



THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** May 24, 2012 **REPORT NO. PC-12-060**

**ATTENTION:** Planning Commission, Agenda of May 31, 2012

**SUBJECT:** SANTA MONICA PROJECT - PROJECT NO. 260180;  
PROCESS THREE.

**OWNER/  
APPLICANT:** Santa Monica Avenue LLC/ CG Alan Development, LLC (Attachment 11)

### SUMMARY

Issue: Should the Planning Commission uphold the Hearing Officer's decision to approve the Santa Monica Avenue project, within the Ocean Beach Community Planning Area?

Staff Recommendation:

1. **DENY** the appeal;
2. **APPROVE** Coastal Development Permit No. 917658 (Lots 45-48);
3. **APPROVE** Coastal Development Permit No. 917659 and Variance No. 917693 (Lot 45);
4. **APPROVE** Coastal Development Permit No. 917660 and Variance No. 917694 (Lot 46);
5. **APPROVE** Coastal Development Permit No. 917661 and Variance No. 917695 (Lot 47);
6. **APPROVE** Coastal Development Permit No. 917662 and Variance No. 917696 (Lot 48).

Community Planning Group Recommendation: The Ocean Beach Community Planning Committee considered the project and voted 9-0-1 to recommend approval of the project with conditions at their meeting of March 7, 2012.

Environmental Review: This project is exempt from the California Environmental Quality Act pursuant to Section 15301(1) (Existing Facilities) and Section 15303 (New Construction) of the State CEQA Guidelines. This project was determined to be categorically exempt from the California Environmental Quality Act on March 9, 2012 and the opportunity to appeal that determination ended March 23, 2012 (Attachment 9). This project is not pending an appeal of the environmental determination.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.



Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action. Four (4) new single-family housing units will be added to the Ocean Beach community in place of an existing day care facility.

## **BACKGROUND**

The 13,968-square-foot (0.32 acre) project site is located at 4689 Santa Monica Avenue, at the southeast corner of the intersection of Ebers Street and Santa Monica Avenue (Attachment 1). The property lies within the RM-1-1 Zone, the Coastal Overlay (non-appealable), Coastal Height Limit, Airport Influence Area, Airport Approach, Ocean Beach Cottage Emerging Historical District, within the Ocean Beach Precise Plan area. The property is zoned RM-1-1 (Residential--Multiple Unit), a zone intended to allow for multiple dwelling unit development at varying densities by consolidating common development regulations, accommodating specific dwelling types and responding to locational issues regarding adjacent land uses.

The property is comprised of 4 legal lots which were created by Map No. 279 on May 28, 1887, and each lot is previously conforming to the current RM-1-1 base zone minimum standards for lot size and lot width. The Ocean Beach Precise Plan designates the site for Low-Medium density multi-family residential land use, with a density of 8-14 dwelling unit per acre (Attachment 3). The property is currently developed with an existing structure built in 1941 which was previously used as a daycare center. Surrounding development includes a mix of single-family homes, multi-family housing, educational and recreational land use; the Ocean Beach Recreation Center facility lie across Ebers Street to the west (Attachment 2).

In accordance with San Diego Municipal Code (SDMC) Section 126.0702, a Process 3 Coastal Development Permit is required for development in the Coastal Overlay zone for demolition of existing structures and new construction. Additionally, the project requires approval of variances to the RM-1-1 zone per SDMC Section 126.0805 to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new structure on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is required. The proposed project requires a public hearing in accordance with Process Three (Hearing Officer as decision maker). The decision of the Hearing Officer is appealable to the Planning Commission. The proposed development is being processed under one project application (PTS 260180), however, in order for future implementation of the new development approved for each parcel, a separate coastal development permit has been prepared for each of the four (4) individual lots (Lots 45, 46, 47 and 48).

On July 5, 2006, the Hearing Officer approved the Santa Monica LLC Project (PTS No. 85366), which proposed a very similar project design and allowed setback variances identical to those being proposed under this current application (Attachment 12). The coastal development permits and associated variances for the Santa Monica LLC Project expired July 5, 2009.

On March 28, 2012, the Hearing Officer approved the Santa Monica Project including the associated coastal development permits and variances to allow demolition of an existing daycare center and construction of four new single-family homes. On April 10, 2012 four (4) appeals of the Hearing Officer's decision were filed with the Development Services Department.

## **DISCUSSION**

The project application includes five (5) separate but inter-related jobs located on one premises consisting of four (4) individual parcels (Lots 45, 46, 47 and 48), with associated entitlements as follows:

1. Lots 45-48: Coastal Development Permit No. 917658 allows demolition of the existing structure (previously used as a daycare center).
2. Lot No. 45: Coastal Development Permit No. 917659 and Variance 917693 allows construction of a new 2,196 square foot single family residence with detached, 2-car garage (400 square feet) and a variance to the RM-1-1 zone to allow the new garage to observe a zero foot side-yard setback where 3'-0" is required.
3. Lot No. 46: Coastal Development Permit No. 917660 and Variance 917694 allows construction of a new 2,196 square foot single family residence with detached, 2-car garage (400 square feet) and a variance to the RM-1-1 zone to allow the new garage to observe a zero foot side-yard setback where 3'-0" is required.
4. Lot No. 47: Coastal Development Permit No. 917661 and Variance 917695 allows construction of a new 2,196 square foot single family residence with detached, 2-car garage (400 square feet) and a variance to the RM-1-1 zone to allow the new garage to observe a zero foot side-yard setback where 3'-0" is required.
5. Lot No. 48: Coastal Development Permit No. 917662 and Variance 917696 allows construction of a new 2,196 square foot single family residence with detached, 2-car garage (400 square feet) and a variance to the RM-1-1 zone to allow the new garage to observe a zero foot side-yard setback where 3'-0" is required, and allow the residential structure to observe a 5'-0" street yard setback on Ebers Street where 10'-0" is required.

## **Project Description:**

The project is requesting five (5) coastal development permits to allow demolition of the existing structure on site (previously used as a daycare center) and construction of four (4) new single family residences. To be located on each of the four (4) existing lots, the proposed 2,196-square-foot two-storey homes will have detached 2-car garages (400 square feet each). The project proposes variances to the RM-1-1 zone to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new home on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is required. Vehicular access to the site will be provided via the existing alley at the rear of the property which fronts Ebers Street, and will lead to individual garages providing the two (2) off-street parking spaces required for each development by the SDMC Parking Regulations. Each property will utilize cedar fencing 6-feet in height along the rear and side property lines, tapering to 3-feet in height within the front yard setback area. Besides the setback variances described below, the project meets all other development regulations.

Santa Monica Avenue along the site frontage and the alley along the rear of the property both



slope uphill to the east from Ebers Street. The site has been previously graded and is relatively flat with an approximate elevation of 66 mean sea level (MSL). Fill soil is currently being supported via a 5-foot high retaining wall along the Ebers Street frontage and at the southwest corner of the property where the alley meets Ebers Street (Attachment 17). The alley along the rear of the property slopes gently uphill from Ebers Street, starting at 58 feet MSL (mean sea level) and climbs east gradually to an elevation of approximately 66.2 feet MSL. To facilitate access to the proposed garages at the alley, existing fill materials will be removed and approximately 1,226 cubic yards of soil will be exported. The site will be graded so each lot will step down westerly towards Ebers Street, resulting in Lot 48 = 61.0' MSL, Lot 47 = 61.6' MSL, Lot 46 = 63.8' MSL and Lot 45 = 65.9' MSL (Attachment 9).

### **Community Plan Analysis:**

The Ocean Beach Precise Plan (OBPP) and Local Coastal Program (LCP) designates the site and surrounding area to the north, south and east as Low-Medium density multi-family residential land use, with a density of 8-14 dwelling unit per acre. The project is consistent with this residential use designation. By providing a 2 car garage for each residence the project will support the OBPP/LCP goal of providing adequate on-site parking. The project is located approximately 4 blocks from the Pacific Ocean and is not identified in the OBPP/LCP as a provider of physical or visual coastal access. As proposed the project will be consistent with the bulk and scale of the surrounding neighborhood. The proposed development project complies with the policies in effect for the project site per the Ocean Beach Precise Plan and Local Coastal Program and all other City regulations (as allowed through the variance process), policies, guidelines, design standards and adopted land use plans applicable to this site.

### **Project-Related Issues:**

Variance Requests: The project requests a variance on each property to allow the proposed garages to observe a zero foot side-yard setback where 3'-0" is required by the RM-1-1 zone; additionally, Lot No. 48 is requesting a second variance to allow the new structure to observe a 5'-0" street yard setback where 10'-0" is required. The existing condition of having a narrow lot width challenges the properties to redevelop each lot to meet standard 3'-0" setbacks while also providing a 2 car garage as required by the RM-1-1 zone for off-street parking, and for Lot 48 to also provide a 10' building street yard side setback. The site is comprised of 4 legal lots, each substandard in width and lot size due their subdivision in 1887, prior to current zoning standards. At 24.95 feet wide each, Lots 45, 46 and 47 are approximately half the width of the current 50 foot minimum width requirement of the RM-1-1 zone; and as a corner lot, Lot 48's existing width of 24.95 feet is less than half the width of the current 55-foot minimum width requirement for corner lots in the RM-1-1 zone.

A typical 2 car garage is approximately 20 feet in width (parking spaces within a garage need to be 9'-6" wide due to the adjacent walls), which leaves 5'-0" of unencumbered lot width remaining. The 5 feet of width remaining could potentially provide setbacks between 2 and 3 feet on each side of the garage structure, but under any variety of design options, the existing circumstance of having a narrow 24.95 foot lot width compromises the project's ability to fully meet the required 3 foot setback on each side on the garage. Additionally, such a situation would leave little space for pedestrian access from the front of the lot to the alley/garage area. The



project is requesting to shift the garage over to observe a zero foot setback, and use the full 5 feet remaining to accommodate a pathway. The residences will otherwise meet the minimum setbacks, except the home on Lot No. 48, which for this same reasoning is requesting to observe a 5'-0" setback instead of the 10'-0" typically required for a street-yard. Existing residential structures on property immediately to the south (1917 Ebers Street), and property to the north (2076 Ebers Street), both observe reduced street-side setbacks where 10 feet is required, so the proposed street yard variance for Lot 48 will be in line with the existing development pattern along this portion of Ebers Street. Staff reviewed the variance requests carefully and has determined that the variance requests are reasonable considering the site constraints, are the minimum variances necessary to accommodate reasonable use of the land (a home with on-site parking and pedestrian access), and will not result in adverse impacts to the neighborhood. The zero foot setbacks of the one story garages will not be visible to the general public as they occur only at the garages in the rear portion of the lots at the alley (Attachment 5).

### **Community Planning Group Recommendation:**

At their meeting of March 7, 2012, the Ocean Beach Community Planning Committee (OBPC) considered the project and voted 9-0-1 to recommend approval of the project with conditions. The OBPC supported all the variance requests except the variance proposed on Lot 45 to allow the garage to observe a zero side yard setback. In this case, the OBPC expressed concerns about potential impacts to the easterly property owner, and supported a zero foot side yard variance with the condition that the garage location on Lot 45 would be shifted 5'-0" west, so that the westerly garage wall would observe a zero foot setback on the opposite side of the parcel, along the property line adjacent to the garage on Lot 46. The OBPC also suggested greater setbacks along the Santa Monica Avenue street frontage. Subsequent to the meeting of March 7, 2012, the applicant's engineer reviewed the possibility of fulfilling the OBPC's recommendation to flip the garage location on Lot 45. The project engineer reported that the uphill slope of the alley's topography in this location precludes accommodating vehicular access into side by side garage door openings at the same elevation; therefore, the project has not incorporated the recommendation. However, in an effort to balance the overall building setbacks for the new development, the project plans were revised to increase setbacks in other areas where feasible. An additional 3 feet of front yard setback area has been provided on Lot 46 and Lot 48 resulting in these two homes stepping back a distance of 23-feet, and homes on Lot 45 and 47 have been increased to observe a 20'-0" setback, where a 15'/20' off-setting front yard setback is allowed through the RM-1-1 zone (Attachment 5).

### **Appeal of Hearing Officer Decision:**

On March 28, 2012, the Hearing Officer approved the project after hearing public testimony. As a condition of approval, the Hearing Officer required that the proposed garage roof overhang be modified so as not to extend beyond the property line and the plans have been revised to implement this condition (Attachment 15). To address concerns expressed during public testimony regarding the architectural design of the Ebers Street façade of the proposed home on Lot 48, the applicant volunteered during the hearing to increase the extent of architectural detailing (siding and rock facing) along the Ebers Street building elevation (Attachment 16). Appeals of the Hearing Officer's decision were filed with the Development Services Department on April 10, 2012 (Attachment 14). Issues cited in the appeals generally concern public noticing of the project, legal lot status of the property, project ownership disclosure and granting of the

variance requests. Following is a summary of appeal issues and staff responses:

Issue – Public Notice: SDMC Section 112.0301 requires public notice before a decision is made on an application for a permit, map, or other matter acted upon in accordance with Process Three. Public notice is provided at various stages of the project processing in the form of a mailed Notice of Application, a posted public notice at the project site, a mailed Notice of Public Hearing and a published public notice in at least one newspaper of general daily circulation within the City. SDMC Section 112.0302(b) identifies persons entitled to notice, including the applicant, the officially recognized community planning group, tenants located on the project site, and tenants and property owners within 300 feet of the boundary of the project site. Additionally, SDMC Section 112.0310 requires that a Notice of Right to Appeal Environmental Determination be posted at the City of San Diego, Development Services Department, when a project has been determined to be exempt from the Environmental Quality Act (CEQA). The project has been properly noticed and all persons entitled to notice were provided public notice. All appellants own property within 300 feet of the project site and are on the project public notice mailing list (Attachment 18).

Issue - Legal Lot Status: The project is comprised of four (4) legal lots which were created by Map No. 279 on May 28, 1887, and each lot is previously conforming to the current RM-1-1 base zone minimum standards for lot size and lot width. Prior to the OBPC vote on the project March 7, 2012, the Chair requested clarification regarding the legal lot status of the project site as current San Diego County Assessor records were indicating four assessor parcel numbers (APNs) where previously there had been one APN assigned to the property. City mapping staff reviewed the County information and the grant deed for the properties, and confirmed that the project site is comprised of four individual legal lots. Staff further clarified that regardless of how the County decides to assign APNs for property tax purposes, a property's grant deed determines legal lot status.

Issue – Project Ownership Disclosure: A requirement of the project application is to disclose project ownership interests by filing an Ownership Disclosure Statement. The project's Ownership Disclosure Statement identifies the property owner as Santa Monica Avenue LLC and the applicant as CG Alan Development, LLC. The Ownership Disclosure Statement was filed with the application and was included as Attachment 11 of the Report to the Hearing Officer dated March 28, 2012 (Attachment 11). The draft permits and resolution also identify the project property owner and the permittee (Attachments 7, 8).

Issue – Variance Requests: As discussed previously, the project is requesting a variance on each property to allow the proposed garages to observe a zero foot side-yard setback where 3'-0" is required by the RM-1-1 zone. Additionally, Lot No. 48 is requesting a second variance to allow the new structure on to observe a 5'-0" street yard setback where 10'-0" is required. Staff supports the variance requests and believes they are reasonable considering the existing lot width constraints, are the minimum variances necessary to accommodate reasonable use of the land and they will not result in adverse impacts to the neighborhood.

**Conclusion:**

Staff has reviewed the proposed project and finds that the project meets all development standards (excepting the reduced building setbacks as allowed through the variance process) and complies with the applicable regulations of the Land Development Code. Additionally, the project meets the purpose and intent of the adopted Ocean Beach Precise Plan/LCP, Council Policies, and the General Plan. Staff has received both letters of concern and in support of the project (Attachment 19).

**ALTERNATIVE**

1. **APPROVE** Coastal Development Permit No. 917658 (Lots 45-48), and Coastal Development Permit No. 917659/ Variance No. 917693 (Lot 45), and Coastal Development Permit No. 917660/ Variance No. 917694 (Lot 46), and Coastal Development Permit No. 917661/ Variance No. 917695 (Lot 47), and Coastal Development Permit No. 917662/ Variance No. 917696 (Lot 48), **with modifications.**
2. **DENY** Coastal Development Permit No. 917658 (Lots 45-48), and Coastal Development Permit No. 917659/ Variance No. 917693 (Lot 45), and Coastal Development Permit No. 917660/ Variance No. 917694 (Lot 46), and Coastal Development Permit No. 917661/ Variance No. 917695 (Lot 47), and Coastal Development Permit No. 917662/ Variance No. 917696 (Lot 48), **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



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Mike Westlake  
Program Manager  
Development Services Department



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Patricia J. FitzGerald  
Development Project Manger  
Development Services Department

WESTLAKE/PJF

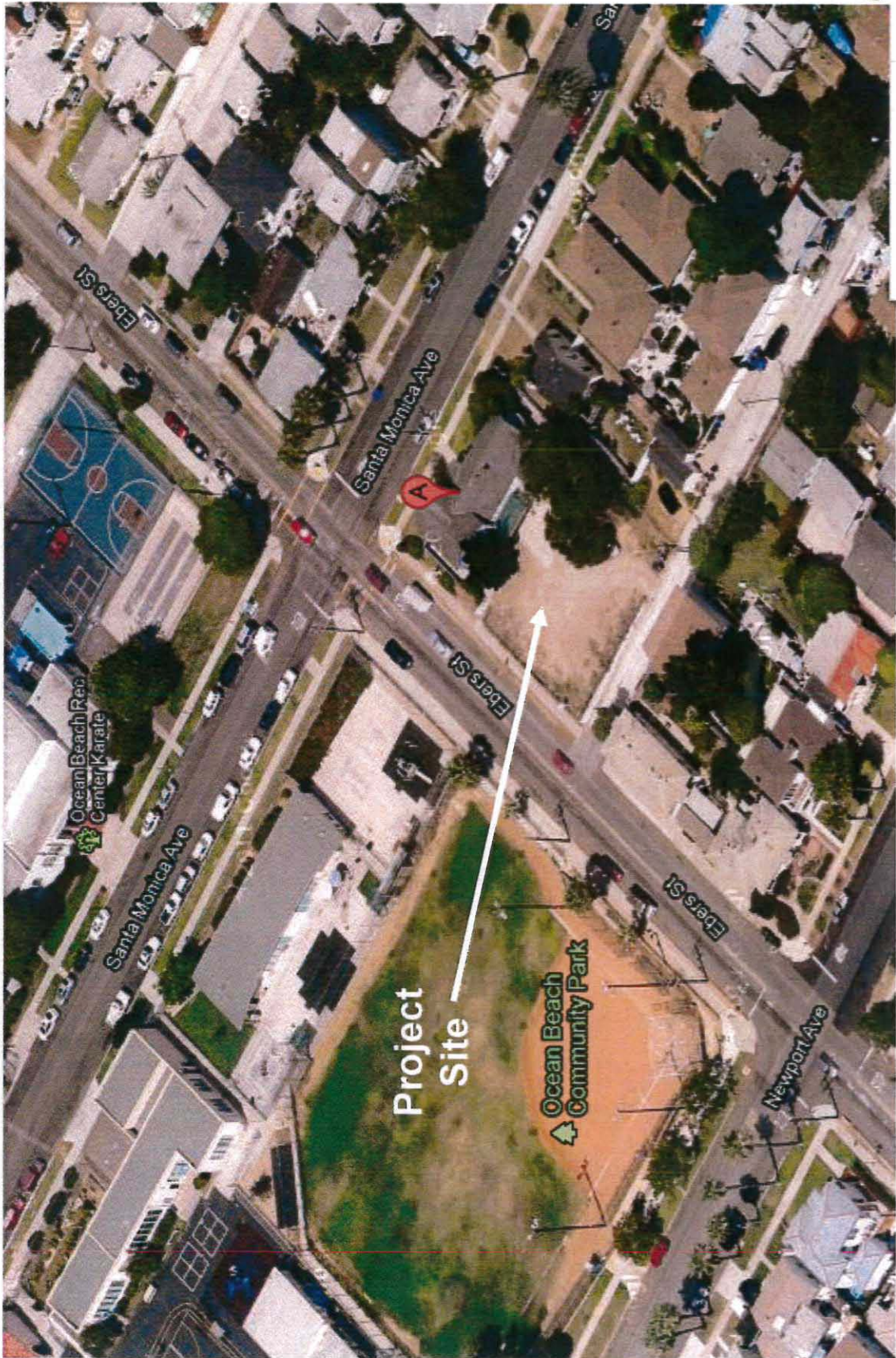
Attachments:

1. Aerial Photograph
2. Project Location Map
3. Ocean Beach Community Plan Land Use Map
4. Project Data Sheet
5. Project Plans Lots 45-48
6. Cross section through site
7. Draft CDP Permits with Conditions (7A: Demolition; 7B: Lots 45, 46, 47; 7C: Lot 48)
8. Draft CDP Resolution with Findings



9. Copy of CEQA Exemption
10. Copy of Hearing Officer "Exhibit A" PTS No. 85366
11. Ownership Disclosure Statement
12. Copy of Planning Commission Appeals
13. Revised roof overhang detail
14. Revised Ebers Street building elevation
15. Existing alley condition
16. Public Notice
17. Public Correspondence to the Planning Commission

