



THE CITY OF SAN DIEGO

## REPORT TO THE PLANNING COMMISSION

**DATE ISSUED:** May 16, 2013 **REPORT NO. PC-13-052**

**ATTENTION:** Planning Commission, Agenda of May 23, 2013

**SUBJECT:** VERIZON - CLOUDCREST - PROJECT NO. 293137  
PROCESS 4

**OWNER/  
APPLICANT:** Sony Electronics  
Verizon Wireless

### SUMMARY

**Issue(s):** Should the Planning Commission approve a Planned Development Permit (PDP) for a wireless communication facility located at 16530 Via Esprillo in the Rancho Bernardo Community Planning area?

**Staff Recommendation:** Approve Planned Development Permit (PDP) No. 1028076.

**Community Planning Group Recommendation:** On December 20, 2012, the Rancho Bernardo Community Planning Board voted 17-1-0 to recommend approval of the Verizon – Cloudcrest project with no conditions (Attachment 10).

**Environmental Review:** This project is not pending an appeal of the environmental determination. This project is exempt from environmental review pursuant to Article 19, Section 15303, New Construction or Conversion of Small Structures. The environmental exemption determination for this project was made on April 22, 2013 and the opportunity to appeal that determination ended May 6, 2013 (Attachment 7).

**Fiscal Impact Statement:** All project related costs associated with processing this permit are paid out of a deposit account maintained by the applicant.

**Code Enforcement Impact:** None.

**Housing Impact Statement:** Not Applicable.

## **BACKGROUND**

Verizon proposes a wireless communication facility consisting of a new 45-foot tall faux pine tree supporting twelve panel antennas with associated equipment located within a 508-square foot cement block enclosure on a church property at 16530 Via Esprillo in the Rancho Bernardo Community Planning area. The site is zoned IP-2-1 and is designated for Industrial uses in the Rancho Bernardo Community Plan (Attachments 1, 2, and 3).

The property is surrounded by industrial uses. Directly west of the property is a small private open space finger canyon owned by Alliant Techsystems, the property owner to the northwest (Attachments 1, 2 and 3).

Wireless Communication Facilities (WCF's) are permitted throughout the City as a separately regulated use by the Wireless Communication Facility regulations, in accordance with Land Development Code (LDC) section 141.0420. WCF's located within an industrial zone are permitted with as a Limited Use, Process 1. Due to the size of the proposed equipment enclosure, which exceeds the WCF regulations maximum size of 250-square feet, the project requires a Planned Development Permit, Process 4.

## **DISCUSSION**

### **Project Description:**

Council Policy 600-43, "Wireless Communication Facilities," assigns preference levels to the locations of WCF's. This policy encourages facilities to be located on nonresidential uses and encourages carriers to locate in nonresidential zones, permitting projects proposed in those areas with a lower approval process level, such as a Limited Use. In this case, the project is in the highest preference level, industrial and could be processed as a Limited Use, but because of the size of the equipment enclosure at 508-square feet, a PDP, Process 4 is required.

The Verizon WCF will be located at the edge of Sony's parking lot in front of a grove of mature Eucalyptus trees, blending in to the setting (Attachment 9). This complies with the WCF regulations (LDC Section 141.0420(g)(6), which states that faux landscaping can be used on premises where natural vegetation similar in size and species exist or where landscaping similar in size and species is proposed as part of the development.

Other than the deviation for the equipment enclosure size, the proposed project complies with LDC Section 141.0420, which requires a project to be designed to integrate with the structure on which it is proposed through the use of architecture, landscape design and siting solutions. The project complies with the IP-2-1 development regulations, the General Plan and the WCF Design Guidelines.

### **General Plan:**

The Rancho Bernardo Community Plan is silent on wireless communication facilities; however, the City of San Diego's General Plan addresses Wireless Facilities in UD-A.15 as follows:



Minimize the visual impact of wireless facilities.

- a. Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b. Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c. Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

The proposal to install a 45-foot tall faux pine tree and associated equipment complies with the recommendations in the General Plan to be respectful to the neighborhood context.

**Conclusion:**

Staff has reviewed the proposed project and has determined that it is consistent with the purpose and intent of the applicable development regulations of the Land Development Code. With the exception of the equipment enclosure size, the project also complies with the WCF regulations (LDC Section 141.0420). Proposed findings for approval are described in Attachment 5, to support staff's recommendation. As a result, staff recommends that the Planning Commission approve PDP No. 1028076.

**ALTERNATIVES**

1. Approve Planned Development Permit No. 1028076 with modifications.
2. Deny Planned Development Permit No. 1028076, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



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Mike Westlake  
Assistant Deputy Director  
Development Services Department



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Karen Lynch  
Project Manager  
Development Services Department

BROUGHTON/KLA

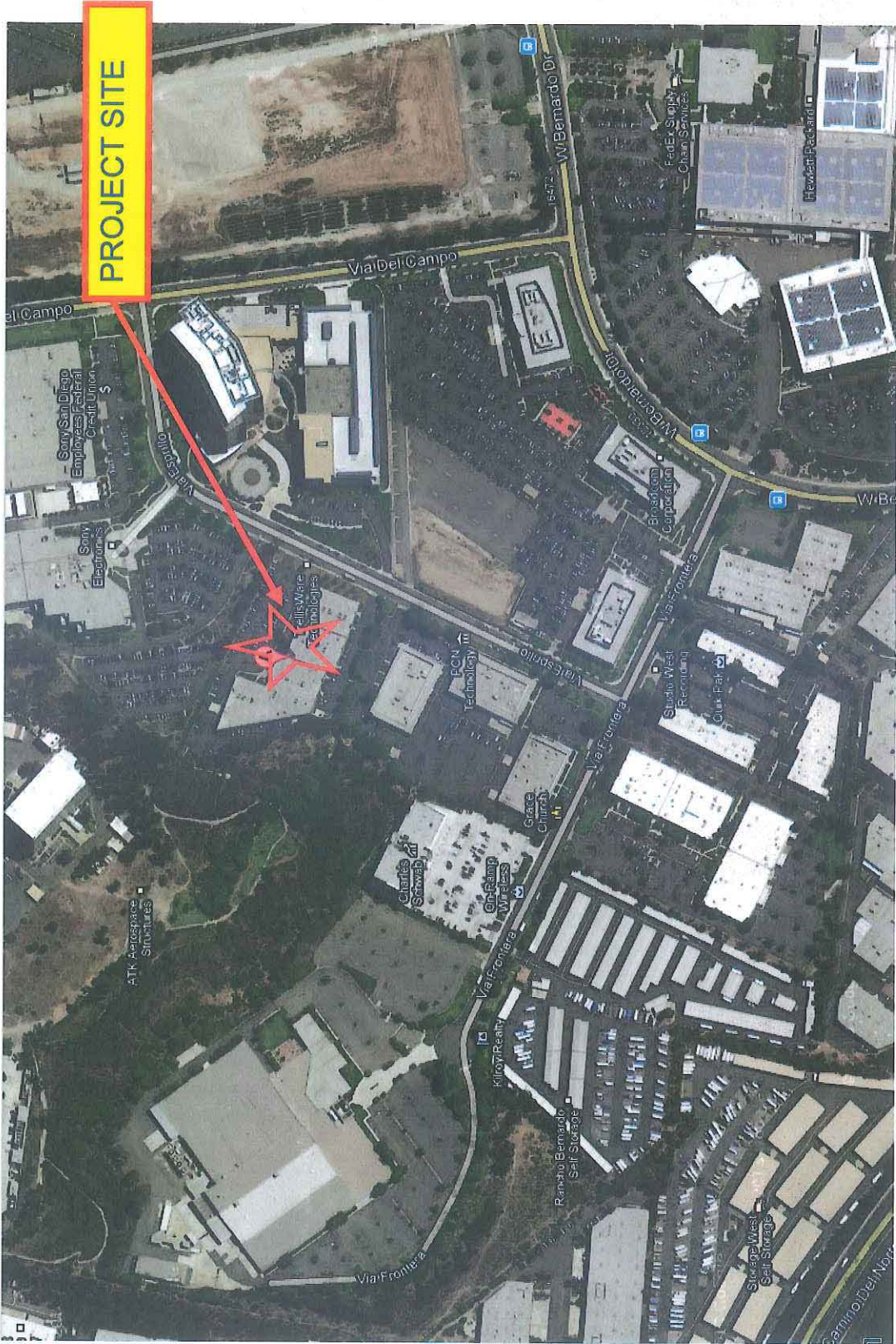
Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet

5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Photographic Survey
9. Photosimulation
10. Community Planning Group Recommendation
11. Coverage Maps
12. Ownership Disclosure Statement
13. Project Chronology
14. Planning Commission Public Hearing Notice
15. Project Plans

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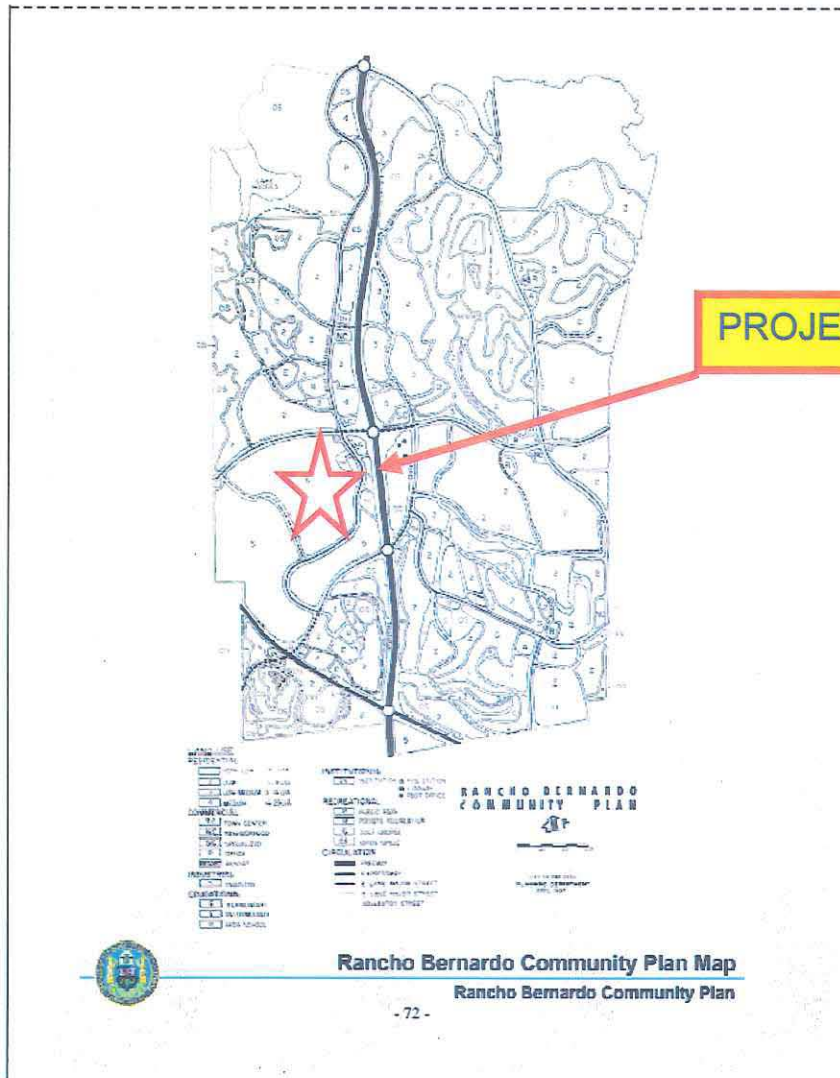


### Aerial Photo

**VERIZON-CLOUDCREST PROJECT NUMBER 293137**

**16530 VIA ESPRILLO**





# RANCHO BERNARDO COMMUNITY PLAN MAP

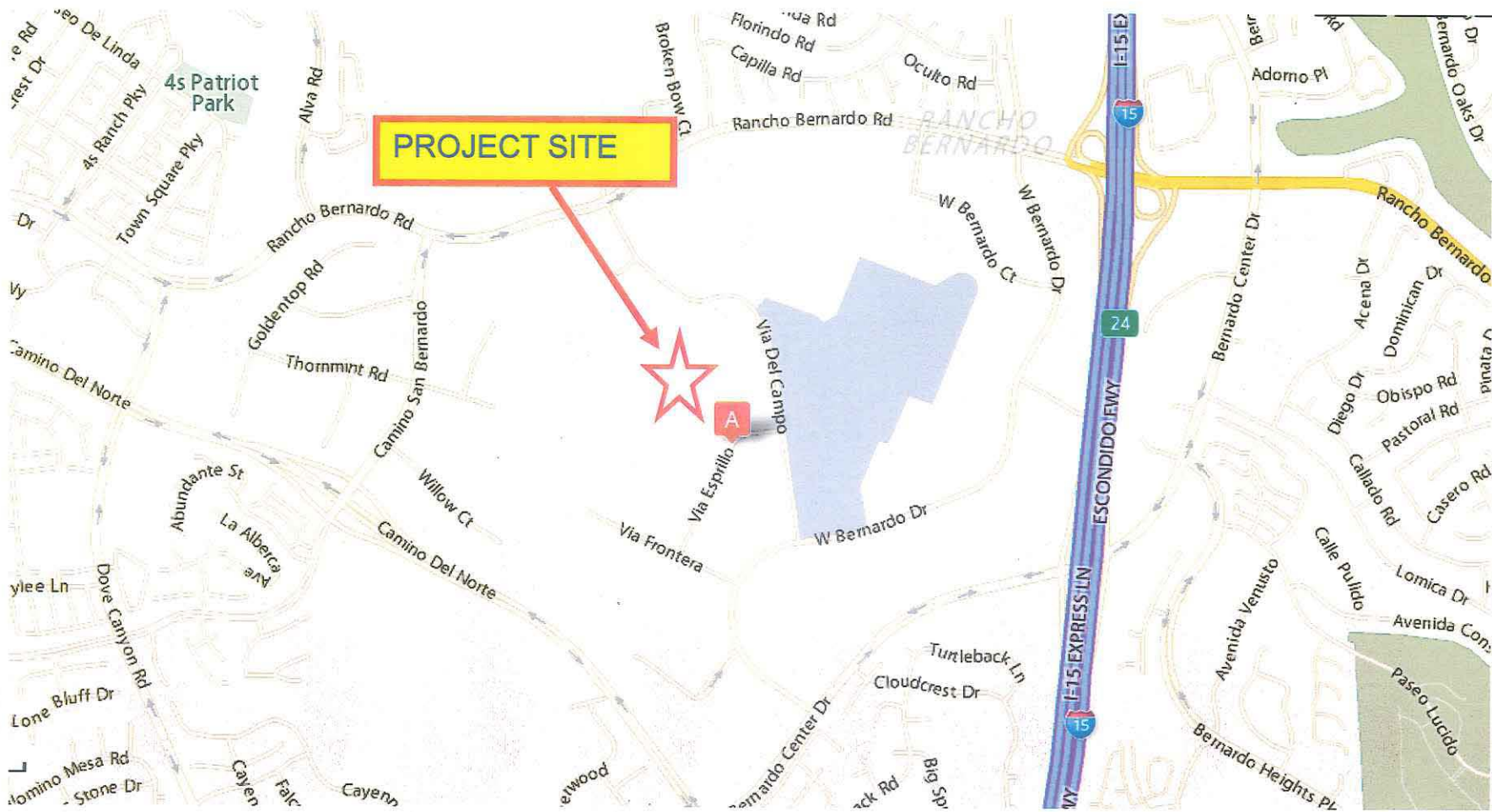


VERIZON- CLOUDCREST PROJECT NUMBER 293137

16530 VIA ESPRILLO







## Project Location Map

**VERIZON- CLOUDCREST PROJECT NUMBER 293137**

**16530 VIA ESPRILLO**





## PROJECT DATA SHEET

<b>PROJECT NAME:</b>	Verizon – Cloudcrest	
<b>PROJECT DESCRIPTION:</b>	Construction of a new 45-foot tall faux pine tree supporting 12 antennas and a 508-square foot equipment enclosure.	
<b>COMMUNITY PLAN AREA:</b>	Rancho Bernardo	
<b>DISCRETIONARY ACTIONS:</b>	Planned Development Permit.	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Industrial	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> IP-2-1 <b>HEIGHT LIMIT:</b> None <b>FRONT SETBACK:</b> 20/25 feet. <b>SIDE SETBACK:</b> 15 feet. <b>REAR SETBACK:</b> 0/15 feet.		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Industrial; IP-2-1.	Industrial
<b>SOUTH:</b>	Industrial; IP-2-1.	Industrial
<b>EAST:</b>	Industrial; IP-2-1.	Industrial
<b>WEST:</b>	Industrial; IP-2-1.	Industrial
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	1. Deviation to allow an equipment enclosure greater than 250-square feet;	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	On December 20, 2012, the Rancho Bernardo Community Planning Board voted 17-1-0 to recommend approval of the Verizon – Cloudcrest project with no conditions.	

