



THE CITY OF SAN DIEGO

# REPORT TO THE PLANNING COMMISSION

**DATE ISSUED** April 5, 2013 **REPORT NO. PC-13-032**

**ATTENTION:** Planning Commission, Agenda of April 11, 2013

**SUBJECT:** Liberty Station East Hotel Development - NTC Unit 8  
PROJECT NO. 285352; PROCESS FIVE.

**OWNER:** City of San Diego (as Designated Successor Agency to the Redevelopment Agency of the City of San Diego)

**LEASEE/  
APPLICANT:** McMillin – NTC, LLC (Attachment 12)

## SUMMARY

**Issue(s):** Should the Planning Commission recommend approval to the City Council of an application for a new 650-room hotel development project located on a 15.85-acre site at the intersection of North Harbor Drive and Lee Court within the Peninsula Community Plan area?

### Staff Recommendations:

1. **Recommend** the City Council **Certify** Addendum No. 285352 to Environmental Impact Report (EIR) SCH No. 99081140 and Mitigated Negative Declaration (MND) No. 99-1076 (SCH No. 2000081037), and **Adopt** the Mitigation Monitoring and Reporting Program; and
2. **Recommend** the City Council **Approve** Planned Development Permit No. 1001489; and
3. **Recommend** the City Council **Approve** Vesting Tentative Map No. 1001491 and Public Right-of-Way and Easement Vacations.

**Community Planning Group Recommendation:** The Peninsula Community Planning Board voted (6-1-1) on November 15, 2012, to recommend approval of the project, without recommendations (Attachment 11).

**Environmental Review:** Addendum No. 285352 to EIR SCH No. 99081140 and MND No. 99-1076 (SCH No. 2000081037) has been prepared for the project in accordance with Section 15164 of the State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation Monitoring and Reporting Program has been prepared and will be implemented which would reduce, to a level below significance, the potential impacts identified in the environmental review process.

**Fiscal Impact Statement:** Applicant bears all costs for project processing. The hotel property was conveyed from the Navy to the City through an Economic Development Conveyance (EDC), which stipulated that the property be used for long-term job creation and economic revitalization.

**Code Enforcement Impact:** None with this action.

**Housing Impact Statement:** None with this action.

## **BACKGROUND**

The approximately 360-acre former Naval Training Center (NTC), now known as Liberty Station, is located along Rosecrans Street between Lytton Avenue and North Harbor Drive, west of the San Diego International Airport (Lindbergh Field). In 1993, the Federal Base Closure and Realignment Commission recommended closure of NTC. The City of San Diego was designated the Local Redevelopment Authority responsible for the preparation of a reuse plan and on April 29, 1997 the City Council approved and adopted the NTC Redevelopment Project Area.

After a multi-year public planning effort, the California Coastal Commission and City Council approved planning and subdivision entitlements to facilitate redevelopment of the base including adoption of the NTC Precise Plan and Local Coastal Program (LCP), an amendment to the Peninsula Community Plan and the Progress Guide and General Plan, the application of zoning to the site, a Vesting Tentative Map (VTM), Master Planned Development and Coastal Development permits, including *NTC Urban Design Guidelines* and *NTC Guidelines for the Treatment of Historic Properties*. The redevelopment of NTC is substantially underway, including construction of residential and office development, construction and repair of site infrastructure and utilities, the opening of the NTC Regional Park, and adaptive reuse of existing structures remaining at the site.

The project site is part of the Naval Training Center (NTC) Disposition and Development Agreement (DDA) approved by the Redevelopment Agency in 2000 (and amended through subsequent Implementation Agreements). The site is currently developed with a commercial airport parking lot (Park & Fly), approved by the former Redevelopment Agency as an interim use until the site could be developed with a hotel use as envisioned in the NTC Precise Plan and the NTC DDA.



The 15.85 acre subject property is located east of the boat channel at the intersection of North Harbor Drive and Lee Court, west of San Diego International Airport (Lindbergh Field), in the CC-5-5 Zone, Airport Influence Area (AIA), Airport Environs Overlay Zone (AEOZ), FAA Part 77 Notification Area, Coastal Overlay Zone (State Coastal Commission jurisdiction), within the NTC Precise Plan/LCP and the Peninsula Community Plan area (Attachments 1 and 2). The site is legally described as Lots 1 through 6, and Lot A, of NTC - Unit 8, Map No. 14367. The NTC Precise Plan/LCP designates the site for Business Hotel land use (Attachment 3).

Per the Implementation section of the NTC Precise Plan/LCP, and the San Diego Municipal Code (SDMC) Section 126.0602, the project requires a Process 4 Planned Development Permit (PDP) for new hotel development within the Business Hotel subarea of the NTC Precise Plan, and to allow consideration of deviations to development regulations. Per SDMC Section(s) 125.0430, 125.0940, and 125.1010, a Process 5 Vesting Tentative Map is required to subdivide the parcel into 5 commercial lots (including vacation of a portion of Halsey Street, and vacation of existing water, sewer and storm drain easements). These approvals are required to be consolidated and considered by the City Council as the highest level of decision maker. Due to the site's location on tidelands property, a Coastal Development Permit will need to be issued by the California Coastal Commission subsequent to the City review process.

## **DISCUSSION**

### **Project Description:**

The Liberty Station East Hotel Development project is a request for a Planned Development Permit (PDP) and a Vesting Tentative Map (VTM) to allow demolition of an existing commercial airport parking lot and construction of a new business hotel development. The proposed hotel complex will be developed by constructing a maximum of 650 rooms for the site within three separate hotel buildings, and accommodated through subdivision of the site into five (5) lots, incorporating vacation of a portion of Halsey Street, vacation of existing water, sewer and storm drain easements, and installation of new utilities and public improvement infrastructure, as follows:

- Hotel 1: Six-story 252-room hotel (240 to 290 rooms)
- Hotel 2: Six-story 215-room hotel (180 to 230 rooms)
- Hotel 3: Four-story 183-room hotel (180 to 230 rooms)
- 3,810-square-foot restaurant
- 701 parking spaces (15 dedicated for public coastal access)
- 150-foot wide public access Esplanade (undergrounding/removal of existing steam lines)
- Subdivision of the property into five (5) lots (including street/utility easement vacations)
- Improvements to Kincaid Road, including connection to Harbor Drive
- Water, sewer, storm drain and storm water quality improvements

The new 650-room hotel project has been designed in a contemporary Spanish Revival style architecture reminiscent of existing historic buildings at Liberty Station, with design features including clay tile roofs, archways, two-toned wall plaster, and architectural details and accents. The



project includes deviations to lot coverage, front yard and street side yard building setbacks, street wall transparency, loading space quantity, and trash enclosure location, as further detailed in this report. Primary access to the project will be through the Lee Court entrance off of Harbor Drive, with secondary/delivery access via a private road along the northern edge of the site, shared with the adjacent City Environmental Monitoring & Technical Services Laboratory property.

A 150-foot wide open space area located along the boat channel, granted on the previous subdivision map to be a permanent public access easement, will be developed as a continuation of the landscaped pedestrian and bicycle trail known as the Esplanade that runs along the waterfront throughout Liberty Station. Plans for the Esplanade (Attachment 5) include the removal/undergrounding of existing Navy utilized steam pipes, and the provision of active and passive recreation areas in the form of sitting and picnic areas, a multi-purpose sand court, open play and lawn areas, and bicycle racks. Edged by broad-domed canopy trees, foundation planting and vertical accent/screen trees, inter-twining concrete and decomposed granite (DG) pathways for pedestrian and bicycle use are designed to complement the existing Esplanade design on the opposite side of the boat channel. The two sides of the boat channel are physically connect by an existing pedestrian bridge, and implementation of the Esplanade will be a key feature linking the business hotel site to the existing retail, restaurant, office and park uses which have developed throughout Liberty Station.

#### **General/Community Plan Analysis:**

Through its Land Use, Urban Design and Conservation Elements, the City of San Diego General Plan identifies infill development and redevelopment as playing a significant role in providing needed housing, jobs, and services in San Diego communities; sets goals for urban design that include a built environment respecting San Diego's natural environment and climate; supports utilization of landscaping and open space as an important aesthetic and unifying element to link communities throughout the City; and, includes policies to ensure implementation of the Coastal Act. The Peninsula community plan designates the project site for commercial recreational use and recommends the site be developed with hotel facilities allowing low intensity recreational use and athletic activities open to the public, including provision of food and beverage service (Attachment 2). The NTC Precise Plan/LCP designates the site for business hotel development and includes the following goals and recommendations: provide open space and recreational opportunities; maximize the value of the boat channel; reduce actual or apparent bulk of buildings through changes in exterior treatment and separation of large surface masses; locate uses in response to development constraints; and maintain, enhance, and restore marine resources, including burying cables and pipes as incidental to public service purposes. The NTC Precise Plan/LCP incorporates Coastal Act goals concerning public visual and physical access, recreation, marine resources and signage, and describes the east side of the boat channel as an Esplanade that is informal in nature with a meandering path and an emphasis on informal landscaping and hardscape treatment.

The proposed business-serving hotel project will implement the goals, policies and recommendations of the General Plan, Peninsula community plan and the NTC Precise Plan, by accommodating the 650 hotel rooms planned for the site into three (3) separate mid-rise structures, rather than a single large building, thereby reducing the visual bulk and scale. Architectural design of the buildings includes utilization of off-setting facades and courtyard areas to separate and break up large surface massing. Construction of the 150-foot wide Esplanade,



including the undergrounding/removal of an existing above-grade steam pipe system, will provide public open space and coastal access adjacent to the boat channel by incorporating recreational pedestrian and bicycle paths. The project will maximize the value of the boat channel for visitors by orienting people and activities to the water and San Diego Bay, will increase passive enjoyment and recreation of these natural amenities by providing shade trees and public seating areas, and will enhance public access by providing 15 parking spaces dedicated for public coastal access. Inclusion of irrigation and watering programs to control runoff, and the project's use of drought tolerant landscaping along with some native species, will reduce water consumption and will support sustaining quality and biological productivity of coastal waters.

### **Project-Related Issues:**

Deviations to the SDMC: The intent of the Planned Development Permit (PDP) process is to “encourage imaginative and innovative planning and to assure that the development achieves the purpose and intent of the applicable land use plan and that it would be preferable to what would be achieved by strict conformance with the regulations” (SDMC 126.0601). In assigning the CC-5-5 Zone to the previously un-zoned project site with the adoption of the NTC Precise Plan/LCP in 2000, it was recognized that the intent of the CC-5-5 zone to “accommodate development with a high intensity, pedestrian orientation” and its allowable uses were appropriate, however, the nature of redeveloping the former Navy property with a business hotel use could require additional flexibility. Therefore, the Implementation section of the NTC Precise Plan/LCP identifies the business hotel site as needing to be developed and entitled through the PDP process to allow for comprehensive planning of the 15.85-acre site. The project proposal includes the following deviations:

- Deviation to allow 15% lot coverage where a minimum of 35% lot coverage is required (SDMC Section 131.0530);
- Deviation to allow a varying 10 - 75 foot front yard building setback along Kincaid Road where a maximum of 10 feet is permitted (SDMC Section 131.0530);
- Deviation to allow a varying 118 - 330 foot street side yard building setback along Harbor Drive where a maximum of 10 feet is permitted (SDMC Section 131.0530);
- Deviation to allow less street wall transparency than required on portions of two hotel elevations (SDMC Section 131.0552);
- Deviation to allow two loading spaces that are sufficient to meet the needs of the hotel operations where eleven spaces are required (SDMC Section 142.1001);
- Deviation to allow one trash enclosure in the front setback of Kincaid Road (SDMC Section 142.0810(b)(2)).

These deviations are appropriate and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the CC-5-5 zone. The deviations facilitate comprehensive site design and support the project meeting the goals of the NTC Precise Plan/LCP regarding architectural design, building placement towards the boat channel and away from airport activities and noise sources associated with Lindbergh Field, parking and transportation management, providing vehicular access directly from Harbor Drive, and orienting guest rooms away from the adjacent planned Regional Public Safety Training Institute (RPSTI). Additionally, minimizing building lot coverage and reducing the quantity of loading areas allows the project to



accommodate larger amounts of space available to promote public coastal access by integrating waterfront pedestrian and bicycle paths with placement of the hotels, providing 15 additional parking spaces dedicated for public coastal use, and prioritizing use of the 150-foot wide public Esplanade along the edge of the NTC boat channel.

**Environmental Analysis:**

The Redevelopment EIR prepared for the NTC Redevelopment Project and certified by the Redevelopment Agency of the City of San Diego on February 1, 2000 indicated that direct significant impacts on the following issues would be substantially lessened or avoided if all the proposed mitigation measures recommended in the Final EIR were implemented: land use, transportation and circulation, cultural resources, biological resources, geology and soils, hydrology and water quality, air quality, public health and safety, visual resources, noise, and community services and facilities. Additionally, it was identified that significant impacts related to transportation and circulation would not be fully mitigated to below a level of significance. Cumulative impacts identified as a result of the Redevelopment action would result in significant transportation and circulation impacts. The City of San Diego contemplated these impacts of developing the project site and determined that specific overriding economic, legal, social, technological, and other benefits of the NTC Redevelopment Plan outweigh any and all significant effect that Redevelopment would have in the environment, and that on balance, the remaining significant effects were found acceptable based on the Statement of Overriding Considerations.

Based upon a detailed review of the current Liberty Station East Hotel Development project, it has been determined that there are no new significant environmental impacts that have not already been considered in the previous EIR. No substantial changes have occurred with respect to the circumstances under which the project is undertaken, and there is no new information of substantial importance to the project that would result in significant impacts. Therefore, Addendum No. 285352 to EIR SCH No. 99081140 and MND No. 99-1076 (SCH No. 2000081037) (Attachment 13) has been prepared in accordance with Section 15164 of the California Environmental Quality Act (CEQA) Guidelines.

**Community Planning Group Recommendation:**

The Peninsula Community Planning Board (PCPB) voted (6-1-1) on November 15, 2012, to recommend approval of the project, without recommendations. In the motion to approve the project, the Board noted that the project is consistent with the Liberty Station (Precise) Plan, that no additional traffic signals on Harbor Drive would be added beyond those already required by the City, and that the project applicant had been responsive to and incorporated design suggestions made by the PCPB's Project Review Committee relative to the architectural building elevations, site planning and landscaping (Attachment 11).

**Conclusion:**

Development of the project site as proposed with a business hotel will implement the goals of the Peninsula Community Plan and the NTC Precise Plan/LCP to develop a 650 room mid-rise hotel in this location to serve business travelers, including ancillary uses such as food, retail, entertainment

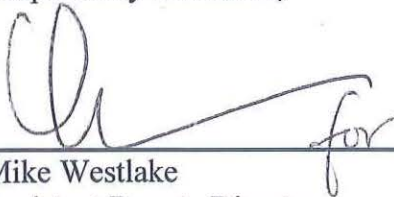


and conference facilities, and provide public open space and coastal access adjacent to the NTC boat channel through recreational pedestrian and bicycle paths. Excepting the deviations (as allowed per the Planned Development Permit Ordinance), the project complies with all development regulations, standards, and policies in effect for the project site per the Peninsula Community Plan and the NTC Precise Plan/LCP and all other City regulations, policies, guidelines, design standards and adopted land use plans applicable to this site.

**ALTERNATIVES:**

1. Recommend the City Council **Approve** Planned Development Permit No. 1001489 and Vesting Tentative Map No. 10014911, **with modifications**; or
2. Recommend the City Council **Deny** Planned Development Permit No. 1001489 and Vesting Tentative Map No. 10014911, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake  
Assistant Deputy Director  
Development Services Department



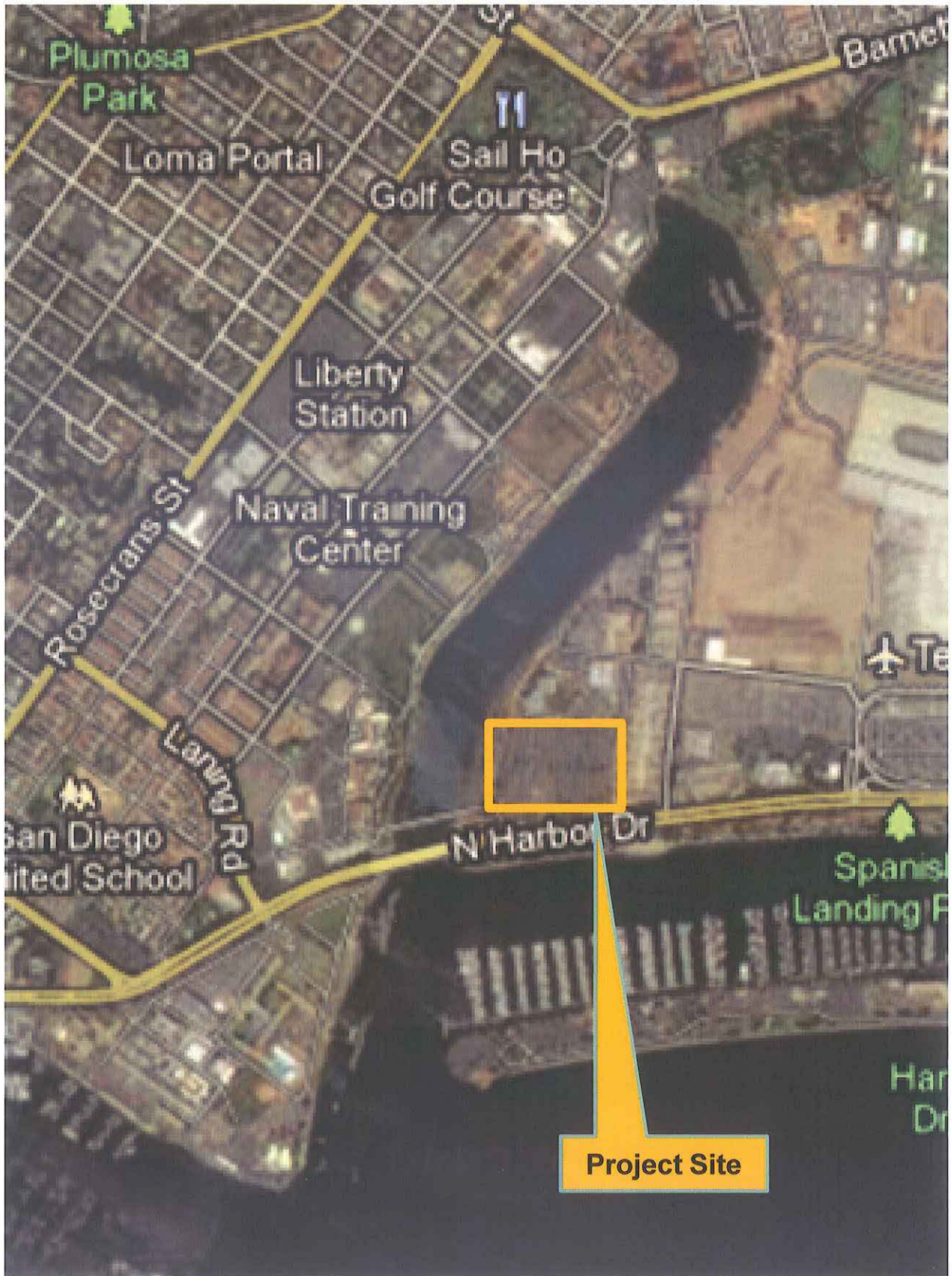
Patricia J. Fitzgerald  
Development Project Manager  
Development Services Department

WESTLAKE/PJF

Attachments:

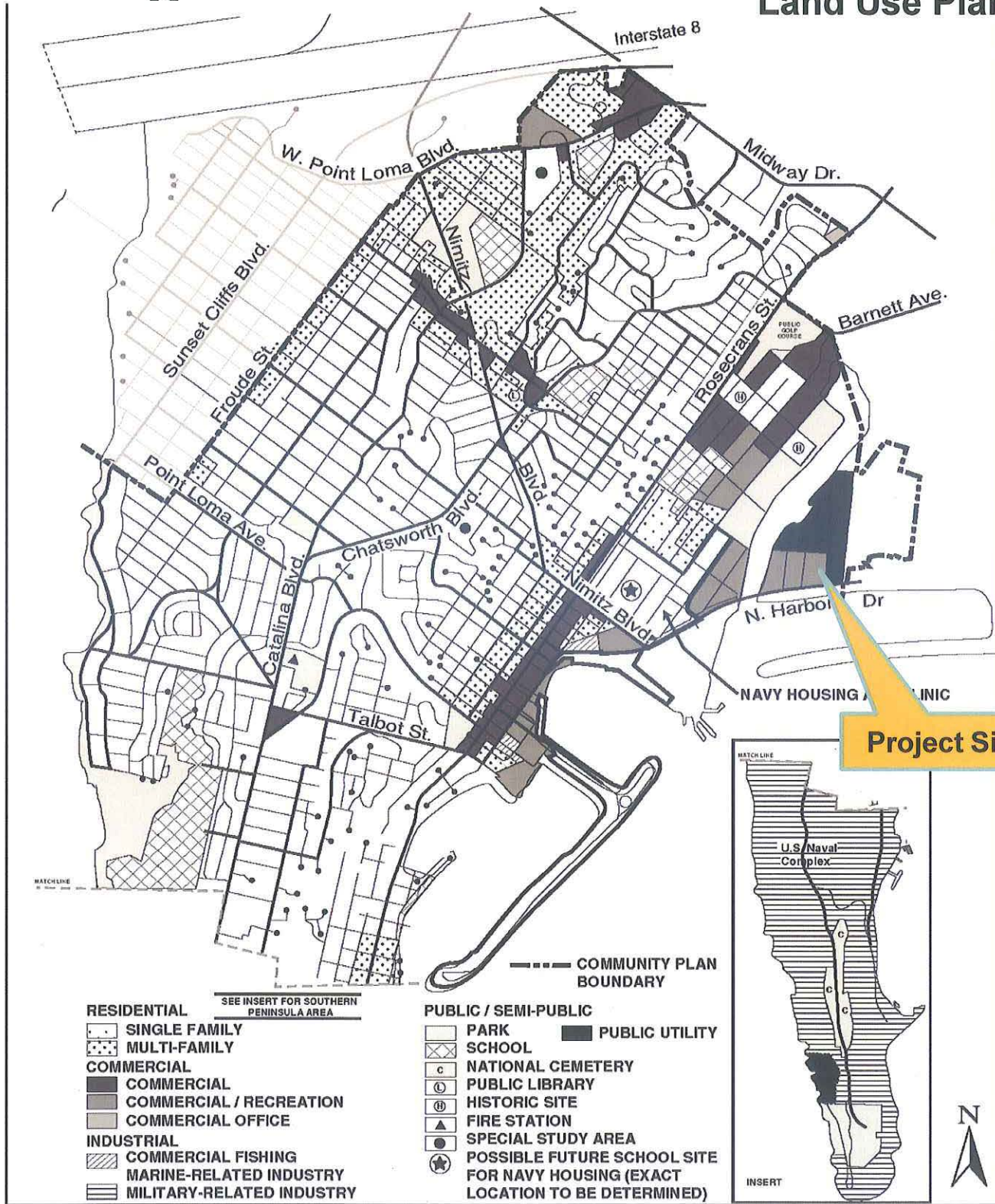
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Project Plans
6. Draft PDP Permit
7. Draft PDP Resolution
8. Draft TM Resolution with Findings
9. Draft TM Conditions
10. Draft CEQA Resolution
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Addendum No. 285353 (distributed under separate cover)

**Attachment 1  
Aerial Photograph of Site**

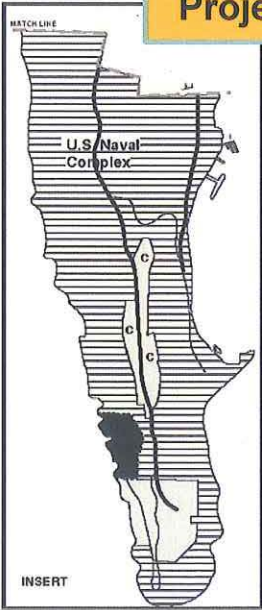




# Attachment 2 Land Use Plan



**Project Site**

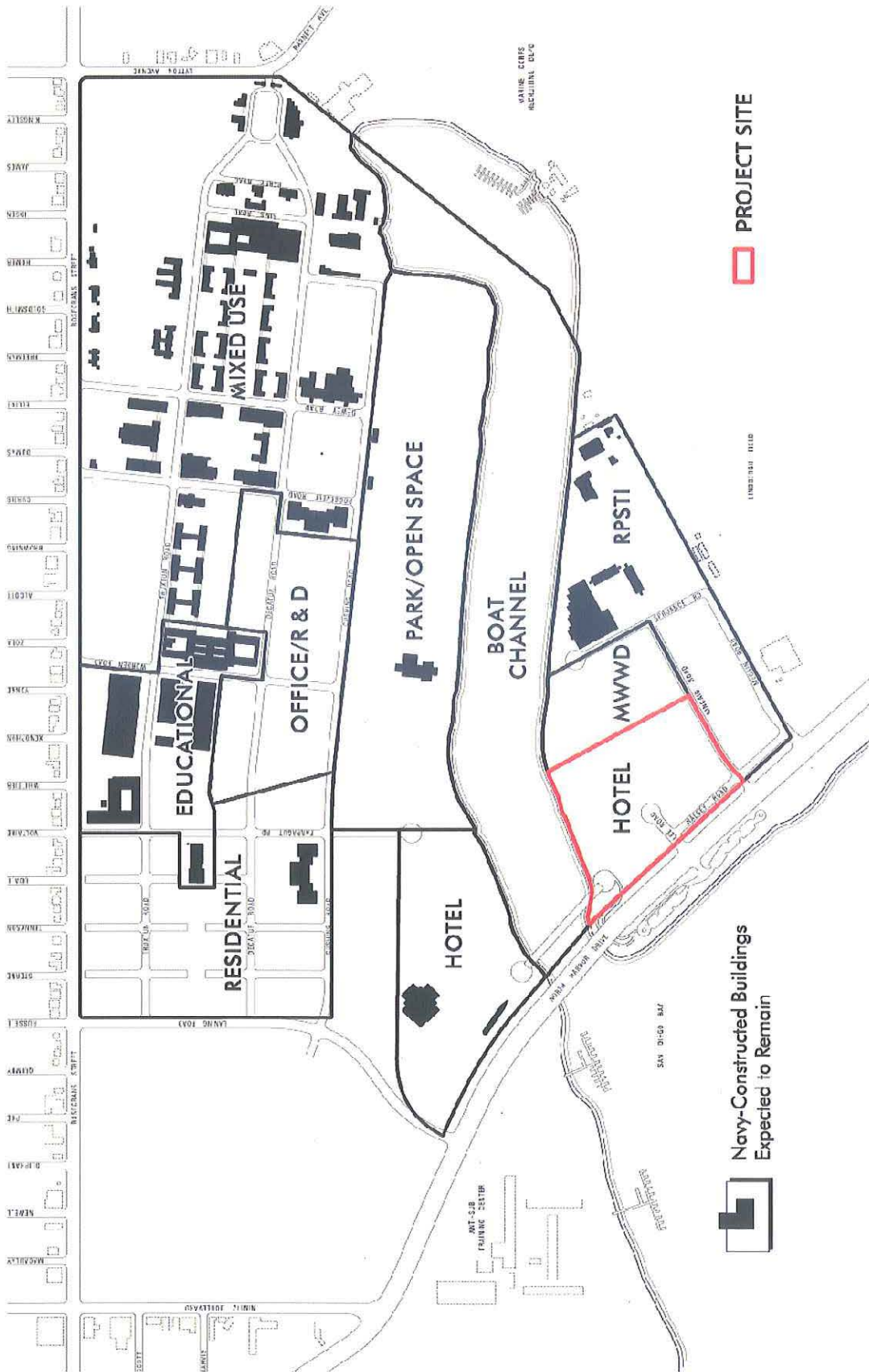


**figure  
5**

H:\jatha\mapping\convertedmacmaps\peninsula\pen\_lu\_fig5\_withAmend.ai

# Attachment 2 Land Use Plan

Land Use Plan  
NTC Precise Plan



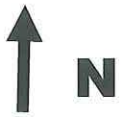
 PROJECT SITE

 Navy-Constructed Buildings  
Expected to Remain

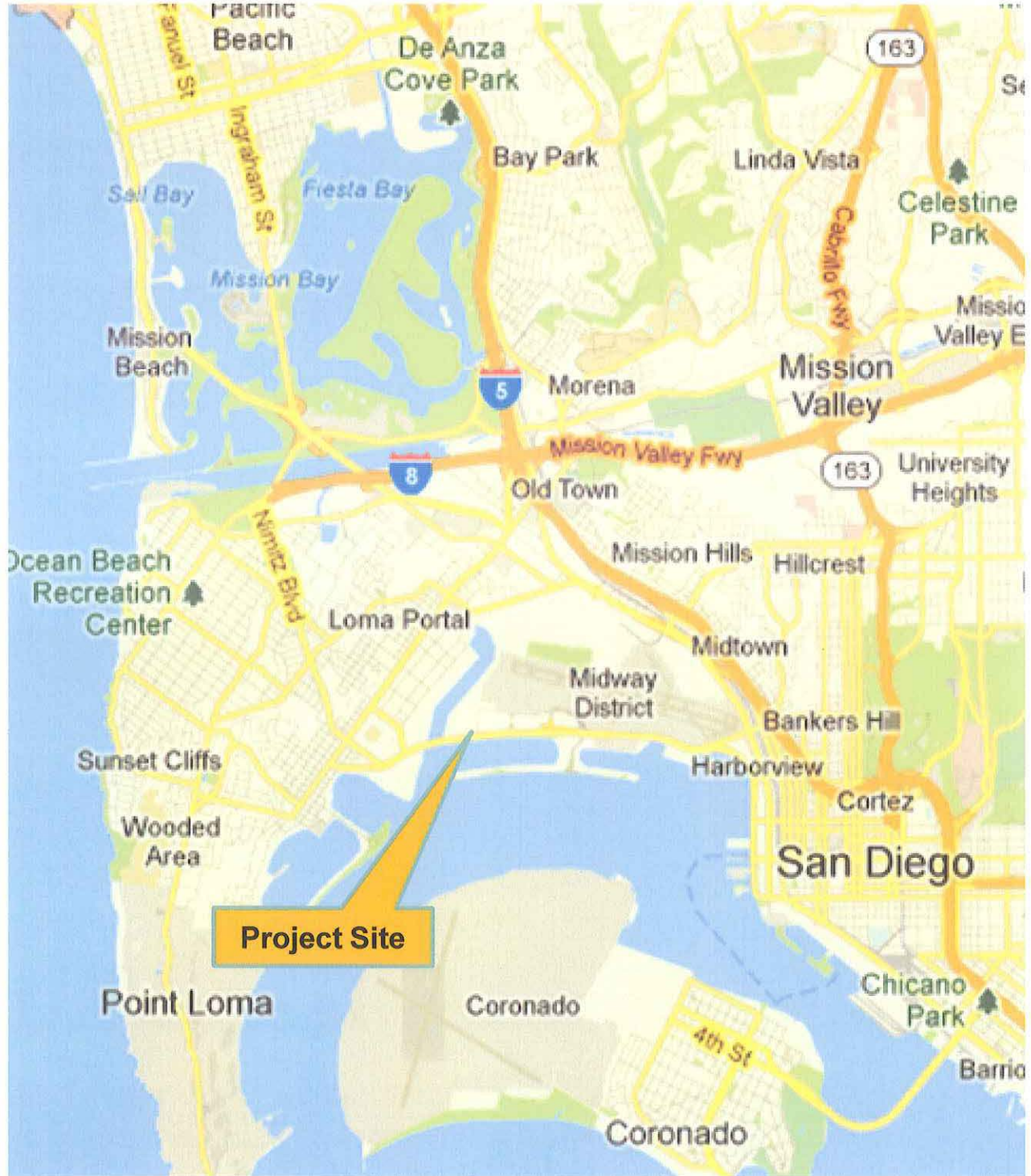
Scale in Feet (approx.)  
0 100 200 300 400 500 600 700 800 900 1000  
Rick Planning Group 12-14-00







# Attachment 3 Project Location Map



## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Liberty Station East Hotel Development	
<b>PROJECT DESCRIPTION:</b>	The project proposes the demolition of an existing parking lot and the construction of three hotels with a maximum of 650 total rooms, a stand-alone restaurant building, development of a 150-foot wide Esplanade and accessory uses and improvements on a 15.85 acre site.	
<b>COMMUNITY PLAN AREA:</b>	Peninsula and NTC Precise Plan	
<b>DISCRETIONARY ACTIONS:</b>	PDP, VTM, Easement Vacations, Street Vacation	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Hotel	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> CC-5-5		
<b>HEIGHT LIMIT:</b> max 100 feet (80 feet per Precise Plan)		
<b>LOT SIZE:</b> min 2,500 sf		
<b>FLOOR AREA RATIO:</b> max 2.0		
<b>FRONT SETBACK:</b> no minimum required – 10 maximum setback		
<b>SIDE SETBACK:</b> 0 feet or minimum 10 feet		
<b>STREETSIDE SETBACK:</b> no minimum required – 10 maximum setback		
<b>REAR SETBACK:</b> 0 feet or minimum 10 feet		
<b>PARKING:</b> 665 required (701 provided)		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	MWWD; CC-5-5	MWWD (Metropolitan Wastewater Department) Ocean Monitoring Lab
<b>SOUTH:</b>	Unzoned – US Military	US Military
<b>EAST:</b>	PSTI; CC-5-5	PSTI (Public Safety Training Institute)
<b>WEST:</b>	Unzoned - Boat Channel	Boat Channel
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	<ul style="list-style-type: none"> <li>- Minimum lot coverage (35% required – 14.5% provided)</li> <li>- Maximum front setback (max 10' along Kincaid Rd – proposed 10' – 75')</li> <li>- Maximum street side setback (max 10' along Harbor Drive – proposed 118' – 330')</li> <li>- Transparency (SDMC 131.0552)</li> <li>- Loading Requirement (SDMC 142.1001)</li> <li>- Refuse and Recyclable Materials Location (SDMC 142.0810(b)(2))</li> </ul>	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION</b>	The Peninsula Community Planning Board (PCPB) voted (6-1-1) on November 15, 2012, to recommend approval of the project, without recommendations.	

