



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: May 9, 2013 **REPORT NO.** PC-13-060

ATTENTION: Planning Commission, Agenda of May 16, 2013

SUBJECT: COSTEBELLE RESIDENCE; PROJECT NO. 295796; PROCESS THREE

REFERENCE: Hearing Officer Report dated February 20, 2013, (Attachment 8)

**OWNER/
APPLICANT:** Costebelle REI, LLC, Owner (Attachment 15)
Marengo Morton Architects, Applicant

SUMMARY

Issue(s): Should the Planning Commission approve or deny an appeal of the Hearing Officer's decision to allow the construction of a 514-square-foot guest quarters for an under-construction single-family home located on a 0.62-acre site at 7940 Costebelle Way, in the La Jolla Community Plan area?

Staff Recommendation: DENY the appeal and APPROVE Site Development Permit No. 1089009, amending approved Site Development Permit No. 4522.

Community Planning Group Recommendation: On February 7, 2013, the La Jolla Community Planning Association voted 13-1-1 to recommend denial of the project, as discussed in this report (Attachment 13).

Other Recommendations: On March 19, 2013, the La Jolla Shores Advisory Board voted 4-0 to recommend approval of the project, citing its conformance to Community Character and other architectural features (Attachment 14).

Environmental Review: Mitigated Negative Declaration (MND) No. 2701 (Attachment 11), certified on June 16, 2004, was previously prepared for the project in accordance with the California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring and Reporting Program (MMRP) was prepared and will be implemented to reduce below a level of significance, any potential impacts to historical resources (archeology) and biological resources, as identified in the environmental review process. Staff has determined that the project is consistent with the previously certified MND and the preparation of a new environmental document is not required (Attachment 10). The circumstances that require the preparation of a new environmental document described in Section 15162 of the CEQA Guidelines do not apply to this project.



Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid by the applicant through a deposit account.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The proposed project would add a guest quarters to a previously approved, under-construction single-family home. Therefore, the project would not add or subtract units from the San Diego housing market.

BACKGROUND

The 0.62-acre project site is located at 7940 Costebelle Way, at the terminus of the cul-de-sac, and is a hillside lot which slopes down steeply from street level into the lower canyon area. The site is within the SF (Single Family) Zone of the La Jolla Shores Planned District and the La Jolla Community Plan area designates the site for Very Low Density, single-family development. The site is also located in the Coastal Height Limit Overlay Zone but is outside of the Coastal Overlay Zone boundary. The site contains Environmentally Sensitive Lands (ESL) including steep hillsides, disturbed biological habitat and the presence of Historical (Archeological) Resources. The site is not within or adjacent to the City of San Diego's Multiple Habitat Planning Area (MHPA).

On June 16, 2004, the Hearing Officer approved Site Development Permit (SDP) No. 4522, allowing the construction of a 4,811-square-foot, three-story, single-family residence with a detached garage accessory structure. The 1,266-square-foot, two-story, detached accessory garage structure located at the front of the site adjacent to Costebelle Way was approved with three garage parking spaces at street level and an artist's studio below. Building permits have been issued and the project is currently under construction. Minor construction changes approved during the building permit process have resulted in slight changes to the footprint and square footage of the project from the approved SDP.

On March 20, 2013, the Hearing Officer approved SDP No. 1089009, amending SDP No. 4522, to allow the addition of a 514-square-foot, guest quarters to the approved accessory garage structure, as described in greater detail below. On April 4, 2013, the La Jolla Community Planning Association filed an application to appeal the Hearing Officer's decision.

DISCUSSION

Project Description:

The requested amendment would allow the addition of a 514-square-foot guest quarters on top of the approved accessory garage structure. The La Jolla Shores Planned District Ordinance allows guest quarters in the SF Zone however the Separately Regulated Use Regulations listed in San Diego Municipal Code (SDMC) Section 141.0306, "*Guest Quarters or Habitable Accessory Buildings*" apply. These requirements include the prohibition of a kitchen and food storage/preparation areas, and use limitations. Permit conditions have been included to regulate the use of the guest quarters, including the prohibition of renting or selling the guest quarters separately and restricting use solely to the occupants of the primary dwelling unit, their guests or their employees.

SDMC Section 141.0306(f) limits maximum structure height to 30 feet for guest quarters that are located above an accessory structure and requires a minimum roof pitch of 3:12. As proposed the project meets these requirements.

The proposed project would be consistent with the bulk and scale of the surrounding community. Due to the sloping nature of the site, the accessory garage structure would appear as a two-story structure from Costebelle Way. The first floor of the accessory structure is built partially into the hillside with the garage above at street level. The proposed design complies with the 30-foot Coastal (Prop D) and Separately Regulated Use Regulations height limit. Both the previously approved garage and the proposed guest quarters above would maintain the required minimum five-foot front yard setback. The project also complies with the lot coverage requirements of the zone.

The project is required to comply with all conditions contained in approved Site Development Permit No. 4522, including brush management, engineering, landscape, water and wastewater requirements. There would be no additional impacts to ESL beyond those already identified and mitigated by the certified MND and associated MMRP. No changes to the under-construction single-family structure, development footprint, area of disturbance or lot coverage are proposed with this amendment.

Appeal Issues:

An appeal of the Hearing Officer's decision was filed by the La Jolla Community Planning Association on April 4, 2013 (Attachment 16). The issues cited in the appeal application are listed below in *bold italics* with staff's responses below. Please note, the appeal issues cited in the appeal application do not include all of the issues raised by the group in their recommendation for denial, as discussed in the Memorandum to the Hearing Officer dated March 13, 2013 (Attachment 8) as some of the issues were resolved at the March 20, 2013 Hearing Officer public hearing.

1. *The La Jolla Community Planning Association voted 13-1-1 to recommend denial of the application Feb. 7th 2013.*
2. *The project does not conform to the Community Plan due to bulk and scale and lack of conformance to Community Character, specifically due to the following reasons:*
 - a. *The setback and relationship of the front wall of the proposed guest quarters to the front wall of the garage below presents an upper level front yard setback that is generally not in conformity with the upper level setbacks in the vicinity as is required by LDC Sec. 1510.0304(b).*
 - b. *The garage with the proposed guest quarters above is so different in form and relationship to the street from that of other structures in the area that the proposed guest quarters addition is not in accordance with the General Design Regulations the La Jolla Shores PDO, LDC Sec. 1510.0301(b) and will disrupt the architectural unity of the area.*

Staff Response:

As shown in the applicant's presentation to the Hearing Officer (Attachment 9), there are a number of residences in the vicinity similar to this project which place second floor living space above a garage, facing the right-of-way. The second floor setbacks of these existing structures vary greatly, including 7914 Costebelle Way with an approximately 10-foot plus second floor setback, 2654 Costebelle Drive where the second floor cantilevers over the first floor and 7902 Costebelle Drive where there is no second floor setback.

The proposed facade includes the use of varied but complimentary building materials and finishes, providing visual interest and relief to reduce the perceived bulk and scale of the structure. While the project does not utilize an additional second floor setback, approximately 12 feet of the first and second floor façade has been offset half a foot from the remaining portion and incorporates an arbor element to break the plane and provide additional relief. The entry gates have been incorporated into the garage structure façade which allows the proposed second floor guest quarters to appear stepped back from the side property lines.

The majority of the site contains steep slopes, which along with the 30-foot height limit greatly constrains the development potential of the site. There is a five foot setback between the approved garage and the front property line, as allowed by code for narrow cul-de-sac lots such as this. Stepping the second floor guest quarters back from the first floor garage would move the mass of the accessory structure further down the hill, which negatively impacts the Environmentally Sensitive Lands (ESL) regulations and the ability of the project to comply with the 30-foot height limit.

The neighborhood is characterized by extreme topographical variations and a wide range of design styles, home sizes and lot configurations. SDMC Section 1510.0301(b) "*Design Principle*" states "*Within the limitations implied above, originality and diversity in architecture are encouraged. The theme "unity with variety" shall be a guiding principle. Unity without variety means simple monotony; variety by itself is chaos. No structure shall be approved which is substantially like any other structure located on an adjacent parcel. Conversely, no structure will be approved that is so different in quality, form, materials, color, and relationship as to disrupt the architectural unity of the area.*" The proposed guest quarters has been designed to integrate with the approved garage structure both through its design and materials and provides the appearance of a two-story structure at street level that is similar in configuration to other homes in the neighborhood yet is unique in design and is sensitive to the sloping lot and cul-de-sac location.

Staff has determined that the proposed guest quarters is compatible with the setbacks and community character of the surrounding residential development, which includes a wide variety of designs, sizes and configurations. In consideration of the sloping nature of the site, its narrow cul-de-sac frontage and its relationship to surrounding development, the current design does conform with the community character. Additionally, the La Jolla Shores Advisory Board voted 4-0 to recommend approval of the project, specifically citing its conformance to Community Character and other architectural features.

Conclusion:

Staff has reviewed the appeal application and continues to support the applicant's application for a Site Development Permit to allow the construction of a guest quarters. Staff believes that the appeal should not be granted because the administrative record supports the findings required to approve the project. The project is consistent with the underlying zone as well as the applicable land use plans and policies in affect for the project site. Therefore, staff recommends that the Planning Commission deny the appeal and approve the requested permit.

ALTERNATIVES

1. **Deny** the appeal and **Approve** Site Development Permit No. 189009, amending Site Development Permit No. 4522, **with modifications.**
2. **Approve** the appeal and **Deny** Site Development Permit No. 189009, amending Site Development Permit No. 4522, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



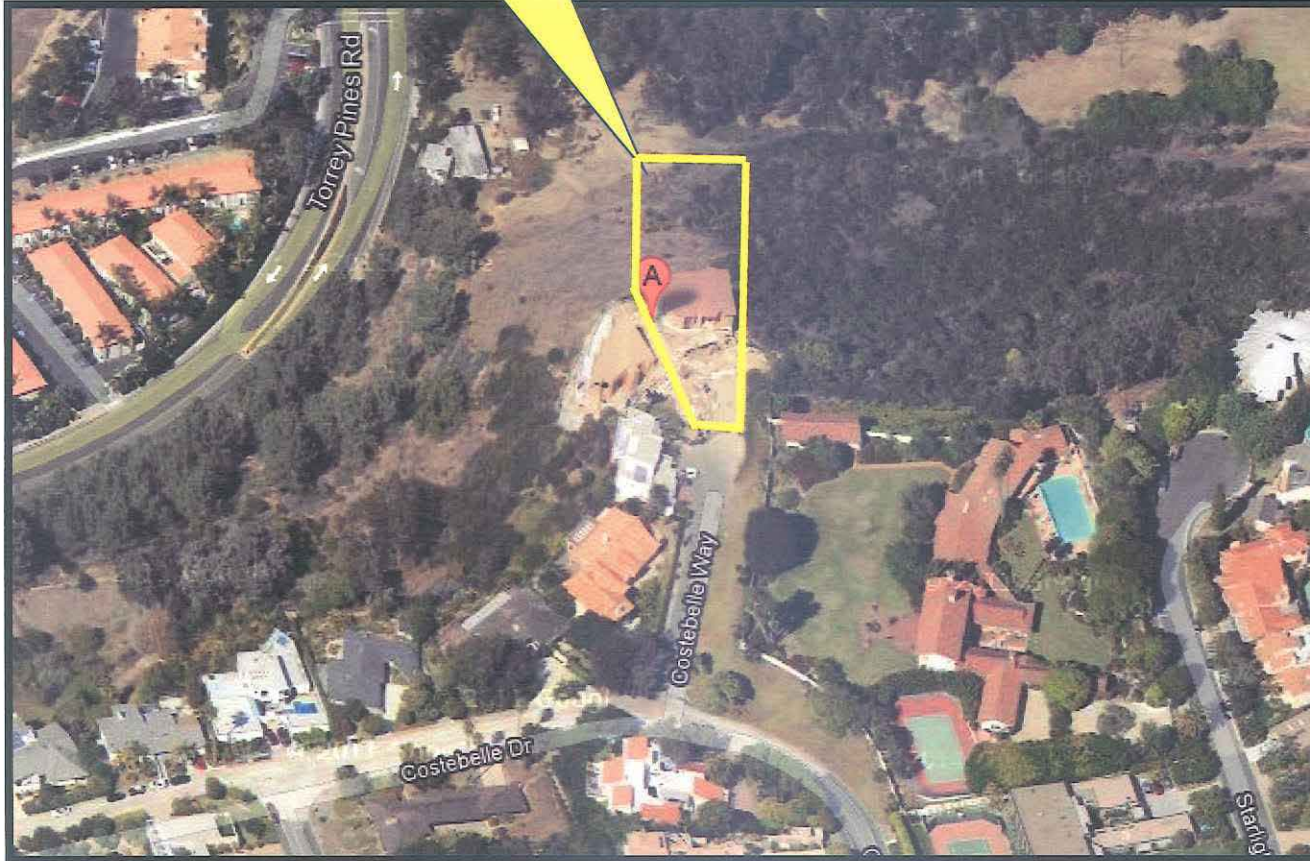
Paul Godwin
Project Manager
Development Services Department

WESTLAKE/PBG

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Project Plans
8. Hearing Officer Report dated February 20, 2013, with Memorandums
9. Applicant's February 20, 2013, Hearing Officer Presentation
10. Environmental Memo dated January 10, 2013
11. Mitigated Negative Declaration No. 2701
12. Recorded Site Development Permit No. 4522
13. La Jolla Community Planning Association Recommendation
14. La Jolla Shores Advisory Board Recommendation
15. Ownership Disclosure Statement
16. Appeal Application

