SITE PLAN**

PROPOSED SITE PLAN
SCALE: 3/32"=1'-0"



THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037

Prepared By: Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

Project Addresses: Original Date: 08-24-11
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Project Name: Sheet 8 Of 26
The Heritage on Ivanhoe

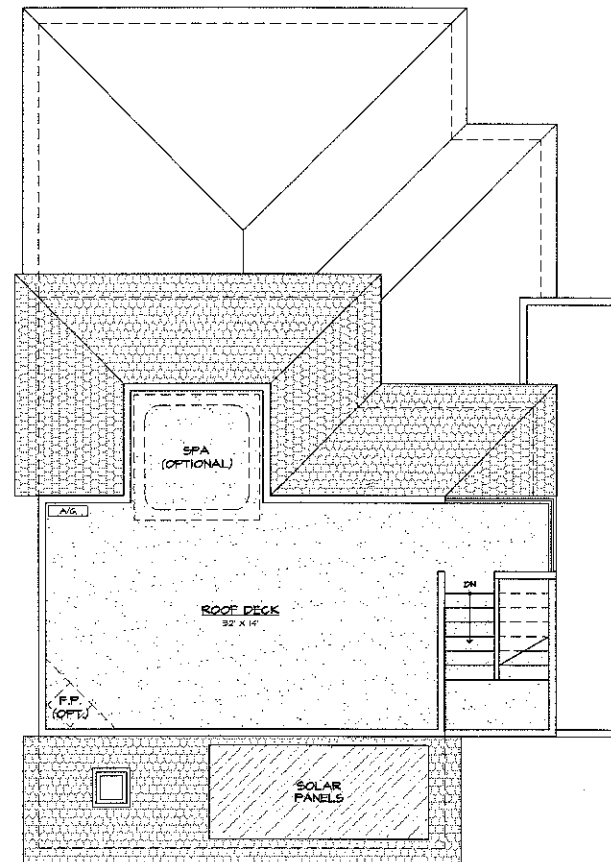
Sheet Title: BUILDING HEIGHT DIAGRAMS

PROP. 'D' HEIGHT DIAGRAMS
SCALE: 3/32"=1'-0"

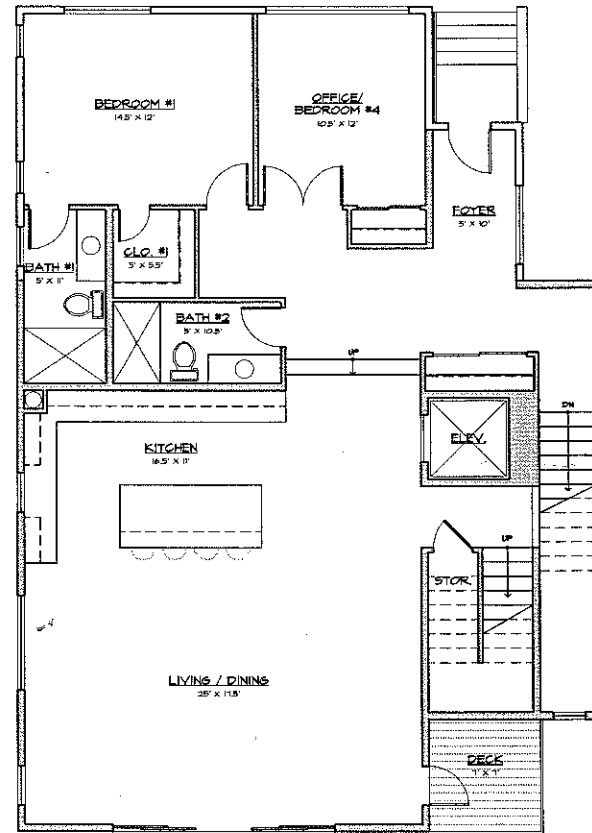
ATTACHMENT 8



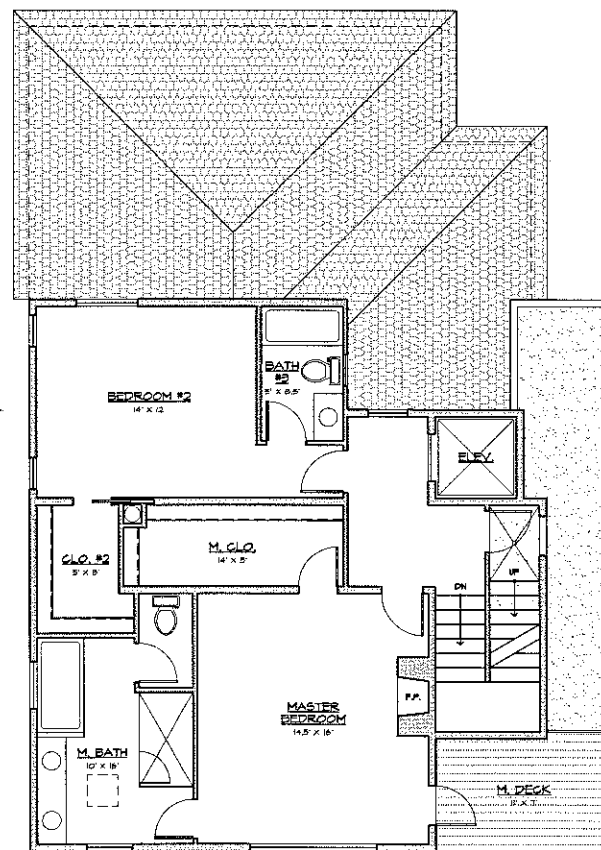
DATE: 11-03-11



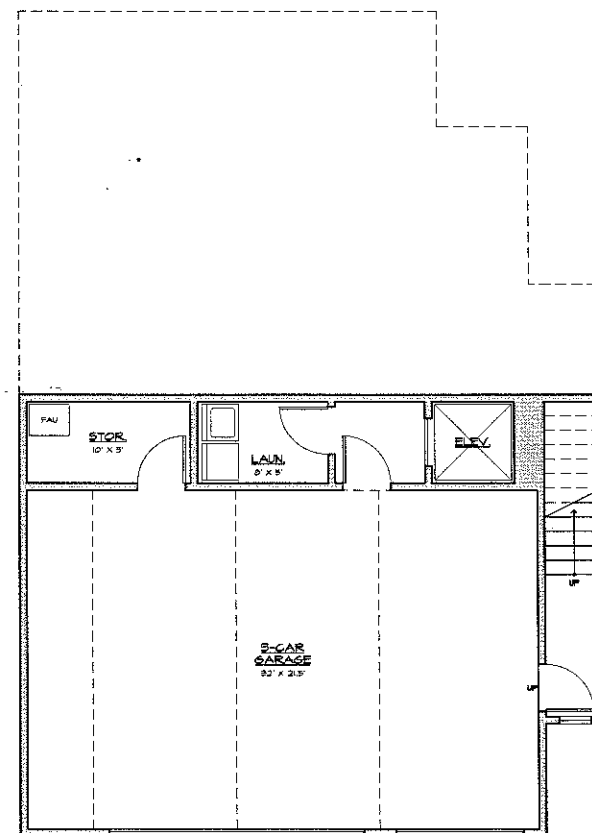
UNIT A1 - 7740 IVANHOE - ROOF PLAN
SCALE: 3/16"=1'-0"



UNIT A1 - 7740 IVANHOE - 2ND FLOOR PLAN
SCALE: 3/16"=1'-0"



UNIT A1 - 7740 IVANHOE - 3RD FLOOR PLAN
SCALE: 3/16"=1'-0"



UNIT A1 - 7740 IVANHOE - 1ST FLOOR PLAN
SCALE: 3/16"=1'-0"

Prepared By:

Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Original Date: 08-24-11

Project Name:
The Heritage on Ivanhoe

Sheet 9 of 26

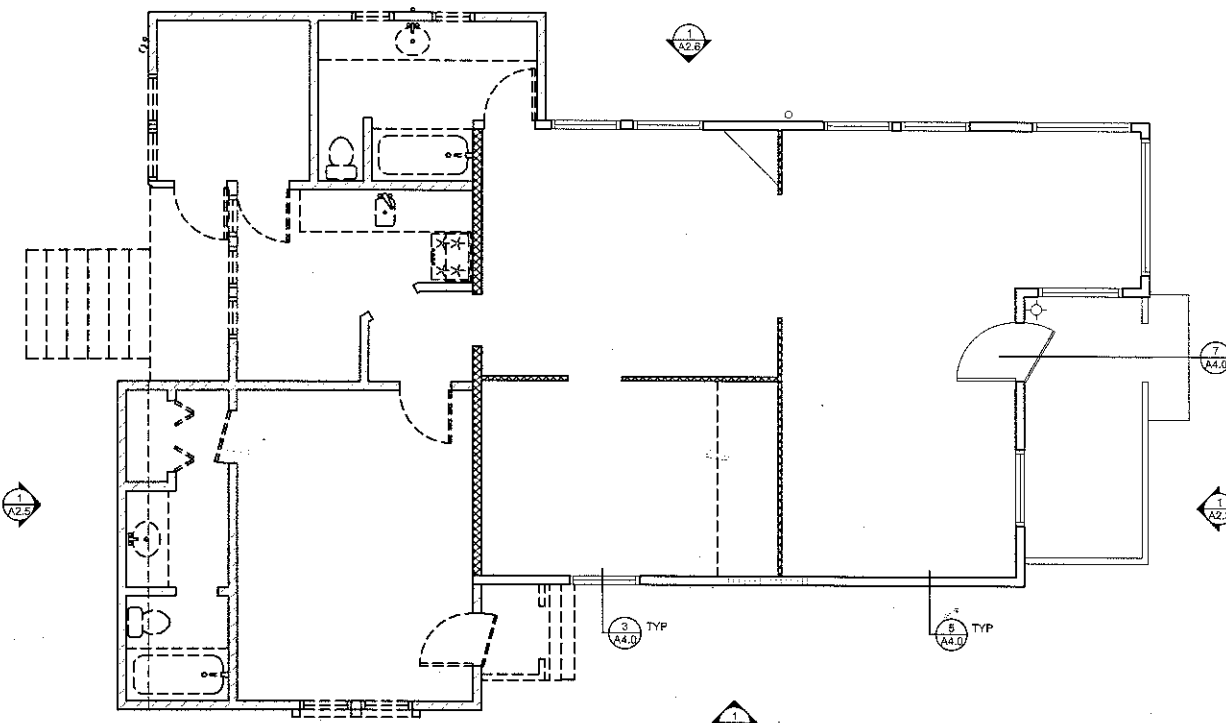
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UNIT A1 PLANS

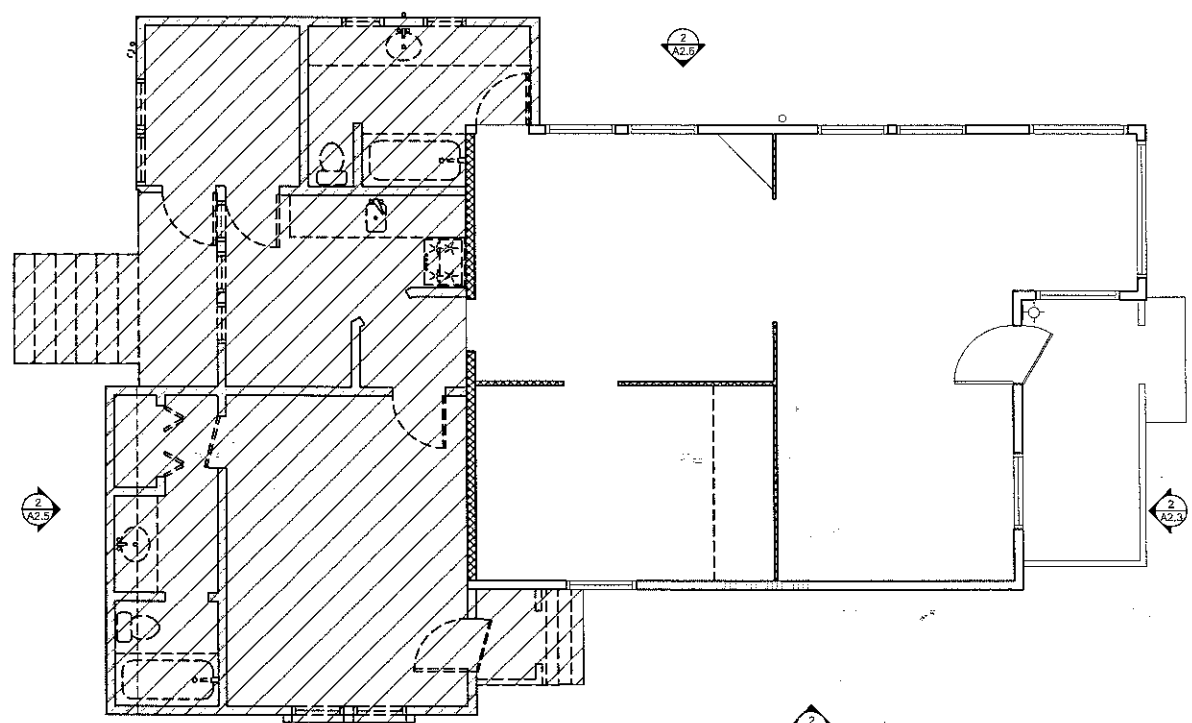
THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037

THE HERITAGE ON IVANHOE
 7714 - 7736 IVANHOE AVENUE
 LA JOLLA, CA 92037

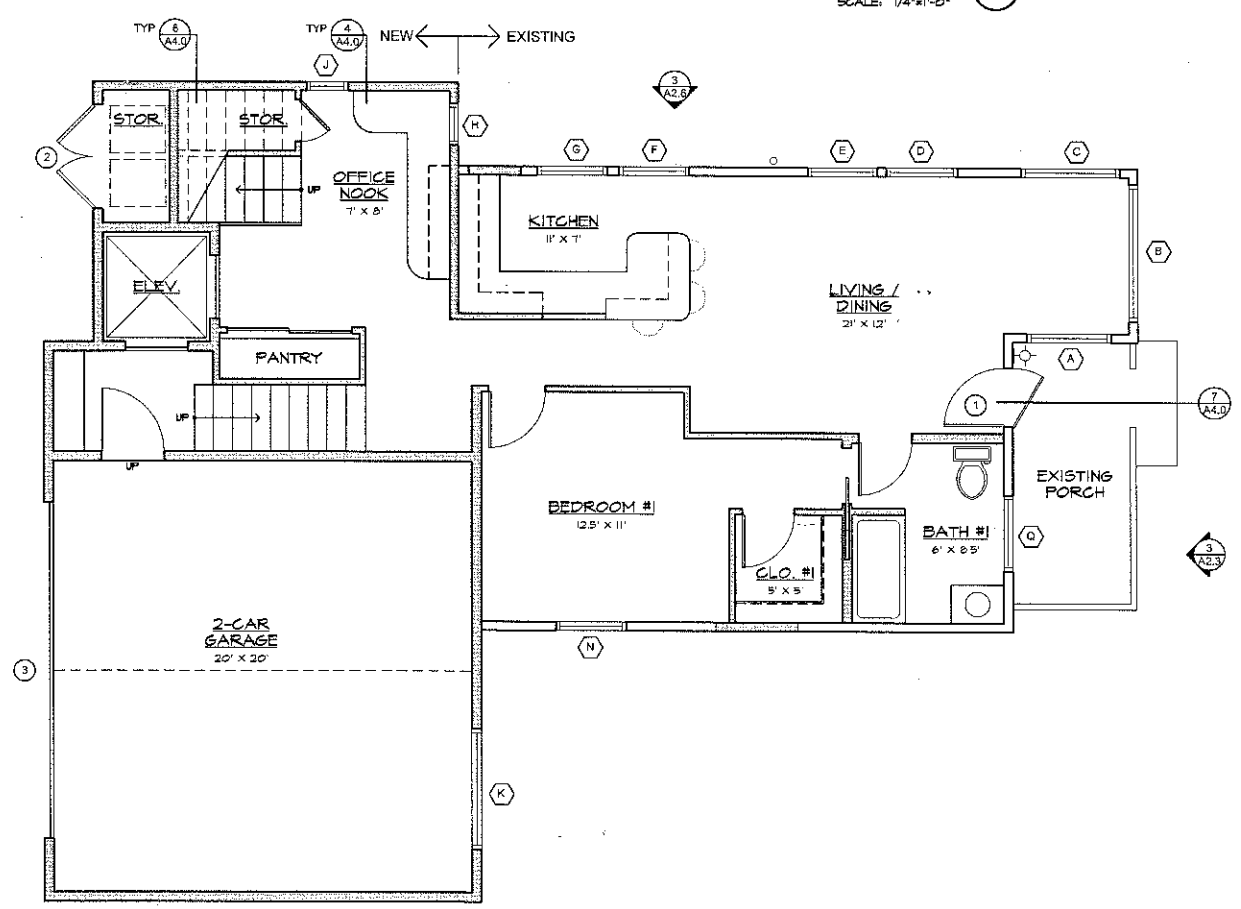
ATTACHMENT 8



UNIT B1 - EXISTING FLOOR PLAN
 SCALE: 1/4"=1'-0" ①



UNIT B1 - DEMOLITION FLOOR PLAN
 SCALE: 1/4"=1'-0" ②



UNIT B1 - PROPOSED 1ST FLOOR PLAN
 SCALE: 1/4"=1'-0" ③

LEGEND

- EXISTING WALL - FROM ORIGINAL CONSTRUCTION IN 1908 (TO REMAIN)
- PROPOSED NEW WALL
- ORIGINAL WINDOW REMOVED & REPLACED BY WALL IN 1937 REMODEL (NEW WINDOW FABRICATED TO MATCH OTHER WINDOW ON SOUTH ELEVATION)
- EXISTING WINDOW REMOVED & REPLACED WITH WALL (TO REMAIN)
- EXISTING WALLS NOT IN PUBLIC VIEW (TO BE REMOVED)
- AREA OF DEMOLITION (CONSTRUCTED IN 1937 OR LATER)
- DOOR TAG. SEE SHEET A1.3 FOR DOOR SCHEDULE.
- WINDOW TAG. SEE SHEET A1.3 FOR WINDOW SCHEDULE.

