



**DATE ISSUED:** February 21, 2012

**REPORT NO. PC-11-095**

**ATTENTION:** **Planning Commission, Agenda of March 1, 2012**

**SUBJECT:** Jack in the Box (1110 C Street) – Centre City Development Permit/Planned Development Permit No. 2011-04 – East Village Neighborhood of the Downtown Community Plan Area.

**OWNER/  
APPLICANT:** **Victoria Land Partners, L.P. / Jack in the Box, Inc.**

**SUMMARY**

**Issue(s):** “Should the Planning Commission (“Commission”) APPROVE OR DENY Centre City Development Permit/Planned Development Permit (CCDP/PDP) No. 2011-04 allowing the reconstruction of a Jack in the Box restaurant (“Project”) located at 1110 C Street in the Downtown Community Plan (DCP) Area?”

**Staff Recommendation:** That the Commission denies CCDP/PDP No. 2011-04 for the Project based on the following: 1) the required findings for approval of a CCDP/PDP cannot be made; and, 2) approval of the Project is inconsistent with the goals and policies of the DCP.

**Community Planning Group Recommendation:** On November 9, 2011, the Centre City Advisory Committee (CCAC) voted 13-7, with two recusals to recommend that the Commission grant CCDP/PDP No. 2011-04 for the Project.

**Centre City Development Corporation (“Corporation”) Recommendation:** On November 16, 2011, the Corporation Board of Directors voted 4-3 to recommend that the Commission deny CCDP/PDP No. 2011-04 based on the inability to make the required findings for approval.

**Environmental Review:** This activity is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15302 Replacement or Reconstruction (Class 2) and Section 15303 New Construction (Class 3). Class 2 applies to replacement or reconstruction of commercial structure with a new structure of substantially the same size, purpose and capacity and Class 3 applies to construction of new structures under 10,000 square feet in floor area. The project consists of the demolition and reconstruction of a new 2,156 square-foot restaurant; and therefore, the Class 2 and Class 3 exemptions are applicable.

**Fiscal Impact Statement:** None.

**Code Enforcement Impact:** None.

**Housing Impact Statement:** None.

## **BACKGROUND**

On December 8, 2012, the Planning Commission held a public hearing to consider this application. After receiving the staff report and public testimony, continued the hearing until February 2, 2012 to allow the applicant to reevaluate the proposed design of the project. On February 2, 2012 the applicant requested additional time and the Planning Commission continued the hearing to March 1, 2012.

## **DISCUSSION**

The proposed Project includes the demolition of the existing 2,340 square-foot Jack in the Box building to accommodate the construction of a new 2,156 square-foot, single-story, 21-foot-tall building with a drive-thru and seven parking spaces.

At the December 8, 2012 hearing, the Planning Commission expressed serious concerns with the design of the Project. The Commission's concerns were based on the fact that the proposed design was standard and inadequate for its location. Since the last meeting the following revisions have been made:

1. Design modifications have been made to include upgraded materials such as brick veneer with metal panels and glass accents. Previously the design was primarily stucco finish with varying size reveals and aluminum accents. The building will be accentuated with dark grey metal awnings and black decorative goose neck lighting fixtures. The existing surface parking lot is proposed to be re-paved and striped.
2. The driveway along C Street has been revised to be entrance only to avoid conflicts with narrow drive aisle adjacent to drive-thru lane (vehicle exiting site would block driveway and result in vehicles blocking sidewalk or drive aisle).
3. The project will also include new landscaping and public right-of-way improvements consistent with the Centre City Streetscape Manual (new sidewalks, street trees, street lights, etc.).
4. Trash and recycling will be fully enclosed.
5. All rooftop mechanical equipment will be screened.
6. No pole sign will be incorporated.

No changes have been made relative to the stacking of vehicles on-site to avoid cars queuing on C Street.

CONCLUSION

While the design of the Project has improved, Corporation staff must evaluate all applications relative to their consistency with the long-term goals and policies for the redevelopment of downtown. It is staff's conclusion that: 1) approval of the Project is inconsistent with the goals and policies of the DCP; and, 2) the required findings for approval of a PDP cannot be made. Therefore, staff recommends that the Commission denies CCDP/PDP No. 2011-04.

ALTERNATIVE RECOMMENDATIONS

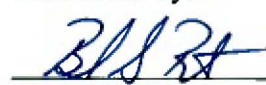
If the Commission can make the required findings for approval of the CCDP/PDP, then the Commission may approve CCDP/PDP No. 2011-04, subject to the conditions as shown in the attached Draft Permit, including:

1. The drive-thru lane shall accommodate at least three vehicles on-site before any location of a menu board/order station to avoid cars queuing along C Street.

Respectfully submitted,

  
\_\_\_\_\_  
Lucy Contreras  
Senior Planner

Concurred by:

  
\_\_\_\_\_  
Brad Richter  
Assistant Vice President, Planning

Attachments: A – Planning Commission Staff Report dated December 8, 2012  
B – Revised Basic/Concept Drawings

**DATE ISSUED:** December 1, 2011 **REPORT NO. PC-11-095**

**ATTENTION:** **Planning Commission, Agenda of December 8, 2011**

**SUBJECT:** Jack in the Box (1110 C Street) – Centre City Development Permit/Planned Development Permit No. 2011-04 – East Village Neighborhood of the Downtown Community Plan Area.

**OWNER/  
APPLICANT:** **Victoria Land Partners, L.P. / Jack in the Box, Inc.**

**SUMMARY**

**Issue(s):** “Should the Planning Commission (“Commission”) APPROVE OR DENY Centre City Development Permit/Planned Development Permit (CCDP/PDP) No. 2011-04 allowing the reconstruction of a Jack in the Box restaurant (“Project”) located at 1110 C Street in the Downtown Community Plan (DCP) Area?”

**Staff Recommendation:** That the Commission denies CCDP/PDP No. 2011-04 for the Project based on the following: 1) the required findings for approval of a CCDP/PDP cannot be made; and, 2) approval of the Project is inconsistent with the goals and policies of the DCP.

**Community Planning Group Recommendation:** On November 9, 2011, the Centre City Advisory Committee (CCAC) voted 13-7, with two recusals to recommend that the Commission grant CCDP/PDP No. 2011-04 for the Project.

**Centre City Development Corporation (“Corporation”) Recommendation:** On November 16, 2011, the Corporation Board of Directors voted 4-3 to recommend that the Commission deny CCDP/PDP No. 2011-04 based on the inability to make the required findings for approval.

ATTACHMENT A

**Environmental Review:** This activity is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15302 Replacement or Reconstruction (Class 2) and Section 15303 New Construction (Class 3). Class 2 applies to replacement or reconstruction of commercial structure with a new structure of substantially the same size, purpose and capacity and Class 3 applies to construction of new structures under 10,000 square feet in floor area. The project consists of the demolition and reconstruction of a new 2,156 square-foot restaurant; and therefore, the Class 2 and Class 3 exemptions are applicable.

**Fiscal Impact Statement:** None.

**Code Enforcement Impact:** None.

**Housing Impact Statement:** None.

**BACKGROUND**

Jack in the Box, Inc. (“Applicant”), based in San Diego, is a fast-food restaurant company that operates and franchises Jack in the Box restaurants in 19 states. The Applicant is seeking approval of CCDP/PDP No. 2011-04 to allow the construction of a new replacement 2,156 square-foot, one-story (21-foot-tall) restaurant with a drive-thru on a 10,000 square-foot parcel located at 1110 C Street within the East Village neighborhood of the DCP area. The proposed construction does not conform to the land use provisions and development standards of the Centre City Planned District Ordinance (CCPDO) including, but not limited to, land use requirements of the Residential Emphasis (RE) Land Use District minimum Floor Area Ratio (FAR) and minimum street wall height.

**DEVELOPMENT TEAM**

<b>ROLE</b>	<b>FIRM/CONTACT</b>	<b>OWNERSHIP</b>
Property Owner/Landlord	Victoria Land Partners, L.P. David Trackman	Privately Owned
Applicant/Tenant	Jack In the Box, Inc. Mike Hogenboom	Privately Owned Corporation (See Attached Executive and Board of Directors List)
Architect/Project Manager	PM Design Group David Lundy	David Lundy Privately Owned
Public Relations Consultant	Focuscom, Inc.	Dan Hom, President and CEO (Privately Owned)

PROJECT DESCRIPTION

The following is a summary of the project:

Site Area	10,039 sq. ft.
Maximum Floor Area Ratio (FAR) Permitted	10.0
Minimum FAR Required	6.0
Proposed FAR	0.21
Stories / Height	Single-story/21 feet
Amount of Retail Space	2,156 sq. ft.
Parking Required	None
Proposed	7
Assessor's Parcel Nos.	534-193-05

DISCUSSION

Site Description – The Project is proposed on a 10,000 square-foot site located on the northeast corner of Eleventh Avenue and C Street. The Project site lies within the RE District, which is intended to accommodate primarily residential development. Small-scale businesses, offices, services and ground-floor commercial uses are allowed, subject to size and area limitations. Within the RE District, at least 80 percent of the gross floor area must be occupied by residential land uses. Non-residential uses may not occupy more than 20 percent of the gross floor area. The site is also located within the Commercial Street Overlay along C Street, which requires a minimum of 60 percent of the street-level frontage to be designated for active commercial uses.

The site is relatively flat and is currently developed with a 2,340 square-foot, single-story Jack in the Box with a drive-thru including seven parking spaces. Other uses on the block include surface parking lots, a one-story Del Taco restaurant with a drive-thru to the north, the four-story Baltimore Apartments located on the northwest corner of the block and a single-story tire repair shop to the east. Surrounding uses include surface parking lots to the west, San Diego City College to the east and the Smart Corner mixed-use project, C Street Trolley tracks and MTS transit station to the south. The Base Minimum FAR for the site is 6.0 and the Base Maximum is 10.0.

Project Analysis – The proposed Project includes the demolition of the existing 2,340 square-foot Jack in the Box building to accommodate the construction of a new 2,156 square-foot, single-story, 21-foot-tall building with a drive-thru and seven parking spaces.

Stand alone eating and drinking establishments with drive thru facilities are no longer permitted uses within the DCP area. The existing Jack in the Box was established under development regulations which permitted its construction and use, and is therefore considered an existing

“previously conforming structure and use” under the City of San Diego's (“City”) Land Development Code (LDC) provisions for Previously Conforming Premises and Uses. The proposed demolition of the existing Jack in the Box building eliminates the property’s previously conforming status, and the proposed reconstruction and replacement is therefore subject to the design and development standards of the CCPDO. These standards include, but are not limited to, minimum FARs, minimum street wall height, and minimum residential use requirements.

The Project is proposed to contain a total of 2,156 square feet of floor area. This equates to a 0.21 FAR on the 10,000 square-foot site. The DCP and CCPDO require a minimum FAR of 6.0 with a maximum FAR of 10.0. Adjacent sites to the west and south also have significant development potential and are currently developed with low-density buildings and at-grade surface parking lots. The East Village’s long-term goals are envisioned to contain high-density residential with a variety of commercial neighborhood services. Therefore, the Project as currently proposed does not comply with the goals and policies of the DCP or the development standards of the CCPDO. As an alternative to demolition and reconstruction, the CCPDO would allow for the remodel of the existing Jack in the Box building. Additionally, the CCPDO allows an increase in 100 percent of the floor area of a previously conforming structure with approval of a Neighborhood Use Permit.

Design Review – The new building will consist primarily of a stucco finish with varying size reveals and aluminum accents. The exterior paint colors include beige, gray, wheat and dark rust as well as Jack in the Box Corporate red. The building will be accentuated with black metal awnings and decorative goose neck lighting fixtures. The Project will also include new landscaping and public right-of-way improvements consistent with the Centre City Streetscape Manual (new sidewalks, street trees, street lights, etc.). The existing surface parking lot is proposed to be re-paved and striped. One of the key design issues is that that proposed building is designed to reflect Jack in the Box's corporate standard and construction style and does not exhibit a higher level of design as would typically be expected in an urban setting. While the Corporation Board of Directors voted to recommend denial of the Project based on the inability to make the findings for approval of the CCDP/PDP, there was a general consensus that the proposed design was inadequate and should be upgraded if the land use permits were to be approved by the Commission.

## ENTITLEMENTS

Centre City Development Permit – Under the CCPDO, construction with 1,000 square feet or more of gross floor area requires approval of a CCDP. Under the adopted Design Review thresholds of the CCPDO, developments containing less than 100,000 square feet of gross floor area or less than 50 dwelling units are reviewed and approved administratively by staff on behalf of the Corporation President. A development permit may be granted if the decision-maker finds that the proposed development is consistent with the DCP, Centre City Redevelopment Plan,

CCPDO, LDC, and all other adopted plans or policies of the City or Redevelopment Agency pertaining to downtown.

The following goals and policies of the DCP should be evaluated in the context of the proposed Project:

- **Goals: Development Intensities and Incentives, and Plan Buildout**  
3.2-G-1: Target a residential population of approximately 90,000, and downtown employment of over 165,000 by 2030, to create vitality, a market for a broad array of supporting stores and services, opportunities for living close to jobs and transit, and support regional growth strategies.
- **Policies: Development Intensities and Incentives, and Plan Buildout**  
3.2-P-1: Require a minimum FAR on all development sites, as shown in Figure 3-9, avoid exceptions unless conditioned on finding of hardship, exceptional circumstances, or public health and welfare.
- **Policies: Housing**  
3.3-P-1: Establish minimum FARs to achieve city and regional goals for making downtown a major population center.  
  
3.3-P-3: Achieve a mix of housing types and forms, consistent with FAR and urban design policies.

Planned Development Permit –The Applicant is requesting deviations to the following key development regulations of the CCPDO:

1. Land use requirements of the RE District – The CCPDO requires new developments within the RE District to provide a minimum of 80 percent residential land uses and no more than 20 percent non-residential uses. The Applicant is seeking a deviation to allow 100 percent commercial use within the RE District.
2. Minimum FAR – The minimum FAR for the site is a 6.0 under the CCPDO and DCP. Deviations to the Base Minimum FAR are being requested to allow a 0.21 FAR.
3. Street Wall Height – The CCPDO requires developments to provide a minimum street wall height of 45 feet along 100 percent of the street frontage, with limited exceptions (public parks, courtyards, auto courts, etc.). The Applicant is requesting a deviation to allow a 21-foot-tall street wall and surface parking lot.



4. **Vehicular Access** – The Applicant is seeking deviations to the Vehicular Access requirements of the CCPDO, which limit the amount of curb cut to one linear foot per 500 square feet of site area. Sites of 10,000 square feet or less may double this ratio. Under the CCPDO, the Project site would be limited to a total of no more than 40 feet of curb cut. Additionally, the CCPDO requires that curb cuts serving up to 10 parking spaces be between 12 and 20 feet wide. The Applicant is proposing to utilize the existing curb cuts located along 11th Avenue and C Street, which are approximately 37 and 30 feet, respectively.

While staff does not support the requested deviations, the LDC allows an Applicant to apply for and seek approval of a PDP. The purpose of the PDP procedures is to establish a review process for development that allows an applicant to request greater flexibility from the strict application of the regulations.

Under Section 112.0103 of the LDC, projects requiring the approval of multiple permits are required to be consolidated for processing and acted upon by the highest level of authority for the consolidated application. In this case, the PDP is a Process Four and requires final approval by the City of San Diego Planning Commission (with potential appeal to the City Council).

PDP Findings –The findings for approval of a PDP listed below are evaluated to determine if the proposed deviations facilitate a project that is beneficial to the community and results in a more desirable project than could otherwise be achieved if the project were required to rigorously adhere to the development regulations.

In order to grant approval of a PDP, the following findings must be made:

1. *The proposed development will not adversely affect the applicable land use plan.*

The goals and polices of the DCP are intended to ensure that downtown develops into a high-density, mixed-use urban center. The FAR requirements of the DCP were established to ensure that the population and employment goals of the DCP can be met by future development. Approval of the Project as proposed would limit the redevelopment potential of the site which, due to its RE designation and allowable 10.0 FAR, has an extremely high residential development potential. The site could also be combined with the adjoining underdeveloped sites to the north and east to create a redevelopment project consistent with the DCP. Any proposed development project on this site would be required to comply with the goals and policies of the DCP, which require a minimum FAR on all development sites except in conditions of hardship, exceptional circumstances, or public health and welfare. The Project contains approximately 2,156 square feet of gross floor area, which equates to approximately 0.21 FAR where the

minimum FAR for the site is a 6.0 FAR. In order to meet the goals and policies of the DCP, the site will need to be redeveloped with a much higher intensity project. Therefore, the Project as currently proposed adversely affects the applicable land use plan.

2. *The proposed development will not be detrimental to public health, safety, and welfare.*

While the proposed Project will not result in any immediate negative impacts to public health, safety, and welfare of the downtown community, the current proposal to redevelop the site in this manner could lead to its being grossly underutilized for a larger period of time in conflict with the redevelopment, housing and urban development goals for downtown. In order to meet the DCP's housing goals, minimum FAR and residential requirements of the in the RE Districts were established. The approval of this Project and potentially other similar projects, could conflict with the housing needs of the downtown area.

3. *The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.*

The CCPDO contains regulations and controls pertaining to land use, density and intensity, building massing, architectural design and other development regulations, with the intent of implementing the goals and policies of the DCP. Therefore, all development downtown is required to conform to these regulations. As previously mentioned, the proposed Project does not comply with any of the land use and development regulations of the CCPDO, including those pertaining to density, intensity, street wall height, and the 80 percent residential requirement of the RE District. Implementation of the Project requires significant deviations to the regulations of the CCPDO. While the purpose of the PDP is to allow a process whereby a development may request exemptions that will result in a more desirable project design, it is not intended to permit project designs that require deviations from the vast majority of the development standards contained in the CCPDO, especially without any mitigating benefits. The proposed Project is located within the RE District of the DCP area, which requires a minimum of 80 percent residential uses and a maximum of 20 percent non-residential uses. It is also located within the East Village neighborhood, which is envisioned to become a thriving residential and mixed-use community containing the highest residential intensities downtown. The East Village also contains the largest amount of property with redevelopment potential and is anticipated to experience the most growth and considerable transformation over the next 15-20 years.

The Project is located on a site with significant redevelopment potential and is inconsistent with the provisions of the CCPDO and the goals and policies of the DCP for this area. Therefore, the construction of a new 2,156 square-foot, 23-foot-tall single-story fast-food establishment is not appropriate at the proposed location and does not result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the CCPDO.

Based on the discussion above, staff cannot support the findings required in order to grant approval of a PDP for the Project. The Applicant has provided an analysis of the findings in Attachment C to this report.

Environmental Impact: This activity is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15302 Replacement or Reconstruction (Class 2) and Section 15303 New Construction (Class 3). Class 2 applies to replacement or reconstruction of commercial structure with a new structure of substantially the same size, purpose and capacity and Class 3 applies to construction of new structures under 10,000 square feet in floor area. The project consists of the demolition and reconstruction of a new 2,156 square foot restaurant; and therefore, the Class 2 and Class 3 exemptions are applicable.

## CONCLUSION

Corporation staff must evaluate all applications relative to their consistency with the long-term goals and policies for the redevelopment of downtown. It is staff's conclusion that: 1) approval of the Project is inconsistent with the goals and policies of the DCP; and, 2) the required findings for approval of a PDP cannot be made. Therefore, staff recommends that the Commission denies CCDP/PDP No. 2011-04.

## ALTERNATIVE RECOMMENDATIONS

1. If the Commission can make the required findings for approval of the CCDP/PDP, then the Commission may approve CCDP/PDP No. 2011-04, subject to the conditions as shown in the attached Draft Permit, including:
  1. Design modifications made to include upgraded building materials with a prohibition of stucco or plaster materials.
  2. Driveway along C Street to be entrance only to avoid conflicts with narrow drive aisle adjacent to drive-thru lane (vehicle exiting site would block driveway and result in vehicles blocking sidewalk or drive aisle).
  3. Adequate stacking on-site – minimum three cars on site before menu board/order station to avoid cars queuing along C Street.

4. Minimize driveway widths of 24 feet.
  5. Installation of full street improvements consistent with the Centre City Streetscape Manual.
  6. Trash and recycling to be fully enclosed.
  7. All rooftop mechanical equipment to be screened.
  8. No pole sign shall be permitted.
2. Continue the public hearing for 45-60 days if the Commission can make the findings for approval of the CCDP/PDP with direction to the applicant to continue working on the design of the building.
  3. Approve CCDP/PDP No. 2011-04, subject to the Draft Permit and future Design Review approval by the Corporation Board of Directors.

Respectfully submitted,

  
Lucy Contreras  
Senior Planner

Concurred by:

  
Brad Richter  
Assistant Vice President, Planning

- Attachments:
- A – Project Drawings
  - B – Existing Site Photos
  - C – Applicants' Analysis of PDP Findings
  - D – FAR Maps
  - E – Jack in the Box Executive and Board of Directors List
  - F – Draft CCDP/PDP No. 2011-04



# MK9A\_SM2

## 1110 C STREET

### SAN DIEGO, CA



RELEASE: NOV 17, 2007  
 PM UPDATE: JAN 5, 2010  
 SUBMITTING DATE: 2 JUL 14, 2008  
 2 JAN 8, 2011  
 3  
 REVISIONS  
 PLIN COMMENTS  
 PLIN CHECK COMMENTS

