



THE CITY OF SAN DIEGO
REPORT TO THE PLANNING COMMISSION

DATE ISSUED: March 21, 2013 **REPORT NO.** PC-13-023

ATTENTION: Planning Commission, Agenda of March 28, 2013

SUBJECT: MELVIN GARB HILLEL CENTER; PROJECT NO. 282741;
PROCESS 4

**OWNER/
APPLICANT:** Hillel of San Diego, a California Non-Profit Religious Corporation

SUMMARY

Issue: Should the Planning Commission approve a request to demolish two existing single-family dwelling units and to construct a 10,850-square foot student center located at 5705-5717 Lindo Paseo in the College Community Redevelopment Project Area (Core Sub-Area) of the College Area Community Plan?

Staff Recommendation: Approve Site Development Permit No. 993107.

Community Planning Group Recommendation: On September 12, 2012, the College Area Community Planning Board voted 13-0-0 to recommend approval of the project with the proposed deviation (curb cut) subject to meeting all other City requirements (Attachment 11).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15332, Infill Development Project, of the California Environmental Quality Act (CEQA). The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately serviced by all required utilities and public services. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on February 15, 2013, and the opportunity to appeal that determination ended March 8, 2013.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The project site is located in the RM-3-9 Zone within the College Community Redevelopment Project Area (Core Sub-Area) and the College Area Community Plan. The community plan designates the site for High Density Residential 45-75 dwelling units per acre (DU/AC) and is subject to the College Community Redevelopment Project Master Project Plan (MPP). The MPP allows University-based religious centers to locate anywhere with the Core Sub-Area designated for residential, retail, or office use except in areas designated for fraternity and sorority use. The project site is designated for high-density residential use and is not designated for fraternity or sorority use.

The project proposes the demolition of two existing single-family dwelling units and construction of a 10,850-square foot student center, which would not be subject to the City's Inclusionary Affordable Housing Regulations (San Diego Municipal Code (SDMC) § 142.1301 et seq.). However, a Housing Trust Fund (HTF) impact fee as a *non-residential* development is required for this project and is due at the time of building permit issuance. Although the proposed project is located in the College Community Redevelopment Project Area, no redevelopment funds are being used to finance this project.

BACKGROUND

The proposed project site is located at 5705-5717 Lindo Paseo, on the south side of Lindo Paseo between 55th Street and Campanile Drive, north of Montezuma Road (Attachment 1). San Diego State University (SDSU) is located on the north side of Lindo Paseo, directly across the street from the project site. The 0.50-acre site is located in the RM-3-9 Zone (Attachment 3) within the College Community Redevelopment Project Area (Core Sub-Area) (Attachment 4), the College Community Area Plan (Attachment 5) and the Parking Impact Overlay Zone (Campus Impact Area). The community plan designates the site for High Density Residential 45-75 dwelling units per acre (DU/AC).

The College Area Community Plan (CACP) was last amended by the City Council on August 3, 2002. The CACP references the College Community Redevelopment Project (CCRP), and requires the creation of a Master Project Plan (MPP) to implement the CACP and the CCRP, as well as aid in the redevelopment of five subareas surrounding SDSU. The MPP for the CCRP was approved by the City Council on October 12, 1993. This project site is within the "Core Subarea" of the CCRP. The Core Sub-Area Design Manual was adopted by the City Council on August 12, 1997. Both the MPP and Core Sub-Area Design Manual contain design guidelines regarding the redevelopment of this project site.

The project site consists of three lots containing two single-family dwelling units, which were constructed in 1945 and 1951. A historical assessment for the two single-family dwelling units was performed and City staff determined that the properties and associated structures would not be considered historically or architecturally significant under the State of California Environmental Quality Act (CEQA) in terms of architectural style, appearance, design, or construction associated with important persons or events in history.

DISCUSSION

Project Description:

The project proposes the demolition of two existing single-family dwelling units and construction of a two-story, 10,850-square foot student center. The site is located in the RM-3-9 Zone within the CCRP (Core Sub-Area) and the CACP. The community plan designates the site for High Density Residential 45-75 dwelling units per acre (du/ac) and is subject to the MPP. The MPP allows University-based religious centers to locate anywhere with the Core Sub-Area designated for residential, retail, or office use except in areas designated for fraternity and sorority use. The project site is designated for high-density residential use and is not designated for fraternity or sorority use. A deviation is being requested to allow for a driveway curb cut along Lindo Paseo (see the "Deviation" section below for detail information).

Development of the project requires a Site Development Permit (SDP) for a deviation to the curb cut requirement in the Core Sub-Area Design Manual for a Sustainable Building Project. The SDP shall also satisfy the requirement for a Phased Project Redevelopment Permit as required by the MPP. As a component of the proposed project, the building will utilize renewable energy technology, self-generating at least 30-percent or more of the projected total energy consumption on site through photovoltaic technology (solar panels) and by achieving a LEED 'Silver' Level Certification. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project-Related Issues:

Deviation- The proposed project includes a request for a deviation to allow for a driveway curb cut along Lindo Paseo. The Core Sub-Area Design Manual states" "...all parking must be provided in parking structures, with the exception of the religious centers complex on Campanile and Lindo Paseo, and the sorority area on Montezuma. Access to these surface lots should be from alleys where possible; they should not be exposed to the street frontage; and they must be landscaped in accordance with the City of San Diego Landscape Ordinance."

The project site currently contains three curb cuts on Lindo Paseo that provides access for the two existing single-family dwelling units. To reduce potential pedestrian and vehicular conflict, the proposed development would remove two of the three curb cuts. Due to the greatly increased pedestrian and vehicular traffic that has resulted from intensive development of multi-family and student housing in the areas, all taking access from the alley, there has been a substantial increase in congestion in the alley. With the addition of the project traffic, 76 average daily trips (ADT) would be added to the alley and adjacent street system. Retaining one curb cut to allow for a portion of the trips on Lindo Paseo would reduce the vehicular traffic from the alley and reduce potential pedestrian and vehicular conflict for the nearby residents that park and use the alley as walking access to SDSU. Therefore, staff supports the requested deviation to the Core Sub-Area Design Manual requirements to allow for a driveway curb cut along Lindo Paseo.

General/Community Plan Analysis

The proposed project is a SDP to demolish two existing single-family dwelling units and to construct a two-story, 10,850-square foot religious center. The project site, located at 5705-5717 Lindo Paseo, is designated High Density Residential in the CACP with a density range of 45-75 dwelling units per net residential acre (DU/NRA). The 0.50-acre site could accommodate 22 - 37 dwelling units. The project site is also located in the Core Sub-area of the College Community Redevelopment Project Area and is subject to the CCRP MPP.

The Land Use and Community Planning Element of the City of San Diego General Plan implements the City of Villages Strategy within the context of San Diego's community planning program. The plan also establishes each community plan as an essential component of the Land Use Element, and relies on community plans for site-specific land use and density designations and recommendations.

The project site is in the CACP area and is designated as High Density Residential with a density range of 45-75 DU/NRA. The CACP also identifies the site as within the Core Sub-area of the CCRP Area. Uses allowed in the Core-subarea include residential, retail, office, fraternity/sorority, and religious centers. The MPP allows University-based religious centers to locate anywhere within the Core Sub-area designated for residential development. The proposal to construct a 10,850-square foot religious center would implement the goals and policies of the General Plan and the CACP.

The purpose of the General Plan's Mobility Element is to improve mobility through development of a balanced, multi-modal transportation system. Goals of the Mobility Element include creating a regional bikeway network. The proposed project would promote bicycle riding by providing bike storage facilities.

The Transportation Element of the CACP requires new development to provide bicycle parking facilities. The proposed project will provide bike storage facilities and will implement the recommendations of the CACP.

The Urban Design Element of the City of San Diego General Plan is based on the guiding principle of building upon our existing communities, with core values related to a compact, efficient, and environmentally sensitive pattern of development. The proposed project would build upon the existing community and help provide a compact pattern of development by providing a religious center near the student population.

The Urban Design Element of the CACP acknowledges that the organization and interest created by development contribute to the community's visual image. The Core Sub-area Design Manual for the CCRP area provides the basis for specific design requirements to ensure development contributes toward the overall character of the area. Architectural Guidelines in the design manual discuss building elements, such as materials and colors, and fenestration. The proposed project provides materials compatible with surrounding development and a neutral earth-tone pallet with texture variation. The proposed project would also provide fenestration which is properly scaled for the building and reflect the function of interior spaces.

The Conservation Element of the General Plan contains policies to guide the conservation of the resources that are fundamental components of San Diego's environment, and are relied upon for continued economic success. Goals include reducing the City's overall carbon dioxide footprint by improving energy efficiency and increasing use of alternative modes of transportation. The proposed project has been designed to achieve a LEED 'Silver' Level Certification, which includes generating 30% or more of the projected total energy consumption on site through the use of photovoltaic cells. The project will also include bike storage facilities which will encourage alternative modes of transportation. Therefore, the proposed project will help the City attain long-term conservation goals.

The applicant has requested a deviation to allow for a driveway curb cut along Lindo Paseo. The Core Sub-Area Design Manual states "...all parking must be provided in parking structures, with the exception of the religious centers...access to these surface lots should be from alleys where possible; they should not be exposed to the street frontage; and they must be landscaped...". The proposed project would remove two of the three existing curb cuts on Lindo Paseo. Retaining one curb cut allows a portion of the trips generated by the facility to access Lindo Paseo and reduce vehicular traffic from the alley and reduce potential pedestrian and vehicular conflict. Therefore, the requested deviation would not adversely affect the community plan.

Conclusion:

Other than the one deviation for the curb cut, the project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted College Area Community Plan, College Community Redevelopment Project Master Project Plan, Core Sub-Area Design Manual, San Diego Municipal Code, and the General Plan.

ALTERNATIVES

1. **Approve Site Development Permit No. 993107, with modifications.**
2. **Deny Site Development Permit No. 993107, if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department

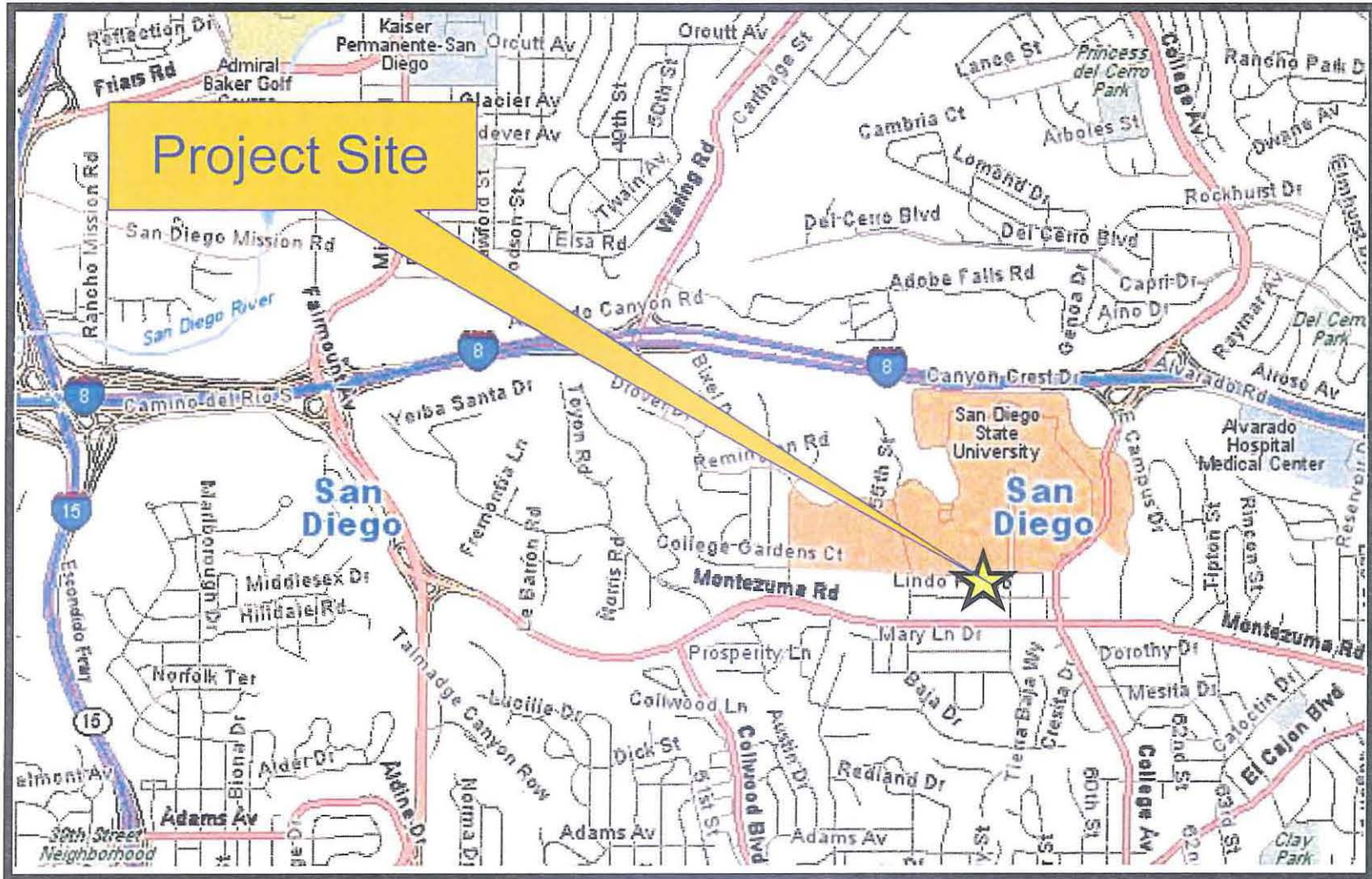


Jeffrey A. Peterson
Development Project Manager
Development Services Department

WESTLAKE/JAP

Attachments:

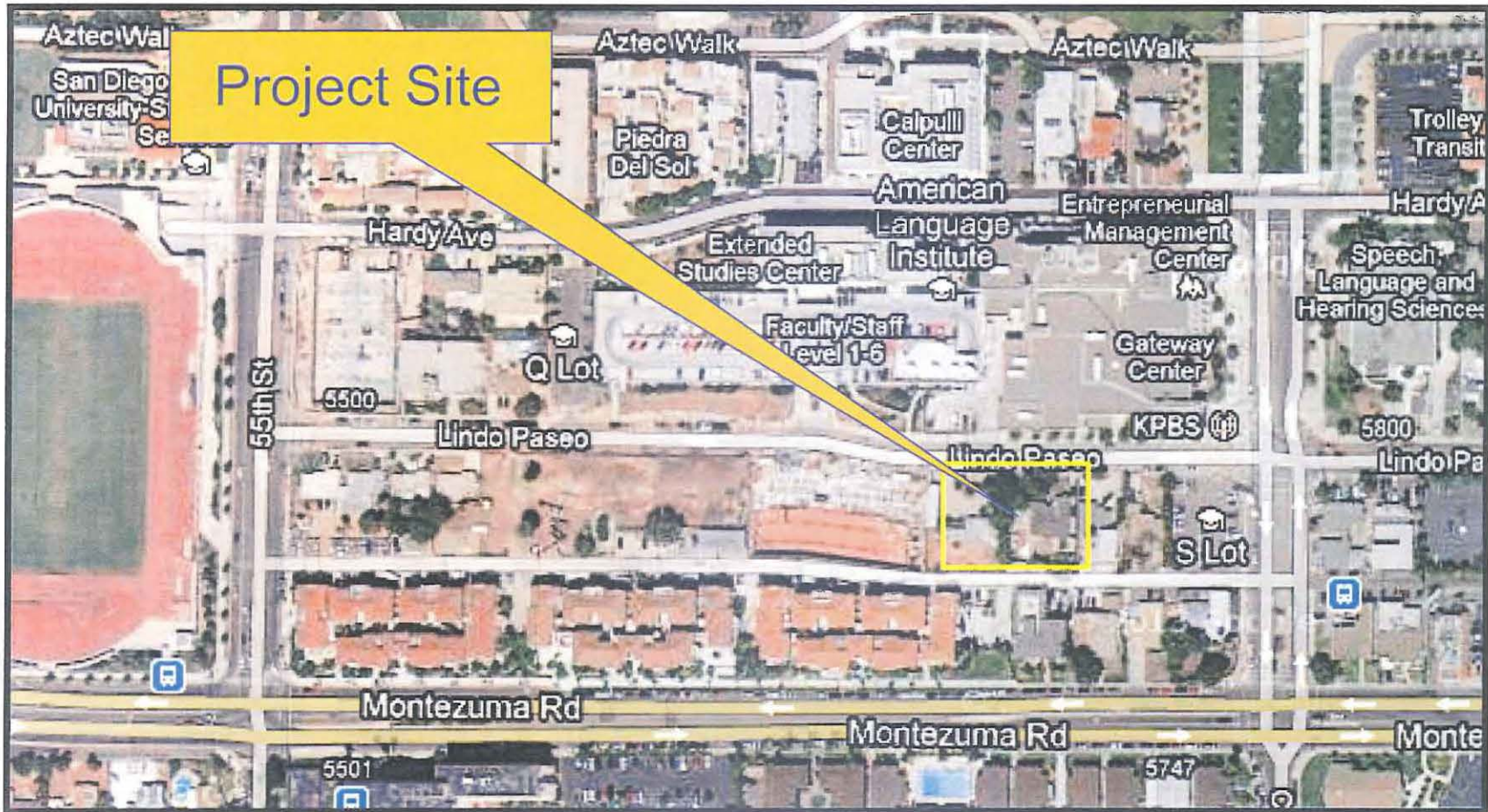
1. Location Map
2. Aerial Photograph
3. Zone Map
4. College Community Redevelopment Project Area (Core Sub-Area) Map
5. Community Plan Land Use Map
6. Project Data Sheet
7. Draft SDP Resolution with Findings
8. Draft SDP Permit with Conditions
9. Environmental Exemption
10. Project Plans
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Project Chronology



