



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: January 24, 2013 **REPORT NO. PC-13-008**

ATTENTION: Planning Commission, Agenda of January 31, 2013

SUBJECT: GRIFFIN RESIDENCE - PROJECT NO. 279847; PROCESS THREE

**OWNER/
APPLICANT:** Steven Opp (Attachment 10)

SUMMARY

Issue(s): Should the Planning Commission approve or deny the appeal of the Hearing Officer's decision to approve a request to construct a new 2,470 square-foot, single-family residence on a vacant 0.09-acre parcel located at 13641 El Camino Real in the Carmel Valley Community Plan area?

Staff Recommendation: **DENY** the appeal and **APPROVE** Coastal Development Permit No. 982875 and Site Development Permit No. 1008142.

Community Planning Group Recommendation: On September 27, 2012, the Carmel Valley Community Planning Board voted 10-1-3 to recommend approval of the project with no recommendations or conditions (Attachment 9).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures), which allows for the construction of limited numbers of new facilities, including a single-family residence (Attachment 7). None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore the exemption is applicable to the proposed project. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 11, 2012, and the opportunity to appeal that determination ended November 1, 2012.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid by the applicant through a deposit account.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The proposed project would add one single-family housing unit to the San Diego housing market.

BACKGROUND

The project site is a vacant, 0.09-acre triangular-shaped parcel located at the northeast corner of the intersection of El Camino Real and Derby Downs Road. The property is located in the SF-1A Zone of the Carmel Valley Planned District Ordinance (CVPDO), which allows for single-family development. The Carmel Valley Community Plan Neighborhood Seven Precise Plan designates the site for detached single-family development at a rate of 4.25 dwelling units per acre. The site is also located in the non-appealable area 2 of the Coastal Zone.

A Certificate of Compliance confirming the legal status of the existing parcel was issued by City staff and recorded on August 22, 2012, with the County of San Diego. The CVPDO requires a minimum lot size of 5,500 square feet for newly-created lots. The existing 4,129-square-foot lot may be developed because it is a previously existing legal lot and no further subdivision of the parcel is proposed.

The site is bordered on the north and east by existing single-family development constructed in 1999 and by El Camino Real to the west and south. The area west of the site on the opposite side of El Camino Real contains undeveloped open space and agricultural lands. The only street frontage and access point available for the site is the east side of El Camino Real. The site slopes down slightly from south to north with an approximate grade differential of 10 feet.

Hearing Officer Decision:

On November 21, 2012, the Griffin Residence project was heard by the Hearing Officer at a noticed public hearing. After hearing public testimony, both in support and opposition, the Hearing Officer approved the project (Attachment 12).

DISCUSSION

Project Description:

The applicant is requesting the approval of a Site Development Permit and Coastal Development Permit to construct an approximately 2,470 square-foot, two-story, single-family residence with attached two-car garage. The structure has been designed with one- and two-story elements. The maximum overall height would be 28.7 feet with the majority of the structure under 18 feet, which complies with the 35-foot height limit. The project also complies with the 60% maximum Floor Area Ratio (FAR), the 60% maximum lot coverage and setback requirements for the Zone. The project includes a two-car attached garage and the driveway incorporates a turn-around to allow vehicles to enter El Camino Real without backing up.

The project's design features a tile hipped roof for the tallest portion of the structure and pitched standing-seam metal and flat roofs at the remaining portions. The exterior finishes would include stucco walls with a Santa Barbara finish and stone veneer accents. The proposed grading amounts include approximately 40 cubic yards of balanced soil cut and fill. Approximately 180 feet of retaining walls would be constructed at a maximum height of 4.5 feet.

The CVPDO Section 153.0201 requires development plan approval, processed as a Site Development Permit in accordance with Process 3, for new development such as the proposed single-family residence. A Coastal Development Permit is required for the proposed development as the site is located within the Coastal Zone. In order to approve the requested permits the decision maker must make the required findings for each permit (Attachment 5). Staff has determined that all of the required findings can be affirmed to approve the project. Both the Carmel Valley Community Plan and the SF-1A Zone of the CVPDO designate the site for single-family development. Therefore, the proposed single-family home would be consistent with the Community Plan land use designation and the SF-1A Zone allowed uses. The proposed project has been designed in accordance with the development regulations of the CVPDO and applicable sections of the City of San Diego Land Development Code. The applicant is not requesting a deviation or variance from any of the development regulations.

Staff has concluded that the proposed structure would be compatible with the surrounding single-family neighborhood. The design includes numerous off-setting planes, building articulation with both vertical and horizontal elements and a varied roof line that substantially reduces the apparent bulk and scale of the structure. The structure has been designed sensitive to the topography and adjacent homes, placing the two-story portion at the lowest point of the lot with the single-story element remaining a strong visual element from the street frontage.

Appeal Issues:

An appeal of the Hearing Officer's decision was filed on November 27, 2012, by an adjacent property owner (Attachment 11). The issues cited in the appeal application and staff's responses are below:

1. *"Certificate of Compliance was granted without meeting criteria for a buildable parcel. Should be a locked lot."*

Staff Response:

This project was reviewed by City Map Check staff during the Coastal Development and Site Development Permit review process, prior to approval by the Hearing Officer, to determine the legal status of the parcel. Staff determined that the 0.09-acre project site was originally part of a larger 20-acre parcel that extends to the west of El Camino Real. The project site was severed from the larger parcel by the acquisition of additional right-of-way in 1988 for the relocation and improvement of the present-day El Camino Real. Because the project site was separated from the original parcel by a government agency's acquisition of land for the improvement of a public right-of-way, the parcel is a legal lot under the California Subdivision Map Act.

On August 21, 2012, City Map Check staff issued a Certificate of Compliance confirming the legal status of the lot, pursuant to California Government Code Section 66499.35. While the Certificate of Compliance does confirm the legal status of the parcel, it does not guarantee or vest the development rights or potential of the site. However, the site is considered buildable in that the proposed single-family structure complies with the SF-1A Zone and the Carmel Valley Community Plan land use designation for the site. Additionally, the proposed project meets all applicable development regulations, including height, setbacks, lot coverage, FAR and parking and no deviations or variances are requested. Access rights to El Camino Real have not been relinquished for the project site, therefore driveway access from El Camino Real is allowed.

2. ***“No safe access to the property. The proposed property will be detrimental to the public health, safety and welfare”; “High accident intersection by bicyclists and motor vehicle drivers. Property entrance would be difficult on a highway with vehicles traveling excess of 60 mph.”***

Staff Response:

As discussed above, a Certificate of Compliance was issued confirming the legal status of the project site. As a legal lot, access is allowed from the public right-of-way. El Camino Real is the only street frontage and potential access point for this parcel as it is surrounded by existing single-family development on all sides. This segment of El Camino Real is classified as a four-lane major arterial street and is improved with two vehicle lanes and one bike lane in each direction, separated by a raised median, with a posted speed limit of 50 miles per hour. A signalized intersection with dedicated left turn lane from southbound El Camino Real to eastbound Derby Downs Road is located immediately south of the site at El Camino Real and Derby Downs Road. Due to the raised median, the site can only be accessed by a right turn from the northbound lane of El Camino Real, eliminating the possibility of a left-hand turn across traffic lanes either to or from the site.

The driveway, approach and curb cut have been designed in accordance with the applicable regulations and the required site visibility triangles are provided on both sides of the driveway. The applicant has included a 24-foot wide circular driveway with hammerhead which allows vehicles to turn around onsite and exit without having to back up onto El Camino Real. A typical single-family home is expected to generate 10 average daily trips (ADT), which does not meet the City of San Diego’s threshold for a significant impact under the California Environmental Quality Act (CEQA).

3. ***“Originally zoned for 4.25 acres – property was cleaved from the original 20 acres and should not be allowed to change zoning.”***

Staff Response:

The project site was separated from the original larger parcel by the acquisition of land for the relocation and improvement of the El Camino Real right-of-way, as discussed above. The project site is currently located in the SF-1A Zone of the CVPDO and no zoning change is included with this request.

4. *“CVPDO requires a minimum 5,500 sq. ft. lot and this lot is only 4,129 sq. ft.”*

Staff Response:

The 5,500-square-foot minimum lot size requirement refers to the creation of new lots in the SF-1A Zone of the CVPDO. As discussed above, the project site is an existing legal lot that was created by the acquisition of additional land for the relocation and improvement of the El Camino Real right-of-way. No further subdivision is proposed with this project. The existing 4,129-square-foot lot is considered previously conforming and is therefore not subject to the 5,500 square-foot minimum for newly created lots.

5. *“Does not meet the required 60% threshold of land to building. Easements and drainage from neighboring slopes are not addressed in the property size.”*

Staff Response:

The CVPDO allows a maximum lot coverage of 60 percent in the SF-1A Zone. As described in Section 113.0240 of the San Diego Municipal Code, lot coverage is calculated by dividing the square footage of the structure's footprint by the square footage of the lot. This calculation does not include easements or drainage from neighboring slopes. The structure footprint proposed on this 4,129-square-foot lot is 1,776 square feet. This results in a 43 percent lot coverage, which complies with 60 percent maximum.

The CVPDO also requires a maximum Floor Area Ratio (FAR) of 60%. FAR is the ratio of a building's total floor area to the size of the parcel of land upon which it is built. As described in Section 113.0234 of the San Diego Municipal Code, certain areas such as balconies, porches and carports are not included the FAR calculation, provided at least two elevations are open and percentage requirements are met. Based on those regulations, the carport, entry colonnade and second floor balcony areas totaling 668 square feet are not included the FAR calculations. The project as designed provides 2,470 square feet of building area for FAR calculation purposes where 2,477 square feet are allowed on this 4,129-square-foot project site.

6. *“Given environmental exemption without cause.”*

Staff Response:

The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303 (New Construction or Conversion of Small Structures), which allows for the construction of limited numbers of new facilities, including a single-family residence (Attachment 7). None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore the exemption is applicable to the proposed project. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 11, 2012, and the opportunity to appeal that determination ended November 1, 2012.

The proposed single-family home conforms with the Carmel Valley Community Plan land use and the SF-1A zoning designations for this site. The project has been designed to comply with all applicable development requirements and no deviations or variances have been requested. Therefore, the environmental exemption is appropriate for this project.

7. *“Impacts views of adjacent homes.”*

Staff Response:

The San Diego Municipal Code does not regulate or protect private views. Additionally, the project site and adjacent properties are not located within or near any public viewsheds or view corridors identified in the Carmel Valley Community Plan. The project as proposed complies with the height limit, setback, lot coverage, and FAR requirements of the CVPDO.

The applicant has placed the two-story portion of the structure at the lowest area of the lot to minimize the visual impact. The one-story portion of the structure has been designed with a low profile and tapers down to a height of approximately eight feet.

8. *“Architecture and size are not consistent with surrounding homes (2,000 sq. ft. proposed building to minimum 3,000 sq. ft. for the neighborhood).”*

Staff Response:

The development standards for the project site, including height, setbacks, lot coverage and FAR, are the same as those applied to the existing adjacent homes. The project as proposed complies with all relevant development regulations, resulting in a two-story, single-family structure similar in scale, massing and finishes to the surrounding single-family homes. The proposal for a 2,470 square-foot single-family structure with 2,070 square feet of livable area and a 400-square-foot attached garage on a 4,129-square-foot site is consistent with the surrounding development. Existing single-family development within a 0.2-mile radius of the project site ranges from 3,700+ square-foot homes on 7,000+ square-foot lots to 1,500-square foot condominium units. As discussed previously, the 60% maximum lot coverage and 60% FAR requirement apply to all properties in the SF-1A Zone to ensure a uniform ratio of structure to lot size for all projects.

Conclusion:

City staff has reviewed the appeal application and continues to support the applicant’s request for a Site Development Permit and Coastal Development Permit for the construction of a single-family residence. Staff believes that the appeal cannot be granted because the administrative record supports the findings required to approve the project. The project is consistent with the underlying zone, the applicable land use plans and policies in affect for the project site. A Certificate of Compliance was issued for the project site confirming the legal status of the lot and access rights to El Camino Real have not been relinquished. An environmental review performed by the Development Services Department determined that the proposed project is exempt from further CEQA review. Therefore, staff recommends that the Planning Commission deny the appeal and approve the requested permits.

ALTERNATIVES

1. **Deny the appeal and Approve Coastal Development Permit No. 982875 and Site Development Permit No. 1008142, with modifications.**
2. **Approve the appeal and Deny Coastal Development Permit No. 982875 and Site Development Permit No. 1008142, if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Paul Godwin
Development Services Department

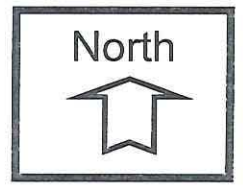
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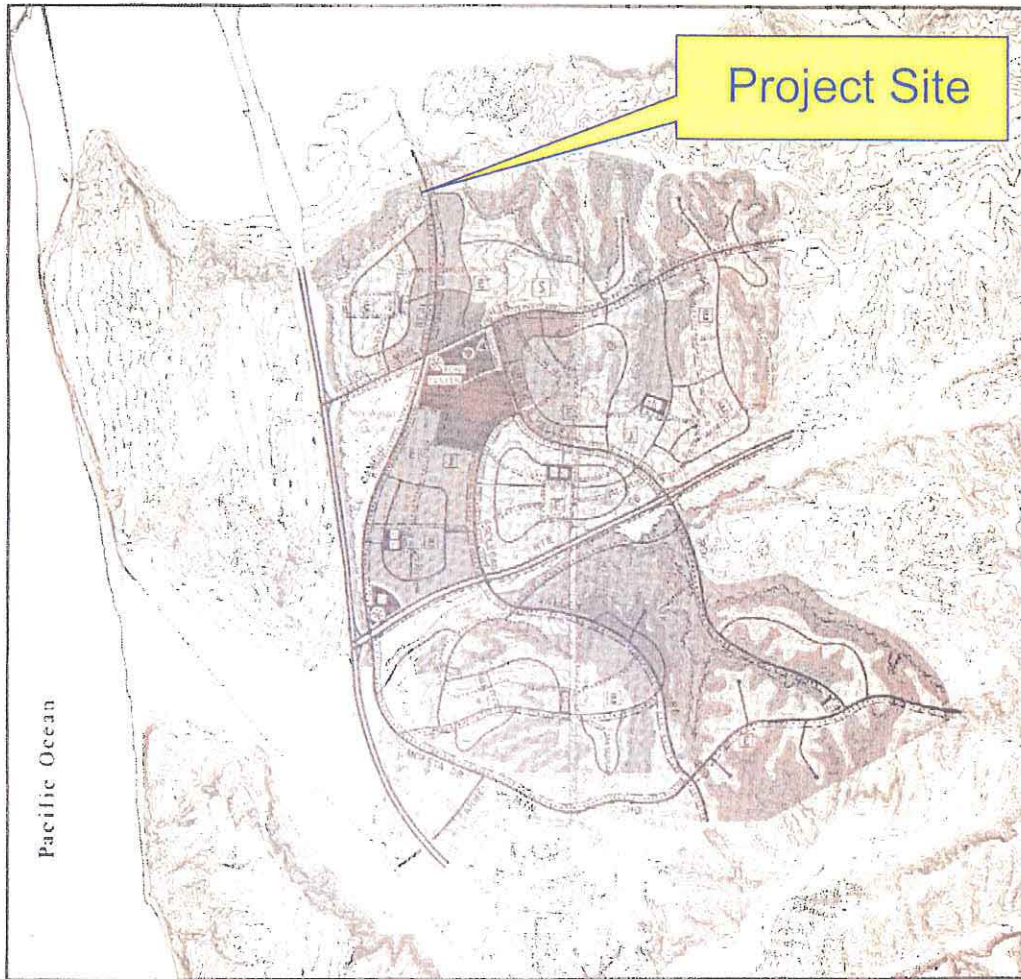
Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Plans
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Appeal Application
12. Hearing Officer Minutes, November 21, 2012



Aerial Photo
Griffin Residence – 13641 El Camino Real
PROJECT NO. 279847





NORTH CITY WEST

RESIDENTIAL

- VERY LOW DEN. 5 DU/AC.
- LOW DEN. 10 DU/AC.
- LOW MED. DEN. 20DU/AC.
- MEDIUM DEN. 40DU/AC.

