



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED December 7, 2012 **REPORT NO. PC-12-119**

ATTENTION: **Planning Commission, Agenda of December 13, 2012**

SUBJECT: 34th and J Residences - PROJECT NO. 128129; PROCESS FOUR

**OWNER/
APPLICANT:** Brian Revelli (Attachment 12)

SUMMARY

Issue(s): Should the Planning Commission approve the construction of a new 12 unit residential condominium project located at 3402 J Street within the Southeastern San Diego Community Plan area?

Staff Recommendations:

1. APPROVE Tentative Map No. 1067749, including a waiver to underground existing overhead utilities; and
2. APPROVE Site Development Permit No. 440736.

Community Planning Group Recommendation: The Southeastern San Diego Planning Committee voted unanimously (8-0-0) on October 18, 2012, to recommend approval of the project, with recommendations (Attachment 9).

Environmental Review: This project was determined to be categorically exempt from the California Environmental Quality Act on August 29, 2012, pursuant to Section 15332 (Infill Development) of the State CEQA Guidelines. This project is not pending an appeal of the environmental determination; the opportunity to appeal that determination ended September 13, 2012.

Fiscal Impact Statement: None with this action; the costs of processing this project have been paid by the applicant through a deposit account.

Code Enforcement Impact: None with this action.



Housing Impact Statement: The project proposes to demolish an existing single-family home and construct 12 multi-family residential condominium units, adding a total of 11 residential units to the Southeastern San Diego community planning area.

BACKGROUND

The 34th and J Residences project site is located 4 blocks south of Market Street, a block east of Chollas Creek and immediately west of State Route 15, on property at 3402 J Street, in the MF-3000 Zone of Southeastern San Diego Planned District within the Southeastern San Diego Community Plan area. The 0.80-acre rectangular shaped property is currently developed with a one-story single family home. Surrounding development consists primarily of older one story single-family homes and two-story multi-family apartment buildings (Attachment 1). The Southeastern San Diego Community plan designates the site for low-medium density multi-family residential land use (10-15 du/ac) (Attachments 2 and 3). A portion of the site along its western property line lies within the 100-year floodplain/Special Flood Hazard Area as indicated by Federal Emergency Management Agency (FEMA) maps. The floodplain area is considered environmentally sensitive lands under the San Diego Municipal Code.

Per the San Diego Municipal Code (SDMC), Section 1519.0202, the project requires a Southeastern San Diego Development Permit, in the form of a Process 3 Site Development Permit (SDP), for new multi-family residential projects of four or more units, and for projects sited on or adjacent to environmentally sensitive areas, within the Southeastern San Diego Planned District. Additionally, a Process 3 Site Development Permit (ESL) is required due to the presence of a 100-year floodplain/Special Flood Hazard Area on site, which meets the definition of "environmentally sensitive lands" per SDMC Section 143.01110. Per SDMC Section 125.0430, a Process 4 Tentative Map is required to subdivide the parcel into 12 multi-family residential condominium interests. These approvals are required to be consolidated and considered by the Planning Commission as the highest level of decision maker.

DISCUSSION

Project Description:

The project proposes to demolish an existing one-story single-family home and to develop 12 multi-family residential dwelling condominium units. The homes are designed as 3 bedroom detached two-story townhomes, each with a 2-car attached garage. Architectural design and construction techniques for the buildings include the use of colored stucco coated exterior finishes with composite shingle roofing (Attachment 5). The building facades have been designed to meet the off-setting planes requirements of the Southeastern San Diego Planned District Ordinance (PDO). To address recommendations from the Southeastern San Diego Planning Committee, the project will utilize a minimum of four (4) different earth-tone colors (3 houses of each color) for the stucco finishes and a minimum of four (4) colors of shingles or shingle color blends for the roof materials. The new homes will include design features to keep interior noise levels below 45 dB, including use of dual-pane windows/skylights and solid core exterior doors, installation of air-conditioning or mechanical ventilation systems, and exterior finishes of a minimum 7/8" stucco. The proposed

Housing Impact Statement: The project proposes to demolish an existing single-family home and construct 12 multi-family residential condominium units, adding a total of 11 residential units to the Southeastern San Diego community planning area.

BACKGROUND

The 34th and J Residences project site is located 4 blocks south of Market Street, a block east of Chollas Creek and immediately west of State Route 15, on property at 3402 J Street, in the MF-3000 Zone of Southeastern San Diego Planned District within the Southeastern San Diego Community Plan area. The 0.80-acre rectangular shaped property is currently developed with a one-story single family home. Surrounding development consists primarily of older one story single-family homes and two-story multi-family apartment buildings (Attachment 1). The Southeastern San Diego Community plan designates the site for low-medium density multi-family residential land use (10-15 du/ac) (Attachments 2 and 3). A portion of the site along its western property line lies within the 100-year floodplain/Special Flood Hazard Area as indicated by Federal Emergency Management Agency (FEMA) maps. The floodplain area is considered environmentally sensitive lands under the San Diego Municipal Code.

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DISCUSSION

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The project proposes to demolish an existing one-story single-family home and to develop 12 multi-family residential dwelling condominium units. The homes are designed as 3 bedroom detached two-story townhomes, each with a 2-car attached garage. Architectural design and construction techniques for the buildings include the use of colored stucco coated exterior finishes with composite shingle roofing (Attachment 5). The building facades have been designed to meet the off-setting planes requirements of the Southeastern San Diego Planned District Ordinance (PDO). To address recommendations from the Southeastern San Diego Planning Committee, the project will utilize a minimum of four (4) different earth-tone colors (3 houses of each color) for the stucco finishes and a minimum of four (4) colors of shingles or shingle color blends for the roof materials. The new homes will include design features to keep interior noise levels below 45 dB, including use of dual-pane windows/skylights and solid core exterior doors, installation of air-conditioning or mechanical ventilation systems, and exterior finishes of a minimum 7/8" stucco. The proposed

development will provide twenty four (24) automobile parking spaces (2 per home) and three (3) guest parking spaces, and vehicular access to the site from 34th Street will be provided through a new driveway. As the 34th Street public right-of-way in this area does not meet the City Street Design Manual engineering standards, the project is required to dedicate 20'-0" of property and construct new paving, curb, gutter, sidewalk and four (4) street trees within the expanded public right-of-way. To accommodate site drainage and storm water treatment the project will utilize a combination of filtered inlets and pipes throughout the site to collect runoff and discharge to a bio-retention area for treatment.

Community Plan Analysis:

The project site is located in the Stockton neighborhood of the Southeastern San Diego Community and is designated for multi-family residential land use (10-15 du/ac), and could accommodate between 8 -12 units within this density range. Stockton is situated on approximately 243 acres in the north-central portion of Southeastern San Diego, and is bounded on the north by State Highway 94, on the south by Imperial Avenue, on the east by Interstate 15 and on the west by 30th Street. Stockton is divided into two subareas, divided by Market Street which runs east/west. The project site is located within the southern two-thirds of the neighborhood, which contains a mixture of single- and multi-family residential development. Within the Stockton neighborhood, the Southeastern San Diego Community Plan encourages rehabilitation and infill development in the residential areas to allow for increased housing opportunities.

The project will comply with the goals of the Residential Element of the Southeastern San Diego Community Plan to "create a range of housing opportunities and choices to provide quality housing for people of all income levels and ages" and to "achieve an overall mix of different housing types to add diversity to communities and to increase the housing supply". The project will accomplish these goals by introducing the town home housing type within the existing neighborhood of older single-family homes and larger apartment buildings. The placement of 3 of the 12 town homes with a direct orientation fronting onto 34th Street, the incorporation of porch stoops and off-setting planes in the façade designs, and locating parking for the project internal to the development within garage structures, will contribute to the architectural character of the new townhomes and revitalization of the neighborhood. The proposed use and project design meets the purpose and intent of the Southeastern San Diego Planned District Ordinance, complies with the recommendations of the Southeastern San Diego Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council.

Project-Related Issues:

Environmentally Sensitive Lands/ Special Flood Hazard Area: The project site includes a small area along its western boundary which is mapped as being within the 100-year FEMA floodplain designation, which is defined as a Special Flood Hazard Area for environmentally sensitive lands per SDMC Section 143.01110. According to FEMA maps, the 100-year base flood elevation in this area is at an elevation of 42.6' Mean Sea Level (MSL). The project site slopes gently up from 34th Street, gaining approximately 12 feet in elevation from the front (approximately 40.0' MSL) to the rear of the property (approximately 52.0' MSL). As a condition of approval of the TM and SDP entitlements, all structures built within the 100-year floodplain are required to have the lowest floor

elevated 2 feet above the 42.6' MSL base flood elevation. The project proposes approximately 1,000 cubic yards of cut and fill earthwork to level the site. The grading will also raise the building pads within the 100 year floodplain areas to approximately 45.5' MSL, thereby ensuring the finished floor levels of the new homes in this location, estimated to be 46.0' MSL, will exceed the minimum 2 feet requirement above the 42.6' MSL 100-year base flood elevation. No deviations to the Special Flood Hazard Area development regulations are required to implement the project.

Community Planning Group Recommendation:

In their unanimous recommendation to approve the project on October 18, 2012, the Southeastern San Diego Planning Committee included numerous recommendations (Attachment 10). As outlined in Attachment 11 of this report, some of the recommendations have been incorporated into the project by the applicant. The applicant's response to each of the committee's recommendations is also included in Attachment 11.

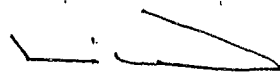
Conclusion:

The proposed 34th and J project meets all development standards, requires no deviations and complies with the applicable regulations of the Land Development Code. The project will be compatible with existing and planned residential land uses on adjoining properties, and as designed, the project will not constitute a disruptive element to the neighborhood and community. Further, the project meets the purpose and intent of the Southeastern San Diego Planned District Ordinance, complies with the recommendations of the Southeastern San Diego Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council. Therefore, staff recommends the Planning Commission approve the project.

ALTERNATIVES:

1. **Approve Site Development Permit No. 440736 and Tentative Map No. 1067749, with modifications.**
2. **Deny Site Development Permit No. 440736 and Tentative Map No. 1067749, if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department

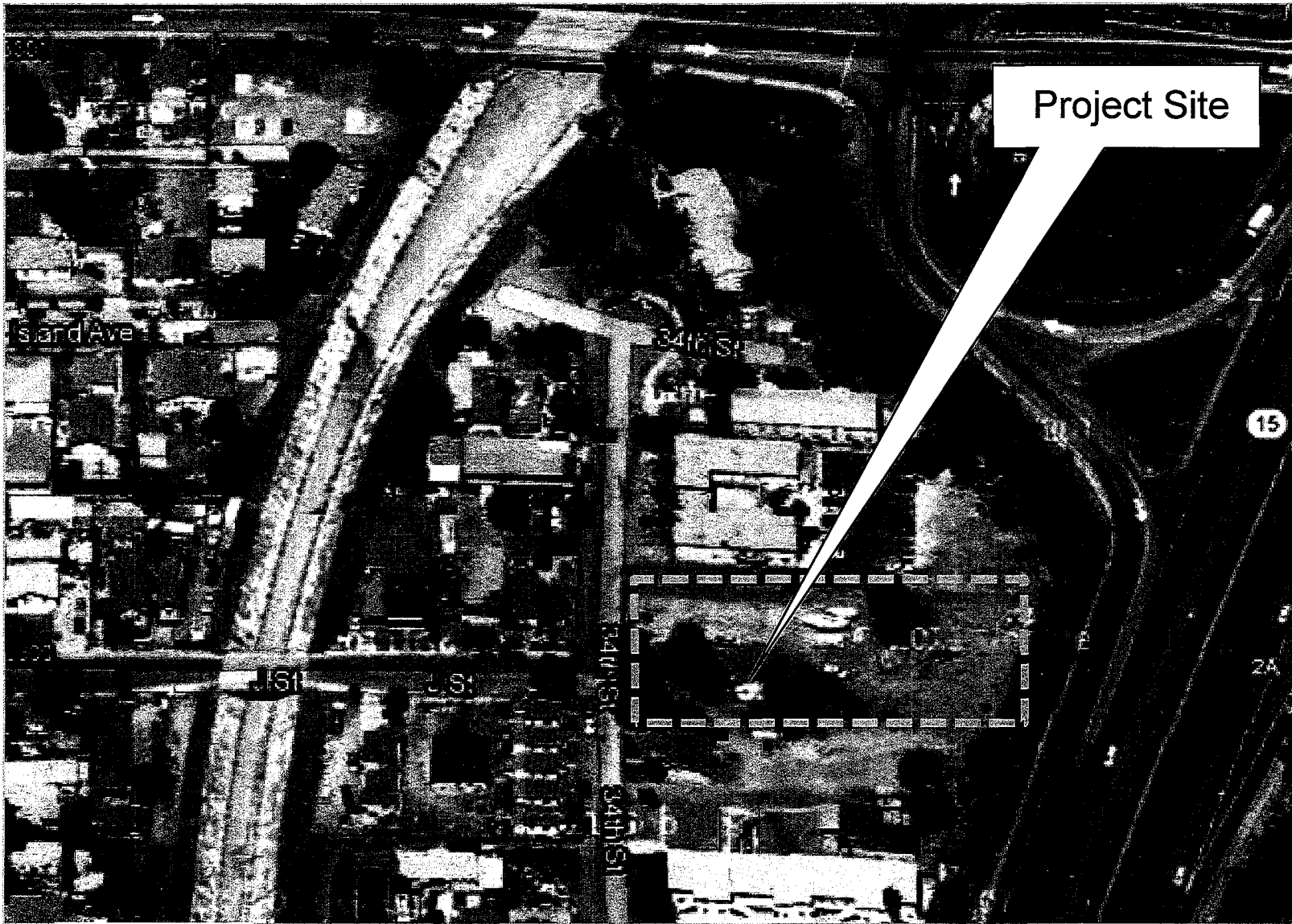


Patricia J. FitzGerald
Development Project Manager
Development Services Department

WESTLAKE/PJF

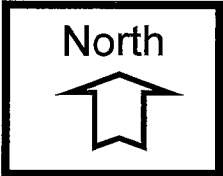
Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Project Plans
6. Draft SDP Permit
7. Draft SDP Resolution
8. Draft TM Resolution with Findings
9. Draft TM Conditions
10. Community Planning Group Recommendation
11. Applicant's Response to CPG Recommendations
12. Ownership Disclosure Statement



Aerial Photo

34th and J RESIDENCES
PROJECT NO. 128129





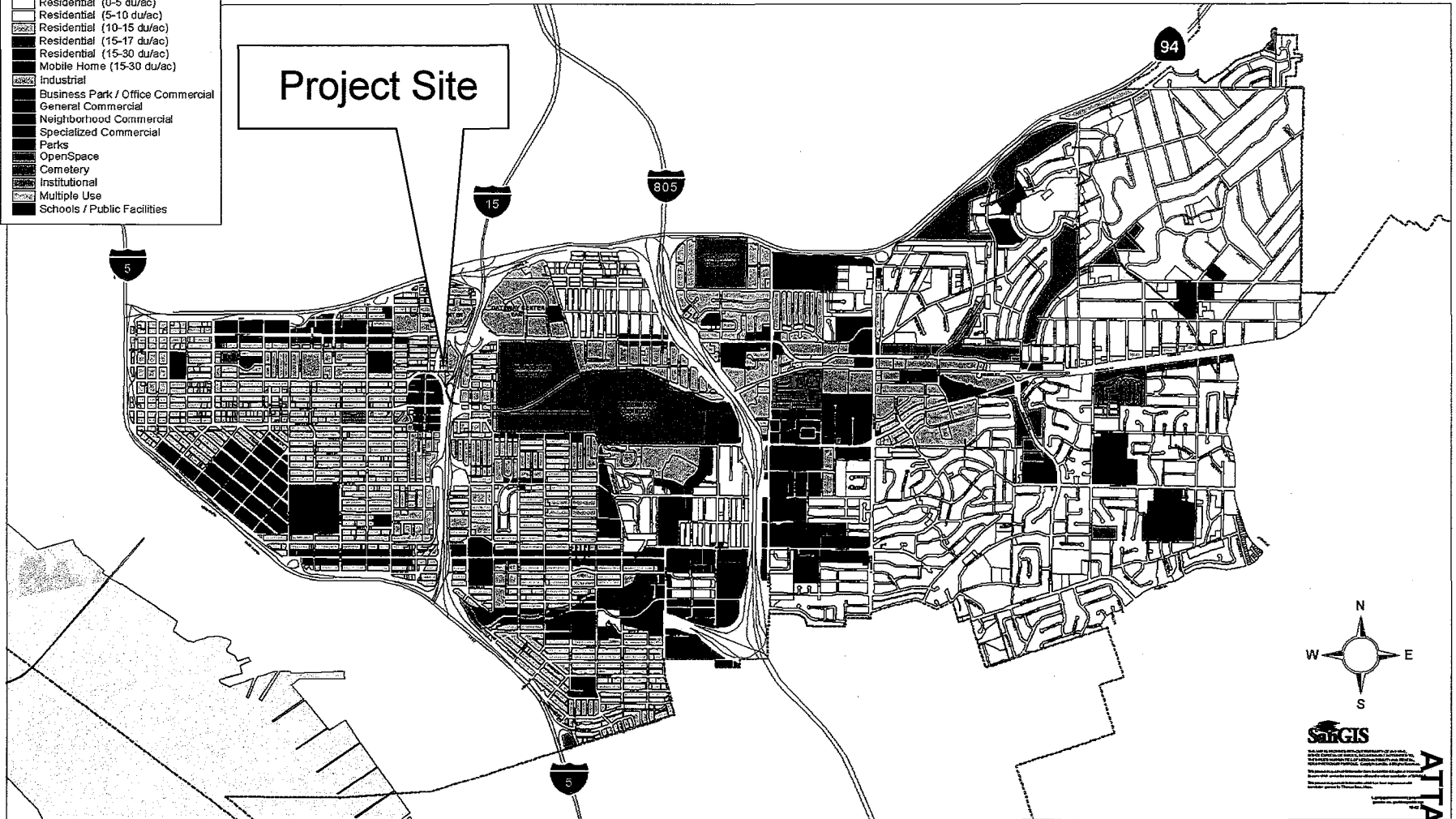


City of San Diego Planning Department

Southeastern San Diego Community Plan Land Use

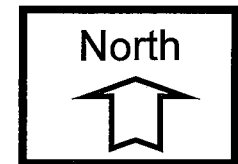
LEGEND	
[Pattern]	Residential (0-2 du/ac)
[Pattern]	Residential (0-5 du/ac)
[Pattern]	Residential (5-10 du/ac)
[Pattern]	Residential (10-15 du/ac)
[Pattern]	Residential (15-17 du/ac)
[Pattern]	Residential (15-30 du/ac)
[Pattern]	Mobile Home (15-30 du/ac)
[Pattern]	Industrial
[Pattern]	Business Park / Office Commercial
[Pattern]	General Commercial
[Pattern]	Neighborhood Commercial
[Pattern]	Specialized Commercial
[Pattern]	Parks
[Pattern]	OpenSpace
[Pattern]	Cemetery
[Pattern]	Institutional
[Pattern]	Multiple Use
[Pattern]	Schools / Public Facilities