**PLANNING COMMISSION  
RESOLUTION NO.  
PLANNED DEVELOPMENT PERMIT NO. 1028076  
VERIZON – CLOUDCREST  
PROJECT NO. 293137  
DRAFT**

WHEREAS, SONY ELECTRONICS, Owner, and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1028076, on portions of a 3.17-acre site;

WHEREAS, the project site is located at 16530 Via Esprillo in the IP-2-1 zone of the Rancho Bernardo Community Planning area;

WHEREAS, the project site is legally described as All that certain real property situated in the County of San Diego, State of California, described as follows: Parcels 6 and 7 of Parcel Map No. 17771, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, October 31, 1996;

WHEREAS, on April 22, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction or Conversion of Small Structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on May 23, 2013, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1028076 pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated May 23, 2013.

FINDINGS:

**Planned Development Permit - Section 126.0604**

**1. The proposed development will not adversely affect the applicable land use plan;**

The Rancho Bernardo Community Plan does not address Wireless Communication Facilities (WCF), however, the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context.

Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. In this case, the project consists of a new 45-foot tall faux pine tree, which will support 12



panel antennas. The associated equipment will be located adjacent to the tree in a 508-square foot enclosure. The project location is at the back of the lot on part of the Sony campus in a landscaped area containing a mixture of mature trees. The WCF will be camouflaged by the existing mature trees in the areas as well as the new 24-inch box Carrot Wood trees that Verizon will be installing with the construction of the faux pine tree. The associated equipment and generator will be enclosed within a concrete block wall enclosure that will be painted and textured to blend into the setting. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare;**

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project will be consistent with the FCC’s regulations for wireless facilities, based on the cumulative model RF study submitted with the project. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

**3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

This project proposes to deviate from the WCF regulations, which permits equipment enclosures up to 250-square feet. The enclosure proposed for this project includes space for the equipment cabinets and associated components, as well as a generator. In total, the enclosure is proposed to be 508-square feet constructed of 8-foot tall concrete blocks with a stucco finish. If this project was designed in strict conformance with the regulations, Verizon would have to eliminate either the generator or some of the equipment cabinets. Doing so would prohibit the WCF from operating during power outages and fewer cabinets supporting the project could potentially reduce the effectiveness of the WCF to provide coverage to the targeted objective. Although the generator would only be operated periodically for maintenance purposes or during a power outage, it is needed as a precaution to safeguard communication services during an emergency situation. The WCF will be tucked back along the southwestern portion of the lot amongst mature trees. Besides the equipment enclosure size, the project complies with the regulations of the Land Development Code and the deviation for the larger enclosure allows this WCF to function during emergency situations. Therefore, the WCF is appropriate at this location and results in a more desirable project than if it was designed in strict conformance with the WCF regulations.



## ATTACHMENT 5

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, PDP No. 1028076 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1028076, a copy of which is attached hereto and made a part hereof.

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Karen Lynch  
Development Project Manager  
Development Services

Adopted on: May 23, 2013

Job Order No. 24003190

**RECORDING REQUESTED BY**  
 CITY OF SAN DIEGO  
 DEVELOPMENT SERVICES  
 PERMIT INTAKE, MAIL STATION 501

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003190

**PLANNED DEVELOPMENT PERMIT NO. 1028076**  
**VERIZON – CLOUDCREST**  
**PROJECT NO. 293137**  
**PLANNING COMMISSION**  
**DRAFT**

This Planned Development Permit No. 1028076 is granted by the Planning Commission of the City of San Diego to Sony Electronics, Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and Chapter 12, Article 6, Division 6. The 3.17 -acre site is located at 16530 Via Esprillo in the IP-2-1 zone of the Rancho Bernardo Community Planning area. The project site is legally described as: All that certain real property situated in the County of San Diego, State of California, described as follows: Parcels 6 and 7 of Parcel Map No. 17771, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, October 31, 1996.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a wireless communication facility as described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 23, 2013, on file in the Development Services Department.

The project shall include:

- a. A 45-foot tall faux pine tree supporting 12 panel antennas measuring x by x by x and one 4-foot diameter microwave dish;
- b. A 508-square foot equipment, which exceeds the WCF regulations (Section 141.0420[g][3]) maximum size of 250-square feet;
- c. Landscaping (planting, irrigation and landscape related improvements);

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 7, 2013.
2. This Planned Development Permit (PDP) and corresponding use of this site shall expire on June 7, 2023. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize Verizon or its successors to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
  - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
  - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.



8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to

control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

**ENGINEERING REQUIREMENTS:**

14. The project proposes to export 262 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall obtain a Nonexclusive Right-of-Way Use Agreement from the City of San Diego for the proposed work in the Via Esprillo Right-of-Way.

17. Prior to the issuance of any construction permit, the Permittee shall obtain a Public Right-of-Way permit for the proposed work in the Via Esprillo Right-of-Way.

18. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

20. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

21. Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

**LANDSCAPE REQUIREMENTS:**

22. Prior to issuance of any construction permits for the telecom facility and associated structures, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance to Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction

plans shall take into account a 40 sq-ft area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

23. Prior to Final Inspection, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.

24. All required landscape shall be maintained by the Owner in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees shall not be permitted.

25. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

#### **PLANNING/DESIGN REQUIREMENTS:**

26. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

27. Prior to issuance of construction documents, the Permittee shall provide the faux tree manufacturers specifications for approval by the Development Services Department.

28. All proposed hand-holes shall be covered with bark material to match the faux pine tree trunk to the satisfaction of the Development Services Department.

29. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. Cable enclosures (referred to as "doghouses") are not permitted.

30. Branches shall extend a minimum of 24-inches beyond the face of the proposed antennas to the satisfaction of the Development Services Department.

31. Starting branch height shall be no lower than 10-feet, as illustrated on the stamped, approved Exhibit "A."

32. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.

33. Radio-frequency transparent "socks" fully covering the front and back of the antennas (and any other components) shall be installed.

34. The applicant is required to provide color samples of the faux tree prior to Building Permit issuance. This is to ensure that the proposed faux tree integrates with the surrounding landscape.

Staff will pre-approve the color sample prior to Building Permit issuance. The exact faux tree color exhibit will be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built faux tree.

35. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
36. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
37. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
38. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."
39. No overhead cabling is allowed for this project.
40. Exposed mounting apparatus shall be removed and shall not remain on the faux tree absent antennas.
41. The Owner/Permittee shall not cause or allow the antennas to be different sizes (length, width, or height) than as shown on the stamped approved plans.
42. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
43. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
44. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.



- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 23, 2013 by Resolution No. XXXXXX.

Permit Type/PTS Approval No.: PDP No. 1028076  
Date of Approval: May 23, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

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Karen Lynch  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

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**The undersigned Owner/Permittee**, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**Verizon Wireless**  
Permittee

By \_\_\_\_\_  
Hal Navarre  
Executive Director

**Sony Electronics**  
Owner

By \_\_\_\_\_  
NAME:  
TITLE:

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**

NOTICE OF EXEMPTION

ATTACHMENT 7

TO:  X  RECORDER/COUNTY CLERK  
P.O. BOX 1750, MS A-33  
1600 PACIFIC HWY, ROOM 260  
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO  
DEVELOPMENT SERVICES DEPARTMENT  
1222 FIRST AVENUE, MS 501  
SAN DIEGO, CA 92101

           OFFICE OF PLANNING AND RESEARCH  
1400 TENTH STREET, ROOM 121  
SACRAMENTO, CA 95814

PROJECT No.: 293137                      PROJECT TITLE: VERIZON CLOUDCREST

PROJECT LOCATION-SPECIFIC: 16530 VIA ESPRILLO, SAN DIEGO, CA 92127  
PROJECT LOCATION-CITY/COUNTY: SAN DIEGO/SAN DIEGO

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: PLANNED DEVELOPMENT PERMIT (PDP) for a new Wireless Communication Facility (WCF) that would consist of a 45-foot-tall faux tree supporting twelve (12) panel antennas. The associated equipment would be located in a new 508-square-foot cement block enclosure adjacent to the faux tree. The facility is proposed on the western portion (rear) of the property located at 16530 Via Esprillo in the IP-2-1 zone of the Rancho Bernardo Community plan area.

NAME OF PUBLIC AGENCY APPROVING PROJECT: CITY OF SAN DIEGO

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: KERRIGAN DIEHL, PLANCOM, INC., 302 STATE PLACE, ESCONDIDO, 2<sup>ND</sup> FLOOR, CA 92029; 760-587-3003.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION : SECTIONS 15303 (NEW CONSTRUCTION)

REASONS WHY PROJECT IS EXEMPT: The project has been determined to be exempt from CEQA pursuant to Section 15303. Section 15303 allows for the construction and location of limited numbers of new, small facilities and the installation of small, new equipment and facilities including, but not limited to, accessory structures. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore these exemptions are applicable to the proposed project.

LEAD AGENCY CONTACT PERSON: M.BLAKE

TELEPHONE: (619) 446-5375

IF FILED BY APPLICANT:

- 1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
- 2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?  
(X) YES      ( ) NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA



\_\_\_\_\_  
M. BLAKE/SENIOR PLANNER

\_\_\_\_\_  
APRIL 22, 2013

DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



View North

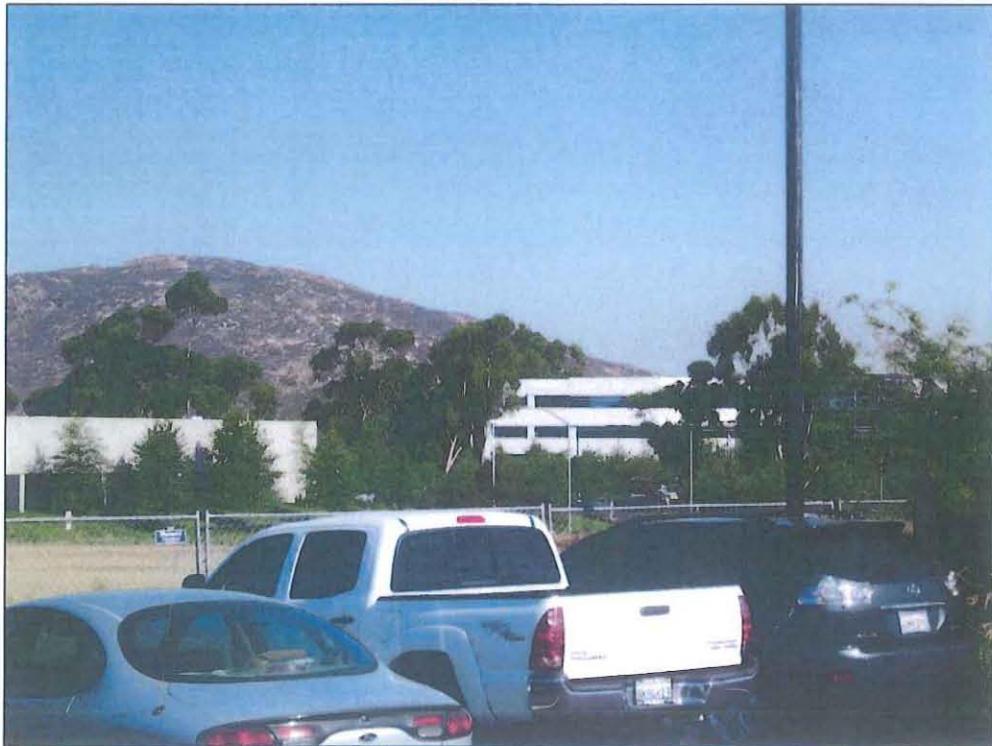


View South





View East



View North at Site



View West at Site



View South at Site





View of Original Rooftop Candidate  
Reviewed & Approved under PTS#165382 in 2008.