COMMERCIAL

- ALL CATEGORIES N-
- NEIGHBORHOOD V-VISITOR

PUBLIC FACILITIES

- SCHOOLS E-ELEM J-JR. S-SR.
- P-PARK N-NEIGHBORHOOD C-COMM.
- LIBRARY ▲ FIRE STATION

TRANSPORTATION

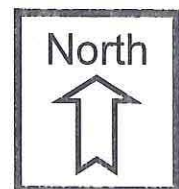
- FREEWAY
- MAJOR STREET
- COLLECTOR STREET

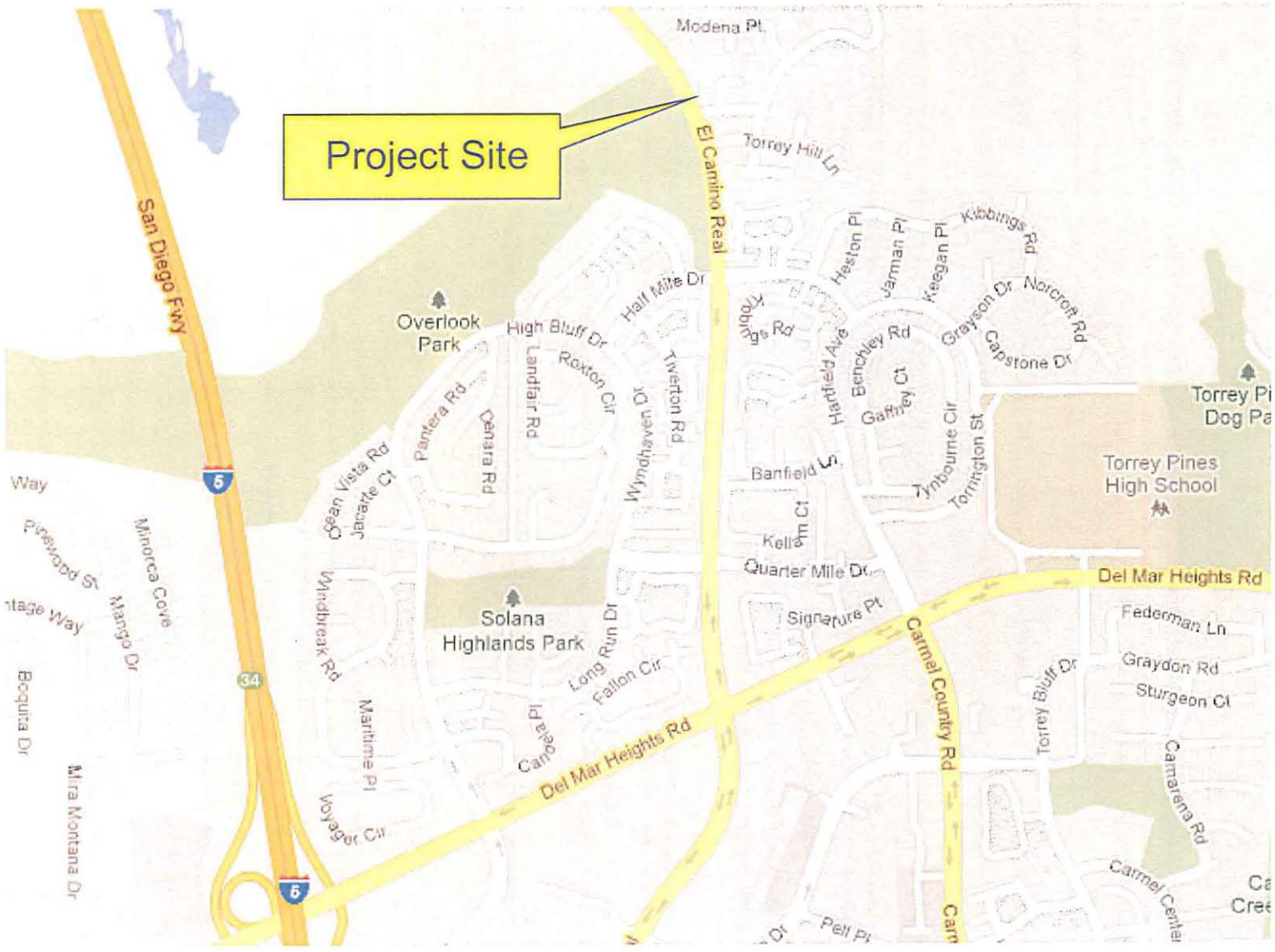
- BICYCLE PATH
- PEDESTRIAN
- * TRANSPORTATION TERMINAL
- OPEN SPACE
- FLOOD PLAIN



Land Use Map

Griffin Residence – 13641 El Camino Real
PROJECT NO. 279847

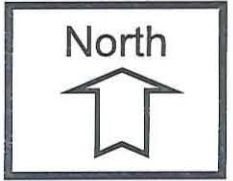




Project Site

Project Location Map

Griffin Residence – 13641 El Camino Real
 PROJECT NO. 279847





PROJECT DATA SHEET

PROJECT NAME:	Griffin Residence, Project No. 279847
PROJECT DESCRIPTION:	Construction of a 2,470-square-foot, two-story, single-family residence on a vacant 0.09-acre parcel located at 13641 El Camino Real
COMMUNITY PLAN AREA:	Carmel Valley
DISCRETIONARY ACTIONS:	Site Development Permit and Coastal Development Permit
COMMUNITY PLAN LAND USE DESIGNATION:	Single-family development (4.25 dwelling units per acre.).

ZONING INFORMATION:

ZONE: SF-1A: (Single-family zone of the Carmel Valley PDO)

HEIGHT LIMIT: 35-Foot maximum height limit

LOT SIZE: 5,500 square-foot minimum lot size, no subdivision proposed

FLOOR AREA RATIO: 0.60 maximum

FRONT SETBACK: 10 feet

SIDE SETBACK: 4 feet

STREETSIDE SETBACK: 10 feet

REAR SETBACK: 4 feet

PARKING: 2 parking spaces required

<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Single-Family Residential; SF-1A	Single-Family Residential
SOUTH:	Single-Family Residential; SF-1A	Single-Family Residential
EAST:	Single-Family Residential; SF-1A	Single-Family Residential
WEST:	Agricultural; AR-1-1	Open Space, Agricultural
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 27, 2012, the Carmel Valley Community Planning Board voted 10-1-3 to recommend approval of the project with no recommendations or conditions	

PLANNING COMMISSION RESOLUTION NO. ????
SITE DEVELOPMENT PERMIT NO. 1008142 AND
COASTAL DEVELOPMENT PERMIT NO. 982875
GRIFFIN RESIDENCE - PROJECT NO. 279847

WHEREAS, STEVEN OPP, Owner/Permittee, filed an application with the City of San Diego for a permit to construct a 2,470-square-foot, two-story, single-family structure with attached two-car garage (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1008142 and 982875), on portions of a vacant 0.09-acre site;

WHEREAS, the project site is located at 13641 El Camino Real, in the SF-1A Zone of the Carmel Valley Planned District Ordinance area of the Carmel Valley Community Plan;

WHEREAS, the project site is legally described as that portion of the southwest quarter of the southwest quarter of Section 7, Township 14 South, Range 3 West, San Bernardino Base and Meridian;

WHEREAS, on November 21, 2012, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1008142 and Coastal Development Permit No. 982875, and pursuant to Resolution No. HO-6572, approved the Permits; and

WHEREAS, on November 27, 2012, George Saddic appealed the Hearing Officer decision to the Planning Commission of the City of San Diego; and

WHEREAS, on January 31, 2013, the Planning Commission of the City of San Diego considered the appeal of the Hearing Officer's decision to approve Site Development Permit No. 1008142 and Coastal Development Permit No. 982875 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 11, 2012, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated January 31, 2013.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed project would construct a 2,470-square-foot, two-story, single-family structure with attached two-car garage on a 0.09-acre vacant site within a developed single-family neighborhood. The property is separated from the coast by El Camino Real and Interstate 5. The Local Coastal Program land use plan does not identify any existing or proposed coastal accessways or identified public view corridors on or adjacent to the property. The project site is bordered by existing single-family development to the north and east and El Camino Real to the west and south. Due to the positioning of the site in relation to the existing development there would be no impact on public views.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The proposed project would construct a 2,470-square-foot, two-story, single-family structure with attached two-car garage on a 0.09-acre vacant site within a developed single-family neighborhood. The design complies with the applicable development regulations of the Carmel Valley Planned District Ordinance and the Land Development Code. The project site was previously graded and is surrounded by existing development, including single-family homes to the north and east and El Camino Real to the west and south. The site does not contain nor is adjacent to the Multiple Habitat Planning Area or any environmentally sensitive lands. The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303, which allows for the construction of limited numbers of new facilities, including a single-family residence. Therefore, the proposed coastal development would not adversely affect environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed project would construct a 2,470-square-foot, two-story, single-family structure with attached two-car garage on a 0.09-acre vacant site within a developed single-family neighborhood. The development of a new single-family home at this site complies with the recommended land use and density of the Carmel Valley Community Plan. The project design complies with the Local Coastal Program land use plan, Carmel Valley Planned District Ordinance and the applicable regulations of the Land Development Code, including parking, height, setbacks, lot coverage, FAR and public improvements. No variance or deviation is requested with this action. The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303, which allows for the construction of limited numbers of new facilities, including a single-family residence. Therefore, the proposed coastal development would conform to the certified Local Coastal Program land use plan and comply with the regulations of the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The proposed project would construct a 2,470-square-foot, two-story, single-family structure with attached two-car garage on a 0.09-acre vacant site within a developed single-family neighborhood.

The project site is not located between the nearest public road and the sea as it is separated from the coast by El Camino Real and Interstate 5. Therefore, the public access and public recreation policies of Chapter 3 of the California Coastal Act would not be adversely affected by this project.

Site Development Permit - Section 126.0504

1. The proposed development will not adversely affect the applicable land use plan.

The proposed project would construct a 2,470-square-foot, two-story, single-family structure with attached two-car garage on a 0.09-acre vacant site within a developed single-family neighborhood. The Carmel Valley Community Plan Neighborhood Seven Precise Plan designates the site for detached single-family development. The property is located in the SF-1A Zone of the Carmel Valley Planned District Ordinance area, which also allows for single-family development. Therefore, the proposed development of a single-family home at this vacant site would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project would construct a 2,470-square-foot, two-story, single-family structure with attached two-car garage on a 0.09-acre vacant site within a developed single-family neighborhood. The proposed development complies with the Carmel Valley Planned District Ordinance and the applicable regulations of the Land Development Code, including parking, height, setbacks, lot coverage, FAR and public improvements. No variance or deviation is requested with this action. The project must obtain all applicable construction permits and comply with relevant building and safety codes. The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303, which allows for the construction of limited numbers of new facilities, including a single-family residence. Therefore, the proposed development would not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code.

The proposed project would construct a 2,470-square-foot, two-story, single-family structure with attached two-car garage on a 0.09-acre vacant site within a developed single-family neighborhood. The Carmel Valley Community Plan Neighborhood Seven Precise Plan designates the site for detached single-family development. The property is located in the SF-1A Zone of the Carmel Valley Planned District Ordinance, which also allows for single-family development. The project design complies with the Carmel Valley Planned District Ordinance and the applicable regulations of the Land Development Code, including parking, height, setbacks, lot coverage, FAR and public improvements. No variance or deviation is requested with this action. The project design is compatible with the size, bulk and scale of the surrounding single-family development and places the highest portion of the structure at the lowest point of the parcel. The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15303, which allows for the construction of limited numbers of new facilities, including a single-family residence. Therefore, the proposed development complies with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted the Planning Commission, denies the appeal of the Hearing Officer's decision to approve Site Development Permit No. 1008142 and Coastal Development Permit No. 982875 and hereby GRANTS these approvals to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1008142 and 982875, a copy of which is attached hereto and made a part hereof.

Paul Godwin
Development Project Manager
Development Services

Adopted on: January 31, 2013

Internal Order No. 24002643

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002643

DRAFT
SITE DEVELOPMENT PERMIT NO. 1008142
COASTAL DEVELOPMENT PERMIT NO. 982875
GRIFFIN RESIDENCE - PROJECT NO. 279847
PLANNING COMMISSION

This Site Development Permit No. 1008142 and Coastal Development Permit No. 982875 is granted by the Planning Commission of the City of San Diego to Steven Opp, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702 (Coastal Development Permit) and 126.0502 (Site Development Permit). The 0.09-acre site is located at 13641 El Camino Real in the SF-1A Zone of the Carmel Valley Planned District, in the Carmel Valley Community Plan area. The project site is legally described as: That portion of the southwest quarter of the southwest quarter of Section 7, Township 14 South, Range 3 West, San Bernardino Base and Meridian.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a single-family home on a vacant lot, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 31, 2013, on file in the Development Services Department.

The project shall include:

- a. The construction of an approximately 2,470-square-foot, two-story, single-family structure with attached two-car garage;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by January 31, 2016.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

12. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix G of the City's Storm Water Standards, satisfactory to the City Engineer.

PLANNING/DESIGN REQUIREMENTS:

13. Owner/Permittee shall maintain a minimum of two off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

14. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

15. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

16. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s), outside of any driveway, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

17. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

18. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any water and sewer facilities.

19. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

20. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on January 31, 2013, and [Approved Resolution Number].

Site Development Permit No. 1008142
Coastal Development Permit No. 982875
Date of Approval: January 31, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Paul Godwin
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

Steven Opp
Owner/Permittee

By _____
Steven Opp

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

ATTACHMENT 7

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

 OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 279847

PROJECT TITLE: Griffin Residence

PROJECT LOCATION-SPECIFIC: 13641 El Camino Real, San Diego, CA 92014

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: SITE DEVELOPMENT PERMIT and COASTAL DEVELOPMENT PERMIT to construct a 2,470-square-foot, single-family residence on an undeveloped, 0.09 acre site. The site is located at 13641 El Camino Real in the SF-1A Zone (Single Family, minimum lot size of 5,500 square feet) of the Carmel Valley Planned District within the Carmel Valley Community Plan area, and within the Coastal Overlay (non-appealable) Zone.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Steven Edward Opp, P.O. Box 8555, Rancho Santa Fe, CA 92067; 760-744-2888

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL
 DECLARED EMERGENCY
 EMERGENCY PROJECT
 CATEGORICAL EXEMPTION: SECTION 15303: NEW CONSTRUCTION

REASONS WHY PROJECT IS EXEMPT: The project has been determined to be exempt from CEQA pursuant to Section 15303. Section 15303 allows the construction and location of limited numbers of new, small facilities or structures, including accessory structures such as patios, fences, and garages. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore these exemptions are applicable to the proposed project.