LEGEND & ABBREVIATIONS	DEFERRED SUBMITTALS	PLANNING NOTES	SHEET INDEX (TOTAL OF 12 SHEETS)																										
<p>ALSO REFER TO LEGEND &amp; ABBREVIATIONS ON CIVIL, SITE, PLUMBING, MECHANICAL, ELECTRICAL &amp; KITCHEN DRAWINGS.</p> <p>INDICATES SHEARBALL LOCATIONS WHERE NO COMMENT OR PIPING WILL BE PERMITTED TO PENETRATE WALL OR FOP PLATE. SEE PLANS FOR ADDITIONAL NOTES.</p> <p>BATT INSULATION</p> <p>ROOF INSULATION</p> <p>CYPRESUM BOARD</p> <p>CERAMIC AND QUARRY TILE</p> <p>PLYWOOD</p> <p>CONCRETE</p> <p>MASONRY</p> <p>ASPHALTIC CONCRETE PAVING</p> <p>EARTH GRADE</p> <p>SAND BASE</p> <p>KITCHEN</p> <p>ROOM NAME</p> <p>ROOM NUMBER</p> <p>INTERIOR FINISHES</p> <p>ITEMS SUPPLIED BY OWNER</p> <p>CATEROR MATERIAL / FINISH</p> <p>CATEROR COLOR</p> <p>INTERIOR ELEVATION</p> <p>DOOR SYMBOL</p> <p>SHEARBALL / ANCHOR BOLT SYMBOL</p> <p>FOOTING SYMBOL</p> <p>DETAIL NUMBER</p> <p>SHEET NUMBER</p> <p>HALL SECTION NUMBER / ELEV NO</p> <p>SHEET NUMBER</p> <p>BLDG SECTION NUMBER</p> <p>SHEET NUMBER</p> <p>REVISION SYMBOL</p> <p>ELEVATION/DATUM MARK</p>	<p>THE FOLLOWING DOCUMENTS WILL BE SUBMITTED AT A FUTURE DATE:</p> <p>PROJECT DESCRIPTION</p> <p>THE PROPOSED PROJECT INCLUDES THE COMPLETE RENOVATION OF EXISTING 2,340 SQUARE FOOT JACK IN THE BOX RESTAURANT WITH DRIVE THRU AND CONSTRUCTION OF A NEW 2,156 SQFT JACK IN THE BOX RESTAURANT WITH DRIVE THRU.</p> <p>ON SITE WORK WILL INCLUDE LANDSCAPING, PAVING FOR THE DRIVE THRU AND WALKWAYS, NEW TRASH ENCLOSURE, AND PARKING SPACES.</p> <p>OFF SITE WORK INCLUDES INSTALLATION OF STREET TREE ALONG 11TH AVENUE.</p> <p>PROPOSED USES/ACTIVITIES THAT WILL OCCUR INSIDE THE BUILDING ARE TYPICAL RESTAURANT/FAST FOOD DINING ACTIVITIES WHICH INCLUDE PREPARATION OF FOOD, TAKE-OUT/DINE-IN TRAY TRANSACTIONS AND SEATED DINING.</p> <p>PROPOSED USES/ACTIVITIES THAT WILL OCCUR OUTSIDE THE BUILDING INCLUDE A DRIVE THRU LANE, CUSTOMER PARKING, AND TRASH PICK-UP.</p> <p>HOURS OF OPERATION ARE MONDAY-SUNDAYS 6:00AM-MIDNIGHT FOR THE DINING ROOM, AND 24 HR OPERATION FOR THE DRIVE-THRU.</p> <p>TOTAL NUMBER OF EMPLOYEES: 143        TOTAL NUMBER OF EMPLOYEES ON LARGEST SHIFT: 7</p>	<p>THE FOLLOWING ARE ARCHITECTURAL &amp; SITE REVIEW CONDITIONS:</p> <p>CONSULTANT INFORMATION</p> <p>ARCHITECT:        PM DESIGN GROUP, INC.        ROY PEDRO, ARCHITECT        4410 TAMMIE HILL RD., SUITE 220        ROCKHURST, CA 95671        PHONE: (916) 416-5336        rp40@pmdesign.com</p> <p>CIVIL ENGINEER:        TLA ENGINEERING &amp; PLANNING        P/BRICK LOCALTY CIVIL ENGINEER        1528 EURIEA ROAD, SUITE 100        ROSEVILLE, CA 95661        PHONE: (916) 746-9683        CMAA: phan@tla-inc.com</p> <p>LANDSCAPE:        MRLA        MARSHA RUTEN, LANDSCAPE ARCHITECT        101 TULSIPA CIRCLE        SANTA ROSA, CA 95405        PHONE: (707) 545-1294        marsha@mla.net</p> <p>OWNER:        JACK IN THE BOX        UNIC HOODENBROOK CONST MANAGER        8330 BALBOA AVENUE        SAN DIEGO, CA 92123        PHONE: (619) 208-9024        jackinthebox@jackinthebox.com</p>	<p>GENERAL</p> <table border="1"> <tr><td>1/10/07</td><td>TITLE SHEET</td></tr> <tr><td>2/10/07</td><td>ALTA SURVEY</td></tr> <tr><td>3/10/07</td><td>PRELIMINARY GRADING &amp; DRAINAGE PLAN</td></tr> <tr><td>4/10/07</td><td>LANDSCAPE PLAN/TIME PLAN</td></tr> <tr><td>5/10/07</td><td>LANDSCAPE CALCULATIONS</td></tr> <tr><td>6/10/07</td><td>DEMOLITION SITE PLAN</td></tr> <tr><td>7/10/07</td><td>SIC PLAN</td></tr> <tr><td>8/10/07</td><td>OVERALL FLOOR PLAN</td></tr> <tr><td>9/10/07</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>10/10/07</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>11/10/07</td><td>ROOF PLAN</td></tr> <tr><td>12/10/07</td><td>SIC SECTIONS</td></tr> </table> <p>EXHIBITS</p> <table border="1"> <tr><td>1</td><td>SIC PHOTO REAL MAP</td></tr> </table>	1/10/07	TITLE SHEET	2/10/07	ALTA SURVEY	3/10/07	PRELIMINARY GRADING & DRAINAGE PLAN	4/10/07	LANDSCAPE PLAN/TIME PLAN	5/10/07	LANDSCAPE CALCULATIONS	6/10/07	DEMOLITION SITE PLAN	7/10/07	SIC PLAN	8/10/07	OVERALL FLOOR PLAN	9/10/07	EXTERIOR ELEVATIONS	10/10/07	EXTERIOR ELEVATIONS	11/10/07	ROOF PLAN	12/10/07	SIC SECTIONS	1	SIC PHOTO REAL MAP
1/10/07	TITLE SHEET																												
2/10/07	ALTA SURVEY																												
3/10/07	PRELIMINARY GRADING & DRAINAGE PLAN																												
4/10/07	LANDSCAPE PLAN/TIME PLAN																												
5/10/07	LANDSCAPE CALCULATIONS																												
6/10/07	DEMOLITION SITE PLAN																												
7/10/07	SIC PLAN																												
8/10/07	OVERALL FLOOR PLAN																												
9/10/07	EXTERIOR ELEVATIONS																												
10/10/07	EXTERIOR ELEVATIONS																												
11/10/07	ROOF PLAN																												
12/10/07	SIC SECTIONS																												
1	SIC PHOTO REAL MAP																												
	<p>VICINITY MAP</p> <p>SITE LOCATION</p> <p>NORTH</p>	<p>PROJECT INFORMATION</p> <p>OWNER: JACK IN THE BOX, INC.</p> <p>BUILDING ADDRESS: 1110 C STREET</p> <p>LEGAL JURISDICTION: SAN DIEGO, CA</p> <p>APN NUMBER: 534-193-05-000</p> <p>PLANNING ZONE: CCPD-W</p> <p>MUNICIPAL CODES: 2007 C.E.C., 2001 C.P.E., 2001 C.H.E., 2002 C.E.C., 2007 C.F.E. AND ALL APPLICABLE LOCAL AND STATE LAWS AND REGULATIONS</p> <p>USE/OCCUPANT: A-2 / RESTAURANT</p> <p>CONSTRUCTION TYPE: 1-9</p> <p>EXISTING BUILDING AREA: 2,340 S.F. TO BE DEMOLISHED</p> <p>PROPOSED BUILDING AREA: 2,156 S.F.</p> <p>TOTAL SITE AREA: 18,038 S.F.</p> <p>LANDSCAPE PROVIDED: 1,085 S.F.</p> <p>SEATING: 34 SEATS (INDOOR)</p> <p>YEAR BUILT: 1985</p> <p>LEGAL DESCRIPTION: LOTS 17' AND 17' IN BLOCK 24, OF HORIZON'S ADDITION IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 389, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY</p> <p>PARKING REQUIRED: PROJECTS UNDER 30,000 SQ.FT. EXCEPT PER FOOD</p> <p>PARKING PROVIDED: 8 SPACES + 1 HANDICAP SPACE = 9 SPACES</p> <p>HOURS OF OPERATION: 6:00 AM TO MIDNIGHT FOR DINING AREA 24 HR OPERATION FOR DRIVE-THRU</p> <p>FLOOR AREA RATIO: REQUIRED MINIMUM 0.25 MAXIMUM 1.0 PROVIDED 0.215</p>																											

LEGAL DESCRIPTION:

LOTS 1' AND 7', IN BLOCK 24, OF HORTON'S ADDITION BY L.L. LOCKING IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA RECORDED IN DB 13, PAGE 522

OWNER:

TITLE TO SAID ESTATE OR INTEREST, VESTED IN: VICTORIA LAND PARTNERS, LP, A CALIFORNIA LIMITED PARTNERSHIP

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY, IS THE SOUTHERLY OFFSET LINE OF BLOCK 24 AS SHOWN ON RECORD OF SURVEY NO. 12388 N 89°51'28" W

BENCHMARK:

CITY OF SAN DIEGO: NORTHWEST BRASS PLUG 10TH AVENUE & C STREET ELEVATION = 77.100 (MEAN SEA LEVEL - NGVD 29 DATUM)

UTILITY COMPANIES:

- SEWER: CITY OF SAN DIEGO 9192 TOPAZ WAY SAN DIEGO, CA. 92123 858.292.6300
WATER: CITY OF SAN DIEGO 800 87 STREET SAN DIEGO, CA. 92101 619.515.3500
GAS/ELECTRIC: SAN DIEGO GAS & ELECTRIC COMPANY 101 ASH STREET SAN DIEGO, CA. 92101 949.361.8000
TELEPHONE: A. T. & T. SAN FRANCISCO, CA. 800.791.5661

LEGEND:

Table with 3 columns listing symbols for AC PAVING, CONCRETE PAVING, LIGHT STANDARD, WATER METER, WATER VALVE, ELECTRIC TRANSFORMER, SEWER MANHOLE, SEWER CLEANOUT, STREET LIGHT, ELECTRIC CABINET BOX, LADDER, GAS METER, CAPPED GAS LINE, FOUND MONUMENT, PROPERTY LINE, AC TOP OF CURB, FINISH SURFACE, FLOW LINE, COLUMN, GUARD POST, BROKEN GUARD POST, FIRE HYDRANT, ELECTRIC HANDHOLE, TRAFFIC SIGNAL BOX, BACK FLOW PREVENTOR, SIGN POLE, MENU SIGN, DRIVE THRU CLEARANCE, SPOT ELEVATION, GAS LINE FROM RECORD DRAWINGS, WATER LINE FROM RECORD DRAWINGS, TREE.

EASEMENT NOTES:

THERE ARE NO EASEMENTS LISTED OF RECORD

NOTES:

- 1. TITLE REPORT BY: FIRST AMERICAN TITLE INSURANCE COMPANY ORDER NO. NCS-42B459-SA1 DATED: FEBRUARY 7, 2010
2. A.P.N.: 534-193-05
3. ZONING: COPD-R
4. FLOOD ZONE: ZONE X, FEMA CODE 181 FEMA PANEL 1884 F, DATED 8/19/1997 (AS OF THE DATE OF THIS SURVEY)

SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED, WERE MADE IN ACCORDANCE WITH THE HANDBOOK STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS...

DALE C. GROSS DATE PLS 7632

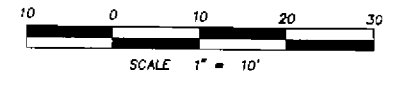
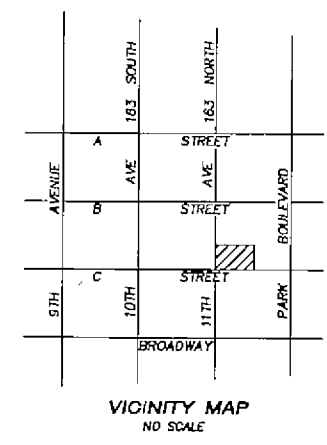
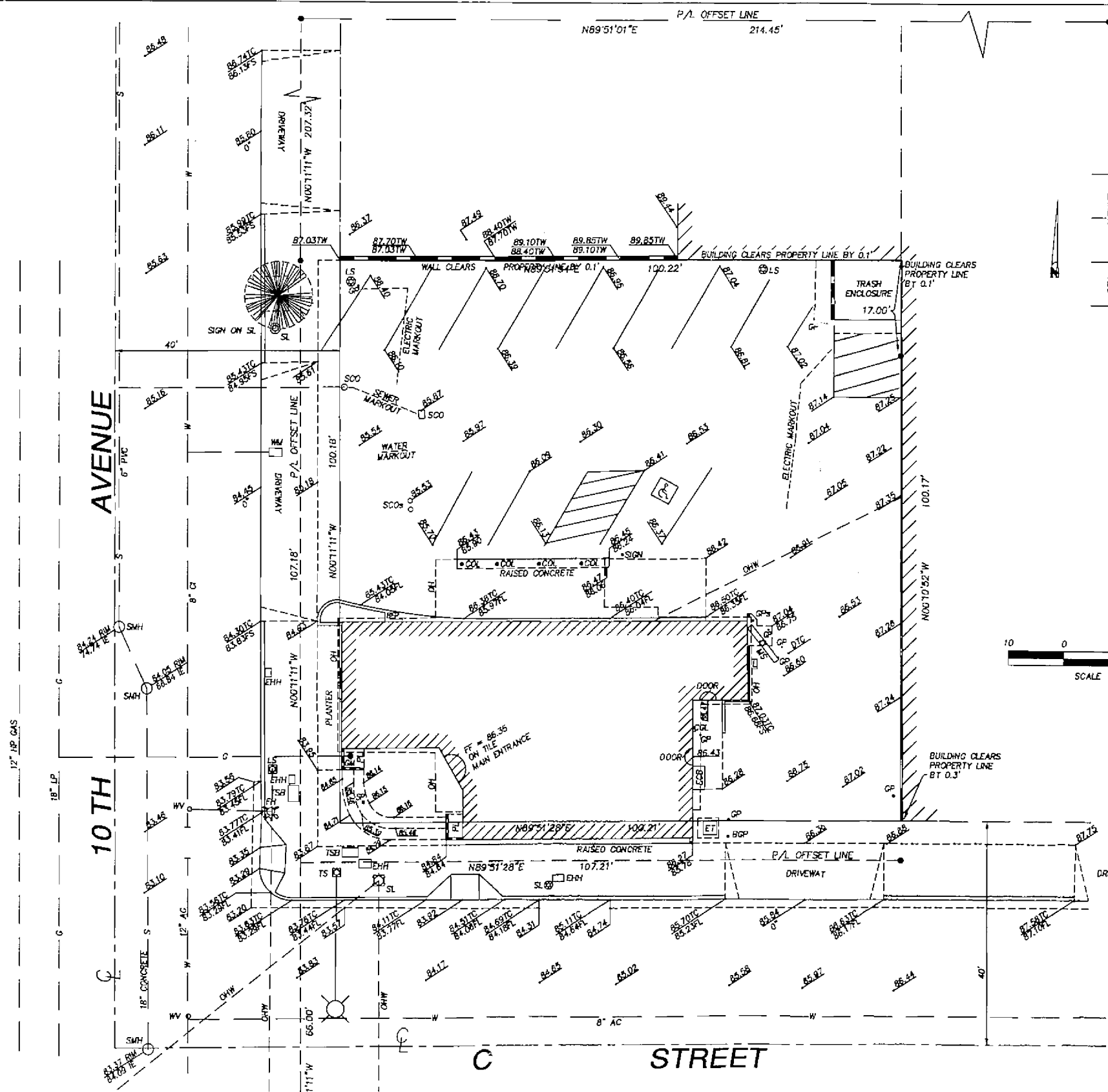
DATE: MARCH 1 2010
DRAWN BY: DCG
PROJECT NO: 10006
SCALE: 1" = 10'



HALE ENGINEERING CIVIL ENGINEERING - SURVEYING - LAND PLANNING

7910 CONVOY COURT SAN DIEGO, CA. 92111 (858) 715-1420 (858) 715-1424 FAX

ALTA/ACSM LAND TITLE SURVEY JACK IN THE BOX #31 1110 'C' STREET SAN DIEGO, CALIFORNIA



UTILITY NOTE:

THE LOCATIONS OF THE EXISTING UTILITIES HAVE BEEN DERIVED FROM SURFACE EVIDENCE, RECORD DRAWINGS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES. HALE ENGINEERING ACCEPTS NO LIABILITY FOR THE EXISTENCE OR NONEXISTENCE OF UTILITIES. THE LOCATIONS MUST BE CONFIRMED PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

JIB #31

HALE ENGINEERING JOB NO. 10006

**LEGEND**

EXISTING SPOT ELEVATIONS	FIN. BACK OF WALL	CONC. CONCRETE SURFACE
PROPOSED ELEVATION	FIN. HIGH POINT	FIN. TOP OF WALL
DIRECTION OF DRAINAGE FLOW	EXISTING	OF CURB FACE
SANICUT	FL FLOOR LINE	
PROPERTY LINE	FIN. FINISHED FLOOR SLAB	
GRADE BREAK	FIN. FINISHED GRADE	
	E FINISH ELEVATION	
NEW CONCRETE PAVEMENT	FIN. EDGE OF WALK OR CUTTER	
STEP WALL FOUNDATION	TS TOP OF SLAB	
	CG GRADE BREAK	
	AC ASPHALT PAVEMENT	
	TC TOP OF CURB	
	CO CLEAN-OUT	

**KEY NOTES**

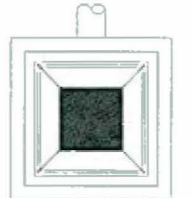
- 21 ASPHALT PAVEMENT
- 22 CONCRETE PAVEMENT
- 23 CONCRETE SIDEWALK
- 24 CONCRETE CURB
- 25 TAPERED CONCRETE CURB
- 26 LANDSCAPE B&A
- 27 BRUSH ENCLOSURE
- 28 ROOF DRAIN CONCRETE SHALE
- 29 B&A OF WORK / CONFORM
- 30 CONCRETE WHEEL STOP
- 31 ACCESSIBLE PARKING SPACE, 2% MAX CROSS-SLOPE
- 32 STEP WALL FOUNDATION
- 33 CONC. WALKER CUTTER

**SPECIFIER CHART**

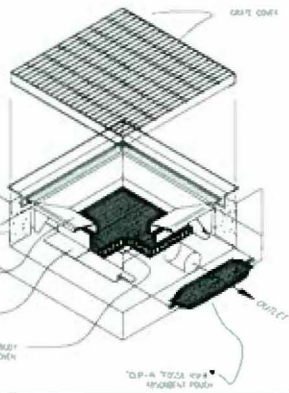
MODEL	CATCH BASIN	GRID	GRID	GRID	TOTAL INHOLD CAPACITY CONC. FEET	TOTAL INHOLD CAPACITY CONC. FEET
F04040	16" x 16"	81	81	14		

**NOTES:**

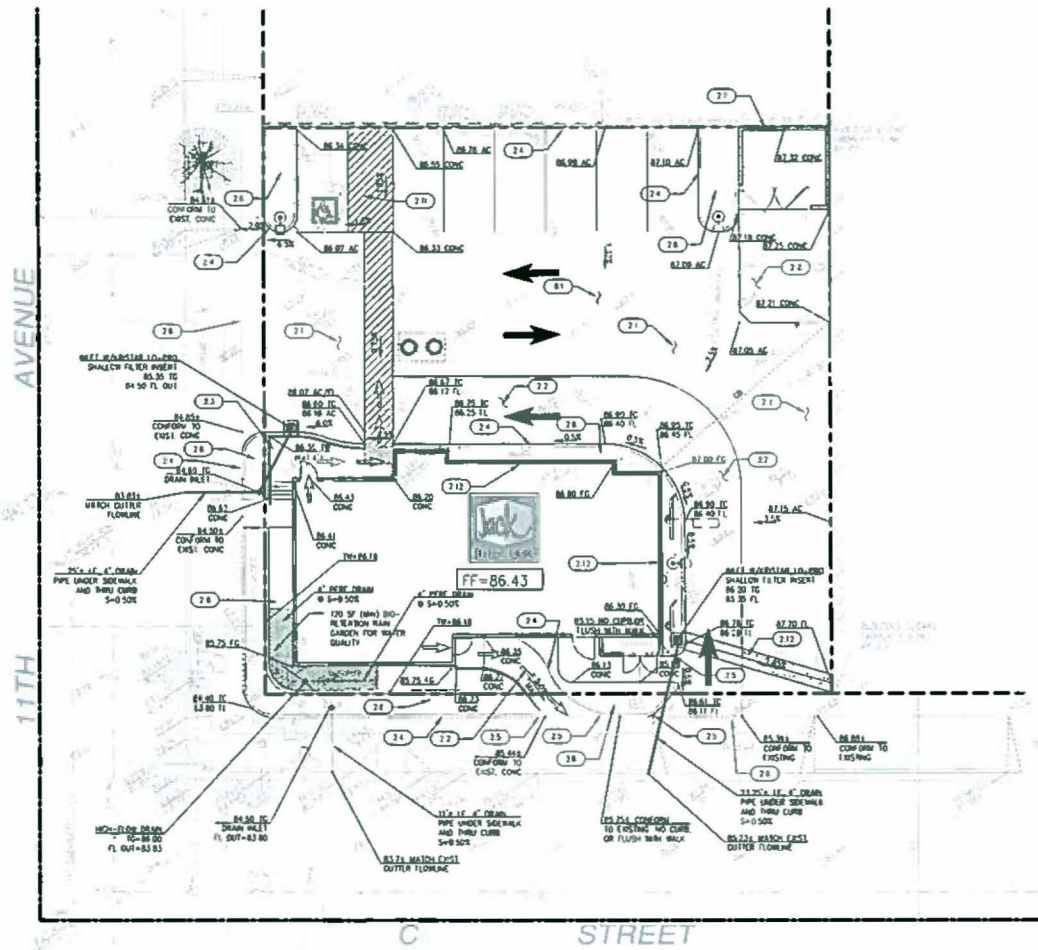
1. Inlet boxes & bypass and baffle shall be constructed from stainless steel Type 304.
2. Mesh filter element is constructed from durable polypropylene woven mesh/substrate (polyethylene surrounding a polypropylene mesh substrate). Filter element shall not allow the retention of water between storm events.
3. Filter inserts are supplied with "zip-it" filter pouches utilizing basal rock™ filter medium for the collection and retention of petroleum hydrocarbons (oil & grease).
4. FiloQuest® LoPro™ filter inserts and basal rock™ filter medium pouches must be established in accordance with manufacturer recommendations.
5. Device requires a minimum catch basin depth of 6.50' beneath grate. See sheet 2 of 2.
6. Additional inlets are limited to one only with a 6" diameter maximum, and to a wall opening or a right angle to outlet. See detail A.



**DETAIL A**  
SECTIONAL A-2/3  
SCALE: 1/4"



**DETAIL B**  
SECTIONAL B-1/2  
SCALE: 1/4"



**PRELIMINARY GRADING AND DRAINAGE PLAN**

SCALE: 1" = 10'



**DESIGN ARCHITECTURE ENGINEERING**

6130 BARBON BLVD  
SAN DIEGO, CA 92121

© 2007 Jack in the Box Inc.

These drawings, designs, and specifications are the property of Jack in the Box Inc. and shall not be copied or reproduced in any form without the written consent of the owner. These drawings are intended for the use of the contractor and shall not be used for any other purpose without the written consent of the owner. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations. The contractor shall be responsible for obtaining all necessary permits and for complying with all applicable laws and regulations.

**DATES**

RELEASE: NOV 17, 2003  
P&I UPDATES: JAN 13, 2010  
SUBMITTAL DATE:  
1: 11/15/2010  
2:  
3:  
REV.  
CONSTRUCTION

**REVISIONS**

▲  
▲  
▲  
▲  
▲

**PM design group Architects**

4401 Foothill Blvd, Suite 100  
Cost Mesa, CA 92626  
Ph: (714) 415-5308  
www.pmdesigngroup.com  
P. 1000000001

**SITE INFORMATION**

JOB TYPE: 22 - NEW - 08-11  
JOB #: 00011  
ADDRESS:  
1110 C STREET  
SAN DIEGO CA

DRAWN BY:  
PROJECT: 00110001  
SCALE: 1"=10'-0"

**PRELIMINARY GRADING PLAN**

**3 of 12**

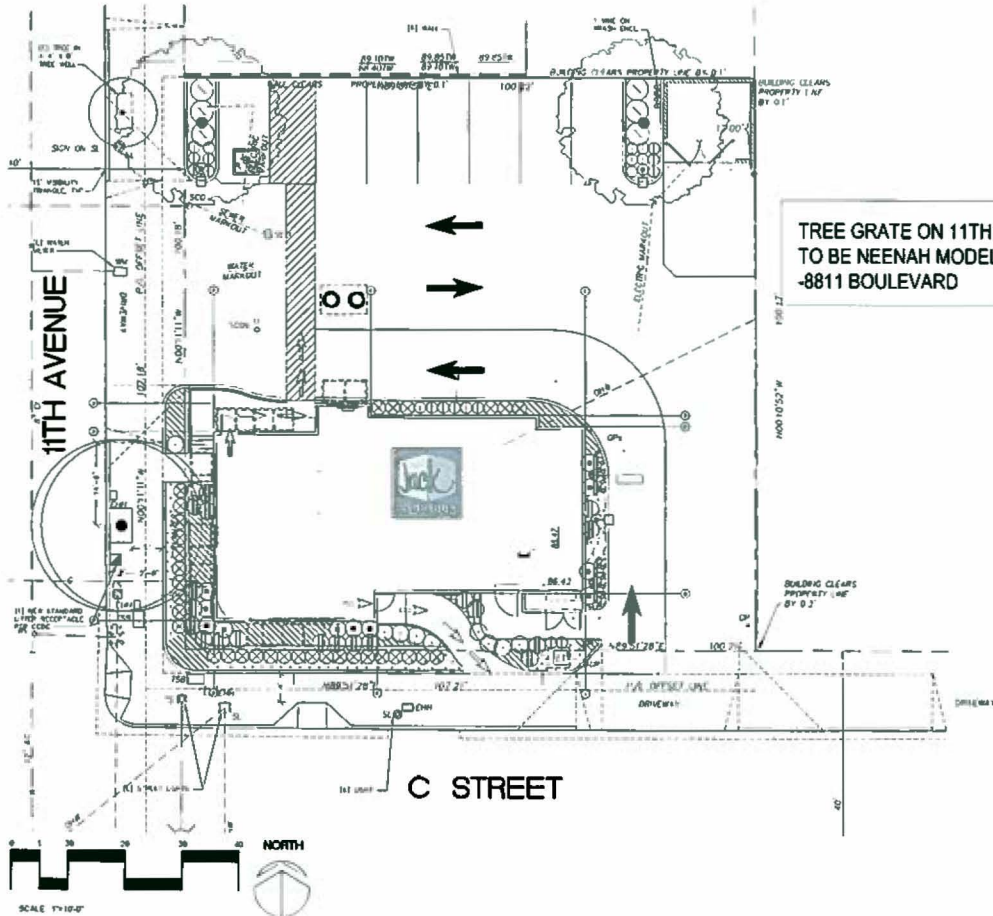


**FiloQuest® LoPro™**  
SHALLOW CATCH BASIN FILTER  
INSERT

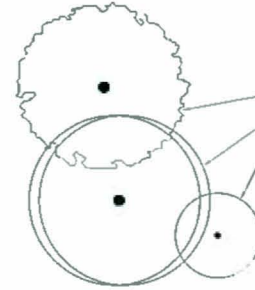


**KriStar Enterprises, Inc.**  
300 Shelton Place, Suite 1000, CA 94107  
Ph: 800.878.8818, Fax: 707.824.8100, www.kristar.com

FG-IP-0001 C



TREE GRATE ON 11TH AVE  
TO BE NEENAH MODEL  
-8811 BOULEVARD



**PLANTING LEGEND (MATRIX)**

SYMBOL	QTY	PLANT	APPROX. NAME	HEIGHT	SPACING
●	1	NEENAH	NEENAH	10'	10' x 10'
○	1	PHORUM	PHORUM	2'	2' x 2'
○	1	HEMEROCALLIS	HEMEROCALLIS	2'	2' x 2'
○	1	HELICTOTRICHON	HELICTOTRICHON	2'	2' x 2'
○	1	KOBELEVENTERA	KOBELEVENTERA	10'	10' x 10'
○	1	COLEONEMA	COLEONEMA	2'	2' x 2'
○	1	JANPENS	JANPENS	2'	2' x 2'
○	1	ACAPANTHUS	ACAPANTHUS	2'	2' x 2'
○	1	JACARANDA	JACARANDA	10'	10' x 10'
○	1	MANGRO	MANGRO	2'	2' x 2'



PHORUM



HEMEROCALLIS



HELICTOTRICHON



KOBELEVENTERA



COLEONEMA



JANPENS



JACARANDA



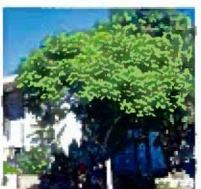
MANGRO



JANPENS



ACAPANTHUS



JACARANDA



MANGRO

**DESIGN + ARCHITECTURE + ENGINEERING**

3533 BALBUENA AVENUE  
SAN DIEGO, CA 92122

© 2007 Jack in the Box Inc.