Project Site



Aerial Photo

COSTEBELLE RESIDENCE – 7940 COSTEBELLE WAY
PROJECT NO. 295796

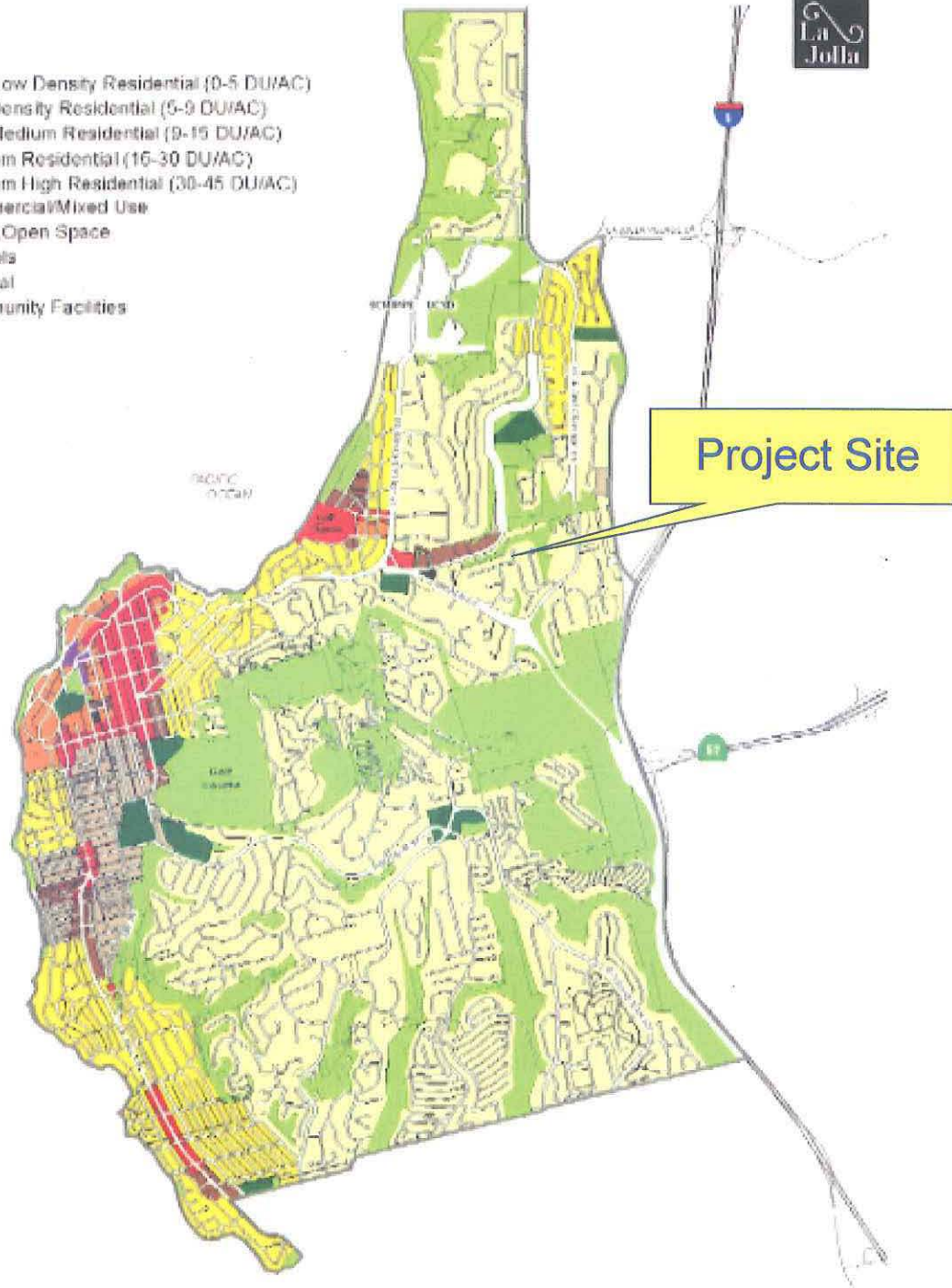
North





Legend

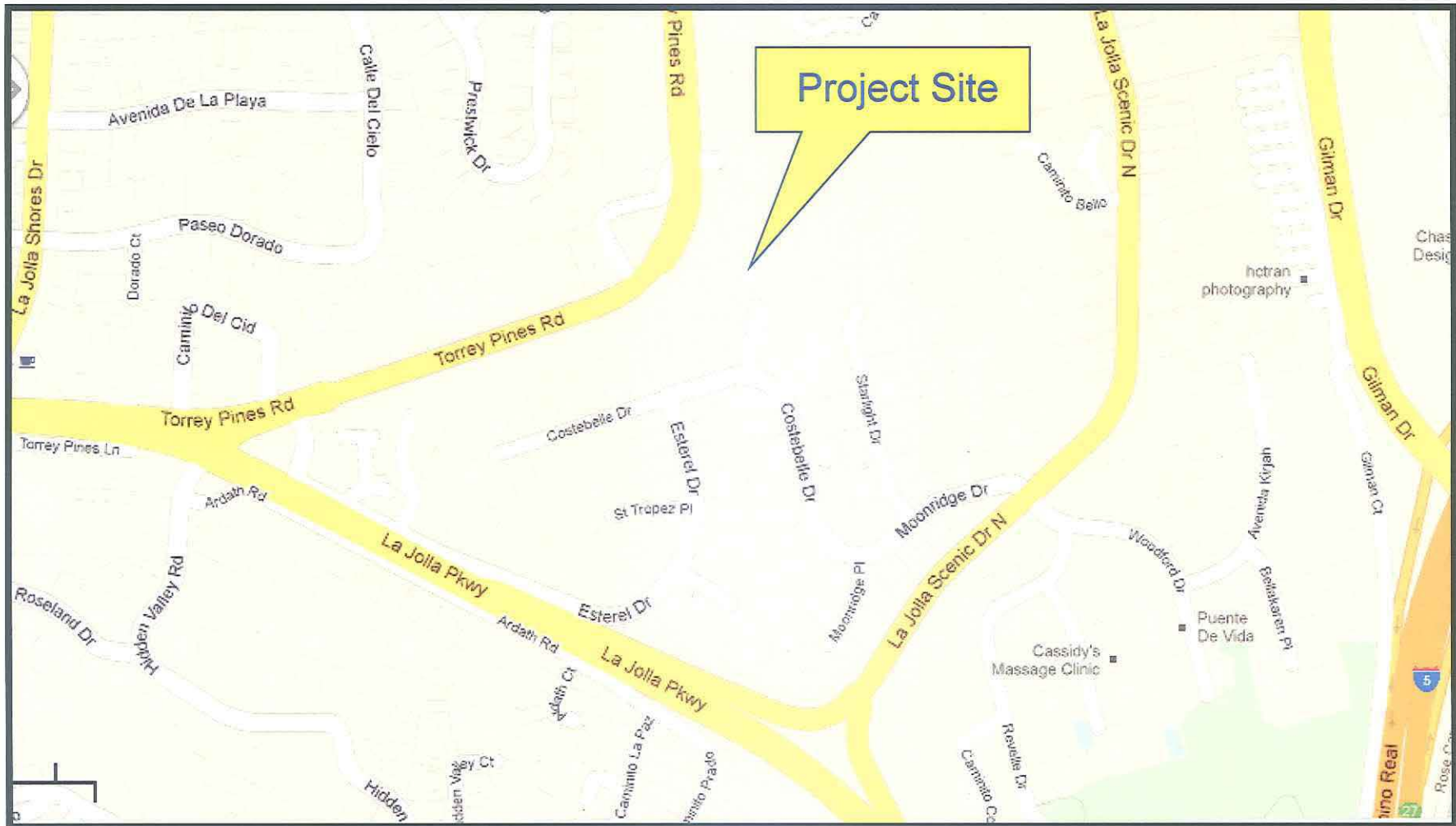
- Very Low Density Residential (0-5 DU/AC)
- Low Density Residential (5-9 DU/AC)
- Low Medium Residential (9-15 DU/AC)
- Medium Residential (15-30 DU/AC)
- Medium High Residential (30-45 DU/AC)
- Commercial/Mixed Use
- Parks, Open Space
- Schools
- Cultural
- Community Facilities



La Jolla CP Land Use Map

COSTEBELLE RESIDENCE – 7940 COSTEBELLE WAY
PROJECT NO. 295796





Project Location Map

COSTEBELLE RESIDENCE – 7940 COSTEBELLE WAY
PROJECT NO. 295796



PROJECT DATA SHEET

| | | |
|----------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------|
| PROJECT NAME: | Costebelle Residence | |
| PROJECT DESCRIPTION: | Construction of a guest quarters above a previously approved two-story garage accessory structure for a single-family home that is currently under construction. | |
| COMMUNITY PLAN: | La Jolla | |
| DISCRETIONARY ACTIONS: | Site Development Permit to amend the previously approved Site Development Permit No. 4522. | |
| COMMUNITY PLAN LAND USE DESIGNATION: | Very Low Density Single-Family | |
| <u>ZONING INFORMATION:</u> | | |
| ZONE: SF: (Single-family zone of the La Shores Planned District) | | |
| HEIGHT LIMIT: 30-Foot maximum height limit (Coastal Height Limit Overlay) | | |
| LOT SIZE: Average in area | | |
| FLOOR AREA RATIO: n/a, 60% maximum lot coverage | | |
| FRONT SETBACK: 5 feet previously approved, no change | | |
| SIDE SETBACK: 10 feet previously approved, no change | | |
| STREETSIDE SETBACK: n/a | | |
| REAR SETBACK: 164 feet previously approved, no change | | |
| PARKING: 2 parking spaces required | | |
| <u>ADJACENT PROPERTIES:</u> | LAND USE DESIGNATION & ZONE | EXISTING LAND USE |
| NORTH: | Single-Family Residential; SF | Undeveloped lot, Pottery Canyon Park beyond |
| SOUTH: | Single-Family Residential; SF | Single-Family development |
| EAST: | Single-Family Residential; SF | Single-Family development |
| WEST: | Single-Family Residential; SF | Single-Family development |
| DEVIATIONS OR VARIANCES REQUESTED: | None | |
| COMMUNITY PLANNING GROUP RECOMMENDATION: | On February 7, 2013, the La Jolla Community Planning Association voted 13-1-1 to recommend denial of the project. | |

PLANNING COMMISSION RESOLUTION NO. _____
 SITE DEVELOPMENT PERMIT NO. 1089009
 AMENDING SITE DEVELOPMENT PERMIT NO. 4522
COSTEBELLE RESIDENCE - PROJECT NO. 295796 [MMRP]

WHEREAS, COSTEBELLE REI, LLC, Owner/Permittee, filed an application with the City of San Diego for a Site Development Permit to amend Site Development Permit No. 4522 to allow a 514-square-foot, third-story guest quarters above a previously-approved, two-story, detached garage accessory structure for a single-family home that is currently under construction (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1089009), on portions of a 0.62-acre site;

WHEREAS, the project site is located at 7940 Costebelle Way, in the SF Zone of the La Jolla Shores Planned District, within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 56 of Azure Coast Unit No. 2, Map No. 5676, filed January 12, 1966;

WHEREAS, on March 20, 2013, the Hearing Officer of the City of San Diego considered Site Development Permit No. 1089009, amending Site Development Permit No. 4522, and pursuant to Resolution No. HO-6605, approved the Permit; and

WHEREAS, on April 4, 2013, the La Jolla Community Planning Association appealed the Hearing Officer's decision to the Planning Commission of the City of San Diego; and

WHEREAS, Environmental Analysis staff has determined that the project is consistent with Mitigated Negative Declaration No. 2701, certified June 16, 2004;

WHEREAS, on May 16, 2013, the Planning Commission of the City of San Diego considered Site Development Permit No. 1089009, pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated May 16, 2013.

Site Development Permit – Section 126.0504:

1. The proposed development will not adversely affect the applicable land use plan.

The proposed project would allow a 514-square-foot, third-story guest quarters above a previously-approved, two-story, detached garage accessory structure for a single-family home that is currently under construction on a 0.62-acre site at 7940 Costebelle Way. The single-family home and garage accessory structure were previously approved under Site Development Permit No. 4522. No changes to the building footprint, area of disturbance or the single-family structure are proposed with this amendment.

The project site is designated for Very Low Density Residential development by the La Jolla Community Plan and is located in a developed single-family neighborhood consistent with that designation. The site is located in the SF Zone of the La Jolla Shores Planned District which allows for single-family development. Guest quarters are allowed in the SF Zone and the inclusion of guest quarters does not alter the designation of the project as single-family development. Therefore, the addition of a guest quarters to this previously approved single-family project with garage accessory structure would not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The proposed project would allow a 514-square-foot, third-story guest quarters above a previously-approved, two-story, detached garage accessory structure for a single-family home that is currently under construction on a 0.62-acre site at 7940 Costebelle Way. The single-family home and garage accessory structure were previously approved under Site Development Permit No. 4522. No changes to the building footprint, area of disturbance or the single-family structure are proposed with this amendment.

The project is required to comply with all conditions contained in approved Site Development Permit No. 4522, including brush management, engineering, landscape, water and wastewater requirements. The project is also required to obtain all required construction permits to ensure compliance with all Fire, Health and Safety and Uniform Building Codes.

Mitigated Negative Declaration No. 2701 was prepared for the original project in accordance with State of California Environmental Quality Act (CEQA) Guidelines for the construction of the new single-family residence with accessory structure. This document was certified on June 16, 2004, when the original project was approved by the Hearing Officer. Environmental staff has determined that the project is consistent with the previously certified MND and the preparation of a new environmental document is not required. The circumstances that require the preparation of a new environmental document described in Section 15162 of the CEQA Guidelines to not apply to this project. These circumstances include substantial changes proposed to the project or circumstances under which the project was undertaken or the availability of new information. Conditions of approval have been incorporated to ensure that this project fully complies with the existing Mitigation, Monitoring and Reporting Program (MMRP) that was included in the MND.

Therefore, the addition of a guest quarters to a previously approved single-family project with garage accessory structure would not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed project would allow a 514-square-foot, third-story guest quarters above a previously-approved two-story detached garage accessory structure for a single-family home that is currently under construction on a 0.62-acre site at 7940 Costebelle Way. The single-family home and garage accessory structure were previously approved under Site Development Permit No. 4522. No changes to the building footprint, area of disturbance or the single-family structure are proposed with this amendment.

The proposed third-story addition would comply with the 30-foot Coastal Height Limit Overlay Zone and there would be no change to the approved setbacks or lot coverage. No deviations or variances are requested and there would be no additional impacts to environmentally sensitive lands. All permit conditions contained in the original Site Development Permit No. 4522 apply to this project, as do the MMRP requirements associated with certified MND No. 2701. The proposed guest quarters comply with the Separately Regulated Use Regulations listed in San Diego Municipal Code Section 141.0306, "*Guest Quarters or Habitable Accessory Buildings*" and the project has been conditioned to comply with the use limitations described in that section. The guest quarters have been designed to integrate with the previously approved accessory structure with a similar design and the use of varied but complimentary materials and finishes. The structure with guest quarters would appear as a two-story structure from the right-of-way, which is similar to and compatible with other residences in the area.

Therefore, the addition of a guest quarters to a previously approved single-family project with garage accessory structure would comply with the applicable regulations of the Land Development Code.

Supplemental Findings – Environmentally Sensitive Lands

- 1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;**

The proposed project would allow a 514-square-foot, third-story guest quarters above a previously-approved two-story detached garage accessory structure for a single-family home that is currently under construction on a 0.62-acre site at 7940 Costebelle Way. The single-family home and garage accessory structure were previously approved under Site Development Permit No. 4522. No changes to the building footprint, area of disturbance or the single-family structure are proposed with this amendment. All permit conditions contained in the original Site Development Permit No. 4522 apply to this project, as do the MMRP requirements associated with certified MND No. 2701.

Therefore, the site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands.

- 2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;**

The proposed project would allow a 514-square-foot, third-story guest quarters above a previously-approved two-story detached garage accessory structure for a single-family home that is currently under construction on a 0.62-acre site at 7940 Costebelle Way. The single-family home and garage accessory structure were previously approved under Site Development Permit No. 4522. No changes to the building footprint, area of disturbance or the single-family structure are proposed with this amendment.

The project is required to comply with all conditions contained in approved Site Development Permit No. 4522, including brush management, engineering, landscape, water and wastewater requirements. The project is also required to obtain all required construction permits to ensure compliance with all Fire, Health and Safety and Uniform Building Codes.

The original project which is currently under construction has an approved grading permit, which includes clearance for geology and drainage standards. A geotechnical study was submitted during grading permit review to address potential issues, including faults.

The approved grading permit incorporates proper engineering and construction practices to ensure there is no undue risk from geologic forces. Therefore, the proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The proposed project would allow a 514-square-foot, third-story guest quarters above a previously-approved two-story detached garage accessory structure for a single-family home that is currently under construction on a 0.62-acre site at 7940 Costebelle Way. The single-family home and accessory structure were previously approved under Site Development Permit No. 4522.

No changes to the building footprint, area of disturbance or the single-family structure are proposed with this amendment and there would be no impact to environmentally sensitive lands beyond that which was identified in certified MND No. 2701 and the mitigation measures identified in the MMRP apply to this project.

Therefore, the proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The project site is not located in or adjacent to the City of San Diego Multiple Species Conservation Program's (MSCP) Multi-Habitat Planning Area (MHPA). Therefore, the project would not adversely affect the MHPA.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The proposed project would allow a 514-square-foot, third-story guest quarters above a previously-approved two-story detached garage accessory structure for a single-family home that is currently under construction on a 0.62-acre site at 7940 Costebelle Way. The single-family home and accessory structure were previously approved under Site Development Permit No. 4522. No changes to the building footprint, area of disturbance or the single-family structure are proposed with this amendment. The site is located approximately one mile east of the Pacific Ocean. With implementation of water quality and drainage Best Management Practices as conditioned by the approved Site Development Permit No. 4522, the proposed development would not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The proposed project would allow a 514-square-foot, third-story guest quarters above a previously-approved two-story detached garage accessory structure for a single-family home that is currently under construction on a 0.62-acre site at 7940 Costebelle Way. The single-family home and accessory structure were previously approved under Site Development Permit No. 4522. No changes to the building footprint, area of disturbance or the single-family structure are proposed with this amendment.

Mitigated Negative Declaration No. 2701 was prepared for the original project in accordance with State of California Environmental Quality Act (CEQA) Guidelines for the construction of the new single-family residence with accessory structure. This document was certified on June 16, 2004, when the original project was approved by the Hearing Officer. Conditions of approval have been incorporated to ensure that the project fully complies with the Mitigation, Monitoring and Reporting Program. These conditions and all other conditions, including those contained in approved Site Development Permit No. 4522 which also apply to this project, are reasonably related and calculated to alleviate negative impacts created by the proposed development.

BE IT FURTHER RESOLVED that, based on the findings herein before adopted by the Planning Commission, Site Development Permit No. 1089009 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 1089009, a copy of which is attached hereto and made a part hereof.

Paul Godwin
Development Project Manager
Development Services

Adopted on: May 16, 2013

Internal Order No. 24003249

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003249

SITE DEVELOPMENT PERMIT NO. 1089009
AMENDING SITE DEVELOPMENT PERMIT NO. 4522
COSTEBELLE RESIDENCE - PROJECT NO. 295796 [MMRP]
PLANNING COMMISSION

This Site Development Permit No. 1089009, amending Site Development Permit No. 4522, is granted by the Planning Commission of the City of San Diego to Costebelle REI, LLC, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0504 (Site Development Permit). The 0.62-acre site is located at 7940 Costebelle Way, in the SF Zone of the La Jolla Shores Planned District, within the La Jolla Community Plan area. The project site is legally described as: Lot 56 of Azure Coast Unit No. 2, Map No. 5676, filed January 12, 1966.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a 514-square-foot, third-story guest quarters above a previously-approved, two-story, detached garage accessory structure for a single-family home that is currently under construction, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated March 20, 2013, on file in the Development Services Department.