# Attachment 1 Aerial Photograph



Project Site

Ocean Beach  
Community Park

Ebers St

Santa Monica Ave

Ebers St

Santa Monica Ave

Ebers St

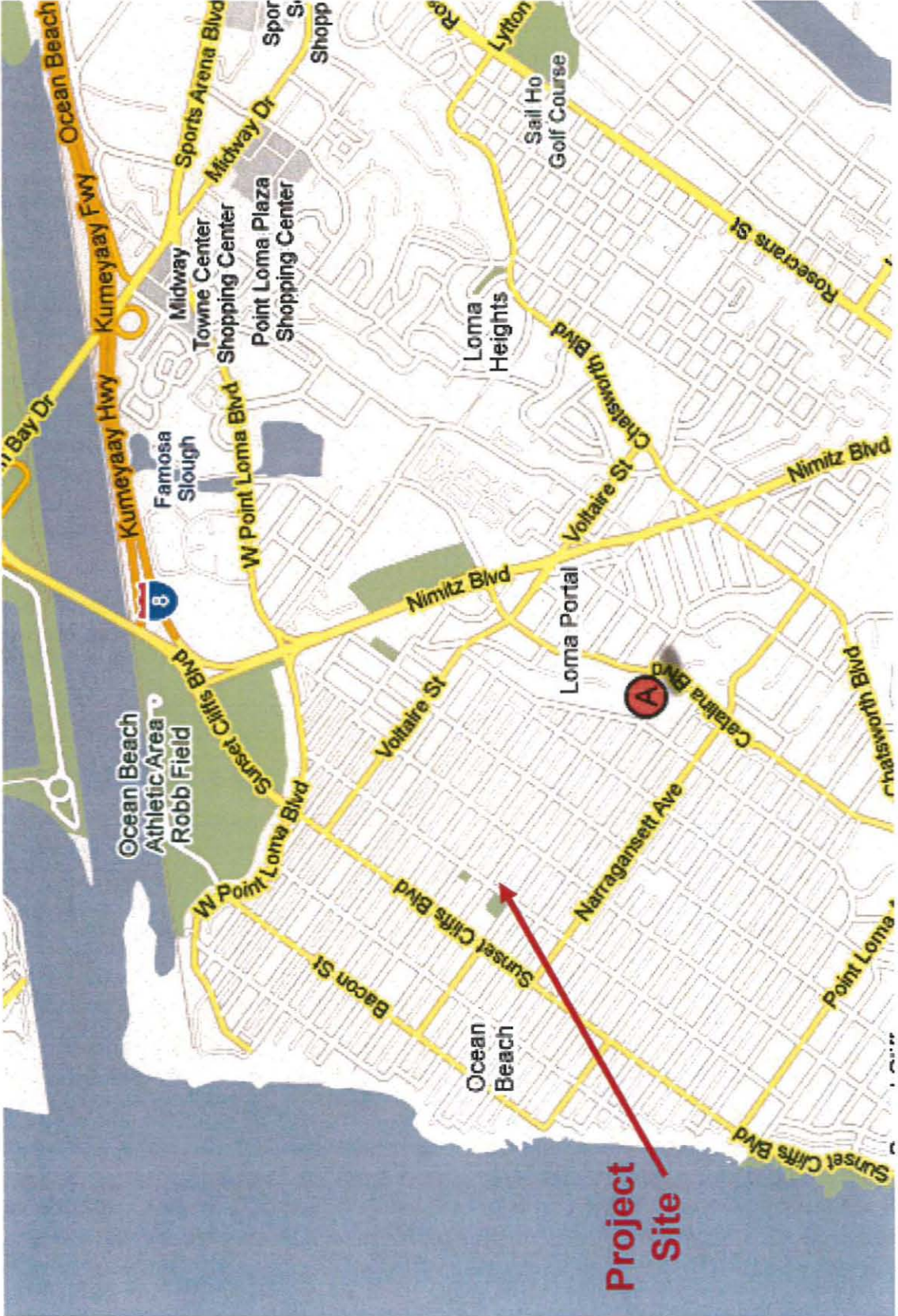
Newport Ave

Ocean Beach Rec  
Center Karate



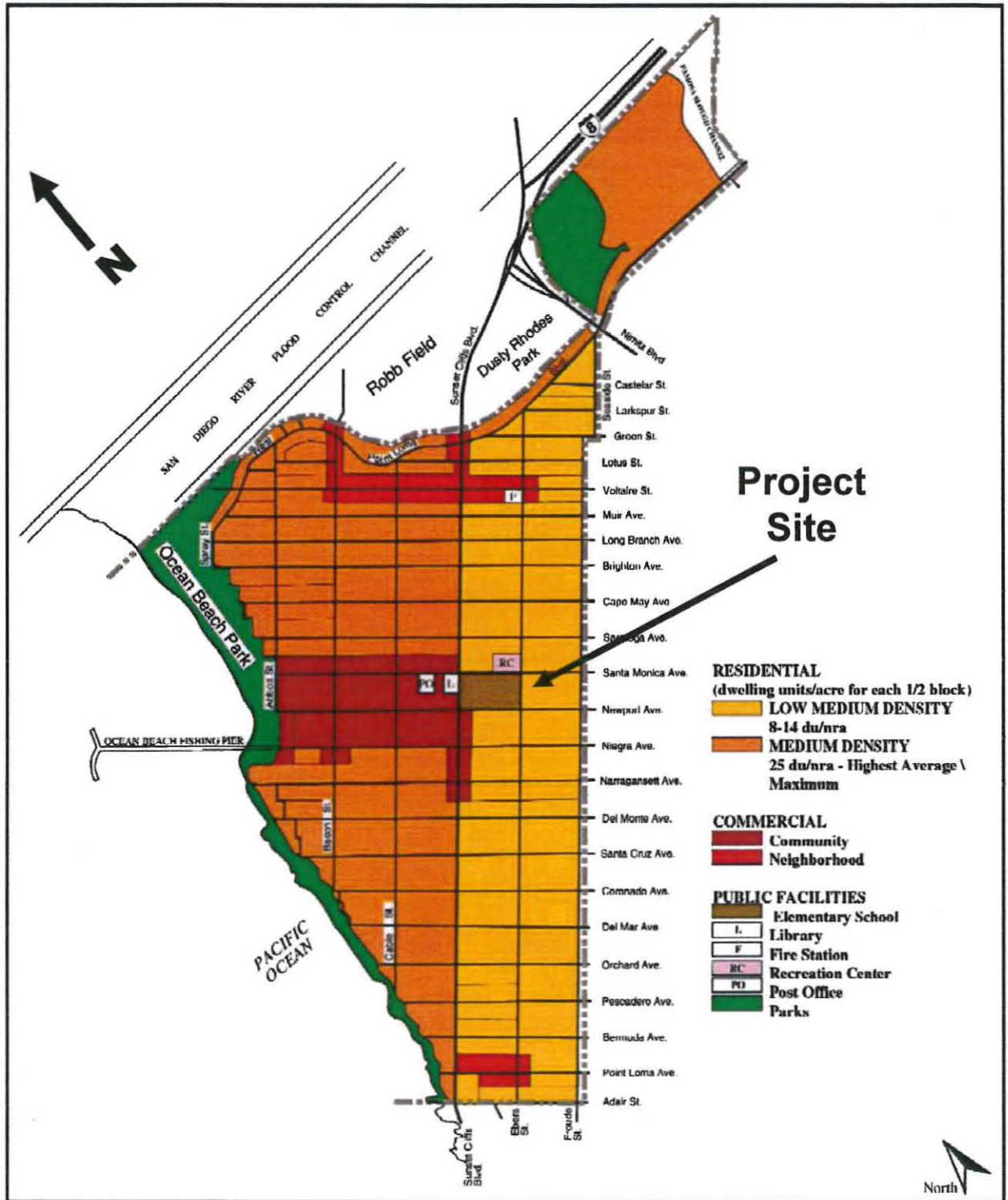
# Attachment 2 Project Location Map

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# Attachment 3 Community Plan – Land Use Map



10-15-02 JA.cdt



Community Plan Land Use  
Ocean Beach Community Plan Area  
City of San Diego Planning Department

## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	<b>SANTA MONICA PROJECT - PROJECT NO. 260180</b>	
<b>PROJECT DESCRIPTION:</b>	Demolition of existing daycare center structure and construction of four (4) new 2,196-square-foot single family residences with 400-square-foot detached, 2-car garages	
<b>COMMUNITY PLAN AREA:</b>	Ocean Beach	
<b>DISCRETIONARY ACTIONS:</b>	Coastal Development Permits, Variances	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Low-Medium Density Residential (8-14 du/ac)	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> RM-1-1		
<b>DENSITY:</b> 1 unit/3,000 sq.ft. / Proposed 1 unit/3,000 sq.ft.		
<b>HEIGHT LIMIT:</b> 30-feet		
<b>LOT SIZE:</b> min. 6,000-sq.ft / Existing lot size: 3,492-sq.ft		
<b>FLOOR AREA RATIO:</b> max. 0.75 / Proposed 0.74		
<b>FRONT SETBACK:</b> min. 20'-0" / Proposed 23'-0" (Lots 47, 45), 20'-0" (Lots 48, 46)		
<b>SIDE SETBACK:</b> min. 3'-0" / Proposed 3'-0" and 4'-0" (homes) and 0' (garages)		
<b>STREET SIDE SETBACK:</b> min 10'-0"/ Proposed 5'-0" (home on Lot 48)		
<b>REAR SETBACK:</b> min. 5'-0" (15' minus 10' alley)/ Proposed 5'-0"		
<b>PARKING:</b> min. 2 spaces/dwelling unit / Proposed 2 spaces/dwelling unit		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential (8-14 du/ac); RM-1-1	Single-Family
<b>SOUTH:</b>	Residential (8-14 du/ac); RM-1-1	Single-Family/ Multi-family
<b>EAST:</b>	Residential (8-14 du/ac); RM-1-1	Single-Family/ Multi-family
<b>WEST:</b>	Public Facilities– School/ Recreation Center	Ocean Beach Recreation facility/Elementary School
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Variances to the RM-1-1 zone allowing garages to observe a 0' side-yard setback where 3'-0" is required; allow Lot 48 home to observe a 5'-0" street yard setback where 10'-0" required.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	The Ocean Beach Community Planning Committee voted 9-0-1 to recommend approval of the project with conditions at their meeting of March 7, 2012.	

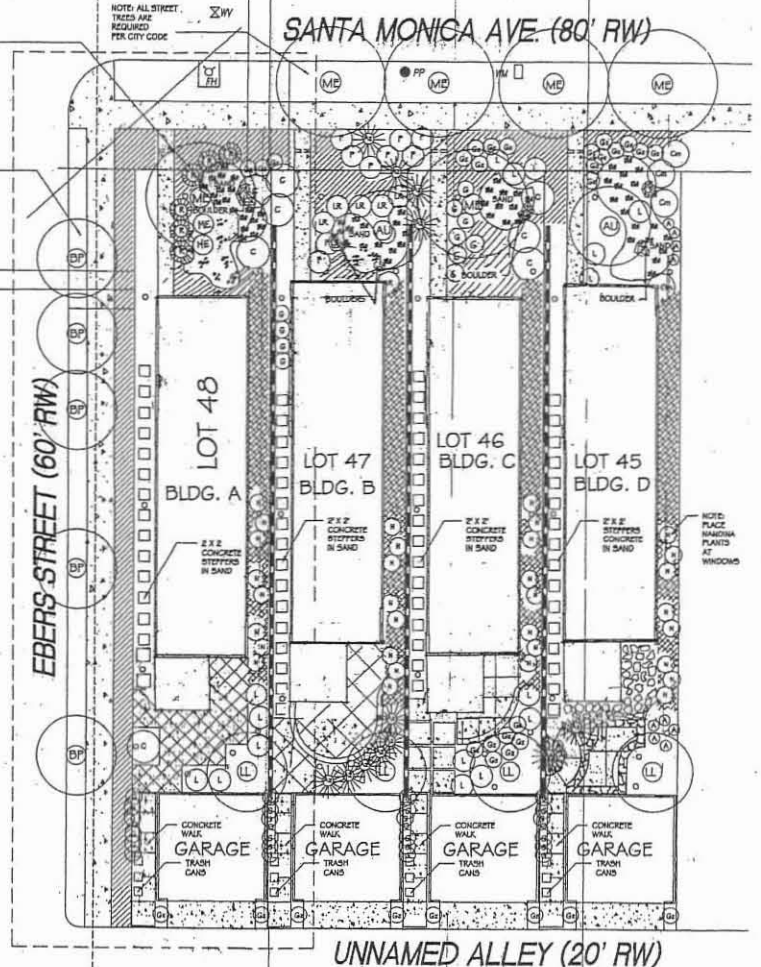
PLANT LEGEND

SYMBOL	SIZE	QTY.	BOTANICAL NAME	COMMON NAME	PLANT SPACING	MATURE HT.	EA. FT.	TOTAL PTS.
ME	24" BOX	1	TREES - STREET YARD-BLDG. A					
			METROSIDEROS DICKELSI	N.Z. CHRISTMAS TREE	PER PLAN	30'	20	20
			SHRUBS - STREET YARD-BLDG. A					
C	1 GAL	4	CISTIS X PURPUREUS	ORCHID ROCKROSE	PER PLAN	4'	1	4
Gz	1 GAL	3	GAZANIA - CLUMPING MIX COLORS	CLUMPING GAZANIA	PER PLAN	1'	1	3
R	1 GAL	7	ROSEMARINUS OFF. MAJORCA PINK	ROSEMARY - PINK	PER PLAN	2'-4"	1	7
			TOTAL STREET YARD POINTS (REQUIRED POINTS: 22.4)					34
			Street Yard = 447 Sq. Ft. x .50 = 223.5 sq. Ft. x 0.05 = 22.4 Points					
			TREES - REMAINING YARD-BLDG. A					
LL	30" BOX	1	LEPTOSPERMUM LAEVIGATUM	AUSTRALIA TEA TREE	PER PLAN	10' - 30'	30	30
			SHRUBS - REMAINING YARD-BLDG. A					
C	1 GAL	1	CISTIS X PURPUREUS	ORCHID ROCKROSE	PER PLAN	4'	1	1
Gz	1 GAL	3	GAZANIA - CLUMPING MIX COLORS	GAZANIA - CLUMPING	PER PLAN	1'	1	3
LR	5 GAL	5	LANTANA RADICATA	LANTANA	PER PLAN	4'	1	10
N	1 GAL	5	NANDINA DOMESTICA	HEAVENLY BAMBOO	PER PLAN	4'	1	5
F	1 GAL	6	PELARGONIUM - MARTHA WASHINGTON	GERANIUM	PER PLAN	3'	1	6
K	5 GAL	2	ROSEMARINUS OFF. MAJORCA PINK	ROSEMARY - PINK	PER PLAN	2'-4"	2	4
			TOTAL REMAINING YARD POINTS (REQUIRED POINTS: 60)					62
			Remaining Yard (Sq. Ft.) = 1164 Sq. Ft. = 60 Points					
			TREES - STREET YARD-BLDG. B					
ALU	24" BOX	1	ARALIUS UNDO	STRAWBERRY TREE	PER PLAN	5-35'	20	20
			SHRUBS - STREET YARD-BLDG. B					
Ab	1 GAL	4	ANGICANTHOS HYBRIDS BIG RED	KANGAROO PAWS-RED	PER PLAN	3'-4"	1	4
LR	1 GAL	6	LANTANA RADICATA	LANTANA	PER PLAN	4'	1	6
F	1 GAL	10	FIT. TORIA SHELDRIFF	DWARF MOCK ORANGE	PER PLAN	2'	1	10
			TOTAL STREET YARD POINTS (REQUIRED POINTS: 23.6)					40
			Street Yard = 572 Sq. Ft. x .50 = 286 sq. Ft. x 0.05 = 28.6 Points					
			TREES - REMAINING YARD-BLDG. B					
LL	30" BOX	1	LEPTOSPERMUM LAEVIGATUM	AUSTRALIA TEA TREE	PER PLAN	10' - 30'	30	30
			SHRUBS - REMAINING YARD-BLDG. B					
Ab	5 GAL	7	ANGICANTHOS HYBRIDS BIG RED	KANGAROO PAWS-RED	PER PLAN	3'-4"	2	14
Gz	1 GAL	2	GAZANIA - CLUMPING MIX COLORS	GAZANIA - CLUMPING	PER PLAN	1'	1	2
N	1 GAL	5	NANDINA DOMESTICA	HEAVENLY BAMBOO	PER PLAN	4'	1	5
F	1 GAL	6	PELARGONIUM - MARTHA WASHINGTON	GERANIUM	PER PLAN	3'	1	6
			TOTAL REMAINING YARD POINTS (REQUIRED POINTS: 60)					60
			Remaining Yard (Sq. Ft.) = 1053 Sq. Ft. = 60 Points					
			TREES - STREET YARD-BLDG. C					
ME	24" BOX	1	METROSIDEROS DICKELSI	N.Z. CHRISTMAS TREE	PER PLAN	30'	20	20
			SHRUBS - STREET YARD-BLDG. C					
C	1 GAL	3	CISTIS X PURPUREUS	ORCHID ROCKROSE	PER PLAN	4'	1	3
Gz	1 GAL	5	GAZANIA - CLUMPING MIX COLORS	GAZANIA - CLUMPING	PER PLAN	1'	1	5
L	1 GAL	3	LAVANDULA DENTATA	FRENCH LAVENDER	PER PLAN	3'	1	3
F	1 GAL	5	PELARGONIUM - MARTHA WASHINGTON	GERANIUM	PER PLAN	3'	1	5
			TOTAL STREET YARD POINTS (REQUIRED POINTS: 22.4)					36
			Street Yard = 447 Sq. Ft. x .50 = 223.5 sq. Ft. x 0.05 = 22.4 Points					
			TREES - REMAINING YARD-BLDG. C					
LL	30" BOX	1	LEPTOSPERMUM LAEVIGATUM	AUSTRALIA TEA TREE	PER PLAN	10' - 30'	30	30
			SHRUBS - REMAINING YARD-BLDG. C					
Ab	5 GAL	1	ANGICANTHOS HYBRIDS BIG RED	KANGAROO PAWS-RED	PER PLAN	3'-4"	2	2
Gz	1 GAL	9	GAZANIA - CLUMPING MIX COLORS	GAZANIA - CLUMPING	PER PLAN	1'	1	9
L	1 GAL	5	LAVANDULA DENTATA	FRENCH LAVENDER	PER PLAN	3'	1	5
N	1 GAL	5	NANDINA DOMESTICA	HEAVENLY BAMBOO	PER PLAN	4'	1	5
F	1 GAL	6	PELARGONIUM - MARTHA WASHINGTON	GERANIUM	PER PLAN	3'	1	6
			TOTAL REMAINING YARD POINTS (REQUIRED POINTS: 60)					60
			Remaining Yard (Sq. Ft.) = 1164 Sq. Ft. = 60 Points					
			TREES - STREET YARD-BLDG. D					
ALU	24" BOX	1	ARALIUS UNDO	STRAWBERRY TREE	PER PLAN	5-35'	20	20
			SHRUBS - STREET YARD-BLDG. D					
A	1 GAL	4	AGAPANTHUS AFRICANUS PETER PAN	PETER PAN	PER PLAN	2'	1	4
Cm	1 GAL	4	CARISSA MACROCARPA	NATAL PLUM	PER PLAN	3'	1	4
Gz	1 GAL	9	GAZANIA - CLUMPING MIX COLORS	GAZANIA - CLUMPING	PER PLAN	1'	1	9
L	1 GAL	3	LAVANDULA DENTATA	FRENCH LAVENDER	PER PLAN	3'	1	3
			TOTAL STREET YARD POINTS (REQUIRED POINTS: 28.6)					40
			Street Yard = 572 Sq. Ft. x .50 = 286 sq. Ft. x 0.05 = 28.6 Points					
			TREES - REMAINING YARD-BLDG. D					
LL	30" BOX	1	LEPTOSPERMUM LAEVIGATUM	AUSTRALIA TEA TREE	PER PLAN	10' - 30'	30	30
			SHRUBS - REMAINING YARD-BLDG. D					
Ab	5 GAL	2	ANGICANTHOS HYBRIDS BIG RED	KANGAROO PAWS-RED	PER PLAN	3'-4"	2	4
Gz	1 GAL	2	GAZANIA - CLUMPING MIX COLORS	GAZANIA - CLUMPING	PER PLAN	1'	1	2
N	1 GAL	5	NANDINA DOMESTICA	HEAVENLY BAMBOO	PER PLAN	4'	1	5
F	1 GAL	6	PELARGONIUM - MARTHA WASHINGTON	GERANIUM	PER PLAN	3'	1	6
			TOTAL REMAINING YARD POINTS (REQUIRED POINTS: 60)					60
			Remaining Yard (Sq. Ft.) = 1053 Sq. Ft. = 60 Points					
			ALL YARDS: GROUND COVER AND MULCH					
			GAZANIA - TRAILING - "SUNRISE YELLOW"	TRAILING GAZANIA	18" O.C.	10'	0	0
			THYMUS PRAECOX ARCTICUS	CREeping THYME	12" O.C.	6'	0	0
			MULCH - UNDER ALL TREES AND PLANTING AREAS	2" DEEP			0	0
			STREET TREES PER CITY STREET TREE GUIDE					
DP	24" BOX	5	SALISBIA PURPUREA	PURPLE ORCHID TREE	PER PLAN	- 30'		
ME	24" BOX	4	METROSIDEROS DICKELSI	N.Z. CHRISTMAS TREE	PER PLAN	- 20'		

NOTE: ALL FRONT AND REAR YARD PRIVATE YARD PLANTING ON ALL FOUR LOTS IS OPTIONAL.

NOTE: ALL STREET TREES ARE REQUIRED PER CITY CODE.

NOTE: ALL STREET TREES ARE REQUIRED PER CITY CODE.