Prepared By: Revision 7: X
 Revision 6: X
 Revision 5: X
 Revision 4: X
 Revision 3: X
 Revision 2: X
 Revision 1: 11-03-11

Project Addresses: Original Date: 08-24-11
 7714 - 7736 Ivanhoe Avenue
 La Jolla, CA 92037

Project Name: Sheet 10 of 26
 The Heritage on Ivanhoe

Sheet Title:
 UNIT B1 PLANS

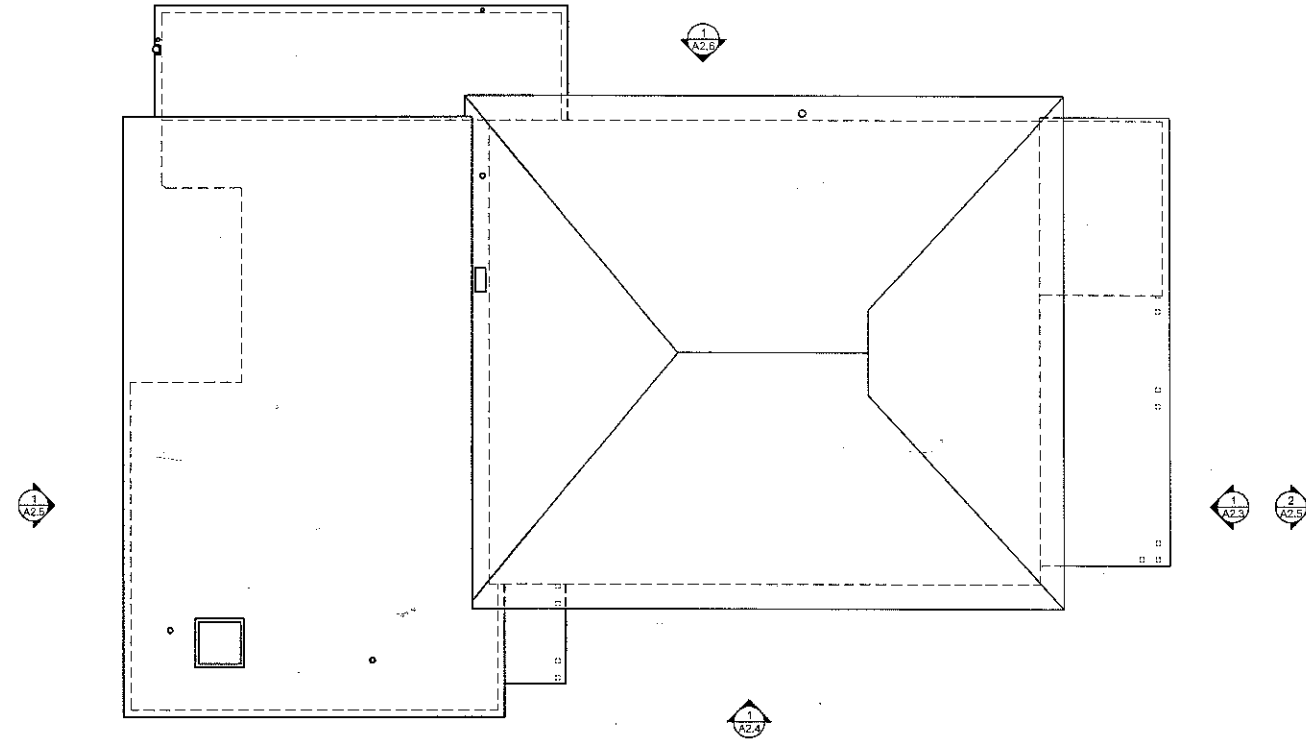


DATE: 11-03-11

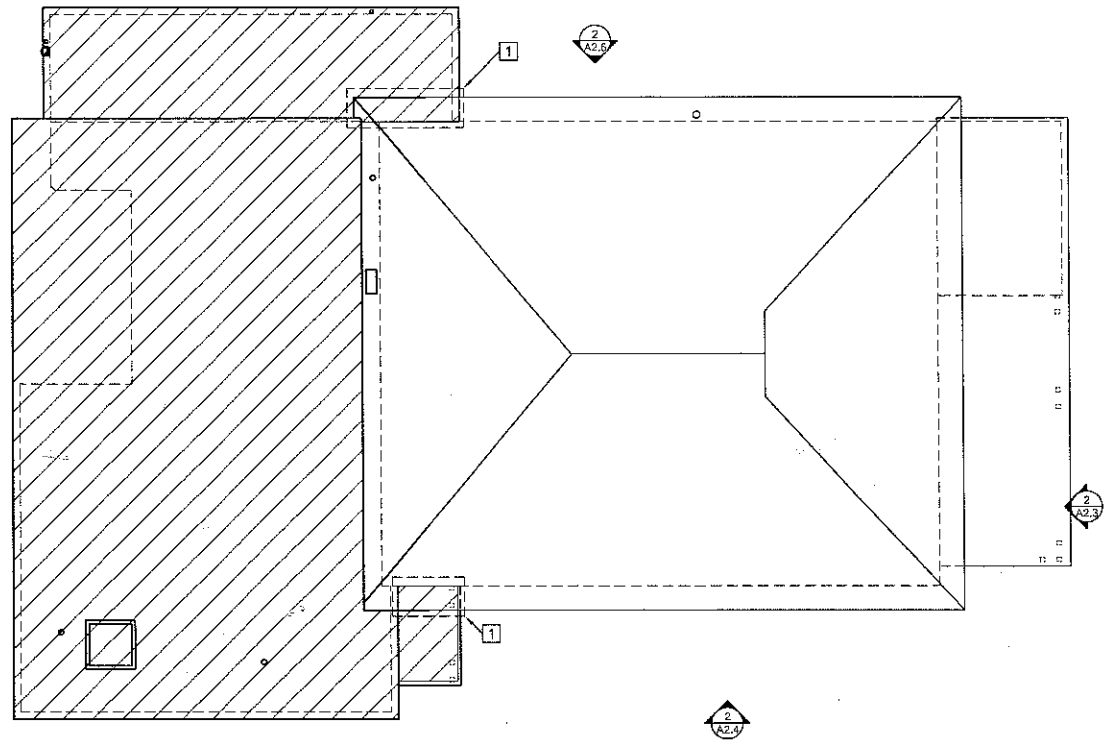
THE HERITAGE ON IVANHOE
 7714 - 7736 IVANHOE AVENUE
 LA JOLLA, CA 92037

ATTACHMENT 8

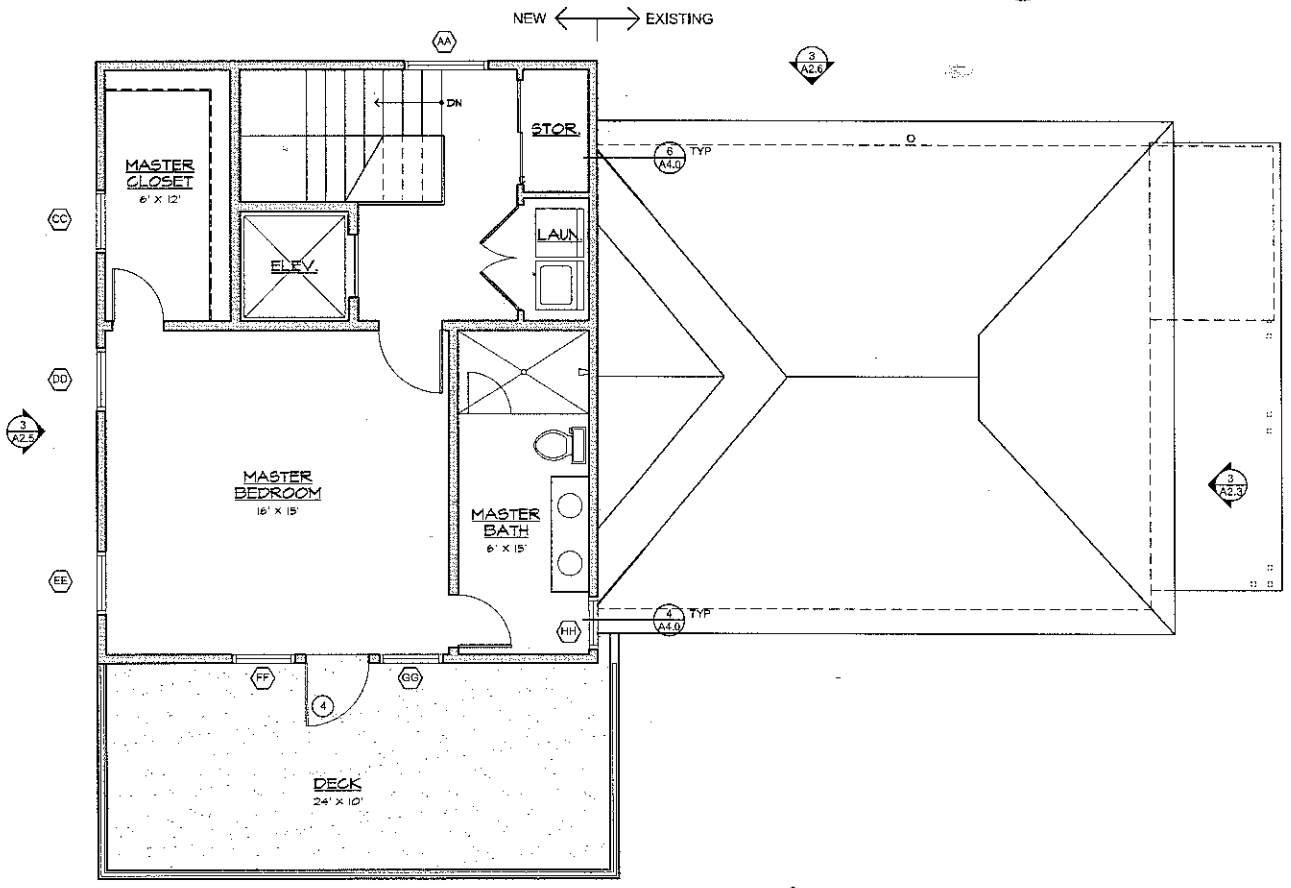
DATE: 11-08-11



UNIT B1 - EXISTING ROOF PLAN
 SCALE: 1/4"=1'-0" ①



UNIT B1 - DEMOLITION ROOF PLAN
 SCALE: 1/4"=1'-0" ②



UNIT B1 - PROPOSED 2ND FLR. PLAN & ROOF BELOW
 SCALE: 1/4"=1'-0" ③

LEGEND

- EXISTING ROOF FROM ORIGINAL CONSTRUCTION 1908
- - - EXISTING WALL BELOW FROM ORIGINAL CONSTRUCTION 1908
- EXISTING ROOF FROM REMODEL CONSTRUCTION 1937
- - - EXISTING WALL BELOW FROM REMODEL CONSTRUCTION 1937
- ▨ AREA OF DEMOLITION (CONSTRUCTED IN 1937 OR LATER)
- PROPOSED NEW WALL
- ⊙ DOOR TAG, SEE SHEET A1.3 FOR DOOR SCHEDULE.
- ⊙ WINDOW TAG, SEE SHEET A1.3 FOR WINDOW SCHEDULE.

KEY NOTES

- ① DEMOLITION OF LOWER ROOF ONLY

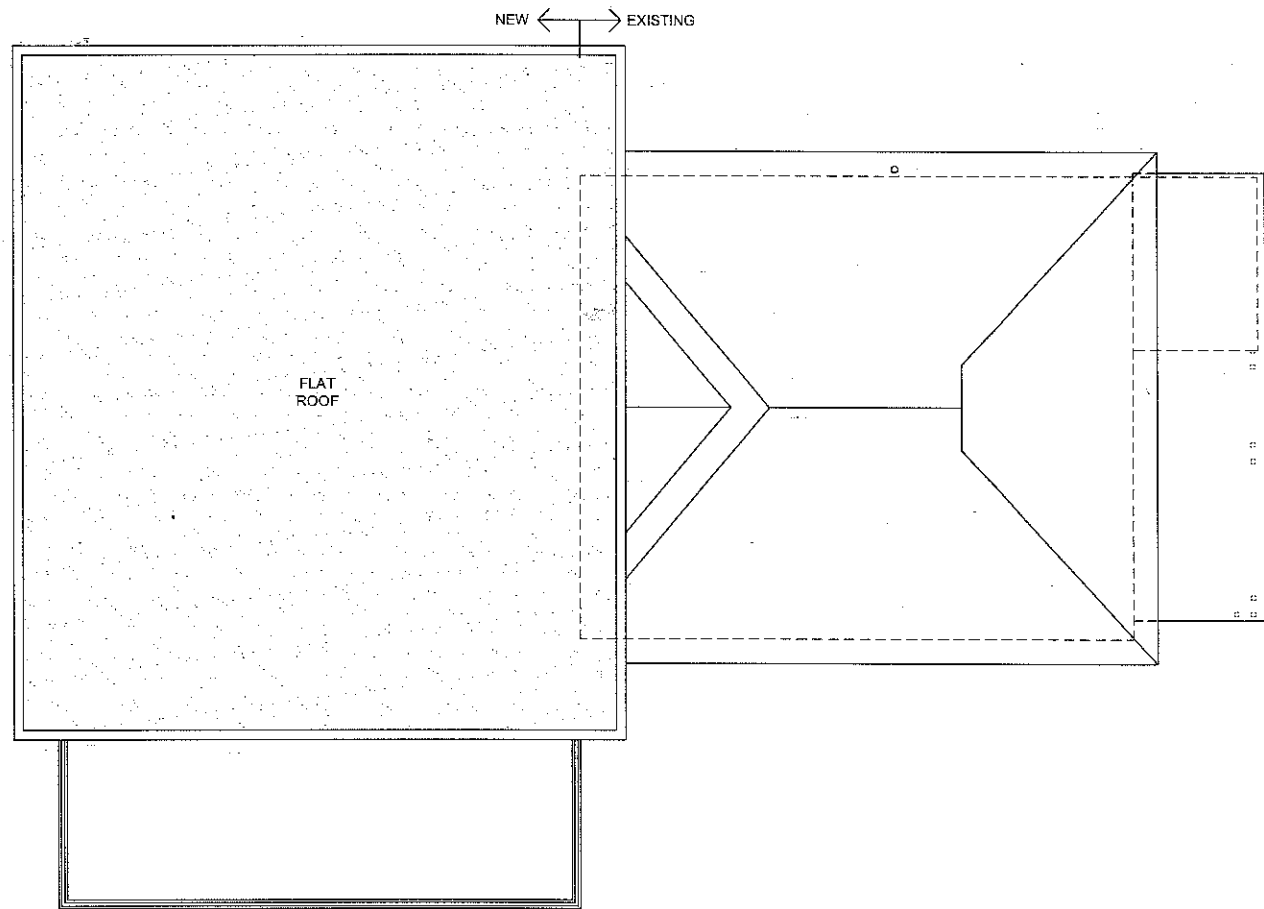
Prepared By: Revision 7: X
 Revision 6: X
 Revision 5: X
 Revision 4: X
 Revision 3: X
 Revision 2: X
 Revision 1: 11-03-11

Project Addresses: Original Date: 08-24-11
 7714 - 7736 Ivanhoe Avenue
 La Jolla, CA 92037

Project Name: Sheet 11 Of 26
 The Heritage on Ivanhoe

Sheet Title:
 UNIT B1 PLANS

A1.2



PROPOSED ROOF PLAN
SCALE: 1/4"=1'-0"

EXTERIOR DOOR SCHEDULE					
QTY	MARK	W x H (NOMINAL)	TYPE	LOCATION	REMARKS
1	1	2'-9 1/2" x 6'-8"	EXT. WD	LIVING/ DINING	ORIGINAL DOOR TO REMAIN, 4 PANEL WOOD DOOR, W/ SCREEN DOOR
1	2	2'-6" x 7'-0" (PAIR)	EXT. WD	STOR.	NEW SWING DOORS
1	3	16'-0" x 7'-0"	EXT. WD	GARAGE	NEW OVERHEAD DOOR W/ REMOTE OPENER
1	4	3'-0" x 6'-8"	EXT. WD	MASTER BDRM	NEW FRENCH DOOR W/ 2 SIDELITES

WINDOW SCHEDULE								
QTY	MARK	W x H (NOMINAL)	OPERABLE	TYPE	MTL	FINISH	LOCATION	REMARKS
1	A	4'-0" x 1'-6"	INWARD SWING	HOPPER	WD	PAINT	LR	ORIGINAL WINDOW TO REMAIN
1	B	6'-7" x 3'-11"	FIXED	FIXED	WD	PAINT	LR	ORIGINAL WINDOW TO REMAIN
1	C	4'-7" x 3'-11"	FIXED	FIXED	WD	PAINT	LR	ORIGINAL WINDOW TO REMAIN
1	D	3'-4" x 3'-11"	FIXED	FIXED	WD	PAINT	LR	ORIGINAL WINDOW TO REMAIN
1	E	3'-4" x 3'-11"	FIXED	FIXED	WD	PAINT	LR	ORIGINAL WINDOW TO REMAIN
1	F	3'-4" x 3'-11"	FIXED	FIXED	WD	PAINT	KITCHEN	ORIGINAL WINDOW TO REMAIN
1	G	3'-4" x 3'-11"	FIXED	FIXED	WD	PAINT	KITCHEN	ORIGINAL WINDOW TO REMAIN
1	I	-	-	-	-	-	-	NOT USED
1	H	2'-0" x 3'-11"	OUTWARD SWING	CASEMENT	WD	PAINT	OFFICE	NEW WINDOW
1	J	2'-0" x 3'-11"	OUTWARD SWING	CASEMENT	WD	PAINT	OFFICE	NEW WINDOW
1	K	5'-9" x 5'-0"	OUTWARD SWING	CASEMENT	WD	PAINT	GARAGE	NEW WINDOW
1	N	3'-4" x 3'-11"	DOUBLE HUNG	DOUBLE HUNG	WD	PAINT	BDRM #1	ORIGINAL WINDOW TO REMAIN
1	O	-	-	-	-	-	-	NOT USED
1	P	-	-	-	-	-	-	NOT USED
1	Q	3'-6" x 3'-11"	FIXED	FIXED	WD	PAINT	LR	ORIGINAL WINDOW TO REMAIN
1	AA	4'-0" x 3'-11"	OUTWARD SWING	CASEMENT	WD	PAINT	HALL	NEW WINDOW
1	BB	-	-	-	-	-	-	NOT USED
1	CC	3'-0" x 3'-11"	OUTWARD SWING	CASEMENT	WD	PAINT	MSTR. CLO.	NEW WINDOW
1	DD	3'-0" x 3'-11"	OUTWARD SWING	CASEMENT	WD	PAINT	MSTR. BDRM.	NEW WINDOW
1	EE	3'-0" x 3'-11"	OUTWARD SWING	CASEMENT	WD	PAINT	MSTR. BDRM.	NEW WINDOW
1	FF	3'-0" x 3'-11"	OUTWARD SWING	CASEMENT	WD	PAINT	MSTR. BDRM.	NEW WINDOW
1	GG	3'-0" x 3'-11"	OUTWARD SWING	CASEMENT	WD	PAINT	MSTR. BDRM.	NEW WINDOW
1	HH	2'-6" x 3'-11"	OUTWARD SWING	CASEMENT	WD	PAINT	MSTR. BATH	NEW WINDOW