The project shall include:

- a. Construction of a 514-square-foot, third-story guest quarters above a previously-approved, two-story, detached garage accessory structure for a single-family home that is currently under construction;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;

- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 16, 2016.
2. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
3. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
4. This Permit is an amendment to previously approved Site Development Permit No. 4522, Project No. 2701. All conditions contained in Permit No. 4522 apply to this project and are incorporated by reference, except where superseded by this permit.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. The requirements of the Mitigation, Monitoring, and Reporting Program [MMRP] associated with certified Mitigated Negative Declaration No. 2701, Project No. 2701, as referenced in approved Site Development Permit No. 4522, apply to this project are hereby incorporated into this Permit by reference.

PLANNING/DESIGN REQUIREMENTS:

12. Owner/Permittee shall maintain a minimum of two (2) off-street parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A." Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

13. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
14. Owner/Permittee or Owner/Permittee's successor or assignee may not use as, or convert to, a companion unit or any other dwelling unit.
15. Neither the primary dwelling unit nor the guest quarters or habitable accessory building shall be rented, sold or conveyed separately.
16. Prior to the issuance of a Building Permit for the guest quarters, the Owner shall submit a signed agreement with the City that specifies that the guest quarters shall not be used as, or converted to, a companion unit or any other dwelling unit. The agreement shall include a stipulation that neither the primary dwelling unit nor the guest quarters or habitable accessory building shall be sold or conveyed separately. The City will provide the agreement to the County Recorder for recordation.
17. Guest quarters or habitable accessory buildings shall be used solely by the occupants of the primary dwelling unit, their guests, or their employees.
18. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 16, 2013,
Resolution No. _____.

Permit Type/PTS Approval No.: SDP No. 1089009
Date of Approval: May 16, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Paul Godwin
Development Project Manager

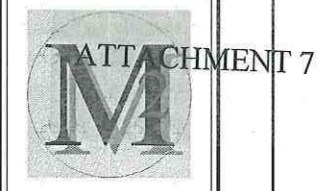
**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Costebelle REI, LLC
Owner/Permittee

By _____
Marcos Moreno
Member

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



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COSTEBELLE RESIDENCE
 7940 COSTEBELLE WAY
 LA JOLLA, CA 92037

REVISION:
 8-7-2012 COASTAL AMENDMENT
 1-18-2013 ROOF REVISION

PHASE: **COASTAL**

PROJECT NO. 2011-17

REVIEWED BY: **CAM**

DRAWN BY: **JK**

DATE: **03-18-2013**

Marengo Morton Architects, Inc., in providing its professional services, is providing the same as a public utility. The professional seal, title, name, and address of the professional engineer, architect, or other professional person, shall be clearly indicated on all drawings and specifications. The professional seal shall be clearly indicated on all drawings and specifications. The professional seal shall be clearly indicated on all drawings and specifications. The professional seal shall be clearly indicated on all drawings and specifications.

SHEET TITLE: **PROPOSED SITE PLAN / BRUSH MGT. PLAN**
A-1.1
 SHEET OF

STORM WATER QUALITY NOTES
CONSTRUCTION BMP'S
 This project shall comply with all requirements of the state permit: California Regional Water Quality Control Board, San Diego Region, order NO. 2001 01 NPDES NO. CASD10875 (<http://www.scrb.ca.gov/waterquality/npdes/permits.html>)
 Notes 1-6 below represent key minimum requirements for construction BMP's:
 1. Sufficient BMP's must be installed to prevent silt, mud or other construction debris from being tracked into the adjacent street(s) or storm water conveyance systems due to construction vehicles or any other construction activity. The contractor shall be responsible for cleaning any such debris that may be in the street at the end of each work day or after a storm event that causes a breach in the installed construction BMP's.
 2. All stock piles of uncompact soil and/or building materials that are intended to be left unprotected for a period greater than seven calendar days are to be provided with erosion and sediment controls. Such soil must be protected each day when the probability of rain is 40% or greater.
 3. A concrete washout shall be provided on all projects which propose the construction of any concrete improvements that are to be poured in place on the site.
 4. All erosion sediment control devices shall be maintained in working order at all times.
 5. All slopes that are created or disturbed by construction activity must be protected against erosion and sediment transport at all times.
 6. The storage of all construction materials and equipment must be protected against any potential release of pollutants into the environment.

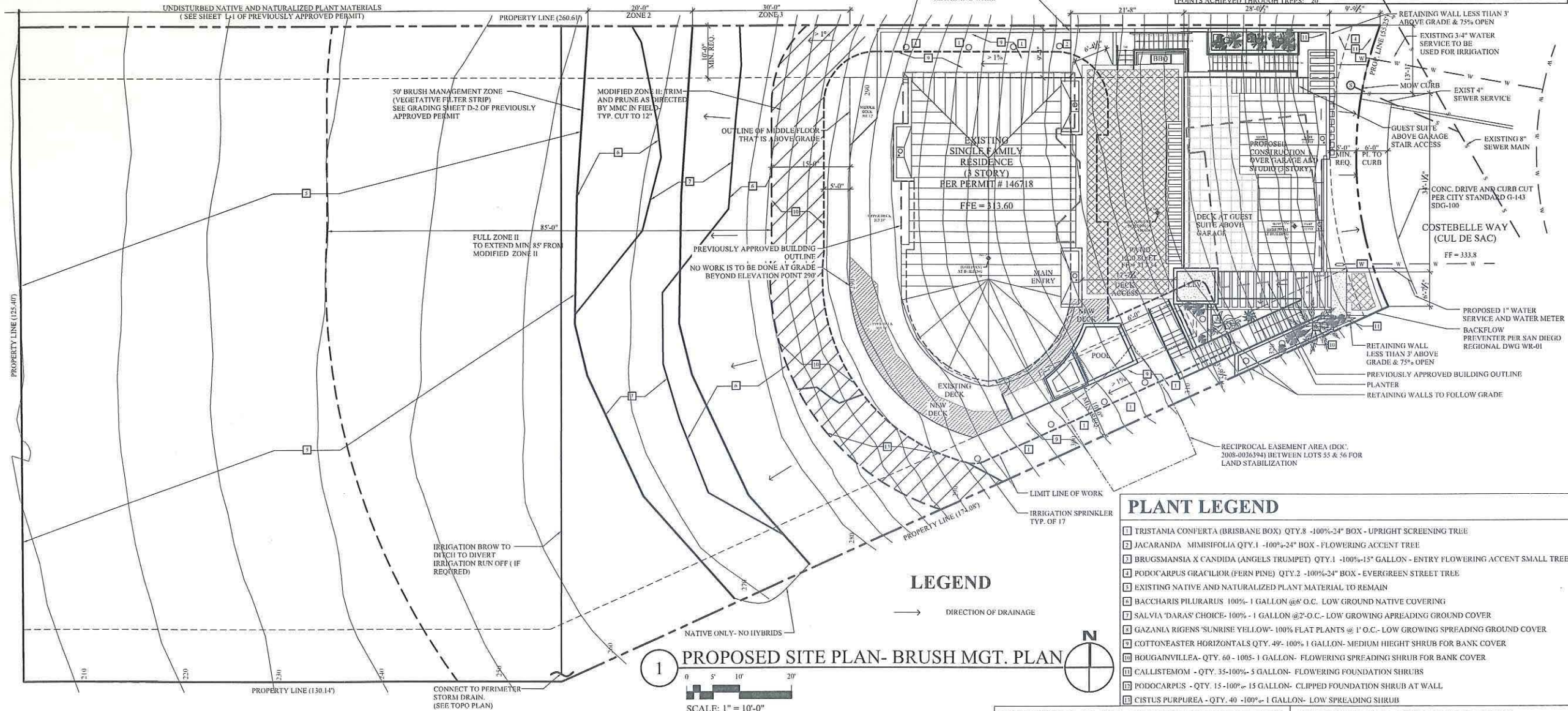
IRRIGATION NOTES:
 1. Irrigation will be on a separate meter.
 2. 4.304.1 Irrigation controllers. Automatic irrigation system controllers for landscaping provided by the builder and installed at the time of final inspection shall comply with the following:
 a. Controllers shall be weather- or soil moisture-based controllers that automatically adjust irrigation in response to changes in plants' needs as weather conditions change.
 b. Weather-based controllers without integral rain sensors or communication systems that account for local rainfall shall have a separate wired or wireless rain sensor which connects or communicates with the controller(s). Soil moisture-based controllers are not required to have rain sensor input.

PERCENTAGE OF THE SITE TO BE LANDSCAPED:
 RESIDENCE AREA 5,118 S.F. 20%
 HARDSCAPE AREA 2,278 S.F. 8%
 LANDSCAPED AREA 19,548 S.F. 72%
 TOTAL SITE 26,994 S.F. 100%

SITE SLOPE ANALYSIS:
 % OF LOT ON GREATER THAN OR EQUAL TO 25% SLOPE (> 4:1): 0%
 % NOT ON LESS THAN 25% SLOPE (< 4:1): 100%

SUMMARY OF LANDSCAPE CALCULATIONS

| | | | |
|--------------------------------|-------------------|--------------------|------------------------|
| STREET YARD TOTAL AREA: | 437.5 S.F. | PROVIDED: 220 S.F. | EXCESS AREA: 1.25 S.F. |
| PLANTING AREA REQUIRED: | 218.75 S.F. | PROVIDED: 57 | EXCESS AREA: 35 |
| PLANTING POINTS REQUIRED: | 72 | | |
| PLANTING AREA AS HARDSCAPE: | 16 S.F. | | |
| POINTS ACHIEVED THROUGH TREES: | 40 | | |
| REMAINING YARD: | | | |
| PLANT POINTS REQUIRED: | 160 | PROVIDED: 345 | |
| POINTS ACHIEVED THROUGH TREES: | 60 | | |
| VEHICULAR USE AREA: | | | |
| TOTAL AREA: | 127 S.F. | | |
| PLANTING AREA REQUIRED: | 40 S.F. PER TREE: | PROVIDED: 20 | |
| PLANT POINTS REQUIRED: | 6.4 | | |
| POINTS ACHIEVED THROUGH TREES: | 20 | | |



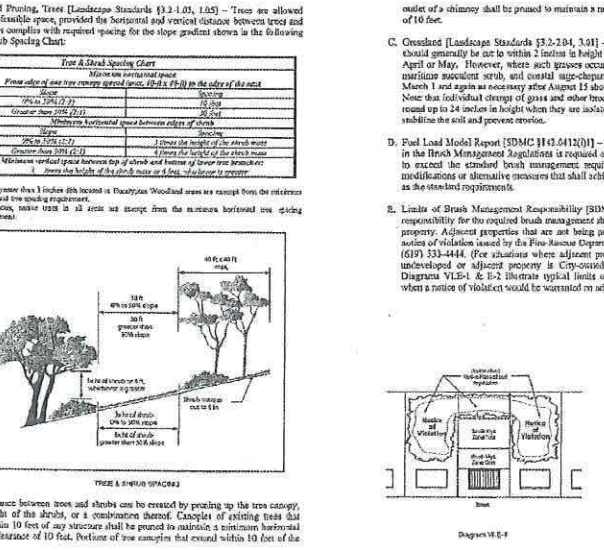
BRUSH MANAGEMENT - VEGETATION

A. Thinning and Pruning, Native/Naturalized Vegetation [SDMC §142.0412(d), (g) & (h), Landscape Standards §3.2.04, 3.2.011] - Two key factors in creating a fire safe landscape are providing fuel discontinuity by the separation of the flammable plant cover (thinning) and reduction in fuel load by cutting out dead and excess growth of the native/naturalized vegetation (pruning). Plants to be retained should be consistent with the allowable coverage, spacing and spacing required in the Brush Management Regulations and the Landscape Standards. Whenever possible, a person knowledgeable about the use and maintenance of native plants should be consulted to oversee the selection, thinning, and pruning of these plants. The progression of work should proceed as follows: 1) remove dead plants, 2) thin out brush management areas to the required coverage, 3) prune remaining plants, 4) dispose or mulch debris and trimmings, and 5) maintain Zone One to a year-round basis. Note that brush management activities are prohibited within coastal sage scrub, maritime succulent scrub, and coastal sage-chaparral habitats from March 1 through August 15, except where documented to the satisfaction of the City Mayor's Designee that the thinning would be consistent with conditions of species coverage described in the City of San Diego's MSPCP Silvera Plan.

1) Thinning - This first step requires identification of the native/naturalized species and a familiarity with their various characteristics such as rooting depth, fuel loads, flammability, as well as habitat and aesthetic value. Thinning should be prioritized as follows: 1) invasive non-native species with the exception of eucalyptus trees in Eucalyptus Woodland areas, 2) non-native species, 3) flammable native species, 4) native species, and 5) regionally sensitive species. All vegetation that is to be removed during the initial thinning should be noted or flagged. The remaining plants which are not to be saved should be cut six inches above the ground without pulling out the roots.

For Eucalyptus Woodland areas that fall within Zone Two Brush Management, all trees 3 inches or less in diameter at breast height (dbh) shall be removed with the exception of indigenous, native species. The removal of live (includes "discarded") eucalyptus trees over 3 inches dbh, should only occur:

- when needed to remove adjacent dead trees;
- to achieve tree/branch vertical requirements;
- where deemed a specific liability or fire safety hazard by the Fire Chief; or
- on private property when adhering to the horizontal spacing criteria shown in the Tree & Shrub Spacing Chart under Section VII.B.



BRUSH MANAGEMENT NOTES

- A pre-construction meeting shall be held with the City's Landscape Inspector prior to implementing the Brush Management Program.
- All landscape and irrigation shall conform to the standards of the City-Wide Landscape Regulations and the City of San Diego Land Development Manual Landscape Standards and all other landscape related City and Regional Standards.
- Maintenance: All required landscape areas shall be maintained by _____ Landscape & irrigation areas in the public ROW shall be maintained by _____. The landscape areas shall be maintained free of debris and litter and all plant material shall be maintained in a healthy growing condition. Diseased or dead plant material shall be satisfactorily treated or replaced per the conditions of the permit.
- An automatic, electrically controlled irrigation system shall be installed as shown on the plans and in accordance with the criteria and standards of the City of San Diego Landscape Ordinance section 142.0403 and the City of San Diego Land Development Manual Landscape Standards. Irrigation systems shall be maintained for proper development and maintenance of the vegetation in a healthy, disease-resistant condition. The design of the system shall provide adequate support for the vegetation selected.
- Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approval plan. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15-gallon size or 60-inch box size material, quantity. Development Services may authorize adjustment of the size and quantity of replacement material where material replacement would occur in inaccessible areas or where the existing plant being replaced is larger than a 15-gallon shrub or 60-inch box tree.
- MINIMUM TREE SEPARATION DISTANCE Improvement/ Minimum Distance to Street Tree**
 Traffic signals (stop sign) - 20 feet
 Underground utility lines - 5 feet (10' for sewer)
 Above ground utility structures - 10 feet
 Driveway (center) - 10 feet
 Intersections (intersecting curb lines of two streets) - 25 feet
 All graded, disturbed or eroded areas that will not be permanently paved or covered by structures shall be permanently revegetated and irrigated as shown in Table 142-04F and in accordance with the standards in the Land Development Manual [142.041(a)].

GENERAL SITE NOTES

- The site plan is for general site reference only. Refer to other construction documents for complete scope of work.
- Before commencing any site foundation excavation the contractor shall verify locations of all site dimensions and conditions. These include but are not limited to property lines, setback location to all new or existing walls, easements (if any), existing site utilities, including water, sewer, gas and electrical lines and any other new or existing site items which could affect in any way the construction of the building. Flag or otherwise mark all locations of site property lines, easements (if any) underground utilities, and indicate utility type.
- All conditions or dimensions on these plans shall be verified in the field by the General Contractor with actual site conditions. Written dimensions shall take precedence over scaled dimensions and shall be verified on the job site. On-site verification of all dimensions and conditions shall be the sole responsibility of the General Contractor and Subcontractors.
- The Contractor or sub-contractor shall notify the Architect if any conflicts or discrepancy occurs between this information on this plan and actual field conditions. Do not proceed with work in conflict with these drawings until written or verbal instructions are issued by the Architect office.
- Protect existing vegetation and mark perimeter of construction zone. Remove all trees and vegetation within 5' of proposed new structures, unless otherwise shown.
- Grade site to direct ground water away from building and new additions. Drainage swales are to be directed as shown, provide 2% slope.
- Locate refuse bin at approved onsite location. Contractor shall dispose of all site refuse at city-approved locations.
- All proposed work in the Public Right-of-Way shown on these plans are for reference only and will be permitted under a separate Right-of-Way permit.

PROPERTY LINE (260.61')

10'-0" MIN. REQ.