PLANTING PLAN

CG ALAN DEVELOPMENT, LLC  
 AT 4689 SANTA MONICA AVE.  
 SAN DIEGO, CA 92107

CG ALAN DEVELOPMENT, LLC  
 1000 LA JOLLA VILLAGE CENTER DRIVE  
 SAN DIEGO, CA 92131

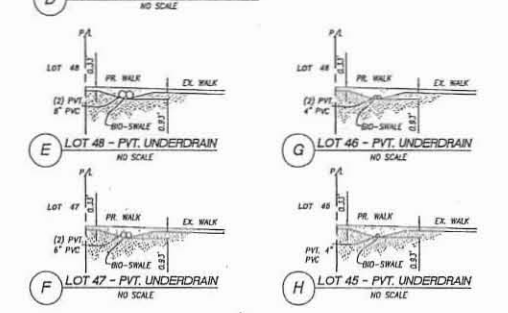
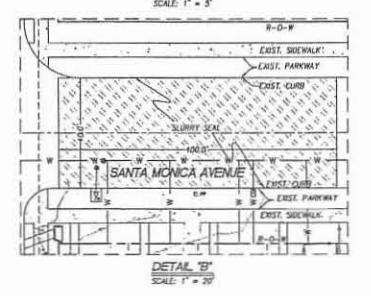
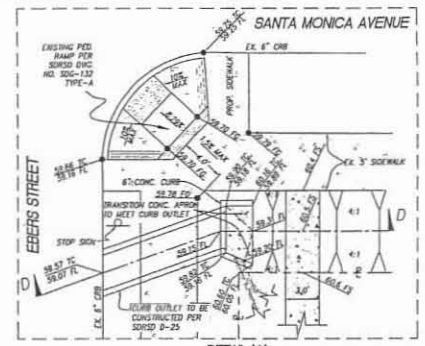
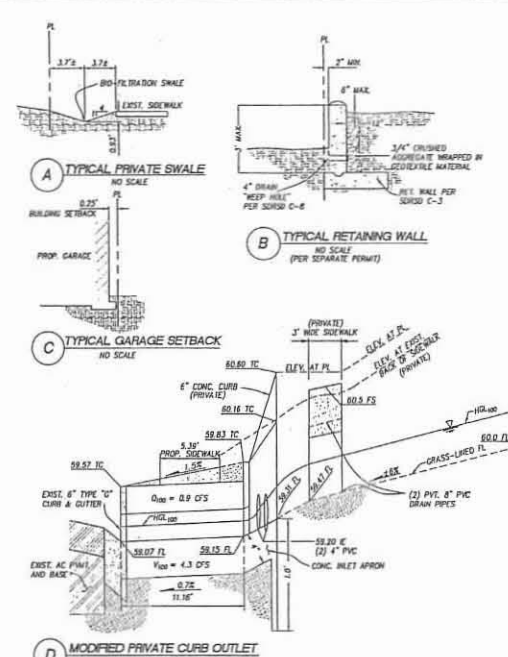
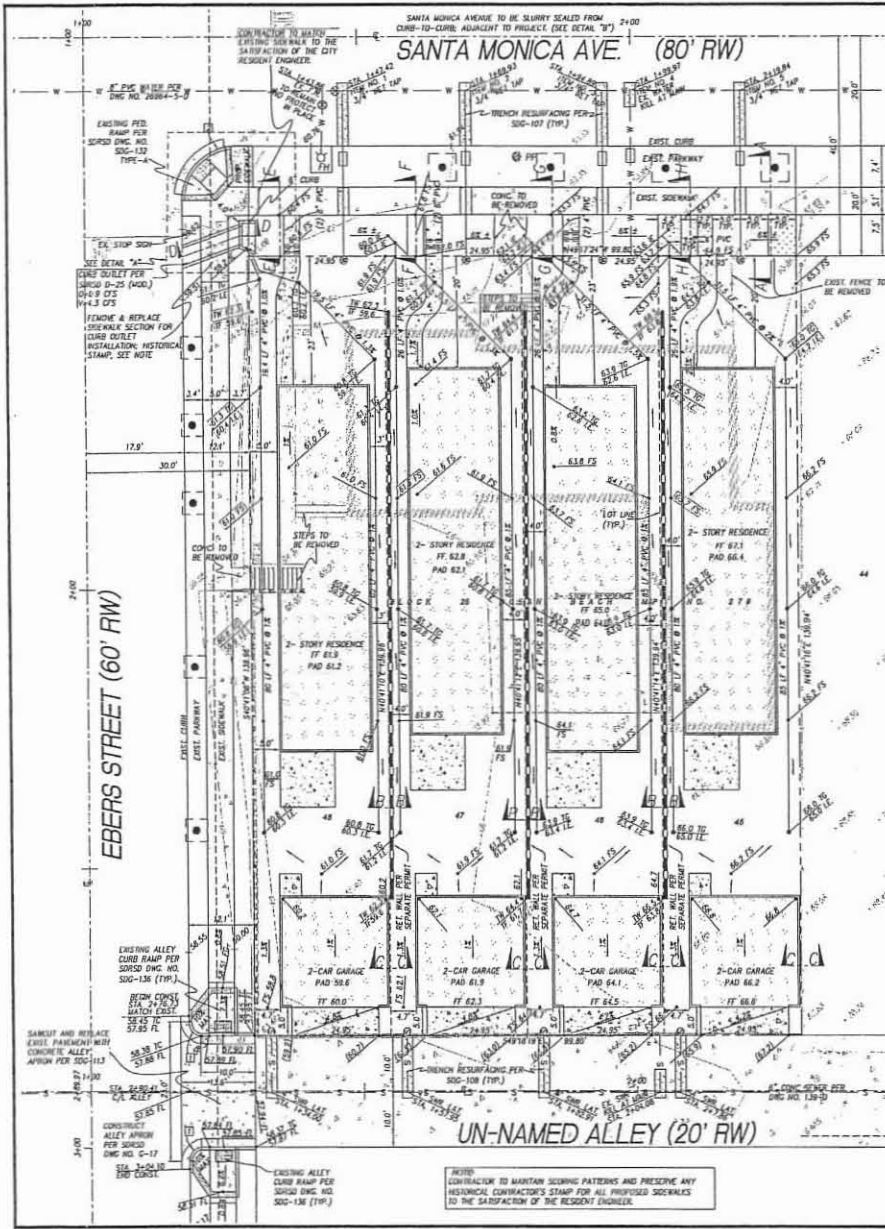
GENERAL NOTE:  
 ALL PLANTING AND IRRIGATION WORK SHALL COMPLY WITH THE SAN DIEGO MUNICIPAL CODE, LAND DEVELOPMENT CODE, LANDSCAPE STANDARDS.  
 STREET TREES SHALL BE SEPARATED FROM PUBLIC IMPROVEMENTS BY THE MINIMUM DISTANCE LISTED:  
 TRAFFIC SIGNAL OR STOP SIGN - 20 FT.  
 UNDERGROUND UTILITIES - 5 FT. (SEWER 10').  
 ABOVE GROUND UTILITY STRUCTURES - 10 FT.  
 INTERSECTIONS - 25 FT.

NOTE: NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES.

Sheet	Contents
1	PLANTING PLAN
2	PLANTING DETAILS # NOTES
3	IRRIGATION PLAN
4	IRRIGATION DETAILS
5	IRRIGATION DETAILS # NOTES

SCALE: 1" = 10'  
 DESIGNER: BROWN  
 DATE: MAY 8, 2006  
 REV 1: AUG. 10, 2006  
 REV 2:  
 SHEET:





NOTE:  
FOR THE PRIVATE CURB OUTLET, CONC. PATH, PVC DRAINAGE LINES, LANDSCAPE & IRRIGATION LINES, SEE EXHIBIT APPROVAL NOS. 472192, 472194 AND 472196.

NOTE:  
ALL DIGEST IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFORMATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

CURB DATA				
NO.	DELTA OR BRG.	RADIUS	REMARKS	
11	89°43'	2.4'	3.6'	6" TYPE 'C' CURB & CUTTER
12	93°36'33"	10.0'	16.7'	PEDESTRIAN RAMP

PRIVATE CONTRACTOR

GRADING & IMPROVEMENT PLANS FOR:

**CG ALAN DEVELOPMENT, LLC**  
LOTS 45-48, BLOCK 25, MAP 279

CITY OF SAN DIEGO, CALIFORNIA  
DEVELOPMENT SERVICES DEPARTMENT  
SHEET 3 OF 3 SHEETS

NO. 001-82208  
P.E.S. NO. 102882

FOR THE ENGINEER	DATE	E.A.W.
REVISION	BY	APPROVED
ORIGINAL	SLD	

DATE STAMPED: \_\_\_\_\_ DATE COMPLETED: \_\_\_\_\_

**34537-3-D**

STERLING  
710 (619) 544-6165  
P.O. Box 13754, San Diego, CA 92101



DEVELOPMENT SUMMARY:

- SCOPE OF WORK:  
DEMOLITION OF EXISTING COMMERCIAL STRUCTURE AND THE CONSTRUCTION OF (1) SINGLE FAMILY RESIDENCE & (1) 2-CAR GARAGE
- REQUIRED PERMITS:  
COASTAL DEVELOPMENT PERMIT, VARIANCE FOR STREET SIDEYARD SETBACK & GARAGES IN SETBACK, FA PART 11, AIRPORT APPROACH, AND AIRPORT INFLUENCE AREA
- PROPOSED PARKING: 2 SPACES  
REQUIRED PARKING: 2 SPACES  
LEGAL DESCRIPTION: LOTS 45 OF BLOCK 25 OF MAP 214  
APN: 448-511-25  
CONSTRUCTION TYPE: TYPE 3B U  
GROSS SITE AREA: 3,492 SQ FT  
EXISTING USE: COMMERCIAL BUILDING ON SITE  
PROPOSED USE: CONSTRUCTION OF (1) SINGLE FAMILY RESIDENCES & (1) 2-CAR GARAGES  
YEAR OF CONSTRUCTION: 1941  
ZONE: RM-1  
OVERLAY ZONE: COASTAL OVERLAY AND COASTAL HEIGHT  
FAR: 0.74

STORMWATER QUALITY NOTES  
CONSTRUCTION BMP'S:

This project shall comply with all requirements of the state ground (California National Storm Drain Act) and the local ordinance (San Diego, 2015, 15.02.01.01, California (AVAILABLE AT) <http://www.sandag.ca.gov/transportation/transportation>

Notes & other requests by applicant/contractor for construction BMP's:

- The Contractor shall be responsible for the design of all soil erosion control devices, such as silt fences, straw wattles or any other erosion control device, to be installed on all construction sites, in order to prevent sediment from entering the storm drain system. The Contractor shall be responsible for the design and installation of all erosion control devices, such as silt fences, straw wattles or any other erosion control device, to be installed on all construction sites, in order to prevent sediment from entering the storm drain system. The Contractor shall be responsible for the design and installation of all erosion control devices, such as silt fences, straw wattles or any other erosion control device, to be installed on all construction sites, in order to prevent sediment from entering the storm drain system.
- All erosion control devices shall be installed and maintained in accordance with the requirements of the state ground and local ordinance.
- All erosion control devices shall be installed and maintained in accordance with the requirements of the state ground and local ordinance.
- All erosion control devices shall be installed and maintained in accordance with the requirements of the state ground and local ordinance.
- All erosion control devices shall be installed and maintained in accordance with the requirements of the state ground and local ordinance.
- All erosion control devices shall be installed and maintained in accordance with the requirements of the state ground and local ordinance.

LOT 45

PROJECT TEAM:

OWNER: CG ALAN DEVELOPMENT, LLC  
15557 VIA LA VENTANA  
SAN DIEGO, CA 92131

DESIGNER: JOSH RENNER  
P.O. BOX 600456  
SAN DIEGO, CA 92160  
619.490.8943

LAND SURVEYOR: STERLING LAND SERVICES  
2607 FIRST AVENUE  
SAN DIEGO, CA 92108  
619.546.6165

PREPARED BY:

JOSH RENNER DESIGN  
P.O. BOX 600456  
SAN DIEGO, CA 92160  
619.490.8943

PROJECT ADDRESS:

LOT 45 OF 4688 SANTA MONICA AVENUE  
SAN DIEGO, CA 92107

PROJECT NAME:

SANTA MONICA PROJECT

SHEET TITLE:

PLOT PLAN

SHEET 1 OF 11

REVISION DATE: \_\_\_\_\_  
REVISION DATE: \_\_\_\_\_  
REVISION DATE: \_\_\_\_\_  
REVISION DATE: \_\_\_\_\_  
REVISION DATE: \_\_\_\_\_

**JOSH RENNER**  
Building Design & Title 24 Energy Calculations  
5800 Camino San Diego, Suite 1110  
San Diego, CA 92121  
619.490.8943  
josh@jrennerdesign.com

**CG ALAN DEVELOPMENT, LLC**  
15557 VIA LA VENTANA  
SAN DIEGO, CA 92131

DATE	DESCRIPTION
CHECKED	
DATE	
SCALE	
JOB NO.	
SHEET	1

MISCELLANEOUS NOTES:

- Provide building address numbers, visible and legible from the street or road fronting the property, per PHPS Policy P-00-6
- No trees or shrubs exceeding 9'-0" in height at maturity may be installed within ten (10'-0") of any public sewer facility.
- All proposed private sewer facilities located within a single lot are to be designed and constructed in accordance with established criteria in the most current City of San Diego Design Guide and shall meet the requirements of the California Plumbing Code and will be reviewed as a part of the building plan check.
- Each lot to be landscaped with minimum of 20% of the lot being landscaped, particularly the front yard of each lot.
- All proposed public water facilities, including services and meters, must be designed and constructed according to established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and the City regulations, standards and practices pertaining thereto.
- Interior noise levels not to exceed 45 dB CNEL
- Replace the existing drive aprons per City Sid Drwg 6-17

VARIANCE REQUEST

GARAGE IN SETBACK DETACH:

VARIANCE FINDINGS:

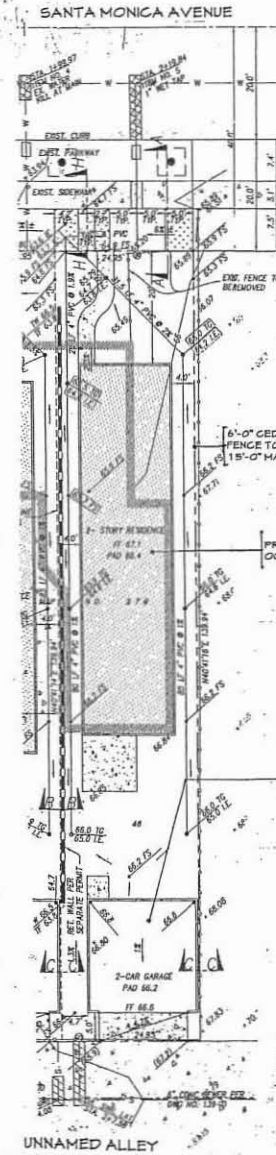
- There are special circumstances or conditions applying to the land or premises for which the variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood and these conditions have not resulted from any act of the applicant after the adoption of the applicable zoning regulation.  
**ANSWER:** The legally zoned, 25'-0" wide lot, has a building code requirement for each lot to provide a 20'-0" wide, 400 sq ft, 2-car garage on the property. The structure will need to require a zero set-back from the existing building code requirement, which in variance, this poses hardship for the property.
- The circumstances or conditions are such that the strict application of the provisions of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City in this instance would be in the public health, safety, or welfare.  
**ANSWER:** By offering the variance of having the garage in the set-back setback for the building code requirement of the 20'-0" wide, 2-car garage, it exists reasonable use of the land for the applicant, by providing the necessary parking in such a tight space.
- The granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare, and  
**ANSWER:** In granting this variance, the project remains in harmony with the general purpose and intent of the regulations by maintaining the residential requirement of having a 2-car, 400 sq ft garage space on site. It will not be detrimental to the public health, safety, or welfare, in that the new garage will allow the zero-property line site will offer a one-hour fire-rated construction between it and the neighboring property.
- The granting of the variance will not adversely affect the applicable land use plan. If the variance is being sought in conjunction with an approved coastal development, the request finding shall specify that granting of the variance conforms with, and is adequate to carry out, the provisions of the certified land use plan.  
**ANSWER:** The granting of this variance conforms with, and is adequate to carry out, the provisions of the certified and use plan, by providing the garage and development providing an adequate total parking to allow necessary for the lot to enter into a residential pattern while maintaining and enhancing the quality of life in the community.

SPECIAL NOTES:

- The contractor shall verify with the owner and designer the date of the most current drawings (prefer to last revision date) to be used.
- The contractor and sub contractors shall carefully examine the site and drawings to obtain first hand knowledge of all conditions. Any discrepancies and/or conditions needing clarification shall be reported to the owner and designer prior to starting work and ordering materials. No allowances shall be given for failure to comply with the above and/or conditions, which can be determined by examining the site or drawings.
- The contractor and sub contractor's work shall conform to all applicable building codes and local regulations, which regulate building practices.
- Each subcontractor in consideration as a specialist on the field and shall prior to the start of work, submit a performance of work, notify the general contractor, owner, or designer of any work covered on the drawings with respect to the trade, which cannot be fully guaranteed for at least one year.
- Plot of the drawings are in the possession of the owner or contractor they are responsible for their preservation, security, and accuracy. No modifications shall be made to these drawings except by the approval of Josh Renner Design. A branch of these drawings shall be retained by the contractor and sub contractor and shall remain the property of the owner. Josh Renner Design is not responsible for an site supervision and therefore has no control over quality of workmanship, craftsmanship, or actual materials used on this project and assumes no responsibility for defective workmanship or materials.

SITE NOTES:

- Plans for this project shall comply with 2015 California Building Standards Code. Current construction codes are 2015 California Residential Code (based on 2010 IRC), 2015 California Building Code (based on 2010 CBC), the 2015 California Electrical Code (based on the 2014 NEC), the 2015 California Plumbing Code (based on the 2013 UPC) by USPCA, the 2015 California Green Building Code, and the 2015 California Fire Code (based on the 2013 IFPC), the 1997 Uniform Code for the Administration of Emergency Buildings, and the 2004 International Urban Infill Ordinance Code.
- On site offices shall be underground.
- Comply appropriate utility provisions for exact service locations.
- The design shall be easy tree structures.
- Major grading is not proposed, utilize natural drainage and topography.
- Any pricing below below activities of upstream controls shall detail by utility and be provided by an approved backwater prevention device.
- All water piping shall be steel in accordance with Appendix "A" of the current UPC.
- Flow lines and storm systems to be provided by an approved backwater prevention device.
- Gravelled surfaces shall be provided to maintain one 1/4" and in approved UPDR ground.
- Addresses shall be easily seen from above or along thoroughfare.
- Site of high with 10' above on occupying surface building roof.
- Address front shall be provided for all units in the public right-of-way.
- The structure(s) shall be located on utility setback (understand the setback).
- If the building footprint extends unpermitted 50' or more, or any geologic hazard based upon observation of the foundation verify that the report recommendations have been implemented per the report.
- All future property lines (past or proposed), easements, and buildings (both existing and proposed) are shown on this plan.



PLOT PLAN

LEGAL DESCRIPTION:

- LOTS 45-46 OF BLOCK 25 OF OCEAN BEACH MAP 214
- APN 448-511-25

- NO EXISTING OR PROPOSED EASEMENTS
- NO EXISTING OR PROPOSED BUS STOPS
- NO MECHANICAL EQUIPMENT VISIBLE. ALL EQUIPMENT TO BE IN SIDE YARD AND SCREENED BY 6'-0"



UNNAMED ALLEY

LOT 46

MISCELLANEOUS NOTES:

- Provide building address numbers, visible and legible from the street or road fronting the property, per PHPS Policy P-020-6
- No trees or shrubs exceeding 9'-0" in height at maturity may be installed within ten (10'-0") of any public sewer facility.
- All proposed private sewer facilities located within a single lot are to be designated and constructed in accordance with established criteria in the most current City of San Diego Design Guide and shall meet the requirements of the California Plumbing Code and will be reviewed as a part of the building plan check.
- Each lot to be landscaped with minimum of 20% of the lot being landscaped, particularly the front yards of each lot.
- All proposed public utility facilities, including services and meters, must be designed and constructed according with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and the City regulations, standards and practices pertaining thereto.
- Interior noise levels not to exceed 45 dB CNEL.
- Replace the existing drive apron per City SDL Drug G-17

SITE NOTES

- Plans for this project shall comply with 2016 California Building Standard Code, Current amendments codes are 2016 California Residential Code based on 2008 IRC, 2016 California Building Code based on 2008 IRC, the 2016 California Electrical Code based on the 2008 NEC, the 2016 California Plumbing Code based on the 2008 UPC by IAPMO, the 2016 California Mechanical Code based on the 2008 IMC by IAPMO, the 2016 California Fire Code based on the 2008 IFGC by IAPMO, the 2016 California Fire Code based on the 2008 IFGC for the Adjustment of Fire Code, and the 2016 California Fire Code based on the 2008 IFGC, the 2016 International Fire Code based on the 2008 IFGC, and the 2016 International Fire Code.
- On-site utilities shall be confirmed.
- Consult appropriate utility providers for exact service locations.
- The drainage shall be every five feet intervals.
- Water grouting is not proposed, unless indicated otherwise and approved.
- Any piping below station of upstream reaches shall drain by gravity and be protected by an approved backflow prevention device.
- All water piping shall be sized in accordance with "K" of the current UPC.
- Down flow and backflow to be protected by an approved backflow prevention device.
- The structure shall be elevated on approved foundation and approved UPRF ground.
- Address shall be clearly shown from street. Numbers shall be min. 6" high with "1" stroke on unobstructed back wall.
- Address shall be clearly shown from street. Numbers shall be min. 6" high with "1" stroke on unobstructed back wall.
- The structure shall be located on an approved lot.
- The building footprint respects unobstructed fire lanes with or any gravity installed based upon observation of the location. Verify that the report recommendations have been implemented as they are required.
- All known property lines (real or assumed), easements, and building (both existing and proposed) are shown on this plan.

SPECIAL NOTES

- The contractor shall verify with the owner and designer the date of the most current drawings (refer to last revision date on the title sheet).
- The contractor and sub-contractors shall carefully compare the site and drawings to obtain first hand knowledge of all conditions. Any discrepancies and/or conditions needing clarification shall be reported to the owner and designer prior to starting work and entering the site. No alterations shall be given for failure to comply with the above and/or conditions, which can be determined by examining the site or drawings.
- The contractor and sub-contractors work shall conform to all applicable building codes and local jurisdictions, which regulate building procedures.
- Each sub-contractor is considered a specialist. It is the contractor's responsibility to coordinate with the owner, designer or designer of any work called out on the drawings with respect to its trade, which cannot be fully guaranteed for at least one year.
- The use of these drawings for any project other than the project and site and the Professional Code of the State of California.
- When original contractor is in possession of the project, the contractor shall be responsible for their own safety and accuracy. Any modifications shall be made to these drawings using the office of Josh Renner Design. A branch of these drawings shall remain with Josh Renner Design from all responsibility and liability with respect to their accuracy.
- When original contractor has been retained for re-evaluation and therefore has no control over the work of any other contractor, the contractor shall be held responsible for the work and assumes no responsibility for defective workmanship or materials.

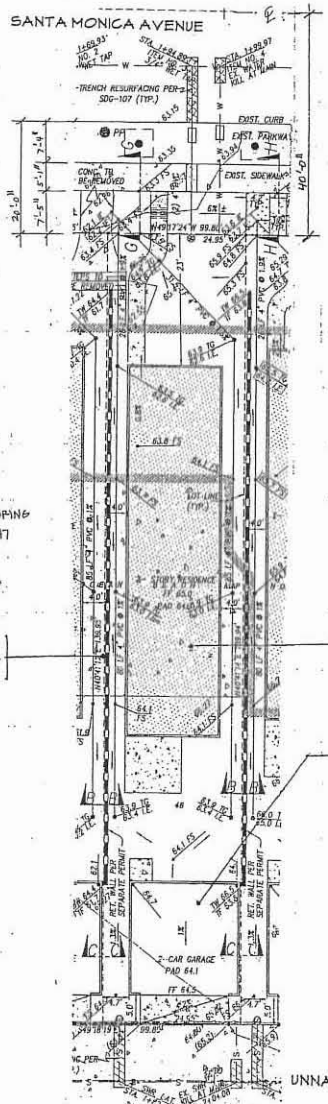
DEVELOPMENT SUMMARY

- SCOPE OF WORK:
  - DEMOLITION OF EXISTING COMMERCIAL STRUCTURE AND THE CONSTRUCTION OF (1) SINGLE FAMILY RESIDENCE & (1) 2-CAR GARAGE
- REQUIRED PERMITS:
  - COASTAL DEVELOPMENT PERMIT, VARIANCE FOR STREET SIDEYARD SETBACK & GARAGES IN SETBACK, FAA PART 17, AIRPORT APPROACH AND AIRPORT INFLUENCE AREA
- PROPOSED PARKING:
  - 2 SPACES
- REQUIRED PARKING:
  - 2 SPACES
- LEGAL DESCRIPTION:
  - LOTS 46 OF BLOCK 25 OF MAP 274
- APN:
  - 448-511-25
- CONSTRUCTION TYPE:
  - TYPE 20 & U-1
- GROSS SITE AREA:
  - 3,442 SQ FT
- EXISTING USE:
  - COMMERCIAL BUILDING ON SITE
- PROPOSED USE:
  - CONSTRUCTION OF (1) SINGLE FAMILY RESIDENCES & (1) 2-CAR GARAGES
- YEAR OF CONSTRUCTION:
  - 1441
- ZONE:
  - RM-11
- OVERLAY ZONE:
  - COASTAL OVERLAY AND COASTAL HEIGHT
- F.A.R.:
  - 0.74

STORMWATER QUALITY NOTES

CONSTRUCTION BMP'S

This project shall comply with all requirements of the City of San Diego Stormwater Quality Design Manual (City of San Diego, Stormwater Quality Design Manual, 2016) and all applicable local, state and federal regulations. The contractor shall be responsible for obtaining all necessary permits and approvals for construction BMP's. The contractor shall be responsible for implementing and maintaining all construction BMP's throughout the construction process. The contractor shall be responsible for providing all necessary materials and labor for the construction BMP's. The contractor shall be responsible for ensuring that all construction BMP's are installed and maintained in accordance with the City of San Diego Stormwater Quality Design Manual (City of San Diego, Stormwater Quality Design Manual, 2016) and all applicable local, state and federal regulations.