Project Site

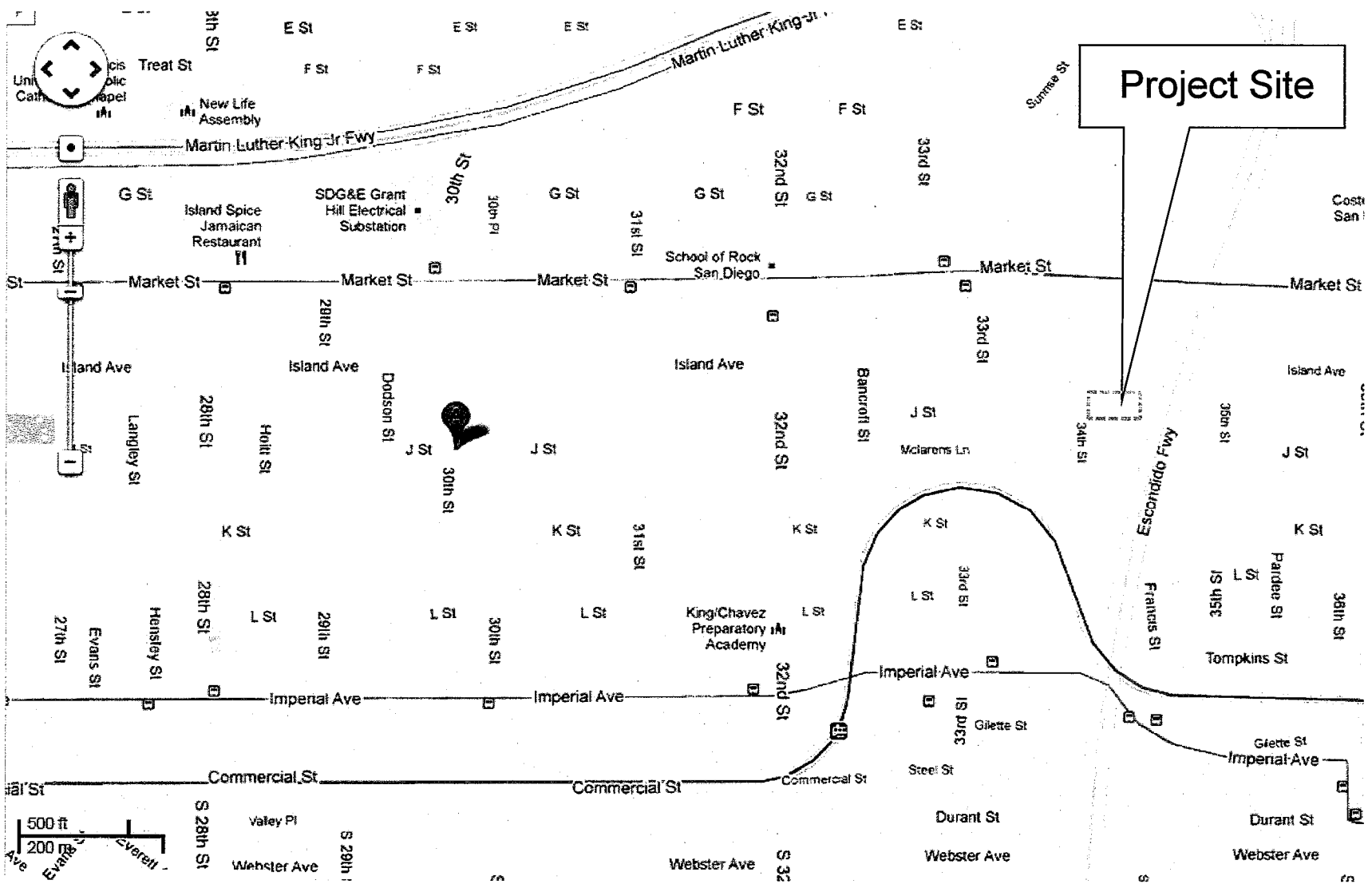


Land Use Map

34th and J RESIDENCES
PROJECT NO. 128129



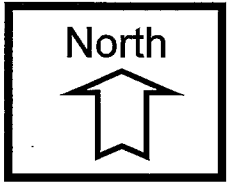
ATTACHMENT 2



Project Site

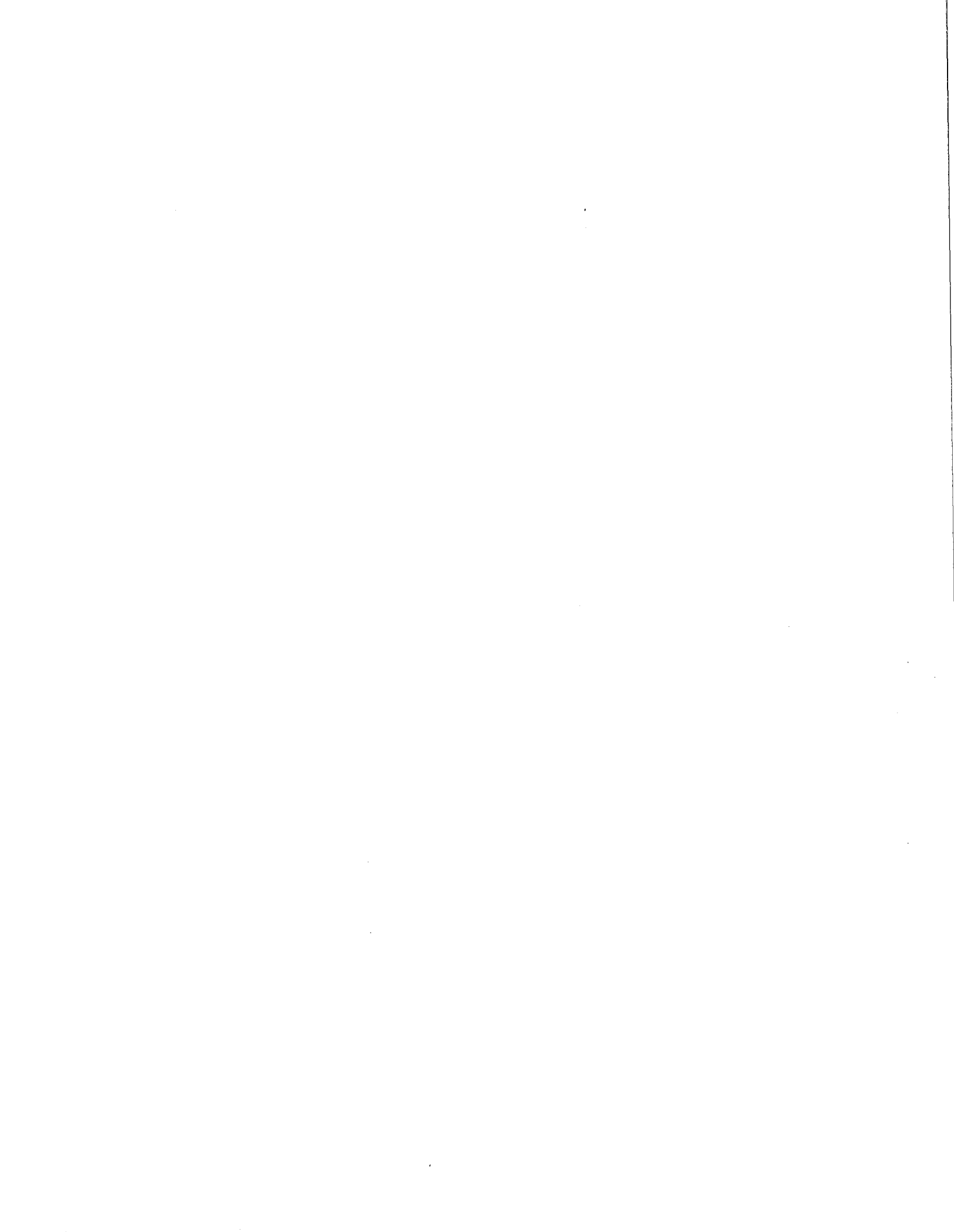
Project Location Map

34th and J RESIDENCES
PROJECT NO. 128129





PROJECT DATA SHEET		
PROJECT NAME:	34 th and J RESIDENCES -- PROJECT NO. 128129	
PROJECT DESCRIPTION:	Demolition of an existing single-family residence and construction of 12 detached residential condominium units	
COMMUNITY PLAN AREA:	Southeastern San Diego	
DISCRETIONARY ACTIONS:	Southeastern San Diego Development Permit (via SDP), SDP for ESL (100 year floodplain), TM	
COMMUNITY PLAN LAND USE DESIGNATION:	Multi-family Residential	
ZONING INFORMATION:		
ZONE: MF-3000 Zone		
HEIGHT LIMIT: 30' (pitched roof) – 24' proposed		
MAXIMUM COVERAGE: 50% (17,450 sq. ft.) -- 37% proposed (12,792 sq. ft.)		
LOT SIZE: 6,000 square-foot min. -- 0.80-acre existing		
FLOOR AREA RATIO: 1.0 maximum (34,900 sf) -- 0.64 (22,332 sf) proposed		
FRONT SETBACK: 10 feet min. -- 10 feet provided at 34 th Street		
SIDE (INTERIOR) SETBACK: 5 feet min. – 5 feet		
STREETSIDE SETBACK: n/a		
REAR SETBACK: 15 feet min. – 15 feet provided		
PARKING: 24 parking spaces required – 27 spaces provided		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential (10-15 du/acre); SESDPD MF-3000 Zone	Multi-family residential
SOUTH:	Residential (10-15 du/acre); SESDPD MF-3000 Zone	Multi-family residential
EAST:	n/a	State Route 15 highway
WEST:	Residential (10-15 du/acre); SESDPD MF-3000 Zone	Commercial/ Multi-family residential
DEVIATIONS OR VARIANCES REQUESTED:	none	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Southeastern San Diego Planning Committee voted unanimously (8-0-0) on October 18, 2012 to recommend approval of the project with conditions.	



GRADING NOTES (SEE CIVIL DRAWINGS)

PLANNING NOTES

1. Trash/recycle cans to be kept on site in enclosure per fire plan
2. There are no proposed elevations
3. Plans have been designed to comply with disabled access requirements.
4. There are no existing or proposed bus stop areas
5. No exterior mechanical equipment exists (gas meters to be accreted by landscaper).
6. Provide trash storage in cabinet of each kitchen of min. 2.5 cu. ft.
7. Provide recycle storage in cabinet of min. 2.5 cu. ft.
8. Provide building address numbers that are visible and legible from the street for each dwelling.

The project shall design and locate public and private utility infrastructure, such as phone, cable and communications buses, transformers, routers, fuel ports, back-flow preventers, ventilation grilles, ground interceptors, ingoing valves, and any similar elements, to be integrated into subsequent development and as inconspicuous as possible. (New laws)

ENGINEERING NOTES

1. IF EXISTING IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY ARE DAMAGED DURING CONSTRUCTION, THE REQUIRED PERMITS FOR THE REPLACEMENT OR REPAIR OF THE DAMAGE SHALL BE OBTAINED.
2. ALL EXCAVATED MATERIAL SHALL BE ESCORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREEN BOOK), 2000 EDITION.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CH. 34, ART. 3, DIV. 1 (GRADING REGULATIONS) OF THE SDMC INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
5. TOPOGRAPHY BASED UPON A SURVEY DATED 6/10/03 PREPARED BY SAN DIEGO LAND SURVEYING AND ENGINEERING, ILLS #10436.
6. ANY WORK IN THE PUBLIC RIGHT OF WAY (DRIVEWAY CONSTRUCTION, GUTTER CURBS, SIDEWALK INSTALLATION, PRIVATE WALKS, STREET DEDICATION) TO BE UNDER SEPARATE PERMITS.
7. ALL ON SITE WATER AND SEWER FACILITIES ARE PRIVATE.

ACOUSTICAL DESIGN ELEMENTS (MAY VARY BY DWELLING)

1. Air conditioning or mechanical ventilation will be provided via the dwelling's forced air unit (furnace) so that windows may be closed by the occupants to safely reduce indoor noise levels.
2. Dual pane glazing in all windows, skylights, and doors with glazing. Minimum STC rating of 25 at windows.
3. Exterior doors to living spaces to be solid core with weather seals or gaskets on all edges. Minimum STC rating of 26 at these doors.
4. Exterior finishes to be either 7/8" stucco or wood siding with min. 1/2" fiberboard underlayment.

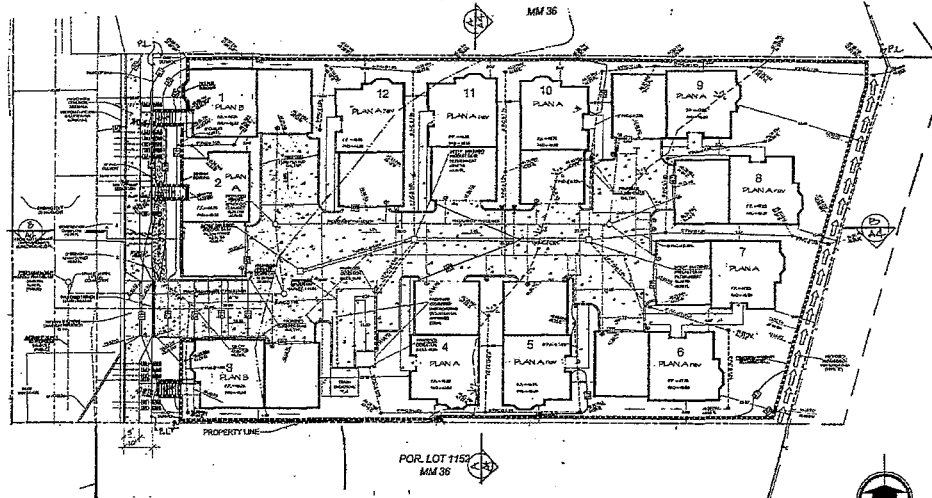
TRASH/RECYCLE ENCLOSURE NOTES (PER MC 142.020)

1. AREA REQUIRED (FOR 7.5 LBS) IS 24 SF TRASH, 24 SF RECYCLE
2. AREA PROVIDED (SEE SITE PLAN) 100 SF.

FIRE DEPARTMENT NOTES

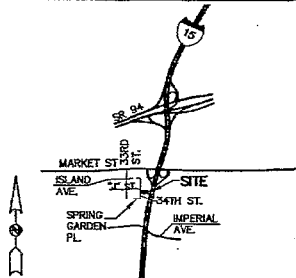
1. INSTALL NFPA 12R SYSTEM IN ALL DWELINGS AND GARAGE AREAS
2. LOCATE POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND PLUMBING ON ADDRESS ACCESS SIDE OF STRUCTURE PER CFC
3. PROVIDE A FIRE SPRINKLER SYSTEM FOR THE BUILDINGS PER FIRE DEPARTMENT REQUIREMENTS (SEE SHEET #1 FOR FURTHER NOTES)
4. ALL REQUIRED PERMITS MUST BE OBTAINED FROM FIRE PLAN CHECK PRIOR TO THE BUILDING BEING OCCUPIED.

SITE PLAN



SETBACK REQUIREMENTS (MF-3000) (SEE PLAN FOR ACTUAL)
A. FRONTYARD (FRONT) SETBACK
 PERMITTED DESIGN: 10' MIN. REQUIRED EQUALS 30' MIN. PROJECT PROTRUSION; PROTRUSION 10', 15' X 20', 20' X 20', 25' X 25' REQUIRED; 25' 00" SF. ACTUAL
B. STREET SIDE YARD/PAVING
 C. SEE NOTES
D. SIDEYARD
 PERMITTED 15'

VICINITY MAP



PROJECT DATA

SCOPE OF WORK: REMOVE EXISTING STRUCTURE (SFR), CONSTRUCT TWELVE (12) SINGLE DETACHED TOWNHOUSES WITH ATTACHED PARKING

APN: 545-290-05-00
 LEGAL: LOT 182 POR (EX 57), MEC MAP 0036 (SEE C1 FOR FULL L1 6A.)

OCCUPANCY CLASS: R3 AND U1
 CONSTRUCTION TYPE: VAN. UNBUILT
 CODES IN EFFECT: 2010 CBC, CPC, CFC, NEC, CAC TITLE 24
 PERMITS REQUIRED: DEMO, BUILDING, SOUTHEASTERN SAN DIEGO DEVELOPMENT PERMIT, GRADING
 ZONING OVERLAYS: N/A

ZONE: MF-3000 SBSDPD	LOT AREA: 24,900 S.F. (0.800 AC)	BUILDING AREAS: (PER MCGPD DEFINITIONS) (TOTAL FOR ALL UNITS)	GARAGE	DECK
FIRST FLOOR (52 SF)	7328	5195	0	0
SECOND FLOOR	2540	0	1,720	0
TOTAL	9868	5195	1,720	0

(SEE SHEET #1 & #2 FOR UNIT AREAS)

PAR ALLOWED: 100 OR 34,900 SF
 PAR ACTUAL: 64 (22,392 S.F. GFA)

COVERAGE: 50% ALLOWED (7,450 S.F.)
 COVERAGE ACTUAL: 97% (21,795 S.F.)