**DATE**

RELEASE: NOV 12, 2007

P.M. UPDATES: APR 5, 2010

SUBMITTAL DATE:

1: JUL 6, 2010

2:

3:

**REVISIONS**

△

△

△

△

△

**MRLA**

MIRANDA RAMOS LANDSCAPE ARCHITECT

101 YULIUS ERNEST DRIVE  
SANTA ROSA, CALIFORNIA 95405



**PM Group Architects**

4700 Camino del Rio South  
Suite 700  
San Diego, CA 92108

PH: (619) 475-3354

www.pmgrouppa.com

**SITE INFORMATION**

NO. 100 02L 001-001

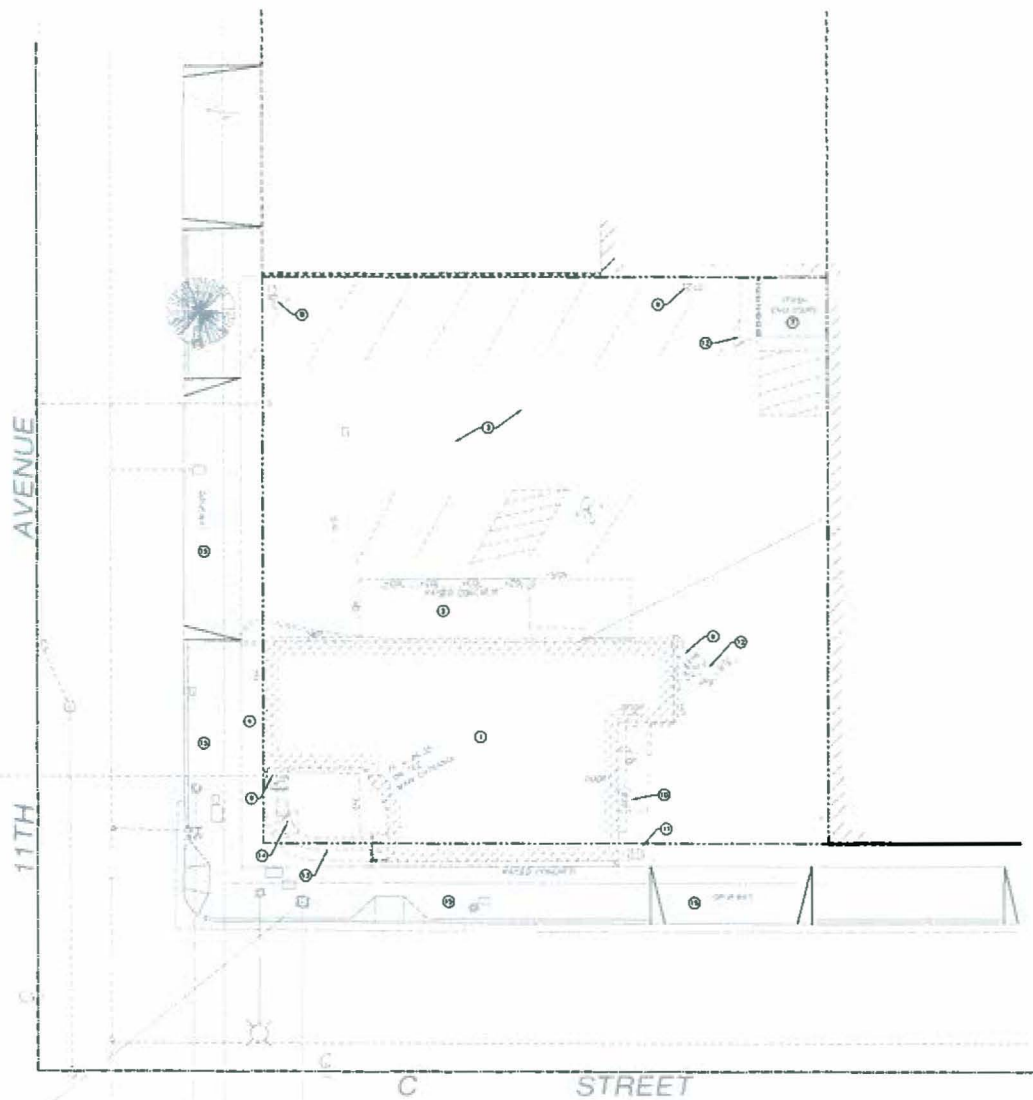
ADDRESS  
1110 C STREET  
SAN DIEGO, CA

**LANDSCAPE PLANTING PLAN**

4 OF 12







**DEMOLITION PLAN NOTES**

- 1 DEMOLISH EXISTING BUILDING AND DRIVE THRU ABANDON. PROTECT EXISTING UTILITIES IN PLACE.
- 2 DEMOLISH EXISTING CONCRETE PAVING AND DRIVEWAYS.
- 3 DEMOLISH EXISTING PARKING LOT AS REQUIRED FOR NEW LAYOUT.
- 4 DEMOLISH EXISTING LANDSCAPE AREA AND/OR TREES.
- 5 DEMOLISH EXISTING PARKING LOT LIGHT STANDARDS.
- 6 NOT USED.
- 7 DEMOLISH EXISTING TRASH ENCLOSURE.
- 8 DEMOLISH EXISTING SPEAKER BOUND. PROTECT ELECTRICAL.
- 9 EXISTING GAS METER TO BE REMOVED. GAS LINE TO BE REDIRECTED TO NEW GAS METER LOCATION.
- 10 EXISTING ELECTRICAL SWITCH GEAR TO BE REMOVED AND LINES TO BE REDIRECTED TO NEW ELECTRICAL LOCATION.
- 11 EXISTING TRANSFORMER TO REMAIN. PROTECT DURING CONSTRUCTION.
- 12 DEMOLISH ALL EXISTING GUARD POSTS.
- 13 EXISTING TRIPS TO BE DEMOLISHED.
- 14 EXISTING POLE SIGN TO BE DEMOLISHED.
- 15 EXISTING DRIVEWAYS AND SIGNALS TO REMAIN.



**DESIGN • ARCHITECTURE • ENGINEERING**

8330 BALBOA AVENUE  
SAN DIEGO, CA 92123

© 2007 Jock in the Box Inc.

These drawings, specifications and schedules are the property of Jock in the Box Inc. All rights reserved. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Jock in the Box Inc.

**DATES**

RELEASE: NOV 12, 2001

P & UPDATE: JAN 3, 2010

SUBMITAL DATE:

1: JULY 16, 2009

2: JULY 8, 2011

3:

BY:

CONSTRUCTION:

**REVISIONS**

△	PLAN COMMENTS
△	
△	
△	
△	
△	

**pm design**  
**group**  
Architects

4070 Torrey Hill Rd Suite 220  
SOLICHT CA 92167  
PH: (619) 415-2266  
FAX: (619) 415-2266  
www.pmdesign.com

**SITE INFORMATION**

DR TYPE: SA\_S42-OP31

JOB #: 0031

ADDRESS:  
1110 C STREET  
SAN DIEGO, CA

DRAWN BY:

PROJECT #: 0910007

SCALE:

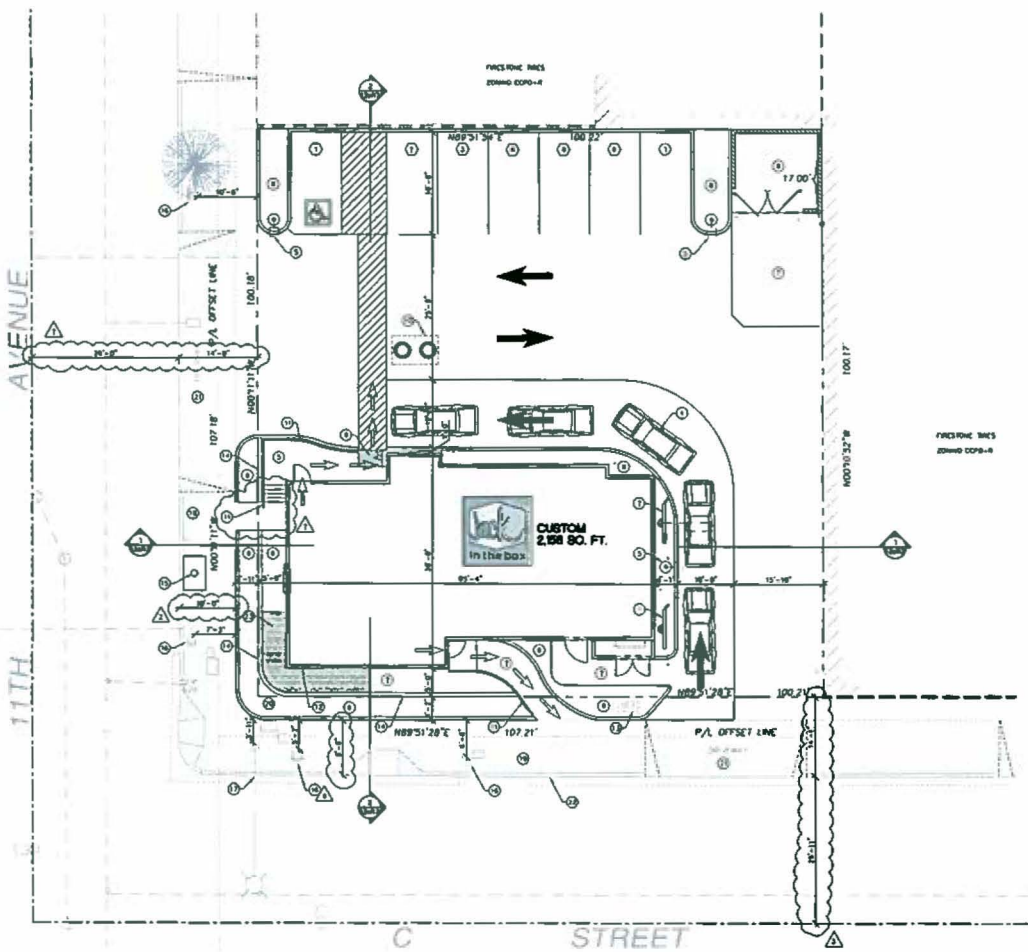
DATE: \_\_\_\_\_  
 RELEASE: NOV 17, 2007  
 P.M. UPDATE: JAN 3, 2010  
 SUBMITAL DATE: \_\_\_\_\_  
 1. JUL 14, 2010  
 2. JULY 8, 2011  
 3. \_\_\_\_\_  
 4. \_\_\_\_\_  
 5. \_\_\_\_\_

REVISIONS

PLAN COMMENTS

PLAN REVISIONS

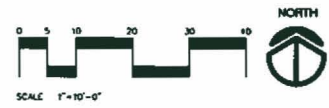
REVISIONS



REPRESENTS ADA PATH BY SYMBOL

**SITE PLAN NOTES**

- 1) WALK BOARD, SEE DETAIL 1/2007
- 2) SPEAKER SIGNAL, SEE DETAIL 2/2007
- 3) CONCRETE SIDEWALK
- 4) DRIVE-THRU CAR STACKING (3) CAR SPACES
- 5) NEW PARKING LIGHT STANDARD (TOP OF 3)
- 6) CAR WASH ENCLOSURE
- 7) CONCRETE WALKWAY FOR TRASH ENCLOSURE
- 8) NEW LANDSCAPE TO BE INSTALLED SEE LANDSCAPE PLAN
- 9) DETECTABLE WARNING (6) PLACEMENT BOMBS
- 10) 1000 GAL. GREASE INTERCEPTOR
- 11) HAMBRAH
- 12) PROVIDE SIGNALING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET ON ROAD FRONTING THE PROPERTY PER SDPS POLICY P-88-2. (REF. SHEET 4) SEE CLEARANCE ON SHEET 5 OF 13.
- 13) EXISTING ELECTRICAL TRANSFORMER
- 14) RETAINING WALL WITH LANDSCAPE ABOVE AND BELOW MONKEY HALL AT 810 RETENTION AREA. LOWER TAPPED WALL OUTSIDE 810 RETENTION AREA. SEE CIVIL DRAWINGS FOR MORE INFORMATION.
- 15) NEW STREET TREES, SEE LANDSCAPE PLAN
- 16) EXISTING STREET LIGHT
- 17) EXISTING SIGNAL LIGHT
- 18) EXPOSED AEROSOL SIDEWALK PER CENTRE CITY STREETSCAPE MANUAL
- 19) SIDEWALK PER CENTRE CITY STANDARDS
- 20) ALL STREET IMPROVEMENTS PER CENTRE CITY STANDARDS
- 21) REPLACE EXISTING DRIVEWAYS WITH CURRENT CITY STANDARD DRIVEWAYS
- 22) REPLACE ALL DAMAGED CURB AND CUTTER ALONG C STREET
- 23) 810 RETENTION AREA, SEE CIVIL DRAWINGS FOR MORE INFORMATION



**SITE INFORMATION**

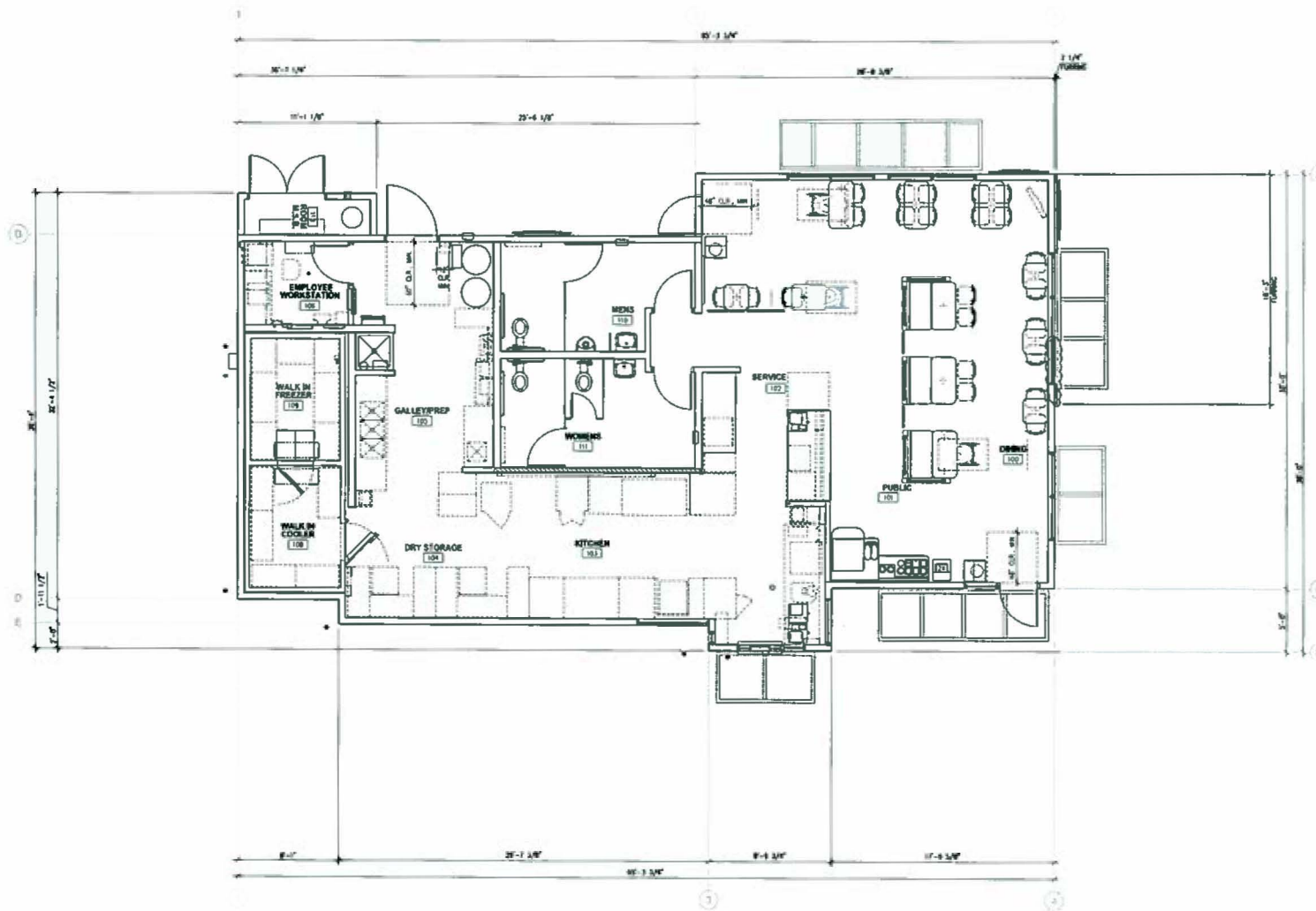
JOB TYPE: SA-SM7-OP PL

JOB #: 0031

ADDRESS: 1110 C STREET, SAN DIEGO, CA

DRAWN BY: \_\_\_\_\_  
 PROJECT #: 0810001  
 SCALE: 1"=10'-0"

**SITE PLAN**



DESIGN ARCHITECTURE  
ENGINEERING

8330 BALBOA AVENUE  
SAN DIEGO, CA 92123

© 2007 Jack in the Box Inc.

These drawings, drawings and specifications are the property of Jack in the Box Inc. and shall not be copied or reproduced without the express written consent.

These drawings are intended to be used in connection with the construction of the building shown on the drawings and are not to be used for any other purpose. The drawings are not to be used for any other purpose without the express written consent of the architect.

**DATES**

RELEASE: NOV. 12, 2003  
P.M. UPDATES: JAN. 9, 2010  
SUBMITTAL DATE:  
1. JULY 14, 2010  
2. JULY 8, 2011  
3.

**REVISIONS**

△ PLAN COMMENTS

△

△

△

△

△

**PM group design**  
Architects

4170 TORRES HEBS 10th Fl  
PO BOX 111111  
SAN DIEGO, CA 92111  
SAN DIEGO, CA 92111

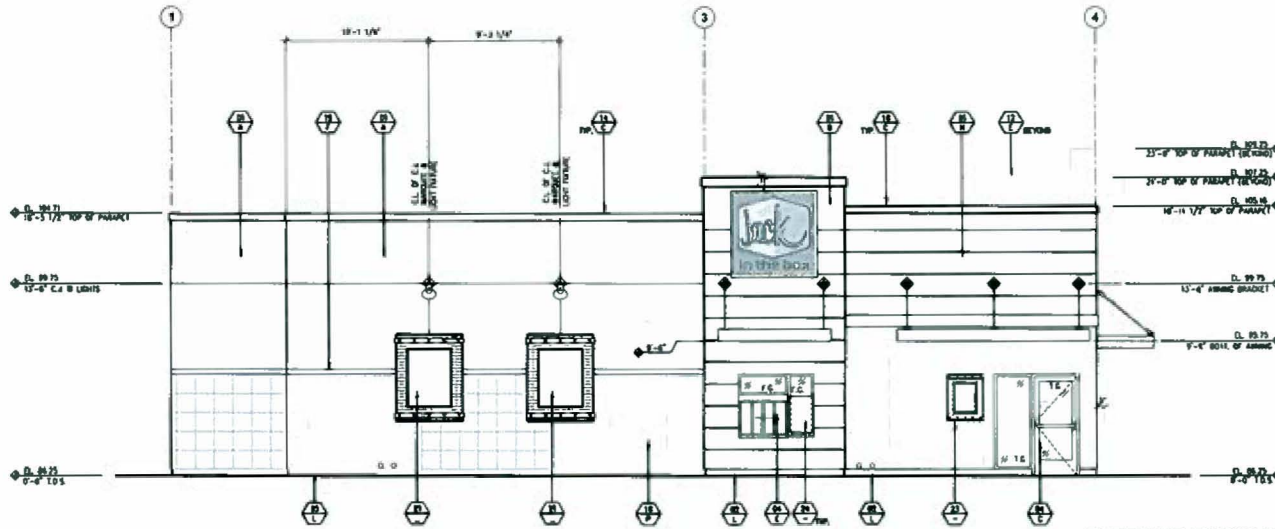
**SITE INFORMATION**

MS TYPE: SA-Sm2-DP-11  
JOB #: 0031  
ADDRESS:  
1110 C STREET  
SAN DIEGO, CA

DRAWN BY:  
PROJECT #: JH10007  
SCALE: 1/4"=1'-0"

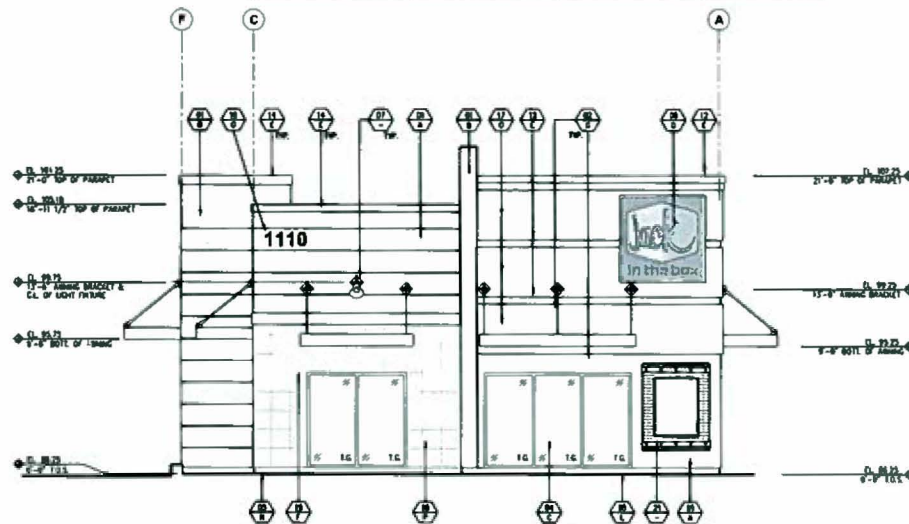
**FLOOR PLAN**

8 of 12



**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH SCHEDULE**

USE CHECKED BOX ONLY

MATERIAL/FINISH COLOR  ANTI-GRAFFITI COATING: DIAMOND CPUB47 GRAFFITI BARRIER COAT BY DIAMOND CHEMICALS INC. (212) 869-6350 COLOR: CLEAR

**MATERIAL/FINISH:**

- 01 EXTERIOR CEMENT PLASTER - SMOOTH FLOAT FINISH
  - INTEGRAL COLOR
  - THEROPLASTIC ELASTOMERIC: #400, FINE TEXTURE
- 02 METAL RIRNING W/ SUPPORT (BY SIGN CONTRACTOR)
- 03 GREASE / OIL SYSTEM BOX
- 04 ALUMINUM STOREFRONT SYSTEM
  - 1" CLEAR INSULATED GLASS
  - 1" CLEAR INSULATED GLASS W/ SOLARBAN 80 COATING
  - 1/4" CLEAR GLASS
  - ANTI-GRAFFITI FILM
- 05 EXTERIOR CEMENT 7 PLASTER FINISH COAT OVER CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE (O.F.O.T. HOE A PART OF THIS PERMIT)
- 07 WALL MOUNTED LIGHT FIXTURE
- 08 HOZ USED
- 09 HOZ USED
- 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
- 11 MAIN ELECTRICAL SERVICE
- 12 ALUMINUM COPING
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 GALVANIZED METAL COPING
- 15 CO2 FILL BOX METAL COVER
- 16 PRE-MANUFACTURED COOLER/FREEZER BOX W/ TEX-COAT 600 TEXTURE COATING, FINE FINISH
- 17 "ALCOA" ALUMINUM PANELS
- 18 SLATE TILE
- 19 2x4 TRIM WITH CEMENT PLASTER FINISH
- 20 DECORATIVE REVEAL, SCORED, ALL OUTSIDE CORNERS TO BE INTERED
- 21 DISPLAY POSTER PANEL
- 22 WATER HEATER FLUE
- 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
- 24 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL

**COLOR:**

- A COLOR TO MATCH SHERWIN WILLIAMS SW 7037 "BALANCED BEIGE"
- B SHERWIN WILLIAMS SW 6326 "FIREWOOD"
- C STANDARD STOREFRONT; #33 BLACK ANODIZED
- D WHITE TEXT ON RED BACKGROUND
- E ALCOA ANODIZED CLEAR
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G COLOR TO MATCH SHERWIN WILLIAMS SW 6990 "CAVARI"
- H NR FINISH ALUMINUM
- I SHERWIN WILLIAMS A-100 EXTERIOR GLOSS LATEX SW 7074 "SOFTWARE" (PART ALL SIDES OF DOOR)
- J SHERWIN WILLIAM EXTERIOR ACCENTS COLOR: SW 6990 "CAVARI"
- K NATURAL CONCRETE, GRAY
- L STAINLESS STEEL
- M COLOR TO MATCH SHERWIN WILLIAMS SW 2813 "DOWNING STRAW"
- O ALCOA "CARPET GREY"
- P DALTRIE, SLATE COLLECTION, "BRAZIL BLACK", 16116

**DESIGN ARCHITECTURE ENGINEERING**  
 4320 BALBOA AVENUE  
 SAN DIEGO, CA 92123  
 © 2007 Jack in the Box Inc.

These drawings, drawings and specifications are the property of Jack in the Box Inc. and shall not be printed, reproduced, copied, or otherwise used without the written consent of Jack in the Box Inc.