6'-0" CEDAR FENCE AT SIDE PROPERTY LINES  
FENCE TO GRADUATE DOWN TO A 3'-0" HIGH FENCE AT  
15'-0" MARK AT FRONT SETBACKS OF EACH LOT.

PROPOSED SINGLE FAMILY RESIDENCE TYPE VI, R-B,  
OCCUPANCY (2,244 SQ FT) TYPICAL OF ALL LOTS

PROPOSED 2-CAR GARAGE, TYPE V U-1 OCCUPANCY  
(400 SQ FT) TYPICAL OF ALL LOTS

- NO EXISTING OR PROPOSED EASEMENTS
- NO EXISTING OR PROPOSED BUS STOPS
- NO MECHANICAL EQUIPMENT VISIBLE. ALL EQUIPMENT TO BE IN SIDE YARD AND SCREENED BY 6'-0"

PLOT PLAN

- LEGAL DESCRIPTION:
- LOTS 45-48 OF BLOCK 25 OF OCEAN BEACH MAP 274
  - APN 448-511-25

PROJECT TEAM:

OWNER: CG ALAN DEVELOPMENT, LLC  
15557 VIA LA VENTANA  
SAN DIEGO, CA 92131

DESIGNER: JOSH RENNER DESIGN  
P.O. BOX 600945  
SAN DIEGO, CA 92160  
619.490.6442

LAND SURVEYOR: STERLING LAND SERVICES  
2607 FIRST AVENUE  
SAN DIEGO, CA 92108  
619.546.6165

PREPARED BY:

JOSH RENNER DESIGN  
P.O. BOX 600945  
SAN DIEGO, CA 92160  
619.490.6442

PROJECT ADDRESS:  
LOT 46 OF 4888 SANTA MONICA AVENUE  
SAN DIEGO, CA 92107

PROJECT NAME:  
SANTA MONICA PROJECT

SHEET TITLE:  
PLOT PLAN

SHEET 1 OF 11

REVISION DATE: \_\_\_\_\_  
REVISION DATE: \_\_\_\_\_  
REVISION DATE: \_\_\_\_\_  
REVISION DATE: \_\_\_\_\_  
REVISION DATE: \_\_\_\_\_

LOT 46

JOSH RENNER  
Building Design & Title & Energy Calculations  
PO Box 1000716  
San Diego, CA 92110  
josh@rennerdesign.com

CG ALAN DEVELOPMENT, LLC  
15557 VIA LA VENTANA  
SAN DIEGO, CA 92131

DRAWN
CHECKED
DATE
SCALE
JOB NO.
PRINT
1



MISCELLANEOUS NOTES:

- Provide building address numbers, visible and legible from the street or road fronting the property, per PHFA Policy F-00-6
- No trees or shrubs exceeding 9'-0" in height at maturity may be installed within ten (10'-0") of any public sewer facility.
- All proposed private sewer facilities located within a single lot are to be designated and constructed in accordance with established criteria in the most current City of San Diego Design Guide and shall meet the requirements of the California Plumbing Code and will be reviewed as a part of the building plan check.
- Each lot to be landscaped with minimum of 20% of the lot being landscaped, particularly the front yards of each lot.
- All proposed public water facilities, including services and meters, must be designed and constructed according with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and the City regulations, standards and practices pertaining thereto.
- Interior noise levels not to exceed 45 dB CML.
- Replace the existing drive aprons per City Std Drug 6-17

VARIANCE REQUEST:

GARAGE IN SIDEYARD SETBACK

VARIANCE FINDINGS:

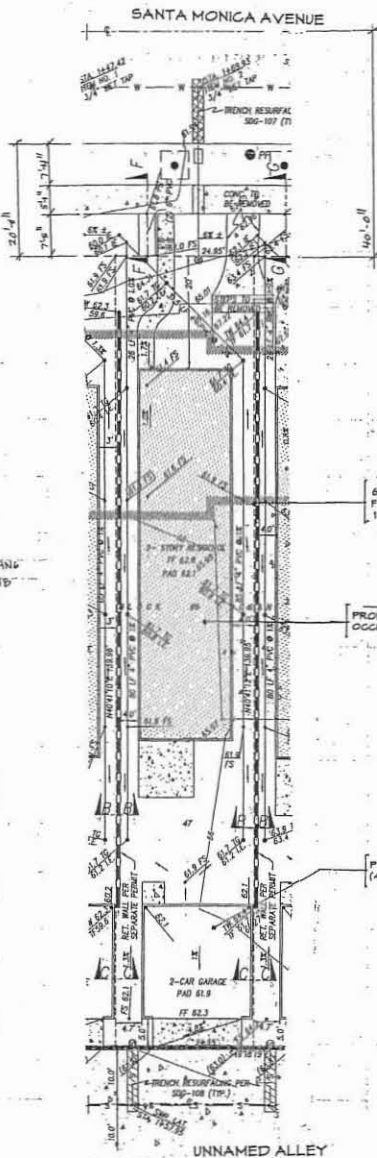
- a) There are special circumstances or conditions applying to the land or premises for which the variance is sought that are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.
- ANSWER:* The legally zoned, 25'-0" wide lot, has a building code requirement for each to provide a 20'-0" wide, 400 sq ft, 2-car garage on the property. The variance will need to require a 20'-0" property line to maintain the building code requirement. Without this variance, the owner has no way to comply.
- b) The circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the greatest or one that will permit the reasonable use of the land or premises.
- ANSWER:* By offering the variance of having the garage in the sideyard setback for the building code requirement of the 20'-0" wide, 2-car garage, it enables reasonable use of the lot for the applicant by providing the necessary parking in each a right space.
- c) The granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare, and
- ANSWER:* In granting this variance, the project remains in harmony with the general purpose and intent of the regulations by maintaining the residential requirement of having a 2-car, 400 sq ft garage space on site. It will not be detrimental to the public health and safety, or welfare, in that the new garage use along this boundary will offer a one-hour fire-resistance construction between it and the neighboring property.
- d) The granting of the variance will not adversely affect the applicable land use plan, if the variance is being sought in conjunction with any proposed coastal development, the coastal finding and specific uses, granting of the variance conforms with, and is adequate to carry out, the provisions of the coastal finding and use plan, and is adequate to carry out, the provisions of the coastal finding and use plan.
- ANSWER:* The granting of this variance conforms with and is adequate to carry out, the provisions of the coastal finding and use plan, by providing the growth and development providing an adequate sized parking structure necessary for the lot to ensure that a sustainable pattern while maintaining and enhancing the quality of life in the community.

SPECIAL NOTES:

1. The contractor shall verify with the owner and designer the date of the most current drawings (refer to bid revision data on the title sheet).
2. The contractor and sub-contractors shall carefully examine the plan and drawings to obtain full and complete knowledge of all conditions. Any clarifications and/or conditions arising are to be reported to the owner and designer prior to starting work and ordering materials. No allowance shall be given for failure to comply with the above and/or conditions, which can be determined by examining the site or drawings.
3. The contractor and sub-contractor's work shall conform to all applicable building codes and local ordinances, which regulate building procedures.
4. Each subcontractor is to submit a specification on the field and shall prior to the submission of bid or performance of work, identify the general contractor, owner, or designer of any work called out within the drawings with respect to the trade, which cannot be fully verified for at least one year.
5. Use of these drawings for other purposes (other than the one intended by the designer) is a violation of copyright law and the Professional Code of the State of California.
6. Plans or digital drawings are in the possession of the owner or contractor they are responsible for their preservation, security, and accuracy. Any modifications shall be made to these drawings as directed by the Office of Urban Planner Design. A breach of these terms and release shall remain Design from all responsibility and liability with respect to the owner's requirements.
7. Urban Planner Design has not been retained for on-site supervision and therefore has no control or responsibility of workmanship, craftsmanship, or accuracy of materials used on the project and assumes no responsibility for defective workmanship or materials.

SITE NOTES:

1. These drawings shall comply with 2019 California Building Standard Code, Current construction codes are: 2019 California Building Code (based on 2018 IBC), 2019 California Plumbing Code (based on 2018 UPC), the 2019 California Mechanical Code (based on the 2018 IMC) by (SMPC), the 2019 California Electrical Code (based on the 2018 NEC) by (SMPC), the 2019 California Fire Code (based on the 2018 California Fire Code (based on the 2018 IFC), and the 2019 California Fire Code (based on the 2018 IFC), and the 2019 International Urban Wetland Inflow Code.
2. On-site utilities shall be underground.
3. Consult appropriate utility providers for exact service locations.
4. One drawing shall be ready for structure.
5. Major grading is not proposed, unless natural drainage and topography.
6. Any piping below elevation of upstream manhole shall drain by gravity and be protected by an approved backwater prevention device.
7. All water piping shall be placed in accordance with Appendix "A" of the current UPC.
8. Non-metallic backwater prevention devices shall be used to an approved UL981 listing.
9. All fire alarm devices shall be protected by an approved fire alarm system.
10. All fire alarm devices shall be protected by an approved fire alarm system.
11. The drawings shall be grounded to exterior house bus and to an approved UL981 listing.
12. All fire alarm devices shall be protected by an approved fire alarm system.
13. If the building inspector requests unapproved electrical work, or any electrical work, the contractor shall provide a written explanation, a utility or geological report and mechanical plans if applicable. If the report recommendations have been approved, they will be required.



DEVELOPMENT SUMMARY:

- SCOPE OF WORK: DEMOLITION OF EXISTING COMMERCIAL STRUCTURE AND THE CONSTRUCTION OF (1) SINGLE FAMILY RESIDENCE & (1) 2-CAR GARAGE
- REQUIRED PERMITS: COASTAL DEVELOPMENT PERMIT, VARIANCE FOR STREET, SIDEYARD SETBACK & GARAGES IN SETBACK, FAA PART 17, AIRPORT APPROACH AND AIRPORT INFLUENCE AREA
- PROPOSED PARKING: 2 SPACES
- LEGAL DESCRIPTION: LOT 47 OF BLOCK 25 OF MAP 274
- APN: 448-5-11-25
- CONSTRUCTION TYPE: TYPE VN 4 U
- GROSS SITE AREA: 3,442.50 SQ FT
- EXISTING USE: CONSTRUCTION OF (1) SINGLE FAMILY RESIDENCES & (1) 2-CAR GARAGES
- YEAR OF CONSTRUCTION: 1941
- ZONE: RM 1-1
- OVERLAY ZONE: COASTAL OVERLAY AND COASTAL HEIGHT
- FAR: 0.74

STORMWATER QUALITY NOTES:

CONSTRUCTION BMP'S

- The applicant shall comply with all requirements of the stormwater quality management plan (SWMP) for this project, as required by the San Diego Regional Water Quality Control Board (RWQCB) for the San Diego River Basin, Permit No. 45814, (SWMP) and the San Diego Regional Water Quality Control Board (RWQCB) for the San Diego River Basin, Permit No. 45814, (SWMP).
- Site 14 being approved by submitted requirements for construction BMP's:
1. The Contractor shall be responsible for storage of all soil and sediment materials, and to ensure that a stormwater runoff management plan is in place. The Contractor shall be responsible for the installation of sediment control structures, such as silt fences, sediment basins, and sediment traps, and shall maintain them throughout the project.
  2. All erosion and sediment control structures shall be inspected by the lot and a permit shall be obtained for the installation of any such structures.
  3. The Contractor shall be responsible for the installation of any such structures, and shall maintain them throughout the project.
  4. The Contractor shall be responsible for the installation of any such structures, and shall maintain them throughout the project.
  5. The Contractor shall be responsible for the installation of any such structures, and shall maintain them throughout the project.
  6. The Contractor shall be responsible for the installation of any such structures, and shall maintain them throughout the project.

- NO EXISTING OR PROPOSED EASEMENTS
- NO EXISTING OR PROPOSED BUS STOPS
- NO MECHANICAL EQUIPMENT VISIBLE. ALL EQUIPMENT TO BE IN SIDE YARD AND SCREENED BY 6'-0"

PROJECT TEAM:

**OWNER:** CG ALAN DEVELOPMENT, LLC  
 15557 VIA LA VENTANA  
 SAN DIEGO, CA 92131

**DESIGNER:** JOSH RENNER  
 P.O. BOX 600455  
 SAN DIEGO, CA 92160

**LAND SURVEYOR:** STERLING LAND SERVICES  
 2407 FIRST AVENUE  
 SAN DIEGO, CA 92103  
 614.946.6165

PREPARED BY:

JOSH RENNER DESIGN  
 P.O. BOX 600455  
 SAN DIEGO, CA 92160  
 614.946.6165

**PROJECT ADDRESS:** LOT 47 OF 4888 SANTA MONICA AVENUE  
 SAN DIEGO, CA 92107

**PROJECT NAME:** SANTA MONICA PROJECT

**SHEET TITLE:** PLOT PLAN

**SHEET** 1 **OF** 11

PLOT PLAN

**LEGAL DESCRIPTION:**

- LOTS 45-46 OF BLOCK 25 OF OCEAN BEACH MAP 274
- APN 448-5-11-25

DRAWN
CHECKED
DATE
JOB NO.
POST
1

**JOSH RENNER**  
 Building Design & Title 2-4 Energy Calculations  
 P.O. Box 1000716  
 San Diego, CA 92160  
 614.946.6165  
 joshrennerdesign.com

**CG ALAN DEVELOPMENT, LLC**  
 15557 VIA LA VENTANA  
 SAN DIEGO, CA 92131

- MISCELLANEOUS NOTES:**
- Provide building address numbers, visible and legible from the street or road fronting the property, per PHPS Policy 7-00-6
  - No trees or shrubs exceeding 10'-0" height at maturity may be installed within ten (10'-0") of any public sewer facility.
  - All proposed private sewer facilities located within a single lot are to be designated and constructed in accordance with established criteria in the most current City of San Diego Design Guide and shall meet the requirements of the California Plumbing Code and will be reviewed as a part of the building plan check.
  - Each lot to be landscaped with minimum of 20% of the lot being landscaped, particularly the front yards of each lot.
  - All proposed public water facilities, including services and meters, must be designed and constructed according with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and the City regulations, standards and practices pertaining thereto, interior noise levels not to exceed 48 dB CNE.
  - Replace the existing drive aprons per City Std Drug 6-1.1
- VARIANCE REQUEST:**  
STREET SETBACK AND SETBACK REDUCTION
- VARIANCE FINDINGS:**
- There are special circumstances or conditions applying to the land or premises for which the variance is sought that are unique to the lot or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.
- ANSWER:** The legally zoned, 33'-0" wide lot, has a required street setback of 33'-0" from Ebers Street. The applicant is requesting a variance to provide an 8'-0" street setback setback, which is a variance to conform to the lot area in that it makes the lot nearly unbuildable.
  - The circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises.

**ANSWER:** By offering the variance of reducing the street setback setback to 8'-0", this enables reasonable use of the land for the applicant by providing a more efficient use of space of building area on the lot.
  - The granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare.

**ANSWER:** In granting this variance, the project remains in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare. The project remains in harmony with the surrounding area and will not impact public views. The reduced setback setback would provide additional street setback setback to increase the new development is compatible with the surrounding area. It is not to be detrimental to the public health and safety, or welfare, in that the structures will still maintain an adequate distance from the public right-of-way.
  - The granting of the variance will not adversely affect the applicable land use plan, if the variance is being sought in conjunction with any proposed coastal development, the required findings shall specify that granting of the variance conforms with, and is adequate to carry out, the provisions of the certified land use plan.

**ANSWER:** The granting of this variance conforms with and is adequate to carry out the provisions of the certified land use plan, by still maintaining an adequate distance from the public right-of-way while enhancing the quality of life for the passers by the community.

**VARIANCE REQUEST:**  
GARAGE SETBACK AND SETBACK

**VARIANCE FINDINGS:**

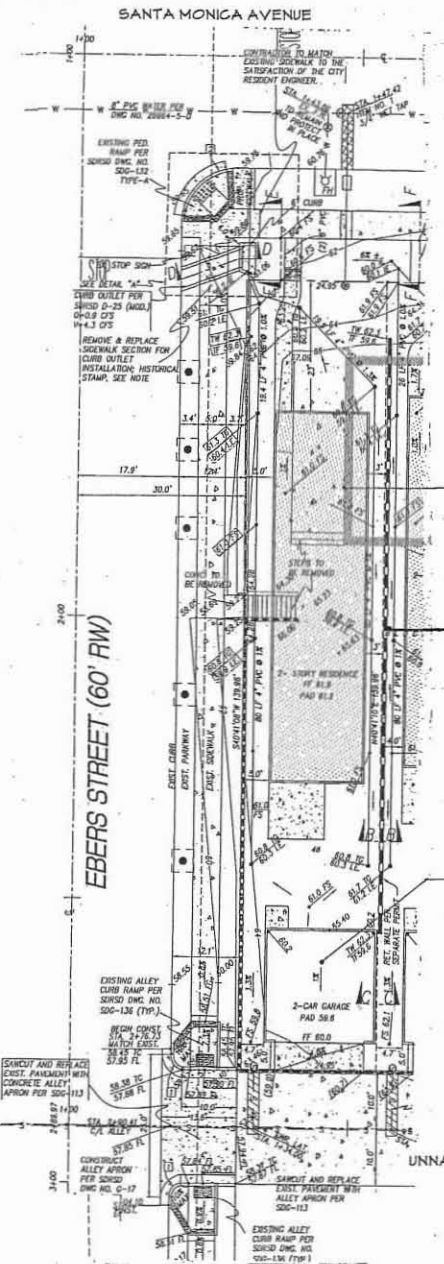
  - There are special circumstances or conditions applying to the land or premises for which the variance is sought that are unique to the lot or premises and do not apply generally to the land or premises in the neighborhood, and these conditions have not resulted from any act of the applicant after the adoption of the applicable zone regulations.

**ANSWER:** The legally zoned, 33'-0" wide lot, has a building code requirement for each lot to provide a 20'-0" wide, 400 sq ft 2-car garage on the property. The structure will need to be a zero setback to the alley to satisfy the building code requirement. Without this variance, this poses hardship for the property.
  - The circumstances or conditions are such that the strict application of the regulations of the Land Development Code would deprive the applicant of reasonable use of the land or premises and the variance granted by the City is the minimum variance that will permit the reasonable use of the land or premises.

**ANSWER:** By offering the variance of having the garage in the alley setback to the building code requirement of the 20'-0" wide, 400 sq ft garage, it enables reasonable use of the land for the applicant by providing the necessary parking in such a tight space.
  - The granting of the variance will be in harmony with the general purpose and intent of the regulations and will not be detrimental to the public health, safety, or welfare.

**ANSWER:** In granting this variance, the project remains in harmony with the general purpose and intent of the regulations by maintaining the residential requirement of having a 2-car, 400 sq ft garage space on site. It is not to be detrimental to the public health and safety, or welfare, in that the new garage will allow that zero property the "allow" will offer a one-hour firewall construction between it and the neighboring property.
  - The granting of the variance will not adversely affect the applicable land use plan, if the variance is being sought in conjunction with any proposed coastal development, the required findings shall specify that granting of the variance conforms with, and is adequate to carry out, the provisions of the certified land use plan.

**ANSWER:** The granting of this variance conforms with and is adequate to carry out the provisions of the certified land use plan, by providing the garage and driveway in the alley setback setback to the alley while still maintaining and enhancing the quality of life in the community.



- SPECIAL NOTES:**
- The contractor shall verify with the owner and designer the date of the most current drawings (date) for the revision date on the title sheet.
  - The contractor shall verify with the owner and designer the date of the most current drawings (date) for the revision date on the title sheet.
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  - The contractor shall verify with the owner and designer the date of the most current drawings (date) for the revision date on the title sheet.

- DEVELOPMENT SUMMARY:**
- SCOPE OF WORK:** DEMOLITION OF EXISTING COMMERCIAL STRUCTURE AND THE CONSTRUCTION OF (1) SINGLE FAMILY RESIDENCE & (1) 2-CAR GARAGE
  - REQUIRED PERMITS:** COASTAL DEVELOPMENT PERMIT, VARIANCE FOR STREET SIDEYARD SETBACK & GARAGES IN SETBACK, FAA PART 77, AIRPORT APPROACH, AND AIRPORT INFLUENCE AREA
  - PROPOSED PARKING:** 2 SPACES
  - REQUIRED PARKING:** 2 SPACES
  - LEGAL DESCRIPTION:** LOTS 48 OF BLOCK 25 OF MAP 214
  - APN:** 448-511-25
  - CONSTRUCTION TYPE:** TYPE 2B-R-3
  - GROSS SITE AREA:** 3,412 SQ FT
  - EXISTING USE:** COMMERCIAL BUILDINGS ON SITE
  - PROPOSED USE:** CONSTRUCTION OF (1) SINGLE FAMILY RESIDENCES & (1) 2-CAR GARAGES
  - YEAR OF CONSTRUCTION:** 1441
  - ZONE:** R M 1
  - OVERLAY ZONE:** COASTAL OVERLAY AND COASTAL HEIGHT
  - FAIR:** 0.74

- SITE NOTES:**
- There are no existing structures on the subject property. All existing structures shall be demolished in accordance with the Building Code and the California Building Code. All structures shall be demolished in accordance with the Building Code and the California Building Code.
  - On the subject property, there are no existing structures.
  - Consult appropriate utility providers for exact service locations.
  - The developer shall be responsible for obtaining all necessary permits.
  - Major grading is not proposed. Utility related drainage and topography.
  - Any utility future future installation of overhead conductors shall be done by utility and be protected by an approved non-metallic backfill protection device.
  - All water piping shall be placed in accordance with Appendix "A" of the current CBC.
  - Flow line and storm drainage to be protected by an approved non-metallic backfill protection device.
  - Electrical services shall be provided to exterior loads and to an approved LED ground.
  - Addresses shall be easily seen from street or alley. Numbers shall be 6\"/>

PROPOSED SINGLE FAMILY RESIDENCE TYPE 2B-R-3  
OCCUPANCY (2,244 SQ FT) TYPICAL OF ALL LOTS

NEIGHBORING LOT 47

6'-0\"/>

- NO EXISTING OR PROPOSED EASEMENTS
- NO EXISTING OR PROPOSED BUS STOPS
- NO MECHANICAL EQUIPMENT VISIBLE. ALL EQUIPMENT TO BE IN SIDE YARD AND SCREENED BY 6'-0\"/>

PROPOSED 2-CAR GARAGE, TYPE 2B-U OCCUPANCY  
(400 SQ FT) TYPICAL OF ALL LOTS

**PLOT PLAN**

- LEGAL DESCRIPTION:**
- LOTS 48-49 OF BLOCK 25 OF OCEAN BEACH MAP 214
  - APN 448-511-25

**STORMWATER QUALITY NOTES**  
CONSTRUCTION BMP'S

1. The contractor shall be responsible for ensuring that all work shall be in accordance with the requirements of the Stormwater Quality Management Plan (SWQMP) for the project. The SWQMP shall be submitted to the City of San Diego for review and approval. The SWQMP shall be implemented and maintained throughout the construction process. The SWQMP shall be updated as needed to reflect any changes in the project or the site conditions.