NOTES:
 * XXX * = NON-GFA PER MCGPD

PARKING REQUIREMENT:
 12 NEW 3 BEDROOM UNITS @ 2.25 SPACES PER UNIT = 27 SPACES
 24 PROVIDED IN PRIVATE GARAGES PLUS THREE OPEN SPACES AT GRADE ON SITE. FOUR SPACES AT ABUTTING CURB = 31 SPACES

DRAWING INDEX

T	SITE PLAN, PROJECT DATA
A1	UNIT 'A' PLANS
A2	UNIT 'B' PLANS
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A4	PROJECT SECTIONS
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L2	LANDSCAPE CALCULATION PLAN
051	OPEN SPACE PLAN & CALCULATIONS
1-D	GRADING NOTES
2-D	TOPO MAP-EXISTING CONDITIONS
3-D	GRADING PLAN
4-D	EROSION CONTROL & LID NOTES
5-D	EROSION CONTROL PLAN
6-D	LID/BMP PLAN
7	TENTATIVE MAP

PROJECT PRINCIPALS

ARCHITECT: DANIEL LINN ARCHITECT
 DAN LINN
 5732 BELLEVUE AVE
 LA JOLLA, CA 92037
 619.455-0103

LANDSCAPE ARCHITECT: LANDSCAPE RESOURCE GROUP
 KENT WILSON
 6401 BLUE LAKE DRIVE
 SAN DIEGO, CA 92121
 619.443-0558

CIVIL ENGINEERING: SITE DESIGN ASSOCIATES
 KEN DEGENZEA
 1016 BROADWAY SUITE 1A
 EL CAJON, CA 92021
 619.443-3467

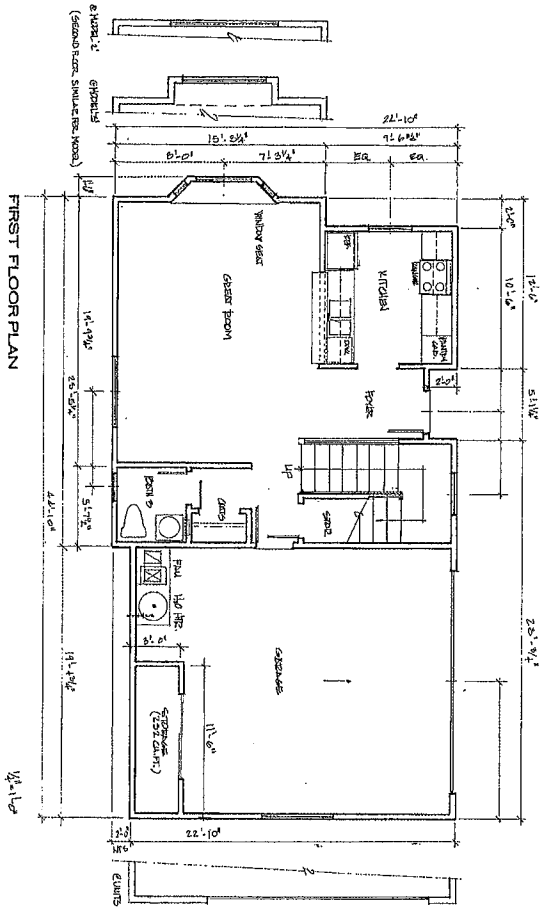
PREPARED BY: DANIEL LINN ARCHITECT
 5732 BELLEVUE AVE
 LA JOLLA, CA 92037
 PROJECT ADDRESS: 3402 J STREET
 SAN DIEGO, CA 92104
 PROJECT TITLE: 12 NEW 3 BDRM TOWNHOUSES
 SHEET TITLE: SITE PLAN - PROJECT DATA
 ORIGINAL DATE: 11.14.11
 PROJECT NUMBER: 11A-1111
 SHEET: 1 OF 15

REVISION 1: 11.14.11
 REVISION 2: 11.14.11
 REVISION 3: 11.14.11
 REVISION 4: 11.14.11
 REVISION 5: 11.14.11
 REVISION 6: 11.14.11

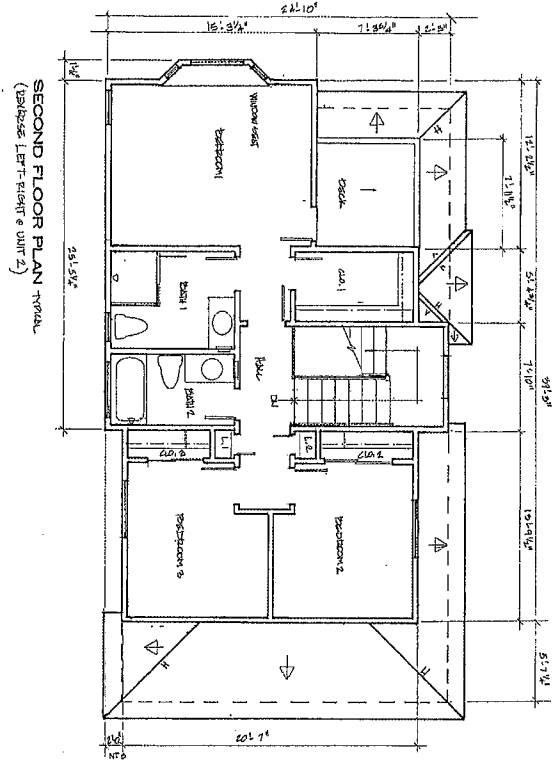
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REVISIONS	11/14/11 11/14/11 11/14/11 11/14/11 11/14/11 11/14/11 11/14/11

Daniel Linn architect
 5732 Bellevue Avenue
 La Jolla, CA 92037
 619.455-0103
 619.455-0115
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34TH AND "J" RESIDENCES
 TWELVE TOWNHOUSE DWELLINGS
 3402-3424 "J" STREET
 SAN DIEGO, CALIFORNIA



FIRST FLOOR PLAN

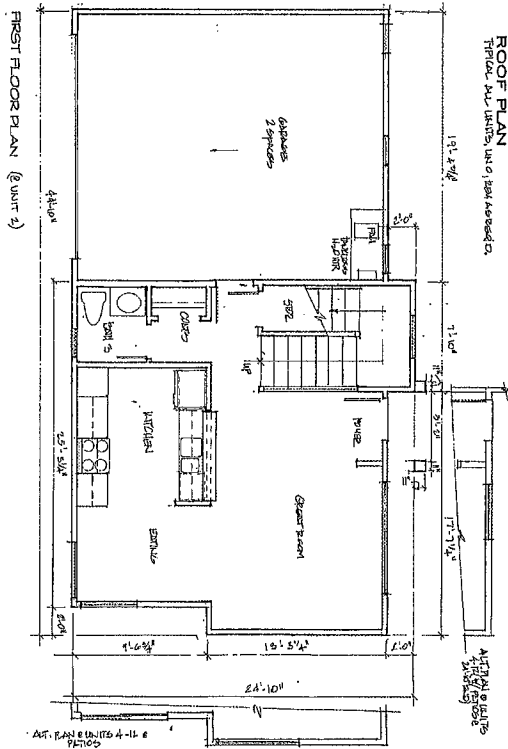


SECOND FLOOR PLAN TYPICAL
(Units 1, 2, 3 & Unit 2)

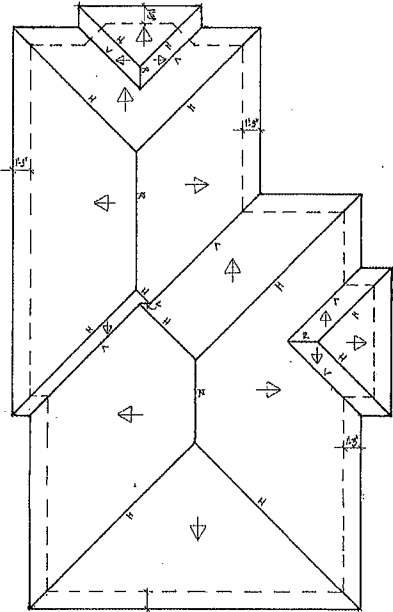
SKETCHES/REVISED PLANS A

PLANNING	400	400	0
PERMITS	250	0	250
TOTALS	650	400	250

(see) 1-10-08



FIRST FLOOR PLAN (Unit 3)

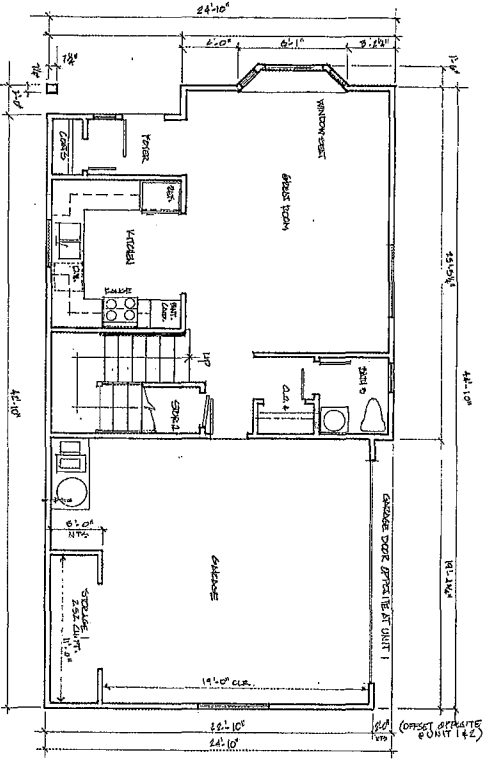


ROOF PLAN
Typical for Units 1, 2, 3 & Unit 2

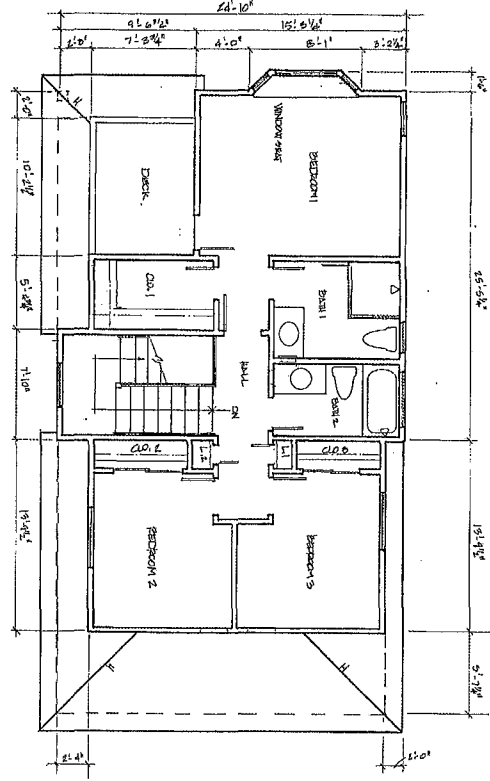
DESIGNED BY: DANIEL LINN ARCHITECT
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 PROJECT TITLE: 34TH AND "J" RESIDENCES
 PROJECT NUMBER: 2121212121
 PROJECT DATE: 10/10/08
 DRAWN BY: DANIEL LINN
 CHECKED BY: DANIEL LINN
 REVISION 1: [unclear] REVISION 2: [unclear]
 REVISION 3: [unclear] REVISION 4: [unclear]

A1	<p>34TH AND "J" RESIDENCES TWELVE TOWNHOUSE DWELLINGS 3402-3424 "J" STREET SAN DIEGO, CALIFORNIA</p>	<p>Daniel Linn architect 5732 bellevue avenue la jolla ca 92037 858 459-8108 fax 858 459-8118</p>
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FIRST FLOOR PLAN



SECOND FLOOR PLAN
1/2" = 1'-0" (SEE FLOOR PLANS)



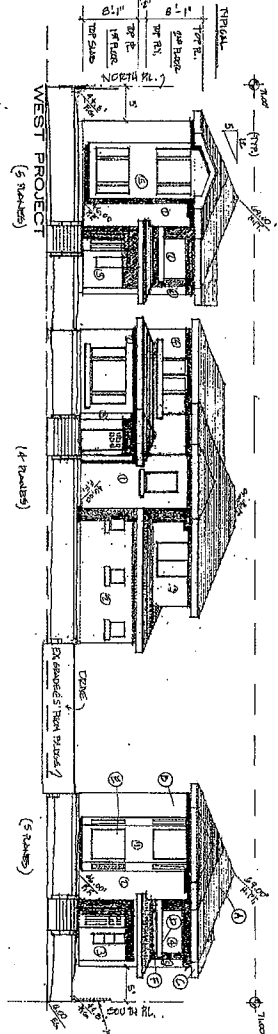
BUILDING AREAS - PLANS

FLOOR LEVEL	LIVING	GARAGE	DECK
FIRST FLOOR	609	458	0
SECOND FLOOR	725	0	458
TOTALS	1403	458	458

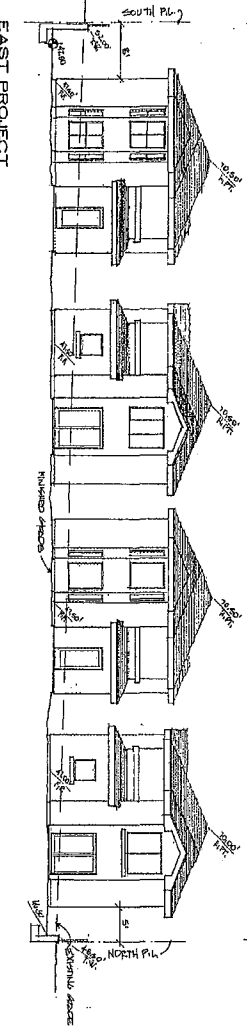
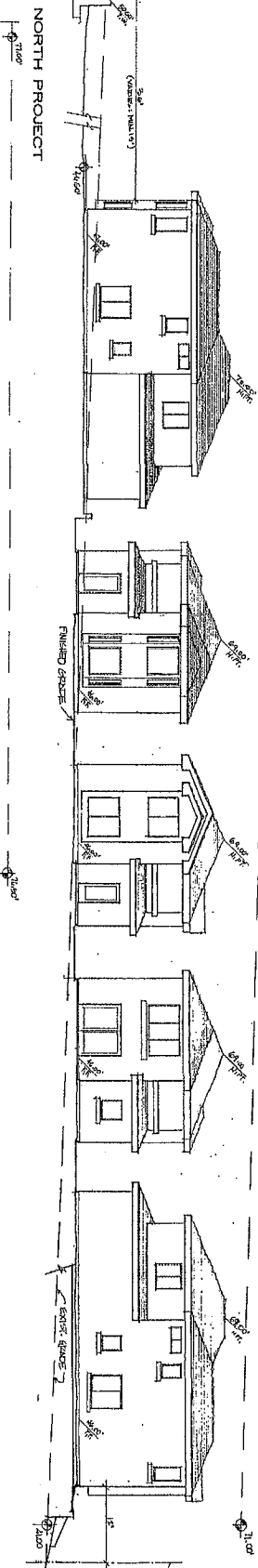
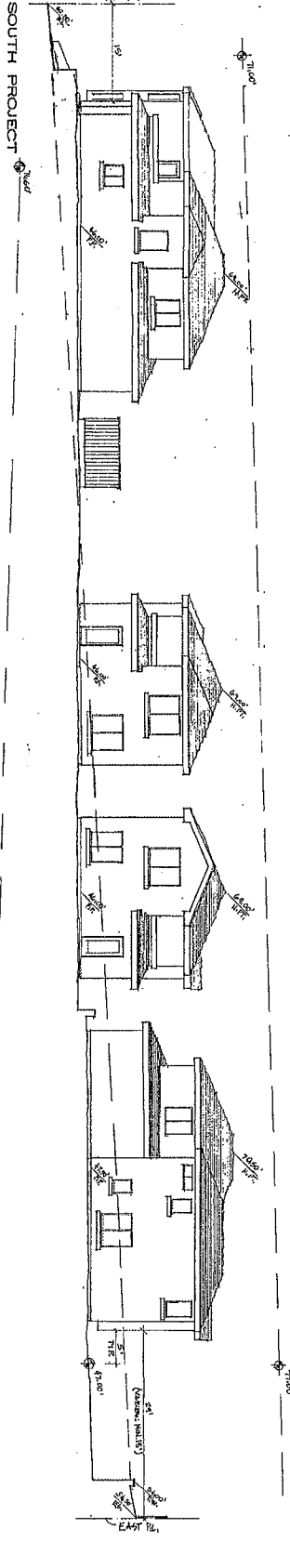
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PREPARED BY: DANIEL LINN ARCHITECTS
 5732 BELLEVUE AVENUE
 SAN DIEGO, CALIFORNIA 92137
 PROJECT ADDRESS: 3402-3424 "J" STREET
 PROJECT TITLE: TWELVE TOWNHOUSE DWELLINGS
 DESIGNER: DANIEL LINN ARCHITECTS
 DESIGN DATE: 11/11/11
 SHEET NO. 102

REVISION 1 - 11/11/11
 REVISION 2 - 11/11/11
 REVISION 3 - 11/11/11
 REVISION 4 - 11/11/11
 REVISION 5 - 11/11/11
 REVISION 6 - 11/11/11
 REVISION 7 - 11/11/11
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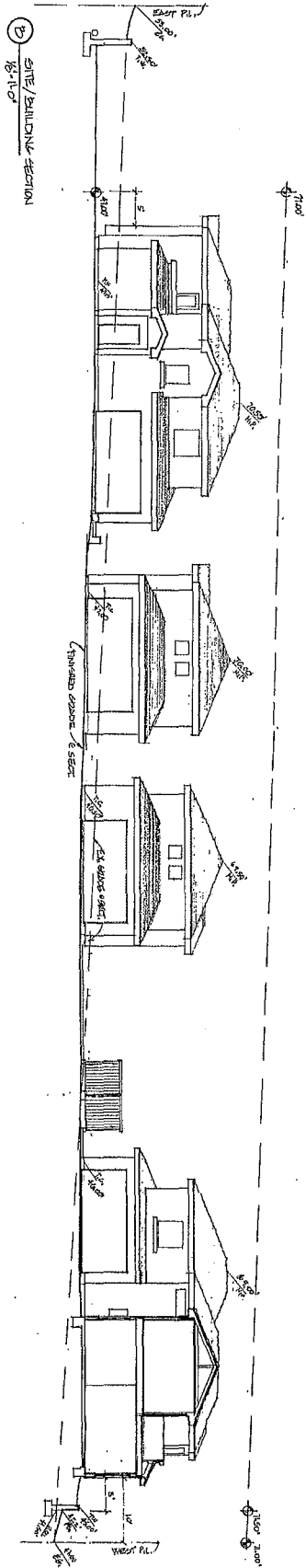
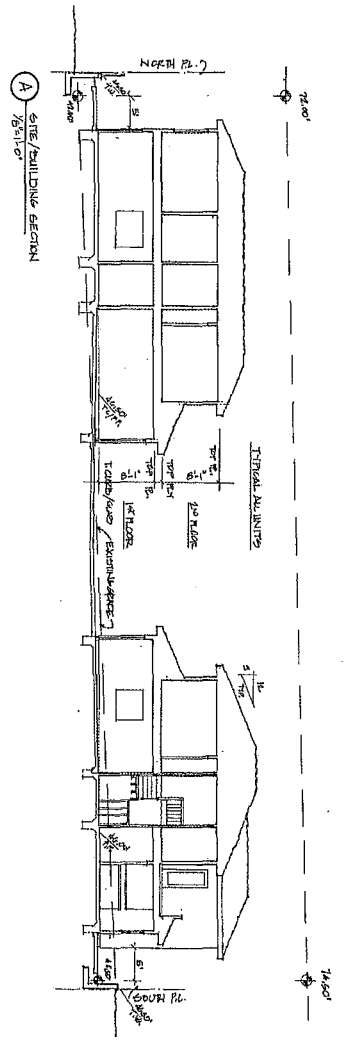


- ELEVATION LEGEND - TR. LINE
- ① POINTS: COMPARTMENT SHOWN WITH CLASSIFIED PARTS
 - ② POINTS: COMPARTMENT SHOWN WITH CLASSIFIED PARTS
 - ③ STRUCTURE: MOUNTAIN SHOWN WITH CLASSIFIED PARTS
 - ④ FINISH: PAINTED - PAINTED WOOD
 - ⑤ TRIM: SCHEDULE 1/2x
 - ⑥ WINDOWS: WALL OF FIBERGLASS PANELS, 2x4x6
 - ⑦ FLOORING: 1 1/2x4, 6-5
 - ⑧
 - ⑨
 - ⑩



EXTERIOR FINISH NOTES:
 WALLS FINISHED WITH SANDY FINISH
 COLORED TO BE A TINT OF FOGGY DEEPER BROWN TONES
 ON EXTERIOR WALLS (PAINT FINISH)
 ROOF: FINISH OF A DEEPER COLOR OF SHINGLES OR SHINGLE
 COLOR BLEND (REDUCTION OF SHINGLES)