LEAD AGENCY CONTACT PERSON: M. Blake

TELEPHONE: (619) 446-5375

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



SIGNATURE/SENIOR PLANNER

OCTOBER 11, 2012
DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: October 11, 2012

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24002643

PROJECT NAME/NUMBER: Griffin Residence/Project No. 279847
COMMUNITY PLAN AREA: Carmel Valley Community Plan Area
COUNCIL DISTRICT: 1
LOCATION: 13641 El Camino Real, San Diego, CA 92014

PROJECT DESCRIPTION: SITE DEVELOPMENT PERMIT and COASTAL DEVELOPMENT PERMIT to construct a 2,470-square-foot, single-family residence on an undeveloped, 0.09 acre site. The site is located at 13641 El Camino Real in the SF-1A Zone (Single Family, minimum lot size of 5,500 square feet) of the Carmel Valley Planned District within the Carmel Valley Community Plan area, and within the Coastal Overlay (non-appealable) Zone.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer (Process 3).

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Sections 15303, New Construction.

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Staff.

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Section 15303. Section 15303 allows for the construction of limited numbers of new facilities, including but not limited to, one single-family residence. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore these exemptions are applicable to the proposed project.

CITY CONTACT: Paul Godwin, Development Project Manager
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER: (619) 446-5190

On October 11, 2012, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City of San Diego City Council. If you have any questions about this determination, contact the

Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 15 business days from the date of the posting of this Notice. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

CHRIS ROBINSON DESIGNS
crdd@sbcglobal.net

RESIDENTIAL PLANNING & DESIGN
858-922-2013

PROJECT
CUSTOM SINGLE FAMILY RESIDENCE FOR:

STEVE OPP - GRIFFIN

SAN DIEGO CALIFORNIA

PROJECT INFO

JOB NO: SG20110825
ISSUE DATE: 8-27-12
PLOT DATE: 8-28-12
DRAWN BY: C. ROBINSON
CHECKED BY: C.R.
PERCENTAGE: 98% PROGRESS
R.L. STAMP:

SHEET

A0.0

1 of 11

FIG. 1 : 1 LEGAL DESCRIPTION FOR APN/PARCEL ID(S): 304-010-45-00

THAT PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, LYING SOUTHERLY OF A LINE DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WESTERLY LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER DISTANT THEREON 587.42 FEET SOUTHERLY FROM THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER; THENCE SOUTH 89° 49' 30" EAST, 1320 FEET, MORE OR LESS, TO THE EASTERLY LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER.

EXCEPTING THEREFROM THAT PORTION LYING WITH PARCELS 1 AND 2 OF PARCEL MAP NO. 18068 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF FILED IN THE OFFICE OF THE COUNTY RECORDER FOR SAN DIEGO COUNTY ON JULY 9, 1998.

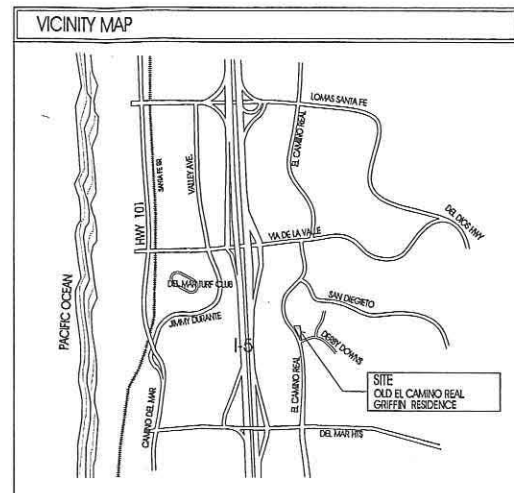
ALSO EXCEPTING THEREFROM THAT PORTION THEREOF LYING WITHIN EL CAMINO REAL AS DESCRIBED IN FINAL ORDER OF CONDEMNATION RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY MARCH 16, 1989 AS FILE NO. 89-133993 OF OFFICIAL RECORDS.

EXCEPTING THEREFROM, ONE-HALF OF ANY AND ALL MINERAL AND OIL RIGHTS AND ONE-HALF OF ANY MINERAL OR OIL PRODUCED OR MINED THEREON AS RESERVED IN DEED FROM D.C. HANDLEY AND DOROTHY HANDLEY, HUSBAND AND WIFE, RECORDED MAY 19, 1943 IN BOOK 1491, PAGE 452 OF OFFICIAL RECORDS.

PROJECT AREA TABULATIONS

FLOOR AREA TABULATIONS :

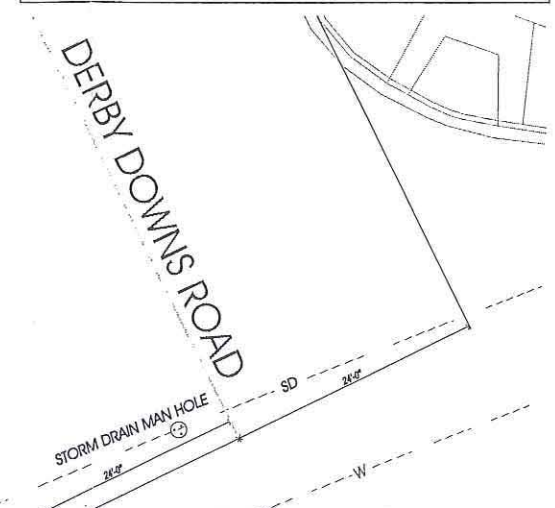
ENTRY LEVEL - FIRST FLOOR	
LAUNDRY & OFFICE	280
ENTRY & BEDROOM SUITE 1	520
TOTAL FIRST FLOOR LIVABLE SQ. FT.	800
ENTRY LEVEL - FIRST FLOOR ACCESSORIES	
2-CAR GARAGE	400
CORNER (I.o.r. exempt = 60% open)	376
COLONADE (I.o.r. exempt = 60% open)	180
FIRST FLOOR F.A.R. / SQ. FT.	1,220
UPPER LEVEL - SECOND FLOOR	
TOTAL SECOND FLOOR LIVABLE SQ. FT.	1,270
SECOND FLOOR ACCESSORIES	
TERRACE BALCONY 1 (I.o.r. exempt = 60% open)	70
BALCONY 2 (I.o.r. exempt = 60% open)	22
ACCESSORIES TOTAL	92
RESIDENCE TOTAL LIVABLE SQ. FT.	2,050
LOT AREA TABULATIONS :	
LOT AREA (60% MAX. F.A.R. 2,477 SQ.FT.)	4,129
BUILDING AREA =	2,470



PROJECT DESCRIPTION

SCOPE :
ACQUIRE A COASTAL DEVELOPMENT PERMIT & OR BUILDING PERMIT FOR A NEW CUSTOM SINGLE FAMILY RESIDENCE PROPOSED WITHIN THIS PLAN SET ON AN EXISTING VACANT LOT

CONST. TYPE: VIN & ON SEWER



LANDSCAPING - DRAINAGE NOTE

ALL EXISTING CITY HARDSCAPE & LANDSCAPE TO REMAIN. ALL PLANTS IN CONSTRUCTION ZONE TO BE RE-PLANTED (AS POSSIBLE) TO MAINTAIN ESTABLISHED CHARACTER & RESIDENCE SCREENING. ALL SURFACE WATER TO DRAIN AWAY FROM BUILDINGS (TYP.) AND AVERAGE LOT SLOPE WITHIN THE BUILDING ENVELOPE IS LESS THAN 10%.

LEGAL DESCRIPTION

OWNER: STEVEN EDWARD OPP
c/o: STEVEN V. GRIFFIN
P.O. BOX 8555 RANCHO SANTA FE, CA 92067

PROJECT ADDRESS: 13541 EL CAMINO REAL
(TEMPORARY ADDRESS - CURRENTLY VACANT LOT) SAN DIEGO, CA 92130

ACCESSOR PARCEL NO. 304-010-45

LEGAL DESCRIPTION: REFER TO (FIG. 1:1) TOP LEFT OF PAGE

OCCUPANCY: SINGLE FAMILY RES.

ZONE: CVD - SF 1A

COASTAL OVERLAY: N-APP-2

BUILDING SETBACKS:
FRONT / WEST: 10'-0"
REAR / EAST: 4'-0" STD. (0'-0")
LEFT SIDE / NORTH: 4'-0" STD. (0'-0")
RIGHT SIDE / SOUTH: TRANSFER (NA)

SITE PLANNING NOTES

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITEE SHALL INCORPORATE THE CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION (GRADING REGULATIONS OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS & OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER / PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN. THE WATER POLLUTION CONTROL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.

PROJECT TEAM

OWNER - BUILDER - DESIGNER: STEVEN EDWARD OPP
c/o: STEVEN V. GRIFFIN
P.O. BOX 8555 RANCHO SANTA FE, CA 92067

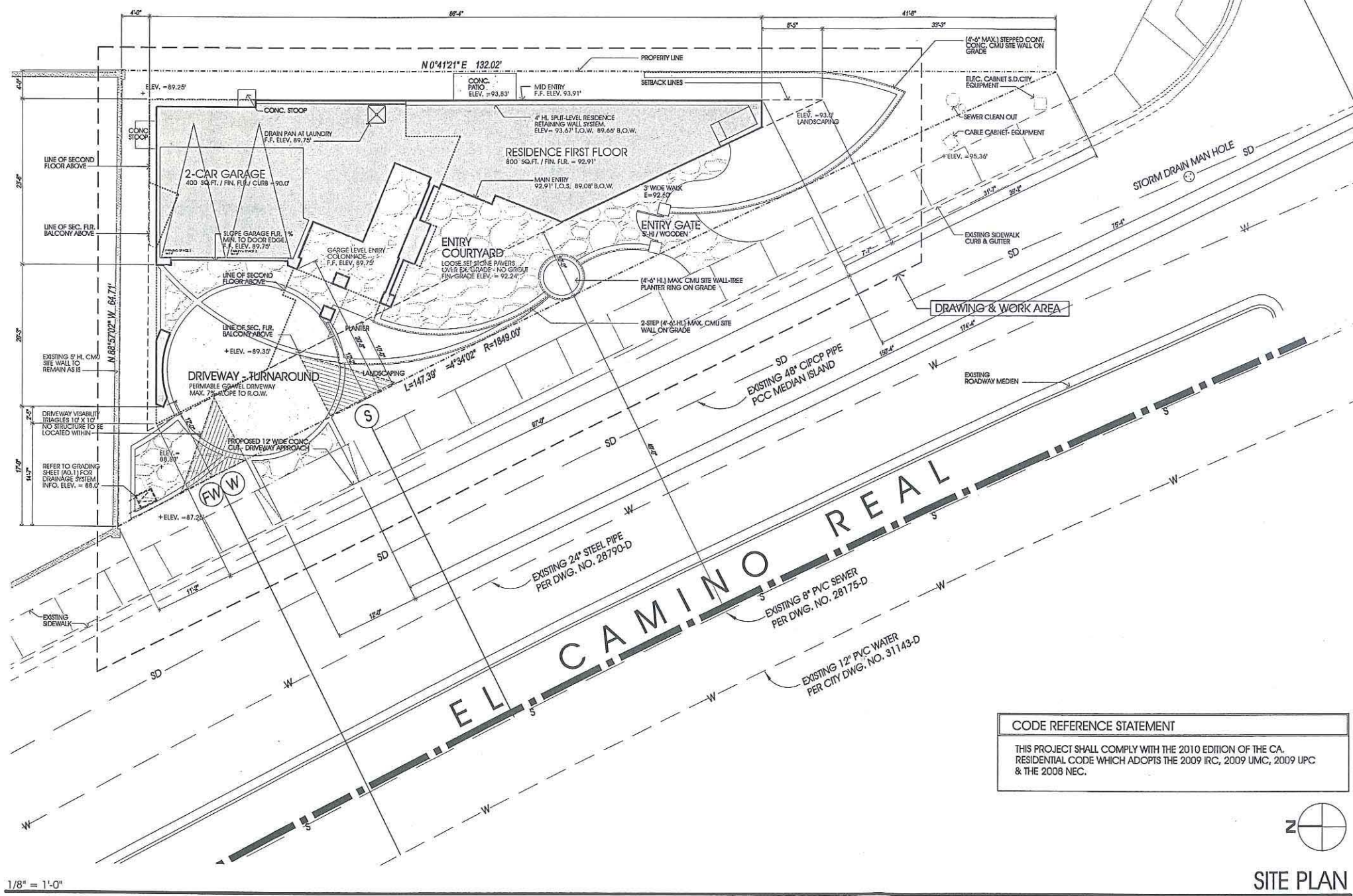
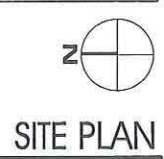
RESIDENTIAL BUILDING DESIGN: CHRIS ROBINSON : DESIGNS
PROJECT DRAFTING & CONSULTING: 859 VVA COURT (858-922-2013)
SOLANA BEACH , CA 92075

SHEET SCHEDULE

ARCHITECTURAL PAGES	SHEET TITLE
A 0.0	SITE PLAN - PROJECT DATA
A 0.1	DRAINAGE & GRADING PLAN
A 0.2	SITE SECTIONS
A 1.0a	DOOR & WINDOW SCHEDULES
A 1.0	GARAGE & ENTRY LEVEL FLOOR PLAN & CONSTRUCTION DETAIL KEY
A 1.1	GARAGE ENTRY LEVEL - DIMENSION PLAN
A 2.0	UPPER LEVEL - SECOND FLOOR PLAN & CONSTRUCTION DETAIL KEY
A 2.1	UPPER LEVEL - SECOND FLOOR DIMENSION PLAN
A 3.0	ROOF PLAN
A 3.1	EXTERIOR ELEVATIONS
A 3.2	EXTERIOR ELEVATIONS CONTINUED

CODE REFERENCE STATEMENT

THIS PROJECT SHALL COMPLY WITH THE 2010 EDITION OF THE CA. RESIDENTIAL CODE WHICH ADOPTS THE 2009 IRC, 2009 UMC, 2009 UPC & THE 2008 NEC.



1/8" = 1'-0"

PRELIMINARY GRADING PLAN
GRIFFIN RESIDENCE - PROJECT No. 279847

CHRIS ROBINSON DESIGNS
crdd@sbcglobal.net



RESIDENTIAL PLANNING & DESIGN

PROJECT

CUSTOM SINGLE FAMILY RESIDENCE FOR:

STEVE OPP - GRIFFIN

DEL MAR - SAN DIEGO CALIFORNIA

PROJECT INFO.

JOB NO.: SG20110825

ISSUE DATE: 5-5-12

PILOT DATE: 8-27-12

DRAWN BY: J.R.G.

CHECKED: C.R.

