

Attachment 1

Action Items:

- **Village at Zion Senior Housing**
Robin Madaffer, representing the applicant, made a brief presentation and requested that the Board support the initiation of a community plan amendment to redesignate the project from single-family residential/church to medium- to high density residential. M/S Adams/McSweeney to approve initiation of a community plan amendment with the stipulation that the vote not be interpreted as being either in favor or opposed to the ultimate project, nor is the vote an indication of position on a particular zone. The vote was approved 12-4-0 (Kelly, Reed, Wagner, and Murray opposed).
- **Allied Gardens Traffic Calming**
This item was continued to the November 21 meeting.

Information Items:

- **Redistricting update and discussion of new Council District 7**
John Pilch and Jay Wilson briefly described formation of a committee of community group and town council chairs within the new District 7.
- **Project Review Status and New Project Submittal update**
John Pilch reported no project submittals other than for reconstruction of the Lake Murray C convenience store.

Community Group Reports:

- **Grantville Stakeholders Group** – Matt Adams reported that the Grantville Stakeholders may meet on October 24.
- **Allied Gardens Community Council** – Marilyn Reed reported that the AGCC will meet at 7:00 p.m. on November 29 at Ascension Lutheran Church. The guest speaker will be mayoral candidate Nathan Fletcher.
- **Del Cerro Action Council** – Jay Wilson reported that the DCAC will meet at 7:00 p.m. on October 27 at Temple Emanu-El. The guest speaker will be Ed Luna, City Auditor.
- **San Carlos Area Council** – John Pilch reported that the SCAC will meet on November 2 at the library.

Old Business:


- **Parks Committee update**
Cindy Martin and Jay Wilson requested the opportunity to give a detailed report at the November 21 NCPI meeting.

New Business:

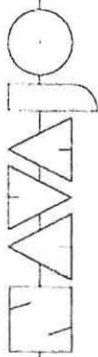
- **CPC Update:** Dan Smith, NCPI Representative, requested the opportunity to give a detailed report at the November 21 NCPI meeting.

Adjourn:

The meeting was adjourned at 9:15 p.m.



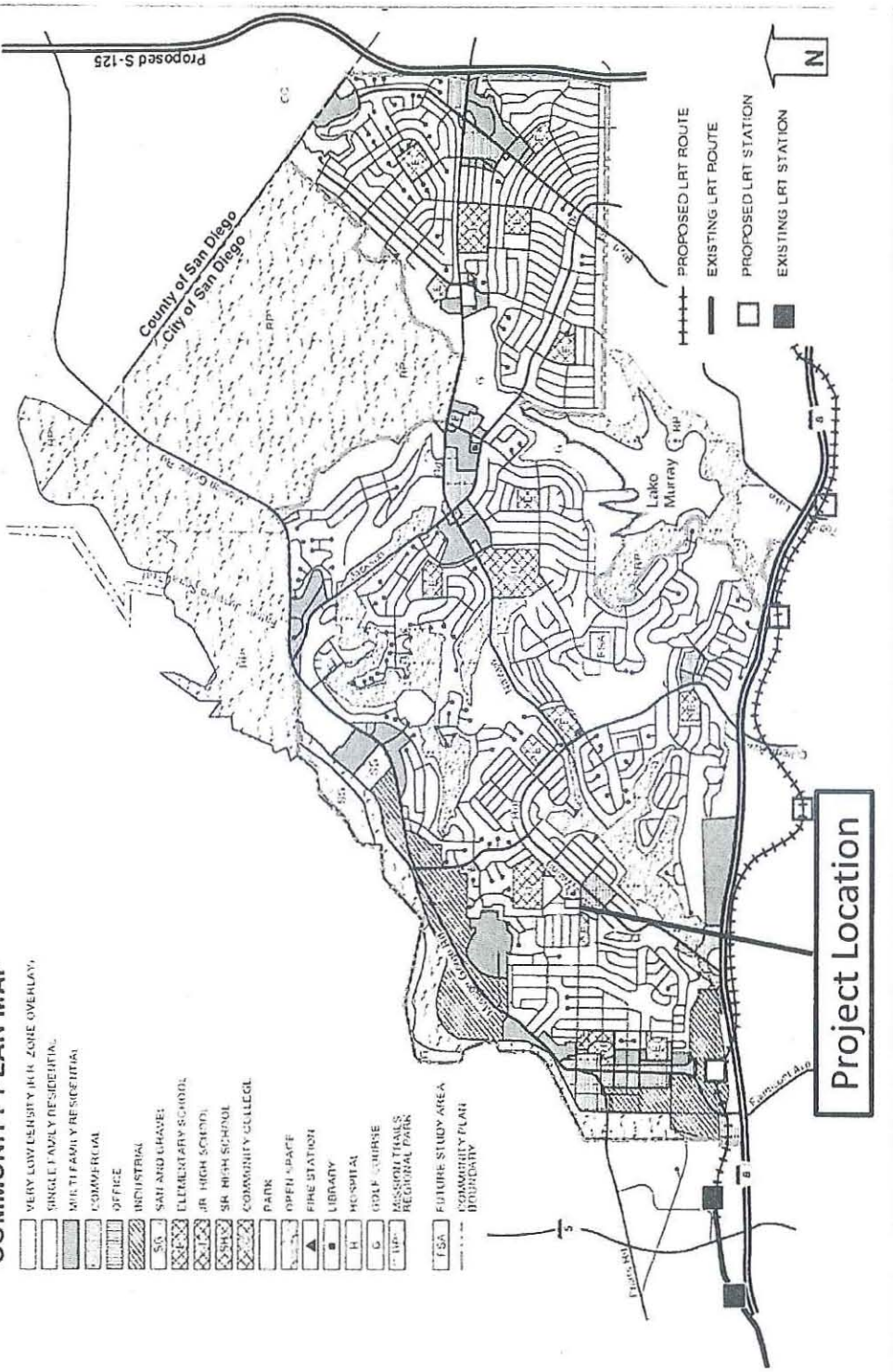
Allen Jones, Chair



COMMUNITY PLAN MAP

- VERY LOW DENSITY (H.A. ZONE OVERLAY)
- SINGLE FAMILY RESIDENTIAL
- MULTI FAMILY RESIDENTIAL
- COMMERCIAL
- OFFICE
- INDUSTRIAL
- SAN AND GRASS
- ELEMENTARY SCHOOL
- JR. HIGH SCHOOL
- SR. HIGH SCHOOL
- COMMUNITY COLLEGE
- PARK
- OPEN SPACE
- FIRE STATION
- LIBRARY
- HOSPITAL
- GOLF COURSE
- MISSION TRAILS REGIONAL PARK

- FSA
- COMMUNITY PLAN
- BOUNDARY

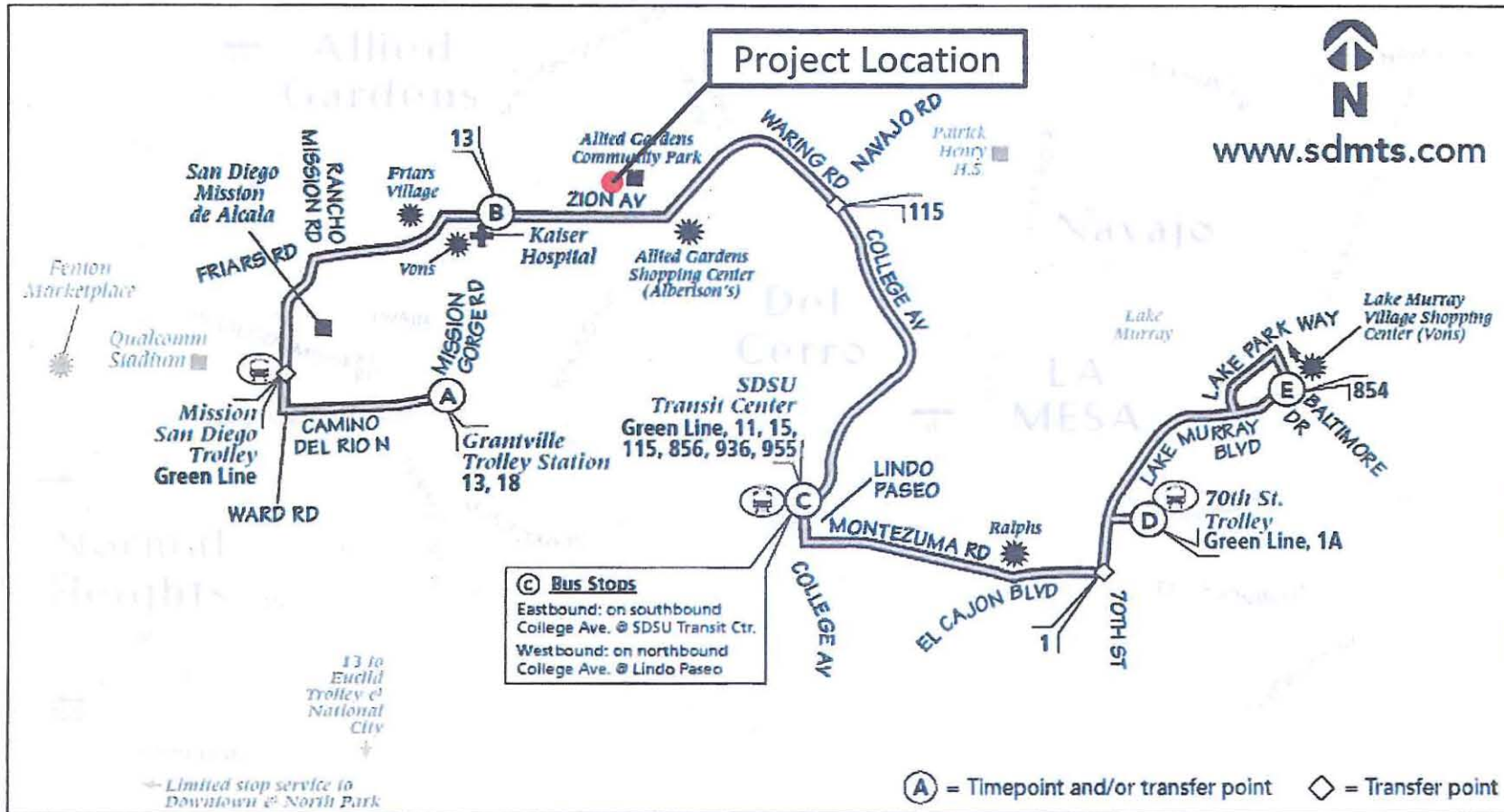


Project Location

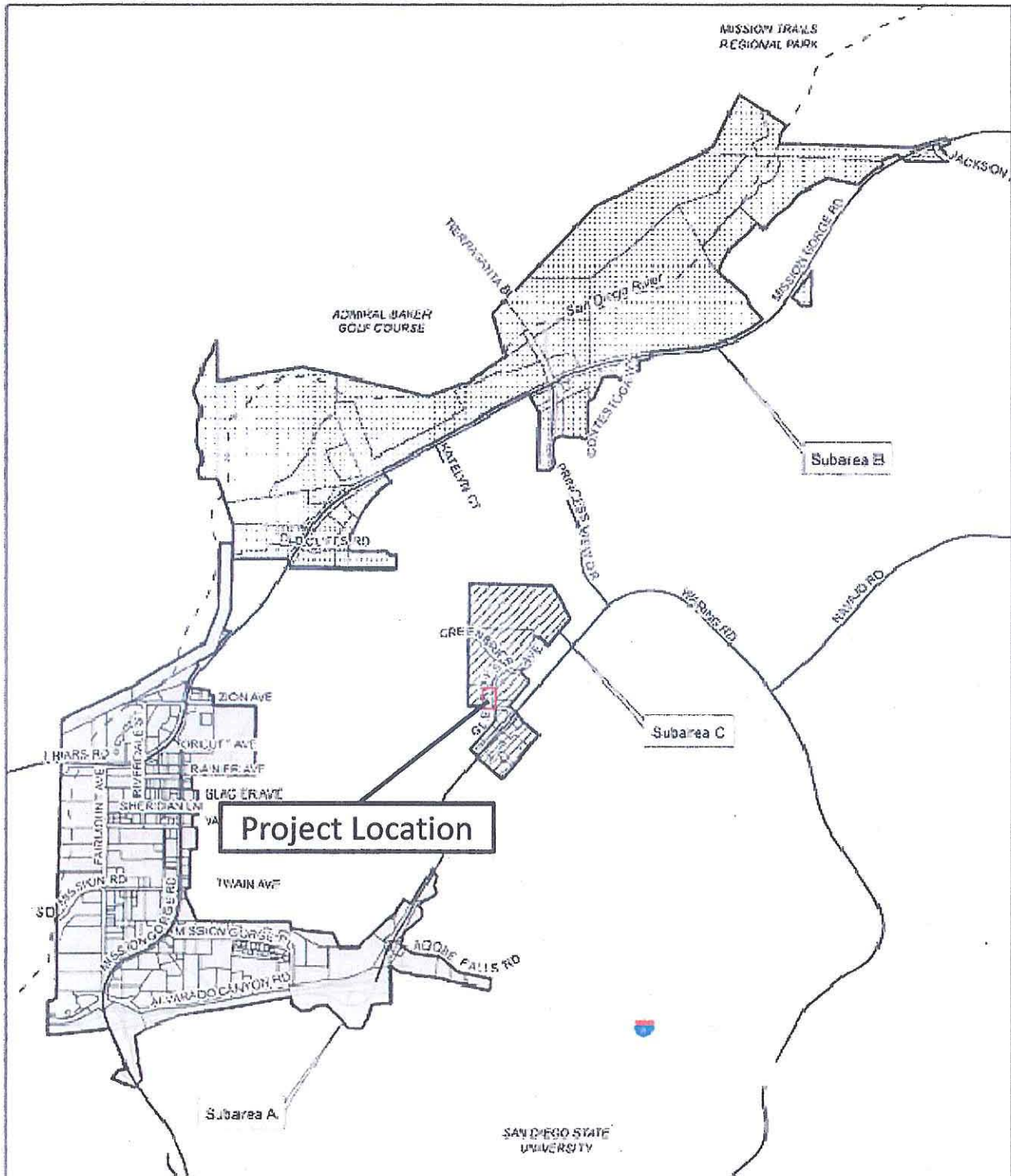
Project Location Map



MTS Bus Route 14

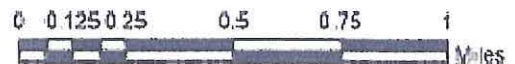


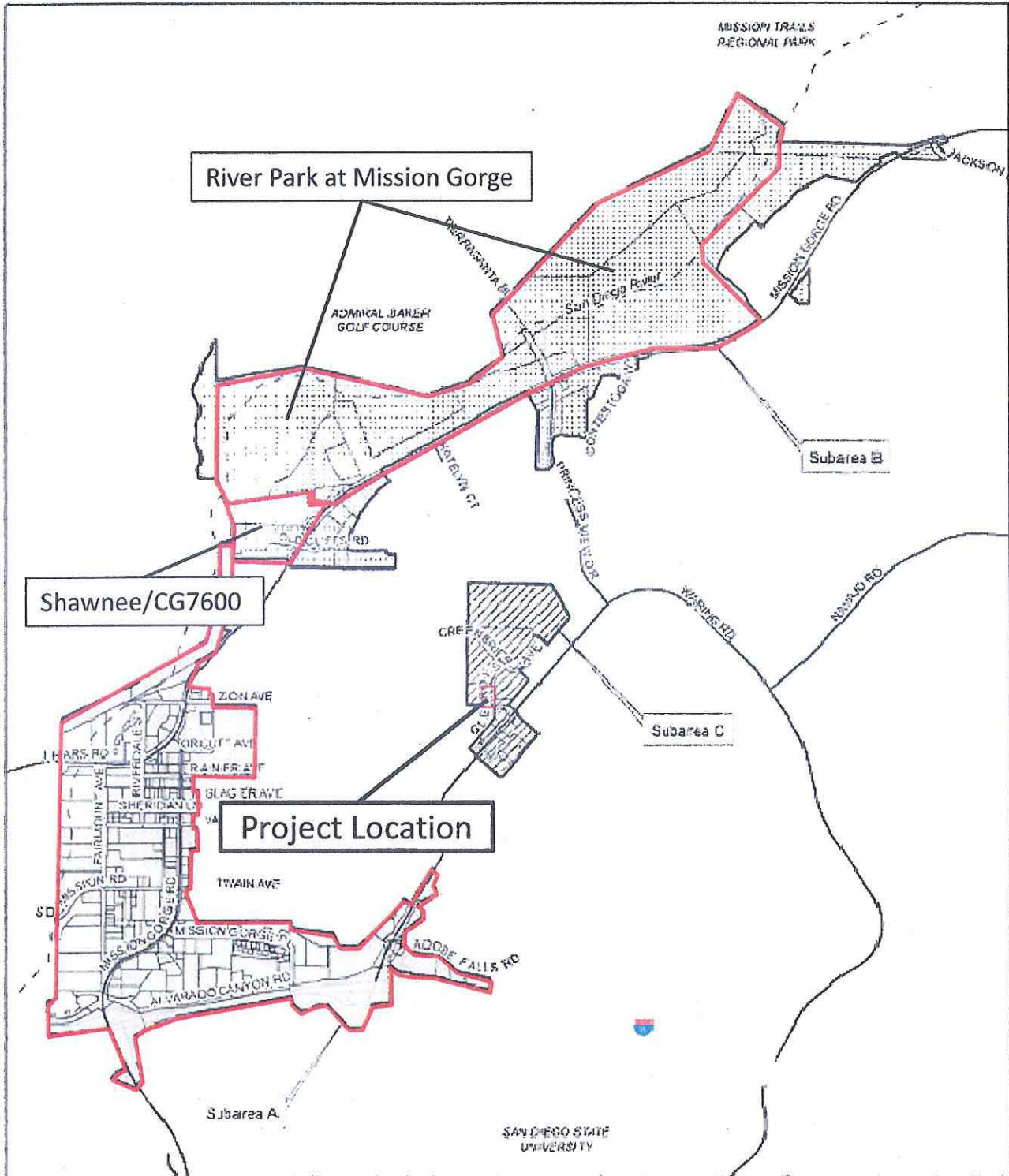
Attachment 5



Grantville Redevelopment Project Area

Sources: SanGIS, 2004 and BRG Consulting, Inc., 2005





Grantville Redevelopment Project Area

Sources: SanGIS, 2004 and BRG Consulting, Inc., 2005



PLANNING COMMISSION RESOLUTION NO. ____-PC

INITIATING AN AMENDMENT TO THE GENERAL PLAN
AND THE NAVAJO COMMUNITY PLAN

WHEREAS, on November 3, 2011, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering a request to initiate an amendment to the General Plan and the Navajo Community Plan; and

WHEREAS, the proposed amendment would change the land use designation of a 1.21 acre parcel, from Single Family Residential to Multi-Family Residential; and

WHEREAS, the Planning Commission of the City of San Diego considered all maps, exhibits, and written documents presented for this project, and had considered the oral presentations given at the public hearing; NOW, THEREFORE:

BE IT RESOLVED by the Planning Commission of the City of San Diego, that the initiation of a plan amendment in no way confers adoption of a plan amendment, that neither staff nor the Planning Commission is committed to recommend in favor or denial of the proposed amendment, and the City Council is not committed to adopt or deny the proposed amendment; and

BE IT FURTHER RESOLVED that the Planning Commission of the City of San Diego determines that the proposed plan amendment meets the three criteria for initiation as described in section LU-D.10 of the Land Use Element of the General Plan:

- (1) **The amendment request appears to be consistent with the goals and policies of the General Plan and Navajo Community Plan:**

The request to redesignate the site to multi-family residential appears to be consistent with the objectives and policies of the General Plan, Navajo Community Plan and the Grantville Redevelopment Project Plan. The General Plan, the Navajo Community Plan and the Grantville Redevelopment Plan all identify the goal of creating balanced communities which support implementation of the City of Villages Strategy. The City of Villages Strategy strives to increase housing supply and diversity through the development of compact, mixed-use villages in specified areas. The proposed amendment will provide an opportunity to develop varied housing types with different affordability levels to create interest and provide a mix of people with various economic and social characteristics in an area that is in close proximity to public services, transit, and commercial and retail services.

- (2) **The proposed amendment provides additional public benefit to the community as compared to the existing land use designation, density/intensity range, plan policy or site design; and**

The proposed amendment would allow multi-family development at a location in close proximity to public services, transit, and commercial and retail shopping opportunities. Such development could help reduce vehicle trips within the community, promote greater pedestrian activity and transit usage. Development of single family homes in accordance with the existing land use designation and zoning has not been realized for years and the site has remained vacant, missing the

opportunity to develop a transit oriented residential development and creating an eyesore for neighboring development.