Prepared By:

Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Original Date: 08-24-11

Project Name:
The Heritage on Ivanhoe

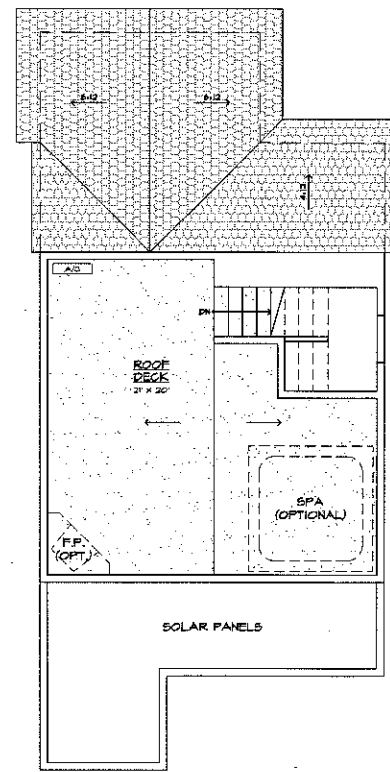
Sheet 12 Of 26

Sheet Title: **UNIT B1**
PLAN & SCHEDULES

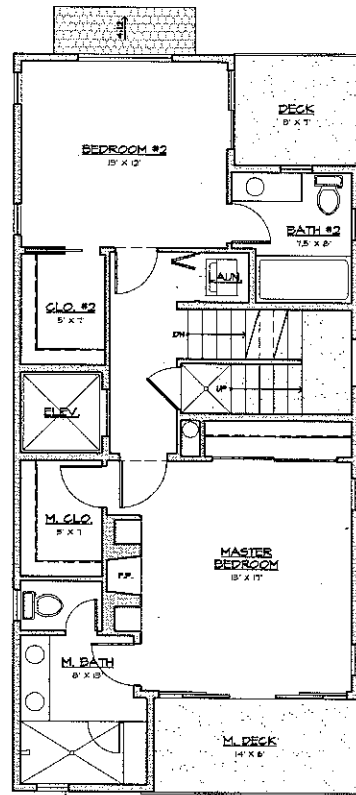
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DATE: 11-03-11

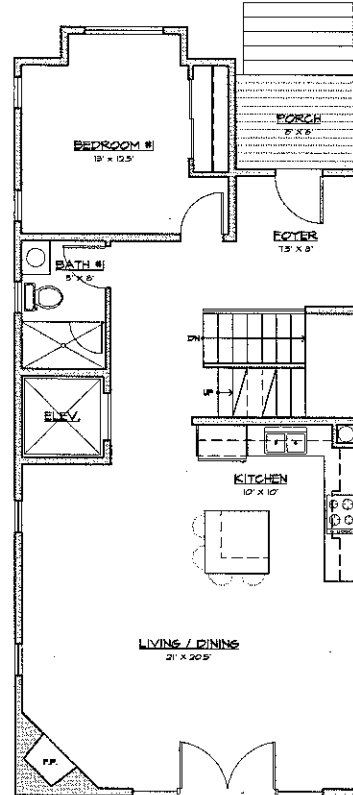
THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037



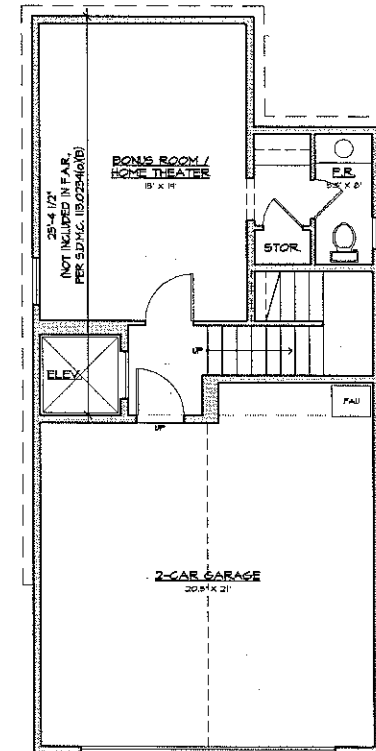
UNITS C1, C2, & C3 - ROOF PLAN
SCALE: 3/16"=1'-0"



UNITS C1, C2, & C3 - 3RD FLOOR PLAN
SCALE: 3/16"=1'-0"



UNITS C1, C2, & C3 - 2ND FLOOR PLAN
SCALE: 3/16"=1'-0"



UNITS C1, C2, & C3 - 1ST FLOOR PLAN
SCALE: 3/16"=1'-0"

Prepared By:

- Revision 7: X
- Revision 6: X
- Revision 5: X
- Revision 4: X
- Revision 3: X
- Revision 2: X
- Revision 1: 11-03-11

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Original Date: 08-24-11

Project Name:
The Heritage on Ivanhoe

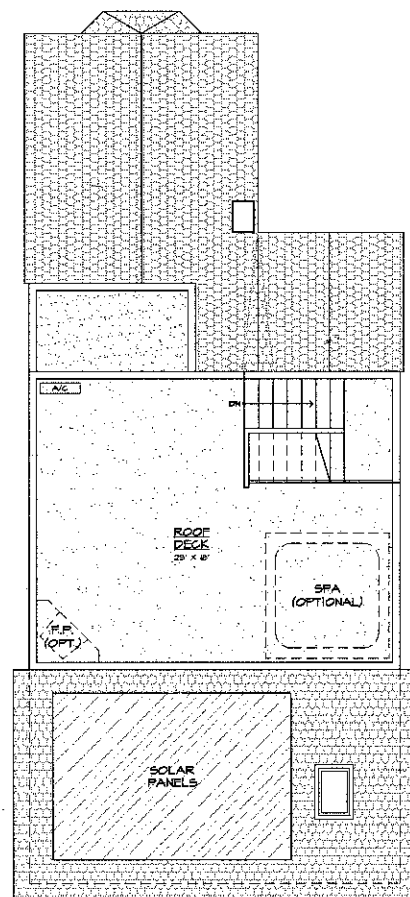
Sheet 13 Of 26

Sheet Title: **UNITS C1,
C2 & C3 PLANS**

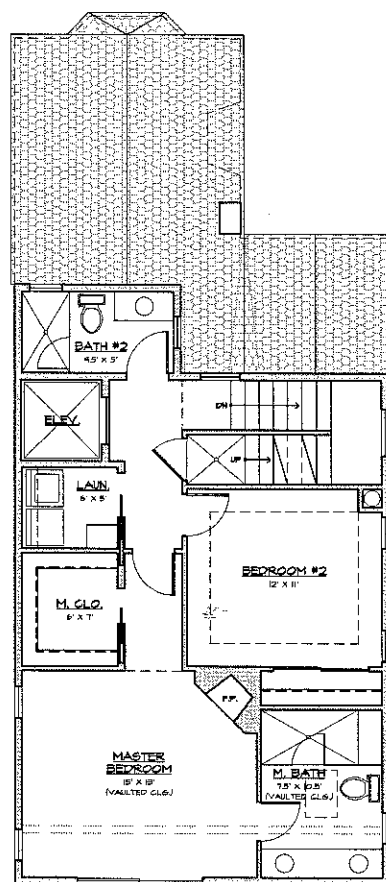
THE HERITAGE ON IVANHOE
 7714 - 7736 IVANHOE AVENUE
 LA JOLLA, CA 92037

A14

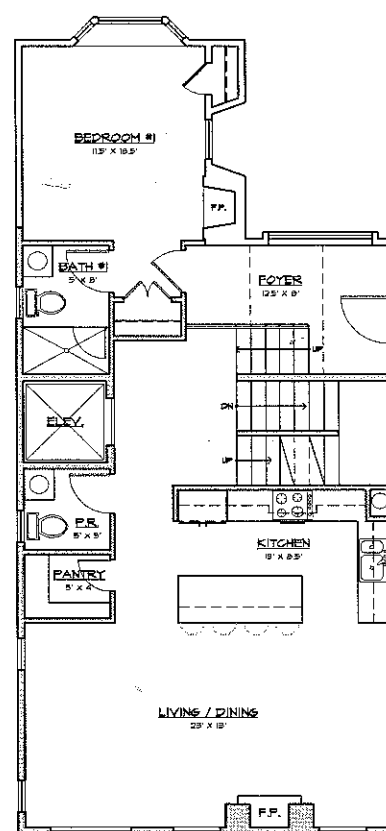
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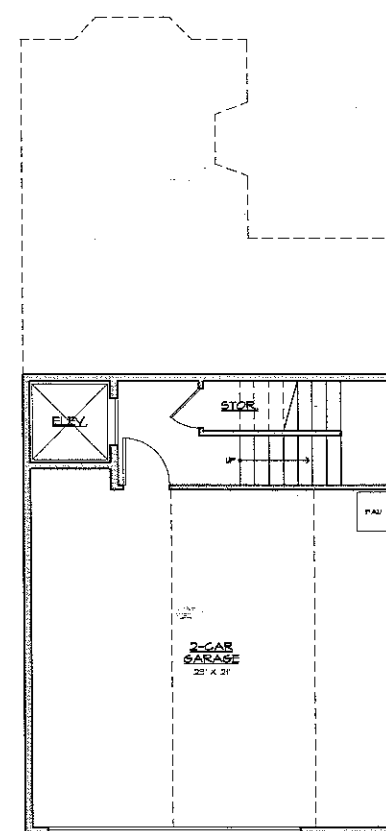
UNIT D1 - 7722 IVANHOE - ROOF PLAN
SCALE: 3/16"=1'-0"



UNIT D1 - 7722 IVANHOE - 3RD FLOOR PLAN
SCALE: 3/16"=1'-0"



UNIT D1 - 7722 IVANHOE - 2ND FLOOR PLAN
SCALE: 3/16"=1'-0"



UNIT D1 - 7722 IVANHOE - 1ST FLOOR PLAN
SCALE: 3/16"=1'-0"



THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037

Prepared By: Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

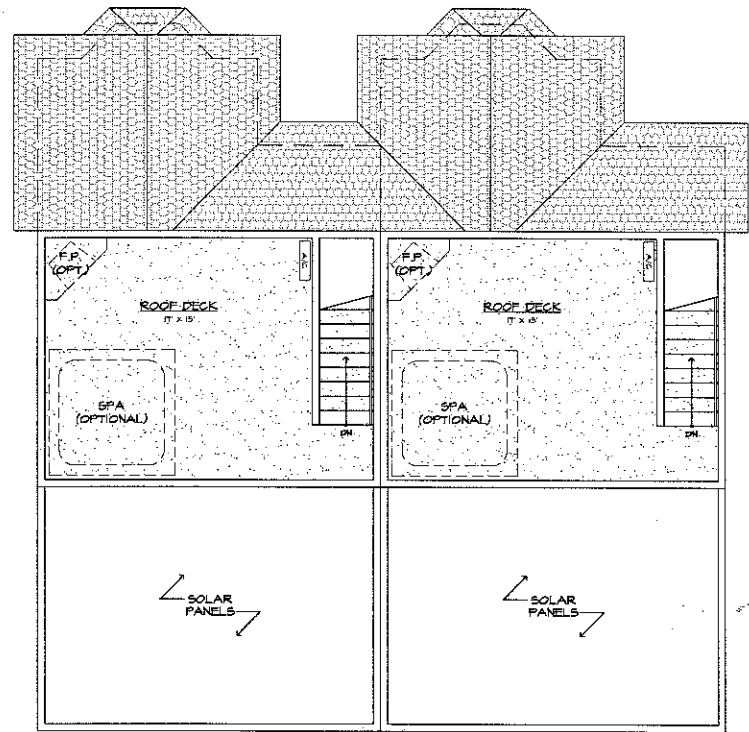
Project Addresses: Original Date: 08-24-11
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037


Project Name: Sheet 14 of 26
The Heritage on Ivanhoe

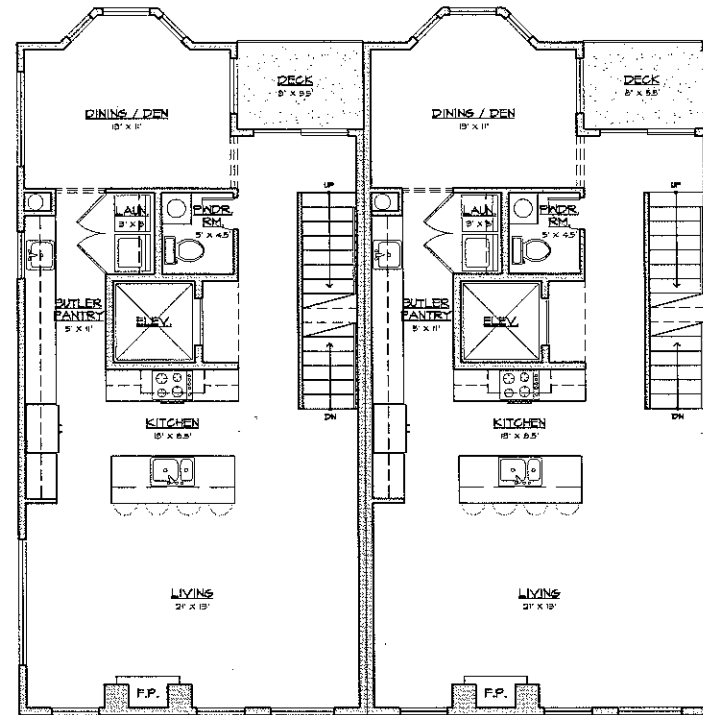
Sheet Title:
UNIT D1 PLANS


A15

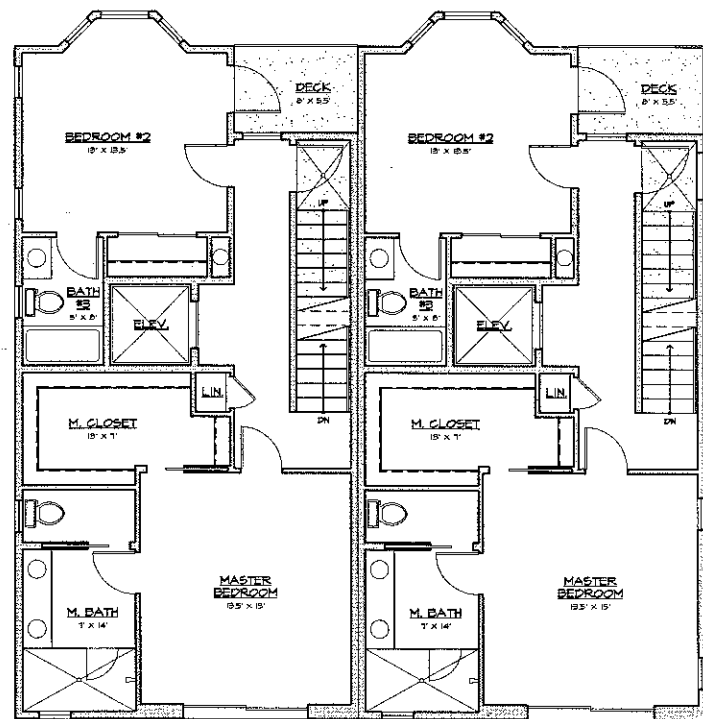
DATE: 11-03-11




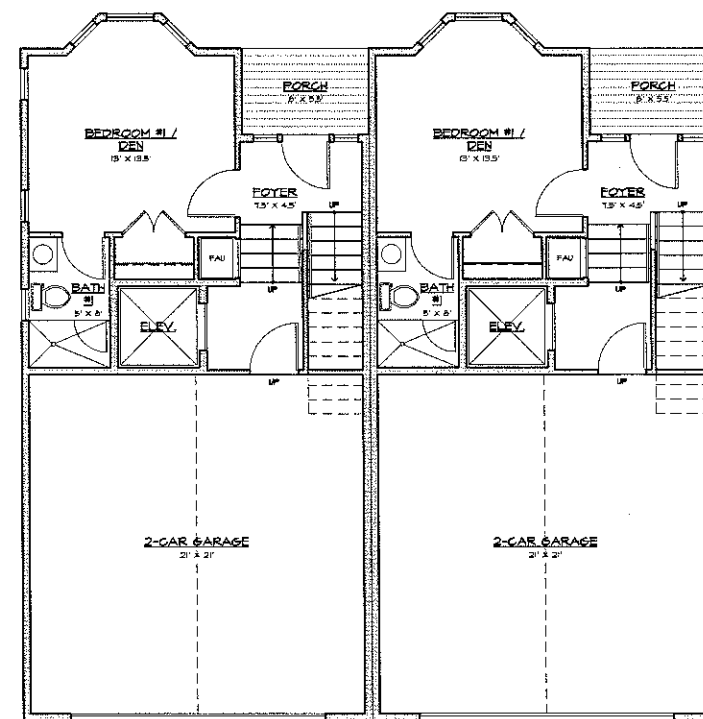
UNITS E7 + E8 (UNITS E1-R + E2-R MIRRORED)
ROOF PLAN
 SCALE: 3/16"=1'-0" 




UNITS E7 + E8 (UNITS E1-R + E2-R MIRRORED)
2ND FLOOR PLAN
 SCALE: 3/16"=1'-0" 



UNITS E7 + E8 (UNITS E1-R + E2-R MIRRORED)
3RD FLOOR PLAN
 SCALE: 3/16"=1'-0" 



UNITS E7 + E8 (UNITS E1-R + E2-R MIRRORED)
1ST FLOOR PLAN
 SCALE: 3/16"=1'-0" 

Prepared By:

- Revision 7: X
- Revision 6: X
- Revision 5: X
- Revision 4: X
- Revision 3: X
- Revision 2: X
- Revision 1: 11-03-11