Location Map

Melvin Garb Hillel Center - Project No. 282741
 5705-5717 Lindero Paseo

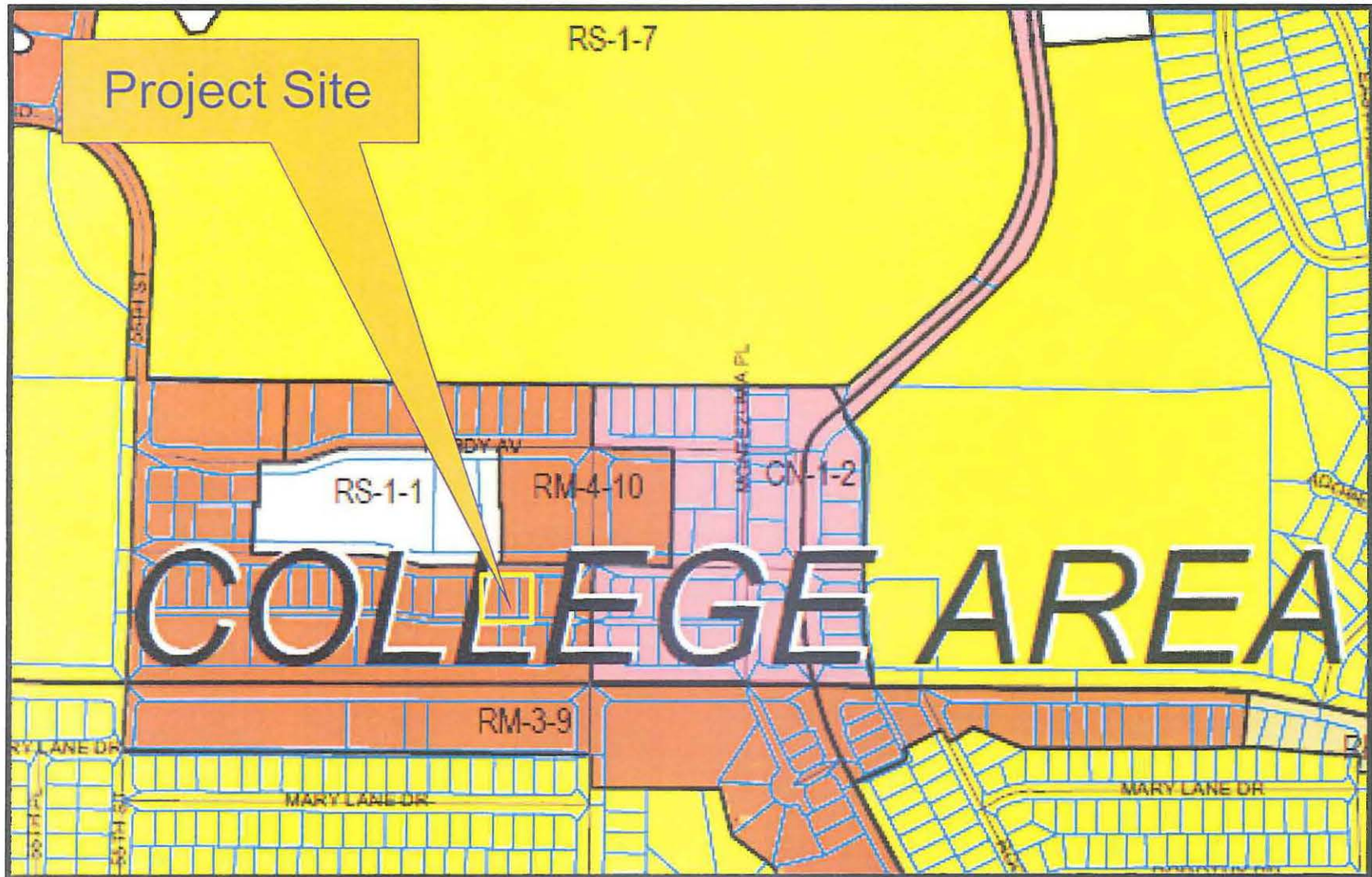




Aerial Photograph

Melvin Garb Hillel Center - Project No. 282741
5705-5717 Lindo Paseo

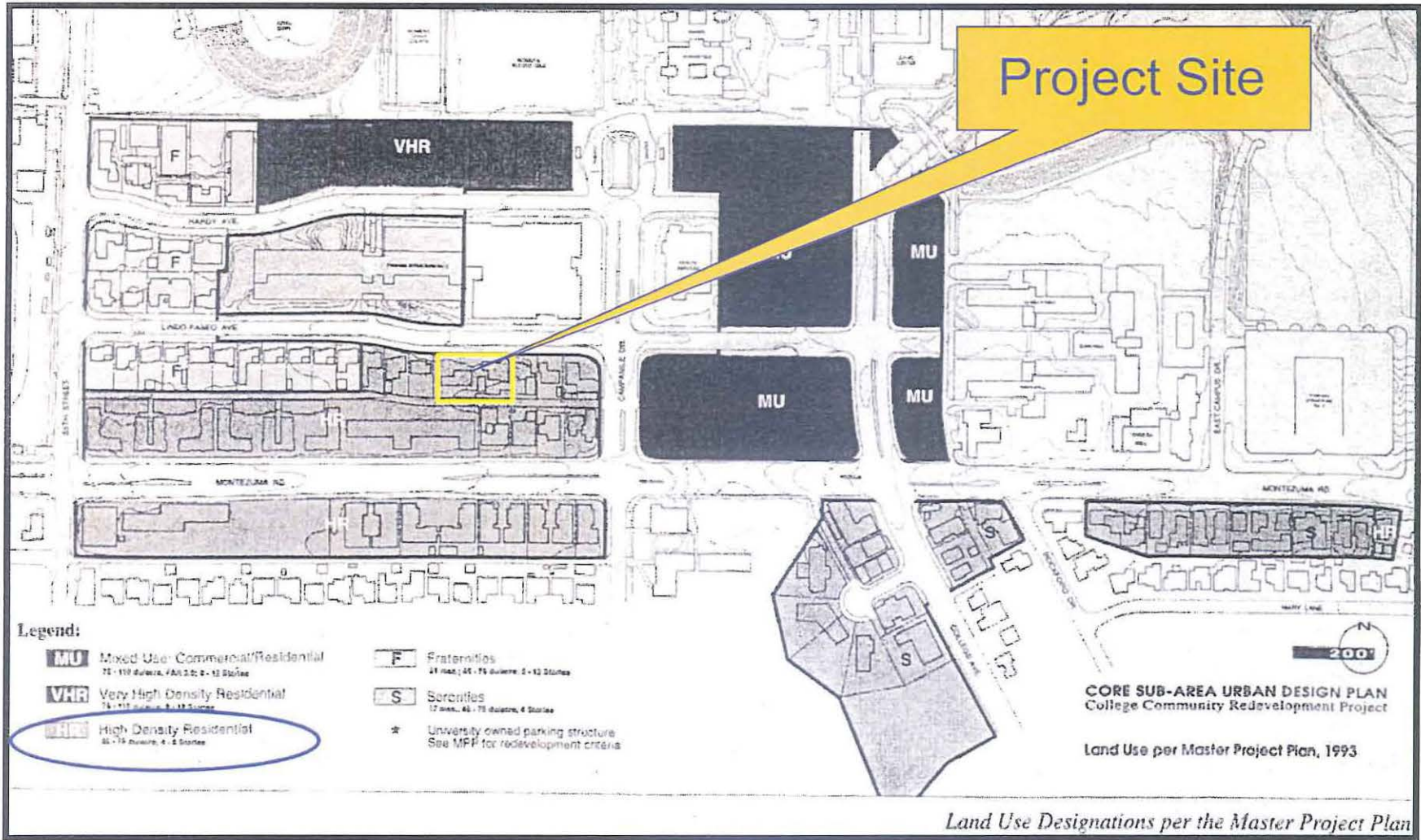




Zoning Map (Section of Official Zoning Maps)

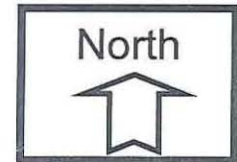
Melvin Garb Hillel Center - Project No. 282741
5705-5717 Lindo Paseo

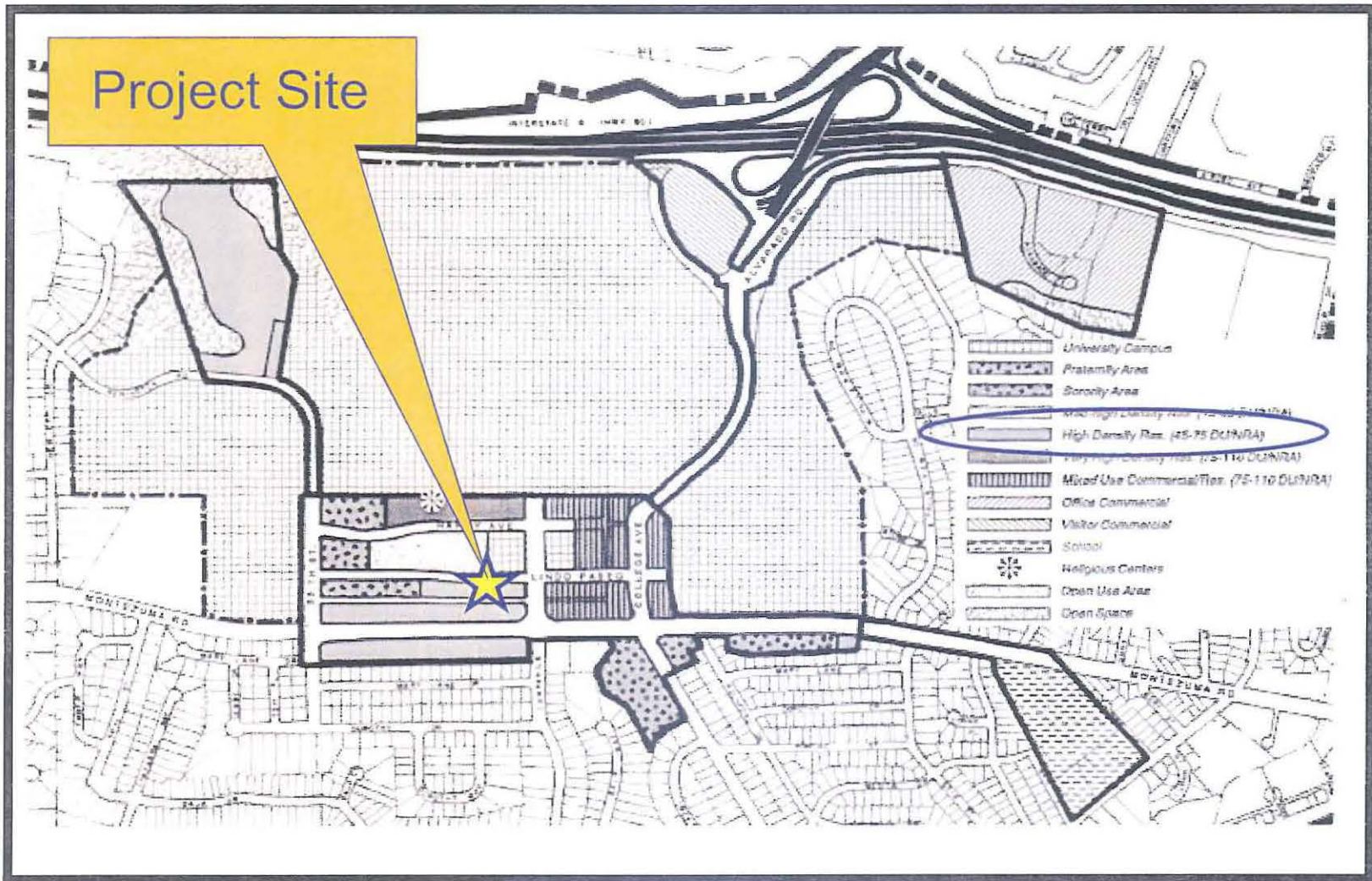




CCRP Core Sub-Area Map

Melvin Garb Hillel Center - Project No. 282741
5705-5717 Lindo Paseo





College Area Land Use Map (Redevelopment Area)

Melvin Garb Hillel Center - Project No. 282741
 5705-5717 Lindo Paseo



PROJECT DATA SHEET

PROJECT NAME:	Melvin Garb Hillel Center - Project No. 282741	
PROJECT DESCRIPTION:	Demolition of two existing single-family dwelling units and construction of a two-story, 10,850-square foot student center.	
COMMUNITY PLAN AREA:	College Area	
DISCRETIONARY ACTIONS:	Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	High Density Residential 45-75 dwelling units per acre (du/ac)	
<u>ZONING INFORMATION:</u>		
ZONE: RM-3-9 HEIGHT LIMIT: 60-foot maximum height limit LOT SIZE: 7,000 square feet FLOOR AREA RATIO: 2.70 LOT COVERAGE: NA FRONT SETBACK: 10-foot (min.) and 20-foot (standard) SIDE SETBACK: 5-foot (min.) and NA (standard) STREETSIDE SETBACK: NA REAR SETBACK: 5-foot PARKING: 36 on-site spaces		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	University Campus & Open Use Area; RS-1-1 & RM-4-10	San Diego State University Campus
SOUTH:	High Density Residential; RM-3-9	Multi-Family Residential
EAST:	High Density Residential; RM-3-9	Multi-Family Residential
WEST:	High Density Residential; RM-3-9	Mix-Use Development
DEVIATIONS OR VARIANCES REQUESTED:	Deviation to the curb cut requirement in the College Community Redevelopment Project Core Sub-Area Design Manual to allow for a 24-foot wide driveway accessed from Lindo Paseo.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 12, 2012, the College Area Community Planning Board voted 13-0-0 to recommend approval of the project with the proposed deviation (curb cut) subject to meeting all other City requirements.	

PLANNING COMMISSION
RESOLUTION NO. _____-PC
SITE DEVELOPMENT PERMIT NO. 993107
MELVIN GARB HILLEL CENTER - PROJECT NO. 282741

WHEREAS, HILLEL OF SAN DIEGO, a California Non-profit Religious Corporation, Owner and Permittee, filed an application with the City of San Diego for a permit to demolish two existing single family dwelling units and to construct a 10,850 square foot student center (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 993107), on portions of a 0.50-acre site;

WHEREAS, the project site is located at 5705-5717 Lindo Paseo in the RM-3-9 Zone within the College Area Community Plan Area, College Community Redevelopment Project Master Project Plan, Airport Land Use Compatibility Overlay Zone for Montgomery Field, Airport Influence Area-Review Area 2 for Montgomery Field, Parking Impact Overlay Zone, and Council District 9;

WHEREAS, the project site is legally described as Lots 4 and 5 in Block 16 of College Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2218, filed in the Office of the County Recorder of San Diego County, August 10, 1937, excepting from said Lot 5 the West 30 feet; and the West 30 feet of Lot 5 and all of Lot 6 in Block 16 of College Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2218, filed in the Office of the County Recorder of San Diego County, August 10, 1937, and that portion, if any, of Lot 21 of the partition of Rancho Mission of San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof filed in case of Luco, ET AL, vs. Commercial Bank, ET AL, being Case No. 348, in the Superior Court of the County of San Diego, lying Westerly of Lot 6 in Block 16 of College Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2218, filed in the Office of the County Recorder of San Diego County, August 10, 1937, the Northerly line of said Lot 6, and the Southerly line of said portion of Lot 21 being the Westerly Prolongation of the Southerly line of said Lot 6;

WHEREAS, on March 28, 2013, the Planning Commission of the City of San Diego considered Site Development Permit No. 993107 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on February 15, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15332 (Infill Development Project); and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated March 28, 2013.

FINDINGS:Site Development Permit - Section 126.0504**A. Findings for all Site Development Permits****1. The proposed development will not adversely affect the applicable land use plan;**

The proposed project site is located at 5705-5717 Lindo Paseo, on the south side of Lindo Paseo between 55th Street and Campanile Drive, north of Montezuma Road. San Diego State University (SDSU) is located on the north side of Lindo Paseo, directly across the street from the project site. The 0.50-acre site is located in the RM-3-9 Zone within the College Community Redevelopment Project (CCRP) area (Core Sub-Area), the College Community Area Plan (CCAP) and the Parking Impact Overlay Zone - Campus Impact Area.

The project proposes the demolition of two existing single-family dwelling units and construction of a two-story, 10,850-square foot student center. The community plan designates the site for High Density Residential 45-75 dwelling units per acre (DU/AC) and is subject to the CCRP Master Project Plan (MPP). The MPP allows University-based religious centers to locate anywhere with the Core Sub-Area designated for residential, retail, or office use except in areas designated for fraternity and sorority use. A deviation is being requested to allow for a driveway curb cut along Lindo Paseo.

Other than the one deviation for the curb cut, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted CACP, CCRP MPP, Core Sub-Area Design Manual, Land Development Code (LDC), and the General Plan. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project proposes the demolition of two existing single-family dwelling units and to construct a two-story, 10,850-square foot student center. The City of San Diego conducted an environmental review of this site, including a historical assessment for the two single-family dwelling units, in accordance with State of California Environmental Quality Act (CEQA) guidelines. The project was determined to be categorically exempt from CEQA pursuant to Guideline Section 15332, Infill Development Project, which allows for the construction of infill development within an urbanized area that can be adequately serviced by all required utilities and public services.

The permit for the project does include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in SDP No. 993107, and other regulations and guidelines pertaining to the subject

property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project proposes the demolition of two existing single-family dwelling units and to construct a two-story, 10,850-square foot student center. The community plan designates the site for High Density Residential 45-75 DU/AC and is subject to the CCRP MPP. The MPP allows University-based religious centers to locate anywhere with the Core Sub-Area designated for residential, retail, or office use except in areas designated for fraternity and sorority use. The proposed project includes a request for a deviation to allow for a driveway curb cut along Lindo Paseo. The Core Sub-Area Design Manual states “...all parking must be provided in parking structures, with the exception of the religious centers complex on Campanile and Lindo Paseo, and the sorority area on Montezuma. Access to these surface lots should be from alleys where possible; they should not be exposed to the street frontage; and they must be landscaped in accordance with the City of San Diego Landscape Ordinance.”

The project site currently contains three curb cuts on Lindo Paseo that provides access for the two existing single-family dwelling units. To reduce potential pedestrian and vehicular conflict, the proposed development would remove two of the three curb cuts. Due to the greatly increased pedestrian and vehicular traffic that has resulted from intensive development of multi-family and student housing in the areas, all taking access from the alley, there has been a substantial increase in congestion in the alley. With the addition of the project traffic, 76 average daily trips (ADTs) would be added to the alley and adjacent street system. Retaining one curb cut to allow for a portion of the trips on Lindo Paseo would reduce the vehicular traffic from the alley and reduce potential pedestrian and vehicular conflict for the nearby residents that park and use the alley as walking access to SDSU.

Other than the one deviation for the curb cut, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted CACP, CCRP MPP, Core Sub-Area Design Manual, LDC, and the General Plan.

M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings

1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants;

The proposed project site is located at 5705-5717 Lindo Paseo, on the south side of Lindo Paseo between 55th Street and Campanile Drive, north of Montezuma Road. SDSU is located on the

north side of Lindo Paseo, directly across the street from the project site. The project proposes the demolition of two existing single-family dwelling units and construction of a two-story, 10,850-square foot student center. As a component, the project proposes to utilize renewable technology, self-generating at least 30-percent or more of the projected total energy consumption on site through photovoltaic technology (solar panels) and by achieving a LEED 'Silver' Level Certification.