These drawings are prepared in accordance with the Building Code of the City of San Diego and the Building Code of the State of California. Any use of these drawings for any other purpose without the written consent of Jack in the Box Inc. is prohibited. Any use of these drawings for any other purpose without the written consent of Jack in the Box Inc. is prohibited.

**DATES**  
 RELEASE: NOV 17, 2007  
 P.M. UPDATES: JAN 3, 2010  
 SUBMITAL DATE:  
 1 JULY 16, 2010  
 2 JULY 8, 2011  
 X  
 BY:  
 CONSULTOR:

**REVISIONS**

▲ PLAN COMMENTS

▲  
 ▲  
 ▲  
 ▲  
 ▲

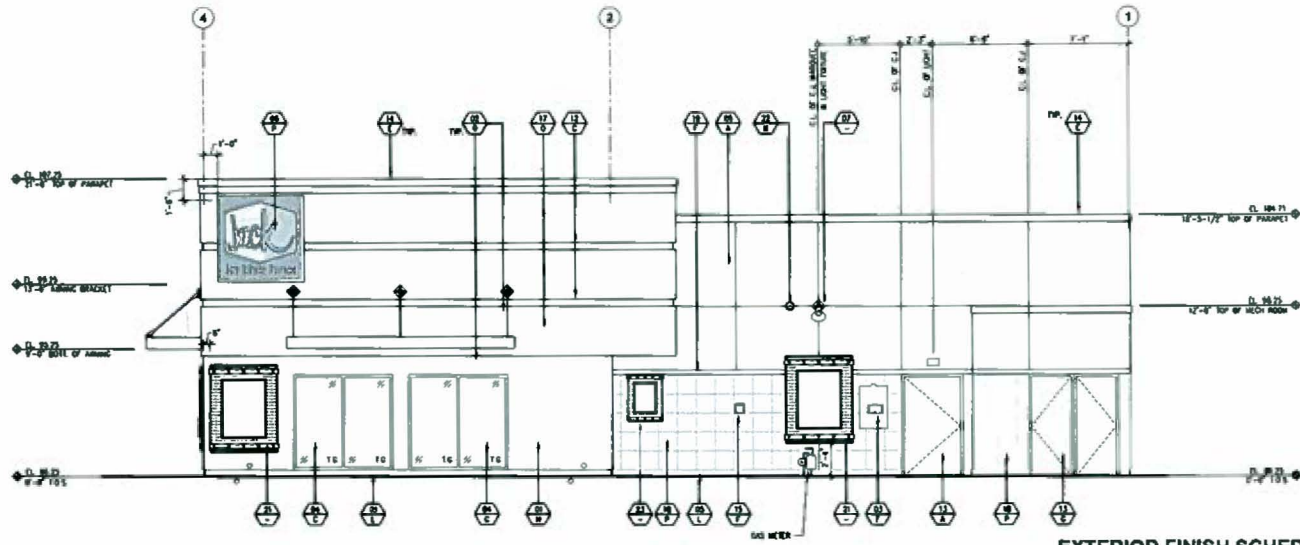
**PM Design Architects**  
 4470 Torrey Hills Rd. Suite 120  
 BOULDER CO 80507  
 PH: (970) 445-5338  
 www.pmdesignarch.com  
 AIA License #100000000

**SITE INFORMATION**  
 BK TYPE: SA, SA2-OPT1  
 JOB #: 00331  
 ADDRESS:  
 1110 C STREET  
 SAN DIEGO, CA

DRAWN BY:  
 PROJECT #: 0910007  
 SCALE: AS SHOWN

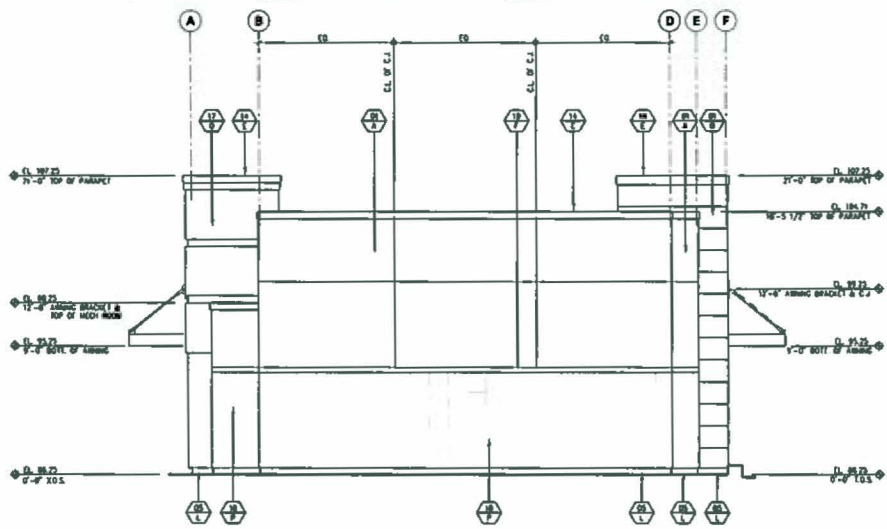
**EXTERIOR ELEVATIONS**

**9 of 12**



**SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



**EAST ELEVATION**

SCALE: 1/4" = 1'-0"

**NOTE:**  
SEE SHEET 6&D FOR ADDITIONAL  
EXTERIOR FINISH INFORMATION AND  
DETAILS (TYP.)

**EXTERIOR FINISH SCHEDULE**

USE CHECKED BOX ONLY

**MATERIAL/FINISH**  ANTI-GRAFFITI COATING: DUMOND OPU-67 GRAFFITI BARRIER COAT BY DUMOND CHEMICALS INC. (212) 869-8356  
COLOR: CLEAR

- MATERIALS/FINISHES:**
- 01 EXTERIOR CEMENT PLASTER - SMOOTH FLOAT FINISH
    - INTEGRAL COLOR
    - THOROLASTIC ELASTOMERIC #400, FINE TEXTURE
  - 02 METAL FINISH & SUPPORT (BY SIGN CONTRACTOR)
  - 03 GREASE / OIL SYSTEM BOX
  - 04 ALUMINUM STOREFRONT SYSTEM
    - 1" CLEAR INSULATED GLASS
    - 1/4" CLEAR GLASS
    - 1" CLEAR INSULATED GLASS W/ SOLARBAN 60 COATING
    - ANTI-GRAFFITI FILM
  - 05 EXTERIOR CEMENT PLASTER FINISH COAT OVER CONCRETE CURB
  - 06 INTERNALLY ILLUMINATED SIGNAGE (O.F. 01, NOT A PART OF THIS PERMIT)
  - 07 WALL MOUNTED LIGHT FIXTURE
  - 08 NOT USED
  - 09 NOT USED
  - 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
  - 11 MAIN ELECTRICAL SERVICE
  - 12 ALUMINUM COPING
  - 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
  - 14 GALVANIZED METAL COPING
  - 15 CO2 FILL BOX METAL COVER
  - 16 PRE-FABRICATED COOLER/FREEZER BOX W/ BEX-COAT 600 TEXTURE COATING, FINE FINISH
  - 17 "ALCOA" ALUMINUM PANELS
  - 18 SLATE TILE
  - 19 2x4 TRIM WITH CEMENT PLASTER FINISH
  - 20 DECORATIVE REVEAL, SCROED, ALL OUTSIDE CORNERS TO BE MITERED
  - 21 DISPLAY POSTER PANEL
  - 22 WATER HEATER FLUE
  - 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
  - 24 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL

- COLOR:**
- A COLOR TO MATCH SHERWIN WILLIAMS: SW 7037 "BALANCED BEGE"
  - B SHERWIN WILLIAMS: SW 6326 "THREWEED"
  - C STANDARD STOREFRONT, #33 BLACK ANODIZED
  - D WHITE TEXT ON RED BACKGROUND
  - E ALCOA ANODIC CLEAR
  - F COLOR TO MATCH ADJACENT SURFACE
  - G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVARR"
  - H 122 FINISH ALUMINUM
  - J SHERWIN WILLIAMS A-100 EXTERIOR GLOSS LATEX: SW 7074 "SOFTWARE" (PAINT ALL SIDES OF DOOR)
  - X SHERWIN WILLIAMS EXTERIOR ACCENTS COLOR: SW 6990 "CAVARR"
  - L NATURAL CONCRETE, GRAY
  - M STAINLESS STEEL
  - N COLOR TO MATCH SHERWIN WILLIAMS: SW 2813 "DOBBING STRAW"
  - O ALCOA, "CADEY GREY"
  - P DAL'TILE, SLATE COLLECTION, "BRAZIL BLACK", 16X16

**DESIGN ARCHITECTURE ENGINEERING**

8330 OAKBROOK AVENUE  
SAN DIEGO, CA 92123

© 2007 Jack in the Box Inc.

These drawings, including the specifications, are the property of Jack in the Box Inc. and shall not be copied, reproduced, or used in any way without the express written consent of the owner.

These drawings are intended to be used as a guide only and are not to be used for construction without the express written consent of the owner.

**DATES**

RELEASE: NOV 17, 2007  
P.M. UPDATES: JAN 5, 2010  
SUBMITTAL DATE:  
1- JULY 14, 2010  
2- JULY 8, 2011  
3-

NO

CONSTRUCTION:

**REVISIONS**

△	PLAN COMMENTS
△	
△	
△	
△	

**PM design group architects**

4475 Torrey Pines Rd. Suite 220  
BOULDER, CA 95077

PH: (916) 415-5338  
FAX: (916) 415-5338  
WWW: www.pmdesigngroup.com

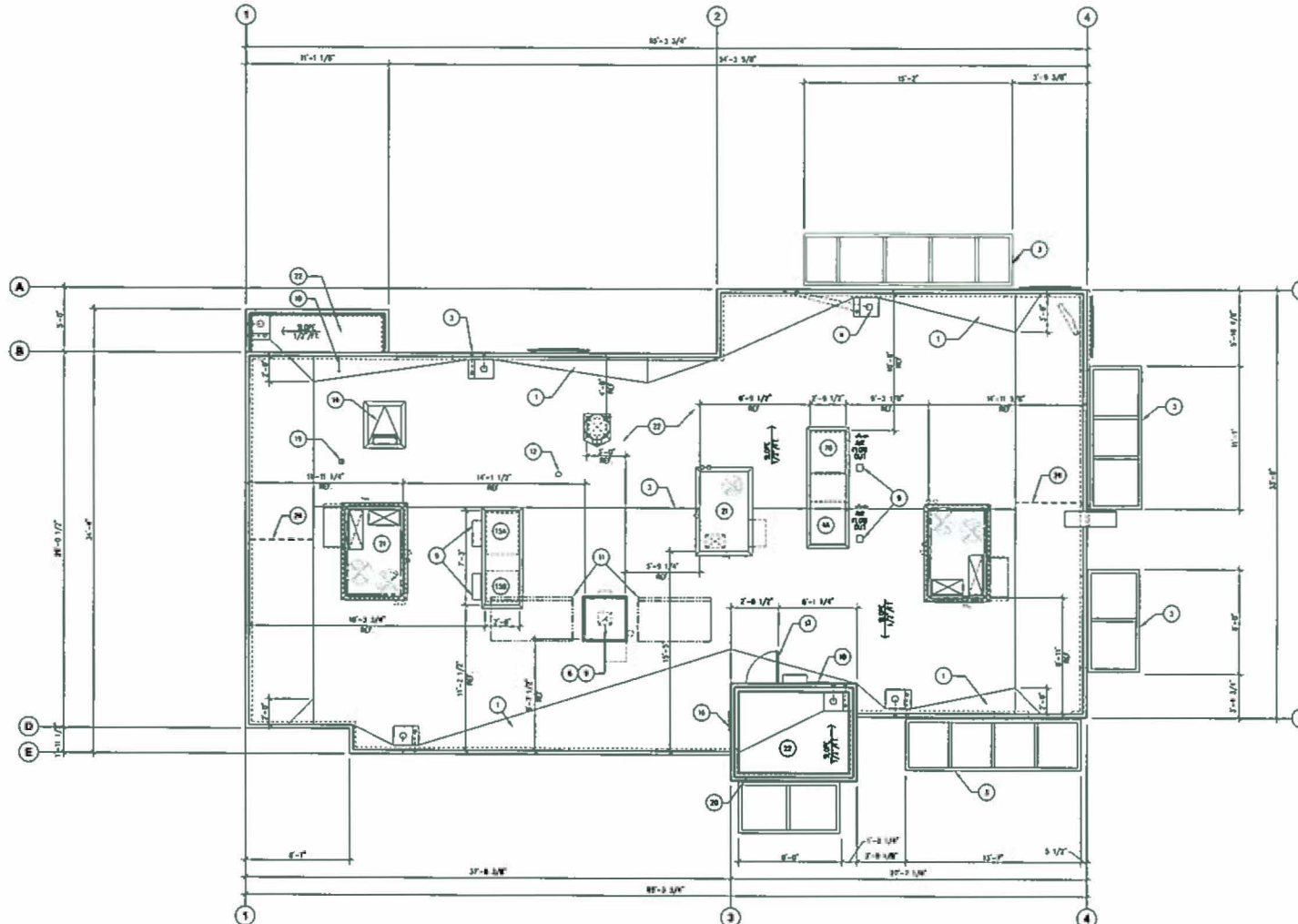
**SITE INFORMATION**

WK TYPE: BA\_S&D-OP1  
JOB #: 0031  
ADDRESS:  
1110 C STREET  
SAN DIEGO, CA

DRAWN BY:  
PROJECT #: 0810007  
SCALE: AS NOTED

**KEY NOTES**

- |   |   |  |
|---|---|--|
| 1 PLYWOOD CHECK L TOP   | 8 EXHAUST FAN UNIT  | 11 ACCESS DOOR PER SPECIFICATIONS, TOP, PAINT TO MATCH PLASTER   |
| 2 ROOF LINE   | 9 HOSE BIB AT 4" ABOVE ROOF LEVEL   | 12 HOT VENT  |
| 3 METAL FINISH BOLTS  | 10 HOOD BOLTS   | 13 WATER HEATER FLUE   |
| 4 ROOF DRAIN AT ROOF  | 11 PLUMBING VENT  | 14 CANT STRIP, TOP   |
| 5 ROOF DRAIN OVERFLOW DOWN TRUSS WALL   | 12 LINE OF 0" IS BELOW  | 15 AC UNIT   |
| 6 1 HP FIRE PUMP, BNC1 BEAP, AT HOOD  | 13 ROOF ACCESS  | 16 CLASS 1" BUILT-UP ROOFING   |
| 7 DRIVE-SHAFT ICE WAGER COND UNIT ON SLIPPERS FOR ROOF PENETRATION                        | 14 FREEZER REFRIGERATION UNIT   | 17 HOT VENT  |
| 8 SELF-SEALING ICE WAGER COND UNIT ON SLIPPERS FOR ROOF PENETRATION. SEE DETAIL 12.58.8.3 | 15 COOLER REFRIGERATION UNIT  | 18 PROVIDE "TIE BLOCK" 1" 20" x 0" O.C. MAX. WITH 5/8" TYP. "X" COR. BOL. ON 24" 3100S @ 24" O.C. ALL JOINTS TAPED |
| 9 PITCH PAIR TOP, 2'-4" LONG CENTER BETWEEN TRUSSES                                       | 16 LAUNCHER VENT ON WALL UNIT (3. 14"x12" ABLE (3.22) OPERATING TO HAVE 1/4" CORROSION RESISTANT METAL WITH COATING |  |



**DESIGN ARCHITECTURE ENGINEERING**

5330 BALBOA AVENUE  
SAN DIEGO, CA 92129

© 2007 Jack & the Don Inc.

These drawings, drawings and specifications are the property of Jack & the Don Inc. and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Jack & the Don Inc.

These drawings are prepared in accordance with the standards of practice of the architectural profession and shall not be used for any other purpose without the prior written consent of Jack & the Don Inc. The user assumes all liability for any errors or omissions in these drawings and specifications.

**DATES**

RELEASE	NOV. 12, 2007
P N UPDATES	JAN. 3, 2010
SUBMITAL DATE:	
1.	JULY 11, 2010
2.	JULY 8, 2011
3.	

**REVISIONS**

△	PLAN CORRECTS
△	
△	
△	
△	

**CONSTRUCTION**

NO. \_\_\_\_\_

DATE \_\_\_\_\_

**PM group design Architects**

4470 19th Ave. Suite 220  
ROSELAND, CA 92069  
PH: (916) 412-3228  
www.pmgdesign.com  
A NAAE Member

**SITE INFORMATION**

IN TYPE:	SA_S&P_001b
JOB #	0031
ADDRESS	1110 C STREET, SAN DIEGO, CA

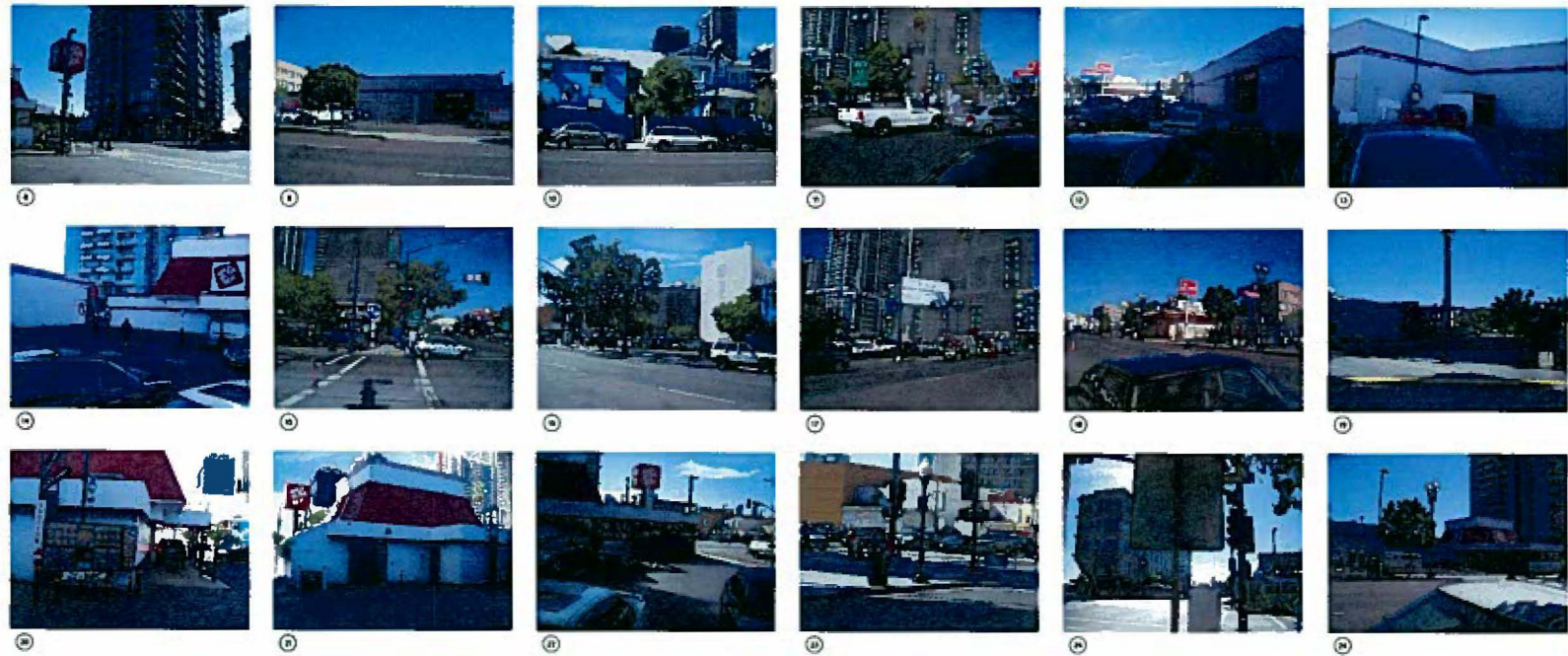
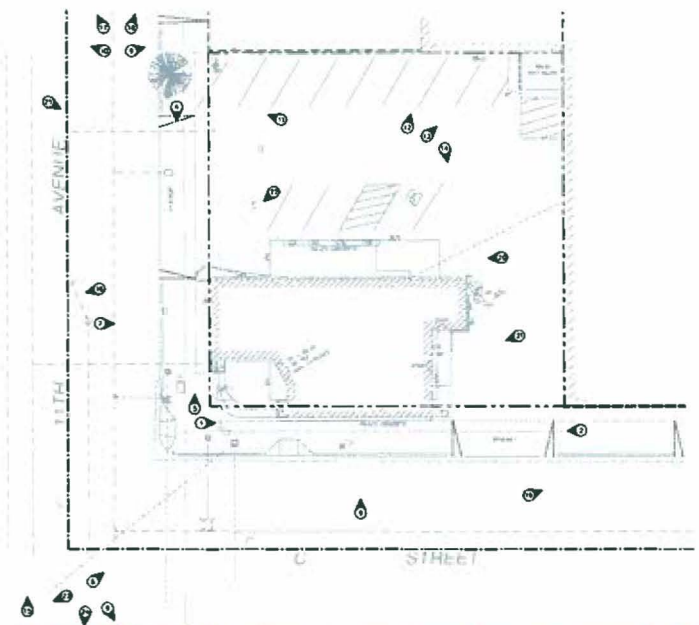
Drawn by: \_\_\_\_\_

PROJECT # J010007

SCALE: 1/8" = 1'-0"







1130 BALBOA AVENUE  
SAN DIEGO, CA 92123

© 2007 Jack in the Box Inc.

These drawings, designs and specifications are the property of Jack in the Box Inc. and may not be copied or reproduced without its express written consent.

These drawings are prepared in accordance with the standards of the International Building Code and the International Mechanical Code.

DATE: NOV. 12, 2007

PROJECT: JIM S. 2010

DATE: JULY 15, 2010

DATE: JULY 8, 2011

NO.