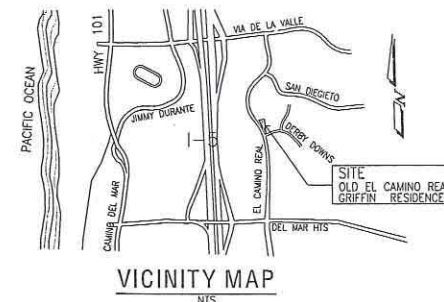
REVISION:

REL. #72617:

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2 of 11



GRADING DATA

TOTAL AMOUNT OF SITE TO BE GRADED: AREA = 4,122 S.F., % OF TOTAL SITE = 96.6%.
AMOUNT OF SITE WITH 25% "NATURAL" SLOPES: AREA = 0 S.F., % OF TOTAL SITE = 0%.
(THE PROJECT WAS PREVIOUSLY GRADED AS PART OF THE ADJACENT SUBDIVISION, THEREFORE NONE OF THE EXISTING SLOPES ARE NATURAL).
AMOUNT OF SITE WITH HILLSIDE REVIEW: AREA = 0 S.F., % OF TOTAL SITE = 0%.
AMOUNT OF CUT: 36 CUBIC YARDS. AMOUNT OF FILL: 36 CUBIC YARDS.
MAXIMUM HEIGHT OF EXPOSED FILL SLOPE(S): 0 FEET.
MAXIMUM HEIGHT OF EXPOSED CUT SLOPE(S): 0 FEET.
AMOUNT OF EXPORT SOIL: 0 CUBIC YARDS.
RETAINING WALL LENGTH: 180' FEET. RETAINING WALL HEIGHT: 4.5' FEET (MAXIMUM).
TOTAL ENCROACHMENT INTO 25% SLOPES: 0 S.F.
PERCENT OF GRADING ENCROACHMENT AS A FACTOR TO THE SITE AREA: 0%

GRADING QUANTITIES

EXCAVATION (WITHIN BUILDING)	40 C.Y.
EXCAVATION (OUTSIDE BUILDING)	16 C.Y.
EMBANKMENT	0 C.Y.
BACKFILL UNDER BUILDING FLOORS	33 C.Y.
TOTAL EXPORT:	0 C.Y.

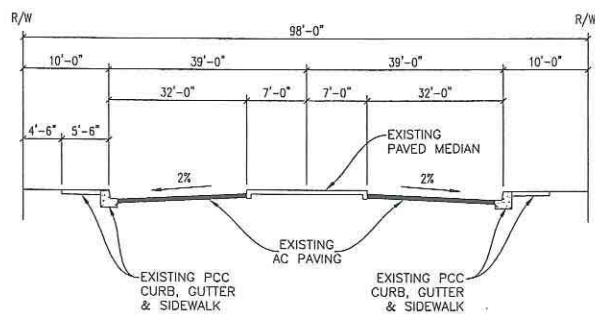
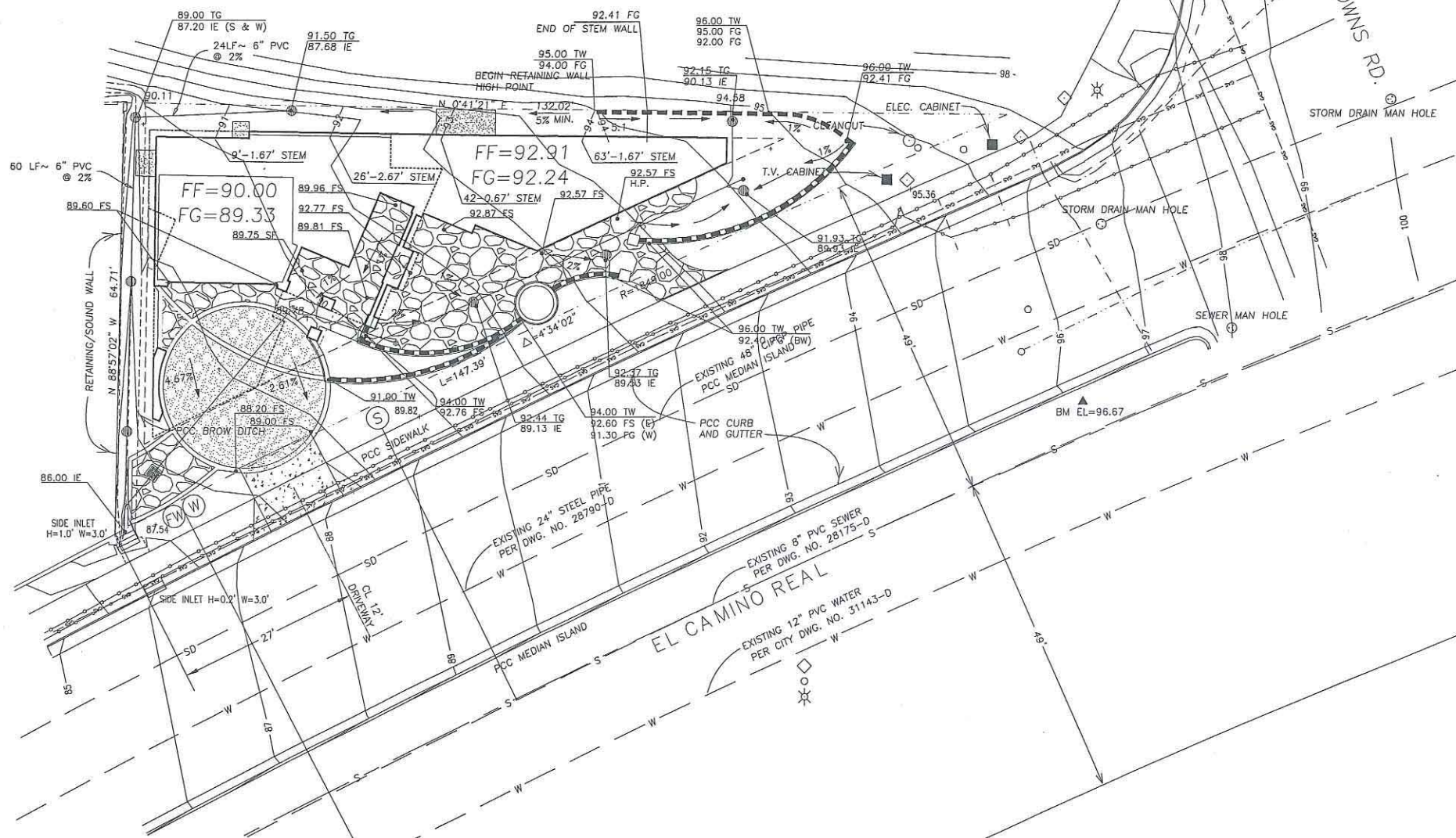
*NOTE: THESE QUANTITIES ARE APPROXIMATE QUANTITIES AND ARE SUBJECT TO REVISION AT FINAL ENGINEERING. QUANTITIES ALSO MAY CHANGE DUE TO BULKAGE OR SHRINKAGE FACTORS. ALL EXTRA MATERIAL SHALL BE DISPOSED TO A LEGAL SITE.

GRADING NOTES

- ALL GRADING SHALL OCCUR WITHIN THE EXISTING LOT.
- ALL ROOF DRAINAGE, FOUNDATION DRAINS AND LANDSCAPE AREAS SHALL BE DRAINED TO A LOW POINT ON SITE.

LEGEND

LEGEND	SYMBOL
EXISTING WATER LINE	— W — W —
EXISTING STORM DRAIN LINE	— SD — SD —
EXISTING SEWER LINE	— S — S —
PROPERTY LINE	— — — —
EXISTING ELEVATION	95.00
EXISTING CURB OUTLET	
EXISTING CONTOUR	95
FINISH FLOOR ELEVATION	FF=456.00
FINISH GRADE ELEVATION	45.00 FG
FINISH SURFACE ELEVATION	45.00 FS
FLOWLINE ELEVATION	45.00 FL
PIPE INVERT ELEVATION	45.00 IE
TOP OF GRATE ELEVATION	45.00 TG
FLOW DIRECTION & SLOPE	3%
PROPOSED 6" AREA DRAIN & PVC DRAINAGE PIPE	
PROPOSED 4" STORM DRAIN CLEANOUT PVC DRAINAGE PIPE	
PROPOSED 12X12 CATCH BASIN & PVC DRAINAGE PIPE	
PROPOSED RETAINING WALL MAX. HT. = 4.5 FEET	
PROPOSED 1" WATER SERVICE & 4" FIRE SERVICE	
PROPOSED 4" SEWER LATERAL	
PROPOSED BUILDING	
PROPOSED GRAVEL DRIVEWAY (PRIVATE)	
PROPOSED STONE PAVERS	
PROPOSED 12" PCC DRIVEWAY	



SECTION - EL CAMINO REAL
N.T.S.

BMP DATA TABLE

SITE DESIGN

MAINTAIN PRE-DEVELOPED RUNOFF CHARACTERISTICS BY MINIMIZING ANY INCREASE IN HARDSCAPE AREAS. INSTALL LANDSCAPE WHERE POSSIBLE. INSTALL IRRIGATION RAIN SENSORS. INSTALL PEA GRAVEL BLANKET IN DRIVEWAY AREA INSTEAD OF CONCRETE. INSTALL STONE PAVERS INSTEAD OF CONCRETE HARDSCAPE. DISCHARGE ROOF DRAINAGE INTO LANDSCAPE AREAS. SAFELY CONVEY RUNOFF FROM SITE TO ADEQUATE DISCHARGE POINT.

SOURCE CONTROL

MONITOR WASTE MANAGEMENT DURING CONSTRUCTION. NO OUTDOOR TRASH STORAGE WILL BE ALLOWED. AND INSTALL IRRIGATION RAIN SENSORS.

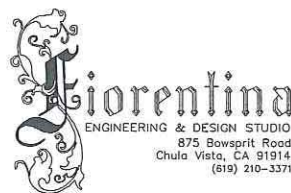
TREATMENT CONTROL

INSTALL STONE RIPRAP/LANDSCAPE PLANTERS AT ROOF DRAIN DISCHARGE POINTS. INSTALL PERMEABLE SURFACE AROUND ALL SIDES OF THE PROPOSED RESIDENCE.

SPECIAL GRADING NOTES:

(1) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

(2) PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX G OF THE CITY'S STORM WATER STANDARDS.

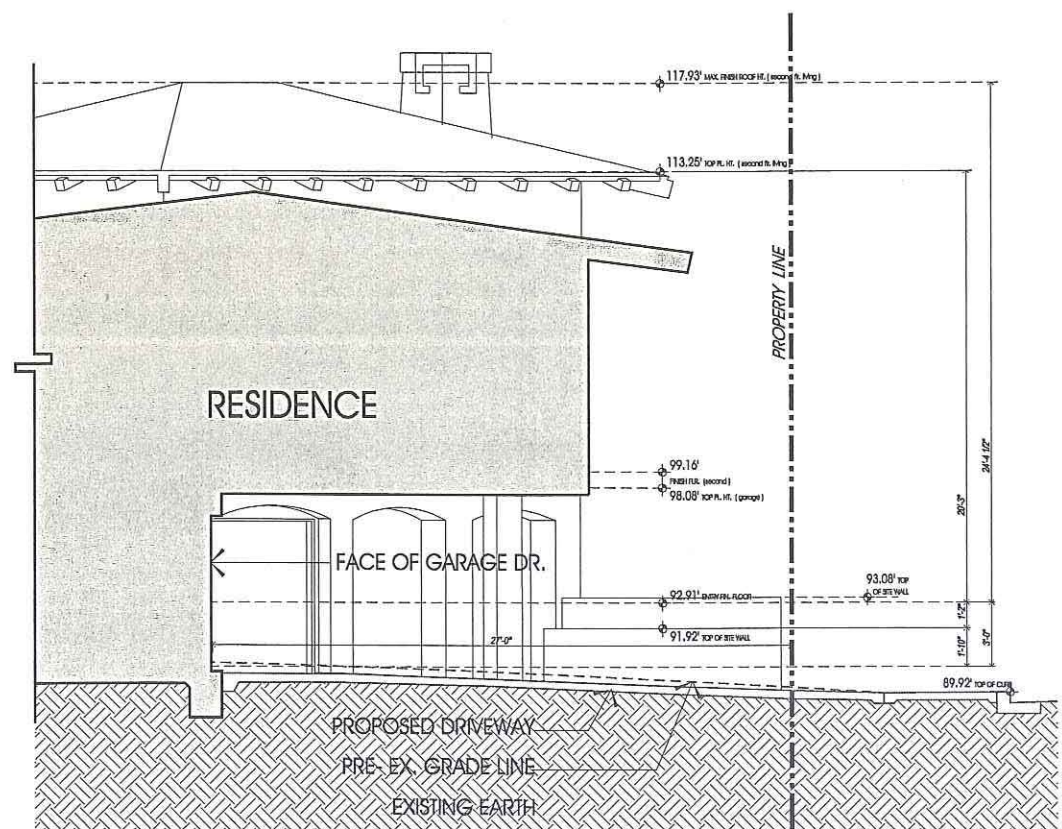


CHRIS ROBINSON DESIGNS
 crdd@sbcglobal.net

RESIDENTIAL PLANNING & DESIGN
 858-922-2013

PROJECT

CUSTOM SINGLE FAMILY RESIDENCE FOR :
 STEVE OPP - GRIFFIN

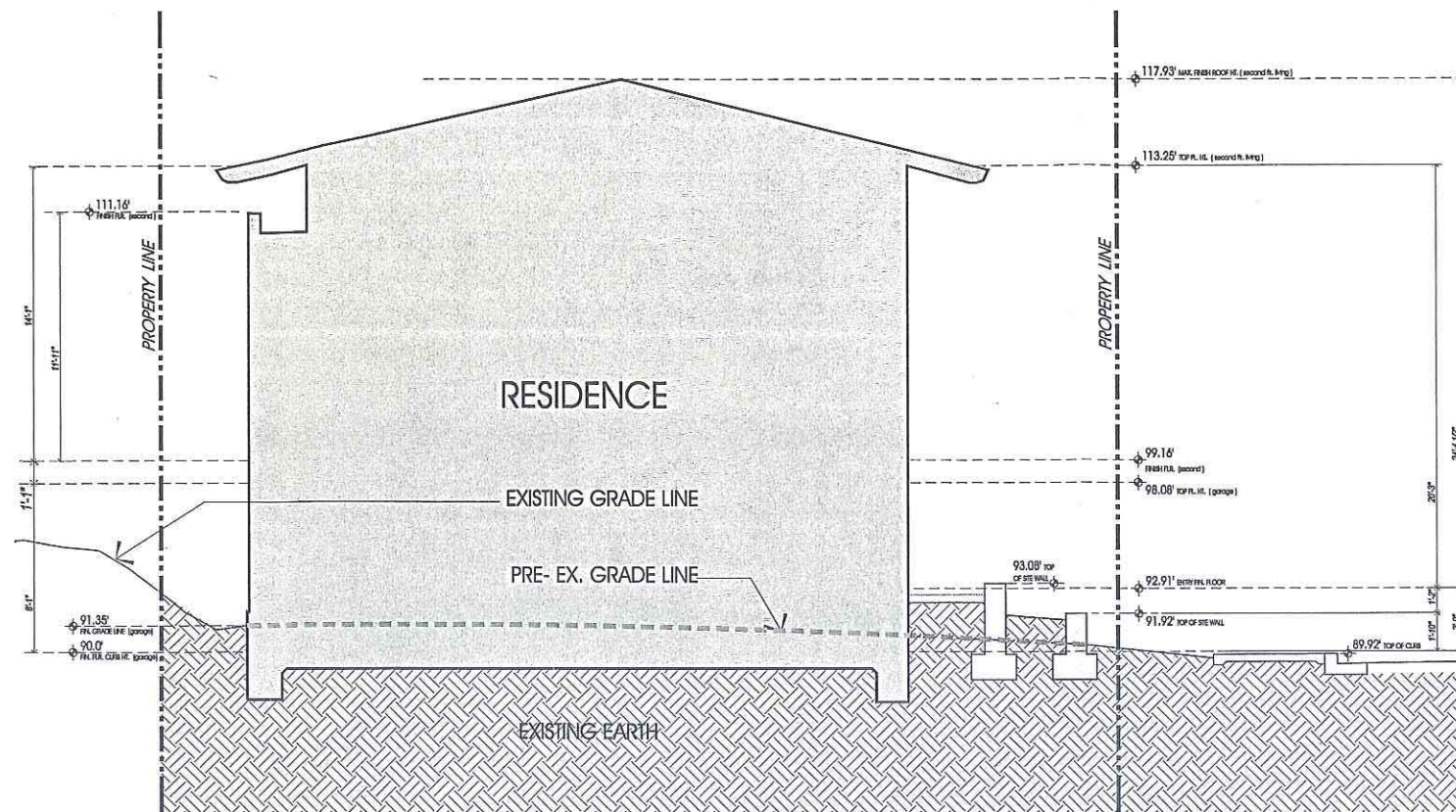


1/4" = 1'-0"