If initiated, the applicant would propose to move forward with an affordable senior housing project through the City's Affordable Housing Expedite Program. Senior housing in this area would allow an opportunity for aging residents in Navajo to remain within the community who may not otherwise be able to remain in their home. The project site is in a location where public facilities and services, transit and shopping are in close proximity, reducing or eliminating the need rely on the automobile for day to day activities. If initiated, additional public benefits would be explored.

- (3) **Public facilities appear to be available to serve the proposed increase in density/intensity, or their provision will be addressed as a component of the amendment process.**

Public facilities do appear available to serve the proposed amendment to increase density at the site. A full analysis of public facilities would be included as part of the community plan amendment analysis should this request be initiated.

As outlined above, the proposed plan amendment meets all of the above criteria as described; therefore, staff recommends that the amendment to the Navajo Community Plan be initiated.

The following land use issues have been identified by City Staff and by the Navajo Community Planning Group. If initiated, these issues, as well as others that may be identified, will be analyzed and evaluated through the community plan amendment review process:

- Determine the appropriate land use designation and intensity for the site
- Evaluate traffic generation and circulation
- Evaluate the accessibility of transit
- Evaluate the ability of the project to incorporate of sustainable design features
- Determine the appropriate zone to implement the proposed use and provide compatible development regulations
- Evaluate urban design issues within the site with regard to neighborhood interface and pedestrian access and circulation
- Evaluate the provision of pedestrian amenities and streetscape improvements associated with new multi-family residential development
- Evaluate the need and ability to provide affordable housing in the community

Dan Monroe
Senior Planner
City Planning & Community Investment

Approved on November 3, 2011

Vote: x-x-x

PTS No. 255320

cc. Legislative Recorder, Development Services Department



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

The City of San Diego

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other CPAI

Project Title

Project No. For City Use Only

Village at Zion Senior Apartments

Project Address:

NWC Zion Avenue and Glenroy Street, San Diego, CA 92120 (APN: 672-300-05)

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

George Harb

Owner Tenant/Lessee Redevelopment Agency

Street Address:

5111 Waring Road

City/State/Zip:

San Diego, CA 92120

Phone No:

619-507-7119

Fax No:

619-582-7880

Signature:

George Harb

Date:

8-29-11

Name of Individual (type or print):

Janet Harb

Owner Tenant/Lessee Redevelopment Agency

Street Address:

5111 Waring Road

City/State/Zip:

San Diego, CA 92120

Phone No:

619-507-7119

Fax No:

619-582-7880

Signature:

Janet Q. Harb

Date:

8-29-11

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

PLANNING COMMISSION RESOLUTION NO. 4743-PC

INITIATING AN AMENDMENT TO THE GENERAL PLAN
AND THE NAVAJO COMMUNITY PLAN

WHEREAS, on November 3, 2011, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering a request to initiate an amendment to the General Plan and the Navajo Community Plan; and

WHEREAS, the proposed amendment would change the land use designation of a 1.21 acre parcel, from Single Family Residential to Multi-Family Residential; and

WHEREAS, the Planning Commission of the City of San Diego considered all maps, exhibits, and written documents presented for this project, and had considered the oral presentations given at the public hearing; NOW, THEREFORE:

BE IT RESOLVED by the Planning Commission of the City of San Diego, that the initiation of a plan amendment in no way confers adoption of a plan amendment, that neither staff nor the Planning Commission is committed to recommend in favor or denial of the proposed amendment, and the City Council is not committed to adopt or deny the proposed amendment; and

BE IT FURTHER RESOLVED that the Planning Commission of the City of San Diego determines that the proposed plan amendment meets the three criteria for initiation as described in section LU-D.10 of the Land Use Element of the General Plan:

- (1) **The amendment request appears to be consistent with the goals and policies of the General Plan and Navajo Community Plan:**

The request to redesignate the site to multi-family residential appears to be consistent with the objectives and policies of the General Plan, Navajo Community Plan and the Grantville Redevelopment Project Plan. The General Plan, the Navajo Community Plan and the Grantville Redevelopment Plan all identify the goal of creating balanced communities which support implementation of the City of Villages Strategy. The City of Villages Strategy strives to increase housing supply and diversity through the development of compact, mixed-use villages in specified areas. The proposed amendment will provide an opportunity to develop varied housing types with different affordability levels to create interest and provide a mix of people with various economic and social characteristics in an area that is in close proximity to public services, transit, and commercial and retail services.

- (2) **The proposed amendment provides additional public benefit to the community as compared to the existing land use designation, density/intensity range, plan policy or site design; and**

The proposed amendment would allow multi-family development at a location in close proximity to public services, transit, and commercial and retail shopping opportunities. Such development could help reduce vehicle trips within the community, promote greater pedestrian activity and transit usage. Development of single family homes in accordance with the existing land use designation and zoning has not been realized for years and the site has remained vacant, missing the opportunity to develop a transit oriented residential development and creating an eyesore for neighboring development.

If initiated, the applicant would propose to move forward with an affordable senior housing project through the City's Affordable Housing Expedite Program. Senior housing in this area would allow an opportunity for aging residents in Navajo to remain within the community who may not otherwise be able to remain in their home. The project site is in a location where public facilities and services, transit and shopping are in close proximity, reducing or eliminating the need rely on the automobile for day to day activities. If initiated, additional public benefits would be explored.

- (3) **Public facilities appear to be available to serve the proposed increase in density/intensity, or their provision will be addressed as a component of the amendment process.**

Public facilities do appear available to serve the proposed amendment to increase density at the site. A full analysis of public facilities would be included as part of the community plan amendment analysis should this request be initiated.

As outlined above, the proposed plan amendment meets all of the above criteria as described; therefore, staff recommends that the amendment to the Navajo Community Plan be initiated.

The following land use issues have been identified by City Staff, the Navajo Community Planning Group and Planning Commission. These issues, as well as others that may be identified, will be analyzed and evaluated through the community plan amendment review process:

- Determine the appropriate land use designation and intensity for the site
- Evaluate traffic generation and circulation
- Evaluate the accessibility of transit
- Evaluate the ability of the project to incorporate sustainable design features and achieve a high level LEED certification
- Determine the appropriate zone to implement the proposed use and provide compatible development regulations
- Evaluate urban design issues within the site with regard to neighborhood interface and pedestrian access and circulation
- Evaluate the provision of pedestrian amenities and streetscape improvements associated with new multi-family residential development including the potential for a pocket park
- Evaluate the opportunity to provide shared facilities and services for the Navajo community
- Evaluate the need and ability to provide affordable housing in the community

Dan Monroe
Senior Planner
City Planning & Community Investment

Approved on November 3, 2011
Vote: 5-0-0
PTS No. 255320

cc. Legislative Recorder, Development Services Department



SCHWARTZ HEIDEL SULLIVAN, LLP

TIMOTHY K. GARFIELD
LAUREL LEE HYDE
ROBIN M. MADAFFER
KEVIN P. SULLIVAN

LYNNE L. HEIDEL
OF COUNSEL

WILLIAM J. SCHWARTZ, JR.
(1941 - 2011)

WRITER'S EMAIL:
ROBIN@SANLAWYERS.COM

EIN: 33-0718779

WWW.SANLAWYERS.COM

October 18, 2012

Via E-Mail Only

Ms. Laura Black
Project Manager
Development Services
City of San Diego
1222 First Avenue
San Diego, CA 92101
lblack@san diego.gov

Re: **Village at Zion – Project No. 266702**
Revised Responses to Community Plan Amendment Initiation Issues

Dear Ms. Black:

As you know we represent Fore Property Company with respect to the proposed Village at Zion project (No. 266702) located on the northwest corner of Zion Avenue and Glenroy Street. Per the Cycle Issues Report dated April 4, 2012, Long Range Planning Review, Issue No. 3, we have prepared detailed responses to the issues raised during the Community Plan Amendment Initiation process.

Specifically, Issue 3 states: "Please provide a narrative describing in further detail how the issues identified as part of the CPA Initiation hearing have been addressed (Issues 4-12). These will be included as an attachment to the staff report for future PC hearing."

The following issues were identified and our responses are found below:

1. Land Use Designation & Intensity

We believe the appropriate Community Plan land use designation for the site is multi-family residential with a density of 30 to 43 dwelling units per acre. The Project will consist of 60 senior affordable apartments and accompanying 1,846 square foot Clubhouse which will provide a community room, computer room, fitness center, library area and covered patio. The site is located immediately adjacent to the Allied Gardens Community Park, the library and senior center. It is also walking distance from numerous churches, commercial centers and Kaiser Hospital and Medical Center. Although the immediately surrounding neighborhood is single-family, there are other multi-family residential developments within the vicinity.



October 18, 2012

Page 2

For these reasons, we believe the proposed multi-family designation and density are appropriate at this location and because it will provide much needed senior housing near transit and walking distance to community and neighborhood services.

2. Traffic Generation & Circulation

Fore Property Company will implement the City of San Diego Traffic Manual Standards as they relate to affordable housing traffic generation rates. The traffic generation rate for this project, based on City of San Diego Standards, is 4 trips per dwelling unit. With 60 proposed units the project will generate 240 daily trips. Per the City Standards, this land use does not have significant morning or afternoon peak traffic volumes.

3. Transit Access

There are several bus stops within ¼ mile of the site including a stop at the Benjamin Branch Library and a stop directly across the street from the proposed development on Zion Avenue. MTS Route 14 is the primary bus route in the area which provides direct access to four San Diego Trolley stations including the Grantville Trolley Station, the Mission San Diego Trolley, the SDSU Transit Center, and the 70th St. Trolley. Additionally, this Route provides direct access to medical facilities including Kaiser Hospital, as well as the San Diego Mission de Alcala and other community points of interest.

4. Sustainable Design Features

The development will incorporate several sustainable design features including low flow faucets, toilets and showerheads, installing low emissivity windows and low cfl lighting, requiring the use of low VOC paint, adhesives, carpet and padding and by implementing xeriscaping landscape features throughout the site. These features will also be incorporated into the clubhouse which will provide a community room, computer room, fitness center, library area and covered patio. With these features, Fore Property will be seeking a minimum United States Green Building Council Silver Certification.

5. Zoning

The appropriate zone to implement the proposed multi-family residential use is RM-3-7 (Residential-Multiple Unit). The purpose of the RM zone is to provide for multiple dwelling unit development at varying densities. The RM-3-7 zone permits a density of one dwelling unit of each 1,000 square feet of lot area. The lot area of the proposed site is 52,871 square feet which would



October 18, 2012

Page 3

allow 53 multi-dwelling units. However, the proposed 60-unit development will be permitted in accordance with the Affordable Housing Density Bonus regulations. The Project will abide by all other development regulations of the RM-3-7 zone.

6. Urban Design

The Project was originally planned with three stories but was revised to two stories in response to community input. We believe the two-story height is compatible with the surrounding neighborhood. The architectural style of the building is a craftsman design with an exterior consisting of stucco, cement siding and stone veneer. Additionally, the building will be oriented at the intersection of Glenroy Street and Zion Avenue to provide a pedestrian friendly amenities and access points, with one level of subterranean parking.

7. Pedestrian Amenities & Streetscape Improvements

As discussed above, the Project will be oriented at the intersection of Glenroy Street and Zion Avenue to provide pedestrian friendly amenities as well as a 32-stall bicycle parking area. The project will also incorporate a view corridor at the intersection to enhance the overall streetscape. Additionally, Fore Property will improve the nearby bus stop facility located in front of the Benjamin Branch Public Library with an improved seating area and overhang, similar to recently improved bus shelters in other communities. The driveway area will also be enlarged to allow those using wheelchairs to remain on a safer, flat surface as they maneuver around the driveway curb-cut.

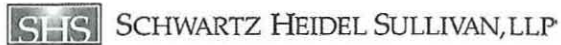
8. Affordable Housing

The Project will be 100% affordable housing units for seniors. The residents will be restricted to households with annual income between 30% and 60% of the San Diego Area Median Income which is currently \$75,900. Thus, under the current AMI standard, the income limits for the project would range from \$16,890 to \$43,380 per household. The typical renter profile would be a retired single or widowed person, 65-years old who receives Social Security benefits as his or her sole source of income.

9. Open Space within Project

The Project will include over 5500 square feet of landscaped open space throughout the site including two central courtyards and several side yards. This exceeds the required open space area by 4,000 square feet.

10. Shared Facilities & Services for Seniors



October 18, 2012

Page 4

The Project will offer social services to its senior residents and other senior community members including life training and skills classes. Additionally, Fore Property has agreed to allow the nearby Benjamin Branch Library to use its Clubhouse space for Library events, which cannot be accommodated in the Library's existing space. Fore Property Company also met with the Friends of the Library about their needs and has agreed to make cabinetry improvements at the Library and to donate and entry monument sign at the Allied Gardens Recreation Center per their specific suggestions.

11. LEED Rating

As previously stated, the development will incorporate sustainable design features and will be seeking a minimum United State Green Building Council Certification of Silver. See paragraph 4 above.

Based on the above, we believe we have adequately addressed the issues raised by the Planning Commission and community during the community plan amendment initiation process. Please feel free to contact us if you have any questions or comments.

Very truly yours,

A handwritten signature in cursive script that reads 'Robin Madaffer'.

Robin Madaffer

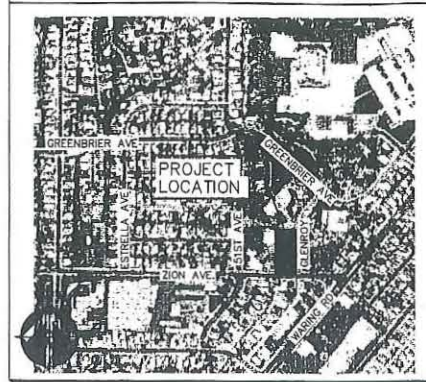
PROJECT NARRATIVE:

1. CONSTRUCT A NEW INFILL TWO STORY AFFORDABLE SENIOR HOUSING APARTMENT BUILDING ON THE EXISTING VACANT PROPERTY, INCLUDING CLUBHOUSE AMENITY AREAS SUCH AS A COMPUTER ROOM, SITTING AREAS AND OPEN COMMON SPACE AREA FOR SOCIAL INTERACTION. ON-SITE PARKING IS LOCATED IN A PARTIALLY UNDERGROUND GARAGE ALONG THE WEST PROPERTY LINE.
2. PROVIDE ONE NEW CURB CUT AND DRIVE APPROACH FOR NEW FACILITY, LOCATED OFF OF GLENROY ST. THE UNDER-UTILIZED DRIVEWAY ON ZION AVENUE TO BE CLOSED AND REPLACED WITH STANDARD HEIGHT CURB, GUTTER AND SIDEWALK, SATISFACTORY TO THE CITY ENGINEER.
3. REQUIRED DISCRETIONARY PERMITS / APPROVALS: COMMUNITY PLAN AMENDMENT (CPA), REZONE, AND CONDITIONAL USE PERMIT (CUP).
4. THE PROPOSED PROJECT SHALL BE DESIGNED TO ACHIEVE LEED SILVER RATING OR HIGHER, UTILIZING THE REQUIRED ENERGY EFFICIENT FEATURES TO COMPLY WITH RATING REQUIREMENTS.
5. SERVICE WILL BE PROVIDED TO PICK UP TRASH FROM INDIVIDUAL UNITS TO DROP OFF IN THE COLLECTION AREA.
6. 100% OF DWELLING UNITS TO BE AFFORDABLE.

PROJECT TEAM:

DEVELOPER FORE PROPERTY COMPANY LEE NOVAK 1741 VILLAGE CENTER CIRCLE LAS VEGAS, NV 89134 PHONE: (702) 830-4282 EMAIL: LNOVAK@FOREPROPERTY.COM	ARCHITECTURAL BILTFORM ARCHITECTURE GROUP OF CALIFORNIA, INC. VINCE SCARANO 11460 NORTH CAVE CREEK ROAD SUITE 66 PHOENIX, ARIZONA 85020 PHONE: (602) 285-9200 EMAIL: VINCE@BILTFORM.COM	CIVIL ENGINEERING STUART ENGINEERING STU PEACE 7525 METROPOLITAN DRIVE SUITE 308 SAN DIEGO, CA 92108 PHONE: (619) 298-1010 EMAIL: SPEACE@STUARTENGINEERING.COM
AND DAVCO DEVELOPMENT, LLC THOMAS DAVIS 2491 ALLUMVAL AVENUE, #47 CLOVIS, CA 93611 PHONE: (559) 469-7533 EMAIL: TDAVIS@DAVCODEVELOPMENT.COM		

VICINITY MAP:



PROJECT DATA

OVERALL SITE DATA:
ADDRESS: NORTHWEST CORNER OF ZION AVE. & GLENROY ST. SAN DIEGO, CALIFORNIA
CURRENT SITE AREA: ±1.21 ACRES (52,871 S.F.)
SITE AREA WITH NEW ZION AVENUE DEDICATION: ±1.15 ACRES (49,991 S.F.)
ASSESSOR PARCEL NUMBER: 672-300-05-00
LEGAL DESCRIPTION: PAR B
EXISTING USE: VACANT
PROPOSED USE: SENIOR RESIDENTIAL LIVING
PERCENTAGE OF AFFORDABLE UNITS: 100%

EXISTING PROPERTY ZONING: RS-1-7
THE AIRPORT LAND USE COMPATIBILITY OVERLAY ZONE
THE AIRPORT INFLUENCE AREA (REVIEW AREA 2)
THE FAA PART 77 NOTIFICATION AREA
MONTGOMERY FIELD OVERFLIGHT NOTIFICATION AREA
GRANTVILLE REDEVELOPMENT PROJECT AREA
NAVAJO COMMUNITY PLANNING AREA

PROPOSED PROPERTY ZONING: RM-3-7
WITH DENSITY BONUS PER SDMC CHAPTER 14, ARTICLE 3, DIVISION 7

GEOLOGIC HAZARD CATEGORY: 52
OCCUPANCY TYPE: R-2, S-2, B & A-3
CONSTRUCTION TYPE: TYPE V / TYPE II
NO. OF BUILDINGS: ONE
BUILDING HEIGHT MAXIMUM: 40'-0"
BUILDING HEIGHT PROVIDED: 37'-4"

DENSITY:
MAXIMUM ALLOWED: 50 UNITS
PROVIDED: 60 UNITS
(WITH 20% DENSITY BONUS, BASED ON SITE AREA WITH NEW ZION AVE DEDICATION)

COMMON OPEN SPACE:
OPEN SPACE REQUIRED (25 S.F. X 60 UNITS): 1,500 S.F.
OPEN SPACE PROVIDED: 5,503 S.F.

GROSS FLOOR AREA:
PARKING LEVEL: 18,777 S.F.
1ST FLOOR: 26,376 S.F.
2ND FLOOR: 25,952 S.F.
TOTAL AREA: 71,305 S.F.

FLOOR AREA RATIO:
BASED ON SITE AREA WITH NEW ZION AVE DEDICATION
MAXIMUM FAR: 1.8 (89,983.8 SF)
PROPOSED FAR: (71,305 SF / 49,991 SF) 1.43 (71,305 SF)
MAXIMUM FAR FOR NON-PARKING PURPOSES:
LESS THAN 2/3 OF MAXIMUM FAR: 1.2 (60,289.1 SF)
PROVIDED FAR FOR NON-PARKING PURPOSES: 1.05 (52,528 SF)

GROSS FLOOR AREA BREAKDOWN:
1ST FLOOR CLUBHOUSE (A3/B OCC.): 1,782 S.F.
COMMON AREAS (CORRIDORS, LAUNDRY, ETC.) 1ST & 2ND FLOORS: 9,602 S.F.

UNIT TYPE	GROSS FLOOR AREA	# UNITS	TOTAL GFA
UNIT A	650 S.F.	50	32,500 S.F.
UNIT B-1	874 S.F.	2	1,748 S.F.
UNIT B-2	862 S.F.	8	6,896 S.F.
TOTAL (3 UNIT TYPES)		60 UNITS	41,144 S.F.