PREPARED BY: DANIEL LINN ARCHITECT
 3732 BELLEVUE AVENUE
 SAN DIEGO, CALIFORNIA 92107
 PROJECT ADDRESS: 3402-3424 J STREET
 SAN DIEGO, CALIFORNIA 92107
 DATE: 11/11/03
 SHEET NO.: 11/11/03
 SECTION 1: 11/11/03
 SECTION 2: 11/11/03
 SECTION 3: 11/11/03
 SECTION 4: 11/11/03
 SECTION 5: 11/11/03
 SECTION 6: 11/11/03



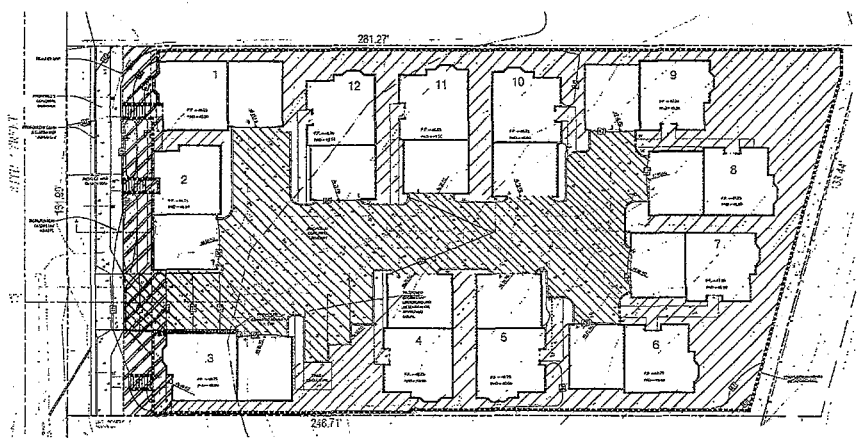
PREPARED BY: DANIEL LINN ARCHITECT
 PROJECT ADDRESS: 3402-3424 'J' STREET
 PROJECT NUMBER: SAN DIEGO, CA 92112
 SHEET TITLE: ARCHITECTURAL SECTIONS
 DRAWING DATE: 02/13/12
 SHEET NO.: 12
 REVISION 1: STAIR SECTION - 12/11/11
 REVISION 2: STAIR SECTION - 12/11/11
 REVISION 3: STAIR SECTION - 12/11/11
 REVISION 4: STAIR SECTION - 12/11/11
 REVISION 5: STAIR SECTION - 12/11/11
 REVISION 6: STAIR SECTION - 12/11/11

DESIGN STATEMENT

The landscape design intent for this project includes the following site specific points:

- Street trees were selected with a larger canopy and excellent quality to give the development a sense of place and identity as well as to soften the building facades and give the development a more pedestrian scale. The overall existing neighborhood street treatment is somewhat cladistic with no right-of-way pedestrian improvements. A more recent mid-family development within the neighborhood selected Brazilian Pepper trees for its street tree which in our opinion is an undesirable species for our development.
- The trees within the proposed development were selected for their more vertical, smaller scale character to soften the building structures within the narrow spaces between the buildings as well as to give the project a more human scale within the development. The rear perimeter trees were selected for their larger canopy and scale to soften the impact of the adjacent freeway.
- The trees, shrub and perennial plantings were selected for their drought tolerance, relatively low maintenance and durability. They were also selected to respond to the sun exposures around the project with respect to their micro-climate and hydro-scene situations.
- Shrub massing throughout the development is proposed to facilitate screening between buildings, screen retaining walls and to create a sense of privacy for each residence private spaces.
- The northeast corner of the project provides an open lawn area for a common play space for the development residents. The proposed lawn is a hybrid Bermuda variety selected for its drought tolerance and durability.
- The pedestrian circulation within the development is obtained through a series of concrete walks and the common-drawway. This project conforms with the pedicel and community site requirements by providing adequate usable exterior open spaces and a common lawn play area for the development's residents.
- The runoff treatment is demonstrated on the Grading Plan with a proposed stormtrap underground detention device and corresponding bio-filters. See Grading Plans for further details.

This project will have an automated, low volume drip and spray irrigation system designed with respect to their micro-climate and hydro-scene areas. With proper water management and maintenance this landscape will be drought tolerant and relatively self-maintaining after establishment with minimal maintenance.



LANDSCAPE CALCULATION DIAGRAM

NO SCALE

Provide the following information on the Landscape Plan. The Landscape Calculator determines the planting area and points required by the Landscape Regulations, Chapter 14.2, Article 2, Division 4 of the Land Development Code.

STREET YARD

A minimum of 4" x 6" planting area shall be provided for all trees, with no dimension less than 8 ft.
 * At least one-half of the required planting points shall be achieved with trees.

Planting Area Required (142.0404)	Planting Area Provided	Excess Area Provided
Total Area 16064 sq. ft. x 0.05% = 8032 sq. ft.	1115 sq. ft.	283 sq. ft.
Planting Points Required (142.0404)	Plant Points Provided	Excess Points Provided
Total Area 16064 sq. ft. x 0.05% = 8032 points	130 points	47 points

Points achieved with trees: 600 points

Planting Area Minimum as Percentage of Undeveloped and Impervious (142.0404(1)(2)(B))	Provided
Total Area N/A sq. ft. x 10% =	sq. ft.

REMAINING YARD - (2 Driveway Units)

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
80 points in the remaining yard	points	Points

REMAINING YARD - (20 Access Planting Units)

Plant Points Required	Plant Points Provided	Points Achieved with trees (at least 50%)
60 points x 12 # of buildings = 720	740 points	420 Points

VEHICULAR USE AREA - (6000SF) (INSIDE STREET YARD) AREA REQUIREMENTS:

Required Planting Area	Planting Area Provided	Excess Area Provided
VIA Inside Street Yard 900 sq. ft. x 0.05% = 15 sq. ft.	125 sq. ft.	110 sq. ft.
VIA Outside Street Yard 6901 sq. ft. x 0.03% = 207 sq. ft.	856 sq. ft.	649 sq. ft.

Required Plant Points

Plant Points Provided	Points Achieved with trees (at least 50%)
VIA Inside Street Yard 300 sq. ft. x 0.05% = 15 points	20 points
VIA Outside Street Yard 6901 sq. ft. x 0.03% = 207 points	277 points
	160 points

A 24" x 6" tree shall be provided within 30 feet of each unenclosed parking space.

LANDSCAPE CALCULATIONS

STREET YARD PLANT POINTS:

Total Area 1,6064sf. x 50% = 8032sf. planting area required
 Planting area Provide = 1,115sf.
 Plant Points Required = 83

QTY	SIZE	PLANT POINTS	TOTAL POINTS
03	24" x 6" trees	20 points/shrub	60
13	5 gal. shrub	2 points/shrub	26
44	1 gal. shrub	1 points/shrub	44

130 Total Street Yard Points
 83 Street Yard Points Required
 60 Plant Points from Trees
 47 Excess Points

STREET TREE REQUIREMENTS: (1 Tree per 30 feet of Street Frontage)

Street Trees Required	Provided
04	04

REMAINING YARD PLANTING REQUIREMENTS:

12 60sq. x 50pts. = 720 Plant points required

QTY	SIZE	PLANT POINTS	TOTAL POINTS
21	24" x 6" trees	20 points/shrub	420
73	5 gal. shrub	2 points/shrub	146
174	1 gal. shrub	1 points/shrub	174

740 Total Remaining Yard Points
 720 Remaining Yard Points Req.
 420 Plant Points from Trees
 20 Excess Points

VEHICULAR USE AREA - (6000SF) (Outside Street Yard) AREA REQUIREMENTS:

Total Area 300sf. x .05 = 15sf. planting area required
 Planting area Provide = 125sf.
 Plant Points Required = 15

QTY	SIZE	PLANT POINTS	TOTAL POINTS
01	24" x 6" trees	20 points/shrub	20
03	5 gal. shrub	2 points/shrub	06
02	1 gal. shrub	1 points/shrub	02

28 Total VIA Points
 15 VIA Points Required
 20 Plant Points from Trees

VEHICULAR USE AREA - (6000SF) (Outside Street Yard) AREA REQUIREMENTS:

Total Area 8901sf. x .03 = 207sf. planting area required
 Planting area Provide = 856sf.
 Plant Points Required = 207

QTY	SIZE	PLANT POINTS	TOTAL POINTS
09	24" x 6" trees	20 points/shrub	180
08	5 gal. shrub	2 points/shrub	16
99	1 gal. shrub	1 points/shrub	99

277 Total VIA Points
 207 VIA Points Required
 180 Plant Points from Trees

LAWN REQUIREMENTS: SDMC 142.04(1)(b)(1)

Total Landscaped Area = 9,812sf.
 10% Landscaped Area Allowed = 981sf.
 Lawn Area Proposed = 883sf.

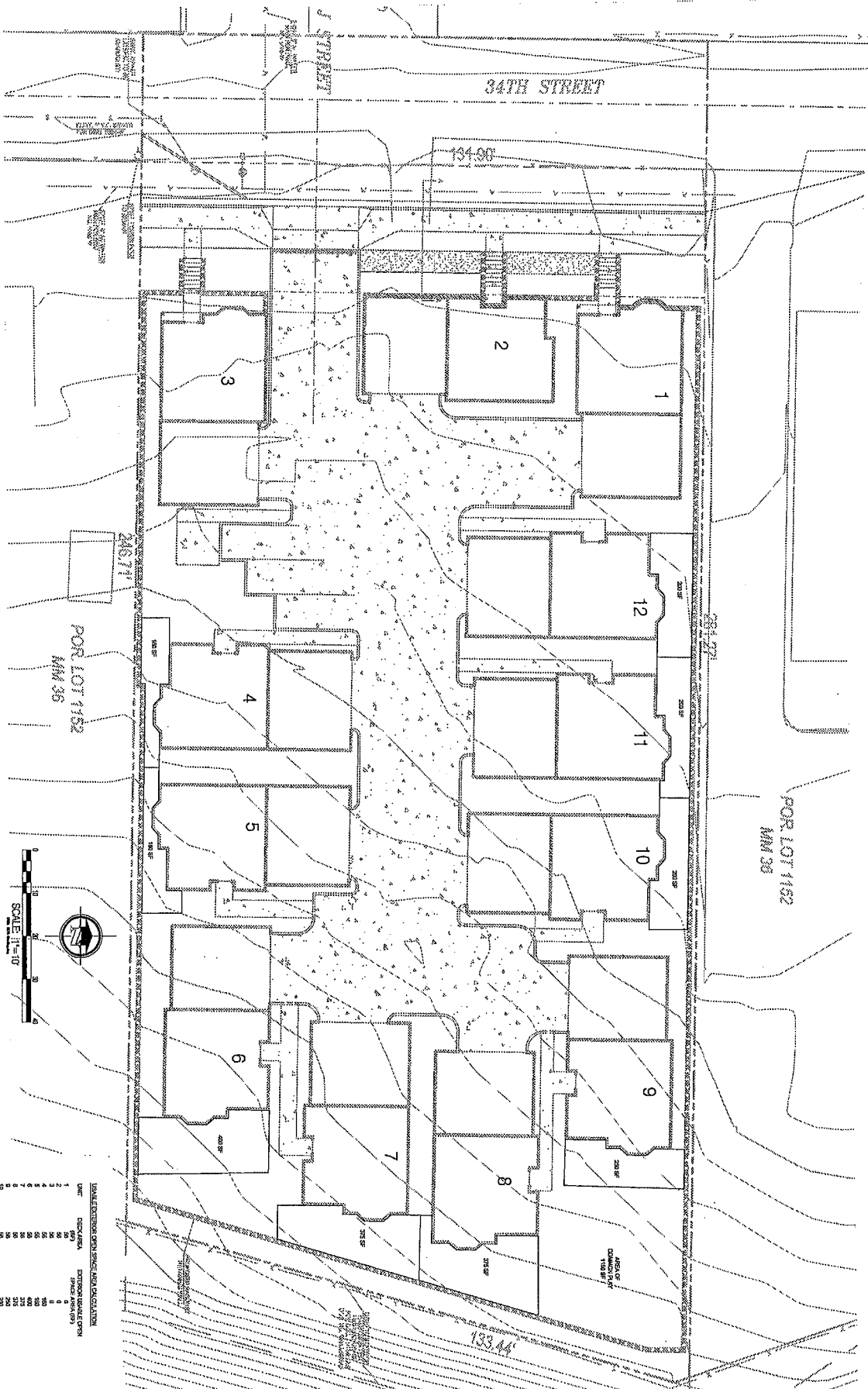
LANDSCAPE CALCULATION PLAN

REVISIONS BY

NO.	DATE	BY	DESCRIPTION

3 P & J Street Residences
 Landscape
 6800 La Jolla Blvd. #330
 San Diego, CA 92108
 (619) 587-702

Date: 11.17.12
 Scale:
 Drawn:
 Job:
 Sheet



USABLE EXTERIOR OPEN SPACE EXHIBIT

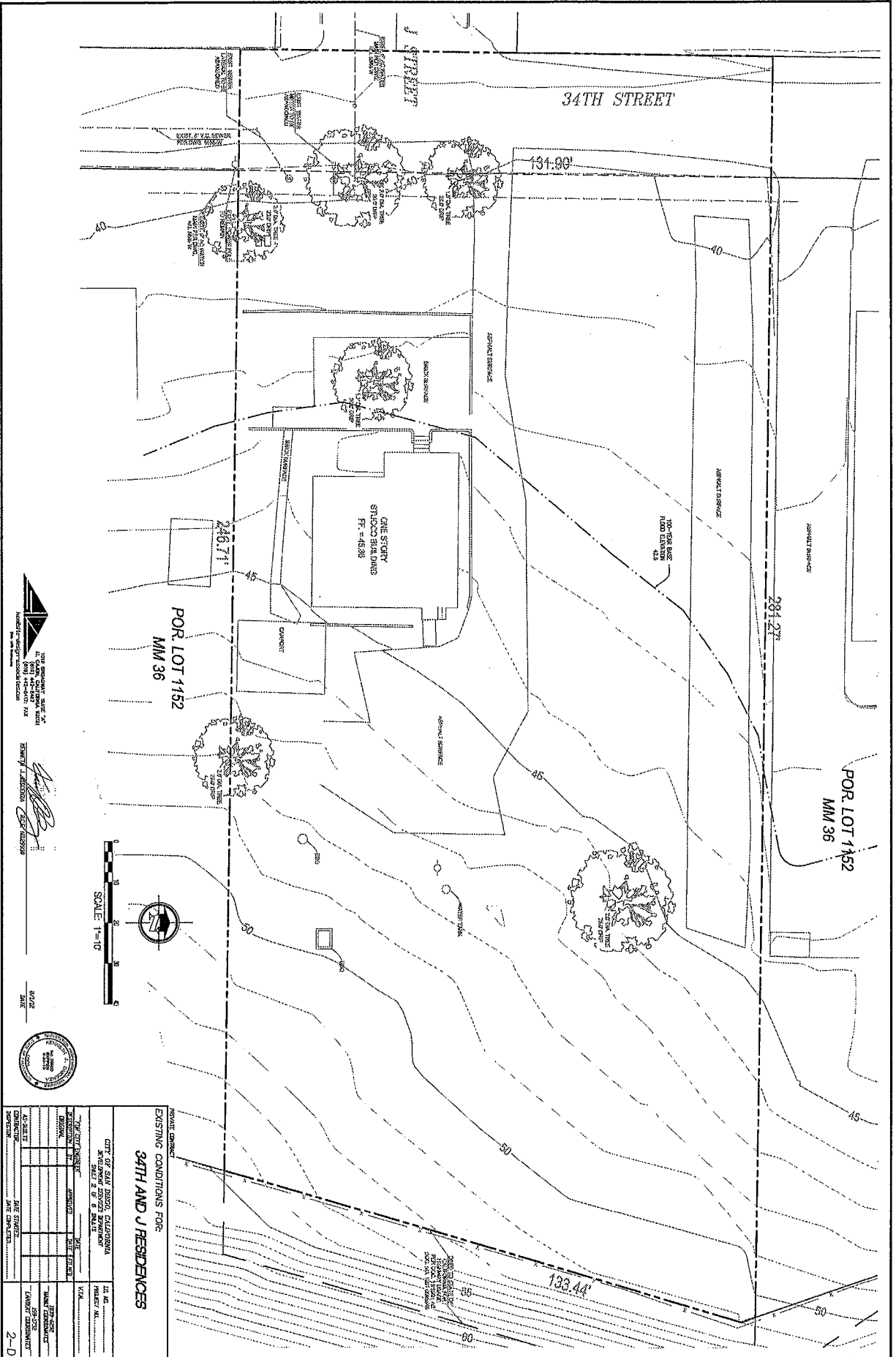
UNIT	CONDENSED AREA	EXPOSED USABLE OPEN SPACE AREA (SQ FT)
1	900	0
2	900	0
3	900	0
4	900	0
5	900	0
6	900	0
7	900	0
8	900	0
9	900	0
10	900	0
11	900	0
12	900	0
TOTAL	10800	0

AREA OF COMMON PAVEMENT EXHIBIT (SQ FT) = 1150
 977 + 229 + 1150 = 2376 SQ FT TOTAL
 4562 (12 UNITS) - 2376 (TOTAL UNIT) = 2186 SQ FT
 2186 / 12 = 182.17 SQ FT PER UNIT

OS1

34TH AND "J" RESIDENCES
 TWELVE TOWNHOUSE DWELLINGS
 3402-3424 "J" STREET
 SAN DIEGO, CALIFORNIA

Daniel Linn architect
 5732 bellvue avenue la jolla ca 92037
 656 459-8108 fax 656 459-8118



THE ENGINEERING CENTER
 901 9th Street, Suite 104
 San Francisco, CA 94107

Prepared by J. Anderson
 Date: 8/20/02

SCALE 1" = 10'