PROJ. LINE (88.25')

5'-0" MIN. REQ.

6'-0" PL TO CURB

10'-0" MIN. REQ.

PROPERTY LINE (174.89')

PREVIOUSLY APPROVED EXISTING BUILDING OUTLINE
3 FLOORS
FIRST FLOOR - 1,117 SF
SECOND FLOOR - 2,122 SF
THIRD FLOOR 1,612 SF
TOTAL - 4,851 SF

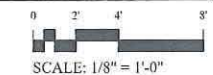
PREVIOUSLY APPROVED BUILDING OUTLINE
2 FLOORS
FIRST FLOOR - 576 SF
SECOND FLOOR - 690 SF

PROPOSED BUILDING OUTLINE
3 FLOORS
FIRST FLOOR - 250.5 SF (799.9 NON-GFA)
SECOND FLOOR - 1,015.5 SF
THIRD FLOOR - 513.4 SF

COMPARISON LEGEND

- PROPERTY LINE
- SETBACK LINE
- - - PERIMETER OF PREVIOUSLY APPROVED PROJECT
- ▨ PERIMETER OF PROPOSED PROJECT

1 BUILDING OUTLINE COMPARISON PLAN
SCALE: 1/4" = 1'-0"



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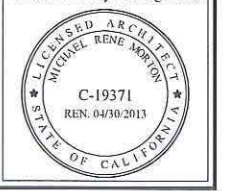
COSTEBELLE RESIDENCE
7940 COSTEBELLE WAY
LA JOLLA, CA 92037

REVISIONS
8-7-2012 COASTAL AMENDMENT
3-18-2013 ROOF REVISION

PHASE COASTAL
PROJECT NO. 2011-17
REVIEWED BY CAM
DRAWN BY JK
DATE 03-18-2013

SHEET TITLE
BUILDING OUTLINE COMPARISON PLAN
A-1.2
SHEET OF

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LA JOLLA, CA 92037

| | |
|-------------|----------------------------|
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| | 3-18-2013 ROOF REVISION |
| PHASE | COASTAL |
| PROJECT NO. | 2011-17 |
| REVIEWED BY | CAM |
| DRAWN BY | JK |
| DATE | 03-18-2013 |

PROPOSED UPPER LEVEL
PLAN BLDG B
A-2.4
SHEET OF

FLOOR PLAN NOTES

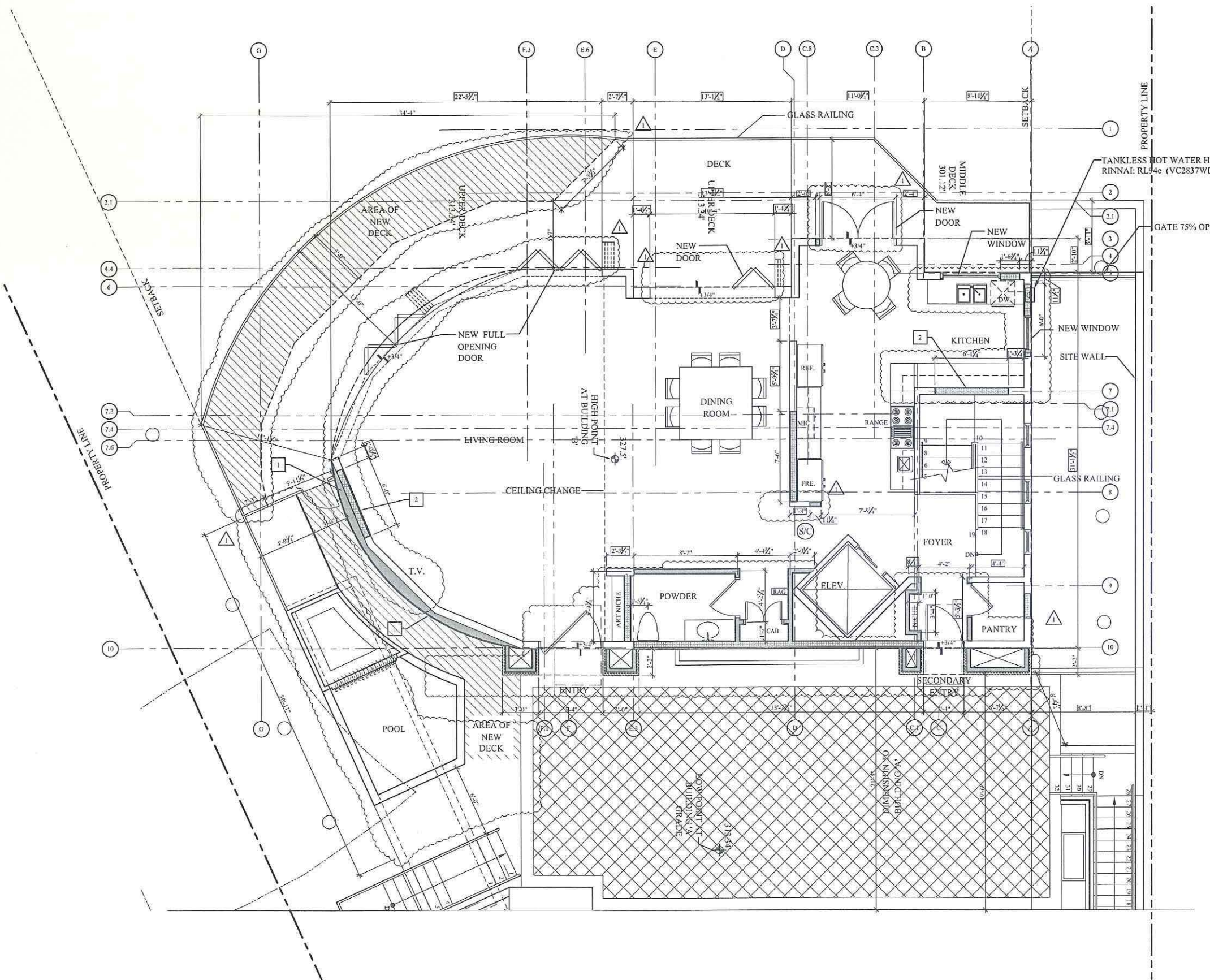
- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheets A-3.1 & A-3.2.
- D. For Demolition, see sheets A-2.1 - A-2.3.
- E. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas.
R-13 Batt Insulation at all accessible interior walls for sound control.
R-30 Batt Insulation at Ceiling & Roof Areas.
R-5 Insulation Wrap On All New Hot Water Piping.
R-4.5 Insulation Wrap On All New Supply Ducts.
- F. HVAC Equipment: See Equipment Title-24 calculations on Sheet T-1.4.
- G. WATER HEATER: See Title-24 calculations on Sheet T-1.4.
- H. TANKLESS HOT WATER HEATER RINNAL: RL94c (VC2837WD-US)
- I. HVAC: New Rheem RGP10NAMER, 80,000 BTU gas FAU, 30 AFUE (or eq) typ of 1.
- J. SMOKE/CO2 DETECTORS:
1. Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
2. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of the governing CRC and the household fire warning equipment provisions of NFPA 72. Systems and components shall be California State Fire Marshal listed and approved in accordance with CCR, Title 19, Division 1 for the purpose for which they are installed. [Sec. R314.1.1]
3. Smoke alarms shall receive their primary power from the building wiring provided that such wiring is served from a commercial source and shall be equipped with a battery back-up. Smoke alarms with integral strobes that are not equipped with battery backup shall be connected to an emergency electrical system. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection. [Sec. R314.4]
4. Where more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. [Sec. R314.3]
5. For new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units which fuel-burning appliances are installed and in dwelling units that have attached garages. [Sec. R315.1]
6. Single- and multiple-station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075. [Sec. R315.3]
7. Carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection. [Sec. R315.1.1]
8. Interconnection: Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit. [Sec. R315.2.2]
- K. "The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway."
- L. "Vent: Installation of vent or wall covering shall comply with the applicable provisions set forth on section R703."

FLOOR PLAN KEY NOTES

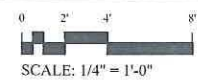
- 1. NEW FURRING AS COSMETIC FRAMING TO ROUND OUT STRUCTURE.
- 2. INFILL WHERE EXISTING DOOR / WINDOW HAS BEEN REMOVED

FLOOR PLAN LEGEND

- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS.
- NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
- EXISTING WALL TO BE REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING SHORING WALLS
- NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
- NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.2
- S SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP. VERIFY IN FIELD FOR EXISTING CONDITIONS
- SC COMBINATION CO2 / SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP. VERIFY IN FIELD FOR EXISTING CONDITIONS
- FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
- FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
- PROPOSED EXTERIOR LIGHTING
- FAU RETURN AIR GRILL LOCATION
- NEW DOOR, INSTALLED 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURE DIMENSION
- PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD FDTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.
- DELTA (Δ) REPRESENTS THE CHANGES TO THE PERMIT # 4522



1 PROPOSED UPPER LEVEL BUILDING B INTERIOR CHANGES



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PHASE: COASTAL

PROJECT NO. 2011-17

REVIEWED BY CAM

DRAWN BY JK

DATE 03-18-2013

SHEET TITLE
 PROPOSED MID LEVEL
 PLAN-BLDG B
A-2.5
 SHEET OF

FLOOR PLAN NOTES

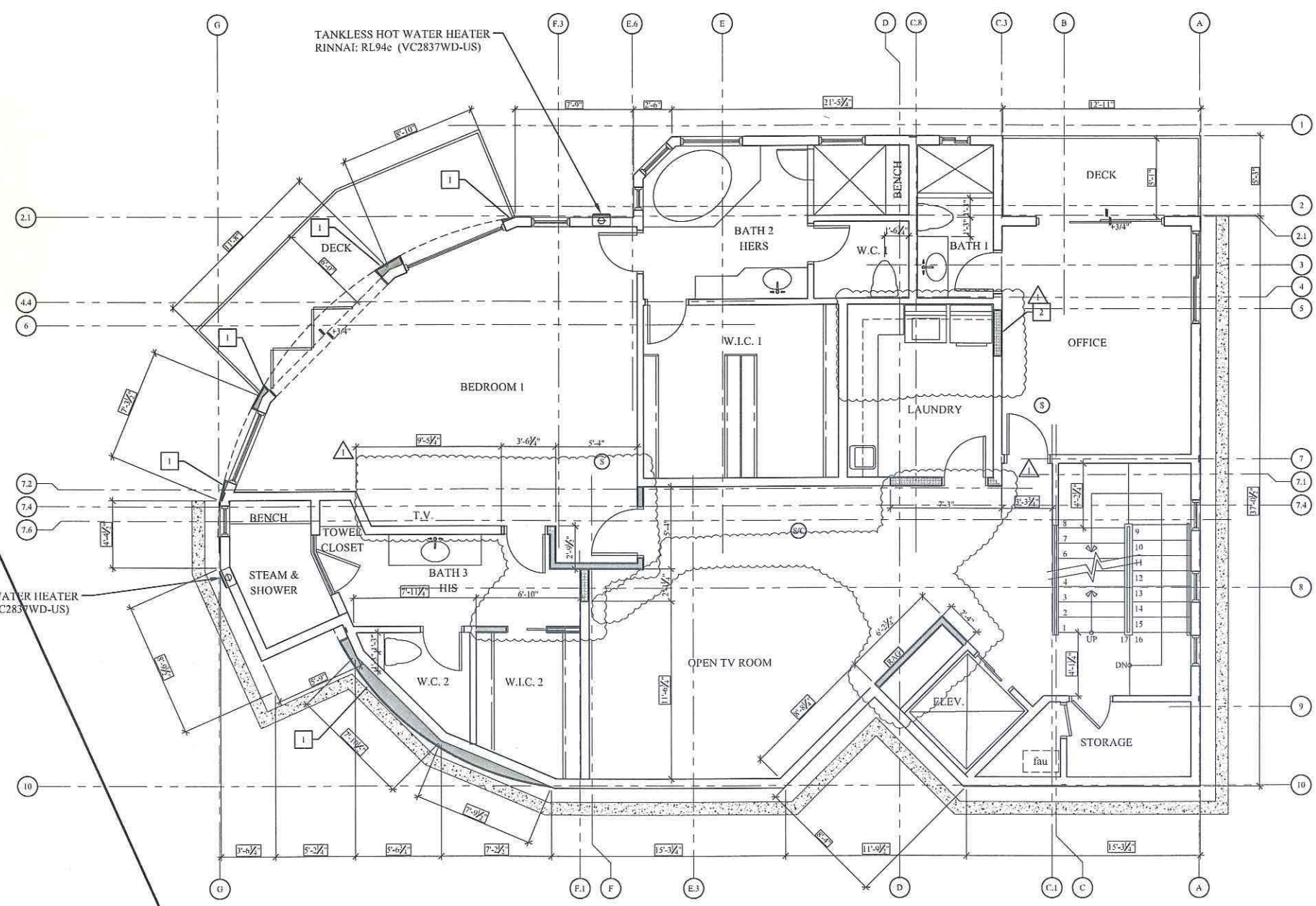
- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheets A-8.1 & A-8.2.
- D. For demolition, see sheets A-2.1 - A-2.3
- E. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.
 R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas
 R-13 Batt Insulation at all accessible interior walls for sound control.
 R-30 Batt Insulation at Ceiling & Roof Areas.
 R-4.5 Insulation Wrap On All New Hot Water Piping.
 R-4.5 Insulation Wrap On All New Supply Ducts.
- F. HVAC Equipment: See Equipment Title-24 calculations on Sheet T-1.4.
- G. WATER HEATER: See Title-24 calculations on Sheet T-1.4.
- H. TANKLESS HOT WATER HEATER RINNAI: RL94e (VC2837WD-US)
 HVAC: New Rheem RGP10NAMER, 80,000 BTU gas FAU.
- I. 80 AFUE (or eq) typ of 1.
 SMOKE/CO2 DETECTORS:
 1. Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
 2. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with the provisions of the governing CRC and the household fire warning equipment provisions of NFPA 72. Systems and components shall be California State Fire Marshal listed and approved in accordance with CCR, Title 19, Division 1 for the purpose for which they are installed. [Sec. R314.1]
 3. Smoke alarms shall receive their primary power from the building wiring provided that such wiring is served from a commercial source and shall be equipped with a battery back-up. Smoke alarms with integral strobes that are not equipped with battery backup shall be connected to an emergency electrical system. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection. [Sec. R314.4]
 4. Where more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. [Sec. R314.3]
 5. For new construction, an approved carbon monoxide alarm shall be installed in dwelling units and in sleeping units which fire-burning appliances are installed and in dwelling units that have attached garages. [Sec. R315.1]
 6. Single- and multiple-station carbon monoxide alarms shall be listed as complying with the requirements of UL 2034. Carbon monoxide detectors shall be listed as complying with the requirements of UL 2075. [Sec. R315.2]
 7. Carbon monoxide alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery back-up. Alarm wiring shall be directly connected to the permanent building wiring without a disconnecting switch other than as required for overcurrent protection. [Sec. R315.1.1]
 8. Interconnection: Where more than one carbon monoxide alarm is required to be installed within the dwelling unit or within a sleeping unit the alarm shall be interconnected in a manner that activation of one alarm shall activate all of the alarms in the individual unit. [Sec. R315.2.2]
- K. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
- L. Veneer: Installation of veneer as wall covering shall comply with the applicable provisions set forth on section R703.

FLOOR PLAN KEY NOTES

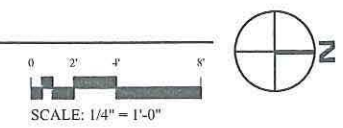
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- 2. INFILL WHERE EXISTING DOOR / WINDOW HAS BEEN REMOVED

FLOOR PLAN LEGEND

- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. DD. USE TILE BACKER BOARD AT RESTROOMS.
- NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
- EXISTING WALL TO BE REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING SHORING WALLS
- NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
- NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.2
- SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
- COMBINATION CO2 / SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
- FLOOR DRAIN (FD) SLOPE 1/2" PER 1'-0"
- FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
- PROPOSED EXTERIOR LIGHTING
- FAU RETURN AIR GRILL LOCATION
- NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- EXISTING STRUCTURE DIMENSION
- PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD FDTN. WALL. INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.
- DELTA 1 REPRESENTS THE CHANGES TO THE PERMIT # 4522



1 PROPOSED MID LEVEL BUILDING B INTERIOR CHANGES



TANKLESS HOT WATER HEATER RINNAI: RL94e (VC2837WD-US)

TANKLESS HOT WATER HEATER RINNAI: RL94e (VC2837WD-US)

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 Michael Morton AIA
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COSTEBELLE RESIDENCE
 7940 COSTEBELLE WAY
 LA JOLLA, CA 92037

REVISIONS
 8-7-2012 COASTAL AMENDMENT
 3-18-2013 ROOF REVISION

PHASE
 COASTAL

PROJECT NO. 2011-17

REVIEWED BY CAM

DRAWN BY JK

DATE 03-18-2013

Marengo Morton Architects, Inc. is providing this agreement with certain plans, specifications, reports, drawings, or other information for the use of the contractor or other professional in the performance of their duties. This information is not to be used for any other purpose without the express written consent of Marengo Morton Architects, Inc. The contractor or other professional shall be responsible for obtaining all necessary permits and for complying with all applicable laws, codes, and regulations. Marengo Morton Architects, Inc. shall not be held responsible for any errors or omissions in the drawings or specifications, or for any consequences arising therefrom. The contractor or other professional shall be responsible for the accuracy and completeness of the information provided to Marengo Morton Architects, Inc. and for the accuracy and completeness of the information provided to the contractor or other professional. The contractor or other professional shall be responsible for the accuracy and completeness of the information provided to the contractor or other professional. The contractor or other professional shall be responsible for the accuracy and completeness of the information provided to the contractor or other professional.