CONSTRUCTION:

REVISIONS	
△	PLAN COMMENTS
△	
△	
△	
△	
△	



1130 P. O. BOX 108 P.O. BOX 108  
SAN DIEGO, CA 92167  
PH: (619) 435-5556  
www.pmdesigngroup.com

SITE INFORMATION

PROJECT: SA\_S07-071

NO. 0031

ADDRESS

1110 C STREET

SAN DIEGO, CA

DRAWN BY:

PROJECT # 3510007

SCALE: 1"=10'-0"

SITE PHOTO KEY MAP

EXHIBIT 1



**North Elevation**



**West Elevation**

**Color Swatches**



Sherwin Williams  
SW703  
"Balanced Beige"



Sherwin Williams  
SW638  
"Firewood"



Sherwin Williams  
SW699  
"Caviar"



Sherwin Williams  
SW683  
"Dawning Straw"



Aluma  
"Cadet Gray"



Clear Anodized

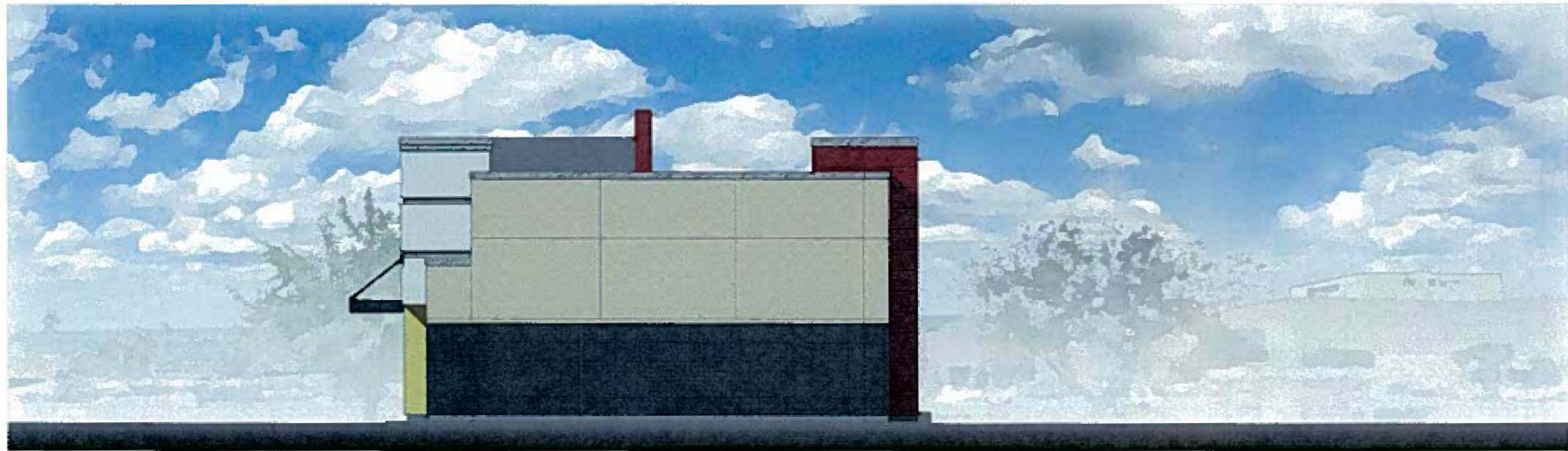


Jack in the Box  
JIB#0031  
1110 C STREET  
San Diego, CA





**South Elevation**



**East Elevation**

**Color Swatches**



Sherwin Williams  
SW7037  
"Balanced Beige"



Sherwin Williams  
SW6308  
"Firewood"



Sherwin Williams  
SW6099  
"Caviar"



Sherwin Williams  
SW6063  
"Downing Straw"



Alamo  
"Cinder Gray"



Clear Anodized



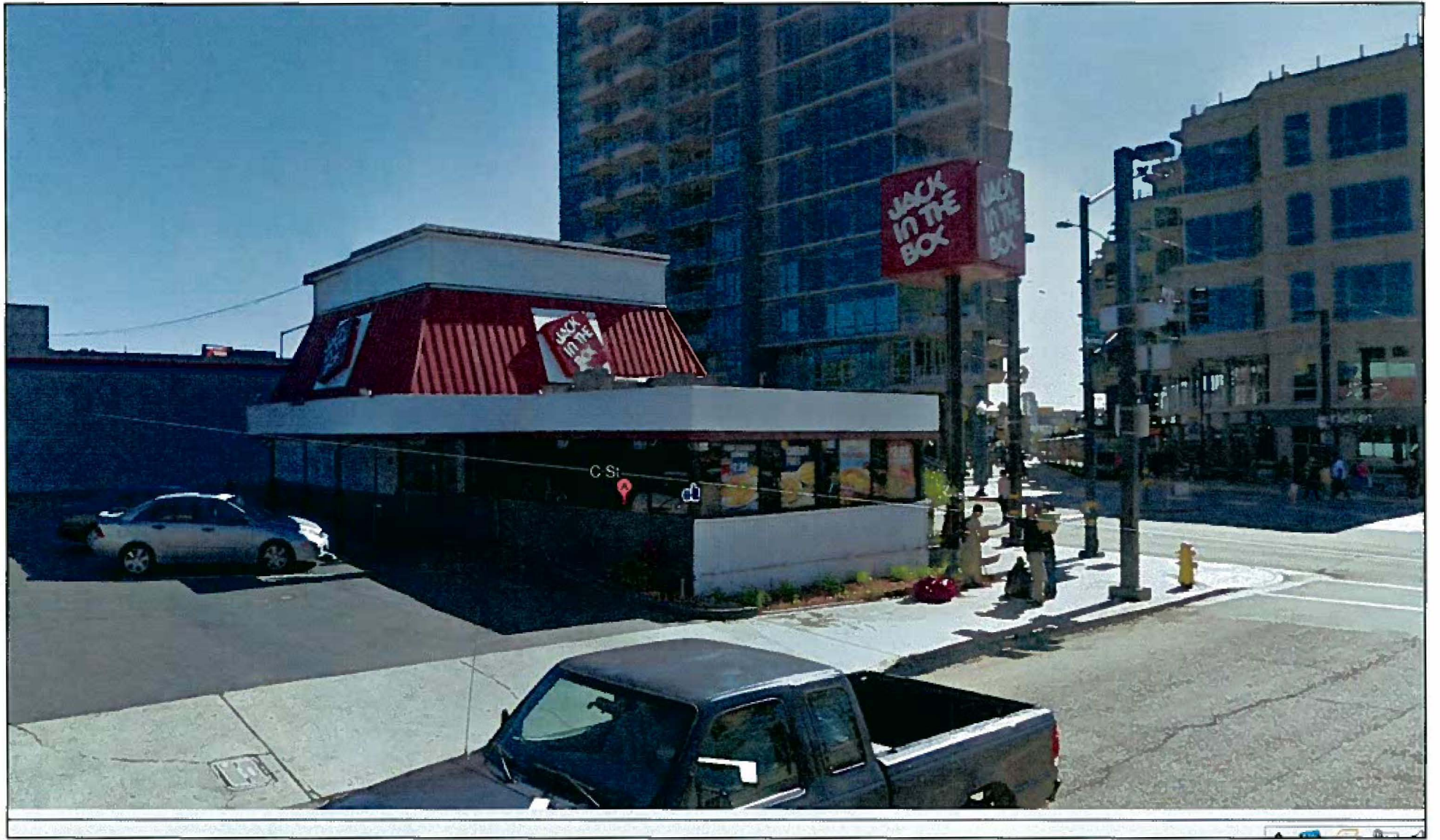
Jack in the Box  
JIB#0031  
1110 C STREET  
San Diego, CA





Jack In the Box

ATTACHMENT B



United States



Jack In the Box



California  
4470 Yankee Hill Rd.  
Suite 110  
Rocklin, CA. 95677

P. 916-415-5358  
F. 916-303-4340

Washington  
1325 NW Whitman St.  
Camas, WA. 98607

P. 360.834.6536

Arizona  
1425 N First Street  
Suite 101  
Phoenix, AZ. 85004

[www.pmdginc.com](http://www.pmdginc.com)

*In Partnership With Our Clients*  
Pedro + McCracken Design Group, Inc.

April 13, 2011

Center City Development Corporation

RE: Jack in the Box 1110 C Street – Findings for PDP

Dear Development Services,

This letter will address the PDP draft finding as required by the Center City Planned District Ordinance and San Diego Land Development Code section 126.0604.

Jack in the Box has chosen to demolish their existing store and reconstruct a new Jack in the Box at this location. Jack in the Box has a long term lease on this site and does not plan to vacate the location anytime in the near future. By rebuilding the existing use the project will not meet all sections of the Center City Planned District Ordinance and Land Development Code but the proposed building and site improvements are a significant upgrade to the existing facility.

Instead of doing general maintenance to the existing building they would like to construct a new building that will be more attractive to patrons and fit in with the growth of the surrounding area. The existing Jack in the Box building on this site was originally constructed in 1965. The building is a very plain with white paint, a red standing seam metal roof, flat fascias, and a greenhouse. The building design is dated and is not very aesthetically pleasing. The proposed site plan and elevations will address many of the existing sites shortcomings and will be a definite improvement to the circulation on the site, through the drive thru, and the parking areas.

#### **Deviations from Center City Planned District Ordinance**

**Land Use District: Residential Emphasis – Project will not have any residential.**

**Commercial Street Overlay: Commercial Street Overlay (-CS) – Project will be 100% commercial.**

**Limited Vehicle Access: On C Street and 11<sup>th</sup> Avenue – Existing curb cuts are not being modified. No additional curb cuts will be added.**

**Building Height Minimum: 45' above ground level – Proposed building is 21' to top of parapet. 13'-11" to top of roof deck.**

improvement to the existing facility. High quality construction materials are proposed and the building will better fit into the downtown district.

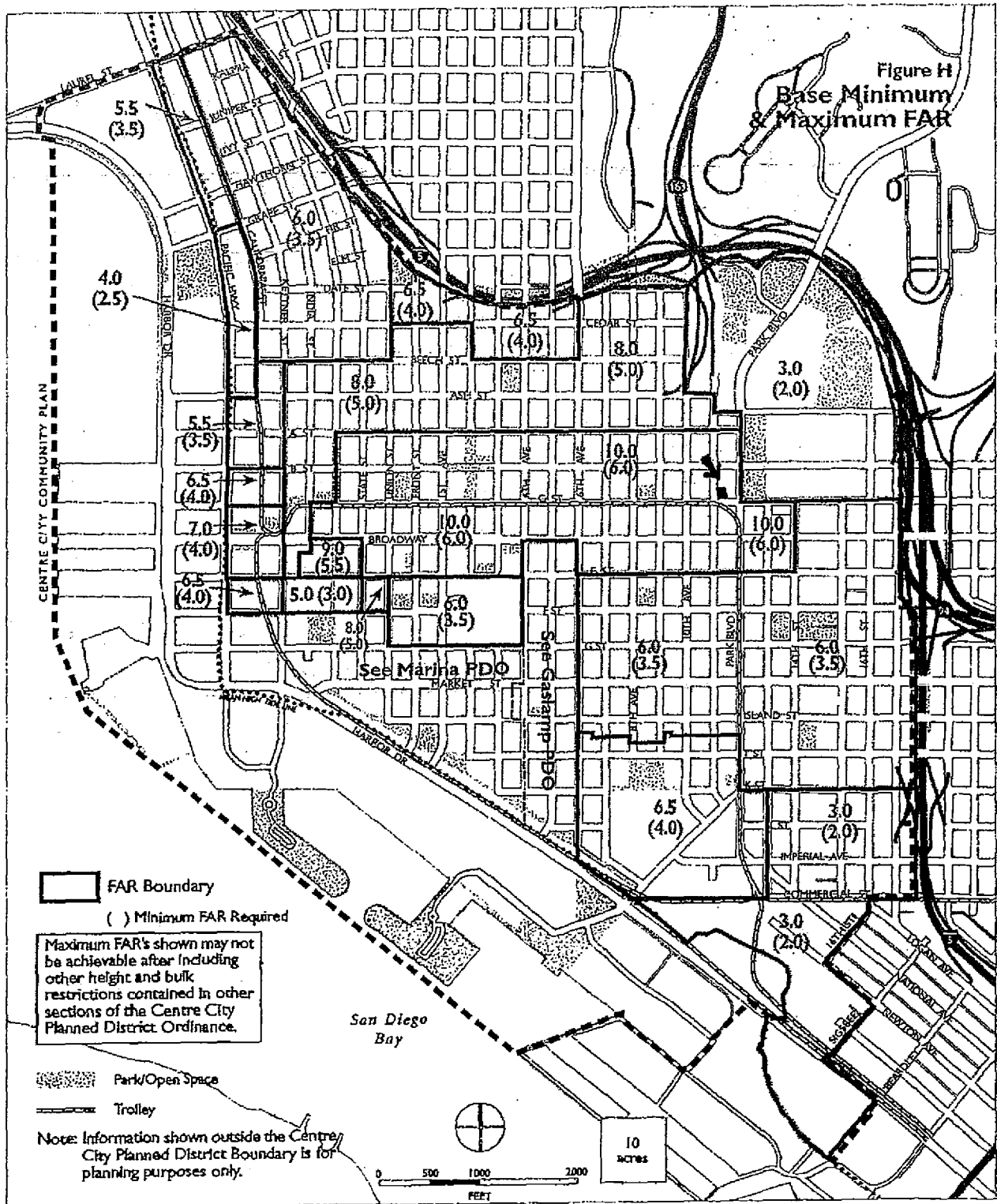
(5) Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than be achieved if designed in strict conformance with the development regulations of the applicable zone.

Jack in the Box is proposing to make a substantial investment to improve the existing facility. This is an improvement project so strict conformance to the development standards should not be employed on this type of submittal. The deviations from the development standards already exist on the site and will continue to exist even if this project as submitted is not approved. The substantial improvements proposed will result in a more desirable project than the current existing condition.

Respectfully,

David Lundy  
PM Design Group







## **Jack in the Box Board of Directors**

David L. Goebel

Murray H. Hutchison

Madeleine Kleiner

Linda A. Lang

Michael W. Murphy

James M. Myers

David M. Tehle

Wendy M. Webb

John T. Wyatt

## **Jack in the Box Corporate Governance**

Linda A. Lang, CEO & President

Lenny Comma, Executive Vice President

Jerry P. Rebel, Chief Financial Officer

Philip H. Rudolph, General Counsel

Terri E. Graham, Senior Vice President

Mark H. Blankenship, Senior Vice President & CAO

Carol D. Raimo, VP of Investor Relations

**RECORDING REQUESTED BY:**

Centre City Development Corporation  
Architecture & Planning Division  
401 B Street, Suite 400  
San Diego, CA 92101

**WHEN RECORDED MAIL TO:**

Centre City Development Corporation  
Attn: Architecture & Planning  
401 B Street, Suite 400  
San Diego, CA 92101

**THIS SPACE FOR RECORDER'S USE ONLY**  
**NOTE: COUNTY RECORDER, PLEASE RECORD**  
**AS RESTRICTION USE OR**  
**DEVELOPMENT OF REAL PROPERTY**  
**AFFECTING THE TITLE TO OR**  
**POSSESSION THEREOF**

**CENTRE CITY DEVELOPMENT PERMIT/  
PLANNED DEVELOPMENT PERMIT No. 2011-04**  
**Jack in the Box - 1110 C Street**  
**(APN#534-193-05)**

**City of San Diego Planning Commission  
CCDP/PDP No. 2011-04  
Jack in the Box - 1110 C Street**

WHEREAS, Victoria Land Partners L.P./Jack in the Box, Inc., Owner/Permittee, filed an application for a Centre City Development Corporation Development Permit/Planned Development Permit (CCDP/PDP) No. 2011-04 to allow the demolition of an existing drive-thru/walk-up restaurant and construction of a new, approximately 2,156 square-foot, drive-thru/walk-up restaurant, including outdoor dining, with deviations to the development regulations of the Centre City Planned District Ordinance (CCPDO), located at 1110 C Street within the East Village neighborhood of the Downtown Community Plan Area and more particularly describes in "Exhibit A" in the City of San Diego, State of California, according to map thereof made on file in the office of the County Recorder of San Diego; and,

WHEREAS, on December 8, 2011 the City of San Diego Planning Commission held a duly noticed public hearing and considered CCDP/PDP No. 2011-04, including a staff report and recommendation, and public testimony, and granted CCDP/PDP No. 2011-04 pursuant to Sections 156.0304 (e)(D) of the CCPDO and Sections 126.0601-126.0604 of the San Diego Municipal Code (SDMC); and,

WHEREAS, the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to State CEQA Guidelines Section 15302 Replacement or Reconstruction (Class 2) and Section 15303 New Construction (Class 3). Class 2 applies to replacement or reconstruction of commercial structure with a new structure of substantially the same size, purpose and capacity and Class 3 applies to construction of new structures under 10,000 square feet in floor area. The project consists of the demolition and reconstruction of a new 2,156 square foot restaurant and, therefore, the Class 2 and Class 3 exemptions are applicable.

NOW, THEREFORE, BE IT RESOLVED by the City of San Diego Planning Commission as follows:

*DEVELOPMENT PERMIT FINDINGS*

1. The proposed development is consistent with the Downtown Community Plan, Centre City Redevelopment Plan, Centre City Planned District Ordinance, San Diego Land Development Code, and all other adopted plans and policies of the City of San Diego Redevelopment Agency pertaining to the Centre City Planned District.

*PLANNED DEVELOPMENT PERMIT FINDINGS*

1. The proposed development will not adversely affect the applicable land use plan.
2. The proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed use or development will comply to the maximum extent feasible with the regulations of the Land Development Code including any deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

BE IT FURTHER RESOLVED that based on the above Findings hereinbefore adopted by the City of San Diego Planning Commission; that CCDP/PDP No. 2011-04 is hereby GRANTED to the Owner/Permittee to construct and operate uses as described and identified by size, dimension, quantity, type and location as follows and on the approved exhibits on file in the offices of the Centre City Development Corporation subject to the terms and conditions set forth in this Permit.

1. General

The Owner/Permittee shall construct, or cause to be constructed on the site, the construction of a new replacement 2,156 square-foot, single-story (21-foot-tall) restaurant with a drive-thru, including seven off-street parking spaces at 1110 C Street within the East Village Neighborhood of the Downtown Community Plan Area.

2. Planned Development Permit

The City of San Diego Planning Commission hereby grants a Planned Development Permit (PDP) allowing for the following deviations:

- a. Deviations from the following development standards of the CCPDO:

1. Section 156.0307(a) (7) – Deviation to the Land Use Percentage Requirements of the Residential Emphasis (RE) District of a minimum of 80 percent residential and maximum 20 percent non-residential uses to allow 100 percent commercial use within the RE District.
2. Section 156.0309 (a) – Reductions to the Base Minimum Floor Area Ratio (FAR) of 6.0 to 0.21 FAR.
3. Section 156.0310 – Deviations to the Development Regulations for new construction including, but not limited to, minimum street wall height, ground floor heights, commercial space depth and lot coverage.
4. Section 156.0313(l) (2) – Deviations to the Vehicular Access requirements of the CCPDO requiring a maximum 40 linear feet of curb cut for the site and a maximum 20 foot curb cut for driveways serving up to ten cars to allow the existing curb cuts to remain and driveway dimensions to be reduced to a size acceptable to the City of San Diego Engineering Department.

## PLANNING AND DESIGN REQUIREMENTS

### 3. Urban Design Standards

The proposed development, including its architectural design concepts and off-site improvements, shall be consistent with the CCPDO and Centre City Streetscape Manual. These standards, together with the following specific conditions, will be used as a basis for evaluating the development through all stages of the development process.

- a. Architectural Standards – The architecture of the development shall establish a high quality of design and complement the design and character of the East Village Neighborhood and the site’s location along C Street as shown in the approved Basic Concept/Schematic Drawings on file with the Corporation. The development shall utilize a coordinated color scheme consistent with the approved Basic Concept/Schematic Drawings.
- b. Form and Scale – The development shall consist of an one-story building with a maximum building height of 21 feet measured to the top of the parapet, with roof equipment enclosures, elevator penthouses, and mechanical screening above this height permitted per the Centre City PDO and the FAA. All building elements shall be complementary in form, scale, and architectural style.
- c. Elevations – The development shall minimize the appearance of continuous solid walls on the east and west elevation by providing glazing, off-set planes, reveals, texture and distinct material/colors to create shadowing and texture, as shown in the Basic Concept/Schematic Drawings.
- d. Building Materials – All building materials shall be of a high quality utilizing stone, tile and/or metal panels as approved by CCDC. No stucco or plaster materials shall be used on the building walls. All materials and installation shall exhibit high-quality design, detailing, and construction execution to create a durable and high quality finish. The base of the buildings shall be clad in upgraded materials and carry down to within 1 (one) inch of finish sidewalk grade. Any stone materials shall employ larger modules such as 12" x 24" and full-corner profiles to create a substantial and non-veneer appearance. All down-spouts, exhaust caps, and other additive elements shall be superior grade for urban locations, carefully composed to reinforce the architectural design. Reflectivity of the glass shall be the minimum reflectivity required by Title 24.

All construction details shall be highest standard and executed to minimize weathering, eliminate staining, and not cause deterioration of materials on adjacent properties or the public right of way. No substitutions of materials or colors shall be permitted without the prior written consent of the Corporation. A final materials board which illustrates the location, color, quality, and texture of proposed exterior materials shall be submitted with 100% Construction Drawings

and shall be consistent with the materials board approved with the Basic Concept/Schematic Drawings.

- e. Street Level Design – Street level windows shall be clear glass and may be lightly tinted. Architectural features such as awnings and other design features which add human scale to the streetscape are encouraged where they are consistent with the design theme of the structure.
- f. Utilitarian Areas – Areas housing trash, recycling, storage, or other utility services shall be completely concealed from view of the public right-of-way and adjoining developments, except for utilities required to be exposed by the City or utility company. The development shall provide trash and recyclable material storage areas per Municipal Code Sections 142.0810 and 142.0820. Such areas shall be provided within an enclosed area and shall be kept clean and orderly at all times. The development shall implement a recycling program to provide for the separation of recyclable materials from the non-recyclable trash materials.
- g. Circulation and Parking – The Owner/Permittee shall prepare a plan which identifies the location of curbside parking control zones, parking meters, fire hydrants, trees, and street lights. Such plan shall be submitted in conjunction with 100% Construction Drawings.
- h. Open Space/Project Amenities – A landscape plan that illustrates the relationship of the proposed on and off-site improvements and the location of water, and electrical hookups shall be submitted with 100% Construction Drawings.
- i. Roof Tops – A rooftop equipment and appurtenance location and screening plan shall be prepared and submitted with 100% Construction Drawings. Any roof top mechanical equipment must be grouped, enclosed, and screened from surrounding views.
- j. Signage – All signs shall comply with the City of San Diego Sign Regulations and the CCPDO. No pole signs shall be permitted.
- k. Lighting – A lighting plan which highlights the architectural qualities of the proposed development and also enhances the lighting of the public right-of-way shall be submitted with 100% Construction Drawings. All lighting shall be designed to avoid illumination of adjoining properties.
- l. Noise Control – All mechanical equipment, including but not limited to, air conditioning, heating and exhaust systems, shall comply with the City of San Diego Noise Ordinance and California Noise Insulation Standards as set forth in Title 24 of the California Code of Regulations. All mechanical equipment shall be located to mitigate noise and exhaust impacts on adjoining development, particularly residential. Owner/Permittee shall provide evidence of compliance at 100% Construction Drawings.



- m. Energy Considerations – The design of the improvements shall include, where feasible, energy conservation construction techniques and design, including cogeneration facilities, and active and passive solar energy design. The Owner/Permittee shall demonstrate consideration of such energy features during the review of the 100% Construction Drawings.
- n. Street Address – Building address numbers shall be provided that are visible and legible from the public right-of-way.

4. Off-Site Parking

Owner/Permittee shall maintain a minimum of seven off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit “A.” Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate decision maker in accordance with the SDMC.

5. Drive Thru

- a. Owner/Permittee shall maintain adequate space to allow a minimum of three cars to be stacked on-site up to and including the area in front of the menu board/order station to avoid queuing along the C Street right-of-way.
- b. The driveway located along C Street shall be utilized as a one-way entry only and shall be signed, including permanent markings.

6. On-Site Improvements

All off-site and on-site improvements shall be designed as part of an integral site development. An on-site improvement plan shall be submitted with the 100% Construction Drawings. Any on-site landscaping shall establish a high quality of design and be sensitive to landscape materials and design planned for the adjoining public rights-of-way.

**PUBLIC IMPROVEMENTS, LANDSCAPING AND UTILITY REQUIREMENTS**

7. Off-Site Improvements

The following public improvements shall be installed in accordance with the Centre City Streetscape Manual. The Manual is currently being updated and the Owner/Permittee shall install the appropriate improvements according to the latest requirements at the time of Building Permit issuance:

	<b>C Street</b>	<b>11th Avenue</b>
Paving	Standard Paving	Gateway Paving
Street Trees	Carrot Wood	Jacaranda
Street Lights	Standard Lights	Gateway Lights

All trees shall be planted at a minimum 36-inch box size with tree grates provided as specified in the Centre City Streetscape Manual, and shall meet the requirements of Title 24. Tree spacing shall be accommodated after street lights have been sited, and generally spaced 20 to 25 feet on center. All landscaping shall be irrigated with private water service from the subject property.

The Owner/Permittee will be responsible for evaluating, with consultation with the Corporation, whether any existing trees within the right-of-way shall be maintained and preserved. No trees shall be removed prior to obtaining a Tree Removal Permit from the Development Services Department per City Council Policy 200-05.

