



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: March 21, 2013 **REPORT NO. PC-13-009**

ATTENTION: Planning Commission, Agenda of March 28, 2013

SUBJECT: VERIZON – BAYVIEW HEIGHTS - PROJECT NO. 258719
PROCESS 4

**OWNER/
APPLICANT:** Revival Pentecostal Tabernacle of San Diego
Verizon Wireless

SUMMARY

Issue(s): Should the Planning Commission approve a Wireless Communication Facility (WCF) located at 1765 Pentecost Way in the Mid-City Communities Eastern Area Community Planning area?

Staff Recommendation:

1. **Approve** Conditional Use Permit (CUP) No. 1072837.
2. **Approve** Planned Development Permit (PDP) No. 911344.

Community Planning Group Recommendation: On May 8, 2012, the Eastern Area Communities Planning Committee voted 7-1-0 to recommend approval of the Verizon – Bayview Heights project (Attachment 10).

Environmental Review: This project is not pending an appeal of the environmental determination. This project is exempt from environmental review pursuant to Article 19, Section 15303, New Construction or Conversion of Small Structures. The environmental exemption determination for this project was made on December 11, 2012 and the opportunity to appeal that determination ended January 3, 2013 (Attachment 7).

Fiscal Impact Statement: All project related costs associated with processing this permit are paid out of a deposit account maintained by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: Not Applicable.

BACKGROUND

Verizon proposes a wireless communication facility consisting of a new 40-foot tall faux broadleaf tree supporting twelve panel antennas and a 548-square foot equipment room on a church property at 1765 Pentecost Way in the Mid-City Communities Eastern Area Community Planning area. The site is zoned RM-2-5 and is designated for Residential 26-30 dwelling units per acre in the Eastern Area Community Plan (Attachments 1, 2, and 3). The new Verizon WCF will be located adjacent to an existing T-Mobile 40-foot tall faux broadleaf tree and associated 250-square foot enclosure, which was approved by the Hearing Officer on March 19, 2008.

Surrounding land uses include multi-unit residential uses to the south and east, commercial uses to the west and industrial uses to the north (Attachments 1, 2 and 3).

Wireless Communication Facilities (WCF) are permitted throughout the City as a separately regulated use by the Wireless Communication Facility regulations, in accordance with Land Development Code (LDC) section 141.0420. WCF's located within a residential zone containing a non-residential use are permitted with a Conditional Use Permit, Process 3. Due to the size of the proposed equipment enclosure, the project requires a Planned Development Permit, Process 4.

DISCUSSION

Council Policy 600-43, "Wireless Communication Facilities," assigns preference levels to the locations of WCF. This policy encourages facilities to be located away from residential uses. Typically, WCF proposed in non-residential zones, such as commercial or industrial, are considered more preferable than those located in residential zones. To encourage carriers to locate in non-residential zones, projects proposed in those areas are permitted with a lower approval process level, such as a Limited Use or Neighborhood Use Permit. In this case, the primary use on the property is a church campus and the site is zoned RM-2-5, which results in a preference 3 level. However due to the increased size of the equipment enclosure, a PDP, process 4 is required.

The Verizon tree will be located adjacent to an existing T-Mobile faux broadleaf tree and associated equipment. Verizon's enclosure is attached to T-Mobile's and is designed to match the architectural style. Included in the enclosure is a generator, air conditioner units and the WCF equipment (Attachments 9 and 14). Special project design features are included for noise attenuation for the generator enclosure structure as well as the walled in air conditioner structure. These design features will prevent noise levels from the generator and air conditioning units from exceeding the Noise Ordinance requirements.

Other than the deviation for the equipment enclosure size, the proposed project complies with LDC Section 141.0420, which requires a project to be designed to integrate with the structure on which it is proposed through the use of architecture, landscape design and siting solutions. The project complies with the RM-2-5 development regulations, the General Plan and the WCF Design Guidelines.

General Plan:

The Mid-City Communities Community Plan is silent on wireless communication facilities; however, the City of San Diego's General Plan addresses Wireless Facilities in UD-A.15 as follows:

Minimize the visual impact of wireless facilities.

- a. Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b. Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c. Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

The proposal to install a 40-foot tall faux broadleaf tree and associated equipment complies with the recommendations in the General Plan to be respectful to the neighborhood context.

Conclusion:

Staff has reviewed the proposed project and has determined that it is consistent with the purpose and intent of the applicable development regulations of the Land Development Code. With the exception of the equipment enclosure size, the project also complies with the WCF regulations (LDC Section 141.0420). Proposed findings for approval are described in Attachment 5, to support staff's recommendation. As a result, staff recommends that the Planning Commission approve CUP No. 1072837 and PDP No. 911344.

ALTERNATIVES:

1. Approve Conditional Use Permit No. 1072837 and Planned Development Permit No. 911344 with modifications.
2. Deny Conditional Use Permit No. 1072837 and Planned Development Permit No. 911344, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Karen Lynch-Ashcraft
Project Manager
Development Services Department

BROUGHTON/KLA

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Photographs
9. Photosimulations
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Project Chronology
13. Planning Commission Public Hearing Notice
14. Project Plans

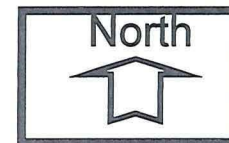
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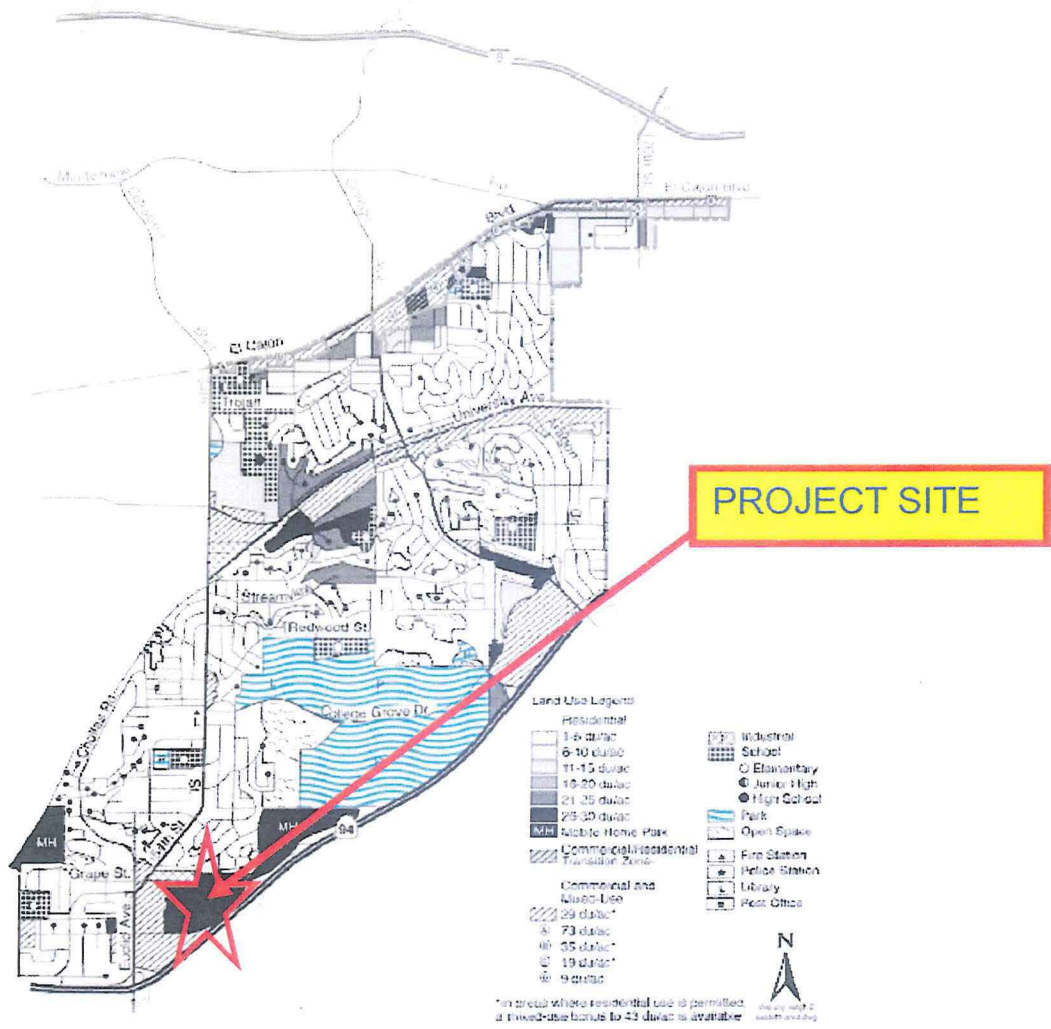


Aerial Photo

VERIZON- BAYVIEW HEIGHTS PROJECT NUMBER 258719

1765 PENTECOST WAY



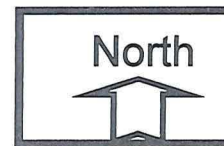


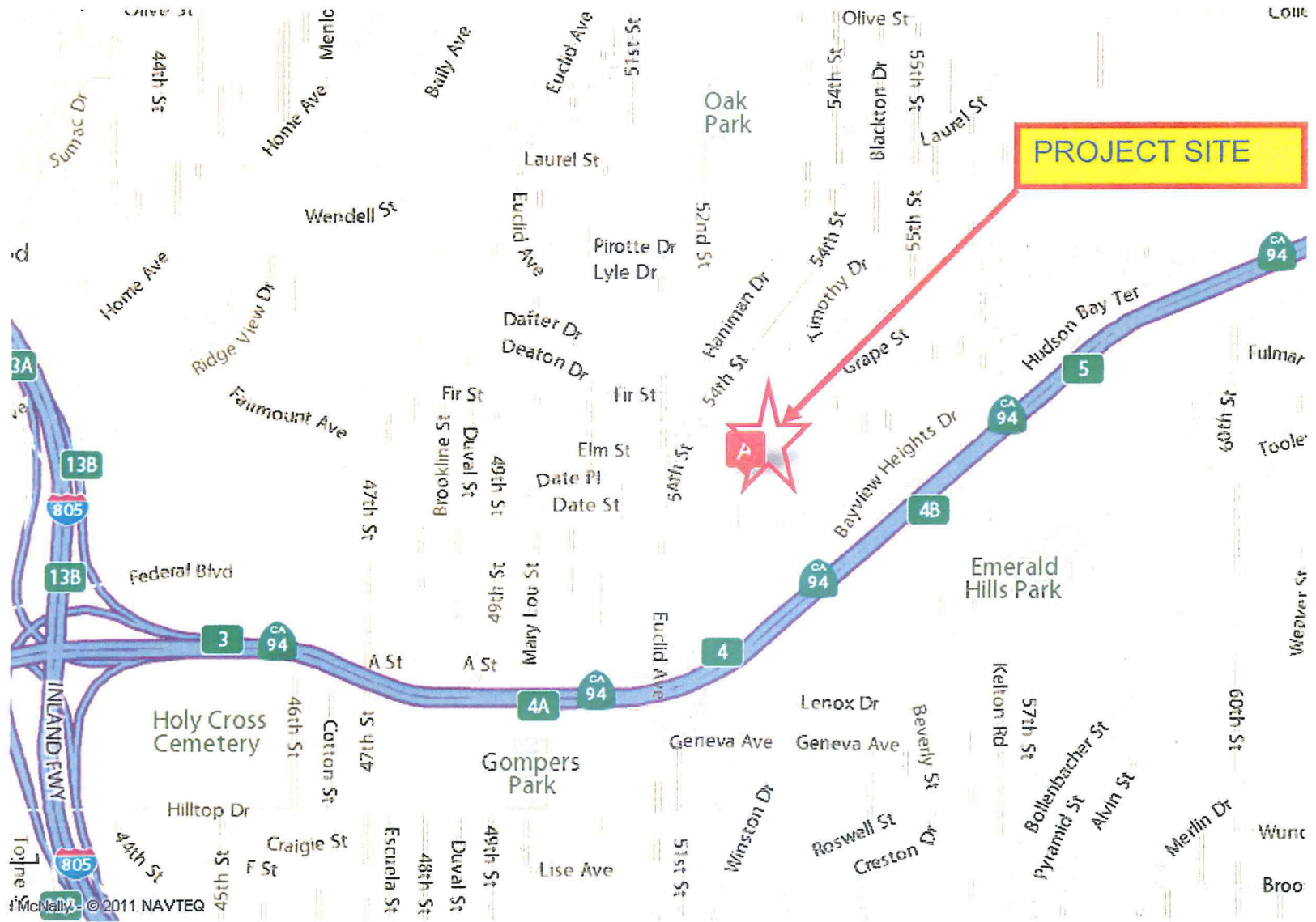
EASTERN AREA COMMUNITY PLAN MAP



VERIZON- BAYVIEW HEIGHTS PROJECT NUMBER 258719

1765 PENTECOST WAY





Project Location Map

VERIZON- BAYVIEW HEIGHTS PROJECT NUMBER 258719

1765 PENTECOST WAY



PROJECT DATA SHEET

| | | |
|--|--|--------------------------|
| PROJECT NAME: | Verizon – Bayview Heights | |
| PROJECT DESCRIPTION: | Construction of a new 40-foot tall faux broadleaf supporting 12 antennas and a 548-square foot equipment enclosure. | |
| COMMUNITY PLAN AREA: | Mid-City Communities - Eastern Area | |
| DISCRETIONARY ACTIONS: | Conditional Use Permit; Planned Development Permit. | |
| COMMUNITY PLAN LAND USE DESIGNATION: | Residential 26-30 dwelling units/acre | |
| <u>ZONING INFORMATION:</u> | | |
| ZONE: RM-2-5 HEIGHT LIMIT: 40-feet FRONT SETBACK: 15/20 feet. SIDE SETBACK: 5 feet. STREETSIDE SETBACK: 10 feet. REAR SETBACK: 15 feet. | | |
| <u>ADJACENT PROPERTIES:</u> | LAND USE DESIGNATION & ZONE | EXISTING LAND USE |
| NORTH: | Industrial; IL-2-1. | Mini Storage |
| SOUTH: | Mid-City Communities Planned District, Multi-Unit Residential; MCCPD-MR-1500. | Multi-Unit Residential |
| EAST: | Industrial; IL-2-1. | Multi-Unit Residential |
| WEST: | Commercial and Mixed Use; CC-2-3. | Commercial |
| DEVIATIONS OR VARIANCES REQUESTED: | 1. Deviation to allow an equipment enclosure greater than 250-square feet; | |
| COMMUNITY PLANNING GROUP RECOMMENDATION: | On May 8, 2012, the Eastern Area Communities Planning Committee voted 7-1-0 to recommend approval of the Verizon – Bayview Heights project with no conditions. | |

**PLANNING COMMISSION
RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1072837
PLANNED DEVELOPMENT PERMIT NO. 911344
VERIZON – BAYVIEW HEIGHTS
PROJECT NO. 258719
DRAFT**

WHEREAS, REVIVAL PENTECOSTAL TABERNACLE OF SAN DIEGO, Owner and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit for a wireless communication facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No.'s 1072837 and 911344), on portions of a 5.35-acre site;

WHEREAS, the project site is located at 1765 Pentecostal Way in the RM-2-5 zone of the Mid-City Communities Eastern Area Community Planning area;

WHEREAS, the project site is legally described as All that certain real property situated in the County of San Diego, State of California, described as follows: Parcel A: Parcel 1 of Parcel Map No. 4120, in the City of San Diego, County of San Diego, State of California, recorded in the Office of the County Recorder of said County on September 30, 1975. Parcel B: That portion of Lot 17 of the Rancho Mission of San Diego, in the City of San Diego, County of San Diego, State of California, according to Partition Map thereof No. 5416, filed in the Office of the County Recorder of San Diego County; thence along the southerly line of said Pentecost Park North 89;

WHEREAS, on March 28, 2013, the Planning Commission of the City of San Diego considered CUP No. 1072837 and PDP No. 911344, pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on December 11, 2012, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303, New Construction or Conversion of Small Structures; and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated March 28, 2013.