SHEET TITLE
 PROPOSED LOWER LEVEL
 PLAN-BLDG B
A-2.6
 SHEET OF

FLOOR PLAN NOTES

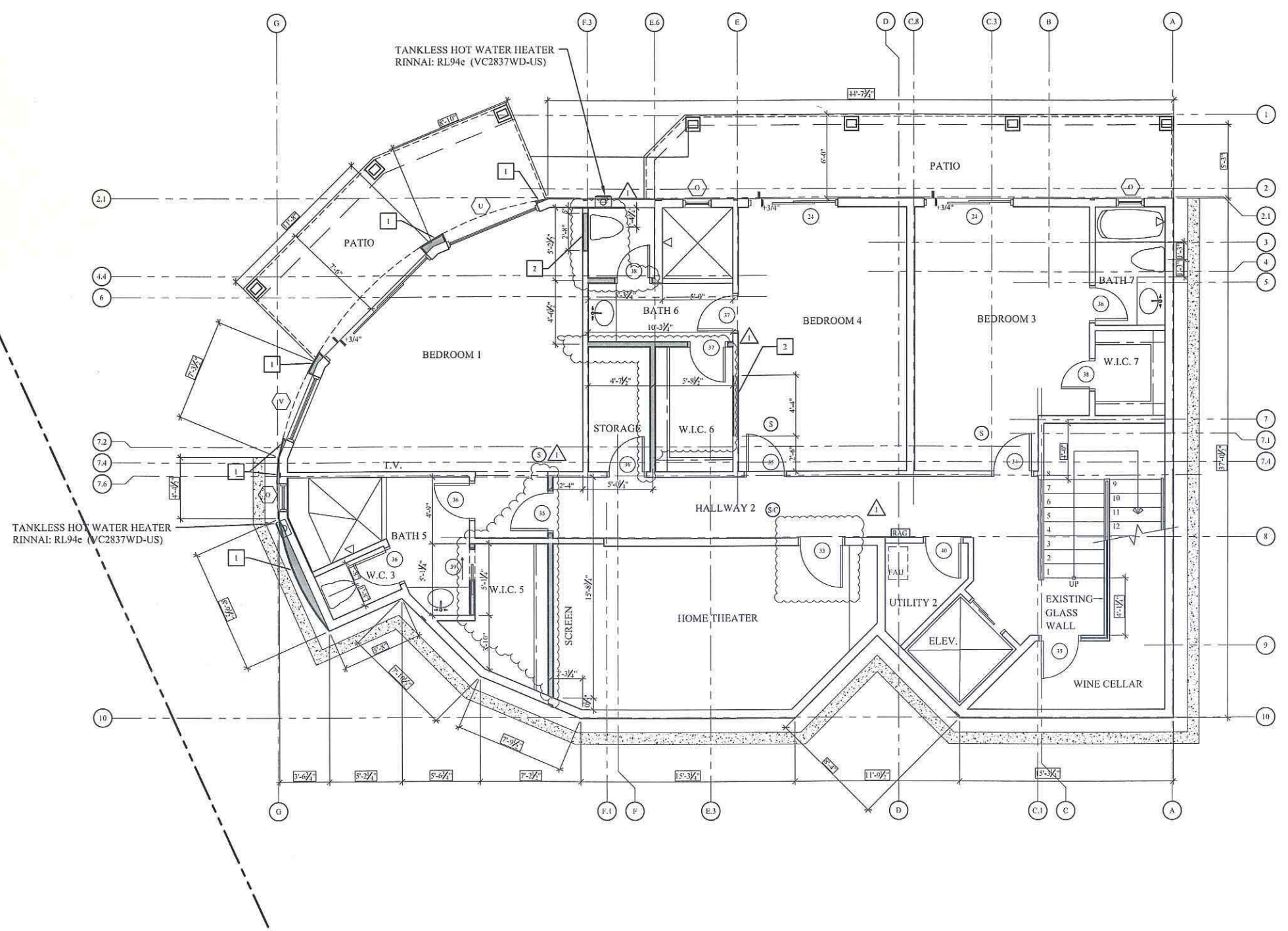
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- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheets A-8.1 & A-8.2.
- D. For Demolition, see sheets A-2.1 - A-2.3
- E. INSULATION: R-13 Batt Insulation At All New Exterior 2x4 Walls.
 R-19 Batt Insulation at all new 2x6 Exterior Walls and Raised Floor Areas
 R-13 Batt Insulation at all accessible interior walls for sound control.
 R-30 Batt Insulation at Ceiling & Roof Areas.
 R-4.5 Insulation Wrap On All New Hot Water Piping.
 R-4.5 Insulation Wrap On All New Supply Ducts.
- F. HVAC Equipment: See Equipment Title-24 calculations on Sheet T-1.4.
- G. WATER HEATER: See Title-24 calculations on Sheet T-1.4.
- H. TANKLESS HOT WATER HEATER RINNAI: RL94e (VC2837WD-US)
- I. HVAC: New Rheem RGP10NAMIER, 80,000 BTU gas FAU1, (VC2837WD-US)
 80 AFUE (or eq) typ of 1
- J. SMOKE/CO2 DETECTORS:
 1. Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup, C.B.C. Sec. 310.9.1.3.
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- K. The area of floor used for parking of automobiles or other vehicles shall be sloped to facilitate the movement of liquids to a drain or toward the main vehicle entry doorway.
- L. Veneer: Installation of veneer as wall covering shall comply with the applicable provisions set forth on section R703.

FLOOR PLAN KEY NOTES

- 1. NEW FURRING AS COSMETIC FRAMING TO ROUND OUT STRUCTURE.
- 2. INFILL WHERE EXISTING DOOR / WINDOW HAS BEEN REMOVED

FLOOR PLAN LEGEND

| | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------|
| | NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL. FINISH INTERIOR W/ 5/8" GYP. BD. USE TILE BACKER BOARD AT RESTROOMS. |
| | NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE |
| | EXISTING WALL TO BE REMAIN |
| | EXISTING WALL TO BE DEMOLISHED |
| | EXISTING SHORING WALLS |
| | NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1 |
| | NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.2 |
| | SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS |
| | COMBINATION CO2 SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS |
| | FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0" |
| | FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS |
| | PROPOSED EXTERIOR LIGHTING |
| | FAU RETURN AIR GRILL LOCATION |
| | NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED |
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| | DELTA 1 REPRESENTS THE CHANGES TO THE PERMIT # 4522 |



1 PROPOSED LOWER LEVEL BUILDING B INTERIOR CHANGES



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COSTEBELLE RESIDENCE
7940 COSTEBELLE WAY
LA JOLLA, CA 92037

REVISIONS
8-7-2012 COASTAL AMENDMENT
3-18-2013 ROOF REVISION



PHASE: COASTAL

PROJECT NO: 2011-17

REVIEWED BY: CAM

DRAWN BY: JK

DATE: 03-18-2013

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SHEET TITLE
UPPER FLOOR PLAN
BUILDING 'A'
A-2.7
SHEET OF

FLOOR PLAN NOTES

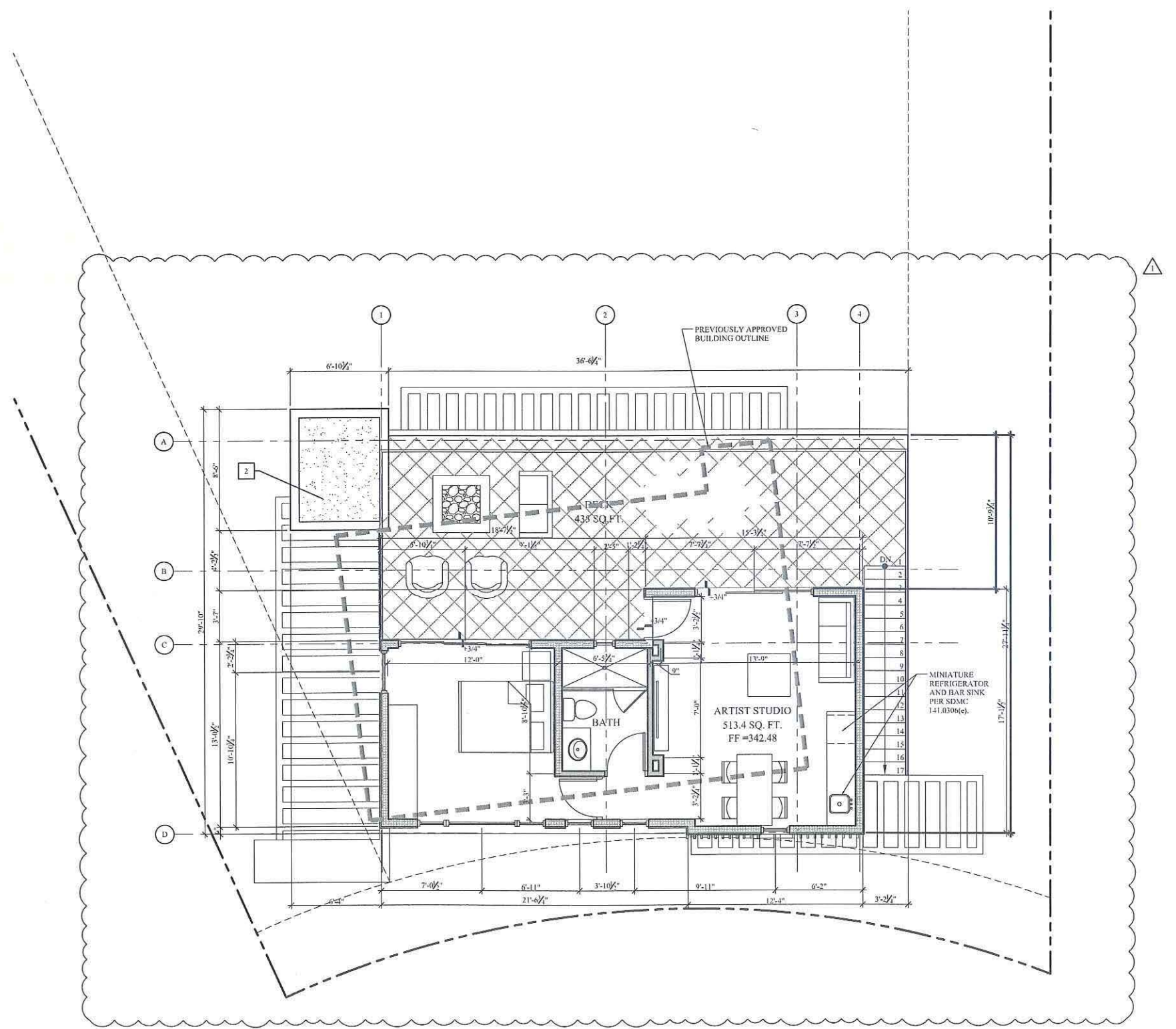
- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheets A-8.1 & A-8.2.
- D. For Demolition, see sheets A-2.1 - A-2.3.
- E. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls, R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas, R-13 Batt Insulation at all accessible interior walls for sound control, R-30 Batt Insulation at Ceiling & Roof Areas, R-4.5 Insulation Wrap On All New Hot Water Piping, R-4.5 Insulation Wrap On All New Supply Ducts.
- F. HVAC Equipment: See Equipment Title-24 calculations on Sheet T-1.4.
- G. WATER HEATER: See Title-24 calculations on Sheet T-1.4.
- H. TANKLESS HOT WATER HEATER RINNAL: RL94c (VC2837WD-US)
- I. HVAC: New Rheem RGF110NATER, 80,000 BTU gas FAU, .80 AFUE (or eq) typ of 1.
- J. SMOKE/CO2 DETECTORS:
 - 1. Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
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FLOOR PLAN KEY NOTES

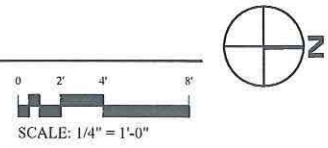
- 1. NEW FURRING AS COSMETIC FRAMING TO ROUND OUT STRUCTURE.
- 2. INFILL WHERE EXISTING DOOR / WINDOW HAS BEEN REMOVED

FLOOR PLAN LEGEND

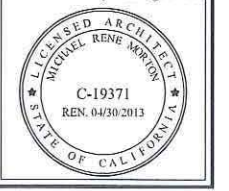
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- FAU RETURN AIR GRILL LOCATION
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- PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FTDN. WALL INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD. FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.
- DELTA 1 REPRESENTS THE CHANGES TO THE PERMIT # 4522



4 PROPOSED UPPER LEVEL BUILDING A



Marengo Morton Architects
 7724 Girard Ave.
 Second Floor
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COSTEBELLE RESIDENCE
 7940 COSTEBELLE WAY
 LA JOLLA, CA 92037

| | |
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| REVISIONS | 8-7-2012 COASTAL AMENDMENT |
| | 3-18-2013 ROOF REVISION |
| PHASE | COASTAL |
| PROJECT NO. | 2011-17 |
| REVIEWED BY | CAM |
| DRAWN BY | JK |
| DATE | 03-18-2013 |

SHEET TITLE
 FLOOR PLANS
 BUILDING 'A'
A-2.8
 SHEET OF

FLOOR PLAN NOTES

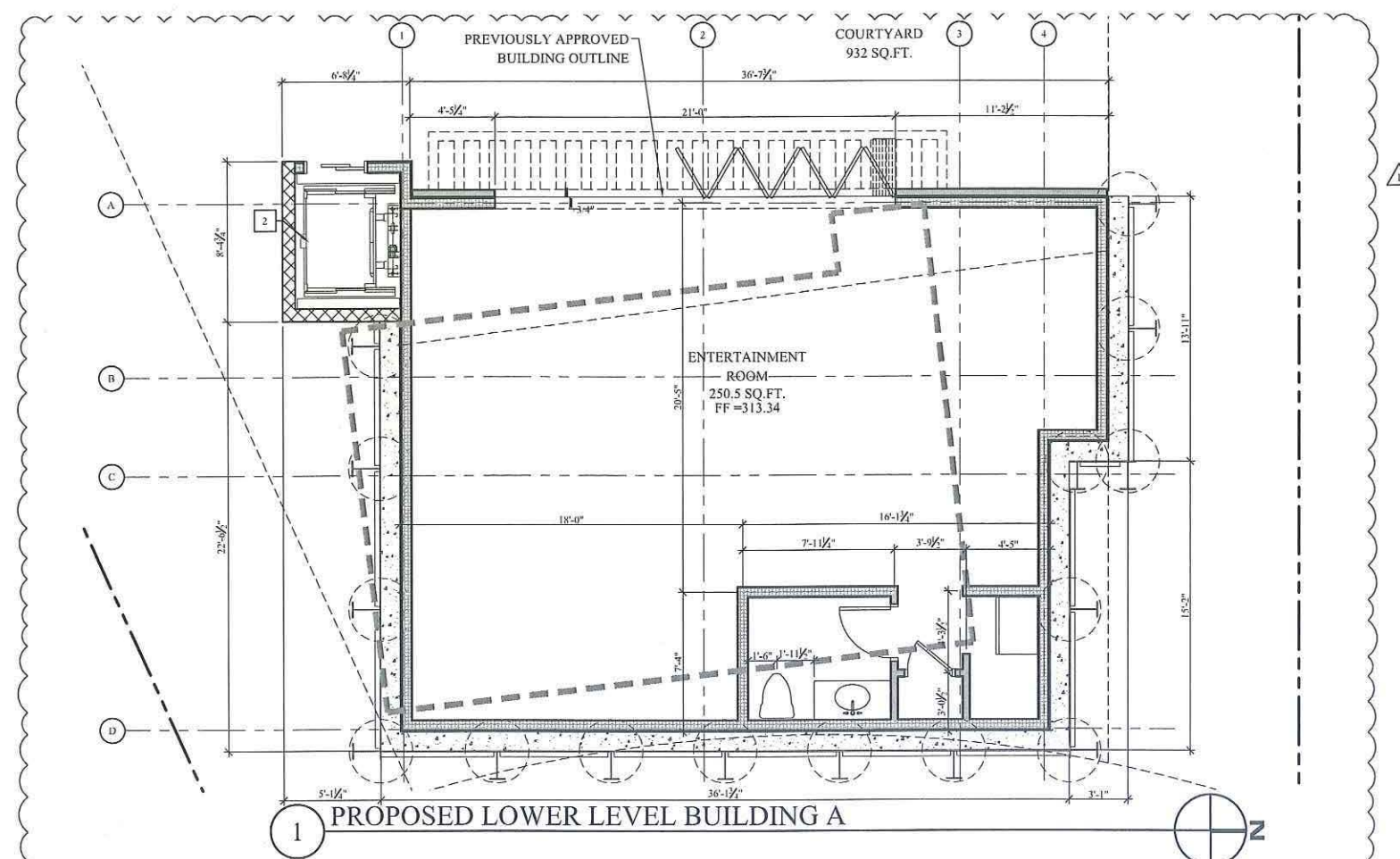
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- L.