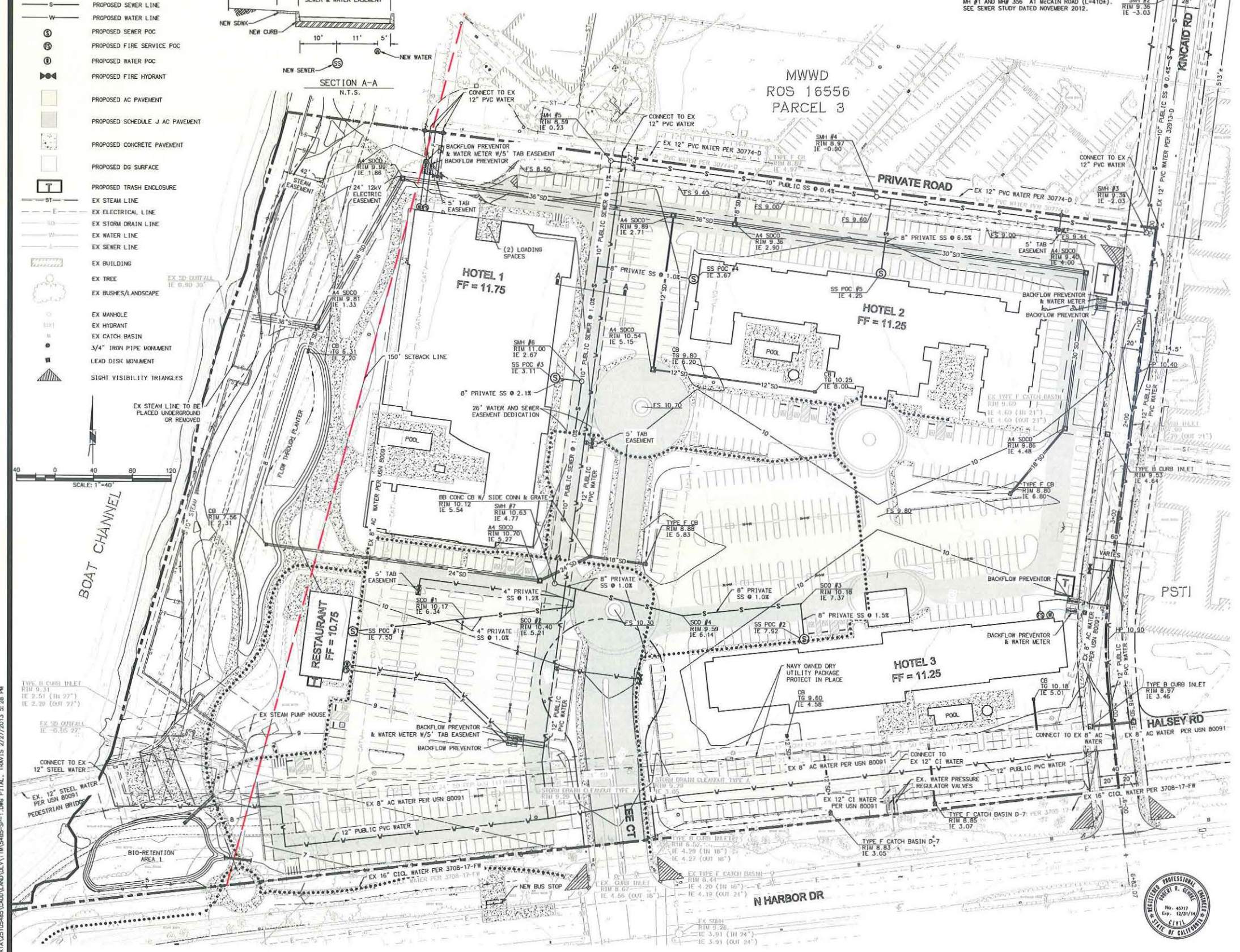
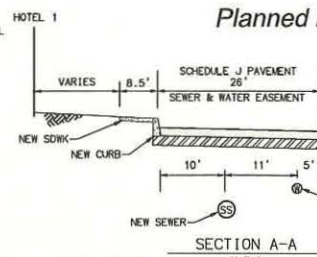


# LIBERTY STATION EAST HOTEL SITE PLAN, GRADING AND UTILITIES Vesting Tentative Map

Planned Development Permit / Vesting Tentative Map/ Street Vacation/ Easement Abandonment

### LEGEND

- BOUNDARY LINE
- RIGHT OF WAY LINE
- EASEMENT LINE
- SETBACK LINE
- ..... PROPOSED ACCESSIBLE PATH OF TRAVEL
- LIMIT OF WORK/ DAYLIGHT LINE
- PROPOSED STORM DRAIN
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED SEWER POC
- PROPOSED FIRE SERVICE POC
- PROPOSED WATER POC
- PROPOSED FIRE HYDRANT
- PROPOSED AC PAVEMENT
- PROPOSED SCHEDULE J AC PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED DG SURFACE
- PROPOSED TRASH ENCLOSURE
- EX STEAM LINE
- EX ELECTRICAL LINE
- EX STORM DRAIN LINE
- EX WATER LINE
- EX SEWER LINE
- EX BUILDING
- EX TREE
- EX BUSHES/LANDSCAPE
- EX MANHOLE
- EX HYDRANT
- EX CATCH BASIN
- 3/4" IRON PIPE MONUMENT
- LEAD DISK MONUMENT
- △ SIGHT VISIBILITY TRIANGLES



NOTE: INVERSION LINE EXISTING 18" SEWER BETWEEN MW #1 AND MW# 356 AT MCKIN ROAD (L-4104). SEE SEWER STUDY DATED NOVEMBER 2012.

### DEVELOPMENT SUMMARY:

1. PROJECT PROPOSES THREE HOTELS TOTALING 650 ROOMS, AND A 3,810 S.F. PUBLIC RESTAURANT. PARKING LOT IMPROVEMENTS WILL SERVICE ALL DEVELOPMENTS AND PROVIDE 15 PUBLIC COASTAL ACCESS PARKING SPACES AND LANDSCAPING IMPROVEMENTS. A PUBLIC ESPLANADE RUNNING ALONG THE 150' SETBACK WILL PROVIDE OPEN SPACE. EXHIBIT A DEPICTS HOTEL 1 (252 ROOMS), HOTEL 2 (215 ROOMS) AND HOTEL 3 (183 ROOMS); HOWEVER, THE NUMBER OF ROOMS IN EACH HOTEL MAY VARY AS LONG AS THE TOTAL DOES NOT EXCEED 650 ROOMS. ALL EXISTING STRUCTURES AND IMPROVEMENTS, COMPRISING A CURRENT OFF-AIRPORT PARKING LOT (C-2004) WILL BE REMOVED. PORTIONS OF THE EXISTING WATER AND STORM DRAIN EASEMENTS WILL BE ABANDONED AND REDEDICATED. THE EXISTING HALSEY ROAD RIGHT OF WAY WITHIN THE PROJECT LIMITS WILL BE VACATED. THE PROJECT REQUIRES THE FOLLOWING PERMITS AND APPROVALS:  
  
VESTING TENTATIVE MAP  
PLANNED DEVELOPMENT PERMIT  
COASTAL DEVELOPMENT PERMIT  
STREET VACATION  
EASEMENT ABANDONMENT.
2. LEGAL DESCRIPTION: LOTS 1-6 AND LOT A OF NTC UNIT No. 8 MAP No. 14367 AND HALSEY ROAD (TO BE VACATED)
3. ASSESSOR'S PARCEL NUMBER: 450-830-08,09,10,11,12, 13 & 14
4. GROSS SITE AREA: 15.75 ACRES
5. ALLOWABLE FAR: 2.0 PROPOSED FAR: 0.69
6. PARKING CALCULATION (SEE SHEETS TM-2 FOR LAYOUT AND TABULATION)
 

PARKING PROVIDED DEVELOPMENT	STANDARD	ACCESSIBLE	TOTAL
	672	14 (2 VAN)	686
PUBLIC COASTAL ACCESS	14	1 (VAN)	15
			TOTAL 701
MOTORCYCLE		+14	
BICYCLE		+15	
7. NO OBJECTS OVER 36' HIGH ARE PROPOSED IN THE VISIBILITY AREA.
8. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE, SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
10. TOTAL AREA ON SITE TO BE GRADED: 15.56 AC.  
 % OF TOTAL SITE TO BE GRADED: 98.8 %  
 AMOUNT OF TOTAL CUT: 11,000 +CUBIC YARDS  
 AMOUNT OF TOTAL FILL: 0 +CUBIC YARDS  
 AMOUNT OF IMPORT OR EXPORT: 0 +CUBIC YARDS EXPORT  
 MAX. VERTICAL DEPTH OF CUT: 4.5 FEET  
 MAX. OVERALL HEIGHT OF CUT SLOPE: 5 FEET, 2:1 MAX. SLOPE RATIO  
 MAX. VERTICAL DEPTH OF FILL: 3 FEET, (SLOPE RESTORATION GRADING)  
 MAX. OVERALL HEIGHT OF FILL SLOPE: 5 FEET, 2:1 MAX. SLOPE RATIO

NOTE: ALL WALKWAYS WITHIN THE ESPLANADE ARE TO BE ADA COMPLIANT.

### PROJECT TEAM

PLANNER  
ATLANTIS GROUP  
CONTACT: KATHI RISER  
2488 HISTORIC DECATUR ROAD, SUITE 200  
SAN DIEGO, CA 92124  
TEL: (619) 523-1930

OWNER/ APPLICANT  
McMILLIN NTC, LLC  
CONTACT: KIMBERLY ELLIOTT  
2750 WOMBLE ROAD  
SAN DIEGO, CA 92106  
TEL: (619) 794-1245  
FAX: (619) 336-3599

CIVIL ENGINEER / PLANNING /  
RBF CONSULTING  
CONTACT : ROB GEHRKE  
9755 CLAIREMONT MESA BLVD., #100  
SAN DIEGO, CA 92124  
TEL: (858) 614-5037  
FAX: (858) 614-5001

ARCHITECT  
JOSEPH WONG DESIGN ASSOCIATES  
CONTACT : JOSEPH WONG  
2359 FOURTH AVENUE  
SAN DIEGO, CA 92101  
TEL: (619) 233-6777  
FAX: (619) 237-0541

PREPARED BY:  
NAME: RBF CONSULTING  
CONTACT PERSON: ROB GEHRKE  
ADDRESS: 9755 CLAIREMONT MESA BLVD., #100  
SAN DIEGO, CA 92124  
PHONE: 858-614-5000  
FAX #: 858-614-5001

REVISION 14:  
REVISION 13:  
REVISION 12:  
REVISION 11:  
REVISION 10:  
REVISION 9:  
REVISION 8:  
REVISION 7:  
REVISION 6:  
REVISION 5:  
REVISION 4:  
REVISION 3: DECEMBER 19, 2012  
REVISION 2: NOVEMBER 12, 2012  
REVISION 1: SEPTEMBER 7, 2012  
ORIGINAL DATE: JULY 9, 2012  
SHEET 6 OF 35  
PTS# 285352

PROJECT ADDRESS:  
2220 LEE COURT  
SAN DIEGO, CA 92101

PROJECT NAME:  
LIBERTY STATION EAST HOTEL  
CCS 83 COORDINATE = 1846-6263  
LAMBERT COORDINATE = 206-1703

SHEET TITLE:  
SITE PLAN, GRADING AND UTILITIES

**SHEET SP-1**  
**RBF**  
CONSULTING  
10000 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100  
SAN DIEGO, CALIFORNIA 92122  
TEL: 619-444-1000 FAX: 619-444-1001



H:\PDATA\25105485\000\LAND\LV\TMA5485-SP-1.DWG P1TAL, TRAVIS 2/27/2013 5:28 PM



**LIBERTY STATION EAST HOTEL**  
**TOPOGRAPHIC MAP AND EXISTING CONDITIONS**  
Vesting Tentative Map

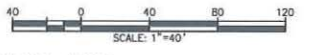
Planned Development Permit / Vesting Tentative Map/ Street Vacation/ Easement Abandonment

**LEGEND**

---	BOUNDARY LINE
---	LOT LINE
---	RIGHT OF WAY LINE
---	EASEMENT LINE
---	SETBACK LINE
---	EX STEAM LINE
---	EX ELECTRICAL LINE
---	EX TELEPHONE LINE
---	EX STORM DRAIN LINE
---	EX WATER LINE
---	EX SENER LINE
---	EX CHAIN LINK FENCE
---	EX BUILDING
●	3/4" IRON PIPE MONUMENT
■	LEAD DISK MONUMENT
○	EX TREE
☁	EX BUSHES/LANDSCAPE
○	EX MANHOLE
○	EX HYDRANT
○	EX LIGHT POLE
○	EX CATCH BASIN
□	EX CONTOUR
□	EX CONCRETE
□	EX ASPHALT

**DATA TABLE**

NO.	BANG/Delta	RADIUS	LENGTH
L1	N07°58'30"E	11.87'	14.88'
L2	N04°58'10"E	18.05'	19.25'
L3	N02°14'50"E	12.30'	19.30'
L4	N38°43'29"E	12.30'	19.30'
L5	N43°59'10"E	12.30'	19.30'
L6	N02°17'30"E	12.69'	12.69'
L7	N01°14'30"E	15.80'	17.94'
L8	N17°35'40"E	12.47'	12.47'
L9	N11°55'00"E	16.88'	16.88'
L10	N44°30'50"E	24.20'	24.20'
L11	N62°51'00"E	8.72'	8.72'
L12	N24°45'10"E	8.14'	10.92'
L13	N6°01'00"E	10.92'	25.32'
L14	N87°33'10"E	25.32'	25.32'
L15	N27°30'10"E	8.44'	8.44'



**GENERAL NOTES:**

- BENCHMARK: A BRASS PLUG AT THE NORTHERN CURB RETURN AT THE INTERSECTION OF HOMER STREET AND ROSECRANS ELEV=57.296
- DATE OF TOPOGRAPHY: MAY 4, 2012 BY VERTICAL MAPPING RESOURCES

**PROJECT TEAM**

**PLANNER:** ATLANTIS GROUP  
CONTACT: KATH RISER  
2488 HISTORIC DECATUR ROAD, SUITE 200  
SAN DIEGO, CA 92106  
TEL: (619) 523-1930

**CIVIL ENGINEER / PLANNING / RBF CONSULTING:**  
CONTACT: ROB GEHRKE  
9755 CLAREMONT MESA BLVD., #100  
SAN DIEGO, CA 92124  
TEL: (858) 614-5037  
FAX: (858) 614-5001

**ARCHITECT:** JOSEPH WONG DESIGN ASSOCIATES  
CONTACT: JOSEPH WONG  
2359 FOURTH AVENUE  
SAN DIEGO, CA 92101  
TEL: (619) 233-6777  
FAX: (619) 237-0541

**OWNER / APPLICANT:** McMILLIN NTC, LLC  
CONTACT: KIMBERLY ELLIOTT  
2750 WOMBLE ROAD  
SAN DIEGO, CA 92106  
TEL: (619) 794-1245  
FAX: (619) 336-3599

**PREPARED BY:** RBF CONSULTING  
CONTACT PERSON: ROB GEHRKE  
ADDRESS: 9755 CLAREMONT MESA BLVD., #100  
SAN DIEGO, CA 92124  
PHONE: 858-614-5000  
FAX #: 858-614-5001

**PROJECT ADDRESS:** 2220 LEE COURT  
SAN DIEGO, CA 92101

**PROJECT NAME:** LIBERTY STATION EAST HOTEL

CCS 83 COORDINATE = 1846-6263  
LAMBERT COORDINATE = 206-1705

SHEET TITLE: **TOPOGRAPHIC MAP AND EXISTING CONDITIONS**

**SHEET SP-2**  
RBF CONSULTING

REVISION 14:	
REVISION 13:	
REVISION 12:	
REVISION 11:	
REVISION 10:	
REVISION 9:	
REVISION 8:	
REVISION 7:	
REVISION 6:	
REVISION 5:	
REVISION 4:	
REVISION 3:	DECEMBER 19, 2012
REVISION 2:	NOVEMBER 12, 2012
REVISION 1:	SEPTEMBER 7, 2012
ORIGINAL DATE:	JULY 9, 2012

SHEET 7 OF 35  
PTS# 285352

REGISTRATION NO. 4371  
EXPIRES 12/31/14  
CIVIL ENGINEER  
STATE OF CALIFORNIA

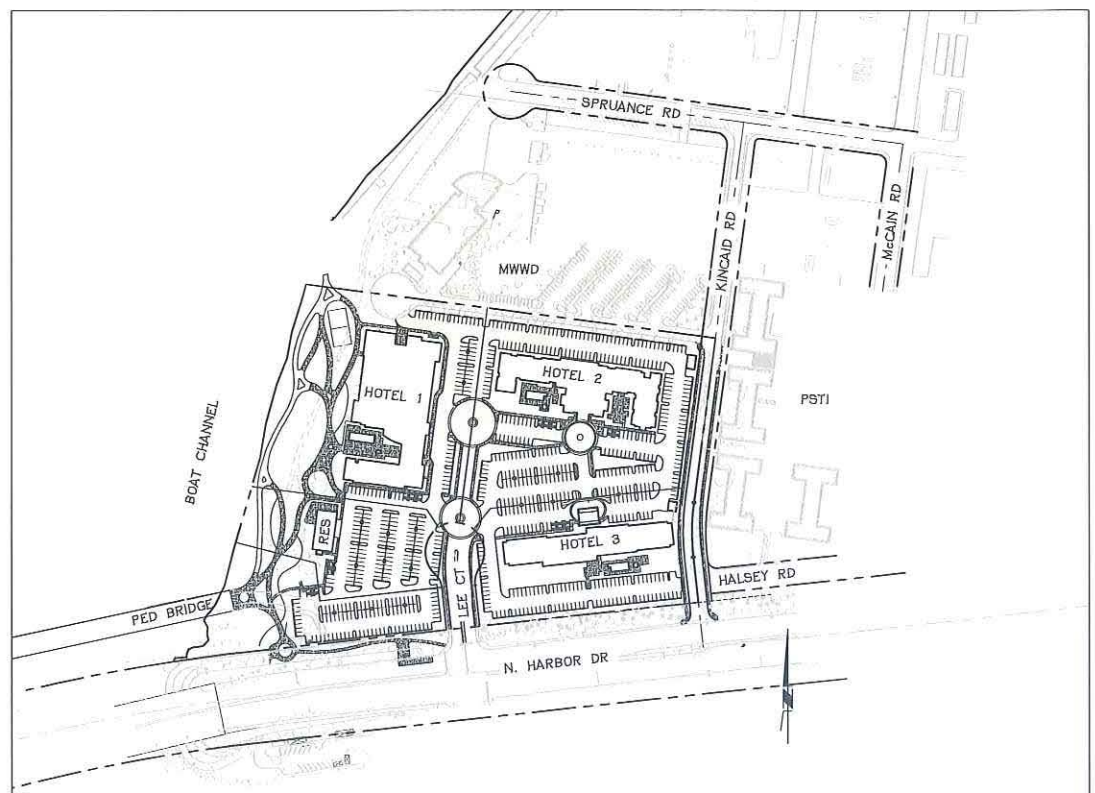
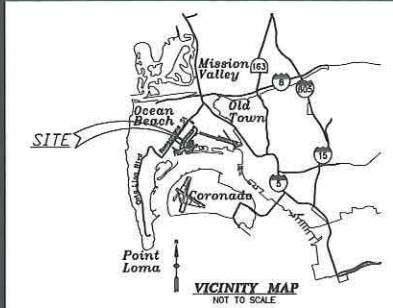
H:\PDATA\2012\05\05\485\CA\LAND\LIBERTY STA HOTEL\SP-2.DWG PITAL, TRAVIS 2/27/2013 5:28 PM



# LIBERTY STATION EAST HOTEL

## VESTING TENTATIVE MAP

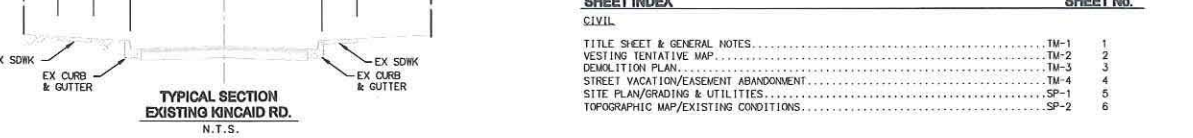
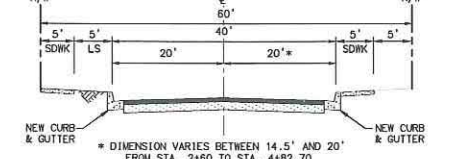
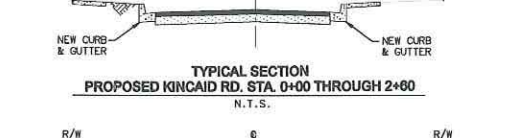
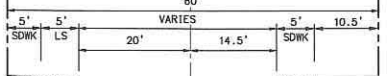
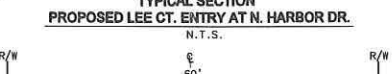
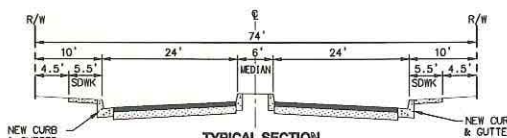
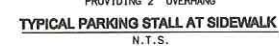
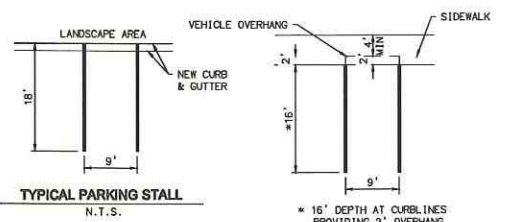
Planned Development Permit/ Vesting Tentative Map/ Street Vacation/ Easement Abandonment



**ABBREVIATIONS**

BLDG	BUILDING
CT	COURT
DR	DRIVE
FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE
FL	FLOORLINE
FS	FINISH SURFACE
HP	HIGH POINT
IE	INVERT ELEVATION
LP	LOW POINT
LS	LANDSCAPE
MWWD	MUNICIPAL WASTE WATER DEPARTMENT
R	PROPERTY LINE
POC	POINT OF CONNECTION
PSTI	POLICE STATION TRAINING INSTITUTE
RD	ROAD
R/W	RIGHT OF WAY
SDWK	SIDEWALK

- PROJECT DESCRIPTION**  
PROJECT PROPOSES THREE HOTELS TOTALING 650 ROOMS, AND A 3,810 S.F. PUBLIC RESTAURANT. PARKING LOT IMPROVEMENTS WILL SERVICE ALL DEVELOPMENTS AND PROVIDE 15 PUBLIC COASTAL ACCESS PARKING SPACES AND LANDSCAPING IMPROVEMENTS. A PUBLIC ESPLANADE RUNNING ALONG THE 150' SETBACK, WILL PROVIDE OPEN SPACE. EXHIBIT A DEPICTS HOTEL 1 (252 ROOMS), HOTEL 2 (215 ROOMS) AND HOTEL 3 (183 ROOMS); HOWEVER, THE NUMBER OF ROOMS IN EACH HOTEL MAY VARY AS LONG AS THE TOTAL DOES NOT EXCEED 650 ROOMS. ALL EXISTING STRUCTURES AND IMPROVEMENTS, COMPRISING A CURRENT OFF-AIRPORT PARKING LOT (c. 2004) WILL BE REMOVED. PORTIONS OF THE EXISTING WATER AND STORM DRAIN EASEMENTS WILL BE ABANDONED AND REDEDICATED. THE EXISTING HALSEY ROAD RIGHT OF WAY WITHIN THE PROJECT LIMITS WILL BE VACATED. THE PROJECT REQUIRES THE FOLLOWING PERMITS AND APPROVALS:  
  
VESTING TENTATIVE MAP  
PLANNED DEVELOPMENT PERMIT  
COASTAL DEVELOPMENT PERMIT  
STREET VACATION  
EASEMENT ABANDONMENT.
- LEGAL DESCRIPTION** LOTS 1-6 AND LOT A OF NTC UNIT No. 8 MAP No. 14367 AND HALSEY ROAD (TO BE VACATED)
- ASSESSOR'S PARCEL NUMBER:** 450-830-08,09,10,11,12, 13 & 14
- GROSS SITE AREA:** 15.75 ACRES
- ALLOWABLE FAR:** 2.0 PROPOSED FAR: 0.69
- EX NUMBER OF LOTS 7 PROPOSED NUMBER OF LOTS 5**  
LOT 1 OPEN SPACE, LOT 2- RESTAURANT, LOT 3- HOTEL 1, LOT 4- HOTEL 2, LOT 5- HOTEL 3
- THERE ARE TWO EXISTING TRANSIT STOPS WITHIN THE PROJECT VICINITY. BUS ROUTE 923 RUNS ALONG N. HARBOR DR. WITH STOPS ALONG THE NORTH AND SOUTH SIDES OF THE STREET AT THE INTERSECTION OF N. HARBOR DR. AND LEE CT. THE BUS STOP LOCATED EAST OF LEE COURT ON THE WESTBOUND SIDE OF N. HARBOR DR. WILL BE RELOCATED TO THE WEST SIDE OF LEE CT.
- BENCHMARK:** A BRASS PLUG AT THE NORTHERN CURB RETURN AT THE INTERSECTION OF HOMER STREET AND ROSECRANS ELEV=57.296



**KEY MAP**  
1"=150'

SHEET INDEX	
	SHEET No.
CIVIL	
TITLE SHEET & GENERAL NOTES	TM-1 1
VESTING TENTATIVE MAP	TM-2 2
DEMOLITION PLAN	TM-3 3
STREET VACATION/EASEMENT ABANDONMENT	TM-4 4
SITE PLAN/GRADING & UTILITIES	SP-1 5
TOPOGRAPHIC MAP/EXISTING CONDITIONS	SP-2 6

**GRADING TABULATIONS:**

<b>ONSITE GRADING:</b>	
TOTAL AREA ONSITE TO BE GRADED:	15.56 AC.
% OF TOTAL SITE TO BE GRADED:	98.8 %
AMOUNT OF TOTAL CUT:	11,000 +CUBIC YARDS
AMOUNT OF TOTAL FILL:	11,000 +CUBIC YARDS
AMOUNT OF IMPORT OR EXPORT:	0 +CUBIC YARDS EXPORT
MAX. VERTICAL DEPTH OF CUT:	4.5 FEET
MAX. OVERALL HEIGHT OF CUT SLOPE:	5 FEET, 2:1 MAX. SLOPE RATIO
MAX. VERTICAL DEPTH OF FILL:	3 FEET, (SLOPE RESTORATION GRADING)
MAX. OVERALL HEIGHT OF FILL SLOPE:	5 FEET, 2:1 MAX. SLOPE RATIO

- \*NOTE:**
- GRADING QUANTITIES SHOWN DO NOT INCLUDE BUILDING EXCAVATION (23,000 CUBIC YARDS OF CUT AND 0 CUBIC YARDS OF FILL) COVERED UNDER BUILDING PERMIT.
  - GRADING QUANTITIES SHOWN DO NOT INCLUDE EXCAVATION FOR RETAINING WALLS, STRUCTURAL FOOTINGS, UTILITY TRENCHING, REMEDIAL GRADING AND EFFECTS OF BULKING OR SHRINKAGE.