Among the many other sustainable design features considered in the project are the use of sustainable construction materials and practices, Energy Star roof for reduced heat island effect, and construction waste management. Operational sustainable features include the use of high efficacy plumbing fixtures, Energy Star appliances, natural cooling and ventilations through operable windows, water conserving native and pest resistant plant in the landscape, a high efficiency irrigation system, and porous paving at parking areas for stormwater treatment. The proposed development provides bicycle parking facilities and is in close proximity to Public Transit and SDSU. Therefore, the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants

2. The development will not be inconsistent with the purpose of the underlying zone; and

The project proposes the demolition of two existing single-family dwelling units and to construct a two-story, 10,850-square foot student center. The community plan designates the site for High Density Residential 45-75 DU/AC and is subject to the CCRP MPP. The MPP allows University-based religious centers to locate anywhere with the Core Sub-Area designated for residential, retail, or office use except in areas designated for fraternity and sorority use. The proposed project includes a request for a deviation to allow for a driveway curb cut along Lindo Paseo. The Core Sub-Area Design Manual states "..."all parking must be provided in parking structures, with the exception of the religious centers complex on Campanile and Lindo Paseo, and the sorority area on Montezuma. Access to these surface lots should be from alleys where possible; they should not be exposed to the street frontage; and they must be landscaped in accordance with the City of San Diego Landscape Ordinance."

Other than the one deviation for the curb cut, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted CACP, CCRP MPP, Core Sub-Area Design Manual, LDC, and the General Plan. Therefore, the proposed development will not be inconsistent with the purpose of the underlying zone.

3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The project proposes the demolition of two existing single-family dwelling units and to construct a two-story, 10,850-square foot student center. The community plan designates the site for High Density Residential 45-75 DU/AC and is subject to the CCRP MPP. The MPP allows University-

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BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 993107 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 993107, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: March 28, 2013

Internal Order No. 24002721

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002721

SITE DEVELOPMENT PERMIT NO. 993107
MELVIN GARB HILLEL CENTER - PROJECT NO. 282741
 PLANNING COMMISSION

This Site Development Permit No. 993107 is granted by the Planning Commission of the City of San Diego to HILLEL OF SAN DIEGO, a California Non-profit Religious Corporation, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Section 126.0504. The 0.50-acre site is located at 5705-5717 Lindo Paseo in the RM-3-9 Zone within the College Area Community Plan Area, College Community Redevelopment Project Master Project Plan, Airport Land Use Compatibility Overlay Zone for Montgomery Field, Airport Influence Area-Review Area 2 for Montgomery Field, Parking Impact Overlay Zone, and Council District 9. The project site is legally described as: Lots 4 and 5 in Block 16 of College Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2218, filed in the Office of the County Recorder of San Diego County, August 10, 1937, excepting from said Lot 5 the West 30 feet; and the West 30 feet of Lot 5 and all of Lot 6 in Block 16 of College Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2218, filed in the Office of the County Recorder of San Diego County, August 10, 1937, and that portion, if any, of Lot 21 of the partition of Rancho Mission of San Diego, in the City of San Diego, County of San Diego, State of California, according to Map thereof filed in case of Luco, ET AL, vs. Commercial Bank, ET AL, being Case No. 348, in the Superior Court of the County of San Diego, lying Westerly of Lot 6 in Block 16 of College Park No. 2, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 2218, filed in the Office of the County Recorder of San Diego County, August 10, 1937, the Northerly line of said Lot 6, and the Southerly line of said portion of Lot 21 being the Westerly Prolongation of the Southerly line of said Lot 6.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for the demolition of two existing single family dwelling units and to construct a 10,850 square foot student center; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 28, 2013, on file in the Development Services Department.

The project shall include:

- a. Demolition of two existing single family dwelling units and to construct a two-story, 10,850 square foot student center;
- b. Deviation to the curb cut requirement in the College Community Redevelopment Project Core Sub-Area Design Manual to allow for a 24-foot wide driveway accessed from Lindo Paseo;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Achieving a LEED Silver level certification, which includes a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 30 percent of the project's projected energy consumption; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 12, 2013.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including

without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

11. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing rolled curb with full height City standard curb and gutter with offsite transition, along the project frontage on Lindo Paseo, per Standard Drawing SDG-151, satisfactory to the City Engineer.
12. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of a 24-foot wide City standard driveway on Lindo Paseo, per Standard Drawing SDG-160, satisfactory to the City Engineer.
13. Prior to the issuance of any construction permits, the Owner/Permittee shall assure by permit and bond the construction of non-contiguous sidewalk, along the project frontage on Lindo Paseo, per Standard Drawing SDG-155, satisfactory to the City Engineer.
14. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
15. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permits, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.
18. Prior to the issuance of any construction permits, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for private curb outlets, concrete benches and enhanced paving, located within Lindo Paseo right-of-way, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

19. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall provide a minimum

root zone of 40 square feet in area unencumbered by utilities and hardscape for all trees. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

20. Prior to issuance of any building permits, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a minimum root zone of 40 square feet in area unencumbered by utilities and hardscape for all trees.

21. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

22. All required landscape, including in the right-of-way, shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted.

PLANNING/DESIGN REQUIREMENTS:

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 30 percent of the project's projected energy consumption.

25. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

27. Owner/Permittee shall maintain a minimum of 36 automobile spaces (including 1 standard accessible space and 1 van accessible space), 2 motorcycle spaces, and 4 bicycle spaces with rack(s) shall be provided as required by the College Community Redevelopment Master Project Plan and shown per the project's Exhibit "A." All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's SDMC and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

28. Owner/Permittee shall install signage stating that the entry gates will remain open during regular hours of operation.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

29. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

30. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

31. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

32. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on March 28, 2013, and Resolution No. _____.

Permit Type/PTS Approval No.: SDP/993107
Date of Approval: March 28, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

HILLEL OF SAN DIEGO,
a California Non-profit Religious Corporation
Owner/Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: RECORDER/COUNTY CLERK
 P.O. BOX 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT TITLE/ No.: **MELVIN GARB HILLEL CENTER / 282741**

PROJECT LOCATION-SPECIFIC: 5705 and 5717 Lindo Paseo, San Diego, CA 92115

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: The applicant is requesting a SITE DEVELOPMENT PERMIT for the demolition of two existing residential structures and subsequent construction of a two-story, 10,850-square-foot religious student center. Additionally, the project would construct various associated site improvements (e.g. hardscape and landscaping). The project would also incorporate a variety of sustainable features including photovoltaic roof panels to achieve a LEED Silver Certification. The 22,058-square-foot (0.506-acre) project site is located at 5705 and 5717 Lindo Paseo; the project site is designated for High Density Residential Development (45-75 dwelling unit/net residential acre) within the community plan, the RM-3-9 zone, the Airport Land Use Compatibility Overlay Zone (Montgomery Field), and the Airport Influence Area (Review Area 2) for Montgomery Field, the Parking Impact Overlay Zone (Campus Impact Area) within the Core Sub-Area of the College Community Redevelopment Master Project Plan of the College Area Community Plan area. (LEGAL DESCRIPTION: Parcel A – Lots 4 and 5 in Block 16 of College Park No. 2, Map No. 2218. LEGAL DESCRIPTION: Parcel B – that that portion of Lot 21 of the partition of Rancho Mission of San Diego, according to map filed in court Case No.348, lying westerly of Lot 6, Block 16 of College Unit 2, Map No. 2218, northerly line of said Lot 69 and southerly line of said portion of Lot 21, westerly prolongation of southerly line of said Lot 6).

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Michael E. Turk, Heritage on Ivanhoe LLC, 4641 Ingraham Street, San Diego, CA 92109, (858) 274-5995.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268)
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a))
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: 15332 (Infill Development Projects)
- STATUTORY EXEMPTIONS:

REASONS WHY PROJECT IS EXEMPT: The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. The development occurs within the City of San Diego jurisdiction and the project site is less than five acres (0.506-acre) and is surrounded by urban uses; the project site is currently

developed with two residential units and does not contain any habitat for endangered, rare or threatened species; the project would not result in any significant impacts to biological resources, historical resources, traffic, noise, air quality, or water quality; and lastly, the project can be adequately served by all required utilities and public services.

Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code. The structures located at 5705 Lindo Paseo (constructed in 1951) whereas the structure at 5717 Lindo Paseo (constructed in 1945) were determined not to be historic structures.

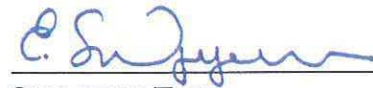
LEAD AGENCY CONTACT PERSON: E. Shearer-Nguyen

TELEPHONE: (619) 446-5369

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.



SENIOR PLANNER

SIGNATURE/TITLE

February 15, 2013

DATE OF PROJECT APPROVAL

CHECK ONE:

- SIGNED BY LEAD AGENCY
 SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



THE CITY OF SAN DIEGO

Date of Notice: February 15, 2012

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24002577

PROJECT NAME/NUMBER: MELVIN GARB HILLEL CENTER / 282741

COMMUNITY PLAN AREA: College Area

COUNCIL DISTRICT: 9

LOCATION: 5705 and 5717 Lindo Paseo, San Diego, CA 92115

PROJECT DESCRIPTION: The applicant is requesting a SITE DEVELOPMENT PERMIT for the demolition of two existing residential structures and subsequent construction of a two-story, 10,850-square-foot religious student center. Additionally, the project would construct various associated site improvements (e.g. hardscape and landscaping). The project would also incorporate a variety of sustainable features including photovoltaic roof panels to achieve a LEED Silver Certification. The 22,058-square-foot (0.506-acre) project site is located at 5705 and 5717 Lindo Paseo; the project site is designated for High Density Residential Development (45-75 dwelling unit/net residential acre) within the community plan, the RM-3-9 zone, the Airport Land Use Compatibility Overlay Zone (Montgomery Field), and the Airport Influence Area (Review Area 2) for Montgomery Field, the Parking Impact Overlay Zone (Campus Impact Area) within the Core Sub-Area of the College Community Redevelopment Master Project Plan of the College Area Community Plan area. (LEGAL DESCRIPTION: Parcel A – Lots 4 and 5 in Block 16 of College Park No. 2, Map No. 2218. LEGAL DESCRIPTION: Parcel B – that that portion of Lot 21 of the partition of Rancho Mission of San Diego, according to map filed in court Case No.348, lying westerly of Lot 6, Block 16 of College Unit 2, Map No. 2218, northerly line of said Lot 69 and southerly line of said portion of Lot 21, westerly prolongation of southerly line of said Lot 6).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Planning Commission Decision.

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332 (Infill Development Projects).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. The development occurs within the City of San Diego jurisdiction and the project site is less than five acres (0.506-acre) and is surrounded by urban uses; the project site is currently developed with two residential units and does not contain any habitat for endangered, rare or threatened species; the project would not result in any significant impacts to biological resources, historical resources, traffic, noise, air quality, or water quality; and lastly, the project can be adequately be served by all required utilities and public services.

Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code. The structures located at 5705 Lindo Paseo (constructed in 1951) whereas the structure at 5717 Lindo Paseo (constructed in 1945) were determined not to be historic structures.

DEVELOPMENT PROJECT MANAGER: Jeffrey A. Peterson
MAILING ADDRESS: 1222 First Avenue, MS-501, San Diego CA 92101
PHONE NUMBER: (619) 446-5237

On February 15, 2012 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business from the date of the posting of this Notice. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

Melvin Garb Hillel Center SDSU

Site Development Permit Sustainable Expedite Program

Abbreviations

Table of abbreviations for various construction and architectural terms, including materials, finishes, and structural elements.

Parking Calculations

Table showing parking requirements and calculations, including vehicle types and associated rates.

Project Data & Calculations

Table containing project data, calculations, and key specifications for the development.

Site Information

Table providing site information, including location, lot details, and zoning information.

Proposed Deviations

Code cut deviation at ramp phase parking entrance per Code Book-AREA EDITION MANUAL

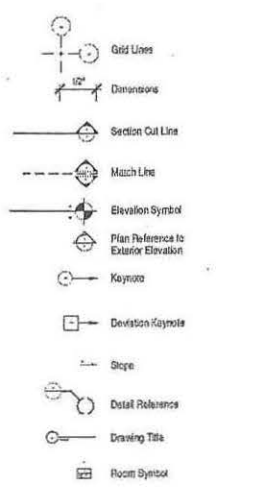
Building Code Information

Code compliance with 2010 California Building Code. Includes occupancy classification and construction type.

Scope / Project Narrative

Project description and scope of work, detailing the building's purpose and key features.

Drawing Symbols



Sustainability Goals

List of sustainability goals and objectives for the project, including LEED certification targets.

Design Team Directory

Table listing the design team members, their roles, and contact information.

Vicinity Map



Sheet Index

Index of drawing sheets, listing sheet numbers and titles.

Logo and contact information for M.W. STEELE GROUP, INC., including address, phone, and website.

Project title and location: Melvin Garb Hillel Center, San Diego State University.

Site information and permit details, including project number and date.

Large sheet identifier: A0.0

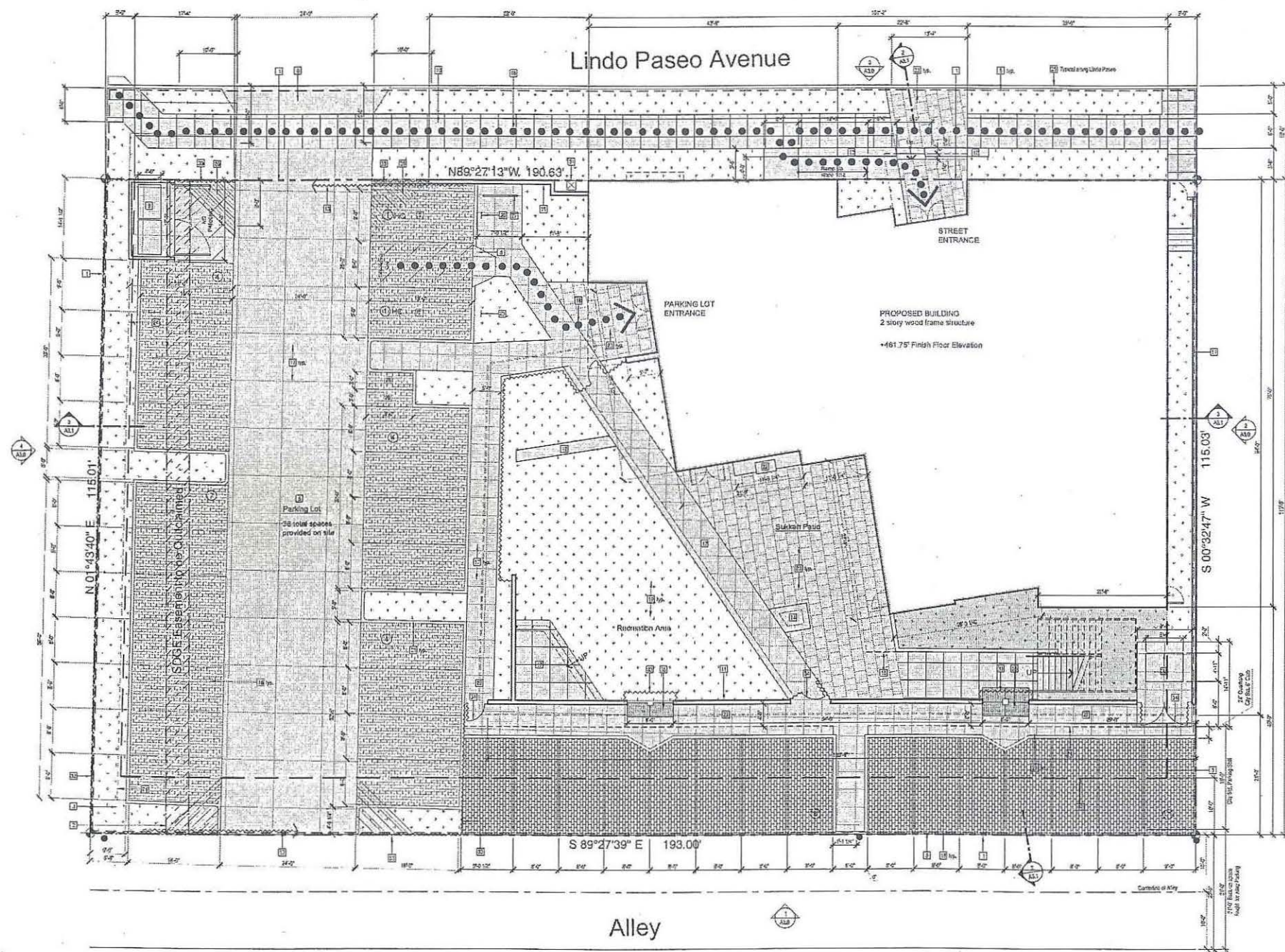
Small text at the bottom left of the page: © 2007, MW Steele Group, Inc. All drawings and specifications are property of the architect...