Project Addresses:
 7714 - 7736 Ivanhoe Avenue
 La Jolla, CA 92037

Original Date: 08-24-11

Project Name:
 The Heritage on Ivanhoe

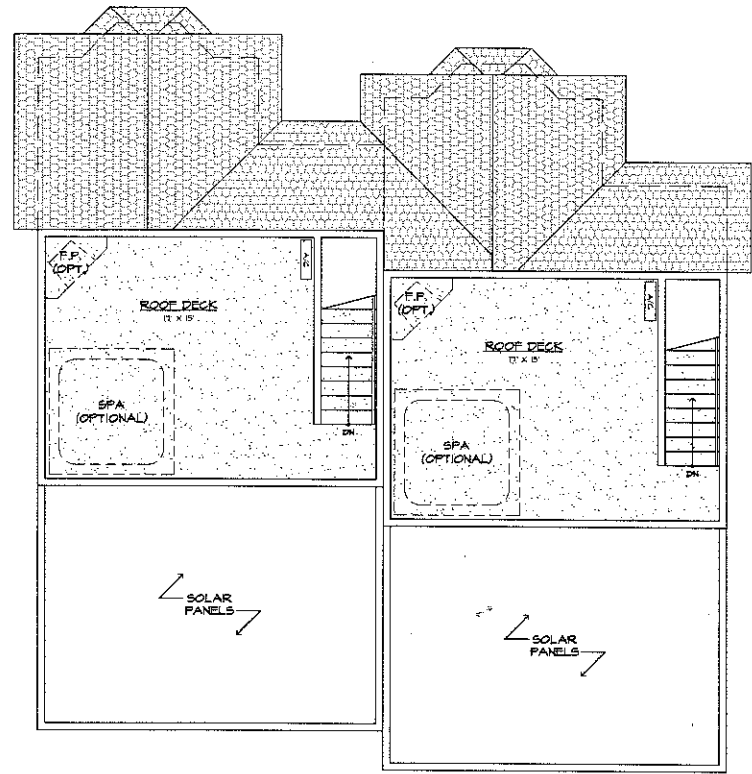
Sheet 15 OF 26


Sheet Title: **UNITS E7, E8,
 E1-R & E2-R PLANS**

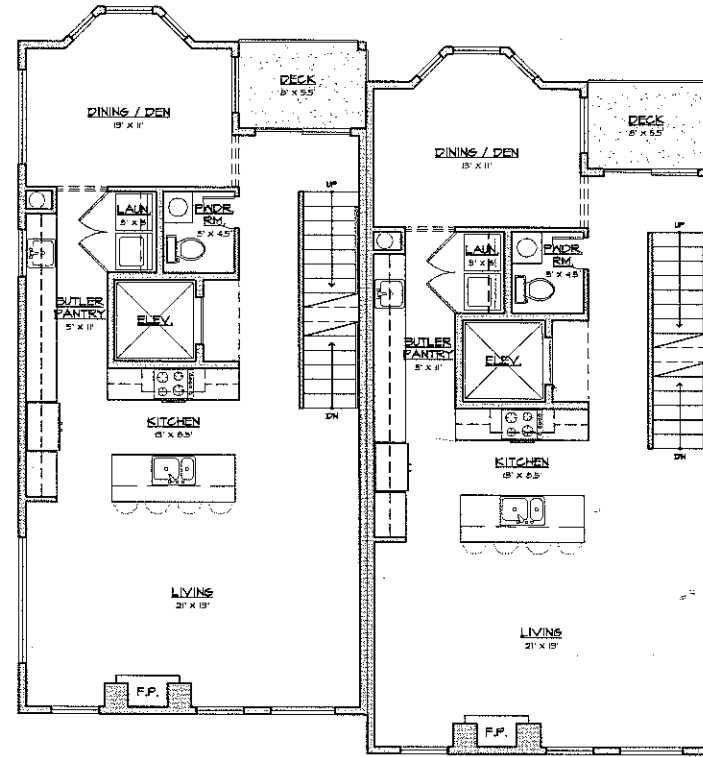
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DATE: 11-03-11

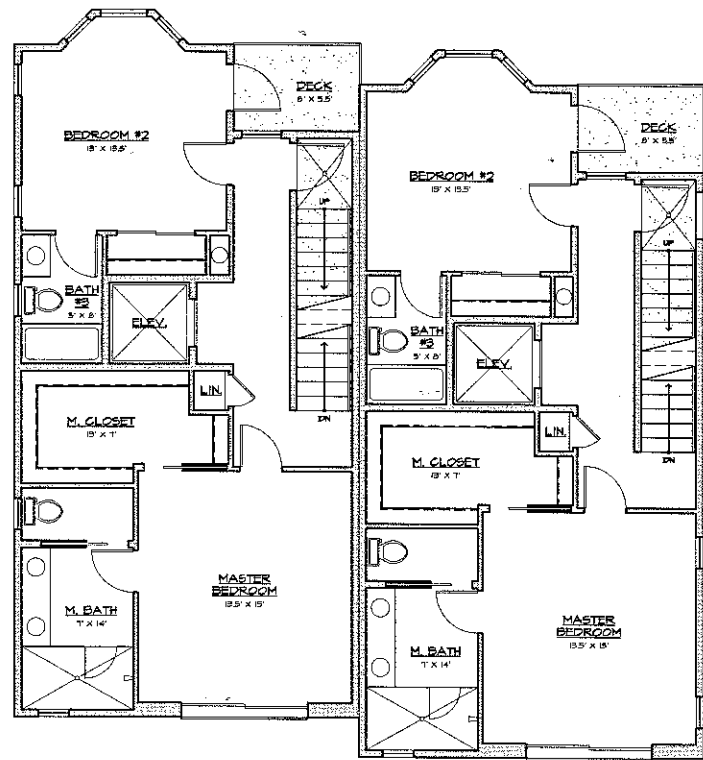
THE HERITAGE ON IVANHOE
 7714 - 7736 IVANHOE AVENUE
 LA JOLLA, CA 92037




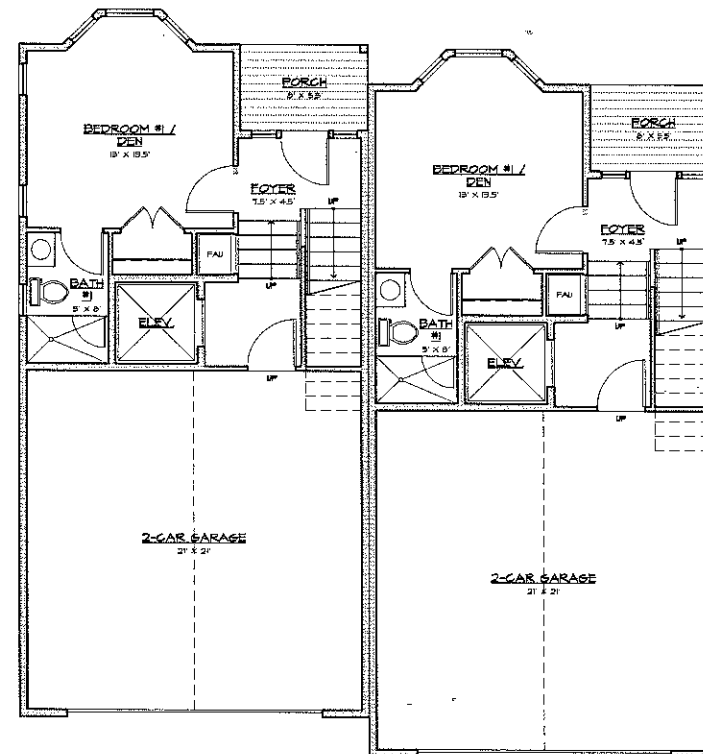
UNITS E3 + E4 (UNITS E5-R + E6-R MIRRORED)
ROOF PLAN
 SCALE: 3/16"=1'-0" 




UNITS E3 + E4 (UNITS E5-R + E6-R MIRRORED)
2ND FLOOR PLAN
 SCALE: 3/16"=1'-0" 



UNITS E3 + E4 (UNITS E5-R + E6-R MIRRORED)
3RD FLOOR PLAN
 SCALE: 3/16"=1'-0" 



UNITS E3 + E4 (UNITS E5-R + E6-R MIRRORED)
1ST FLOOR PLAN
 SCALE: 3/16"=1'-0" 

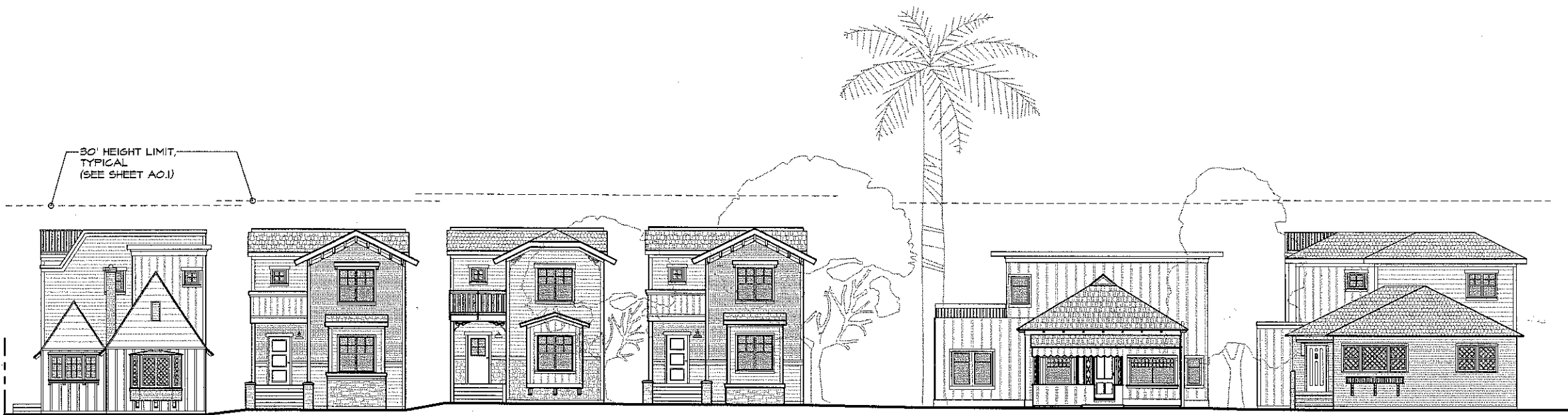
Prepared By: Revision 7: X
 Revision 6: X
 Revision 5: X
 Revision 4: X
 Revision 3: X
 Revision 2: X
 Revision 1: 11-03-11

Project Addresses: Original Date: 08-24-11
 7714 - 7736 Ivanhoe Avenue
 La Jolla, CA 92037

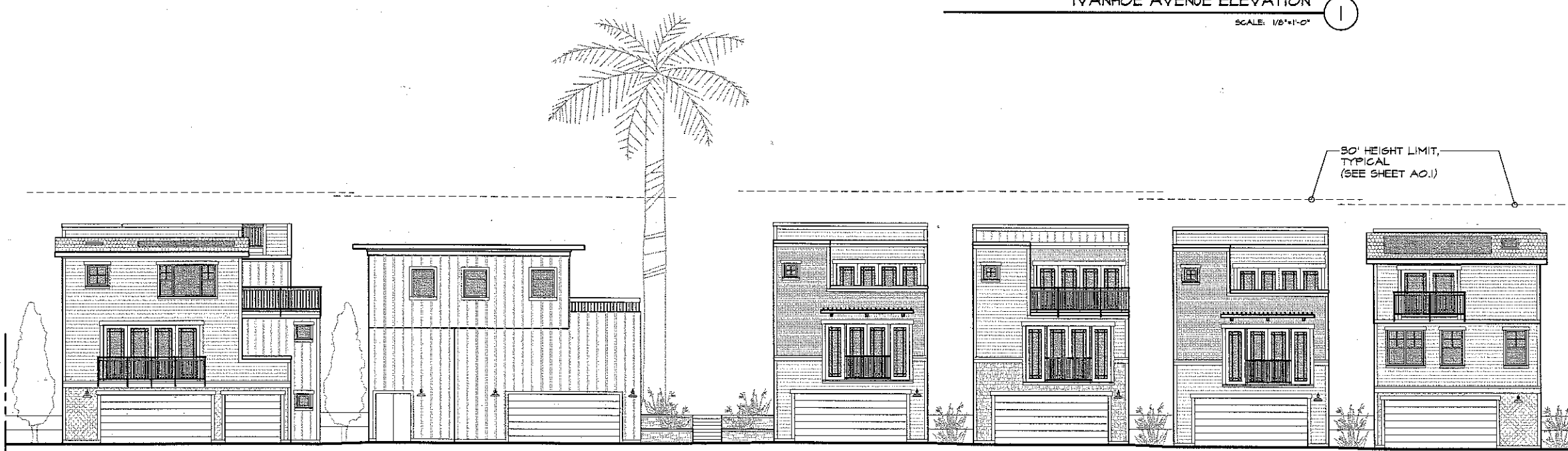
Project Name: Sheet 16 Of 26
 The Heritage on Ivanhoe

Sheet Title: UNITS E3, E4,
 E5-R & E6-R PLANS

THE HERITAGE ON IVANHOE
 7714 - 7736 IVANHOE AVENUE
 LA JOLLA, CA 92037



IVANHOE AVENUE ELEVATION ①
SCALE: 1/8"=1'-0"



COURTYARD ELEVATION ②
SCALE: 1/8"=1'-0"

Prepared By:

- Revision 7: X
- Revision 6: X
- Revision 5: X
- Revision 4: X
- Revision 3: X
- Revision 2: X
- Revision 1: 11-03-11

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Original Date: 08-24-11

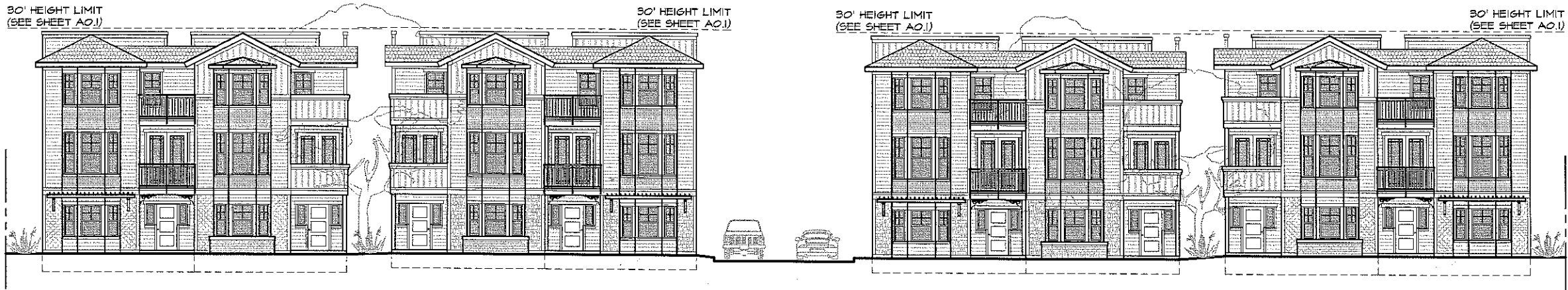
Project Name:
The Heritage on Ivanhoe

Sheet 17 Of 26

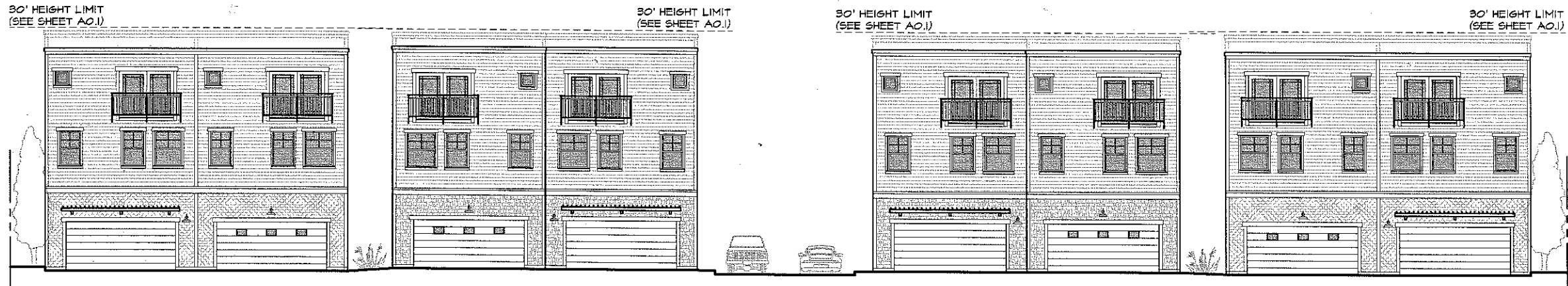
Sheet Title: **EXTERIOR ELEVATIONS**

THE HERITAGE ON IVANHOE
 7714 - 7736 IVANHOE AVENUE
 LA JOLLA, CA 92037

A 2.0
DATE: 11-03-11



COURTYARD ELEVATION ①
SCALE: 1/8"=1'-0"



FLINT LANE (ALLEY) ELEVATION ②
SCALE: 1/8"=1'-0"

THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037

Prepared By:

- Revision 1: X
- Revision 6: X
- Revision 5: X
- Revision 4: X
- Revision 3: X
- Revision 2: X
- Revision 1: 11-03-11