FLOOR PLAN KEY NOTES

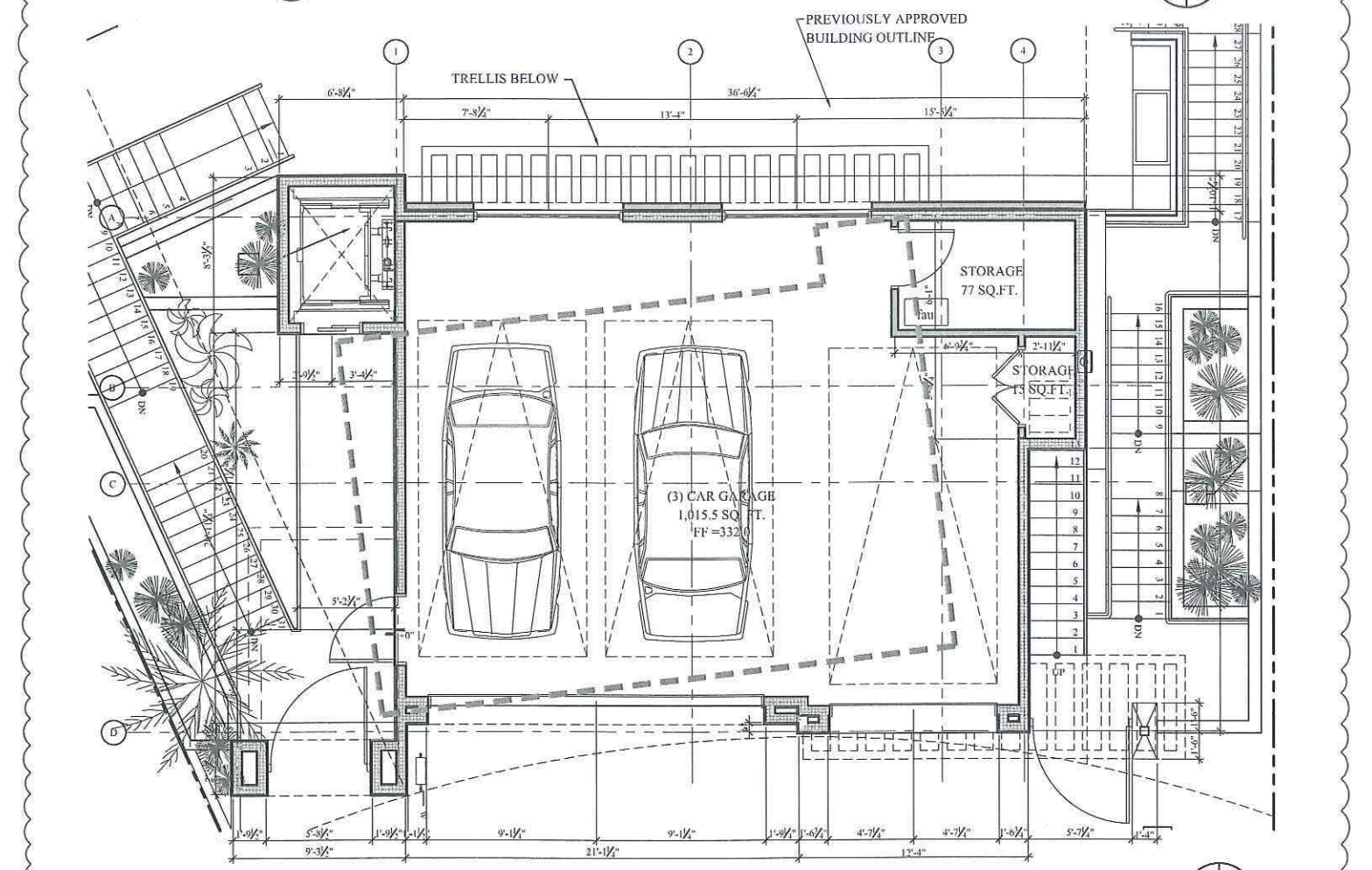
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FLOOR PLAN LEGEND

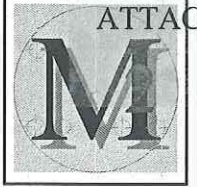
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- DELTA I REPRESENTS THE CHANGES TO THE PERMIT # 4522



1 PROPOSED LOWER LEVEL BUILDING A



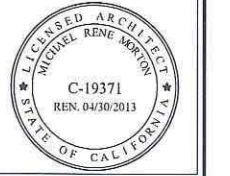
2 PROPOSED MIDDLE LEVEL BUILDING A



Marengo Morton Architects

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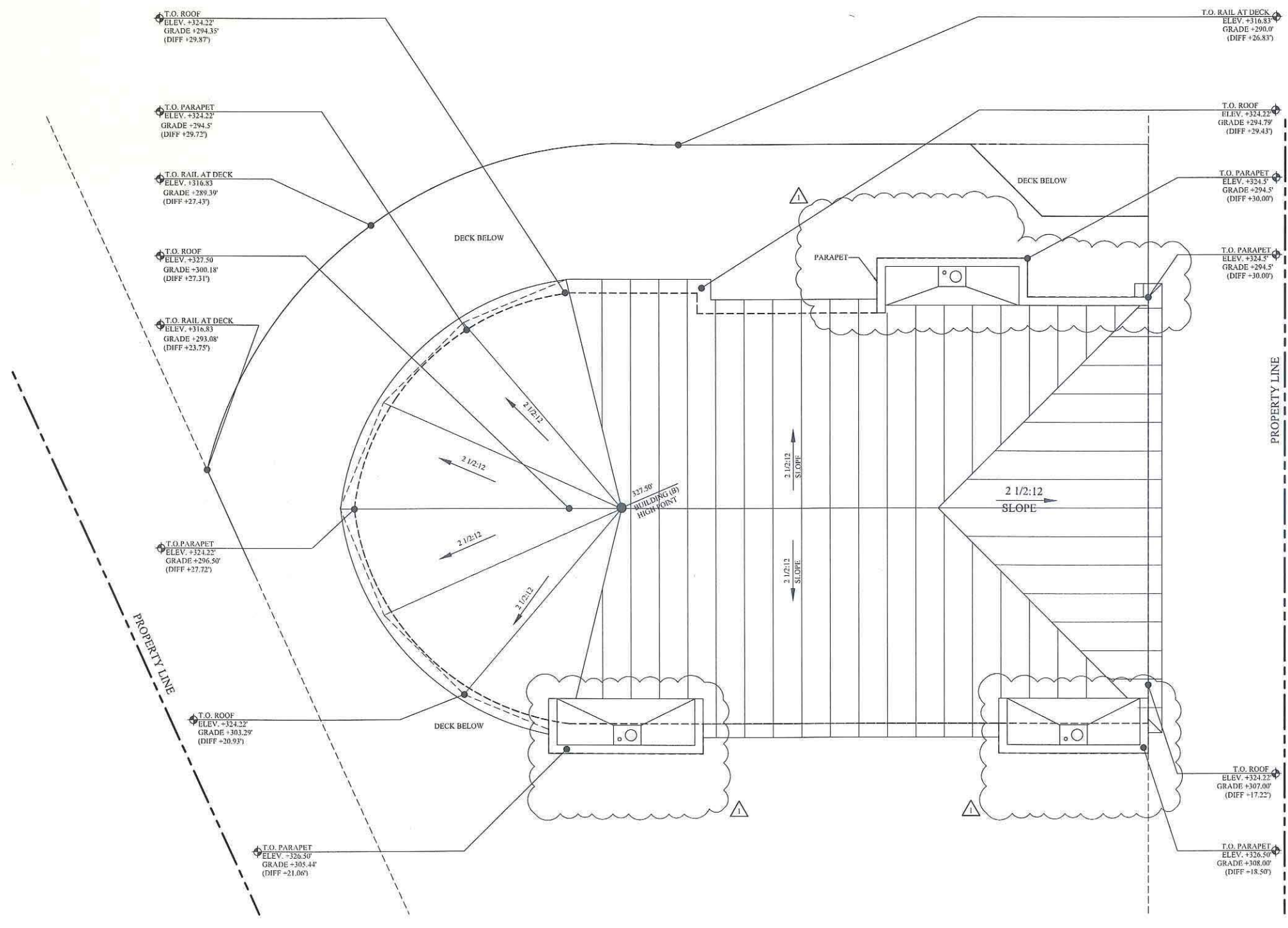
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3-18-2013 ROOF REVISION

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| | PROJECT NO. | 2011-17 |
| | REVIEWED BY | CAM |
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| | DATE | 03-18-2013 |

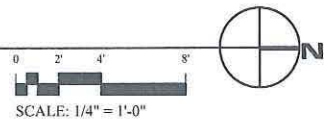
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SHEET TITLE PROPOSED ROOF PLAN BUILDING B
A-4.1
SHEET OF

- ROOF PLAN NOTES BUILDING "B"**
- Metal Roofing:** mbc1 16" superlok in slate gray, standing seam metal roof, class "a" roofing assembly per ul design no. tgru.8116. provide sample for architect's approval of color.
 - Metal Roofing Underlayment:** "Ice and Water Shield" 40 mil. Membrane by W. R. Grace. Install per manufacturer's specifications. I.C.B.O. # 3397. Install one layer of #40 roofing felt over membrane.
 - Parapet and other Horizontal Stuccoed Surface Waterproofing:** Membrane waterproofing shall be JIFFY SEAL 140/60 by Protector Wrap. Extend membrane a minimum of 6" below edge of parapet, each side. Provide a minimum end lap of 4" over adjoining membrane sheets. Where membrane abuts vertical surfaces, the membrane shall extend 6" up surface, and be overlapped by building wrap. I.C.B.O. #4252.
 - Plumbing Vent:** ABS plastic with sheet metal primary, secondary flashing and storm collar per notes sealed to vent. Combine vents in attic for one roof penetration. Prime and paint to match roof.
 - Roof Dormer Vents:** 24" X 29" pointed tail vents 16 oz. Copper sheet metal, unit shall provide a minimum of 16 square inches of free ventilation. Attic ventilation openings shall be covered with corrosion-resistant (copper) metal mesh with mesh openings of 1/4-inch in dimension.
 - Roof Edge Drip, Metal Flashing and Counter Flashing:** All exterior flashing to be 26 gauge galvanized steel, unless otherwise noted. Solder or seal all seams. Hem all exposed edges. Prime and paint to match adjacent surfaces.



1 PROPOSED ROOF PLAN BUILDING B

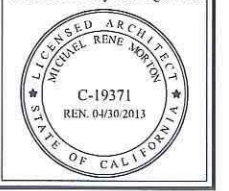


ROOF PLAN NOTES- BUILDING 'A'

- Roofing Underlayment slope 3:12 or less: "Ice and Water Shield" by W.R. Grace, (ICBO-ES) Report No. 3997, or "Water Guard HT" by Certain Teed Corp. (or architect approved equal). Install per manufacturer's instructions. Install a #40 fiberglass reinforced felt sheet over roof membrane.
- Counter-slopes: 1/2" per 12" (minimum) towards drains created using G-26 (latex-cement) flooring underlayment by Crossfield Products Corp.
- Roof Edge Drip, Metal Flashing, Panel Clips and Counter Flashing: All exterior flashing to be 16 oz copper unless otherwise noted. Solder or seal all seams. Hem all exposed edges.
- Single Ply Roofing System: By Carlisle-Syntec - Sure-Weld Reinforced TPO Membrane Mechanically fastened and Adhered Roofing System. Provide 1/2" per foot minimum roof slope. Install per manufacturer's instruction install with 1/2" thick Plywood Roof Sheathing. Provide roofing underlayment, and 1/2" thick sheathing overlayment of Carlisle/Cicorgia Pacific Dens-Deck. All pipe flashing to be Carlisle Pre-Molded TPO per detail 7/A-10.3. Roofing system shall be a UL class "A" rated ESR-1463 and have a minimum 10-year labor and material warranty. For specification Division 07050, Section F.
- Plumbing Vents: ABS plastic to be flashed with Carlisle-Syntec TPO Pre-Molded pipe flashing.
- Parapet, Transitions and other Horizontal Stucco Surface Waterproofing: Membrane waterproofing shall be JIFBY SEAL 1400/60 by Protecta Wrap. Extend membrane a minimum of 6" below edge of parapet, each side. Provide a minimum end lap of 4" over adjoining membrane sheets. Where membrane abuts vertical surfaces, the membrane shall extend 6" up surface, and be overlapped by building wrap. I.C.B.O. #4252.
- Roof Drain: Roof drain shall be TPO-RD2NH - 2" TPO-clad no-hub bottom outlet drain by Thunderbird Products with A.B.S. dome strainer. Telephone (800) 658-2473. Provide 3" I.D. ABS drain lines with min 1/8" slope. Connect to building storm water.



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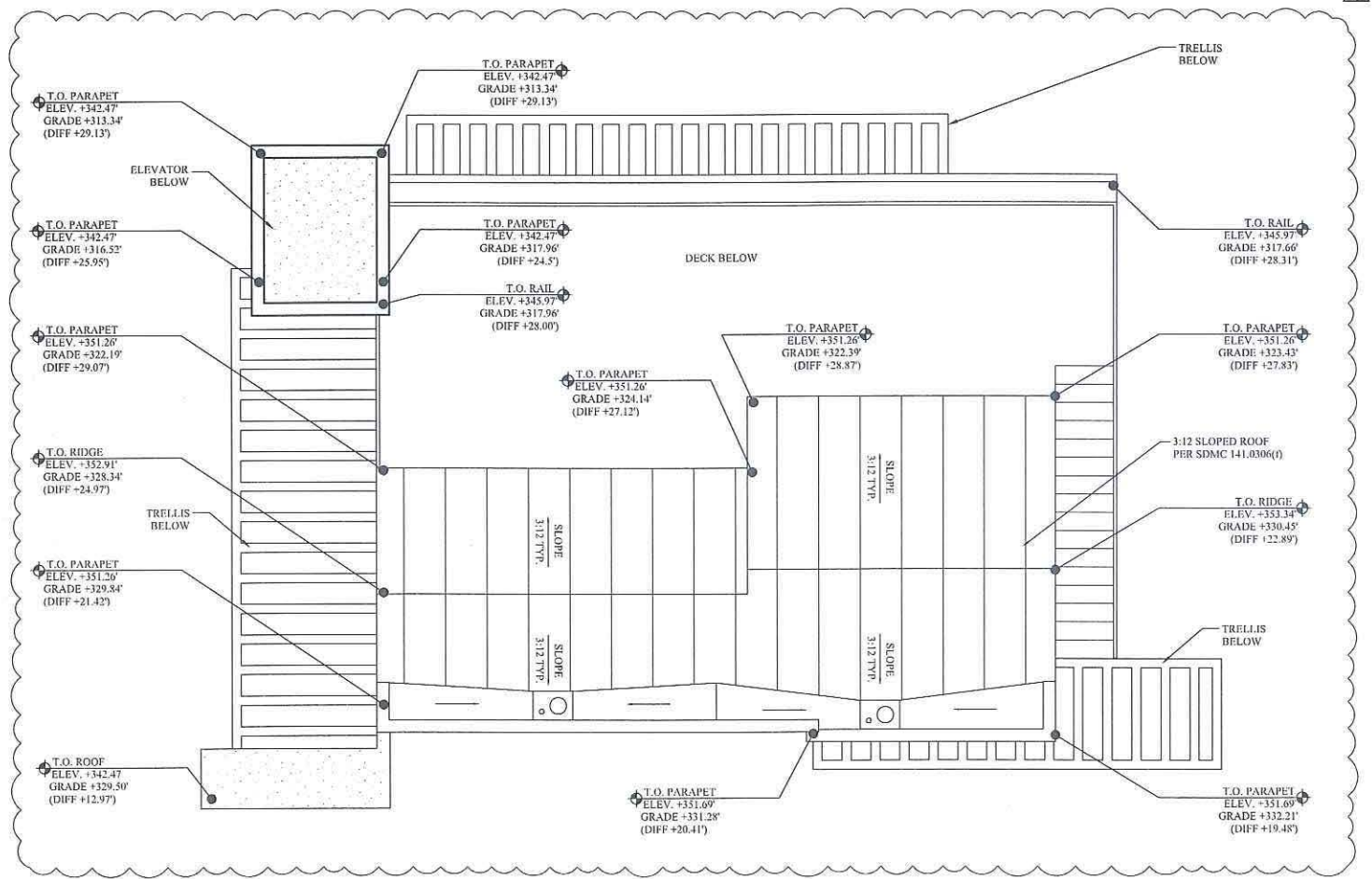
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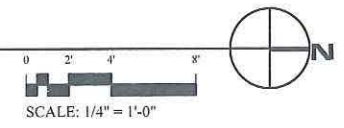
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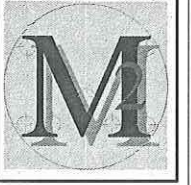
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A-4.2
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2 PROPOSED ROOF PLAN BUILDING A