Melvin Garb Hillel Center SDSU
Site Development Permit
Sustainable Expedite Program



2 Vicinity Plan - Fire Hydrant w/in 600'
scale: no scale

General Notes	Parking Calc's.	Legend
<ol style="list-style-type: none"> Refer to the OIA drawings for landscape details, BMP requirements, and site work. Condition precedent: any non-design related requests such as signage must be submitted to the City of San Diego, Department of Public Works, 1600 La Jolla Village Drive, San Diego, CA 92161. Provide building and landscape details, notes and legends for use in construction of the project per the City of San Diego, Department of Public Works, 1600 La Jolla Village Drive, San Diego, CA 92161. For site dimensions refer to Architectural building plans. Plant material notes, for department requirements, are shown but not to be construed as a guarantee of availability or quantity of the plants, and shall be verified by the contractor. For all existing and proposed utilities, verify, locate, and mark to safety. 	<p>See drawings refer to Civil engineering and proposed boundary exhibits prepared by civil engineers.</p> <p>1. For all proposed parking and structure exhibits refer to Civil drawings for proposed parking and structure exhibits.</p> <p>2. For all proposed parking and structure exhibits refer to Civil drawings for proposed parking and structure exhibits.</p> <p>3. For all proposed parking and structure exhibits refer to Civil drawings for proposed parking and structure exhibits.</p> <p>4. For all proposed parking and structure exhibits refer to Civil drawings for proposed parking and structure exhibits.</p> <p>5. For all proposed parking and structure exhibits refer to Civil drawings for proposed parking and structure exhibits.</p>	<p>Property line</p> <p>Existing line</p> <p>Structure line</p> <p>Lot or work line</p>



1 Site Plan
scale: 1/8" = 1'-0"

Proposed Site Plan Notes

- Property Line
- 4' Existing SDGE Utility Easement to be Maintained
- 4' Existing Structure
- 15' Existing Setback
- Lot or work
- New 4" x 4" aluminum and steel roof. Details per County Code Engineering Manual
- Handicap Parking Space
- New pedestrian cross ramp per ADA standards.
- Fluorescent and ceiling lights per Title 142-4102 code min per Department of Public Works, 1600 La Jolla Village Drive, San Diego, CA 92161.
- New sidewalk under landscape parking.
- Site Wall (see site plan sheet A1.0)
- Concrete Finish
- Painted Building Security Film
- Gas Line Tie
- Line of roof overhang above
- Fluorescent Lighting
- Concrete Finish
- Acoustical Panels at Entry
- Landscape (See Landscape Plans)
- Removable Parking Signage per code
- 8" Concrete Curb
- Gas Meter
- Enhanced Paving
- Line of parking wall overhang with city standard 8" curb
- Fluorescent lighting with full height City code and green wall color transition every Lindo Paseo, per code, Department of Public Works, 1600 La Jolla Village Drive, San Diego, CA 92161.
- Utility Trench
- Utility Block
- Removable Parking Signage
- Line of parking wall overhang with city standard 8" curb
- Drain
- Gas Meter
- Structural Transitions
- Existing Fence (per Conditions A1.0)
- Curb
- Fluorescent Lighting per code

Surface Legend

	SDGE Easement
	Concrete Paving
	Bioswale Basin
	Landscape Area
	Pervious Paving
	Enhanced Paving

M.W. STEELE GROUP, INC.
1805 NEWTON AVENUE | SUITE A
SAN DIEGO | CA | 92113
TELEPHONE 619 230 0325
FACSIMILE 619 230 0335
www.mwsteele.com
ARCHITECTURE | PLANNING

Melvin Garb Hillel Center
San Diego State University
5717 Lindo Paseo
San Diego, CA 92115

Site Development Permit

Permit Number	1193
Date	24 January 2013
Drawn	sdm
Checked	sdm

Completion Check - 19 May 2012
 A1.0 Submitted - 29 May 2012
 SDP Plan Submitted - 07 August 2012
 SDP Plan Submitted - 05 September 2012
 SDP Plan Submitted - 03 October 2012
 SDP Plan Submitted - 30 November 2012
 SDP Plan Submitted - 24 January 2013

NOT FOR CONSTRUCTION
SHEET SIZE: 42" x 50"
DO NOT SCALE DRAWINGS

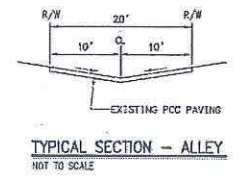
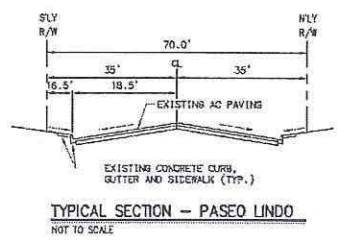
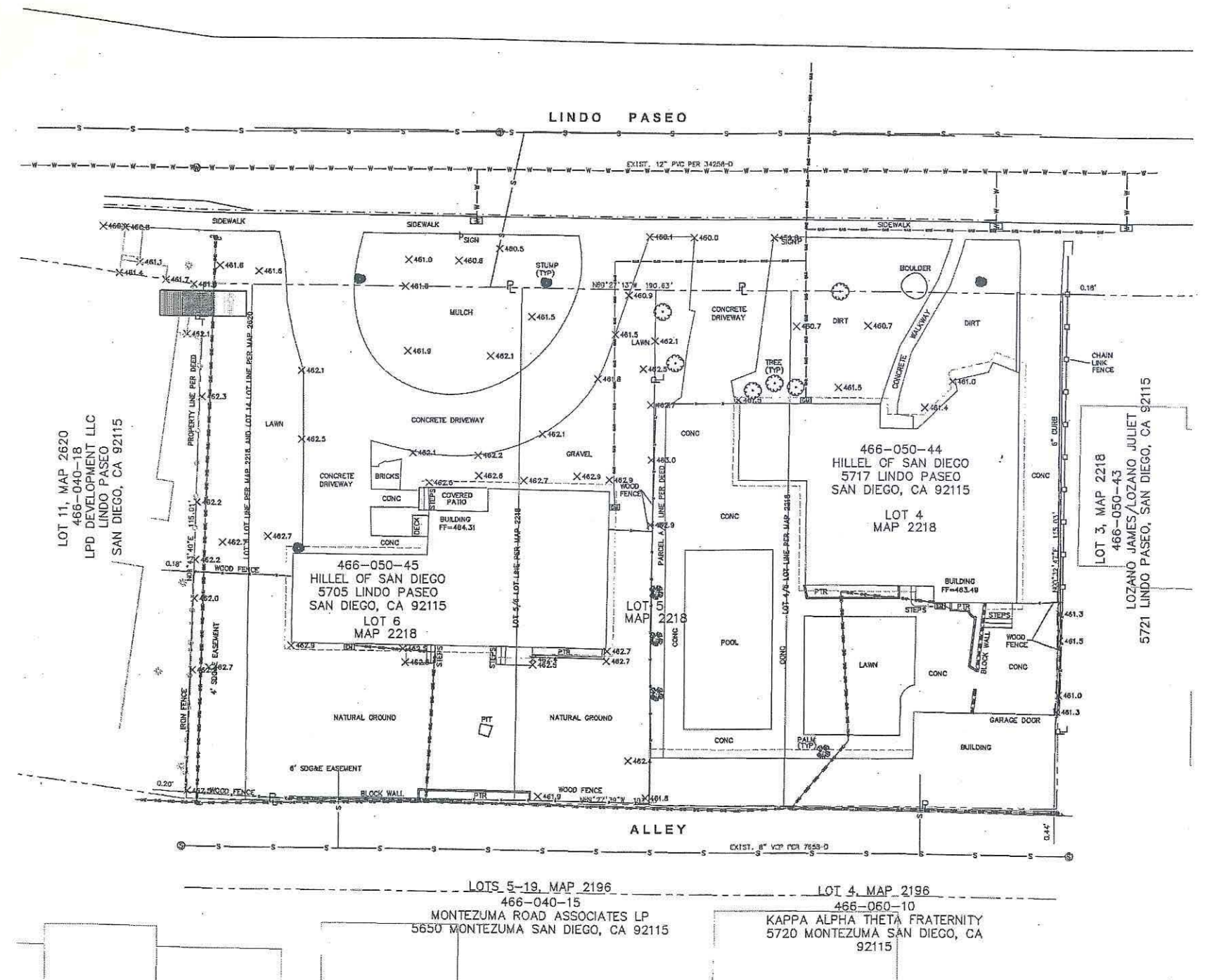
Proposed Site Plan
Date: 1/24/13

A1.0

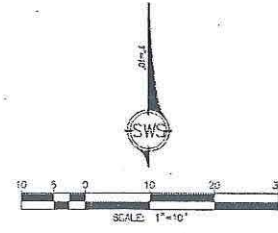
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Melvin Garb Hillel Center SDSU

Site Development Permit
Sustainable Expadite Program



TOPOGRAPHICAL INFORMATION
SOURCE OF TOPOGRAPHY: PAUL BENCH GROUP
DATE OF TOPOGRAPHY: MARCH 2012
BENCHMARK: LINDO PASEO AND CAMPANILE DRIVE
SWEP, ELEVATION: 458.35 M.S.L.



M.W. STEELE GROUP, INC.
1805 NEWTON AVENUE | SUITE A
SAN DIEGO | CA | 92113
TELEPHONE 619 230 0325
FACSIMILE 619 230 0335
www.mwsteele.com
ARCHITECTURE | PLANNING

Site Development Permit

Project Number	1198
Date	25 September 2012
Issue	
Drawn	

Melvin Garb Hillel Center
San Diego State University
5717 Lindo Paseo
San Diego, CA 92115

Completed Check	15 May 2012
MIR Summary	26 May 2012
STOP Full Submittal	07 August 2012
STOP Final Submittal	25 September 2012
STOP 3rd Submittal	20 October 2012

NOT FOR CONSTRUCTION
SHEET SIZE: 42" x 30"
DO NOT SCALE DRAWINGS

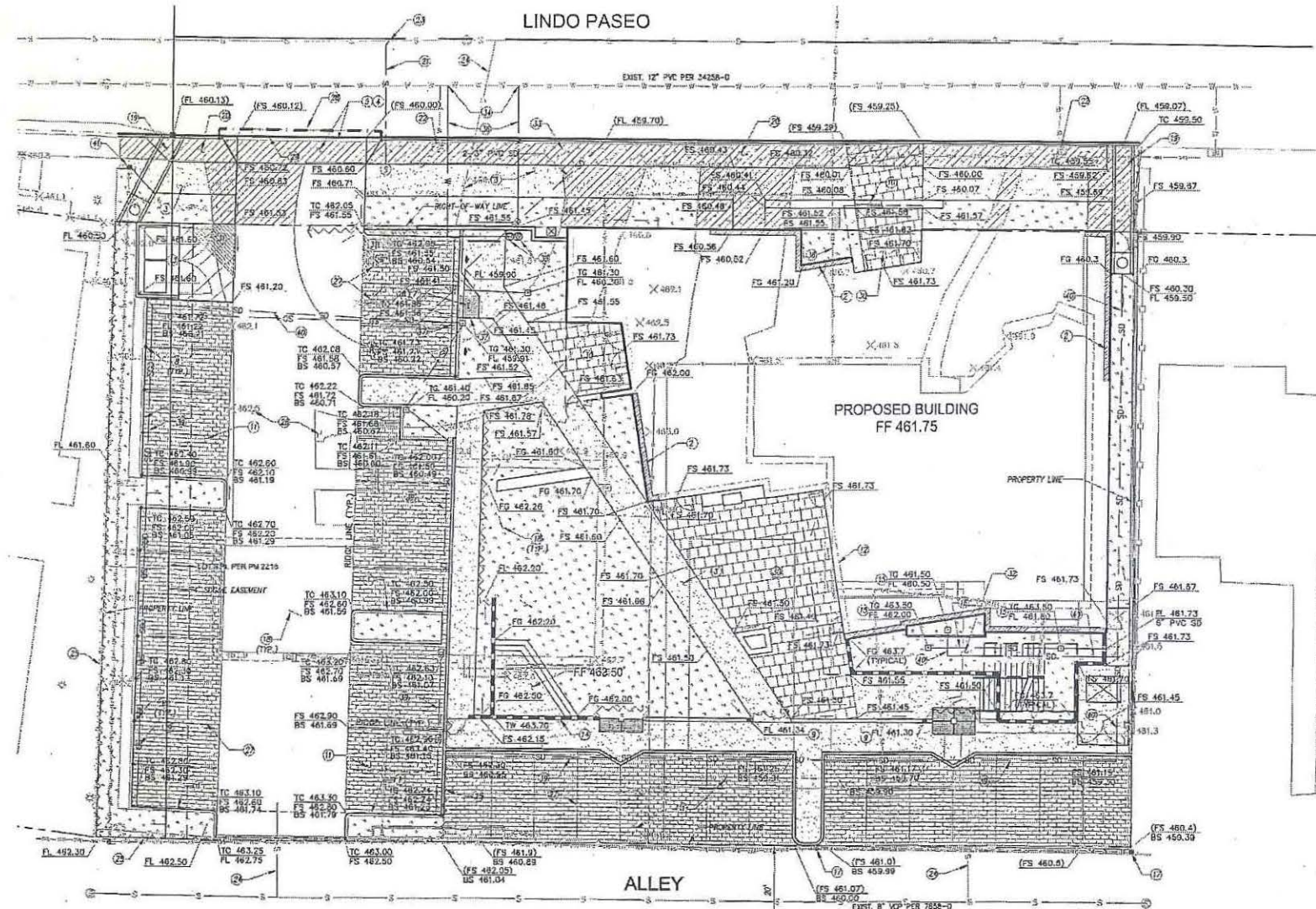
Existing Topography
Site: H.T.S.

C1.0

\\s01\proj\planning\1224_existing_site.dwg Plot Date: 11/27/2012 4:48:17 PM User: Easendevs

Melvin Garb Hillel Center SDSU

Site Development Permit
Sustainable Expadite Program



NOTES:

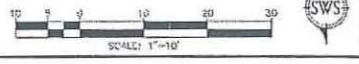
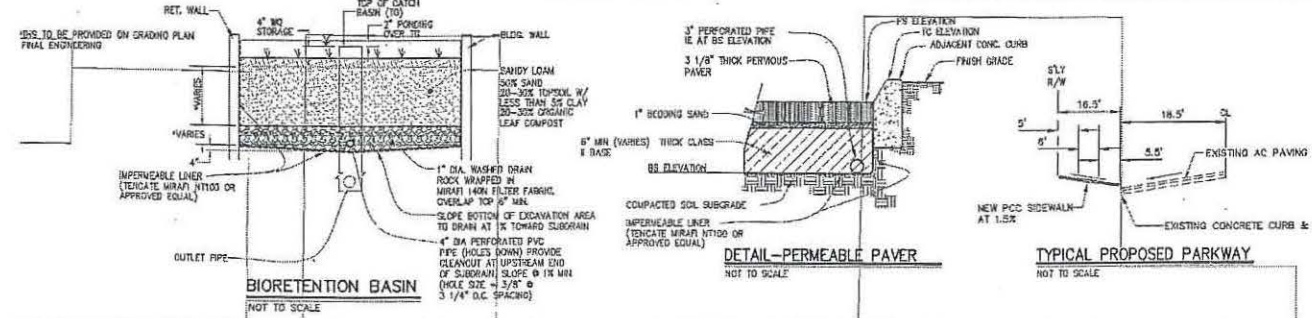
- 1) 4" PCC CURB
 - 2) BLIND DEEPENED FOOTING
 - 3) 4" PCC SIDEWALK
 - 4) PCC CURB CUT
 - 5) 24" WIDE PCC DRIVEWAY
 - 6) TRUNCATED DOWNS
 - 7) A.D.A. RAMP
 - 8) 1" CURB OPENING
 - 9) 1" x 6" WALL OPENING
 - 10) 6" RISE AND 9" RUN STEPS
 - 11) PERVIOUS PAVING
 - 12) BUILDING WALL PER ARCHITECTURAL PLANS
 - 13) NEW TRASH ENCLOSURE PER ARCHITECTURAL PLANS
 - 14) RETAINING WALL
 - 15) 9" x 9" STORM DRAIN INLET
 - 16) 6" PVC STORM DRAIN UNLD.
 - 17) EXISTING POWER POLES TO REMAIN
 - 18) DIRECTION OF FLOW
 - 19) TYPE A CURB DRAINLET PER SISED 0-25
 - 20) REMOVE EXISTING PCC SIDEWALK FROM BACK OF CURB TO REGR.
 - 21) PROPOSED SEWER LATERAL
 - 22) EXISTING WATER SERVICE TO BE ABANDONED
 - 23) PCC SLOPE
 - 24) EXISTING SEWER SERVICE TO BE ABANDONED IN PLACE
 - 25) FENCE PER LANDSCAPE PLANS
 - 26) PCC PAVING DRIVE-ABLE
 - 27) STRIPING PER ARCHITECTURAL PLANS
 - 28) SANDWICH LINE
 - 29) AD PAVING AND STRUCTURAL SECTION TO MATCH EXISTING
 - 30) ENHANCED PAVING
 - 31) SITE VISIBILITY TRIANGLE
 - 32) BIORETENTION BASIN PER DETAIL THIS SHEET
 - 33) SIDEWALK UNDERDRAIN PIPE PER SISED 0-27
 - 34) PCC WATER
 - 35) BACKFLOW PREVENTER DEVICE
 - 36) PROPOSED WATER SERVICES
 - 37) DEEPENED CURB
 - 38) EXISTING GAS LINE TO BE ABANDONED IN PLACE
 - 39) 3" PERFORATED PIPE
 - 40) 6" PVC PIPE
 - 41) EXISTING LIGHT POLE TO BE REINFORCED
- TG = TOP OF CURB
 FS = FINISH SURFACE
 FG = FINISH GRADE
 FL = FLOWLINE
 TW = TOP OF WALL
 UNLD. = UNLESS NOTED OTHERWISE
 TO = TOP OF GRADE
 FF = FINISH FLOOR
 AG = ASPHALT CONCRETE
 AB = AGGREGATE BASE
 PCC = PORTLAND CEMENT CONCRETE
 POC = POINT OF CONNECTION
 BS = BOTTOM OF SECTION (CLASS 2 BASE)

SURFACE LEGEND:

- PCC PAVING
- PCC WALKWAY
- BIORETENTION BASIN (TREATMENT AREA)
- LANDSCAPE AREA
- PERVIOUS PAVING
- ENHANCED PAVING

EARTHWORK QUANTITIES

EXCAVATION = 1110 C.Y.
 EMBANKMENT = 30 C.Y.
 EXPORT = 1080 C.Y.
 MAX. CUT = 1.3'
 MAX. FILL = 1.2'



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 ARCHITECTURE | PLANNING

Site Development Permit

Sheet/Total	1100
Date	24 January 2013
Drawn	
Checked	

Compliance Check - 15 May 2012
 MR Submitted - 20 May 2012
 SDP P12 Submitted - 07 August 2012
 SDP P12 Submitted - 25 September 2012
 SDP P12 Submitted - 20 October 2012
 SDP P12 Submitted - 30 November 2012
 SDP P12 Submitted - 24 January 2013

Melvin Garb Hillel Center
 San Diego State University
 5717 Lindo Paseo
 San Diego, CA 92115

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 SHEET SIZE: 42" x 30"
 DO NOT SCALE DRAWINGS

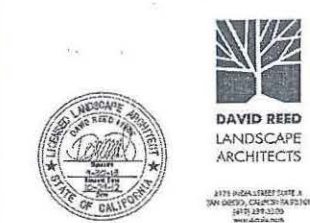
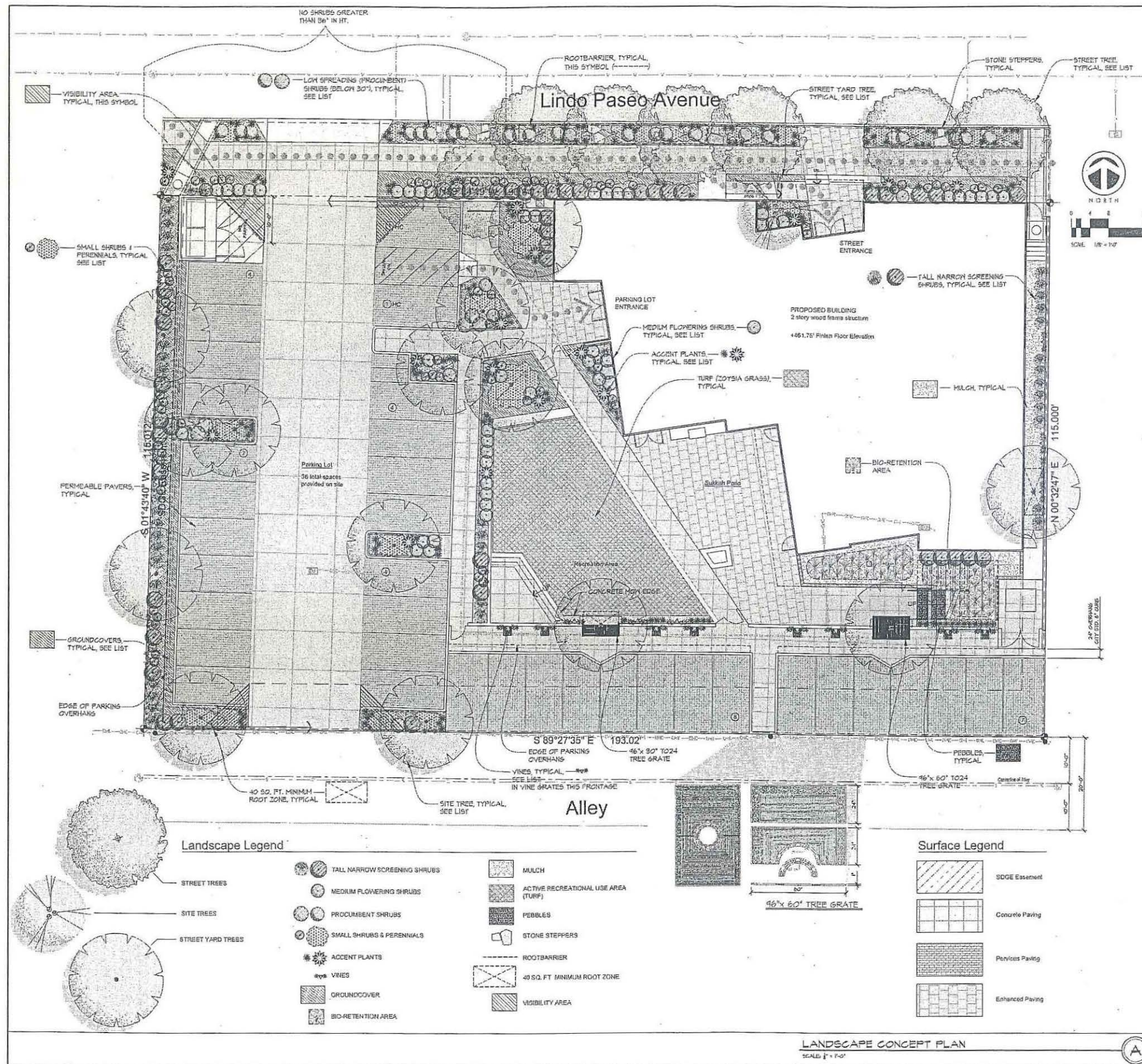
Conceptual Grading Plan

Scale: N.T.S.