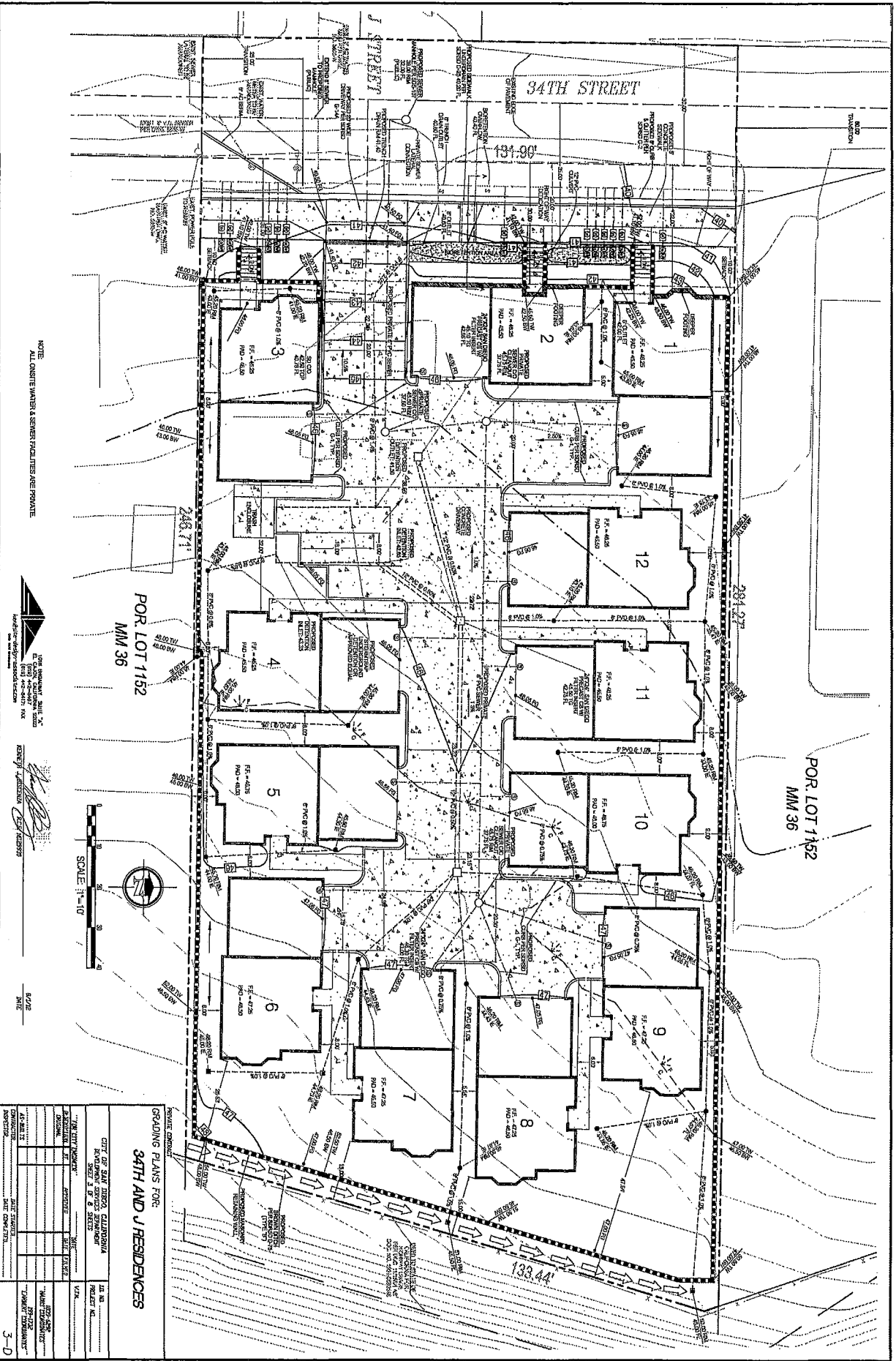
DATE	REVISION	BY	CHKD. BY	APP. BY
8/20/02	Final	J. Anderson		

**EXISTING CONDITIONS FOR
 34TH AND J RESIDENCES**

PROJECT CONTACT: ...
 CITY OF SAN JUAN CALIFORNIA
 ENGINEERING SERVICES DEPARTMENT
 2001 J STREET, SUITE 104
 SAN JUAN, CA 94088

DATE: 8/20/02
 SCALE: 1" = 10'

PROJECT NO.: 02-03
 SHEET NO.: 2-0



NOTE: ALL ON-SITE WATER & SEWER FACILITIES ARE PRIVATE.



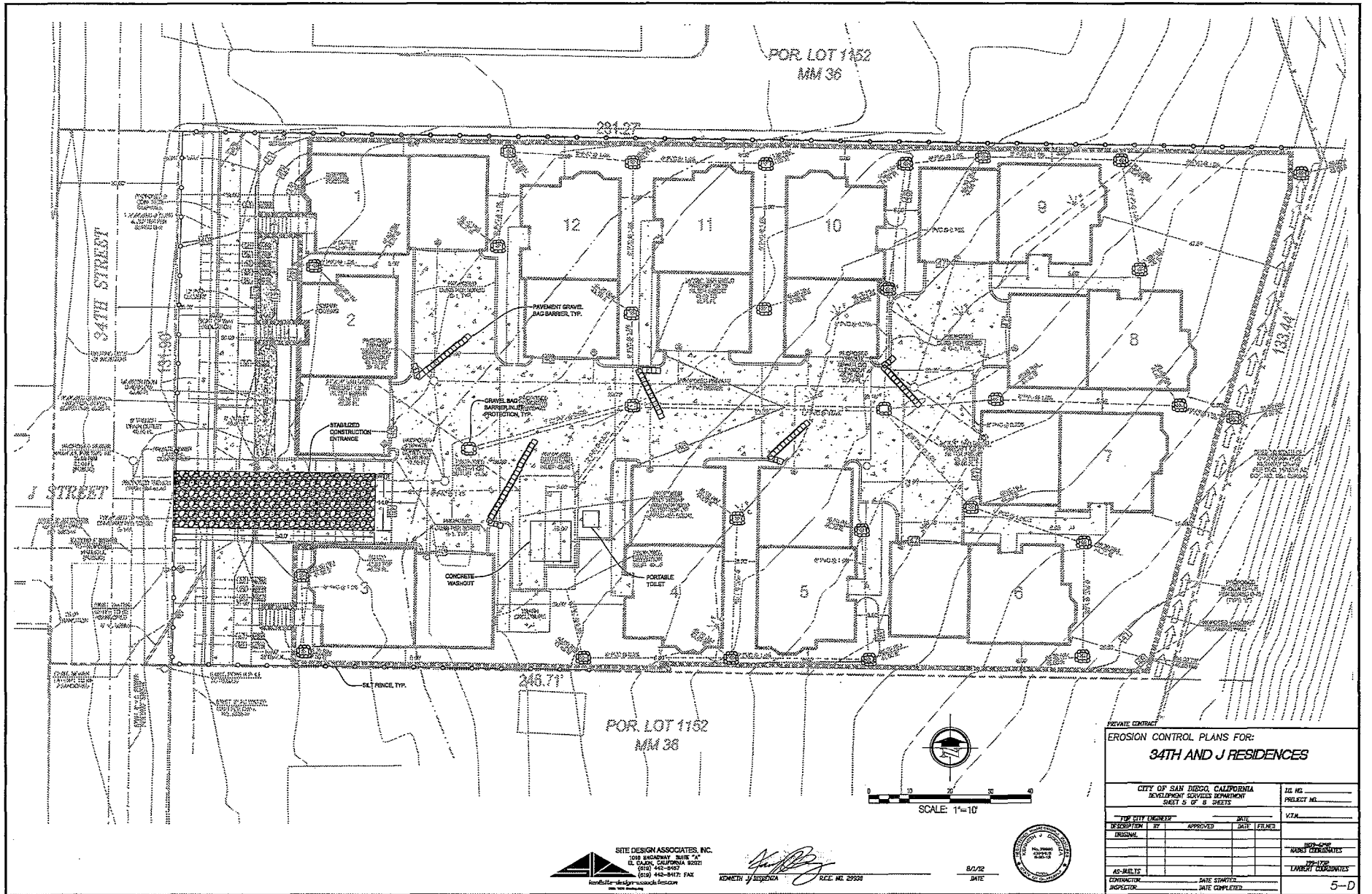
THE ENGINEER, SULL, INC.
 1000 S. 10th Street, Suite 100
 Phoenix, Arizona 85026
 (602) 944-2470 FAX
 (602) 944-2470

DATE: 8/22/02
 SHEET: 3-D

GRADING PLANS FOR:
34TH AND J RESIDENCES

CITY OF SAN DIEGO, CALIFORNIA
 34TH AND J STREETS

PROJECT NO.	124
DATE	8/22/02
SCALE	1" = 10'
DESIGNED BY	...
CHECKED BY	...
APPROVED BY	...
DATE	...
PROJECT NO.	...
DATE	...
SCALE	...
DESIGNED BY	...
CHECKED BY	...
APPROVED BY	...
DATE	...



SITE DESIGN ASSOCIATES, INC.
 1015 BROADWAY, SUITE 201
 EL CAJON, CALIFORNIA 92021
 (619) 442-9107 FAX
 ken@sdai.com design@sdai.com

Keneth J. Rodriguez
 KENETH J. RODRIGUEZ
 C.E.C. NO. 29938

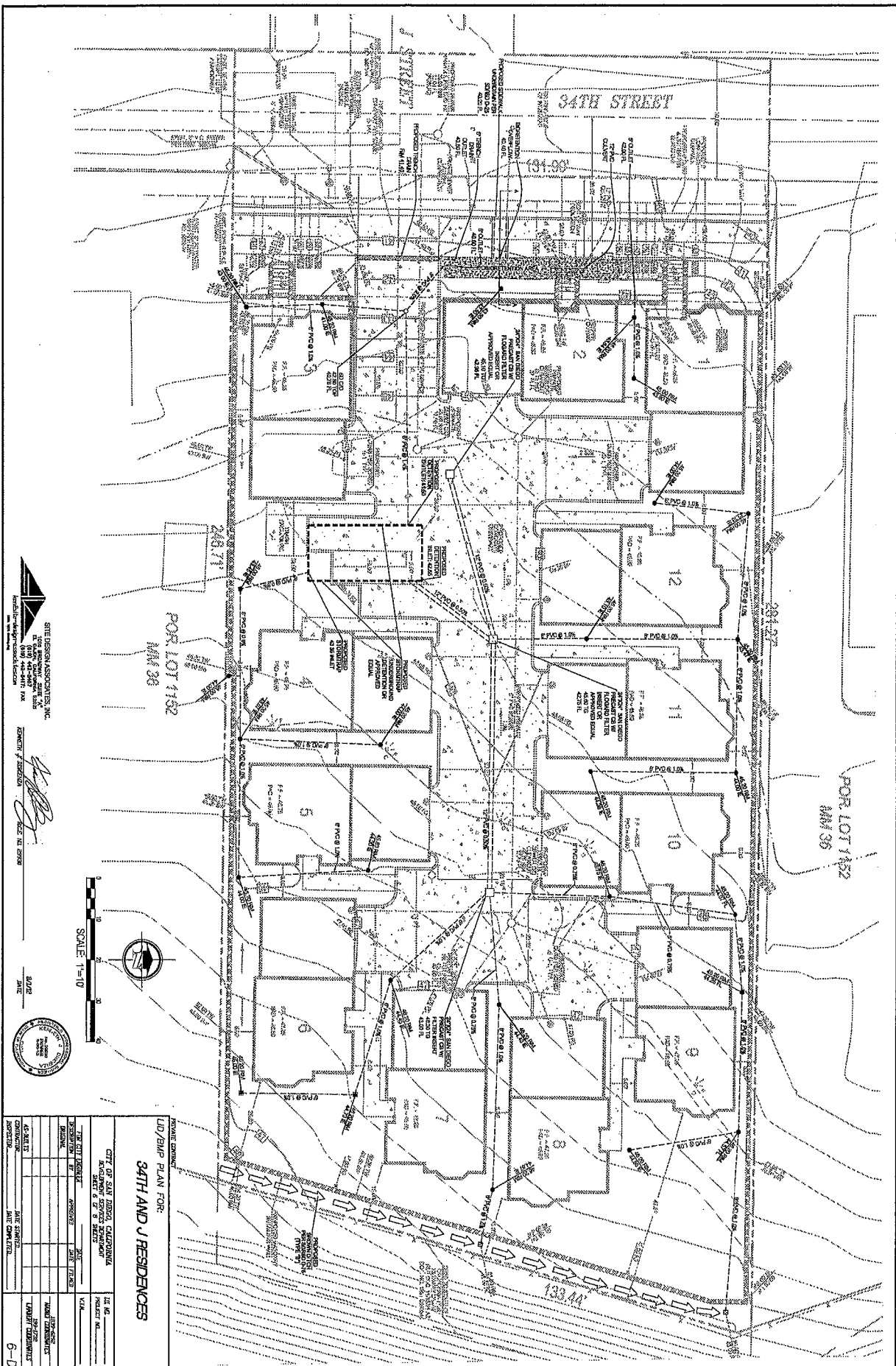


PRIVATE CONTRACT

EROSION CONTROL PLANS FOR:
34TH AND J RESIDENCES

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 5 OF 8 SHEETS		II. NO. _____ PROJECT NO. _____																							
<table border="1"> <thead> <tr> <th>TYP</th> <th>CITY ENGINEER</th> <th>DATE</th> </tr> <tr> <th>DESCRIPTION</th> <th>BY</th> <th>APPROVED</th> <th>SHEETS</th> <th>FILED</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		TYP	CITY ENGINEER	DATE	DESCRIPTION	BY	APPROVED	SHEETS	FILED																V.T.N. _____
TYP	CITY ENGINEER	DATE																							
DESCRIPTION	BY	APPROVED	SHEETS	FILED																					
AS-BUILT		NO-COPY NO-REPLACEMENTS																							
CONTRACTOR		DATE STARTED																							
INSPECTOR		DATE COMPLETED																							



5-D





 SITE DESIGN ASSOCIATES, INC.
 1700 AVENUE 24TH & L
 SUITE 200
 SAN ANTONIO, TEXAS 78202
 (512) 443-8877 FAX
 (512) 443-8877
 Residential and Commercial Division

PREPARED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 02/25/2008

SCALE: 1"=10'



UO/SHIP PLAN FOR:
34TH AND J RESIDENCES

PROJECT NO. _____
 SHEET NO. _____

NO.	DATE	BY	FOR	REVISIONS
1	02/25/08	[Signature]	[Signature]	ISSUE FOR PERMITS
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DATE SUBMITTED: 02/25/08
 SHEET NO.: 6-0

TENTATIVE MAP NO. 470622

PROJECT NO. 128129

THIS IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1355 ET. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED TO THE PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS TWELVE (12).

EASEMENTS

- (A) AN EASEMENT GRANTED TO SAN DIEGO GAS & ELECTRIC COMPANY FOR PUBLIC UTILITIES EGRESS & EGRESS RECORDED MARCH 2, 1925 IN BOOK 167, PAGE 244 OF RECORDS. THE EXACT LOCATION AND EXTENT OF SAID EASEMENT IS NOT DISCLOSED BY RECORD AND THEREFORE CANNOT BE PLOTTED HEREIN.
- (B) AN EASEMENT GRANTED TO THOMAS MORGAN & WINNIE MORGAN, HUSBAND & WIFE, FOR PUBLIC HIGHWAY PURPOSES RECORDED FEBRUARY 9, 1925 IN BOOK 1070, PAGE 9, OF RECORDS. PLOTTED HEREIN.
- (C) THE FACT THAT THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET OR HIGHWAY KNOWN AS HIGHWAY 16, ABUTTING SAID LAND, SUCH RIGHTS HAVE BEEN SEVERED FROM THE LAND BY THE DOCUMENT RECORDED MAY 21, 1932 IN BOOK 4473, PAGE 353 OF OFFICIAL RECORDS, SHOWN HEREIN.

LEGAL DESCRIPTION

ALL THAT PORTION OF THE WEST HALF OF THE NORTHWEST QUARTER OF LOT 1250 OF THE FIELD LANDS OF SAN DIEGO, ACCORDING TO THE MAP THEREOF MADE BY JAMES PASCOE IN 1870, A COPY OF WHICH HAS BEEN FILED NOVEMBER 14, 1921, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AND IS KNOWN AS MISCELLANEOUS MAP NO. 36, EXCEPTING THOSE PORTIONS OF SAID LAND CONVEYED TO THE CITY OF SAN DIEGO FOR FREEWAY PURPOSES RECORDED JANUARY 22, 1951 IN BOOK 3942, PAGE 115 OF OFFICIAL RECORDS & CONVEYED TO THE STATE OF CALIFORNIA, FOR FREEWAY PURPOSES RECORDED NOVEMBER 15, 1961 AS FILE NO. 1491-0293545 OF OFFICIAL RECORDS.

GENERAL NOTES

1. GROSS/NET AREA: 0.85 ACRES (34,500 SQ. FT.)
2. TOTAL NUMBER OF EXISTING LOTS: 1
3. TOTAL NUMBER OF PROPOSED LOTS: 12
4. TOTAL NUMBER OF UNITS: 12
5. EXISTING & PROPOSED ZONING: SESEPP-PF-3300
6. ASSessor'S PARCEL NUMBER: 542-250-199-1732
7. LAMBERT COORDINATES: 1825-6252
8. NAD 83 COORDINATES: CITY OF SAN DIEGO, SVBP, MARKET ST. & 38RD ST. ELEV.: 4621
9. BENCHMARK: ACCADLINE SURVEY, INC. (DATED 8/2004) 1519 GRAND AVE, STE 10, SAN DIEGO, CA 92109
10. TOPOGRAPHY: 1919 GRAND AVE, STE 10, SAN DIEGO, CA 92109
11. ALL PROPERTY CORNERS WILL BE SET AND A ONE LOT SUBDIVISION MAP WILL BE FILED. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN IN THIS SUBDIVISION MAP.

OWNER / DEVELOPER

IMPERIAL DEVELOPMENT COMPANY, LLC
 2550 LA JOLLA BLVD., #330
 LA JOLLA, CA 92037
 619-663-7722

BY: BRIAN REVELLI DATE: _____

DEVELOPMENT SUMMARY

1. SUMMARY OF PROJECT: REMOVE EXISTING STRUCTURES AND CONSTRUCT 12 DETACHED TOWNHOME CONDOMINIUMS WITH ATTACHED PARKING.

2. STREET ADDRESS: 3422 J STREET, SAN DIEGO, CA 92108
 (Check one) CD R W
 District: SPRING VALLEY PLACE and ISLAND AVENUE

3. SITE AREA:
 Total Site Area (Gross): 0.85 Ac. 34,500 Sq. Ft.
 Net Site Area: 0.78 Ac. 32,000 Sq. Ft.
 (Net site area excludes required streets and public dedications)

4. COVERAGE DATA:
 Total Building Area (Gross): 0.236 Ac. 10,250 Sq. Ft.
 Total Landscape/Open Space Area: 0.223 Ac. 9,812 Sq. Ft.
 Total Impervious/Paved Area: 0.222 Ac. 9,784 Sq. Ft.
 Total Area Sealed (TAS): 0.28 Ac. 12,332 Sq. Ft.