SITE SECTION 3

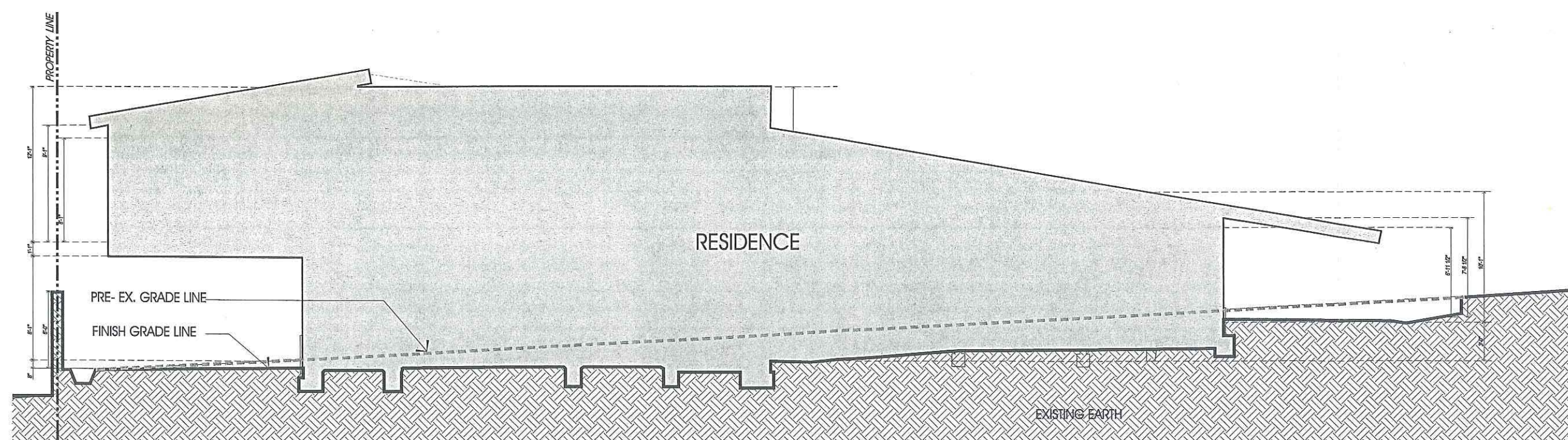
AO.1

1/4" = 1'-0"



SITE SECTION 2

AO.1



1/4" = 1'-0"

SITE SECTION 1

AO.1

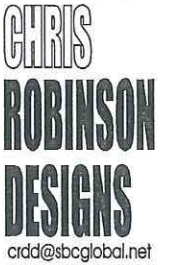
SAN DIEGO CALIFORNIA

PROJECT INFO

JOB NO : 9520110825
 ISSUE DATE : 5-5-12
 PLOT DATE : 8-27-12
 DRAWN BY : C. ROBINSON
 CHECKED : C.R.
 REVISION :
 98% PROGRESS
 P.L. STAMP :

SHEET

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PROJECT
CUSTOM
SINGLE FAMILY
RESIDENCE
FOR :
STEVE OPP - GRIFFIN

SAN DIEGO
CALIFORNIA

PROJECT INFO.

JOB NO: SG00110825
ISSUE DATE: 5-5-12
PILOT DATE: 8-27-12
DRAWN BY: C. ROBINSON
CHECKED: C.R.
REVISION:
98% PROGRESS
P.L. STAMP:

SHEET

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DOOR SCHEDULE										
DOOR TYPE	DOOR SIZE	DOOR REF:			FRAME REF:			FIRE RATING GLASS	QTY	REMARKS
		MATL.	FINISH	THRESH.	TYPE	FINISH	COLOR			
(1)	3'-6" x 10'-0"	WOOD	STAIN	ALUM	SC	STAIN	CHOC.	TEMP.	1	1-DOOR FRENCH UNIT / DEADBOLT LOCKSET
(2)	5'-0" x 8'-0"	WOOD	STAIN	ALUM	SC	STAIN	CHOC.	TEMP.	3	2-DOOR FRENCH SLIDING DOOR UNIT / DEADBOLT LOCKSET
(3)	4'-4" x 8'-0"	WOOD	STAIN	ALUM	SC	STAIN	CHOC.	TEMP.	1	2-DOOR FRENCH SLIDING DOOR UNIT / DEADBOLT LOCKSET
(4)	5'-0" x 10'-0"	WOOD	STAIN	ALUM	SC	STAIN	CHOC.	TEMP.	1	1-DOOR FRENCH UNIT / DEADBOLT LOCKSET
(5)	3'-0" x 6'-8"	WOOD	STAIN	ALUM	SC	STAIN	CHOC.	20-MIN	2	DEADBOLT LOCKSET
(6)	2'-8" x 6'-8"	WOOD	PAINT	-	SC	PAINT	CHOC.	-	3	1-DOOR FRENCH UNIT / DEADBOLT LOCKSET
(7)	5'-0" x 6'-8"	WOOD	PAINT	-	SC	PAINT	CHOC.	-	1	2-DOOR FRENCH SLIDING DOOR UNIT / DEADBOLT LOCKSET
(8)	2'-8" x 6'-8"	WOOD	STAIN	-	HC	-	-	-	1	PRIVACY LOCK
(9)	3'-0" x 3'-0"	WOOD	STAIN	-	HC	-	-	-	1	(2) 18"x6" VENTS
(10)	2'-8" x 8'-0"	WOOD	STAIN	-	SC	-	-	-	2	1-DOOR FRENCH UNIT / DEADBOLT LOCKSET
(11)	2'-8" x 8'-0"	WOOD	STAIN	-	HC	-	-	-	4	(11a) = OUTSWING UNIT
(12)	2'-8" x 8'-0"	WOOD	STAIN	-	HC	-	-	-	2	POCKET DOOR UNIT
(13)	3'-8" x 8'-0"	WOOD	STAIN	-	SC	STAIN	CHOC.	-	2	2-DOOR OUTSWING UNIT
(14)	16'-0" x 7'-0"	WOOD	STAIN	-	SC	STAIN	CHOC.	-	1	OVERHEAD ROLL-UP GARAGE DOOR UNIT

LEGEND			
SC	SOLID CORE WOOD DOOR	PF	FACTORY PRIME - FIELD FINISH
GL	GLASS	PG	PAINT GRADE GYP BD.
HC	HOLLOWCORE WOOD	PM	PRESSED METAL DOOR FRAME
FF	FACTORY FINISH	CO	CASED OPENING (GYP. BD.)
MFG:	MILGARD	MODEL:	ALUMINUM W/ SUNCOAT
FINISH:	ALUMINUM	*ALTERNATES WILL BE CONSIDERED	
*ALL WINDOWS MUST BE OF TEMPERED GLASS DUE TO FIRE RESTRICTIONS			

WINDOW SCHEDULE										KEY NOTES
SYMBOL	WIDTH	HEIGHT	QTY	TYPE	FRAME	OPENABLE AREA	GLAZE TYPE	U FACTOR/ SHGC	STC	TOTAL AREA
(A)	7'-0"	5'-0"	1	CASEMENT	ALUM. CLAD WD.	11.06 SF ea pnl	TEMP. GLASS	0.41/ 0.35	36	35 SQ. FT.
(B)	2'-0"	5'-0"	4	CASEMENT	ALUM. CLAD WD.	8.86 SF	TEMP. GLASS	0.41/ 0.35	36	10 SQ. FT.
(C)	2'-0"	6'-0"	5	CASEMENT	ALUM. CLAD WD.	10.86 SF	TEMP. GLASS	0.41/ 0.35	36	12 SQ. FT.
(D)	5'-0"	5'-0"	2	CASEMENT	ALUM. CLAD WD.	8.86 SF ea pnl	TEMP. GLASS	0.57/ 0.33	36	25 SQ. FT.
(E)	1'-4"	7'-0"	6	CASEMENT	ALUM. CLAD WD.	8.48 SF	TEMP. GLASS	0.41/ 0.35	36	9.31 SQ. FT.
(F)	1'-0"	5'-0"	2	CASEMENT	ALUM. CLAD WD.	4 SF	TEMP. GLASS	0.41/ 0.35	36	5.0 SQ. FT.
(G)	1'-4"	5'-0"	1	CASEMENT	ALUM. CLAD WD.	5.65 SF	TEMP. GLASS	0.57/ 0.33	36	6.88 SQ. FT.
(H)	6'-0"	5'-0"	4	CASEMENT	ALUM. CLAD WD.	8.26 SF ea pnl	TEMP. GLASS	0.57/ 0.33	36	30.0 SQ. FT.
(I)	9'-0"	7'-0"	1	CASEMENT	ALUM. CLAD WD.	15.37 SF ea pnl	TEMP. GLASS	0.57/ 0.33	36	63.0 SQ. FT.
(J)	2'-0"	2'-0"	7	CASEMENT	ALUM. CLAD WD.	3.36 SF	TEMP. GLASS	0.41/ 0.35	36	4.0 SQ. FT.
(K)	5'-0"	7'-0"	3	CASEMENT	ALUM. CLAD WD.	15.94 SF ea pnl	TEMP. GLASS	0.41/ 0.35	36	35 SF SQ. FT.

1a. GLAZING ADJACENT TO DOORS OR ADJACENT TO A WALKING SURFACE, ADJACENT TO A STAIR LANDING, OR ADJACENT TO A TUB OR SHOWER MUST BE OF SAFETY GLAZING MATERIAL OTHER THAN WIRE GLASS.

2a. ALL DOORS TO USE SCHLAGE DEXTER CORONA KNOBS WITH LOCK CONFIGURATIONS OUTLINED ABOVE. SATIN STAINLESS FINISH.

1. EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN DOORS SHALL BE DUAL-GLAZED UNITS WITH A MINIMUM OF ONE TEMPERED PANE OR SHALL HAVE GLASS BLOCK UNITS OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES. GLAZING FRAMES MADE OF VINYL SHALL HAVE WELDED CORNERS AND METAL REINFORCEMENT IN THE INTERLOCK AREA.

2. PROVIDE TEMPERED SAFETY GLAZING AT THE FOLLOWING WINDOW TYPES:

a. FIXED AND SLIDING PANELS OF SLIDING DOORS ASSEMBLIES AND PANELS IN SWING DOORS OTHER THAN WARDROBE DOORS

b. DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF GLAZING IS LESS THAN 60" ABOVE STANDING SURFACE OR DRAIN INLET.

c. FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN.

d. INDIVIDUAL FIXED OR OPERABLE PANELS, OTHER THAN THOSE LOCATIONS DESCRIBED ABOVE, THAT MEET ALL OF THE FOLLOWING CONDITIONS:

i) EXPOSED AREA OF AN INDIVIDUAL PANE IS GREATER THAN 9 SQ. FT. AND;

ii) EXPOSED BOTTOM EDGE IS LESS THAN 18" ABOVE THE FLOOR AND;

iii) EXPOSED TOP EDGE IS GREATER THAN 36" ABOVE THE FLOOR AND;

iv) ONE OR MORE WALKING SURFACES ARE WITHIN 36" HORIZONTALLY OF THE PLANE OF GLAZING

3. EXTERIOR DOORS SHALL BE OF APPROVED NON-COMBUSTIBLE CONSTRUCTION OR OF SOLID -CORE WOOD NOT LESS THAN 1-3/8" THICK OR 20 MINUTE FIRE RATED.

4. GLAZING MATERIALS USED IN SKYLIGHTS, ROOFS, AND SLOPED WALLS WITHIN 300 FEET, IN ANY DIRECTION, OF THE BOUNDARY BETWEEN BRUSH MANAGEMENT ZONES 1 & 2 AS DEFINED IN SECTIONS 142.0412 OF THE LAND DEVELOPMENT CODE, SHALL BE TEMPERED GLASS OR MULTILAYERED GLASS.

DOOR & WINDOW SCHEDULES

CHRIS ROBINSON DESIGNS
 crdd@sbcglobal.net



RESIDENTIAL PLANNING & DESIGN

PROJECT
 CUSTOM SINGLE FAMILY RESIDENCE FOR :
 STEVE OPP - GRIFFIN

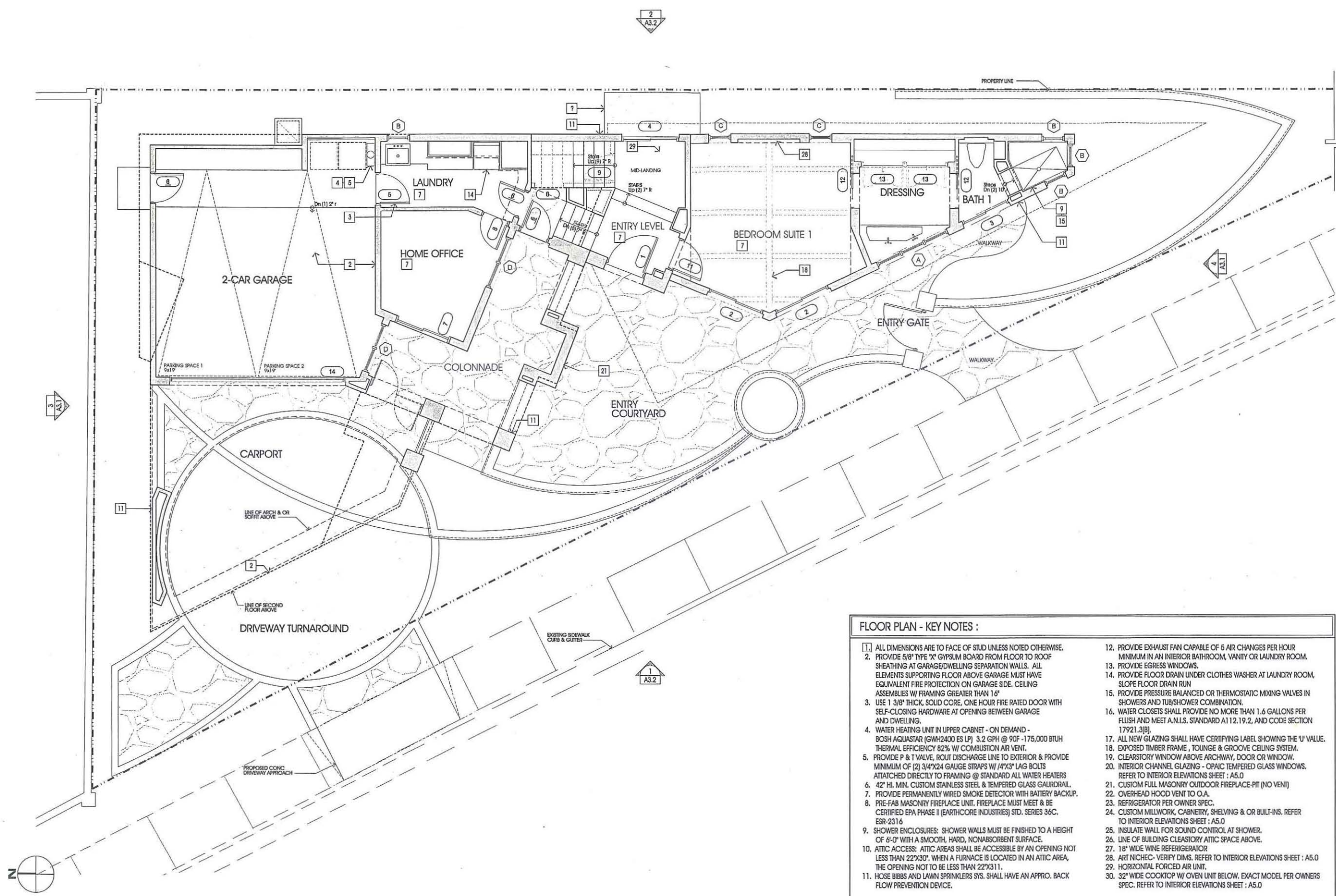
SAN DIEGO CALIFORNIA

PROJECT INFO.