C2.0

Sheet Number 4 of 12

Melvin Garb Hillel Center SDSU
 Site Development Permit
 Sustainable Expedite Program



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Site Development Permit

Project No.	1168
Date	26 October 2012
Sheet	
Client	

Development Check - 15 May 2012
 MRB Submitted - 07 May 2012
 SDP Fee Submitted - 07 August 2012
 SDP Fee Approved - 03 September 2012
 SDP Submittal - 26 October 2012

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 San Diego, CA 92115

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Landscape Concept Plan
 Size: 18" x 14"

L-1

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STREET YARD
 TOTAL AREA = 150 SQ. FT.
 PLANTING AREA REQUIRED = 150 X .25 = 38 SQ. FT.
 PLANTING AREA PROVIDED = 72 SQ. FT.
 EXCEEDS REQUIREMENT BY 34 SQ. FT.
 PLANTING POINTS REQUIRED = 150 X .05 = 8 POINTS
 PLANT POINTS PROVIDED = 10 POINTS
 (1) 15 GAL TREES * 10 PTS = 150 POINTS
 EXCEEDS REQUIREMENT BY 2 POINTS

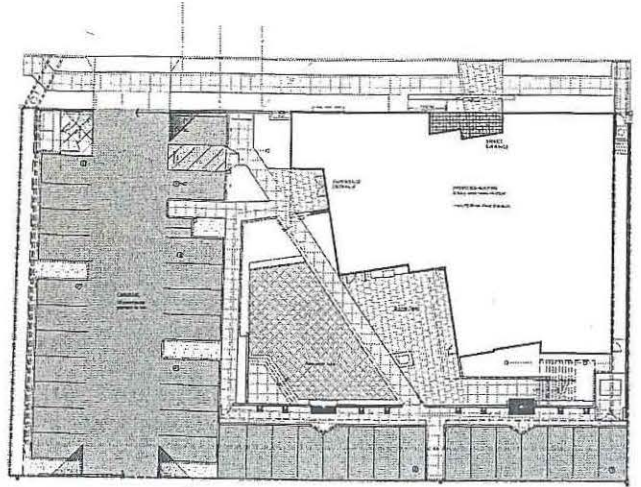
TREES ABUTTING RESIDENTIAL USE - EAST
 TOTAL AREA = 115 X 5 = 575 SQ. FT.
 TREE POINTS REQUIRED = 575 X .05 = 28.75 POINTS
 TREES POINTS PROVIDED = 50 POINTS
 (1) 36" BOX TREES * 50 PTS = 50 POINTS
 EXCEEDS REQUIREMENT BY 21.25 POINTS

REMAINING YARD
 TOTAL AREA = 2,474 SQ. FT.
 PLANTING AREA REQUIRED = 2,474 X .25 = 619 SQ. FT.
 PLANTING AREA PROVIDED = 147 SQ. FT.
 EXCEEDS REQUIREMENT BY 103 SQ. FT.
 PLANT POINTS REQUIRED = 2,474 X .05 = 124 POINTS
 PLANT POINTS PROVIDED = 686 POINTS
 (2) 36" BOX TREES * 50 PTS = 100 POINTS
 (3) 24" BOX TREES * 20 PTS = 60 POINTS
 (4) 15 GAL. SHRUB * 10 PTS = 30 POINTS
 (5) 5 GAL. SHRUB * 2 PTS = 50 POINTS
 (2) 1 GAL. SHRUB * 1 PTS = 20 POINTS
 EXCEEDS REQUIREMENT BY 562 POINTS

TREES ABUTTING RESIDENTIAL USE - WEST
 TOTAL AREA = 18,012 X 5 = 90,060 SQ. FT.
 TREE POINTS REQUIRED = 90,060 X .05 = 4,503 POINTS
 TREES POINTS PROVIDED = 40 POINTS
 (2) 24" BOX TREES * 20 PTS = 40 POINTS
 EXCEEDS REQUIREMENT BY 89,720 POINTS

**VEHICULAR USE AREA
 OUTSIDE STREET YARD**
 TOTAL AREA = 1,174 SQ. FT.
 PLANTING AREA REQUIRED = 1,174 X .025 = 29 SQ. FT.
 PLANTING AREA PROVIDED = 34 SQ. FT.
 EXCEEDS REQUIREMENT BY 5 SQ. FT.
 PLANT POINTS REQUIRED = 1,174 X .025 = 29 POINTS
 PLANT POINTS PROVIDED = 321 POINTS
 (3) 36" BOX TREES * 50 PTS = 150 POINTS
 (3) 24" BOX TREES * 20 PTS = 60 POINTS
 (1) 15 GAL. SHRUB * 10 PTS = 30 POINTS
 (1) 5 GAL. SHRUB * 2 PTS = 50 POINTS
 (4) 1 GAL. SHRUB * 1 PTS = 41 POINTS
 EXCEEDS REQUIREMENT BY 94 POINTS

STREET TREE & PUBLIC R.O.W. REQUIREMENTS
STREET NAME
 STREET FRONTAGE LINDO PASEO AVENUE
 TREES REQUIRED = 140/50 = 1 STREET TREE
 TREES PROVIDED = (1) 24" BOX TREES



LANDSCAPE CALCULATIONS DIAGRAM
 SCALE: 1/8"=1'-0"

DESIGN STATEMENT
 THIS PLAN CONFORMS TO THE SDSU COLLEGE AREA CORE SUB-AREA DESIGN MANUAL IN THAT IT IS AN URBAN PROJECT ON A MIXED USE STREET WITH PROPOSED STREET TREE SPECIES HAVINGIN THE OF THE SUB-AREA DESIGN MANUAL PLANTED AT 1 TREE PER 30 LINEAR FEET OF FRONTAGE WITH 40 SQUARE FEET OF WATER AND AIR PERMEABLE AREA AT THE BASE. STREET TREES ARE PROPOSED IN CONTIGUOUS PLANTING TRENCHES WITH DEEP ROOT WATERING.
 IN ADDITION TO CITY REQUIRED FEATURES MENTIONED ON THIS SHEET THIS PROJECT IS ALSO PROVIDING A LOW WATER USE WATER CONSERVING LANDSCAPE WITH NEURAL CONSERVATION FEATURES SUCH AS A SMARTER IRRIGATION CONTROLLER, RAIN AND SOLAR SENSOR HIGH EFFICIENT LOW FLOW IRRIGATION HEADS AND OTHER BEST MANAGEMENT PRACTICES & IRRIGATION FEATURES. STORM WATER FROM THE ROOF WILL BE ROUTED TO AND FILTERED THROUGH A BIO-RETENTION BASIN. POROUS PAVING IS ALSO PROPOSED AND WILL PROVIDE ON SITE STORM WATER RETENTION.

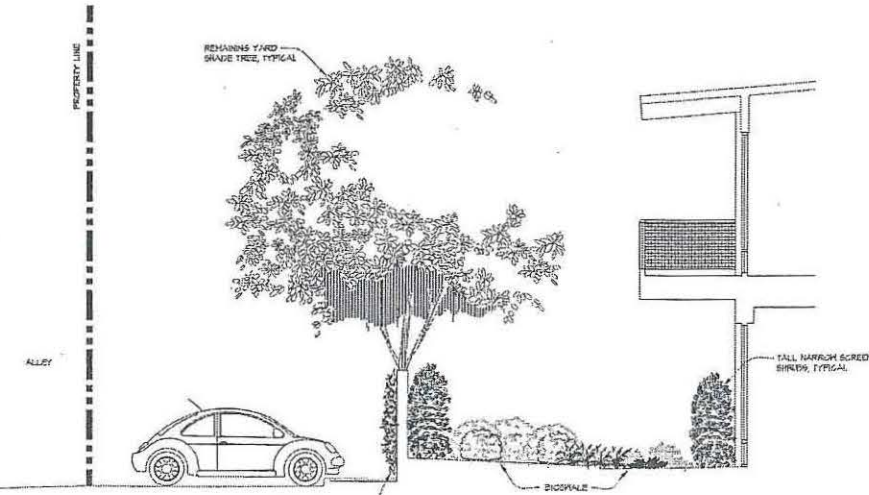
MAINTENANCE CRITERIA
 TREES SHALL BE WATERED DEEPLY BUT INFREQUENTLY TO PROMOTE DEEPER ROOTS, AND SHALL BE FERTILIZED AS REQUIRED BY SOIL HORTICULTURAL PRACTICES.
 PLANTS SHALL BE PRUNED IN ACCORDANCE WITH PROFESSIONAL TREEMAN STANDARDS TO MAINTAIN THEIR INTENDED SHAPE AND SIZE, AND TO INSURE THE HEALTH OF THE SPECIATION AND THE SAFETY OF THE PUBLIC.
 TREE BRAYS AND STAKES THIS SHALL BE UNNECESSARY AND ADJUSTED PERIODICALLY AND REMOVED WHEN NECESSARY TO MAKE THAT THEY ARE AESTHETICALLY UNDESIRABLE OR THE TREE WITHIN BRACKING TRUNKS OR BRANCHES.
 PLANTS SHALL BE PRUNED TO AVOID BLOCKING WALLS, PASSENGERS AND VISIBILITY FOR VEHICULAR TRAFFIC.
 DEAD PLANTS SHALL BE REPLACED. DAMAGED BRANCHES SHALL BE REMOVED, AND OVERHANGING BRANCHES SHALL BE TRIMMED BY THE SELECTIVE REMOVAL OF UNNECESSARY PLANTS.
 SHRUBS AND VINES USED FOR SCREENING TRASH ENCLOSURES AND SERVICE AREAS SHALL BE PRUNED TO MAINTAIN SCREENING WHILE ALLOWING ACCESS TO THE DEBRIS/SERVICE AREAS.
 SHRUBS, TREES, AND VINES USED TO MEET THE "REMAINING YARD RESIDENTIAL BUFFERING" REQUIREMENT OR FOR SCREENING ADJACENT PROPERTY SHALL BE KEPT PRUNED SO THEY DO NOT INTERFERE WITH PEDESTRIAN TRAFFIC AND DO NOT ENCROACH EXCESSIVELY ONTO THE ADJACENT PROPERTY.

GENERAL NOTES
 ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR (UNLESS OTHERWISE SPECIFIED).
 TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLANTED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEDMENTS OR PARKS NEAR PUBLIC IMPROVEMENTS AND PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT "FRAN" AROUND THE ROOT BALL.
 IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION. SELECTED.
 MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REMOVED PER THE CONDITIONS OF THE PERMIT.
 MINIMUM TREE SEPARATION DISTANCE: IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE TRUNKS: SIDEWALK/DECK/BIKEWAY - 20 FEET UNDERGROUND UTILITY LINES - 8 FEET ABOVE GROUND UTILITY STRUCTURES - 45 FEET DRIVEWAY (ENTRANCE) - 10 FEET INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET SEVEN LINES - 10 FEET
 MELCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MELCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLIPPER REQUIRING REVEGETATION AND AREAS PLANTED WITH GRASS COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THE MINIMUM DEPTH (142-2-4030)
 ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER CITY AND REGIONAL STANDARDS.
 LANDSCAPE AREAS FOR TREES, THE OPENINGS FOR TREES PLANTED IN PAVED AREAS SHALL BE A MINIMUM 40 SQUARE FEET IN AREA AND WATER PERMEABLE UNCONSOLIDATED MELCH MATERIALS MUST BE COVERED BY TREE GRATES OR UNATTACHED PAVERS.

IRRIGATION NOTES
 ALL PLANTED AREAS SHALL BE IRRIGATED WITH A PERMANENT, AUTOMATICALLY CONTROLLED IRRIGATION SYSTEM USING LOW PRECIPITATION AND INCREASINGLY SPACED HEADS. LAYER AREAS SHALL HAVE SEPARATE SYSTEMS. ALL SEPARATE HEADS IN THE RIGHT-OF-WAY OR WITHIN TWO FEET OF THE SIDEWALK SHALL HAVE EXCESS FLOW VALVES IN THEM AND BE ON VALVES CONTROLLED FROM WITHIN THE PROPERTY.

MAINTENANCE NOTES
 LANDSCAPE MAINTENANCE SHALL BE PERFORMED ON ALL IMPROVED AREAS OF THE SITE PER THE CRITERIA OF THE CITY OF SAN DIEGO LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AS WELL AS THE REQUIREMENTS OF THE MAINTENANCE MANUAL AND SPECIFICATIONS OF THE CITY OF SAN DIEGO LANDSCAPE ARCHITECTS.

LANDSCAPE CALCULATIONS
 NOT TO SCALE



ALLEY AND BIOFILTRATION / RETENTION AREA PLANTING -SECTION
 SCALE: 1/2"=1'-0"



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Site Development Permit

Project No.	1106
Date	28 October 2012
Drawn	
Checked	
Consultant Check - 15 May 2012	
Site Inspection - 07 May 2012	
SDP #12 Summary - 07 August 2012	
SDP #12 Summary - 26 September 2012	
SDP #12 Summary - 29 October 2012	

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 SHEET SIZE: 42" x 30"
 DO NOT SCALE DRAWINGS

Landscape Diagram
 Landscape Calculations

Scale: R.T.S.