Aerial View of Subject Site

**EXISTING**

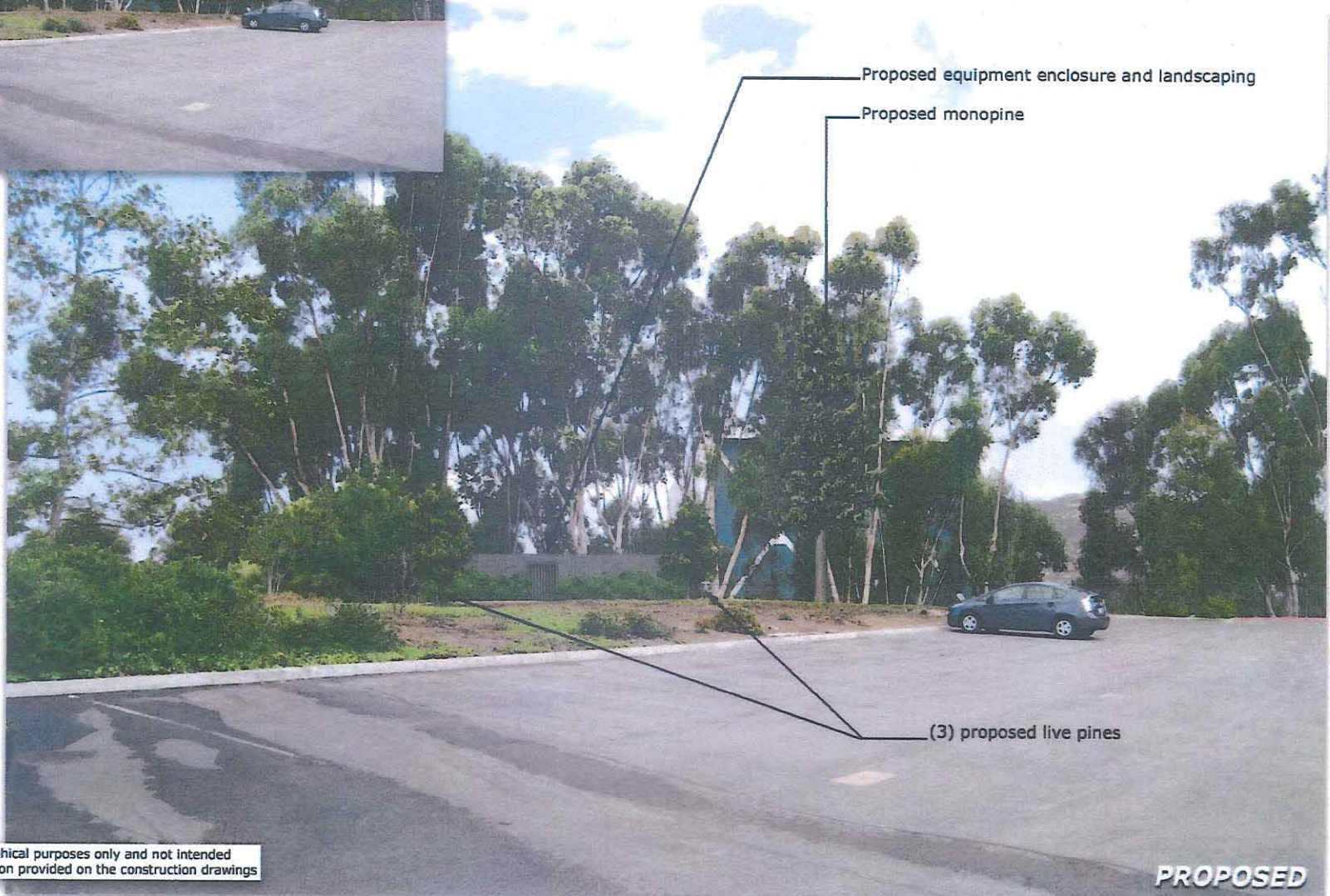


**Cloudcrest (SONY)**  
16530 Via Esprillo Drive  
San Diego, CA 92128



Proposed equipment enclosure and landscaping

Proposed monopine



(3) proposed live pines

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**PROPOSED**

1/17/2013

**Photosimulation of proposed telecommunications site**

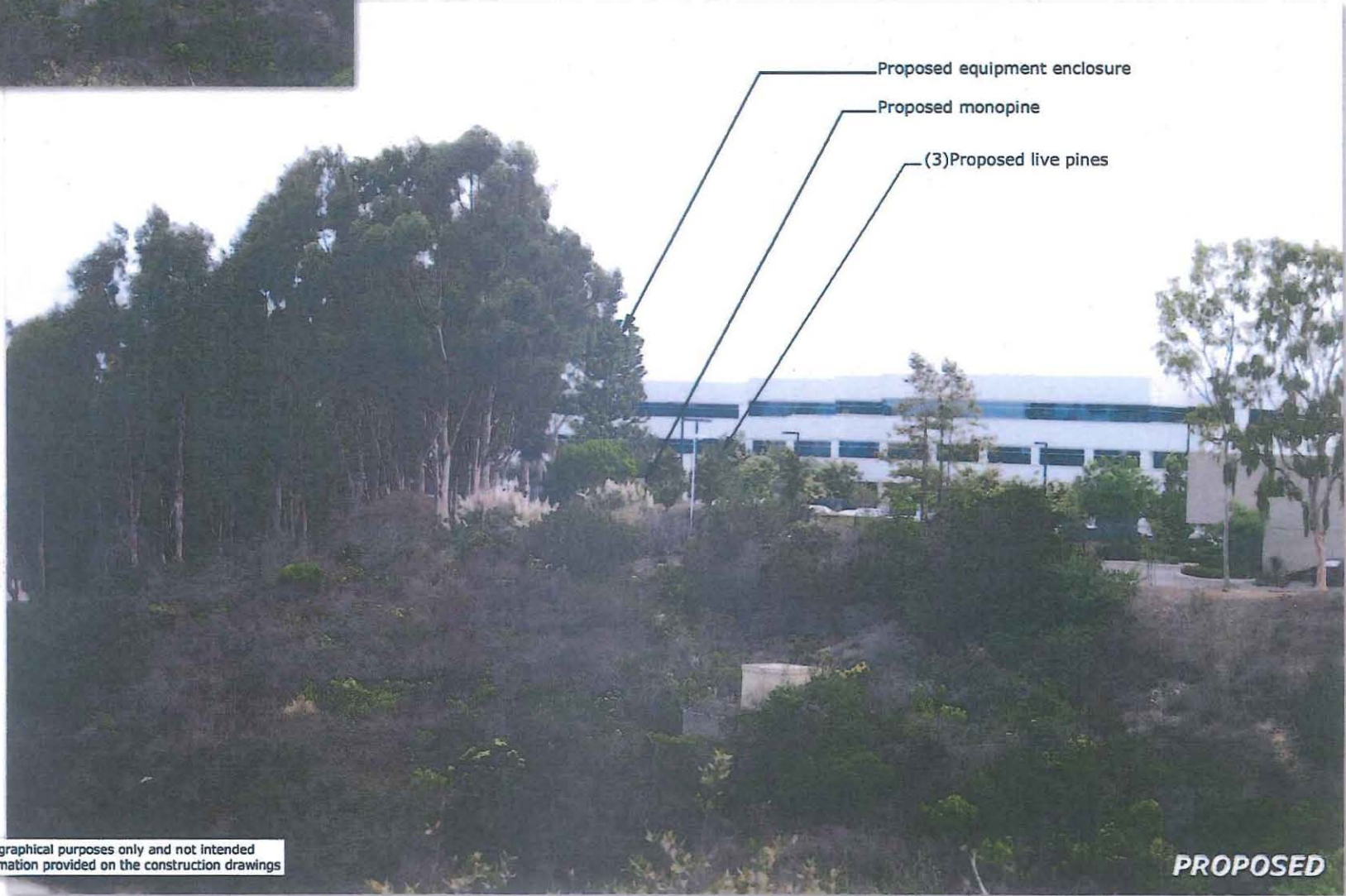
ATTACHMENT 9



EXISTING



**Cloudcrest (SONY)**  
 16530 Via Esprillo Drive  
 San Diego, CA 92128

2

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**PROPOSED**

1/17/2013

**Photosimulation of proposed telecommunications site**

ATTACHMENT 9

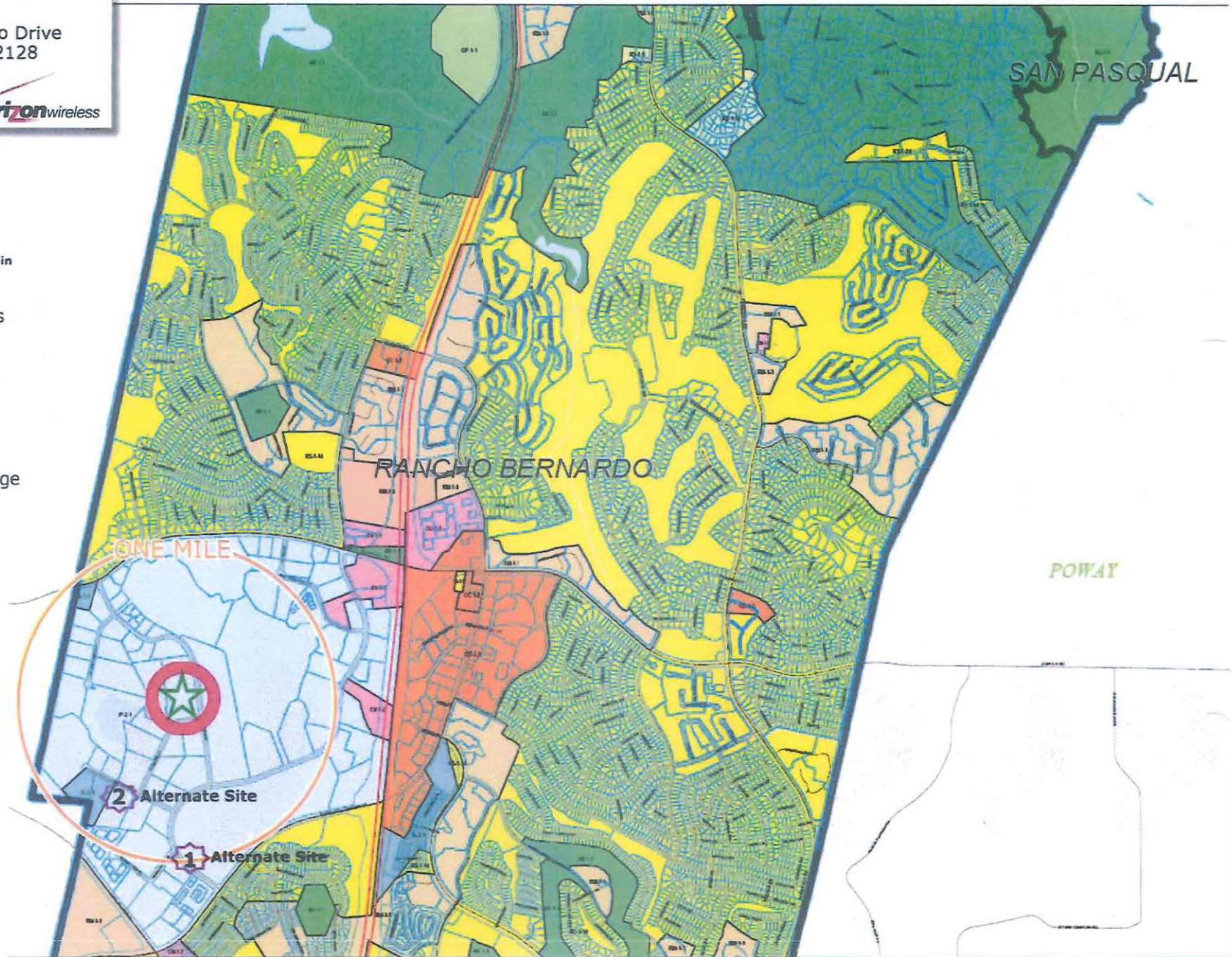


**Cloudcrest**  
 16530 Via Esprillo Drive  
 San Diego, CA 92128



**Legend**

- Search Ring
- Selected Site
- Existing sites within 1 mile radius:
- No existing sites within 1 mile
- Alternative Sites:
- 1. HP Campus
- 2. RB Mini Storage



ATTACHMENT 11

SanGIS BaseMap Accuracy  
 SanGIS Layer 1: All base map data for the City of San Diego created 20.7  
 Professional Accuracy at the 25% confidence level.  
 This data meets the ASPRS Standard for Class 1 Map Accuracy of a scale of  
 1:12,500 (+/-1.00%).  
 This information is provided as a service to the public. It is not intended  
 to be used for navigation or other purposes. The user of this information is  
 responsible for determining the accuracy and reliability of the information.



**City of San Diego**  
**Development Services Department**



**GRID TILE: 43**

GRID SCALE: 800  
 DATE: 12/18/2007 6:54:58 PM

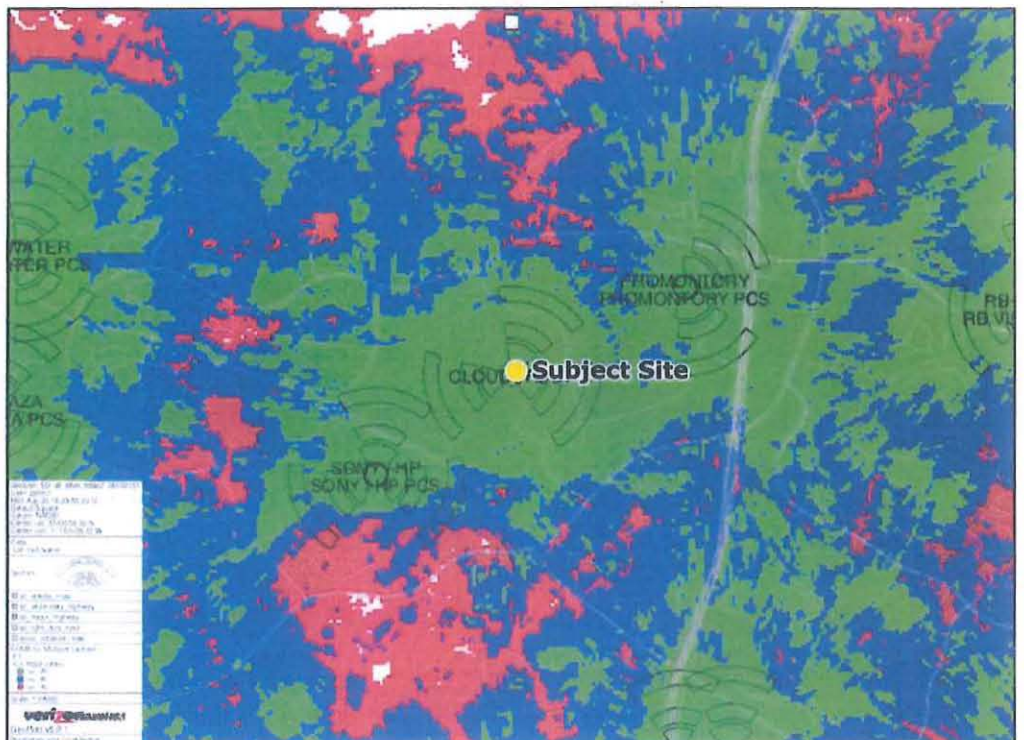
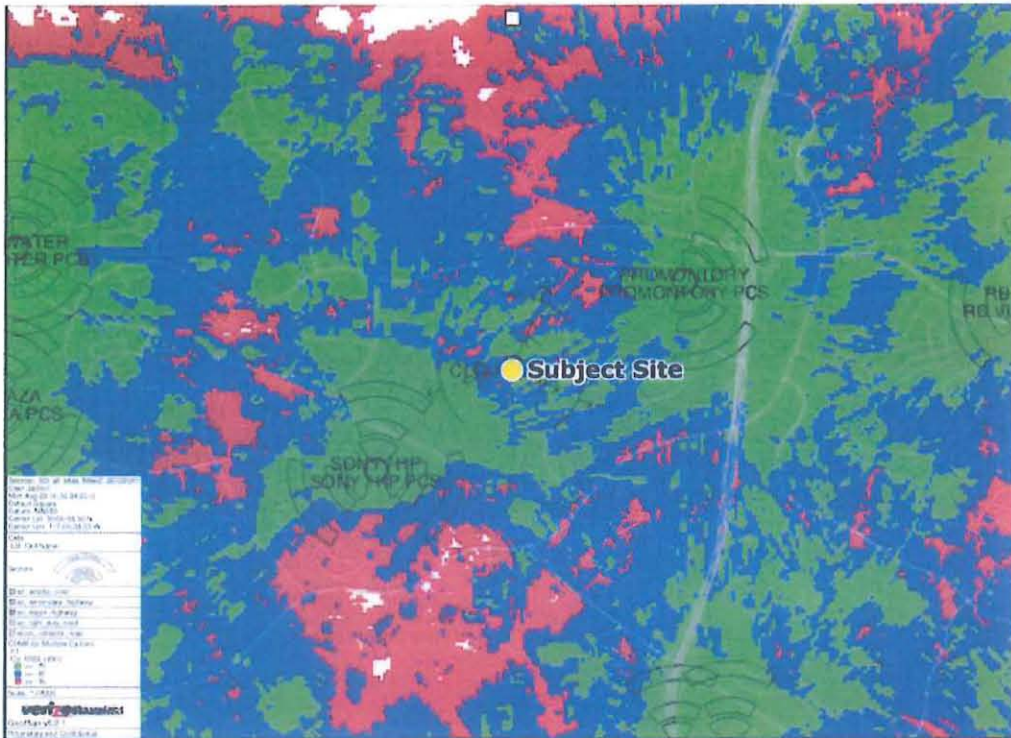