FINDINGS:

Conditional Use Permit Approval – Section §126.0305

1. The proposed *development* will not adversely affect the applicable *land use plan*;

The Mid-City Communities Community Plan does not address Wireless Communication Facilities (WCF), however, the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. In this case, the project consists of a new 40-foot tall faux broadleaf tree, which will support 12 panel antennas. The associated equipment will be located adjacent to the tree in a 548-square foot enclosure. The WCF is proposed adjacent to an existing T-Mobile 40-foot tall faux broadleaf tree and associated equipment. The project location is on a church campus facility behind one of the buildings along the eastern perimeter of the property in a landscaped area containing a mixture of mature trees. The WCF will be camouflaged by the existing mature trees in the areas as well as the new 24-inch box Eucalyptus trees that Verizon will be installing with the construction of the faux broadleaf tree. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

2. The proposed *development* will not be detrimental to the public health, safety, and welfare;

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that Verizon Wireless perform a cumulative model RF test and submit the finding in a report to the City of San Diego prior to the issuance of a building permit. (Note: This condition is in addition to LDC section 141.0420(b)(1)(A), which requires compliance with federal and state standards and regulations with regards to WCF's.) Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

3. The proposed *development* will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

This project proposes to deviate from the WCF regulations, which permits equipment enclosures up to 250-square feet. This project is unique in that all components are proposed to be enclosed. The generator will be enclosed in a 192-square foot noise attenuated building. The WCF equipment will be enclosed within a 236-square foot, 10-foot tall block building and the air conditioning units will be enclosed in a 120-square foot, 10-foot tall open-roof block enclosure. This results in a 548-square foot enclosure that will be designed to match the architecture of the existing T-Mobile equipment enclosure. Verizon's WCF equipment enclosure alone would comply with the regulations; however, many of their sites are being upgraded to include generators so that power will not be interrupted in future emergency situations. Typically, air

conditioning units are hung on the outside of the equipment enclosure, which many times create a visual impact, but in this case Verizon is enclosing them within the walled compound, which will reduce the visual impact. The equipment enclosure will also include a trellis structure, which will not only add a design component, but will also integrate it with the existing T-Mobile enclosure. If this project was designed in strict conformance with the regulations, the generator would not be permitted due to noise associated with the diesel engine and exhaust fans that would adversely impact surrounding land uses. The generator must be enclosed in a building constructed with design features that will mitigate any potential noise impacts. Although the generator would only be operated periodically for maintenance purposes or during a power outage, it is needed as a precaution to safeguard communication services during an emergency situation. The air conditioning units are necessary to cool the equipment associated with the generator and the WCF and by enclosing them within the equipment compound, the associated visual impacts are minimized. The WCF will be tucked back along the eastern boundary amongst mature trees. Besides the equipment enclosure size, the project complies with the regulations of the Land Development Code and the deviation for the larger enclosure allows this WCF to function during emergency situations.

4. The proposed use is appropriate at the proposed location.

WCF's are permitted in residential zones, with a non-residential use with the processing of a Conditional Use Permit. Additionally, Council Policy 600-43 encourages that carriers locate WCF in non-residential areas. In this case, Verizon needs to provide coverage in this area, which is surrounded by commercial, industrial and residential uses. Although there are commercial and industrial land uses in the immediate vicinity, they are approximately 50-feet lower in elevation, which would result in far less coverage and the necessity to provide additional WCF's in the area. Opting for the non-residential use in the residential zone, in this case, the Anchor Church property, Verizon will be able to provide far greater coverage in the surrounding area and provide more capacity for commuters along busy Highway-94. The WCF is tucked back along the eastern portion of the property adjacent to an existing similar designed WCF. The backdrop of mature trees helps to camouflage the facility, resulting in an appropriate location for this WCF.

Planned Development Permit Approval – § Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan;

The Mid-City Communities Community Plan does not address Wireless Communication Facilities (WCF), however, the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. In this case, the project consists of a new 40-foot tall faux broadleaf tree, which will support 12 panel antennas. The associated equipment will be located adjacent to the tree in a 548-square foot enclosure. The WCF is proposed adjacent to an existing T-Mobile 40-foot tall faux broadleaf tree and associated equipment. The project location is on a church campus facility behind one of the buildings along the eastern perimeter of the property in a landscaped area containing a mixture of mature trees. The WCF will be camouflaged by the existing mature trees in the areas as well as the new 24-inch box Eucalyptus trees that Verizon

will be installing with the construction of the faux broadleaf tree. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that Verizon Wireless perform a cumulative model RF test and submit the finding in a report to the City of San Diego prior to the issuance of a building permit. (Note: This condition is in addition to LDC section 141.0420(b)(1)(A), which requires compliance with federal and state standards and regulations with regards to WCF’s.) Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

This project proposes to deviate from the WCF regulations, which permits equipment enclosures up to 250-square feet. This project is unique in that all components are proposed to be enclosed. The generator will be enclosed in a 192-square foot noise attenuated building. The WCF equipment will be enclosed within a 236-square foot, 10-foot tall block building and the air conditioning units will be enclosed in a 120-square foot, 10-foot tall open-roof block enclosure. This results in a 548-square foot enclosure that will be designed to match the architecture of the existing T-Mobile equipment enclosure. Verizon’s WCF equipment enclosure alone would comply with the regulations; however, many of their sites are being upgraded to include generators so that power will not be interrupted in future emergency situations. Typically, air conditioning units are hung on the outside of the equipment enclosure, which many times create a visual impact, but in this case Verizon is enclosing them within the walled compound, which will reduce the visual impact. The equipment enclosure will also include a trellis structure, which will not only add a design component, but will also integrate it with the existing T-Mobile enclosure. If this project was designed in strict conformance with the regulations, the generator would not be permitted due to noise associated with the diesel engine and exhaust fans that would adversely impact surrounding land uses. The generator must be enclosed in a building constructed with design features that will mitigate any potential noise impacts. Although the generator would only be operated periodically for maintenance purposes or during a power outage, it is needed as a precaution to safeguard communication services during an emergency situation. The air conditioning units are necessary to cool the equipment associated with the generator and the WCF and by enclosing them within the equipment compound, the associated visual impacts are minimized. The WCF will be tucked back along the eastern boundary amongst mature trees. Besides the equipment enclosure size, the project complies with the regulations of the Land Development Code and the deviation for the larger enclosure allows this WCF to function during

emergency situations. Therefore, the WCF is appropriate at this location and results in a more desirable project than if it was designed in strict conformance with the WCF regulations.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, CUP No. 1072837 and PDP No. 911344 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1072837/911344, a copy of which is attached hereto and made a part hereof.

Karen Lynch-Ashcraft
Development Project Manager
Development Services

Adopted on: March 28, 2013

Job Order No. 24002198

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002198

CONDITIONAL USE PERMIT NO. 1072837
PLANNED DEVELOPMENT PERMIT NO. 911344
VERIZON – BAYVIEW HEIGHTS
PROJECT NO. 258719
PLANNING COMMISSION
DRAFT

This Conditional Use Permit No. 1072837 and Planned Development Permit No. 911344 is granted by the Planning Commission of the City of San Diego to Revival Pentecostal Tabernacle of San Diego, Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and Chapter 14, Article 3, Division 4. The 5.35-acre site is located at 1765 Pentecost Way in the RM-2-5 zone of the Eastern Areas Neighborhood in the Mid-City Communities Eastern Area Community Planning area. The project site is legally described as: All that certain real property situated in the County of San Diego, State of California, described as follows: Parcel A: Parcel 1 of Parcel Map No. 4120, in the City of San Diego, County of San Diego, State of California, recorded in the Office of the County Recorder of said County on September 30, 1975. Parcel B: That portion of Lot 17 of the Rancho Mission of San Diego, in the City of San Diego, County of San Diego, State of California, according to Partition Map thereof No. 5416, filed in the Office of the County Recorder of San Diego County; thence along the southerly line of said Pentecost Park North 89.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 28, 2013, on file in the Development Services Department.

The project shall include:

- a. A 40-foot tall faux broadleaf tree supporting twelve panel antennas and a concrete enclosure (totaling 548-square feet) to house the associated equipment, including a generator and air conditioner units;
- b. A deviation to allow a 548-square foot enclosure where 250-square feet is permitted;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 11, 2016.
2. This Conditional Use Permit (CUP) and corresponding use of this site **shall expire on March 28, 2023**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize Verizon to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and

- b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
13. If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
14. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision.

The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

15. The project proposes to export 96.63 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

16. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

19. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

20. All proposed hand-holes shall be covered with bark material to match the broadleaf trunk to the satisfaction of the Development Services Department.

21. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. Doghouses are not permitted.

22. Branches shall extend a minimum of 24-inches beyond the proposed antennas to the satisfaction of the Development Services Department.

23. Starting branch height shall be no lower than 10-feet.
24. Utilization of a sufficient amount of branches to mimic a live broadleaf tree and adequately screen the antennas is required. Prior to the issuance of Building Permits, provide manufacturer's specifications for the faux tree demonstrating that the completed faux tree will have the appearance of a live tree.
25. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.
26. RF socks fully covering the front and back of the antennas (and any other components) shall be used.
27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
28. The applicant is required to provide color samples of the broadleaf tree prior to Building Permit issuance. This is to ensure that the proposed broadleaf tree integrates with the surrounding landscape. Staff will pre-approve the color sample prior to Building Permit issuance. The exact broadleaf tree color exhibit will be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built broadleaf tree.
29. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
30. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
31. The photosimulation(s) and the approved manufacturer's specifications for the proposed tree shall be printed on the building plans. This is to ensure the construction team building the project builds the project in compliance with the approved the 'Exhibit A.'
32. No overhead cabling is allowed for this project.
33. Exposed mounting apparatus shall be removed and shall not remain on the faux tree absent antennas.
34. The Owner/Permittee shall not cause or allow the antennas to be different sizes (length, width, or height) other than as shown on the stamped approved plans. Three different Antel antenna models are approved: BXA-70063/8CF (71" x 11.2" x 5.2"), BXA-171063/12CF (72.4" x 6.1" x 4.1") and BXA-80063/8CF (71" x 11.2" x 5.2").
35. The final product shall conform to the stamped approved plans and approved photosimulations prior to final inspection approval.

Equipment Enclosure Noise Attenuation Requirements:

Pursuant to the Noise Impact Analysis, dated October 10, 2012, prepared by Helix Environmental Planning, for this project, the following design features are required to be incorporated into the construction documents prior to the issuance of Building Permits:

36. A three-foot long in-line air outlet silencer; a three-foot long in-line air inlet silencer; a forced air blower; and a hospital-grade silencer.
37. Provide a double joist roof with ½-inch thick plywood or thicker shear panel below the fire resistant roof and no connection between the upper and lower joist system for noise/vibration transmission.
38. Provide a hard lid constructed of a double layer of 5/8-inch thick Type “S” gypsum board with a minimum three inches of separation below the roof filled with R-13 or greater insulation.
39. Provide an exterior steel-clad solid core door with a manufacturer specified minimum Sound Transmission Control (STC) 49 rating.
40. Any duct work between the in-line silencers and the wall must be either a double layer of 18-gauge (or thicker) steel with a 1-inch thick fiberglass blanket between layers, or 18-gauge (or thicker) steel with an acoustic blanket wrap to prevent noise breaking in from the generator.
41. The in-line silencers and engine exhaust silencer (muffler) must provide the minimum noise reduction requirements outlined below:

| MINIMUM NOISE REDUCTION VALUES FOR THE IN-LINE SILENCERS AND THE ENGINE EXHAUST SILENCER | | | | | | | | |
|--|---|-------|-------|-------|---------|---------|---------|---------|
| Equipment | One Octave Center Band Frequency with dB at Frequency | | | | | | | |
| | 63Hz | 125Hz | 250Hz | 500Hz | 1,000Hz | 2,000Hz | 4,000Hz | 8,000Hz |
| In-Line Silencer | 10 | 13 | 23 | 27 | 26 | 22 | 17 | 16 |
| Engine Exhaust Silencer | 41 | 52 | 58 | 62 | 61 | 60 | 59 | 58 |

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

ATTACHMENT 6

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on March 28, 2013 by Resolution No. _____.

Permit Type/PTS Approval No.: CUP No. 1072837/PDP No. 911344
Date of Approval: March 28, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Karen Lynch-Ashcraft
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Revival Pentecostal Tabernacle of San Diego
Owner

By _____
NAME:
TITLE:

Verizon Wireless
Permittee

By _____
Leslie Vartanian
Manager – Network Real Estate

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

TO: X RECORDER/COUNTY CLERK
P.O. Box 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT NO.: 258719 PROJECT TITLE: Verizon-Bayview Heights

PROJECT LOCATION-SPECIFIC: 1765 Pentecost Way, San Diego, California 92105

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: Conditional Use Permit (CUP) and Planned Development Permit (PDP) to allow for the construction of a wireless communication facility (WCF) consisting of a 40'-0" high faux mono-broadleaf tree supporting 12 panel antennas, and associated equipment in a 548 square-foot concrete block wall enclosure on a concrete pad. The WCF would be located east of the existing structures on the site.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Kerrigan Diehl (Agent), Plancom, Inc., 302 State Place, 2nd Floor
Escondido, CA 92029
(760) 587-3003

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: CEQA EXEMPTION 15303 (NEW CONSTRUCTION OR CONVERSION OF SMALL STRUCTURES)
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project, a CUP and PDP for a 40'-0" high faux mono-broadleaf tree and associated equipment enclosure meets the criteria set forth in CEQA Section 15303 which addresses the construction and location of limited numbers of new, small facilities or structures. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

LEAD AGENCY CONTACT PERSON: Rhonda Benally

TELEPHONE: (619) 446-5468

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

Anna Z. McQuinn AICP/Senior Planner
SIGNATURE/TITLE

DECEMBER 11, 2012
DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



West Elevation



South Elevation (T-Mobile)



Verizon Tree/Equipment Area



Aerial View of Subject Site

EXISTING



Bayview Heights
1765 Pentecost Way
San Diego, CA 92105



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings.