- a. Street Lights – All existing lights shall be evaluated to determine if they meet current Corporation and City requirements, and shall be modified or replaced if necessary.
- b. Sidewalk Paving – Any specialized paving materials shall be approved through the execution of an Encroachment Removal and Maintenance Agreement with the City.
- c. Landscaping – All required landscaping shall be maintained in a disease, weed and litter free condition at all times. If any required landscaping (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction documents is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent in size per the approved documents and to the satisfaction of the Centre City Development Corporation within 30 days of damage or Certificate of Occupancy.
- d. On-Street Parking – The Owner/Permittee shall maximize the on-street parking wherever feasible.
- e. Public Utilities – The Owner/Permittee shall be responsible for the connection of on-site sewer, water and storm drain systems from the development to the City Utilities located in the public right-of-way. Sewer, water, and roof drain laterals shall be connected to the appropriate utility mains within the street and beneath the sidewalk. The Owner/Permittee may use existing laterals if acceptable to the City, and if not, Owner/Permittee shall cut and plug existing laterals at such places and in the manner required by the City, and install new laterals. Private sewer laterals require an Encroachment Maintenance and Removal Agreement.

All roof drainage and sump drainage, if any, shall be connected to the storm drain system in the public street, or if no system exists, to the street gutters through sidewalk underdrains. Such underdrains shall be approved through an Encroachment Removal Agreement with the City. The Owner/Permittee shall comply with the City of San Diego Storm Water Management and Discharge Control Ordinance and the storm water pollution prevention requirements of Chapter 14, Article 2, Division 1 and Chapter 14, Article 2, Division 2 of the Land Development Code.

- f. Franchise Public Utilities – The Owner/Permittee shall be responsible for the installation or relocation of franchise utility connections including, but not limited to, gas, electric, telephone and cable, to the development and all extensions of those utilities in public streets. Existing franchised utilities located above grade serving the property and in the sidewalk right-of-way shall be removed and incorporated into the adjoining development where feasible.
  - g. Fire Hydrants – If required, the Owner/Permittee shall install fire hydrants at locations satisfactory to the City of San Diego Fire Department and Development Services Department.
  - h. Water Meters and Backflow Preventers – The Owner/Permittee shall locate all water meters and backflow preventers in locations satisfactory to the Public Utilities Department and Corporation. Backflow preventers shall be located outside of the public right-of-way adjacent to the development's water meters, either within the building, a recessed alcove area, or within a plaza or landscaping area. The devices shall be screened from view from the public right-of-way. All items of improvement shall be performed in accordance with the technical specifications, standards, and practices of the City of San Diego's Engineering, Public Utilities and Building Inspection Departments and shall be subject to their review and approval. Improvements shall meet the requirements of Title 24 of the State Building Code.
8. Removal and/or Remedy of Soil and/or Water Contamination

The Owner/Permittee shall (at its own cost and expense) remove and/or otherwise remedy as provided by law and implementing rules and regulations, and as required by appropriate governmental authorities, any contaminated or hazardous soil and/or water conditions on the Site. Such work may include without limitation the following:

- a. Remove (and dispose of) and/or treat any contaminated soil and/or water on the site (and encountered during installation of improvements in the adjacent public rights-of-way which the Owner/Permittee is to install) as necessary to comply with applicable governmental standards and requirements.

- b. Design construct all improvements on the site in a manner which will assure protection of occupants and all improvements from any contamination, whether in vapor or other form, and/or from the direct and indirect effects thereof.
- c. Prepare a site safety plan and submit it to the appropriate governmental agency, Corporation, and other authorities for approval in connection with obtaining a building permit for the construction of improvements on the site. Such site safety plan shall assure workers and other visitors to the site of protection from any health and safety hazards during development and construction of the improvements. Such site safety plan shall include monitoring and appropriate protective action against vapors and/or the effect thereof.
- d. Obtain from the County of San Diego and/or California Regional Water Quality Control Board and/or any other authorities required by law any permits or other approvals required in connection with the removal and/or remedy of soil and/or water contamination, in connection with the development and construction on the site.
- e. If required due to the presence of contamination, an impermeable membrane or other acceptable construction alternative shall be installed beneath the foundation of the building. Drawings and specifications for such vapor barrier system shall be submitted for review and approval by the appropriate governmental authorities.

## **STANDARD REQUIREMENTS**

### **9. Environmental Impact Mitigation Monitoring and Reporting Program (MMRP)**

As required by the San Diego Municipal Code Section 156.0304 (f), the development shall comply with all applicable MMRP measures from the 2006 Final Environmental Impact Report (FEIR) for the Downtown Community Plan.

### **10. Development Impact Fees**

The development will be subject to Centre City Development Impact Fees. For developments containing commercial space(s) the Owner/Permittee shall provide to the City's Facilities Financing Department the following information at the time of application for building permit plan check: 1) total square footage for commercial lease spaces and all areas within the building dedicated to support those commercial spaces including, but not limited to: loading areas, service areas and corridors, utility rooms, and commercial parking areas; and 2) applicable floor plans showing those areas outlined for verification. In addition, it shall be responsibility of the Owner/Permittee to provide all necessary documentation for receiving any "credit" for existing buildings to be removed.

11. Construction Fence

Owner/Permittee shall install a construction fence pursuant to specifications of, and a permit from, the City Engineer. The fence shall be solid plywood with wood framing, painted a consistent color with the development's design, and shall contain a pedestrian passageway, signs, and lighting as required by the City Engineer. The fencing shall be maintained in good condition and free of graffiti at all times.

12. Development Identification Signs

Prior to commencement of construction on the Site, the Owner/Permittee shall prepare and install, at its cost and expense, one sign on the barricade around the site which identifies the development. The sign shall be at least four (4) feet by six (6) feet and be visible to passing pedestrian and vehicular traffic. The signs shall at a minimum include:

- Color rendering of the development
- Development name
- Developer
- Completion Date
- For information call \_\_\_\_\_.

The sign shall also contain the Corporation "Paradise in Progress" logo and the Downtown Construction Hotline phone number. Additional development signs may be provided around the perimeter of the site. All signs shall be limited to a maximum of 160 square feet per street frontage. Graphics may also be painted on any barricades surrounding the site. All signs and graphics shall be submitted to the Corporation for approval prior to installation.

13. This Centre City Development Permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this Permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time (EOT) has been granted. Any such EOT must meet all SDMC and CCPDO requirements in effect at the time of extension are considered by the appropriate decision maker.

14. Issuance of this Permit by the Centre City Development Corporation does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies.

15. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

16. This development shall comply with the standards, policies, and requirements in effect at the time of approval of this development, including any successor(s) or new policies,

financing mechanisms, phasing schedules, plans and ordinances adopted by the City of San Diego.

17. No permit for construction, operation, or occupancy of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until this Permit is recorded in the Office of the San Diego County Recorder.
18. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

APPROVED by the City of San Diego Planning Commission on December 8, 2011

AUTHENTICATED BY THE CENTRE CITY DEVELOPMENT CORPORATION

\_\_\_\_\_  
Lucy Contreras  
Senior Planner

**Note: Notary Acknowledgement  
must be attached per Civil Code  
Section 1189 et seq.**

**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Jack in the Box, Inc.  
Owner/Permittee

By: \_\_\_\_\_  
NAME  
TITLE

**Note: Notary Acknowledgement  
must be attached per Civil Code  
Section 1189 et seq.**

S:\Contreras\DEVREV\Jack in the Box\Jack in the Box CCDPPDP 2011-04.doc





**LEGAL DESCRIPTION:**  
LOTS 1' AND 7', IN BLOCK 24, OF HORTON'S ADDITION BY L.L. HORTON  
IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA  
RECORDED IN 08 18, PAGE 327

**OWNER:**  
DILE TO SAO ESTATE OR INTEREST, VESTED IN  
VICTORIA LAND PARTNERS, L.P., A CALIFORNIA LIMITED PARTNERSHIP

**BASIS OF BEARINGS:**  
THE BASIS OF BEARINGS FOR THIS SURVEY, IS THE SOUTHWEST OFFSET LINE OF BLOCK 24  
AS SHOWN ON RECORD OF SURVEY NO. 12388 IN 893127' W

**BENCHMARK:**  
CITY OF SAN DIEGO, NORTHWEST BRASS ALIQU  
10TH AVENUE A C STREET  
ELEVATION = 71.00' (MEAN SEA LEVEL - NVD 29 DATUM)

**UTILITY COMPANIES:**

**SEWER:** CITY OF SAN DIEGO  
9182 TOPAZ WAY  
SAN DIEGO, CA 92175  
658.292.8300

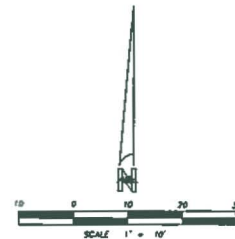
**WATER:** CITY OF SAN DIEGO  
800 W STREET  
SAN DIEGO, CA 92101  
618.515.3300

**GAS / ELECTRIC:** SAN DIEGO GAS & ELECTRIC COMPANY  
101 ASH STREET  
SAN DIEGO, CA 92101  
618.581.0000

**TELEPHONE:** A. T. & T.  
SAN FRANCISCO, CA  
800.791.4661



VICINITY MAP  
NO SCALE



**LEGEND:**

AC PAVING	AC	TOP OF CURB	TC
CONCRETE PAVING	CONC	FRESH SURFACE	FS
LIGHT STANDARD	LS	FLOW LINE	FL
WATER METER	WM	COLUMN	COL
WATER VALVE	WV	GUARD POST	GP
ELECTRIC TRANSFORMER	E1	BROKEN GUARD POST	BGP
SEWER MANHOLE	SMH	FIRE HYDRANT	FH
SEWER CLEANHOLE	SCD	ELECTRIC HANDHOLE	EMH
STREET LIGHT	SL	TRAFFIC SIGNAL BOX	TSB
ELECTRIC CABINET BOX	ECB	BACK FLOW PREVENTER	BFP
LADDER	L	SOIL POLE	SP
GAS METER	GM	MEN'S SIGN	MS
CHIPPED GAS LINE	COL	DRIVE THRU CLEARANCE	OTC
SPOT ELEVATION	330.24		

PROPERTY LINE  
C GAS LINE FROM RECORD DRAWINGS  
W WATER LINE FROM RECORD DRAWINGS

**EASEMENT NOTES:**

THERE ARE NO EASEMENTS LISTED OF RECORD

**NOTES:**

1. DILE REPORT BY FIRST AMERICAN DILE INSURANCE COMPANY  
ORDER NO HCS-428458-547 DATED FEBRUARY 2, 2010
2. A.P.M. 534-193-00
3. ZONING CODE-M
4. FLOOD ZONE, ZONE X, FEMA ANNEX 1884-A, DATED 6/14/1997  
(AS OF THE DATE OF THIS SURVEY)

**SURVEYOR'S CERTIFICATE:**

THIS IS TO CERTIFY THAT THIS PLAN AND THE SURVEY ON WHICH IT IS BASED, WERE MADE IN ACCORDANCE WITH THE "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS", JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS IN 2005 AND PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION. THE UNDERSIGNED CERTIFIES THAT IN HIS PROFESSIONAL OPINION, AS A LAND SURVEYOR, REGISTERED IN THE STATE OF CALIFORNIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

DALE C. CROSS  
PLS 7632 DATE

**UTILITY NOTE:**

THE LOCATIONS OF THE EXISTING UTILITIES HAVE BEEN DERIVED FROM SURFACE EVIDENCE, RECORD DRAWINGS AND INFORMATION PROVIDED BY THE UTILITY COMPANIES. HALE ENGINEERING ACCEPTS NO LIABILITY FOR THE EXISTENCE OR NONEXISTENCE OF UTILITIES. THE LOCATIONS MUST BE CONFIRMED PRIOR TO ANY EXCAVATION OR CONSTRUCTION

DATE: MARCH 1, 2010  
DRAWN BY: OCG  
PROJECT NO.: 10008  
SCALE: 1" = 10'



**HALE ENGINEERING**  
CIVIL ENGINEERING - SURVEYING - LAND PLANNING  
7916 CONVOY COURT  
SAN DIEGO, CA 92111  
(619) 576-1420  
(619) 718-1424 FAX

ALTA/ACSM LAND TITLE SURVEY  
**JACK IN THE BOX**  
# 31  
1110 10TH STREET  
SAN DIEGO, CALIFORNIA

**LEGEND**

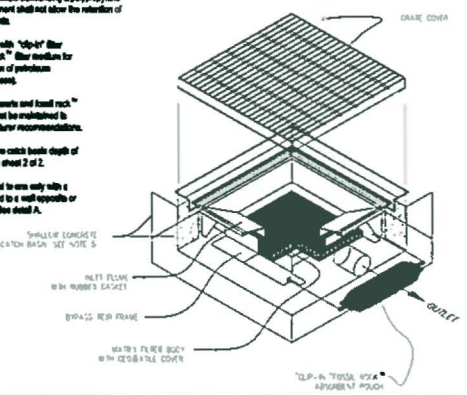
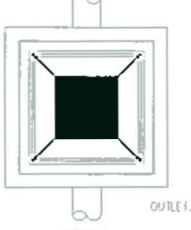
- |  |                            |  |                          |  |                        |
|--|----------------------------|--|--------------------------|--|------------------------|
|  | EXISTING SPOT ELEVATIONS   |  | BACK OF WALK             |  | CONC. CONCRETE SURFACE |
|  | PROPOSED ELEVATION         |  | HIGH POINT               |  | TOP OF WALL            |
|  | DIRECTION OF DRAINAGE FLOW |  | EXISTING CURB FACE       |  | CURB FACE              |
|  | SAWTOOTH                   |  | FLOOR LINE               |  | SEWER CLEAN-OUT        |
|  | PROPERTY LINE              |  | FINISHED FLOOR SLAB      |  |                        |
|  | GRADE BREAK                |  | FINISHED GRADE           |  |                        |
|  | NEW CONCRETE FOUNDATION    |  | INVERT ELEVATION         |  |                        |
|  | STONE WALL FOUNDATION      |  | EDGE OF SIMILE OR GUTTER |  |                        |
|  |                            |  | TOP OF SLAB              |  |                        |
|  |                            |  | GRADE BREAK              |  |                        |
|  |                            |  | ASPHALT PAVEMENT         |  |                        |
|  |                            |  | TOP OF CURB              |  |                        |
|  |                            |  | CLEAN-OUT                |  |                        |

**KEY NOTES**

- |  |                      |   |
|--|----------------------|---|
| 21 ASPHALT PAVEMENT                                  | 214 EXISTING CONTOUR | 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.  |
| 22 CONCRETE FEMMENT                                  | 217 FINISHED CONTOUR | 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.  |
| 23 CONCRETE SIDEWALK                                 |                      | 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.  |
| 24 CONCRETE CURB                                     |                      | 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.  |
| 25 TAPERED CONCRETE CURB                             |                      | 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.  |
| 27 LANDSCAPE AREA                                    |                      | 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.  |
| 27 TRASH ENCLOSURE                                   |                      | 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.  |
| 28 ROOF DRAIN CONCRETE TRAIL                         |                      | 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.  |
| 27 LIMIT OF WORK / CONTOUR                           |                      | 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE.  |
| 2.10 CONCRETE WHEEL STOP                             |                      | 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE. |
| 2.11 ACCESSIBLE 4' MINIMUM SPACE, 2% MAX CROSS-SLOPE |                      | 11. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE. |
| 2.12 NEW WALL FOUNDATION                             |                      | 12. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE. |
| 2.13 CONC. VALLEY GUTTER                             |                      | 13. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC WORKS, AS APPLICABLE. |

SPECIFIER CHART				
MODEL	CATCH BASIN D	BOLTS STORAGE CAPACITY CUBIC FEET	FILTERED FLOW CUBIC FEET / SECOND	TOTAL IMPACT CAPACITY CUBIC FEET / SECOND
FLATTOP	18" x 18"	61	61	18

- NOTES:**
1. Inlet Basin & bypass unit must be constructed from stainless steel Type 304.
  2. Inlet filter element is constructed from durable polypropylene woven mesh/retention pads and polypropylene mesh strainers. Filter element shall not allow the retention of water between storm events.
  3. Filter inserts are supplied with "40-mesh" filter pad/strainer with "30-mesh" filter medium for the collection and retention of petroleum hydrocarbons (oil & grease).
  4. Filter inserts and steel rack filter medium practices must be maintained in accordance with manufacturer recommendations.
  5. Device requires a minimum catch basin depth of 8.5" beneath grate. See sheet 2 of 2.
  6. Additional blocks are linked to view only with a 1" diameter minimum, and to a wall opposite or at a right angle to outlet. See detail A.



**NOTES FROM SURVEY LEGAL DESCRIPTION:**

2.075' "X" AND "Y", IN BLOCK 24, OF HORTON'S ADDITION BY L.L. GOODING IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA RECORDED IN BOOK 13, PAGE 527

**BASIS OF BEARINGS:**

THE BASIS OF BEARINGS FOR THIS SURVEY, IS THE SOUTHERLY OFFSET LINE OF BLOCK 24 AS SHOWN ON RECORD OF SURVEY NO. 17388 N 89°51'28" W

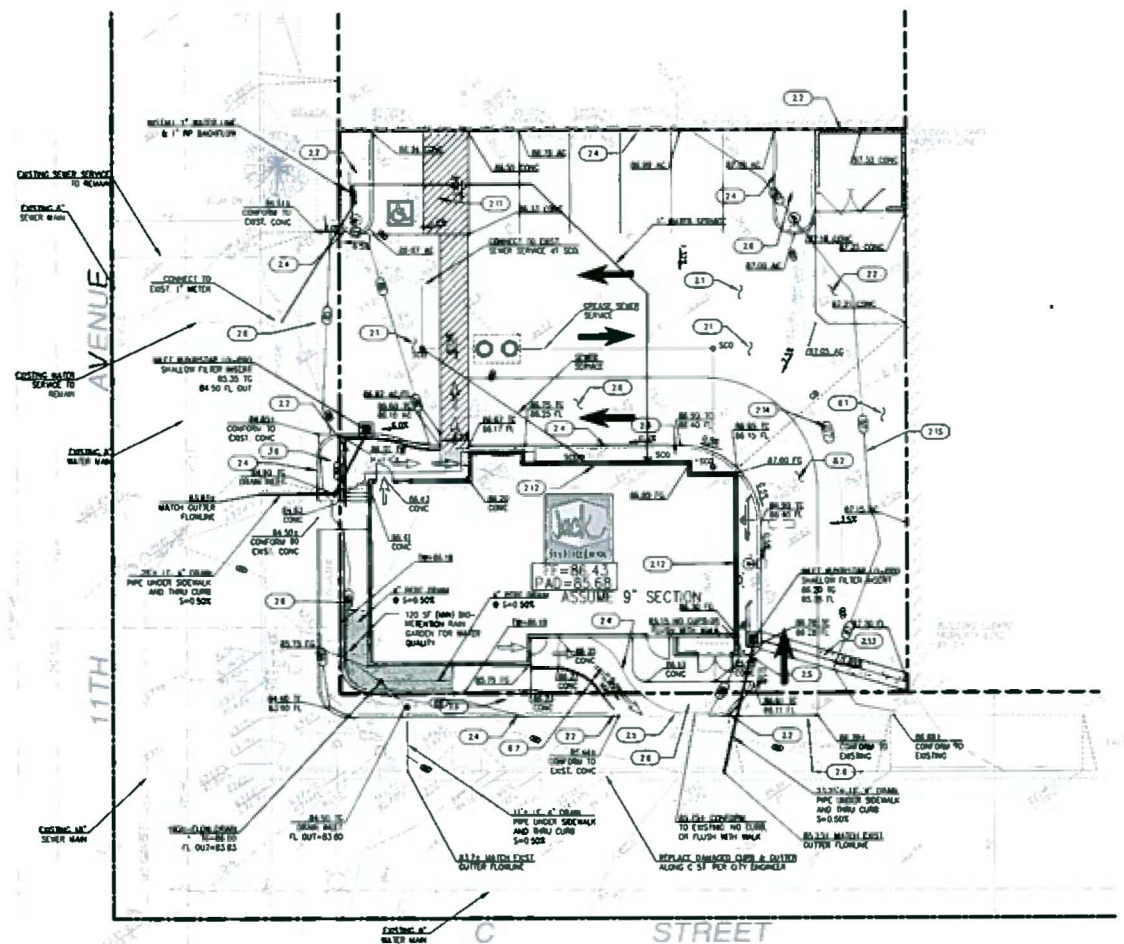
**BENCHMARK:**

CITY OF SAN DIEGO: HORNWATER BRASS PLUG 10TH AVENUE & C STREET ELEVATION = 77.100 (MEAN SEA LEVEL - MIND 28 DATUM)



**PRELIMINARY GRADING AND DRAINAGE PLAN**

SCALE: 1" = 10'



3130 BALBOA AVENUE  
SAN DIEGO, CA 92103  
© 2007 Jack in the Box Inc.  
These drawings, prepared and modified by the designers of Jack in the Box Inc. and shall not be copied or reproduced without the previous written consent.

**DATES**

RELEASE: NOV 11, 2009  
P.M. UPDATES: JAN 5, 2010

SUBMITTAL DATE:  
1: MAY 6, 2010  
2:  
3:

NO: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

△	
△	
△	
△	
△	



1140 W. BROADWAY, SUITE 400  
SAN ANTONIO, TX 78207  
PH: (214) 343-7000  
WWW.JANSENDESIGN.COM



4475 Truxtun Rd., Suite 200  
SAN DIEGO, CA 92121  
PH: (619) 433-3333  
WWW.PMDGROUP.COM

**SITE INFORMATION**

MR. TYPE: SA-CAT-10P111

JOB #: 0071

ADDRESS:  
1110 C STREET  
SAN DIEGO, CA

DRAWN BY: \_\_\_\_\_

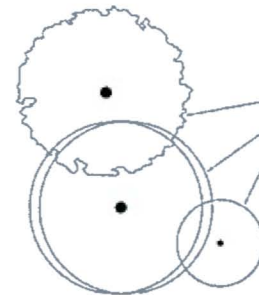
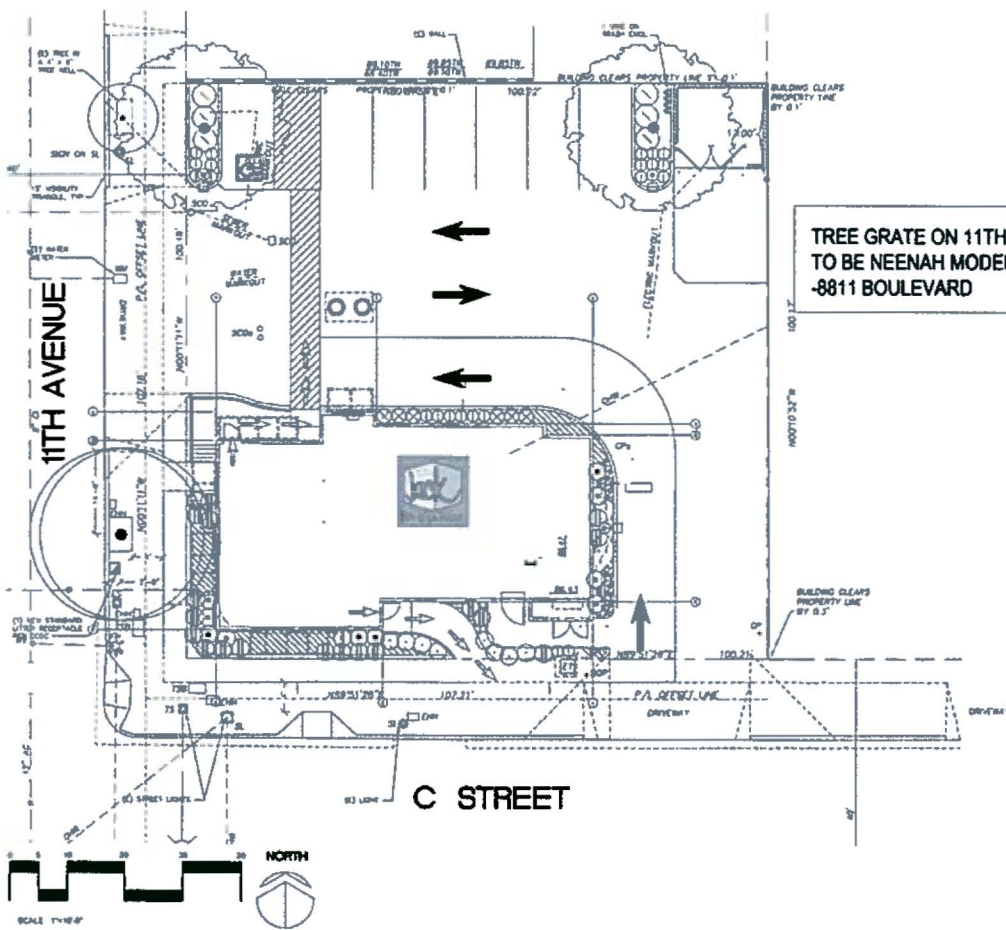
PROJECT #: J010007

SCALE: 1"=10'-0"

**PRELIMINARY GRADING PLAN**



**KriStar Enterprises, Inc.**  
2800 Sutton Place, Suite 100, CA 92091  
PH: (619) 433-3333, FAX: (619) 433-3333, WWW.KRISTAR.COM  
PGLP-0001 C 001 1/12/09 1/12/09/09 SHEET 1 OF 2



PLANTING LEGEND MATRIX							
SYMBOL	SIZE	QTY	PLANT NAME	SPACING	NOTES	PLANTING	REVISIONS
○	10"	1	NEENAH MODEL	10' x 10'	1	1	1
○	10"	1	JACARANDA	10' x 10'	1	1	1
○	10"	1	ACACIA	10' x 10'	1	1	1
○	10"	1	ACACIA	10' x 10'	1	1	1



PHORMIUM



HEMEROCALLIS



NERISSA



ANEMONE



MYRTLE



HELICTOTRICHON



KOELREUTERIA



COLOCYNTHIS



JUNIPERUS



AQUAPANTUS



JACARANDA



NANDINA

**LANDSCAPE ARCHITECTURE & ENGINEERING**

1130 BALBOA AVENUE  
SAN DIEGO, CA 92101  
© 2007 Jack in the Box Inc.

These drawings, including any modifications and the products of them, are the sole work and shall not be copied, reproduced, altered or transmitted in any manner without the express written authority of the design professional.