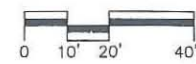
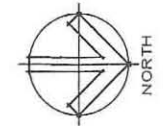
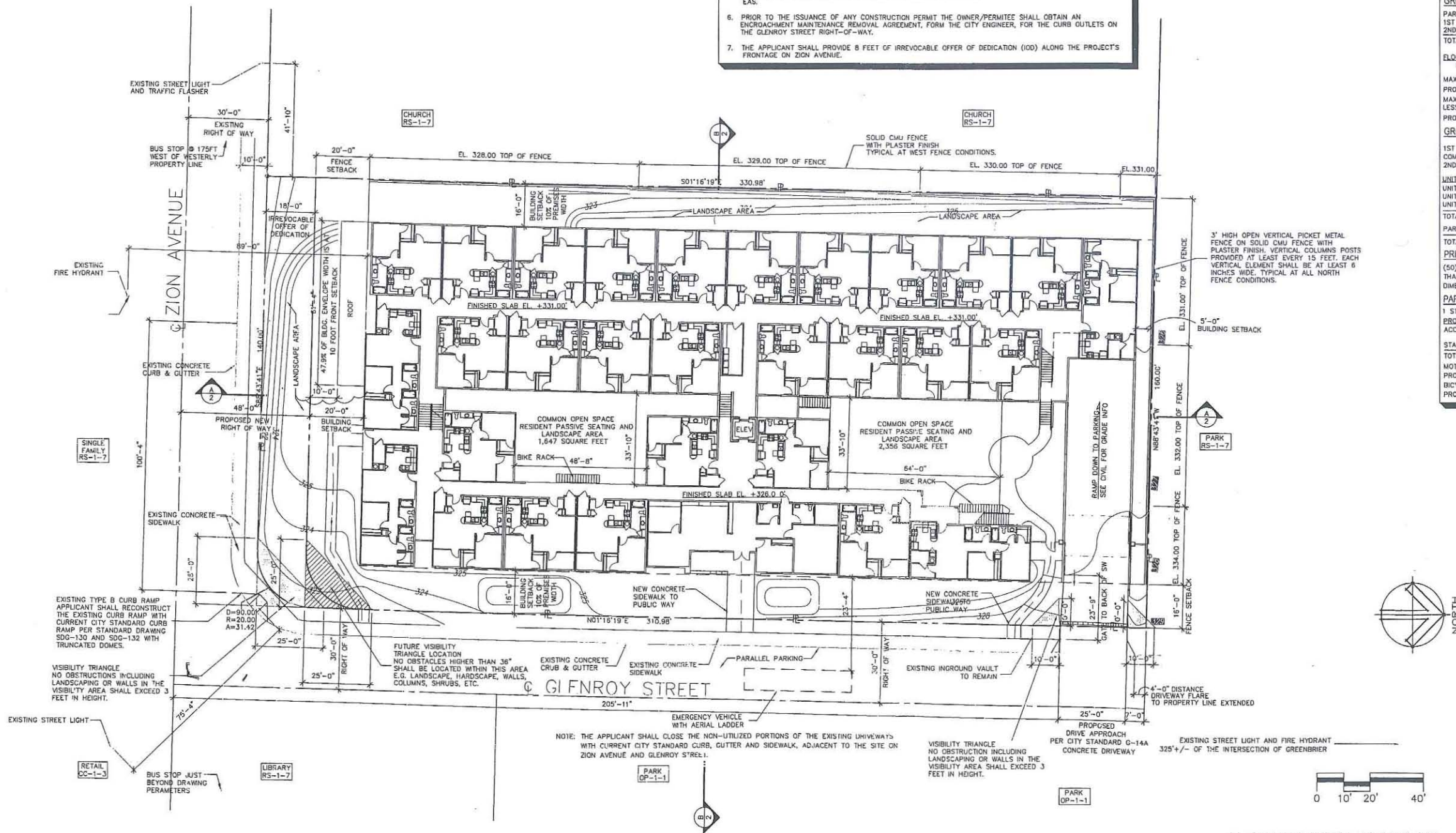
PARKING LEVEL: 18,777 S.F.
TOTAL AREA: 71,305 S.F.

PRIVATE EXTERIOR OPEN SPACE:
(50) UNIT A'S HAVE PRIVATE EXTERIOR OPEN SPACE THAT ARE 60 SQUARE FEET WITH A MINIMUM 5 FOOT DIMENSION. (50) TOTAL UNIT A'S / 60 TOTAL UNITS = 84%

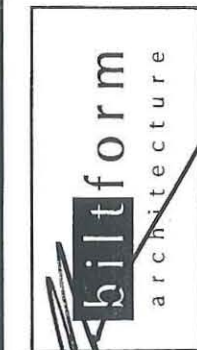
PARKING:
1 STALL PER DWELLING UNIT = 60 UNITS X 1 STALL = 60 P.S.
PROVIDED: 60 P.S.
ACCESSIBLE PARKING STALLS PROVIDED = (REQ. 5% = 3 P.S.) 3 P.S.
INCLUDING (1) VAN ACCESSIBLE SPACE
STANDARD PARKING STALLS = 57 P.S.
TOTAL PROVIDED: 60 P.S.
MOTORCYCLE SPACES REQUIRED = (0.1 X 60 UNITS) = 6 P.S.
PROVIDED: 6 P.S.
BICYCLE SPACES REQUIRED = (0.4 X 50 UNITS + 0.5 X 10 UNITS) = 25 P.S.
PROVIDED: 25 P.S.

PROJECT NOTES:

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS AND SPECIFICATIONS.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL INCORPORATE AND SHOW THE TYPE AND LOCATION OF ALL POST-CONSTRUCTION BEST MANAGEMENT PRACTICES (BMP'S) ON THE FINAL CONSTRUCTION DRAWINGS, CONSISTENT WITH THE APPROVED WATER QUALITY TECHNICAL REPORT.
5. THE PROJECT SHALL PREPARE A CONCEPTUAL WASTE MANAGEMENT PLAN THAT MUST BE REVIEWED AND ACCEPTED BY THE ENVIRONMENTAL SERVICES DEPARTMENT AND EAS.
6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FORM THE CITY ENGINEER, FOR THE CURB OUTLETS ON THE GLENROY STREET RIGHT-OF-WAY.
7. THE APPLICANT SHALL PROVIDE 8 FEET OF IRREVOCABLE OFFER OF DEDICATION (IOD) ALONG THE PROJECT'S FRONTAGE ON ZION AVENUE.



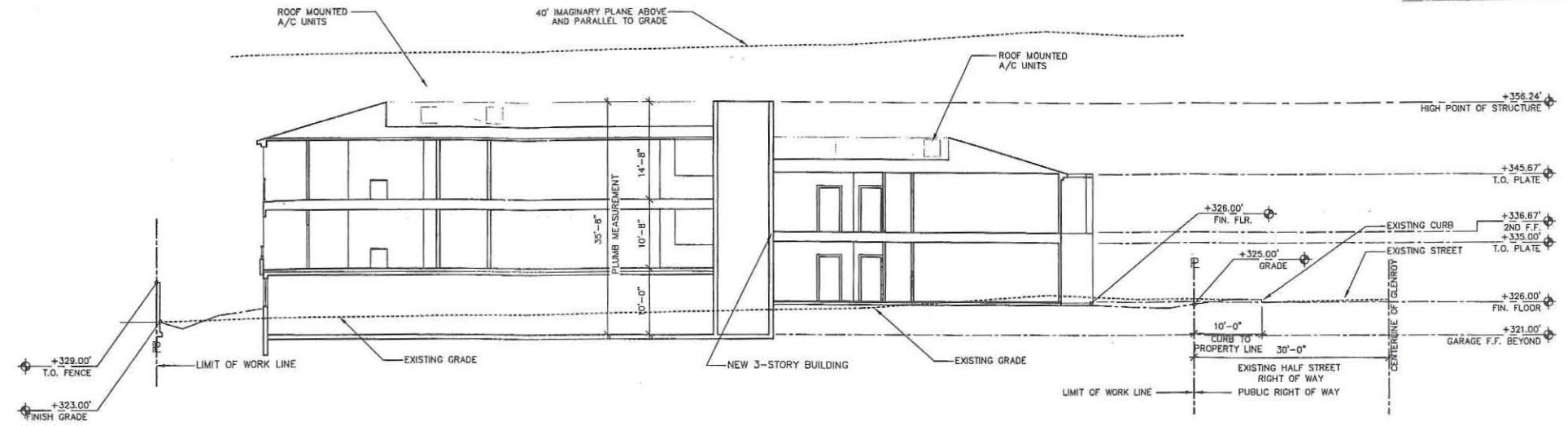
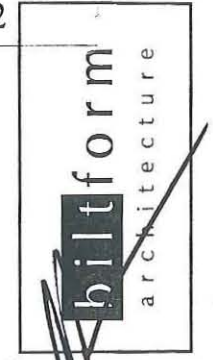
ARCHITECTURAL SITE PLAN



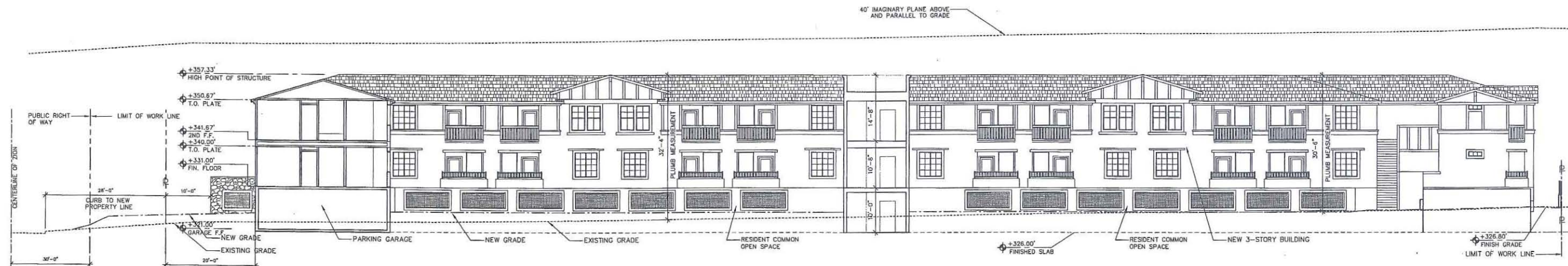
Village at Zion Senior Apartments

Fore Property Company
1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
PHONE: (702) 630-4282

Prepared By:	BILTFORM ARCHITECTURE	Revision 14:	_____
Name:	GROUP OF CALIFORNIA, INC.	Revision 13:	_____
Address:	11460 N CAVE CREEK ROAD	Revision 12:	_____
	SUITE 6	Revision 11:	_____
	PHOENIX, AZ 85020	Revision 10:	_____
Phone #:	(602) 285-9200	Revision 9:	_____
		Revision 8:	_____
Project Address:	5150 ZION AVE	Revision 7:	_____
	SAN DIEGO, CA	Revision 6:	10/19/12
		Revision 5:	10/01/12
Project Name:	VILLAGE AT ZION	Revision 4:	9/04/12
	SENIOR APARTMENTS	Revision 3:	7/31/12
		Revision 2:	2/29/12
		Original Date:	12/14/11
Sheet Title:	ARCHITECTURAL	Sheet 1 of 12	
	SITE PLAN	DCP# 25-5320	



B SECTION B



A SECTION A

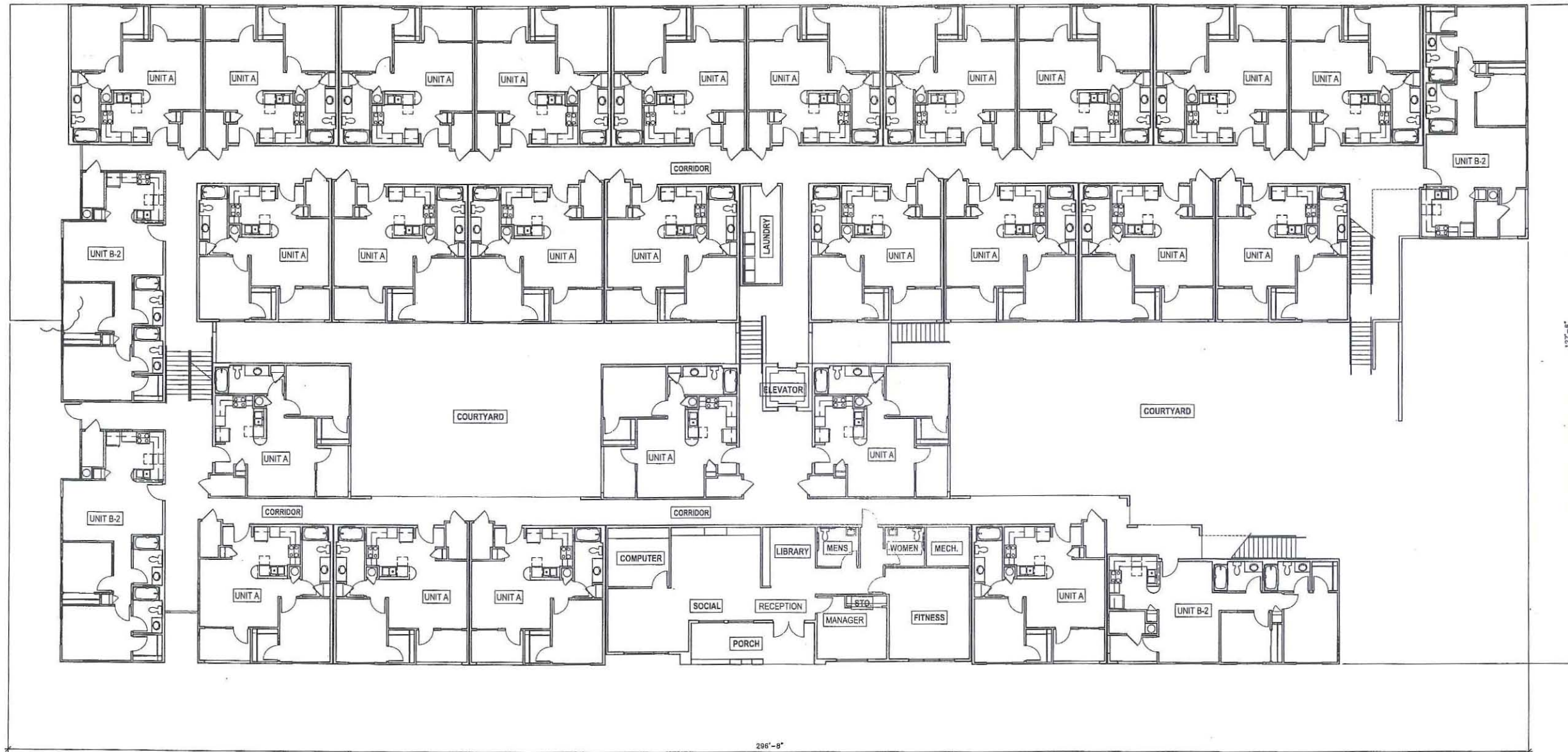
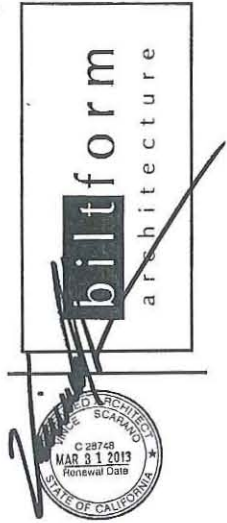
SITE SECTIONS

3/32" SCALE

Village at Zion Senior Apartments

Fore Property Company
 1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
 PHONE: (702) 630-4282 FAX: (702) 662-2215

Prepared By:	BILTFORM ARCHITECTURE	
Name:	GROUP OF CALIFORNIA, INC.	Revision 14: _____
Address:	11460 N CAVE CREEK ROAD	Revision 13: _____
	SUITE 6	Revision 12: _____
	PHOENIX, AZ 85020	Revision 11: _____
Phone #:	(602) 285-9200	Revision 10: _____
		Revision 9: _____
Project Address:		Revision 8: _____
	5150 ZION AVE	Revision 7: _____
	SAN DIEGO, CA	Revision 6: 10/19/12
		Revision 5: 10/01/12
		Revision 4: 9/04/12
		Revision 3: 7/31/12
Project Name:	VILLAGE AT ZION	Revision 2: 2/29/12
	SENIOR APARTMENTS	Revision 1: _____
	Original Date:	12/14/11
Sheet Title:	SITE SECTIONS	Sheet 2 of 12
	DEP#	25-5320



GENERAL NOTES:
 1. SEE INDIVIDUAL UNIT PLANS FOR DIMENSIONS AND ADDITIONAL INFORMATION.

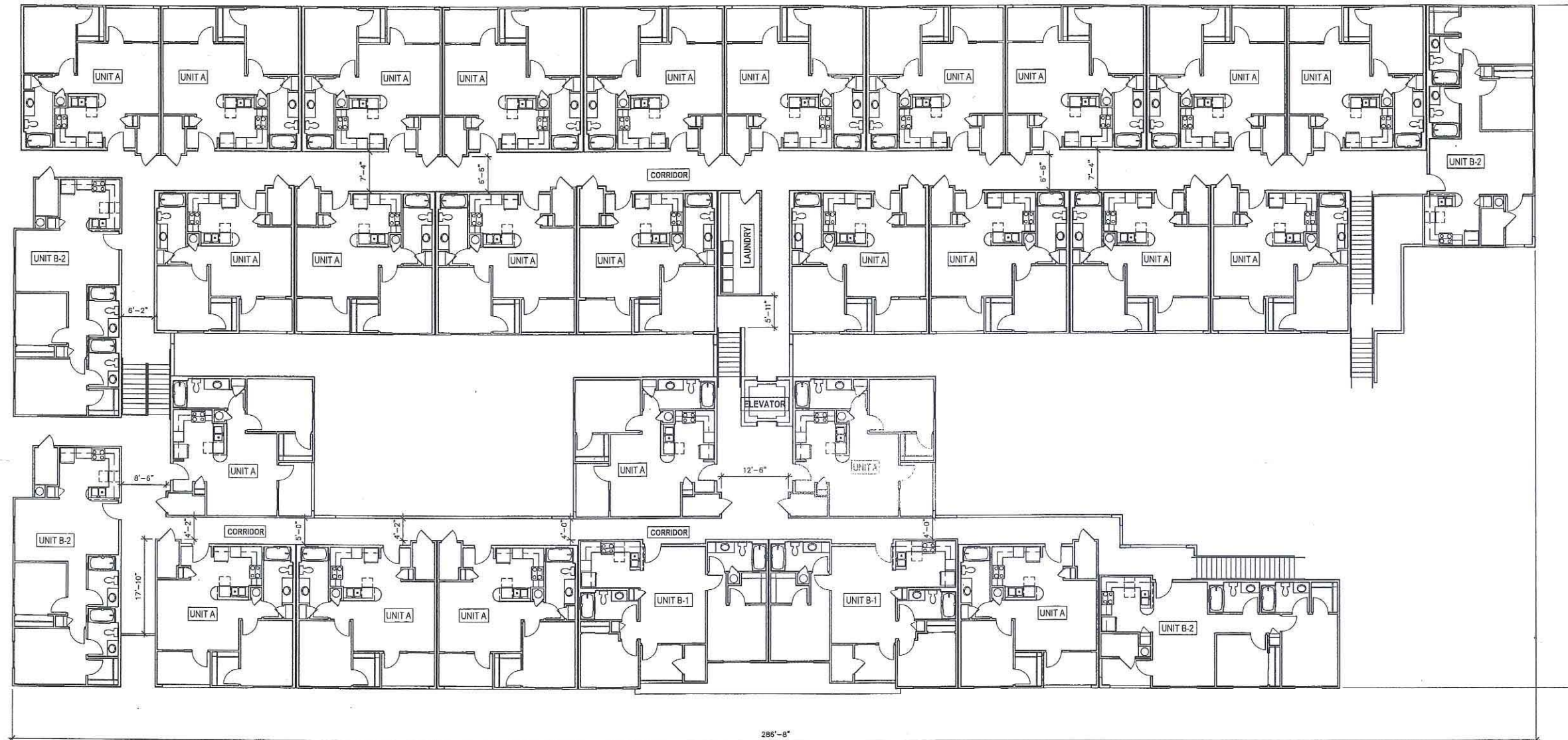
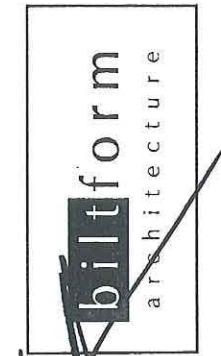
Village at Zion Senior Apartments

Fore Property Company
 1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
 PHONE: (702) 580-4282 FAX: (702) 582-2215

Prepared By:	BILTFORM ARCHITECTURE	Revision 14:	_____
Name:	GROUP OF CALIFORNIA, INC.	Revision 13:	_____
Address:	11460 N CAVE CREEK ROAD	Revision 12:	_____
	SUITE 6	Revision 11:	_____
	PHOENIX, AZ 85020	Revision 10:	_____
Phone #:	(602) 285-9200	Revision 9:	_____
		Revision 8:	_____
Project Address:		Revision 7:	_____
	5150 ZION AVE	Revision 6:	_____
	SAN DIEGO, CA	Revision 5:	10/19/12
		Revision 4:	10/01/12
Project Name:		Revision 3:	9/04/12
	VILLAGE AT ZION	Revision 2:	7/31/12
	SENIOR APARTMENTS	Revision 1:	2/29/12
		Original Date:	12/14/11
Sheet Title:	FIRST FLOOR PLAN	Sheet	3 of 12
		DEP#	25-5320

1ST FLOOR PLAN

3/32" SCALE



GENERAL NOTES:
 1. SEE INDIVIDUAL UNIT PLANS FOR DIMENSIONS AND ADDITIONAL INFORMATION.