PROPOSED

Photosimulation of proposed telecommunications site

8/14/2012

EASTERN AREA COMMUNITIES PLANNING COMMITTEE

HOLY SPIRIT CATHOLIC CHURCH
2725 55TH STREET, SAN DIEGO, CA 92105
Chair – Laura Riebau – 619-208-6813

DEVELOPMENT RECOMMENDATION

PROJECT NO: **258719**

PROJECT NAME: **VERIZON WIRELESS
BAYVIEW HEIGHTS**

ADDRESS: **1765 PENTECOST WAY
SAN DIEGO, CA 92105**

DEVELOPMENT: **VERIZON WIRELESS TOWER MODIFICATION AND
UPGRADE OF EXISTING EQUIPMENT**

PROJECT MGR: **KAREN LYNCH-ASHCRAFT**

DATE OF EACPC
MEETING: **MAY 8, 2012**

EACPC MEETING

RECOMMENDATION: Shelly Kilbourn with PlanCom, Inc., presented plans and photo-simulation for an additional Verizon Wireless tower for 4G transmission to be added to existing telecommunications site, which include a mono-broadleaf tower designed to match surrounding trees, a new equipment building designed to match the existing building to look like one, tiered building. Plan is also to include an emergency generator in the event there is a power outage. Discussion with the Board included:

- The Lease with Anchor Church, property owner, is a 20 year lease in 5 year increments which includes water for the vegetation at the site ;
- Service to the site will be once a week and take about one hour; Truck access is through the Church's property and will not affect neighboring properties;
- Step-up design and construction to alleviate noise generated by the site and meets FCC Standards;
- Site is more than 45 feet from all surrounding residences;

The Board approved the plan as presented with the request for irrigation be put in place for vegetation and that a tristiana tree be planted to replace the tree being removed and match surrounding trees on this site.

**The vote was – 7 for approval
1 against approval
Chair abstained**



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other WCF - Telecom

Project Title Project No. For City Use Only

VZ: "Bayview Heights"

Project Address:

1765 Pentecost Way, San Diego, CA 92105

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature :

Date:

| | |
|---|---------------------------------|
| Project Title: Verizon: Gateway Center | Project No. (For City Use Only) |
|---|---------------------------------|

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____

Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

| | |
|--|--|
| Corporate/Partnership Name (type or print): <hr/> <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 4710 CONSTANCE DRIVE City/State/Zip: SAN DIEGO, CA 92115 Phone No: 619-208-6237 Fax No: Name of Corporate Officer/Partner (type or print): JAMES N. LARSON Title (type or print): PRESIDENT Signature: <i>[Signature]</i> Date: 8-15-2011 | Corporate/Partnership Name (type or print): <hr/> <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 4710 CONSTANCE DRIVE City/State/Zip: SAN DIEGO, CA 92115 Phone No: 619-578-9224 Fax No: Name of Corporate Officer/Partner (type or print): JAMES N. LARSON Title (type or print): TREASURER Signature: <i>[Signature]</i> Date: 8-15-2011 |
| Corporate/Partnership Name (type or print): <hr/> <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date: | Corporate/Partnership Name (type or print): <hr/> <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date: |
| Corporate/Partnership Name (type or print): <hr/> <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date: | Corporate/Partnership Name (type or print): <hr/> <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature: Date: |

Project Chronology
AT&T – Tryangle Farm
PTS No. 223294

| Date | Action | Description | City Review Time | Applicant Response |
|-------------------------------------|----------------------------------|--------------------|----------------------------------|---------------------------|
| 10/21/10 | Submittal for Completeness Check | | | |
| 11/29/10 | Completeness Review Assessment | | 1 month, 8 days | |
| 1/20/11 | First Full Submittal | Deemed Complete | | 1 month, 22 days |
| 2/25/11 | First Assessment | | 1 month, 5 days | |
| 7/21/11 | Second Submittal | | | 4 months, 26 days |
| 8/26/11 | Second Assessment | | 1 month, 5 days | |
| 9/27/11 | Third Submittal | | | 1 month, 1 day |
| 10/28/11 | Issues Resolved | | 1 month, 1 day | |
| 1/11/12 | Final MND | | 2 months, 14 days | |
| 2/1/12 | Hearing Officer Hearing | | 21 days | |
| TOTAL STAFF TIME** | | | 7 months 24 days | |
| TOTAL APPLICANT TIME** | | | | 7 months, 19 days |
| TOTAL PROJECT RUNNING TIME** | | | 1 year, 3 months, 11 days | |

**Based on 30 days equals to one month.



THE CITY OF SAN DIEGO

DATE OF NOTICE: March 14, 2013

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING: March 28, 2013
TIME OF HEARING: 9:00 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
202 C Street, San Diego, California 92101

PROJECT TYPE: Conditional Use Permit/Planned Development Permit,
Exempt from CEQA, PROCESS 4
PROJECT NUMBER: 258719
PROJECT NAME: VERIZON – BAYVIEW HEIGHTS
APPLICANT: Shelly Kilbourn, PlanCom, Inc.

COMMUNITY PLAN AREA: Mid-City Communities – Eastern Areas
COUNCIL DISTRICT: District 4

CITY PROJECT MANAGER: Karen Lynch-Ashcraft, Development Project Manager
PHONE NUMBER/E-MAIL: (619) 446-5351/ klvnchash@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility (WCF) consisting of a new 40-foot tall faux broadleaf tree supporting 12 panel antennas. Associated equipment, generator and air conditioner units are proposed to be located in an adjacent 548-square foot block enclosure. The WCF will be located on the eastern side of the Anchor Church property located at 1765 Pentecost Way.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission

ATTACHMENT 13

decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on December 11, 2012 and the opportunity to appeal that determination ended January 2, 2013.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24002198

Revised 10-4-12 HMD-



BAYVIEW HEIGHTS
1765 PENTECOST WAY
SAN DIEGO, CA 92105

VICINITY MAP

THOMAS GUIDE PAGE 1290, A2

ADDRESS
 1765 PENTECOST WAY
 SAN DIEGO, CA 92105

DIRECTIONS:
 FROM VERIZON WIRELESS OFFICES IN IRVINE: TAKE I-5 SOUTH TO HIGHWAY 94 EAST, EXIT AT EUCLID AVENUE, NORTH ON EUCLID AVENUE, RIGHT ON FEDERAL BOULEVARD/BAYVIEW HEIGHTS DRIVE, LEFT ON PENTECOST WAY, SITE IS AT END OF STREET & EAST END OF CHURCH PROPERTY.

FCC COMPLIANCE STATEMENT

THE WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.

ENERGY NOTE:
 0% FROM ON-SITE RENEWABLE POWER SOURCE

CONSULTANT TEAM

ARCHITECT:
 BOOTH & SUAREZ ARCHITECTURE, INC.
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008
 (760) 434-8474
 (760) 434-8596 (FAX)

SURVEYOR:
 JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE, SUITE 107
 SAN CLEMENTE CA 92672
 (949) 248-4685

LEASING/PLANNING:
 PLANCOM, INC.
 GREG MOORAD
 302 STATE PLACE
 ESCONDIDO, CA 92029
 (858) 603-2336

TYPE OF PERMIT REQUIRED:
 ● NEIGHBORHOOD USE

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE.

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
 15505 SAND CANYON AVENUE
 IRVINE, CA 92618
 CONTACT: GREG MOORAD
 PHONE: (858) 603-2336

OWNER: REVIVAL PENTECOSTAL TABERNACLE OF SAN DIEGO CA
 1765 PENTECOST WAY
 SAN DIEGO, CA 92105
 CONTACT: PASTOR JAMES LARSON
 PHONE: (619) 264-1166

PROJECT DESCRIPTION:

- PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK WALL BUILDING WITH STUCCO FINISH AND A WOOD TRELLIS ON A CONCRETE PAD. PAINT TO MATCH EXISTING T-MOBILE EQUIPMENT ENCLOSURE
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED TO A NEW 40'-0" HIGH MONO-BROADLEAF
- INSTALLATION OF A 30KW ENCLOSED EMERGENCY GENERATOR WITH A 150 GALLON DIESEL TANK ON A CONCRETE PAD WITH A CONTAINMENT CURB INSIDE A CONCRETE BLOCK WALL SOUND ATTENUATION BUILDING
- INSTALLATION OF TWO (2) VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF NEW COAXIAL CABLE IN A COAX CABLE TRAY BETWEEN THE PROPOSED MONO-BROADLEAF AND THE PROPOSED VERIZON WIRELESS EQUIPMENT ENCLOSURE
- INSTALLATION OF NEW 200 AMP ELECTRICAL METER WITH UNDERGROUND ELECTRICAL CONDUIT FEED FROM EXISTING SDG&E UTILITY POLE
- INSTALLATION OF NEW UNDERGROUND TELCO SERVICE CONNECTION FROM EXISTING SDG&E UTILITY POLE
- MINOR LANDSCAPE AND IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS: 1765 PENTECOST WAY
 SAN DIEGO, CA 92105

ASSESSORS PARCEL NUMBER: 542-320-29 & 30

EXISTING ZONING: RM-2-5

TOTAL SITE AREA: 43,168 SF
 0.99 ACRES

PROPOSED AREA: 428 SQ. FT.

EQUIPMENT BUILDING: 120 SQ. FT.

MECHANICAL ENCLOSURE: 120 SQ. FT.

PROPOSED OCCUPANCY: U

PROPOSED TYPE OF CONSTRUCTION: V-B

NOTE: THERE IS ONE EXISTING TELECOMMUNICATIONS FACILITIES ON THIS SITE (T-MOBILE)

SHEET SCHEDULE

| | |
|-----|---|
| T-1 | TITLE SHEET & PROJECT DATA |
| A-0 | SITE PLAN |
| A-1 | ENLARGED SITE PLAN |
| A-2 | EQUIPMENT FLOOR PLAN |
| A-3 | ROOF & TRELLIS PLANS |
| A-4 | EXTERIOR ELEVATIONS |
| A-5 | MONOBROADLEAF ELEVATION, ANTENNA PLAN & DETAILS |
| L-1 | LANDSCAPE DEVELOPMENT PLAN |
| L-2 | PLANTING LEGEND |
| C-1 | TOPOGRAPHIC SURVEY |
| C-2 | TOPOGRAPHIC SURVEY |

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A: PARCEL 1 OF PARCEL MAP NO. 4120, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY ON SEPTEMBER 30, 1975.

PARCEL B: THAT PORTION OF LOT 17 OF THE RANCHO MISSION OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO PARTITION MAP THEREOF NO. 5416, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY.

FOR ADDITIONAL LEGAL DESCRIPTION INFORMATION SEE SHEET C-1

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
 CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION
 CALIFORNIA PLUMBING CODE, 2010 EDITION
 CALIFORNIA MECHANICAL CODE, 2010 EDITION
 CALIFORNIA ELECTRICAL CODE, 2010 EDITION
 CALIFORNIA FIRE CODE, 2010 EDITION
 CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

| | |
|--------|------|
| A&C | DATE |
| RE | DATE |
| RF | DATE |
| INT | DATE |
| EE/IN | DATE |
| OPS | DATE |
| EE/OUT | DATE |

PROJECT NAME
BAYVIEW HEIGHTS
 1765 PENTECOST WAY
 SAN DIEGO, CA 92105
 SAN DIEGO COUNTY

DRAWING DATES

| | |
|----------|----------------------|
| 08/10/11 | 80% ZD (rd) |
| 08/22/11 | 100% ZD (se) |
| 08/25/11 | REVISED 100% ZD (rd) |
| 09/15/11 | REVISED 100% ZD (rd) |
| 11/09/11 | REVISED 100% ZD (se) |
| 11/15/11 | REVISED 100% ZD (se) |
| 08/09/12 | REVISED 100% ZD (se) |
| 08/10/12 | REVISED 100% ZD (se) |
| 10/12/12 | REVISED 100% ZD (se) |

SHEET TITLE
TITLE SHEET & PROJECT DATA

PROJECTS\VERIZON\11120

T-1

Booth & Suarez
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE 02
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR

 P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

| | |
|--------|------|
| A&C | DATE |
| RE | DATE |
| RF | DATE |
| INT | DATE |
| EE/IN | DATE |
| OPS | DATE |
| EE/OUT | DATE |

PROJECT NAME
BAYVIEW HEIGHTS
 1765 PENTECOST WAY
 SAN DIEGO, CA 92105
 SAN DIEGO COUNTY

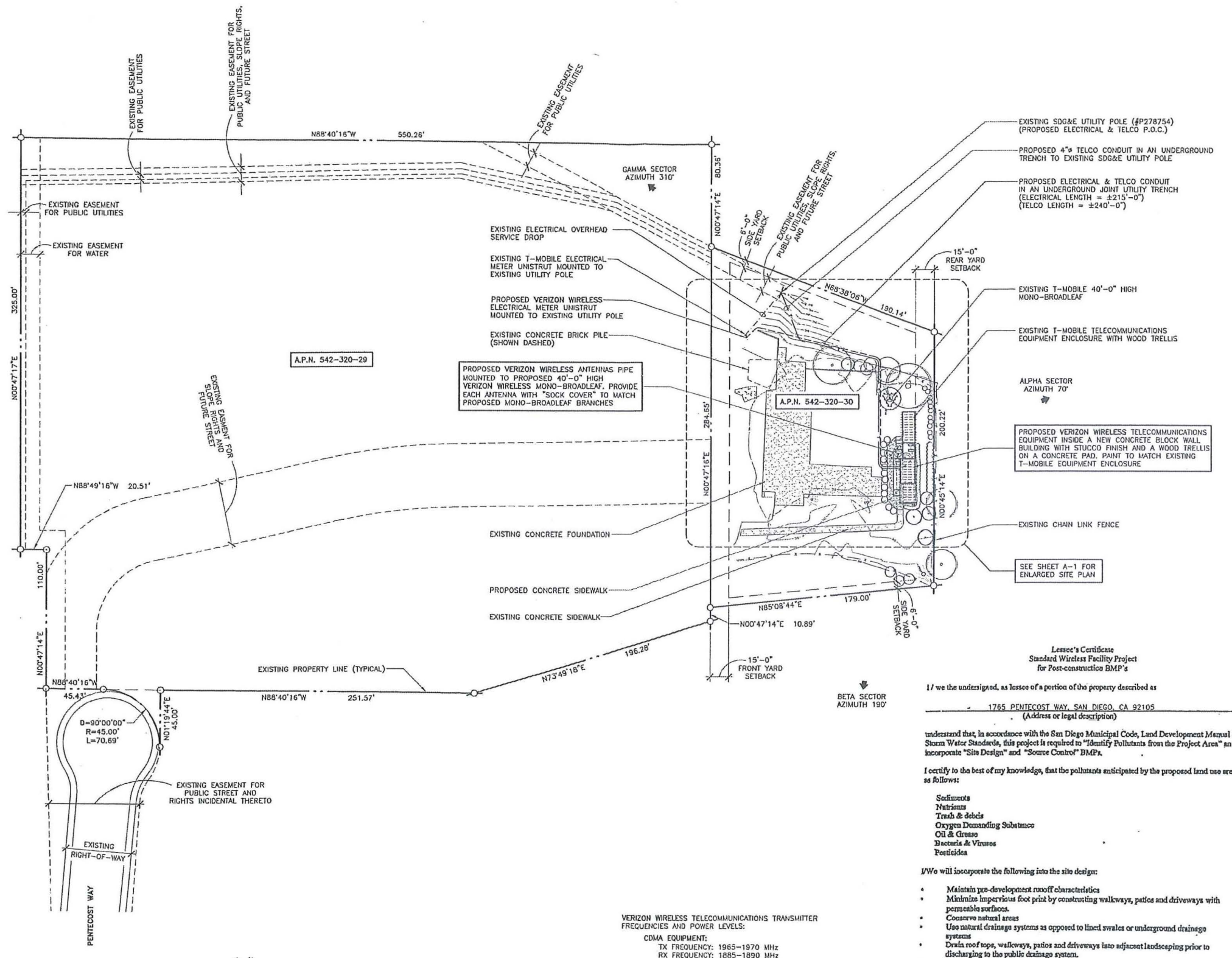
DRAWING DATES

| | |
|----------|----------------------|
| 08/10/11 | 80% ZD (rol) |
| 08/22/11 | 100% ZD (se) |
| 08/25/11 | REVISED 100% ZD (rd) |
| 09/16/11 | REVISED 100% ZD (rd) |
| 11/08/11 | REVISED 100% ZD (se) |
| 11/16/11 | REVISED 100% ZD (se) |
| 08/09/12 | REVISED 100% ZD (se) |
| 08/10/12 | REVISED 100% ZD (se) |
| 10/12/12 | REVISED 100% ZD (se) |