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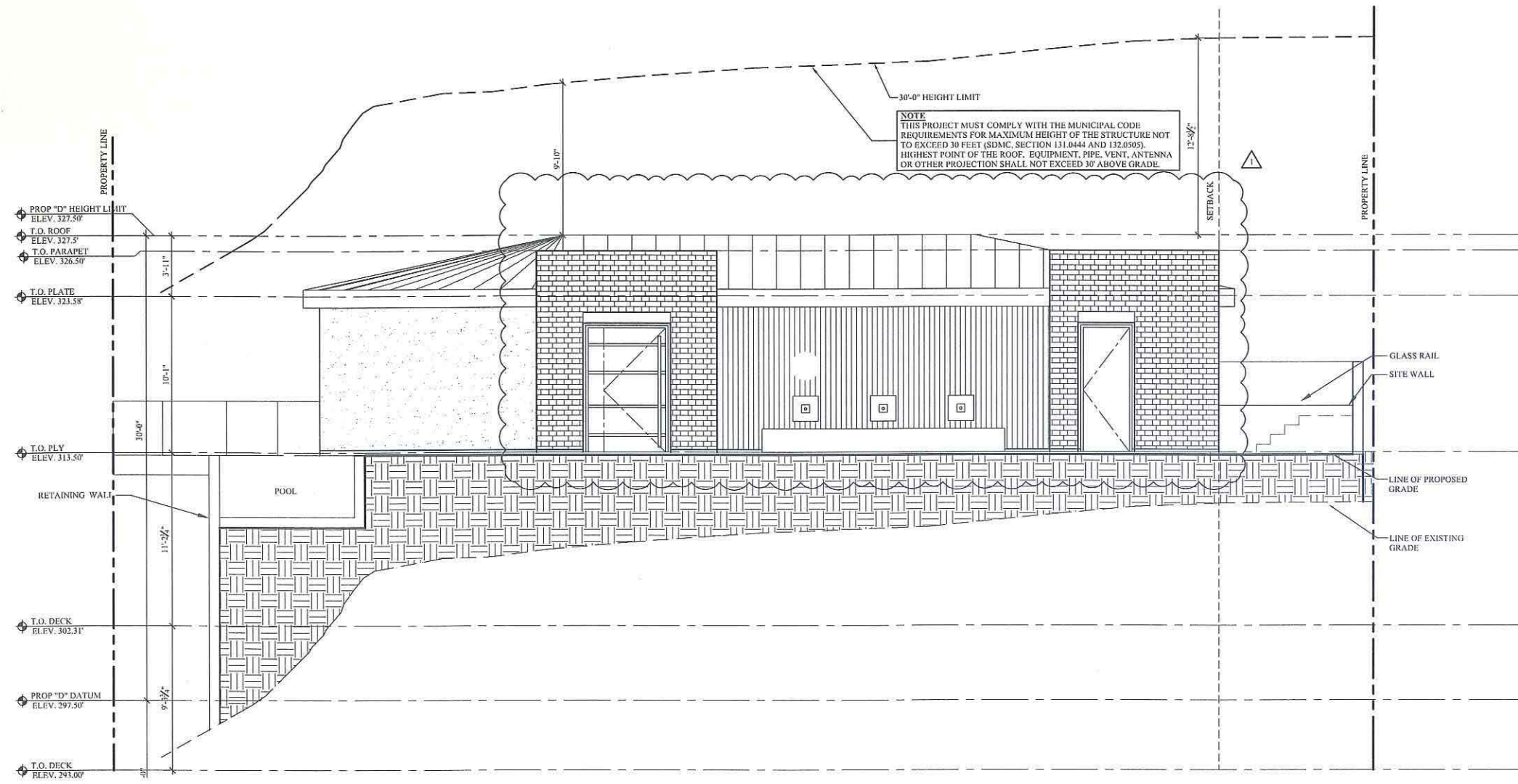
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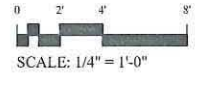
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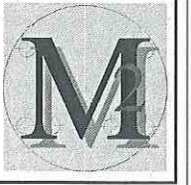
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1 EAST ELEVATION BUILDING "B"





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PROPOSED
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A-5.2
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1 WEST ELEVATION BUILDING "B"

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PROJECT NO. 2011-17

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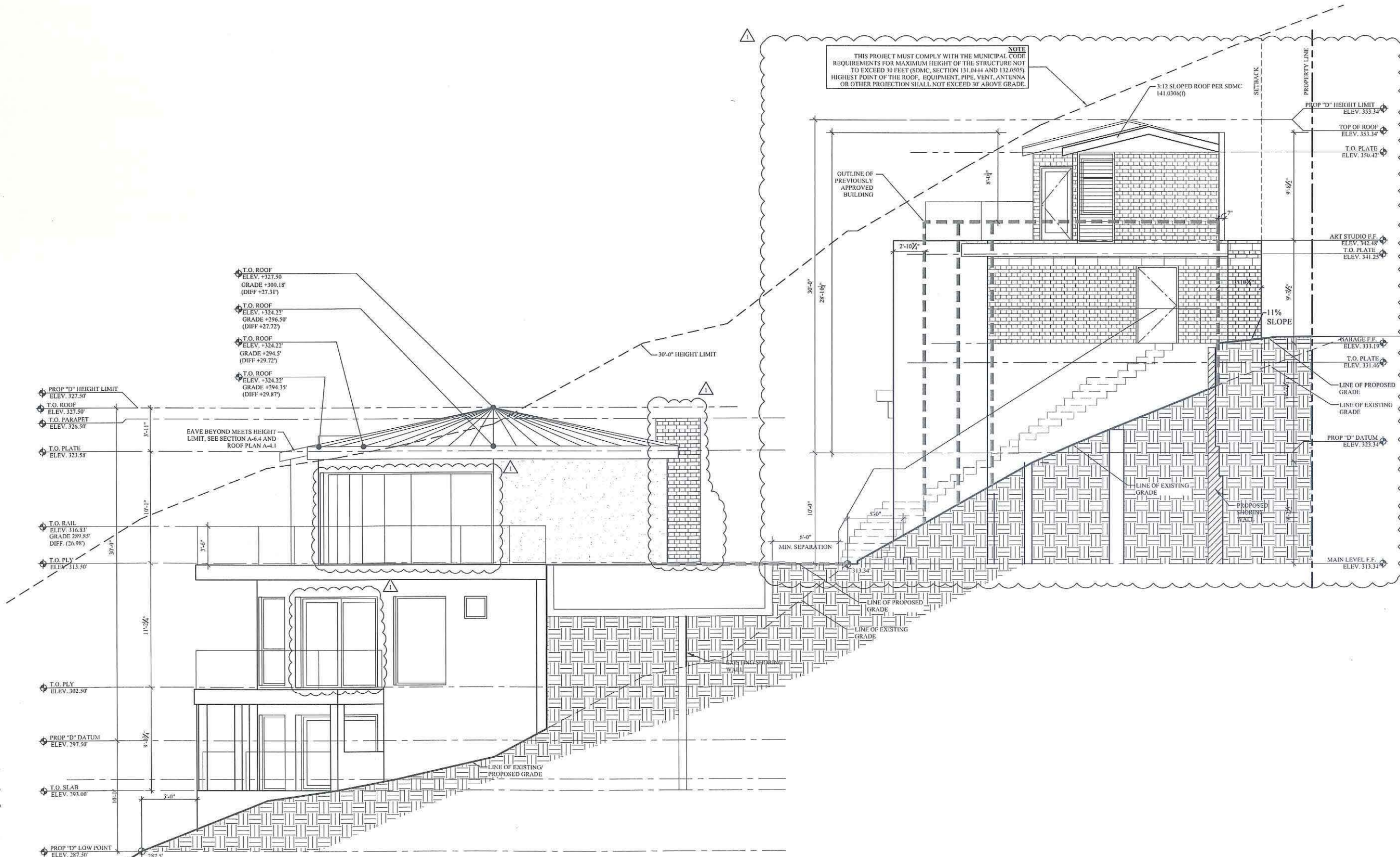
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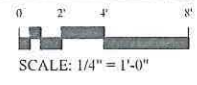
SHEET TITLE: PROPOSED ELEVATIONS

A-5.3
SHEET OF

NOTE
THIS PROJECT MUST COMPLY WITH THE MUNICIPAL CODE REQUIREMENTS FOR MAXIMUM HEIGHT OF THE STRUCTURE NOT TO EXCEED 30 FEET (SDMC, SECTION 131.0444 AND 132.0505). HIGHEST POINT OF THE ROOF, EQUIPMENT, PIPE, VENT, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30' ABOVE GRADE.



1 SOUTH ELEVATION OPTION B





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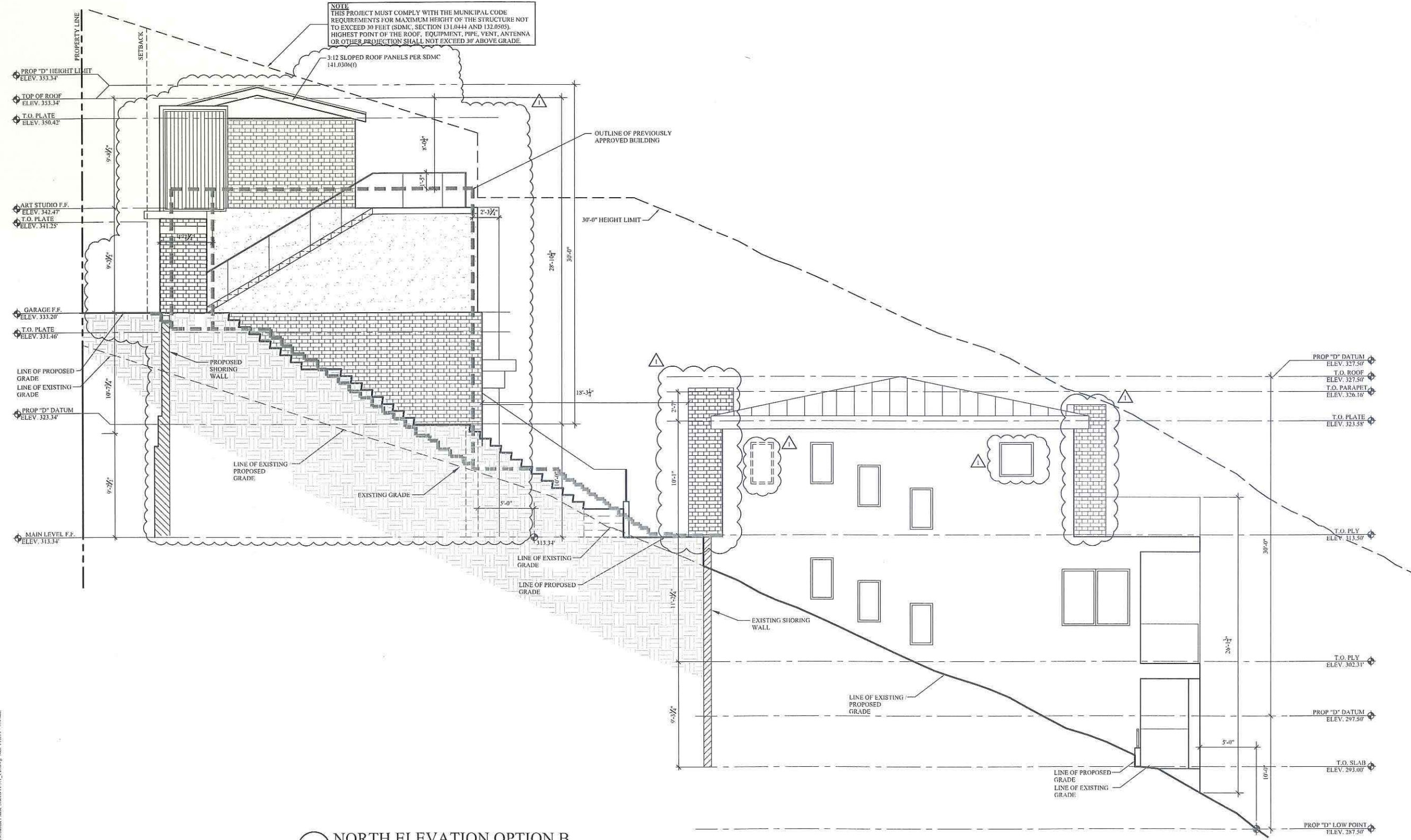
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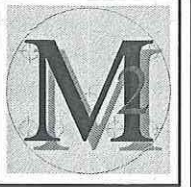
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1 NORTH ELEVATION OPTION B