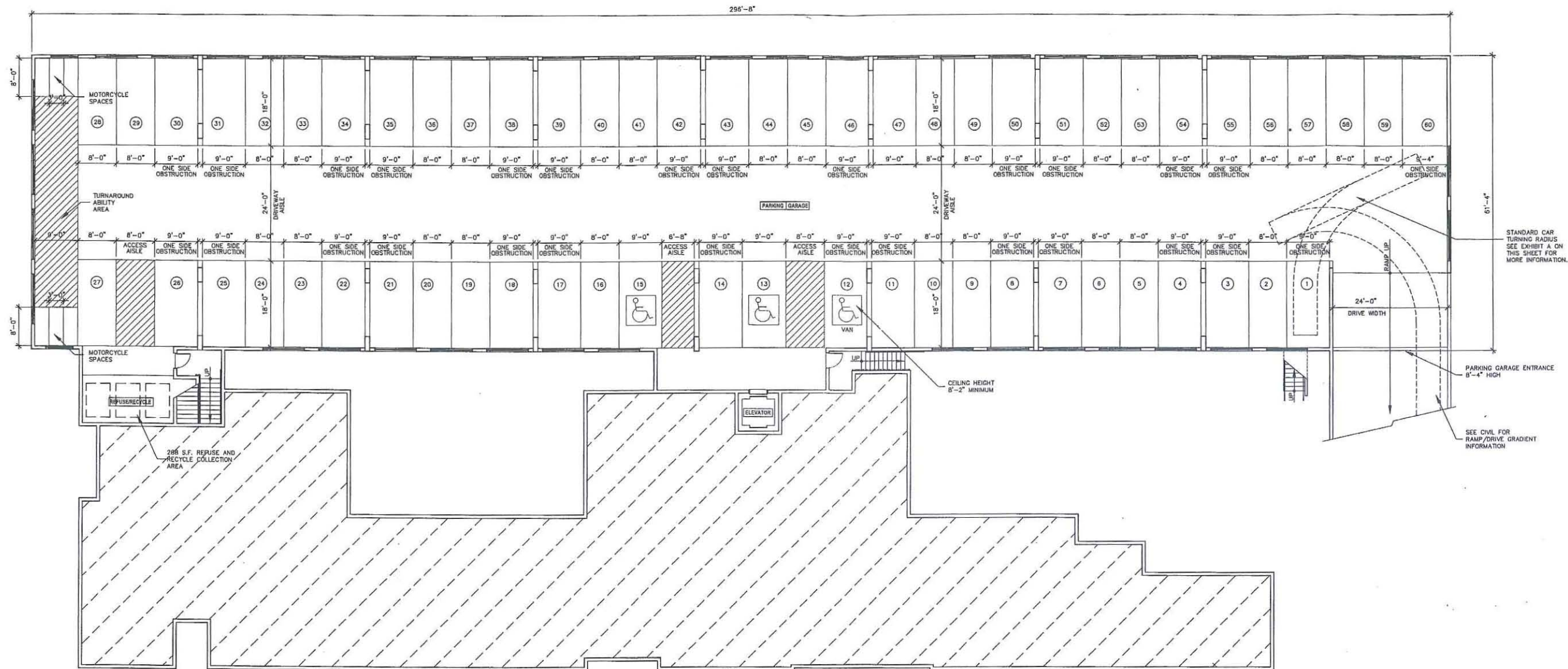
Village at Zion Senior Apartments

Fore Property Company
 1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
 PHONE: (702) 630-4262 FAX: (702) 662-2215

Prepared By:	BILTFORM ARCHITECTURE	Revision 14:	_____
Name:	GROUP OF CALIFORNIA, INC.	Revision 13:	_____
Address:	11460 N CAVE CREEK ROAD	Revision 12:	_____
	SUITE 6	Revision 11:	_____
	PHOENIX, AZ 85020	Revision 10:	_____
Phone #:	(602) 285-9200	Revision 9:	_____
Project Address:	5150 ZION AVE	Revision 8:	_____
	SAN DIEGO, CA	Revision 7:	_____
		Revision 6:	10/19/12
		Revision 5:	10/01/12
		Revision 4:	9/04/12
Project Name:	VILLAGE AT ZION	Revision 3:	7/31/12
	SENIOR APARTMENTS	Revision 2:	2/29/12
		Revision 1:	2/29/12
		Original Date:	12/14/11
Sheet Title:	SECOND FLOOR PLAN	Sheet 4 of 12	
		DEP#	25-5320

2ND FLOOR PLAN

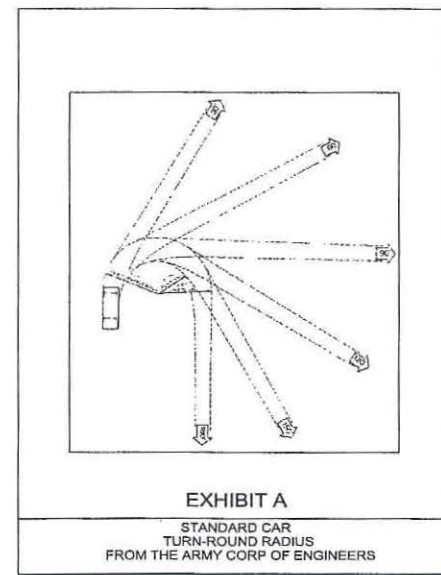
3/32" SCALE



Village at Zion Senior Apartments

Fore Property Company
 1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
 PHONE: (702) 632-4282 FAX: (702) 562-2215

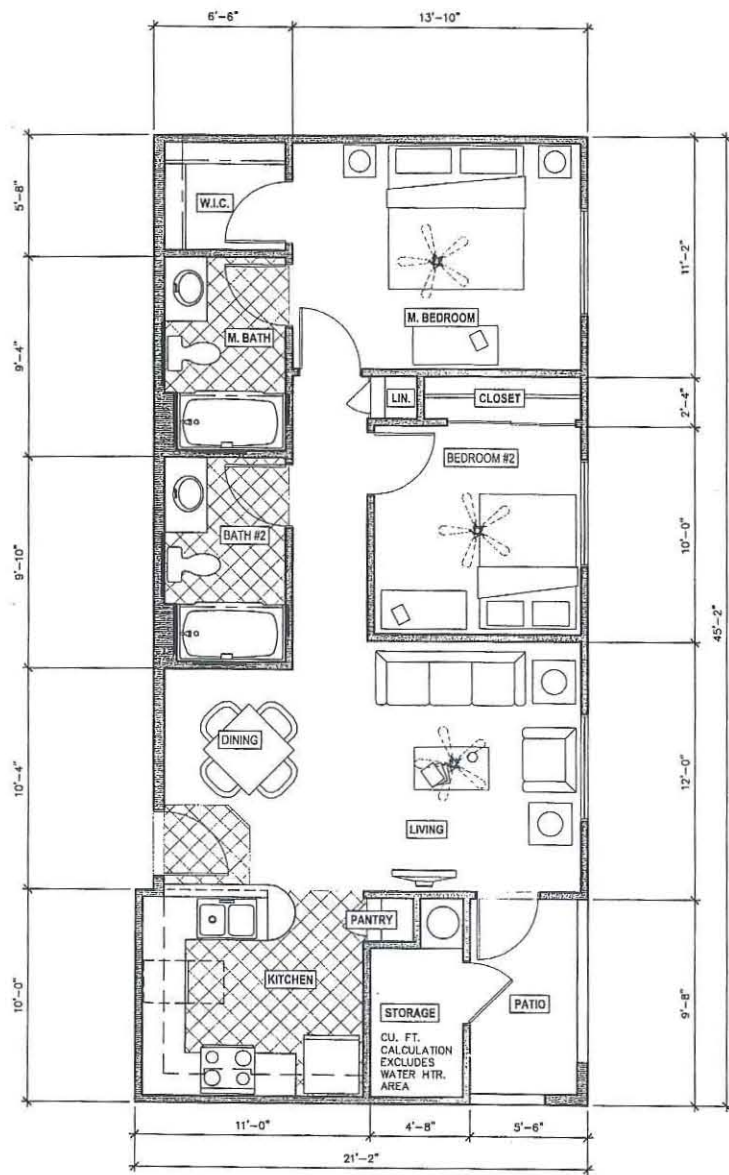
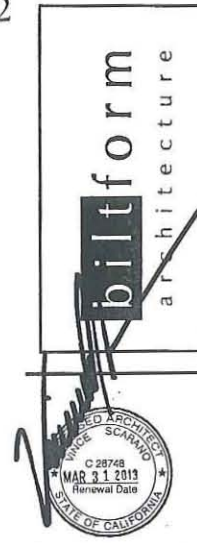
GENERAL NOTES:
 1. SEE INDIVIDUAL UNIT PLANS FOR DIMENSIONS AND ADDITIONAL INFORMATION.



PARKING LEVEL

3/32" SCALE

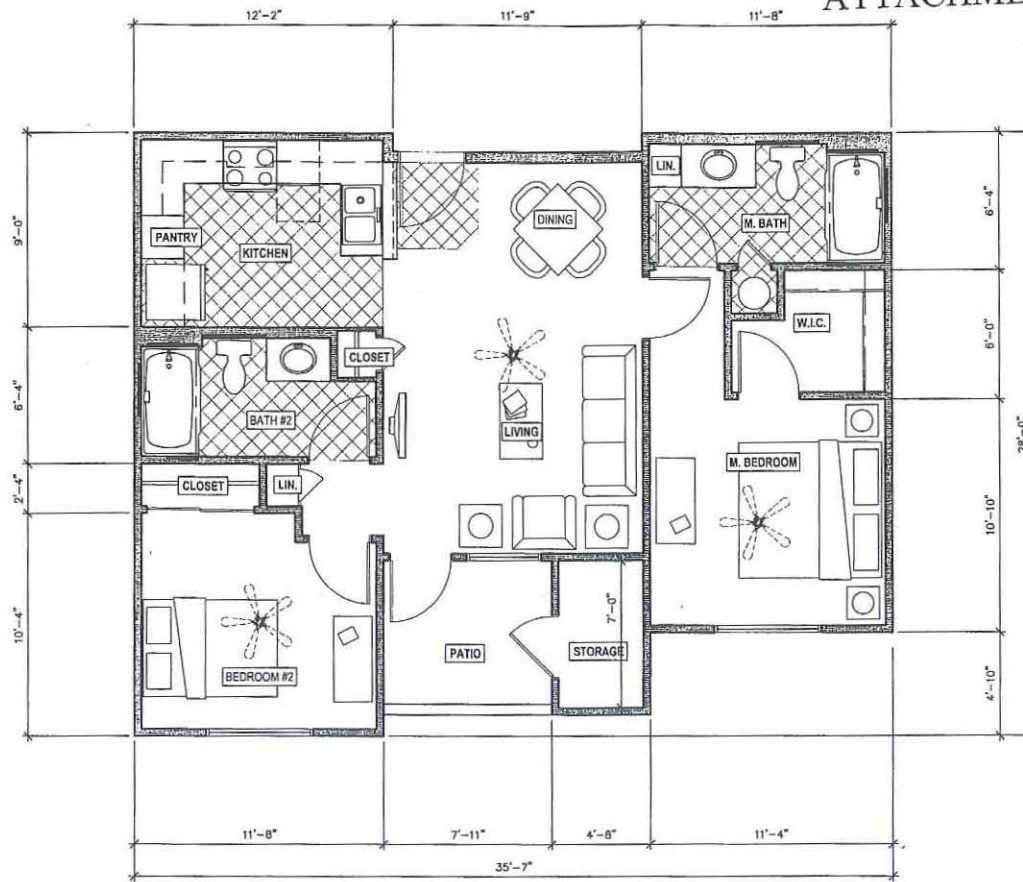
Prepared By:	BILFORM ARCHITECTURE	
Name:	GROUP OF CALIFORNIA, INC.	Revision 14: _____
Address:	11460 N CAVE CREEK ROAD	Revision 13: _____
	SUITE 6	Revision 12: _____
Phone #:	PHOENIX, AZ 85020	Revision 11: _____
	(602) 285-9200	Revision 10: _____
Project Address:	5150 ZION AVE	Revision 9: _____
	SAN DIEGO, CA	Revision 8: _____
Project Name:	VILLAGE AT ZION	Revision 7: _____
	SENIOR APARTMENTS	Revision 6: _____
Sheet Title:	PARKING LEVEL	Revision 5: 10/19/12
		Revision 4: 10/01/12
		Revision 3: 9/04/12
		Revision 2: 7/31/12
		Revision 1: 2/29/12
		Original Date: 12/14/11
		Sheet 5 of 12
		DEP# 25-5320



UNIT B-2

Livable	-	784 S.F.
Garage	-	-
Storage	-	270 CU. FT.
Patio	-	46 S.F.
Total	=	860 S.F.

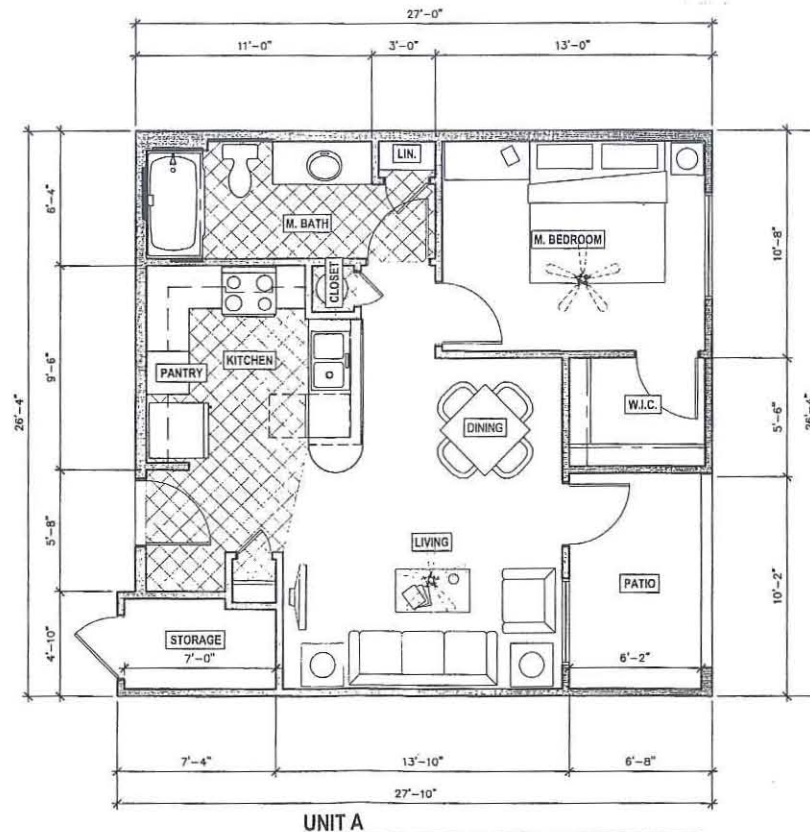
GROSS FLOOR AREA = 862 S.F.



UNIT B-1

Livable	-	780 S.F.
Garage	-	-
Storage	-	240 CUBIC FT.
Patio	-	52 S.F.
Total	=	859 S.F.

GROSS FLOOR AREA = 874 S.F.



UNIT A

Livable	-	570 S.F.
Garage	-	-
Storage	-	252 CU. FT.
Patio	-	60 S.F.
Total	=	658 S.F.

GROSS FLOOR AREA = 650 S.F.

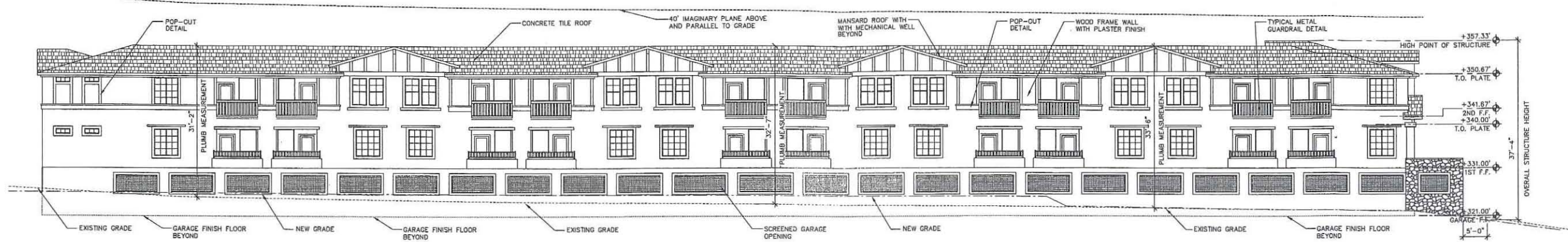
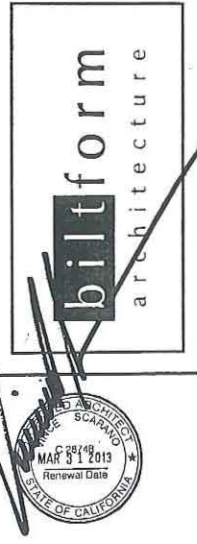
APARTMENT UNIT PLANS

1/4" SCALE

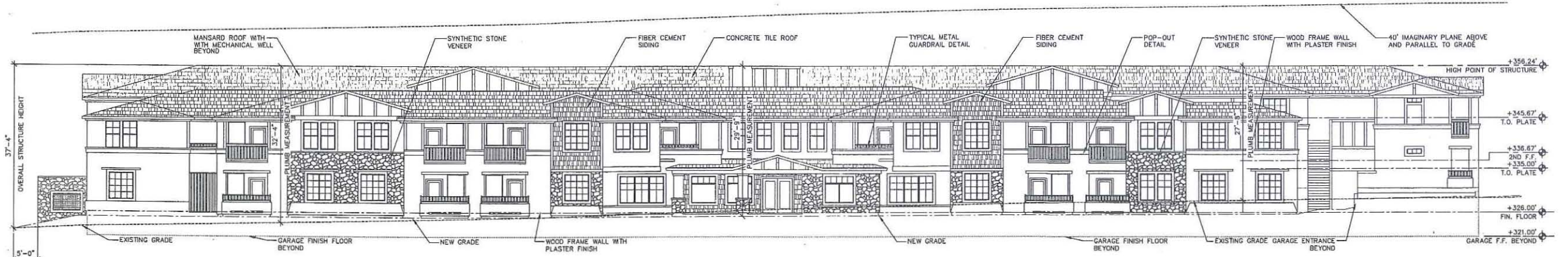
Village at Zion Senior Apartments

Fore Property Company
1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
PHONE: (702) 630-4282 FAX: (702) 562-2215

Prepared By:	BILFORM ARCHITECTURE	Revision 14:	_____
Name:	GROUP OF CALIFORNIA, INC.	Revision 13:	_____
Address:	11460 N CAVE CREEK ROAD	Revision 12:	_____
	SUITE 6	Revision 11:	_____
	PHOENIX, AZ 85020	Revision 10:	_____
Phone #:	(602) 285-9200	Revision 9:	_____
		Revision 8:	_____
Project Address:		Revision 7:	_____
	5150 ZION AVE	Revision 6:	_____
	SAN DIEGO, CA	Revision 5:	10/19/12
		Revision 4:	10/01/12
Project Name:	VILLAGE AT ZION	Revision 3:	9/04/12
	SENIOR APARTMENTS	Revision 2:	7/31/12
		Revision 1:	2/29/12
		Original Date:	12/14/11
Sheet Title:	APARTMENT UNIT PLANS	Sheet	6 of 12
	DEP# 25-5320		



(D) WEST ELEVATION



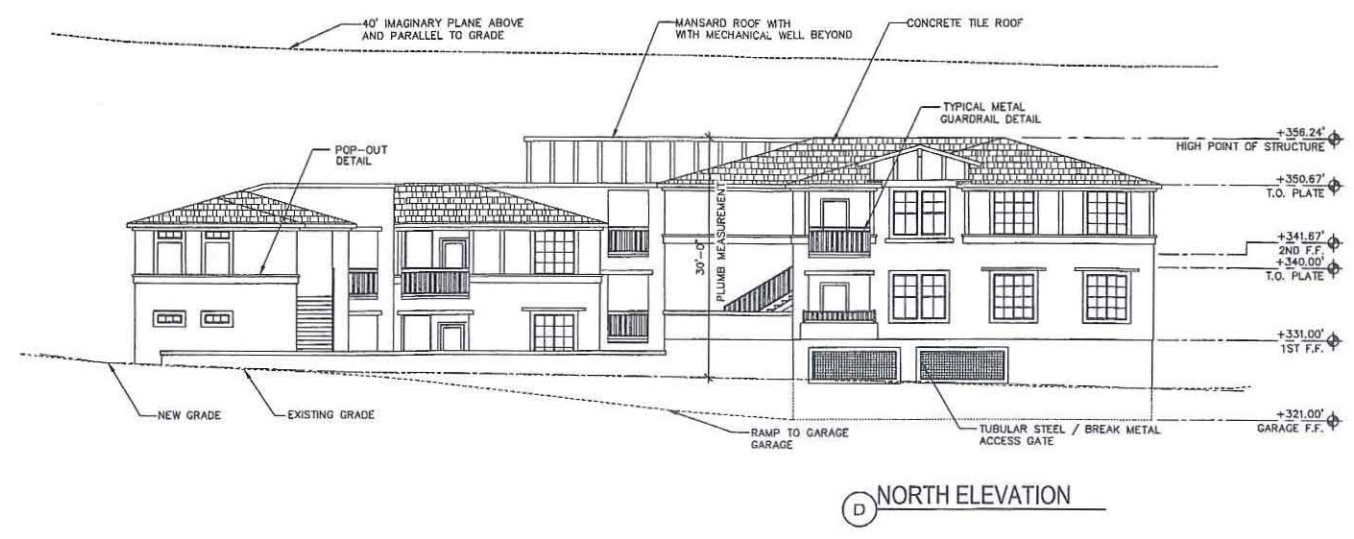
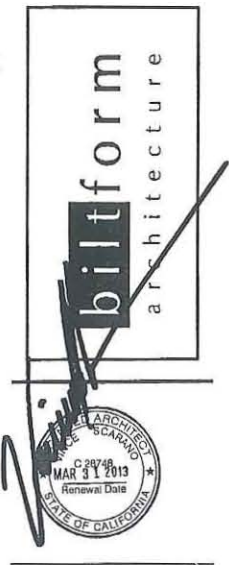
(A) EAST ELEVATION
FACING GLENROY ST.