JOB NO: 9920110925
 ISSUE DATE: 5-5-12
 PLOT DATE: 8-27-12
 DRAWN BY: C. ROBINSON
 CHECKED BY: C.R.
 REVISIONS:
 98% PROGRESS
 P.E. SIGNATURE:

SHEET

A1.0



- FLOOR PLAN - KEY NOTES :**
1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 2. PROVIDE 5/8" TYPE "X" GYPSUM BOARD FROM FLOOR TO ROOF SHEATHING AT GARAGE/DWELLING SEPARATION WALLS. ALL ELEMENTS SUPPORTING FLOOR ABOVE GARAGE MUST HAVE EQUIVALENT FIRE PROTECTION ON GARAGE SIDE. CEILING ASSEMBLES W/ FRAMING GREATER THAN 16"
 3. USE 1 3/8" THICK, SOLID CORE, ONE HOUR FIRE RATED DOOR WITH SELF-CLOSING HARDWARE AT OPENING BETWEEN GARAGE AND DWELLING.
 4. WATER HEATING UNIT IN UPPER CABINET - ON DEMAND - BOSH AQUASTAR (GWH2400 ES LP) 3.2 GPH @ 90F -175,000 BTUH THERMAL EFFICIENCY 82% W/ COMBUSTION AIR VENT.
 5. PROVIDE P & T VALVE, ROUT DISCHARGE LINE TO EXTERIOR & PROVIDE MINIMUM OF (2) 3/4"x24 GAUGE STRAPS W/ 1/4"x3" LAG BOLTS ATTACHED DIRECTLY TO FRAMING @ STANDARD ALL WATER HEATERS
 6. 42" HI. MIN. CUSTOM STAINLESS STEEL & TEMPERED GLASS GAURDRAIL.
 7. PROVIDE PERMANENTLY WIRED SMOKE DETECTOR WITH BATTERY BACKUP.
 8. PRE-FAB MASONRY FIREPLACE UNIT, FIREPLACE MUST MEET & BE CERTIFIED EPA PHASE II (EARTHCORE INDUSTRIES) STD. SERIES 36C. ESR-2316
 9. SHOWER ENCLOSURES: SHOWER WALLS MUST BE FINISHED TO A HEIGHT OF 6'-0" WITH A SMOOTH, HARD, NONABSORBENT SURFACE.
 10. ATTIC ACCESS: ATTIC AREAS SHALL BE ACCESSIBLE BY AN OPENING NOT LESS THAN 22"x30". WHEN A FURNACE IS LOCATED IN AN ATTIC AREA, THE OPENING NOT TO BE LESS THAN 22"x31".
 11. HOSE BIBBS AND LAWN SPRINKLERS SYS. SHALL HAVE AN APPRO. BACK FLOW PREVENTION DEVICE.
 12. PROVIDE EXHAUST FAN CAPABLE OF 5 AIR CHANGES PER HOUR MINIMUM IN AN INTERIOR BATHROOM, VANITY OR LAUNDRY ROOM.
 13. PROVIDE EGRESS WINDOWS.
 14. PROVIDE FLOOR DRAIN UNDER CLOTHES WASHER AT LAUNDRY ROOM, SLOPE FLOOR DRAIN RUN
 15. PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES IN SHOWERS AND TUB/SHOWER COMBINATION.
 16. WATER CLOSETS SHALL PROVIDE NO MORE THAN 1.6 GALLONS PER FLUSH AND MEET A.N.I.S. STANDARD A112.19.2, AND CODE SECTION 17921.3[B].
 17. ALL NEW GLAZING SHALL HAVE CERTIFYING LABEL SHOWING THE U VALUE.
 18. EXPOSED TIMBER FRAME, TONGUE & GROOVE CEILING SYSTEM.
 19. CLEARSTORY WINDOW ABOVE ARCHWAY, DOOR OR WINDOW.
 20. INTERIOR CHANNEL GLAZING - OPAC TEMPERED GLASS WINDOWS. REFER TO INTERIOR ELEVATIONS SHEET : A5.0
 21. CUSTOM FULL MASONRY OUTDOOR FIREPLACE-PIT (NO VENT)
 22. OVERHEAD HOOD VENT TO O.A.
 23. REFRIGERATOR PER OWNER SPEC.
 24. CUSTOM MILLWORK, CABINETRY, SHELVING & OR BUILT-INS. REFER TO INTERIOR ELEVATIONS SHEET : A5.0
 25. INSULATE WALL FOR SOUND CONTROL AT SHOWER.
 26. LINE OF BUILDING CLEASTORY ATTIC SPACE ABOVE.
 27. 18" WDE WINE REFRIGERATOR
 28. ART NICHEC- VERIFY DIMS. REFER TO INTERIOR ELEVATIONS SHEET : A5.0
 29. HORIZONTAL FORCED AIR UNIT.
 30. 32" WIDE COOKTOP W/ OVEN UNIT BELOW. EXACT MODEL PER OWNERS SPEC. REFER TO INTERIOR ELEVATIONS SHEET : A5.0

GARAGE & ENTRY LEVEL- FIRST FLOOR PLAN

1/4" = 1'-0"

CHRIS ROBINSON DESIGNS
 crdd@sbcglobal.net



RESIDENTIAL PLANNING & DESIGN

PROJECT
 CUSTOM SINGLE FAMILY RESIDENCE FOR:
 STEVE OPP - GRIFFIN

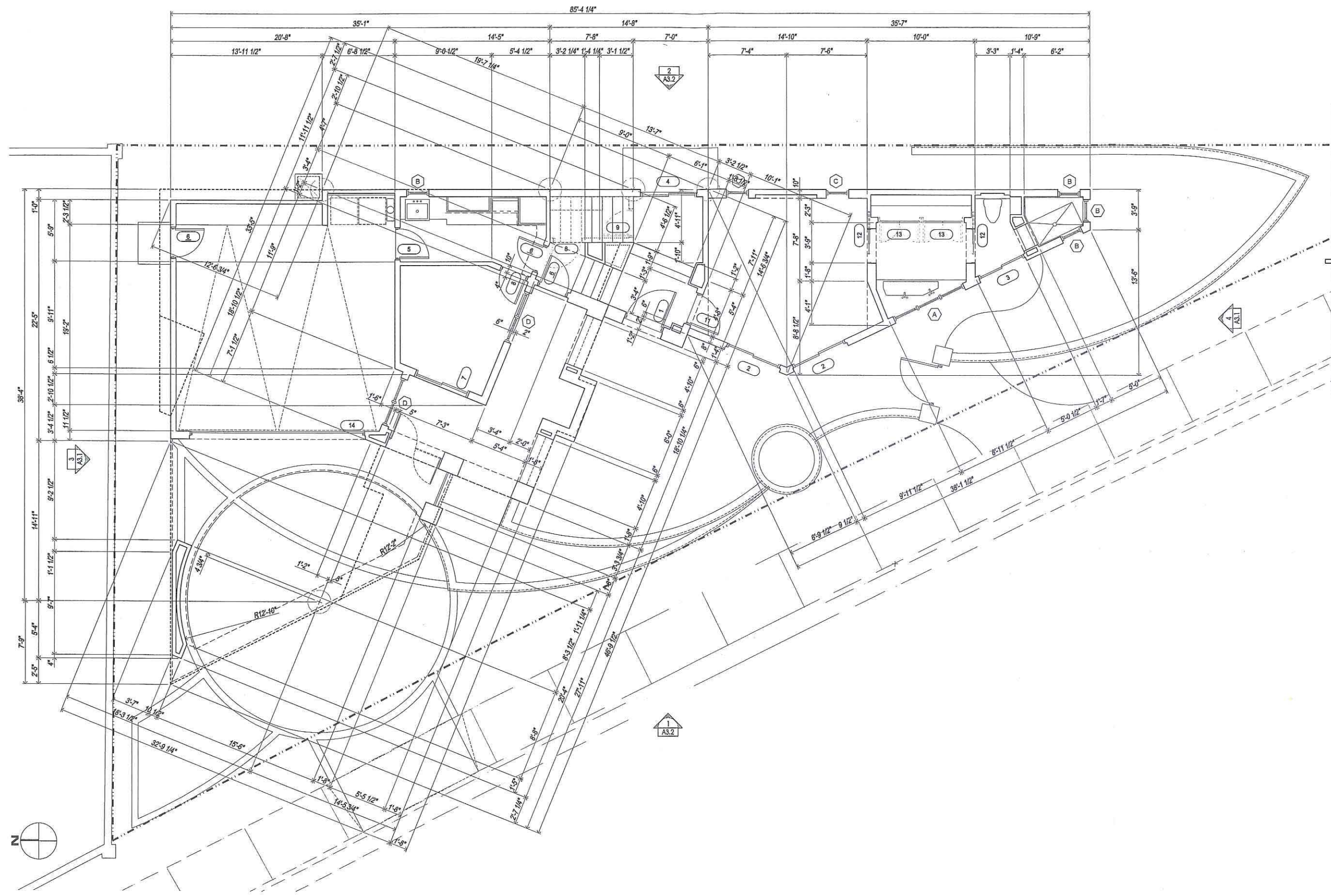
SAN DIEGO CALIFORNIA

PROJECT INFO

JOB NO: 9320110825
 ISSUE DATE: 5-5-12
 PLOT DATE: 8-27-12
 DRAWN BY: C. ROBINSON
 CHECKED BY: C.R.
 DESIGNED BY:
 98% PROGRESS
 P.L.E. STAMP:

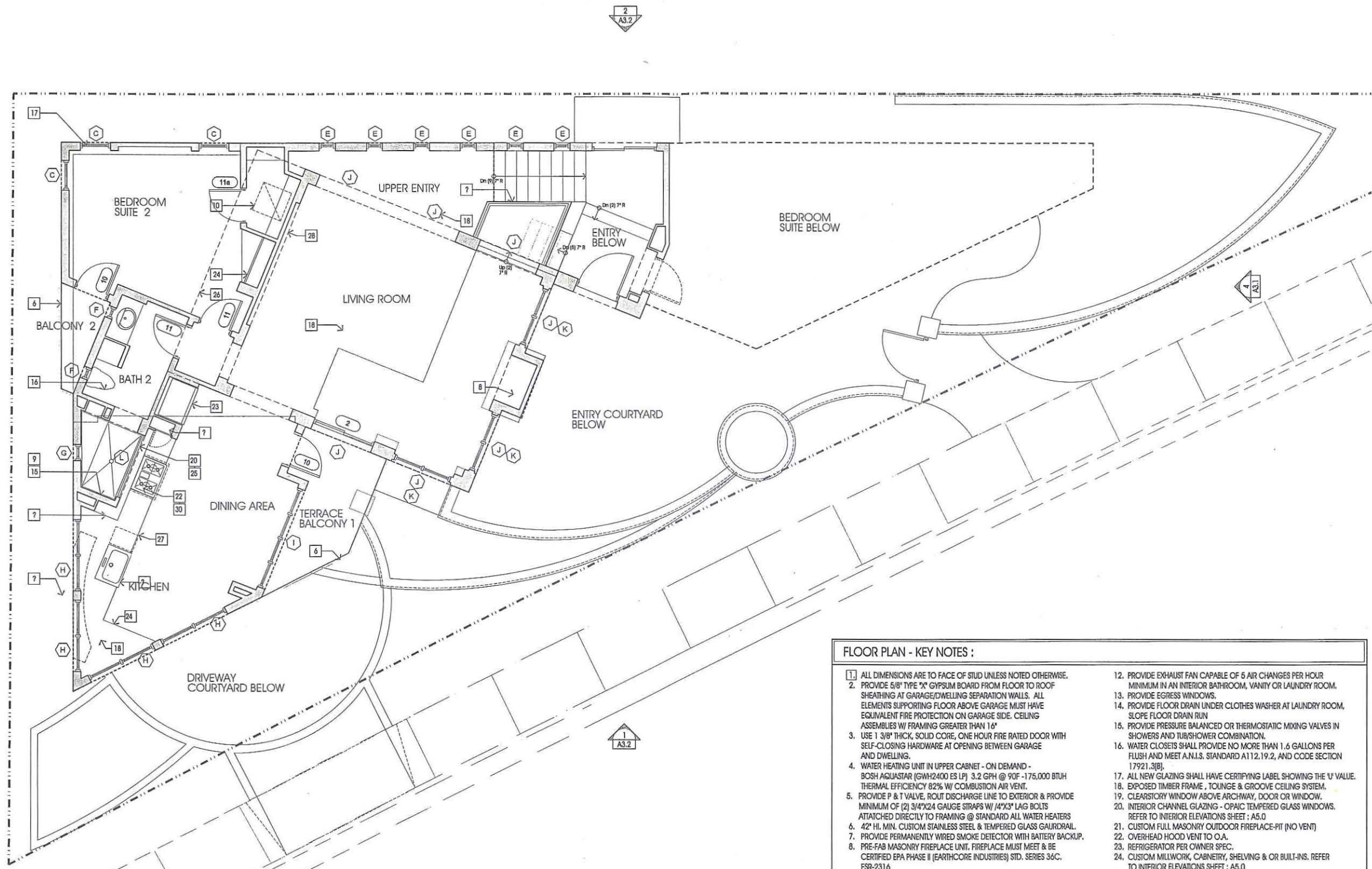
SHEET

A1.1
 6 of 11



1/4" = 1'-0"