ATTACHMENT11

C. dcrest  
 16530 Via Esprillo Drive  
 San Diego, CA 92128



**Existing coverage**



**Coverage Levels:**

- Excellent
- Good/Variable
- Poor

8/20/2012

**Proposed coverage**





# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other \_\_\_\_\_

Project Title \_\_\_\_\_ Project No. For City Use Only \_\_\_\_\_

Verizon - CLOUDCREST

Project Address:

16350 Via Esprillo, San Diego CA 92127

**Parcel Information (complete when property is held by individual(s))**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print): \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Name of Individual (type or print): \_\_\_\_\_

Owner  Tenant/Lessee  Redevelopment Agency

Owner  Tenant/Lessee  Redevelopment Agency

Street Address: \_\_\_\_\_

Street Address: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

City/State/Zip: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_

Signature : \_\_\_\_\_ Date: \_\_\_\_\_



Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

**Part II. To be completed when property is held by a corporation or partnership**

**Legal Status (please check):**

Corporation     Limited Liability -or-     General)    What State? \_\_\_\_\_    Corporate Identification No. \_\_\_\_\_  
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.    Additional pages attached     Yes     No

Corporate/Partnership Name (type or print):  
**Sony Electronics**

Owner     Tenant/Lessee


Street Address:  
**16350 Via Esprillo**

City/State/Zip:  
**San Diego, California 92127**

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_  
**( 858) 942-5128**

Name of Corporate Officer/Partner (type or print):  
**Derek Bush**

Title (type or print):  
**V.P. Facilities & Procurement**

Signature:  Date: **8/17/12**

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Corporate/Partnership Name (type or print):

Owner     Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: \_\_\_\_\_ Fax No: \_\_\_\_\_

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



**PROJECT CHRONOLOGY  
VERIZON – CLOUDCREST  
PTS NO. 293137**

<b>Date</b>	<b>Action</b>	<b>Description</b>	<b>City Review Time</b>	<b>Applicant Response</b>
8/28/12	Submittal for Completeness Check			
9/27/12	Completeness Review Assessment		30 days	
10/17/12	First Full Submittal	Deemed Complete		20 days
1/4/12	First Assessment		2 month, 18 days	
1/23/13	Second Submittal			19 days
3/25/13	Issues Resolved		2 months, 2 days	
4/22/13	Environmental Determination			28 days
5/23/13	Planning Commission Hearing		31 days	
<b>TOTAL STAFF TIME**</b>			<b>6 months, 21 days</b>	
<b>TOTAL APPLICANT TIME**</b>				<b>2 months, 7 days</b>
<b>TOTAL PROJECT RUNNING TIME**</b>			<b>8 months, 25 days</b>	

\*\*Based on 30 days equals to one month.



THE CITY OF SAN DIEGO

DATE OF NOTICE: May 9, 2013

# NOTICE OF PUBLIC HEARING PLANNING COMMISSION

---

**DATE OF HEARING:** May 23, 2013  
**TIME OF HEARING:** 9:00 A.M.  
**LOCATION OF HEARING:** Council Chambers, 12th Floor, City Administration Building,  
202 C Street, San Diego, California 92101

**PROJECT TYPE:** PLANNED DEVELOPMENT PERMIT, EXEMPT FROM  
CEQA PROCESS FOUR

**PROJECT NUMBER:** 293137  
**PROJECT NAME:** VERIZON - CLOUDCREST  
**APPLICANT:** SHELLY KILBOURN, PLANCOM, INC.

**COMMUNITY PLAN AREA:** Rancho Bernardo  
**COUNCIL DISTRICT:** 5

**CITY PROJECT MANAGER:** Karen Lynch-Ashcraft, Development Project Manager  
**PHONE NUMBER/E-MAIL:** (619) 446-5351 / [klynchash@sandiego.gov](mailto:klynchash@sandiego.gov)

---

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a wireless communication facility (wcf) consisting of a 45-foot tall faux pine tree supporting 12 panel antennas with associated equipment located in an adjacent 508-square foot cement block enclosure. The wcf is proposed on the western portion of the property located at 16530 Via Esprillo.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services) or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be

## ATTACHMENT 14

limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on April 22, 2013 and the opportunity to appeal that determination ended May 6, 2013.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

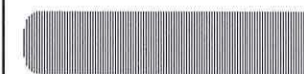
This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24003190

Revised 10-4-12 HMD-



**Booth & Suarez**  
 ARCHITECTURE ■ INCORPORATED  
 325 CARLSBAD VILLAGE DRIVE, SUITE D2  
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**CLOUDCREST**

16530 VIA ESPRILLO  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

02/01/10	90% ZD (ej)
08/23/10	100% ZD (ej)
08/14/10	REVISED 100% ZD (rd)
11/01/10	REVISED 100% ZD (rd)
08/03/11	REVISED 100% ZD (rd)
08/21/12	REVISED 100% ZD (se)
10/08/12	REVISED 100% ZD (se)
10/10/12	REVISED 100% ZD (se)
12/18/12	REVISED 100% ZD (se)
01/15/13	REVISED 100% ZD (se)
02/13/13	REVISED 100% ZD (se)
04/15/13	REVISED 100% ZD (se)
04/16/13	REVISED 100% ZD (se)

SHEET TITLE

**TITLE SHEET & PROJECT DATA**

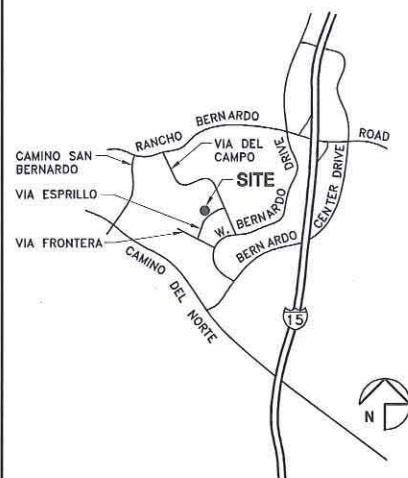
PROJECTS\Verizon\08083zd

**T-1**

# verizon wireless

**CLOUDCREST**  
 16530 VIA ESPRILLO  
 SAN DIEGO, CA 92128

**VICINITY MAP**



THOMAS GUIDE PAGE 1169, H3

ADDRESS  
 16530 VIA ESPRILLO  
 SAN DIEGO, CA 92128

**DIRECTIONS:**

TAKE I-5 SOUTH TO SR-78 EAST; CONTINUE EAST ON SR-78 TO I-15 SOUTH TO THE RANCHO BERNARDO ROAD EXIT; EXIT ON RANCHO BERNARDO ROAD AND TURN RIGHT; CONTINUE ON RANCHO BERNARDO ROAD TO THE FIRST LIGHT WHICH IS WEST BERNARDO DRIVE; CONTINUE SOUTH ON WEST BERNARDO DRIVE UP THE HILL TO VIA DEL CAMPO; TURN RIGHT ONTO VIA DEL CAMPO AND CONTINUE TO 1ST LEFT - VIA ESPRILLO DRIVE; TURN LEFT ON VIA ESPRILLO DRIVE AND CONTINUE TO SITE.

**ACCESSIBILITY DISCLAIMER**

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

**CONSULTANT TEAM**

**ARCHITECT:**  
 BOOTH & SUAREZ ARCHITECTURE, INC.  
 325 CARLSBAD VILLAGE DRIVE, SUITE D2  
 CARLSBAD, CA 92008  
 (760) 434-8474  
 (760) 434-8596 (FAX)

**SURVEYOR:**  
 JRN CIVIL ENGINEERS  
 232 AVENIDA FABRICANTE, SUITE 107  
 SAN CLEMENTE CA 92672  
 (949) 248-4685

**LEASING/PLANNING**

PLANCOM, INC.  
 BRENT HELMING  
 302 STATE PLACE  
 ESCONDIDO, CA 92029  
 (760) 533-6065

**PROJECT SUMMARY**

**APPLICANT:** VERIZON WIRELESS  
 15505 SAND CANYON AVENUE  
 IRVINE, CA 92618  
**CONTACT:** BRENT HELMING  
 PHONE: (760) 533-6065

**OWNER:** SONY ELECTRONICS, INC.  
 16530 VIA ESPRILLO  
 SAN DIEGO, CA 92128  
**SITE CONTACT:** BRIAN R. GOERRS  
 (858) 942-4306

**PROJECT DESCRIPTION:**

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW 14'-8" x 34'-8" CONCRETE BLOCK EQUIPMENT ENCLOSURE ON A CONCRETE A PAD.
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED TO A PROPOSED 45'-0" HIGH MONOPINE (9) 50.91" LENGTH x 11.85" WIDTH x 7.1" DEPTH (3) 54" LENGTH x 12" WIDTH x 8" DEPTH
- INSTALLATION OF A 20kW ENCLOSED EMERGENCY GENERATOR WITH A 52 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD WITH A CONTAINMENT CURB INSIDE A CONCRETE BLOCK WALL ENCLOSURE.
- INSTALLATION OF THREE (3) NEW GPS ANTENNAS
- INSTALLATION OF NEW 200 AMP ELECTRICAL SERVICE
- INSTALLATION OF NEW TELCO SERVICE
- MINOR LANDSCAPE & IRRIGATION IS PLANNED FOR THIS PROJECT

**LEGAL DESCRIPTION:**

PARCEL 7 OF PARCEL MAP NO. 17771, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 31, 1996.

**PROJECT ADDRESS:** 16530 VIA ESPRILLO  
 SAN DIEGO, CA 92128

**ASSESSORS PARCEL NUMBER:** 678-272-15-00

**EXISTING ZONING:** IP-2-1 (INDUSTRIAL PARK)

**TOTAL SITE AREA:** 137,904 SF  
 3.17 ACRES

**PROPOSED PROJECT AREA:** 508 SF

**PROPOSED OCCUPANCY:** NONE (EXTERIOR RADIO EQUIPMENT CABINETS ONLY)

**PROPOSED TYPE OF CONSTRUCTION:** NONE (EXTERIOR RADIO EQUIPMENT CABINETS ONLY)

NOTE: THERE ARE NO EXISTING TELECOMMUNICATIONS FACILITIES ON SITE

**PERMITS REQUIRED**

- PLANNED DEVELOPMENT PERMIT (PROCESS 4)

**SCALE**

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE.

**SHEET SCHEDULE**

- T-1 TITLE SHEET & PROJECT DATA
- A-0 SITE PLAN
- A-1 ENLARGED SITE PLAN
- A-2 EQUIPMENT ENCLOSURE PLAN
- A-3 EXTERIOR ELEVATIONS
- A-4 EXTERIOR ELEVATIONS
- A-5 MONOPINE ELEVATION & DETAILS
- L-1 LANDSCAPE DEVELOPMENT PLAN
- L-2 PLANTING LEGEND
- C-1 SITE SURVEY

**APPLICABLE CODES**

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
 CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION  
 CALIFORNIA PLUMBING CODE, 2010 EDITION  
 CALIFORNIA MECHANICAL CODE, 2010 EDITION  
 CALIFORNIA ELECTRICAL CODE, 2010 EDITION  
 CALIFORNIA FIRE CODE, 2010 EDITION  
 CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL



**Booth & Suarez**  
 ARCHITECTURE INCORPORATED  
 395 CARLSBAD VILLAGE DRIVE, SUITE D2  
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR  
  
 P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME  
**CLOUDCREST**  
 16530 VIA ESPRILLO  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

02/01/10	90% ZD (cl)
08/23/10	100% ZD (cl)
09/14/10	REVISED 100% ZD (rd)
11/01/10	REVISED 100% ZD (rd)
08/03/11	REVISED 100% ZD (rd)
08/21/12	REVISED 100% ZD (se)
10/08/12	REVISED 100% ZD (se)
10/10/12	REVISED 100% ZD (se)
12/18/12	REVISED 100% ZD (se)
01/15/13	REVISED 100% ZD (se)
02/13/13	REVISED 100% ZD (se)
04/15/13	REVISED 100% ZD (se)
04/16/13	REVISED 100% ZD (se)

SHEET TITLE  
**SITE PLAN**

PROJECTS\Verizon\08083zd  
**A-0**

- ENGINEERING NOTES:**
- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
  - PROPOSED EQUIPMENT WITHIN THE VIA ESPRILLO RIGHT-OF-WAY WILL NOT HAVE CABINET DOORS, WHEN OPENED, BLOCK THE PUBLIC SIDEWALK AND WILL ASSURE A 4 FEET MINIMUM CLEAR SIDEWALK IS MAINTAINED AT ALL TIMES.
  - THE PROPOSED EQUIPMENT ENCLOSURE WILL NOT BLOCK OR ALTER THE EXISTING STORM WATER DRAINAGE PATTERN.
  - NO STORM WATER RUN-OFF FROM THE PROPOSED EQUIPMENT ENCLOSURE WILL BE DISCHARGED ONTO THE EXISTING WEST SIDE.
  - AT ALL PRIVATE UTILITY CROSSINGS WITH THE CITY OF SAN DIEGO UTILITIES, APPLICANT SHALL MAINTAIN A MINIMUM 12 INCH VERTICAL AND 5 FEET HORIZONTAL CLEARANCE.
  - THE APPLICANT SHALL OBTAIN A NONEXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE VIA ESPRILLO RIGHT-OF-WAY.
  - THE APPLICANT SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR THE PROPOSED WORK IN THE VIA ESPRILLO RIGHT-OF-WAY.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCL). THE WPCL SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
  - SAN DIEGO MUNICIPAL CODE SECTION 142.0607 REPAIR AND REPLACEMENT OF PUBLIC FACILITIES, WHERE IN THE COURSE OF DEVELOPMENT OF PRIVATE PROPERTY, PUBLIC FACILITIES ARE DAMAGED OR REMOVED THE PROPERTY OWNER/PERMITTEE SHALL, AT NO COST TO THE CITY, REPAIR OR REPLACE THE PUBLIC FACILITY TO THE SATISFACTION OF THE CITY ENGINEER.