- GENERAL NOTES:**
- BENCHMARK: A BRASS PLUG AT THE NORTHERN CURB RETURN AT THE INTERSECTION OF HOMER STREET AND ROSECRANS ELEV=57.296
  - SEE SHEETS 7-27 FOR ARCHITECTURAL PLANS.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVIDER SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  - ALL ONSITE WATER AND SEWER SERVICES ARE PRIVATE, UNLESS OTHERWISE NOTED.
  - THERE ARE TWO EXISTING TRANSIT STOPS WITHIN THE PROJECT VICINITY. BUS ROUTE 923 RUNS ALONG N HARBOR DR WITH STOPS ALONG THE NORTH AND SOUTH SIDES OF THE STREET AT THE INTERSECTION OF N HARBOR DR AND LEE CT.
  - DATE OF TOPOGRAPHY: MAY 4, 2012 BY VERTICAL MAPPING RESOURCES
  - FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP. A DETAILED PROCEDURE OF SURVEY WILL BE SHOWN ON THE FINAL MAP AND ALL PROPERTY CORNERS WILL BE SET ON THE FINAL MAP.

- FIRE NOTES:**
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (LFC 901.4.4).
  - PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-00-1.
  - AN ILLUMINATED DIRECTORY IN ACCORDANCE WITH FHPS POLICY I-00-6, SHALL BE PROVIDED.
  - ALL BUILDINGS WILL BE SPRINKLERED.

**DECLARATION OF RESPONSIBLE CHARGE**

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OR MY RESPONSIBILITIES FOR PROJECT DESIGN.



**PROJECT TEAM**

**PLANNER**  
ATLANTIS GROUP  
CONTACT: KATH RISER  
2488 HISTORIC DECATUR ROAD, SUITE 200  
SAN DIEGO, CA 92106  
TEL: (619) 523-1930

**OWNER/ APPLICANT**  
McMILLIN NTC, L.L.C.  
CONTACT: KIMBERLY ELLIOTT  
2750 WIMBLE ROAD  
SAN DIEGO, CA 92106  
TEL: (619) 794-1245  
FAX: (619) 336-3599

**CIVIL ENGINEER / PLANNING / RBF CONSULTING**  
CONTACT: ROB GEHRKE  
9755 CLAIREMONT MESA BLVD., #100  
SAN DIEGO, CA 92124  
TEL: (858) 614-5037  
FAX: (858) 614-5001

**ARCHITECT**  
JOSEPH WONG DESIGN ASSOCIATES  
CONTACT: JOSEPH WONG  
2359 FOURTH AVENUE  
SAN DIEGO, CA 92101  
TEL: (619) 233-6777  
FAX: (619) 237-0541

**PREPARED BY:**  
NAME: RBF CONSULTING  
CONTACT PERSON: ROB GEHRKE  
ADDRESS: 9755 CLAIREMONT MESA BLVD. #100  
SAN DIEGO, CA 92124  
PHONE: 858-614-5000  
FAX #: 858-614-5001

**PROJECT ADDRESS:**  
2220 LEE COURT  
SAN DIEGO, CA 92101

**PROJECT NAME:**  
LIBERTY STATION EAST HOTEL

CCS 83 COORDINATE = 1846-0268  
LAMBERT COORDINATE = 206-1703

**SHEET TITLE**  
VESTING TENTATIVE MAP  
Title Sheet and Notes

**SHEET TM-1**  
RBF CONSULTING

H:\DATA\25105465\CADD\LAND\LIBERTY\TM-1.DWG PITAL, TRAVIS 2/27/2013 5:25 PM



# LIBERTY STATION EAST HOTEL

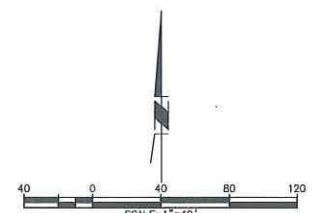
## VESTING TENTATIVE MAP

Planned Development Permit/ Vesting Tentative Map/ Street Vacation/ Easement Abandonment

**LEGEND**

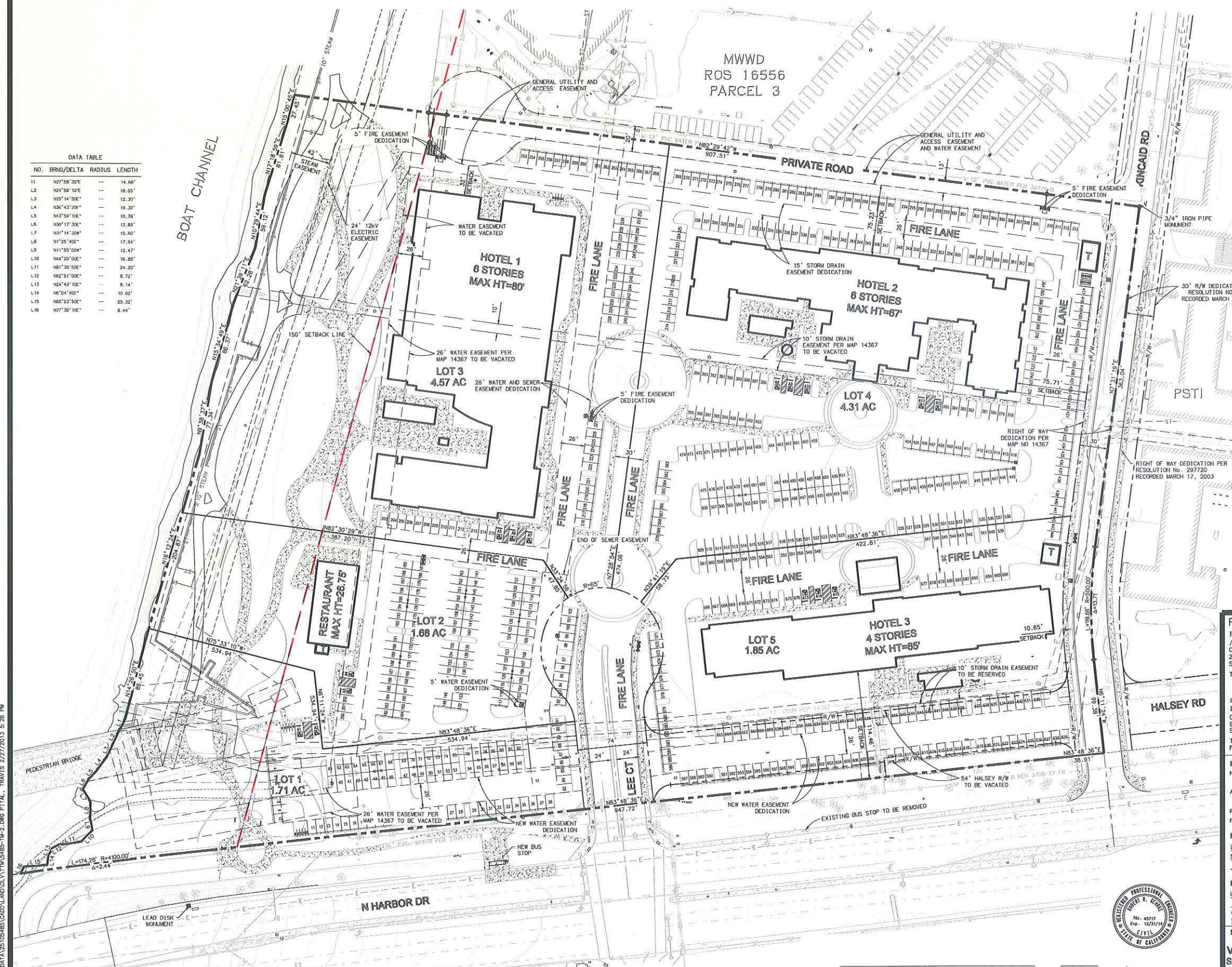
- BOUNDARY LINE
- 3/4" IRON PIPE MONUMENT
- LEAD DISK MONUMENT
- PROPOSED LOT LINE
- RIGHT OF WAY LINE
- EASEMENT LINE
- SETBACK LINE
- PROPOSED CONCRETE
- PROPOSED DG SURFACE
- PROPOSED HYDRANT
- PROPOSED TRASH ENCLOSURE
- PARKING (NUMBERED)
- ACCESSIBLE PARKING (NUMBERED)
- MOTORCYCLE PARKING (NUMBERED)
- EX STEAM LINE
- EX ELECTRICAL LINE
- EX STORM DRAIN LINE
- EX WATER LINE
- EX SEWER LINE
- EX BUILDING
- EX TREE
- EX MANHOLE
- EX HYDRANT
- EX CATCH BASIN
- EX CONCRETE

DEVELOPMENT	STANDARD	ACCESSIBLE	TOTAL
PARKING PROVIDED:			
DEVELOPMENT	672	14 (2 VAN)	686
PUBLIC COASTAL ACCESS	14	1 (VAN)	15
		<b>TOTAL:</b>	<b>701</b>
MOTORCYCLE	+14		
BICYCLE	+15		



**DATA TABLE**

NO.	BRNG/DELTA	RADIUS	LENGTH
L1	N07°58'30"E		14.68'
L2	N24°58'10"E		18.05'
L3	N05°14'50"E		12.30'
L4	N06°43'20"E		19.30'
L5	N43°59'10"E		10.78'
L6	N00°17'30"E		12.89'
L7	N31°14'30"E		15.80'
L8	N1°25'40"E		17.94'
L9	N11°59'00"E		12.47'
L10	N44°20'00"E		18.85'
L11	N81°30'00"E		24.20'
L12	N62°51'00"E		8.72'
L13	N24°43'10"E		8.14'
L14	N6°04'40"E		10.02'
L15	N85°23'50"E		25.32'
L16	N07°30'10"E		8.44'



H:\DATA\25105485\CAD\LAND\VTM\5485-TM-2.DWG PITAL, TRAVIS 2/27/2013 5:26 PM

**PROJECT TEAM**

<p><b>PLANNER</b>                  ATLANTIS GROUP                  CONTACT: KATHI RISER                  2488 HISTORIC DECATUR ROAD, SUITE 200                  SAN DIEGO, CA 92106                  TEL: (619) 523-1930</p>	<p><b>OWNER/ APPLICANT</b>                  McMILLIN NTC, LLC                  CONTACT: KIMBERLY ELLIOTT                  2750 WOMBLE ROAD                  SAN DIEGO, CA 92106                  TEL: (619) 794-1245                  FAX: (619) 336-3599</p>
<p><b>CIVIL ENGINEER / PLANNING / RBF CONSULTING</b>                  CONTACT : ROB GEHRKE                  9755 CLAIREMONT MESA BLVD., #100                  SAN DIEGO, CA. 92124                  TEL: (858) 614-5037                  FAX: (858) 614-5001</p>	<p><b>ARCHITECT</b>                  JOSEPH WONG DESIGN ASSOCIATES                  CONTACT : JOSEPH WONG                  2359 FOURTH AVENUE                  SAN DIEGO, CA 92101                  TEL: (619) 233-6777                  FAX: (619) 237-0541</p>

**PREPARED BY:**  
 NAME: RBF CONSULTING  
 CONTACT PERSON: ROB GEHRKE  
 ADDRESS: 9755 CLAIREMONT MESA BLVD., #100  
 SAN DIEGO, CA 92124  
 PHONE: 858-614-5000  
 FAX #: 858-614-5001

**PROJECT ADDRESS:**  
 2220 LEE COURT  
 SAN DIEGO, CA 92101

**PROJECT NAME:**  
 LIBERTY STATION EAST HOTEL

CCS 83 COORDINATE = 1846-0265  
 LAMBERT COORDINATE = 206-1703

**SHEET TITLE:**  
 VESTING TENTATIVE MAP  
 Site Plan

**REVISION 14:** \_\_\_\_\_

**REVISION 13:** \_\_\_\_\_

**REVISION 12:** \_\_\_\_\_

**REVISION 11:** \_\_\_\_\_

**REVISION 10:** \_\_\_\_\_

**REVISION 9:** \_\_\_\_\_

**REVISION 8:** \_\_\_\_\_

**REVISION 7:** \_\_\_\_\_

**REVISION 6:** \_\_\_\_\_

**REVISION 5:** \_\_\_\_\_

**REVISION 4:** \_\_\_\_\_

**REVISION 3:** DECEMBER 19, 2012

**REVISION 2:** NOVEMBER 12, 2012

**REVISION 1:** SEPTEMBER 7, 2012

ORIGINAL DATE: JULY 9, 2012

SHEET 3 OF 35

PTS# 285352

**SHEET TM-2**

**RBF CONSULTING**

REGISTERED PROFESSIONAL ENGINEER  
 No. 45717  
 Exp. 12/31/14  
 STATE OF CALIFORNIA

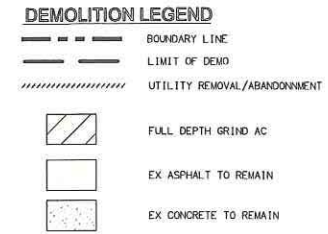
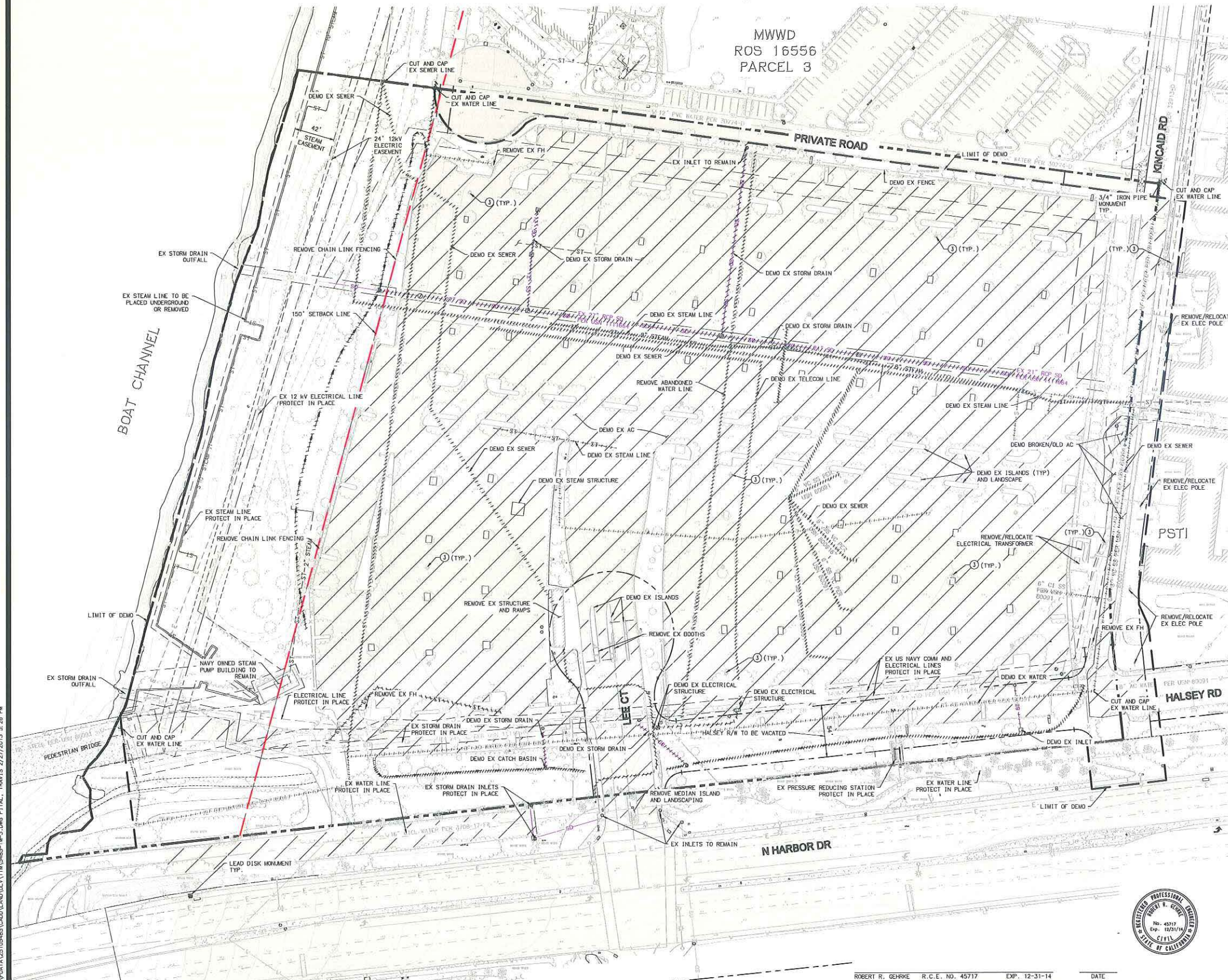


# LIBERTY STATION EAST HOTEL

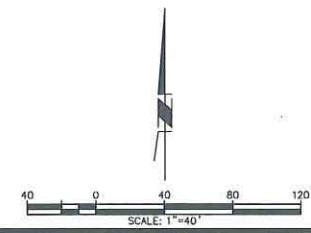
## VESTING TENTATIVE MAP

Planned Development Permit/ Vesting Tentative Map/ Street Vacation/ Easement Abandonment

MWW  
ROS 16556  
PARCEL 3



- ### DEMOLITION NOTES
- 1 REMOVE ALL ONSITE AC PAVEMENT TO FULL DEPTH
  - 2 REMOVE ALL ONSITE CONCRETE CURB AND AC BERMS
  - 3 REMOVE ALL ONSITE LIGHT POLE STANDARDS
  - 4 REMOVE ALL ONSITE LANDSCAPE VEGETATION



<b>PROJECT TEAM</b>	
PLANNER ATLANTIS GROUP CONTACT: KATH RISER 2488 HISTORIC DECATUR ROAD, SUITE 200 SAN DIEGO, CA 92106 TEL: (619) 523-1930	OWNER/ APPLICANT McMILLIN NTC, LLC CONTACT: KIMBERLY ELLIOTT 2750 WIMBLE ROAD SAN DIEGO, CA 92106 TEL: (619) 794-1245 FAX: (619) 336-3599
CIVIL ENGINEER / PLANNING / RBF CONSULTING CONTACT : ROB GEHRKE 8755 CLAIREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 TEL: (858) 614-5037 FAX: (858) 614-5001	ARCHITECT JOSEPH WONG DESIGN ASSOCIATES CONTACT : JOSEPH WONG 2359 FOURTH AVENUE SAN DIEGO, CA 92101 TEL: (619) 232-6777 FAX: (619) 232-0541
<b>PREPARED BY:</b> NAME: RBF CONSULTING CONTACT PERSON: ROB GEHRKE ADDRESS: 8755 CLAIREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 PHONE #: 858-614-5000 FAX #: 858-614-5001	REVISION 14: _____ REVISION 13: _____ REVISION 12: _____ REVISION 11: _____ REVISION 10: _____ REVISION 9: _____ REVISION 8: _____ REVISION 7: _____ REVISION 6: _____ REVISION 5: _____ REVISION 4: _____ REVISION 3: _____ REVISION 2: _____ REVISION 1: _____ ORIGINAL DATE: JULY 9, 2012 SHEET 4 OF 35 PTS# 265352
<b>PROJECT ADDRESS:</b> 2220 LEE COURT SAN DIEGO, CA 92101	
<b>PROJECT NAME:</b> LIBERTY STATION EAST HOTEL	
CCS 83 COORDINATE = 1846-0263 LAMBERT COORDINATE = 206-1703	
SHEET TITLE: <b>VESTING TENTATIVE MAP DEMOLITION PLAN</b>	



H:\PDATA\25105485\CADD\LAND\VTM\5485-TM-3.DWG PITAL, TRAVIS 2/27/2013 5:26 PM



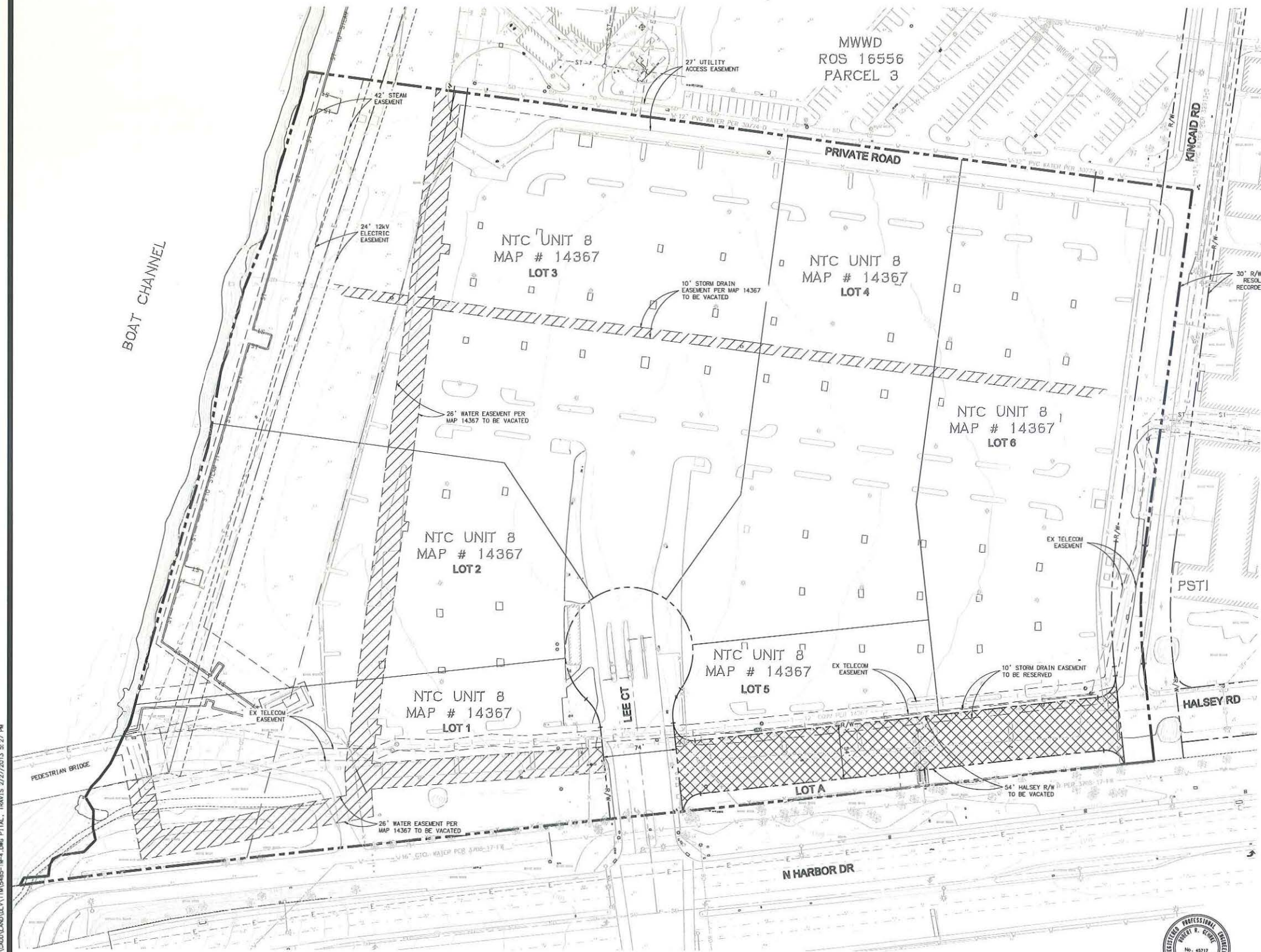
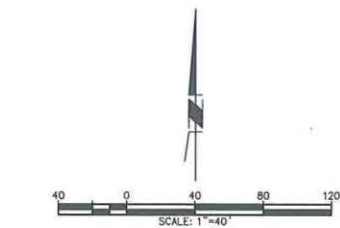
**LIBERTY STATION EAST HOTEL**  
**VESTING TENTATIVE MAP**  
 Planned Development Permit/ Vesting Tentative Map/ Street Vacation/ Easement Abandonment

**LEGEND**

- BOUNDARY LINE
- - - EX LOT LINE
- - - RIGHT OF WAY LINE
- - - EASEMENT LINE
- - - SETBACK LINE
- - - EX STEAM LINE
- - - EX ELECTRICAL LINE
- - - EX STORM DRAIN LINE
- - - EX WATER LINE
- - - EX SEWER LINE
- - - EX BUILDING
- - - EX TREE
- - - EX BUSHES/LANDSCAPE
- - - EX MANHOLE
- - - EX HYDRANT
- - - EX CATCH BASIN
- - - 3/4" IRON PIPE MONUMENT
- - - LEAD DISK MONUMENT
- [Hatched Box] EASEMENT VACATION
- [Cross-hatched Box] STREET VACATION

**NOTES:**

1. FOR NEW EASEMENT LOCATIONS SEE SHEET TM-2.



H:\PDATA\25105485\000\LAND\VTM\5485-TM-4.DWG P1TAL, TRAVIS 2/27/2013 5:27 PM

<b>PROJECT TEAM</b>	
PLANNER ATLANTIS GROUP CONTACT: KATHI RISER 2488 HISTORIC DECATUR ROAD, SUITE 200 SAN DIEGO, CA 92106 TEL: (619) 523-1930	OWNER/ APPLICANT McMILLIN NTG, LLC CONTACT: KIMBERLY ELLIOTT 2750 WOMBLE ROAD SAN DIEGO, CA 92106 TEL: (619) 794-1245 FAX: (619) 336-3599
CIVIL ENGINEER / PLANNING / RBF CONSULTING CONTACT : ROB GEHRKE 9755 CLAIREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 TEL: (858) 614-5037 FAX: (858) 614-5001	ARCHITECT JOSEPH WONG DESIGN ASSOCIATES CONTACT : JOSEPH WONG 2359 FOURTH AVENUE SAN DIEGO, CA 92101 TEL: (619) 233-6777 FAX: (619) 237-0541
PREPARED BY: NAME: RBF CONSULTING CONTACT PERSON: ROB GEHRKE ADDRESS: 9755 CLAIREMONT MESA BLVD., #100 SAN DIEGO, CA 92124 PHONE #: 858-614-5000 FAX #: 858-614-5001	REVISION 14: _____ REVISION 13: _____ REVISION 12: _____ REVISION 11: _____ REVISION 10: _____ REVISION 9: _____ REVISION 8: _____ REVISION 7: _____ REVISION 6: _____ REVISION 5: _____ REVISION 4: _____ REVISION 3: DECEMBER 19, 2012 REVISION 2: NOVEMBER 12, 2012 REVISION 1: SEPTEMBER 7, 2012 ORIGINAL DATE: JULY 9, 2012 SHEET 5 OF 35 PTS# 285352
PROJECT ADDRESS: 2220 LEE COURT SAN DIEGO, CA 92101	PROJECT NAME: LIBERTY STATION EAST HOTEL CCS 83 COORDINATE = 1846-6268 LAMBERT COORDINATE = 206-1708





**PROJECT TEAM**

**OWNER/APPLICANT:**  
 McMILLIN NTC, LLC  
 2750 WOMBLE ROAD  
 SAN DIEGO, CA 92106  
 T: (619) 794-1245  
 CONTACT: KIMBERLY ELLIOTT

**PLANNER:**  
 ATLANTIS GROUP  
 2488 HISTORIC DECATUR ROAD, SUITE 200  
 SAN DIEGO, CA 92106  
 T: (619) 523-1930  
 CONTACT: MARCELA ESCOBAR-ECK,  
 KATHI RISER

**ARCHITECT:**  
 JOSEPH WONG DESIGN ASSOCIATES  
 2359 FOURTH AVENUE  
 SAN DIEGO, CA 92101-1606  
 JOSEPH WONG, FAIA  
 T: (619) 233-6777  
 CONTACT: CHRIS FASSLER

**CIVIL ENGINEER:**  
 RBF CONSULTING  
 9755 CLAIREMONT MESA BOULEVARD  
 SAN DIEGO, CA 92124  
 T: (858) 614-5000  
 CONTACT: ROB GEHRKE

**LANDSCAPE ARCHITECT:**  
 WIMMER YAMADA AND CAUGHEY  
 3067 FIFTH AVENUE  
 SAN DIEGO, CA 92103  
 T: (619) 232-4004  
 CONTACT: DENNIS OTSUJI

**TRAFFIC ENGINEER:**  
 KIMLEY HORN AND ASSOCIATES  
 401 B STREET, SUITE 600  
 SAN DIEGO, CA 92101  
 T: (619) 744-0105  
 CONTACT: DAVE SORENSON

**GEOTECHNICAL:**  
 GEOCON, INCORPORATED  
 6960 FLANDERS DRIVE  
 SAN DIEGO, CA 92121  
 T: (858) 558-6900  
 CONTACT: JOE VETTEL

**ENVIRONMENTAL:**  
 KLR PLANNING  
 P.O. BOX 882676  
 SAN DIEGO, CA 92168  
 T: (619) 578-9505  
 CONTACT: KAREN RUGGELS

**DEVELOPMENT SUMMARY**

**APPLICANT:**  
 McMILLIN NTC, LLC  
 2750 WOMBLE ROAD  
 SAN DIEGO, CA 92106  
 T: (619) 794 - 1245  
 CONTACT: KIMBERLY ELLIOTT

**REQUIRED PERMITS/ DISCRETIONARY ACTIONS:**  
**PERMITS:**  
 • PLANNED DEVELOPMENT PERMIT  
 • VESTING TENTATIVE MAP  
 • PUBLIC RIGHT-OF-WAY VACATION  
 • EASEMENT ABANDONMENT

**ENTITLEMENTS BY OTHERS:**  
 • COASTAL DEVELOPMENT PERMIT

**DEVIATIONS:**  
 • LOT COVERAGE  
 REQ: MIN 35% - PROVIDED 15.6%  
 • FRONT SETBACK (KINCAID ROAD)  
 REQ: MAX 10' - PROVIDED: 10' TO 75'

- STREET SIDE SETBACK (HARBOR DRIVE)  
 REQUIRED: MAX 10' - PROVIDED: 118' TO 330'
- TRANSPARENCY REQUIREMENTS SDMC 131.0552
- LOADING REQUIREMENT SDMC SECTION 142.1001
- LOCATION OF REFUSE AND RECYCLABLE  
 MATERIAL STORAGE SDMC 142.0810(b)(2)

**PROJECT DESCRIPTION:**  
 THE LIBERTY STATION EAST HOTEL DEVELOPMENT CONSISTS OF THREE HOTELS TOTALING 650 ROOMS, IMPROVEMENTS TO A 150' WIDE PUBLIC ESPLANADE ALONG THE BOAT CHANNEL AND A ONE STORY RESTAURANT. EXHIBIT A DEPICTS HOTEL 1 (252 ROOMS), HOTEL 2 (215 ROOMS) AND HOTEL 3 (183 ROOMS); HOWEVER, THE NUMBER OF ROOMS IN EACH HOTEL MAY VARY AS LONG AS THE TOTAL DOES NOT EXCEED 650 ROOMS. THE SCOPE OF WORK INCLUDES THE FOLLOWING:

- DEMOLITION OF EXISTING PARKING LOT
- NEW VESTING TENTATIVE MAP
- VACATE HALSEY ROAD
- IMPROVEMENTS TO KINCAID RD
- CONNECTION OF KINCAID RD TO HARBOR DR
- RELOCATION AND NEW DEDICATION OF WATER, SEWER AND STORM DRAIN EASEMENTS
- UNDERGROUND EXISTING STEAM LINES
- IMPROVEMENTS TO 150' WIDE PUBLIC ESPLANADE ALONG BOAT CHANNEL
- PROVIDE 15 PUBLIC COASTAL ACCESS PARKING SPACES
- 3,810 SF RESTAURANT
- SIX STORY 252 ROOM HOTEL
- SIX STORY 215 ROOM HOTEL
- FOUR STORY 183 ROOM HOTEL

**LEGAL DESCRIPTION**  
 LOTS 1-6 & LOT A OF NTC UNIT NO. 8  
 MAP NO. 14367 & HALSEY RD (TO BE VACATED)

**SEWER DISTRICT:**  
 CITY OF SAN DIEGO - WASTEWATER

**WATER DISTRICT:**  
 CITY OF SAN DIEGO - WATER

**SCHOOL DISTRICT:**  
 SAN DIEGO UNIFIED SCHOOL DISTRICT

**PROJECT ADDRESS:**  
 2220 LEE COURT, SAN DIEGO, CA 92101

**EXISTING ZONE:**  
 CC-5-5; COMMERCIAL - COMMUNITY  
 AIRPORT APPROACH OVERLAY ZONE  
 AIRPORT INFLUENCE ZONE  
 AIRPORT ENVIRONS ZONE  
 FAA PART 77 NOTIFICATION AREA  
 COASTAL OVERLAY ZONE (ORIGINAL JURISDICTION)

SUBJECT TO MASTER PLANNED DEVELOPMENT PERMIT 99-1076 AND THE NTC PRECISE PLAN & LOCAL COASTAL PROGRAM

**EXISTING LAND USE:**  
 TEMPORARY AIRPORT PARKING

**BUILDING TYPE:**  
 HOTELS:  
 (2) 6-STORY TYPE I  
 (1) 4-STORY TYPE V - 1HR FULLY SPRINKLERED  
 RESTAURANT:  
 1-STORY TYPE V-N CONSTRUCTION

**SOIL CONDITION:**  
 SEE SOILS REPORT

**REFUSE & RECYCLING:**  
 ALL BUILDING SHALL PROVIDE STORAGE FOR REFUSE AND RECYCLING PER LDC 142.0801

**SOUND ATTENUATION:**  
 ATTENUATION WILL BE PROVIDED TO ENSURE A 45db CNEL INTERIOR NOISE LEVEL

**HOTEL AREAS**  
 (OCCUPANCY CLASS 'R1' PER 2010 C.B.C.)

BUILDING 1 (252 ROOMS)		
GROUND FLOOR:	46,937 SF	
2ND - 4TH FLOOR	104,583 SF	34,861 SF/ FLOOR
5TH - 6TH FLOOR	63,420 SF	31,710 SF/ FLOOR
<b>TOTAL</b>	<b>214,940 SF</b>	

BUILDING 2 (215 ROOMS)		
GROUND FLOOR:	28,200 SF	
2ND - 6TH FLOOR	114,350 SF	22,870 SF/ FLOOR
<b>TOTAL</b>	<b>142,550 SF</b>	

BUILDING 3 (183 ROOMS)		
GROUND FLOOR:	22,020 SF	
2ND - 6TH FLOOR	65,400 SF	21,800 SF/ FLOOR
<b>TOTAL</b>	<b>87,420 SF</b>	

**HOTEL TOTAL:**  
**AREA: 444,910 SF 650 GUESTROOMS**

**PROJECT ZONING SUMMARY**

LOT AREA TOTAL (INCLUDING ROAD DEDICATION)	685,862 SF (15.75 ACRES)
LOT AREA (FOR F.A.R. / BLDG COVERAGE CALC'S)	647,117 SF (14.85 ACRES)
TOTAL BUILDING AREA	444,910 SF
F.A.R.	ALLOWABLE 2.0 ACTUAL 0.69
COVERAGE	ALLOWABLE MIN 35% ACTUAL 15.6%
MAX STRUCTURAL HEIGHT	ALLOWABLE 80' ACTUAL 80'-0" (T.O.P ELEVATOR PENTHOUSE)

**PARKING**

**REQUIRED:** 650 SPACES FOR DEVELOPMENT  
 637 STANDARD  
 13 ACCESSIBLE

**TOTAL:** 665 SPACES  
 +14 MOTORCYCLE PARKING SPACES  
 +13 BICYCLE SPACES

**PROVIDED:** 686 SPACES FOR DEVELOPMENT  
 672 STANDARD  
 14 ACCESSIBLE  
 15 SPACES FOR PUBLIC COASTAL ACCESS  
 14 STANDARD  
 1 ACCESSIBLE

**TOTAL:** 701 SPACES  
 +14 MOTORCYCLE PARKING SPACES  
 +15 BICYCLE SPACES

**SHEET INDEX**

- TS TITLE SHEET, DEVELOPMENT SUMMARY
- CIVIL**
- TM-1 VESTING TENTATIVE MAP
  - TM-1 TITLE SHEET AND NOTES
  - TM-2 SITE PLAN
  - TM-3 DEMOLITION PLAN
  - TM-4 STREET VACATION/ EASEMENT ABANDONMENT
  - SP-1 SITE PLAN, GRADING AND UTILITIES
  - SP-2 TOPOGRAPHIC MAP AND EXISTING CONDITONS

- ARCHITECTURAL**
- A-01 SITE PLAN
  - A-02 PROJECT SITE CROSS SECTIONS
  - A-03 BUILDING 1 GROUND FLOOR PLAN
  - A-04 BUILDING 1 2nd-4th LEVEL FLOOR PLANS
  - A-05 BUILDING 1 5th-6th LEVEL FLOOR PLANS
  - A-06 BUILDING 1 ROOF PLAN
  - A-07 BUILDING 2 1st FLOOR PLAN
  - A-08 BUILDING 2 2nd FLOOR PLAN
  - A-09 BUILDING 2 3rd-6th LEVEL FLOOR PLANS
  - A-10 BUILDING 2 ROOF PLAN
  - A-11 BUILDING 3 1st-2nd LEVEL FLOOR PLANS
  - A-12 BUILDING 3 3rd LEVEL AND ROOF PLAN
  - A-13 BUILDING 4, 5 (RESTAURANT, PUMP HOUSE) FLOOR PLANS, ELEVATIONS, SECTIONS
  - A-14 BUILDING 1 EXTERIOR ELEVATIONS
  - A-15 BUILDING 1 EXTERIOR ELEVATIONS
  - A-16 BUILDING 1 EXTERIOR ELEVATIONS
  - A-17 BUILDING 2 EXTERIOR ELEVATIONS
  - A-18 BUILDING 3 EXTERIOR ELEVATIONS
  - A-19 BUILDING 1 SECTIONS
  - A-20 BUILDING 2 & 3 SECTIONS

- LANDSCAPE**
- L-01 CONCEPTUAL LANDSCAPE PLAN
  - L-02 LANDSCAPE PLANTING LEGEND AND NOTES
  - L-03 LANDSCAPE DIAGRAM, CALCULATIONS AND NOTES
  - L-04 LANDSCAPE SECTION
  - L-05 LANDSCAPE SECTION
  - L-06 TREES & UTILITY CONFLICT PLAN
  - L-07 EXISTING TREE PLAN
  - L-08 EXISTING TREE AERIAL PLAN
- 35 TOTAL SHEET COUNT

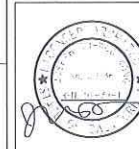
**RESTAURANT BUILDING AREAS**  
 (OCCUPANCY CLASS 'M' PER 2001 C.B.C.)

BUILDING 4	3,810 SF	RESTAURANT
	3,810 SF	SUB-TOTAL GSF

**EXISTING STRUCTURES**  
 (EXISTING OCCUPANCY CLASS 'A3' PER 2001 C.B.C.)

BUILDING 5	490 SF	PUMP STATION
	490 SF	SUB-TOTAL GSF

LIBERTY STATION  
 EAST HOTEL SITE  
 HARBOR DRIVE  
 SAN DIEGO, CALIFORNIA



**TITLE SHEET DEVELOPMENT SUMMARY**

SUBMITTAL:	DATE	
PLANNED DEVELOPMENT PERMIT APPLICATION	01/18/12	
COASTAL DEVELOPMENT PERMIT APPLICATION	-	
<b>REVISIONS:</b>		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		8/12/12
4TH SUBMISSION		11/12/12

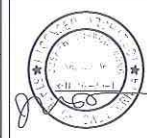
Project Number 2933  
 Date 02/27/2013  
 Drawn By  
 Checked By  
**TS**  
 Sheet 1 of 35  
 Scale NTS



LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

PLANNED DEVELOPMENT PERMIT APPLICATION  
COASTAL DEVELOPMENT PERMIT APPLICATION

JWDA



SITE PLAN

SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

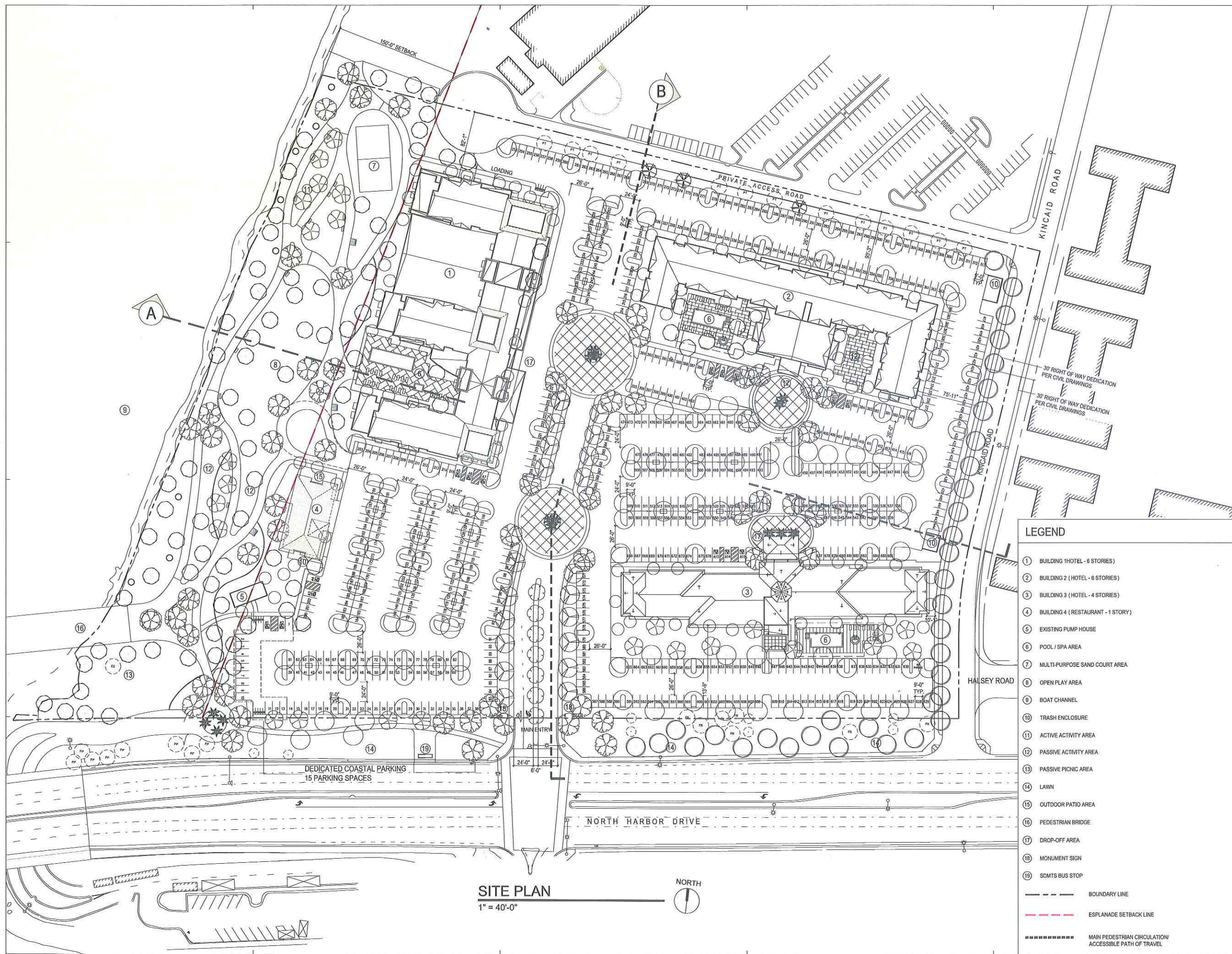
  

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION	7/29/12	
3RD SUBMISSION	8/12/12	
4TH SUBMISSION	11/12/12	

Project Number 2933  
Date 02/27/2013

Drawn By  
Checked By

**A-01**  
Sheet 7 of 35  
Scale 1" = 40'



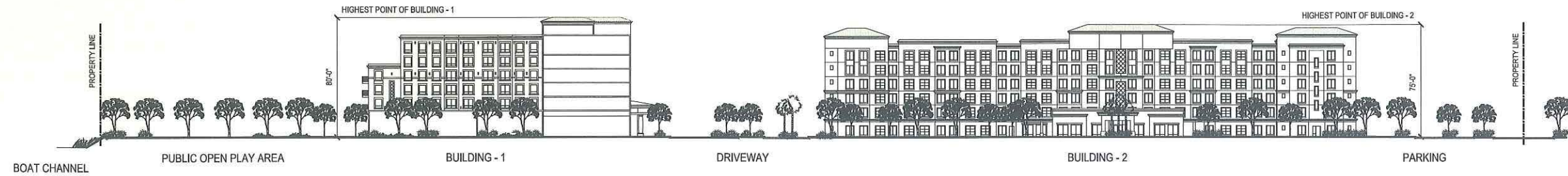
- LEGEND**
- ① BUILDING 1 (HOTEL - 6 STORIES)
  - ② BUILDING 2 (HOTEL - 6 STORIES)
  - ③ BUILDING 3 (HOTEL - 4 STORIES)
  - ④ BUILDING 4 (RESTAURANT - 1 STORY)
  - ⑤ EXISTING PUMP HOUSE
  - ⑥ POOL / SPA AREA
  - ⑦ MULTI-PURPOSE SAND COURT AREA
  - ⑧ OPEN PLAY AREA
  - ⑨ BOAT CHANNEL
  - ⑩ TRASH ENCLOSURE
  - ⑪ ACTIVE ACTIVITY AREA
  - ⑫ PASSIVE ACTIVITY AREA
  - ⑬ PASSIVE PICNIC AREA
  - ⑭ LAWN
  - ⑮ OUTDOOR PATIO AREA
  - ⑯ PEDESTRIAN BRIDGE
  - ⑰ DROP-OFF AREA
  - ⑱ MONUMENT SIGN
  - ⑲ SDMTS BUS STOP
- BOUNDARY LINE
  - ESPLANADE SETBACK LINE
  - ..... MAIN PEDESTRIAN CIRCULATION / ACCESSIBLE PATH OF TRAVEL

**SITE PLAN**  
1" = 40'-0"



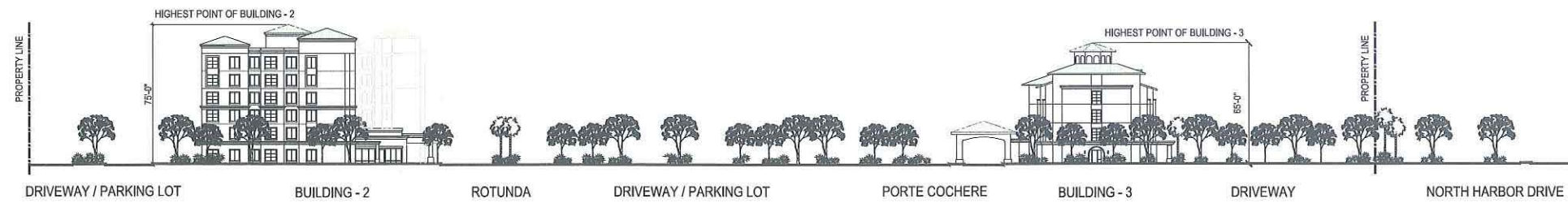


LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA



**SITE SECTION - A**

SCALE 1" = 30'



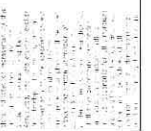
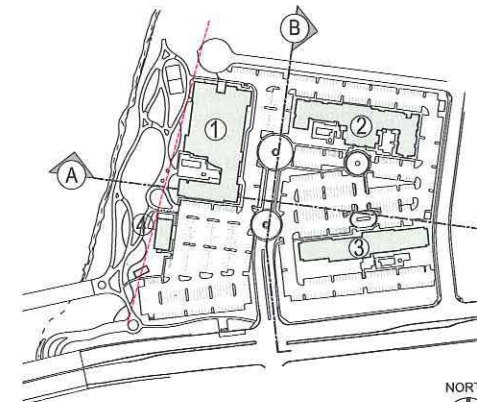
**SITE SECTION - B**

SCALE 1" = 30'

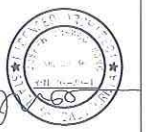
**GENERAL NOTES**

THE CHANGES BETWEEN EXISTING AND PROPOSED GRADE ARE NEGLIGIBLE AND ARE NOT SHOWN IN THE SECTION. PLEASE REFER TO CIVIL SHEET SP-2 FOR EXISTING AND PROPOSED GRADING ELEVATIONS.

**KEY PLAN**



**JWDA**  
JAMES W. DAVIDSON ARCHITECTS  
ARCHITECTS  
1000 LA JOLLA VILLAGE DRIVE, SUITE 100  
SAN DIEGO, CALIFORNIA 92161  
TEL: 619.434.1234 FAX: 619.434.1235  
WWW.JWDA.COM



**SITE SECTIONS**

SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	6/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION	7/29/12	
3RD SUBMISSION	8/12/12	
4TH SUBMISSION	11/12/12	

Project Number 2933  
Date 02/27/2013

Drawn By  
Checked By

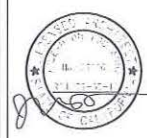
**A-02**  
Sheet 9 of 35  
Scale 1" = 30'



**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

PROJECT NO. 2933  
DATE 02/27/2013  
DRAWN BY [Name]  
CHECKED BY [Name]

**JWDA**  
JULY 2002  
CALIFORNIA  
COUNTY OF SAN DIEGO  
PLANNING AND ZONING DEPARTMENT



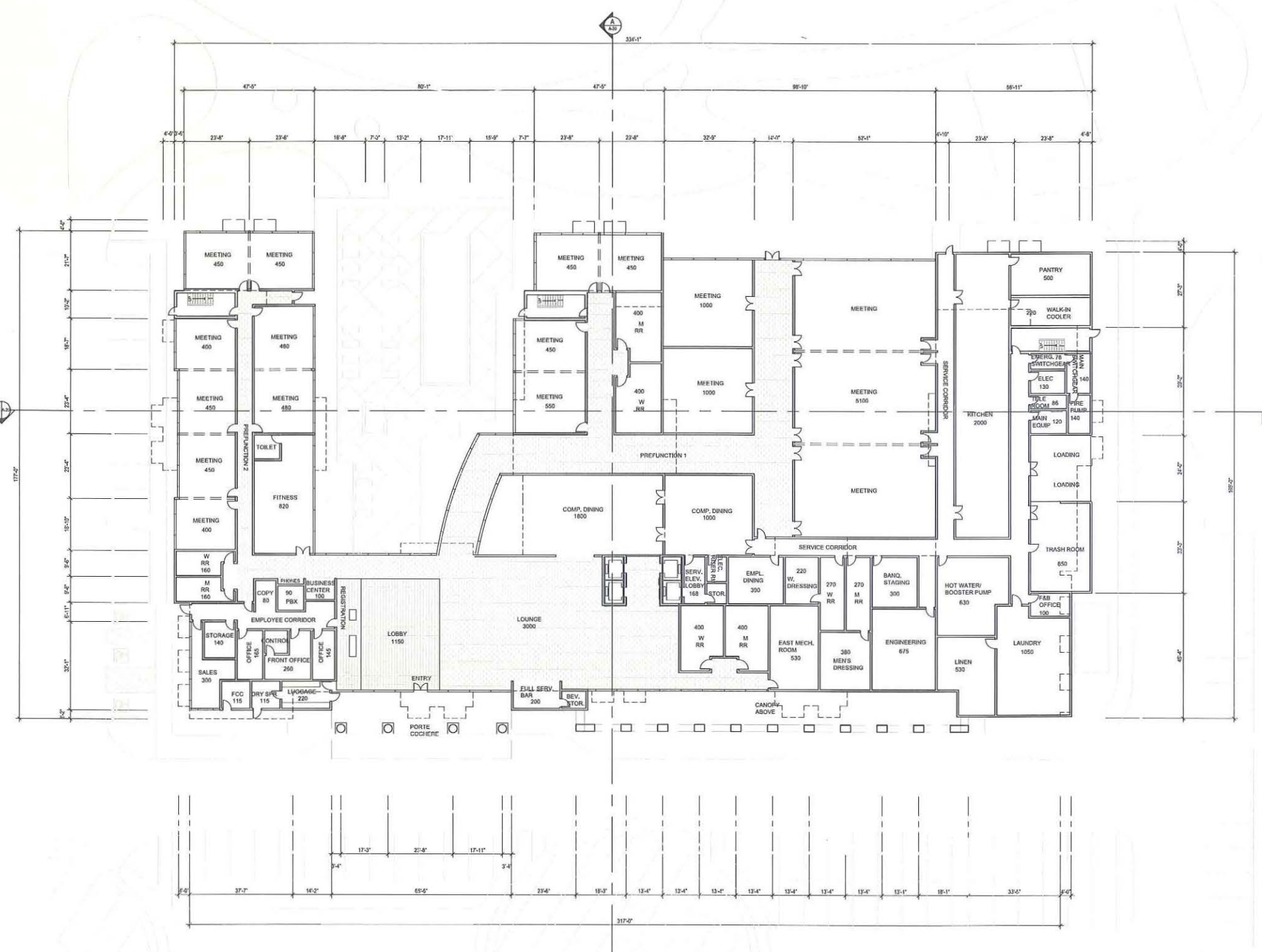
**GROUND FLOOR PLAN -  
BUILDING 1**

SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

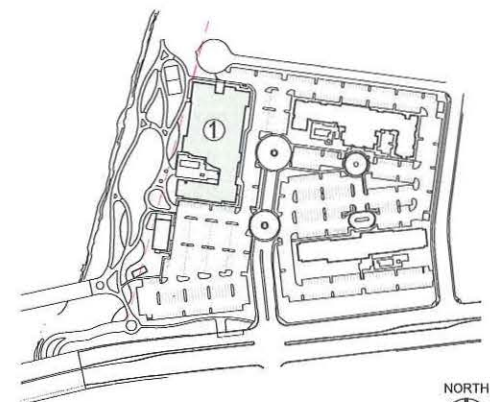
Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

**A-03**  
Sheet 10 of 35  
Scale 1/16" = 1'-0"



**FLOOR PLAN- GROUND (BUILDING - 1)**  
1/16" = 1'-0"

KEY PLAN

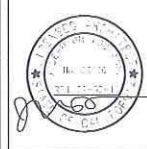




**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

PROJECT NO. 2933  
DATE: 02/27/2013  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**JWDA**  
JULY 2002  
COUNTY OF SAN DIEGO  
PLANNED DEVELOPMENT PERMIT APPLICATION



**FLOOR PLANS- LEVELS 2-4  
BUILDING 1**

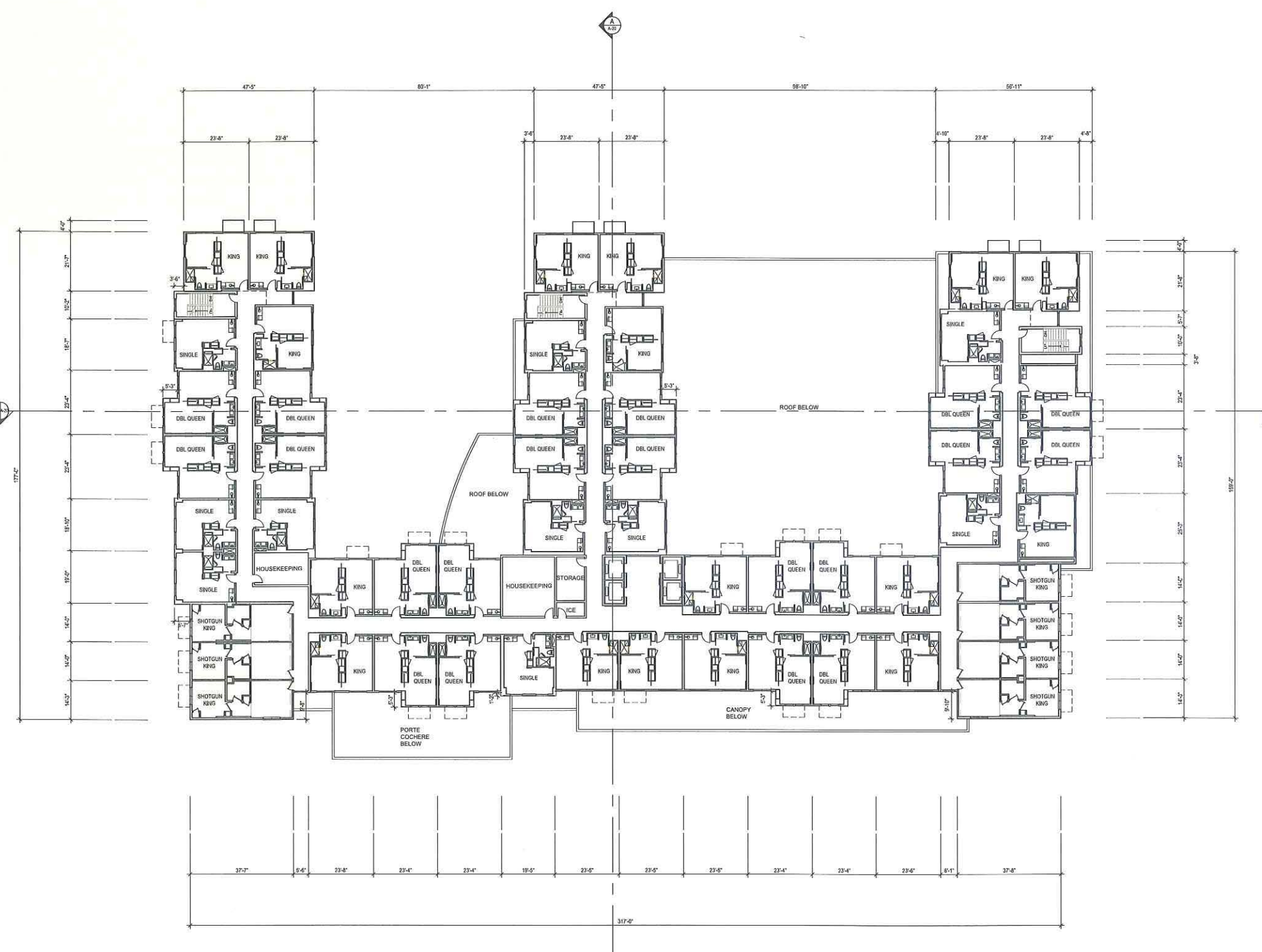
SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION	7/29/12	
3RD SUBMISSION	9/12/12	
4TH SUBMISSION	11/12/12	

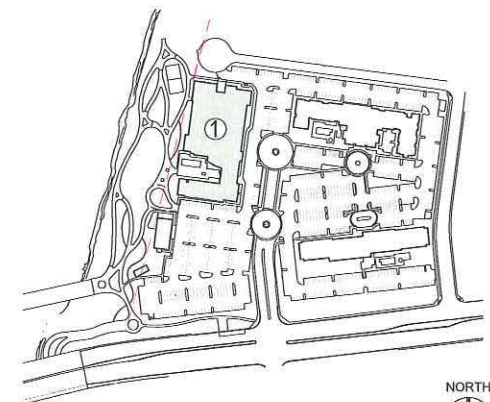
Project Number **2933**  
Date **02/27/2013**  
Drawn By  
Checked By