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Original Date: 08-24-11

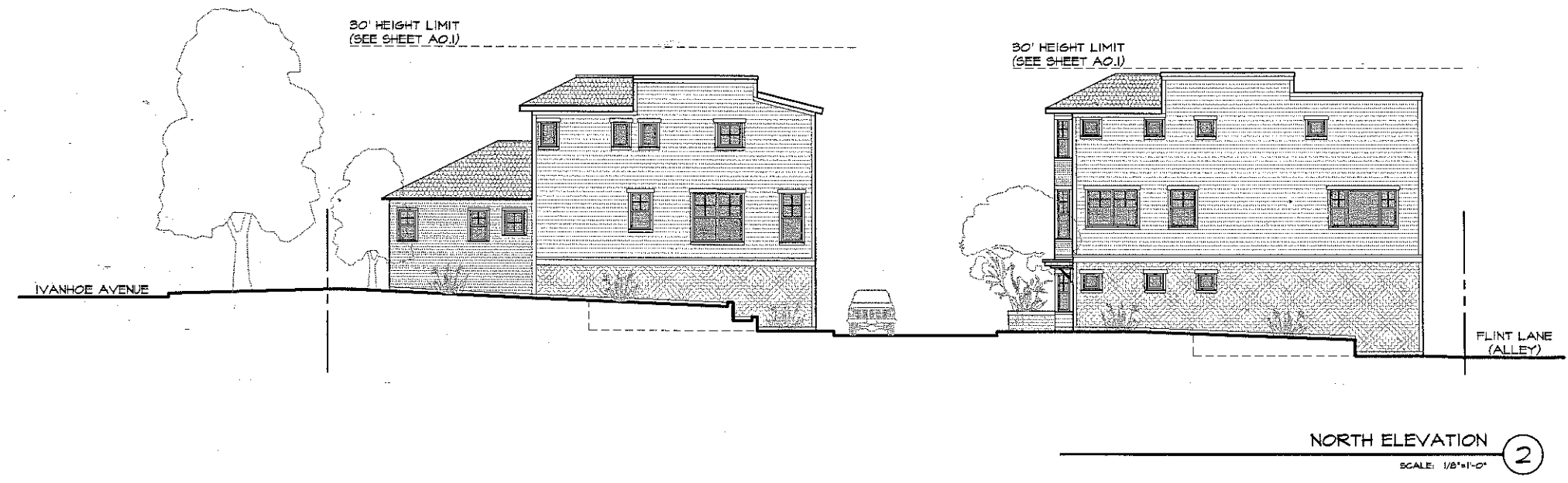
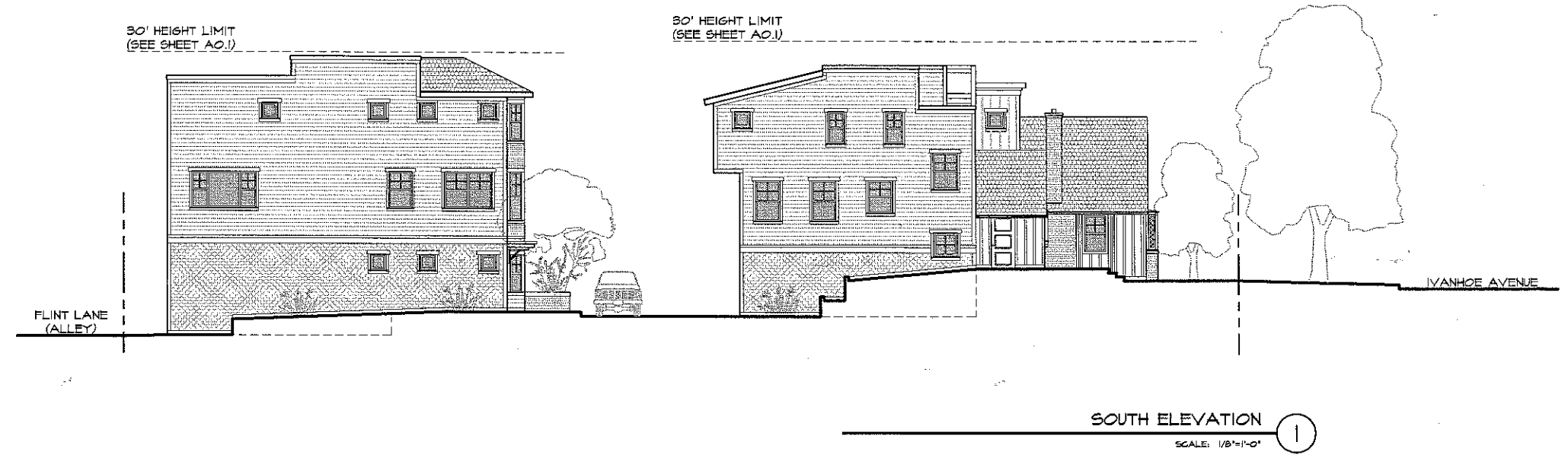
Project Name:
The Heritage on Ivanhoe

Sheet 18 of 26

Sheet Title: **EXTERIOR ELEVATIONS**

A2.1

DATE: 11-03-11



THE HERITAGE ON IVANHOE
 7714 - 7736 IVANHOE AVENUE
 LA JOLLA, CA 92037

Prepared By: Revision 7: X
 Revision 6: X
 Revision 5: X
 Revision 4: X
 Revision 3: X
 Revision 2: X
 Revision 1: 11-03-11

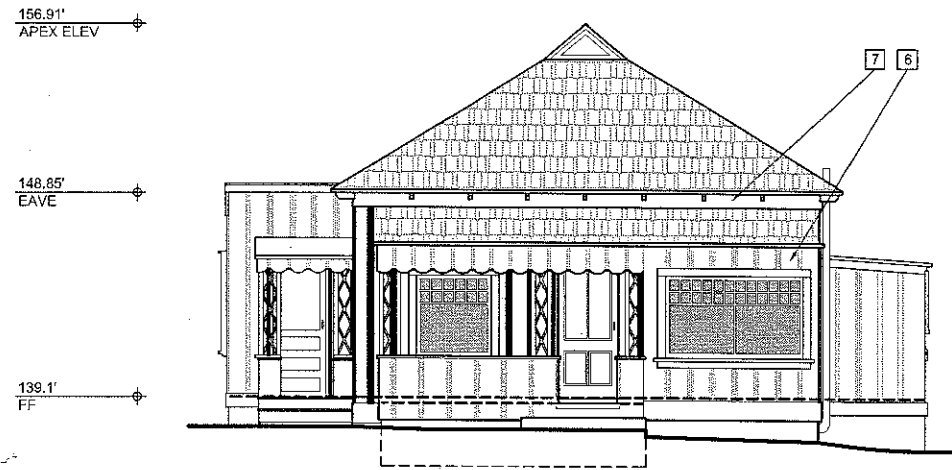
Project Addresses: Original Date: 08-24-11
 7714 - 7736 Ivanhoe Avenue
 La Jolla, CA 92037

Project Name: Sheet 19 of 26
 The Heritage on Ivanhoe

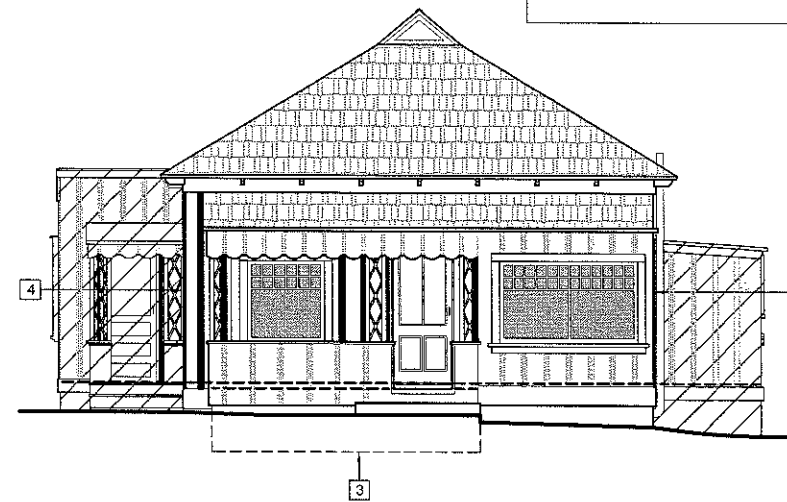
Sheet Title: **EXTERIOR ELEVATIONS**

A22

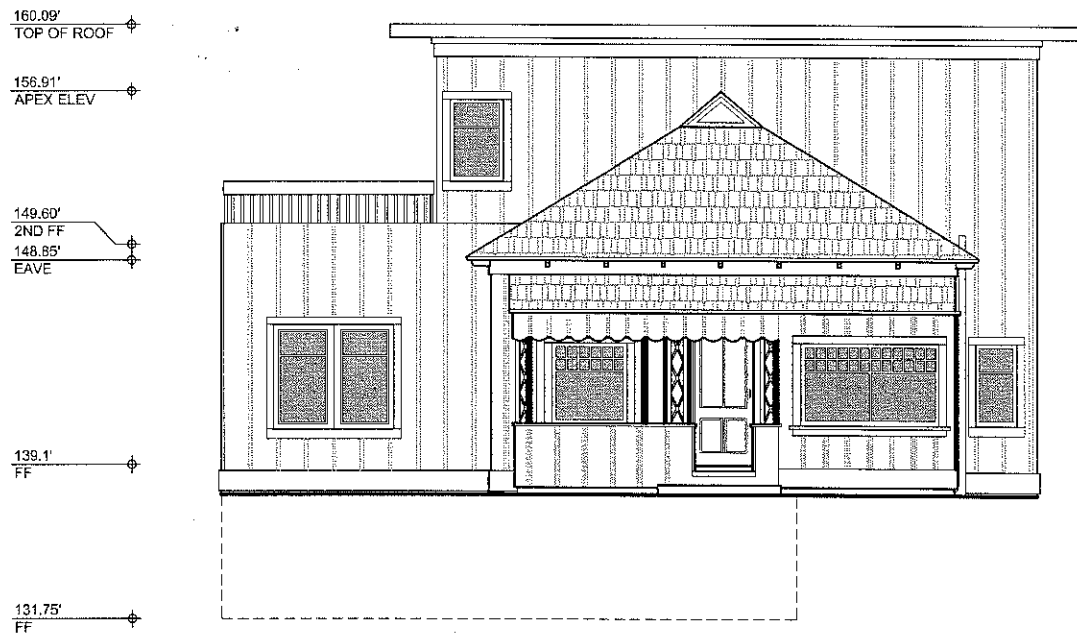
DATE: 11-03-11



UNIT B1
EXISTING EAST ELEVATION ①
SCALE: 1/4"=1'-0"



UNIT B1
DEMOLITION EAST ELEVATION ②
SCALE: 1/4"=1'-0"



UNIT B1
PROPOSED EAST ELEVATION ③
SCALE: 1/4"=1'-0"

KEY NOTES

- ① DURING DEMOLITION PROTECT EAVE & WALL DETAILING - REPAINT TO MATCH EXISTING
- ② (NOT USED)
- ③ NEW FOUNDATION @ PORCH & STAIR
- ④ WHEN REMOVING THE REAR PORTION OF THE HOUSE - STABILIZE THE PORTION OF THE HOUSE TO REMAIN
- ⑤ MATCH EXISTING SHINGLES AT NEW ROOF.
- ⑥ EXISTING SIDING TO REMAIN, PROTECT IN PLACE. V.I.F CONDITION OF EXISTING SIDING, REPAIR & REPLACE ONLY AS NEEDED. MATCH EXISTING MATERIAL/COLOR/TEXTURE.
- ⑦ EXISTING TRIM TO REMAIN, PROTECT IN PLACE. V.I.F CONDITION OF EXISTING TRIM AT WINDOWS, FASCIA, EAVE, ETC. REPAIR & REPLACE ONLY AS NEEDED. MATCH EXISTING MATERIAL/COLOR/TEXTURE.

Prepared By:

Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Original Date: 08-24-11

Project Name:
The Heritage on Ivanhoe

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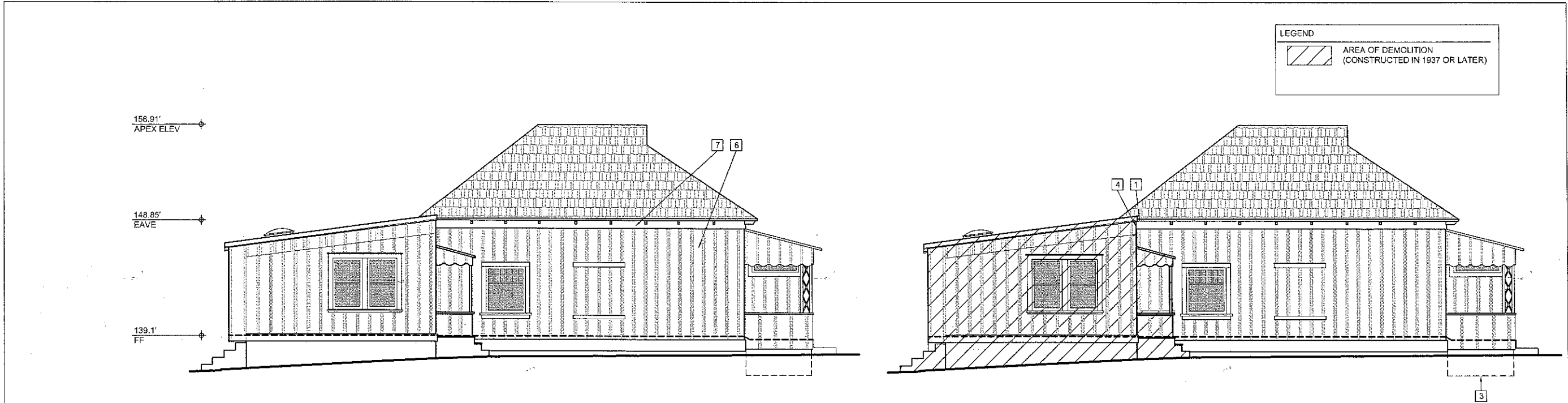
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UNIT B1
EAST ELEVATIONS

A23

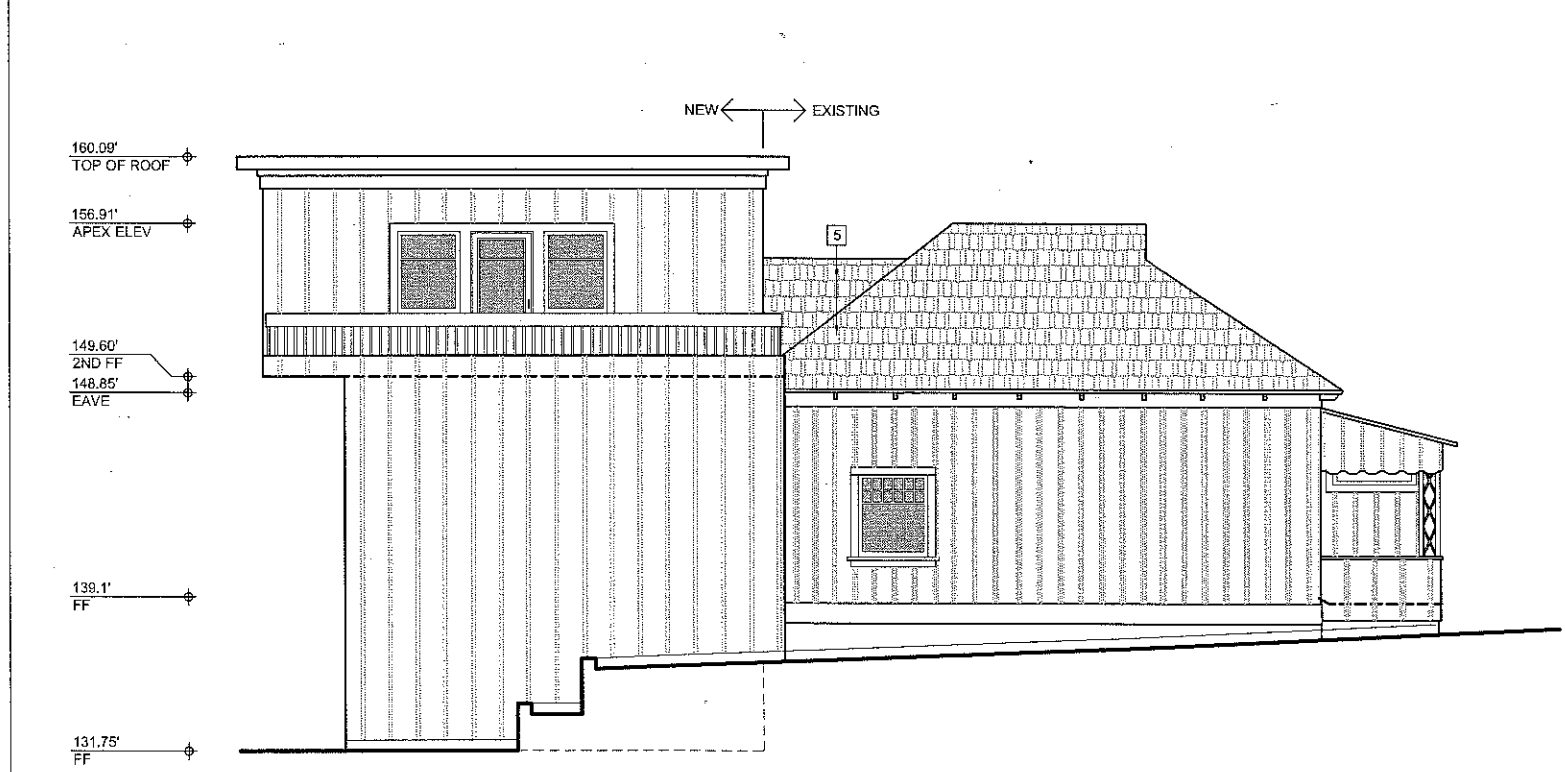
DATE: 11-03-11

THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037



UNIT B1
EXISTING SOUTH ELEVATION ①
SCALE: 1/4"=1'-0"

UNIT B1
DEMOLITION SOUTH ELEVATION ②
SCALE: 1/4"=1'-0"



UNIT B1
PROPOSED SOUTH ELEVATION ③
SCALE: 1/4"=1'-0"

- KEY NOTES
- ① DURING DEMOLITION PROTECT EAVE & WALL DETAILING - REPAINT TO MATCH EXISTING
 - ② (NOT USED)
 - ③ NEW FOUNDATION @ PORCH & STAIR
 - ④ WHEN REMOVING THE REAR PORTION OF THE HOUSE - STABILIZE THE PORTION OF THE HOUSE TO REMAIN
 - ⑤ MATCH EXISTING SHINGLES AT NEW ROOF.
 - ⑥ EXISTING SIDING TO REMAIN. PROTECT IN PLACE. V.I.F CONDITION OF EXISTING SIDING, REPAIR & REPLACE ONLY AS NEEDED. MATCH EXISTING MATERIAL/COLOR/TEXTURE.
 - ⑦ EXISTING TRIM TO REMAIN, PROTECT IN PLACE. V.I.F CONDITION OF EXISTING TRIM AT WINDOWS, FASCIA, EAVE, ETC. REPAIR & REPLACE ONLY AS NEEDED. MATCH EXISTING MATERIAL/COLOR/TEXTURE.