EAST AND WEST
EXTERIOR ELEVATIONS
3/32" SCALE

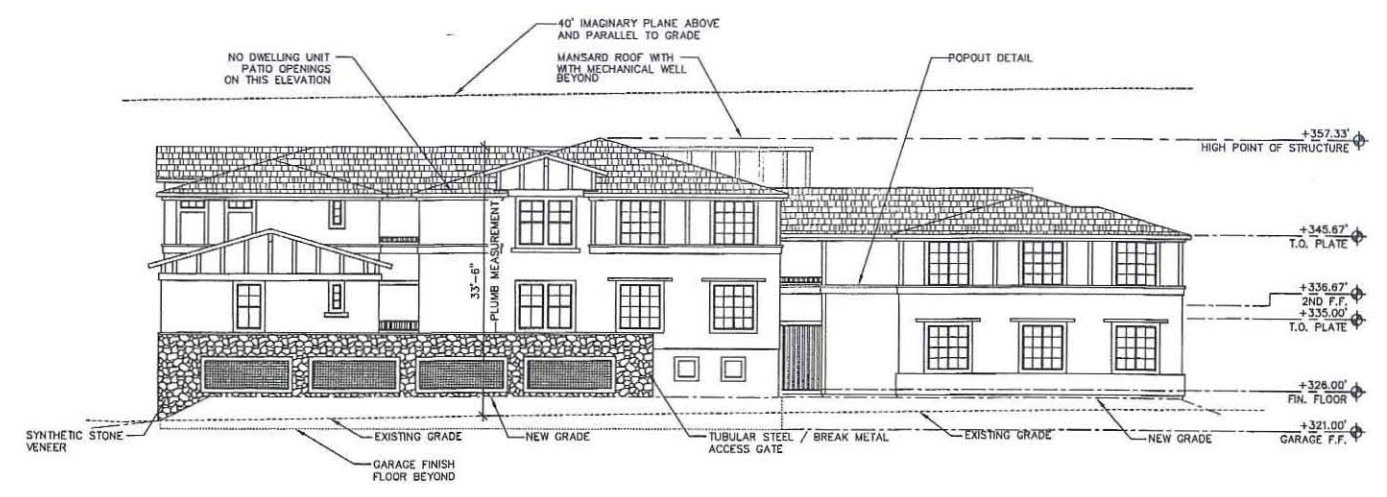
Village at Zion Senior Apartments

Fore Property Company
1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
PHONE: (702) 660-4282 FAX: (702) 662-2215

Prepared By:	BILFORM ARCHITECTURE	
Name:	GROUP OF CALIFORNIA, INC.	Revision 14: _____
Address:	11460 N CAVE CREEK ROAD	Revision 13: _____
	SUITE 6	Revision 12: _____
	PHOENIX, AZ 85020	Revision 11: _____
Phone #:	(602) 285-9200	Revision 10: _____
		Revision 9: _____
Project Address:		Revision 8: _____
	5150 ZION AVE	Revision 7: _____
	SAN DIEGO, CA	Revision 6: _____
		Revision 5: 10/19/12
		Revision 4: 10/01/12
Project Name:	VILLAGE AT ZION	Revision 3: 9/04/12
	SENIOR APARTMENTS	Revision 2: 7/31/12
		Revision 1: 2/29/12
		Original Date: 12/14/11
Sheet Title:	EAST AND WEST EXTERIOR ELEVATIONS	Sheet 7 of 12
		DEP# 25-5320



(D) NORTH ELEVATION



(C) SOUTH ELEVATION
FACING ZION AVE.

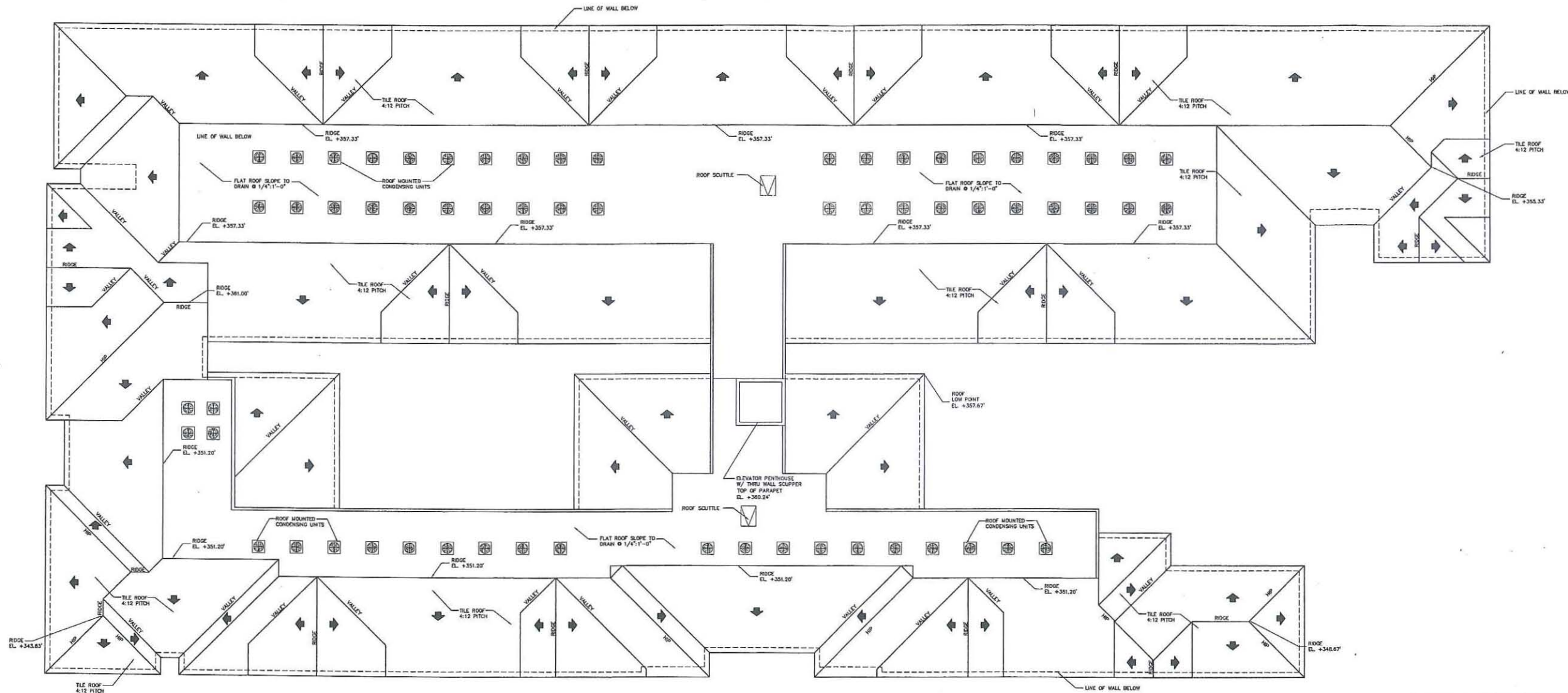
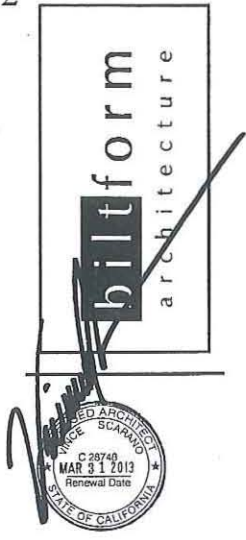
NORTH AND SOUTH
EXTERIOR ELEVATIONS

3/32" SCALE

Village at Zion Senior Apartments

Fore Property Company
1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
PHONE: (702) 630-4282 FAX: (702) 562-2215

Prepared By:	BILTFORM ARCHITECTURE	
Name:	GROUP OF CALIFORNIA, INC.	Revision 14: _____
Address:	11460 N CAVE CREEK ROAD	Revision 13: _____
	SUITE 6	Revision 12: _____
	PHOENIX, AZ 85020	Revision 11: _____
Phone #:	(602) 285-9200	Revision 10: _____
		Revision 9: _____
Project Address:	5150 ZION AVE	Revision 8: _____
	SAN DIEGO, CA	Revision 7: _____
		Revision 6: _____
		Revision 5: 10/19/12
		Revision 4: 10/01/12
		Revision 3: 9/04/12
Project Name:	VILLAGE AT ZION	Revision 2: 7/31/12
	SENIOR APARTMENTS	Revision 1: 2/29/12
		Original Date: 12/14/11
Sheet Title:	NORTH AND SOUTH EXTERIOR ELEVATIONS	Sheet 8 of 12 DEP# 25-5320



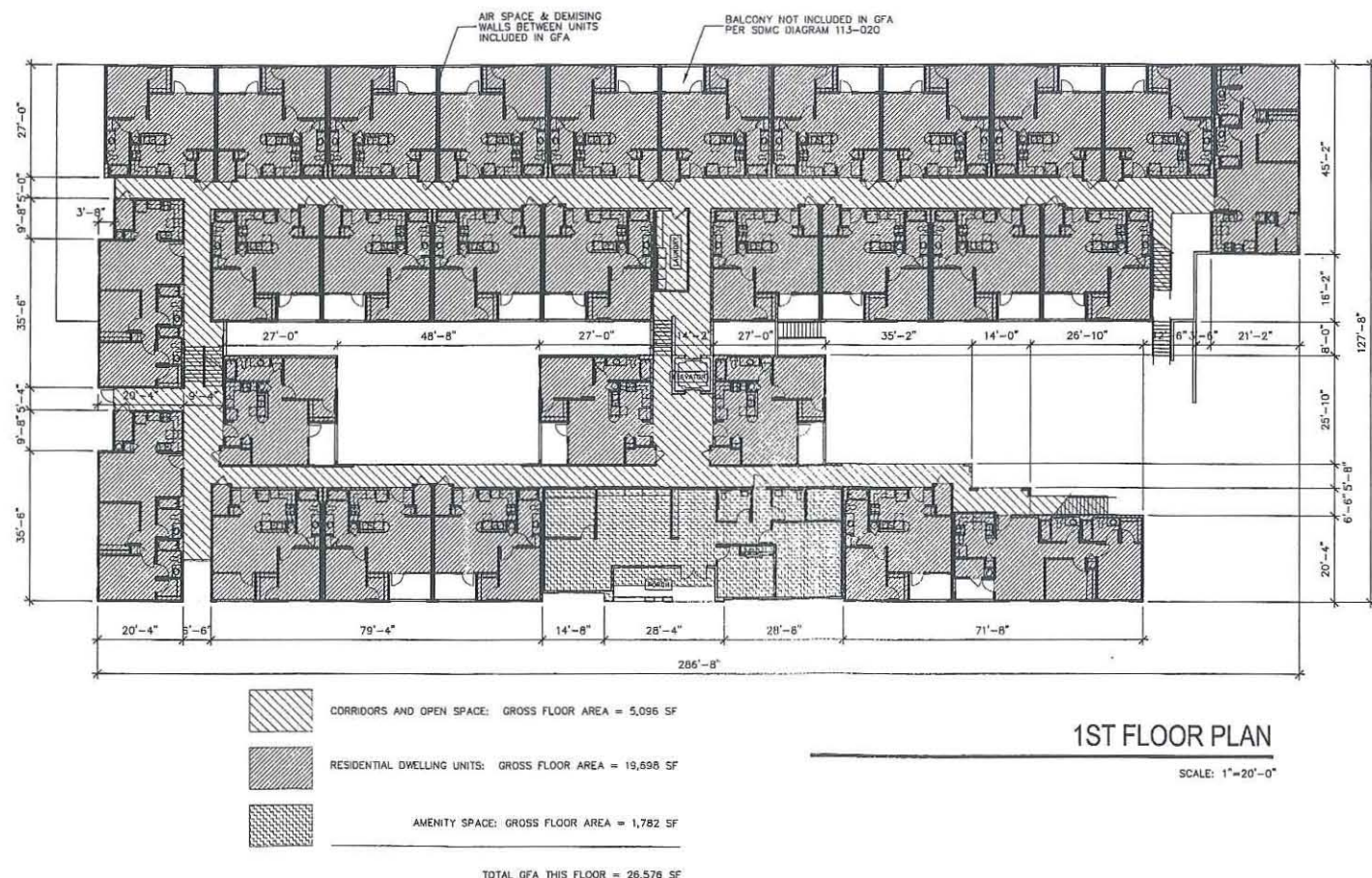
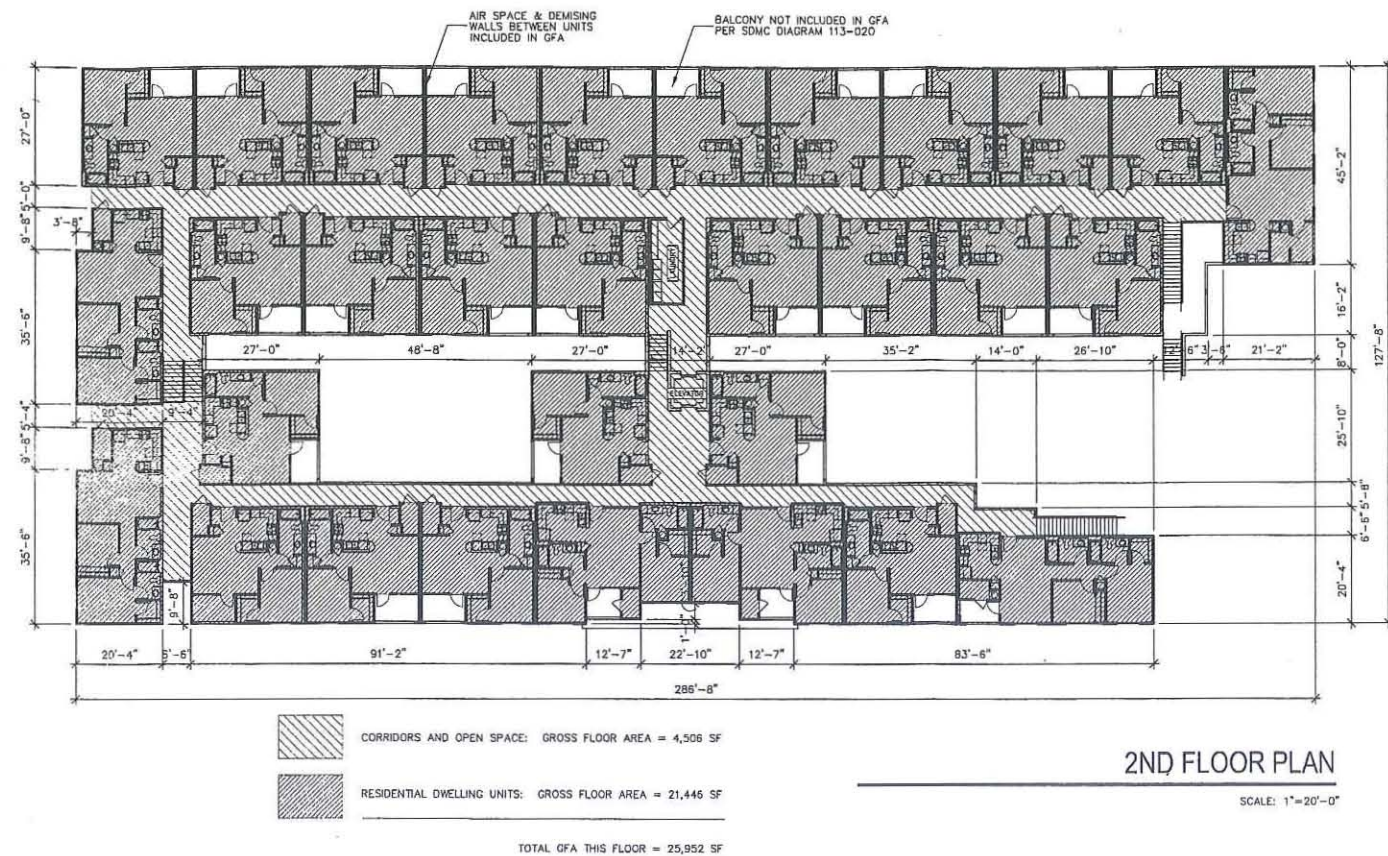
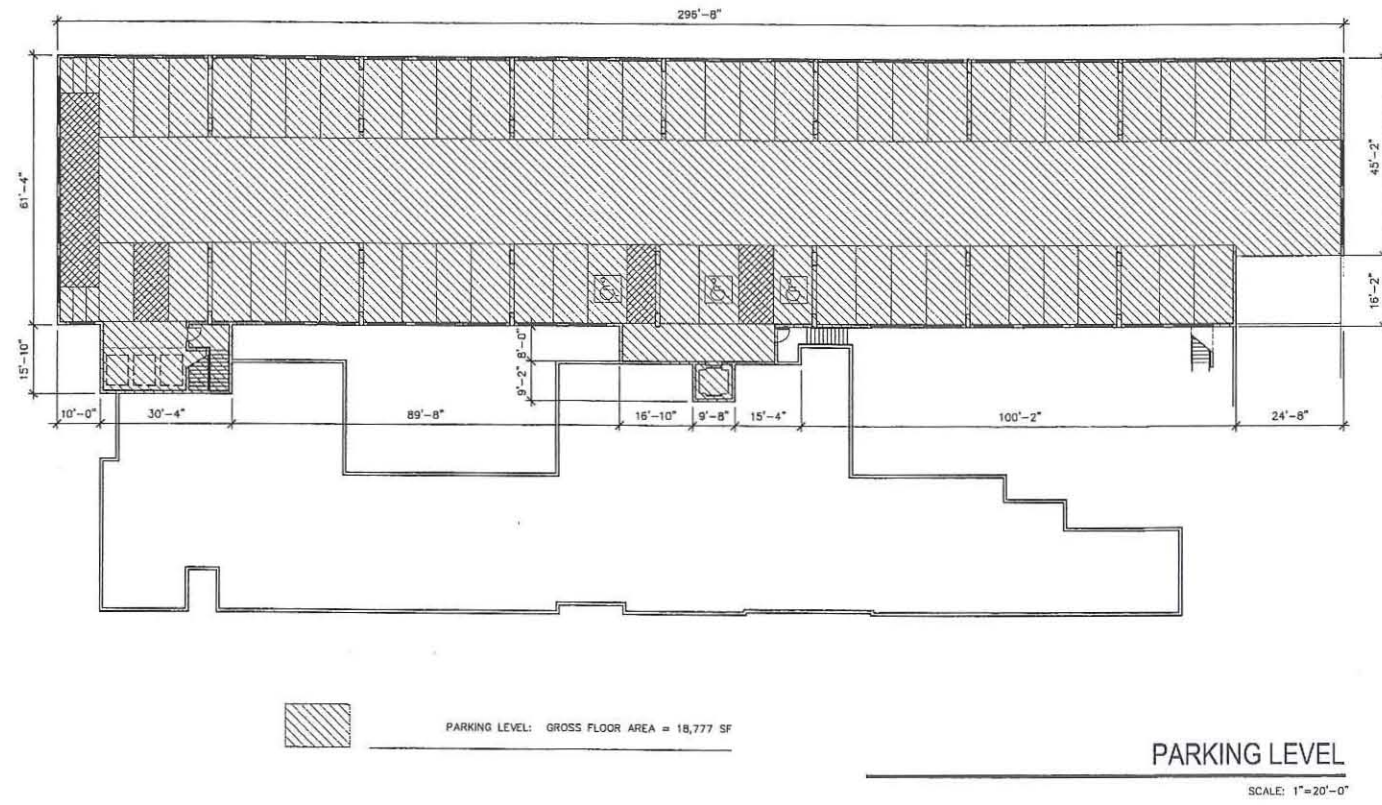
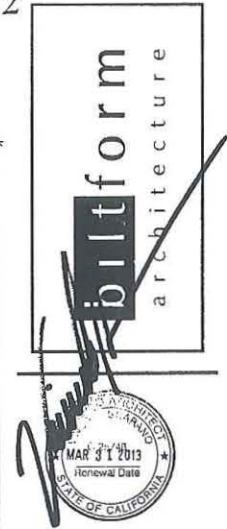
Village at Zion Senior Apartments