2. The contractor shall ensure that all stormwater runoff is captured and treated in accordance with the requirements of the SWQMP. The SWQMP shall be implemented and maintained throughout the construction process. The SWQMP shall be updated as needed to reflect any changes in the project or the site conditions.

3. The contractor shall ensure that all stormwater runoff is captured and treated in accordance with the requirements of the SWQMP. The SWQMP shall be implemented and maintained throughout the construction process. The SWQMP shall be updated as needed to reflect any changes in the project or the site conditions.

4. The contractor shall ensure that all stormwater runoff is captured and treated in accordance with the requirements of the SWQMP. The SWQMP shall be implemented and maintained throughout the construction process. The SWQMP shall be updated as needed to reflect any changes in the project or the site conditions.

5. The contractor shall ensure that all stormwater runoff is captured and treated in accordance with the requirements of the SWQMP. The SWQMP shall be implemented and maintained throughout the construction process. The SWQMP shall be updated as needed to reflect any changes in the project or the site conditions.

**PREPARED BY:**  
JOSH RENNER DESIGN  
P.O. BOX 600975  
SAN DIEGO, CA 92160  
619.590.8942

**PROJECT ADDRESS:**  
LOT 48 OF 4888 SANTA MONICA AVENUE  
SAN DIEGO, CA 92167

**PROJECT NAME:**  
SANTA MONICA PROJECT

**SHEET TITLE:**  
PLOT PLAN

**SHEET 1 OF 11**

**REVISION DATE:**  
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REVISION DATE:

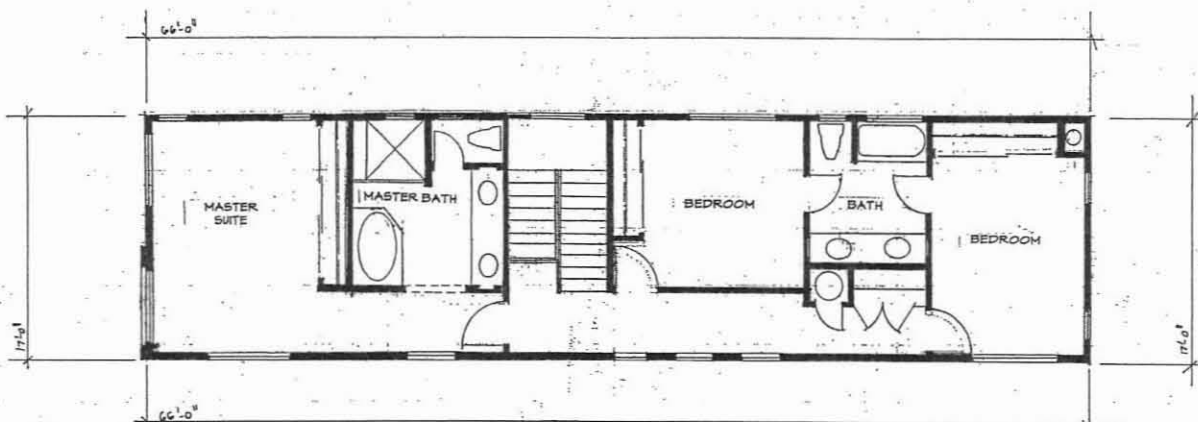
**LOT 48**

**JOSH RENNER**  
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PO Box 500076  
San Diego, CA 92160  
619.590.8942  
josh@rennerdesign.net

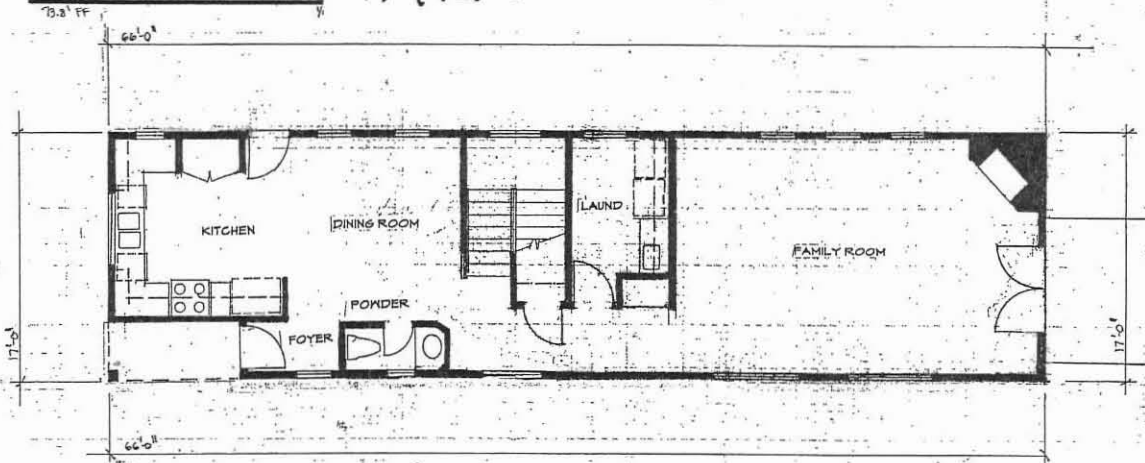
**CG ALAN DEVELOPMENT, LLC**  
1655 VIA LA VENTANA  
SAN DIEGO, CA 92131

OWNER	CG ALAN DEVELOPMENT, LLC
DESIGNER	JOSH RENNER
LAND SURVEYOR	STERLING LAND SERVICES
DATE	
CHECKED	
SCALE	
JOB NO.	
PROJECT	

1



**2ND FLOOR PLAN TYPICAL**



**1ST FLOOR PLAN TYPICAL**

**PREPARED BY:**

JOSH RENNER DESIGN  
 P.O. BOX 200276  
 SAN DIEGO, CA 92180  
 619.299.2942

**PROJECT ADDRESS:**

LOT 45 OF 4889 SANTA MONICA AVENUE  
 SAN DIEGO, CA 92107

**PROJECT NAME:**

SANTA MONICA PROJECT

**SHEET TITLE:**

FLOOR PLANS

SHEET 2 OF 11

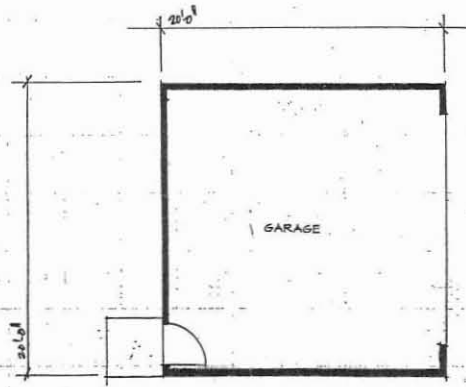
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**JOSH RENNER**  
 Building Design & Title 2-4 Energy Calculations  
 15557 VIA LA VENTANA  
 SAN DIEGO, CA 92131  
 619.920.9142  
 josh@rennerent.net

**C.G. ALAN DEVELOPMENT, LLC**  
 15557 VIA LA VENTANA  
 SAN DIEGO, CA 92131

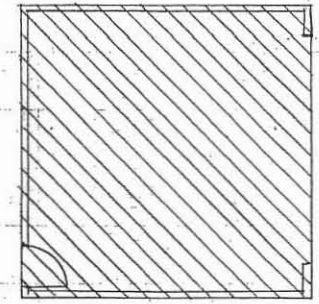
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JOB NO.
SHEET
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THIS SET OF PLANS AND SPECIFICATIONS ARE PREPARED BY THE ARCHITECT AND ENGINEER (A/E/C) FIRM OF WHICH JOSH RENNER DESIGN IS A MEMBER. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT IF THE ARCHITECT AND ENGINEER IS NOT A MEMBER OF THE A/E/C FIRM. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT IF THE ARCHITECT AND ENGINEER IS NOT A MEMBER OF THE A/E/C FIRM. THE ARCHITECT AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT IF THE ARCHITECT AND ENGINEER IS NOT A MEMBER OF THE A/E/C FIRM.



GARAGE FLOOR PLAN

62.3' EF 44'10"



GARAGE GROSS FLOOR AREA DIAGRAM

TYPICAL

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PREPARED BY:  
 JOSH RENNER DESIGN  
 P.O. BOX 306019  
 SAN DIEGO, CA 92190  
 619.292.8942

PROJECT ADDRESS:  
 LOT 48 OF 4889 SANTA MONICA AVENUE  
 SAN DIEGO, CA 92107

PROJECT NAME:  
 SANTA MONICA PROJECT

SHEET TITLE:  
 GARAGE FLOOR PLAN &  
 GROSS FLOOR AREA  
 DIAGRAM  
 SHEET 4 OF 11

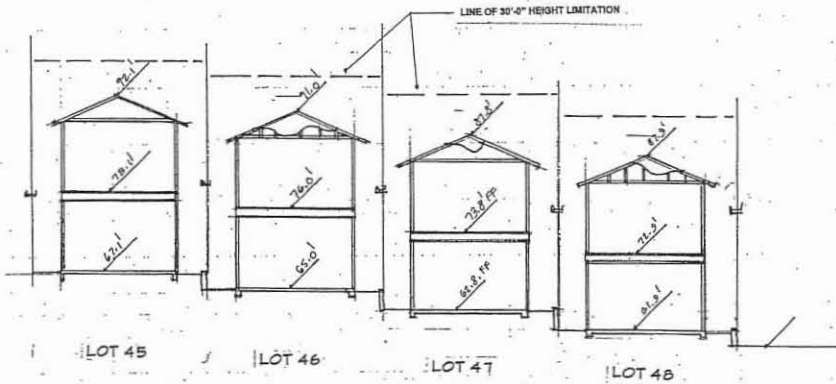
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 REVISION DATE: \_\_\_\_\_


JOSH RENNER  
 Building Design & Title 24 Energi Calculations  
 PO BOX 1000718  
 San Diego, CA 92110  
 619.292.8942  
 Josh@jrennerdesign.net

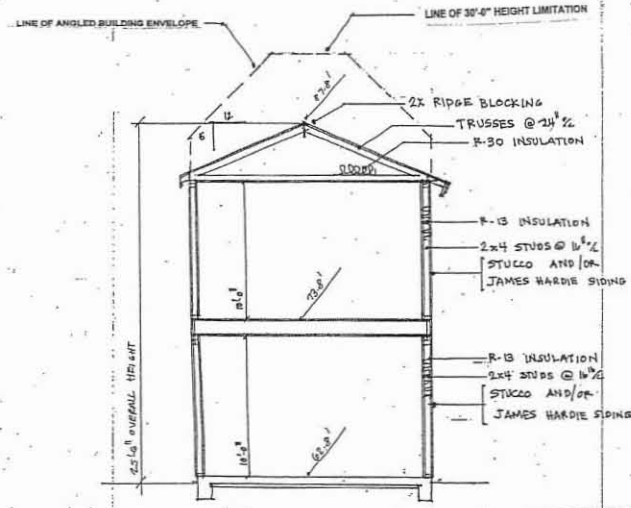
CG ALAN DEVELOPMENT, LLC  
 16657 VIA LA VENTANA  
 SAN DIEGO, CA 92131

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OF SHEETS

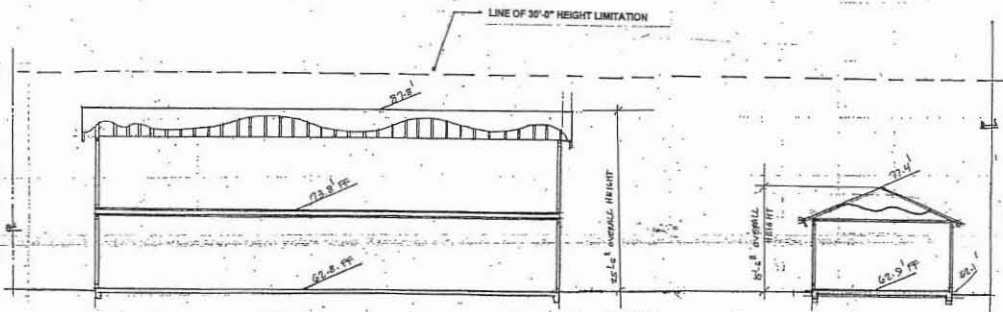




OVERALL  
STREETSCAPE SITE SECTION



BUILDING SECTION A



SITE SECTION B-B

PREPARED BY:  
 JOSH RENNER DESIGN  
 P.O. BOX 900274  
 SAN DIEGO, CA 92190  
 619.398.8943  
 PROJECT ADDRESS:  
 LOT 48 OF 4883 SANTA MONICA AVENUE  
 SAN DIEGO, CA 92107  
 PROJECT NAME:  
 SANTA MONICA PROJECT  
 SHEET TITLE:  
 SECTIONS  
 SHEET 6 OF 11  
 REVISION DATE: \_\_\_\_\_  
 REVISION DATE: \_\_\_\_\_  
 REVISION DATE: \_\_\_\_\_  
 REVISION DATE: \_\_\_\_\_  
 REVISION DATE: \_\_\_\_\_

These drawings and specifications are the property and Copyright of Josh Renner, Nelson, Chappell and shall not be used for any other work except by agreement by Josh Renner, Nelson, Chappell and Building Designer. Josh Renner, Nelson, Chappell and Building Designer have not been retained for on-site supervision of construction and shall not be responsible for any errors or omissions in these drawings and specifications or for any consequences arising therefrom or for any damages or liabilities of any kind.

CG ALAN DEVELOPMENT, LLC  
 16857 VIA LA VENTANA  
 SAN DIEGO, CA 92131

DRAWN	
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DATE	
SCALE	
JOB NO.	
SHEET	6

RECORDING REQUESTED BY  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501

***Draft Permit  
for demolition  
(Lots 45, 46, 47 and 48)***

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002253

**COASTAL DEVELOPMENT PERMIT NO. 917658  
SANTA MONICA PROJECT (LOTS 45-48) - PROJECT NO. 260180  
PLANNING COMMISSION  
DEVELOPMENT SERVICES DEPARTMENT**

This Coastal Development Permit No. 917658 is granted by the Planning Commission of the City of San Diego to SANTA MONICA AVENUE, LLC, Owner, and CG Alan Development, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0701. The 13,968-square-foot (0.32 acre) project site is located at 4689 Santa Monica Avenue in the RM-1-1 Zone, Coastal Overlay Zone (non-appealable area), Coastal Height Limit Overlay Zone, Airport Approach Overlay Zone, Airport Environs Overlay Zone and the Ocean Beach Emerging Historic District, within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan. The project site is legally described as Lots 45, 46, 47 and 48, Block 25 of Ocean Beach, Map No. 279.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish an existing structure, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 31, 2012, on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing daycare center structure which crosses over Lots 45, 46, 47 and 48.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Demolition plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by



that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 31, 2012.

Permit Type/PTS Approval No.: CDP No. 917658  
Date of Approval: May 31, 2012

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Patricia J. FitzGerald  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By \_\_\_\_\_  
SANTA MONICA AVENUE, LLC  
Owner

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

By \_\_\_\_\_  
CG ALAN DEVELOPMENT, LLC  
Permittee

RECORDING REQUESTED BY  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501

***Draft Permit  
typical to  
Lots 45, 46 and 47***

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002253

**COASTAL DEVELOPMENT PERMIT NO. 917660  
VARIANCE NO. 917694  
SANTA MONICA PROJECT (LOT 46) - PROJECT NO. 260180  
PLANNING COMMISSION  
DEVELOPMENT SERVICES DEPARTMENT**

This Coastal Development Permit No. 917660 and Variance No. 917694 is granted by the Planning Commission of the City of San Diego to SANTA MONICA AVENUE, LLC, Owner, and CG ALAN DEVELOPMENT, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0701 and Section 126.0805. The 3,492-square-foot project site is located at 4689 Santa Monica Avenue in the RM-1-1 Zone, Coastal Overlay Zone (non-appealable area), Coastal Height Limit Overlay Zone, Airport Approach Overlay Zone, Airport Environs Overlay Zone and the Ocean Beach Emerging Historic District, within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan. The project site is legally described as Lot 46, Block 25 of Ocean Beach, Map No. 279.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a single-family residence, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 31, 2012, on file in the Development Services Department.

The project shall include:

- a. Construction of a new 2,196-square-foot single family residence with a 400-square-foot detached, 2-car garage, site walls, fences and other miscellaneous site improvements;
- b. Variance to the RM-1-1 zone to allow the new garage to observe a zero foot side-yard setback where 3'-0" is required;
- c. Landscaping (planting, irrigation and landscape related improvements);



- d. Off-street parking for two (2) vehicles;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements

may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Demolition plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**AFFORDABLE HOUSING REQUIREMENTS:**

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

**AIRPORT REQUIREMENTS:**

12. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property to the San Diego County Regional Airport Authority as the operator of the San Diego International Airport (easement accepted by the SDCRAA on March 20, 2008). The note shall include the County Recorder's recording number for the avigation easement.

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

16. The drainage system proposed for this development is private and subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA) for the sidewalk underdrains, satisfactory to the City Engineer.

**PLANNING/DESIGN REQUIREMENTS:**

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

19. Roof Design: the proposed garage roof overhang shall not to extend beyond the property line.

20. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS**



21. A minimum of two (2) automobile spaces are required by the Land Development Code. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

**LANDSCAPE REQUIREMENTS:**

22. Prior to issuance of any construction permits for public right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

23. Prior to issuance of any construction permits for buildings (including shell), complete landscape and irrigation construction documents consistent with the Land Development Manual: Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

24. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

25. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within 30 days of damage or Certificate of Occupancy or a Final Landscape Inspection.

**WATER AND SEWER UTILITIES REQUIREMENTS:**

27. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection of the existing unused water and sewer services adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

28. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

29. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 31, 2012.

Permit Type/PTS Approval No.: CDP No. 917660/Var No. 917694  
Date of Approval: May 31, 2012

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Patricia J. FitzGerald  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By \_\_\_\_\_  
SANTA MONICA AVENUE, LLC  
Owner

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

By \_\_\_\_\_  
CG ALAN DEVELOPMENT, LLC  
Permittee



RECORDING REQUESTED BY  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO  
PROJECT MANAGEMENT  
PERMIT CLERK  
MAIL STATION 501

## ***Draft Permit for Lot 48***

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002253

**COASTAL DEVELOPMENT PERMIT NO. 917662  
VARIANCE NO. 917696  
SANTA MONICA PROJECT (LOT 48) - PROJECT NO. 260180  
PLANNING COMMISSION  
DEVELOPMENT SERVICES DEPARTMENT**

This Coastal Development Permit No. 917662 and Variance No. 917696 is granted by the Planning Commission of the City of San Diego to SANTA MONICA AVENUE, LLC, Owner, and CG ALAN DEVELOPMENT, LLC, Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0701 and Section 126.0805. The 3,492-square-foot project site is located at 4689 Santa Monica Avenue in the RM-1-1 Zone, Coastal Overlay Zone (non-appealable area), Coastal Height Limit Overlay Zone, Airport Approach Overlay Zone, Airport Environs Overlay Zone and the Ocean Beach Emerging Historic District, within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan. The project site is legally described as Lot 48, Block 25 of Ocean Beach, Map No. 279.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a single-family residence, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 31, 2012, on file in the Development Services Department.

The project shall include:

- a. Construction of a new 2,196-square-foot single family residence with a 400-square-foot detached, 2-car garage, site walls, fences and other miscellaneous site improvements;
- b. Variance to the RM-1-1 zone to allow the new garage to observe a zero foot side-yard setback where 3'-0" is required;
- c. Variance to the RM-1-1 zone to allow the new home to observe a 5'-0" street side-yard setback where 10'-0" is required;

- d. Landscaping (planting, irrigation and landscape related improvements);
- e. Off-street parking for two (2) vehicles;
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Demolition plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" conditions(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**AFFORDABLE HOUSING REQUIREMENTS:**

11. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).



**AIRPORT REQUIREMENTS:**

12. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an aviation easement has been granted across the property to the San Diego County Regional Airport Authority as the operator of the San Diego International Airport (easement accepted by the SDCRAA on March 20, 2008). The note shall include the County Recorder's recording number for the aviation easement.

**ENGINEERING REQUIREMENTS:**

13. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

14. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards, satisfactory to the City Engineer.

15. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

16. The drainage system proposed for this development is private and subject to approval by the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement (EMRA) for the sidewalk underdrains, satisfactory to the City Engineer.

**PLANNING/DESIGN REQUIREMENTS:**

18. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

19. Roof Design: the proposed garage roof overhang shall not to extend beyond the property line.

20. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

**TRANSPORTATION REQUIREMENTS**

21. A minimum of two (2) automobile spaces are required by the Land Development Code. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

**LANDSCAPE REQUIREMENTS:**

22. Prior to issuance of any construction permits for public right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

23. Prior to issuance of any construction permits for buildings (including shell), complete landscape and irrigation construction documents consistent with the Land Development Manual: Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

24. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

25. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

26. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the City Manager within 30 days of damage or Certificate of Occupancy or a Final Landscape Inspection.

**WATER AND SEWER UTILITIES REQUIREMENTS:**

27. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection of the existing unused water and sewer services adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

28. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

29. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 31, 2012.

Permit Type/PTS Approval No.: CDP No. 917662/Var No. 917696  
Date of Approval: May 31, 2012

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Patricia J. FitzGerald  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

By \_\_\_\_\_  
SANTA MONICA AVENUE, LLC  
Owner

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

By \_\_\_\_\_  
CG ALAN DEVELOPMENT, LLC  
Permittee



PLANNING COMMISSION  
RESOLUTION NO. \_\_\_\_\_

COASTAL DEVELOPMENT PERMIT NO. 917658 (LOTS 45-48)  
COASTAL DEVELOPMENT PERMIT NO. 917659/ VARIANCE NO. 917693 (LOT 45)  
COASTAL DEVELOPMENT PERMIT NO. 917660/ VARIANCE NO. 917694 (LOT 46)  
COASTAL DEVELOPMENT PERMIT NO. 917661/ VARIANCE NO. 917695 (LOT 47)  
COASTAL DEVELOPMENT PERMIT NO. 917662/ VARIANCE NO. 917696 (LOT 48)  
SANTA MONICA PROJECT (LOTS 45-48) - PROJECT NO. 237746  
DEVELOPMENT SERVICES DEPARTMENT

WHEREAS, SANTA MONICA AVENUE, LLC, Owner, and CG Alan Development, LLC, Permittee, filed an application with the City of San Diego for a Coastal Development Permits and Variances to demolish an existing daycare structure on a 13,968-square-foot (0.32 acre) project site comprised of four adjacent 3,492-square-foot lots and construct four (4) 2,196-square-foot single family residences with 400-square-foot detached, 2-car garages, one on each lot [as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 917658 (Lots 45-48), Coastal Development Permit No. 917659/ Variance No. 917693 (Lot 45), Coastal Development Permit No. 917660/ Variance No. 917694 (Lot 46), Coastal Development Permit No. 917661/ Variance No. 917695 (Lot 47), Coastal Development Permit No. 917662/ Variance No. 917696 (Lot 48)]; and

WHEREAS, the project site is located at 4689 Santa Monica Avenue in the RM-1-1 Zone, Coastal Overlay Zone (non-appealable area), Coastal Height Limit Overlay Zone, Airport Approach Overlay Zone, Airport Environs Overlay Zone and the Ocean Beach Emerging Historic District, within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan; and

WHEREAS, the project site is legally described as Lots 45, 46, 47 and 48, Block 25 of Ocean Beach, Map No. 279; and

WHEREAS, on March 9, 2012 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301(1) (Existing Facilities) and Section 15303 (New Construction) of the State CEQA Guidelines, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on March 28, 2012, the Hearing Officer of the City of San Diego approved Coastal Development Permit No. 917658 (Lots 45-48), Coastal Development Permit No. 917659/ Variance No. 917693 (Lot 45), Coastal Development Permit No. 917660/ Variance No. 917694 (Lot 46), Coastal Development Permit No. 917661/ Variance No. 917695 (Lot 47), Coastal Development Permit No. 917662/ Variance No. 917696 (Lot 48) pursuant to the Land Development Code of the City of San Diego; and

WHEREAS, on April 10, 2012, appeals of the Hearing Officer's decision were filed pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated May 31, 2012.