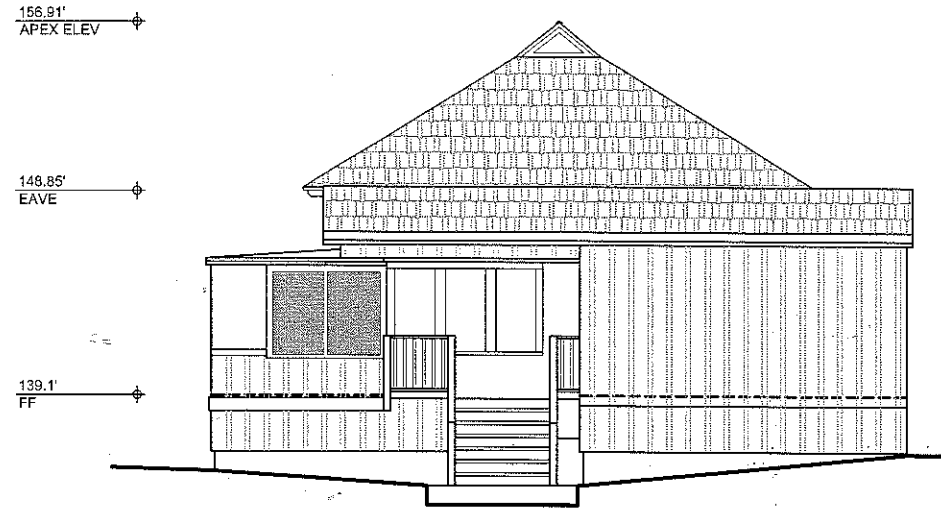
Prepared By: Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

Project Addresses: Original Date: 08-24-11
7114 - 7136 Ivanhoe Avenue
La Jolla, CA 92037

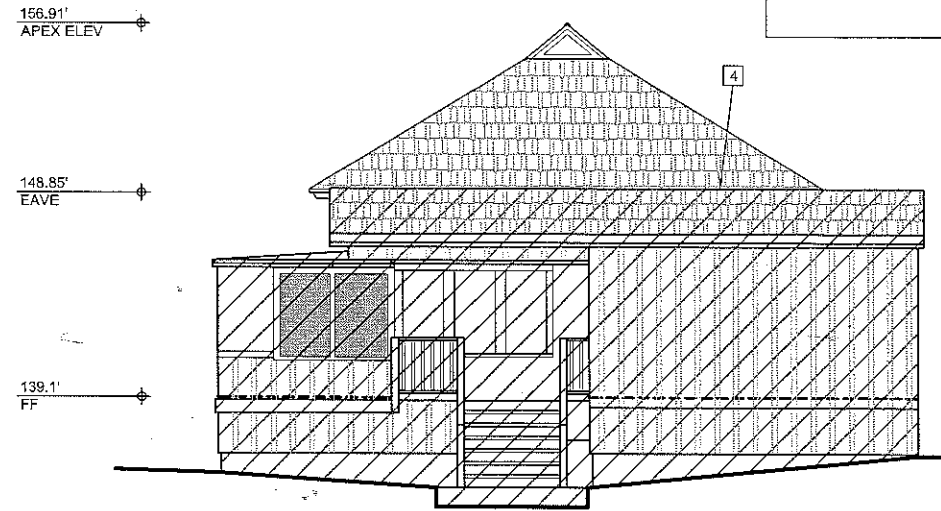
Project Name: The Heritage on Ivanhoe Sheet 21 of 26

Sheet Title: UNIT B1
SOUTH ELEVATIONS

THE HERITAGE ON IVANHOE
7114 - 7136 IVANHOE AVENUE
LA JOLLA, CA 92037




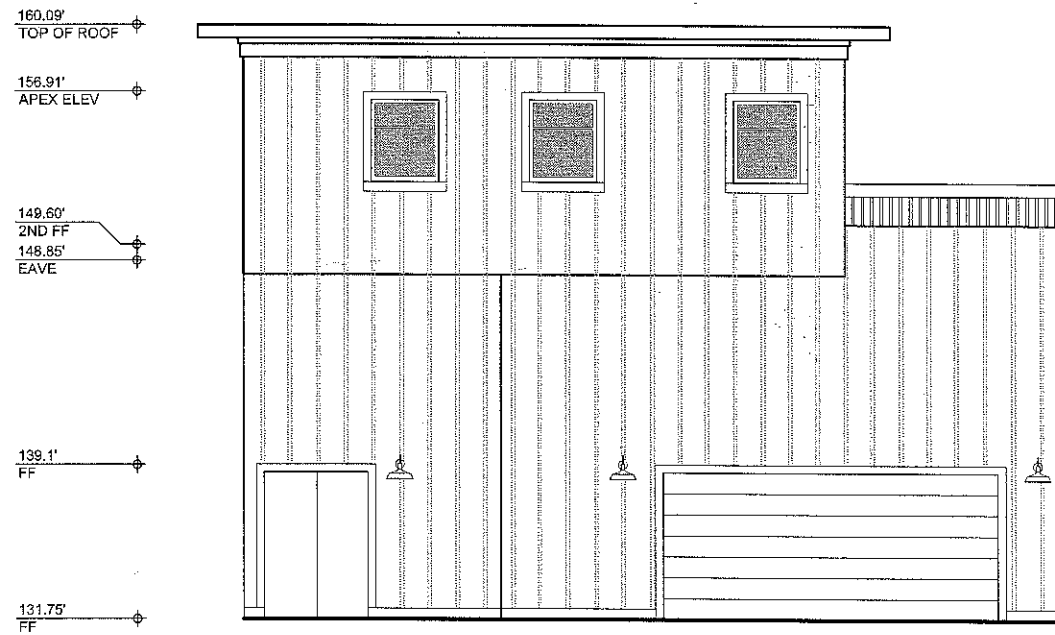
UNIT B1
EXISTING WEST ELEVATION ①
SCALE: 1/4"=1'-0"



UNIT B1
DEMOLITION WEST ELEVATION ②
SCALE: 1/4"=1'-0"

LEGEND

 AREA OF DEMOLITION
(CONSTRUCTED IN 1937 OR LATER)



UNIT B1
PROPOSED WEST ELEVATION ③
SCALE: 1/4"=1'-0"

KEY NOTES

- ① DURING DEMOLITION PROTECT EAVE & WALL DETAILING - REPAINT TO MATCH EXISTING
- ② (NOT USED)
- ③ NEW FOUNDATION @ PORCH & STAIR
- ④ WHEN REMOVING THE REAR PORTION OF THE HOUSE - STABILIZE THE PORTION OF THE HOUSE TO REMAIN
- ⑤ MATCH EXISTING SHINGLES AT NEW ROOF.
- ⑥ EXISTING SIDING TO REMAIN, PROTECT IN PLACE. V.I.F CONDITION OF EXISTING SIDING, REPAIR & REPLACE ONLY AS NEEDED. MATCH EXISTING MATERIAL/COLOR/TEXTURE.
- ⑦ EXISTING TRIM TO REMAIN, PROTECT IN PLACE. V.I.F CONDITION OF EXISTING TRIM AT WINDOWS, FASCIA, EAVE, ETC. REPAIR & REPLACE ONLY AS NEEDED. MATCH EXISTING MATERIAL/COLOR/TEXTURE.

Prepared By:

Revision 1: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

Project Addresses:
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Original Date: 08-24-11

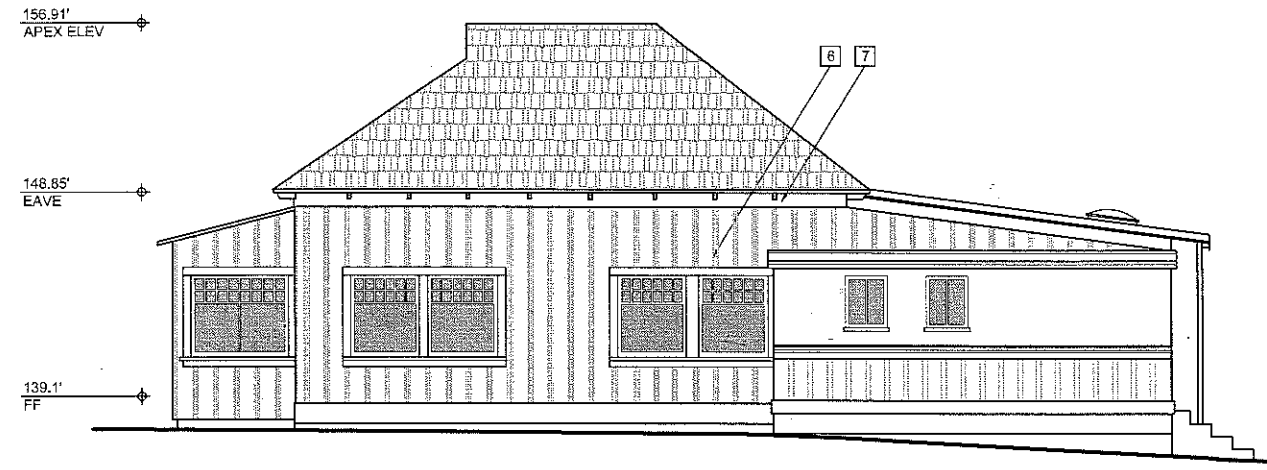
Project Name:
The Heritage on Ivanhoe

Sheet 22 Of 26

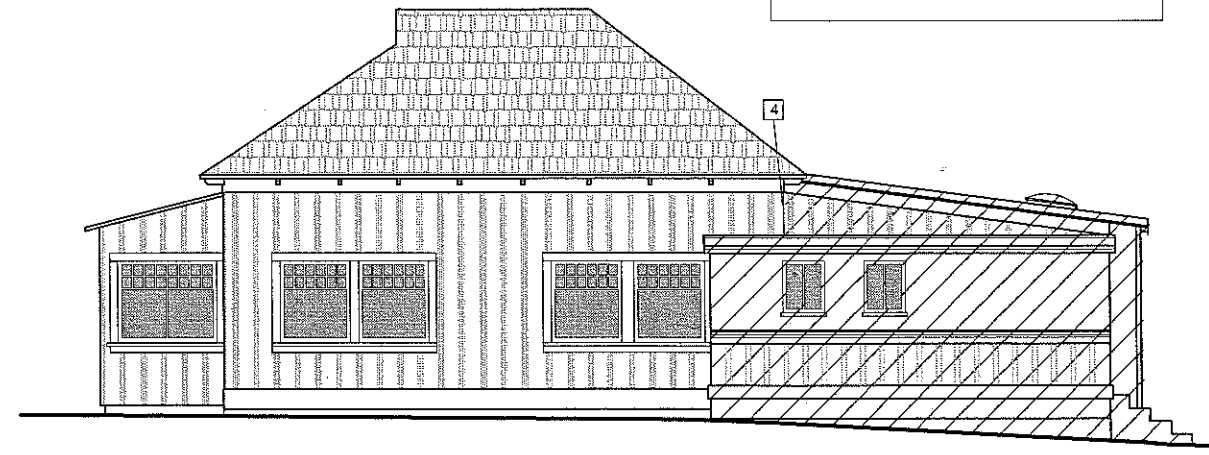
Sheet Title:

UNIT B1
WEST ELEVATIONS

THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037




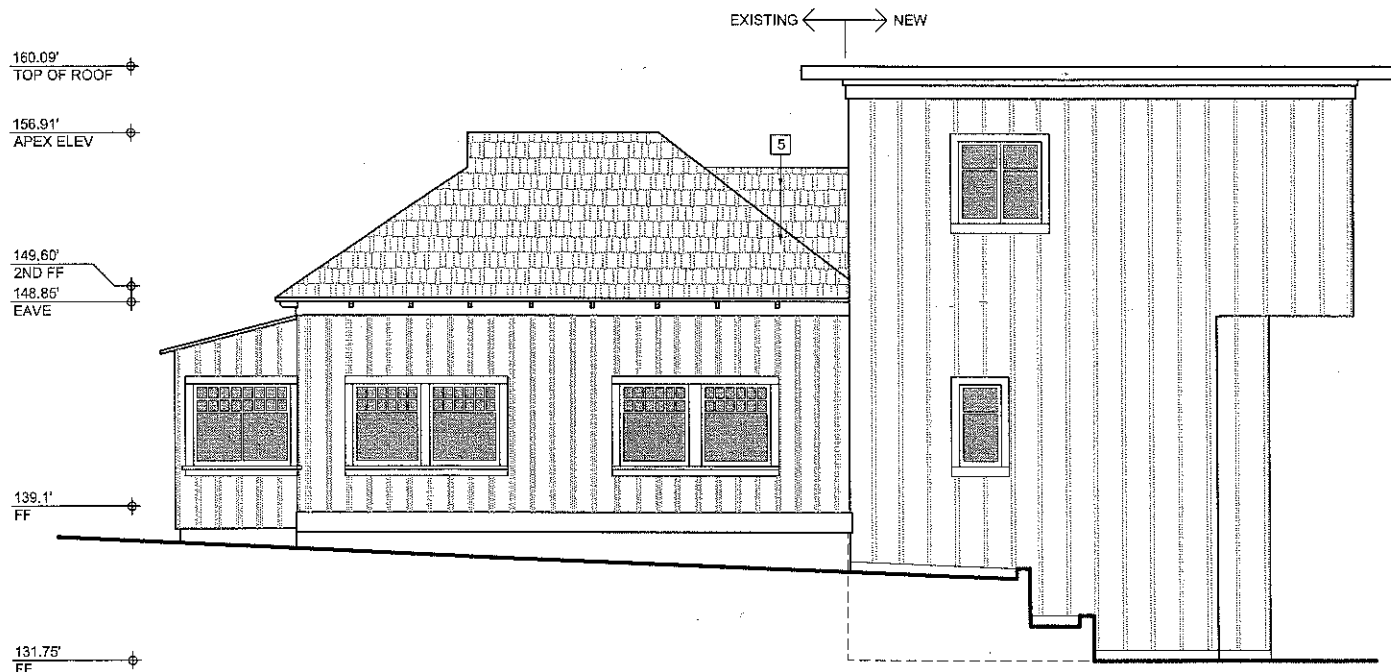
UNIT B1
EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0" ①



UNIT B1
DEMOLITION NORTH ELEVATION
SCALE: 1/4"=1'-0" ②

LEGEND

 AREA OF DEMOLITION
(CONSTRUCTED IN 1937 OR LATER)



UNIT B1
PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0" ③

KEY NOTES

- ① DURING DEMOLITION PROTECT EAVE & WALL
DETAILING - REPAINT TO MATCH EXISTING
- ② (NOT USED)
- ③ NEW FOUNDATION @ PORCH & STAIR
- ④ WHEN REMOVING THE REAR PORTION OF THE
HOUSE - STABILIZE THE PORTION OF THE HOUSE TO
REMAIN
- ⑤ MATCH EXISTING SHINGLES AT NEW ROOF.
- ⑥ EXISTING SIDING TO REMAIN, PROTECT IN PLACE.
V.I.F. CONDITION OF EXISTING SIDING, REPAIR &
REPLACE ONLY AS NEEDED. MATCH EXISTING
MATERIAL/COLOR/TEXTURE.
- ⑦ EXISTING TRIM TO REMAIN, PROTECT IN PLACE.
V.I.F. CONDITION OF EXISTING TRIM AT WINDOWS,
FASCIA, EAVE, ETC. REPAIR & REPLACE ONLY AS
NEEDED. MATCH EXISTING
MATERIAL/COLOR/TEXTURE.

Prepared By: Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

Project Addresses: Original Date: 08-24-11
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

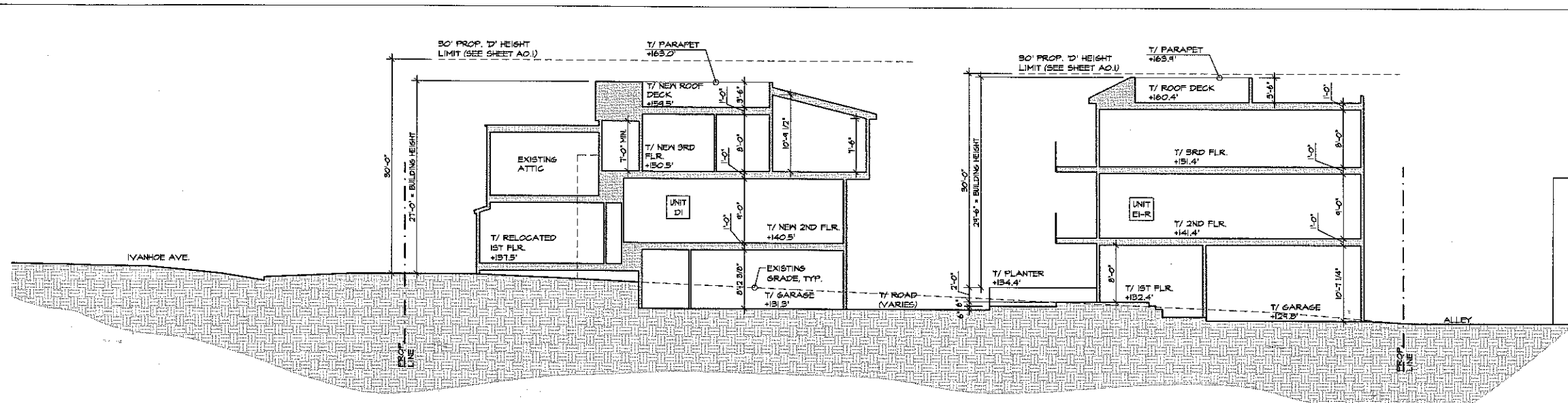
Project Name: The Heritage on Ivanhoe Sheet 23 Of 26

Sheet Title: UNIT B1
NORTH ELEVATIONS

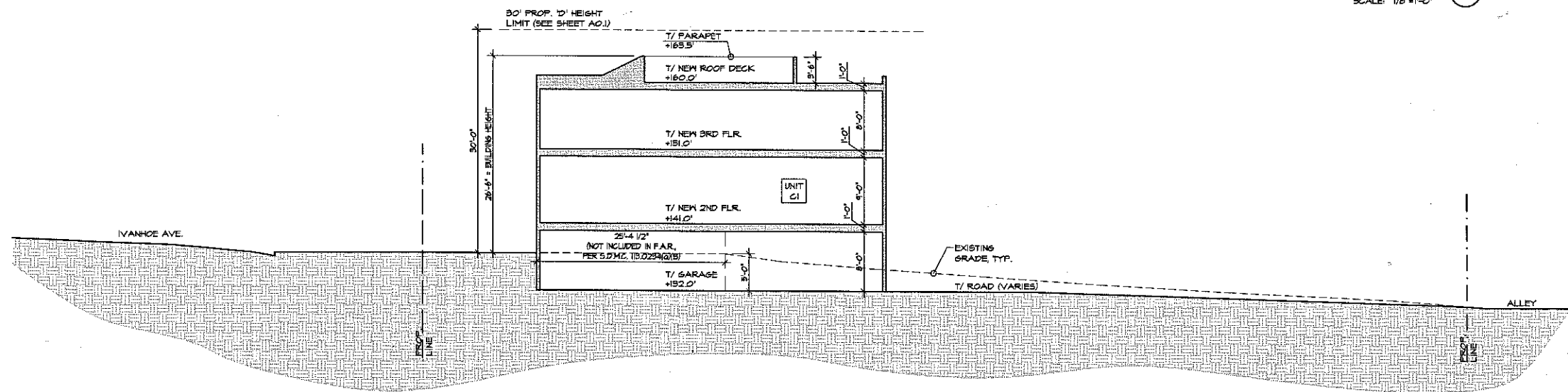
THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037