GARAGE & ENTRY LEVEL- FIRST FLOOR DIMENSION PLAN



- FLOOR PLAN - KEY NOTES :**
1. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
 2. PROVIDE 5/8" TYPE "X" GYPSUM BOARD FROM FLOOR TO ROOF SHEATHING AT GARAGE/DWELLING SEPARATION WALLS. ALL ELEMENTS SUPPORTING FLOOR ABOVE GARAGE MUST HAVE EQUIVALENT FIRE PROTECTION ON GARAGE SIDE. CEILING ASSEMBLIES W/ FRAMING GREATER THAN 16'
 3. USE 1 3/8" THICK, SOLID CORE, ONE HOUR FIRE RATED DOOR WITH SELF-CLOSING HARDWARE AT OPENING BETWEEN GARAGE AND DWELLING.
 4. WATER HEATING UNIT IN UPPER CABINET - ON DEMAND - BOSH AQUASTAR (6WH2400 ES LP) 3.2 GPH @ 90F -175,000 BTUH THERMAL EFFICIENCY 82% W/ COMBUSTION AIR VENT.
 5. PROVIDE P & T VALVE, ROUT DISCHARGE LINE TO EXTERIOR & PROVIDE MINIMUM OF (2) 3/4"x24 GAUGE STRAPS W/ 1/4"x3" LAG BOLTS ATTACHED DIRECTLY TO FRAMING @ STANDARD ALL WATER HEATERS
 6. 42" HI. MIN. CUSTOM STAINLESS STEEL & TEMPERED GLASS GAURDRAIL
 7. PROVIDE PERMANENTLY WIRED SMOKE DETECTOR WITH BATTERY BACKUP.
 8. PRE-FAB MASONRY FIREPLACE UNIT, FIREPLACE MUST MEET & BE CERTIFIED EPA PHASE II (EARTHCORE INDUSTRIES) STD. SERIES 36C. ESR-2316
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 11. HOSE BIBBS AND LAWN SPRINKLERS SYS. SHALL HAVE AN APPRO. BACK FLOW PREVENTION DEVICE.
 12. PROVIDE EXHAUST FAN CAPABLE OF 6 AIR CHANGES PER HOUR MINIMUM IN AN INTERIOR BATHROOM, VANITY OR LAUNDRY ROOM.
 13. PROVIDE EGRESS WINDOWS.
 14. PROVIDE FLOOR DRAIN UNDER CLOTHES WASHER AT LAUNDRY ROOM. SLOPE FLOOR DRAIN RUN
 15. PROVIDE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES IN SHOWERS AND TURSHOWER COMBINATION.
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 17. ALL NEW GLAZING SHALL HAVE CERTIFYING LABEL SHOWING THE U VALUE.
 18. EXPOSED TIMBER FRAME, TONGUE & GROOVE CEILING SYSTEM.
 19. CLEARSTORY WINDOW ABOVE ARCHWAY, DOOR OR WINDOW.
 20. INTERIOR CHANNEL GLAZING - OPAIC TEMPERED GLASS WINDOWS. REFER TO INTERIOR ELEVATIONS SHEET : A5.0
 21. CUSTOM FULL MASONRY OUTDOOR FIREPLACE-PIT (NO VENT)
 22. OVERHEAD HOOD VENT TO O.A.
 23. REFRIGERATOR PER OWNER SPEC.
 24. CUSTOM MILLWORK, CABINERY, SHELVING & OR BUILT-INS. REFER TO INTERIOR ELEVATIONS SHEET : A5.0
 25. INSULATE WALL FOR SOUND CONTROL AT SHOWER.
 26. LINE OF BUILDING CLEARSTORY ATTIC SPACE ABOVE.
 27. 18" WIDE WINE REFRIGERATOR
 28. ART NICHE- VERIFY DIMS. REFER TO INTERIOR ELEVATIONS SHEET : A5.0
 29. HORIZONTAL FORCED AIR UNIT.
 30. 32" WIDE COOKTOP W/ OVEN UNIT BELOW. EXACT MODEL PER OWNERS SPEC. REFER TO INTERIOR ELEVATIONS SHEET : A5.0

1/4" = 1'-0"

UPPER LEVEL - SECOND FLOOR PLAN

CHRIS ROBINSON DESIGNS
 crdd@sbcglobal.net



RESIDENTIAL PLANNING & DESIGN

PROJECT

CUSTOM SINGLE FAMILY RESIDENCE FOR:
 STEVE OPP - GRIFFIN

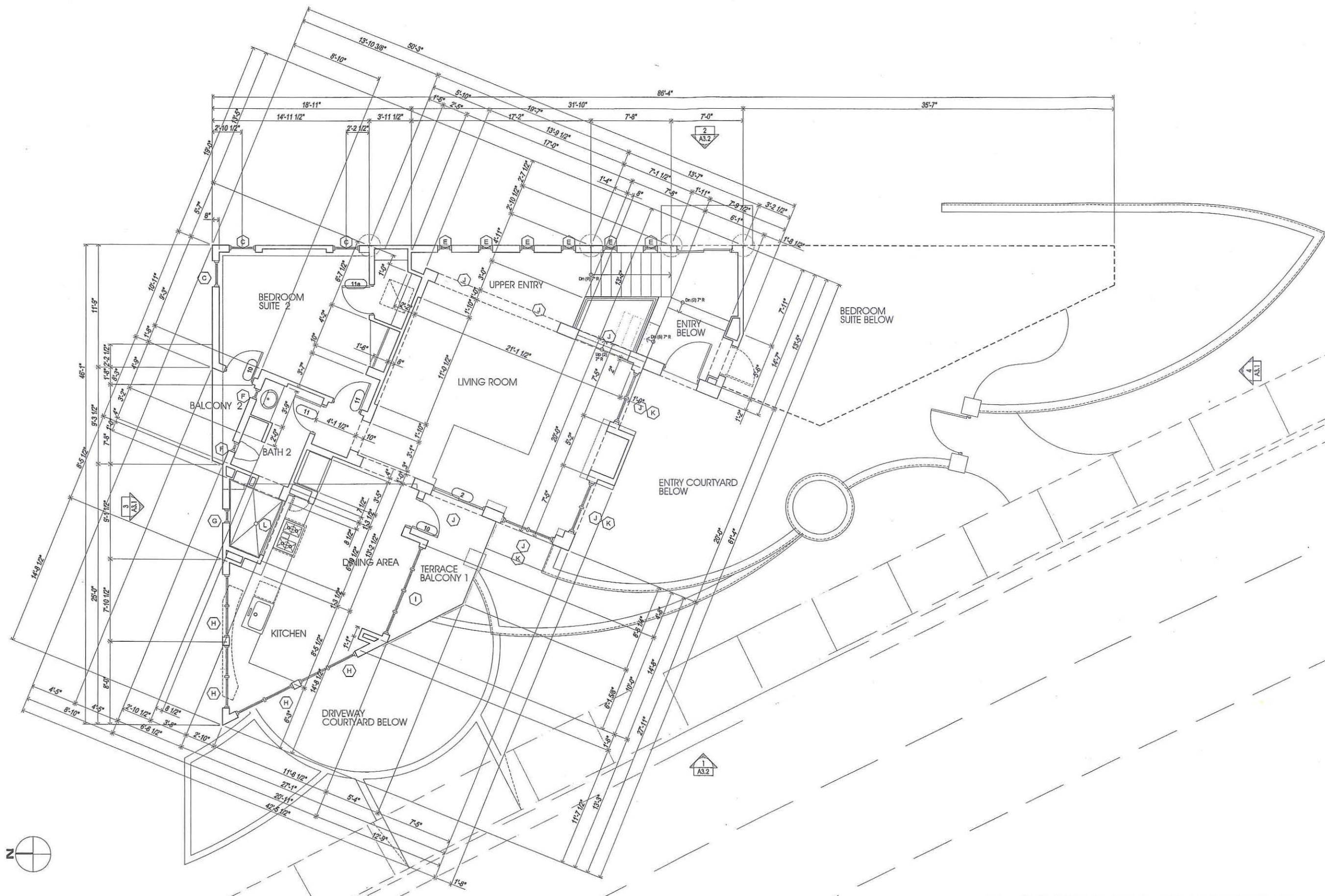
SAN DIEGO CALIFORNIA

PROJECT INFO.

JOB NO: S020110025
 ISSUE DATE: 6-5-12
 PLOT DATE: 8-27-12
 DRAWN BY: C. ROBINSON
 CHECKED: C.R.
 SUPERVISOR:
 98% PROGRESS
 REL. GRAPHIC:

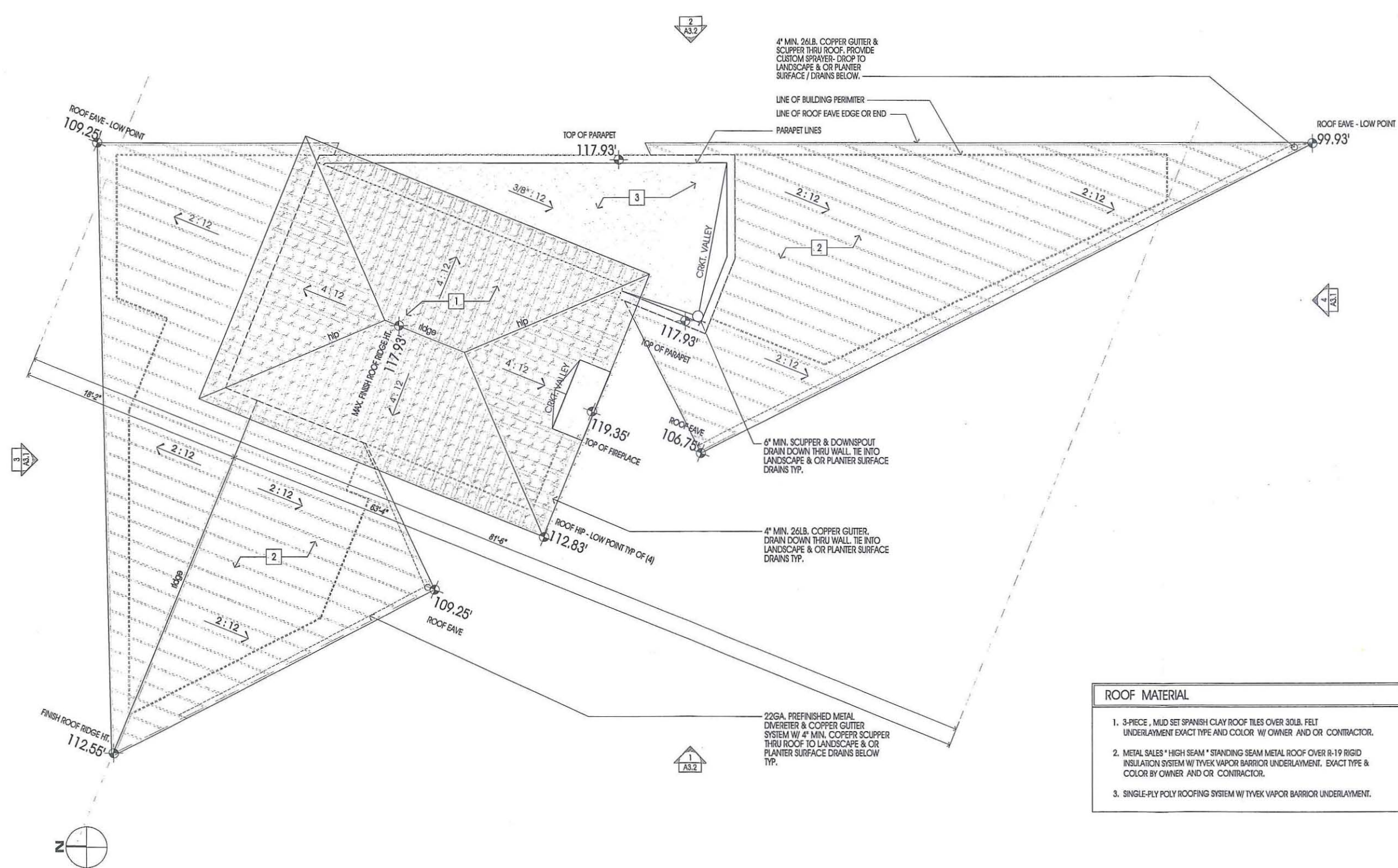
SHEET

A2.1



1/4" = 1'-0"

UPPER LEVEL - SECOND FLOOR - DIMENSION PLAN



4" MIN. 26LB. COPPER GUTTER & SCUPPER THRU ROOF. PROVIDE CUSTOM SPRAYER- DROP TO LANDSCAPE & OR PLANTER SURFACE / DRAINS BELOW.

LINE OF BUILDING PERIMETER
 LINE OF ROOF EAVE EDGE OR END
 PARAPET LINES

6" MIN. SCUPPER & DOWNSPOUT DRAIN DOWN THRU WALL. TIE INTO LANDSCAPE & OR PLANTER SURFACE DRAINS TYP.

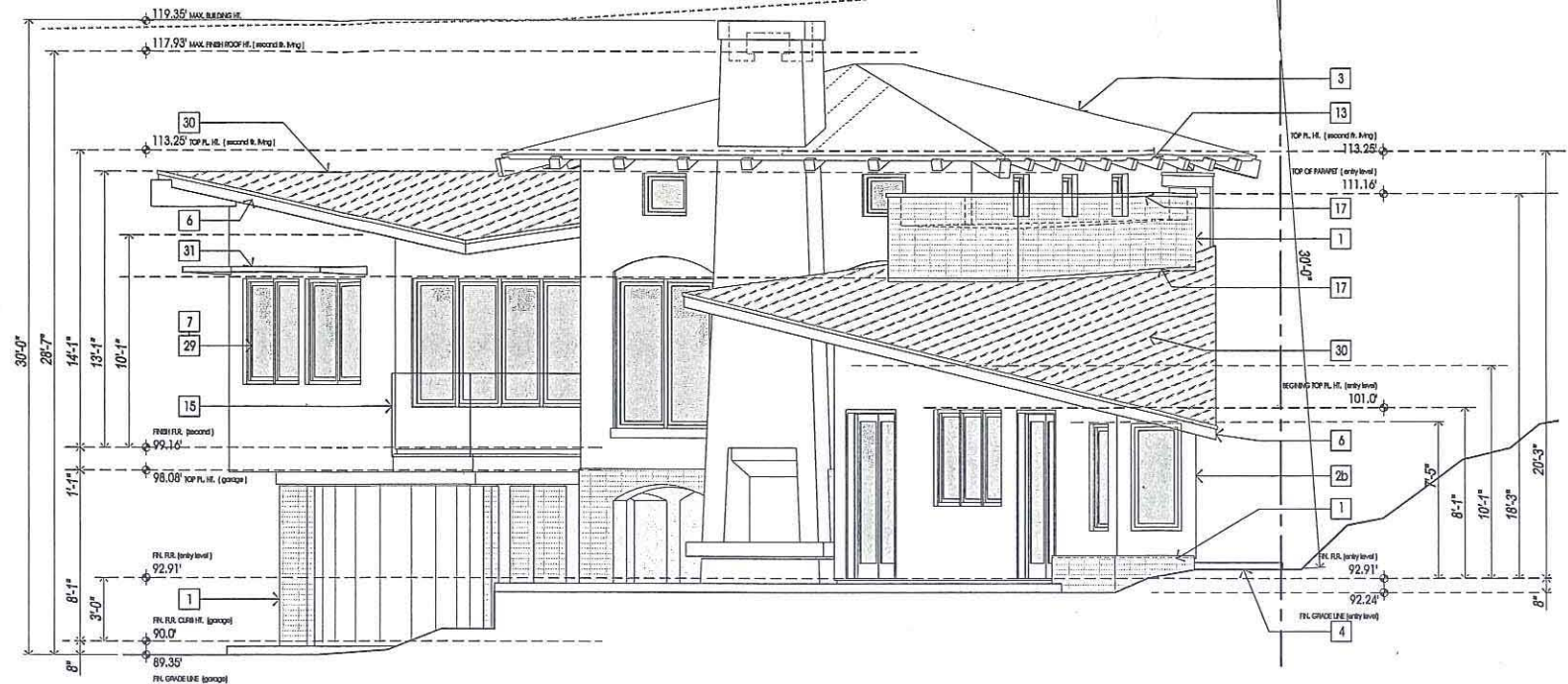
4" MIN. 26LB. COPPER GUTTER. DRAIN DOWN THRU WALL. TIE INTO LANDSCAPE & OR PLANTER SURFACE DRAINS TYP.

22GA. PREFINISHED METAL DIVERETER & COPPER GUTTER SYSTEM W/ 4" MIN. COPPER SCUPPER THRU ROOF TO LANDSCAPE & OR PLANTER SURFACE DRAINS BELOW TYP.