L-2

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PLANT PALETTE

ABBR.	SCIENTIFIC NAME	COMMON NAME	NOTES	HEIGHT	SPREAD	SPACING
STREET TREES - 100% 24" BOX - ROUND HEADED, DECIDUOUS TREE PER THE CITY OF SAN DIEGO, COLLEGE COMMUNITY REDEVELOPMENT PROJECT CORE SUB-AREA DESIGN MANUAL						
KOE. BIP.	KOELBUTERIA BIPINNATA	CHINESE FLAME TREE	DECIDUOUS WITH GREAT STRUCTURE. SPRAYS OF SMALL YELLOW FLOWERS ARE SHOWY, THEN TURN TO ORANGE SALMON BRAG IN LATE SUMMER. EASY CARE.	20-50 FT.	20-40 FT.	30 FT.
REMAINING YARD TREES - 88% 36" BOX, 66% 24" BOX - DECIDUOUS AND EVERGREEN SPREADING SHADE TREES SUCH AS						
GH. TAS.	CHITALPA X TAHAKENTENSIS 'PINK DAWN'	PINK DAWN CHITALPA	RELATIVELY FAST AND TOUGH. VERY LIGHT PINK TRUMPET SHAPED FLOWERS. DECIDUOUS.	23 FT.	25 FT.	20 FT.
JAG. MH.	JACARANDA MIMOSIFOLIA	JACARANDA	PURPLE FLOWERS IN LATE SPRING ARE A SHOW STOPPER. NICE FERN-LIKE FOLIAGE. BRIEFLY DECIDUOUS.	45 FT.	30 FT.	25 FT.
PRC. GH.	FRAXINUS CHLORIS	CHILEAN MESQUITE	SEMI-EVERGREEN, VERY DROUGHT TOLERANT ONCE ESTABLISHED. TINY GREEN LEAVES, YELLOW FLOWERS SPRING AND SUMMER.	25 FT.	20 FT.	25 FT.
RHI. LAN.	RHUS LANCEA	AFRICAN SORREL	EVERGREEN, SLOTTED OPEN SPREADING HABIT. REDDISH PINK, NARROW OLIVE GREEN LEAVES, DROUGHT TOLERANT.	20-30 FT.	20-35 FT.	25 FT.
TRI. GON.	TRISTANIA CONFERTA	BRISBANE BOX	EVERGREEN TREE WITH NICE FOLIAGE AND FRAGRANT FLOWERS	40 FT.	20 FT.	25 FT.
SITE TREES - 100% 15 GAL. - SMALL EVERGREEN DECIDUOUS FLOWERING ACCENT TREES SUCH AS:						
ARB. MAR.	ARGENTUS MARINA - STANDARD	MARINA STRAWBERRY TREE	BLENDS WELL WITH NATIVES. VERY SIMILAR TO TOYON IN ALL RESPECTS. SUMMER WATER ON GREAT MOTT OR STANDARD. LARGE HANDSOME LEAVES HAS CREAM COLORED FLOWERS THAT ARE FRAGRANT WITH ASE.	25 FT.	25 FT.	20 FT.
ERI. LUT.	ERIOBOTRYA DEFLEVA	BRONZE LOCUST	GREAT MELTI OR STANDARD. LARGE HANDSOME LEAVES HAS CREAM COLORED FLOWERS THAT ARE FRAGRANT WITH ASE.	25 FT.	20 FT.	15 FT.
LAS. FAL.	LASERDINGEMA FAURIE 'TUSCAGORA' OR 'MISKOSSE'	GRAPE MYRTLE	PINK, SALMON OR PURPLE FLOWERS IN LATE SUMMER. IS DECIDUOUS BUT HAS FALL COLOR. USE FAURIE HYBRIDS.	25 FT.	15 FT.	15 FT.
TALL NARROW SCREENING SHRUBS - 100% 15 GAL. - EVERGREEN VERTICAL HEDGE PLANTS						
JIN. BA.	JANPERIS VIRGINIANA 'BLUE ARROW'	BLUE ARROW JANPER	COLUMNAR FORM TO 15 FT. TALL. BLUE FOLIAGE, TIGHT NARROW SCREEN.	60 FT.	5 FT.	3 FT.
DOO. PUR.	DODONAEA V. PURPUREA	PURPLE HOPBEE	FAST GROWING SHRUB. LONG NARROW PURPLE LEAVES. PAPERY SEED. CAPSULES. DROUGHT TOLERANT.	10 - 15 FT.	10 FT.	9 FT.
GRE. GGG.	GREYIA OCCIDENTALIS	LAVENDER STAR FLOWER	PURPLE STAR-LIKE FLOWERS BLOOMING INTERMITTENTLY ALL YEAR. VERY TIDY IF TRIMMED REGULARLY.	6-10 FT.	6-10 FT.	6 FT.
JIN. SKY.	JANPERIS SCOPULORUM 'SKYROCKET'	HYBRID JANPER	COLUMNAR FORM, NARROWEST AVAILABLE. BLUE/GREEN COLOR. ONLY OCCASIONAL WATER ONCE ESTABLISHED.	15 - 20 FT.	2-3 FT.	3 FT.
LIG. TEX.	LIGULSTRUM J. TEXANUM	TEXAS PRIVET	BRIGHT, DENSE SHRUB WITH GLOSSY GREEN LEAVES AND WHITE FLOWERS.	6 FT.	4 FT.	3.5 FT.
PIT. EA.	PITCOPOREM T. 'EMERALD HAZE'	EMERALD HAZE KOHLEU	GREAT TALL GREEN. DROUGHT TOLERANT ONCE ESTABLISHED. LOW MAINTENANCE AND EASY CARE.	10 - 12 FT.	3 - 4 FT.	3 FT.
ROS. FB.	ROSMARINUS O. 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	LEAVES ARE RICH GREEN. FLOWERS BLUE VIOLET. RIGID UPRIGHT BRANCHES.	6 FT.	5 FT.	3 FT.
MEDIUM FLOWERING SHRUBS - 100% 5 GAL. - EVERGREEN ROUND MOUNDING SHRUBS						
ARG. SUN.	ARCTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	MOUNDING SHRUB. SHINY LEAVES. NEW GROWTH RED, WHITE/PINK. FLOWERS, FULL SUN TO FULL SHADE.	3-4 FT.	4-6 FT.	3 FT.
GIS. VR.	GISSIS 'VICTOR REITER'	VICTOR REITER ROCKROSE	GREY-GREEN LEAVES WITH HOT PINK BLOSSOMS. UPRIGHT ROUND SHRUB.	3-4 FT.	3-4 FT.	3 FT.
RHA. SPR.	RHAPHIDOLEPS INDICA 'SPRINGTIME'	SPRINGTIME INDIAN HAWTHORN	PINK FLOWERS, TWICE A YEAR, HEAVILY IN SPRING THEN LATER IN SEPT. EASY CARE SHRUB REQUIRES LITTLE PRUNING.	5 FT.	5 FT.	3.5 FT.
PROCUMBENT SHRUBS - 50% 5 GAL., 50% 1 GAL. - EVERGREEN LOW SPREADING PLANTS						
BOU. GIL.	BOUNAINVILLEA 'GO-LA-LA'	HYBRID BOUNAINVILLEA	MONROVIA HYBRID. SMALL PROSTRATE FORM WITH BRIGHT MANDARIN FLOWERS. GOOD FOR GROUND COVER.	1.5 FT.	6-8 FT.	6 FT.
GIS. SUN.	GISSIS 'SUNSET'	SUNSET HYBRID ROCKROSE	DROUGHT RESISTANT SHRUB WITH PURPLE FLOWER. LOW SPREADING TYPE.	2 FT.	6 FT.	4 FT.
ROS. HB.	ROSMARINUS O. 'HUNTINGTON BLUE'	HUNTINGTON BLUE ROSEMARY	HYBRID GROUND COVER WITH MORE PROSTRATE FORM. PALE BLUE FLOWERS.	1-1/2 FT.	5 FT.	3 FT.
MAH. REP.	MAHONIA REPENS	CREeping MAHONIA	DROUGHT TOLERANT, SPICY GRAY-GREEN LEAVES, YELLOW FLOWERS, BLUE BERRIES. TAKES SHADE.	1.5 FT.	5 FT.	2.5 FT.
RIB. VIB.	RIBES VIBURNIFOLIUM	EVERGREEN CURRANT	SPREADING EVERGREEN SHRUB. CA NATIVE. RED STEMS WITH DARK GREEN LEAVES. PINK FLOWERS IN EARLY SPRING, FOLLOWED BY RED BERRIES. TAKES DRY SHADE.	3 FT.	5 FT.	5 FT.
SMALL SHRUBS & PERENNIALS - 100% 1 GAL. - SMALL PERENNIAL PLANTS FOR COLOR						
CON. GLE.	CONVOLVULUS GLEHORI	BUSH MORNING GLORY	EVERGREEN SHRUB WITH SOFT, GRAY-GREEN LEAVES AND WHITE OR LIGHT PINK FLOWERS. PREFERENCE HARD IF LEAST.	2-4 FT.	2-4 FT.	2.5 FT.
GAL. PUR.	GALVEZIA SPECIOSA 'PINKCRACKER'	HYBRID ISLAND BUSH SNAPDRAGON	SUBERB. BRIGHT RED FLOWERS. VERY DROUGHT TOLERANT. COMPACT GROWTH.	2-3 FT.	3 FT.	2.5 FT.
HEM. SAN.	HEGHERA SANGUINEA	CORAL BELLS	MEDICINE NATIVE. ROSETTE OF MAPLE SHAPED LEAVES. TALL, THIN STEMS WITH TINY PINK BELL FLOWERS AT TOP. TAKES DRY SHADE.	1 FT.	2 FT.	1.5 FT.
KAL. BLO.	KALANCHOE BLOSSFELDIANA	KALANCHOE	SUCCESSIVE PERENNIAL WITH GREAT FLOWERS IN RED, ORANGE, YELLOW, PINK. GOOD IN SHADE.	1 FT.	1.5 FT.	1 FT.
LAV. DEN.	LAVANDULA DENTATA	FRENCH LAVENDER	LAVENDER FLOWERS ON SPIKES MOST OF GROWING SEASON.	3-5/2 FT.	2-3 FT.	2.5 FT.
LIN. PER.	LINUM PERENNIUM	STATICE SEA LAVENDER	PERENNIAL PURPLE FLOWERS. TOLERANT OF ADVERSE CONDITIONS. SPREADS BY SEED.	2 FT.	2 FT.	1.5 FT.
FEL. B. B.	PELARGONIUM FELTATUM 'BLUE BLIZZARD'	IVY GERANIUM HYBRID	EASY CARE PLANT WITH ALMOST YEAR ROUND BRIGHT PURPLE BLOSSOMS.	1 FT.	5 FT.	1.5 FT.
ACCENT PLANTS - 25% 5 GAL., 15% 1 GAL. - VASE SHAPED AND SUCULENT MONOCOTS						
AGA. ATT.	AGAVE ATTENUATA	FOXTAIL AGAVE	INTERESTING ACCENT IN ANY LANDSCAPE. VERY USEFUL IN MEDITERRANEAN GARDENS. LIGHT GREEN FOLIAGE. SOFT TIPS. TAKES SHADE.	3 FT.	5 FT.	3 FT.
ALO. STR.	ALOE STRIATA	CORAL ALICE	BROAD GRAY GREEN LEAVES WITH PINK EDGES TO 2 FT. WIDE ROSETTES, NO SPINES. BRIGHT ORANGE FLOWERS ON 2 FT. HIGH STALKS WINTER.	1.5 FT.	2 FT.	2 FT.
COR. F&G.	CORDYLINUM X 'LURNED'	CORDYLINUM FESTIVAL GRASS	THIS VARIETY W/ LONG ARCHING RED LEAVES, NO TRUNK, TAKES FULL SUN AND IS HARDY TO 20 DEGREES. FRAGRANT PALE LAVENDER FLOWERS IN SUMMER.	2-3 FT.	2-5 FT.	2.5 FT.
PHO. IS.	PHORMIUM EVERINGI 'GLOR'	NEW ZEALAND FLAX HYBRID	ARCHING OLDER LEAVES AND STIFF NEWER LEAVES. STRIKING PINKISH RED COLOR. TAKES SOME SHADE.	3 FT.	3 FT.	2.5 FT.
PHO. IS.	PHORMIUM T. 'LACK SPRATT'	HYBRID NEW ZEALAND FLAX	DWARF HYBRID. REDDISH BROWN THICK LEAVES. TAKES SOME SHADE.	1.5 FT.	1.5 FT.	1 FT.
VINES - 100% 5 GAL. - EVERGREEN & DECIDUOUS SPREADING TWINING AND CLINGING PLANTS						
BOU. BK.	BOUNAINVILLEA 'BARBARA KARST' - ESPALIER	BARBARA KARST BOUNAINVILLEA	BRIGHT RED, VIGOROUS GROWER. LONG BLOOMING PERIOD.	20 FT.	20 FT.	10 FT.
GIS. ANT.	GISSIS ANTARCTICA	KANGAROO TREEBINE	VIGOROUS EVERGREEN VINE. LARGE TOOTHED LEAVES. LITTLE TO NO WATER. SUN OR SHADE. CLIMBS OR CASCADES.	10 FT.	10 FT.	6 FT.
MAG. VC.	MAGNOLIA VINCIGRATA	CAT'S CLAW VINE	EVERGREEN VIGOROUS CLIMBER BY HOOK-LIKE TENDRILS. YELLOW TRUMPET FLOWERS IN SPRING. LIKES SUMMER HEAT. CAN BE USED AS GROUND COVER. GOOD EROSION CONTROL.	30 FT.	30 FT.	10 FT.
PAR. TRI.	PARTHENOCLISSUS TRICHOSPERMA	DOSTON IVY	SHADY FLOWERING DECIDUOUS VINE. RED FALL COLOR. CLEANS TO FENCES, WALLS, FOR SPREADING, VIGOROUS.	30 FT.	30 FT.	10 FT.
GROUNDCOVERS - 20% 4" POTS, 80% PLATS - LOW GROWING SPREADING PLANTS						
CON. MAL.	CONVOLVULUS MAURITANICUS	GROUND MORNING GLORY	TRAILING BRANCHES WITH SOFT, GRAY-GREEN LEAVES AND LAVENDER BLUE FLOWERS 1-2 IN. WIDE.	1-2 FT.	3 FT.	2.5 FT.
CRA. MIL.	CRASSULA MULTICAVA	HC.N.	ZERO CARE. MOUNDING GROUNDCOVER.	1.5 FT.	3 FT.	2 FT.
DUX. IND.	DUXESNEA INDICA	INDIAN MOCK STRAWBERRY	SIMILAR IN APPEARANCE TO STRAWBERRY GROUNDCOVER, BUT YELLOW FLOWERS AND UN-TASTY FRUIT EXCEPT TO BIRDS. GOOD IN SUN OR SHADE. SPREADS FREELY.	0.5 FT.	3 FT.	1.5 FT.
DYM. MAR.	DYMONDIA MARGARETAE	DYMONDIA	CLOSE FIBER GROUNDCOVER. LINE MINI-GRAY GAZANIA. TAKES SOME FOOT TRAFFIC AND SHADE.	4 IN.	2 FT.	10 IN.
FRA. GIL.	FRASARIA CHLORIS	WILD STRAWBERRY	LOW COMPACT WITH WHITE FLOWERS IN SPRING. RED, SEEDY FRUIT IN FALL. SUN OR PART SHADE.	4-6 IN.	3 FT.	1.5 FT.
LAV. SPI.	LAVANDULA SPICATISSIMA	TRAILING ICE PLANT	DAZZLING PURPLE FLOWERS IN SPRING.	1 FT.	1-2 FT.	5 IN.
SED. ANG.	SEDUM ANGLICUM	STONECROP	LOW SPREADING GREEN PLANT WITH TINY FOLIAGE. PINK-WHITE FLOWERS. PART SHADE. TOUGH. LOW MAINTENANCE.	6-8 IN.	1.5 FT.	8 IN.
SED. FL.	SEDUM SPERMUM 'ELDADSLUT'	STONECROP	LOW GROWING. TRAILING STEMS. RED LEAFED VARIETY WITH PINK FLOWERS. PART SHADE. TOUGH. LOW MAINTENANCE.	6-8 IN.	1.5 FT.	8 IN.
BIO-RETENTION AREA - 93% PLATS, 66% 2" PLUGS						
GAR. PAN.	CAREX PANSA	CALIFORNIA MEADOW SEDGE	FORMS A MAT OF DARK GRASS LIKE LEAVES. ONLY OCCASIONAL WATER AND SHEARINGS.	6-8 IN.	1-2 FT.	12 IN.
JUN. PAT.	JACUIS PATENS	CALIFORNIA GREY RUSH	NATIVE RUSH. BLUE-GREEN LONG NARROW LEAVES. TAKES WATER OR DROUGHT. SUN OR SHADE.	1-2 FT.	3 FT.	1.5 FT.
NAS. PUL.	NASSELLA PULCHRA	PURPLE NEEDLE GRASS	NATIVE GRASS. FORMS A CLUMP OF FINE NARROW LEAVES. HAS PURPLE FLOWERS.	1.5 FT.	2 FT.	12 IN.



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 916 224-3007
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 FACSIMILE 619 230 0335
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 ARCHITECTURE | PLANNING

Site Development Permit

Project No.	1108
Date	19 October 2012
Sheet	-
Scale	-

Completion Check	15 May 2012
MR Summary	28 May 2012
SDP Pre-Submission	01 August 2012
SDP and Submission	25 September 2012
SDP Post-Submission	29 October 2012

Melvin Garb Hillel Center
 San Diego State University
 5717 Lindo Pared
 San Diego, CA 92115

NOT FOR CONSTRUCTION
 SHEET SIZE 42" x 30"
 DO NOT SCALE DRAWINGS

Plant Palette

Date: N.T.S.

L-3

Melvin Garb Hillel Center SDSU
 Site Development Permit
 Sustainable Expedite Program

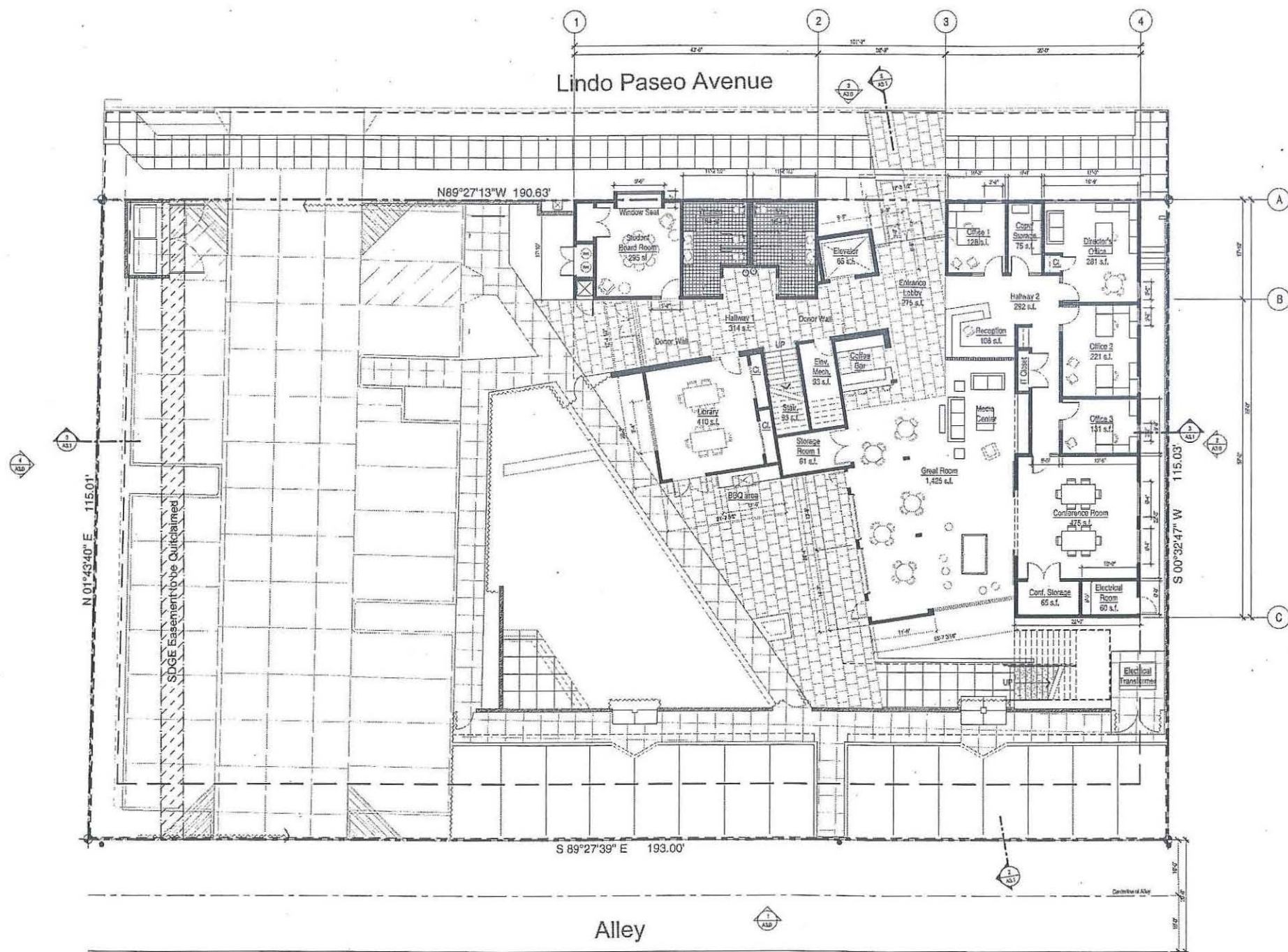
Legend	
Property line	---
Existing line	---
Impact line	---
Underwork line	---

Building Area Tabulations

Ground Floor Area	
Entrance Lobby	275 S.F.
Director	65 S.F.
Hallway 1	214 S.F.
Men's Room	154 S.F.
Women's Room	166 S.F.
Business Board Room	185 S.F.
Library	420 S.F.
Stair	77 S.F.
Mechanical	77 S.F.
Storage Room 1	71 S.F.
Reception	142 S.F.
Hallway 2	178 S.F.
Office 1	128 S.F.
Office 2	221 S.F.
Office 3	151 S.F.
Director's Office	281 S.F.
Copy/Storage	118 S.F.
Conference Room	415 S.F.
Conference Storage	18 S.F.
Trash Room	178 S.F.
Ground Floor Gross S.F.	3,777 S.F.