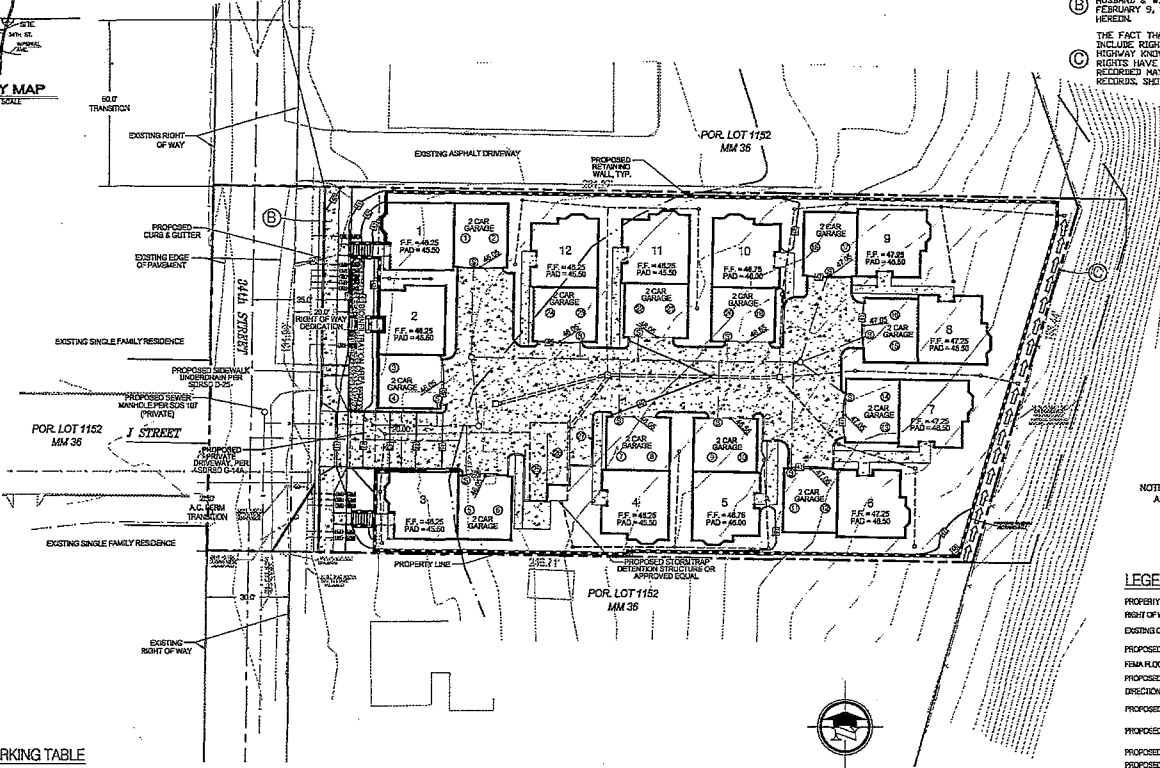
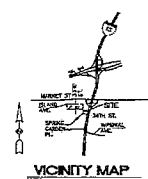
5. DENSITY (Residential):
 Maximum no. dwelling units allowed per zone: 12
 Number of existing units to remain on site: 0
 Number of proposed existing units on site: 12
 Total number of units provided on this site: 12

6. VARIANCE/STANDARD:
 Street Type: Requested: RD, Provided: RD
 Street Sign Type: Requested: N/A, Provided: N/A
 Interior Traffic: Requested: 5, Provided: 5
 Fire Type: Requested: IS, Provided: IS

7. PARKING:
 Primary District: RD Residential
 (Check one) Commercial Industrial Mixed Use Other
 Total number of spaces required by zone: 24 spaces
 Total number of spaces provided on-site: 27 spaces
 Commercial Development: One space per 50 sq. ft. GFA = 27 spaces

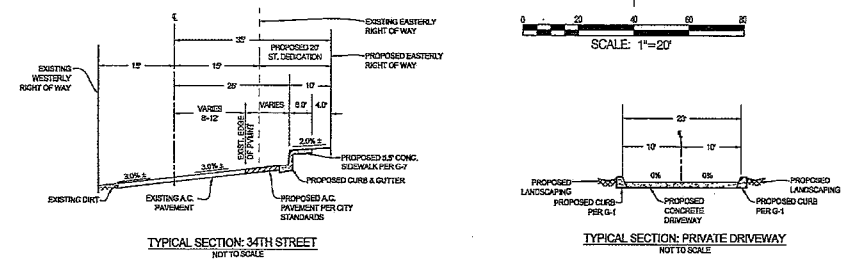
TENTATIVE MAP NO. 470622

PREPARED BY: SITE DESIGN ASSOCIATES, INC.
 ADDRESS: 1016 BROADWAY
 EL CAJON, CA 92021
 PHONE NO.: 619-442-8467
 PROJECT ADDRESS: 3422-J STREET
 SAN DIEGO, CA 92108
 PROJECT NAME: 34th & "J" RESIDENCES
 SHEET TITLE: TENTATIVE MAP
 P.L.S. NO.: 128129
 PERMIT NO.:
 REVISION 01: 8/1/12
 REVISION 02:
 REVISION 03:
 REVISION 04:
 REVISION 05:
 REVISION 06:
 REVISION 07:
 REVISION 08:
 REVISION 09:
 REVISION 10:
 SCALE: 1" = 20'
 JOB NO.: J-1876
 DATE: 9/12/11
 DWG.: 1016-0400-dwg
 SHEET: 1
 OF 1 SHEETS



PARKING TABLE

UNIT NO.	NO. OF BEDROOMS	UNIT AREA EXCL. GARAGE (SQ. FT.)	PARKING SPACES	
			GARAGE	OPEN SPACE
1	3	1,403	2	0
2	3	1,403	2	0
3	3	1,403	2	0
4	3	1,403	2	0
5	3	1,403	2	0
6	3	1,403	2	0
7	3	1,403	2	0
8	3	1,403	2	0
9	3	1,403	2	0
10	3	1,403	2	0
11	3	1,403	2	0
12	3	1,403	2	0
GUEST	0	0	0	3
TOTAL	36	15,520	24	3



SITE DESIGN ASSOCIATES, INC.
 1016 BROADWAY SUITE "A"
 EL CAJON, CALIFORNIA 92021
 (619) 442-8467
 SDN 06030.dwg

TENTATIVE MAP NO. 470622

34th & "J" RESIDENCES

ENGINEER OF WORK:

 8/1/12



RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 23427716

SITE DEVELOPMENT PERMIT NO. 440736
34th and J RESIDENCES - PROJECT NO. 128129
PLANNING COMMISSION

This Site Development Permit No. 440736 is granted by the PLANNING COMMISSION of the City of San Diego to BRIAN REVELLI, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0504 and 1519.0202. The 0.80-acre site is located at 3402 34th Street in the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area and the Southeastern San Diego Community Plan. The property is legally described as all that portion of the west half of the north-west quarter of Lot 1152 of the Pueblo Lands of San Diego, according to the map thereof made by James Pascoe in 1870, a copy of which was filed November 14, 1921 and is known as MM No. 36, excepting those portions of said land conveyed to the City of San Diego for freeway purposes recorded January 22, 1951 in Book 3942, Page 115 of official records and conveyed to the State of California, for freeway purposes recorded November 15, 1991 as file No. 1991-0593545.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct 12 residential condominium units described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 13, 2012, on file in the Development Services Department.

The project shall include:

- a. Demolition of an existing single-family residence and construction of 12 detached residential condominium units with 2-car parking garages, totaling approximately 22,332 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);

- c. Off-street parking; and
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by December 13, 2015.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

12. Prior to the issuance of any construction permits, the subdivider shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
13. Prior to the issuance of any construction permits, the subdivider shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report.
14. The finish floor elevation for the proposed dwelling units shall be elevated a minimum of 2'-0" above the base flood elevation as shown on the applicable Flood Insurance Rate Map (FIRM), satisfactory to the City Engineer.
15. Prior to the issuance of any construction permit, the applicant shall dedicate 20 feet of property at 34th Street in order to provide a minimum 35 foot street centerline to property line, and a minimum 10 feet curb to property line distance, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Subdivider shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.
17. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009-DWQ and the Municipal Storm Water Permit, Order No. R9-2007-0001. In accordance with Order No. 2009-0009DWQ, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
18. FEMA: A portion of this project has been identified as being within the floodway of a Special Flood Hazard Area Las Chollas Creek (Panel 1903F). No increases to base-flood elevations are allowed. A Registered Professional Engineer shall submit a no rise certification along with a detailed engineering analysis to substantiate the certification. The analysis is subject to the approval of the City Engineer. Additionally, plans must be revised to delineate the special flood hazard areas.
19. FEMA: If the engineering analysis shows that the development will alter the floodway or floodplain boundaries of the Special Flood Hazard Area, the developer must obtain a Conditional Letter of Map Revision from the Federal Emergency Management Agency prior to issuance of any grading, engineering, or building permits. The developer must provide all documentation, engineering calculations, and fees which are required by FEMA.
20. FEMA: If the engineering analysis shows that the development will alter the floodway or floodplain boundaries of the Special Flood Hazard Area, no certificates of occupancy will be granted or bonds released for development associated with this project until a Letter of Map Revision (LOMR) is obtained from FEMA. The LOMR is issued based upon as-built site conditions. Therefore, the applicant must allow time to complete this process. The developer

must provide all documentation, engineering calculations, and fees which are required by FEMA.

21. FEMA: Fill placed in the Special Flood Hazard Area for the purpose of creating a building pad must be compacted to 95% of the maximum density obtainable with the Standard Proctor Test Fill method issued by the American Society for Testing and Materials (ASTM Standard D-698). Granular fill slopes must have adequate protection for a minimum flood water velocity of five feet per second.

22. FEMA: The developer shall denote on the final map and the improvement plans "Subject to Inundation" all areas lower than the base flood elevation plus 2 feet.

23. FEMA: The developer shall enter into an agreement with the City waiving the right to oppose a special assessment initiated for the construction of flood control facilities and their perpetual maintenance.

24. FEMA: The developer shall grant a flowage easement, satisfactory to the City Engineer, over property within the floodway.

25. FEMA: If the structures will be elevated on fill such that the lowest adjacent grade is at or above the BFE, the applicant must obtain a Letter of Map Revision based on Fill (LOMR-F) prior to occupancy of the building. The developer must provide all documentation, engineering calculations, and fees which are required by FEMA to process and approve the LOMR-F.

26. FEMA: If the structures will be flood-proofed, they must be constructed to meet the requirements of the Federal Insurance Administration's Technical Bulletin 3-93. Additionally, a registered civil engineer or architect must certify prior to occupancy that those requirements have been met.

27. FEMA: The property owner shall enter into an agreement to indemnify, protect and hold harmless City, its officials and employees from any and all claims, demands, causes or action, liability or loss because of, or arising out of flood waters.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of construction permits for public right-of-way improvements, the Owner/Permittee shall submit complete landscape construction documents for right-of-way improvements to the Development Services Department for approval. Improvement plans shall take into account a 40 square-foot area around each tree, which is unencumbered by utilities. Driveways, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

29. Prior to issuance of any grading permits, complete landscape construction documents, including an automatic permanent irrigation system, shall be submitted to the Development Services Department for approval. The plans shall be in substantial conformance to Exhibit 'A', on file in the office of Development Services.

30. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections.

31. A Street Tree Permit shall be obtained for the installation, establishment and on-going maintenance of all street trees.

32. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

33. In the event that the Landscape Plan and the Site Plan conflict, the Site Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit 'A' Landscape Development Plan.

PLANNING/DESIGN REQUIREMENTS:

34. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

35. All signs associated with this development shall be consistent with sign criteria established by the City-wide sign regulations.

36. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

37. A children's play area of at least 240 square feet shall be provided in the approximate location as shown on Exhibit "A." Construction permits shall illustrate that the play area will be accessible to all dwelling units on the premises and shall be clearly delineated from adjacent private open space areas to the satisfaction of the Development Services Department.

38. All walls and fences shall comply with the regulations in SDMC Chapter 14, Article 2, Division 3.

39. Noise: To ensure interior noise levels remain below 45 dB, the new homes shall incorporate all the following design features as shown on Exhibit "A", and as specified in the "Noise Impact Assessment 34th and J Residences-City of San Diego Project No. 128129," prepared by SESPE Consulting, Inc., May 24, 2012:

- All homes shall be constructed with dual-pane glazing in all windows, skylights, and doors with glazing.

- All homes shall be provided with air conditioning or mechanical ventilation via the dwellings' forced air unit (furnace) so that windows may be closed by the occupant.
- All homes shall be provided with solid core exterior doors to living spaces, with weather seals and gaskets on all edges, having a minimum STC rating of 26.
- All exterior finishes on the new homes shall be either 7/8" stucco, or wood siding with a minimum half inch fiberboard underlayment.

TRANSPORTATION REQUIREMENTS:

40. No fewer than 27 parking spaces (24 parking spaces within 12 individual garages and 3 open spaces) shall be maintained on the property at all times in the approximate locations shown on Exhibit "A". All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department.

PUBLIC UTILITIES REQUIREMENTS:

41. The SDP shall comply with all conditions of Tentative Map No. 470622.

42. Prior to the approval of any building and/or public improvement permits, the Subdivider shall provide CC&R's, satisfactory to the Director of Public Utilities for the operation and maintenance of private sewer facilities that serve more than one ownership.

43. Prior to issuance of any engineering permits, the Subdivider shall provide recorded Encroachment Maintenance and Removal Agreement (EMRA) for the 6-inch private sewer lateral located in the driveway.

44. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

45. All proposed public sewer facilities are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide.

46. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities.

47. Prior to the issuance of Certificate of Occupancy, the Subdivider shall abandon any existing unused sewer services.

48. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water service(s) outside of any driveway, and the removal of all existing unused services, within the right-of-way adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

49. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

50. Prior to the issuance of any certificates of occupancy, all public water facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

51. The Owner/Permittee shall design and construct all proposed public water facilities in accordance with established criteria in the current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the PLANNING COMMISSION of the City of San Diego on
December 13, 2102, and Resolution No. _____.

Site Development Permit No. 440736
Planned Development Permit No. 909766
Approved on December 13, 2012

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Patricia J. FitzGerald
Development Project Manager

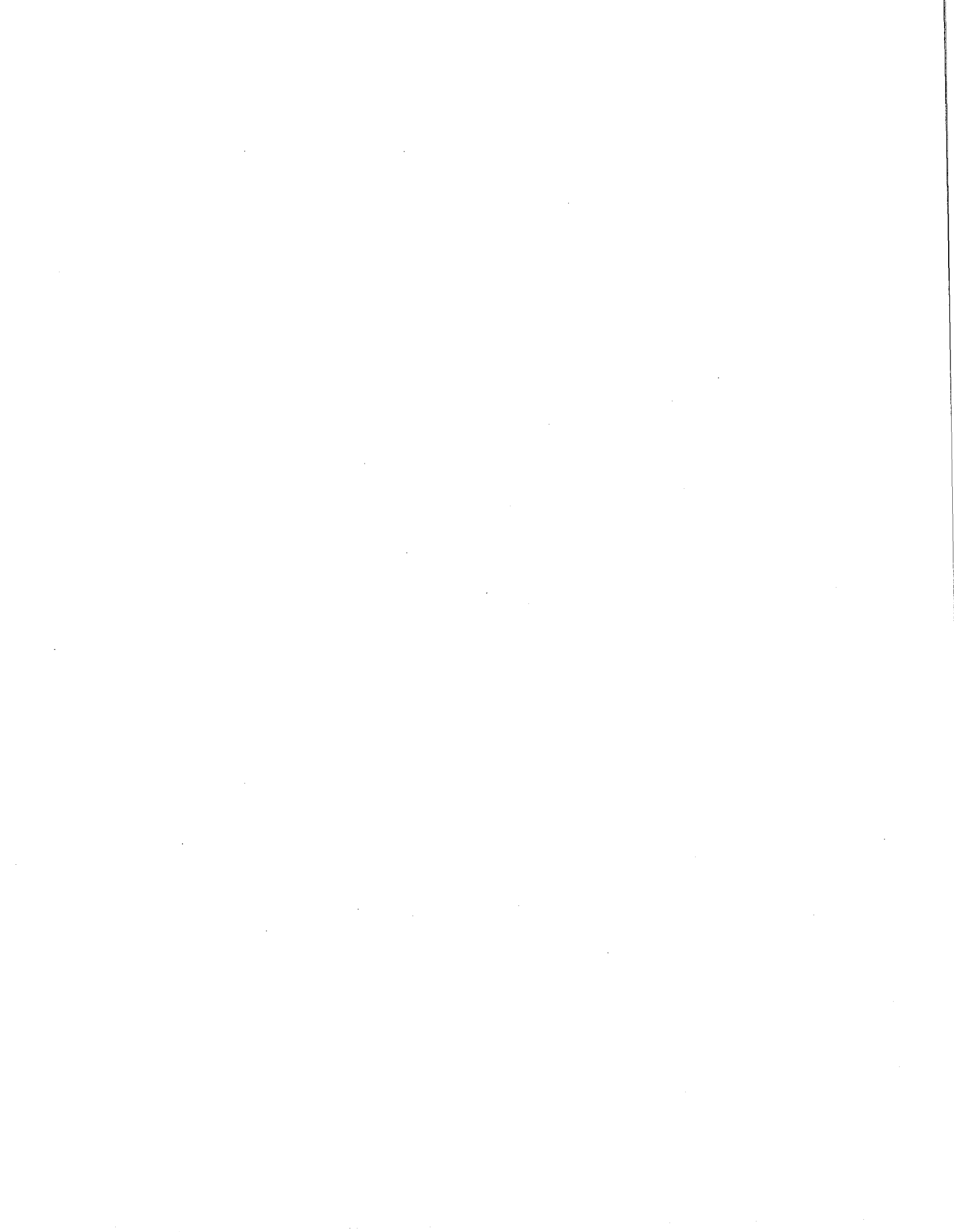
**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

Brian Revelli
Owner/Permittee

By _____

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



PLANNING COMMISSION
RESOLUTION NO. ___-PC
SITE DEVELOPMENT PERMIT NO. 440736
34th and J RESIDENCES - PROJECT NO. 128129

WHEREAS, BRIAN REVELLI, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish an existing single-family residence and construct 12 detached residential condominium units, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 13, 2012, on file in the Development Services Department, on portions of an approximately 0.80-acre site; and

WHEREAS, the project site is located at 3402 34th Street in the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area and the Southeastern San Diego Community Planning area; and

WHEREAS, the project site is legally described as all that portion of the west half of the north-west quarter of Lot 1152 of the Pueblo Lands of San Diego, according to the map thereof made by James Pascoe in 1870, a copy of which was filed November 14, 1921 and is known as MM No. 36, excepting those portions of said land conveyed to the City of San Diego for freeway purposes recorded January 22, 1951 in Book 3942, Page 115 of official records and conveyed to the State of California, for freeway purposes recorded November 15, 1991 as file No. 1991-0593545; and

WHEREAS, on December 13, 2012, the Planning Commission of the City of San Diego considered Site Development Permit No. 440736 pursuant to the Land Development Code of the City of San Diego;
NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated December 13, 2012.

SITE DEVELOPMENT PERMIT FINDINGS (Section 126.0504):

1. THE PROPOSED DEVELOPMENT WILL NOT ADVERSELY AFFECT THE APPLICABLE LAND USE PLAN.

The Site Development Permit will allow the demolition of an existing single-family residence and construction of 12 detached residential condominium units with 2-car parking garages totaling approximately 22,332 square feet, landscaping and public infrastructure improvements. The project site is located within the Stockton neighborhood of the Southeastern San Diego Community Plan and is designated for multi-family residential land use (10-15 du/ac), and could accommodate between 8 -12 units within this density range. The project is consistent with this land use designation and will comply with the goals of the Residential Element of the

Southeastern San Diego Community Plan to “create a range of housing opportunities and choices to provide quality housing for people of all income levels and ages” and to “achieve an overall mix of different housing types to add diversity to communities and to increase the housing supply”. The project will accomplish these goals by introducing the town home housing type within the existing neighborhood of older single-family homes and larger apartment buildings. The placement of 3 of the 12 town homes with a direct orientation fronting onto 34th Street, the incorporation of porch stoops and off-setting planes in the façade designs, and locating parking for the project internal to the development within garage structures, will contribute to the architectural character of the new townhomes and revitalization of the neighborhood. The proposed use and project design meets the purpose and intent of the Southeastern San Diego Planned District Ordinance, complies with the recommendations of the Southeastern San Diego Community Plan, conforms to all development standards and will not adversely affect the Southeastern San Diego Community Plan.