ROOF MATERIAL	
1.	3-PIECE, MUD SET SPANISH CLAY ROOF TILES OVER 30LB. FELT UNDERLAYMENT EXACT TYPE AND COLOR W/ OWNER AND OR CONTRACTOR.
2.	METAL SALES * HIGH SEAM * STANDING SEAM METAL ROOF OVER R-19 RIGID INSULATION SYSTEM W/ TYVEK VAPOR BARRIER UNDERLAYMENT. EXACT TYPE & COLOR BY OWNER AND OR CONTRACTOR.
3.	SINGLE-PLY POLY ROOFING SYSTEM W/ TYVEK VAPOR BARRIER UNDERLAYMENT.

1/4" = 1'-0"

ROOF PLAN



1/4" = 1'-0"

RIGHT - SOUTH A3.1

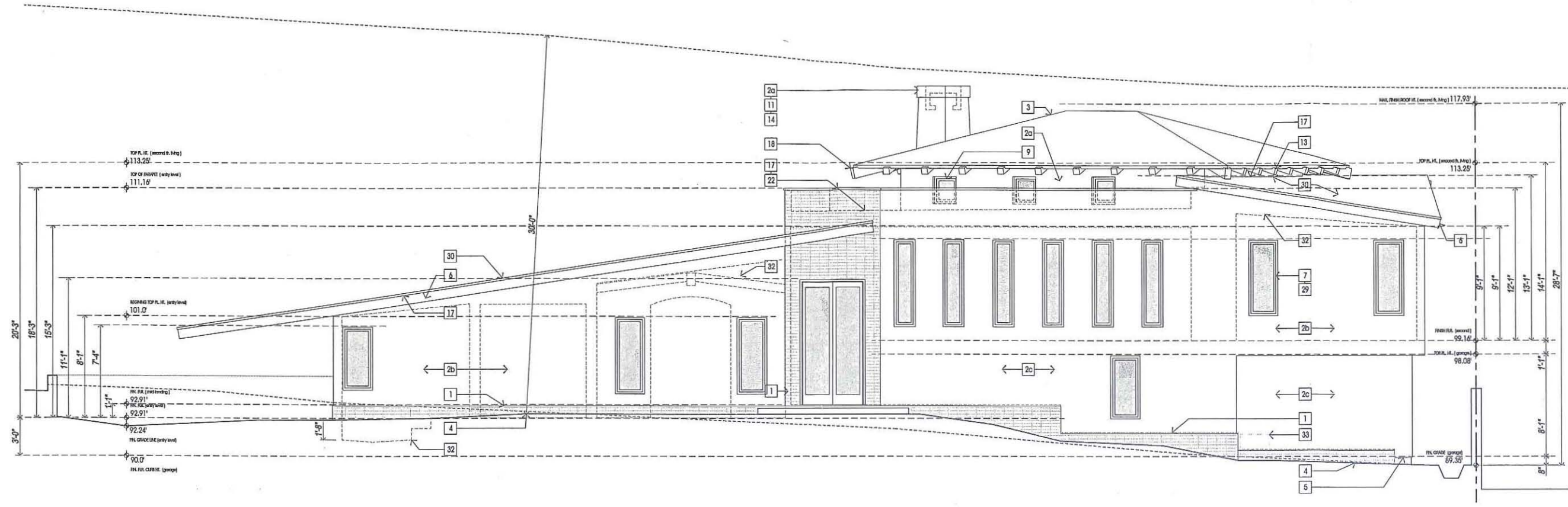


1/4" = 1'-0"

LEFT - NORTH EXTERIOR ELEVATION A3.1

ELEVATION KEY NOTES

- 1 MASONRY VENEER WAINSCOT- WHERE SHOWN VERIF. W/ OWNER
- 2 7/8" NOM. THK. SMOOTH PLASTER - SANTA BARBARA FINISH
- 2a (CHALK WHITE)
- 2b (SLATE GRAY)
- 2c (COASTAL SAGE)
- 3 3-PIECE MUD-SET SPANISH CLAY ROOF , ICBO #3416.
- 4 FINISH GRADE LINE - 6" MINIMUM FINISH GRADE TO FINISH FLOOR
- 5 PROVIDE WEEP SCREED @ MUDSILL, TYPICAL.
- 6 3x10' DF#1 SMOOTH CONTINUOUS BARGE RAFTER
- 7 WOOD FRAMED ALUMINUM CLAD DOOR AND WINDOW FRAMES
- 8 CLOAKED VENT TILES (100 SQ. IN. EA.) REFERENCE ATTIC VENT TABULATIONS & ROOF PLAN FOR LOCATIONS REFER TO SHEET (A3.0)
- 9 28" SQ. CLEARSTORY WINDOWS TYP. OF (7)
- 10 RAIN GUTTER / DOWNSPOUT. INTEGRATE W/ SITE SURFACE DRAINS PROVIDE 4" MIN. HEIGHT SCUPPERS. PER UBC-1506.3
- 11 ZERO CLEARANCE WOOD BURNING FIREPLACE BY: DESA HEARTH PRODUCTS, FMI-MODEL NO. G42 ICC- ES / ESR 2542 W/ MASONRY CHIMNEY CAP & APPRO. PRE-FAB SPARK ARRESTOR PER SPEC.
- 12 2x ARCHED (8") SOFFIT FRAMING 16' O.C. W/ PLASTER FIN. PER PLAN
- 13 6 x 8" MIN. EXPOSED SMOOTH DF#1 RAFTER TAILS 34" O.C. TYP.
- 14 MASONRY CHIMNEY CAP W/ APPRO. PRE-FAB SPARK ARRESTOR PER SPEC.
- 15 42" HI. MIN. CUSTOM STAINLESS STEEL & TEMPERED GLASS GAURDRAIL.
- 16 SITE RETAINING WALLS PER PRELIMINARY GRADING PLAN SHEET (A0.1)
- 17 22GA. CONT. PRE-FINISHED METAL DRIP - EDGE FLASHING W/ DIVERTERS & RECESSED GUTTERS PER DETAIL. REFER TO SHEET (A5.0)
- 18 6x12" DF#1 TIMBER - CORBEL & OR HIP RAFTER
- 19 5" NOM. THK. CONCRETE FLATWORK PAD OR STOOP
- 20 CUSTOM FIELD FABRICATED Bx Min. DF#1 OR BIR. TIMBER TRUSS
- 21 MASONRY PLANTER BOX W/ IRRIG. STUB IN (MATCH WAINSCOT)
- 22 SINGLE PLY ELASTOMERIC ROOFING SYSTEM (CLASS A) OVER TYVEK VAPOR BARRIOR. ICBO #3416.
- 23 ALL WINDOWS SHALL BE TEMPERED GLASS, MULTI LAYERED GLASS
- 24 ATTIC VENTILATION SHALL NOT BE PERMITTED IN SOFFITS, RAKES OR OVERHANGS.
- 25 GUTTERS & DOWNSPOUTS SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL AND DESIGNED TO REDUCE ACCUMULATION OF LEAF LITTER AND DEBRIS.
- 26 EXTERIOR DOORS SHALL BE APPROVED IGNITION RESISTANT CONSTRUCTION, SOLID CORE WOOD NOT LESS THAN 1 3/4" THICK, OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20-MINUTES. PROJECTIONS SUCH AS DECKS, CARPORTS, BALCONIES, PATIO COVERS, ECT. SHALL BE OF NON-COMBUSTIBLE CONSTRUCTION, FIRE-RETARDENT TREATED WOOD, HEAVY TIMBER CONSTRUCTION OR ONE HOUR FIRE RESISTIVE CONSTRUCTION.
- 28 THE FIRST FIVE FEET OF FENCES AND OR OTHER ITEMS ATTACHED TO A STRUCTURE SHALL BE OF NON-COMBUSTIBLE MATERIAL OR MEET THE SAME FIRE RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE STRUCTURE.
- 29 4" CUSTOM SINGLE SWING SOLID WOODEN ENTRY DOOR UNIT W/ D-BOLT 8" SQ. SOLID DF#1 POST (CUSTOM CORNER CONST.) PER DET.
- 30 STANDING SEAM METAL ROOFING - METAL SALES* HIGH SEAM (16") OVER MHST UNDERLAYMENT
- 31 3/16" THK. CORTIEN METAL SUN SHADE SYSTEM W/ 22GA. PREFINISHED & PERFORATED INFILL PANELS
- 32 LINE OF INTERIOR WALL & OR CLG. PROFILE BEYOND. REFER TO INTERIOR ELEVATIONS SHEET (A5.0)
- 33 CONDENSING UNIT W. 220v . REFER TO MECH. SHEETS FOR FURTHER INFO.



1/4" = 1'-0"

REAR - EAST 2
 refer to sheet (A3.1) for elevation notation A3.2



1/4" = 1'-0"

FRONT - WEST EXTERIOR ELEVATION 1
 refer to sheet (A3.1) for elevation notation A3.2

CARMEL VALLEY COMMUNITY PLANNING BOARD

**Attn: Allen Kashani, CVCPB Secretary
6025 Edgewood Bend Court
San Diego, CA 92130
858-794-2571 / Fax: 858-794-2599**

November 1, 2012


Paul B. Godwin, Project Manager
Development Services Department
City of San Diego
1222 First Ave., MS 501
San Diego, CA 92101

Re: Griffin Residence
PTS 279847

Dear Paul:

The Carmel Valley Community Planning Board considered the abovementioned project on September 27, 2012 and approved the project by a vote of 10-1-3.

Sincerely,
Carmel Valley Community Planning Board


Frisco White, AIA
Chair



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title: Griffin Residence Project No. For City Use Only: 279847
 Project Address: 13641 El Camino Real, San Diego CA 92130

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Steven Edward Opp, aka Steven V Griffin
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 PO Box 8555
 City/State/Zip:
 Rancho Santa Fe CA 92067
 Phone No: (760) 744-2888 Fax No:
 Signature: Date: 05/07/2012

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print):

 Owner Tenant/Lessee Redevelopment Agency
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

 <p>City of San Diego Development Services 1222 First Ave. 3rd Floor San Diego, CA 92101 (619) 446-5210</p> <p>THE CITY OF SAN DIEGO</p>	<h2>Development Permit/ Environmental Determination Appeal Application</h2>	<p>FORM DS-3031 OCTOBER 2012</p>
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See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

1. Type of Appeal:

- Process Two Decision - Appeal to Planning Commission
 Process Three Decision - Appeal to Planning Commission
 Process Four Decision - Appeal to City Council
 Environmental Determination - Appeal to City Council
 Appeal of a Hearing Officer Decision to revoke a permit

2. Appellant Please check one Applicant Officially recognized Planning Committee "Interested Person" (Per M.C. Sec. 113.0103)

Name: George Saddle E-mail Address: gsaddle@san.rr.com
 Address: 13632 Derby Downs Ct City: SD State: CA Zip Code: 92130 Telephone: 858-204-4222

3. Applicant Name (As shown on the Permit/Approval being appealed). Complete if different from appellant.

Steven Opp

4. Project Information

Permit/Environmental Determination & Permit/Document No.:	Date of Decision/Determination:	City Project Manager:
<u>279847</u>	<u>11/23/12</u>	<u>Paul Goodwin</u>

Decision (describe the permit/approval decision):

Project approved

5. Grounds for Appeal (Please check all that apply)

- Factual Error
 Conflict with other matters
 Findings Not Supported
 New Information
 City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

Request for property site to be denied.
 Certificate of Compliance was granted without meeting criteria for a buildable parcel. Should be a locked lot.
 No safe access to the property. The proposed property will be detrimental to the public health, safety and welfare.
 Originally zoned for 4.25 acres -property was cleaved from the original 20 acres and should not be allowed to change zoning.
 CVPDO requires a minimum 5500 sq. ft. lot and this lot is only 4129 sq. ft.
 Does not meet the required 60% threshold of land to building. Easements and drainage from neighboring slopes are not addressed in the property lot size. Sg AL
 Given environmental exception without cause.

Impacts views of adjacent homes

Architecture and size are not consistent with surrounding homes (2000 sq. ft. for proposed building to minimum 3000 sq. ft. for the neighborhood).

High accident intersection by bicyclists and motor vehicle drivers. Property entrance would be difficult on a highway with vehicles travelling excess of 60mph

6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: [Signature] Date: 11/27/12

DEVELOPMENT SERVICES

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.

HEARING OFFICER OF THE CITY OF SAN DIEGO
MINUTES OF REGULAR SCHEDULED MEETING OF
NOVEMBER 21, 2012
COUNCIL CHAMBERS, 12TH FLOOR
CITY ADMINISTRATION BUILDING

CHRONOLOGY OF THE MEETING:

The meeting was called to order by Chris Larson at 8:35 a.m.
Appeal Date: December 7, 2012

ITEM-1: **ANNOUNCEMENTS/PUBLIC COMMENT - ISSUES WITHIN THE JURISDICTION OF THE HEARING OFFICER NOT PREVIOUSLY HEARD.** None

ITEM-2: **REQUESTS FOR CONTINUANCES OR WITHDRAWALS**
None

ITEM-3: **REQUESTS FOR ITEMS TO BE PLACED ON CONSENT AGENDA.** Item Nos. 6 & 7

ITEM-4: **VALLECITOS RESIDENCE - PROJECT NO. 284055**
City Council District: 1; Plan Area: La Jolla

STAFF: Paul Godwin

3 speaker slips submitted in favor – Tony Crisafi, Matt Peterson & Haley Bareisa

4 speaker slips submitted in opposition – Littleton Waller, Steven Victor, Randy Brimm & Althea Brim

ACTION:

PROJECT APPROVED SUBJECT TO PERMIT CONDITIONS.
Report NO. HO-12-083. RESOLUTION NO. HO-6571

ITEM-5: **GRIFFIN RESIDENCE - PROJECT NO. 279847**
City Council District: 1; Plan Area: Carmel Valley

STAFF: Paul Godwin

1 speaker slip submitted in favor – Steve Opp

6 speaker slips submitted in opposition – Francis Chan, Winifreda Chang, Jamie Switzer, Sol Allen, George Saddic & Tarek Hassanein

ACTION:

PROJECT APPROVED SUBJECT TO PERMIT CONDITIONS.
Report NO. HO-12-085. RESOLUTION NO. HO-6572

ITEM-6: **NEIGHBORS SUPERMARKET - PROJECT NO. 288307**
City Council District: 8; Plan Area: San Ysidro

STAFF: Renee Mezo

1 speaker slip submitted in favor – Peter Impala

No speaker slips submitted in opposition.

ACTION:

PROJECT APPROVED ON CONSENT.

Report NO. HO-12-093. RESOLUTION NO. HO-6573

ITEM-7: **BENSON RESIDENCE - PROJECT NO. 232790**
City Council District: 1; Plan Area: La Jolla

STAFF: Sandra Teasley

3 speaker slips submitted in favor – Myles Cooper, Mark House & Colleen Borett

No speaker slips submitted in opposition.

ACTION:

PROJECT APPROVED ON CONSENT.

Report NO. HO-12-095. RESOLUTION NO. HO-6574

ITEM-8: **RAINBOW FARMS MARKET - PROJECT NO. 285228**
City Council District: 3; Plan Area: Mid City-Eastern Area

STAFF: Patrick Hooper

4 speaker slips submitted in favor – Robert Zakar, Jim Varnadore, Eddy Bricho & Mark Hermiz

1 speaker slip submitted in opposition – Derryl Williams

ACTION:

PROJECT APPROVED SUBJECT TO PERMIT CONDITIONS.

Report NO. HO-12-096. RESOLUTION NO. HO-6575

Meeting adjourned by Chris Larson at 10:22 a.m.