NO CHANGE REQUEST OR ALTERATION TO BE MADE TO ANY PART OF THESE DRAWINGS UNLESS APPROVED BY THE DESIGN PROFESSIONAL IN WRITING.

**DATES**

RELEASE: NOV 12, 2001  
P/L UPDATES: JAN 5, 2010  
SUBMITTAL DATE:

1. 2. 3. 4. 5. 6. 7. 8. 9. 10.

**REVISIONS**

△  
△  
△  
△  
△

**MLA**  
LANDSCAPE ARCHITECTURE  
101 YULIPIA CIRCLE  
SAN DIEGO, CA 92101  
TEL: 619-594-9200 FAX: 619-594-9200

**PM design group Architects**

4470 Villavieja Rd Ste 200  
Riverside CA 92507  
Ph: (951) 416-1326  
Fax: (951) 416-1326  
www.pmdesigngroup.com

**SITE INFORMATION**

WF NRE: SA-SM7-OP-11  
JOB # 00-01

ADDRESS  
1110 C STREET  
SAN DIEGO, CA

DRAWN BY  
PROJECT # 2810007  
SCALE: 1"=10'-0"

**LANDSCAPE PLANTING PLAN**

**4 OF 12**

LANDSCAPE CALCULATION DIAGRAM

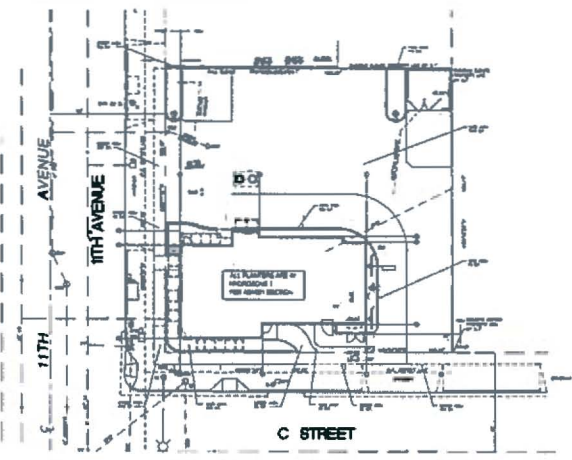
SCALE 1"=10'

STREET AREAS  
 100 S.F.  
 100 S.F.  
 100 S.F.  
 100 S.F.  
 100 S.F.  
 100 S.F.  
 TOTAL S.F. = 600

LAND AREAS  
 100 S.F.  
 100 S.F.  
 100 S.F.  
 100 S.F.  
 TOTAL S.F. = 400

POINTS REQUIRED AS  
 100 STREET POINTS = 100 x 10  
 100 LAND POINTS = 100 x 10  
 TOTAL POINTS REQUIRED = 200

POINTS PROVIDED  
 STREET POINTS = 100  
 LAND POINTS = 100  
 TOTAL POINTS = 200



CONCEPT DESIGN STATEMENT

**DESIGN GOALS**  
 1. Create a colorful, vibrant and dynamic landscape design.  
 2. Create a landscape design that is sustainable and low-maintenance.

**DESIGN ELEMENTS**  
 1. Use native and drought-tolerant plants.  
 2. Use a variety of plant heights and textures.  
 3. Use a variety of plant colors and forms.  
 4. Use a variety of plant materials and finishes.

CITY REQUIREMENTS MET

- 1. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 2. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 3. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 4. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 5. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 6. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 7. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 8. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 9. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 10. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 11. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 12. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 13. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 14. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 15. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 16. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 17. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 18. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 19. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
- 20. PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR

AS 1881 LANDSCAPE DOCUMENTATION

- PROJECT INFORMATION
- SECTION INFORMATION
- SECTION INFORMATION
- SECTION INFORMATION
- SECTION INFORMATION
- SECTION INFORMATION
- SECTION INFORMATION
- SECTION INFORMATION
- SECTION INFORMATION
- SECTION INFORMATION

HYDROLOGIC	AREA	PERCENT	AREA	% OF	PLANT
AREA	PERCENT	AREA	% OF	PLANT	FACTORS
1.0	100%	100%	100%	100%	A
1.0	100%	100%	100%	100%	A

CITY OF SAN DIEGO WATER CONSERVATION STATEMENT

1. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
2. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
3. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
4. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
5. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
6. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
7. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
8. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
9. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
10. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
11. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
12. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
13. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
14. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
15. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
16. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
17. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
18. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
19. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
20. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR

CITY OF SAN DIEGO WATER CONSERVATION STATEMENT

1. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
2. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
3. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
4. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
5. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
6. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
7. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
8. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
9. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
10. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
11. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
12. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
13. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
14. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
15. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
16. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
17. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
18. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
19. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR
20. ALL PLANTING MATERIALS TO BE PROVIDED BY THE CONTRACTOR

TABLE 142-04B PLANT POINT SCHEDULE

Table 142-04B  
Plant Point Schedule

Proposed Plant Material	Plant Size	Plant Points Allowed per Plant	Project Points
Proposed Shrub	1-gallon	1.0	19.2 x 117
	2-gallon	2.0	96.2 x 180
	1/2-gallon or larger	10.0	
Proposed Dwarf Palm	For first of brown trunk height	3.0	
	Proposed Tree	5-gallon	5.0
	11-gallon	11.0	
	24-gallon	24.0	
	36-gallon	36.0	
Proposed Broad Trunked Feather Palm Tree	For first of brown trunk height	3.0	
	Proposed Feather Palm Tree	For first of brown trunk height up to 30 feet in height	3.0
Proposed Fan Palm Tree	For first of brown trunk height up to 30 feet in height	1.5	
	For first of brown trunk height up to 30 feet in height	3.0	

Total 367

Existing Plant Material	Plant Size	Plant Points Allowed per Plant	Project Points
Existing Shrub	1/2-inch to 24-inch spread and height	4.0	5
Existing Non-Shrub Tree	3-inch caliper measured at 4 feet above grade	10.0	0
Existing Broad Trunked Feather Palm Tree	For first of brown trunk height	3.0	
Existing Fan Palm Tree	For first of brown trunk height up to 30 feet in height	1.5	

Total 60

LANDSCAPE CONSTRUCTION NOTES

1. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
2. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
3. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
4. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
5. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
6. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
7. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
8. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
9. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
10. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
11. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
12. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
13. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
14. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
15. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
16. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
17. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
18. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
19. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.
20. CONTRACTOR TO CONDUCT A PRELIMINARY REVIEW OF THE SITE AND PROVIDE A REPORT TO THE ARCHITECT AND CLIENT.



8110 BALBOA AVENUE  
 SAN DIEGO, CA 92123  
 © 2007 MFLA INC.  
 ALL RIGHTS RESERVED

DATE: NOV 12, 2007  
 RELEASE: NOV 12, 2007  
 P.M. UPDATE: JAN 5, 2010  
 SUBMITTAL DATE: 1. JULY 6, 2010  
 2.  
 3.  
 4.  
 5.  
 6.  
 7.  
 8.  
 9.  
 10.  
 11.  
 12.

REVISIONS  
 1.  
 2.  
 3.  
 4.  
 5.  
 6.  
 7.  
 8.  
 9.  
 10.  
 11.  
 12.



MFLA  
 101 VILLAMAR CIRCLE  
 SAN DIEGO, CA 92108  
 TEL: 619-594-1111  
 FAX: 619-594-1112  
 WWW.MFLA.COM

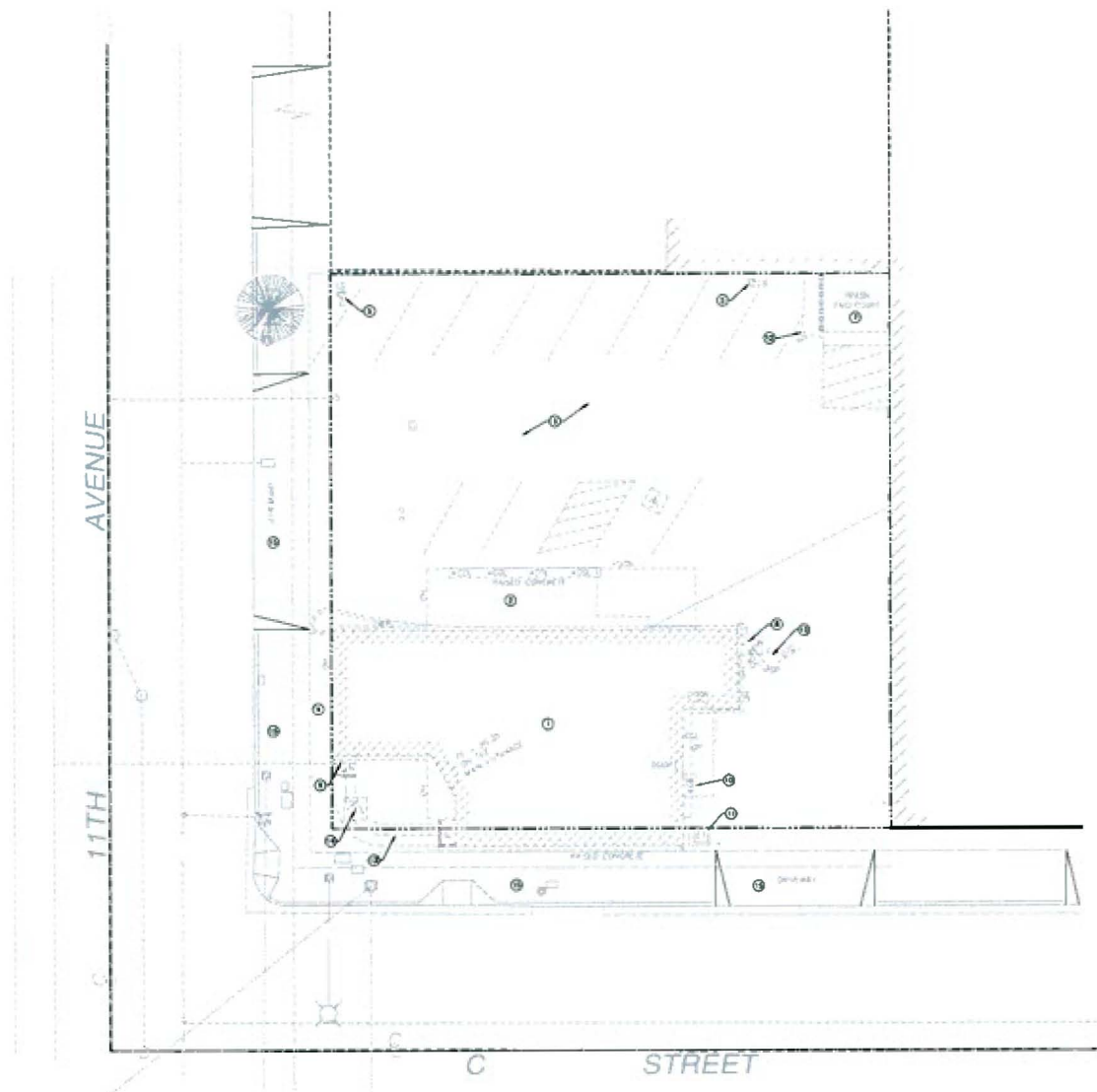


4470 Tennyson Hill Rd. Suite 200  
 ROCKLEDGE, CA 94077  
 TEL: (916) 315-9328  
 FAX: (916) 315-9328  
 WWW.PMDGROUP.COM  
 San Diego, California

SITE INFORMATION  
 MK TYPE: SA-SM2-CPT1  
 JOB # 001  
 ADDRESS:  
 1110 C STREET E  
 SAN DIEGO, CA

DRAWN BY:  
 PROJECT # 2010007  
 SCALE 1/8"=1'-0"

LANDSCAPE CALCULATIONS



**DEMOLITION PLAN NOTES**

- 1 REINFORCE EXISTING BUILDING AND DRIVE PILING AROUND, PROTECT EXISTING UTILITIES IN PLACE
- 2 REINFORCE EXISTING CONCRETE, FINISH AND MAINTAIN
- 3 REINFORCE EXISTING PARKING LOT AS REQUIRED FOR NEW LAYOUT
- 4 REINFORCE EXISTING LANDSCAPE AREA AND/OR TREES
- 5 REINFORCE EXISTING PARKING LOT LIGHT STANDARD
- 6 NOT USED
- 7 REINFORCE EXISTING TRASH ENCLOSURE
- 8 REINFORCE EXISTING SPEAKER BOARD, PROTECT ELECTRICAL
- 9 EXISTING GAS NEED TO BE REMOVED, GAS LINE TO BE RECONNECTED TO NEW GAS METER LOCATION
- 10 EXISTING ELECTRICAL SWITCH GEAR TO BE REMOVED AND LINES TO BE RECONNECTED TO NEW ELECTRICAL LOCATION
- 11 EXISTING TRANSFORMER TO REMAIN, PROTECT DURING CONSTRUCTION
- 12 REMOVE ALL EXISTING GUARD POSTS
- 13 EXISTING STOPS TO BE DEMOLISHED
- 14 EXISTING POLE SIGN TO BE DEMOLISHED
- 15 EXISTING DRIVEWAYS AND SIDEWALKS TO REMAIN



**DESIGN • ARCHITECTURE • ENGINEERING**

1130 BALBOA AVENUE  
SAN DIEGO, CA 92123

© 2007 Jack & The Box Inc.

THIS DRAWING, SPECIFICATIONS AND CONDITIONS ARE THE PROPERTY OF JACK & THE BOX INC. AND SHALL NOT BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF JACK & THE BOX INC.

**DATES**

RELEASE: NOV 17, 2003  
 P.A.M. UPDATE: JAN 5, 2010  
 SUBMITTAL DATE:  
 1: JULY 15, 2010  
 2: JULY 8, 2011  
 3: \_\_\_\_\_

NO: \_\_\_\_\_

CONSTRUCTION: \_\_\_\_\_

**REVISIONS**

△	PLAN COMMENTS
△	
△	
△	
△	
△	

**PM design**  
**group architects**

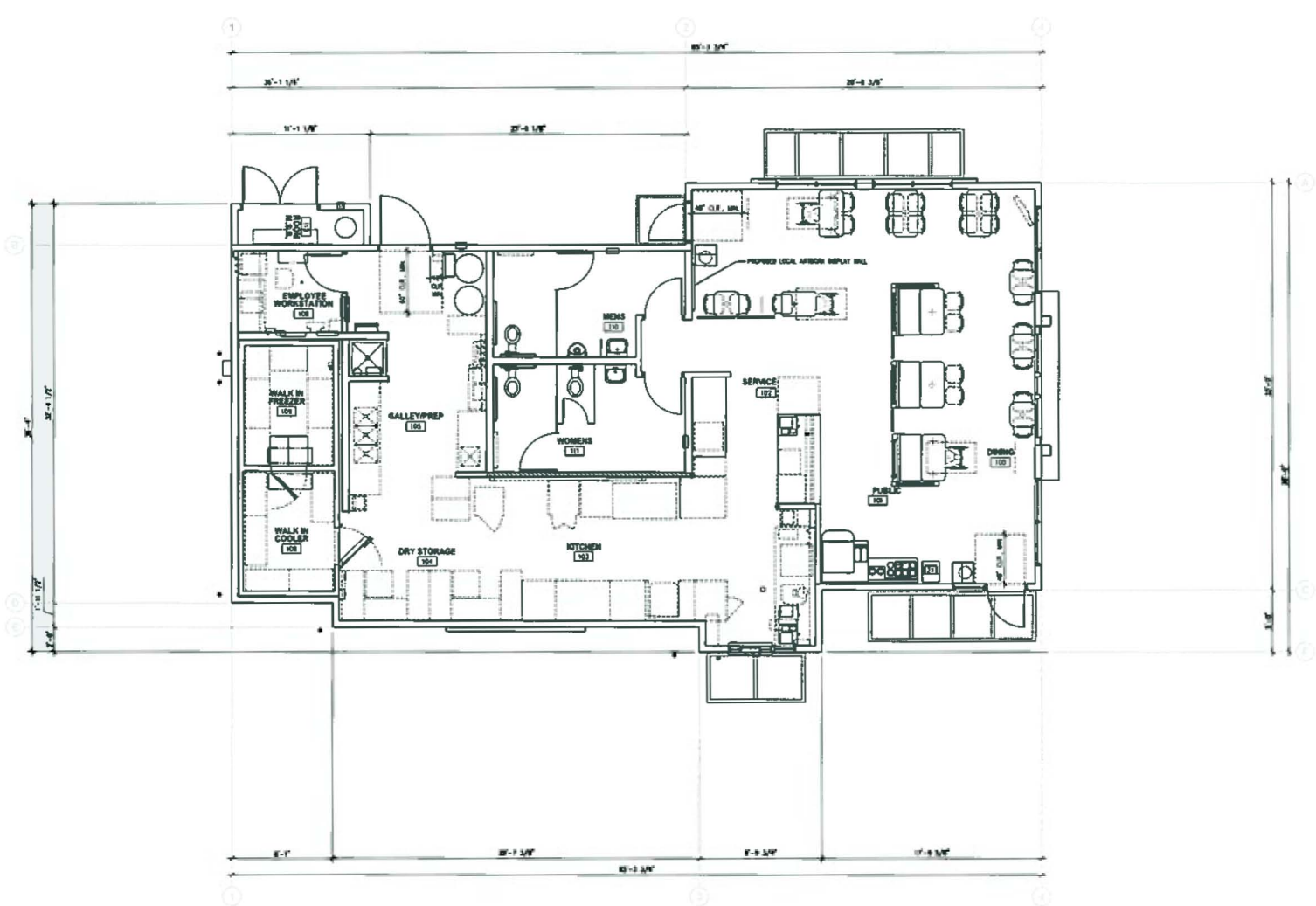
1470 Torrey Hills Rd, Suite 220  
ROCKLEDGE CA 95477  
PH: (916) 470-5528  
WWW: pmgroupdesign.com  
415-763-3333

**SITE INFORMATION**

REV. TYPE: SA\_S42-DPT1  
 JOB #: 0031  
 ADDRESS:  
 1110 C STREET  
 SAN DIEGO, CA

DRAWN BY: \_\_\_\_\_  
 PROJECT #: 0810007  
 SCALE: \_\_\_\_\_





8330 BALBOA AVENUE  
 SAN DIEGO, CA 92123  
 © 2007 Jack in the Box Inc.  
 These drawings, designs and specifications are the property of Jack in the Box Inc. and shall not be copied or reproduced without the written consent of Jack in the Box Inc.  
 These drawings were prepared by the architect in reliance on the accuracy of the information furnished by the client. The architect does not warrant the accuracy of the information furnished by the client. The architect shall not be responsible for any errors or omissions in the drawings or specifications, or for any consequences arising therefrom, which may be caused by any such errors or omissions, or for any reliance thereon by any other party.

**DATES**

RELEASE: NOV 12, 2007  
 P.A. UPDATE: JAN 5, 2010  
 SUBMITTAL DATE:  
 1: JULY 14, 2010  
 2: JAN 8, 2011  
 3: \_\_\_\_\_

**REVISIONS**

NO.	DESCRIPTION
1	_____
2	_____
3	_____
4	_____
5	_____

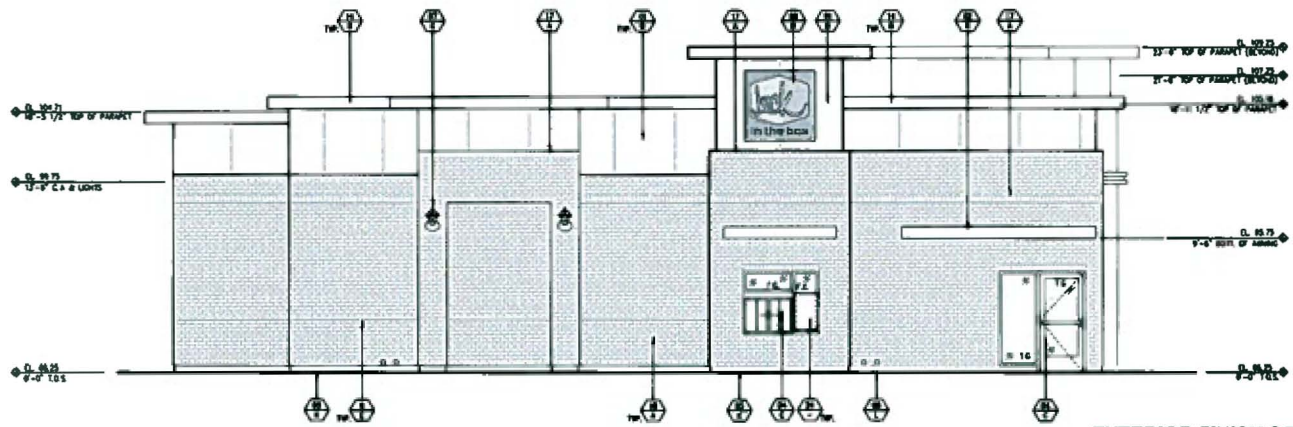


4470 TOWNSEND BLVD SUITE 220  
 BOSTON, CA 95407  
 PH: (415) 438-3300  
 WWW.PMGROUPARCHITECTS.COM  
 PM GROUP ARCHITECTS

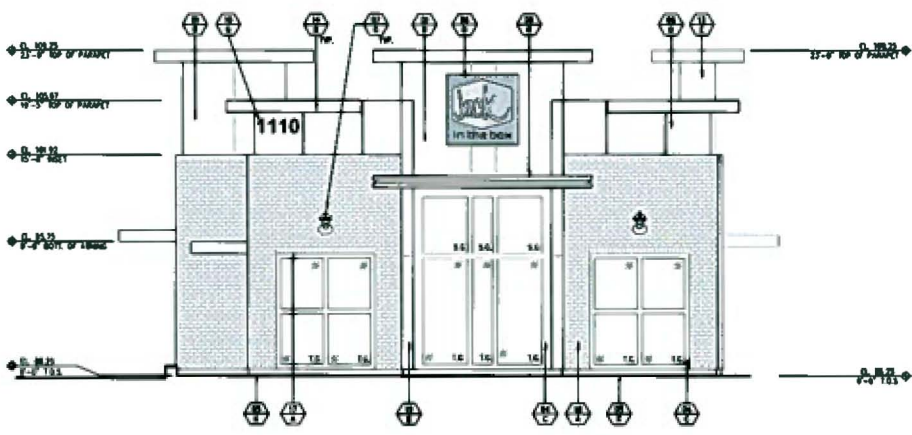
**SITE INFORMATION**

MR TYPE: 9A\_Site\_OPT1  
 JOB #: 0031  
 ADDRESS:  
 1110 C STREET  
 SAN DIEGO, CA  
 DRAIN BY:  
 PROJECT #: 0810007  
 SCALE: 1/4"=1'-0"

**FLOOR PLAN**



**NORTH ELEVATION** SCALE: 1/4" = 1'-0"



**WEST ELEVATION** SCALE: 1/4" = 1'-0"

**EXTERIOR FINISH SCHEDULE** USE CHECKED BOX ONLY

- MATERIAL FINISH COLOR
- ANTI-GRAFFITI COATING: DIAMOND CPU647 GRAFFITI BARRIER COAT BY DIAMOND CHEMICALS INC. (212) 869-8350 COLOR: CLEAR

- MATERIAL FINISH:**
- 01 ARCHITECTURAL METAL PANEL
  - 02 METAL FINISH
  - 03 GREASE / OIL SYSTEM BOX
  - 04 ALUMINUM STOREFRONT SYSTEM
  - 1" CLEAR INSULATED GLASS
  - 1" CLEAR INSULATED GLASS w/ SOLARBAN 60 COATING
  - 05 CONCRETE CURB
  - 06 INTERNALLY ILLUMINATED SIGNAGE (O.F.O.I., NOT A PART OF THIS PERMIT)
  - 07 WALL MOUNTED LIGHT FIXTURE
  - 08 HANSCOTT CAP 2 1/2" x 24"
  - 09 METAL TRIM
  - 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
  - 11 MAIN ELECTRICAL SERVICE
  - 12 ALUMINUM COPING
  - 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
  - 14 METAL CAP
  - 15 CO2 FILL BOX METAL COVER
  - 16 PRE-MANUFACTURED COOLER/FREEZER BOX w/ TEX-COAT 600 TEXTURE COATING, FINE FINISH
  - 17 SOLDER COURSE BRICK
  - 18 TRIM BRICK 2 1/2" x 4"
  - 19 COLUMNS WRAPPED IN METAL PANELS
  - 20 DECORATIVE REVEAL SCREED, ALL OUTSIDE CORNERS TO BE MITERED
  - 21 DISPLAY POSTER PANEL
  - 22 WATER HEATER FLUE
  - 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
  - 24 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL
- LEGEND:**
- T.G. = TEMPERED GLASS
  - S.G. = SPANDREL GLASS
  - 1/4" CLEAR GLASS
  - ANTI-GRAFFITI FILM

- COLORS:**
- A CORONADO STONE, WIRE CUT, "ANTIQUE RED"
  - B ALUCOBOND, "CADET GRAY COOL"
  - C STOREFRONT: BLACK
  - D WHITE TEXT ON RED BACKGROUND
  - E CORONADO STONE, CHISELED WATER TABLE, "LIGHT GREY"
  - F COLOR/FINISH TO MATCH ADJACENT SURFACE
  - G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVARR"
  - H MIL FINISH ALUMINUM
  - J SHERWIN WILLIAMS A-100 EXTERIOR GLOSS LATEX: SW 7074 "SOFTWARE"
  - K NATURAL CONCRETE, GRAY
  - L STAINLESS STEEL

**DESIGN • ARCHITECTURE • ENGINEERING**

8330 BALBOA AVENUE  
SAN DIEGO, CA 92123  
© 2007 Jack in the Box Inc.

These designs, drawings and specifications are the property of Jack in the Box Inc. and shall not be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Jack in the Box Inc. These drawings remain the property of Jack in the Box Inc. and shall not be used for any other project without the prior written consent of Jack in the Box Inc. All rights reserved.