FINDINGS:

**A. Coastal Development Permit - Section 126.0708**

**1. THE PROPOSED COASTAL DEVELOPMENT WILL NOT ENCROACH UPON ANY EXISTING PHYSICAL ACCESSWAY THAT IS LEGALLY USED BY THE PUBLIC OR ANY PROPOSED PUBLIC ACCESSWAY IDENTIFIED IN A LOCAL COASTAL PROGRAM LAND USE PLAN; AND THE PROPOSED COASTAL DEVELOPMENT WILL ENHANCE AND PROTECT PUBLIC VIEWS TO AND ALONG THE OCEAN AND OTHER SCENIC COASTAL AREAS AS SPECIFIED IN THE LOCAL COASTAL PROGRAM LAND USE PLAN.**

The project proposes demolition of the existing daycare structure on site and construction of four (4) new 2,196-square-foot single-family residences with detached 400-square-foot 2-car garages and will be located on each of the four (4) existing lots. The project includes variances to the RM-1-1 zone to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new structure on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is required. The project site is located at 4689 Santa Monica Avenue in the RM-1-1 Zone, Coastal Overlay Zone (non-appealable area), Coastal Height Limit Overlay Zone, Airport Approach Overlay Zone, Airport Environs Overlay Zone and the Ocean Beach Emerging Historic District, within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan.

The project is located approximately 4 blocks from the Pacific Ocean and does not contain any existing physical access way utilized by the general public to and along the ocean and other scenic coastal areas. The proposed site is not identified in the Ocean Beach Precise Plan or Local Coastal Program Land Use Plan as a proposed access way to be utilized by the general public for providing access to the ocean or other coastal scenic area, and existing coastal access in the area will not be affected by the project in any way. Existing views from public vantage points to and along the ocean, and other scenic coastal areas will not be encroached upon as a result of the proposed development.

**2. THE PROPOSED COASTAL DEVELOPMENT WILL NOT ADVERSELY AFFECT ENVIRONMENTALLY SENSITIVE LANDS.**

The project proposes demolition of the existing daycare structure on site and construction of four (4) new 2,196-square-foot single-family residences with detached 400-square-foot 2-car garages and will be located on each of the four (4) existing lots. The project includes variances to the RM-1-1 zone to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new structure on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is required. The project site does not contain environmentally sensitive lands, therefore, the project will not adversely affect these resources. The City of San Diego has conducted a complete review of this site and has determined the project is exempt pursuant to Section

15301(1) (Existing Facilities) and Section 15303 (New Construction) of the State CEQA Guidelines of the California Environmental Quality Act (CEQA), and that there are no environmental issues. The proposed coastal development will not adversely affect environmentally sensitive lands.

**3. THE PROPOSED COASTAL DEVELOPMENT IS IN CONFORMITY WITH THE CERTIFIED LOCAL COASTAL PROGRAM LAND USE PLAN AND COMPLIES WITH ALL REGULATIONS OF THE CERTIFIED IMPLEMENTATION PROGRAM.**

The project proposes demolition of the existing daycare structure on site and construction of four (4) new 2,196-square-foot single-family residences with detached 400-square-foot 2-car garages and will be located on each of the four (4) existing lots. The project includes variances to the RM-1-1 zone to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new structure on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is required. The project site is located at 4689 Santa Monica Avenue in the RM-1-1 Zone, Coastal Overlay Zone (non-appealable area) and Coastal Height Limit Overlay Zone within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan. Ebers Street is not designated as a physical accessway or as a visual access corridor within the adopted Ocean Beach Precise Plan/LCP, and no public view or public access to the water would be adversely affected by the approval of this development. The subject property is surrounded by single and multi-family residential development, and the proposed development project meets all applicable regulations and policy documents, excepting the proposed setback variances as allowed under SDMC Section 126.0805. The project is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted Ocean Beach Precise Plan/LCP, the Progress Guide and General Plan.

**4. FOR EVERY COASTAL DEVELOPMENT PERMIT ISSUED FOR ANY COASTAL DEVELOPMENT BETWEEN THE NEAREST PUBLIC ROAD AND THE SEA OR THE SHORELINE OF ANY BODY OF WATER LOCATED WITHIN THE COASTAL OVERLAY ZONE THE COASTAL DEVELOPMENT IS IN CONFORMITY WITH THE PUBLIC ACCESS AND PUBLIC RECREATION POLICIES OF CHAPTER 3 OF THE CALIFORNIA COASTAL ACT.**

The project proposes demolition of the existing daycare structure on site and construction of four (4) new 2,196-square-foot single-family residences with detached 400-square-foot 2-car garages and will be located on each of the four (4) existing lots. The project includes variances to the RM-1-1 zone to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new structure on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is required. The project site is located at 4689 Santa Monica Avenue in the RM-1-1 Zone, Coastal Overlay Zone (non-appealable area) and Coastal Height Limit Overlay Zone within the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan. The project site is located approximately 4 blocks from the Pacific Ocean; no public view or public access to the water, public recreation facilities or public parking facilities would be adversely affected by the approval of this development. As the proposed site is not between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone, the project will have no effect upon public access. Therefore, development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

**B. Variance Findings – Municipal Code Section 126.0805:****1. THERE ARE SPECIAL CIRCUMSTANCES OR CONDITIONS APPLYING TO THE LAND OR PREMISES FOR WHICH THE VARIANCE IS SOUGHT THAT ARE PECULIAR TO THE LAND OR PREMISES AND DO NOT APPLY GENERALLY TO THE LAND OR PREMISES IN THE NEIGHBORHOOD, AND THESE CONDITIONS HAVE NOT RESULTED FROM ANY ACT OF THE APPLICANT AFTER THE ADOPTION OF THE APPLICABLE ZONE REGULATIONS.**

The project proposes demolition of the existing daycare structure on site and construction of four (4) new 2,196-square-foot single-family residences with detached 400-square-foot 2-car garages and will be located on each of the four (4) existing lots. The project includes variances to the RM-1-1 zone to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new structure on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is required. The project site is located in the RM-1-1 Zone which has a minimum lot size of 6,000 square feet for newly-created lots. The site is comprised of 4 legal lots, each substandard in width and lot size due their subdivision in 1887, prior to current zoning standards. At 24.95 feet wide each, Lots 45, 46 and 47 are approximately half the width of the current 50 foot minimum width requirement of the RM-1-1 zone; and as a corner lot, Lot 48's existing width of 24.95 feet is less than half the width of the current 55-foot minimum width requirement for corner lots in the RM-1-1 zone. The Municipal Code requires two-off street parking spaces for each residential unit. A two-car garage cannot meet the required 3'-0" side setback requirements for this zone as a typical 2 car garage is approximately 20 feet in width (parking spaces within a garage need to be 9'-6" wide due to the adjacent walls), leaving 5'-0" of unencumbered lot width remaining. The residences will otherwise meet the minimum setbacks, except the home on Lot No. 48, which will observe a 5'-0" setback instead of the 10'-0" typically required for a street-yard. The special conditions outlined above are peculiar to the land or premises and do not apply generally to the land or premises in the neighborhood. These conditions have not resulted from any act of the applicant after the adoption of the applicable RM-1-1 zone regulations.

**2. THE CIRCUMSTANCES OR CONDITIONS ARE SUCH THAT THE STRICT APPLICATION OF THE REGULATIONS OF THE LAND DEVELOPMENT CODE WOULD DEPRIVE THE APPLICANT OF REASONABLE USE OF THE LAND OR PREMISES AND THE VARIANCE GRANTED BY THE CITY IS THE MINIMUM VARIANCE THAT WILL PERMIT THE REASONABLE USE OF THE LAND OR PREMISES.**

The project proposes demolition of the existing daycare structure on site and construction of four (4) new 2,196-square-foot single-family residences with detached 400-square-foot 2-car garages and will be located on each of the four (4) existing lots. The project includes variances to the RM-1-1 zone to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new structure on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is required. The project site is located in the RM-1-1 Zone which has a minimum lot size of 6,000 square feet for newly-created lots. The site is comprised of 4 legal lots, each substandard in width and lot size due their subdivision in 1887, prior to current zoning standards. At 24.95 feet wide each, Lots 45, 46 and 47 are approximately half the width of the current 50 foot minimum width



requirement of the RM-1-1 zone; and as a corner lot, Lot 48's existing width of 24.95 feet is less than half the width of the current 55-foot minimum width requirement for corner lots in the RM-1-1 zone. The Municipal Code requires two-off street parking spaces for each residential unit. A two-car garage cannot meet the required 3'-0" side setback requirements for this zone as a typical 2 car garage is approximately 20 feet in width. The site constraints outlined above are such that the strict application of the regulations of the land development code would deprive the applicant of reasonable use of the land or premises (a home with off-site parking and pedestrian access) and the variances granted by the City is the minimum variance that will permit the reasonable use of the land or premises.

**3. THE GRANTING OF THE VARIANCE WILL BE IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THE REGULATIONS AND WILL NOT BE DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY, OR WELFARE.**

The project proposes demolition of the existing daycare structure on site and construction of four (4) new 2,196-square-foot single-family residences with detached 400-square-foot 2-car garages and will be located on each of the four (4) existing lots. The project includes variances to the RM-1-1 zone to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new structure on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is required. The project site is located in the RM-1-1 Zone which has a minimum lot size of 6,000 square feet for newly-created lots. The site is comprised of 4 legal lots, each substandard in width and lot size due their subdivision in 1887, prior to current zoning standards. At 24.95 feet wide each, Lots 45, 46 and 47 are approximately half the width of the current 50 foot minimum width requirement of the RM-1-1 zone; and as a corner lot, Lot 48's existing width of 24.95 feet is less than half the width of the current 55-foot minimum width requirement for corner lots in the RM-1-1 zone. Existing residential structures on property immediately to the south (1917 Ebers Street), and property to the north (2076 Ebers Street), both observe reduced street-side setbacks where 10 feet is required, so the proposed street yard variance for Lot 48 will be in line with the current development pattern along this portion of Ebers Street. The granting of the variances will be in harmony with the general purpose and intent of the regulations, will not be detrimental to the public health, safety, or welfare and will not result in adverse impacts to the neighborhood. The zero foot setbacks will not be visible to the general public as they occur only at the one story garages in the rear portion of the lots at the alley, and will meet the pattern of garage location on the adjacent property where the garage is shifted to the easterly side of the lot, also abutting its easterly neighbor.

**4. THE GRANTING OF THE VARIANCE WILL NOT ADVERSELY AFFECT THE APPLICABLE LAND USE PLAN. IF THE VARIANCE IS BEING SOUGHT IN CONJUNCTION WITH ANY PROPOSED COASTAL DEVELOPMENT, THE REQUIRED FINDING SHALL SPECIFY THAT GRANTING OF THE VARIANCE CONFORMS WITH, AND IS ADEQUATE TO CARRY OUT, THE PROVISIONS OF THE CERTIFIED LAND USE PLAN.**

The project proposes demolition of the existing daycare structure on site and construction of four (4) new 2,196-square-foot single-family residences with detached 400-square-foot 2-car garages and will be located on each of the four (4) existing lots. The project includes variances to the RM-1-1 zone to allow the new garages to observe a zero foot side-yard setback where 3'-0" is required, and for the new structure on Lot No. 48 to observe a 5'-0" street yard setback where 10'-0" is

## ATTACHMENT 8

required. Granting of the requested variances will not adversely affect, will conform with, and will adequately carry out the provisions of the City of San Diego's Progress Guide and General Plan and the Ocean Beach Precise Plan and Local Coastal Program Land Use Plan, which designate the project site for residential use and supports the provision of adequate on-site parking.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 917658 (Lots 45-48), Coastal Development Permit No. 917659/ Variance No. 917693 (Lot 45), Coastal Development Permit No. 917660/ Variance No. 917694 (Lot 46), Coastal Development Permit No. 917661/ Variance No. 917695 (Lot 47), and Coastal Development Permit No. 917662/ Variance No. 917696 (Lot 48) are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 917658 (Lots 45-48), Coastal Development Permit No. 917659/ Variance No. 917693 (Lot 45), Coastal Development Permit No. 917660/ Variance No. 917694 (Lot 46), Coastal Development Permit No. 917661/ Variance No. 917695 (Lot 47) and Coastal Development Permit No. 917662/ Variance No. 917696 (Lot 48), copies of which is attached hereto and made a part hereof.

---

Patricia J. FitzGerald  
Development Project Manager  
Development Services

Adopted on: May 31, 2012

Job Order No. 24002253

NOTICE OF EXEMPTION

(Check one or both)

TO:  X  RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 260180

PROJECT TITLE: SANTA MONICA PROJECT

PROJECT LOCATION-SPECIFIC: 4689 Santa Monica Avenue, San Diego, CA 92107 (Lots 45-48 of Block 25 of Map 279)

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: An application for a Coastal Development Permit (CDP) and Variance (for reduced rear/side yard setbacks) to construct four (4) 2,196-square-foot single dwelling units with four (4) detached 2-car garages. Each new dwelling unit would be built on adjacent 0.08 acre sites located at 4689 Santa Monica Ave in the RM-1-1 Zone, Coastal Overlay (non-appealable), Coastal Height Limit, FAA Part 77, Airport Influence Area, and Airport Approach zones in Council District 2 within the Ocean Beach Community Planning Area.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Janay Kruger
4660 La Jolla Village Drive Suite 1080
La Jolla, CA 92037
858-454-4326

EXEMPT STATUS: (CHECK ONE)

- ( ) MINISTERIAL (SEC. 21080(b)(1); 15268);
( ) DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
( ) EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
(X) CATEGORICAL EXEMPTION: 15301(l), Existing Facilities demolition and 15303 New construction
( ) STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: This project is exempt because the existing structure, which was reviewed by the City of San Diego's Historical Resources staff in accordance with the Historical Resources Guidelines, is not historic, minimal grading is proposed, and no additional parking or outside improvements are required. In addition the project meets the criteria set forth in CEQA section 15301(l), which allows for demolition of existing facilities and 15303 New Construction, and where the exceptions listed in CEQA section 15300.2 would not apply. Therefore, no adverse impacts would occur.

LEAD AGENCY CONTACT PERSON: Lizzi

TELEPHONE: (619) 619-446-5159

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
( ) YES ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Mary Human, Senior Planner
SIGNATURE/TITLE

3/9/12
DATE

CHECK ONE:

- (X) SIGNED BY LEAD AGENCY
( ) SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



PROJECT TEAM:

OWNER: SANTA MONICA LLC  
 2830 SHELTER ISLAND DRIVE  
 SAN DIEGO, CA 92106  
 619.277.9533

DESIGNER: ROBIN J. FRANKLIN  
 6070 MISSION GORGE ROAD, SUITE 4  
 SAN DIEGO, CA 92120  
 619.624.0769

STRUCTURAL ENGINEER: LOVELACE ENGINEERING  
 5920 CORNERSTONE COURT, SUITE 100  
 SAN DIEGO, CA 92121  
 658.638.9111

LAND SURVEYOR: STERLING LAND SERVICES  
 2807 FIRST AVENUE  
 SAN DIEGO, CA 92103  
 619.566.6165



VICINITY MAP

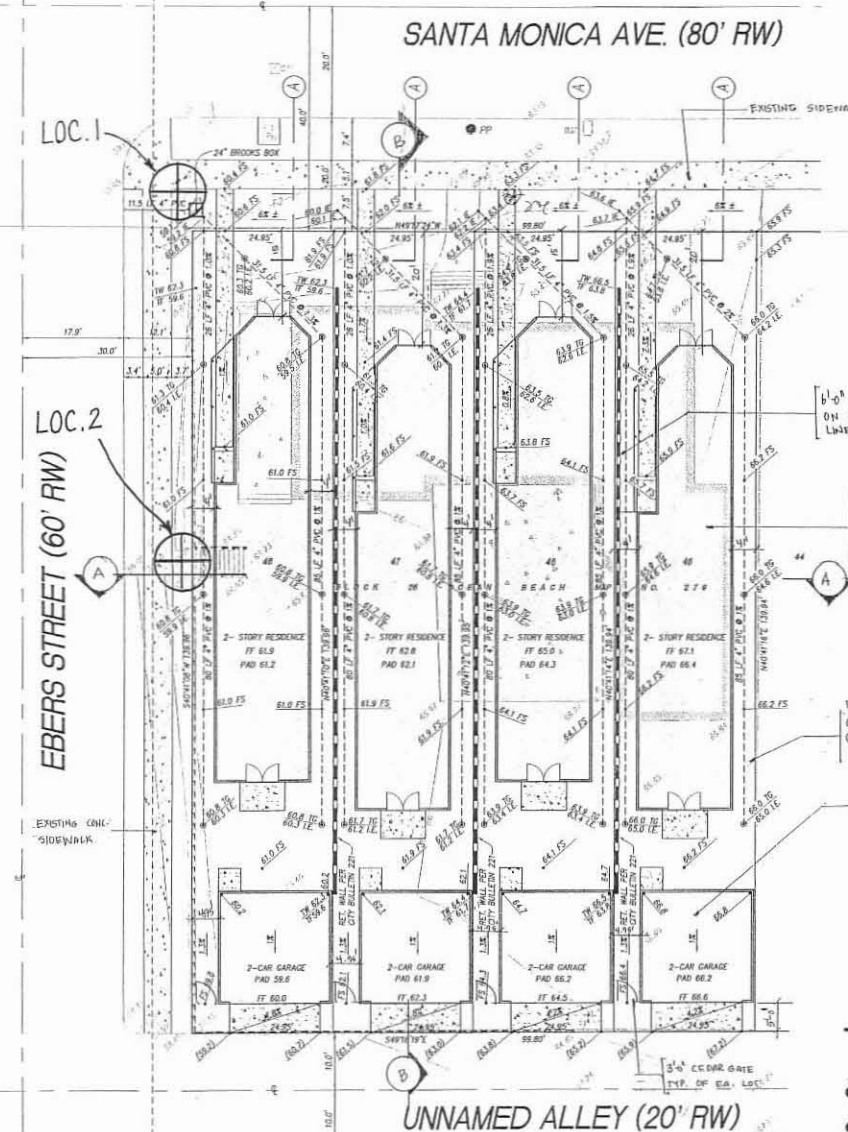
DEVELOPMENT SUMMARY:

- SCOPE OF WORK: DEMOLITION OF EXISTING SCHOOL AND CONSTRUCT (4) SINGLE FAMILY RESIDENCE AND (4) 2 CAR GARAGE.
  - REQUIRED PERMIT: COASTAL DEVELOPMENT PERMIT
  - REQUIRED PARKING: 2 SPACES
  - PROPOSED PARKING: 2 SPACES
  - LOTS 45-48 OF BLOCK 25 OF MAP 879
  - LITVAL DESCRIPTION: 448 611.28
  - ZONE: RS-17
  - CONSTRUCTION TYPE: TYPE IV AND TYPE D-1
  - SUGGEST SITE AREA: 3,497 SQ. FT.
  - EXISTING USE: SCHOOL ON PROPERTY
  - PROPOSED USE: ADD IN SINGLE FAMILY RESIDENCE AND (4) 2 CAR GARAGE
  - SEAK CONSTRUCTION: 1841
  - ZONE: RS-17
  - OVERLAY ZONE: COASTAL HT. AND COASTAL ZONE
- NO EXISTING & PROPOSED IN UTILITY
  - NO EXISTING & PROPOSED EASEMENTS
  - NO MECHANICAL EQUIPMENT IN/ON
  - ALL EQUIPMENT TO BE IN THE 4680 STRECH BY 6'-0" TRAIL

ALL PERMITS, INSURANCE COVERS AND OTHER REQUIREMENTS MUST BE OBTAINED FROM THE SUPERVISOR AND INSURANCE CO. NO CONTRACT OVER QUANTITY OF ACCUMULATION AND ACTUAL MATERIALS USED ON THIS PROJECT AND ASSUMED NO RESPONSIBILITY FOR OBSERVATION OR MATERIALS.



**Robin J. Franklin**  
 PROFESSIONAL BUILDING DESIGNER  
 6070 MISSION GORGE ROAD, SUITE #4  
 SAN DIEGO, CA 92120  
 (619) 624-0769



6'-0" CEDAR FENCE ON WALL @ PROPERTY LINES TYP.