**A-04**  
Sheet 11 of 35  
Scale  $\frac{1}{16}'' = 1'-0''$



**FLOOR PLAN- LEVEL 2-4 (BUILDING - 1)**  
 $\frac{1}{16}'' = 1'-0''$

KEY PLAN

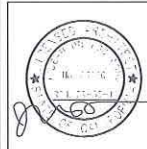




LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

PLANNED DEVELOPMENT PERMIT APPLICATION  
COASTAL DEVELOPMENT PERMIT APPLICATION

**JWDA**  
JULY 2008



FLOOR PLANS - LEVELS 5-6  
BUILDING 1

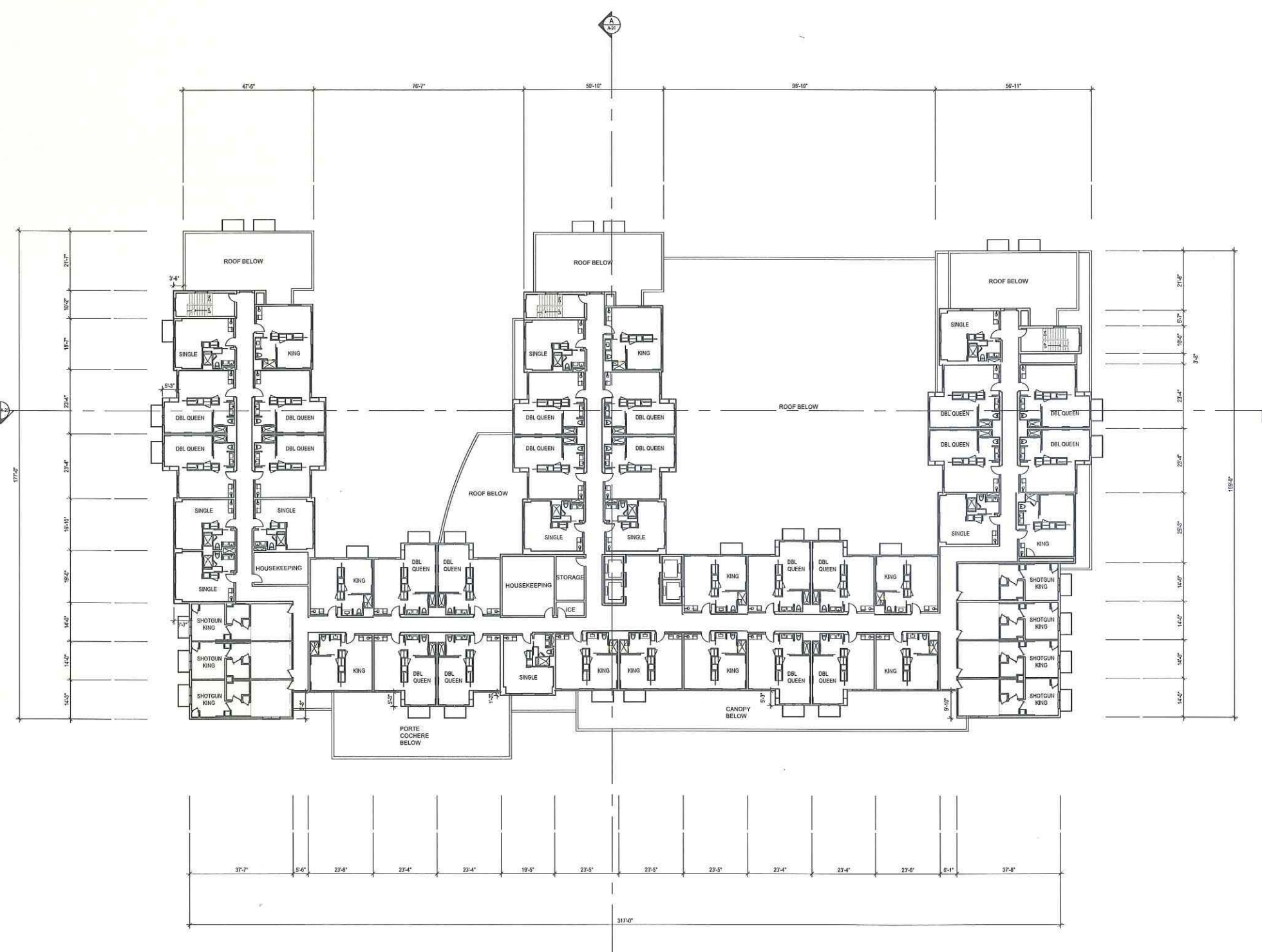
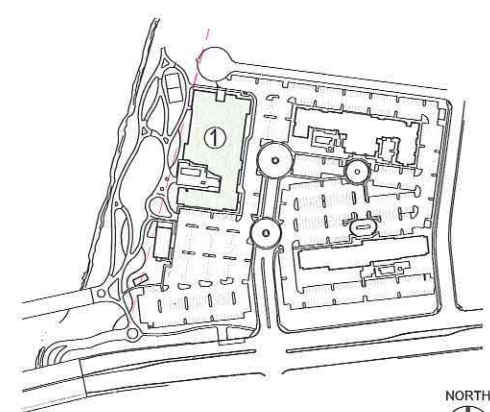
SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

**A-05**  
Sheet 12 of 35  
Scale 1/16" = 1'-0"

KEY PLAN



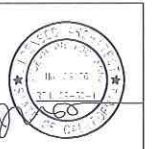
FLOOR PLAN- LEVEL 5-6 (BUILDING - 1)  
1/16" = 1'-0"



**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

PROJECT NO. 2933  
DATE 02/27/2013  
DRAWN BY  
CHECKED BY  
PROJECT MANAGER  
DESIGNER  
ARCHITECT

**JWDA**  
Joint Water Districts Authority  
1000 La Jolla Village Drive, Suite 200  
San Diego, CA 92161  
TEL: 619-594-1300  
WWW.JWDA.ORG



**ROOF PLAN  
BUILDING 1**

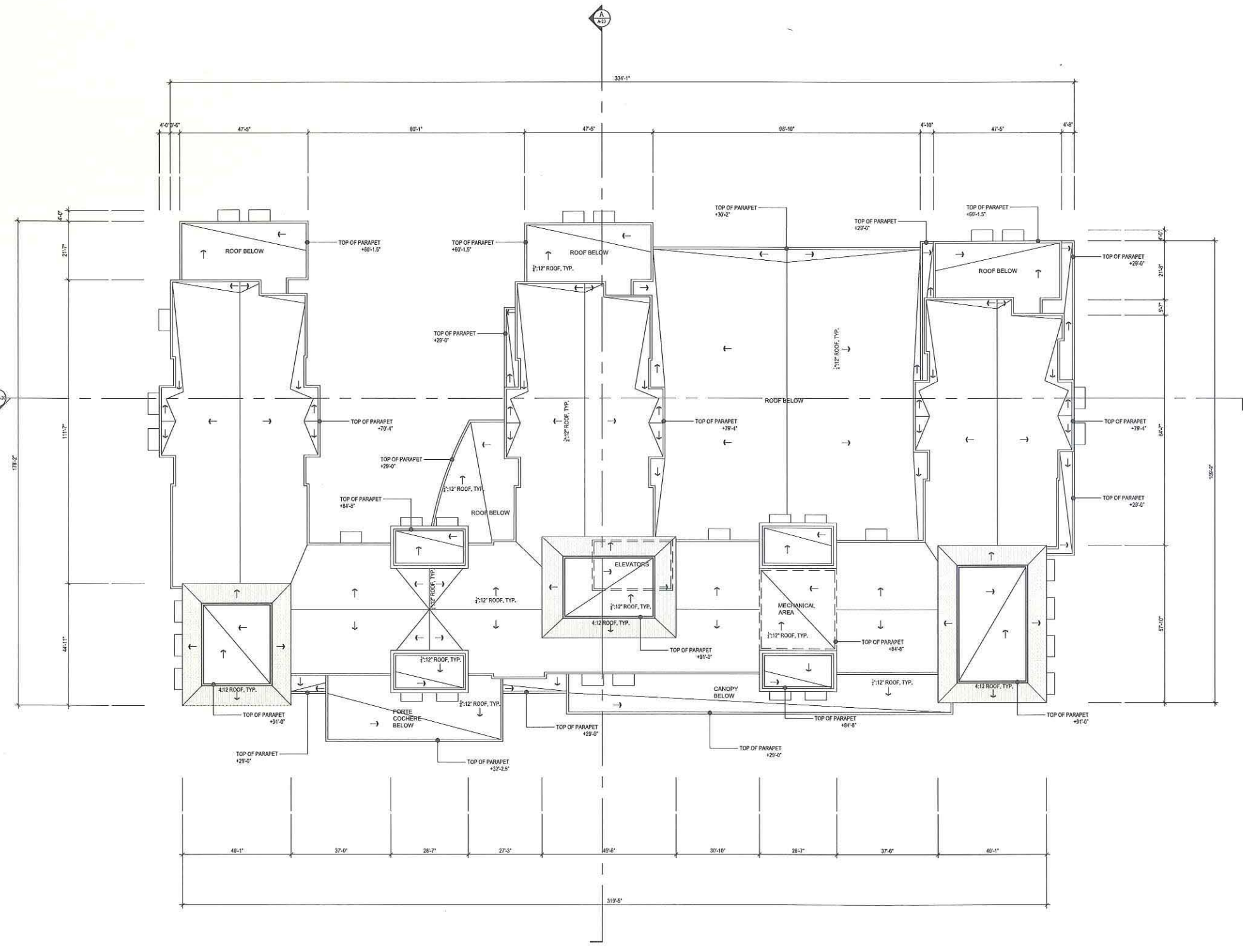
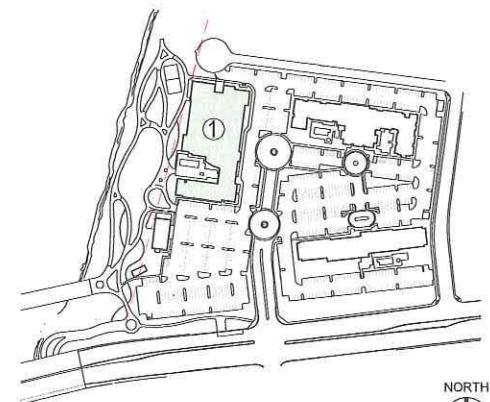
SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/09/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

**A-06**  
Sheet 13 of 35  
Scale 1/16" = 1'-0"

KEY PLAN



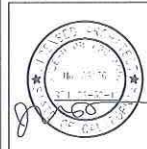
**ROOF PLAN (BUILDING - 1)**  
1/16" = 1'-0"



LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

PLANNED DEVELOPMENT PERMIT APPLICATION  
COASTAL DEVELOPMENT PERMIT APPLICATION

JWDA  
JULY 2012



1ST FLOOR PLAN  
BUILDING 2

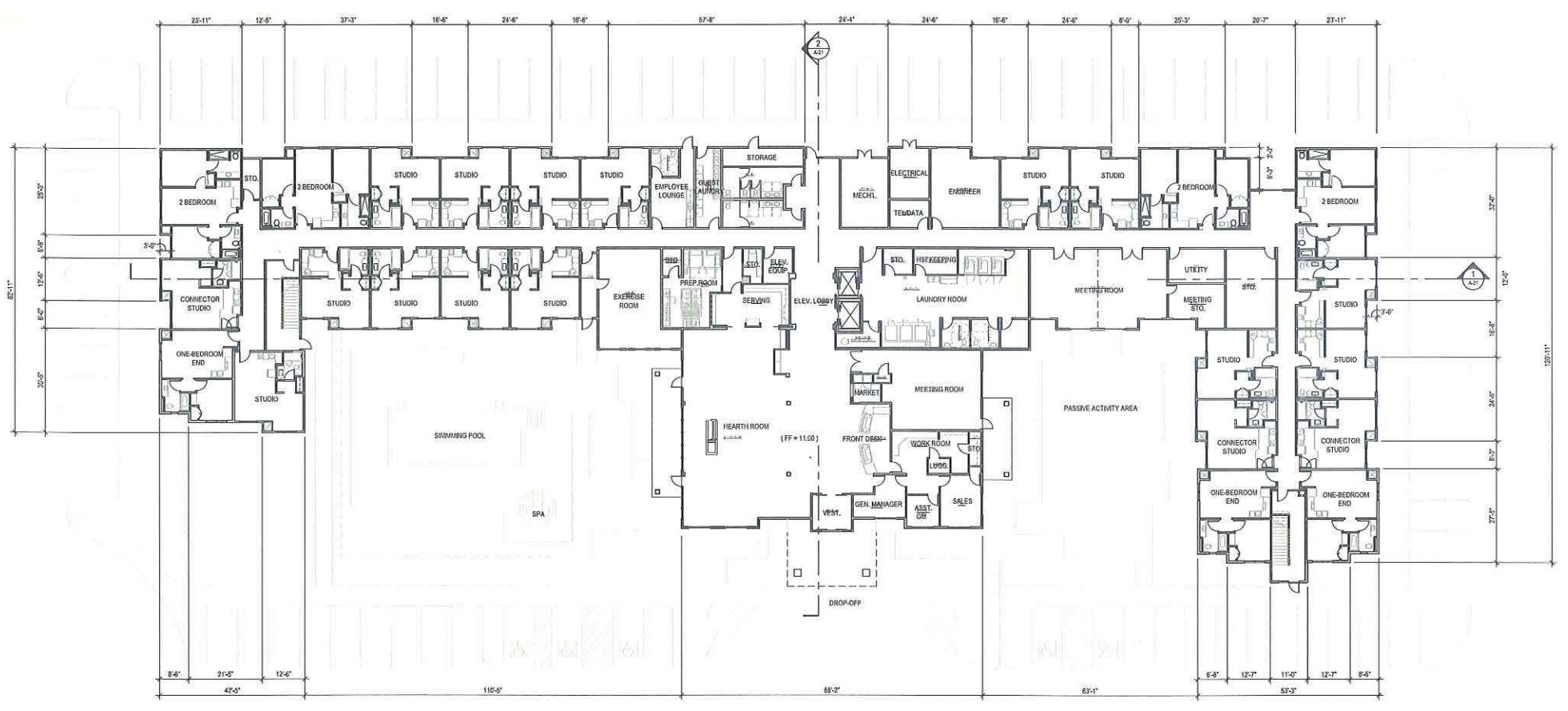
SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:	NO.	DESCRIPTION	DATE
	2ND SUBMISSION		7/29/12
	3RD SUBMISSION		9/12/12
	4TH SUBMISSION		11/12/12

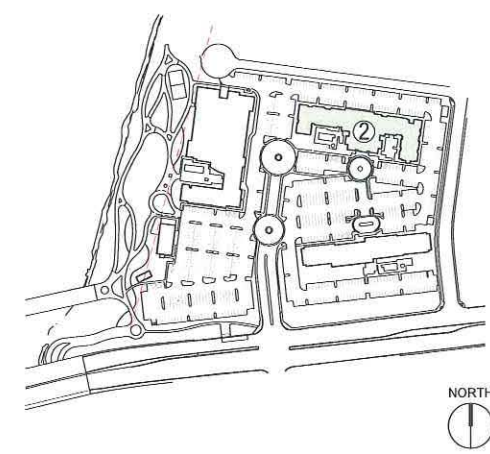
Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

**A-07**  
Sheet 14 of 35  
Scale 1/16" = 1'-0"

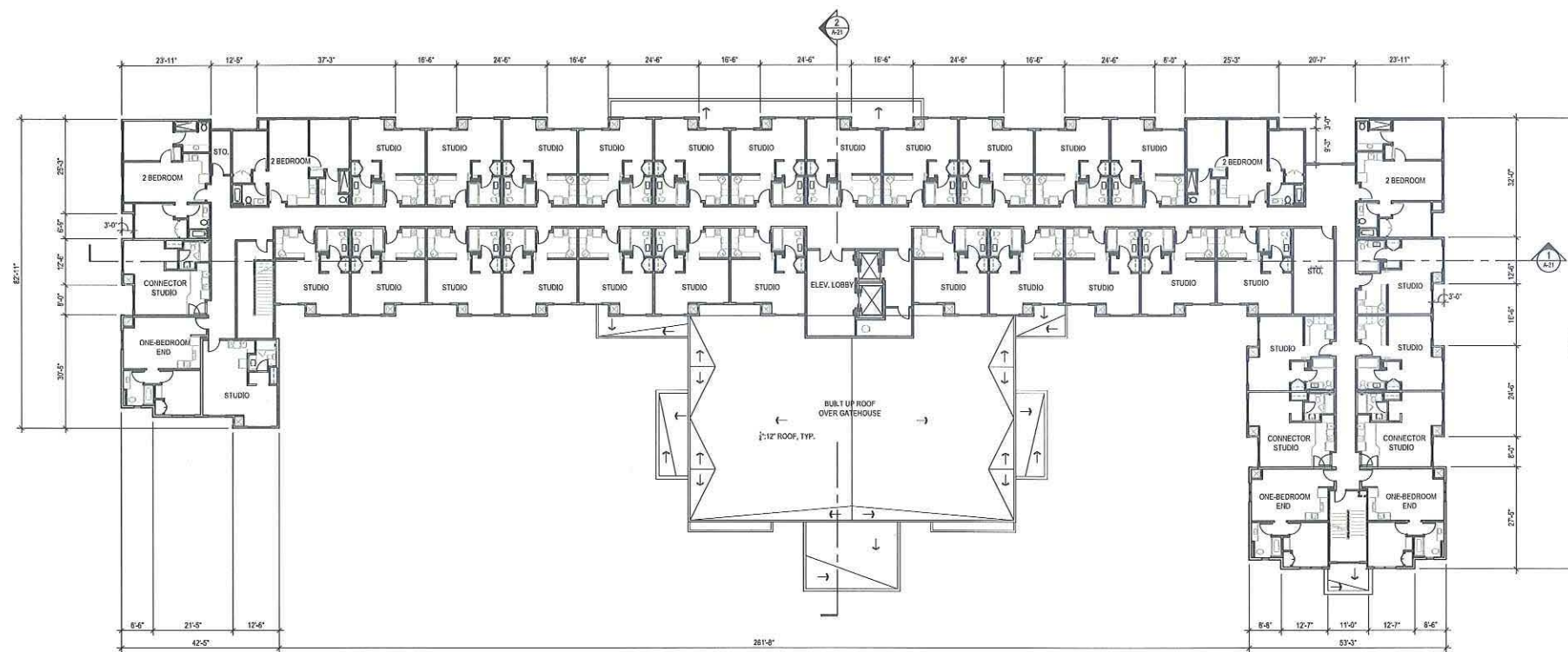


FIRST FLOOR PLAN (BUILDING - 2)  
1/16"=1'-0"

KEY PLAN



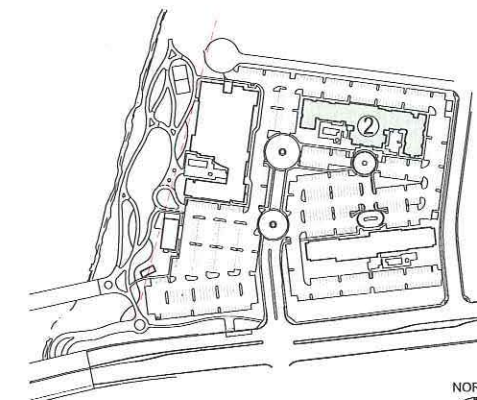




**SECOND FLOOR PLAN (BUILDING - 2)**

1/16"=1'-0"

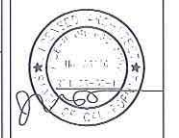
**KEY PLAN**



**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

DATE: 02/27/2013  
PROJECT: 2933  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/16" = 1'-0"

**JWDA**  
JULIA W. DAVIS ARCHITECTS  
ARCHITECTS



**2ND FLOOR PLAN  
BUILDING 2**

SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		

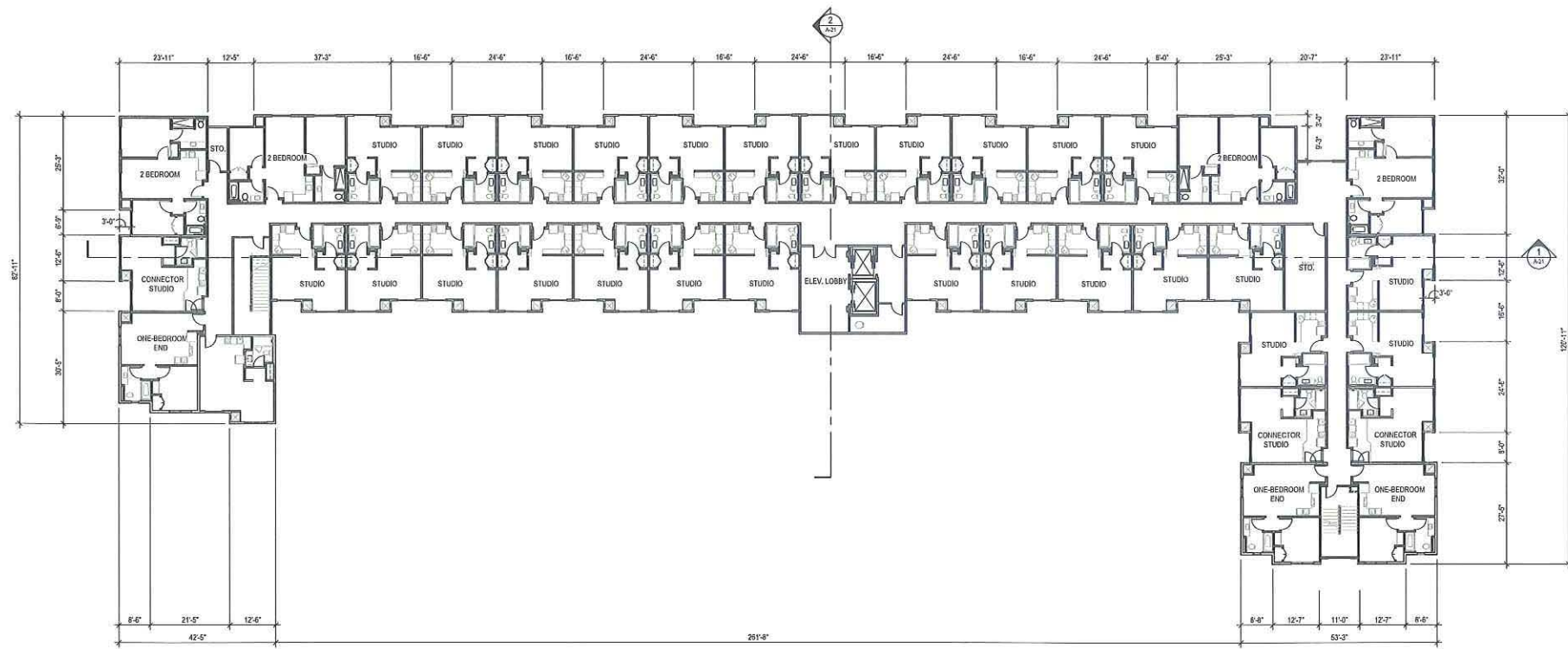
  

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/09/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

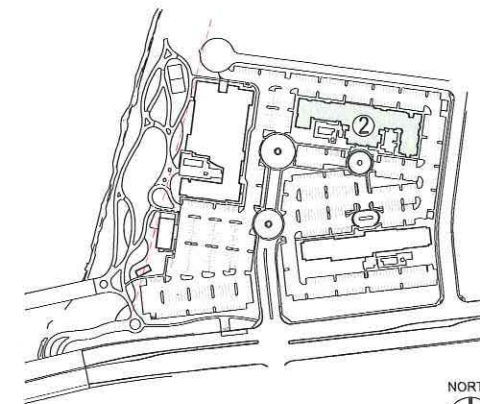
**A-08**  
Sheet 15 of 35  
Scale 1/16" = 1'-0"





**THIRD - SIXTH FLOOR PLAN (BUILDING - 2)**  
 1/16"=1'-0"

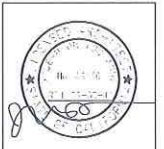
KEY PLAN



**LIBERTY STATION  
 EAST HOTEL SITE**  
 HARBOR DRIVE  
 SAN DIEGO, CALIFORNIA

THIS PLAN IS THE PROPERTY OF JWD&A ARCHITECTS AND ENGINEERS, INC. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JWD&A ARCHITECTS AND ENGINEERS, INC.

**JWDA**  
 ARCHITECTS AND ENGINEERS, INC.  
 4555 LA JOLLA VILLAGE DRIVE, SUITE 100  
 SAN DIEGO, CALIFORNIA 92161  
 (619) 594-1100  
 WWW.JWDA.COM



**3RD - 6TH FLOOR PLAN -  
 BUILDING 2**

SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		6/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		-
REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/5/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

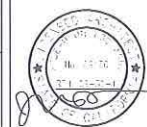
Project Number 2933  
 Date 02/27/2013  
 Drawn By  
 Checked By  
**A-09**  
 Sheet 16 of 35  
 Scale 1/16" = 1'-0"



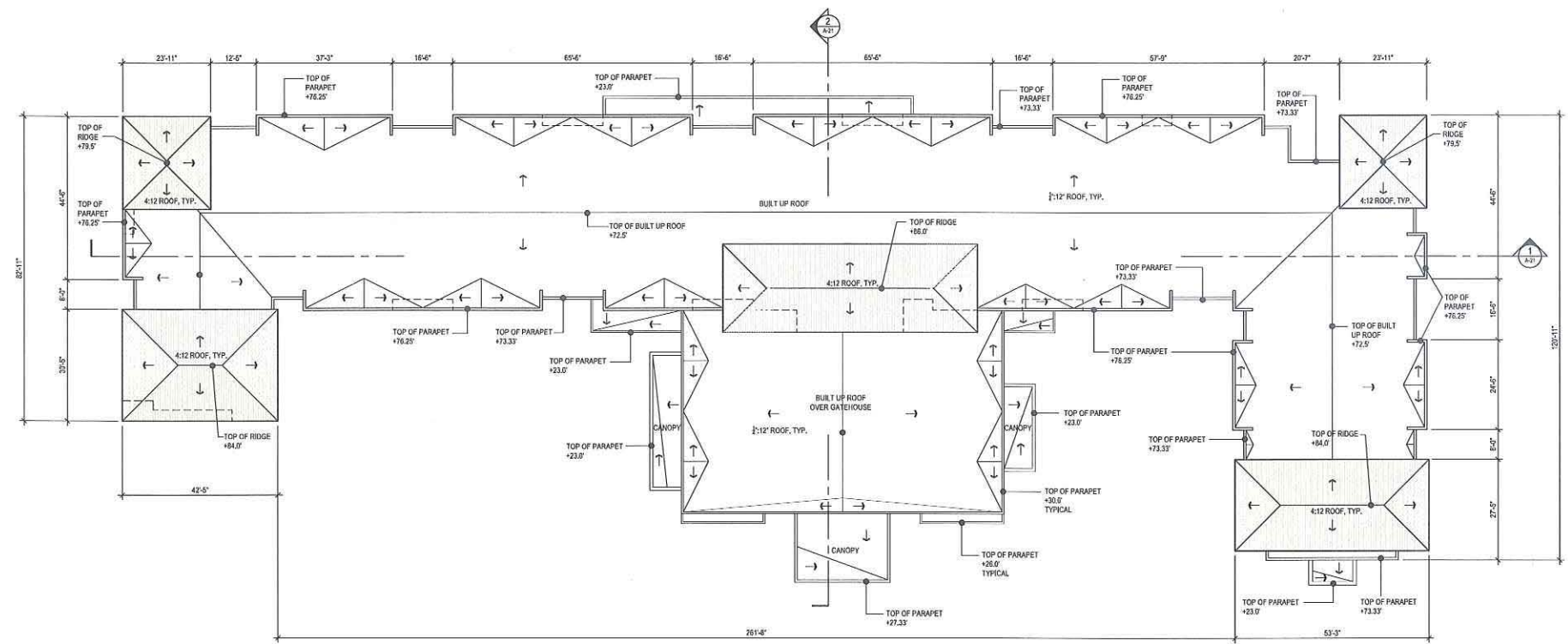
LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

PROJECT NO. 2933  
DATE: 02/27/2013  
DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]

**JWDA**  
JACOBS WEST DEVELOPMENT ARCHITECTS  
ARCHITECTS

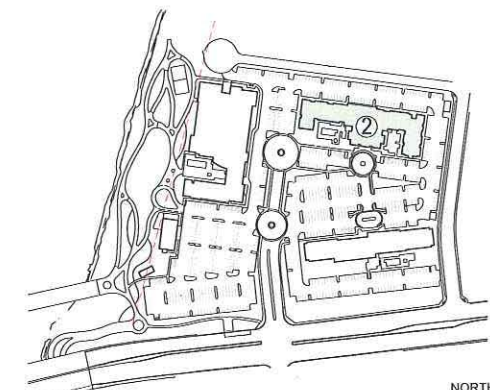


ROOF PLAN  
BUILDING 2



**ROOF PLAN (BUILDING - 2)**  
1/16"=1'-0"

KEY PLAN



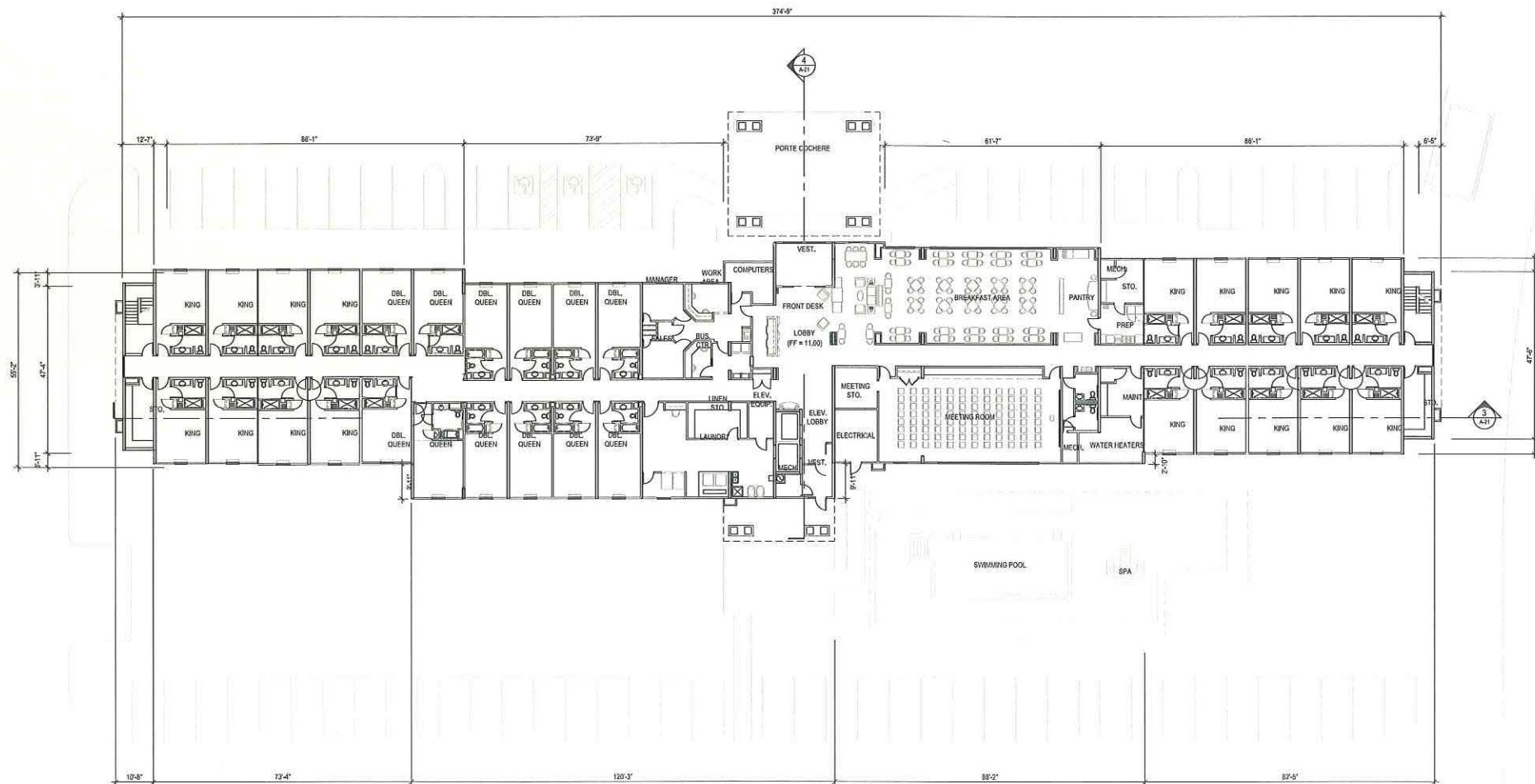
SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	6/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/20/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