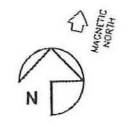
SHEET TITLE
SITE PLAN

PROJECTS\VERIZON\11120

A-0



SITE PLAN
 SCALE: 1" = 40'-0"



VERIZON WIRELESS TELECOMMUNICATIONS TRANSMITTER
 FREQUENCIES AND POWER LEVELS:

CDMA EQUIPMENT:
 TX FREQUENCY: 1965-1970 MHz
 RX FREQUENCY: 1885-1890 MHz
 TX POWER: 600W

PCS EQUIPMENT:
 TX FREQUENCY: 890-894 MHz
 RX FREQUENCY: 835-848 MHz
 TX POWER: 6150W

EASEMENTS:
 EASEMENTS SHOWN REFLECT PRELIMINARY RESEARCH OF
 RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT.
 EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT.
 SEE SHEET C-1 FOR ADDITIONAL INFORMATION ON
 NON-PLOTTABLE EASEMENTS

BOUNDARY NOTE:
 THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING
 ARE FOR REFERENCE ONLY. A COMPLETE BOUNDARY
 SURVEY WAS NOT PERFORMED

Lessee's Certificate
 Standard Wireless Facility Project
 for Post-construction BMP's
 1765 PENTECOST WAY, SAN DIEGO, CA 92105
 (Address or legal description)

I, the undersigned, as Lessee of a portion of the property described as
 1765 PENTECOST WAY, SAN DIEGO, CA 92105
 (Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual -
 Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and
 incorporate "Site Design" and "Source Control" BMP's.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are
 as follows:
 Sediments
 Nutrients
 Trash & debris
 Oxygen Demanding Substance
 Oil & Grease
 Bacteria & Viruses
 Pesticides

- I/We will incorporate the following into the site design:
- Maintain pre-development runoff characteristics
 - Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
 - Conserve natural areas
 - Use natural drainage systems as opposed to lined swales or underground drainage systems
 - Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
 - Preserve existing native trees and shrubs
 - Protect all slopes from erosion

Additionally, I/We will:
 Minimize the use of pesticides
 Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

I/We will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee: Dwight Woods (print name) Company Name: Verizon Wireless
 Date: 1-9-2008

PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

| A&C | DATE |
|--------|------|
| RE | DATE |
| RF | DATE |
| INT | DATE |
| EE/IN | DATE |
| OPS | DATE |
| EE/OUT | DATE |

PROJECT NAME

BAYVIEW HEIGHTS
 1765 PENTECOST WAY
 SAN DIEGO, CA 92105
 SAN DIEGO COUNTY

DRAWING DATES

| | |
|----------|----------------------|
| 08/10/11 | 80% ZD (rel) |
| 08/22/11 | 100% ZD (sa) |
| 08/25/11 | REVISED 100% ZD (rd) |
| 09/16/11 | REVISED 100% ZD (rd) |
| 11/08/11 | REVISED 100% ZD (sa) |
| 11/16/11 | REVISED 100% ZD (sa) |
| 08/09/12 | REVISED 100% ZD (sa) |
| 08/10/12 | REVISED 100% ZD (sa) |
| 10/12/12 | REVISED 100% ZD (sa) |

SHEET TITLE

ENLARGED SITE PLAN

PROJECTS\VERIZON\11120

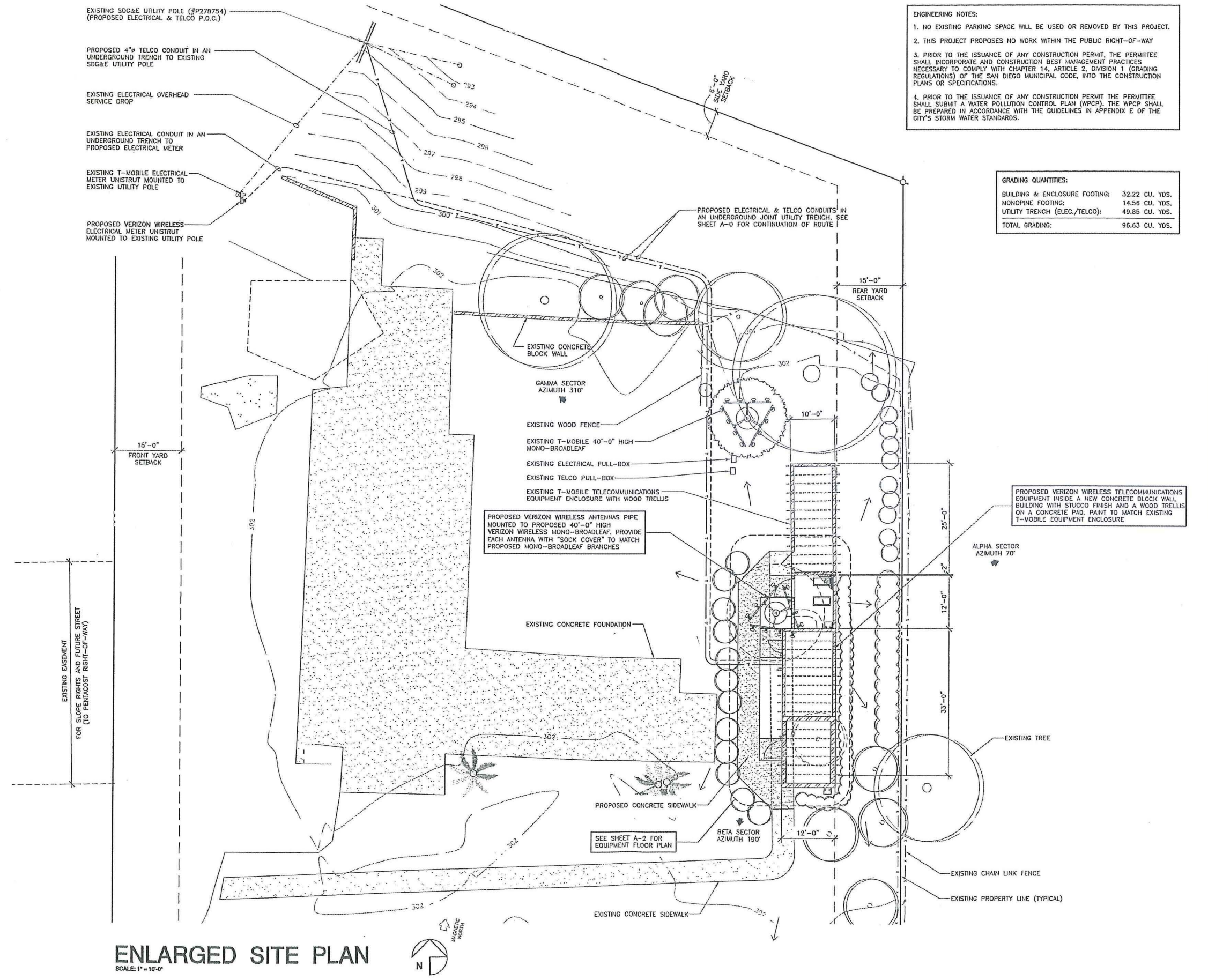
A-1

ENGINEERING NOTES:

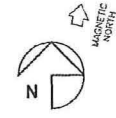
1. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
2. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE AND CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

GRADING QUANTITIES:

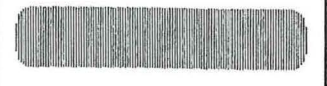
| | |
|-------------------------------|-----------------------|
| BUILDING & ENCLOSURE FOOTING: | 32.22 CU. YDS. |
| MONOPINE FOOTING: | 14.56 CU. YDS. |
| UTILITY TRENCH (ELEC./TELCO): | 49.85 CU. YDS. |
| TOTAL GRADING: | 96.63 CU. YDS. |



ENLARGED SITE PLAN
 SCALE: 1" = 10'-0"



BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 395 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

 P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

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| OPS | DATE |
| EE/OUT | DATE |

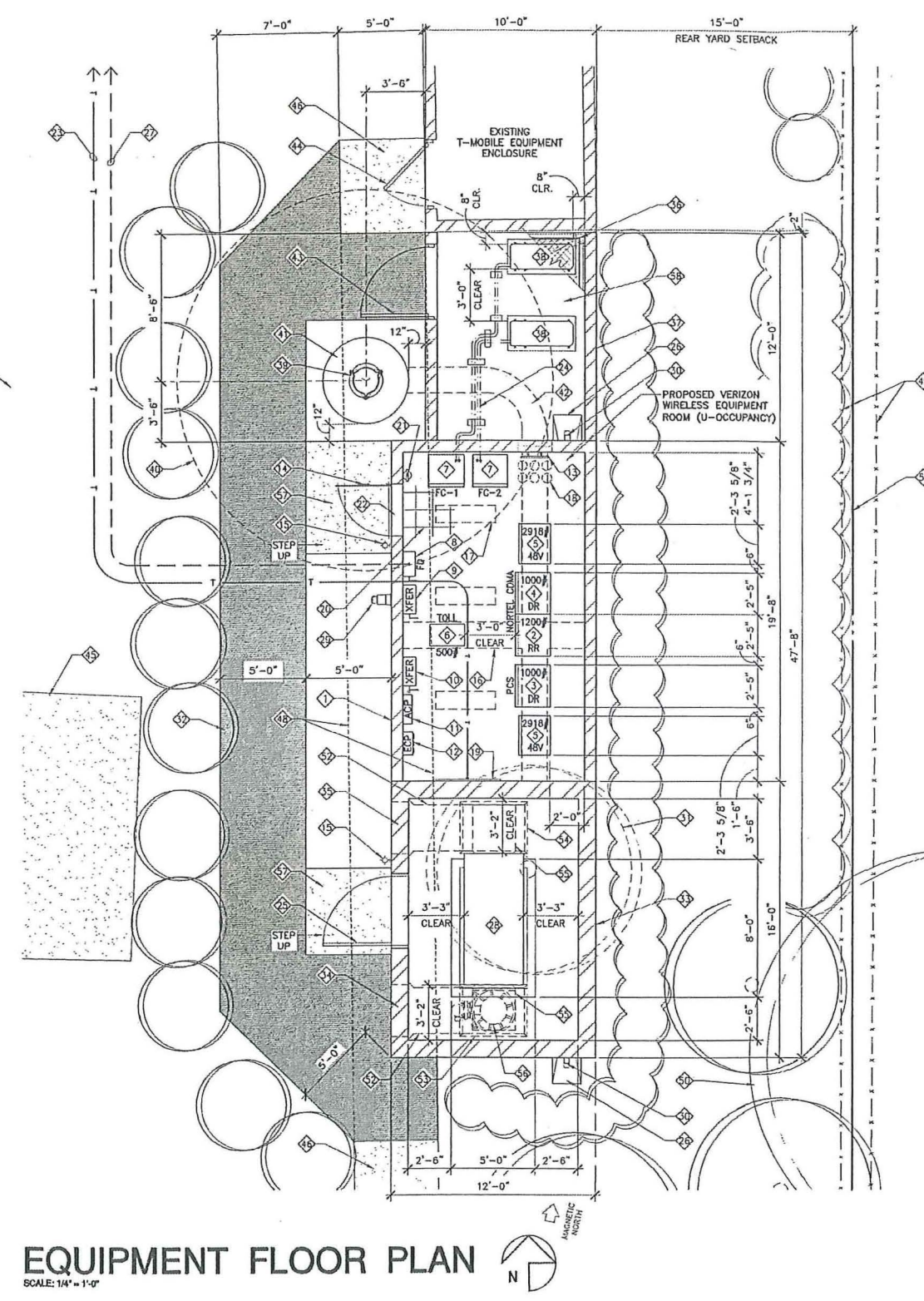
PROJECT NAME
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 SAN DIEGO, CA 92105
 SAN DIEGO COUNTY

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| 08/09/12 | REVISED 100% ZD (se) |
| 08/10/12 | REVISED 100% ZD (se) |
| 10/12/12 | REVISED 100% ZD (se) |

SHEET TITLE
EQUIPMENT FLOOR PLAN

PROJECTS\VERIZON\11120



EQUIPMENT FLOOR PLAN
 SCALE: 1/4" = 1'-0"

EQUIPMENT FLOOR PLAN NOTES:

- 1. PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK WALL BUILDING WITH STUCCO FINISH AND A WOOD TRELLIS ON A CONCRETE PAD. PAINT TO MATCH EXISTING T-MOBILE EQUIPMENT ENCLOSURE
- 2. PROPOSED VERIZON WIRELESS NORTTEL CDMA EQUIPMENT RADIO RACK (RR) 29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1200 LBS.
- 3. PROPOSED VERIZON WIRELESS NORTTEL CDMA EQUIPMENT RACK (DR) 29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1000 LBS.
- 4. PROPOSED VERIZON WIRELESS PCS EQUIPMENT RACK (DR) 29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1000 LBS.
- 5. PROPOSED VERIZON WIRELESS BATTERY RACK. 27'-5/8" WIDE x 57" HIGH x 22'-1/2" DEEP. WEIGHT: 2918 LBS.
- 6. PROPOSED VERIZON WIRELESS TOLL RACK. 24" WIDE x 57" HIGH x 15" DEEP. WEIGHT: 500 LBS.
- 7. PROPOSED AIR HANDLERS
- 8. PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
- 9. PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO WALL
- 10. PROPOSED MANUAL TRANSFER SWITCH MOUNTED TO WALL
- 11. PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- 12. PROPOSED ENVIRONMENTAL CONTROL PANEL MOUNTED TO WALL
- 13. PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
- 14. PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 15. PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 16. PROPOSED OVERHEAD 18" CABLE LADDER @ +7'-6" (SHOWN DASHED)
- 17. PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 3)
- 18. PROPOSED (6) 6" CONDUITS FOR COAX CABLE
- 19. PROPOSED WALL MOUNTED TELCO BOARD
- 20. PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES. EXCELON #51973 MONO WHITE WITH 4" COVER BASE
- 21. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- 22. PROPOSED ALUMINUM THRESHOLD
- 23. PROPOSED UNDERGROUND TELCO CONDUIT TRENCH
- 24. PROPOSED CONDENSATE DRAIN LINE ROUTING
- 25. PROPOSED 4'-0" WIDE SOLID STEEL DOOR AND FRAME
- 26. PROPOSED SPLASH BLOCK
- 27. PROPOSED UNDERGROUND ELECTRICAL CONDUIT TRENCH
- 28. PROPOSED VERIZON WIRELESS 30kw ENCLOSED EMERGENCY GENERATOR WITH A 150 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD. "KOHLER" SOROSZAC-VER GENERATOR UNIT OR EQUIVALENT SIZED UNIT WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 65 dBA AT A REFERENCE DISTANCE OF 23 FEET.
- 29. PROPOSED VERIZON WIRELESS REVERSE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 30. PROPOSED DOWNSPOUTS
- 31. EXISTING TREE TO BE REMOVED (SHOWN DASHED)
- 32. PROPOSED CONCRETE SIDEWALK (SHOWN SHADED)
- 33. PROPOSED CONCRETE BLOCK WALL SOUND ATTENUATION BUILDING WITH SMOOTH STUCCO FINISH. PAINTED TO MATCH EXISTING T-MOBILE EQUIPMENT ENCLOSURE (NOISE CONTROL FEATURE). SEE NOTE BELOW.
- 34. PROPOSED 36" x 36" LOUVERED AIR INTAKE VENT
- 35. PROPOSED 36" x 36" LOUVERED AIR EXHAUST VENT
- 36. PROPOSED CHAINLINK LID
- 37. PROPOSED 6'-8" HIGH CONCRETE BLOCK WALL WITH SMOOTH STUCCO FINISH, PAINTED TO MATCH EXISTING T-MOBILE EQUIPMENT ENCLOSURE (PAD ELEVATION IS 6" OFF FINISH GRADE. CONCRETE BLOCK WALL IS 6'-5" ABOVE FINISH PAD ELEVATION) (NOISE CONTROL FEATURE). SEE NOTE BELOW.
- 38. PROPOSED MECHANICAL UNITS ON A CONCRETE PAD (TYPICAL OF 2). "CARRIER AIR CONDITIONING UNITS MODEL 38HOROSO OR EQUIVALENT SIZED UNITS."
- 39. PROPOSED 40'-0" HIGH VERIZON WIRELESS MONO-BROADLEAF
- 40. OUTLINE OF PROPOSED MONO-BROADLEAF CANOPY
- 41. PROPOSED MONO-BROADLEAF CONCRETE FOOTING
- 42. PROPOSED COAXIAL CABLE TRENCH
- 43. PROPOSED 4'-0" WIDE STEEL GATE & FRAME PAINTED TO MATCH THE COLOR OF EXISTING T-MOBILE ENCLOSURE GATE
- 44. EXISTING STEEL GATE
- 45. EXISTING CONCRETE FOUNDATION
- 46. EXISTING CONCRETE SIDEWALK
- 47. EXISTING LANDSCAPE AREA
- 48. EXISTING SIDEWALK TO BE REMOVED (SHOWN DASHED)
- 49. EXISTING CHAIN LINK FENCE
- 50. EXISTING TREE
- 51. EXISTING PROPERTY LINE (TYPICAL)
- 52. PROPOSED DUCT (SHOWN DASHED)
- 53. PROPOSED AIR INLET INLINE SILENCER (SHOWN DASHED)
- 54. PROPOSED AIR OUTLET INLINE SILENCER (SHOWN DASHED)
- 55. PROPOSED FLEXIBLE DUCT (SHOWN DASHED)
- 56. PROPOSED TUBULAR CENTRIFUGAL AIR BLOWER (SHOWN DASHED)
- 57. PROPOSED CONCRETE LANDING AND STEP
- 58. INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARRIER WITHIN MECHANICAL AREA

NOTE: THE BLOCK WALL SOUND ATTENUATION BUILDING IS CONSIDERED A PROJECT NOISE DESIGN FEATURE THAT REDUCES NOISE LEVELS DEMONSTRATING COMPLIANCE WITH COUNTY NOISE STANDARDS.

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE D2
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

| A&C | DATE |
|--------|------|
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PROJECT NAME

BAYVIEW HEIGHTS

1765 PENTECOST WAY
 SAN DIEGO, CA 92105
 SAN DIEGO COUNTY

DRAWING DATES

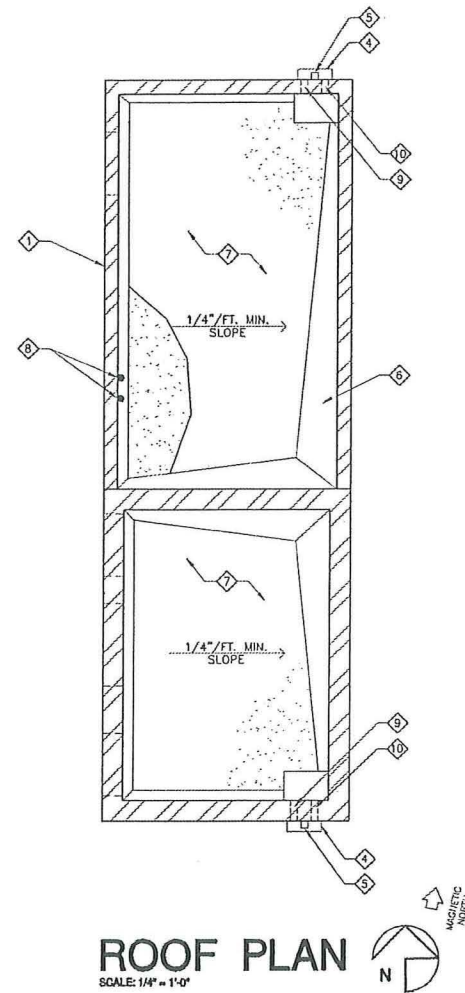
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| 08/10/12 | REVISED 100% ZD (sa) |
| 10/12/12 | REVISED 100% ZD (sa) |

SHEET TITLE

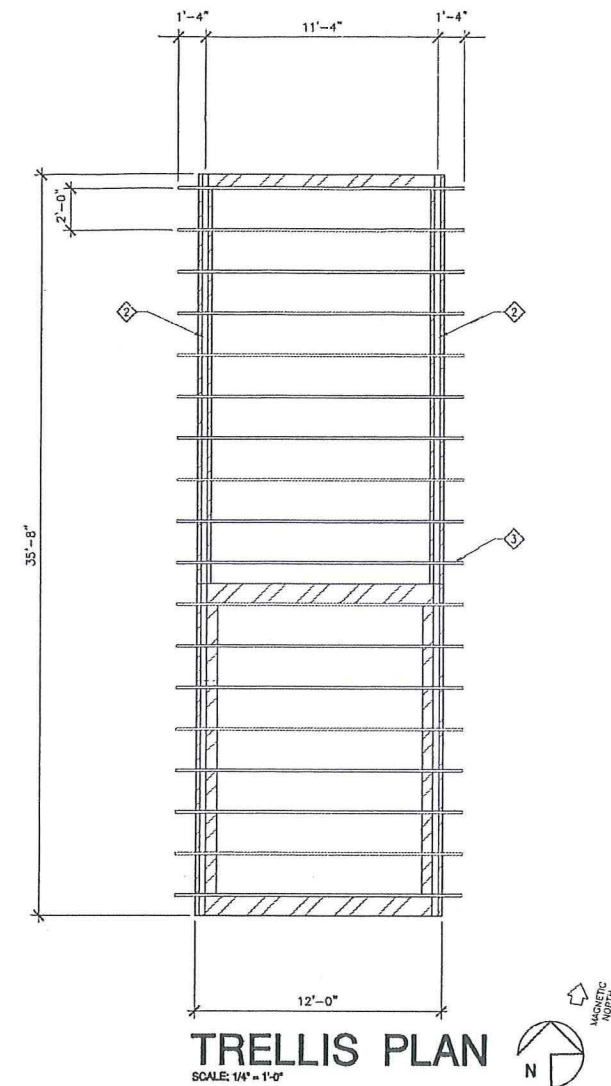
ROOF & TRELLIS PLANS

PROJECTS\VERIZON\111120

A-3



ROOF PLAN
 SCALE: 1/4" = 1'-0"



TRELLIS PLAN
 SCALE: 1/4" = 1'-0"

TRELLIS & ROOF PLAN NOTES:

- 1 PROPOSED CONCRETE BLOCK PARAPET WALL
- 2 PROPOSED ROUGH SAWN 4 x 10 BEAM (TYPICAL)
- 3 PROPOSED ROUGH SAWN 2 x 12 @ 24" O.C. (TYPICAL)
- 4 PROPOSED ROOF DRAIN AND OVERFLOW SCUPPER
- 5 PROPOSED DOWNSPOUT
- 6 PROPOSED ROOF CRICKET
- 7 BUILT-UP ROOFING
- 8 PROPOSED (2) E911/GPS ANTENNAS MOUNTED TO INSIDE FACE OF PARAPET WALL
- 9 PROPOSED ROOF OVERFLOW
- 10 PROPOSED ROOF DRAIN

Booth & Suarez
 ARCHITECTURE INCORPORATED
 305 CARLSBAD VILLAGE DRIVE SUITE 09
 CARLSBAD, CA 92008 (760) 434-3474

PREPARED FOR

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 IRVINE, CA 92623-9707
 (949) 286-7000

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| OPS | DATE |
| EE/OUT | DATE |

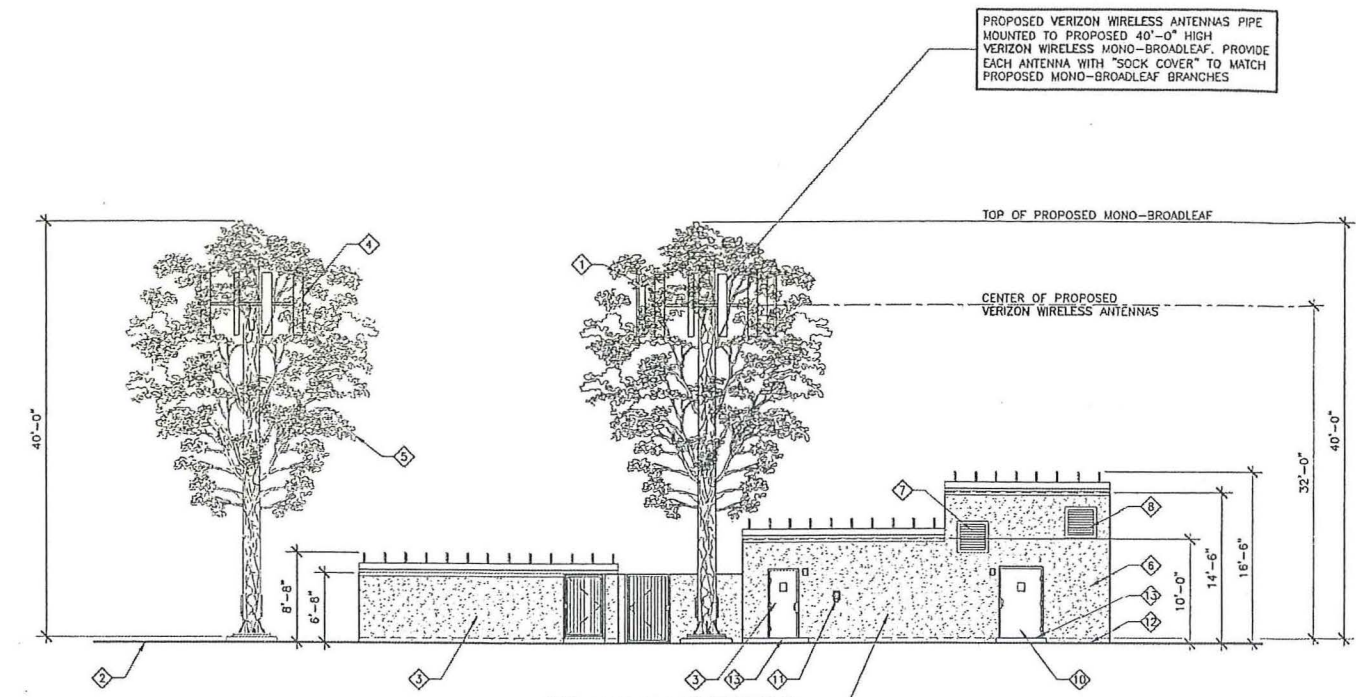
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 1765 PENTECOST WAY
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 SAN DIEGO COUNTY

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| 08/09/12 | REVISED 100% ZD (so) |
| 08/10/12 | REVISED 100% ZD (so) |
| 10/12/12 | REVISED 100% ZD (so) |

SHEET TITLE
EXTERIOR ELEVATIONS

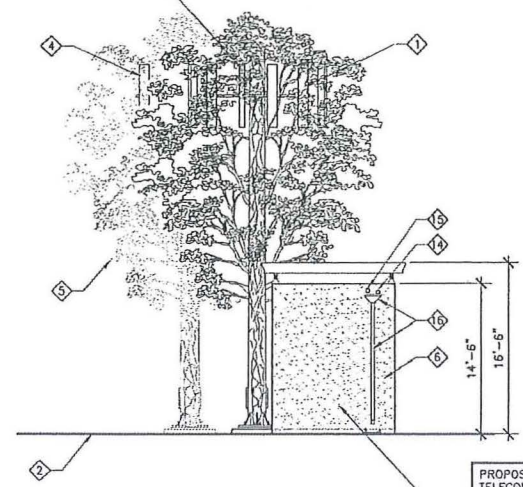
PROJECTS\VERIZON\11120



WEST ELEVATION
 SCALE: 1/8" = 1'-0"

PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK WALL BUILDING WITH STUCCO FINISH AND A WOOD TRELLIS ON A CONCRETE PAD. PAINT TO MATCH EXISTING T-MOBILE EQUIPMENT ENCLOSURE

PROPOSED VERIZON WIRELESS ANTENNAS PIPE MOUNTED TO PROPOSED 40'-0" HIGH VERIZON WIRELESS MONO-BROADLEAF. PROVIDE EACH ANTENNA WITH "SOCK COVER" TO MATCH PROPOSED MONO-BROADLEAF BRANCHES

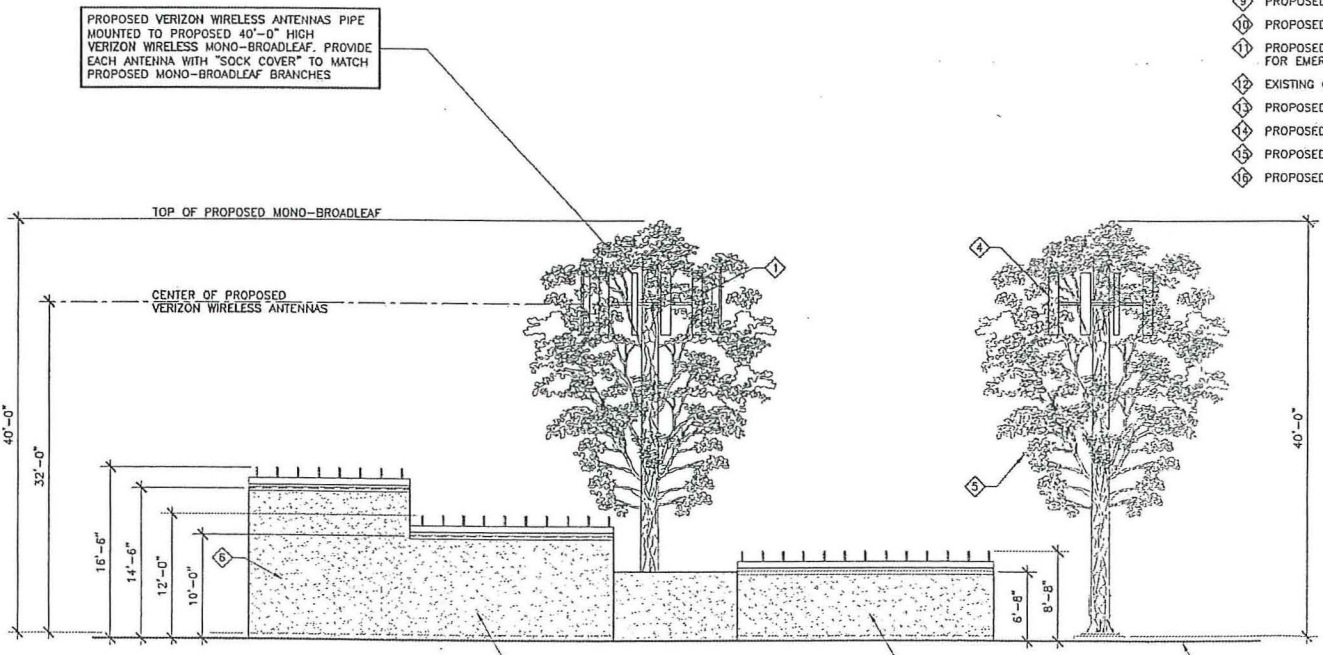


SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK WALL BUILDING WITH STUCCO FINISH AND A WOOD TRELLIS ON A CONCRETE PAD. PAINT TO MATCH EXISTING T-MOBILE EQUIPMENT ENCLOSURE

ELEVATION NOTES:

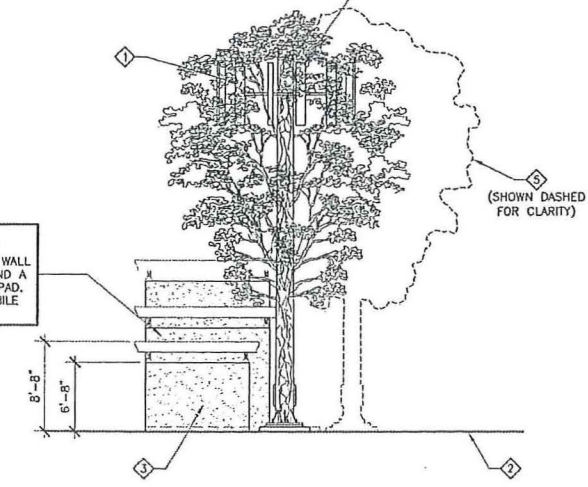
- 1 PROPOSED VERIZON WIRELESS ANTENNAS
- 2 EXISTING GRADE
- 3 EXISTING T-MOBILE TELECOMMUNICATIONS EQUIPMENT ENCLOSURE WITH WOOD TRELLIS
- 4 EXISTING T-MOBILE ANTENNAS ON EXISTING MONO-BROADLEAF
- 5 EXISTING T-MOBILE MONO-BROADLEAF
- 6 PROPOSED CONCRETE BLOCK WALL SOUND ATTENUATION BUILDING WITH SMOOTH STUCCO FINISH, PAINTED TO MATCH EXISTING T-MOBILE EQUIPMENT ENCLOSURE (NOISE CONTROL FEATURE).
- 7 PROPOSED 36" x 36" LOUVERED AIR INTAKE VENT
- 8 PROPOSED 36" x 36" LOUVERED AIR EXHAUST VENT
- 9 PROPOSED STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 10 PROPOSED 4'-0" WIDE SOLID STEEL DOOR AND FRAME
- 11 PROPOSED VERIZON WIRELESS REVERSE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 12 EXISTING CONCRETE SIDEWALK
- 13 PROPOSED CONCRETE LANDING
- 14 PROPOSED ROOF DRAIN
- 15 PROPOSED ROOF OVERFLOW
- 16 PROPOSED SCUPPER AND DOWNSPOUT FOR ROOF DRAINAGE



EAST ELEVATION
 SCALE: 1/8" = 1'-0"

PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK WALL BUILDING WITH STUCCO FINISH AND A WOOD TRELLIS ON A CONCRETE PAD. PAINT TO MATCH EXISTING T-MOBILE EQUIPMENT ENCLOSURE

PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK WALL BUILDING WITH STUCCO FINISH AND A WOOD TRELLIS ON A CONCRETE PAD. PAINT TO MATCH EXISTING T-MOBILE EQUIPMENT ENCLOSURE



NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

Booth & Suarez
 ARCHITECTURE INCORPORATED
 395 CARLSBAD VILLAGE DRIVE, SUITE 02
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR
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 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

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 SAN DIEGO COUNTY

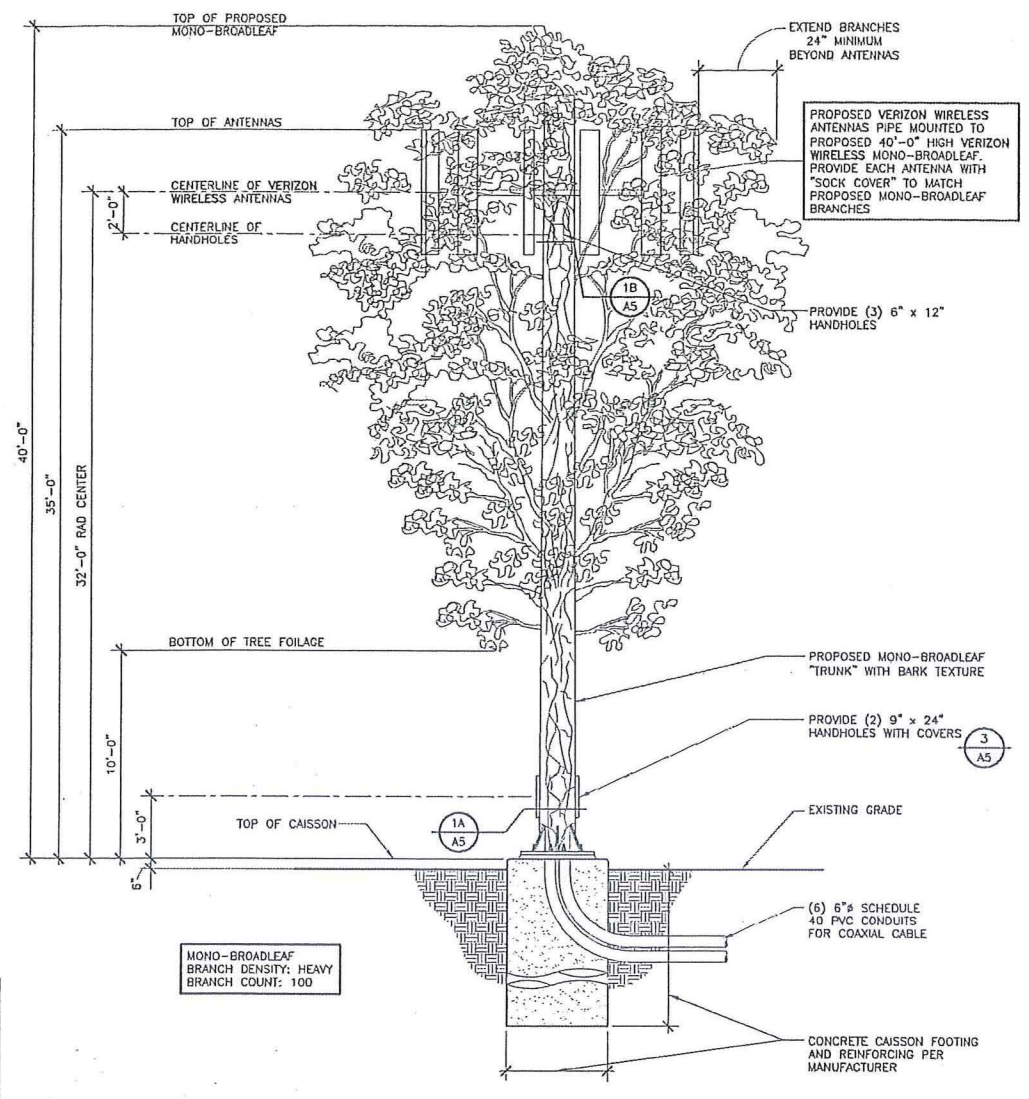
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| 08/10/12 | REVISED 100% ZD (se) |
| 10/12/12 | REVISED 100% ZD (se) |

SHEET TITLE
MONO-BROADLEAF ELEVATION, ANTENNA PLAN & DETAILS

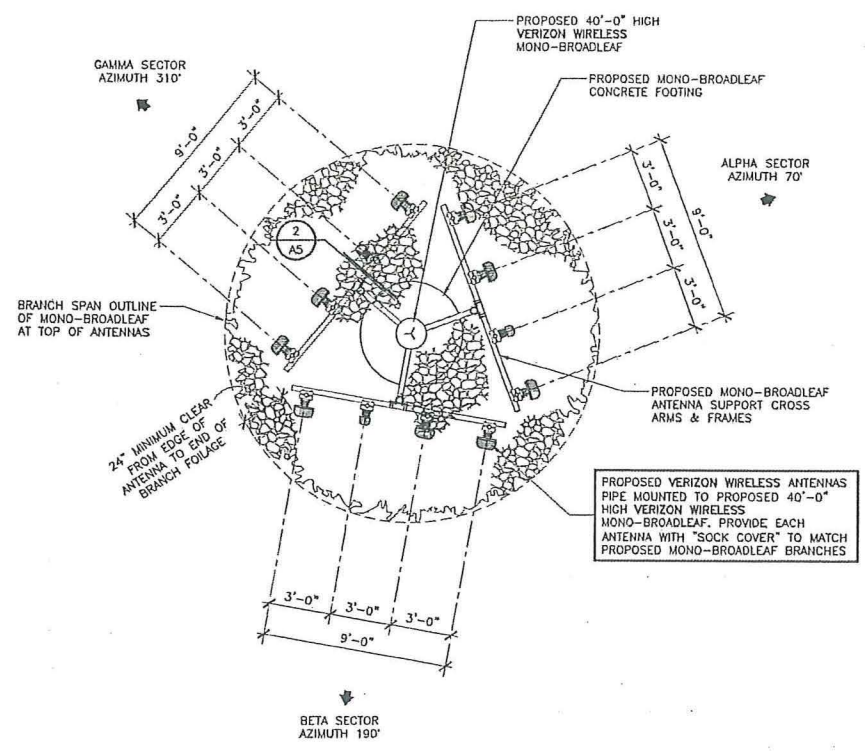
PROJECTS\VERIZON\11120

A-5



MONO-BROADLEAF ELEVATION
 SCALE: 1/4" = 1'-0"

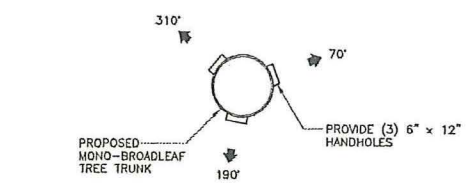
NOTE: NO EXPOSED PIPES ABSENT ANTENNAS SHALL BE INSTALLED AT ANY TIME.
 MONO-BROADLEAF MANUFACTURE: CELL TREES CONTACT: DAVID WEEKLEY



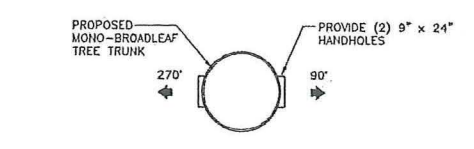
ANTENNA PLAN
 SCALE: 1/4" = 1'-0"

VERIZON ANTENNA AND COAXIAL CABLE SCHEDULE

| SECTOR ANTENNA | DIRECTION | AZIMUTH | ANTENNA MODEL NUMBER | DOWNWILT | SKEW ANGLE | SERIAL NUMBER | NO. OF COAXIAL CABLES | COAX. CABLE LENGTH (+/- 5') | JUMPER LENGTH (+/- 3') | COAX SIZE |
|----------------|-----------|---------|-----------------------------------|----------|------------|---------------|-----------------------|-----------------------------|------------------------|-----------|
| ALPHA1 | EAST | 70° | AMPHENOL ANTEL: BXA-70063/6CF_5 | 0' | - | | 8 | 60'-0" | 6' | 7/8" |
| ALPHA2 | | | AMPHENOL ANTEL: BXA-80063/6CF_5 | | | | | | | |
| ALPHA3 | | | AMPHENOL ANTEL: BXA-171063/12CF_2 | | | | | | | |
| ALPHA4 | | | AMPHENOL ANTEL: BXA-70063/6CF_5 | | | | | | | |
| BETA1 | SOUTH | 190° | AMPHENOL ANTEL: BXA-70063/6CF_10 | 0' | - | | 8 | 60'-0" | 6' | 7/8" |
| BETA2 | | | AMPHENOL ANTEL: BXA-80063/6CF_10 | | | | | | | |
| BETA3 | | | AMPHENOL ANTEL: BXA-171063/12CF_2 | | | | | | | |
| BETA4 | | | AMPHENOL ANTEL: BXA-70063/6CF_10 | | | | | | | |
| GAMMA1 | NORTHWEST | 310° | AMPHENOL ANTEL: BXA-70063/6CF_10 | 0' | - | | 8 | 60'-0" | 6' | 7/8" |
| GAMMA2 | | | AMPHENOL ANTEL: BXA-80063/6CF_10 | | | | | | | |
| GAMMA3 | | | AMPHENOL ANTEL: BXA-171063/12CF_2 | | | | | | | |
| GAMMA4 | | | AMPHENOL ANTEL: BXA-70063/6CF_10 | | | | | | | |