2. THE PROPOSED DEVELOPMENT WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY AND WELFARE.

The Site Development Permit will allow the demolition of an existing single-family residence and construction of twelve (12) residential condominium units, landscaping and public infrastructure improvements on a site located within the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area, within the Southeastern San Diego Community Plan area. As a condition of approval, all structures built within the 100-year floodplain are required to have the lowest floor elevated 2 feet above the 42.6' MSL base flood elevation. The project proposes approximately 1,000 cubic yards of cut and fill earthwork which will raise the building pads within the 100 year floodplain areas to approximately 45.5' MSL, thereby ensuring the finished floor levels of the new homes in this location, estimated to be 46.0' MSL, will exceed the minimum 2 feet requirement above the 42.6' MSL 100-year base flood elevation. No deviations to the Special Flood Hazard Area development regulations are required to implement the project. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) (Existing Facilities) of the State CEQA Guidelines. The proposed residential condominium development and associated improvements will meet all development standards and will not be detrimental to the public health, safety and welfare.

3. THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE APPLICABLE REGULATIONS OF THE LAND DEVELOPMENT CODE.

The Site Development Permit will allow the demolition of an existing single-family residence and construction of 12 detached residential condominium units with 2-car parking garages totaling approximately 22,332 square feet, landscaping and public infrastructure improvements. The project requires no deviations and complies with the applicable regulations of the Land Development Code.

II. Supplemental Findings--Environmentally Sensitive Lands (SDMC Section 126.0504)**A. THE SITE IS PHYSICALLY SUITABLE FOR THE DESIGN AND SITING OF THE PROPOSED DEVELOPMENT AND THE DEVELOPMENT WILL RESULT IN MINIMUM DISTURBANCE TO ENVIRONMENTALLY SENSITIVE LANDS.**

The Site Development Permit will allow the demolition of an existing single-family residence and construction of twelve (12) residential condominium units, landscaping and public infrastructure improvements on a site located within the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area, within the Southeastern San Diego Community Plan area. The 100-year floodplain area is considered environmentally sensitive lands under the San Diego Municipal Code. As a condition of approval, all structures built within the 100-year floodplain are required to have a structure's lowest finished floor elevated 2 feet above the base flood elevation, which for the project site is 42.6' MSL. The project proposes approximately 1,000 cubic yards of cut and fill earthwork which will raise the building pads within the 100 year floodplain areas to approximately 45.5' MSL, thereby ensuring the finished floor levels of the new homes in this location, estimated to be 46.0' MSL, will exceed the minimum 2 feet requirement above the 42.6' MSL 100-year base flood elevation. No deviations to the Special Flood Hazard Area development regulations are required to implement the project. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) (Existing Facilities) of the State CEQA Guidelines. Implementation of the project as conditioned, will reduce potential impacts to below a level of significance, and therefore the site is physically suitable for the design and siting of the proposed development, and the development will result in minimum disturbance to environmentally sensitive lands.

B. THE PROPOSED DEVELOPMENT WILL MINIMIZE THE ALTERATION OF NATURAL LAND FORMS AND WILL NOT RESULT IN UNDUE RISK FROM GEOLOGIC AND EROSIONAL FORCES, FLOOD HAZARDS, OR FIRE HAZARDS.

The Site Development Permit will allow the demolition of an existing single-family residence and construction of 12 detached residential condominium units with 2-car parking garages totaling approximately 22,332 square feet, landscaping and public infrastructure improvements, on a site located within the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area, within the Southeastern San Diego Community Plan area. The project proposes approximately 1,000 cubic yards of balanced cut and fill earthwork which will raise the building pads within the 100 year floodplain area (base flood elevation for the project site is 42.6' MSL) to approximately 45.5' MSL. As a condition of approval, all structures built within the 100-year floodplain are required to have a structure's lowest finished floor elevated 2 feet above the 42.6' MSL 100-year base flood elevation, and the grading of the site has been designed to implement this requirement. No deviations to the Special Flood Hazard Area development regulations are required to implement the project. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) (Existing Facilities) of the State CEQA Guidelines. The project will not significantly alter any natural

landform and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

C. THE PROPOSED DEVELOPMENT WILL BE SITED AND DESIGNED TO PREVENT ADVERSE IMPACTS ON ANY ADJACENT ENVIRONMENTALLY SENSITIVE LANDS.

The Site Development Permit will allow the demolition of an existing single-family residence and construction of 12 detached residential condominium units with 2-car parking garages totaling approximately 22,332 square feet, landscaping and public infrastructure improvements, on a site located within the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area, within the Southeastern San Diego Community Plan area. The 100-year floodplain area is considered environmentally sensitive lands under the San Diego Municipal Code. The project proposes approximately 1,000 cubic yards of balanced cut and fill earthwork which will raise the building pads within the 100 year floodplain area (base flood elevation for the project site is 42.6' MSL) to approximately 45.5' MSL. All grading will take place within the project site, and will allow the project to meet the criteria for finished floor elevations to be a minimum of 2 feet above the flood elevation. No deviations to the Special Flood Hazard Area development regulations are required to implement the project. Therefore the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

D. THE PROPOSED DEVELOPMENT WILL BE CONSISTENT WITH THE CITY OF SAN DIEGO'S MULTIPLE SPECIES CONSERVATION PROGRAM (MSCP) SUBAREA PLAN.

The project is not located within or nearby the Multi-Habitat Planning Area (MHPA), nor will it affect the MHPA in any way. Therefore, the proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan.

E. THE PROPOSED DEVELOPMENT WILL NOT CONTRIBUTE TO THE EROSION OF PUBLIC BEACHES OR ADVERSELY IMPACT LOCAL SHORELINE SAND SUPPLY.

The project is not located within or nearby to any public beaches or local shoreline sand supply. Therefore, the proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

F. THE NATURE AND EXTENT OF MITIGATION REQUIRED AS A CONDITION OF THE PERMIT IS REASONABLY RELATED TO, AND CALCULATED TO ALLEVIATE, NEGATIVE IMPACTS CREATED BY THE PROPOSED DEVELOPMENT.

The Site Development Permit will allow the demolition of an existing single-family residence and construction of 12 detached residential condominium units with 2-car parking garages totaling

approximately 22,332 square feet, landscaping and public infrastructure improvements, on a site located within the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area, within the Southeastern San Diego Community Plan area. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) (Existing Facilities) of the State CEQA Guidelines, and no negative impacts have been identified as a result of the project. Therefore, the nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

SOUTHEASTERN SAN DIEGO DEVELOPMENT PERMIT FINDINGS (Section 1519.0202):

- 1. THE PROPOSED USE AND PROJECT DESIGN MEET THE PURPOSE AND INTENT OF THIS DIVISION, COMPLY WITH THE RECOMMENDATIONS OF THE SOUTHEASTERN SAN DIEGO COMMUNITY PLAN, AND WILL NOT ADVERSELY AFFECT THE GENERAL PLAN OR OTHER APPLICABLE PLANS ADOPTED BY THE CITY COUNCIL.**

The Site Development Permit will allow the demolition of an existing single-family residence and construction of 12 detached residential condominium units with 2-car parking garages totaling approximately 22,332 square feet, landscaping and public infrastructure improvements. The project site is located within the Stockton neighborhood of the Southeastern San Diego Community Plan and is designated for multi-family residential land use (10-15 du/ac), and could accommodate between 8 -12 units within this density range. The project is consistent with this land use designation and will comply with the goals of the Residential Element of the Southeastern San Diego Community Plan to “create a range of housing opportunities and choices to provide quality housing for people of all income levels and ages” and to “achieve an overall mix of different housing types to add diversity to communities and to increase the housing supply”. The project will accomplish these goals by introducing the town home housing type within the existing neighborhood of older single-family homes and larger apartment buildings. The proposed use and project design meets the purpose and intent of the Southeastern San Diego Planned District Ordinance, complies with the recommendations of the Southeastern San Diego Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council.

- 2. THE PROPOSED DEVELOPMENT SHALL BE COMPATIBLE WITH EXISTING AND PLANNED LAND USE ON ADJOINING PROPERTIES AND SHALL NOT CONSTITUTE A DISRUPTIVE ELEMENT TO THE NEIGHBORHOOD AND COMMUNITY. IN ADDITION, ARCHITECTURAL HARMONY WITH THE SURROUNDING NEIGHBORHOOD AND COMMUNITY SHALL BE ACHIEVED AS FAR AS PRACTICABLE.**

The Site Development Permit will allow the demolition of an existing single-family residence and construction of 12 detached residential condominium units with 2-car parking garages totaling

approximately 22,332 square feet, landscaping and public infrastructure improvements. The project site is located within the Stockton neighborhood of the Southeastern San Diego Community plan area, within an older neighborhood of mixed single-family and multi-family uses and is designated for multi-family residential land use. As one of the first properties to redevelop, the project has been designed to complement the existing development in the neighborhood. The placement of 3 of the 12 town homes with a direct orientation fronting onto 34th Street, the incorporation of porch stoops and off-setting planes in the façade designs, and locating parking for the project internal to the development within garage structures, will contribute to the architectural character of the new townhomes and revitalization of the neighborhood. The project is exempt from the California Environmental Quality Act (CEQA) under Section 15332 (Infill Development), and the project will not have a negative impact to the environment and surrounding neighborhood. The proposed residential condominium development and associated improvements will be compatible with existing and planned commercial and multi-family residential uses on adjoining properties, and as designed the project will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable.

3. THE PROPOSED USE, BECAUSE OF CONDITIONS THAT HAVE BEEN APPLIED TO IT, WILL NOT BE DETRIMENTAL TO THE HEALTH, SAFETY AND GENERAL WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA, AND WILL NOT ADVERSELY AFFECT OTHER PROPERTY IN THE VICINITY.

The Site Development Permit will allow the demolition of an existing single-family residence and construction of twelve (12) residential condominium units, landscaping and public infrastructure improvements on a site located within the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area, within the Southeastern San Diego Community Plan area. As a condition of approval, all structures built within the 100-year floodplain are required to have the lowest floor elevated 2 feet above the 42.6' MSL base flood elevation. The project proposes approximately 1,000 cubic yards of cut and fill earthwork which will raise the building pads within the 100 year floodplain areas to approximately 45.5' MSL, thereby ensuring the finished floor levels of the new homes in this location, estimated to be 46.0' MSL, will exceed the minimum 2 feet requirement above the 42.6' MSL 100-year base flood elevation. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) (Existing Facilities) of the State CEQA Guidelines. The project requires no deviations and complies with the applicable regulations of the Land Development Code. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

4. THE PROPOSED USE WILL COMPLY WITH THE RELEVANT REGULATIONS OF THE MUNICIPAL CODE.

The proposed development, the demolition of an existing single-family residence and construction of twelve (12) residential condominium units, landscaping and public infrastructure

improvements, requires no deviations and will comply with the relevant regulations of the Municipal Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 440736 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 440736, a copy of which is attached hereto and made a part hereof.

Patricia J. FitzGerald
Development Project Manager
Development Services

Adopted on: December 13, 2012

Internal Order No. 23427716

cc: Legislative Recorder, Development Services Department



PLANNING COMMISSION RESOLUTION NUMBER R-_____

TENTATIVE MAP NO. 1067749
34th and J RESIDENCES - PROJECT NO. 128129

WHEREAS, BRIAN REVELLI, Subdivider, and KENNETH J. DISCENZA, P.E., Engineer, submitted an application to the City of San Diego for Tentative Map No. 1067749 for the 34th and J Residences Project, which consists of demolition of an existing single-family dwelling unit and the construction of 12 detached residential condominium units with attached 2-car parking garages, totaling approximately 22,332 square feet, and to waive the requirement to underground existing offsite overhead utilities. The 0.80-acre project site is located at 3402 34th Street in the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area and the Southeastern San Diego Community Plan. The property is legally described as all that portion of the west half of the north-west quarter of Lot 1152 of the Pueblo Lands of San Diego, according to the map thereof made by James Pascoe in 1870, a copy of which was filed November 14, 1921 and is known as MM No. 36, excepting those portions of said land conveyed to the City of San Diego for freeway purposes recorded January 22, 1951 in Book 3942, Page 115 of official records and conveyed to the State of California, for freeway purposes recorded November 15, 1991 as file No. 1991-0593545; and

WHEREAS, the Map proposes the Subdivision of a 0.80-acre site into one lot for a 12 unit residential condominium development; and

WHEREAS, on August 29, 2012, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act [CEQA] (Public Resources

Code section 21000 et. seq.) under CEQA Guideline Section 15332 (Infill Development); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, a preliminary soils and geological reconnaissance report are waived by the City Engineer pursuant to Subdivision Map Act section 66491(a) and San Diego Municipal Code sections 144.0220(a) and 144.0220(b); and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 1351 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 12; and

WHEREAS, the request to waive the requirement to underground existing offsite overhead utilities, qualifies under the guidelines of Council Policy No. 600-25 *Underground Conversion of Utility Lines at Developers Expense* in that the conversion involves a short span of overhead facility (less than 600 feet in length); and

WHEREAS, on December 13, 2012, the Planning Commission of the City of San Diego considered Tentative Map No. 1067749, including the waiver of the requirement to underground existing offsite overhead utilities, and pursuant to San Diego Municipal Code section(s) 125.0440, and 144.0240 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Tentative Map No. 1067749:

(R-[Reso Code])

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Action §§ 66473.5, 66474(a), and 66474(b)).

The project proposes to create twelve (12) residential condominium units on a 0.80-acre site located at 3402 J Street in the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area, within the Stockton neighborhood of the Southeastern San Diego Community Plan area. The Southeastern San Diego Community plan designates the area for low-medium density multi-family residential land use (10-15 du/ac), and the site could accommodate between 8 -12 units within this density range. The project proposal to develop twelve (12) townhome style residential condominium units is consistent with this land use designation. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Act §§ 66473.5, 66474(a), and 66474(b)).

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed subdivision does not propose any deviations and complies with the applicable zoning and development regulations of the Land Development Code, including building setbacks, floor area ratio, parking, floodway design, landscaping, storm water runoff, architectural design and building height.

3. The site is physically suitable for the type and density of development (San Diego Municipal Code § 125.0440(c) and Subdivision Map Act §§ 66474(c) and 66474(d)).

The project proposes to create twelve (12) residential condominium units on a 0.80-acre site located at 3402 J Street in the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area. The project lies within the Stockton neighborhood of the Southeastern San Diego Community Plan area, a residential neighborhood comprised of single family and multi-family developments. The Southeastern San Diego Community Plan encourages infill development in the Stockton neighborhood, and the project will implement this recommendation. According to FEMA maps, the 100-year base flood elevation in this area is at an elevation of 42.6' Mean Sea Level (MSL). The project site slopes gently up from 34th Street, gaining approximately 12 feet in elevation from the front (approximately 40.0' MSL) to the rear of the property (approximately 52.0' MSL). As a condition of approval of the TM and SDP entitlements, all structures built within the 100-year floodplain are required to have the lowest floor elevated 2 feet above the 42.6' MSL base flood elevation. The project proposes approximately 1,000 cubic yards of cut and fill earthwork to level the site. The grading will also raise the building pads within the 100 year floodplain areas to approximately 45.5' MSL, thereby ensuring the finished floor levels of the new homes in this location, estimated to be 46.0' MSL, will exceed the minimum 2 feet requirement above the 42.6' MSL 100-year base flood elevation. No deviations to the Special Flood Hazard Area development regulations are required to implement the project. The project site is physically suitable for the type and density of the proposed development.

4. The design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

The project proposes to create twelve (12) residential condominium units on a 0.80-acre site located at 3402 J Street in the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area, within the Stockton neighborhood of the Southeastern San Diego Community Plan area. The Tentative Map was reviewed by the City of San Diego for conformance to the Land Development Regulations, Californian Building Code, and Land Use Policies. The Tentative Map included a review for compliance for storm water runoff requirements during and after construction. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) (Existing Facilities) of the State CEQA Guidelines. The project is located within an urbanized and built out environment where there are no watercourses on or adjacent to the site. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare (San Diego Municipal Code § 125.0440(e) and Subdivision Map Act § 66474(f)).

The project will allow the demolition of an existing single-family residence and construction of twelve (12) residential condominium units, landscaping and public infrastructure improvements on a site located within the MF-3000 Zone of the Southeastern San Diego Planned District, within the 100-year floodplain/Special Flood Hazard Area, within the Southeastern San Diego Community Plan area. As a condition of approval, all structures built within the 100-year floodplain are required to have the lowest floor elevated 2 feet above the 42.6' MSL base flood elevation. The project proposes approximately 1,000 cubic yards of cut and fill earthwork which will raise the building pads within the 100 year floodplain areas to approximately 45.5' MSL, thereby ensuring the finished floor levels of the new homes in this location, estimated to be 46.0' MSL, will exceed the minimum 2 feet requirement above the 42.6' MSL 100-year base flood elevation. No deviations to the Special Flood Hazard Area development regulations are required to implement the project. The proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15061(b)(3) (Existing Facilities) of the State CEQA Guidelines. The proposed residential condominium development and associated improvements will meet all development standards and will not be detrimental to the public health, safety and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)).

(R-[Reso Code])

The Tentative Map proposed for the project identifies existing easements located within the project boundaries. All existing easements on the property will remain and the proposed development will not conflict with any existing easements.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (San Diego Municipal Code § 125.0440(g) and Subdivision Map Act § 66473.1).

The proposed subdivision of the 0.80-acre parcel into 12 condominium units for residential development will not impede or inhibit any future passive or natural heating and cooling opportunities. Each new townhome structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (San Diego Municipal Code § 125.0440(h) and Subdivision Map Act § 66412.3).

The project will allow the demolition of an existing single-family residence and construction of 12 detached residential condominium units, landscaping and public infrastructure improvements. The project site is located within the Stockton neighborhood of the Southeastern San Diego Community Plan and is designated for multi-family residential land use (10-15 du/ac), and could accommodate between 8 -12 units within this density range. The project is consistent with this land use designation and will comply with the goals of the Residential Element of the Southeastern San Diego Community Plan to “create a range of housing opportunities and choices to provide quality housing for people of all income levels and ages” and to “achieve an overall mix of different housing types to add diversity to communities and to increase the housing supply”. The project will accomplish these goals by introducing the town home housing type within the existing neighborhood of older single-family homes and larger apartment buildings. The applicant has chosen the option of paying an in-lieu fee to meet their affordable housing requirement rather than provide the dwelling units, as allowed by the San Diego Municipal Code. The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region, and finds that those needs are balanced against the needs for public services and the available fiscal and environmental resources.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 1067749 is hereby granted to BRIAN REVELLI,

(R-[Reso Code])

Subdivider, subject to the attached conditions which are made a part of this resolution by this reference.