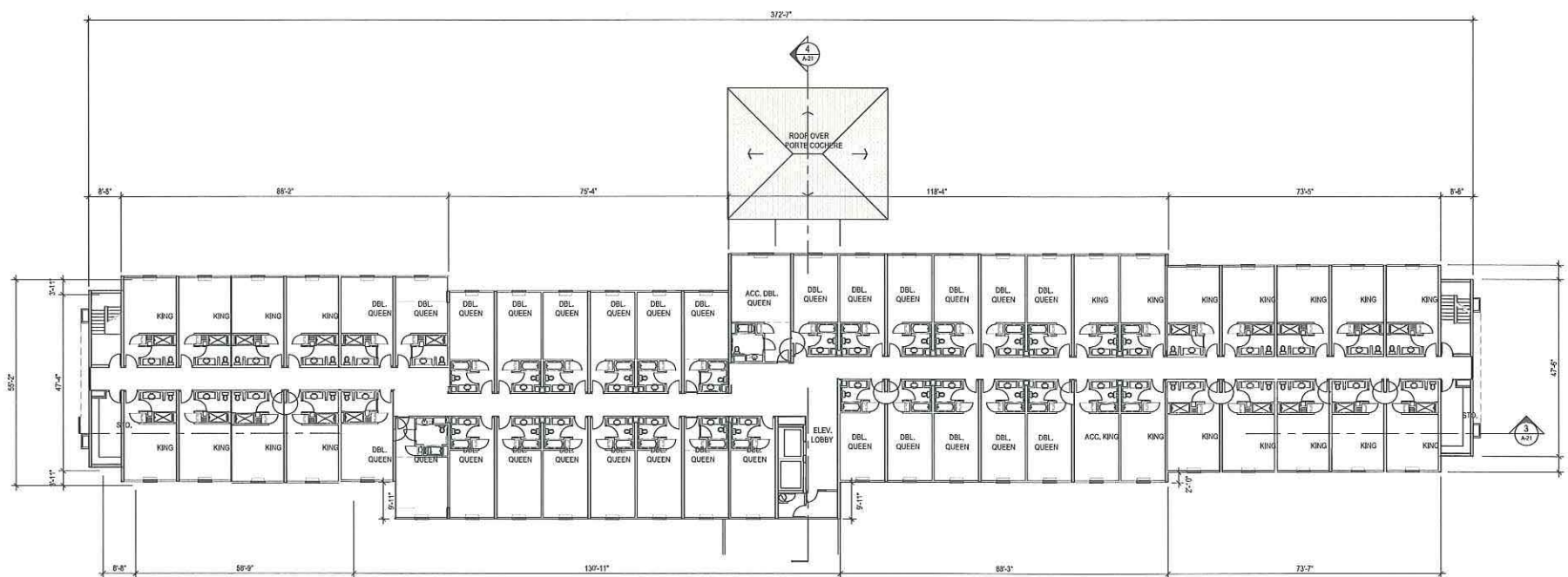
Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

**A-10**  
Sheet 17 of 35  
Scale 1/16" = 1'-0"



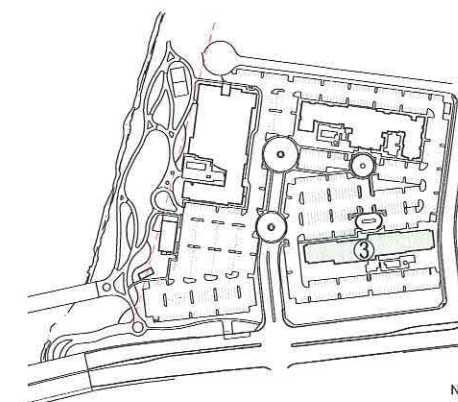


**FIRST FLOOR PLAN (BUILDING - 3)**  
1/16"=1'-0"



**SECOND FLOOR PLAN (BUILDING - 3)**  
1/16"=1'-0"

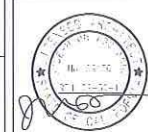
**KEY PLAN**



**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

PLANNED DEVELOPMENT PERMIT APPLICATION  
COASTAL DEVELOPMENT PERMIT APPLICATION

**JWDA**



**1ST & 2ND FLOOR PLAN -  
BUILDING 3**

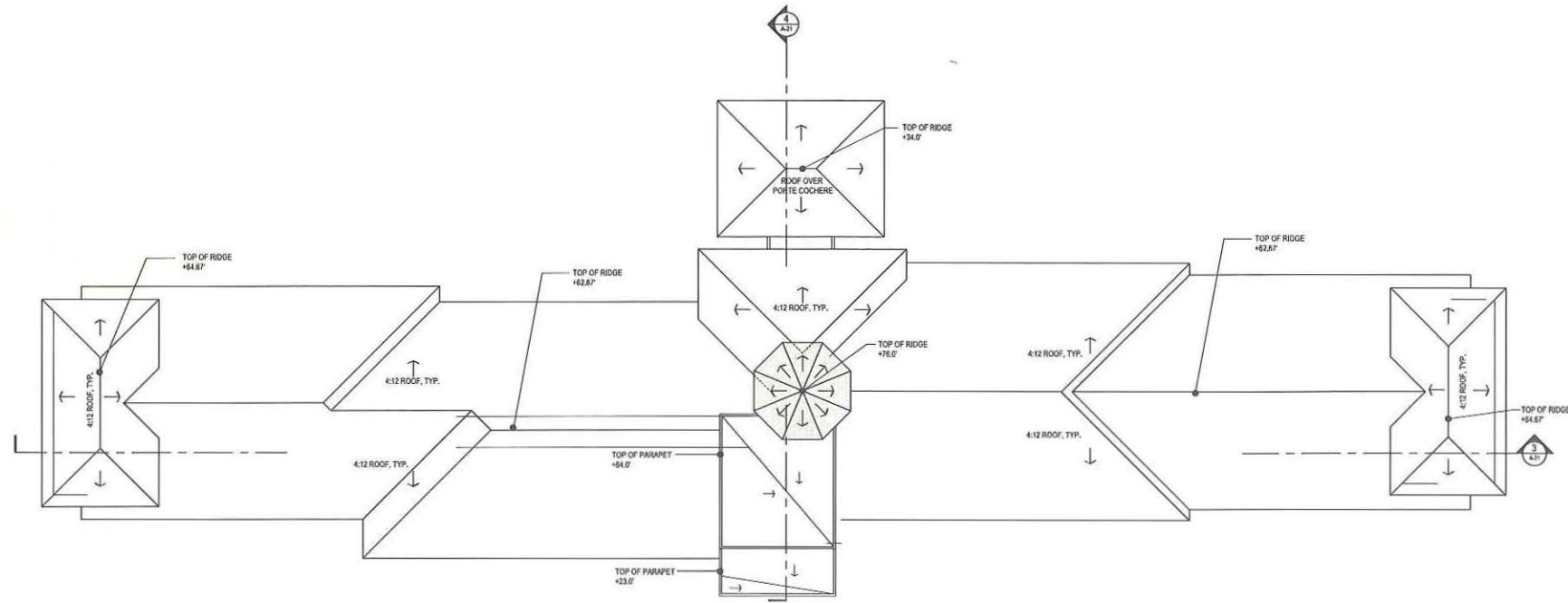
SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION	7/29/12	
3RD SUBMISSION	8/12/12	
4TH SUBMISSION	11/12/12	

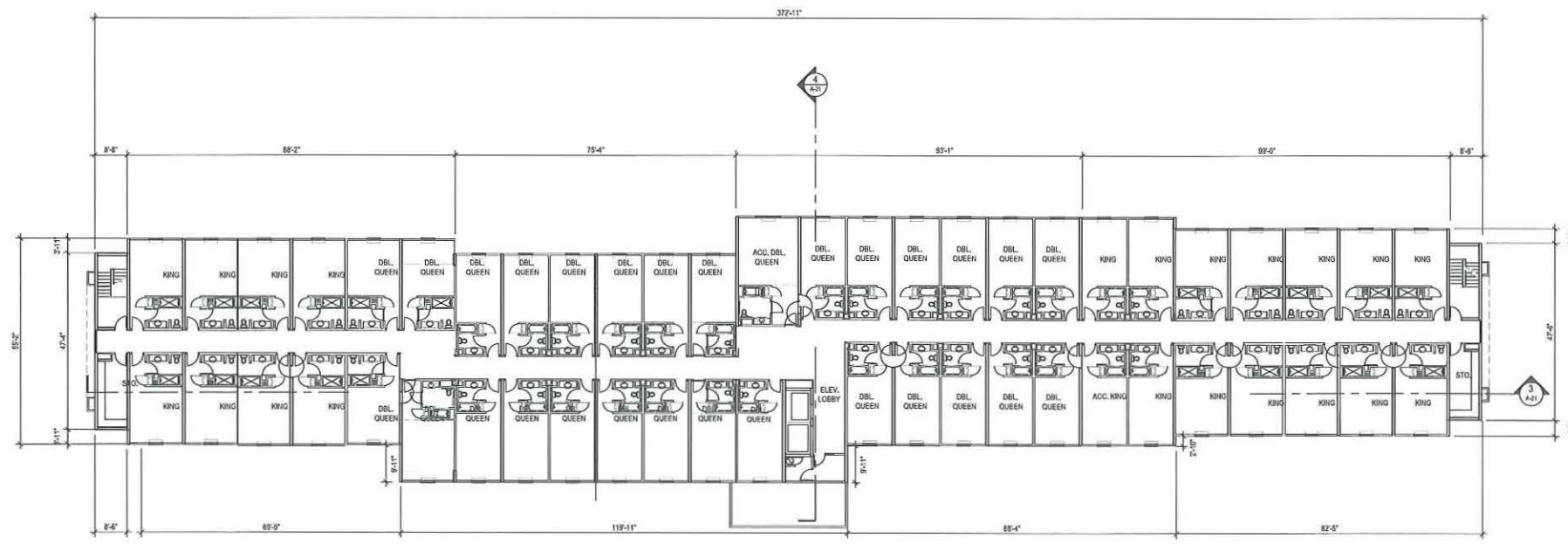
Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

**A-11**  
Sheet 18 of 35  
Scale 1/16" = 1'-0"



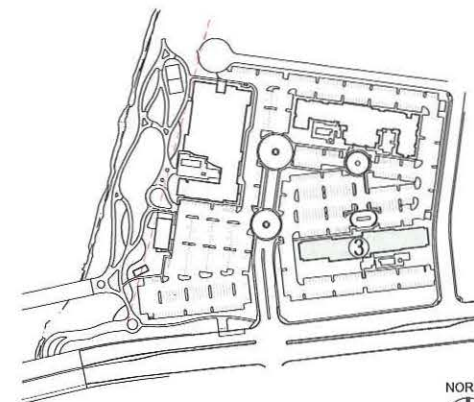


**ROOF PLAN (BUILDING - 3)**  
1/16"=1'-0"



**THIRD - FOURTH FLOOR PLAN (BUILDING - 3)**  
1/16"=1'-0"

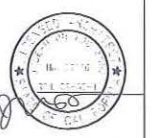
**KEY PLAN**



**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

PROJECT NO. 2933  
DATE 02/27/2013  
DRAWN BY [Name]  
CHECKED BY [Name]

**JWDA**  
JULIA W. DAVIS, ARCHITECT  
1000 F STREET, SUITE 100  
SAN DIEGO, CA 92101  
PHONE: (619) 594-1234



**3RD - 4TH FLOOR &  
ROOF PLAN - BUILDING 3**

SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		

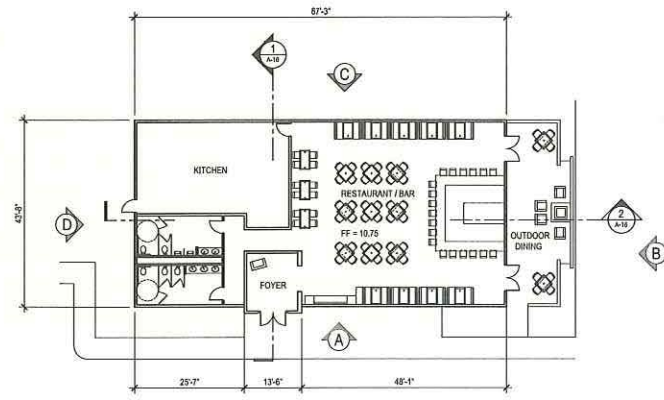
  

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

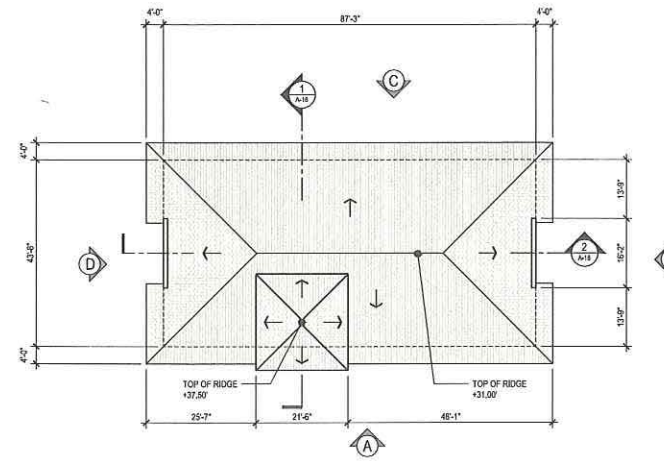
Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

**A-12**  
Sheet 19 of 35  
Scale 1/16" = 1'-0"

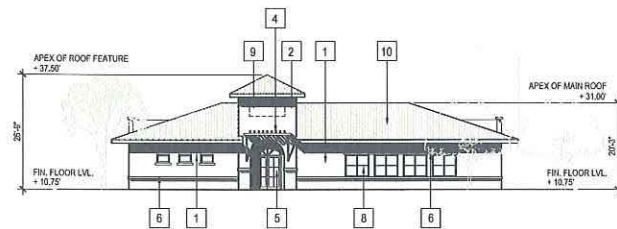




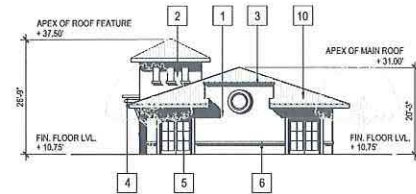
**FLOOR PLAN (BUILDING - 4)**  
1/16"=1'-0" (RESTAURANT)



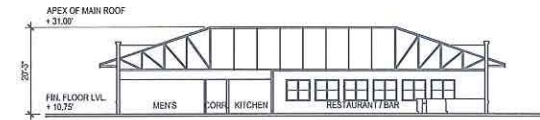
**ROOF PLAN (BUILDING - 4)**  
1/16"=1'-0" (RESTAURANT)



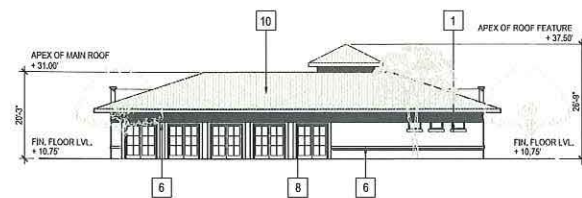
**ELEVATION - A (BUILDING - 4)**  
1/16"=1'-0" (RESTAURANT)



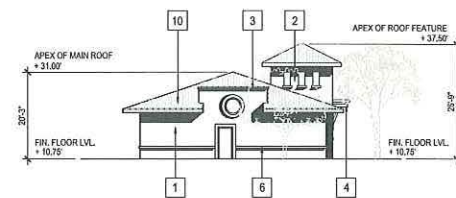
**ELEVATION - B (BUILDING - 4)**  
1/16"=1'-0" (RESTAURANT)



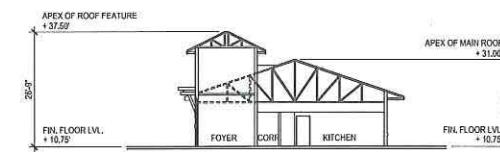
**BUILDING SECTION - 1 (BUILDING - 4)**  
1/16"=1'-0" (RESTAURANT)



**ELEVATION - C (BUILDING - 4)**  
1/16"=1'-0" (RESTAURANT)



**ELEVATION - D (BUILDING - 4)**  
1/16"=1'-0" (RESTAURANT)



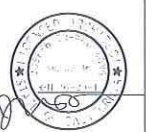
**BUILDING SECTION - 2 (BUILDING - 4)**  
1/16"=1'-0" (RESTAURANT)

**KEY NOTES**

- 1 EXTERIOR WALL PLASTER, COLOR 1
- 2 EXTERIOR WALL PLASTER, COLOR 2
- 3 PLASTER WALL CAP
- 4 PAINTED WOOD TRELLIS
- 5 STOREFRONT TYPE DOOR
- 6 PLASTER TRIM
- 7 PLASTER MOULDING
- 8 WINDOW / DOOR GLAZING
- 9 PROPOSED SIGNAGE LOCATION  
SIGNAGE TO BE IN CONFORMANCE WITH SDMC CHAPTER  
14, DIVISION 12
- 10 CLAY ROOF TILES
- 11 METAL LOUVER VENTS

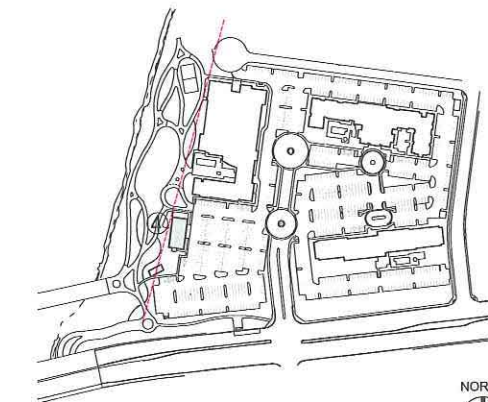
**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

**JWDA**



**FLOOR PLANS, ELEVATIONS &  
SECTIONS  
BUILDING 4 - RESTAURANT**

**KEY PLAN**

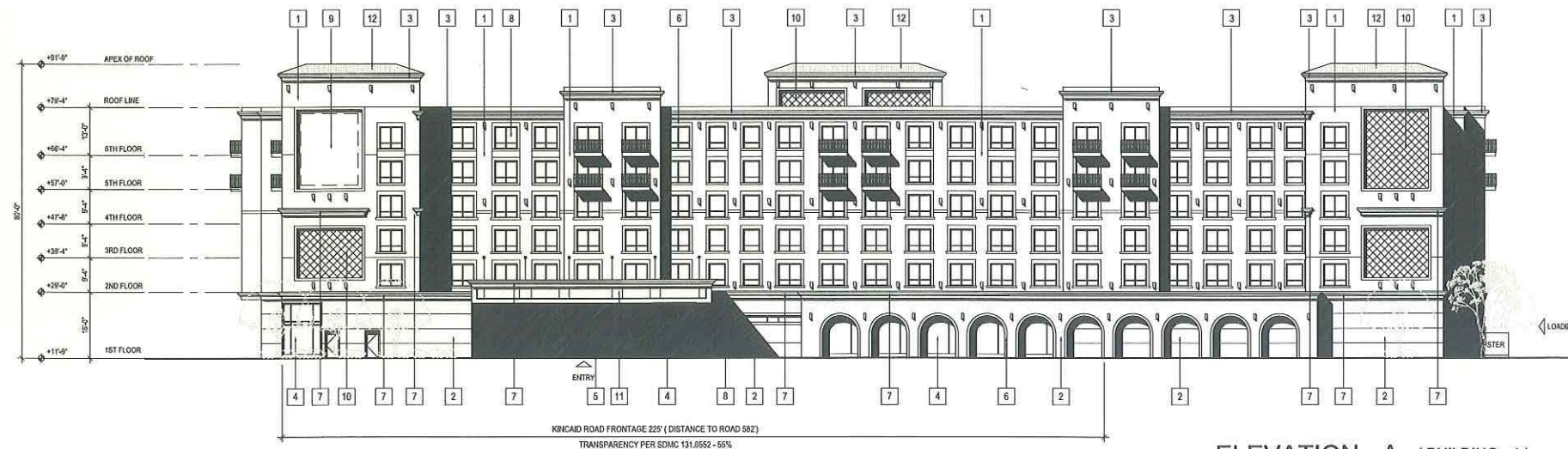


SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		-
REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		8/12/12
4TH SUBMISSION		11/12/12

Project Number **2933**  
Date **02/27/2013**  
Drawn By  
Checked By

**A-13**  
Sheet 20 of 35  
Scale 1/16" = 1'-0"

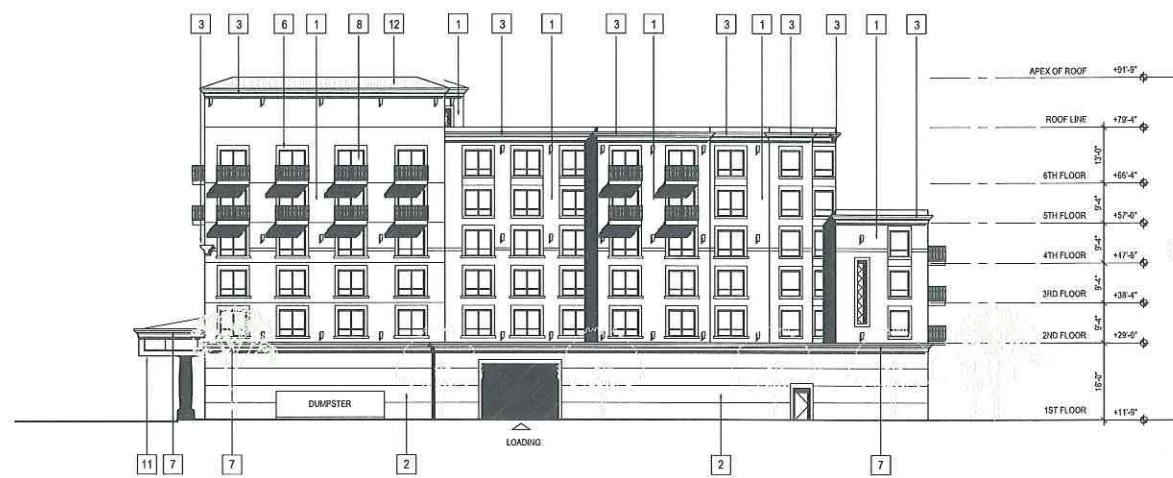




**ELEVATION - A (BUILDING - 1)**  
1/16" = 1'-0"



**ELEVATION - B (BUILDING - 1)**  
1/16" = 1'-0"

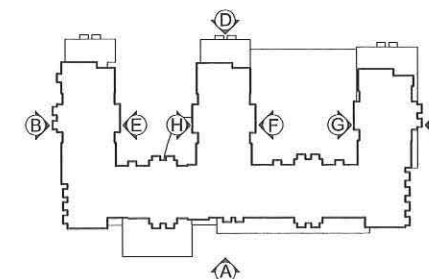


**ELEVATION - C (BUILDING - 1)**  
1/16" = 1'-0"

**KEY NOTES**

- 1 EXTERIOR WALL PLASTER, COLOR 1
- 2 EXTERIOR WALL PLASTER, COLOR 2
- 3 PLASTER PARAPET CAP
- 4 STOREFRONT TYPE WINDOW
- 5 STOREFRONT TYPE DOOR
- 6 PLASTER TRIM
- 7 PLASTER MOULDING
- 8 WINDOW / DOOR GLAZING
- 9 PROPOSED SIGNAGE LOCATION  
SIGNAGE TO BE IN CONFORMANCE WITH SDMC CHAPTER 14, DIVISION 12
- 10 ACCENT WALL TILE
- 11 CANOPY
- 12 CLAY ROOF TILES

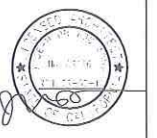
**KEY PLAN**



**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

ARCHITECT: JWD&A  
1000 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100  
SAN DIEGO, CA 92161  
TEL: 619.451.1000  
WWW.JWD&A.COM

**JWDA**  
ARCHITECTS  
1000 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100  
SAN DIEGO, CA 92161  
TEL: 619.451.1000  
WWW.JWD&A.COM



**EXTERIOR ELEVATIONS  
BUILDING 1**

SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

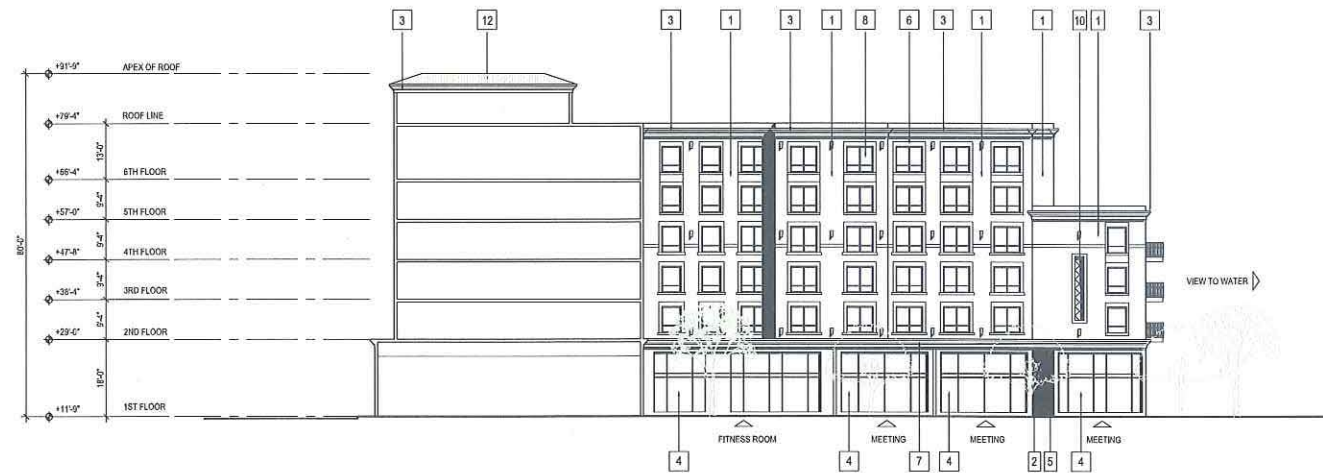
**A-14**  
Sheet 21 of 35  
Scale 1/16" = 1'-0"





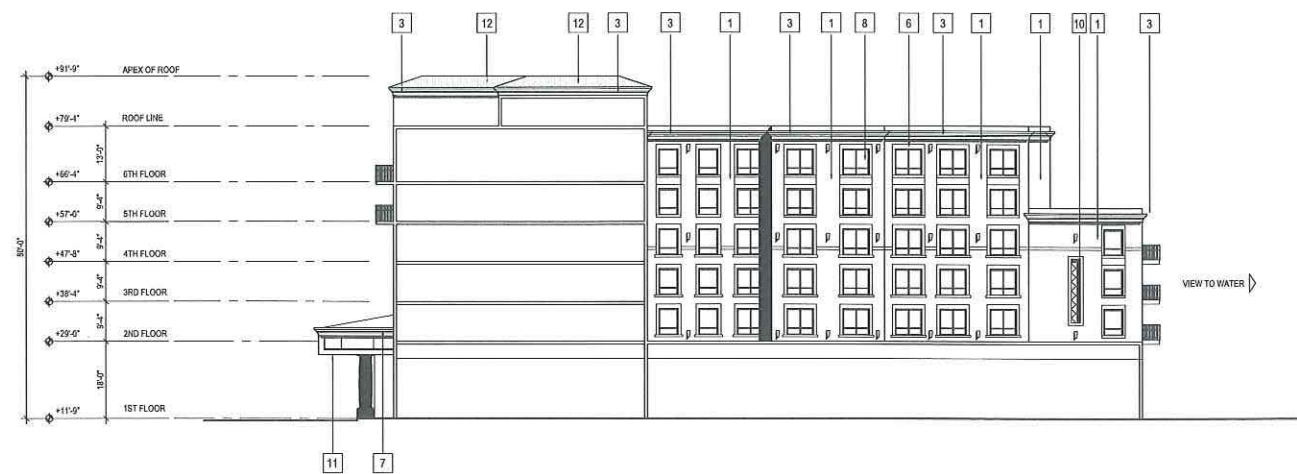
ELEVATION - D (BUILDING - 1)

1/16" = 1'-0"



ELEVATION - E (BUILDING - 1)

1/16" = 1'-0"



ELEVATION - F (BUILDING - 1)

1/16" = 1'-0"

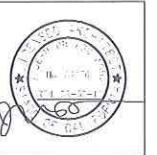
KEY NOTES

- 1 EXTERIOR WALL PLASTER, COLOR 1
- 2 EXTERIOR WALL PLASTER, COLOR 2
- 3 PLASTER PARAPET CAP
- 4 STOREFRONT TYPE WINDOW
- 5 STOREFRONT TYPE DOOR
- 6 PLASTER TRIM
- 7 PLASTER MOULDING
- 8 WINDOW / DOOR GLAZING
- 9 PROPOSED SIGNAGE LOCATION  
SIGNAGE TO BE IN CONFORMANCE WITH SDMC CHAPTER 14, DIVISION 12
- 10 ACCENT WALL TILE
- 11 CANOPY
- 12 CLAY ROOF TILES

LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

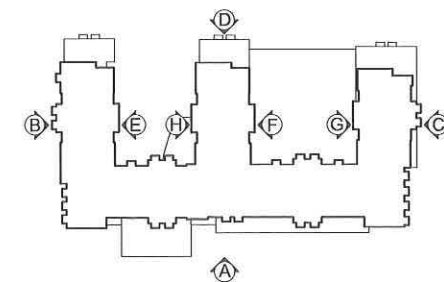
PROJECT NO. 2933  
DATE: 02/27/2013  
DRAWN BY: [Name]  
CHECKED BY: [Name]

JWDA  
JENNIFER WILSON DESIGN ARCHITECTS  
ARCHITECTS  
1000 LA JOLLA VILLAGE DRIVE, SUITE 100  
LA JOLLA, CA 92037  
TEL: 619-451-1000  
WWW.JWDA.COM