A2.6

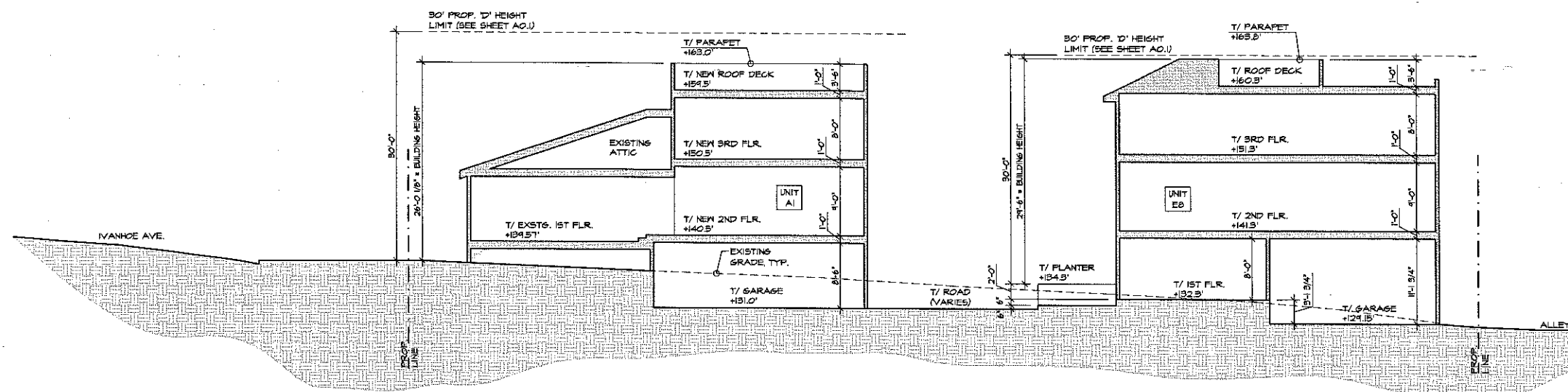
DATE: 11-03-11



SITE SECTION 1
SCALE: 1/8"=1'-0"



SITE SECTION 2
SCALE: 1/8"=1'-0"



SITE SECTION 3
SCALE: 1/8"=1'-0"

Prepared By: Revision 7: X
Revision 6: X
Revision 5: X
Revision 4: X
Revision 3: X
Revision 2: X
Revision 1: 11-03-11

Project Addresses: Original Date: 08-24-11
7714 - 7736 Ivanhoe Avenue
La Jolla, CA 92037

Project Name: Sheet 24 Of 26
The Heritage on Ivanhoe

Sheet Title:
SITE SECTIONS

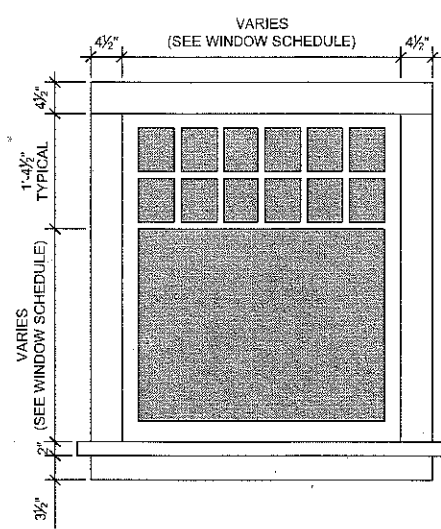
THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037

ATTACHMENT 8

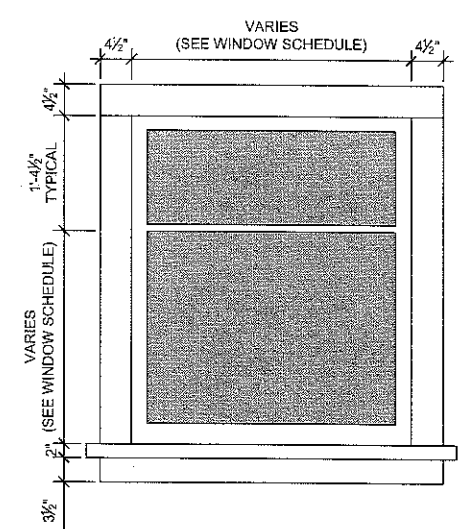


DATE: 11-03-11

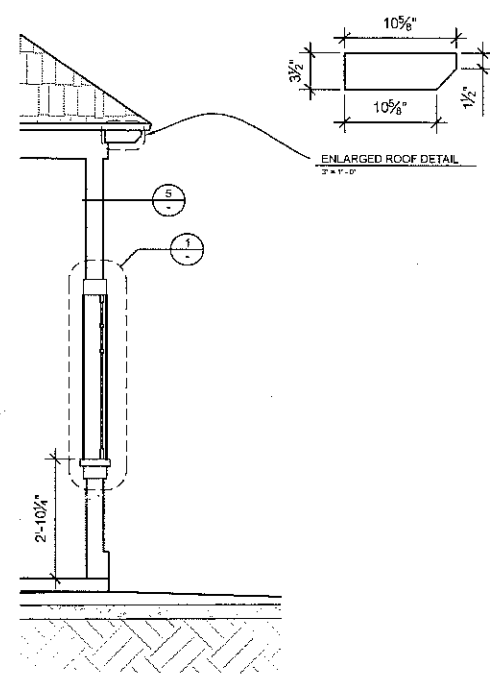
THE HERITAGE ON IVANHOE
 7714 - 7736 IVANHOE AVENUE
 LA JOLLA, CA 92037



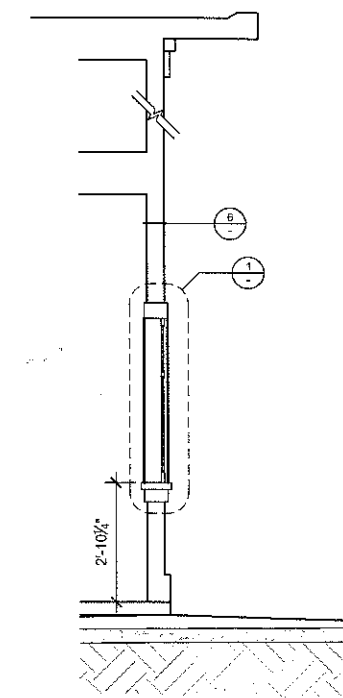
1 EXISTING WINDOW (TYP)
 1" = 1'-0"



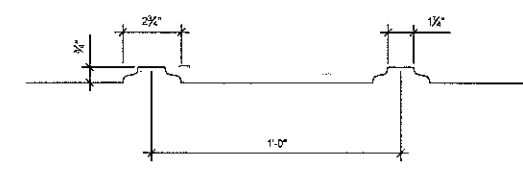
2 PROPOSED WINDOW (TYP)
 1" = 1'-0"



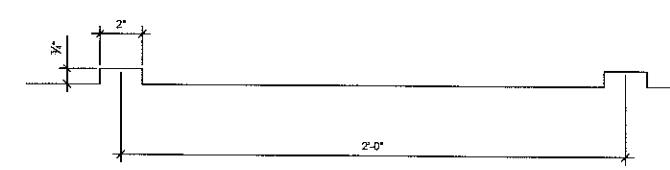
3 EXISTING WALL SECTION (TYP)
 1/2" = 1'-0"



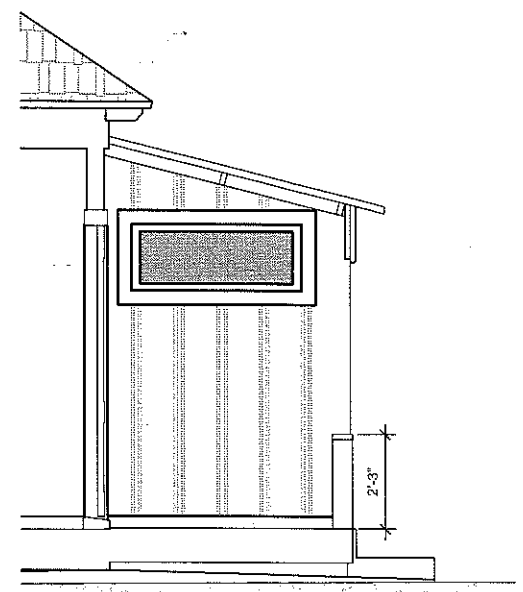
4 PROPOSED WALL SECTION (TYP)
 1/2" = 1'-0"



5 EXISTING EXT WALL DETAIL - PLAN VIEW
 3" = 1'-0"



6 PROPOSED EXT WALL DETAIL - PLAN VIEW
 3" = 1'-0"



7 EXISTING WALL SECTION @ PORCH (TYP)
 1/2" = 1'-0"

Prepared By:

- Revision 1: X
- Revision 6: X
- Revision 5: X
- Revision 4: X
- Revision 3: X
- Revision 2: X
- Revision 1: 11-03-11

Project Addresses:
 7714 - 7736 Ivanhoe Avenue
 La Jolla, CA 92037

Original Date: 08-24-11

Project Name:
 The Heritage on Ivanhoe

Sheet 25 Of 26

Sheet Title:

UNIT B1
 DETAILS

A 4.0

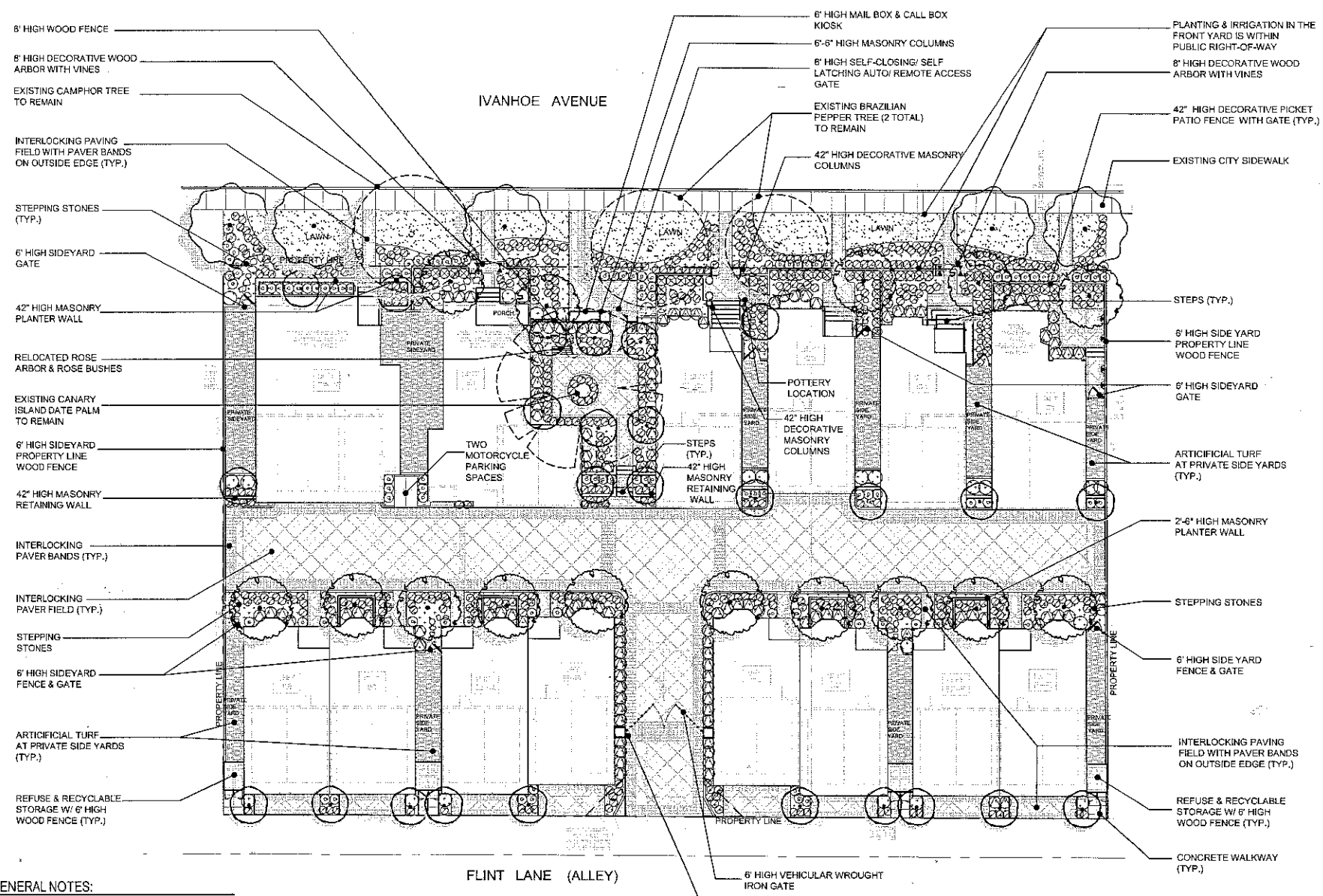
DATE: 11-03-11



JOHN HANNA + ASSOCIATES
LANDSCAPE ARCHITECTURE

1753 Swallowtail Rd
Encinitas, California 92024
858/259-1867 - Fax 858/368-5611

SIGNATURE



PLANT LEGEND

TREES

Table with 6 columns: SYMBOL, BOTANICAL NAME - COMMON NAME, SIZE, MATURE HT x DBH, FORM, FUNCTION, QTY. Includes Street Trees like Podocarpus gracillior and Small Accent Trees like Phorbia x Fraserii.

ACCENT TREES SUCH AS

Table with 6 columns: SYMBOL, BOTANICAL NAME - COMMON NAME, SIZE, MATURE HT x DBH, FORM, FUNCTION, QTY. Lists trees like Agave attenuata and Gaillardia.

NOTE: * Front yard trees adjacent to Ivanhoe Avenue.

SHRUBS

ACCENT SHRUBS SUCH AS

Table with 6 columns: SYMBOL, BOTANICAL NAME - COMMON NAME, SIZE, MATURE HT x DBH, FORM, FUNCTION, QTY. Lists shrubs like Agapanthus africanus and Nandina domestica.

FOUNDATION SHRUBS SUCH AS

Table with 6 columns: SYMBOL, BOTANICAL NAME - COMMON NAME, SIZE, MATURE HT x DBH, FORM, FUNCTION, QTY. Lists foundation shrubs like Callisaya major and Buxus japonica.

VINES SUCH AS

Table with 3 columns: SYMBOL, BOTANICAL NAME - COMMON NAME, SIZE, QTY. Lists vines like Bougainvillea and Hibiscus rosa-sinensis.

GROUND COVER SUCH AS

Table with 3 columns: SYMBOL, BOTANICAL NAME - COMMON NAME, SIZE &Spacing. Lists ground covers like Fragaria chiloensis and Drought-tolerant Tall Fescue.

GENERAL NOTES:

- 1. PRIOR TO ISSUANCE OF ANY ENGINEER PERMITS FOR OTHER CONSTRUCTION DOCUMENTS...
2. PRIOR TO RESUBMISSION OF ANY ENGINEERING PERMITS FOR RIGHT-OF-WAY IMPROVEMENTS...
3. IN THE EVENT THAT A CONSTRUCTION ONLY PERMIT IS REQUESTED BY THE PERMITTEE...
4. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS FOR STRUCTURES INCLUDING SHELL...
5. PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMITS FOR BUILDINGS A WATER BUDGET SHALL BE PROVIDED...
6. PRIOR TO RESUBMISSION OF ANY CERTIFICATE OF OCCUPANCY IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE...
7. ALL REQUIRED LANDSCAPE SHALL BE MAINTAINED IN A SUBSIDUE, WEED AND OFFER FREE CONDITION...
8. THE PERMITTEE OR SUBSEQUENT OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE IMPROVEMENTS...
9. IF ANY REQUIRED LANDSCAPE (INCLUDING DIVISIONS OR NEW PLANTED LANDSCAPE) LANDSCAPE FEATURES...
10. ALL TREES SHALL BE PROVIDED WITH 48 SQ. FT. ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA...
11. ALL LANDSCAPE IRRIGATION SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE IRRIGATION...
12. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PERMITTEE...
13. HIGH WATER USE PLANTS SHALL BE LIMITED TO NOT MORE THAN 3% PERCENT OF THE TOTAL DEVELOPED LANDSCAPE AREA...

MINIMUM TREE SEPARATION DISTANCE:

TRAFFIC SIGNAL STOP SIGN - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.) - 10 FEET
DISTURBED - 3 FEET

ROOT BARRIERS:

NON-BIODEGRADABLE TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKWAYS, CURBS OF STREET, PARKING OR DRIVEWAYS... PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES, ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOTBALL.

TREE PRESERVATION NOTE:

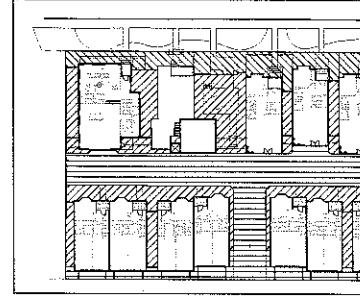
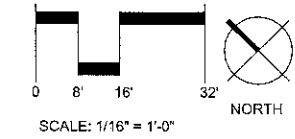
- 1. THE FOLLOWING PROTECTION FOR EXISTING TREES TO REMAIN ON SITE SHALL BE PROVIDED:
A. A BRIGHT YELLOW OR ORANGE TEMPORARY FENCE WILL BE PLACED AROUND EXISTING TREES AT THE DWP LINE.
B. STODIPACK, TOPSOIL, DISTURBANCE, CONSTRUCTION MATERIALS STORAGE, VEHICLE USE, FOOT TRAFFIC, AND STORAGE OF ANY KIND IS PROHIBITED WITHIN THE DWP LINE.
C. ROOT SYSTEMS OF EXISTING TREES ON SITE WILL BE PROTECTED FROM VIBRATION, GRINDING, CHEMICAL SPILLS, AND EXCESSIVE WEIGHT AND DRIVING DURING DEMOLITION.
D. THE EXISTING SHADE WILL BE MAINTAINED WITHIN THE DWP LINE OF EXISTING TREES ON SITE.
E. ROOTS OF EXISTING TREES ON SITE WILL BE CUT APPROXIMATELY 6 INCHES BACK FROM NEW CONSTRUCTION.
F. MAINTENANCE DOCUMENT A TREE WATERING SCHEDULE DURING CONSTRUCTION.
G. ALL DAMAGED TREES WILL BE REPLACED WITH ONE OF EQUAL OR GREATER SIZE.