**Lessor's Certificate**  
 Standard Wireless Facility Project  
 For Post-construction BMP's

I, we the undersigned, as lessor of a portion of the property described as:  
 16530 VIA ESPRILLO, SAN DIEGO, CA 92128  
 (Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMP's.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

**Sediments**  
 Nutrients  
 Trash & debris  
 Oxygen Demanding Substance  
 Oil & Grease  
 Pesticides & Herbicides  
 Fertilizers

I/We will incorporate the following into the site design:

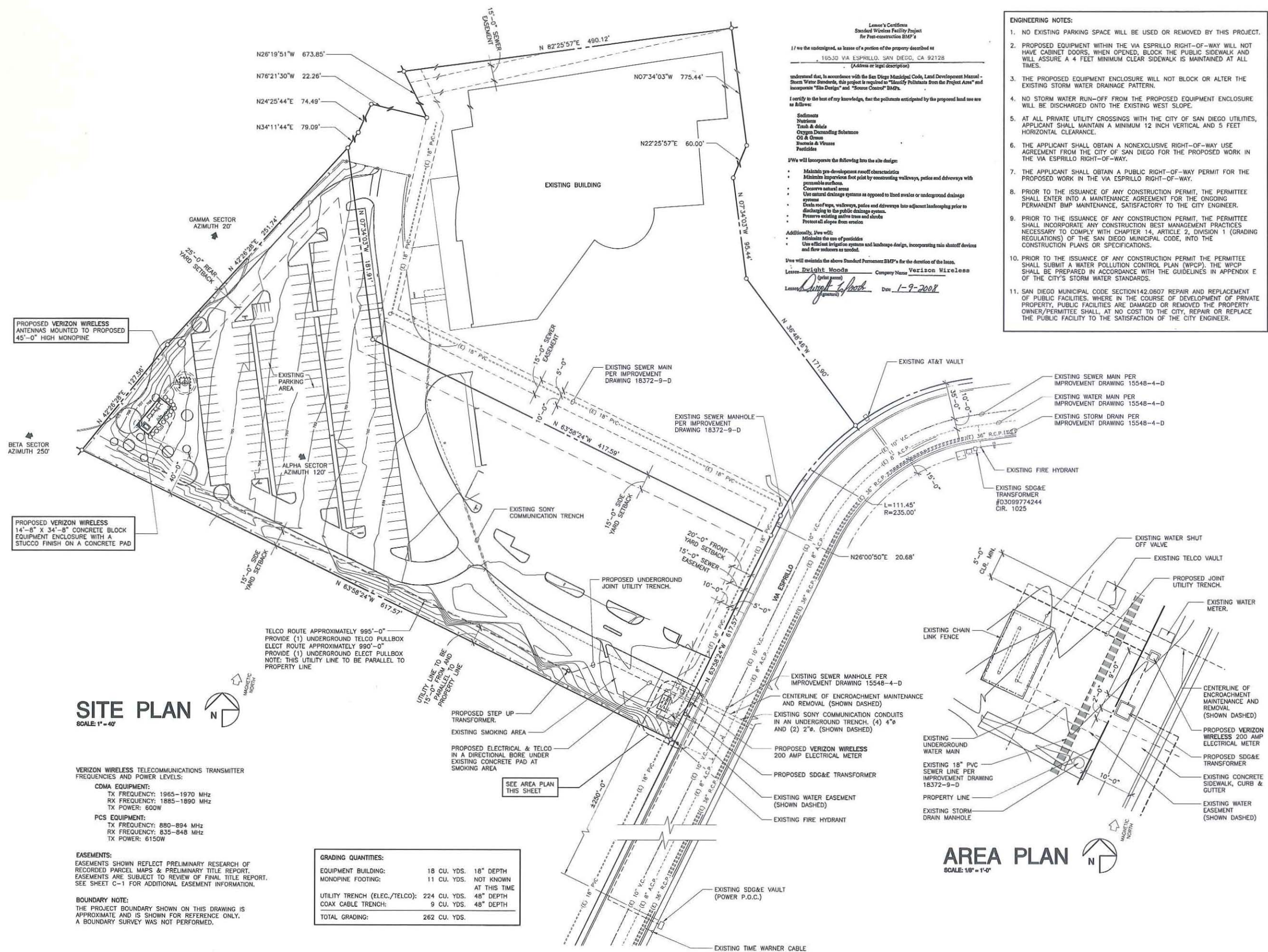
- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Design roof tops, walkways, patios and driveways to adjacent landscaping prior to discharging to the public drainage system
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shut-off devices and flow reducers as needed.

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessor: **Dwight J. Booth** Date: **1-9-2008**  
 Company Name: **Verizon Wireless**



PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED TO PROPOSED 45'-0" HIGH MONOPINE

PROPOSED VERIZON WIRELESS 14'-8" X 34'-8" CONCRETE BLOCK EQUIPMENT ENCLOSURE WITH A STUCCO FINISH ON A CONCRETE PAD

**SITE PLAN**  
 SCALE: 1" = 40'

VERIZON WIRELESS TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:

**CDMA EQUIPMENT:**  
 TX FREQUENCY: 1965-1970 MHz  
 RX FREQUENCY: 1885-1890 MHz  
 TX POWER: 600W

**PCS EQUIPMENT:**  
 TX FREQUENCY: 880-894 MHz  
 RX FREQUENCY: 835-848 MHz  
 TX POWER: 6150W

**EASEMENTS:**  
 EASEMENTS SHOWN REFLECT PRELIMINARY RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL EASEMENT INFORMATION.

**BOUNDARY NOTE:**  
 THE PROJECT BOUNDARY SHOWN ON THIS DRAWING IS APPROXIMATE AND IS SHOWN FOR REFERENCE ONLY. A BOUNDARY SURVEY WAS NOT PERFORMED.

**GRADING QUANTITIES:**

EQUIPMENT BUILDING:	18 CU. YDS.	18" DEPTH
MONOPINE FOOTING:	11 CU. YDS.	NOT KNOWN AT THIS TIME
UTILITY TRENCH (ELEC./TELCO):	224 CU. YDS.	48" DEPTH
COAX CABLE TRENCH:	9 CU. YDS.	48" DEPTH
<b>TOTAL GRADING:</b>	<b>262 CU. YDS.</b>	

**AREA PLAN**  
 SCALE: 1/8" = 1'-0"



**Booth & Suarez**  
 ARCHITECTURE INCORPORATED  
 325 CARLSBAD VILLAGE DRIVE, SUITE D2  
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR  
  
 P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

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RE	DATE
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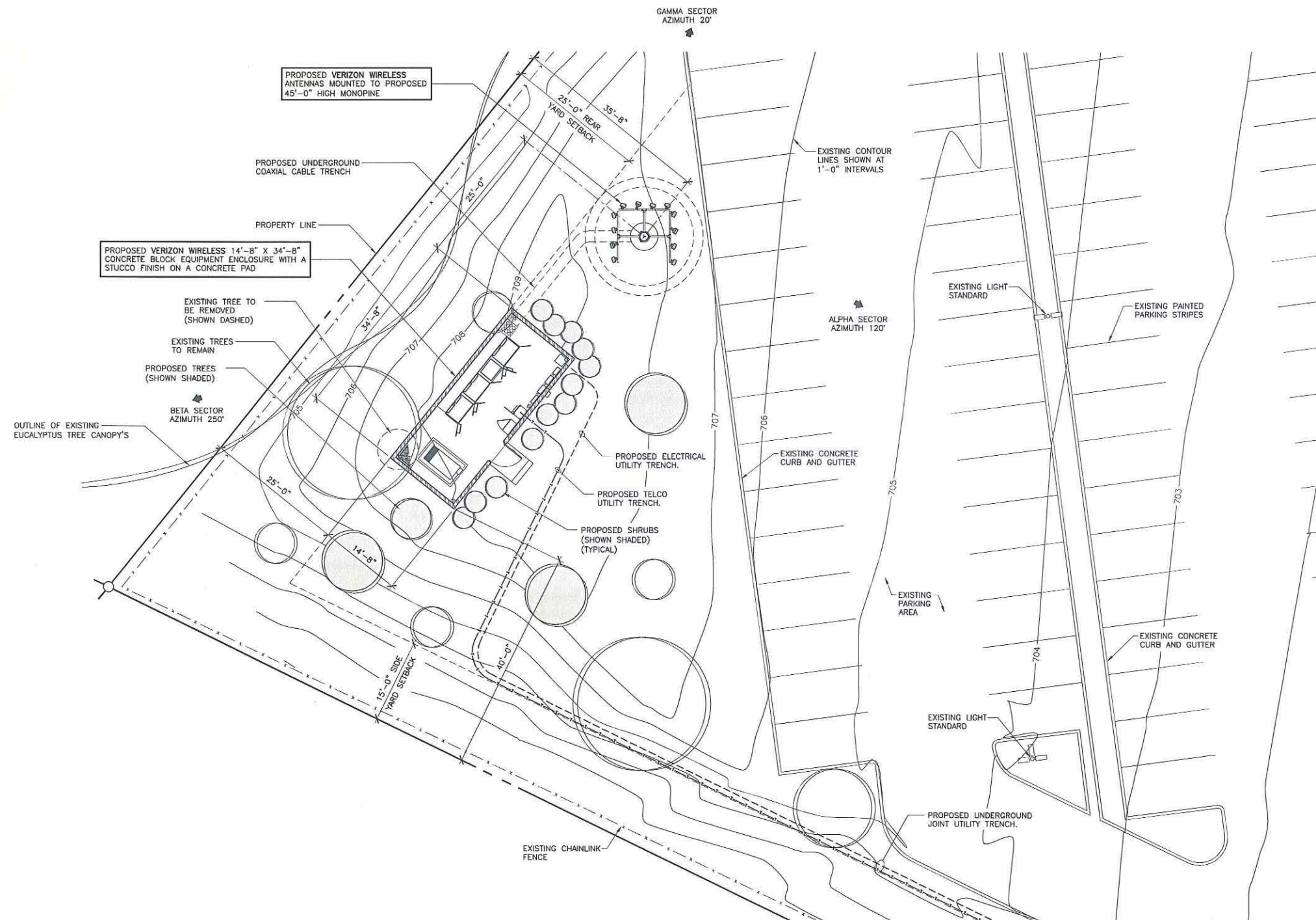
PROJECT NAME  
**CLOUDCREST**  
 16530 VIA ESPRILLO  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

02/01/10	90% ZD (c)
08/23/10	100% ZD (c)
09/14/10	REVISED 100% ZD (rd)
11/01/10	REVISED 100% ZD (rd)
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04/16/13	REVISED 100% ZD (se)

SHEET TITLE  
**ENLARGED SITE PLAN**

PROJECTS\Verizon\08083zd



**ENLARGED SITE PLAN**  
 SCALE: 1" = 40'







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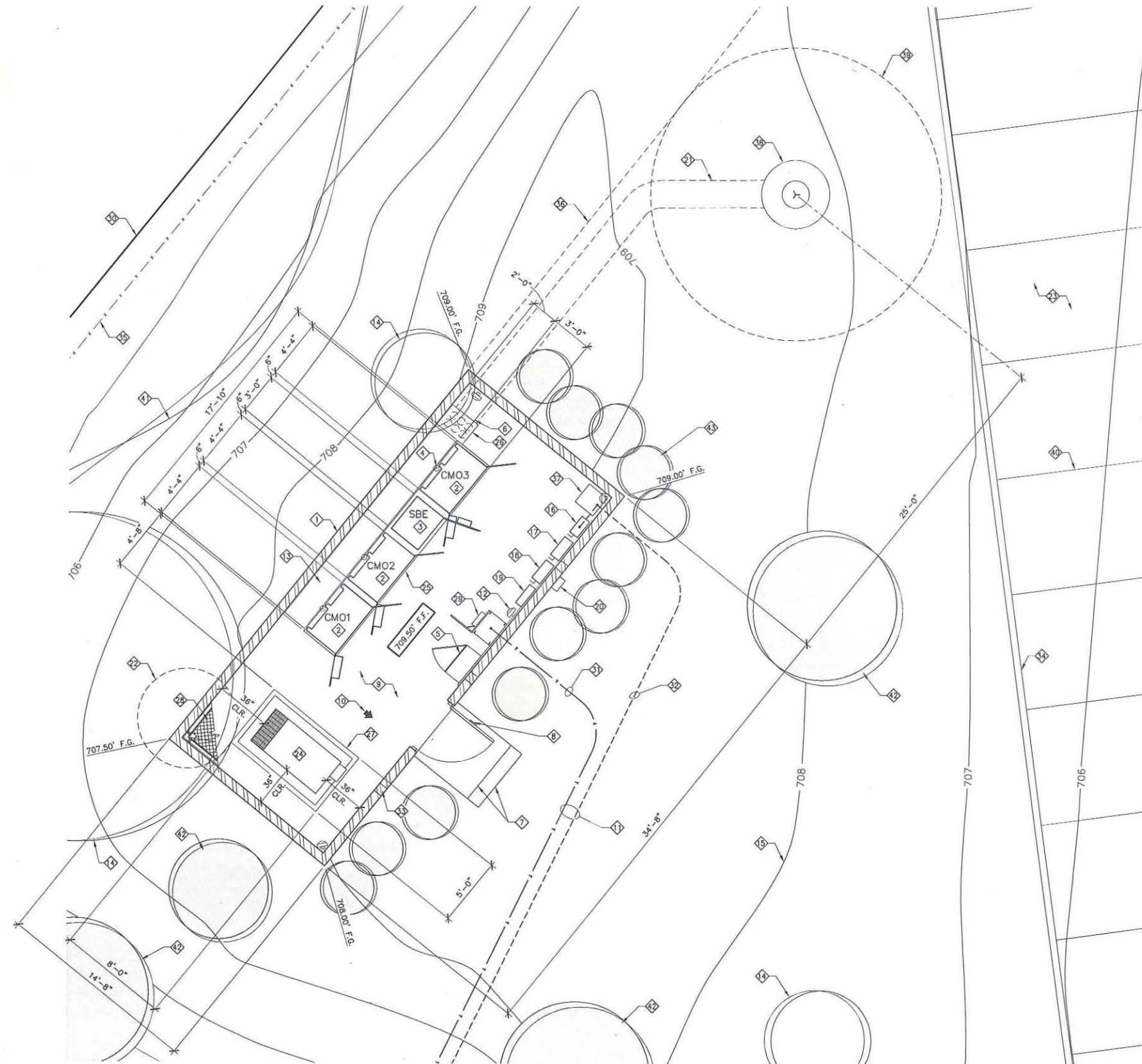
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04/16/13	REVISED 100% ZD (se)