Fore Property Company
 1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
 PHONE: (702) 630-4282 FAX: (702) 582-2215

Prepared By:	BILTFORM ARCHITECTURE	Revision 14:	_____
Name:	GROUP OF CALIFORNIA, INC.	Revision 13:	_____
Address:	11460 N CAVE CREEK ROAD	Revision 12:	_____
	SUITE 6	Revision 11:	_____
	PHOENIX, AZ 85020	Revision 10:	_____
Phone #:	(602) 285-9200	Revision 9:	_____
		Revision 8:	_____
Project Address:	5150 ZION AVE	Revision 7:	_____
	SAN DIEGO, CA	Revision 6:	_____
		Revision 5:	10/19/12
		Revision 4:	10/01/12
Project Name:	VILLAGE AT ZION	Revision 3:	9/04/12
	SENIOR APARTMENTS	Revision 2:	7/31/12
		Revision 1:	2/29/12
		Original Date:	12/14/11
Sheet Title:	ROOF PLAN	Sheet	9 of 12
		DEP#	25-5320

ROOF PLAN

3/32" SCALE



Village at Zion Senior Apartments

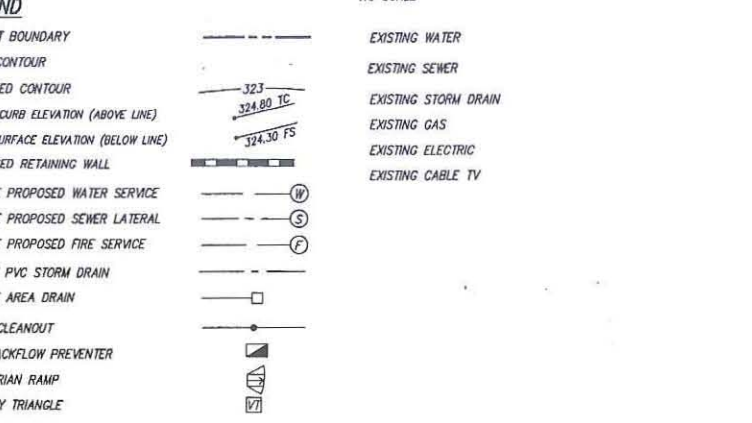
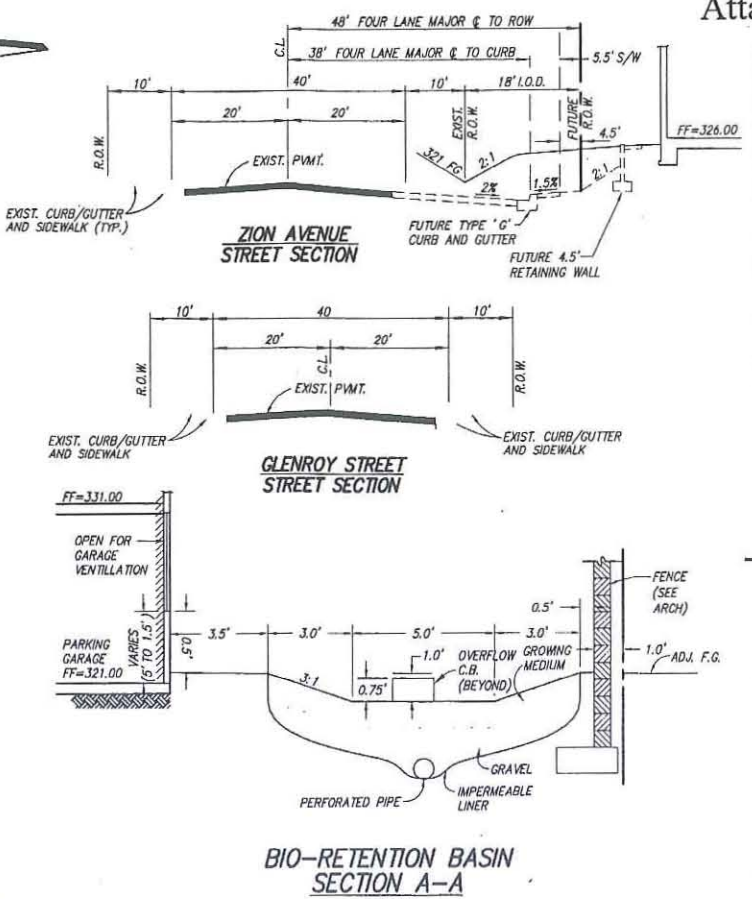
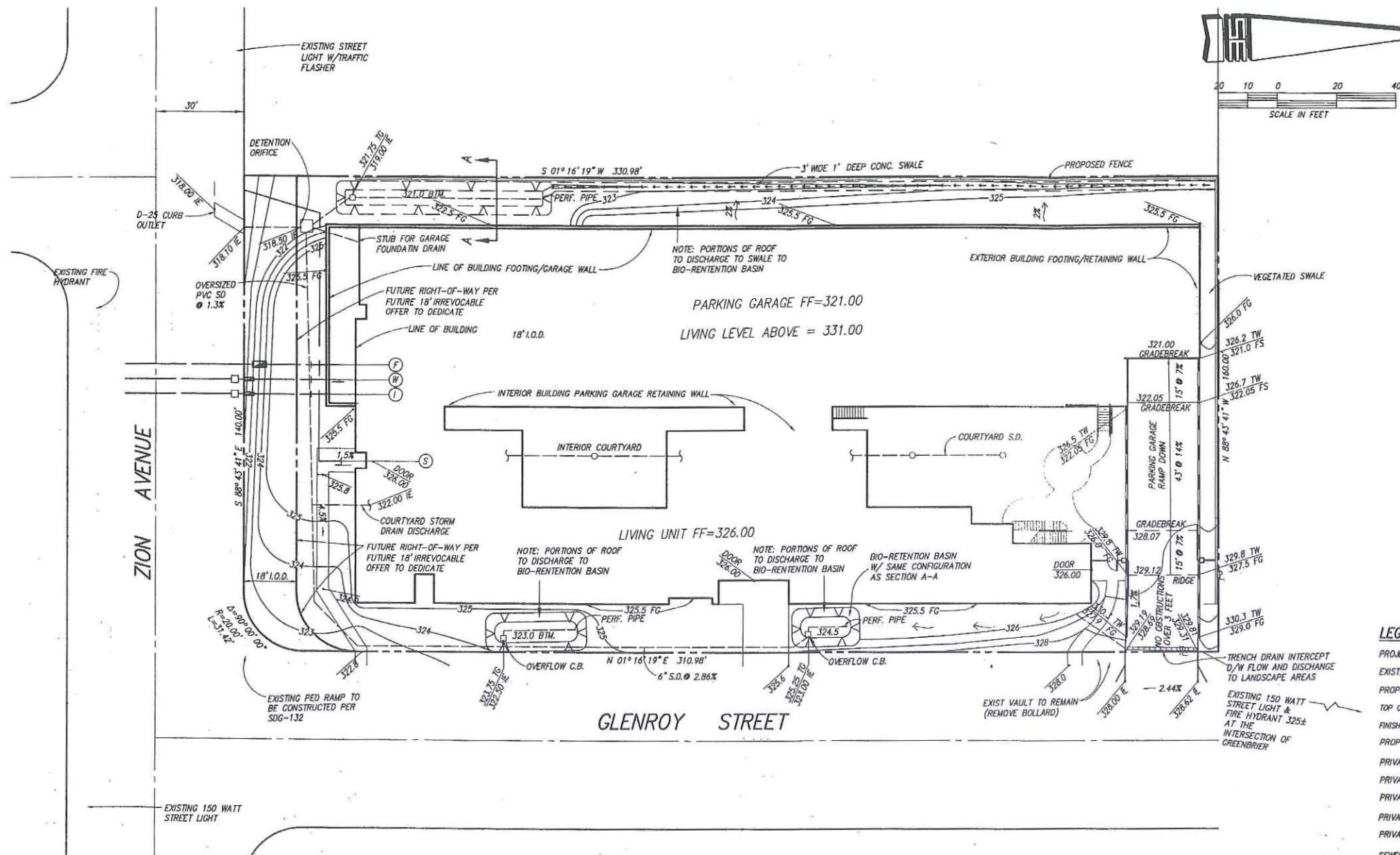
Fore Property Company
 1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
 PHONE: (702) 630-4262 FAX: (702) 562-2215

Prepared By:	Name: <u>BILFORM ARCHITECTURE</u>		Revision 14: _____
	Name: <u>GROUP OF CALIFORNIA, INC.</u>		Revision 13: _____
	Address: <u>11460 N CAVE CREEK ROAD</u>		Revision 12: _____
	Address: <u>SUITE 6</u>		Revision 11: _____
	Address: <u>PHOENIX, AZ 85020</u>		Revision 10: _____
	Phone #: <u>(602) 285-9200</u>		Revision 9: _____
	Project Address: _____		Revision 8: _____
	Project Address: <u>5150 ZION AVE</u>		Revision 7: _____
	Project Address: <u>SAN DIEGO, CA</u>		Revision 6: _____
	Project Name: _____		Revision 5: <u>10/19/12</u>
	Project Name: <u>VILLAGE AT ZION</u>		Revision 4: <u>10/01/12</u>
	Project Name: <u>SENIOR APARTMENTS</u>		Revision 3: <u>9/04/12</u>
	Revision 2: _____		Revision 2: <u>7/31/12</u>
	Revision 1: _____		Revision 1: <u>2/29/12</u>
	Original Date: <u>12/14/11</u>		Original Date: _____
Sheet Title:	GROSS FLOOR AREA CALCULATIONS		Sheet <u>10</u> of <u>12</u>
	DEP# <u>25-5320</u>		



Village at Zion Senior Apartments

Fore Property Company
1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
PHONE: (702) 630-4282 FAX: (702) 562-2215



- NOTES:**
- DRAINAGE IS BY SURFACE FLOW TO THE PROPOSED PRIVATE STORM DRAIN SYSTEM SERVING 3 BIO-RETENTION AREAS. THE PRIVATE STORM DRAIN SYSTEM WILL BE CONNECTED TO THE CURB & GUTTER SYSTEM BY ZION AVENUE BY MEANS OF DUAL TYPE 'A' CURB OUTLET PER STD. DWG. NO. D-25.
 - MANUFACTURED SLOPES SHALL BE HYDROSEEDED WITH NATIVE PLANT VEGETATION. GRADED PAD AREAS SHALL BE HYDROSEEDED TO PREVENT EROSION IN THE EVENT THAT CONSTRUCTION OF BUILDINGS DOES NOT OCCUR WITHIN 30 DAYS FOLLOWING GRADING.
 - SEE THE WATER QUALITY TECHNICAL REPORT FOR STORM WATER MITIGATION.
 - PROPOSED ONSITE SEWER, FIRE AND WATER SYSTEMS WILL BE PRIVATE.
 - THE PERMITTEE OR DESIGNER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS AND/OR SPECIFICATIONS, SATISFACTORY TO THE CITY ENGINEER, PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS.
 - PRIOR TO THE ISSUANCE OF ANY GRADING PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BPM MAINTENANCE.
 - ADJACENT LAND USES: CHURCH TO WEST PARK TO NORTH
 - DISTRICTS: SEWER, WATER, FIRE AND SCHOOLS - CITY OF SAN DIEGO
CABLE TV - COX CABLE
 - PER MTS WEBSITE, THE NEAREST BUS STOPS ON ZION AVENUE 175' ± TO THE WEST OF PROJECT AND TO THE EAST.
 - IF A 3" OR LARGER METER IS REQUIRED FOR THIS PROJECT, THE OWNER/PERMITTEE SHALL CONSTRUCT THE NEW METER AND BACKFLOW DEVICE ON SITE, ABOVE GROUND WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.
 - NO OBSTRUCTION INCLUDING LANDSCAPING OR WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.
 - PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE OWNER/PERMITTEE SHALL OBTAIN AN ENCROACHMENT MAINTENANCE REMOVAL AGREEMENT, FROM THE CITY ENGINEER, FOR THE CURB OUTLET IN ZION AVENUE RIGHT-OF-WAY.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

GRADING DATA:

TOTAL AMOUNT OF SITE TO BE GRADED: 52,871 SQ. FT.

PERCENT OF TOTAL SITE GRADED: 100 %

AMOUNT OF CUT: 3,275 C.Y.*

MAXIMUM DEPTH OF CUT: 4.5' ± FT.*

AMOUNT OF FILL: .600 C.Y.*

MAXIMUM DEPTH OF FILL: 3.0' ± FT.*

MAXIMUM HEIGHT OF FILL SLOPE(S): 4 FT.± 2:1 SLOPE RATIO

MAXIMUM HEIGHT OF CUT SLOPE(S): 3 FT. SLOPE RATIO

AMOUNT OF EXPORT SOIL: 2,675 C.Y.

RETAINING WALLS: HOW MANY: 2
MAXIMUM LENGTH: 100 FEET
MAXIMUM HEIGHT: 6.0 FEET

* DOES NOT INCLUDE REMEDIAL GRADING

PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE DEVELOPER SHALL OBTAIN A BONDED GRADING PERMIT FROM THE CITY ENGINEER (REFERRED TO AS AN "ENGINEERING PERMIT") FOR THE GRADING PROPOSED FOR THIS PROJECT. ALL GRADING FOR THIS PROJECT SHALL CONFORM TO THE REQUIREMENTS OF THE CITY OF SAN DIEGO MUNICIPAL CODE IN A MANNER SATISFACTORY TO THE CITY ENGINEER.

BENCH MARK
LEAD & BRASS TAG IN CONCRETE WALK W/ RETURN NW COR CARTWRIGHT STREET AND GREENBRIER AVENUE ELEV. 166.16 M.S.L.

LEGAL DESCRIPTION
PARCEL B OF PARCEL MAP NO. 1381 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, MARCH 9, 1973 AS FILE NO. 73-062856 OF OFFICIAL RECORDS.

DEVELOPER/APPLICANT
FORE PROPERTY COMPANY
1741 VILLAGE CENTER CIRCLE
LAS VEGAS, NV, 89134
(702) 630-4282
ATTN: JONATHAN CORNELIUS
JCORNELIUS@FOREPROPERTY.COM

AERIAL TOPOGRAPHY
THE EXISTING TOPOGRAPHY AS SHOWN ON THIS PLAN WAS COMPILED BY SAN-LO AERIAL SURVEYS, JOB NO. 13573 FLOWN AUGUST 15, 2011.

AREAS
GROSS LOT AREA: 52,871 S.F. (1,214 ACRES)
LOT AREA AFTER ZION DEDICATION: 49,991 S.F. (1,148 ACRES)
(CL TO ROW 48 FEET)

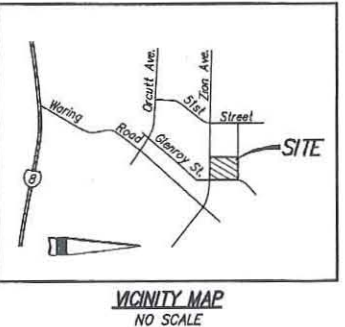
COORDINATE INDEX
NAD 27: 228-1743
NAD 83: 1868-6303

ZONING
EXISTING: RS-1-7
PROPOSED: RM-3-B

EXISTING USE
VACANT

PROPOSED USE
SENIOR RESIDENTIAL LIVING

ASSESSOR'S PARCEL NUMBER
672-300-05



STUART ENGINEERING
7525 METROPOLITAN DRIVE STE. 308
SAN DIEGO, CA 92108 (619) 296-1010

DESIGNER: N.H.
DRAWN: J.R.
CHECKED: S.P.
JOB NO.: 1172-11-00

STUART PEACE R.C.E. 27232 DATE 9/28/2012
REGISTRATION EXPIRES: 3-31-13

Prepared By: BILTFORM ARCHITECTURE GROUP OF CALIFORNIA, INC.

Name: SUITE 100 PHOENIX, AZ 85050

Address: 22044 N 44TH STREET

Phone #: (602) 285-9200

Project Address: NWC ZION AVE & GLENROY ST SAN DIEGO, CA

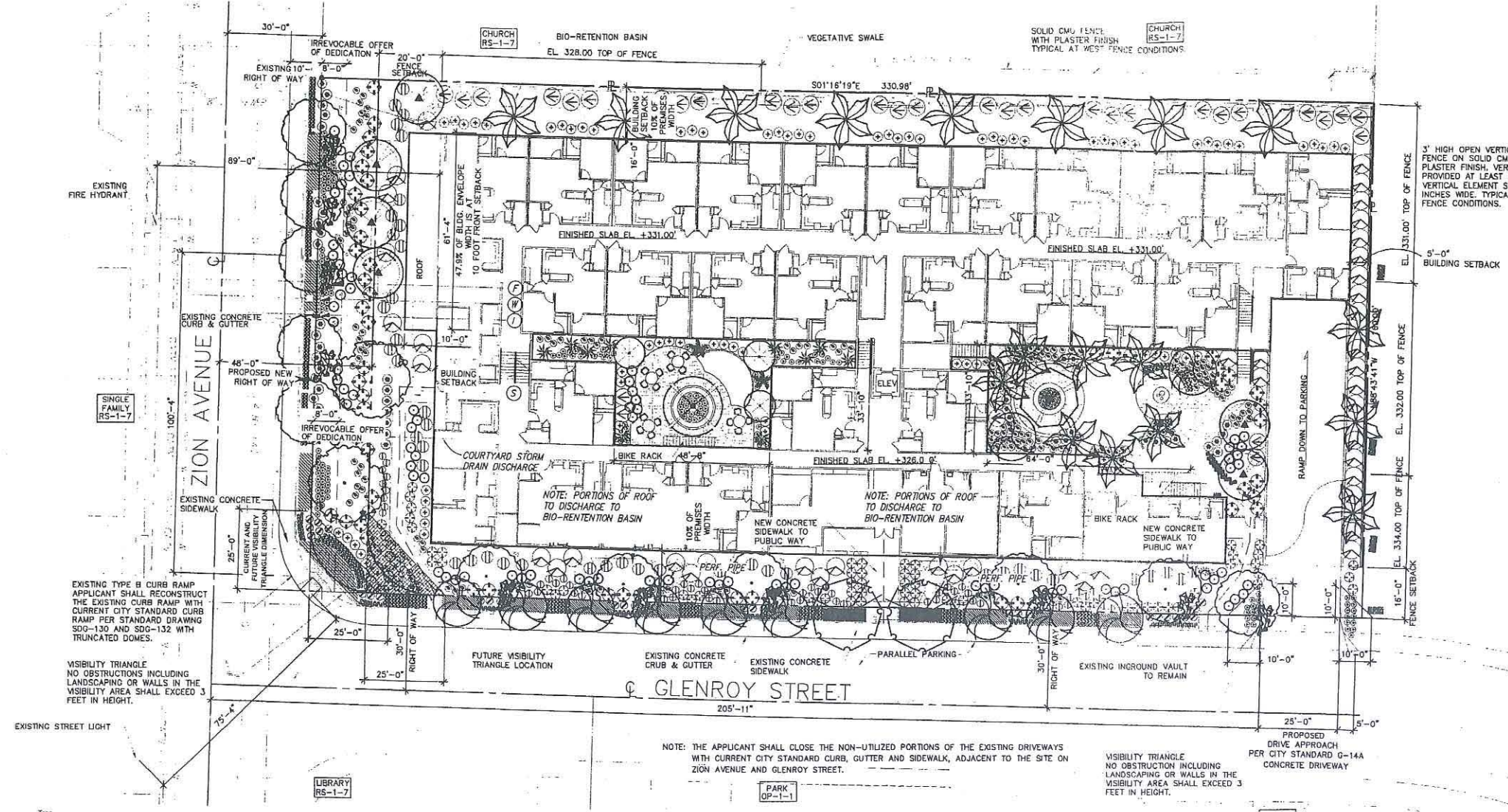
Project Name: VILLAGE AT ZION SENIOR APARTMENTS