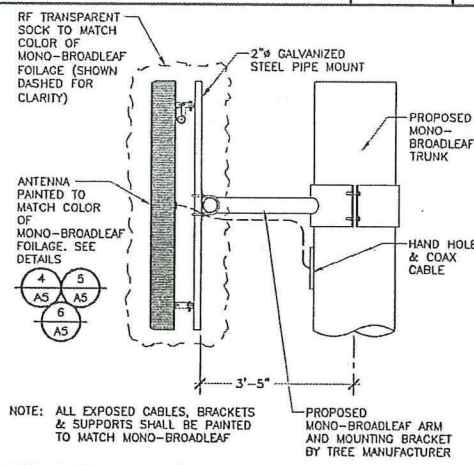


POLE PLAN AT UPPER HANDHOLES @ 30'-0"

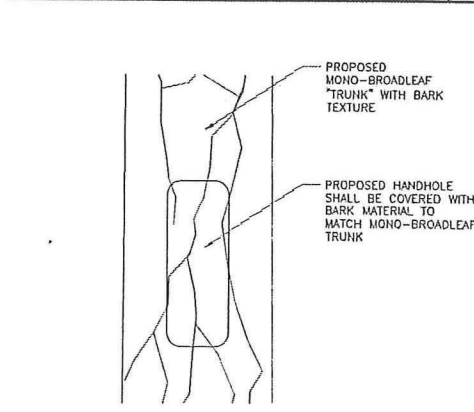


POLE PLAN AT LOWER HANDHOLES @ 3'-0"

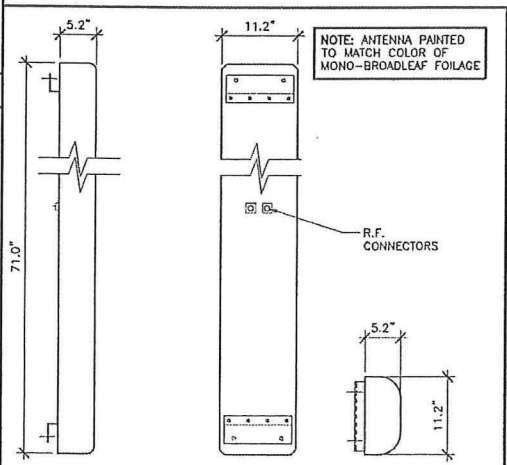
HANDHOLE DETAIL SCALE N.T.S. 1



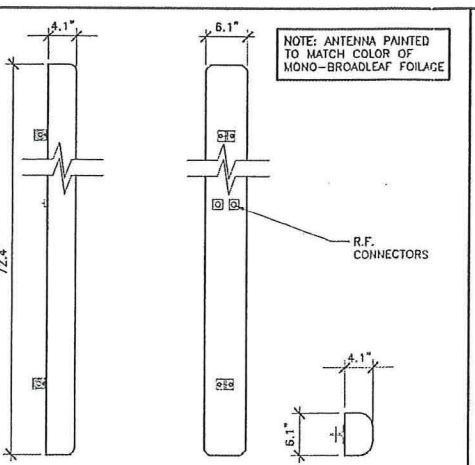
TYPICAL ANTENNA MOUNT SCALE 1/2" = 1'-0" 2



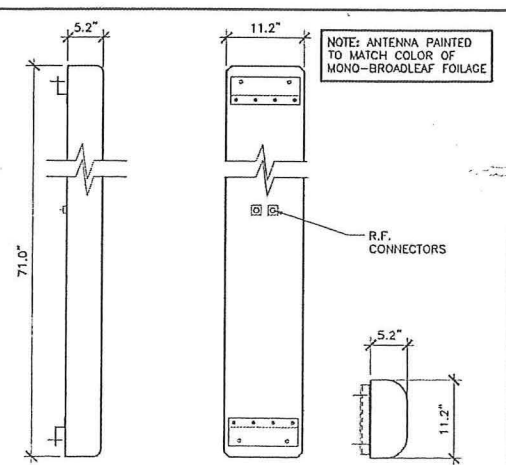
HANDHOLE COVER SCALE N.T.S. 3



'ANTEL ANTENNA' MODEL BXA-70063/6CF WEIGHT: 17.0 LBS. SCALE 1" = 1'-0" 4



'ANTEL ANTENNA' MODEL BXA-171063/12CF WEIGHT: 15.0 LBS. SCALE 1" = 1'-0" 5



'ANTEL ANTENNA' MODEL BXA-80063/6CF WEIGHT: 17.0 LBS. SCALE 1" = 1'-0" 6

NO DETAIL THIS SPACE

'ANTEL ANTENNA' SCALE 1" = 1'-0" 7

Booth & Suarez
 ARCHITECTURE INCORPORATED
 325 CARLSBAD VILLAGE DRIVE, SUITE 07
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

| A&C | DATE |
|--------|------|
| RE | DATE |
| RF | DATE |
| INT | DATE |
| EE/IN | DATE |
| OPS | DATE |
| EE/OUT | DATE |

PROJECT NAME

BAYVIEW HEIGHTS

1765 PENTECOST WAY
 SAN DIEGO, CA 92105
 SAN DIEGO COUNTY

DRAWING DATES

| | |
|----------|----------------------|
| 08/10/11 | 80% ZD (rol) |
| 08/22/11 | 100% ZD (se) |
| 08/25/11 | REVISED 100% ZD (rd) |
| 09/16/11 | REVISED 100% ZD (rd) |
| 11/08/11 | REVISED 100% ZD (se) |
| 11/16/11 | REVISED 100% ZD (se) |
| 08/09/12 | REVISED 100% ZD (se) |
| 08/10/12 | REVISED 100% ZD (se) |
| 10/12/12 | REVISED 100% ZD (se) |

SHEET TITLE

LANDSCAPE DEVELOPMENT PLAN

PROJECTS\VERIZON\11120

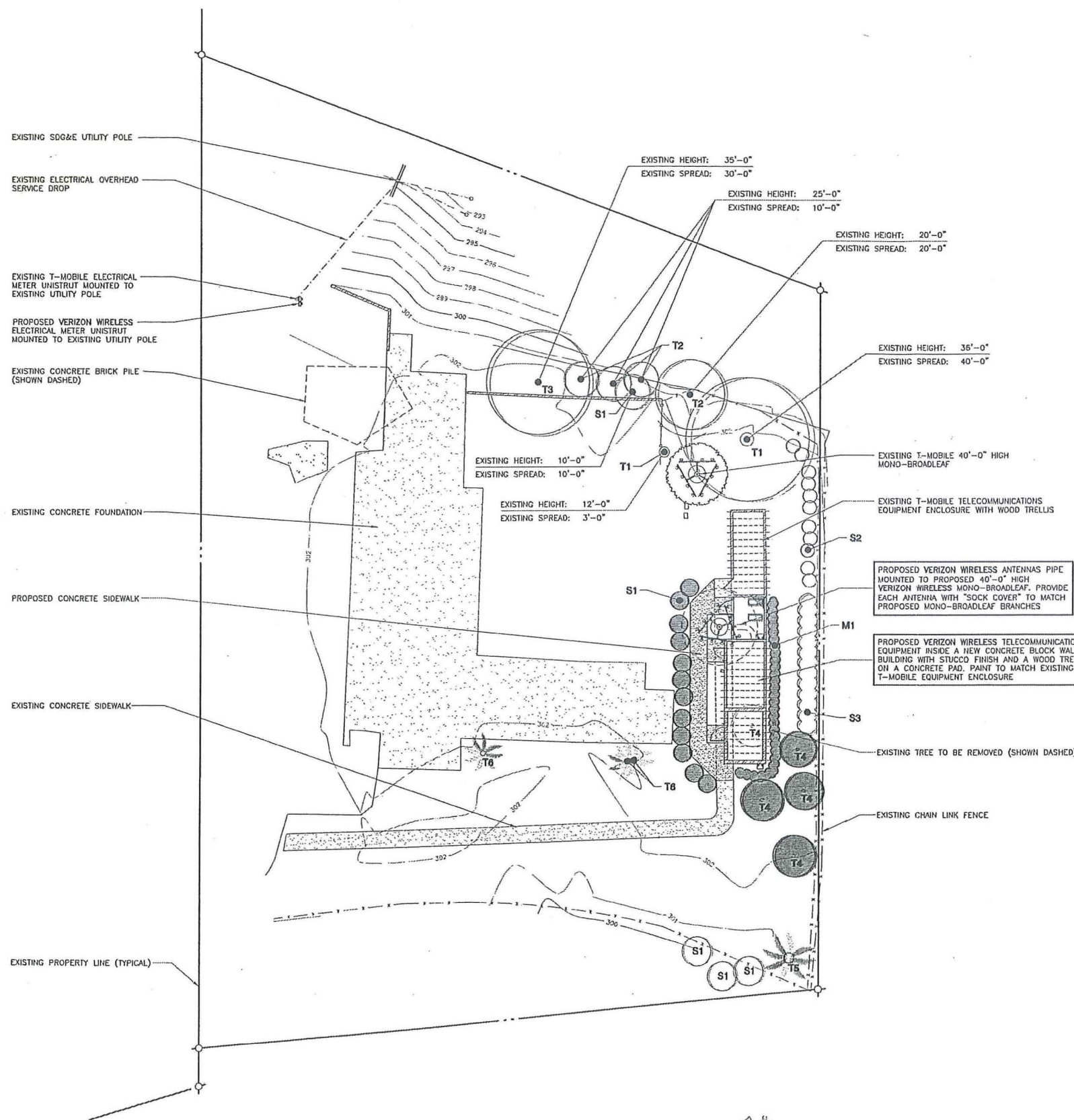
L-1

PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
 ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE
 IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 UNDERGROUND UTILITY LINES - 5 FEET DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
11. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
12. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
13. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.

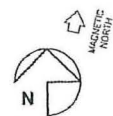
WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS AND ALL OTHER APPLICABLE REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS
11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX
12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR



LANDSCAPE DEVELOPMENT PLAN

SCALE: 1/16" = 1'-0"



BOOTH & SUAREZ
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 (949) 286-7000

APPROVALS

| | |
|--------|------|
| A&C | DATE |
| RE | DATE |
| RF | DATE |
| INT | DATE |
| EE/IN | DATE |
| OPS | DATE |
| EE/OUT | DATE |

PROJECT NAME

BAYVIEW HEIGHTS
 1765 PENTECOST WAY
 SAN DIEGO, CA 92105
 SAN DIEGO COUNTY

DRAWING DATES

| | |
|----------|----------------------|
| 08/10/11 | 80% ZD (rol) |
| 08/22/11 | 100% ZD (se) |
| 08/25/11 | REVISED 100% ZD (rd) |
| 09/16/11 | REVISED 100% ZD (rd) |
| 11/08/11 | REVISED 100% ZD (se) |
| 11/16/11 | REVISED 100% ZD (se) |
| 08/09/12 | REVISED 100% ZD (se) |
| 08/10/12 | REVISED 100% ZD (se) |
| 10/12/12 | REVISED 100% ZD (se) |

SHEET TITLE

PLANTING LEGEND

PROJECTS\VERIZON\11120

PLANTING LEGEND

| SYMBOL | BOTANICAL NAME | COMMON NAME | PLANTING SIZE | QUANTITY | MATURE HEIGHT & SPREAD |
|--------|---------------------------|--------------------------|---------------|----------|----------------------------------|
| | GREVILLEA ROBUSTA | SILKY OAK TREE | EXISTING | - | 75' HEIGHT 25' SPREAD |
| | SCHINUS TEREBINTHIFOLIUS | BRAZILIAN PEPPER TREE | EXISTING | - | 30' HEIGHT 30' SPREAD |
| | EUCALYPTUS MICROTHECA | BLUE COOLIBAH | EXISTING | - | 60' HEIGHT 30' SPREAD |
| | EUCALYPTUS POLYANTHEMOS | SILVER DOLLAR EUCALYPTUS | EXISTING | - | 75' HEIGHT 45' SPREAD |
| | EUCALYPTUS POLYANTHEMOS | SILVER DOLLAR EUCALYPTUS | REMOVE | 1 | - |
| | EUCALYPTUS POLYANTHEMOS | SILVER DOLLAR EUCALYPTUS | 24" BOX | 4 | 75' HEIGHT 45' SPREAD |
| | WASHINGTONIA ROBUSTA | MEXICAN FAN PALM | EXISTING | - | 75' HEIGHT 12' SPREAD |
| | ARECASTRUM ROMANZOFFIANUM | QUEEN PALM | EXISTING | - | 45' HEIGHT 25' SPREAD |
| | RHUS INTEGRIFOLIA | LEMONADE BERRY | EXISTING | - | 10' HEIGHT 10' SPREAD |
| | RHUS INTEGRIFOLIA | LEMONADE BERRY | 5 GAL. | 12 | 10' HEIGHT 10' SPREAD |
| | DODONAEA VISCOSA | PURPLE HOPSEED BUSH | EXISTING | - | 20' HEIGHT 8' SPREAD |
| | ARUNDO DONAX | GIANT REED | EXISTING | - | 20' HEIGHT (INDEFINITE CLUMP) |
| | FICUS PUMILA | CREeping FIG | 5 GAL. | 58 | 15'-0" HEIGHT 10'-0" SPREAD |

NOTE:
 PATCH & REPAIR GROUND COVER WHERE DAMAGED BY TRENCHING AND INSTALLATION OF LANDSCAPE SHRUBS

Booth & Suarez
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 CARLSBAD, CA 92008 (760) 434-8174



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 IRVINE, CA 92623-9707
 (949) 222-7000

CONSULTANT

JRN CIVIL ENGINEERS
 232 AVENIDA FABRICANTE,
 SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4685