SHEET TITLE

**EQUIPMENT ENCLOSURE PLAN**

PROJECTS\Verizon\08083zd



**EQUIPMENT ENCLOSURE NOTES:**

- 1 PROPOSED VERIZON WIRELESS CONCRETE BLOCK WALL EQUIPMENT ENCLOSURE WITH STUCCO FINISH.
- 2 PROPOSED VERIZON WIRELESS 'CMO' COMPACT METRO CELL OUTDOOR EQUIPMENT ENCLOSURE (TYPICAL OF 3). 52" WIDE x 55" HIGH x 30" DEEP. WEIGHT: 2082 LBS.
- 3 PROPOSED VERIZON WIRELESS SIMPLIFIED BATTERY ENCLOSURE (SBE). 36" WIDE x 57" HIGH x 30" DEEP. WEIGHT: 2375 LBS.
- 4 PROPOSED GPS ANTENNA MOUNTED TO EACH "CMO" EQUIPMENT CABINET (TYPICAL OF 3).
- 5 PROPOSED TELCO CABINET "THE BEAST" UNISTRUT MOUNTED TO WALL.
- 6 PROPOSED (6) 4" COAX CABLE CONDUITS
- 7 PROPOSED CONCRETE LANDING AND STEP
- 8 PROPOSED STEEL GATE AND FRAME WITH LOCKABLE ACCESS AND VERIZON WIRELESS SIGNAGE
- 9 PROPOSED POURED-IN-PLACE CONCRETE PAD FOR VERIZON WIRELESS CABINETS.
- 10 CONCRETE SLOPED TO DRAIN. 1% MIN.
- 11 PROPOSED VERIZON WIRELESS UNDERGROUND JOINT UTILITY TRENCH. PATCH AND REPAIR IN-KIND ALL PAVING AND LANDSCAPE AREA DAMAGED IN COURSE OF CONSTRUCTION.
- 12 PROPOSED WALL MOUNTED LIGHT FIXTURE ON A MANUAL TIMER SWITCH (TYPICAL OF 4)
- 13 PROPOSED COAX CABLE TRAY. MAXIMUM HIGHT 8" ABOVE CONCRETE EQUIPMENT PAD AND ROUTED ON BACK WALL OF ENCLOSURE
- 14 EXISTING TREE TO REMAIN
- 15 EXISTING CONTOUR LINES SHOWN AT 1'-0" INTERVALS
- 16 PROPOSED FUSED DISCONNECT SWITCH UNISTRUT MOUNTED TO WALL
- 17 PROPOSED AUTOMATIC TRANSFER SWITCH UNISTRUT MOUNTED TO WALL
- 18 PROPOSED MANUAL TRANSFER SWITCH UNISTRUT MOUNTED TO WALL
- 19 PROPOSED 200 AMP ELECTRICAL PANEL UNISTRUT MOUNTED TO WALL
- 20 PROPOSED LUG BOX MOUNTED TO WALL
- 21 PROPOSED VERIZON WIRELESS UNDERGROUND COAX CABLE TRENCH. PATCH AND REPAIR IN-KIND ALL PAVING AND LANDSCAPE AREA DAMAGED IN COURSE OF CONSTRUCTION.
- 22 EXISTING TREE TO BE REMOVED (SHOWN DASHED)
- 23 EXISTING PARKING LOT
- 24 PROPOSED VERIZON WIRELESS 20kW ENCLOSED EMERGENCY GENERATOR WITH A DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD. "MPOWER" MODEL #KD20I
- 25 PROPOSED RAISED CONCRETE PAD FOR VERIZON WIRELESS CABINETS.
- 26 PROPOSED COAX CABLE SHROUD
- 27 CONCRETE CONTAINMENT CURB
- 28 PROPOSED CHAINLINK LID
- 29 PROPOSED PURCELL FIBER CABINET UNISTRUT MOUNTED TO WALL
- 30 PROPERTY LINE
- 31 PROPOSED UNDERGROUND TELCO CONDUIT TRENCH FROM EXISTING TELCO PEDESTAL
- 32 PROPOSED UNDERGROUND ELECTRICAL CONDUIT TRENCH FROM PROPOSED VERIZON WIRELESS ELECTRICAL METER PEDESTAL
- 33 PROVIDE 4" x 8" OPENING AT BASE OF WALL FOR DRAIN (TYP. OF 3)
- 34 EXISTING CONCRETE CURB
- 35 EXISTING CHAINLINK FENCE
- 36 25'-0" SETBACK LINE
- 37 PROPOSED VERIZON WIRELESS STEP-DOWN TRANSFORMER
- 38 PROPOSED 45'-0" HIGH MONOPINE
- 39 OUTLINE OF PROPOSED MONOPINE FOLIAGE (SHOWN DASHED)
- 40 EXISTING PAINTED PARKING STRIPES
- 41 EXISTING OUTLINE OF EUCALYPTUS TREE CANOPY'S
- 42 PROPOSED TREE (SHOWN SHADED)
- 43 PROPOSED SHRUBS (SHOWN SHADED)(TYPICAL)

**EQUIPMENT ENCLOSURE PLAN**

SCALE: 1/4" = 1'-0"





**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 395 CARLSBAD VILLAGE DRIVE SUITE D9  
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



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 SAN DIEGO COUNTY

DRAWING DATES

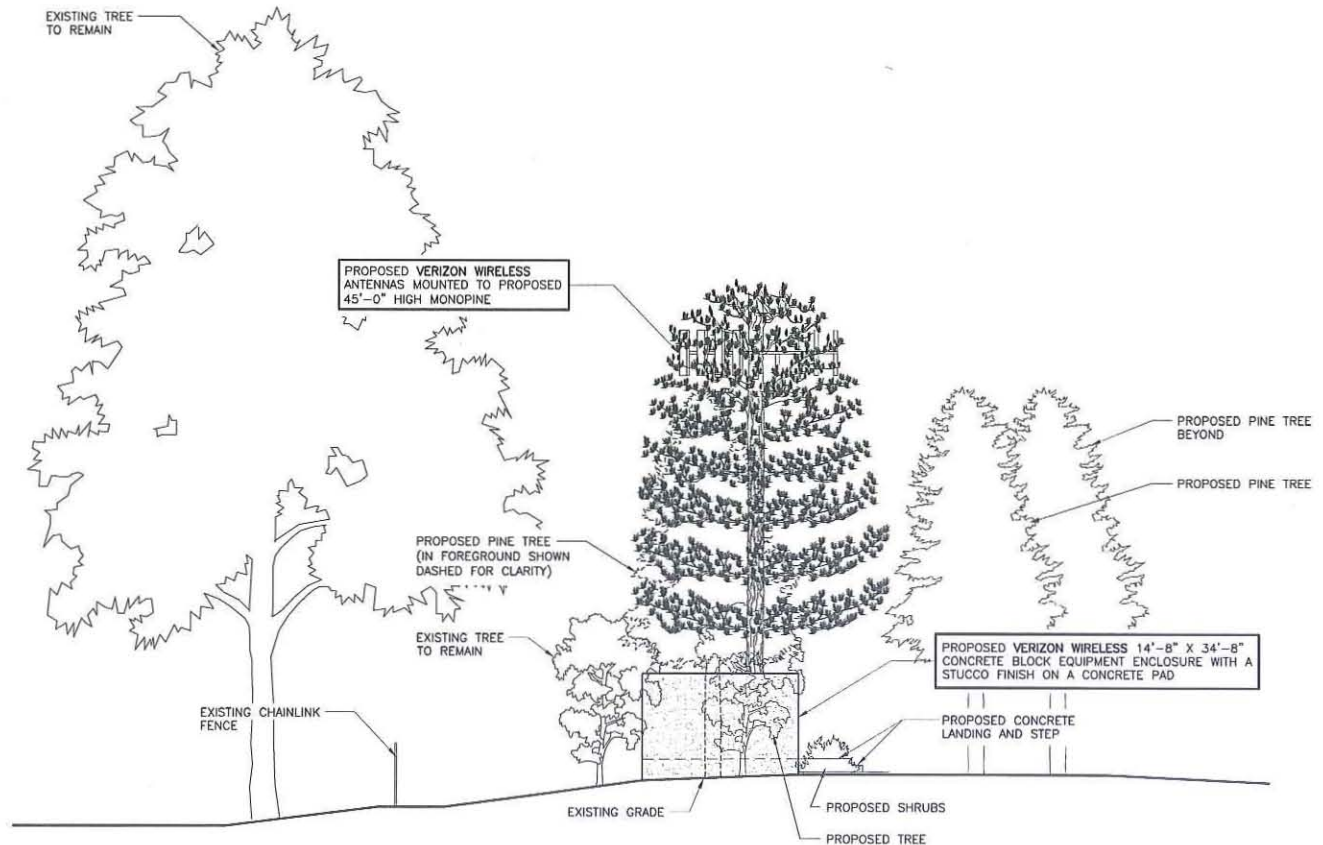
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SHEET TITLE

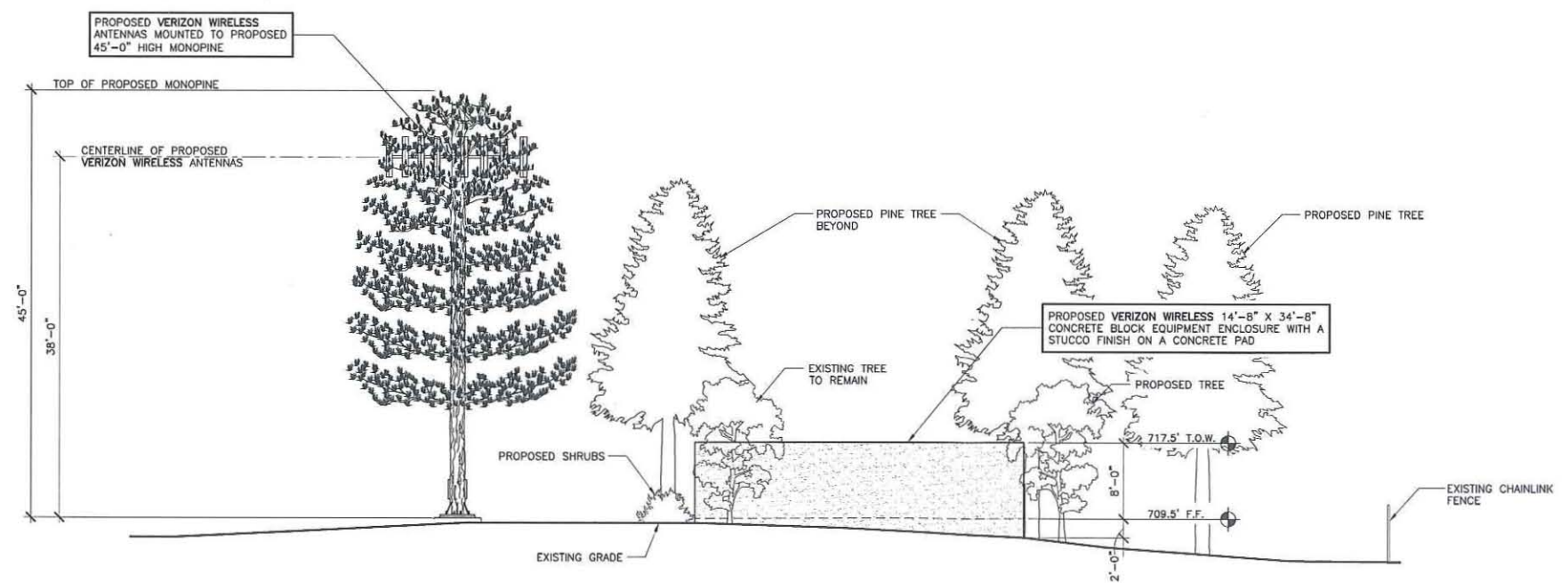
**EXTERIOR ELEVATIONS**

PROJECTS\Verizon\08083zd

**A-3**



**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"





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 SAN DIEGO COUNTY

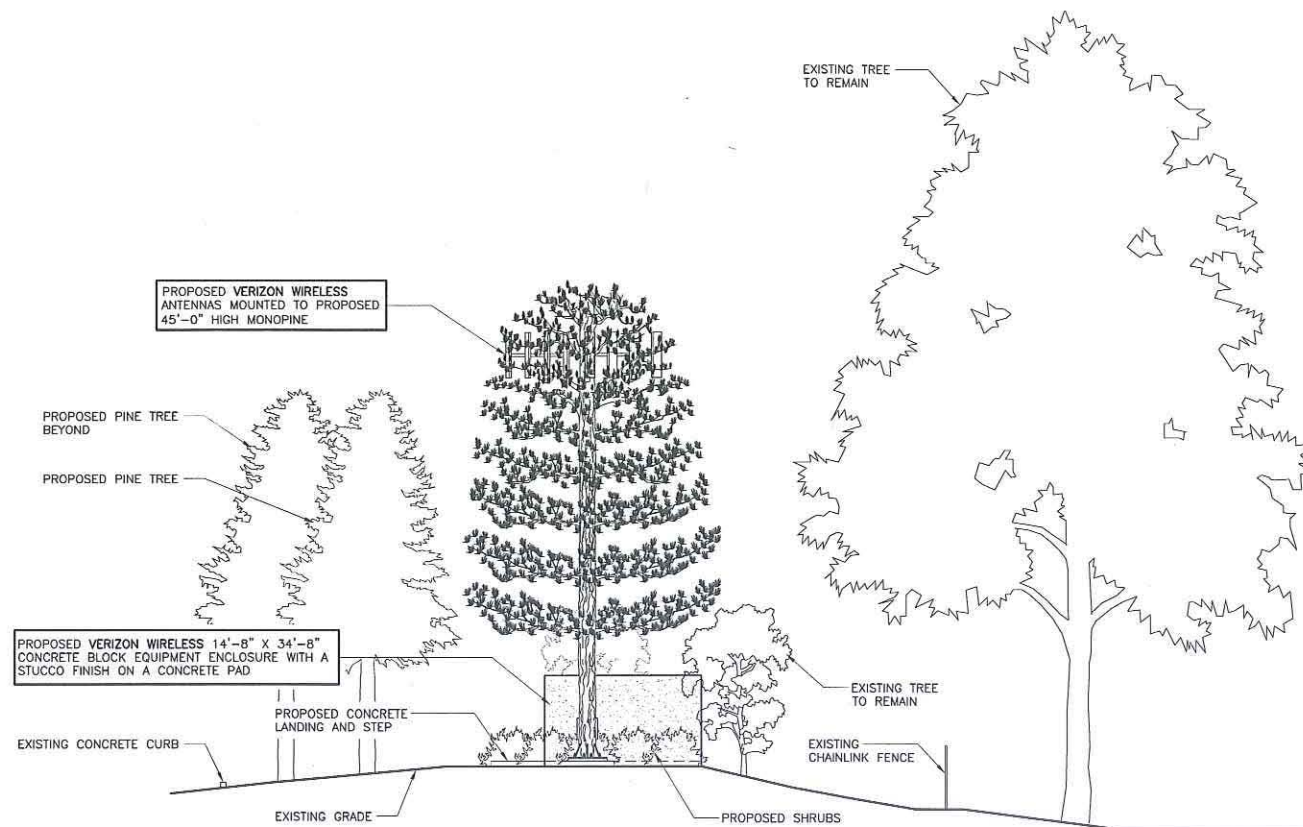
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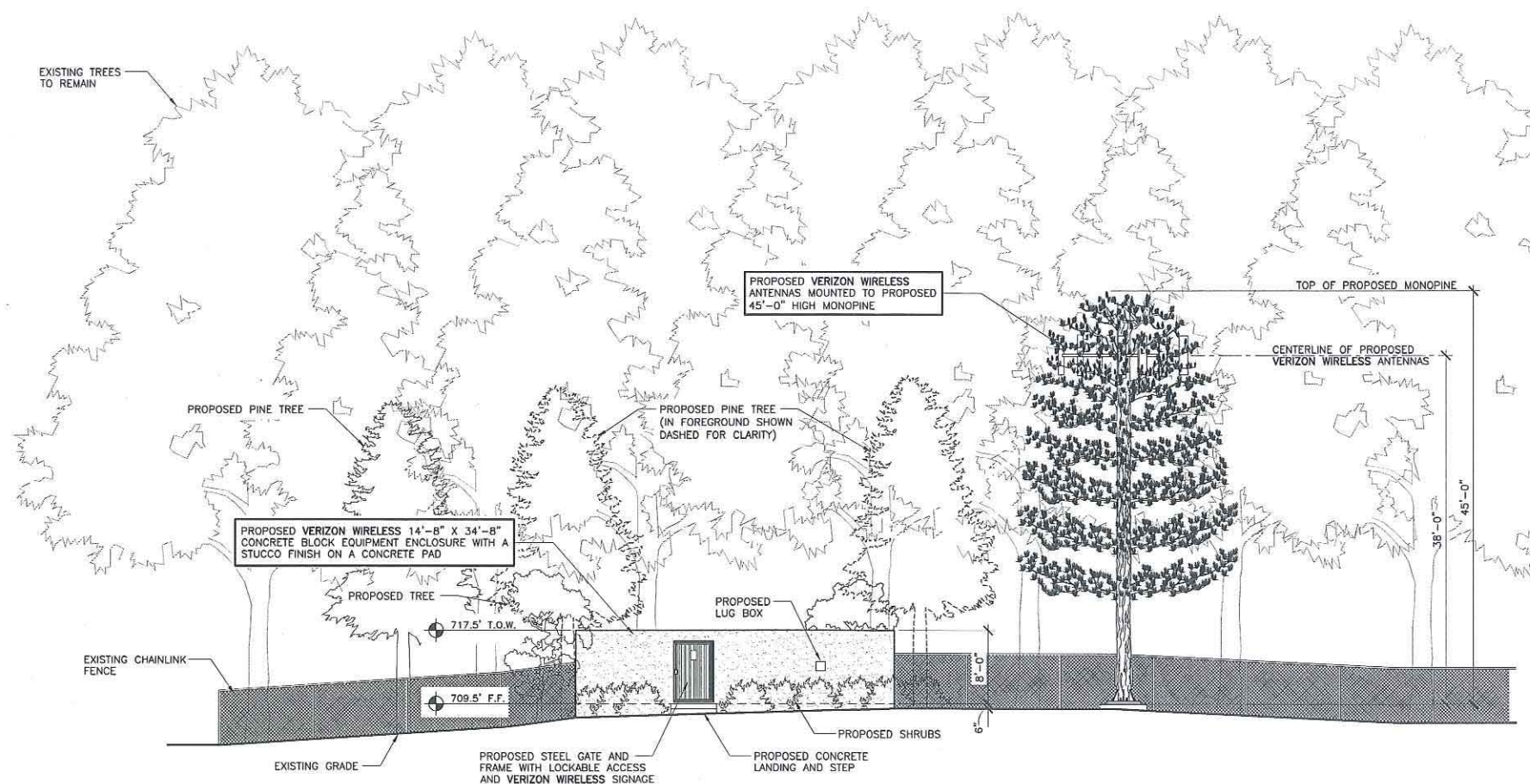
SHEET TITLE