Sheet Title: PRELIMINARY GRADING AND UTILITY PLAN

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	10/19/12
Revision 5:	10/1/12
Revision 4:	9/4/12
Revision 3:	7/31/12
Revision 2:	2/29/12
Original Date:	12/14/11
Sheet	10 of 12
DEP#	25-5320



Village at Zion Senior Apartments
Fore Property Company
 1741 VILLAGE CENTER CIRCLE, LAS VEGAS, NEVADA 89134
 PHONE (702) 530-4282 FAX: (702) 9652215



Planting Area Required [142.0404]			Planting Area Provided			Excess Area Provided		
Total Area	7,775	sq. ft. x 50% =	3,887.5	sq. ft.	8,888.8	sq. ft.	3,001.1	sq. ft.
Planting Points Required [142.0404]			Plant Points Provided			Excess Points Provided		
Total Area	7,775	sq. ft. x 0.05 =	388.75	points	700	points	311.25	points
Points achieved with trees:			200	points				

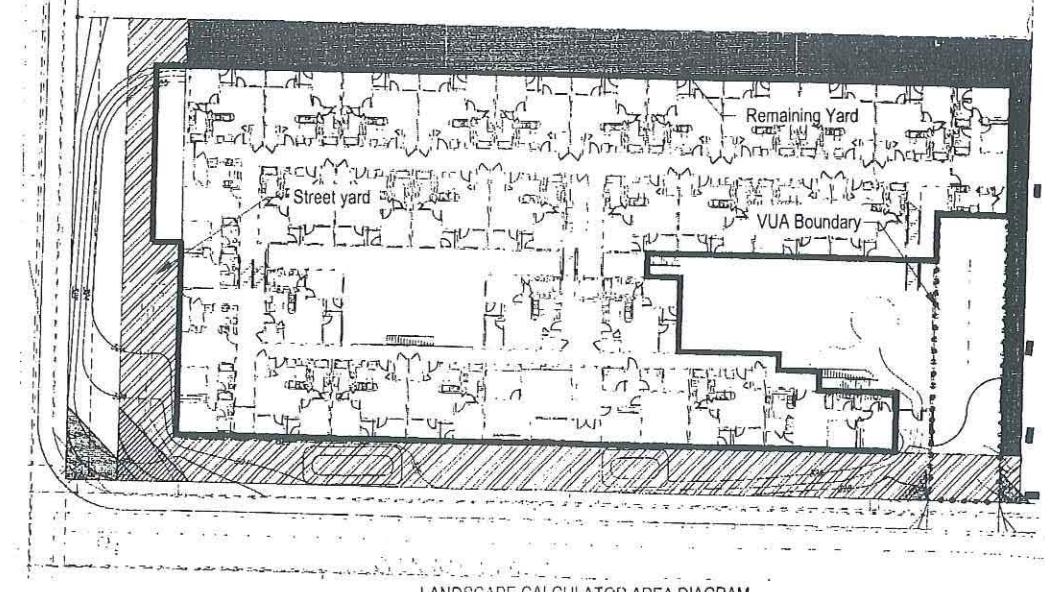
- Note:
- Mulch is to be applied to a depth of 2" to all areas of bare soil.
 - Owner to provide landscape maintenance including public R.O.W., in a healthy, disease free condition.
 - Shrub and groundcover areas excluding annual color shall receive 2" of mulch.
 - Irrigation utilizing drip and multi-stream rotors; using a landscape irrigation sub-meter.
 - A min. root zone of 40 sq. ft., with a min. dim. of 5 ft. shall be provided for all trees. All other required planting areas shall be greater than 30 sq. ft. in size with a min. dim. of 3 ft.
 - No objects between 3 feet and 6 feet in height will be proposed in the visibility areas.
 - BMP's have been incorporated utilizing drip irrigation, artificial turf and bio retention areas. Plant material that retained soil and slowed water run-off was also integrated into the design.
 - A non-contiguous sidewalk with trees planted in the parkway along Zion Avenue will be implemented in conjunction with the commencement of the proposed future public improvement.
 - Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall provide a minimum root zone of 40 square feet in area unencumbered by utilities and hardscape for all trees. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
 - Prior to issuance of any building permits, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a minimum root zone of 40 square feet in area unencumbered by utilities and hardscape for all trees.
 - Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.
 - All required landscape, including in the right-of-way, shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

The landscape represented substantially conforms to the following:
 SDMC 142.0409 Street Tree and Public Right-of-Way Requirements;
 - one 24inch box tree for every 30' of street frontage. (5) in approx. 160'.
 - Min. tree separation distance per table 142.04E has been met.
 SDMC 142.0610- Public Improvements Required Incidental to a Building Permit
 - The project complies with SDMC 142.0610(a), in that street trees are to be provided as part of the proposed public improvements.

- City of San Diego Land Development- Street Design Standards
- Low profile street plantings are utilized with sight visibility triangle.
 - Street trees are implemented to provide a comfortable pedestrian environment and neighborhood character.
- Conservation Element- City of San Diego General Plan
- Impervious materials have been limited to ADA accessible sidewalks and the building footprint that incorporates under-ground parking.
 - Plant materials specified reduce and conserve the amount of water required for viability. Water run-off and soil erosion has also been considered in plant selection and placement.
 - Bio-retention/filter areas and swales with drain inlets are being utilized to assist in site water conservation implementation and reduced run-off, sedimentation and erosion.
 - Landscape irrigation components will utilize "smart" water conservation approved controllers, rain sensors, point source pressure compensating drip emitters with check valves, and micro spray emission devices.
 - Interior courtyard turf areas are "artificial" eliminating a water requirement. There are not any additional turf areas proposed.
 - Deciduous trees are located to assist in reducing reflective heat as seasonally appropriate.
 - The site does not contain a wetland to mitigate.

Note:
 "I am familiar with the requirements for landscape and irrigation plans contained in the Municipal Code Ch. 14, Art. 2, Div 4. I have prepared this plan in compliance with those regulations. I certify that the plan implements those regulations to provide efficient use of water."
 Street trees consistent within the Navajo Community Plan and Grantville Redevelopment Area were used to show compliance to regulations.

Tree	Quantity	Symbol	Scientific Name	Common Name	Mature Size (h x w)	Planting Size	Plant Factor
	2		<i>Citronianthus reclusus</i>	Chinese Fringe Tree	20' x 25'	24" Box	M
	11		<i>Hymenosporum flavum</i>	Sweetshade Tree	35' x 20'	24" Box	M
	2		<i>Magnolia grandiflora</i> 'Little Gem'	Little Gem Magnolia	25' x 10'	24" Box	M
	11		<i>Lagerstromia indica</i>	Crape Myrtle	25' x 15'	24" Box	M
	6		<i>Agonon flexuosus</i> After Dark	Peppermint Tree	18' x 18'	24" Box - Sld	M
	1		<i>Tuplanihus calyptratus</i>	Mallet Flower	20' x 20'	24" Box - Multi	M
	1		<i>Erlobolnia deflexa</i>	Bronze Loquat	20' x 25'	36" Box - Multi	M
	3		<i>Podocarpus gracilior</i>	Fern Pine	50' x 25'	24" Box - Col	M
Palm	Quantity	Symbol	Scientific Name	Common Name	Mature Size (h x w)	Planting Size	Plant Factor
	4		<i>Phoenix roebelenii</i>	Pigmy date palm	10' x 6'	15-Gal Multi 2' BTH	M
	18		<i>Washingtonia robusta</i>	Mexican fan palm	85' x 18'	8' BTH	L
Perennial	Quantity	Symbol	Scientific Name	Common Name	Mature Size (h x w)	Planting Size	Plant Factor
	73		<i>Dietes bicolor</i>	Fortnight Lily	2' x 3'	1-Gal	M
	99		<i>Agapanthus africanus</i> 'Peter Pan'	'Peter pan' Blue lily of Nile	1' x 1'	1-Gal	M
	440		<i>Hemerocallis</i> sp.	Daylily species	14" x 11"	1-Gal	M
	55		<i>Phormium tenax</i> 'Tom Thumb'	'Tom Thumb' New Zealand Flax	2' x 3'	1-Gal	M
	19		<i>Armeria maritima</i>	Sea Pink	6" x 8"	GC Flats	M
	5		<i>Scaevola</i> 'Maui Clusters'	Scaevola	6" x 3"	GC Flats	M
	22		<i>Barleria repens</i>	Coral Creeper	6" x 6"	GC Flats	M
	3		<i>Zoysia tenuifolia</i>	Korean Grass	10' x 6"	GC Flats	M
Shrub	Quantity	Symbol	Scientific Name	Common Name	Mature Size (h x w)	Planting Size	Plant Factor
	46		<i>Azalea indica</i> 'Redbird'	Southern Indian azalea	3' x 3'	5-Gal	H
	2		<i>Polygala dalmaniana</i>	Sweet Pea Shrub	4' x 5'	15 Gal patio tree	M
	194		<i>Trachelospermum jasminoides</i>	Star Jasmine	8' x 6'	1-Gal	M
	6		<i>Trachelospermum jasminoides</i> esp.	Star Jasmine	esp	5-Gal esp	M
	82		<i>Escalonia</i> 'Newport Dwarf'	New Port Dwarf Escallonia	3' x 3'	5-Gal	M
	61		<i>Viburnum tinus</i> 'Robustum'	'Robustum' Laurustinus	10' x 5'	5-Gal	M
	44		<i>Pittosporum tenuifolium</i>	Kohuhu	15' x 10'	5-Gal	M
	175		<i>Pandina d.</i> 'Plum Passion'	Heavenly Bamboo	5' x 3'	5-Gal	M
	80		<i>Pittosporum tobira</i> 'Wheeler's Dwarf'	Mock Orange	3' x 5'	5-Gal	M
	32		<i>Hebe speciosa</i> 'Variegata'	Showy Hebe	3' x 3'	5-Gal	M
	45		<i>Correa</i> 'Ivory Bells'	White Australian Fuchsia	5' x 5'	5-Gal	M
	33		<i>Dodonaea viscosa</i> 'Purpurea'	Purple-leaved Hop-bush	15' x 10'	5-Gal	M
	10		<i>Cyathea cooperi</i>	Australian Tree Fern	16' x 6'	15-Gal	M

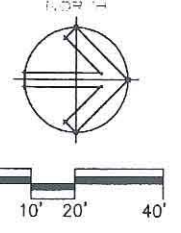


Note:
 For VUA that is less than 6,000 sq. ft. per section 124.0407b, the required planting is provided within 5' of VUA. Planting areas adjacent the VUA shall be protected by raised curbing.

WATER CALCULATION	
CONVENTIONAL LANDSCAPE	$MAWA = (46571.62) \{ (7) \times (9.392) + 0.3 \times SLA \} =$
	MAXIMUM APPLIED WATER ALLOWANCE = 391,338.42 GAL / YEAR
MOD WATER USING PLANTS	$EWU = (46571.62) \{ (4.313) \}$
	TOTAL ESTIMATED APPLIED WATER USE = 412,643.79 GAL / YEAR

PLANT FACTOR - REGION 3
 L - (LOW WATER USE) = 0 - 0.3
 M - (MODERATE WATER USE) = 0.4 - 0.6
 H - (HIGH WATER USE) = 0.7 - 1.0

Project data:
 • LA = 21 719 sq ft
 • TOTAL SITE AREA WITH NEW ZION DEDICATION = 49,991 sq ft (1.15 acres)
 • TOTAL IMPERVIOUS AREA AFTER CONSTRUCTION = 29,539.8 sq ft



Prepared By:	McGough Group	Revision 14:	
Name:	Landscape Architects	Revision 13:	
Address:	11110 N Tatum Blvd. SUITE 100 PHOENIX, AZ 85028	Revision 12:	
Phone #:	(602) 997-9093	Revision 11:	
		Revision 10:	
		Revision 9:	
		Revision 8:	
Project Address:	5150 ZION AVE. SAN DIEGO, CA	Revision 7:	
		Revision 6:	
		Revision 5: 10/19/12	
		Revision 4: 10/01/12	
Project Name:	VILLAGE AT ZION SENIOR APARTMENTS	Revision 3: 9/04/12	
		Revision 2: 7/31/12	
		Revision 1: 2/29/12	
Sheet Title:	LANDSCAPE PLAN	Original Date:	12/14/11
		Sheet	112 of 12
		D/P#	25-5320

SAN DIEGO COUNTY
REGIONAL AIRPORT AUTHORITY

P.O. BOX 82776, SAN DIEGO, CA 92138-2776
619.400.2400 WWW.SAN.ORG

March 20, 2012

Ms Laura Black
City of San Diego
Development Services Department
1222 First Avenue
San Diego, California 92101

Re: Airport Land Use Commission Determination
Construction of 58 Multifamily Residential Units at 5150 Zion Avenue; APN 672-300-05

Dear Ms Black:

As the Airport Land Use Commission (ALUC) for San Diego County, the San Diego County Regional Airport Authority acknowledges receipt of an application for a determination of consistency for the project described above. This project is located within Review Area 2 of the Airport Influence Area for the Montgomery Field Airport Land Use Compatibility Plan (ALUCP).

Projects located within Review Area 2 are not subject to ALUC consistency determination review unless the project contains airspace hazards. Staff review of your application indicates that the project does not have attributes of excessive smoke, glare, distracting lights, or wildlife attractants. It is also not located within a high terrain area where natural grade already penetrates airspace surfaces. Therefore, the project has no characteristics which qualify it for review by the ALUC for consistency determination.

However, the project meets notification criteria for review as a hazard to air navigation by the Federal Aviation Administration (FAA) and accordingly must be referred to the FAA for a determination from that agency regarding potential impacts to the assurance of navigation signal reception.

Thank you for your submittal.

Sincerely,



Angela Jamison
Manager, Airport Planning

cc: Tait Galloway, City of San Diego



SAN DIEGO
INTERNATIONAL
AIRPORT



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 2601 Meacham Boulevard
 Fort Worth, TX 76137

Aeronautical Study No.
 2012-AWP-6675-OE

Issued Date: 09/18/2012

Jonathan Cornelius
 Fore Property Company
 1741 Village Center Circle
 Las Vegas, NV 89134

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building Village at Zion Apartments
Location:	San Diego, CA
Latitude:	32-47-36.35N NAD 83
Longitude:	117-04-55.42W
Heights:	323 feet site elevation (SE)
	39 feet above ground level (AGL)
	362 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be completed and returned to this office any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part I)
 Within 5 days after the construction reaches its greatest height (7460-2, Part II)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed and maintained in accordance with FAA Advisory circular 70/7460-1 K Change 2.

This determination expires on 03/18/2014 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates , heights, frequency(ies) and power . Any changes in coordinates , heights, and frequencies or use of greater power will void this determination. Any future construction or alteration , including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

If we can be of further assistance, please contact our office at (817) 321-7760. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2012-AWP-6675-OE.

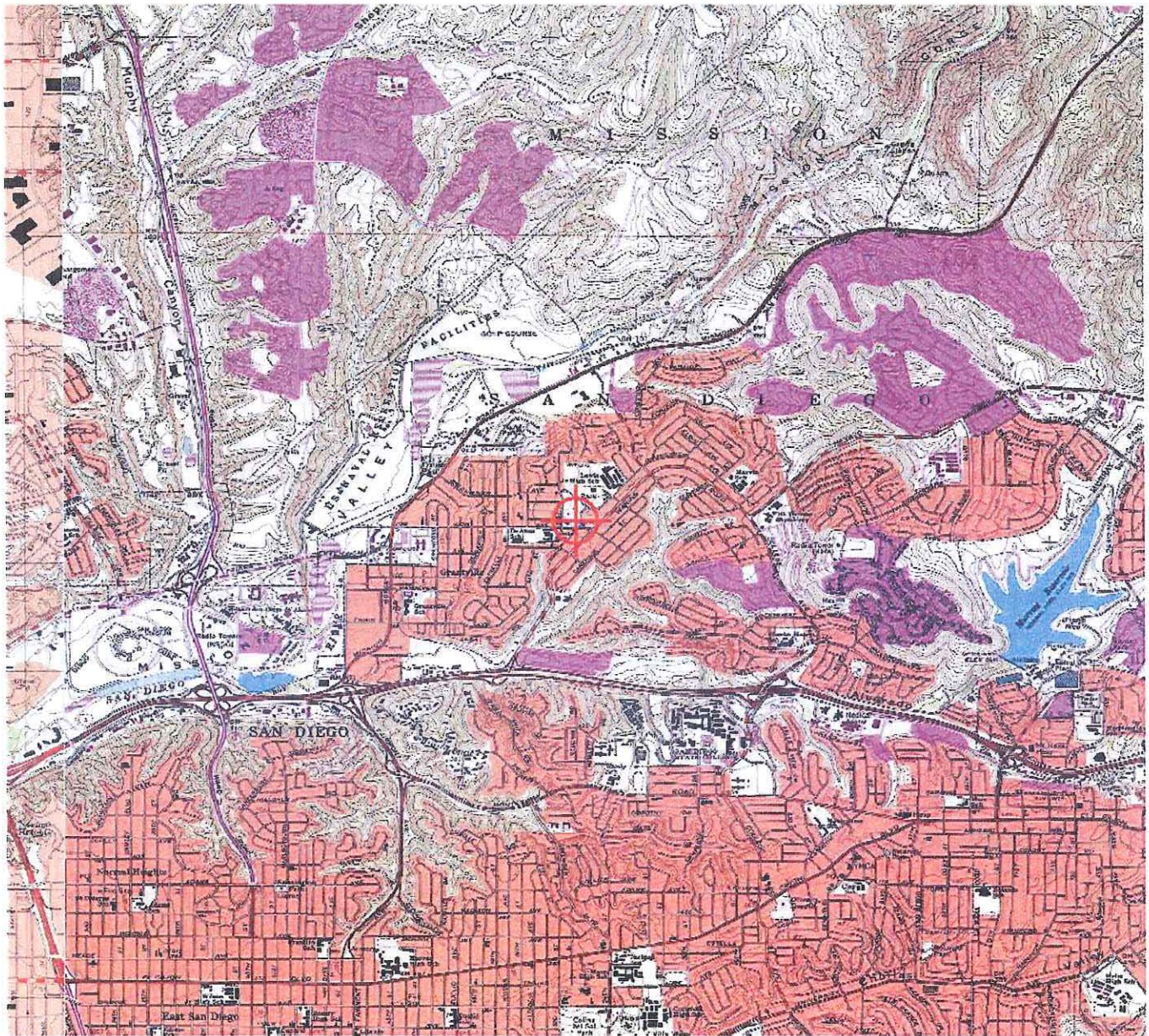
Signature Control No: 172071106-173412297

(DNE)

Joan Tengowski
Technician

Attachment(s)
Map(s)

TOPO Map for ASN 2012-AWP-6675-OE





City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: VILLAGE AT ZION		Project Number: 266702		Distribution Date: 3/9/2012	
Project Scope/Location: NAVAJO ** AFFORDABLE EXPEDITE PROGRAM ** (PROCESS 5) Community Plan Amendment, Rezone from RS-1-7 to RM-3-7 and Site Development Permit to construct 58 for rent affordable senior housing units on a vacant 1.21 acre site at 5150 Zion Ave within the RS-1-7 Zone, the Airport Land Use Compatibility Overlay Zone, the Airport Influence Area, the FAA Part 77, the Montgomery Field Overflight Notification Area, the Grantville Redev Area, and the Navajo Community Plan Area, CD 7. Notice Cards=3.					
Applicant Name: Nolan Huelsman			Applicant Phone Number: (619) 296-1010		
Project Manager: Laura Black		Phone Number: (619) 236-6327	Fax Number: (619) 446-5245	E-mail Address: LBlack@sandiego.gov	
Committee Recommendations (To be completed for Initial Review):					
<input type="checkbox"/> Vote to Approve		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Approve With Conditions Listed Below		Members Yes	Members No	Members Abstain	
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below		Members Yes	Members No	Members Abstain	
<input checked="" type="checkbox"/> Vote to Deny		Members Yes 11	Members No 4	Members Abstain 1	
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)				<input type="checkbox"/> Continued	
CONDITIONS:					
NAME: Allen Jones			TITLE: Chair, Navajo Comm. Plns		
SIGNATURE: <i>Allen Jones</i>			DATE: 4/16/12		
<i>Attach Additional Pages If Necessary.</i>			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					

NAVAJO COMMUNITY PLANNERS, INC.