By

Patricia J. FitzGerald
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions

Internal Order No. 23427716

TENTATIVE MAP NO. 1067749
34th and J RESIDENCES - PROJECT NO. 128129

ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Tentative Map will expire December 13, 2015.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. The Final Map shall conform to the provisions of Site Development Permit No. 440736.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

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TM No. 1067749

ENGINEERING

6. The Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
7. The subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code. The subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits.
8. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
9. The subdivider shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer
10. The drainage system proposed for this subdivision, as shown on the approved map waiver, is private and subject to approval by the City Engineer.
11. The proposed driveway shall comply with City Standard Drawings G-14A and SDG-100.
12. The subdivider shall dedicate 20 feet of right-of-way for 34th Street. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the subdivider to provide the right-of-way free and clear of all encumbrances and prior easements. The subdivider must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.
13. The subdivider shall install City standard curb, gutter and sidewalk along the entire property frontage, within a 10 foot curb-to-property line distance, including a curb cut, asphalt paving with off-site transitions and two (2) D-27 sidewalk underdrains, all adjacent to the site on 34th Street.
14. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

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MAPPING

15. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
16. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
17. The Final Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of Third Order accuracy or better. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

WASTEWATER

18. The Site Development Permit (ESL) No. 440736 shall comply with all conditions of Tentative Map No. 470622.
19. Prior to the approval of any building and/or public improvement permits, the Subdivider shall provide CC&R's, satisfactory to the Director of Public Utilities for the operation and maintenance of private sewer facilities that serve more than one ownership.
20. Prior to issuance of any engineering permits, the Subdivider shall provide recorded Encroachment Maintenance and Removal Agreement (EMRA) for the 6-inch private sewer lateral located in the driveway.

Project No. 128129
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21. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
22. All proposed public sewer facilities are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide.
23. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities.
24. Prior to the issuance of a Certificate of Occupancy, the Subdivider shall abandon any existing unused sewer services.

WATER

25. The Subdivider shall design and construct an 8-inch public water main within proposed private driveway, in a manner satisfactory to the Water Department Director and the City Engineer.
26. The Subdivider shall grant a minimum 24-foot wide easement including vehicular access to each appurtenance and for the 8-inch public water main within proposed private driveway, in a manner satisfactory to the Water Department Director and the City Engineer.
27. Prior to the issuance of any building permits, the Subdivider shall assure, by permit and bond, the design and construction of new water service(s) as needed, and the removal of all existing unused services, within the 34th Street right-of-way adjacent to the project site in a manner satisfactory to the Water Department Director and the City Engineer.
28. Prior to the issuance of any certificates of occupancy, public water facilities necessary to serve the development, including services, shall be complete and operational in a manner satisfactory to the Water Department Director and the City Engineer.
29. The Subdivider agrees to design and construct all proposed public water facilities, including services, meters, and easements, in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards, and practices pertaining thereto. Proposed facilities that do not meet the current standards for construction, operation, maintenance and access, shall be private or modified at final engineering to comply with standards.

30. The Subdivider shall install fire hydrants at locations satisfactory to the Fire Department and the City Engineer. If more than two (2) fire hydrants or thirty (30) dwelling units are located on a dead end main then the Subdivider shall install a redundant water system satisfactory to the Water Department Director.

GEOLOGY

31. Prior to the issuance of a grading permit, the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego's "Guidelines for Geotechnical Reports," satisfactory to the City Engineer.

LANDSCAPE/BRUSH MANAGEMENT

32. Prior to issuance of any right-of-way improvement permits or dedications, landscape construction which account for a 40 square feet planting area for each required street tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
33. Prior to issuance of any grading permits, complete landscape construction documents, including an automatic permanent irrigation system, shall be submitted to the Development Services Department for approval. The plans shall be in substantial conformance to Exhibit 'A', on file in the office of Development Services.
34. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections.
35. A Street Tree Permit shall be obtained for the installation, establishment and on-going maintenance of all street trees.
36. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

INFORMATION:

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the subdivider to violate any Federal,

Project No. 128129
TM No. 1067749

ATTACHMENT 9

State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).

- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 23427716

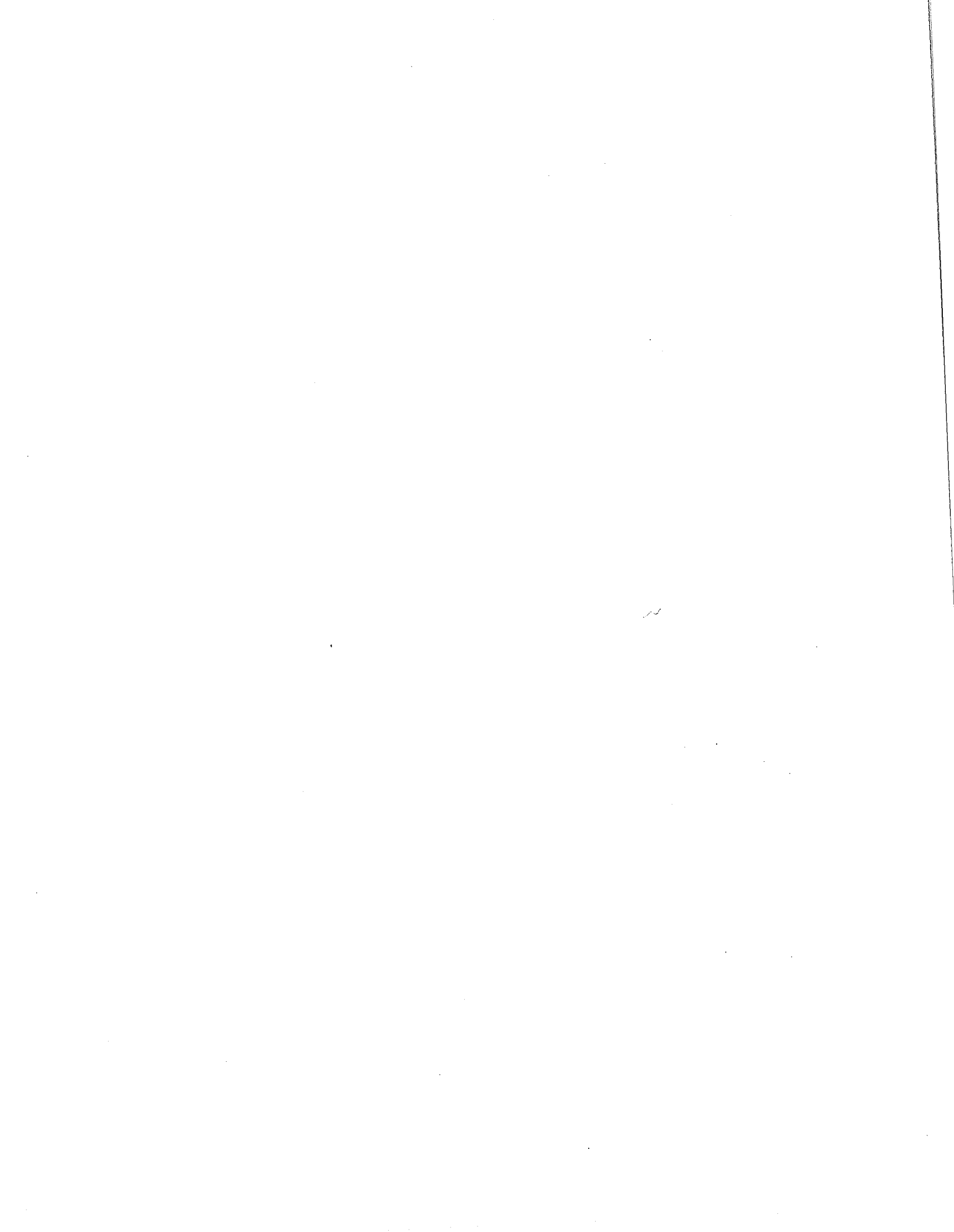
Project No. 128129
TM No. 1067749



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

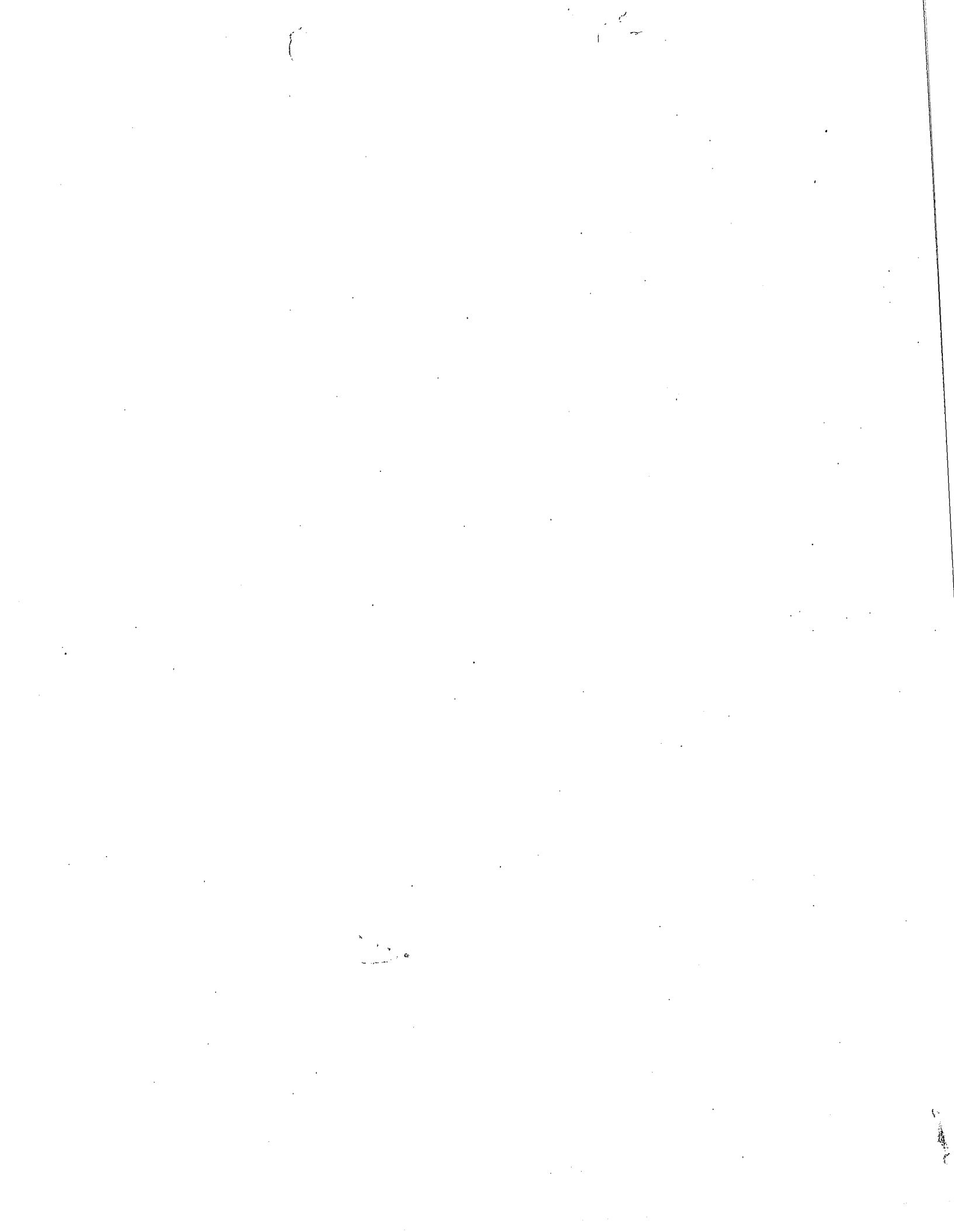
Community Planning Committee Distribution Form Part 2

Project Name: 34th & J Street Residences		Project Number: 128129		Distribution Date:	
Project Scope/Location: 34th & J Street Residences, 3402-3424 J Street Project No.128129, Stockton Neighborhood, application for a Site Development Permit and Map Waiver application to waive the requirements of a Tentative Map and under grounding overhead utilities in order to demolish an existing single-family home and construct 12 condominiums on a 0.80 acre site at 3402 J Street in the MF-3000 Zone of the Southeastern San Diego Planned District within the Southeastern Community Plan Area. The site is also located within a 100-year and 500-year floodplain area, and is considered within a Special Flood Hazard Area (due to 100-year floodplain). Owner is Brian Revelli, Imperial Development Co. LLC. Project Manager is P.J. Fitzgerald, Development Services. Architect Dan Linn presented.					
Applicant Name: Brian Revelli			Applicant Phone Number:		
Project Manager: P. Fitzgerald		Phone Number: (619) 446-5107	Fax Number: (619) 446-5245	E-mail Address: pfitzgerald@sandiego.gov	
Committee Recommendations (To be completed for Initial Review):					
<input checked="" type="checkbox"/> Vote to Approve		Members Yes 8	Members No 0	Members Abstain 0	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Deny		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued	
CONDITIONS: Please see attached					
NAME: Maria Riveroll, EA			TITLE: Chairperson		
SIGNATURE:			DATE: 10/18/12		
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101			
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



34th and J Residences, Project no. 128129 page 2
(Post Report on Formal Action by SSDPG October 8, 2012)

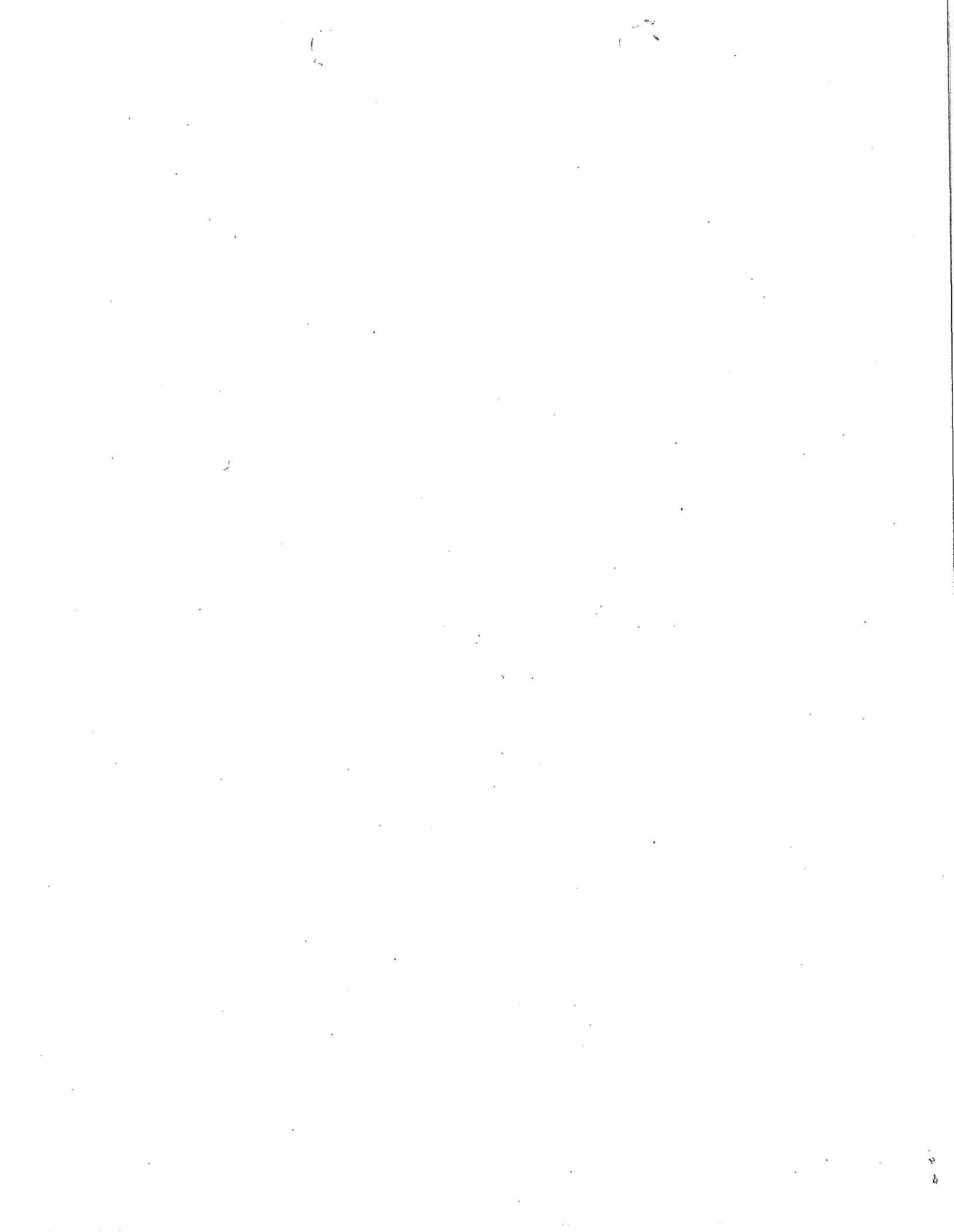
1. Recommend Certified Property Management Plan for the entire Project working with the HOA.
2. Make it an affordable project through the Housing Commission.
3. Recommended heat pumps, which are dual-purpose, heating and air conditioning.
4. Applicant agreed to revise the color palette.
5. Implement SDPD Recommendations.
6. All issues on the PTS should be cleared.
7. Bathrooms and kitchens, air exhaust should be twice the City standards.
8. Build 3' above the 100-yearflood plain.
9. Revise proposed color palette.
10. Plant ivy or other foliage along the walls.
11. Consider making this a gated community for safety issues.



34th and J Project

Responses to SSDPG Recommendations

1. This recommendation will be passed along to any HOA (or similar group) when the project is ready to be occupied by individual owners.
2. This recommendation will be considered by the developer as the time for actual construction becomes clearer.
3. This recommendation, and all aspects of all the mechanical systems, will be closely evaluated for both initial cost and long term energy efficiency prior to construction.
4. We have done so and it was approved at the final Planning Group meeting.
5. We feel that we have done this after consultation with SDPD subsequent to their review of the project.
6. All issues from the cycle reviews were cleared.
7. Ventilation for these rooms will exceed the appropriate CMC standards.
8. The project will comply with the flood plain standards established by the City's extensive review of the project.
9. See #4
10. We will certainly consider this recommendation when the actual planting plan is being finalized.
11. This recommendation will be discussed as final construction documents are being prepared.





City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

THE CITY OF SAN DIEGO

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title

34th & J Residences

Project No. For City Use Only

Project Address:

3402 J St., San Diego, CA 92102

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Brian Revelli

Owner Tenant/Lessee Redevelopment Agency

Street Address:

5580 La Jolla Blvd. #330

City/State/Zip:

La Jolla, CA 92037

Phone No:

8586637702

Fax No:

8665122984

Signature:

Date:

12/3/12

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Project Title:
34th & J Residences

Project No. (For City Use Only)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): _____
Title (type or print): _____
Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): _____
Title (type or print): _____
Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): _____
Title (type or print): _____
Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): _____
Title (type or print): _____
Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): _____
Title (type or print): _____
Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____
 Owner Tenant/Lessee
Street Address: _____
City/State/Zip: _____
Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): _____
Title (type or print): _____
Signature : _____ Date: _____