PROPOSED SINGLE FAMILY RESIDENCE TYPE 2N R-2 OCCUPANCY (227 D) (TYPICAL OF 4)

PROPOSED 6'-0" CERAMENCE @ SIDE PROPERTY LINES (TYP)

PROPOSED 2 CAR DETACHED GARAGE TYPE III U-1 OCCUPANCY (1000) (TYPICAL OF 4)

APPROVED EXHIBIT "A"

PROJECT NO. PTS# 85366

APPROVAL NO(S). \_\_\_\_\_

APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 7/5/06

SIGNATURE [Signature]

PLOT PLAN

LEGAL DESCRIPTION

- LOTS 45-48 OF BLOCK 25 OF OCEAN BEACH MAP 179
- APN 448-51-25

PREPARED BY:

ROBIN J. FRANKLIN  
 6070 MISSION GORGE ROAD, SUITE 4  
 SAN DIEGO, CA 92120  
 619.624.0769

PROJECT ADDRESS:

LOT 45-48 OF 4689 SANTA MONICA AVENUE  
 SAN DIEGO, CA 92107

PROJECT NAME:

SANTA MONICA LLC PROJECT

SHEET TITLE:

SITE PLAN

SHEET 1 OF 16

REVISION DATE #	REVISION DATE #
REVISION DATE 6	REVISION DATE 7
REVISION DATE 5	REVISION DATE 8
REVISION DATE 4	REVISION DATE 9
REVISION DATE 3	REVISION DATE 10
REVISION DATE 2	REVISION DATE 11
REVISION DATE 1	REVISION DATE 12

SANTA MONICA LLC  
 2830 SHELTER ISLAND DRIVE  
 SAN DIEGO, CA 92106  
 SITE ADDRESS: 4689 SANTA MONICA AVENUE



**Robin J. Franklin**  
 PROFESSIONAL BUILDING DESIGNER  
 6070 MISSION GORGE ROAD, SUITE #4  
 SAN DIEGO, CA 92120  
 (619) 624-0769





# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

Project Title: 4689 Santa Monica Project No. For City Use Only: 260180

Project Address: 4689 Santa Monica

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_  
 Owner  Tenant/Lessee  Redevelopment Agency  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Project Title: 4689 Santa Monica Project I

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation  Limited Liability -or-  General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached  Yes  No

Corporate/Partnership Name (type or print):  
CG Alan Development, LLC  
 Owner  Tenant/Lessee  
 Street Address: 15557 Via La Ventana  
 City/State/Zip: San Diego, CA 92131  
 Phone No: 858 220 6241 Fax No: 858 397 1125  
 Name of Corporate Officer/Partner (type or print):  
CG Alan Development / Chris Fermanian  
 Title (type or print): Owner  
 Signature: [Signature] Date: 10/17/11

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print): \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print): \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print): \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print): \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):  
 \_\_\_\_\_  
 Owner  Tenant/Lessee  
 Street Address: \_\_\_\_\_  
 City/State/Zip: \_\_\_\_\_  
 Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 Name of Corporate Officer/Partner (type or print):  
 \_\_\_\_\_  
 Title (type or print): \_\_\_\_\_  
 Signature: \_\_\_\_\_ Date: \_\_\_\_\_



City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment •  Other \_\_\_\_\_

Project Title \_\_\_\_\_ Project No. For City Use Only \_\_\_\_\_  
 4689 Santa Monica Ave

Project Address:  
 4689 Santa Monica Ave, San Diego, CA 92107

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_

Fax No: \_\_\_\_\_

Phone No: \_\_\_\_\_

Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_

Date: \_\_\_\_\_

Signature : \_\_\_\_\_

Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_

Fax No: \_\_\_\_\_

Phone No: \_\_\_\_\_

Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_

Date: \_\_\_\_\_

Signature : \_\_\_\_\_

Date: \_\_\_\_\_



Project Title: \_\_\_\_\_

Project \_\_\_\_\_

**Part II - To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation  Limited Liability -or-  General) What State? \_\_\_\_\_ Corporate Identification No. \_\_\_\_\_  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached  Yes  No

Corporate/Partnership Name (type or print):  
 Santa Monica Avenue LLC

Owner  Tenant/Lessee

Street Address:  
 4551 NIAGARA AVE

City/State/Zip:  
 SAN DIEGO CA 92107

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
 ( 619 )807-6648

Name of Corporate Officer/Partner (type or print):  
 Mark Winkler

Title (type or print):  
 Managing Partner

Signature : \_\_\_\_\_ Date: 10/27/11

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner  Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : \_\_\_\_\_ Date: \_\_\_\_\_





City of San Diego  
 Development Services  
 1222 First Ave. 3rd Floor  
 San Diego, CA 92101  
 (619) 446-5210

# Development Permit/ Environmental Determination Appeal Application

**FORM  
 DS-3031  
 MAY 2010**

**See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.**

**1. Type of Appeal:**

- |  |   |
|--|---|
| <input type="checkbox"/> Process Two Decision - Appeal to Planning Commission<br><input checked="" type="checkbox"/> Process Three Decision - Appeal to Planning Commission<br><input type="checkbox"/> Process Four Decision - Appeal to City Council | <input type="checkbox"/> Environmental Determination - Appeal to City Council<br><input type="checkbox"/> Appeal of a Hearing Officer Decision to revoke a permit |
|--|---|

**2. Appellant** Please check one  Applicant  Officially recognized Planning Committee  "Interested Person" (Per M.C. Sec. 113.0103)

Name: AMY OCONNOR E-mail Address: aoconnor@yahoo.com  
 Address: 4676 Santa Monica City: SD State: CA Zip Code: 92107 Telephone: 619-246-9580

**3. Applicant Name** (As shown on the Permit/Approval being appealed). Complete if different from appellant.

JANAY KRUGER

**4. Project Information**

Permit/Environmental Determination & Permit/Document No.: <u>917058-917062, project # 260180</u>	Date of Decision/Determination: <u>3/28/12</u>	City Project Manager: <u>PJ Fitzgerald</u>
---	---	---

Decision (describe the permit/approval decision):

variance was conditionally approved

**5. Grounds for Appeal (Please check all that apply)**

- |  |   |
|--|---|
| <input type="checkbox"/> Factual Error (Process Three and Four decisions only)<br><input checked="" type="checkbox"/> Conflict with other matters (Process Three and Four decisions only)<br><input type="checkbox"/> Findings Not Supported (Process Three and Four decisions only) | <input type="checkbox"/> New Information (Process Three and Four decisions only)<br><input type="checkbox"/> City-wide Significance (Process Four decisions only) |
|--|---|

**Description of Grounds for Appeal** (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

RECEIVED

APR 10 2012

DEVELOPMENT SERVICES

**6. Appellant's Signature:** I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: *Amy Connor* Date: 4/9/12

**Note: Faxed appeals are not accepted. Appeal fees are non-refundable.**

**Conflicts in the Municipal Code:**

1. Code 112.0302(b) regarding Land Development Procedure notices: "Public notice to Property Owners and Tenants within 300 feet and to Community Planning Groups." Not all owners within 300 feet of the Santa Monica Project received notice of the Notice of Application and Notice of Public Hearing (including exemption notice from the California Environmental Quality Act). This conflicts with the Municipal Code.
2. Code 111.0102, Purpose of the Land Development Code. "The intent of these procedures and regulations is to facilitate fair and effective decision-making and to encourage public participation." Not all owners within 300 feet nor the community has been notified of plans to demolish the existing structure, previously used as The Children's Energy Center. The building is said to be an old Army Barrack. Not all owners within 300 feet and the community have been informed of this, therefore public participation has not been encouraged, conflicting with the Municipal Code.



 THE CITY OF SAN DIEGO	City of San Diego Development Services 1222 First Ave. 3rd Floor. San Diego, CA 92101 (619) 448-5210	<h2 style="margin:0;">Development Permit/ Environmental Determination Appeal Application</h2>	FORM <b>DS-3031</b> MAY 2010
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See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

**1. Type of Appeal:**

<input type="checkbox"/> Process Two Decision - Appeal to Planning Commission	<input type="checkbox"/> Environmental Determination - Appeal to City Council
<input checked="" type="checkbox"/> Process Three Decision - Appeal to Planning Commission	<input type="checkbox"/> Appeal of a Hearing Officer Decision to revoke a permit
<input type="checkbox"/> Process Four Decision - Appeal to City Council	

**2. Appellant** Please check one  Applicant  Officially recognized Planning Committee  "Interested Person" (Per M.C. Sec. 113.0103)

Name: CLARENCE C. MCKOSKY E-mail Address: NONE  
 Address: 4545 DEL MONTE AVE City: SAN DIEGO State: CA. Zip Code: 92107 Telephone: (619) 222-3537

**3. Applicant Name** (As shown on the Permit/Approval being appealed). Complete if different from appellant.  
JANAY KRUEGER

<b>4. Project Information</b> Permit/Environmental Determination & Permit/Document No.:	Date of Decision/Determination:	City Project Manager:
<u>917658-917662 PROJECT NO. 260180</u>	<u>3-28-2012</u>	<u>C.J. FITZGERALD</u>

Decision (describe the permit/approval decision):  
Approved with condition.

**5. Grounds for Appeal** (Please check all that apply)

<input checked="" type="checkbox"/> Factual Error (Process Three and Four decisions only)	<input type="checkbox"/> New Information (Process Three and Four decisions only)
<input type="checkbox"/> Conflict with other matters (Process Three and Four decisions only)	<input type="checkbox"/> City-wide Significance (Process Four decisions only)
<input type="checkbox"/> Findings Not Supported (Process Three and Four decisions only)	

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

SEE ATTACHED 2 page Statement.

**6. Appellant's Signature:** I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: Clarence C. McKosky Date: April 9, 2012

**RECEIVED**

**Note: Faxed appeals are not accepted. Appeal fees are non-refundable.**

DATE: April 10, 2011

APPEAL TO THE SAN DIEGO PLANNING COMMISSION OF "PROCESS THREE" HEARING OFFICER DECISION ON MARCH 28, 2012

HEARING OFFICER REPORT: NO. 12-029

PROJECT NUMBER: 260180

SUBJECT: SANTA MONICA AVENUE PROJECT

FOUNDATIONS ARE, FACTUAL ERROR, NEW INFORMATION, FINDINGS, AND CONFLICTS

Per S.D.M.C. 112.0506 –Process Three Appeals, 112.0506 (C):

- (1.) Factual Error PARCEL MAP-not included in hearing officer report. The Factual error that exists is that this parcel described in Hearing Officer Report and Coastal Development Permits No. 917658, 917659, 917660, 917661, and 917662, contain descriptions of lots 45-48 for project site.

The actual project site is APN 448-511-325-00, a 13,968 sq. ft. PARCEL. Per S.D.M.C. 113.0222- Calculating Density- 113.0222 (b)

Single Dwelling Unit Development

*"For single dwelling unit development, no more than one dwelling unit is permitted on a lot. The maximum number of permitted lots that can be created by subdivision is determined by dividing the total lot area of the site by the minimum lot area prescribed by the applicable base zone. The quotient from this calculation is rounded down to the next whole number."*

Thus calculation, 13,968 sq. ft. divided by 6,000 sq. ft. minimum in RM-1-1 zone= 2.328 round down to, 2.0 Dwelling Units. In providing, the "harmony" per S.D.M.C. 126.0805 for the existing surrounding development, each parcel is 7,000 sq. ft. comprised of "two lots." R2 zoning intent was Multiple Housing Units, i.e. Duplex, and the current RM-1-1 code does specify that the "minimum lot area" shall be 6,000 sq. ft. Table 131-04G Chapter 13, Article 1, Division 4, Page 42. The project applicant / owners could have interpreted these codes as straight forward as we have laid out here, however, their angle is of 4 "separate lots" and requesting more than 5 variances based on maximizing the project investment and profitability at the expense of the surrounding owners and community as a whole. If the applicant / Owner followed the S.D.M.C they would only have two Parcels to develop, each consisting of 6,984 Sq. Ft. and no variances would be needed. There is only ONE PARCEL AND ONE APN 448-511-25-00, therefore a decision by the Hearing Officer is skewed based on "Factual Error." In the case of 4 separate lots, then the zoning would be RX-1-2, requiring 3,000 sq. ft. lots.



(2). Factual Error-Ownership Disclosure Statement Error- The project site, 4689 Santa Monica Avenue is in escrow and is in a "SALE PENDING" status with no DISCLOSURE as to who the New Owner is. Transaction information should have been provided to the Hearing Officer. Mr. Winkler, owner of SANTA MONICA AVENUE, L.L.C., is in the process of selling, this property. C.G. Alan Development Company may be in escrow to purchase said property, but since two-separate DS-318 (0-05) forms were completed at different times and incomplete, and submitted to the Project Manager, C.J. Fitzgerald, ownership interest is skewed and not clear, especially since the "Applicant" is hired a third party, Janay Kruger, per S.D.M.C. 112.0102 (a) (2).

(3.) Factual error-There are no special circumstances or conditions on said property per S.D.M.C. 126.0805. Any special conditions have been construed and contrived in order to meet this burden for an exception / variance approval.

(4.) PARKING- Parking could be Tandem type within the Tandem Overlay Zone, to prevent encroachments per S.D.M.C. 132.0901

Signed

Clarence C. McKosky

Date

April 11, 2012



City of San Diego  
 Development Services  
 1222 First Ave. 3rd Floor  
 San Diego, CA 92101  
 (619) 446-5210

# Development Permit/ Environmental Determination Appeal Application

FORM  
**DS-3031**  
 MAY 2010

See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

**1. Type of Appeal:**

- Process Two Decision - Appeal to Planning Commission
- Process Three Decision - Appeal to Planning Commission
- Process Four Decision - Appeal to City Council
- Environmental Determination - Appeal to City Council
- Appeal of a Hearing Officer Decision to revoke a permit

**2. Appellant** Please check one  Applicant  Officially recognized Planning Committee  "Interested Person" (Per M.C. Sec. 113.0103)

Name: BENEVENTI TRUST City: San Diego E-mail Address: \_\_\_\_\_  
 Address: 4669 SANTA MONICA AVE State: CA Zip Code: 92107 Telephone: 619-222-9503  
619-857-1819 cell

**3. Applicant Name** (As shown on the Permit/Approval being appealed); Complete if different from appellant.

Janay KRUEGER

**4. Project Information**

Permit/Environmental Determination & Permit/Document No.: 91765B-917662 Project No 2601B0 Date of Decision/Determination: 3-28-12 City Project Manager: C.J. FitzGerald

Decision (describe the permit/approval decision):

Decision  
Condition was made "conditional" and should have been denied  
No variance should have been granted.

**5. Grounds for Appeal** (Please check all that apply)

- Factual Error (Process Three and Four decisions only)
- Conflict with other matters (Process Three and Four decisions only)
- Findings Not Supported (Process Three and Four decisions only)
- New Information (Process Three and Four decisions only)
- City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

PLEASE SEE ATTACHED 3 PAGE APPEAL STATEMENT.

**6. Appellant's Signature:** I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: Alan Beneventi Date: 4/9/12

**RECEIVED**

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services)  
 Upon request, this information is available in alternative formats for persons with disabilities.

DS-3031 (05-10)

APR 10 2012  
 DEVELOPMENT SERVICES

DATE: April 10, 2011

APPEAL TO THE SAN DIEGO PLANNING COMMISSION OF "PROCESS THREE" HEARING OFFICER DECISION  
ON MARCH 28, 2012

HEARING OFFICER REPORT: NO. 12-029

PROJECT NUMBER: 260180

SUBJECT: SANTA MONICA AVENUE PROJECT

GROUND ARE, FACTUAL ERROR, NEW INFORMATION, FINDINGS, AND CONFLICTS

Per S.D.M.C. 112.0506 –Process Three Appeals, 112.0506 (C):

- (1.) Factual Error PARCEL MAP-not included in hearing officer report. The Factual error that exists is that this parcel described in Hearing Officer Report and Coastal Development Permits No. 917658, 917659, 917660, 917661, and 917662, contain descriptions of lots 45-48 for project site.

The actual project site is APN 448-511-325-00, a 13,968 sq. ft. PARCEL. Per S.D.M.C. 113.0222-  
Calculating Density- 113.0222 (b)

Single Dwelling Unit Development

*"For single dwelling unit development, no more than one dwelling unit is permitted on a lot. The maximum number of permitted lots that can be created by subdivision is determined by dividing the total lot area of the site by the minimum lot area prescribed by the applicable base zone. The quotient from this calculation is rounded down to the next whole number."*

Thus calculation, 13,968 sq. ft. divided by 6,000 sq. ft. minimum in RM-1-1 zone= 2.328 round down to, 2.0 Dwelling Units. In providing, the "harmony" per S.D.M.C. 126.0805 for the existing surrounding development, each parcel is 7,000 sq. ft. comprised of "two lots." R2 zoning intent was Multiple Housing Units, i.e. Duplex, and the current RM-1-1 code does specify that the "minimum lot area" shall be 6,000 sq. ft. Table 131-04G Chapter 13, Article 1, Division 4, Page 42. The project applicant / owners could have interpreted these codes as straight forward as we have laid out here, however, their angle is of 4 "separate lots" and requesting more than 5 variances based on maximizing the project investment and profitability at the expense of the surrounding owners and community as a whole. If the applicant / Owner followed the S.D.M.C they would only have two Parcels to develop, each consisting of 6,984 Sq. Ft. and no variances would be needed. There is only ONE PARCEL AND ONE APN 448-511-25-00, therefore a decision by the Hearing Officer is skewed based on "Factual Error." In the case of 4 separate lots, then the zoning would be RX-1-2, requiring 3,000 sq. ft. lots.



(2). Factual Error-Ownership Disclosure Statement Error- The project site, 4689 Santa Monica Avenue is in escrow and is in a "SALE PENDING" status with no DISCLOSURE as to who the New Owner is. Transaction information should have been provided to the Hearing Officer. Mr. Winkler, owner of SANTA MONICA AVENUE, L.L.C., is in the process of selling, this property. C.G. Alan Development Company may be in escrow to purchase said property, but since two-separate DS-318 (0-05) forms were completed at different times and incomplete, and submitted to the Project Manager, C.J. Fitzgerald, ownership interest is skewed and not clear, especially since the "Applicant" is hired a third party, Janay Kruger, per S.D.M.C. 112.0102 (a) (2).

(3.) Factual error-There are no special circumstances or conditions on said property per S.D.M.C. 126.0805. Any special conditions have been construed and contrived in order to meet this burden for an exception / variance approval.

(4.) PARKING- Parking could be Tandem type within the Tandem Overlay Zone, to prevent encroachments per S.D.M.C. 132.0901

Signed Alan Beneventi, Beneventi Trust dated 1996

Date 4-11-12



10:10am



**Date:** Wednesday, March 28, 2012 1:10 PM  
**From:** Alan Beneventi <abeneventi@cox.net>  
**To:** hearingofficer@sandiego.gov  
**Subject:** Santa Monica Avenue Project

To the Hearing Officer on this application No. 260108, HO report No. 12-029

The Beneventi Trust (4667-69 Santa Monica Ave. and Beneficiaries of the Trust) are adamantly OPPOSED to the project build.

This project is asking that the laws that govern building in San Diego, be changed to accommodate their project plans. This thinking is backwards. The "potential" Buyers, CG Alan Development Company, should build on the land with it inherent constraints, that they are in escrow to purchase and not use their project to drive the law. The Building code law drives these projects, not the projects themselves in pursuit of the desire to maximize the return on the "potential" purchase and then later development of said property.

This project is too much build able sq footage the dimensions contained in their purchase.

Sincerely,  
The Beneventi Trust dated 1996

*Alan Beneventi 3/28/12*

*Page 3 of 3*



City of San Diego  
 Development Services  
 1222 First Ave. 3rd Floor  
 San Diego, CA 92101  
 (619) 446-5210

**Development Permit/  
 Environmental Determination  
 Appeal Application**

**FORM  
 DS-3031  
 MAY 2010**

See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

**1. Type of Appeal:**

- Process Two Decision - Appeal to Planning Commission
- Process Three Decision - Appeal to Planning Commission
- Process Four Decision - Appeal to City Council
- Environmental Determination - Appeal to City Council
- Appeal of a Hearing Officer Decision to revoke a permit

**2. Appellant Please check one**  Applicant  Officially recognized Planning Committee  "Interested Person" (Per M.C. Sec. 113.0103)

Name: ROBERT SHARON SANDIEGO CA 92107 E-mail Address:  
 Address: 4635 SANTA MONICA AVE City: San Diego State: CA Zip Code: 92107 Telephone: 619.209-9154

**3. Applicant Name** (As shown on the Permit/Approval being appealed). Complete if different from appellant.

JANAY KRUEGER

**4. Project Information**

Permit/Environmental Determination & Permit/Document No.: 917658-917662 PROJECT NO 260180 Date of Decision/Determination: 3-28-12 City Project Manager: C.J. FITZGERALD

Decision (describe the permit/approval decision):

Approved - Conditional

**5. Grounds for Appeal (Please check all that apply)**

- Factual Error (Process Three and Four decisions only)
- Conflict with other matters (Process Three and Four decisions only)
- Findings Not Supported (Process Three and Four decisions only)
- New Information (Process Three and Four decisions only)
- City-wide Significance (Process Four decisions only)

**Description of Grounds for Appeal** (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

Please see attached 2 pages.

**6. Appellant's Signature:** certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: [Signature]

Date: APRIL 9, 2012

**RECEIVED**

**Note: Faxed appeals are not accepted. Appeal fees are non-refundable.**

DATE: April 3, 2011

APPEAL TO THE SAN DIEGO PLANNING COMMISSION OF "PROCESS THREE" HEARING OFFICER DECISION  
ON MARCH 28, 2012

HEARING OFFICER REPORT: NO. 12-029

PROJECT NUMBER: 260180

SUBJECT: SANTA MONICA AVENUE PROJECT

GROUND ARE, FACTUAL ERROR, NEW INFORMATION, FINDINGS, AND CONFLICTS

Per S.D.M.C. 112.0506 –Process Three Appeals, 112.0506 (C):

- (1.) Factual Error PARCEL MAP-not included in hearing officer report. The Factual error that exists is that this parcel described in Hearing Officer Report and Coastal Development Permits No. 917658, 917659, 917660, 917661, and 917662, contain descriptions of lots 45-48 for project site.

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Calculating Density- 113.0222 (b)

Single Dwelling Unit Development

“For *single dwelling unit development*, no more than one dwelling unit is permitted on a *lot*. The maximum number of permitted *lots* that can be created by subdivision is determined by dividing the total lot area of the site by the minimum lot area prescribed by the applicable base zone. The quotient from this calculation is rounded down to the next whole number.”

Thus calculation, 13,968 sq. ft. divided by 6,000 sq. ft. minimum in RM-1-1 zone= 2.328 round down to, 2.0 Dwelling Units. In providing, the “harmony” per S.D.M.C. 126.0805 for the existing surrounding development, each parcel is 7,000 sq. ft. comprised of “two lots.” R2 zoning intent was Multiple Housing Units, i.e. Duplex, and the current RM-1-1 code does specify that the “minimum lot area” shall be 6,000 sq. ft. Table 131-04G Chapter 13, Article 1, Division 4, Page 42. The project applicant / owners could have interpreted these codes as straight forward as we have laid out here, however, their angle is of 4 “separate lots” and requesting more than 5 variances based on maximizing the project investment and profitability at the expense of the surrounding owners and community as a whole. If the applicant / Owner followed the S.D.M.C they would only have two Parcels to develop, each consisting of 6,984 Sq. Ft. and no variances would be needed. There is only ONE PARCEL AND ONE APN 448-511-25-00, therefore a decision by the Hearing Officer is skewed based on “Factual Error.” In the case of 4 separate lots, then the zoning would be RX-1-2, requiring 3,000 sq. ft. lots.

(2). Factual Error-Ownership Disclosure Statement Error- The project site, 4689 Santa Monica Avenue is in escrow and is in a "SALE PENDING" status with no DISCLOSURE as to who the New Owner is. Transaction information should have been provided to the Hearing Officer. Mr. Winkler, owner of SANTA MONICA AVENUE, L.L.C., is in the process of selling, this property. C.G. Alan Development Company may be in escrow to purchase said property, but since two-separate DS-318 (0-05) forms were completed at different times and incomplete, and submitted to the Project Manager, C.J. Fitzgerald, ownership interest is skewed and not clear, especially since the "Applicant" is hired a third party, Janay Kruger, per S.D.M.C. 112.0102 (a) (2).

(3.) Factual error-There are no special circumstances or conditions on said property per S.D.M.C. 126.0805. Any special conditions have been construed and contrived in order to meet this burden for an exception / variance approval.