**EXTERIOR ELEVATIONS**

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**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



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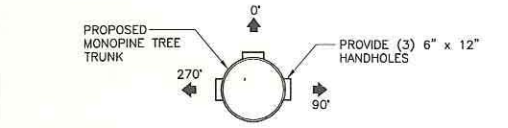
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04/16/13	REVISED 100% ZD (se)

SHEET TITLE  
**MONOPINE ELEVATION  
 ANTENNA PLAN  
 & DETAILS**

PROJECTS\Verizon\08083zd

ANTENNA AND COAXIAL CABLE SCHEDULE

SECTOR ANTENNA	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER	DOWNTILT	SKW ANGLE	SIZE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+ / - 5')	JUMPER LENGTH (+ / - 3')	COAX SIZE
ALPHA1	SOUTHEAST	120°	COMMSCOPE: SBNH-1D6565A	0°	N/A	50.91" L x 11.85" W x 7.1" D	6 COAX + 1 HYBRID	72'-4"	6'-0"	7/8"
ALPHA2			ERICSSON: AIR			54" L x 12" W x 8" D				
ALPHA3			COMMSCOPE: SBNH-1D6565A			50.91" L x 11.85" W x 7.1" D				
ALPHA4			COMMSCOPE: SBNH-1D6565A			50.91" L x 11.85" W x 7.1" D				
BETA1	WEST	250°	COMMSCOPE: SBNH-1D6565A	0°	N/A	50.91" L x 11.85" W x 7.1" D	6 COAX + 1 HYBRID	72'-4"	6'-0"	7/8"
BETA2			ERICSSON: AIR			54" L x 12" W x 8" D				
BETA3			COMMSCOPE: SBNH-1D6565A			50.91" L x 11.85" W x 7.1" D				
BETA4			COMMSCOPE: SBNH-1D6565A			50.91" L x 11.85" W x 7.1" D				
GAMMA1	NORTH	20°	COMMSCOPE: SBNH-1D6565A	0°	N/A	50.91" L x 11.85" W x 7.1" D	6 COAX + 1 HYBRID	72'-4"	6'-0"	7/8"
GAMMA2			ERICSSON: AIR			54" L x 12" W x 8" D				
GAMMA3			COMMSCOPE: SBNH-1D6565A			50.91" L x 11.85" W x 7.1" D				
GAMMA4			COMMSCOPE: SBNH-1D6565A			50.91" L x 11.85" W x 7.1" D				

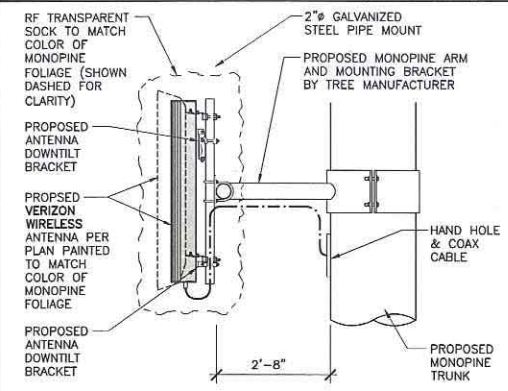


**B POLE PLAN AT UPPER HANDHOLES @ 36'-0"**



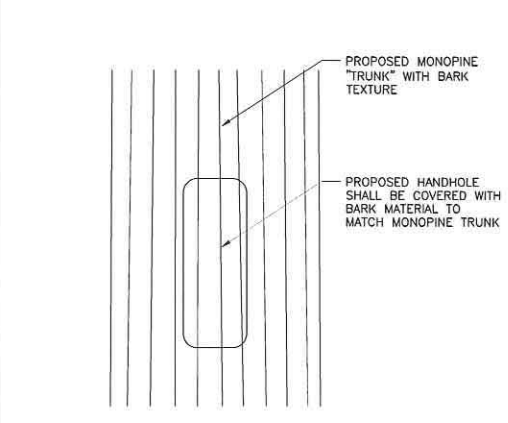
**A POLE PLAN AT LOWER HANDHOLES @ 3'-0"**

**HANDHOLE DETAIL** SCALE N.T.S. 1

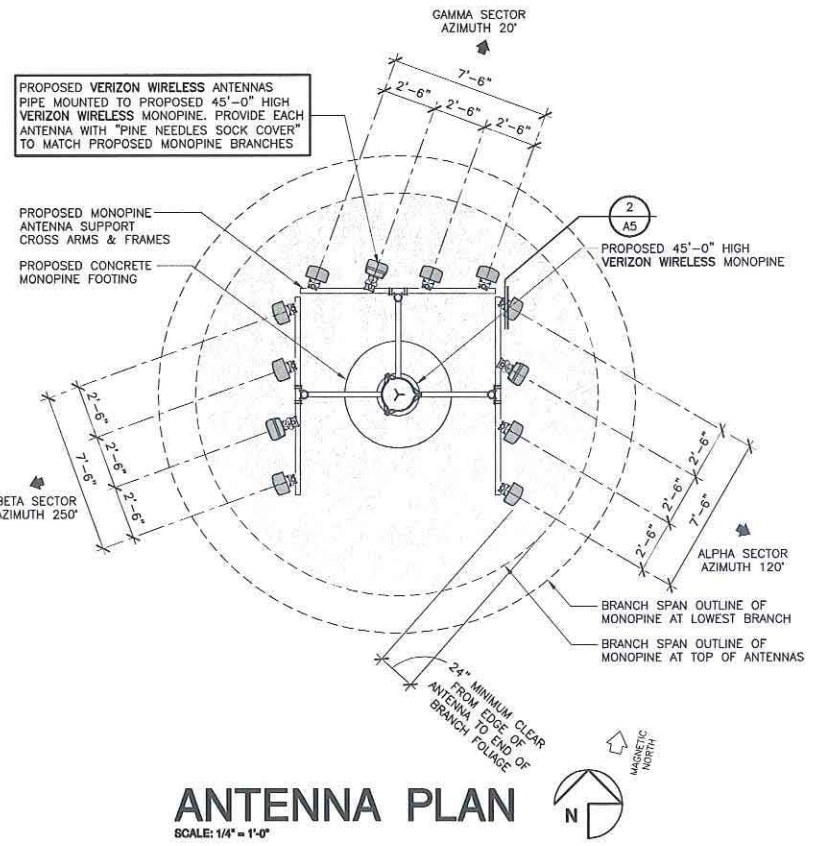


NOTE: ALL EXPOSED CABLES, BRACKETS & SUPPORTS SHALL BE PAINTED TO MATCH MONOPINE.  
 NOTE: RF TRANSPARENT SOCK SHALL FULLY CONCEAL THE LENGTH & WIDTH OF EACH ANTENNA FRONT TO BACK. ANY PORTION OF ANTENNA EXPOSED FOR CABLING SHALL BE PAINTED TO MATCH MONOPINE TREE FOLIAGE.

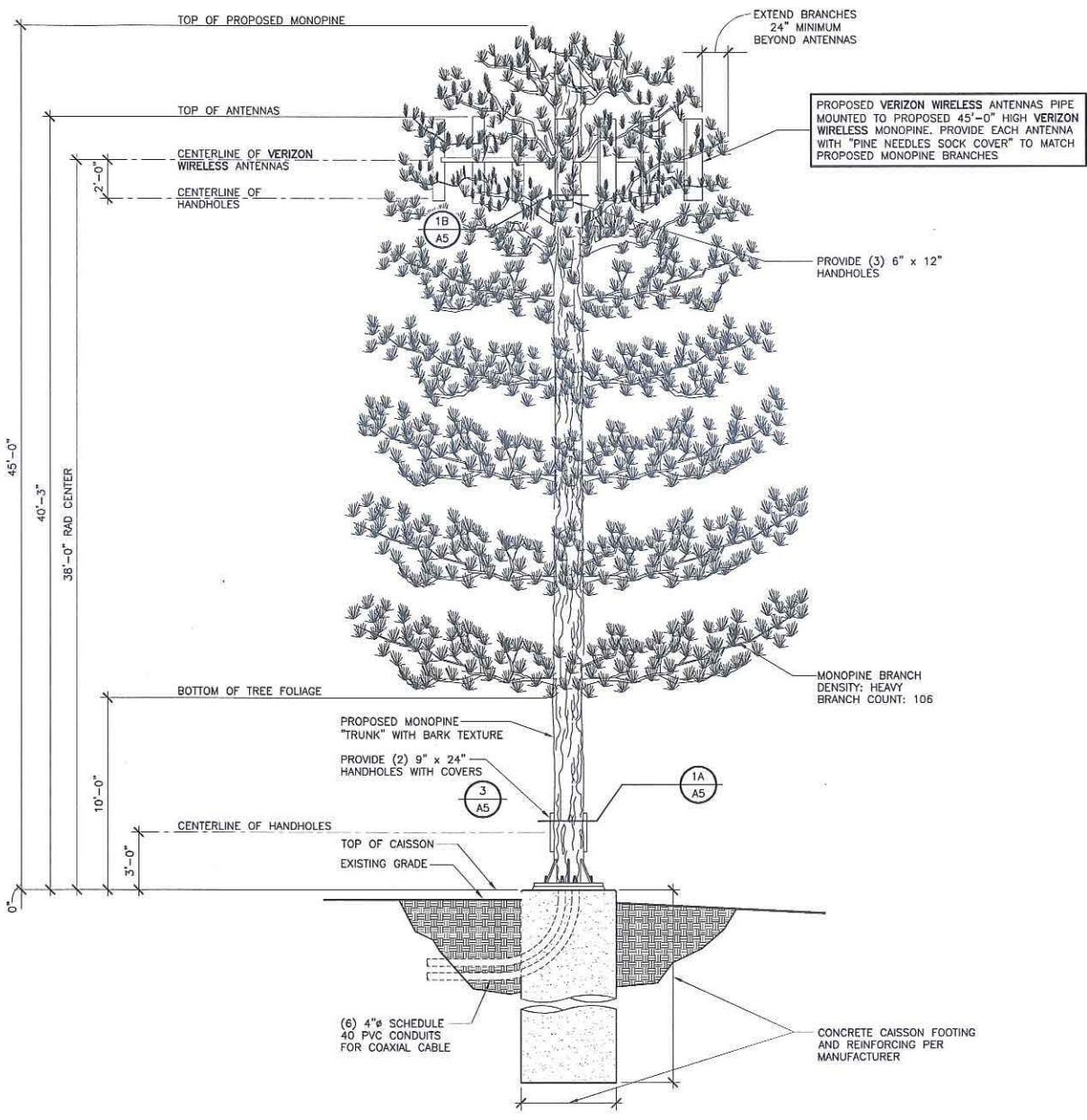
**TYPICAL ANTENNA MOUNT** SCALE 1/2"=1'-0" 2



**HANDHOLE COVER** SCALE N.T.S. 3



**ANTENNA PLAN**  
 SCALE: 1/4" = 1'-0"



**MONOPINE ELEVATION**  
 SCALE: 1/4" = 1'-0"

NOTE: NO EXPOSED PIPES ABSENT ANTENNAS SHALL BE INSTALLED AT ANY TIME.  
 MONOPINE MANUFACTURE: CELL TREES CONTACT: DAVID WEEKLEY



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SAN DIEGO COUNTY

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(s)	04/15/13	REVISD 100X ZD
(s)	04/16/13	REVISD 100X ZD

SHEET TITLE

**LANDSCAPE DEVELOPMENT PLAN**

PROJECTS\verizon\080832d

L-1

**PLANTING NOTES**

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.

2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.

3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.

4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL OR CONCRETE MOW STRIP.

5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.

6. PLANTING INSTALLATION CRITERIA:  
ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.

7. PLANTING MAINTENANCE CRITERIA:  
ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.

8. MINIMUM TREE SEPARATION DISTANCE  
IMPROVEMENT/MINIMUM DISTANCE TO STREET TREES:  
DRIVEWAY (ENTRIES) - 10 FEET  
TAPING SIGNS (STOP SIGNS) - 20 FEET  
UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)  
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

9. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER, LANDSCAPE & IRRIGATION AREAS SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

11. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE PERMIT DOCUMENT PLANS IS DAMAGED OR REMOVED DURING CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.

12. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.

13. REMOVE WEEDS AND PROVIDE A WEED BARRIER. PROVIDE A MINIMUM 2-INCH THICK BARK MULCH ABOVE THE WEED BARRIER.

**WATER CONSERVATION NOTES**

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.

3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.

4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND IRRIGATION SYSTEMS.

5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.

6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.

7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE.

8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, FOGGING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.

9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING.

10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.

11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.

12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.