**DATES**

RELEASE:	NOV 12, 2007
P.L. UPDATES:	JAN 5, 2010
SUBMITTAL DATE:	1. JULY 14, 2010
	2. JULY 8, 2011
	3.

**REVISIONS**

NO.	DESCRIPTION
1	PLAN COMMENTS
2	
3	
4	
5	

**PM Group Architects**

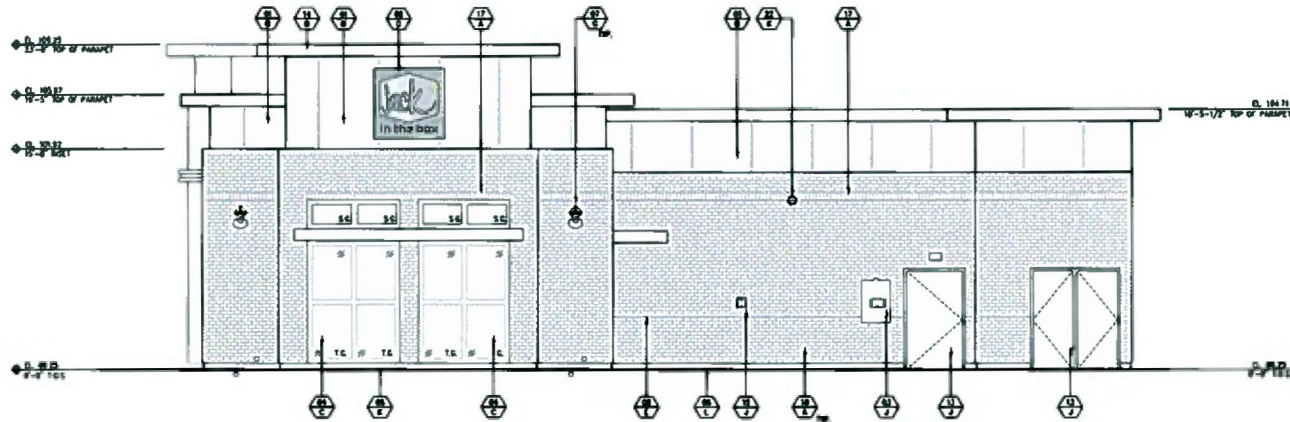
4470 Camino Hills Rd. Suite 220  
SOLICHT, CA 92077  
PH: (619) 413-2368  
www.pmgrouppm.com

**SITE INFORMATION**

PERM. TYPE:	SA - SM3 - DP #1
JOB #:	0031
ADDRESS:	1110 C STREET SAN DIEGO, CA

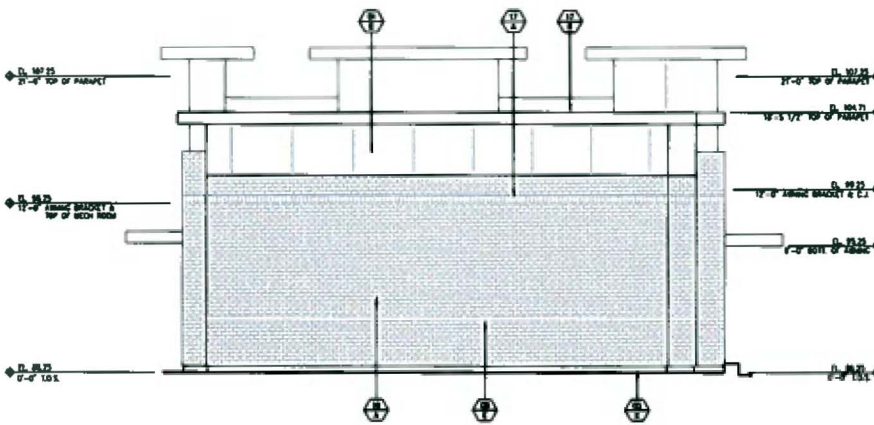
DRAWN BY: \_\_\_\_\_  
PROJECT #: 0510007  
SCALE: AS SHOWN





**SOUTH ELEVATION**

SCALE: 1/4"=1'-0"



**EAST ELEVATION**

SCALE: 1/4"=1'-0"

NOTE:  
SEE SHEET 10.0 FOR ADDITIONAL  
EXTERIOR FINISH INFORMATION AND  
DETAILS (TYP.)

**EXTERIOR FINISH SCHEDULE**

USE CHECKED BOX ONLY

MATERIAL/FINISH COLOR  ANTI-GRAFFITI COATING: DIAMOND CPU647 GRAFFITI BARRIER COAT BY DIAMOND CHEMICALS INC. (212) 869-5350 COLOR: CLEAR

**MATERIAL/FINISH:**

- 01 ARCHITECTURAL METAL PANEL
- 02 METAL AWNING
- 03 GREASE / OIL SYSTEM BOX T.G. = TEMPERED GLASS
- 04 ALUMINUM STOREFRONT SYSTEM S.G. = SPANDREL GLASS
- 1" CLEAR INSULATED GLASS
- 1" CLEAR INSULATED GLASS W/ SOLARBAN 80 COATING
- 1/4" CLEAR GLASS
- ANTI-GRAFFITI FILM
- 05 CONCRETE CURB
- 06 INTERNALLY ILLUMINATED SIGNAGE (O.F.O.I. NOT A PART OF THIS PERMIT)
- 07 WALL MOUNTED LIGHT FIXTURE
- 08 RAISSCOT CAP 2 1/2" X 24"
- 09 METAL TRIM
- 10 12" HIGH BUILDING ADDRESS LETTERS (AS REQUIRED PER LOCAL JURISDICTION)
- 11 MAIN ELECTRICAL SERVICE
- 12 ALUMINUM COPING
- 13 HOLLOW METAL DOORS AND FRAMES, MISCELLANEOUS TRIM
- 14 METAL CAP
- 15 CO2 FILL BOX METAL COVER
- 16 PRE-MANUFACTURED COOLER/FREEZER BOX 1/2" TEX-COAT 600 TEXTURE COATING, FINE FINISH
- 17 SOLDER COURSE BRICK
- 18 THIN BRICK 2 1/2" X 8"
- 19 COLUMNS WRAPPED IN METAL PANELS
- 20 DECORATIVE REVEAL SCORED, ALL OUTSIDE CORNERS TO BE MITERED
- 21 DISPLAY POSTER PANEL
- 22 WATER HEATER FLUX
- 23 ENTRANCE DISPLAY POSTER PANEL, ALIGN TOP WITH TOP OF DOOR
- 24 DRIVE-THRU WINDOW TREATMENT AND DISPLAY PANEL

**COLORS:**

- A CORDONADO STONE, WIRE CUT, "ANTIQUE RED"
- B ALLUCOBOND, "CADET GRAY COOL"
- C STOREFRONT: BLACK
- D WHITE TEXT ON RED BACKGROUND
- E CORDONADO STONE, CHESELED WATER TABLE "LIGHT GREY"
- F COLOR/FINISH TO MATCH ADJACENT SURFACE
- G COLOR TO MATCH SHERWIN WILLIAMS: SW 6990 "CAVARI"
- H MIL FINISH ALUMINUM
- J SHERWIN WILLIAMS A-100 EXTERIOR GLASS LATEX: SW 7074 "SOFTWARE" (PAINT ALL SIDES OF DOOR)
- K NATURAL CONCRETE, GRAY
- L STAINLESS STEEL



1530 BALBOA AVENUE  
SAN DIEGO, CA 92103  
© 2007 lock in the box inc.  
This drawing, drawings, and specifications are the property of lock in the box inc. and shall not be reproduced, stored, transmitted, or disseminated in any form or by any means, without the prior written consent of lock in the box inc. This drawing is intended for the use of the client only and is not to be used for any other purpose without the prior written consent of lock in the box inc.

**DATES**  
RELEASE: NOV 12, 2001  
P.M. UPDATES: JAN 3, 2010  
SUBMITTAL DATE:  
1 JULY 14, 2010  
2 JULY 8, 2011  
3

**REVISIONS**  
△ PLAN COMMENTS  
△  
△  
△  
△  
△

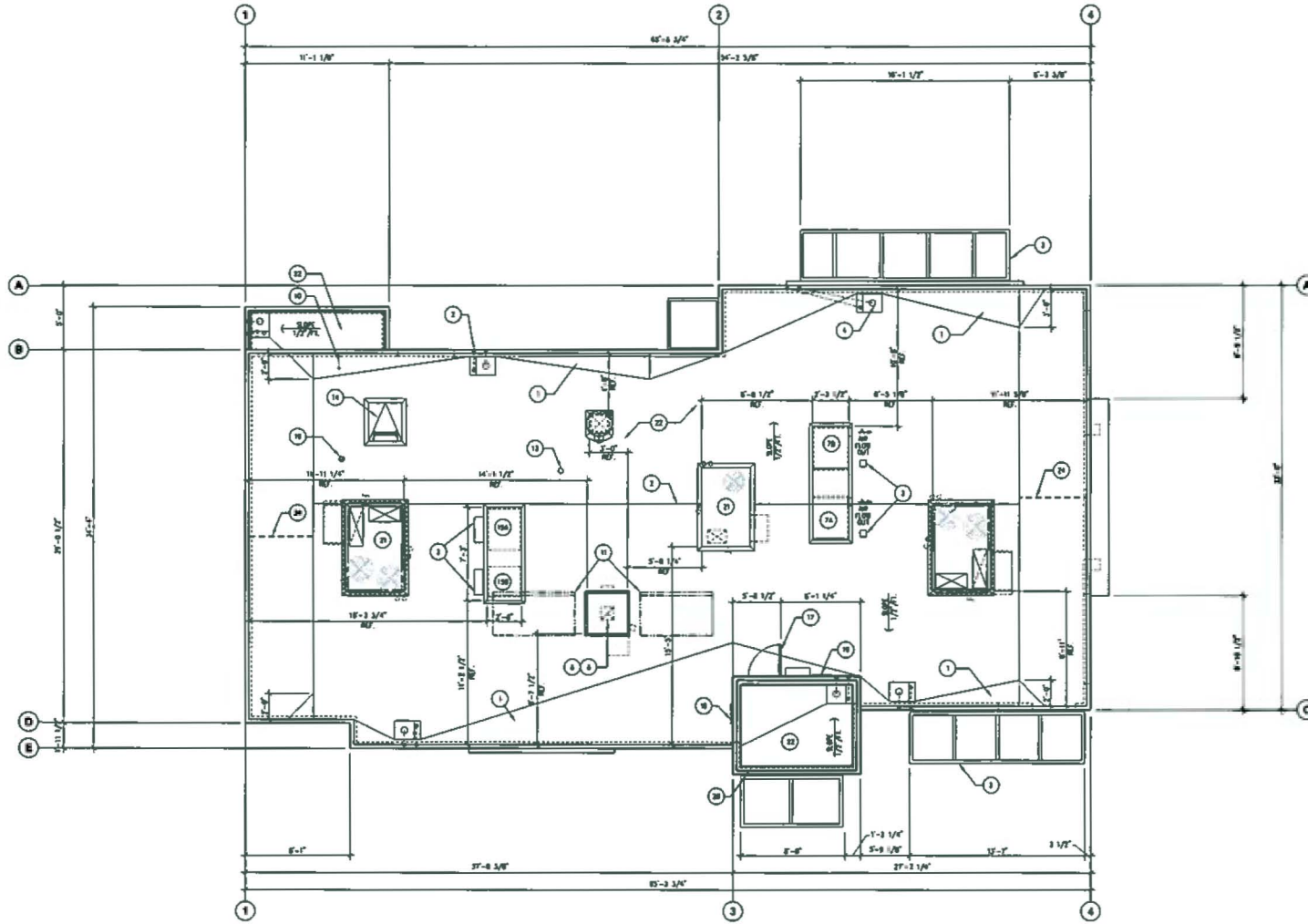


1070 Camino del Rio South, Suite 220  
PO BOX 111527  
SAN DIEGO, CA 92161  
PH: (619) 414-5589  
FAX: (619) 414-5589  
www.pmgroupp.com

**SITE INFORMATION**  
MR. TYPE: SA\_S02-0P71  
JOB #: 0031  
ADDRESS:  
1110 C STREET  
SAN DIEGO, CA  
DRAWN BY:  
PROJECT #: 0010007  
SCALE: AS SHOWN

**KEY NOTES**

- |    |  |     |  |    |   |
|----|--|-----|--|----|---|
| 1  | PLYWOOD SHEETS, TYP.   | 3   | EXHAUST FAN UNIT   | 11 | ACCESS DOOR FOR SPECIFICATIONS, TYP., PAINT TO MATCH FLOORING   |
| 2  | ROOF LINE  | 10  | HOSE RACK 21" x 48" ABOVE ROOF LEVEL   | 16 | NOT USED  |
| 3  | METAL BRACING BELOW  | 11  | HOOD BELLS   | 19 | ARCH HEAVY FLUC   |
| 4  | ROOF DRAIN AT ROOF   | 12  | PLUMBING VENT  | 20 | CANT STRIP, TYP.  |
| 5  | ROOF DRAIN OVERFLOW DOWN FROM WALL   | 13  | LINE OF 0.15 BELOW   | 21 | AC UNIT   |
| 6  | 1 HR. FIRE BARRI. DUCT WRAP, AT HOOD   | 14  | ROOF ACCESS  | 22 | CLASS 'X' BUILT-UP ROOFING  |
| 7A | DRINK-WATER ICE MAKER DRAIN UNIT ON SLEEPERS FOR ROOF PENETRATION                      | 15A | FREZZER REFRIGERATION UNIT   | 23 | NOT USED  |
| 7B | SELF-SEALING ICE MAKER DRAIN UNIT ON SLEEPERS FOR ROOF PENETRATION. SEE METAL FLASHING | 15B | CHESTER REFRIGERATION UNIT   | 24 | PROVIDE "TWO BLOCKS" AT 20'-0" O.C. WALL WITH 3/8" THICK "X" SHIP BOL. ON THE TRUSS 14 1/2" O.C. ALL JOINTS TAPED |
| 8  | PATCH PAW TYP. 2'-4" LONG CENTER BETWEEN TRUSSES                                       | 16  | UNRAISED HEIGHT ON WALL USE (2) 1" x 1/2" ANGLE (2) 2x2x0' OPENINGS TO HAVE 1/4" CORROSION RESISTANT METAL MESH COVERING |    |   |



**DESIGN • ARCHITECTURE • ENGINEERING**

5130 BALBOA AVENUE  
SAN DIEGO, CA 92121

© 2007 Jack in the Box Inc.

These drawings, drawings and specifications are the property of Jack in the Box Inc. and shall not be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Jack in the Box Inc.

**DATES**

RELEASE: NOV 12, 2010  
 3 M. UPDATES: JAN 5, 2010  
 SUBMITTAL DATE:  
 1: JULY 16, 2010  
 2: JULY 9, 2011  
 3:  
 NO:  
 CONSTRUCTOR:

**REVISIONS**

△	PLAN COMMENTS
△	
△	
△	
△	
△	

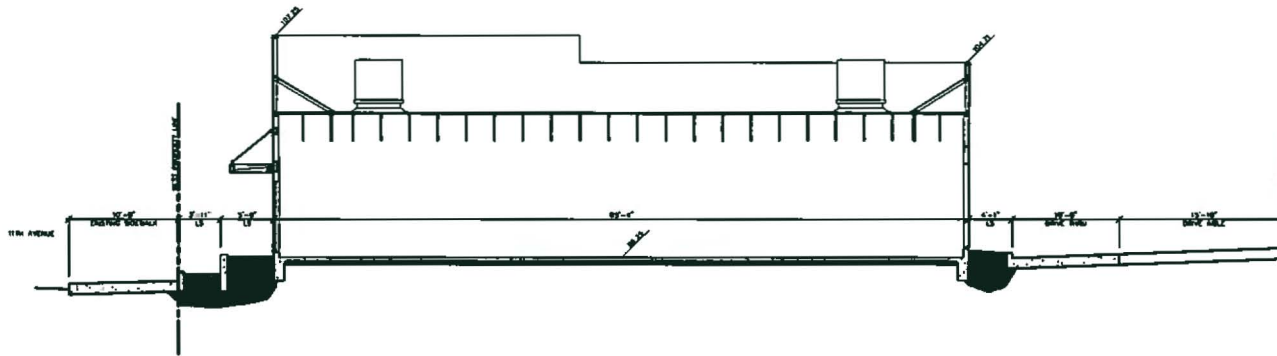
**PM Group Architects**

4430 Torrey Hills Rd Suite 220  
 90404 CA 92127  
 PH: (619) 419-6226  
 FAX: (619) 419-6226  
 pm@pmgrouparch.com  
 www.pmgrouparch.com

**SITE INFORMATION**

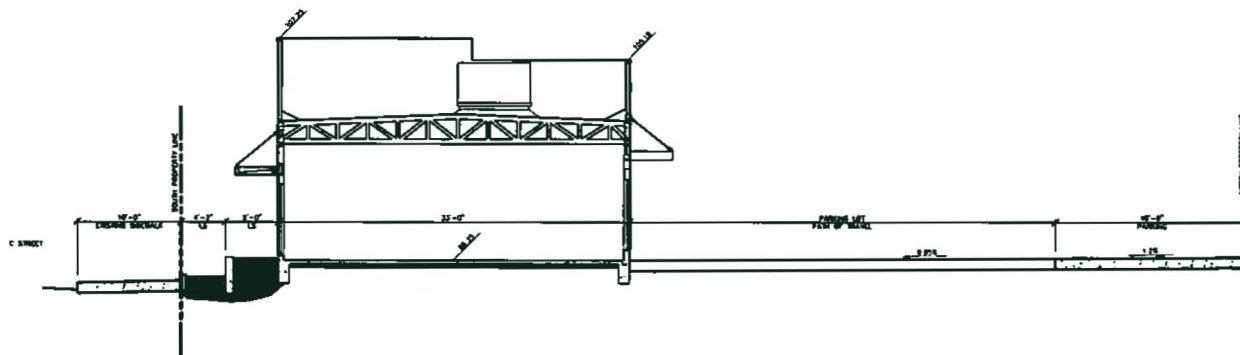
MR. TYPE: SA\_SMB-GP11  
 JOB #: 0031  
 ADDRESS:  
 1110 C STREET S  
 SAN DIEGO, CA

DRAWN BY:  
 PROJECT #: J810007  
 SCALE: 1/4" = 1'-0"



1 SITE SECTION WEST - EAST

3/8" = 1'-0"



2 BUILDING CROSS SECTION

3/8" = 1'-0"

NOTE: SEE BUILDING ELEVATIONS OR BUILDING SECTIONS FOR MORE INFORMATION ON CLADDING HEIGHTS.

**DESIGN • ARCHITECTURE • ENGINEERING**

5130 BALBOA AVENUE  
SAN DIEGO, CA 92103  
© 2007 Jack in the Box Inc.

These concepts, drawings and specifications are the property of Jack in the Box Inc. and may not be copied or reproduced without the prior written consent.

These drawings shall not be used for any other project without the prior written consent of Jack in the Box Inc. and may not be used for any other project without the prior written consent of Jack in the Box Inc.

**DATES**

RELEASE: NOV 12, 2007  
 P.M. UPDATES: JAN 5, 2010  
 SUBMITTAL DATE:  
 1 JULY 14, 2010  
 2 JULY 8, 2011  
 3

**REVISIONS**

△ PLAN COMMENTS

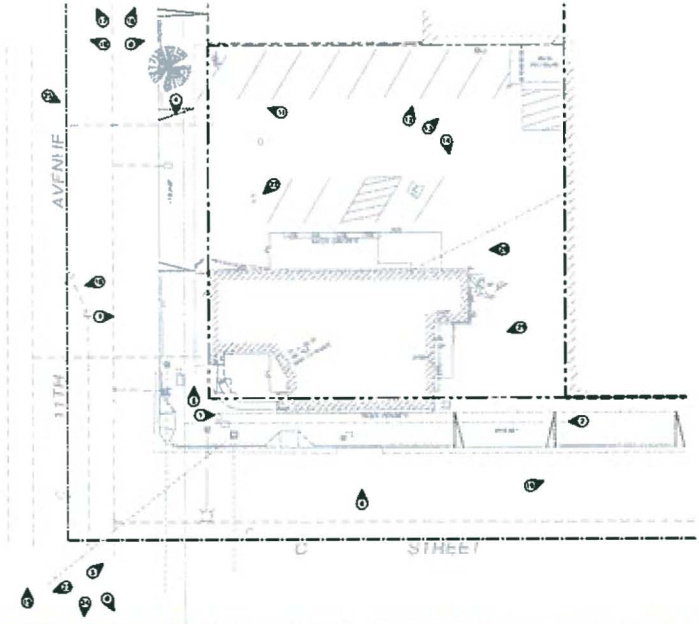
△  
 △  
 △  
 △  
 △

**PM design group Architects**

4470 Torrey Hills Sq Suite 200  
ROCKFORD, CA 94971  
PH: (415) 415-5558  
www.pmdesigngroup.com  
San Diego location

**SITE INFORMATION**

WT TYPE: SA\_Sm2-OP11  
 JOB #: 0031  
 ADDRESS:  
 1110 C STREET  
 SAN DIEGO, CA  
 DRAWN BY:  
 PROJECT #: 2810007  
 SCALE: AS NOTED



5330 BALBOA AVENUE  
SAN DIEGO, CA 92123  
© 2007 Jack in the Box Inc.  
This design, drawing and specification are the property of Jack in the Box Inc. and shall not be copied, reproduced, transmitted, disseminated, sold, rented, leased, loaned, or otherwise distributed in any form or by any means without the prior written consent of Jack in the Box Inc. The user of this document shall be deemed to have agreed to these terms and conditions.

RELEASE: NOV 12, 2007  
P.M. UPDATES: JAN 5, 2010  
SUBMITAL DATE: JULY 16, 2010  
DATE: JULY 8, 2011

REVISIONS

NO.	DESCRIPTION
1	PLAN COMMENTS
2	
3	
4	
5	
6	



4470 Torrey Hills Rd. Suite 220  
ROCKLEDGE CA 95477  
PH (916) 475-0200  
www.pmgroupproject.com

SITE INFORMATION  
MR. TYPE: SA\_SML\_OP11  
JOB #: 0031

ADDRESS  
1110 C STREET  
SAN DIEGO, CA

DRAWN BY:  
PROJECT #: 3810007  
SCALE: 1"=10'-0"

SITE PHOTO  
KEY MAP

EXHIBIT 1



Jack in the Box  
JIB#0031  
1110 C Street  
San Diego, CA