(4.) PARKING- Parking could be Tandem type within the Tandem Overlay Zone, to prevent encroachments per S.D.M.C. 132.0901

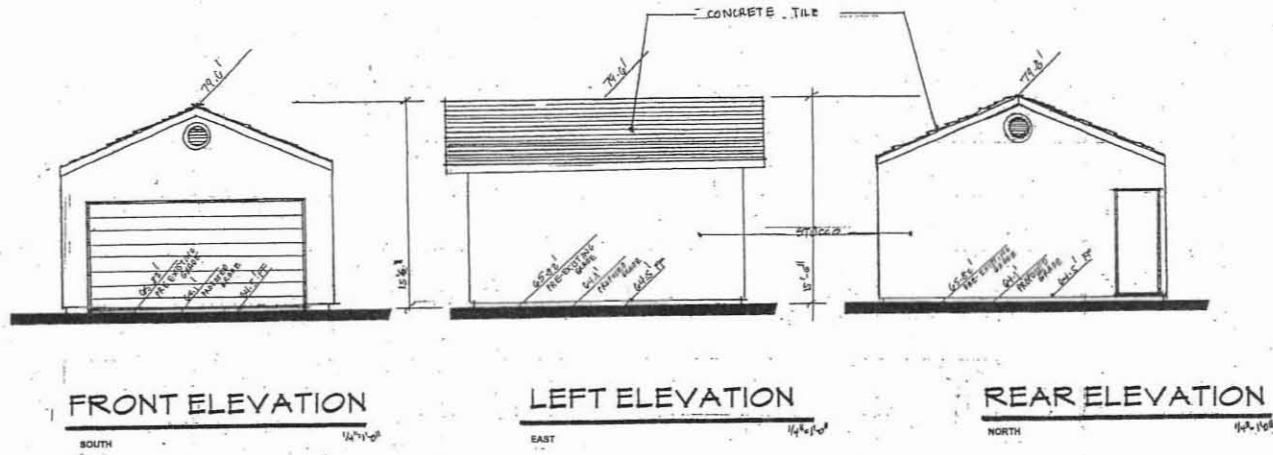
Signed \_\_\_\_\_



Date \_\_\_\_\_

4-11-2012

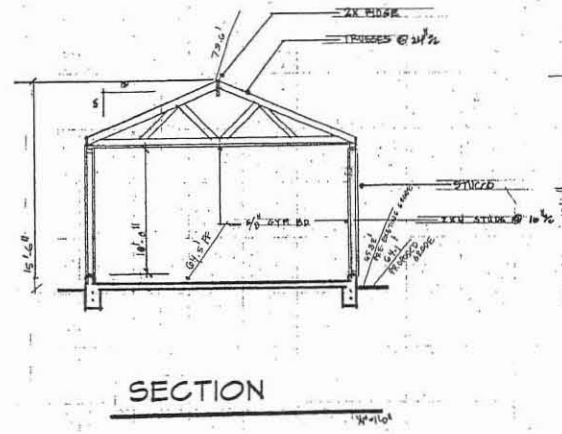




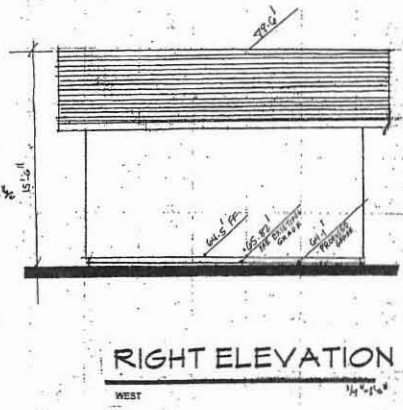
**FRONT ELEVATION**  
SOUTH 1/4" = 1'-0"

**LEFT ELEVATION**  
EAST 1/4" = 1'-0"

**REAR ELEVATION**  
NORTH 1/4" = 1'-0"



**SECTION**  
1/4" = 1'-0"



**RIGHT ELEVATION**  
WEST 1/4" = 1'-0"

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**JOSH RENNER**  
 Building Design & Title 2-1 Energy Calculations  
 PO Box 600455  
 San Diego, CA 92116  
 Tel: 619-442-1103  
 josh@rennerdesign.com

Revised Garage  
 per HO 3/28/12

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
11
SHEETS

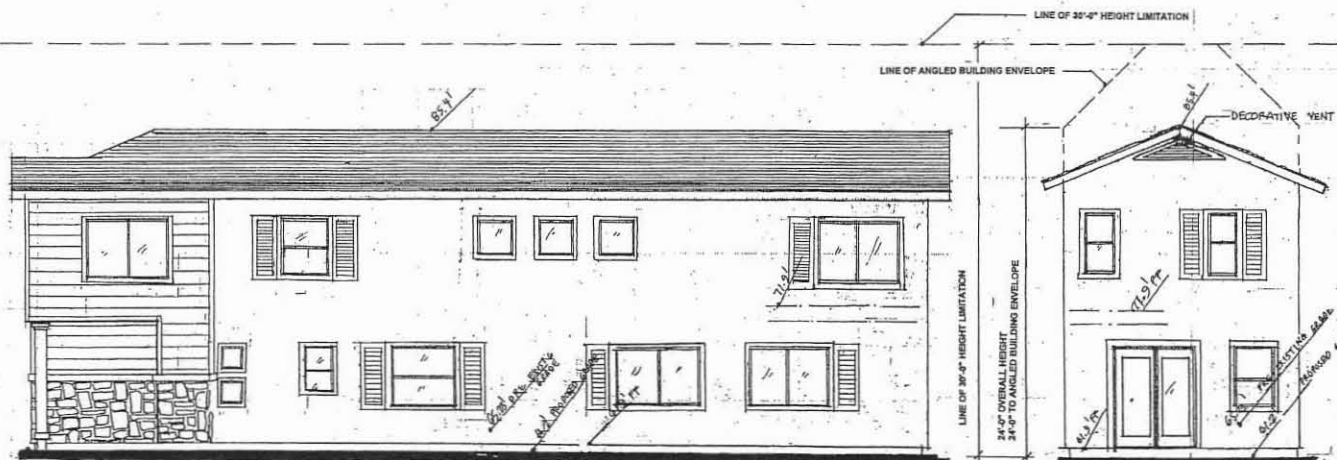


**LEFT ELEVATION**

EAST

**FRONT ELEVATION**

NORTH



**RIGHT ELEVATION**

WEST

**REAR ELEVATION**

SOUTH

**ELEVATION LEGEND:**

- 1 JAMES HARDIE HORIZONTAL SIDING
- 2 STUCCO
- 3 DECORATIVE O.L. VENT WITH SURROUND
- 4 CONCRETE 6" TILES WITH GYPSUM ROOF VENTS
- 5 2X4 DECORATIVE JAMES HARDIE TRIM & DOOR SURROUND
- 6 'ELDORADO STONE' ROCK VENEER WITH STONE CAP

PREPARED BY:  
 JOSH KENNER DESIGN  
 P.O. BOX 600435  
 SAN DIEGO, CA 92160  
 619.992.8942

PROJECT ADDRESS:  
 LOT 48 OF 4888 SANTA MONICA AVENUE  
 SAN DIEGO, CA 92157

PROJECT NAME:  
 SANTA MONICA PROJECT

SHEET TITLE:  
 ELEVATIONS  
 SHEET      OF     

REVISION DATE:  
 REVISION DATE:  
 REVISION DATE:  
 REVISION DATE:

LOT 48

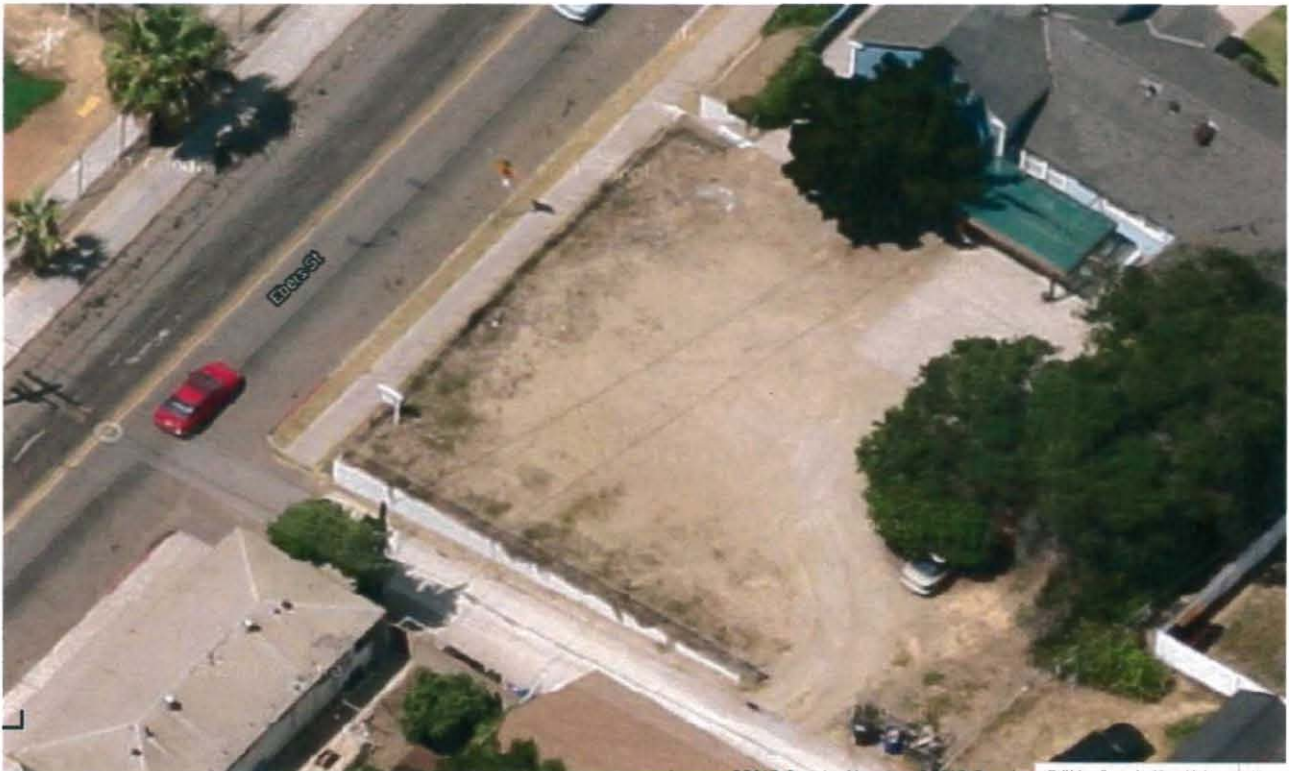
CG ALAN DEVELOPMENT, LLC  
 15557 VIA LA VENTANA  
 SAN DIEGO, CA 92131

DRAWN	
CHECKED	
DATE	
SCALE	1" = 1'-0"
JOB NO.	
SHEET	8

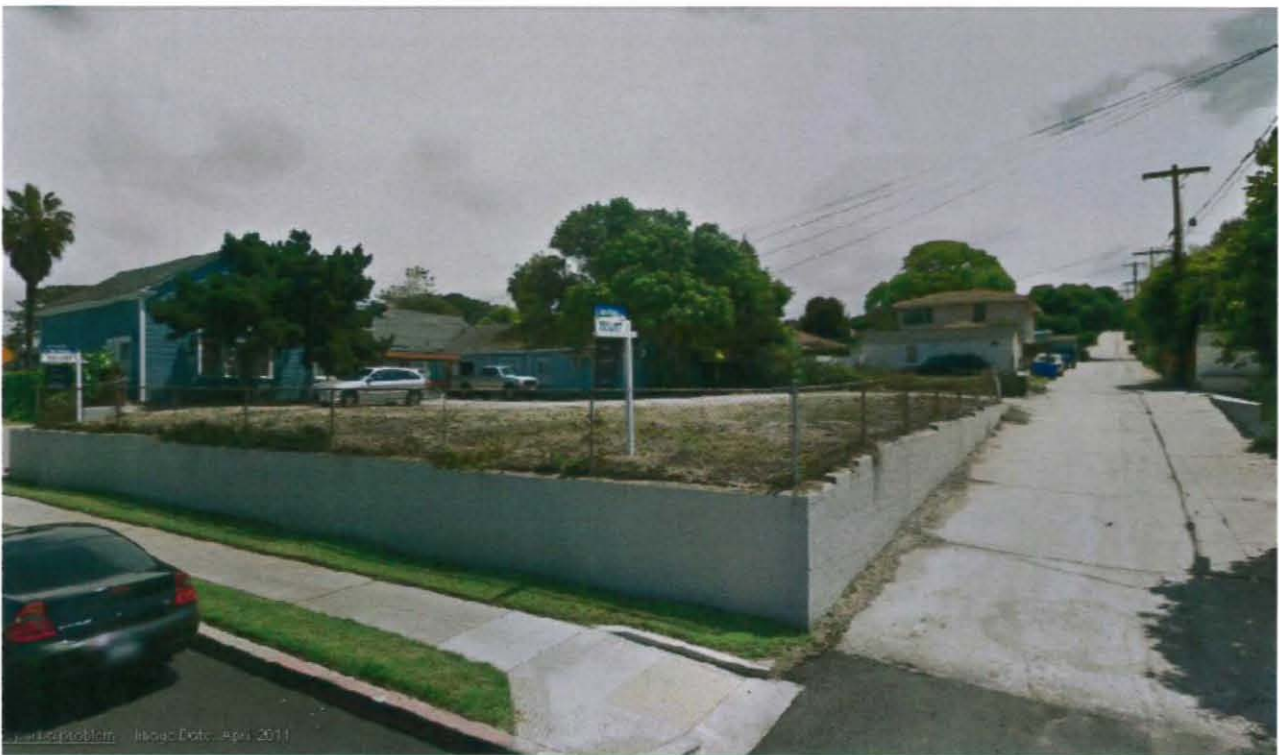
JOSH KENNER  
 Building Design & Title 24 Energi Calculations  
 PO Box 600435  
 San Diego, CA 92160  
 619.992.8942  
 josh@kennerdesign.com

Revised Elevations  
 Elevation per MD 3/20/12





## Existing Alley Conditions





### 300' Property Ownership

Parcel Number	Owner Name	Mailing Address	Mailing Address City	Mailing Address State	Mailing Address Zip
448-392-19-00	Robert Gouveia	4713 Newport Ave	San Diego	Ca	92107
448-392-20-00	Carol Burkhardt	4727 Newport Ave	San Diego	Ca	92107
448-392-21-00	Carol Burkhardt	4727 Newport Ave	San Diego	Ca	92107
448-392-34-00	Benfante-Figueroa Family Trust 0	3787 Poe St	San Diego	Ca	92107
448-502-21-00	Camille Johnson	4655 Newport Ave	San Diego	Ca	92107
448-502-22-00	Thomas Keus	4657 Newport Ave	San Diego	Ca	92107
448-502-23-00	Helen Lowe	3022 Ibsen St	San Diego	Ca	92106
448-502-24-00	John Carver	4740 Leathers St	San Diego	Ca	92117
448-502-25-00	John Carver	4740 Leathers St	San Diego	Ca	92117
448-502-27-00	J Struck	4612 Orchard Ave	San Diego	Ca	92107
448-502-28-00	Gregory Foster	1895 Ebers St	San Diego	Ca	92107
448-511-01-00	Lauren Matthias	PO Box 84815	San Diego	Ca	92138
448-511-02-00	Betty Bedlion-Westfall	4686 Newport Ave	San Diego	Ca	92107
448-511-03-00	4676 Newport Ave Trust	3770 Hancock St D	San Diego	Ca	92110
448-511-04-00	Diane Farrell	924 Hornblend St 310	San Diego	Ca	92109
448-511-05-00	Gilbert Carolyn Properties L L C	11620 Via Firul	San Diego	Ca	92128
448-511-06-01	William Robinson	4654 Newport Ave	San Diego	Ca	92107
448-511-06-02	Robert Osullivan	4658 Newport Ave	San Diego	Ca	92107
<b>448-511-07-00</b>	<b>Clarence Mckosky</b>	<b>4545 Del Monte Ave</b>	<b>San Diego</b>	<b>Ca</b>	<b>92107</b>
448-511-08-00	Valenti-Turskey Revoc 2008 Trust	4636 Newport Ave	San Diego	Ca	92107
448-511-09-00	Torbett Family Trust 05-14-02	2501 E Chestnut Ave	Orange	Ca	92867
448-511-18-00	Granum Trust 12-16-09	4683 Leathers St	San Diego	Ca	92117
448-511-19-00	Daniel Machado	4641 Santa Monica Ave	San Diego	Ca	92107
448-511-20-00	Patrick Cosgrove	4645 Santa Monica Ave	San Diego	Ca	92107
<b>448-511-21-00</b>	<b>Robert Sharon</b>	<b>4655 Santa Monica Ave</b>	<b>San Diego</b>	<b>Ca</b>	<b>92107</b>
448-511-22-00	O B Properties L L C	1875 Sefton Pl	San Diego	Ca	92107
<b>448-511-23-00</b>	<b>Beneventi Family Trust 12-03-97</b>	<b>4669 Santa Monica Ave</b>	<b>San Diego</b>	<b>Ca</b>	<b>92107</b>
448-511-24-00	Robert Mincer	4677 Santa Monica Ave	San Diego	Ca	92107
448-512-01-00	Rick Ellington	3436 Dumas St	San Diego	Ca	92106
448-512-02-00	Robert Curtis	1164 Sorrento Dr	San Diego	Ca	92107
448-512-04-01	Corbin Winters	4670 Santa Monica Ave	San Diego	Ca	92107
448-512-04-02	Andrew Askin	4672 Santa Monica Ave	San Diego	Ca	92107
448-512-05-00	Wolfgang L P	4686 Newport Ave	San Diego	Ca	92107
448-512-06-00	Mary Hurder	3744 Wilcox St	San Diego	Ca	92106

448-512-07-00	Richard Platt	4644 Santa Monica Ave	San Diego	Ca	92107
448-512-21-00	Gary Young	4649 Saratoga Ave	San Diego	Ca	92107
448-512-22-00	David Wells	PO Box 8107	Rancho Santa Fe	Ca	92067
448-512-24-00	Theresa Miles	4667 Saratoga Ave	San Diego	Ca	92107
448-512-25-00	Christopher Mcgreal	4677 Saratoga Ave	San Diego	Ca	92107
448-512-26-00	J Mcpheeters	4423 Muir Ave	San Diego	Ca	92107
448-512-27-00	J Mcpheeters	4423 Muir Ave	San Diego	Ca	92107
448-512-29-00	Stanley Cobb	4630 Santa Monica Ave	San Diego	Ca	92107
448-512-30-00	Stanley Cobb	4630 Santa Monica Ave	San Diego	Ca	92107
<b>448-512-31-00</b>	<b>Amy Oconnor</b>	<b>4678 Santa Monica Ave</b>	<b>San Diego</b>	<b>Ca</b>	<b>92107</b>
448-512-32-00	Richard Mundt	4676 Santa Monica Ave	San Diego	Ca	92107
448-512-33-00	Burdette Living Trust	4661 Saratoga Ave	San Diego	Ca	92107
448-512-34-00	John Darcey	4663 Saratoga Ave	San Diego	Ca	92107

**Interested Parties**

*	Clarence McKosky	4545 Del Monte Ave	San Diego	Ca	92107
*	Amy O'Connor	4678 Santa Monica Ave	San Diego	Ca	92107
*	Beneventi Family Trust 12-03-97	4669 Santa Monica Ave	San Diego	Ca	92107
*	Robert Sharon	4655 Santa Monica Ave	San Diego	Ca	92107
	Mary Sharon	4655 Santa Monica Ave	San Diego	Ca	92107
	Linda Curtis	1971 Ebers Street	San Diego	Ca	92107
	Janay Kruger	4660 La Jolla Village Dr,	San Diego	CA	92122
	Scott Peters	PO Box 12754	San Diego	CA	92101
	Joshua Renner	PO Box 600455	San Diego	Ca	92071
	Chris Fermanian	15557 Via la Ventana	San Diego	Ca	92131
	Robert Mincer	7523 Chevy Chase Drive	Houston	TX	77063

\* = appellant

### 300' Tenant Noticing

Parcel Number	First Owner First Name	Site Address	Site Address City	Site Address State	Site Address Zip
448-392-20-00	Resident	4719 Newport Ave	San Diego	Ca	92107
448-392-34-00	Resident	4707 Newport Ave	San Diego	Ca	92107
448-502-23-00	Resident	4659 Newport Ave	San Diego	Ca	92107
448-502-24-00	Resident	4671 Newport Ave	San Diego	Ca	92107
448-502-25-00	Resident	4679 Newport Ave	San Diego	Ca	92107
448-502-27-00	Resident	1883 Ebers St	San Diego	Ca	92107
448-511-01-00	Resident	4694 Newport Ave	San Diego	Ca	92107
448-511-03-00	Resident	4676 Newport Ave	San Diego	Ca	92107
448-511-04-00	Resident	4670 Newport Ave	San Diego	Ca	92107
448-511-05-00	Resident	4660 Newport Ave	San Diego	Ca	92107
448-511-07-00	Resident	4644 Newport Ave	San Diego	Ca	92107
448-511-09-00	Resident	4626 Newport Ave	San Diego	Ca	92107
448-511-18-00	Resident	4625 Santa Monica Ave	San Diego	Ca	92107
448-511-22-00	Resident	4657 Santa Monica Ave	San Diego	Ca	92107
448-512-01-00	Resident	4680 Santa Monica Ave	San Diego	Ca	92107
448-512-02-00	Resident	1971 Ebers St	San Diego	Ca	92107
448-512-05-00	Resident	4662 Santa Monica Ave	San Diego	Ca	92107
448-512-06-00	Resident	4652 Santa Monica Ave	San Diego	Ca	92107
448-512-22-00	Resident	4651 Saratoga Ave	San Diego	Ca	92107
448-512-26-00	Resident	1989 Ebers St	San Diego	Ca	92107
448-512-27-00	Resident	1981 Ebers St	San Diego	Ca	92107
448-512-29-00	Resident	4640 Santa Monica Ave	San Diego	Ca	92107

**Fitzgerald, PJ**

---

**From:** al@whitleygroup.com  
**Sent:** Saturday, May 19, 2012 8:23 AM  
**To:** Fitzgerald, PJ  
**Subject:** Project Number 260180 - Santa Monica Project

Dear Ms Fitzgerald

I am a property owner in Ocean Beach and was notified about the upcoming hearing for Project Number 260180. Because of my work schedule, I cannot attend the hearing but wanted to let you know my opinion.

I do not believe that the property owners should receive any setback variances. The property is surrounded on three sides by existing residential buildings which conform to the legal setback requirements.

This project should NOT be provided a variance. The project should observe the legal 3'-0" side yard setback and should observe the legal 10'-0" street yard setback.

Thank you for your time.

If you have any questions, please contact me.

Best Regards

Al Whitley, MBA, AIA  
Principal

**virtual design & construction institute** / **cadteacher** / **WHITLEY**Group  
3904 Groton Street Suite 200  
San Diego CA 92110

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