Second Floor Area	
Multi-purpose Room	1,629 S.F.
Storage Room 1	142 S.F.
Storage Room 2	148 S.F.
Reception	89 S.F.
Stair	212 S.F.
Men's Room	62 S.F.
Women's Room	184 S.F.
Kitchen	92 S.F.
Total HALLS	2,718 S.F.
Second Floor Gross S.F.	3,131 S.F.

Ground Floor Gross S.F.	
Ground Floor Gross S.F.	3,777 S.F.
Second Floor Gross S.F.	3,131 S.F.
Total Proposed Gross S.F.	6,908 S.F.



1 Ground Floor Plan
 scale: 1/8" = 1'-0"

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Site Development Permit

Project No.	1106
Date	24 January 2013
Drawn	scm
Checked	gfm

Melvin Garb Hillel Center
 San Diego State University
 5717 Lindo Paseo
 San Diego, CA 92115

- Comprehension Check - 13 May 2012
- MRP Submitted - 29 May 2012
- SDP Pre-Submittal - 01 August 2012
- SDP Pre-Submittal - 25 September 2012
- SDP Pre-Submittal - 05 October 2012
- SDP Pre-Submittal - 09 November 2012
- SDP Pre-Submittal - 24 January 2013

NOT FOR CONSTRUCTION
 SHEET SIZE: 42" x 30"
 DO NOT SCALE DIMENSIONS

Ground Floor Plan
 Date: 1/24/13

A2.0

Sheet Number 8 of 12

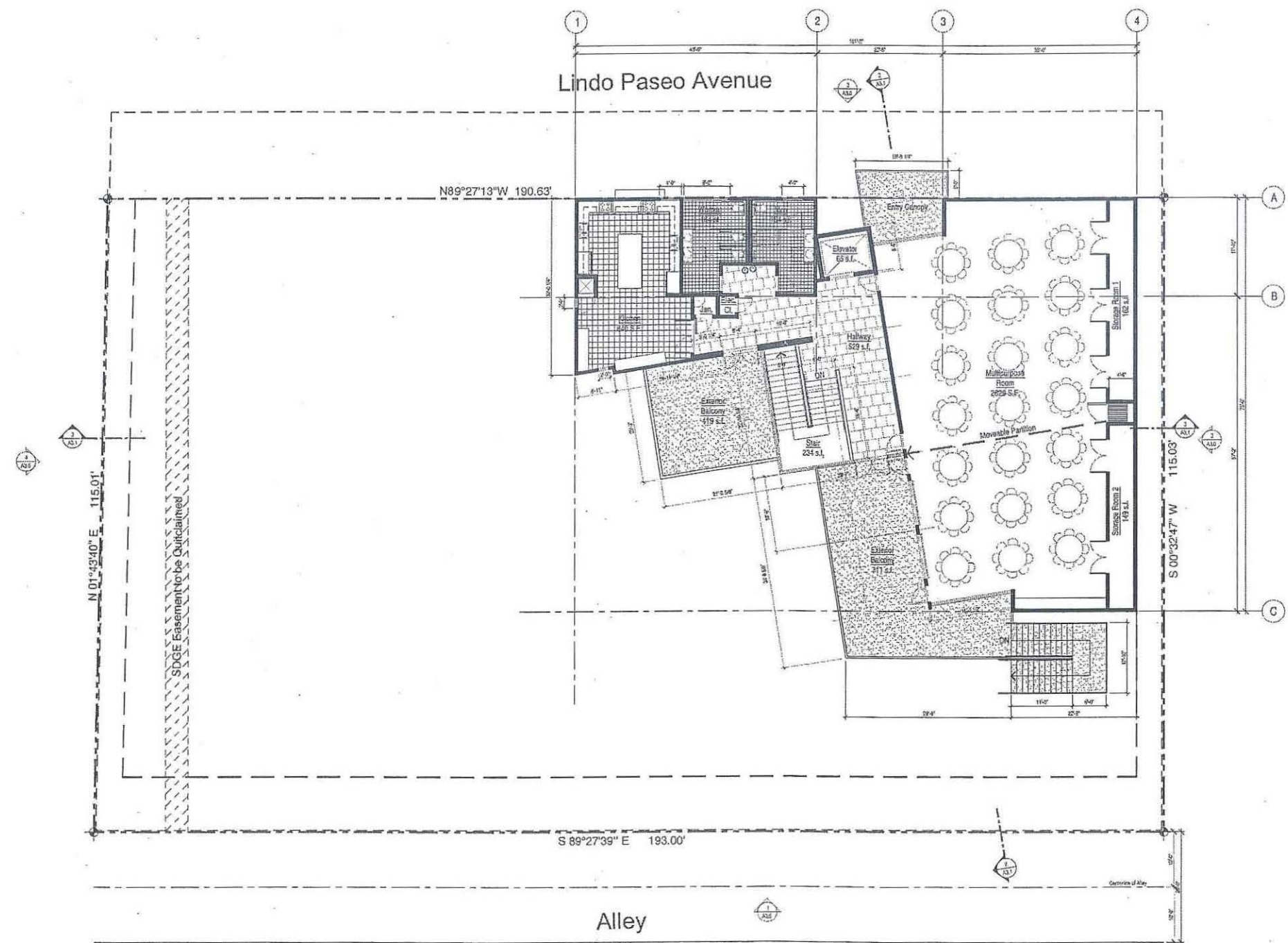
Melvin Garb Hillel Center SDSU

Site Development Permit
Sustainable Expedite Program

Legend	
Property	---
Examined	---
Setback	---
Unimproved	---

Building Area Tabulations

Second Floor Area:	
Entrance Lobby	275 S.F.
Recessed	43 S.F.
Room 1	248 S.F.
Men's Room	184 S.F.
Women's Room	184 S.F.
Business Room	216 S.F.
Library	428 S.F.
Stair	77 S.F.
Multi-Purpose Room	77 S.F.
Storage Room 1	142 S.F.
Storage Room 2	142 S.F.
Recessed	158 S.F.
Room 2	158 S.F.
Office 1	121 S.F.
Office 2	121 S.F.
Storage Office	181 S.F.
Conference	181 S.F.
Conference Room	428 S.F.
Commercial Storage	28 S.F.
Telephone Jkt.	1178 S.F.
Second Floor Gross S.F.:	4,922 S.F.
Second Floor Area:	
Multi-Purpose Room	2,623 S.F.
Storage Room 1	142 S.F.
Storage Room 2	142 S.F.
Hallway	389 S.F.
Stair	243 S.F.
Stair	88 S.F.
Men's Room	184 S.F.
Women's Room	184 S.F.
Office	242 S.F.
Total S.F.:	4,315 S.F.
Second Floor Gross S.F.:	5,173 S.F.
Second Floor Gross S.F.:	5,937 S.F.
Second Floor Gross S.F.:	4,125 S.F.
Total Proposed Gross S.F.:	15,830 S.F.



1 Second Floor Plan
Scale: 1/8" = 1'-0"

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Site Development Permit
 Date: 24 January 2012
 Drawn: gdm
 Checked: gdm

Melvin Garb Hillel Center
San Diego State University
5717 Lindo Paseo
San Diego, CA 92115

Commitments Check - 15 May 2012
 MRG Estimate - 29 May 2012
 SDP First Submittal - 07 August 2012
 SDP Second Submittal - 28 September 2012
 SDP Third Submittal - 29 October 2012
 SDP 2nd Submittal - 30 November 2012
 SDP 3rd Submittal - 24 January 2013

NOT FOR CONSTRUCTION
SHEET SIZE: 42" x 30"
DO NOT SCALE DRAWINGS

Second Floor Plan
Date: 18 May 2012

A2.1

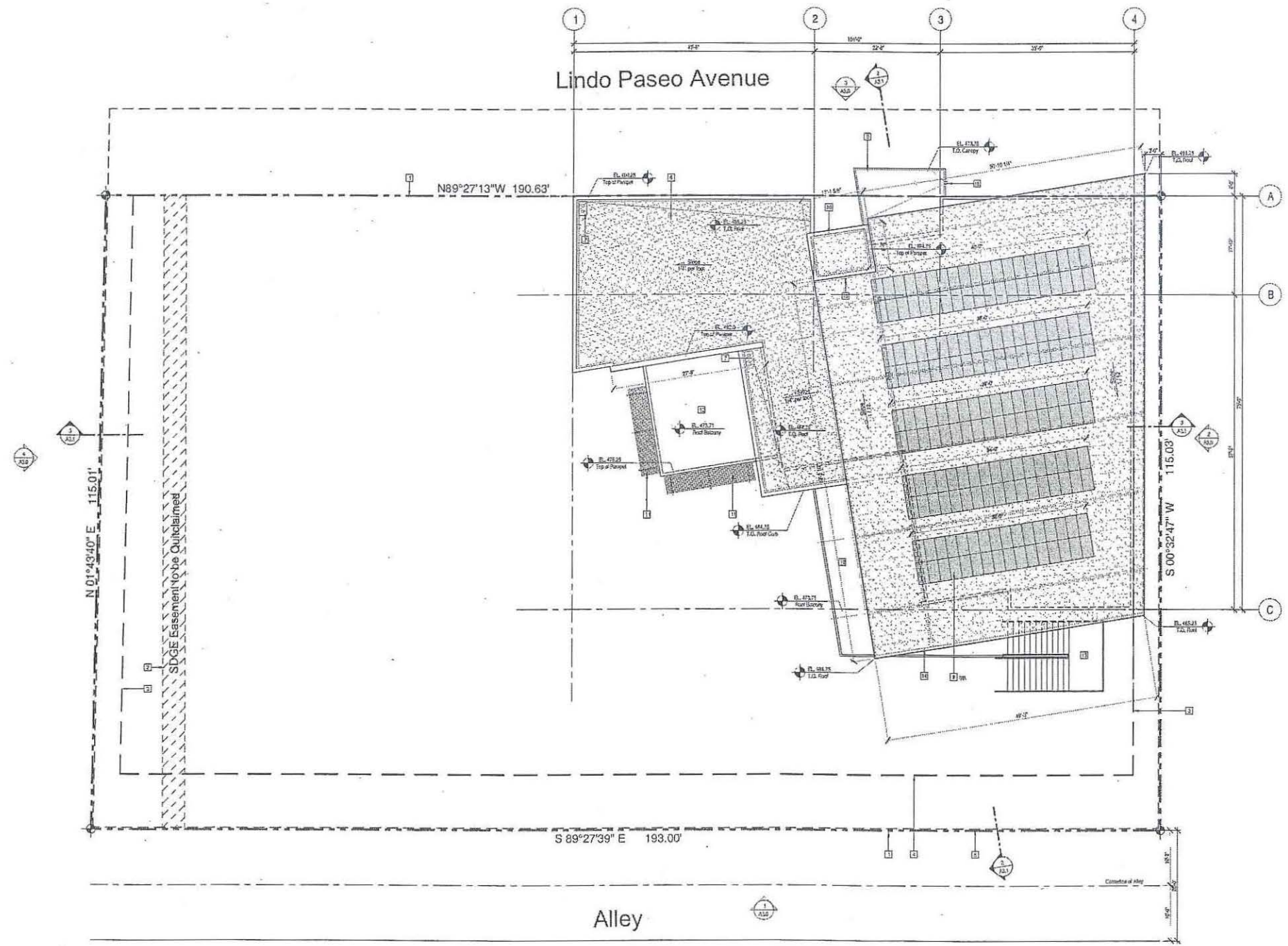
Sheet Number 9 of 12

Melvin Garb Hillel Center SDSU

Site Development Permit
Sustainable Expedite Program

Legend	
Property line	-----
Easement line	-----
Setback line	-----
Unit of work line	-----

Roof Plan Notes	
1	Property Line
2	4'-0" Existing 600V Utility Easement
3	0'-0" Setback Setback
4	10'-0" Setback Setback
5	Area of Work
6	Roof Top Profile
7	Roof Drain
8	Roof to Deck Panel
9	Steel Entry Canopy (shaded blue fill)
10	Elevator Penetration
11	Trunk, junction, knee, and wye
12	Exit Ramp
13	Exit Walk
14	Emergency (Gauge Mount) Exit, Street Corner
15	Roofing



1 Roof Plan
scale: 1/8" = 1'-0"

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Melvin Garb Hillel Center
San Diego State University
5717 Lindo Paseo
San Diego, CA 92115

Site Development Permit	
Project Number	1100
Date	24 January 2013
Drawn	sdm
Checked	sdm
Completion Check	18 May 2012
MR Summary	25 May 2012
SDP Part Submission	15 August 2012
SDP Part Submission	25 September 2012
SDP Part Submission	29 October 2012
SDP Part Submission	30 November 2012
SDP Part Submission	24 January 2013

NOT FOR CONSTRUCTION
SHEET SIZE: 42" x 24"
DO NOT SCALE DIMENSIONS

Roof Plan
size 18" x 11"

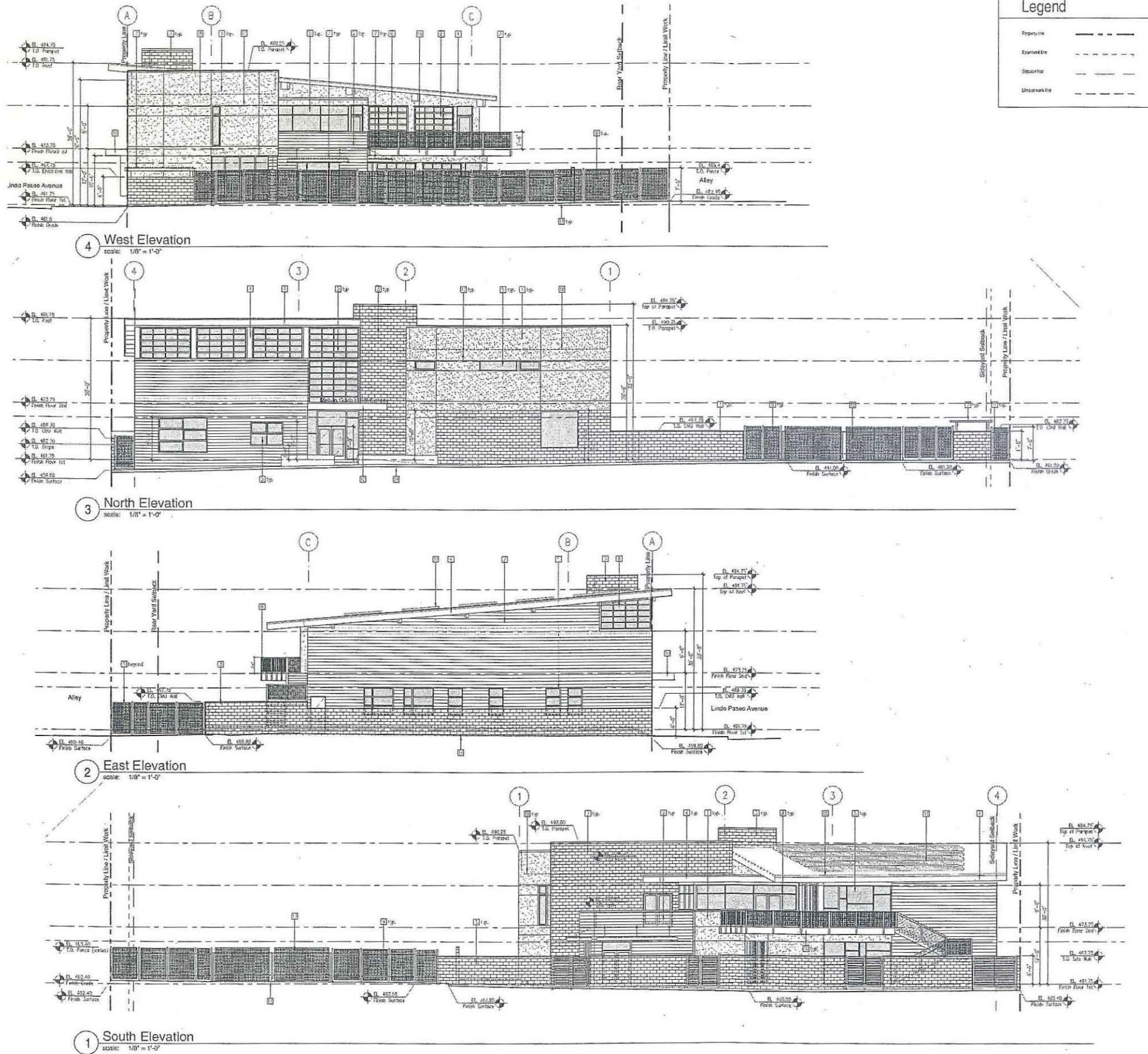
A2.2

Sheet Number 10 of 12

ATTACHMENT 10

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Melvin Garb Hillel Center SDSU
 Site Development Permit
 Sustainable Expedite Program



Legend	
Property Line	---
Elevation	- - - -
Section	---
Utcemark	---

Elevation Notes

- 1 Concrete Masonry with vertical Groin
- 2 Brick
- 3 Concrete Masonry
- 4 Natural stone
- 5 Natural stone veneer
- 6 Polished metal and glass door
- 7 Polished metal and wood trim
- 8 Polished metal and wood trim
- 9 7/8" x 1/2" metal mesh w/ wood framing
- 10 Painted Steel Channel Panels
- 11 Painted metal panels (see note on p. 12)
- 12 Concrete block
- 13 Polished metal and wood trim
- 14 Existing and Proposed Grade
- 15 Heavy Gauge Process Deck, 1/2" x 1/2" x 1/2"
- 16 Use of Roof Beyond

General Notes

1. All panels with accent material shall be provided according to material specifications.
2. Refer to site plan for roof spot areas and photo/look panel locations.
3. Refer to Architectural site plan showing the location of property lines and setbacks. Property lines and setback lines are shown as dotted lines because of site plan.