EXTERIOR ELEVATIONS  
BUILDING 1

KEY PLAN

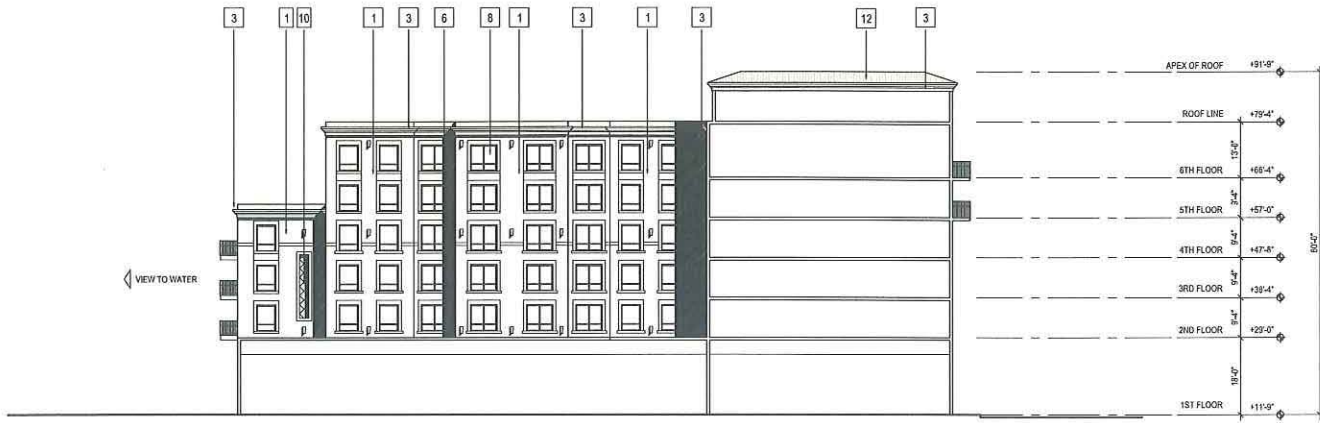


SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		6/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		-
REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

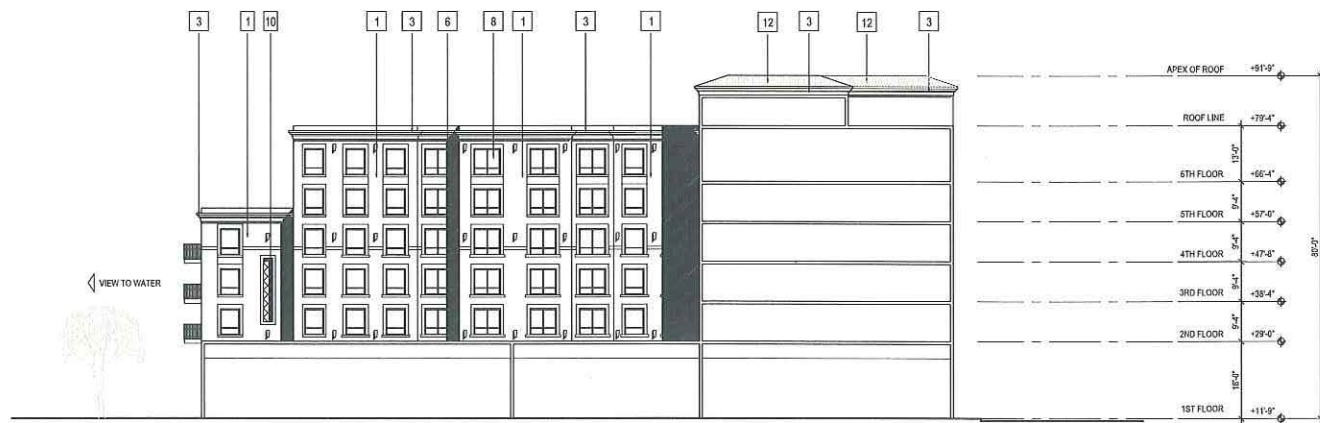
Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

A-15  
Sheet 22 of 35  
Scale 1/16" = 1'-0"





**ELEVATION - G (BUILDING - 1)**  
1/16" = 1'-0"



**ELEVATION - H (BUILDING - 1)**  
1/16" = 1'-0"

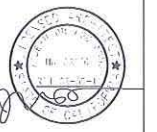
**KEY NOTES**

- 1 EXTERIOR WALL PLASTER, COLOR 1
- 2 EXTERIOR WALL PLASTER, COLOR 2
- 3 PLASTER PARAPET CAP
- 4 STOREFRONT TYPE WINDOW
- 5 STOREFRONT TYPE DOOR
- 6 PLASTER TRIM
- 7 PLASTER MOULDING
- 8 WINDOW / DOOR GLAZING
- 9 PROPOSED SIGNAGE LOCATION  
SIGNAGE TO BE IN CONFORMANCE WITH SDMC CHAPTER 14, DIVISION 12
- 10 ACCENT WALL TILE
- 11 CANOPY
- 12 CLAY ROOF TILES

**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

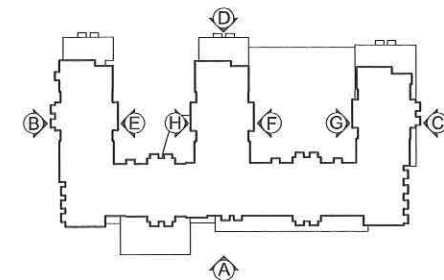
ARCHITECT: JAMES W. WOODS ARCHITECTS, INC. 1000 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100, SAN DIEGO, CA 92161  
PHONE: 619-594-1100 FAX: 619-594-1101  
WWW.JWWOODSARCHITECTS.COM  
DATE: 02/27/2013  
PROJECT: LIBERTY STATION EAST HOTEL SITE  
SHEET: EXTERIOR ELEVATIONS - BUILDING 1

**JWDA**  
JAMES W. WOODS ARCHITECTS, INC.  
ARCHITECTS  
1000 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100  
SAN DIEGO, CALIFORNIA 92161  
PHONE: 619-594-1100 FAX: 619-594-1101  
WWW.JWWOODSARCHITECTS.COM



**EXTERIOR ELEVATIONS  
BUILDING 1**

**KEY PLAN**



SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		-

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

**A-16**  
Sheet 23 of 35  
Scale 1/16" = 1'-0"





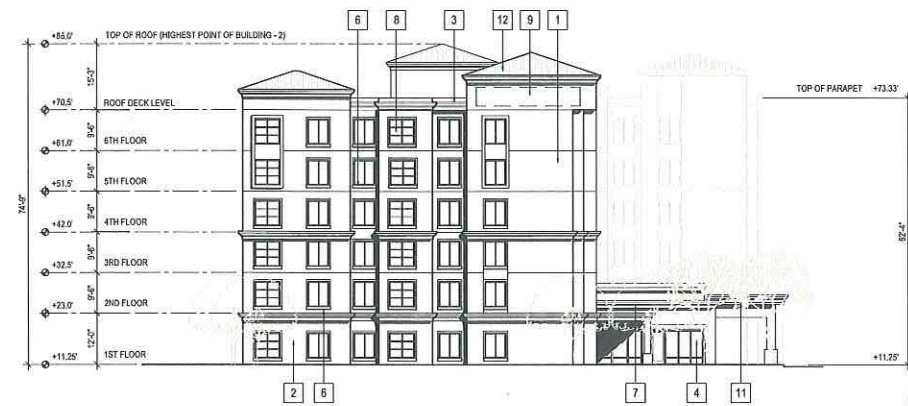
**ELEVATION - A (BUILDING - 2)**  
1/16"=1'-0"



**ELEVATION - B (BUILDING - 2)**  
1/16"=1'-0"



**ELEVATION - C (BUILDING - 2)**  
1/16"=1'-0"



**ELEVATION - D (BUILDING - 2)**  
1/16"=1'-0"

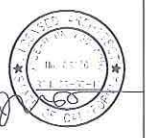
**KEY NOTES**

- 1 EXTERIOR WALL PLASTER, COLOR 1
- 2 EXTERIOR WALL PLASTER, COLOR 2
- 3 PLASTER PARAPET CAP
- 4 STOREFRONT TYPE WINDOW
- 5 STOREFRONT TYPE DOOR
- 6 PLASTER TRIM
- 7 PLASTER MOULDING
- 8 WINDOW / DOOR GLAZING
- 9 PROPOSED SIGNAGE LOCATION  
SIGNAGE TO BE IN CONFORMANCE WITH SDMC CHAPTER 14, DIVISION 12
- 10 ACCENT WALL TILE
- 11 CANOPY
- 12 CLAY ROOF TILES

**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

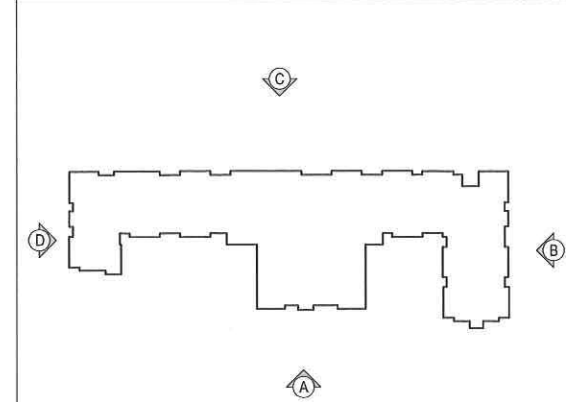
PROJECT NO. 2933  
DATE: 02/27/2013  
DRAWN BY: [Name]  
CHECKED BY: [Name]  
SCALE: 1/16" = 1'-0"

**JWDA**  
JULY 2008  
1000 LA JOLLA VILLAGE DRIVE, SUITE 100  
SAN DIEGO, CALIFORNIA 92161  
TEL: 619-451-3000  
WWW.JWDA.ORG



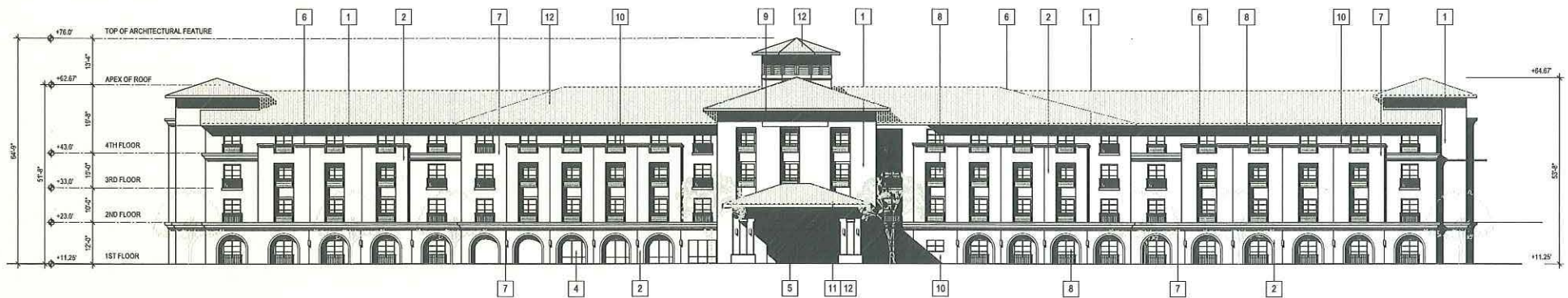
**BUILDING ELEVATIONS -  
BUILDING 2  
EXTENDED STAY HOTEL**

**KEY PLAN**

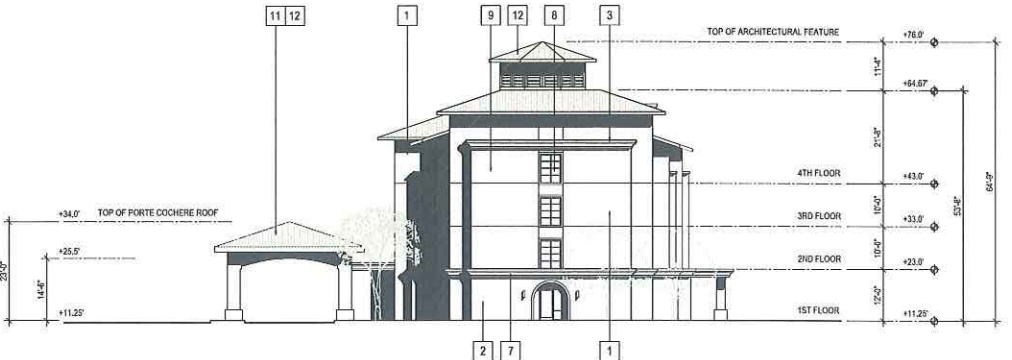


SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		07/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		-
REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/20/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12
Project Number 2933		
Date 02/27/2013		
Drawn By		
Checked By		
<b>A-17</b>		
Sheet 24 of 35		
Scale 1/16" = 1'-0"		

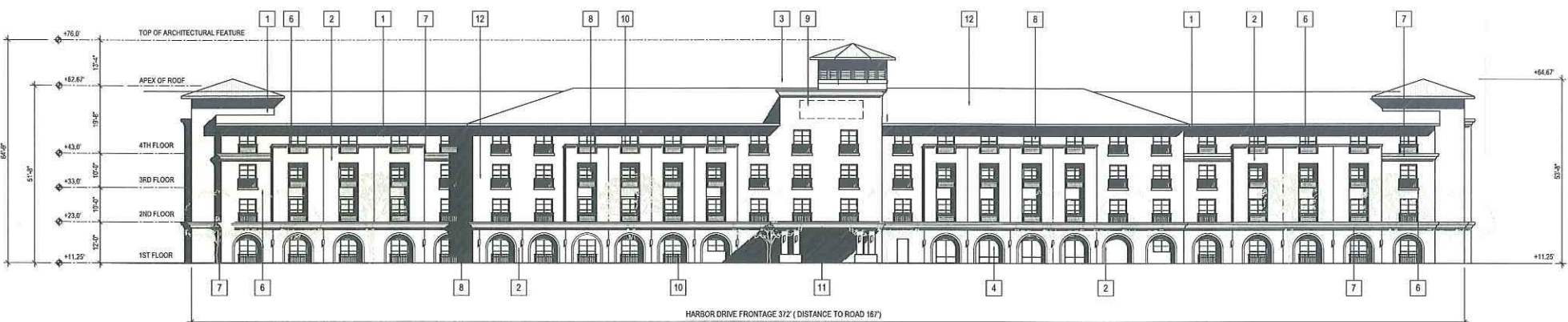




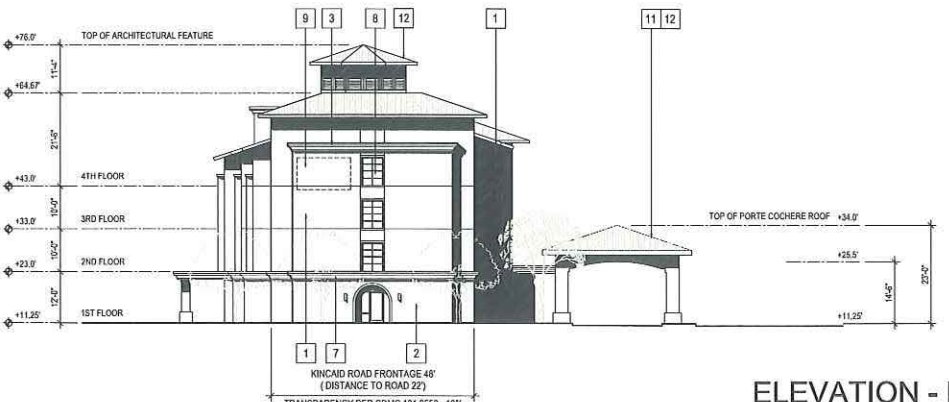
**ELEVATION - A (BUILDING - 3)**  
1/16"=1'-0"



**ELEVATION - B (BUILDING - 3)**  
1/16"=1'-0"



**ELEVATION - C (BUILDING - 3)**  
1/16"=1'-0"



**ELEVATION - D (BUILDING - 3)**  
1/16"=1'-0"

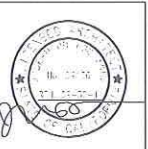
**KEY NOTES**

- 1 EXTERIOR WALL PLASTER, COLOR 1
- 2 EXTERIOR WALL PLASTER, COLOR 2
- 3 PLASTER PARAPET CAP
- 4 STOREFRONT TYPE WINDOW
- 5 STOREFRONT TYPE DOOR
- 6 PLASTER TRIM
- 7 PLASTER MOULDING
- 8 WINDOW / DOOR GLAZING
- 9 PROPOSED SIGNAGE LOCATION  
SIGNAGE TO BE IN CONFORMANCE WITH SDMC CHAPTER 14, DIVISION 12
- 10 PAINTED METAL RAILINGS
- 11 CANOPY
- 12 CLAY ROOF TILES

**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

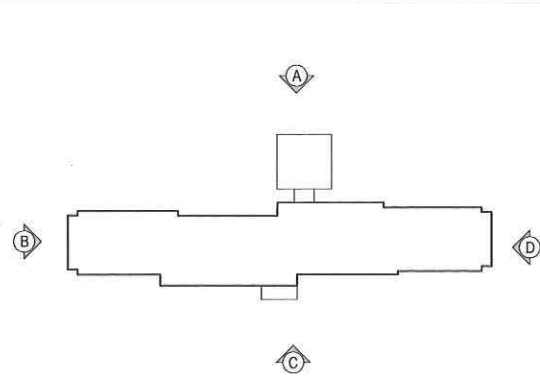
PROJECT NO. 2933  
DATE: 02/27/2013  
DRAWN BY: [Name]  
CHECKED BY: [Name]

**JWDA**  
JULY 2007  
PLANNED DEVELOPMENT PERMIT APPLICATION  
COASTAL DEVELOPMENT PERMIT APPLICATION



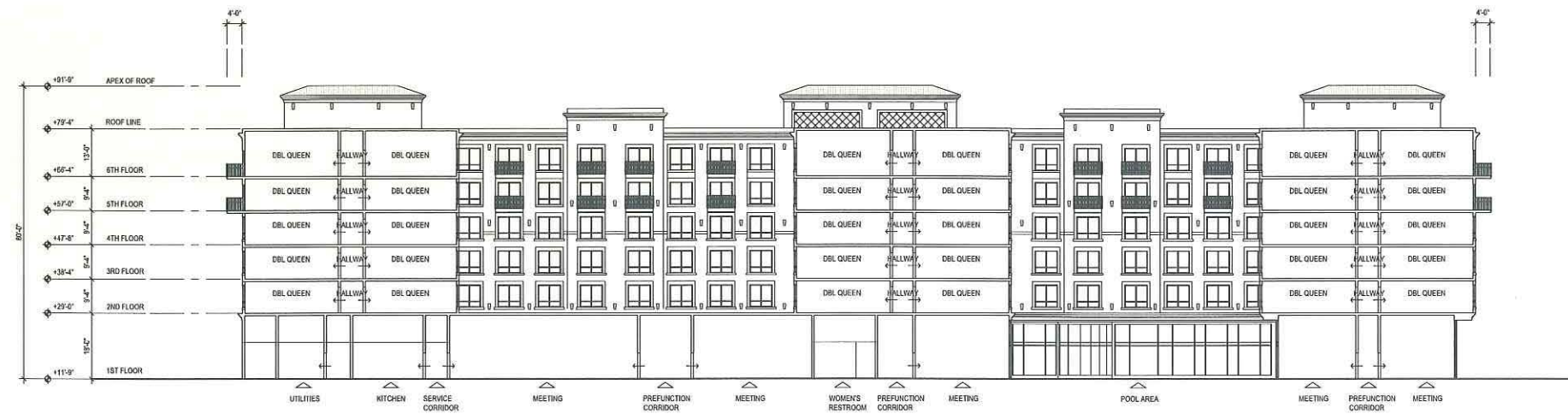
**BUILDING ELEVATIONS -  
BUILDING 3  
SELECTED SERVICES HOTEL**

**KEY PLAN**



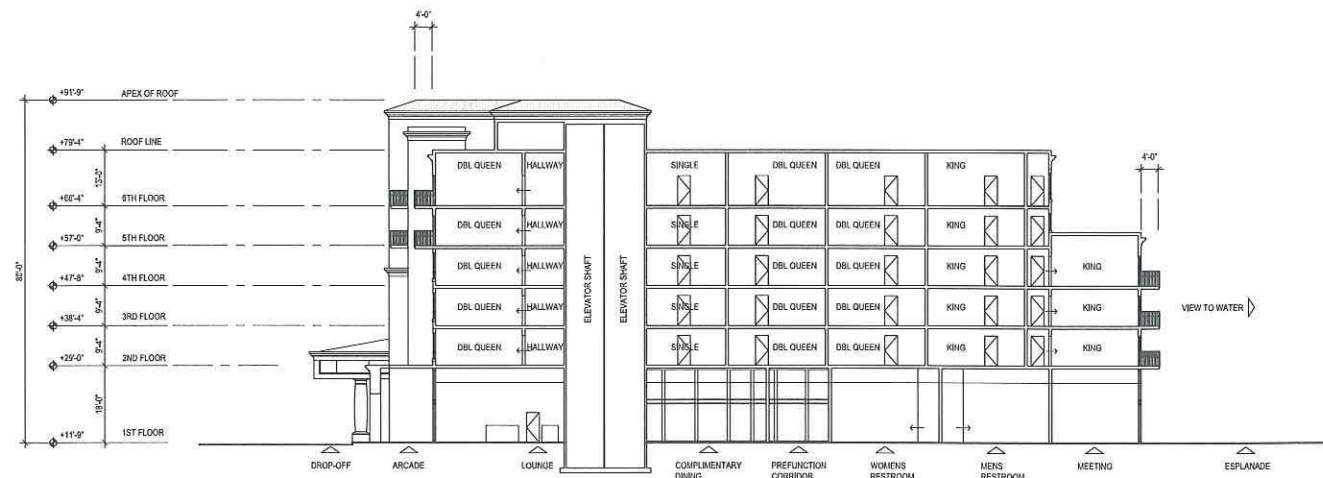
SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		
REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12
Project Number		2933
Date		02/27/2013
Drawn By		
Checked By		
<b>A-18</b>		
Sheet 25 of 35		
Scale		1/16" = 1'-0"





SECTION - A (BUILDING - 1)

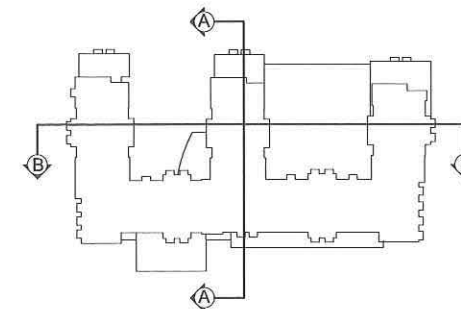
1/16" = 1'-0"



SECTION - B (BUILDING - 1)

1/16" = 1'-0"

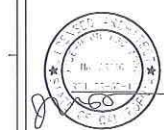
KEY PLAN



LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

LIBERTY STATION EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

JWDA



BUILDING SECTIONS  
BUILDING 1

SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:		
NO.	DESCRIPTION	DATE
2ND SUBMISSION		7/29/12
3RD SUBMISSION		9/12/12
4TH SUBMISSION		11/12/12

Project Number 2933  
Date 02/27/2013  
Drawn By  
Checked By

A-19  
Sheet 26 of 35  
Scale 1/16" = 1'-0"







**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

LIBERTY STATION EAST HOTEL SITE  
LANDSCAPE CONCEPT PLAN  
DATE: 02/27/2013  
DRAWN BY: KY  
CHECKED BY: DO  
SCALE: 1" = 40'

**JWDA**



**SHEET DESCRIPTION  
LANDSCAPE CONCEPT PLAN**

SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12
CONSTITUTIONAL DEVELOPMENT PERMIT APPLICATION	-

REVISIONS:		
NO.	DESCRIPTION	DATE

Project Number 2933  
Date 02/27/2013  
Drawn By KY  
Checked By DO

**L-01**  
Sheet 28 of 35  
Scale 1" = 40'-0"



Wimmer  
Yamada  
and  
Caughey  
Landscape Architects | Environmental Planning  
4475 La Jolla Village Drive, San Diego, CA 92161  
619.594.1111 | 619.594.1112 | www.wyca.com



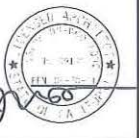
# PLANTING LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	MATURE HEIGHT	COMMENTS	SPACING
<b>SITE ACCENT TREES</b>					
CHIONANTHUS RETUSUS	CHINESE FRINGE TREE	24" BOX (100%)	20' HT. X 15' SP.	WIDE SPREADING / DECIDUOUS / FLOWERING	AS SHOWN
ERYTHRINA CORALLOIDES	NAKED CORAL TREE	24" BOX (100%)	30' HT. X 30' SP.	BROAD-DOME / SCULPTURED TRUNK & LIMBS / DECIDUOUS / FLOWERING	AS SHOWN
LAGERSTROEMIA HYBRID 'MUSKOGEE'	CRAPE MYRTLE	24" BOX (100%)	25' HT. X 12' SP.	UPRIGHT / DECIDUOUS / FLOWERING	AS SHOWN
MAGNOLIA GRANDIFLORA 'D.D. BLANCHARD'	MAGNOLIA	24" BOX (100%)	50' HT. X 35' SP.	PYRAMIDAL / EVERGREEN / FLOWERING	AS SHOWN
PYRUS CALLERYANA 'CAPITAL'	NCN	24" BOX (100%)	40' HT. X 15' SP.	UPRIGHT / DECIDUOUS / FLOWERING	AS SHOWN
TABEBUIA IMPETIGINOSA	PURPLE TRUMPET TREE	24" BOX (100%)	40' HT. X 40' SP.	WIDE-SPREADING / DECIDUOUS / FLOWERING	AS SHOWN
<b>STREET TREES</b>					
GEIJERA PARVIFOLIA	AUSTRALIAN WILLOW	24" BOX (100%)	30' HT. X 20' SP.	WEeping VERTICAL / EVERGREEN	AS SHOWN
KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	24" BOX (100%)	35' HT. X 40' SP.	BROAD-DOME / DECIDUOUS / FLOWERING	AS SHOWN
MAGNOLIA GRANDIFLORA 'MAJESTIC BEAUTY'	MAGNOLIA	24" BOX (100%)	50' HT. X 20' SP.	BROAD PYRAMIDAL / EVERGREEN / FLOWERING	AS SHOWN
PINUS TORREYANA	TORREY PINE	24" BOX (100%)	45' HT. X 35' SP.	BROAD PYRAMIDAL / EVERGREEN	AS SHOWN
<b>PARKING LOT TREES</b>					
MAGNOLIA GRANDIFLORA 'LITTLE GEM'	NCN	24" BOX (100%)	20' HT. X 15' SP.	UPRIGHT / EVERGREEN / FLOWERING	AS SHOWN
PODOCARPUS GRACILIOR	FERN PINE	24" BOX (100%)	50" HT. X 25" SP.	UPRIGHT / EVERGREEN	AS SHOWN
QUERCUS ILEX	HOLLY OAK	24" BOX (100%)	30' HT. X 30' SP.	SMALL BROAD-DOME/EVERGREEN	AS SHOWN
TIPUANA TIPU	TIPU TREE	24" BOX (100%)	35' HT. X 34' SP.	BROAD-DOME / SEMI-DECIDUOUS	AS SHOWN
<b>BROAD-DOMED CANOPY / SCREEN TREES</b>					
CINNAMOMUM CAMPHORA	CAMPHOR TREE	24" BOX (100%)	50' HT. X 45' SP.	VERTICAL / EVERGREEN	AS SHOWN
PINUS TORREYANA	TORREY PINE	24" BOX (100%)	50' HT. X 36' SP.	BROAD-DOMED / EVERGREEN	AS SHOWN
PLATANUS ACERIFOLIA 'BLOODGOOD'	LONDON PLANE TREE	24" BOX (100%)	70' HT. X 35' SP.	BROAD-DOME / DECIDUOUS	AS SHOWN
PODOCARPUS GRACILIOR	FERN PINE	24" BOX (100%)	60' HT. X 20' SP.	UPRIGHT / EVERGREEN	AS SHOWN
<b>VERTICAL ACCENT / SCREEN TREES / PALM</b>					
BRACHYCHITON POPULNEUS	BOTTLE TREE	24" BOX (100%)	50' HT. X 30' SP.	UPRIGHT / EVERGREEN / FLOWERING	AS SHOWN
LIQUIDAMBAR STYRACIFLUA 'BURGUNDY'	AMERICAN SWEET GUM	24" BOX (100%)	40' HT. X 25' SP.	UPRIGHT / DECIDUOUS	AS SHOWN
PINUS CANARIENSIS	CANARY ISLAND PINE	24" BOX (100%)	70' HT. X 35' SP.	VERTICAL / EVERGREEN	AS SHOWN
PINUS HALEPENSIS	ALLEPO PINE	24" BOX (100%)	55' HT. X 35' SP.	VERTICAL / EVERGREEN	AS SHOWN
SYAGRUS ROMANOFFIANUM	QUEEN PALM	12" BROWN TRUNK HT.	40' HT. X 25' SP.	VERTICAL	AS SHOWN
TRISTANIA CONFERTA	BRISBANE BOX	24" BOX (100%)	40' HT. X 25' SP.	UPRIGHT / EVERGREEN	AS SHOWN
<b>FOUNDATION PLANTING</b>					
<b>SHRUBS</b>					
ANIGOZANTHOS HYBRIDS	KANGAROO PAW	1 & 5 GALLON (100%)	3' HT. X 3' SP.	FULL	@ 3' O.C.
CALLISTEMON VIMINALIS 'LITTLE JOHN'	BOTTLEBRUSH	1 & 5 GALLON (50%/50%)	3' HT. X 3' SP.	FULL / BUSHY	@ 3' O.C.
COPROSMA REPENS 'MARBLE QUEEN'	VARIEGATED MIRROR PLANT	1 & 5 GALLON (50%/50%)	3' HT. X 1.5' SP.	FULL / BUSHY	@ 3' O.C.
GREVILLEA 'NOELII'	NCN	1 & 5 GALLON (50%/50%)	4' HT. X 5' SP.	FULL / BUSHY	@ 3' O.C.
HEMEROCALLIS HYBRID	DAYLILY	1 & 5 GALLON (50%/50%)	4' HT. X 3' SP.	FULL	@ 3' O.C.
HETEROMELES ARBUTIFOLIA	TOYON	1 & 5 GALLON (50%/50%)	5' HT. X 20' SP.	FULL / BUSHY	@ 5' O.C.
LANTANA CAMARA 'RADIATION'	LANTANA	1 & 5 GALLON (50%/50%)	4' HT. X 5' SP.	FULL / BUSHY	@ 5' O.C.
LEPTOSPERMUM SCOPARIUM	NEW ZEALAND TEA TREE	1 & 5 GALLON (50%/50%)	5' HT. X 4' SP.	FULL / BUSHY	@ 5' O.C.
RHAPIOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN	1 & 5 GALLON (50%/50%)	5' HT. X 5' SP.	FULL / BUSHY	@ 3' O.C.
RHAPIOLEPIS INDICA 'SPRINGTIME'	INDIAN HAWTHORN	1 & 5 GALLON (50%/50%)	5' HT. X 5' SP.	FULL / BUSHY	@ 3' O.C.
STRELITZIA REGINAE	BIRD OF PARADISE	1 & 5 GALLON (50%/50%)	5' HT. X 6' SP.	FULL / BUSHY	@ 5' O.C.
TRACHELOSPERMUM JASMINOIDES	STAR JASMINE	1 & 5 GALLON (50%/50%)	2' HT. X 10' SP.	FULL / TRAILING	@ 3' O.C.
<b>GROUND COVER</b>					
AJUGA REPTANS	CARPET BUGLE	FLATS (100%)	4" HT. X 2" SP.	FULL / TRAILING	@ 12" O.C.
GAZANIA SPLENDENS 'SUNRISE YELLOW'	CLUMPING GAZANIA	FLATS (100%)	6" HT. X 10" SP.	FULL / CLUMPING	@ 12" O.C.
MYOPORUM PARVIFOLIUM 'PROSTRATUM'	NCN	FLATS (100%)	4" HT. X 8" SP.	FULL / TRAILING	@ 18" O.C.
SEDUM SPECTABILE 'RUBY JEWEL'	NCN	FLATS (100%)	1.5" HT. X 1.5" SP.	FULL / TRAILING	@ 18" O.C.
VINCA MINOR	DWARF PERIWINKLE	FLATS (100%)	4" HT. X 5" SP.	FULL / TRAILING	@ 18" O.C.
<b>VINES</b>					
BOUGAINVILLEA 'SAN DIEGO RED'	BOUGAINVILLEA	15 GALLON (100%)	15'-25' SP.	FULL / TRAILING	
GELSEMIUM SEMPERVIRENS	CAROLINA JESSAMINE	15 GALLON (100%)	20' SP.	FULL / TRAILING	
<b>PARKING LOT FOUNDATION PLANTING</b>					
<b>SHRUBS</b>					
ANIGOZANTHOS HYBRIDS	KANGAROO PAW	1 & 5 GALLON (50%/50%)	3' HT. X 3' SP.	FULL	@ 3' O.C.
CALLISTEMON VIMINALIS 'LITTLE JOHN'	DWARF BOTTLEBRUSH	1 & 5 GALLON (50%/50%)	3' HT. X 3' SP.	FULL / BUSHY	@ 3' O.C.
COPROSMA REPENS 'MARBLE QUEEN'	VARIEGATED MIRROR PLANT	1 & 5 GALLON (50%/50%)	3' HT. X 1.5' SP.	FULL / BUSHY	@ 3' O.C.
HEMEROCALLIS HYBRID	DAYLILY	1 & 5 GALLON (50%/50%)	4' HT. X 3' SP.	FULL	@ 3' O.C.
HETEROMELES ARBUTIFOLIA	TOYON	1 & 5 GALLON (50%/50%)	4' HT. X 3' SP.	FULL	@ 3' O.C.
LANTANA CAMARA 'RADIATION'	LANTANA	1 & 5 GALLON (50%/50%)	5' HT. X 20' SP.	FULL / BUSHY	@ 5' O.C.
LEPTOSPERMUM SCOPARIUM	NEW ZEALAND TEA TREE	1 & 5 GALLON (50%/50%)	4' HT. X 5' SP.	FULL / BUSHY	@ 5' O.C.
RHAPIOLEPIS INDICA 'BALLERINA'	INDIAN HAWTHORN	1 & 5 GALLON (50%/50%)	5' HT. X 4' SP.	FULL / BUSHY	@ 5' O.C.
RHAPIOLEPIS INDICA 'CLARA'	INDIAN HAWTHORN	1 & 5 GALLON (50%/50%)	2' HT. X 4' SP.	FULL / BUSHY	@ 3' O.C.
RHAPIOLEPIS INDICA 'SPRINGTIME'	INDIAN HAWTHORN	1 & 5 GALLON (50%/50%)	5' HT. X 5' SP.	FULL / BUSHY	@ 3' O.C.
<b>GROUND COVER</b>					
GAZANIA SPLENDENS 'SUNRISE YELLOW'	CLUMPING GAZANIA	FLATS (100%)	6" HT. X 10" SP.	FULL / CLUMPING	@ 12" O.C.
MYOPORUM PARVIFOLIUM 'PROSTRATUM'	NCN	FLATS (100%)	4" HT. X 8" SP.	FULL / TRAILING	@ 18" O.C.
ROSMARINUS OFFICINALIS 'PROSTRATUS'	ROSEMARY	FLATS (100%)	2' HT. X 8" SP.	FULL / TRAILING	@ 12" O.C.
SEDUM SPECTABILE 'RUBY JEWEL'	NCN	FLATS (100%)	1.5" HT. X 1.5" SP.	FULL / TRAILING	@ 18" O.C.
VINCA MINOR	DWARF PERIWINKLE	FLATS (100%)	4" HT. X 5" SP.	FULL / TRAILING	@ 18" O.C.
<b>TURF PLANTING</b>					
AGROSTIS PALLENS	NATIVE BENTGRASS	SEED			
<b>BIORETENTION / BIOSWALE PLANTING</b>					
<b>NATURAL GRASSLAND MIX #1</b>					
FESTUCA RUBRA VAR. MOLATE	MOLATE FESCUE	SEED (60%)		HYDRO-SEEDED	
FESTUCA IDAHOENSIS	IDAHO FESCUE	SEED (10%)			
FESTUCA OVINA DURISCUILA VAR. COVAR	COVAR SHEEPS FESCUE	SEED (5%)			
KOELERIA PYRAMIDATA	JUNEPRARIE GRASS	SEED (15%)			
POA SCABRILLA	NCN	SEED (10%)			