Meeting Minutes for April 16, 2012

Call To Order: The meeting was called to order at 7:00 p.m. by Chairman Jones

- Board Members Present: Adams (arrived at 7:45 p.m.), Burg, Jones, Kelly, Kostrinsky, Martin, McSweeney, Miller, Murray, Peterson, Reed, Smith, Teemsma, Wagner, and Wilson Member Absent: Livingston
- Pledge of Allegiance: due to lack of a flag, the Pledge was not conducted
- Modifications to Agenda: none

Approval of the March 19, 2012 Meeting Minutes

Following a motion and second by McSweeney and Wagner the minutes were approved 10-0-5. Members Teemsma, Burg, Martin, Adams, and Kostrinsky abstained since they missed much of the meeting, having served in an adjacent room on the Elections Committee.

Officers Reports:

- Chair's Report: Chairman Jones reported that the Quail Brush (Cogentrix) project would be discussed as an informational item at the June 18 NCPI meeting.
- Vice Chair's Report: There was no report, since the Vice Chair position is vacant.
- Treasurer's Report: Treasurer Murray reported an account balance of \$64.70. The Board discussed the merits of maintaining a checking account (with its attendant costs) versus holding the funds in cash. On a motion and second by Wilson and Wagner the Board voted unanimously to close the account and hold the funds in cash, to be maintained and reported on by the Treasurer. Lynn Murray will coordinate with John Pilch, who retains sole signature authority, to close the checking account.

Elected Officials' Reports:

- Marisa Berumen, Field Representative for Councilwoman Marti Emerald: Ms. Berumen was not present and thus did not offer a report.

Public Comment on Non-Agenda Items (3 minutes each):

- Dan Monroe of the City's Development Services Department reported that the Grantville Stakeholders may have a meeting in May, 2012.
- Officer Ed Zwibel of the San Diego Police Department provided a brief report on crime issues and statistics in the community.
- Andy Reyes, candidate for County Supervisor, addressed the Quail Brush project.
- Sid Voorakkara, candidate for the 79th Assembly District, discussed his candidacy
- Steven Hoolihan, Mike Walker, Sandy Coons, Kevin Brewster, and others spoke against the Quail Brush project.
- John Pilch spoke on behalf of City Council candidate Scott Sherman and asked the chair to inform the audience of the availability of NCPI's website.

- Mat Kostrinsky left the dais and addressed the audience regarding his candidacy for the San Diego City Council.

Election of Officers to the NCPI Board:

- On a motion and second by Wagner and Peterson, Allen Jones was nominated and elected unanimously as Chair. No other names were placed into nomination.
- On a motion and second by Kostrinsky and Murray, Anthony Wagner was nominated and elected unanimously as Vice Chair. No other names were placed into nomination.
- On a motion and second by Smith and Martin, Rich Burg was nominated and elected unanimously as Secretary. No other names were placed into nomination.
- On a motion and second by Martin and Peterson, Lynn Murray was nominated and elected unanimously as Treasurer. No other names were placed into nomination.

Informational Presentations:

- **Shawnee/CG7600 (Garver/Bradley) (City of San Diego Project No. 174988):** Mike Dunham, the applicant, offered a PowerPoint presentation on the project. He discussed misconceptions which had arisen in earlier meetings, addressed park acreage and in-lieu fees, described the relationship of grading to the river and its habitat, and described technical details of the traffic analysis. Board members asked questions of Mr. Dunham, followed by presentations from community members. The presentation and dialogue extended from 7:30 to 8:30 p.m.

Action Items:

- **Village at Zion Senior Housing**

The applicant made a presentation which identified design, intensity, and functional characteristics of the project, including revisions in the site plan and architecture which have been made subsequent to the last presentation to NCPI. Board members asked questions of the applicant, followed by presentations by community members.

A motion and second by Adams and McSweeney to table the item, to allow the applicant time to consider the Board and community's comments, assess potential project modifications, and meet with the Allied Gardens Community Council, was defeated 9-5-1 (Berg, Martin, Peterson, Murray, Wagner, Reed, Kelly, Teemsma, and Kostrinsky opposed and Miller abstaining, because she did not have the benefit of participating in earlier NCPI meetings where additional project detail was provided).

A motion and second by Wagner and Murray to recommend denial of the site development permit, rezoning, and community plan amendment was approved on a 10-4-1 vote (Smith, Jones, Adams, and McSweeney opposed and Miller abstaining because she did not have the benefit of participating in earlier NCPI meetings where additional project detail was provided).

Adjourn:

The meeting was adjourned at 9:40 p.m.

NAVAJO COMMUNITY PLANNERS, INC.

Temple Emanu-El
6299 Capri Drive
San Diego, CA 92120

Minutes for Monday, October 15, 2012

Back up materials relating to the agenda items may be reviewed online at navajoplanners.org

*Note: All times listed for agenda items are estimates only;
items may be heard earlier or later than listed.*

Call To Order: 6:00 p.m.

- Roll Call of Board Members

<i>Allen Jones (Grantville)</i>	<i>March 2013</i>
<i>Anthony Wagner (Allied Gardens)</i>	<i>March 2014</i>
<i>Richard Burg (San Carlos)</i>	<i>March 2013</i>
<i>Lynn Murray (Allied Gardens)</i>	<i>March 2014</i>
<i>Matthew Adams (San Carlos)</i>	<i>March 2013 arrived 6:05 p.m.</i>
<i>Sherry Kelly (Grantville)</i>	<i>March 2014</i>
<i>Mathew Kostrinsky (Del Cerro)</i>	<i>March 2013</i>
<i>Douglas Livingston (Del Cerro)</i>	<i>March 2014</i>
<i>Cindy Martin (Allied Gardens)</i>	<i>March 2013 arrived 6:07 p.m.</i>
<i>Michael McSweeney (Del Cerro)</i>	<i>March 2014</i>
<i>Mary Miller (San Carlos)</i>	<i>March 2014</i>
<i>Dale Peterson (San Carlos)</i>	<i>March 2014 absent</i>
<i>Marilyn Reed (Allied Gardens)</i>	<i>March 2013</i>
<i>Dan Smith (Grantville)</i>	<i>March 2014</i>
<i>Daron Teemsa (Grantville)</i>	<i>March 2013</i>
<i>Jay Wilson (Del Cerro)</i>	<i>March 2013</i>

- Modifications to Agenda (Informational items can be changed to action items by 2/3 vote before the agenda has been adopted) *Michael Mc Sweeney makes motion to approve, Jay Wilson 2nd; unanimously approved*
- Approval of the September 24, 2012 Meeting Minutes; *the minutes were revised to reflect that Cindy Martin was at the gate and thus was absent from some votes. Jay Wilson makes motion to approve, Michael McSweeney 2nd; unanimously approved. Mat Kostrinsky abstains due to having missed a portion of the meeting.*

Officers Reports: 6:05 p.m.

- Chair's Report: *Information item not to be heard until next month*
- Vice Chair's Report: *None*
- Treasurer's Report: *\$45 verified by Daron Teemsa*

Jay Wilson states Zion church will allow us to use facility at no charge. Other facilities wish to charge. Matt Adams makes motion to move to Zion Ave Community Church; Michael

McSweeney 2nd. Mat Kostrinsky moves to amend the motion, suggesting the move be deferred until January 2013 to allow the community time to adjust. Matt Adams concurred. Unanimous vote to approve.

Elected Officials' Reports: 6:10 p.m.

- Marisa Berumen, Field Representative for Councilwoman Marti Emerald *Not present*

Public Comment on Non-Agenda Items (3 minutes each): 6:15 p.m.

John Pilch: Thanks Anthony Wagner for alcohol policy meeting on the preceeding Saturday; Mr. Pilch suggested it was time well spent. He also thanked Jay Wilson and Jim Madaffer for repair assistance on the San Carlos sign on Navajo Rd. He was displeased about remarks last week regarding the San Carlos Area Council.

Mat Kostrinsky: Lake Murray playground opened Friday with lots of activity. Community event on 10/28 from 7 'til 2. Official ribbon cutting at playground on November 14 at 1 pm. Pavers are still available to purchase.

Sherry Kelly: Allied Gardens Spring Fest May 17-18; looking for chairpersons of various activities (car show, parade and rides).

Informational Presentations: none

Consent Agenda: 6:25 p.m.

- **Del Cerro Chevron CUP** 6301 Del Cerro Boulevard
Conditional Use Permit to allow the continuation of Type 20 alcohol sales at an existing convenience store. Relevant conditions of the current CUP read as follows:
12. Provisions for alcoholic beverage sales within this Conditional Use Permit shall expire on September 12, 2012. Upon expiration of this permit, all alcoholic beverage sales shall cease on the property.
13. Prior to the expiration date or the provisions for alcoholic sales within this Conditional Use Permit, the Permittee may submit a new Conditional Use Permit application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time.
15. Sales of alcoholic beverages shall be permitted only between the hours of 8:00 a.m. and 10:00 p.m.

Matt Adams makes motion to approve. Michael McSweeney 2nd. Unanimously approved.

Action Items: 6:30 p.m.

- **Village at Zion Senior Apartments** 5150 Zion Avenue
Proposed revisions to a 60-unit senior affordable housing project being considered for a 1.21-acre parcel at the intersection of Zion Avenue and Glenroy Street.
Existing zoning: R-1-7; proposed zoning R-3-7.

Robin Madaffer: represents Developer. Ms. Madaffer believes the previous vote of denial by NCPI was primarily due to height concerns. Lee Novak also representing Developer; shows storyboards with both old and new design. West side height closest to church would be 37' 4" at the highest, down to 28' measuring west to east. The facade design was changed from Spanish mission to craftsman style. Parking ratio is unchanged (1

space per unit). The other primary change is to where the open space would be located at the facility.

Michael McSweeney and Mary Miller asked: How many units were proposed in the original and current designs? 58 units prior -- now 60 units.

Matt Adams: Where is the parking located? The parking is below grade and is partially underground.

Doug Livingston: Parking grade footprint matches building footprint. The rendering does not appear to be accurate due to parking grade change.

Cindy Martin: requested clarification to setback from 35' to 50'. Developers enlarged two courtyards and thereby provided more useable area for residents. Cindy asked how far back from street is the building set: 20' setback now; new 15' old. How does one access the underground parking?

Lynn Murray: What is height of parking? Delivery truck would not fit under. Oversized vehicle would need to park on Glenroy

Mat Kostrinsky: asked about Zion setback; Ms. Madaffer stated that the building would be set back 23'

Marilyn Reed: How is the underground parking accessed (it would be gate controlled and visitors can use keypad dial to access parking lot).

Audience Comments:

Female audience member: asked if the Allied Gardens Community Council can revisit the project and discuss the changes. Will impact community greatly, traffic issues, density too high. Appreciates modifications. Seniors have more than 1 car.

Female audience member: Asks to have this issue readdressed. Lot of residents would like to have input. Parking for visitors a concern.

Female audience member: A disservice to just ram it through tonight. Emergency vehicle issues. Just not for this area. Respectfully requests to continue the item to another time.

Male audience member: No significant infrastructure in area. Too much development in area. Getting cart before horse. Need to improve infrastructure.

Elma: Been in area over 45 yrs. Traffic a major issue.

Female audience member: Parking issues especially around Allied Garden Rec Center.

Larry Webb: Commends redesign. In support because older residents can stay in the community instead of leaving.

John Deel: Parking is a major issue. No parking on Glenroy due to sports in park. Underground parking would not really be underground. Need to go deeper with underground parking to fit building into community.

Jennifer: Needs to be brought back to neighborhood. Density too great for neighborhood.

Male audience member: Parking issues a big concern due to library, pool, recreation center. Lived in community over 60 yrs. Wrong time. Need more time for community review.

Bev: Concerned about parking. Asks about the number of parking spaces available. Ms. Madaffer states 60 parking spaces are proposed.

NCPI Comments:

Allen Jones: for affordable housing projects, the city sets up schedule. Processed very rapidly and on a preferred basis. Will go to hearing whether or not we vote on it tonight.

Matt Adams makes motion to support project. Michael McSweeney 2nd. The motion failed on a 4-11 vote with Allen Jones, Michael McSweeney, Jay Wilson, Matt Adams voting aye. Matthew Adams states applicant came back with a redesigned project as requested by the community and we need an aye or nay vote. He states, judging from community input, nobody likes this project. It costs to redesign so a vote is critical. Anthony Wagner makes motion to table the items and have it presented to the Allied Gardens Community Council. The motion was approved on a 11-4 vote with Matthew Adams, Michael McSweeney, Allen Jones, and Doug Livingston opposed.

Anthony Wagner stated that he appreciates Matt's view and thinks the project looks great with two floors. He agrees with the audience member that parking may need to be deeper. Mr. Wagner thinks the applicant is close to a community approval with a few more changes and encourages additional meeting at Allied Gardens Community Council.

Sherry Kelly: thinks a 30-unit structure would be doable.

Cindy Martin: concerned about a huge, long wall look. As proposed the project does not fit the community appropriately. It just does not feel right.

Marilyn Reed: agrees with Cindy. Looks like dense area and does not fit into single family neighborhood. No one received notice it was coming back to NCPI. Cut in half from 60 to 30 units. Too dense of a project for the community. Ms. Reed displayed a proclamation against Village at Zion with 110 signatures.

Lynn Murray: Supports Cindy and Marilyn. The project is not appropriate for the site. She mentioned an article in the U-T about letting the community have a stronger voice on land use matters.

Michael McSweeney: stated that he was a contractor; he feels the design is similar to a two-story house. Seniors moving in would be low income.

Douglas Livingston: This is a perfect location for senior housing. It is close to library, park, shopping, pool, restaurants. Would like to see a landscape plan. Architectural changes would make it look more appealing to community. Believes it still too dense but could be better.

Mat Kostrinsky: feels like Board going wrong direction. Appreciates the applicant lowering the building height. Allied Gardens should have had the opportunity to review.

- Blue Agave

6608 Mission Gorge Road

Conditional Use Permit to include 709 square feet of existing patio as part of an existing 4,821 sq ft bar/nightclub. A bar/nightclub up to 5,000 sq ft is permitted by right in the zone. Addition of the patio would exceed 5,000 sq ft and thus requires a CUP.

Continued from the meeting of August 20, 2012 in order to receive additional information regarding security services at Blue Agave.

- A. *Anthony Wagner: Thanks colleagues, The Alcohol Subcommittee spent 8 hrs to come to a consensus; thanks Rob Hall for assistance with fair conditions for approval by NCPI. Blue Agave had 16 calls for service the past year, costing 34 hrs of police time (normal for this type of business in the community). It does not disproportionately contribute to crime between 2:00 to 4:00 a.m. His proposed document contains 20 conditions that do not overly burden the establishment. Mary Miller, Dan Smith, John Pilch, Anthony Wagner have come to the conclusion that the proposed conditions properly reflect the issues which need to be addressed. Makes motion to adopt the 20 conditions (distributed to the Board at the meeting). Dan Smith 2nd the motion.*
- B. *Rob Hall: Reads statement to the Board stressing the appropriateness of conditions placed upon Blue Agave for approval of CUP.*
- C. *Elizabeth Young Carmichael (applicant's representative) comments on list of conditions. CUP renewal is a hardship due to expense (every 5 yrs). Why condition #4? Currently they are required to staff security at 1 per 50 patrons; they are doing that. Already lighting for shopping center and flood lights. Applicant pays taxes. Open to 4 am so people can sober up.*
- D. *Michael McSweeney: Asks why owner was not given conditions until this evening. If no problems why are we asking for all these conditions? Allen understands there have been problems.*
- F. *Anthony Wagner: Would use same conditions for other establishments. Blue Agave currently has 7 security per 100 patrons.*
- G. *Matthew Adams: With how many conditions does Blue Agave already need to comply? If police calls are not disproportionate to other area establishments why are all of these additional conditions needed? How many of the conditions are new from subcommittee? Anthony Wagner replies: Do not wait for problems to occur. New items include conditions 1, 2, 3, 4, 5, 13 (pertains to video quality), and 14.*
- H. *Sherry Kelly: Suggests visiting site on weekend. States only open 3 days per week. Matt Adams asks about other establishments open 7 days vs 3 days. If open 7 days police activity is disproportionate.*
- I. *Marilyn Reed: Thinks the conditions document is great and thanks subcommittee. Near San Diego River and thinks establishment would want more security due to closeness to river and transients. Back patio looks like somebody can climb up and over. Owners says that can happen but the security guard on the patio prevents it.*
- J. *Cindy Martin: Asks for clarification about three different regulations by three different regulating bodies.*

- K. Sam (owner of Blue Agave): the club uses 1 security person per 50 patrons. The club earlier did hip hop, which was later changed to salsa. Now 2 security per 50. Three off-duty police officers roam parking lot. Security guard posted by river. Patrolling lot next door last 8 years. Noticed 4 months ago to no longer patrolling in the lot next door. Later two persons were killed. Three armed security guards in parking lot; they stop drunk patrons from leaving parking lot and will call cab.
- L. Matthew Adams: are any conditions unreasonable? Makes motion to amend: keep the conditions but the CUP should not expire every 5 yrs but 7 years. Conditions 19 and 20 should be deleted. Michael McSweeney 2nd. Mr. Wagner is OK with the amendment. Anthony Wagner asked that Condition 17 provide for a minimum "to the satisfaction of SD Police Dept as long as the applicant has at least the standard minimum, similar to any other CUP. The motion was approved on 14-1 vote with Sherry Kelly opposed.
- M. Mary Miller: Is the security of 2 per 50 interior only? The Owners responded that there are 7 security guards inside the club.
- N. Douglas Livingston: Is there anything in the motion about the number of security guards. Still requiring 28 security guards, it seems like a lot. Allen states no proposal to change this condition. Go back to standard?

- **Establishment of Priorities for Infrastructure Funding in the Navajo Community**
The Mayor's office has invited community planning groups to participate in the City's annual budget development process by identifying projects and priorities for expenditure of capital improvement and other funds. The Community Planning Chairs (CPC) is developing a standardized procedure to be used by each planning group. Priorities and funding requests are due to the CPC, for transmittal to the City, by November 7.

Information Items: 7:40 p.m.

- Report on the NCPI Website (Jay Wilson)
- Report on Community Planners Committee activities (Dan Smith)
 - Spending CIP money in Navajo Community. Input from community planning groups is due to the City by November 7. Michael McSweeney makes motion, Dan Smith 2^{nds} (Allen Jones to sign NCPI Capitol Improvement funding letter). Unanimous vote to approve.
- Report from the Parks Subcommittee (Cindy Martin and Jay Wilson)

Community Group Reports: 7:45 p.m. No time for reports

- Grantville Stakeholders Group –Matt Adams
- Allied Gardens Community Council – Marilyn Reed
- Del Cerro Action Council – Jay Wilson
- San Carlos Area Council – John Pilch

Old Business: 7:50 p.m. None

New Business: 7:55 p.m. None

Adjourn: Next meeting: November 19, 2012



Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title: Village at Zion Project No. For City Use Only: 246702

Project Address: Corner of Zion + Glenray

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): George Harb
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 6886 Newberry St
 City/State/Zip: San Diego CA 92120
 Phone No: 619-507-7119 Fax No: 619-582-7880
 Signature: [Signature] Date: 12-10-2012

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

DEVELOPMENT SERVICES
Project Chronology
Village at Zion – Project No. 266702

Date	Action	Description	City Review Time (Working Days)	Applicant Response (Working Days)
01/04/2012	Mandatory Initial Review (MIR) Submitted			
01/24/2012	MIR Meeting with Applicant and City Staff		13 days	
01/27/2012	MIR Letter sent to applicant		3 days	
03/09/2012	First Submittal	Project Deemed Complete		
04/04/2012	First Assessment Letter		17 days	
04/16/2012	Second Submittal			8 days
04/17/2012	Stop Work Requested	By Applicant	1 day	
07/31/2012	Second Submittal			72 days
08/24/2012	Second Assessment Letter		18 days	
09/06/2012	Third Submittal			8 days
09/20/2012	Third Assessment Letter		10 days	
10/04/2012	Fourth Submittal			10 days
10/30/2012	City Staff Review Complete		18 days	
11/13/2012	Environmental Determination – Draft Mitigated Negative Declaration		8 days	
12/10/2012	Environmental Determination – Final Mitigated Negative Declaration		17 days	
01/17/2012	Planning Commission Hearing	First available hearing date after Final Environmental Document	26 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	121 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		98 days
TOTAL PROJECT RUNNING TIME			219 days	