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Site Development Permit

Project Number	1105
Date	20 November 2012
Drawn	sdm
Checked	sdm

Melvin Garb Hillel Center
 San Diego State University
 5717 Lindo Paseo
 San Diego, CA 92115

Consultation Check	15 May 2012
MRP Summary	25 May 2012
SDP Preliminary	25 August 2012
SDP and Schematic	25 September 2012
SDP 1st Submittal	29 October 2012
SDP 2nd Submittal	30 November 2012

NOT FOR CONSTRUCTION
 SHEET SIZE: 42" x 50"
 DO NOT SCALE DRAWINGS

Exterior Elevations
 Scale: 1/8" = 1'-0"

A3.0

Melvin Garb Hillel Center SDSU

Site Development Permit
Sustainable Expedite Program

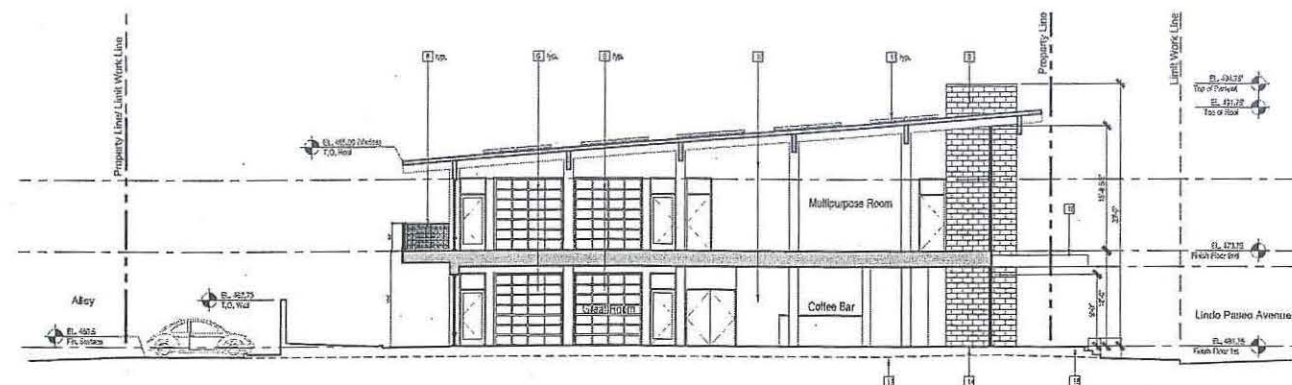
Legend	
Property line	---
Equipment line	---
Service line	---
Utility line	---

Site Section Notes

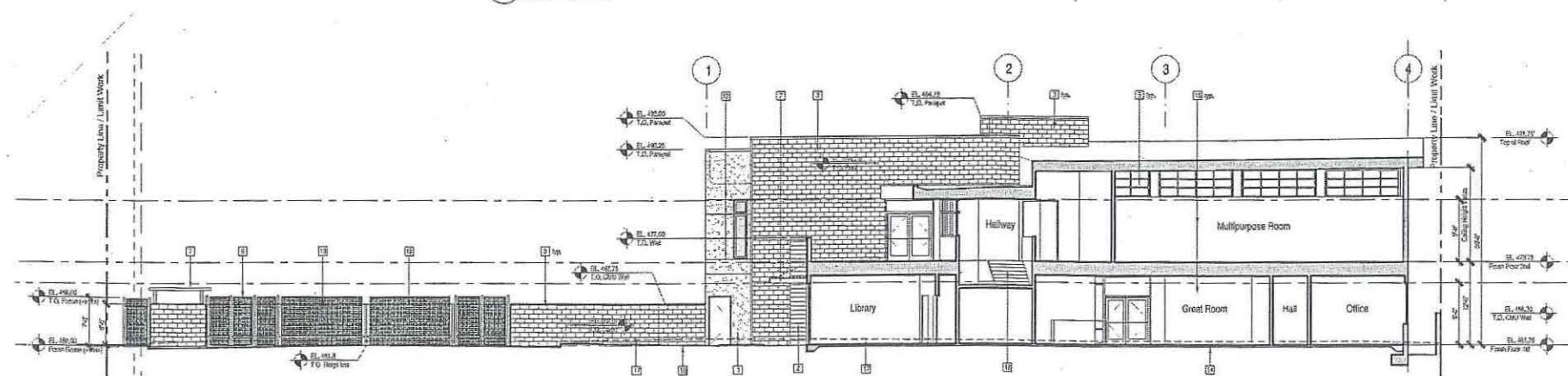
- 1. Glass Panel with security film
- 2. Dining
- 3. Central Kitchen
- 4. Perimeter beam
- 5. Insulated structural glazing
- 6. Polycarbonate panel glass door
- 7. Polycarbonate structural glazing
- 8. Polycarbonate structural glazing
- 9. Metal mesh security screen
- 10. Perimeter metal and glass entrance canopy
- 11. Perimeter metal panels (per roof plan A3.1)
- 12. Central Joint
- 13. Perimeter security gate
- 14. Concrete curb on grade
- 15. Perimeter Drywall
- 16. Glass partition
- 17. Existing Grate
- 18. Proposed Grate

General Notes

1. All panels with insect resistant mesh to provide screening to mechanical equipment.
2. Refer to roof schedule for structural and glazing panel details.
3. Refer to Architectural site plan for location of utility lines and setbacks. Property lines and setbacks shown are illustrative and not to scale.



2 Site Section
scale: 1/8" = 1'-0"



1 Site Section
scale: 1/8" = 1'-0"

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Site
Development
Permit

Project Number	1106
Date	30 November 2012
Drawn	SDM
Checked	SDM

Completion Check	15 May 2014
MR Submitted	20 May 2012
SDP P&L Submitted	07 August 2012
SDP 2nd Submitted	20 September 2012
SDP 3rd Submitted	25 October 2012
SDP 4th Submitted	30 November 2012

Melvin Garb Hillel Center
San Diego State University

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NOT FOR CONSTRUCTION
SHEET SIZE: 42" X 30"
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Site Sections

Date	1/8" = 1'-0"
------	--------------

A3.1

College Area Community Council (CACC)
 College Area Community Planning Board (CACPB)
 Joint Regular Monthly Meeting Agenda (Revised)
 7:00 p.m., Wednesday, September 12, 2012
 College-Rolando Branch Library, 6600 Montezuma Road, San Diego 92115

DRAFT MINUTES

P	Doug	Case	President	P	Steven	Barlow	P	Joe	Jones	
A-1	Rhea	Kuhlman	Vice President	P	Andy	Beauparlant	P	Robert	Montana	
P	R.D.	Williams	Treasurer	P		Rios	P	Martin	Montesano	
					Maurize					
P	Mitch	Yunker	Secretary	A-2	Jean	Hoeger	P	Frank	Musgrove	
A-1	Tyler	Sherer	SDSU	P	Ann	Cottrell	P	Jan	Riley	
			Appointee							
P	Tom	Rivera	SDSU AS							
			Appointee							
P = Present				A1 / A2 / A3 / A4 = Absent 1 st , 2 nd , 3 rd , 4 th				TOTALS		13
<i>CP600-24, Art IV, Sec 1: a vacancy exists upon the 3rd consecutive absence or the 4th absence in 12 months (April through March)</i>										
<i>M/S/C = Moved/Seconded/Carried</i>										

The College Area Community Council (CACC) and the College Area Community Planning Board (CACPB) are two separate entities with a common board and officers and joint meetings. The items highlighted below with asterisks are CACPB business items, subject to City Council Policy 600-24 governing community planning groups. Items are reported in agenda outline order, although some items may have been considered in a different sequence.

** Designates that the item is on the CACPB agenda and subject to City of San Diego policies governing community planning groups

- I. Call to Order/Pledge of Allegiance/Roll Call of Executive Board Members
 President Doug Case called the meeting to order at 7:05 PM. The pledge of allegiance was recited. Results of the roll call are set out above.

A moment of silence was held honoring Rosary Grace Nepi.

Jackie Tolley, Director of the SDSU Hillel Center, presented the deviation to the plan regarding the "Hillel Center" (a 10,000 sq ft student center to serve the Jewish community and others)

- II. Approval of Current Agenda with 1 addition
 (Motion: M/S/C)
 Motion: yea's 13 nay's 0

- III. Approval of Minutes of July 11, 2012
 (Motion: M/S/C)
 Motion: yea's 13 nay's 0

- IV. Adoption and Approval of Consent Agenda
 (Proposed: Item IX.1, Melvin Garb Hillel Center)

**** Motion:** To move item IX. A. 1, Melvin Garb Hill Center, to the consent agenda and to approve the recommendation of the Project Review Committee to support the project with the proposed deviation (curb cut), subject to meeting all other City requirements.

Motion: yea's 13 nay's 0

- V. Treasurer's Report (attached)
 - A. Approval of Audit Report, distributed by email. (Action Item)
 - (Motion: M/S/C)
 - Motion: yea's 13 nay's 0

VI. Public Comments on Non-Agenda Items

Speaker/Issue: Paulina Lima, resident on West Falls View shared experience with "Monte Carlo Night, one of SDSU's Aztec Nights events issues include: loud music, profanity. Andy Beauparlant, a resident of East Falls View also expressed similar dissatisfaction and noted that this was the second time this year that neighbors have complained about events in that location.

Speaker/Issue: Jacob Gavet with "Walk San Diego" presented a 'regional walk scorecard' to be used for gathering data for future funding for infra-structure improvements

VII. Reports from City Council District 7 and Law Enforcement Agencies

Report by Tim Taylor, Community Representative for District 7 (Marti Emerald) on abandoned property ordinance and property value ordinance; announced Council Office changes: Cynthia Harris returning as Community Rep for College Area & Alvarado Estates); handed out current Sept. newsletter

Report by Sgt. Dean Thomas, SDSPD Eastern Division on his appointment as head of Crime Suppression Team and its scope and purpose; discussed AB109 (the release of non-violent offenders) and "Operation Constant Crook"

Report by Andrew Kennerly, representative of Assemblyman Marty Block on 3 key pieces of legislation highlighted in the Assemblyman's September newsletter—human trafficking; relocated military families; and congenital heart disease screenings

VIII. Presentations:

****A. City of San Diego Pedestrian Master Plan Project (Dawn Wilson)**—PowerPoint presentation and handout of 'Pedestrian Master Plan'; currently in Phase 4; requesting community input via survey at <http://www.sandiego.gov/planning/programs/transportation/mobility/pedestrian.shtml>

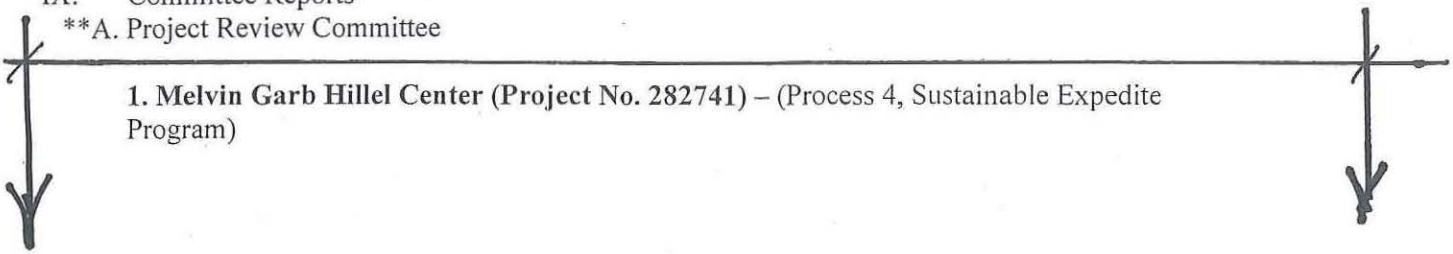
****B. Alvarado Sewer Trunk Phase III**

Presentation by Vic Salazar: tunneling for new sewer pipe; improving current clay piping; deadline to finish project is 3/1/2013

IX. Committee Reports

****A. Project Review Committee**

1. Melvin Garb Hillel Center (Project No. 282741) – (Process 4, Sustainable Expedite Program)



– Site Development Permit to demolish existing structures and construct a 10,750 sq. ft. student center on a 0.50 acre site at 5705-5717 Lindo Paseo Drive in the RM-3-9 Zone within the College Community Redevelopment Area.

Project Review Committee Recommendation (6-0-0): Approve with the proposed deviation (curb cut) subject to meeting all other City requirements. (Action Item)

Approved 13-0-0 as part of the Consent Agenda (refer to Item IV. Above)

B. Code Enforcement/Nuisance Rental Properties Committee: Report by Ann Cottrell

C. Beautification and Projects Committee: Report by Steven Barlow: money for beautification of Fairmount Ave.

D. Community Outreach Committee:

1. Unveiling of the new CACC logo – Doug Case: unveiled banner showing new logo
2. Staffing of Booth at Boo! Parade Carnival (October 27, 11 am – 5 pm) – Jan Riley: requested volunteer, donations for free drawings; shared plan for scavenger hunt which will drive attendees to booths

X. Delegate Reports

** A. Community Planners Committee

Capital Improvements Program (CIP) – Schedule public hearing to determine CIP priorities for the College Area. Proposal: Conduct the hearing during the October 10, 2012 CACPB Meeting (Action Item) Doug Case reported out on this. Approved by consent.

Appointment of a new CPC Representative and Alternate (Action Item)

Doug Case has been appointed to the Citizens' Review Board on Police Practices and those meetings conflict with the Community Planners Committee. A new CPC representative and alternate needs to be appointed.

Motion: To appoint current alternate, Rhea Kuhlman, to be primary Representative and Mitch Younker as alternate

Motion: Seconded/Carried

Motion: yea's 13 nay's 0

B. Other Report(s): none

XI. Unfinished Business: none

XII. New Business

A. **Appointment to fill vacant CACC/CACPB seats expiring 2014 (1 seat) and 2015 (3 seats).

Applicants: Jose Santos Reynoso, Jerry Pollock, Jennifer Finnegan (Action Item)

(Motion: M/S/C)

Motion to approve Reynoso, Pollock and Finnegan to the three seats expiring in 2015.

yea's 13 nay's 0

B. **Direction to President to send a letter to SDSU sharing community's displeasure with this year's "Aztec Nights" event, citing loud music/profanity/lateness of event; and suggesting next year's event be held in a different location that does not adversely affect SDSU neighbors. (Action Item)**

(Motion: M/S/C)

Motion: yea's 13 nay's 0

XIII. Announcements: none

XIV. Adjournment at 8:50 p.m.

(Motion: M/S/C)

Motion: yea's 13 nay's 0

(Submitted by Debbie O'Keefe, CACC Clerical Assistant, 9-19-12)



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other _____

Project Title: Hillel of San Diego at SDSU Project No. For City Use Only: 282741

Project Address:
5717 and 5705 Lindo Paseo, San Diego CA 92115

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

<p>Name of Individual (type or print): _____</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address: _____</p> <p>City/State/Zip: _____</p> <p>Phone No: _____ Fax No: _____</p> <p>Signature : _____ Date: _____</p> <hr/> <p>Name of Individual (type or print): _____</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address: _____</p> <p>City/State/Zip: _____</p> <p>Phone No: _____ Fax No: _____</p> <p>Signature : _____ Date: _____</p>	<p>Name of Individual (type or print): _____</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address: _____</p> <p>City/State/Zip: _____</p> <p>Phone No: _____ Fax No: _____</p> <p>Signature : _____ Date: _____</p> <hr/> <p>Name of Individual (type or print): _____</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address: _____</p> <p>City/State/Zip: _____</p> <p>Phone No: _____ Fax No: _____</p> <p>Signature : _____ Date: _____</p>
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Project Title: <u>MELVIN GARB HILLEL CENTER</u>	Project No. (For City Use Only) <u>282741</u>
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? CA Corporate Identification No. 33-0519225
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print): <u>Hillel of San Diego</u>	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address: <u>5717 Lindo Paseo</u>	
City/State/Zip: <u>San Diego CA 92115</u>	
Phone No: <u>(619)583-6080</u>	Fax No: <u>(619)287-4506</u>
Name of Corporate Officer/Partner (type or print): <u>Michael Rabkin</u>	
Title (type or print): <u>Executive Director</u>	
Signature: 	Date: <u>4/12/12</u>

Corporate/Partnership Name (type or print): <u>Hillel of San Diego</u>	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address: <u>5717 Lindo Paseo</u>	
City/State/Zip: <u>San Diego CA 92115</u>	
Phone No: <u>619-583-6080</u>	Fax No: <u>619-287-4506</u>
Name of Corporate Officer/Partner (type or print): <u>Hollie Bierman</u>	
Title (type or print): <u>President</u>	
Signature :	Date:

Corporate/Partnership Name (type or print): <u>Hillel of San Diego</u>	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address: <u>5717 Lindo Paseo</u>	
City/State/Zip: <u>San Diego CA 92115</u>	
Phone No: <u>619-583-6080</u>	Fax No: <u>619-287-4506</u>
Name of Corporate Officer/Partner (type or print): <u>Geoff Berg</u>	
Title (type or print): <u>VP of Finance</u>	
Signature :	Date:

Corporate/Partnership Name (type or print): <u>Hillel of San Diego</u>	
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address: <u>5717 Lindo Paseo</u>	
City/State/Zip: <u>San Diego CA 92115</u>	
Phone No: <u>619-583-6080</u>	Fax No: <u>619-287-4506</u>
Name of Corporate Officer/Partner (type or print): <u>Alan Nevin</u>	
Title (type or print): <u>Secretary</u>	
Signature :	Date:

Corporate/Partnership Name (type or print):	
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address:	
City/State/Zip:	
Phone No:	Fax No:
Name of Corporate Officer/Partner (type or print):	
Title (type or print):	
Signature :	Date:

Corporate/Partnership Name (type or print):	
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	
Street Address:	
City/State/Zip:	
Phone No:	Fax No:
Name of Corporate Officer/Partner (type or print):	
Title (type or print):	
Signature :	Date:

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
MELVIN GARB HILLEL CENTER -PROJECT NO. 282741

Date	Action	Description	City Review Time (Working Days)	Applicant Response
8/7/2012	First Submittal	Project Deemed Complete	-	-
8/30/2012	First Assessment Letter		17 days	
9/25/2012	Second Submittal			17 days
10/8/2012	Second Assessment Letter		9 days	
10/29/2012	Third Submittal			15 days
11/9/2012	Third Assessment Letter		9 days	
12/5/2012	Fourth Submittal			16 days
12/18/2012	Fourth Assessment Letter		9 days	
1/25/2013	Fifth Submittal			21 days
2/7/2013	Fifth Review Completed	All issues resolved.	9 days	
2/15/2013	NORA Posted	Appeal period ends on 3/8/2013	6 days	
3/28/2013	Public Hearing	First available date.	28 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	87 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		69 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	156 working days (233 calendar days)	