## EXISTING TREES & PALMS TO REMAIN

	FICUS RIBIGNOSA	RUSTY LEAF FIG
	METROSIDEROS EXCELSA	NEW ZEALAND CHRISTMAS TREE
	PINUS PINEA	ITALIAN STONE PINE
	PINUS TORREYANA	TORREY PINE
	WASHINGTONIA ROBUSTA	MEXICAN FAN PALM
	EUCALYPTUS SIDEROXYLON ROSEA	RED IRONBARK

LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA



SHEET DESCRIPTION  
PLANTING LEGEND

SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	8/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	

REVISIONS:

NO.	DESCRIPTION	DATE

Project Number 2933  
Date 02/27/2013  
Drawn By KY  
Checked By DO

L-02  
Sheet 29 of 35  
Scale

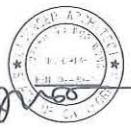


Wimmer Yarneda and Caughy  
Landscape Architecture | Environmental Planning  
2407 Villa Avenue, San Diego, California 92108  
619.444.4444 • www.wimpycaughy.com





**JWDA**  
JAMES W. YAMADA  
Landscape Architect  
1000 La Jolla Village Drive, Suite 100  
La Jolla, CA 92037  
Phone: (619) 451-1111  
Fax: (619) 451-1112



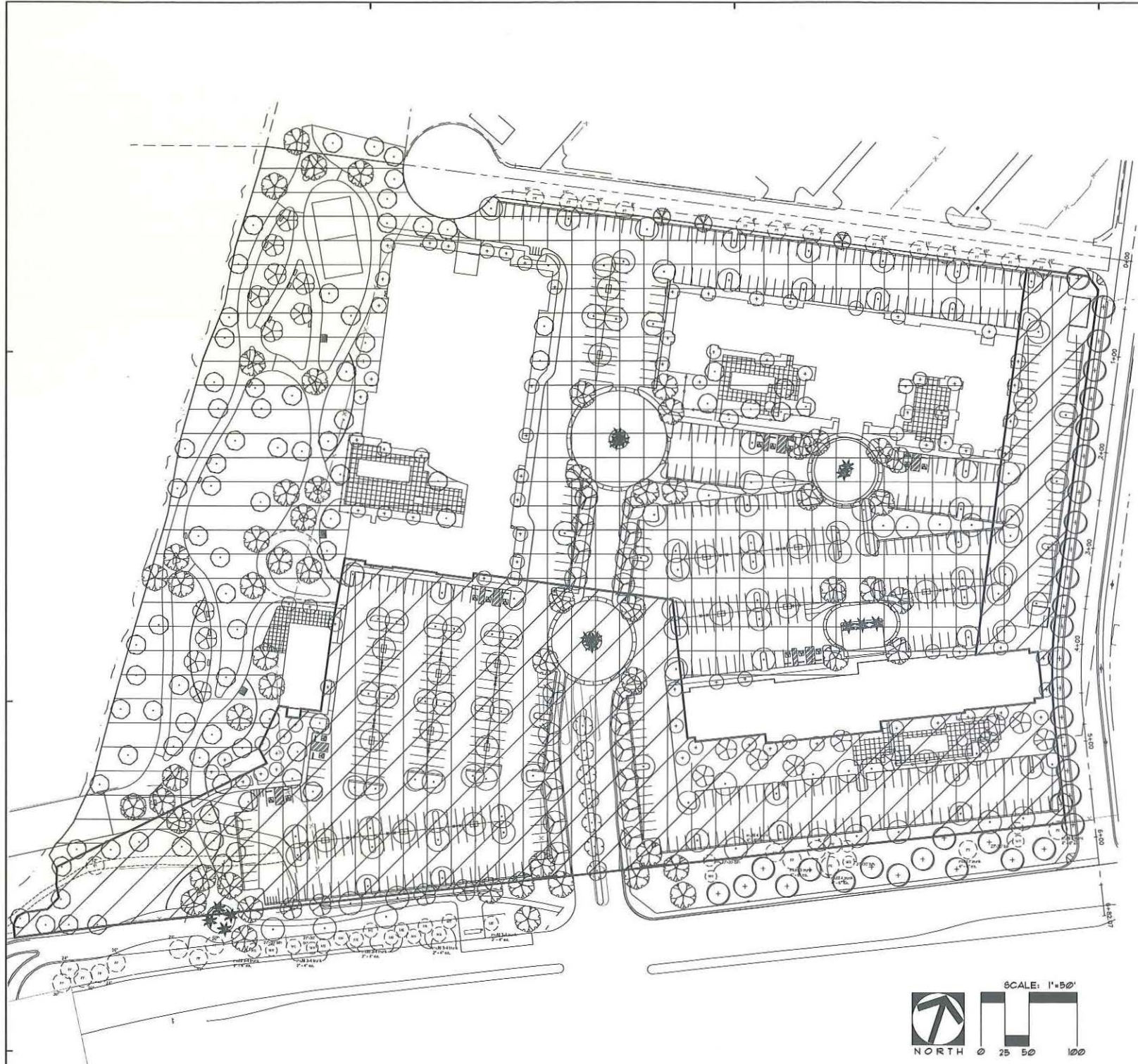
SHEET DESCRIPTION  
LANDSCAPE CALCULATIONS

SUBMITTAL:	DATE
PLANNED DEVELOPMENT PERMIT APPLICATION	8/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	

REVISIONS:		
NO.	DESCRIPTION	DATE

Project Number 2933  
Date 02/27/2013  
Drawn By KY  
Checked By DO

**L-03**  
Sheet 30 of 35  
Scale



**LANDSCAPE CALCULATIONS**

**STREET YARD:**  
TOTAL AREA: 231,597 SQ. FT.  
PLANTING AREA REQUIRED: 57,899 SQ. FT.  
PLANT POINTS REQUIRED: 11,880 PTS.  
HARDSCAPE AREA: 820 SQ. FT.

PROVIDED: 69,457 SQ. FT.  
PROVIDED: 14,454 PTS.  
POINTS ACHIEVED THROUGH TREES: 9,210 PTS.

EXCESS AREA PROVIDED: 11,558 SQ. FT.  
EXCESS POINTS PROVIDED: 2,874 PTS.

100% OF THE TREES IN THIS AREA WILL BE 24" BOX SIZE

**VIA IN STREET YARD:**  
PLANTING AREA REQUIRED: 147,873 SQ. FT.  
PLANT POINTS REQUIRED: 7,394 PTS.  
HARDSCAPE AREA: 820 SQ. FT.

PROVIDED: 18,983 SQ. FT.  
PROVIDED: 8,709 PTS.  
POINTS ACHIEVED THROUGH TREES: 5,090 PTS.

EXCESS AREA PROVIDED: 10,889 SQ. FT.  
EXCESS POINTS PROVIDED: -685 PTS.

100% OF THE TREES IN THIS AREA WILL BE 36" BOX SIZE

**REMAINING YARD:**  
TOTAL AREA: 320,250 SQ. FT.  
PLANTING AREA REQUIRED: 96,075 SQ. FT.  
PLANT POINTS REQUIRED: 16,012 PTS.

PROVIDED: 127,889 SQ. FT.  
PROVIDED: 16,380 PTS.  
POINTS ACHIEVED THROUGH TREES: 10,100 PTS.

EXCESS AREA PROVIDED: 31,814 SQ. FT.  
EXCESS POINTS PROVIDED: 370 PTS.

IN THIS AREA, TREES WILL BE 34% 24" BOX AND 65% 36" BOX SIZE

**VIA IN REMAINING YARD:**  
PLANTING AREA REQUIRED: 128,976 SQ. FT.  
PLANT POINTS REQUIRED: 3,869 PTS.

PROVIDED: 15,236 SQ. FT.  
PROVIDED: 5,478 PTS.  
POINTS ACHIEVED THROUGH TREES: 4,020 PTS.

EXCESS AREA PROVIDED: 11,367 SQ. FT.  
EXCESS POINTS PROVIDED: 1,609 PTS.

IN THIS AREA, TREES WILL BE 50% 24" BOX AND 50% 36" BOX SIZE

**GENERAL NOTES**

- NON-BIODEGRADABLE TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOTBALL.
- ALL TREES SHALL BE PROVIDED WITH 40 SQ. FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) FOR THIS AREA SHALL BE 5 FEET, MEASURED FROM THE INSIDE FACE OF THE CURB.
- ALL EXISTING LANDSCAPING TO REMAIN SHALL BE PROTECTED IN PLACE. SHOULD ANY SAID LANDSCAPING BE DAMAGED OR REMOVED DURING THE COURSE OF DEMOLITION/CONSTRUCTION, IT SHALL BE REPAIRED OR REPLACED IN LIKE AND KIND TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.
- MINIMUM TREE SEPARATION DISTANCES:
 

TRAFFIC SIGNALS / STOP SIGNS	20 FEET
UNDERGROUND UTILITIES	5 FEET
SEWER LINE	10 FEET
ABOVE GROUND UTILITIES	10 FEET
DRIVEWAYS (ENTRIES)	10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF 2 STREETS)	25 FEET
- ALL GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES, SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F [142.0411] LAND DEVELOPMENT CODE (LDC) AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
- GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY REVEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER OR EQUIVALENT MATERIAL.
- ALL PLANT MATERIAL SHALL BE IRRIGATED WITH A PERMANENT, BELOW-GRADE IRRIGATION SYSTEM. THE SYSTEM SHALL BE AUTOMATIC, ELECTRICALLY CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE-RESISTANT CONDITION.
- IRRIGATION SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH THE CRITERIA AND STANDARDS OF THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE SECTION 142.0403 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
- THE TYPE OF IRRIGATION SYSTEM UTILIZED FOR THIS PROJECT WILL CONSIST OF AN AUTOMATIC CONTROLLER, PVC PIPE, SPRAY/ROTOR SYSTEM WITH LOW GALLONAGE IRRIGATION HEADS. THE WATER CONSERVING PRINCIPLES WILL BE APPLIED IN THE DESIGN AS FOLLOWS:
  - AN AUTOMATIC IRRIGATION CONTROLLER THAT HAS THE CAPABILITY OF BEING SET FOR MULTIPLE RUN TIMES IN ONE DAY FOR EACH STATION, THEREBY REDUCING RUN-OFF BY ONLY APPLYING THE AMOUNT OF WATER THAT THE SOIL CAN ABSORB AT ANY ONE TIME. IN ADDITION, THE IRRIGATION MANAGER CAN SET THE RUN TIMES TO REFLECT THE CURRENT C.I.M.I.S. DATA.
  - THE USE OF A RAIN SWITCH TO OVERRIDE THE CURRENT CONTROLLER PROGRAMMING IN THE EVENT OF UNPREDICTABLE WEATHER CHANGES THAT MAY TEMPORARILY REDUCE WATERING REQUIREMENTS.
  - IRRIGATION HEAD LAYOUT WILL BE APPROXIMATELY "HEAD TO HEAD" MEANING THAT EACH SPRINKLER COVERAGE RADIUS REACHES TO THE NEXT IRRIGATION HEAD IN THE SYSTEM, THUS PROVIDING THE BEST DISTRIBUTION UNIFORMITY (DU) POSSIBLE.
  - MATCHED PRECIPITATION RATE NOZZLES WILL BE UTILIZED. BY MATCHING PRECIPITATION RATE, IT IS MEANT THAT THE DESIGNER CAN MIX IN THE SAME IRRIGATION STATION NOZZLES WITH VARYING SPRAY PATTERNS (IE: 90 DEG., 180 DEG., 360 DEG.), AND ACROSS DIFFERENT SETS OF SPRAY HEADS (12 FOOT RADIUS HEADS) WHILE STILL MAINTAINING EVEN PRECIPITATION RATES THROUGHOUT THE AREA AGAIN PROVIDING BETTER DISTRIBUTION UNIFORMITY.
  - ANTI-DRAIN VALVES WILL BE UTILIZED WITHIN THE BODY OF THE SPRINKLER HEAD WHERE LOW HEAD DRAINAGE CAN BE EXPECTED. BY PREVENTING LOW HEAD DRAINAGE WATER LOSS, POOLING, AND EROSION CAN BE MINIMIZED.
  - LOW PRECIPITATION RATE NOZZLES WILL BE UTILIZED TO REDUCE THE AMOUNT OF FLOW (IN COMPARISON TO CONVENTIONAL OR STANDARD GALLONAGE NOZZLES WHICH EMIT CONSIDERABLY MORE WATER IN THE SAME AMOUNT OF TIME), DECREASING THE PROBABILITY OF WATER WASTE BY RUN-OFF.
  - IRRIGATION STATIONS (THE AREAS THAT ONE VALVE SERVICES) WILL BE SEPARATED TO CONSERVE WATER AS FOLLOWS: SLOPES ARE SEPARATED FROM THE FLAT AREAS, SLOPES ARE SEPARATED INTO TOP AND BOTTOM. ALL THESE AREAS LISTED HAVE DIFFERENT WATERING REQUIREMENTS AND RUN TIMES ARE TO BE SCHEDULED INDIVIDUALLY TO REFLECT CURRENT C.I.M.I.S. DATA AND THE RUN-OFF CHARACTERISTIC OF EACH STATION BY THE OWNER OR IRRIGATION MANAGER.
  - ALL IRRIGATION EQUIPMENT SHALL BE PROTECTED FROM VANDALISM AND/OR THEFT.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY A PROPERTY OWNERS ASSOCIATION. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- STREET TREES SHALL BE 1 - 36" BOX TREE FOR EVERY 30 FEET (142.0409)

**LANDSCAPE CONCEPTUAL DESIGN**

THE LANDSCAPE CONCEPTUAL DESIGN COMPLIMENTS, ENHANCES, AND INTEGRATES THE SITE TO ITS SURROUNDING LANDSCAPE OF A HOSPITALITY ENVIRONMENT BY PROVIDING A RESTFUL DESTINATION. THE STREETScape LANDSCAPING IS A COMBINATION OF VERTICAL AND BROAD DOME TREES WITH AN UNDERSTORY OF SHRUBS AND GROUND COVER THAT PROVIDE A NATURAL STREET PRESENCE. SMALL TO MEDIUM EVERGREEN, DECIDUOUS AND FLOWERING TREES ARE USED TO SCREEN AND SOFTEN THE VEHICLE USE AREA ALONG WITH FOUNDATION PLANTING OF MEDIUM TO LARGE SHRUBS TO SCREEN THE PARKING AREA.

ALONG THE EASTERN ESPLANADE SHORELINE THERE WILL BE AN INFORMAL LANDSCAPE EDGE OF TREES AND SHRUBS THAT WILL INTEGRATE AND SOFTEN THE WESTERN FACADE OF THE PROPOSED HOTEL. IN ADDITION, IT WILL PROVIDE LANDSCAPE, PEDESTRIAN, BICYCLE, & RECREATIONAL WALKS THAT ALLOW FOR CONTINUOUS PUBLIC ACCESS ALONG THE ESPLANADE.

THE LANDSCAPE PALETTE FOR THE INTERIOR LANDSCAPE AND ESPLANADE AREAS PROVIDE A PASSIVE ATMOSPHERE FOR PEDESTRIAN CIRCULATION AND SEATING AREAS. THE ESPLANADE AREA WILL ALSO INCLUDE PASSIVE AND ACTIVE RECREATION AREAS. THE LANDSCAPE AREAS WILL INCLUDE BIO-SWALES TO BE USED FOR STORM WATER RUN-OFF.

THE PLANTING PALETTE FOR THE SITE INCLUDES TREES, SHRUBS, VINES, AND GROUND COVER THAT ARE DROUGHT TOLERANT AND SOME THAT ARE NATIVE TO THE REGION. THE IRRIGATION SYSTEM WILL BE DESIGNED FOR AN EFFICIENT WATER MANAGEMENT PROGRAM ALONG WITH STATE OF THE ART WATER EFFICIENT IRRIGATION EQUIPMENT.

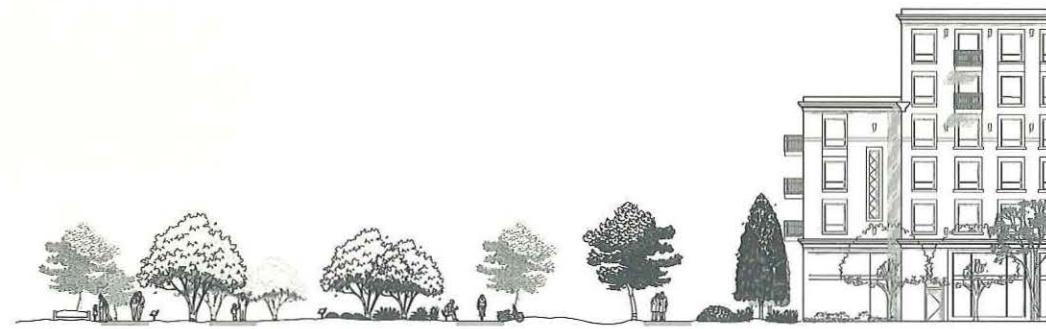
MATURE, HEALTHY, EXISTING TREES HAVE BEEN EVALUATED BASED ON LOCATION, HEALTH, AND COST EFFECTIVENESS TO EITHER SAVE IN PLACE, RELOCATE, OR REMOVE. A TOTAL OF SIXTY-FOUR (64) MATURE, HEALTHY TREES HAVE BEEN EITHER SAVED IN PLACE OR RELOCATED ON-SITE.

THE LANDSCAPE, INCLUDING BUT NOT LIMITED TO STREETS CAPES, INTERIOR SPACES, AND PARKING AREAS, WILL FOLLOW GUIDELINES AND STANDARDS SET FORTH BY THE NTO PRECISE PLAN AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.



Wimmer  
Yamada  
and  
Caughy  
Landscape Architecture | Environmental Planning  
1400 La Jolla Village Drive, Suite 100  
La Jolla, CA 92037 | Phone: (619) 451-1111





SECTION AA



SECTION BB



SECTION CC



SECTION DD

LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

LIBERTY STATION EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA  
DATE: 02/27/2013  
PROJECT NUMBER: 2933  
DRAWN BY: KY  
CHECKED BY: DO

**JWDA**  
JENNIFER WILSON DESIGN ARCHITECTS  
3530 Torrey Pines Avenue  
San Diego, California 92121-1090  
Phone: 619.594.5525 FAX: 619.594.2344



SHEET DESCRIPTION  
LANDSCAPE SECTIONS

SUBMITTAL:		DATE
PLANNED DEVELOPMENT PERMIT APPLICATION		01/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION		-
REVISIONS:		
NO.	DESCRIPTION	DATE

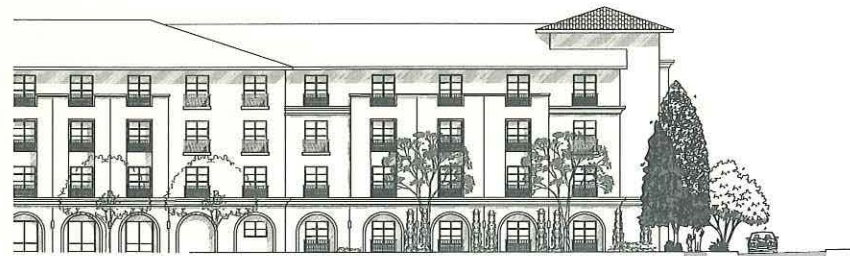
Project Number 2933  
Date 02/27/2013  
Drawn By KY  
Checked By DO

**L-04**  
Sheet 31 of 35  
Scale



Wimmer  
Yamada  
and  
Caughy  
Landscape Architecture | Environmental Planning  
3017 Fifth Avenue, San Diego, California 92104  
619.434.4212 | 619.434.4213 | www.wyca.com





SECTION EE



SECTION FF



SECTION GG



ENTRY MONUMENT

LIBERTY STATION  
EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

LIBERTY STATION EAST HOTEL SITE  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

**JWDA**  
JAMES W. DAVIS ARCHITECTS  
10000 LA JOLLA VILLAGE CENTER DRIVE, SUITE 100  
SAN DIEGO, CALIFORNIA 92122  
TEL: 619-451-1000 FAX: 619-451-1001  
WWW.JWDA.COM



SHEET DESCRIPTION  
LANDSCAPE SECTIONS

SUBMITTAL:	DATE	
PLANNED DEVELOPMENT PERMIT APPLICATION	01/15/12	
COASTAL DEVELOPMENT PERMIT APPLICATION	-	
REVISIONS:		
NO.	DESCRIPTION	DATE

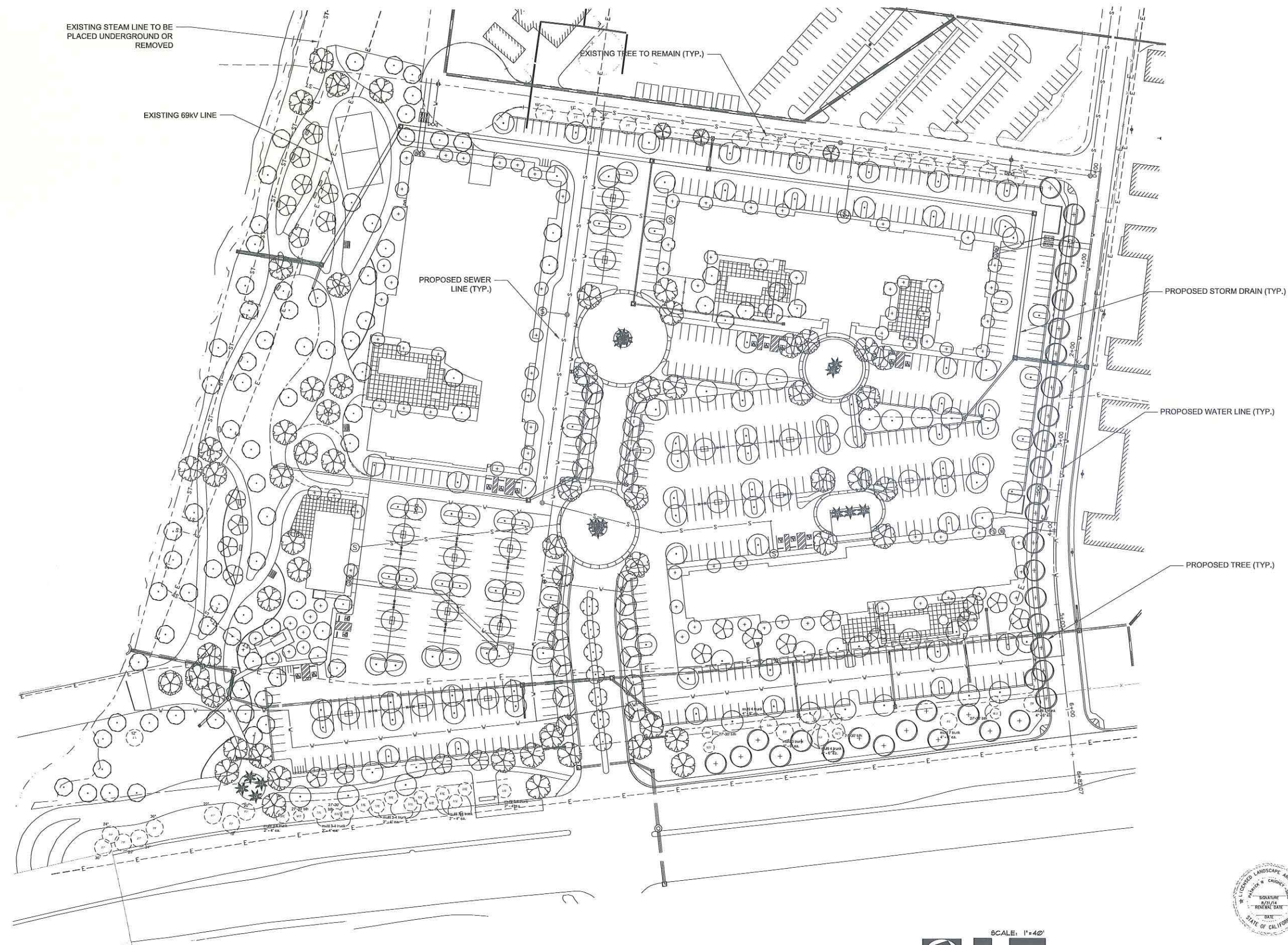
Project Number 2933  
Date 02/27/2013  
Drawn By KY  
Checked By DO

**L-05**  
Sheet 32 of 35  
Scale



Wimmer  
Varreda  
and  
Caughey  
Landscape Architecture | Environmental Planning  
3147 7th Avenue, San Diego, California 92104  
Tel: 619-594-1100 | Fax: 619-594-1101 | www.wvc.com





**LIBERTY STATION  
EAST HOTEL SITE**  
HARBOR DRIVE  
SAN DIEGO, CALIFORNIA

DATE	DESCRIPTION

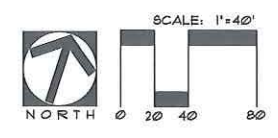
**JWDA**  
JENNIFER WILSON DESIGN ARCHITECTS  
15500 PLYMOUTH AVENUE  
SAN DIEGO, CALIFORNIA 92130-4000  
TEL: 619.451.1000 FAX: 619.451.1001  
WWW.JWDA.COM



**SHEET DESCRIPTION  
TREE UTILITY CONFLICT  
PLAN**

<b>SUBMITTAL:</b>	<b>DATE</b>
PLANNED DEVELOPMENT PERMIT APPLICATION	8/15/12
COASTAL DEVELOPMENT PERMIT APPLICATION	

Project Number 2933  
Date 02/27/2013  
Drawn By KY  
Checked By DO  
**L-06**  
Sheet 33 of 35  
Scale



Wimmer  
Yamada  
and  
Caughy  
Landscape Architecture | Environmental Planning  
1070 Park Avenue, San Diego, California 92101  
© 2013 Wimmer, Yamada and Caughy. www.wyca.com