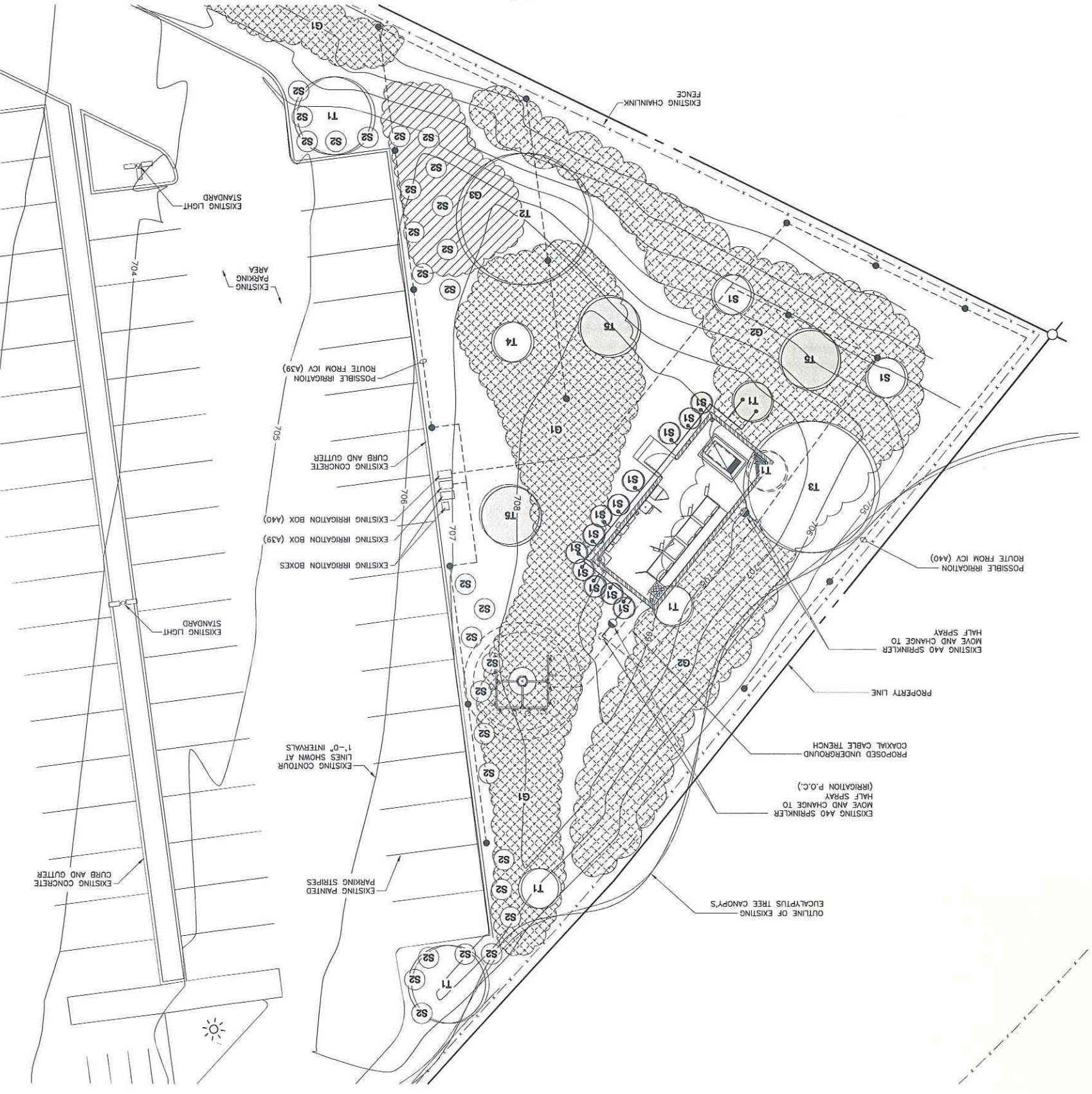
13. ALL GRADES, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04f AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL [142.0411(c)].

14. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

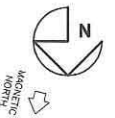
- LANDSCAPE NOTES:**
- AREAS DISTURBED DURING CONSTRUCTION FROM EQUIPMENT, TRENCHING WILL BE REVEGETATED TO EXISTING CONDITION.
  - FOR AREAS OF BARE SOIL, NOT REVEGETATED WITH GROUND COVER, PROVIDE A 3 INCH LAYER OF BARK MULCH.
  - ANY GROUND COVER DISTURBED SHALL BE REPLACED WITH MYOPORUM.

**IRRIGATION LEGEND**

SYMBOL	MANUFACTURER	SERIES AND DESCRIPTION	PSI	GPM	RAD
●	TORO	NEW HARDEE 533 RICHEL ADJUSTABLE FLOW BUBBLER	20	0-2 GPM	0-2'
○	J.M.	NEW CLASS 200 PVC NON PRESSURE LATERAL LINE (USE CLASS 315 PVC FOR 1/2" SIZE)			
●		EXISTING SPRINKLER			
---		EXISTING IRRIGATION LINE			



NOTE: 1. SEE SHEET L-2 FOR PLANTING LEGEND



**LANDSCAPE DEVELOPMENT PLAN**

SCALE: 1"=40'



**BOOTH & SUAREZ**  
 ARCHITECTURE ■ INCORPORATED  
 395 CARLSBAD VILLAGE DRIVE, SUITE D2  
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**CLOUDCREST**

16530 VIA ESPRILLO  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

02/01/10	90% ZD (c)
08/23/10	100% ZD (c)
09/14/10	REVISED 100% ZD (rd)
11/01/10	REVISED 100% ZD (rd)
08/03/11	REVISED 100% ZD (rd)
08/21/12	REVISED 100% ZD (se)
10/08/12	REVISED 100% ZD (se)
10/10/12	REVISED 100% ZD (se)
12/18/12	REVISED 100% ZD (se)
01/15/13	REVISED 100% ZD (se)
02/13/13	REVISED 100% ZD (se)
04/15/13	REVISED 100% ZD (se)
04/16/13	REVISED 100% ZD (se)

SHEET TITLE

**PLANTING LEGEND**

PROJECTS\Verizon\08083zd

**L-2**

**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	MATURE HEIGHT & SPREAD
	CUPANIOPSIS ANACARDIODES	CARROT WOOD TREE	EXISTING	-	35' HEIGHT 35' SPREAD
	CUPANIOPSIS ANACARDIODES	CARROT WOOD TREE	REMOVE	1	-
	CUPANIOPSIS ANACARDIODES	CARROT WOOD TREE	24" BOX	1	35' HEIGHT 35' SPREAD
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	EXISTING	-	50' HEIGHT 35' SPREAD
	ACACIA RETINOIDES	MIMOSA ACACIA	EXISTING	-	20' HEIGHT 25' SPREAD
	LAGERSTROEMIA FAUERII	GRAPE MYRTLE	EXISTING	-	25' HEIGHT 15' SPREAD
	PINUS CANARIENSIS	CANARY ISLAND PINE	24" BOX	3	80' HEIGHT 30' SPREAD
	RHUS INTEGRIFOLIA	LEMONADE BERRY	EXISTING	-	10' HEIGHT 10' SPREAD
	RHUS INTEGRIFOLIA	LEMONADE BERRY	5 GAL.	12	10' HEIGHT 10' SPREAD
	RHAPHIOLEPIS INDICA	INDIAN HAWTHORN	EXISTING	-	5' HEIGHT 8' SPREAD
	MYOPORUM PARVIFOLIUM	CREEPING MYOPORUM	EXISTING	-	6" HEIGHT 12" SPREAD
	MYOPORUM PACIFICUM	MYOPORUM PACIFICUM	EXISTING	-	3' HEIGHT 25' SPREAD
	HEDERA HELIX BALTICA	BALTICA ENGLISH IVY	EXISTING	-	12" HEIGHT 40" SPREAD

NOTE:  
 PATCH & REPAIR GROUND COVER WHERE DAMAGED BY TRENCHING AND INSTALLATION OF LANDSCAPE SHRUBS



**Booth & Suarez**  
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 (949) 286-7000

CONSULTANT  
**JRN CIVIL ENGINEERS**  
 232 AVENIDA FABRICANTE,  
 SUITE 107  
 SAN CLEMENTE, CA 92672  
 (949) 248-4685

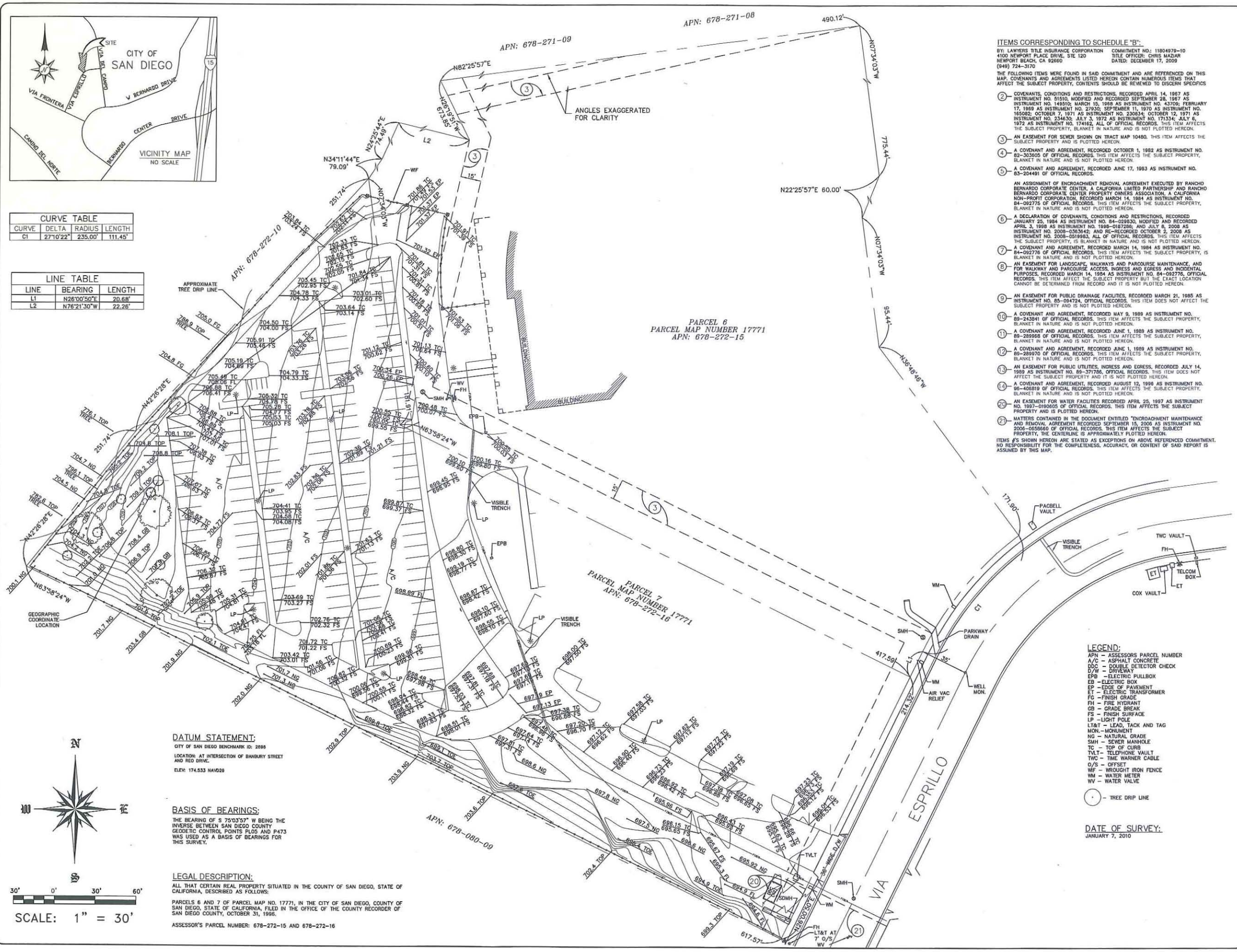
PROJECT NAME  
**CLOUDCREST**  
 16530 VIA ESPRILLO  
 SAN DIEGO, CA 92128

DRAWING DATES  
 08/12/10; REVISED PER UPDATED TITLE REPORT

SHEET TITLE  
 TOPOGRAPHIC SURVEY

C1

- ITEMS CORRESPONDING TO SCHEDULE "B":  
 BY: LAWYERS TITLE INSURANCE CORPORATION COMMITMENT NO: 11804929-10  
 4100 NEWPORT PLACE DRIVE, SUITE 120 TITLE OFFICER: CHRIS MAZAR  
 NEWPORT BEACH, CA 92660 DATE: DECEMBER 17, 2009  
 (949) 724-3170
1. THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY. CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS.
  2. COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDED APRIL 14, 1987 AS INSTRUMENT NO. 51510 MODIFIED AND RECORDED SEPTEMBER 28, 1987 AS INSTRUMENT NO. 149510; MARCH 15, 1988 AS INSTRUMENT NO. 43709; FEBRUARY 17, 1988 AS INSTRUMENT NO. 27930; SEPTEMBER 11, 1970 AS INSTRUMENT NO. 16502; OCTOBER 7, 1971 AS INSTRUMENT NO. 23034; OCTOBER 12, 1971 AS INSTRUMENT NO. 234430; JULY 3, 1972 AS INSTRUMENT NO. 171334; JULY 6, 1972 AS INSTRUMENT NO. 174162. ALL OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  3. AN EASEMENT FOR SEWER SHOWN ON TRACT MAP 10480. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
  4. A COVENANT AND AGREEMENT, RECORDED OCTOBER 1, 1982 AS INSTRUMENT NO. 82-303605 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  5. A COVENANT AND AGREEMENT, RECORDED JUNE 17, 1983 AS INSTRUMENT NO. 83-204491 OF OFFICIAL RECORDS.
  6. AN ASSIGNMENT OF ENCROACHMENT REMOVAL AGREEMENT EXECUTED BY RANCHO BERNARDO CORPORATE CENTER, A CALIFORNIA LIMITED PARTNERSHIP AND RANCHO BERNARDO CORPORATE CENTER PROPERTY OWNERS ASSOCIATION, A CALIFORNIA NON-PROFIT CORPORATION, RECORDED MARCH 14, 1984 AS INSTRUMENT NO. 84-092276 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  7. A DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDED JANUARY 25, 1984 AS INSTRUMENT NO. 84-029820, MODIFIED AND RECORDED APRIL 3, 1989 AS INSTRUMENT NO. 1989-0187286, AND JULY 6, 2008 AS INSTRUMENT NO. 2008-0383642; AND RE-RECORDED OCTOBER 2, 2008 AS INSTRUMENT NO. 2008-0519983. ALL OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  8. A COVENANT AND AGREEMENT, RECORDED MARCH 14, 1984 AS INSTRUMENT NO. 84-092276 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  9. AN EASEMENT FOR LANDSCAPE, WALKWAYS AND PARCOURSE MAINTENANCE, AND FOR WALKWAY AND PARCOURSE ACCESS, INGRESS AND EGRESS AND INCIDENTAL PURPOSES, RECORDED MARCH 14, 1984 AS INSTRUMENT NO. 84-092276, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION CANNOT BE DETERMINED FROM RECORD AND IT IS NOT PLOTTED HEREON.
  10. AN EASEMENT FOR PUBLIC DRAINAGE FACILITIES, RECORDED MARCH 21, 1985 AS INSTRUMENT NO. 85-044724, OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IS NOT PLOTTED HEREON.
  11. A COVENANT AND AGREEMENT, RECORDED MAY 9, 1989 AS INSTRUMENT NO. 89-243941 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  12. A COVENANT AND AGREEMENT, RECORDED JUNE 1, 1989 AS INSTRUMENT NO. 89-289868 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  13. A COVENANT AND AGREEMENT, RECORDED JUNE 1, 1989 AS INSTRUMENT NO. 89-289970 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  14. AN EASEMENT FOR PUBLIC UTILITIES, INGRESS AND EGRESS, RECORDED JULY 14, 1989 AS INSTRUMENT NO. 89-37708, OFFICIAL RECORDS. THIS ITEM DOES NOT AFFECT THE SUBJECT PROPERTY AND IT IS NOT PLOTTED HEREON.
  15. A COVENANT AND AGREEMENT, RECORDED AUGUST 12, 1996 AS INSTRUMENT NO. 96-088819 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
  16. AN EASEMENT FOR WATER FACILITIES RECORDED APRIL 25, 1997 AS INSTRUMENT NO. 1997-0190605 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
  17. MATTERS CONTAINED IN THE DOCUMENT ENTITLED "ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENT RECORDED SEPTEMBER 15, 2006 AS INSTRUMENT NO. 2006-055660 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, THE CENTERLINE IS APPROXIMATELY PLOTTED HEREON.
- ITEMS #S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.



**CURVE TABLE**

CURVE	DELTA	RADIUS	LENGTH
C1	27°10'22"	235.00'	111.45'

**LINE TABLE**

LINE	BEARING	LENGTH
L1	N26°00'50"E	20.68'
L2	N76°21'30"W	22.26'