IRRIGATION NOTES

- 1. AN AUTOMATIC, ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED BY THE CITY OF SAN DIEGO LANDSCAPE IRRIGATION AND MAINTENANCE OF THE CITY OF SAN DIEGO LANDSCAPE IRRIGATION...
2. IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CITY AND STANDARD OF THE CITY OF SAN DIEGO LANDSCAPE IRRIGATION AND MAINTENANCE...
3. IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CITY AND STANDARD OF THE CITY OF SAN DIEGO LANDSCAPE IRRIGATION AND MAINTENANCE...

IRRIGATION PERFORMANCE SPECIFICATIONS

- 1. ALL PLANTING AREAS SHALL BE IRRIGATED WITH A FULLY AUTOMATIC SYSTEM PROVIDING 70% COVERAGE...
2. CONTRACTOR TO PROVIDE AS-BUILT FOR PRESSURE LINES, VALVES AND OTHER MAJOR COMPONENTS...
3. LAWN AND GROUND COVER AREAS SHALL BE ON SEPARATELY VALVED SYSTEMS...
4. PLANTING AREAS WITH SOUTH-WEST EXPOSURES SHALL BE IRRIGATED SEPARATELY...
5. ALL IRRIGATION EQUIPMENT SHALL BE SUBMITTED TO, REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION...
6. ALL IRRIGATION EQUIPMENT LOCATIONS SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION...
7. IRRIGATION SYSTEM OPERATION AND COVERAGE SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO FINAL PAYMENT...
8. NO IRRIGATION SPRAY SHALL OCCUR WITHIN FIVE (5) FEET OF ANY BUILDING WALL AND ONLY DWP SYSTEMS MAY BE INSTALLED IN THIS AREA...



AREA DIAGRAM NOT TO SCALE

DESIGN STATEMENT

A major effort has been made to incorporate the look and feel of front yard spaces consistent with, and harmonious with the historic character of the cottages of La Jolla. Both plantings and the design of watering systems will be in-keeping with the principles of sustainability and drought tolerance.

NOTE:

TREES & SHRUBS WITH MATURE HEIGHT OF 3 FEET OR HIGHER WILL NOT BE LOCATED WITH THEIR TRUNKS CLOSER THAN 10 FEET TO SEWER & WATER SUPPLY LINES LOCATED IN THE PUBLIC RIGHT-OF-WAY.

LANDSCAPE CALCULATIONS

STREET TREES IN PUBLIC RIGHT OF WAY: Length of street frontage : 224 L.F. Street trees required : 8. Provided : 8 (5 new, 3 existing)
REMAINING YARD: Total area : 2,862 S.F., outside public right of way. Hardscape area : 977 S.F. Planting area required : 1,431 S.F.; provided : 1,885 S.F. Plant points required : 144 points; provided : 480 points
VEHICULAR USE AREA: Total vehicular use area : 7,240 S.F. Planting area provided : 233 S.F. Plant points required : 218 points (0.03 % vehicular use area outside the street yard) Plant points provided : 473 points

THE HERITAGE ON IVANHOE / JHA #934

Prepared by: John Hanna & Associates, 1753 Swallowtail Rd., Encinitas, CA 92024
Project Address: 7714 - 7736 Ivanhoe Avenue, La Jolla, CA 92037
Project Name: THE HERITAGE ON IVANHOE
Sheet title: LANDSCAPE DEVELOPMENT PLAN, Sht # 26 of 26

THE HERITAGE ON IVANHOE
7714 - 7736 IVANHOE AVENUE
LA JOLLA, CA 92037
FOR
KD DEVELOPMENT, LLC
4641 INGRAM ST.
SAN DIEGO CA 92109
PHONE (858) 274-5995 FAX (858) 274-0964

REVISIONS
DATE 08-15-2011
DRAWN BY JHA
SHEET TITLE LANDSCAPE DEVELOPMENT PLAN
JOB NO. 934
SHEET NO. L-1
26 OF 26 SHEETS

ATTACHMENT 8



P.O. BOX 889
• LA JOLLA •
CALIFORNIA 92038

LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900

<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 03 November 2011

Attention: Jeff Peterson, PM
City of San Diego

Project: The Heritage On Ivanhoe
7714-7742 Ivanhoe Avenue
PN: 222657

Motion: To accept the recommendation of the Development Permit Review Committee: Findings can be made for a Coastal Development Permit and a Site Development Permit for Heritage of Ivanhoe projectas described above under "Scope of Work" (see DPR Comm. Rpt). 6-0-1 **Vote: 14-0-0-1**

03 November 2011

Submitted by: Tony Crisafi, President
La Jolla CPA

Date

NOTICE OF EXEMPTION

(Check one or both)

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT TITLE/ NO.: HERITAGE ON IVANHOE / 222657

PROJECT LOCATION-SPECIFIC: 7714 - 7740 Ivanhoe Avenue, San Diego, CA 92037

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: The applicant is requesting a Coastal Development Permit and a Site Development Permit to demolish five of the eight existing single-dwelling units and subsequent construction of 11 residential units. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from the un-named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified to be consistent with the Secretary of Interior Standards. The proposed 11 units would be comprised of three two-story single-dwelling units fronting Ivanhoe Avenue and four three-story duplexes abutting an un-named alley (Flint Lane). The 0.72-acre project site is located at 7714 - 7740 Ivanhoe Avenue, designated medium High Residential (30-45 dwelling unit per acre), the RM-3-7 Zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Non-Appealable 2 area), the Parking Impact Overlay Zone (coastal), and the Residential Tandem Parking Overlay Zone, within the La Jolla Community Plan and Local Coastal Program area. (LEGAL DESCRIPTION: Lots 3, 4, and 5 of Copley Subdivision, map No. 5426).

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Rob Litton, 820 Armada Terrace, San Diego, CA 92106, (619) 813-5847.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268)
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: 15332 (Infill Development)
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an Initial Study that determined that the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the density as determined by the community plan and implemented by the applicable zone. The project would not result in any significant impacts to biological resources, historical resources, traffic, noise, air quality, or water quality. The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply.

LEAD AGENCY CONTACT PERSON: E. Shearer-Nguyen

TELEPHONE: (619) 446-5369

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

Matt Mc / Senior Planner

SIGNATURE/TITLE

November 18, 2011

DATE OF PROJECT APPROVAL

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: November 18, 2011

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24001236

PROJECT NAME/NUMBER: HERITAGE ON IVANHOE / 222657

COMMUNITY PLAN AREA: La Jolla

COUNCIL DISTRICT: 1

LOCATION: 7714 - 7740 Ivanhoe Avenue, San Diego, CA 92037

PROJECT DESCRIPTION: The applicant is requesting a Coastal Development Permit and a Site Development Permit to demolish five of the eight existing single-dwelling units and subsequent construction of 11 residential units. Two of the existing units (7736 and 7740 Ivanhoe Avenue) would be preserved while the third unit (7722 Ivanhoe Avenue) would be relocated from named alley (Flint Lane) to Ivanhoe Avenue. The three existing units would be modified, and the modifications to 7736 Ivanhoe Avenue would be consistent with the Secretary of Interior Standards due to the historic nature of the structure. The proposed 11 units would be comprised of three, two-story plus basement single-dwelling units fronting Ivanhoe Avenue, and four, three-story duplexes abutting a named alley (Flint Lane). The 0.72-acre project site is located at 7714 - 7740 Ivanhoe Avenue, designated medium High Residential (30-45 dwelling unit per acre), the RM-3-7 Zone, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Non-Appealable 2 area), the Parking Impact Overlay Zone (coastal), and the Residential Tandem Parking Overlay Zone, within the La Jolla Community Plan and Local Coastal Program area. (LEGAL DESCRIPTION: Lots 3, 4, and 5 of Copley Subdivision, map No. 5426).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer Decision.

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15301 (Existing Facilities) and 15332 (Infill Development).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The City

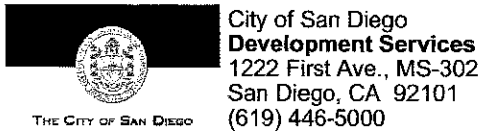
of San Diego conducted an Initial Study that determined that the project would not have the potential for causing a significant effect on the environment in that the project is consistent with the density as determined by the community plan and implemented by the applicable zone. The project would not result in any significant impacts to biological resources, historical resources, traffic, noise, air quality, or water quality. The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply.

DEVELOPMENT PROJECT MANAGER: Jeffery A. Peterson
MAILING ADDRESS: 1222 First Avenue, MS401, San Diego CA 92101
PHONE NUMBER: (619) 446-5237

On November 18, 2011 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 15 business days from the date of the environmental determination.

This information will be made available in alternative formats upon request.



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title Heritage on Ivanhoe **Project No. For City Use Only** 222657

Project Address: 7714-42 Ivanhoe Ave

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title: <u>Heritage on Ivanhoe, LLC</u>	Project No. (For City Use Only) <u>222657</u>
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
Heritage on Ivanhoe, LLC

Owner Tenant/Lessee

Street Address: 4641 Ingraham St

City/State/Zip: SD, CA 92109

Phone No: 858 2745995 Fax No: _____

Name of Corporate Officer/Partner (type or print):
Michael E. Turk

Title (type or print):
General Manager

Signature: [Signature] Date: 8/23/11

Corporate/Partnership Name (type or print):
Heritage on Ivanhoe, LLC

Owner Tenant/Lessee

Street Address: SAME

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):
Karen D. Turk

Title (type or print):
Beneficiary PBIT

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):
Heritage on Ivanhoe, LLC

Owner Tenant/Lessee

Street Address: 4444 Mission Blvd

City/State/Zip: SD, CA 92109

Phone No: 858 4904139 Fax No: _____

Name of Corporate Officer/Partner (type or print):
Steven E. Cairncross

Title (type or print):
Trustee

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):
Heritage on Ivanhoe, LLC

Owner Tenant/Lessee

Street Address: SAME

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):
Lori E. Cairncross

Title (type or print):
Trustee

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: _____ Date: _____



State of California
Secretary of State

Limited Liability Company
Articles of Organization

LLC-1

File # 201120010093

ENDORSED - FILED
in the office of the Secretary of State
of the State of California

JUL 08 2011

A \$70.00 filing fee must accompany this form.

Important - Read Instructions before completing this form.

This Space For Filing Use Only

Entity Name (End the name with the words "Limited Liability Company," or the abbreviations "LLC" or "L.L.C." The words "Limited" and "Company" may be abbreviated to "Ltd." and "Co.," respectively.)

1. NAME OF LIMITED LIABILITY COMPANY

HERITAGE ON IVANHOE, LLC

Purpose (The following statement is required by statute and should not be altered.)

2. THE PURPOSE OF THE LIMITED LIABILITY COMPANY IS TO ENGAGE IN ANY LAWFUL ACT OR ACTIVITY FOR WHICH A LIMITED LIABILITY COMPANY MAY BE ORGANIZED UNDER THE BEVERLY-KILLEA LIMITED LIABILITY COMPANY ACT.

Initial Agent for Service of Process (If the agent is an individual, the agent must reside in California and both items 3 and 4 must be completed. If the agent is a corporation, the agent must have on file with the California Secretary of State a certificate pursuant to California Corporations Code section 1505 and item 3 must be completed (leave item 4 blank).)

3. NAME OF INITIAL AGENT FOR SERVICE OF PROCESS

John M. Tumer

4. IF AN INDIVIDUAL, ADDRESS OF INITIAL AGENT FOR SERVICE OF PROCESS IN CALIFORNIA CITY STATE ZIP CODE

550 West C Street, Suite 1160

San Diego CA 92101

Management (Check only one)

5. THE LIMITED LIABILITY COMPANY WILL BE MANAGED BY:



ONE MANAGER



MORE THAN ONE MANAGER



ALL LIMITED LIABILITY COMPANY MEMBER(S)

Additional Information

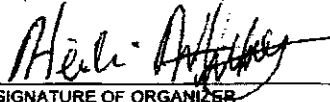
6. ADDITIONAL INFORMATION SET FORTH ON THE ATTACHED PAGES, IF ANY, IS INCORPORATED HEREIN BY THIS REFERENCE AND MADE A PART OF THIS CERTIFICATE.

Execution

7. I DECLARE I AM THE PERSON WHO EXECUTED THIS INSTRUMENT, WHICH EXECUTION IS MY ACT AND DEED.

July 8, 2011

DATE


SIGNATURE OF ORGANIZER

Heidi Whitney

TYPE OR PRINT NAME OF ORGANIZER

**HERITAGE ON IVANHOE, LLC
OPERATING AGREEMENT**

EXHIBIT A

Name, Address and Taxpayer I.D. Number	Initial Capital Contribution	Percentage	Date Admitted
Michael E. Turk as Trustee of the Pacific Beach Investment Trust, Exempt Trust A and B 4641 Ingraham Street San Diego, CA 92101	See Operating Agreement	75%	<u>7/8/2011</u>
Steven E. Cairncross and Lori E. Cairncross, as Trustees of the Steven and Lori Cairncross Trust dated November 9, 1999	See Operating Agreement	25%	<u>7/8/2011</u>

CERTIFICATION OF TRUST

Name of Trust	PACIFIC BEACH INVESTMENT TRUST
Date of Trust	AUGUST 14, 1998
Trustee	MICHAEL TURK
Trustor	TIMOTHY C. POLACEK

1. The powers of the Trustee of the above referenced trust are attached as Exhibit "A" and incorporated herein by this reference as if set forth in full.

2. The trust is irrevocable.

3. Where multiple Trustees are serving, if all Trustees agree, any one or more of them may be authorized to execute documents and transact business on behalf of the trust.

4. For tax reporting purposes, the following taxpayer number should be used:
 Exempt Trust A: 33-6302951
 Exempt Trust B: 33-6302952

5. Title to trust assets should be held as follows:

Michael Turk, as Trustee of the Pacific Beach Investment Trust dated April 11, 2001, Exempt Trusts A and B.

6. The undersigned certifies that the trust has not been revoked, modified or amended in any manner which would cause the representations contained in this Certification to be incorrect.

7. Section 18100.5 (f) of the California Probate Code reads, pertinent part, as follows:

(f) A person who acts in reliance upon a certification of trust without actual knowledge that the representations contained therein are incorrect is not liable to any person for so acting. A person who does not have actual knowledge that the facts contained in the certification of trust are incorrect may assume without inquiry the existence of the facts contained in the certification of trust. Actual knowledge shall not be inferred solely from the fact that a copy or part of the trust instrument is held by the person relying upon the trust certification. Any transaction, and any lien created

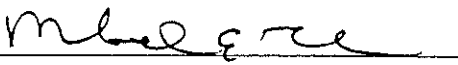
thereby, entered into by the Trustee and a person acting in reliance upon a certification of trust shall be enforceable against the trust assets.

8. This Certification of Trust is being signed by all of the currently acting Trustees of the trust.

I declare under penalty of perjury that the foregoing is true and correct.

EXECUTED on May 1, 2002 at San Diego, California.

PACIFIC BEACH INVESTMENT TRUST

By: 
MICHAEL E. TURK, Trustee

**DECLARATION OF TRUST
PACIFIC BEACH INVESTMENT TRUST**

**DECLARATION OF TRUST
PREAMBLE**

MICHAEL TURK, hereinafter called "Trustee", does hereby declare that TIMOTHY C. POLACEK, hereinafter called Trustor, has or will convey or transfer to the Trustee without consideration all of his right, title and interest in the property described in Schedule "A" hereto attached and made a part hereof.

All property now or hereafter subject to this trust shall constitute the trust estate, and shall be held, managed, administered and distributed as hereinafter provided. The singular shall include the plural wherever necessary and one gender shall include any other gender wherever necessary.

This trust shall be known as the PACIFIC BEACH INVESTMENT TRUST.

Initials TCP

ARTICLE I
DISTRIBUTION OF INCOME AND PRINCIPAL

1. Division of Assets

The Trustee shall divide the property described in Schedule "A" equally between the following trusts, to be held, managed, administered and distributed as hereafter provided:

Trust "A" - for the benefit of MICHAEL TURK, Primary Beneficiary

Trust "B" - for the benefit of KAREN TURK, Primary Beneficiary

If appropriate, said trusts shall thereafter be divided into exempt and non-exempt trusts as described in the Article following entitled *Provisions Relating to Generation Skipping*. Unless otherwise directed by the donor, such distribution shall be made on the basis of maximizing the amounts passing to the exempt trusts for the Primary Beneficiaries' issue.

Said trusts may be held, for accounting purposes, in one fund. The terms of said trusts are set forth in Paragraph 3 following.

2. Provisions of Trusts "A" and "B"

2.1 Provisions of Exempt Trusts

2.1.1 Payments of Income

During the lifetime of the Primary Beneficiary of this trust and the spouse of the Primary Beneficiary, or the survivor of them, the Trustee in its sole and absolute discretion may pay or apply the entire net income of the trust estate to or for the benefit of any of the following: The Primary Beneficiary, the spouse and the lawful living issue of the Primary Beneficiary as may be living from time to time. The Trustee may make such payments or applications of the net income in equal or unequal amounts among said beneficiaries and may at any time, and from time to time, exclude any one of them from any benefit hereunder. The Trustee in its sole discretion may withhold the distribution of any part of said net income, up to the whole thereof, and such portion up to the whole

Initials TRP

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
THE HERITAGE ON IVANHOE - PROJECT NO. 222657

Date	Action	Description	City Review Time (Working Days)	Applicant Response
8/10/2011	Expedite Program	The project was transferred into the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program and will be re-designed.	-	-
8/24/2011	First Expedite Submittal	Project Deemed Complete	-	-
9/16/2011	First Expedite Assessment Letter		16 days	
11/3/2011	Second Submittal			34 days
11/17/2011	Second Expedite Assessment Letter		9 days	
11/18/2011	Environmental Exemption	NORA was posted	1 day	
12/6/2011	Environmental Exemption	NORA appeal period ends.	10 days	
1/26/2012	Public Hearing	First available date	30 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	61 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		34 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	95 working days (155 calendar days)	