PROJECT NAME

BAYVIEW HEIGHTS

1765 PENTECOST WAY
 SAN DIEGO, CA 92105

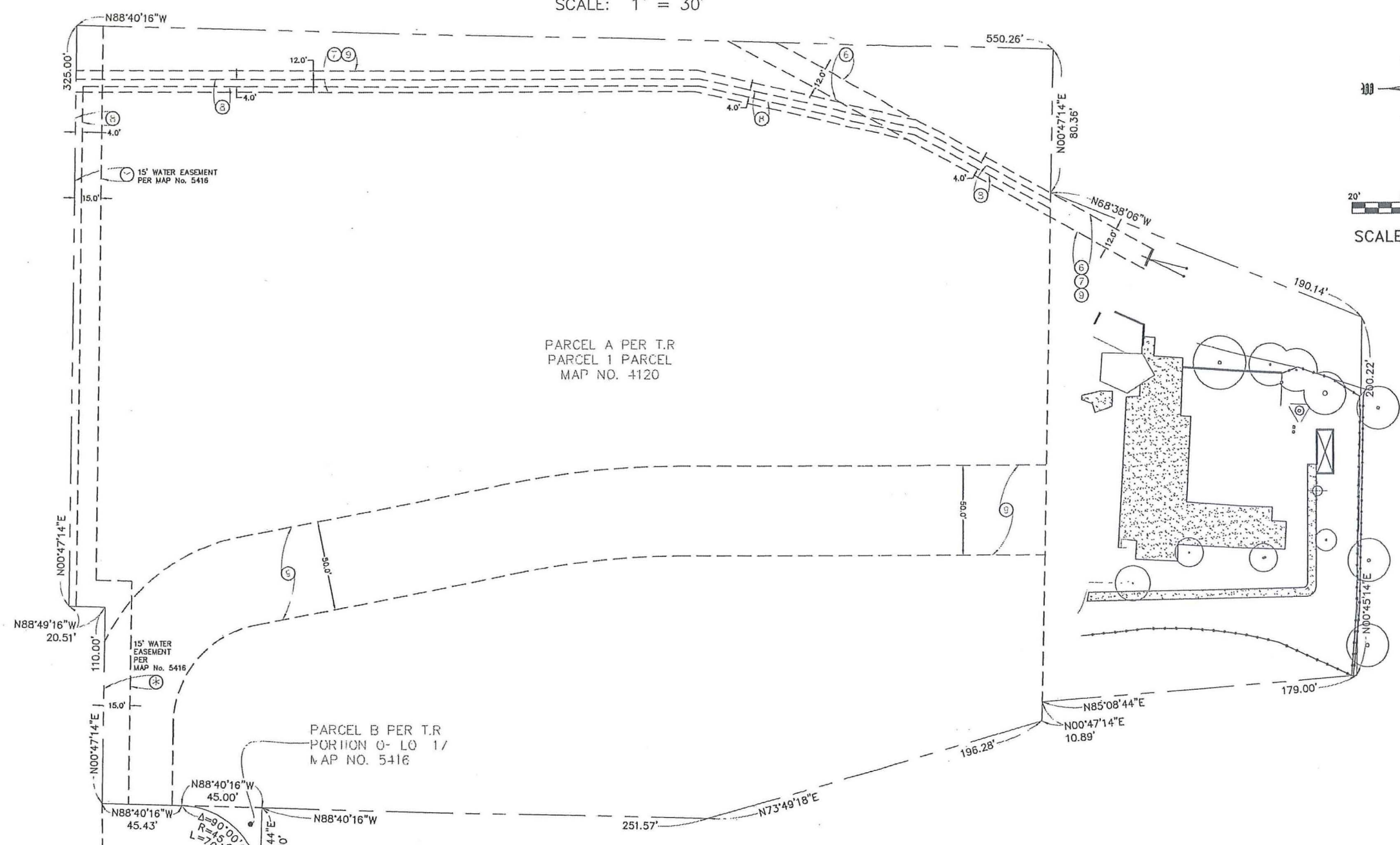
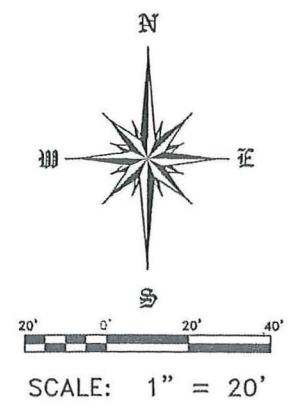
DRAWING DATES

SHEET TITLE

TOPOGRAPHIC SURVEY

C-1

BOUNDARY DETAIL:
 SCALE: 1" = 30'



- ITEMS CORRESPONDING TO SCHEDULE "B":**
- BY: LAWYERS TITLE COMPANY FILE NO. 09303340 - 10
 4100 NEWPORT PLACE DRIVE, SUITE 120 TITLE OFFICER: CHRIS MAZIAR
 NEWPORT BEACH, CA 92660 DATED: JULY 20, 2011
 PHONE: (949) 724-3170
- THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS.
- 1 WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 - 2 AN EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED APRIL 27, 1951 IN BOOK 4076, PAGE 326 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION OF SAID EASEMENT COULD NOT BE DETERMINED FROM RECORD AND IS NOT PLOTTED HEREON.
 - 3 THE MATTERS CONTAINED IN A DOCUMENT RECORDED OCTOBER 5, 1960 AS INSTRUMENT NO. 199614 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
 - 4 AN EASEMENT FOR PUBLIC STREET AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 7, 1963 AS INSTRUMENT NO. 179008 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - 5 AN EASEMENT FOR PUBLIC STREET AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 7, 1963 AS INSTRUMENT NO. 179008 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - 6 AN EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED NOVEMBER 16, 1964 AS INSTRUMENT NO. 208230 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - 7 AN EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED NOVEMBER 16, 1964 AS INSTRUMENT NO. 208230 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - 8 AN EASEMENT FOR PUBLIC UTILITIES AND RIGHTS INCIDENTAL THERETO AS SET FORTH IN A DOCUMENT RECORDED MARCH 3, 1965 AS INSTRUMENT NO. 38110 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
 - 9 AN EASEMENT FOR SLOPE RIGHTS, FUTURE STREET AND RIGHTS INCIDENTAL THERETO AS SHOWN OR AS OFFERED FOR DEDICATION ON THE RECORDED PARCEL MAP NO. 4120, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY ON SEPTEMBER 30, 1975. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS APPROXIMATELY PLOTTED HEREON.
 - 10 THE MATTERS CONTAINED IN A DOCUMENT RECORDED MAY 9, 2008 AS INSTRUMENT NO. 2008-025057 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
- ITEMS #5 SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

LEGAL DESCRIPTION:

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL A: PARCEL 1 OF PARCEL MAP NO. 4120, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, RECORDED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY ON SEPTEMBER 30, 1975.

PARCEL B:

THAT PORTION OF LOT 17 OF THE RANCHO MISSION OF SAN DIEGO, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO PARTITION MAP THEREOF NO. 5416, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY:

THENCE ALONG THE SOUTHERLY LINE OF SAID PENTECOST PARK NORTH 89° 46' 10" EAST 45.43 FEET TO THE TRUE POINT OF BEGINNING;
 THENCE CONTINUING ALONG SAID SOUTHERLY LINE OF PENTECOST PARK NORTH 89° 46' 10" EAST 45.00 FEET;
 THENCE SOUTH 0° 13' 50" EAST 45.00 FEET TO A POINT ON A TANGENT 45 FOOT RADIUS CURVE, THE CENTER OF WHICH BEARS SOUTH 89° 46' 10" WEST;
 THENCE NORTHERLY, NORTHWESTERLY, WESTERLY ALONG THE ARC OF SAID 45 FOOT RADIUS CURVE, CONCAVE THROUGH A CENTRAL ANGLE OF 90° 00' 00" A DISTANCE OF 70.89 FEET TO THE TRUE POINT OF BEGINNING.

ASSESSOR'S PARCEL NUMBER: 542-320-29-00; 542-320-30-00

Booth & Suarez
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 225 CARLSBAD VILLAGE DRIVE SUITE 09
 CARLSBAD, CA 92008 (760) 434-4474

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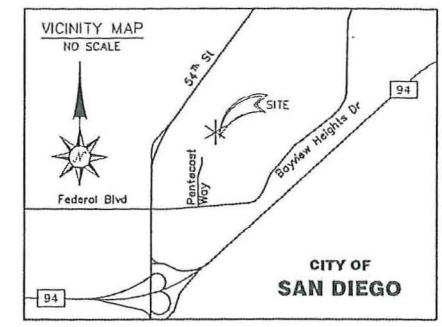
CONSULTANT
JRN
CIVIL ENGINEERS
 232 AVENIDA FABRICANTE,
 SUITE 107
 SAN CLEMENTE, CA 92672
 (949) 248-4685

PROJECT NAME
BAYVIEW HEIGHTS
 1765 PENTECOST WAY
 SAN DIEGO, CA 92105

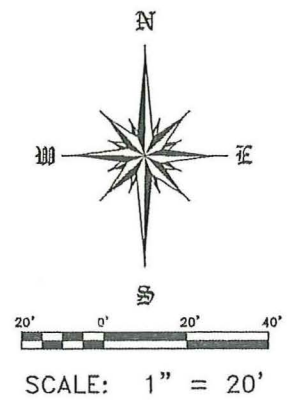
DRAWING DATES

SHEET TITLE
 TOPOGRAPHIC SURVEY

C-2



DETAIL:
 SCALE: 1" = 20'

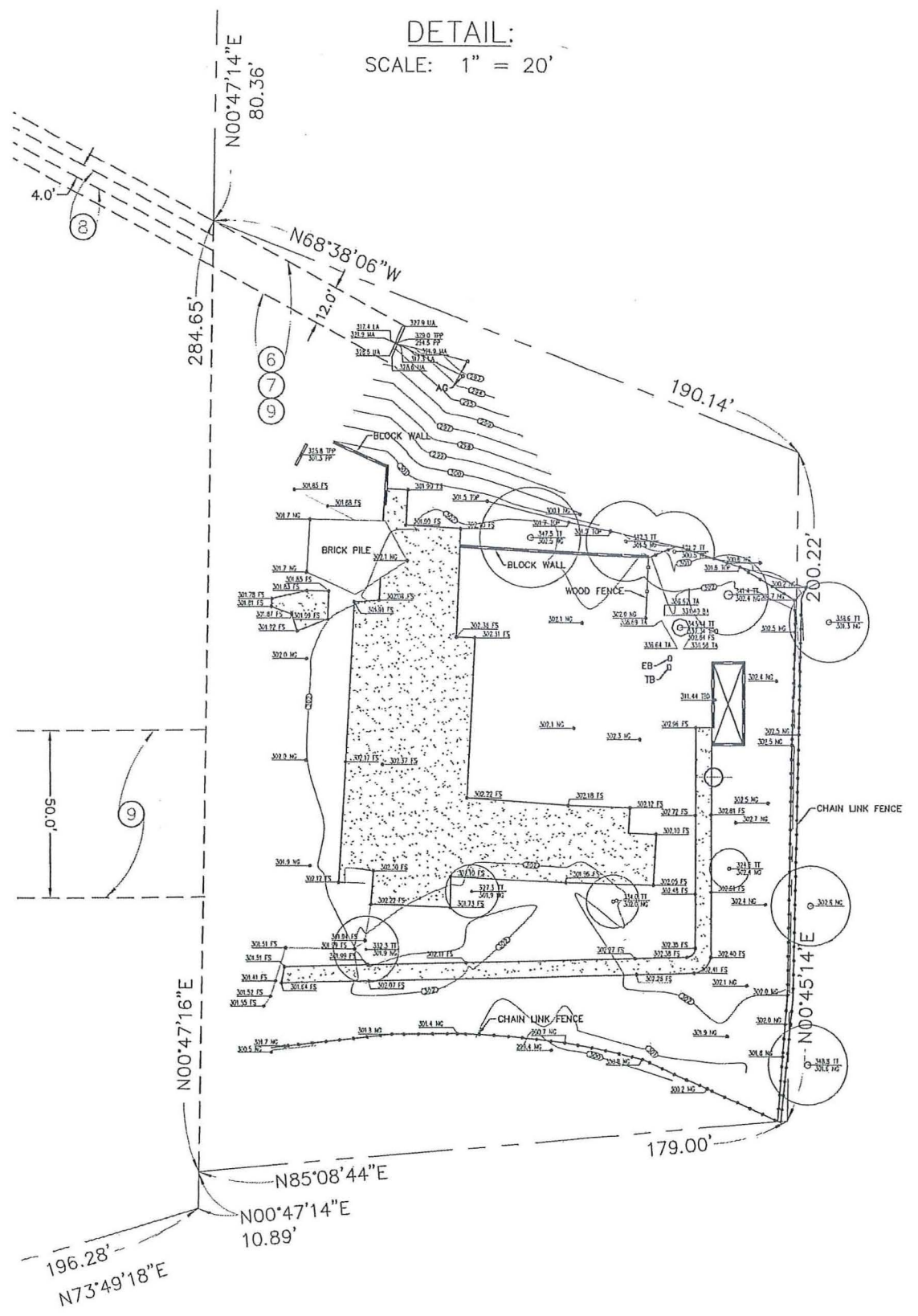


COORDINATES:
 LATITUDE: 32°43'26.809" N
 LONGITUDE: 117°04'49.394" W
 DATUM: NAD83

DATUM STATEMENT:
 CITY OF SAN DIEGO BENCHMARK ID: 15412
 LOCATION: AT INTERSECTION OF PENTECOST WAY AND FEDERAL BOULEVARD.
 ELEV: 218.103 NAVD88

BASIS OF BEARINGS:
 THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6, EPOCH 1995.35 ADJUSTED, GRID BEARING BETWEEN FIRST ORDER STATION '3171' AND '1160' PER CITY OF SAN DIEGO RECORD OF SURVEY 14492.

BOUNDARY NOTE:
 THE BOUNDARY SHOWN HEREON IS BASED ON RECORD INFORMATION AS COLLECTED FROM THE ASSESSOR'S PARCEL MAP. IT IS NOT THE RESULT OF A COMPLETE BOUNDARY SURVEY. IT HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.



- LEGEND:
- AG - ANCHOR GUY
 - BA - BOTTOM OF ANTENNA
 - BK - BOOK
 - CL - CENTER LINE
 - CB - CATCH BASIN
 - CL - CENTER LINE
 - E - EAST
 - EB - ELECTRIC BOX
 - FD - FOUND
 - FS - FINISH SURFACE
 - LS - LICENSE SURVEYOR
 - MA - MID ARM
 - N - NORTH
 - NE - NORTHEAST
 - NG - NATURAL GROUND
 - NW - NORTHWEST
 - PL - PROPERTY LINE
 - PP - POWER POLE
 - S - SOUTH
 - SE - SOUTHEAST
 - SW - SOUTHWEST
 - TA - TOP OF ANTENNA
 - TB - TELECOMMUNICATION BOX
 - TBD - TOP OF BUILDING
 - TC - TOP OF CURB
 - TOP - TOP OF NATURAL GROUND
 - TPO - TOP OF POLE
 - TPP - TOP OF PP
 - TT - TOP OF TREE
 - TYP - TYPICAL
 - UA - UP ARM
 - W - WEST
- - TREE DRIP LINE

ASSESSOR'S PARCEL NUMBER
 542-320-29-00; 542-320-30-00

DATE OF SURVEY:
 05/03/2011