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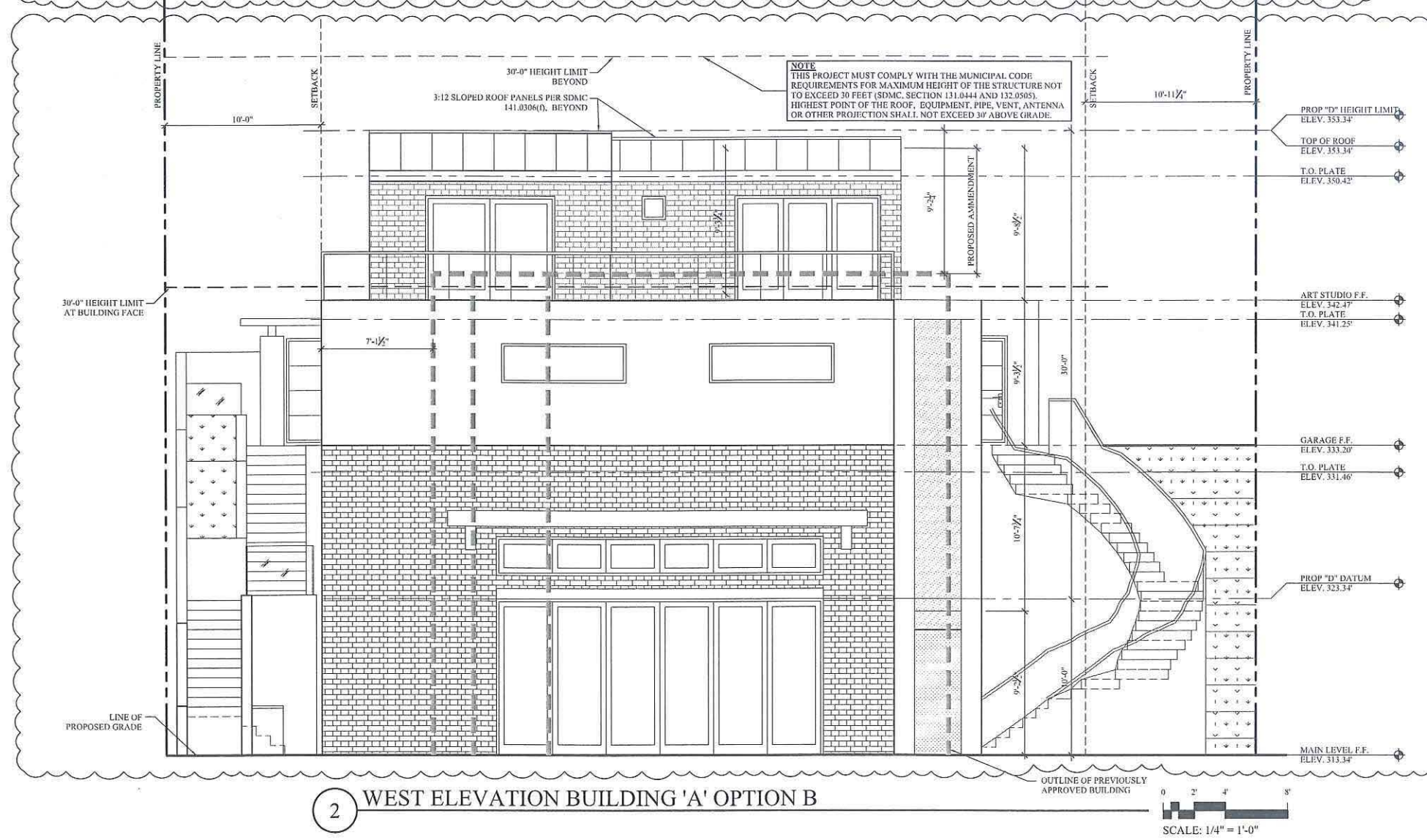
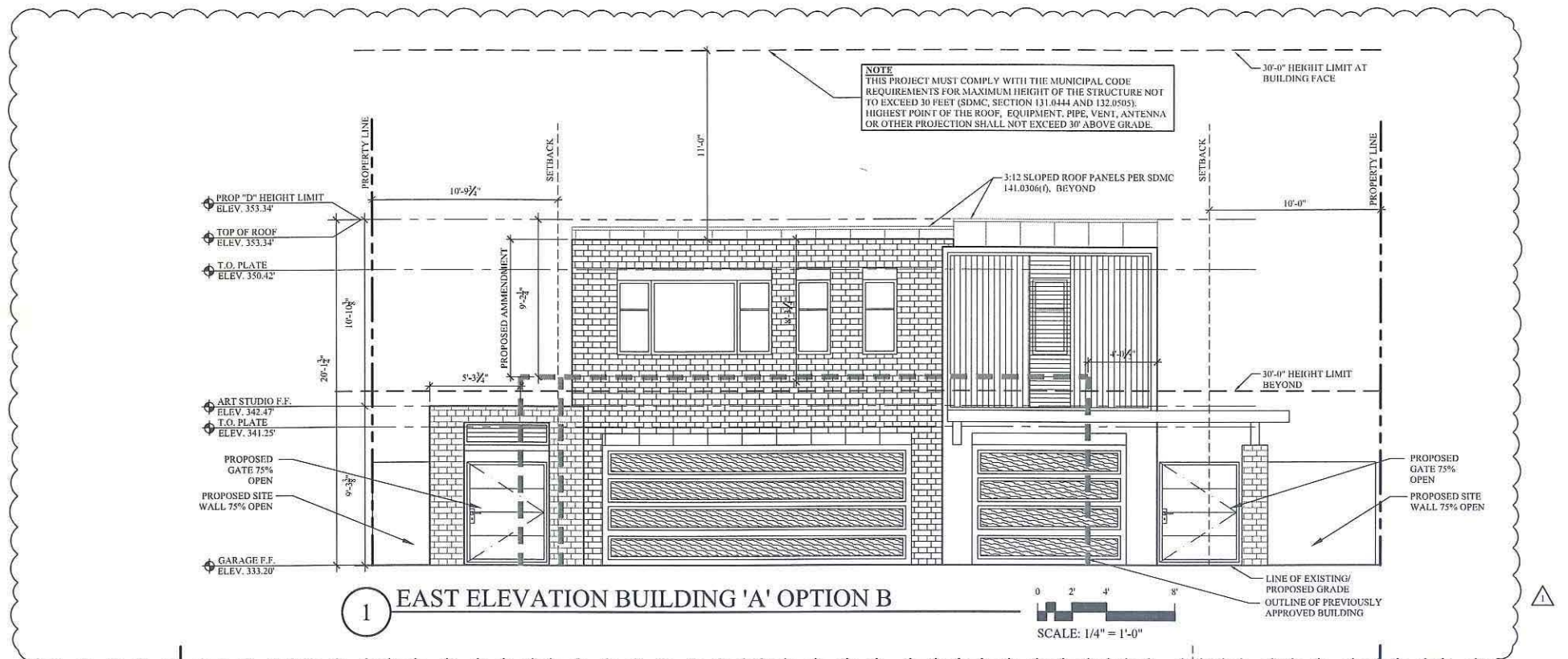
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PROPOSED BUILDING 'A' ELEVATIONS
A-5.5
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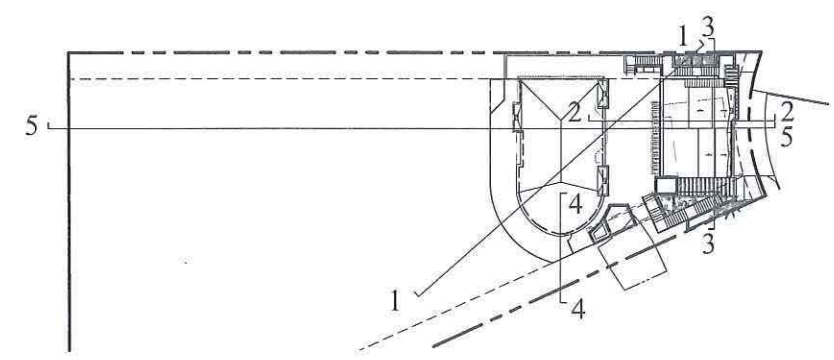
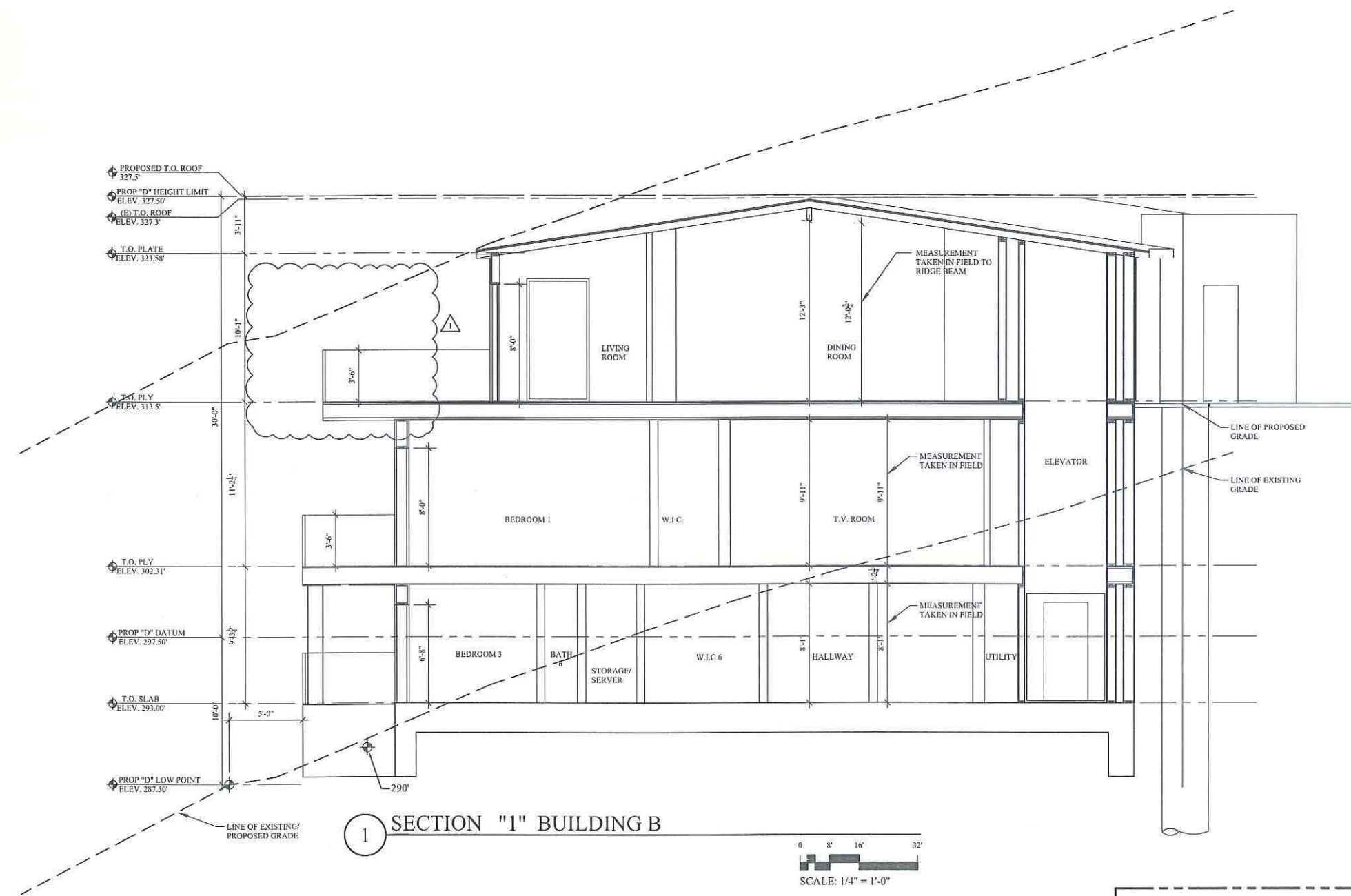
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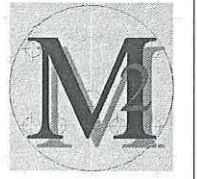
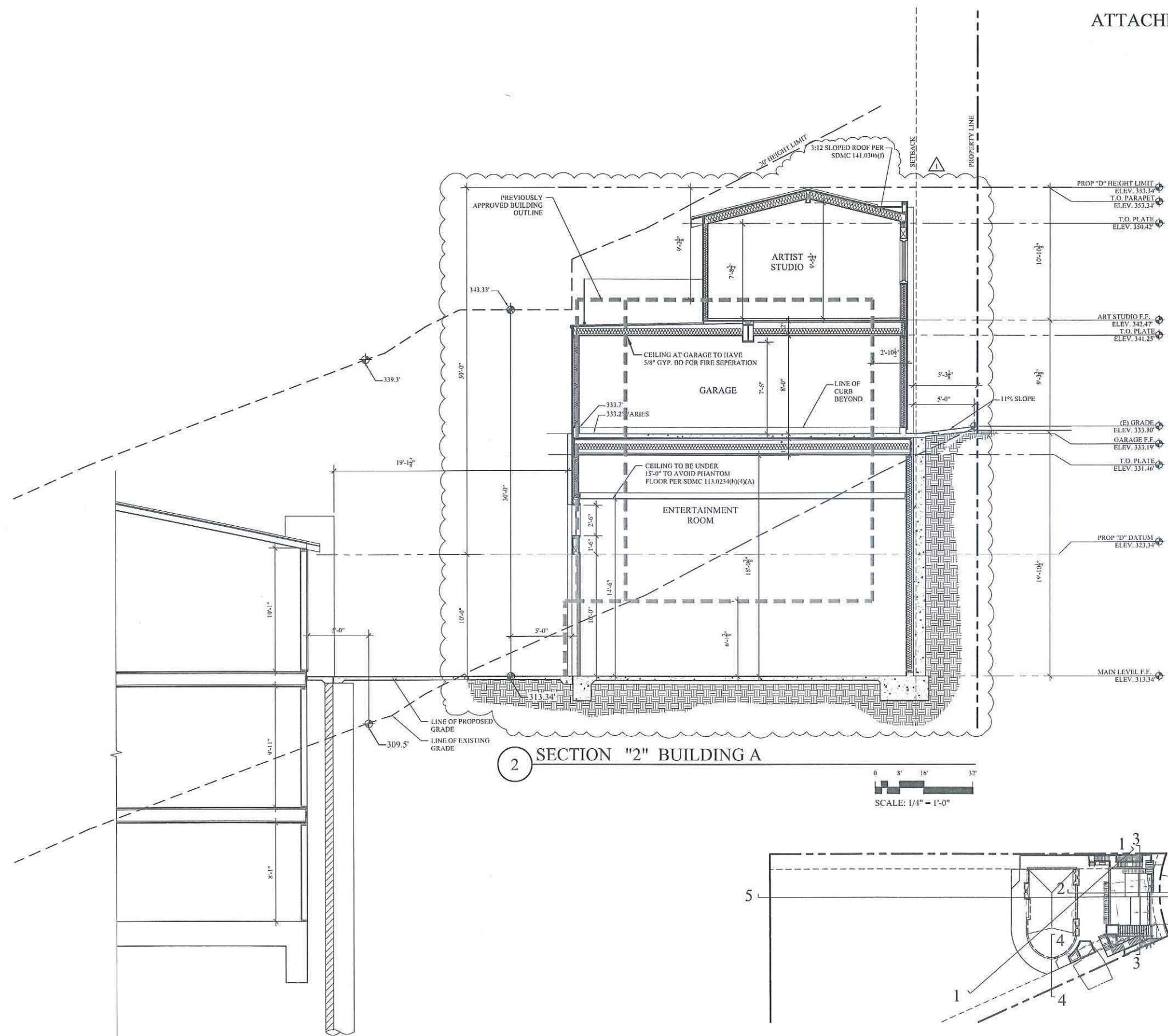
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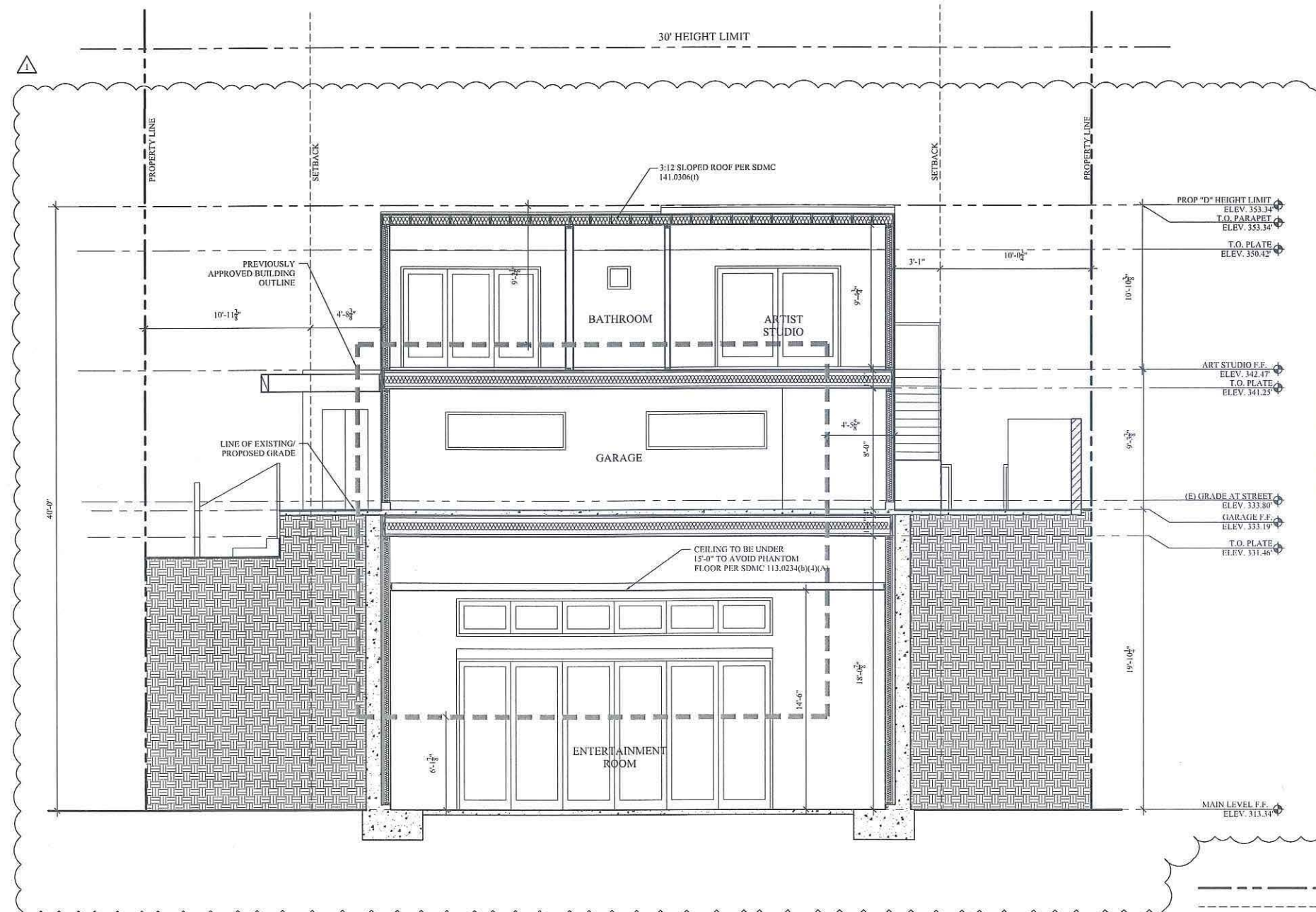
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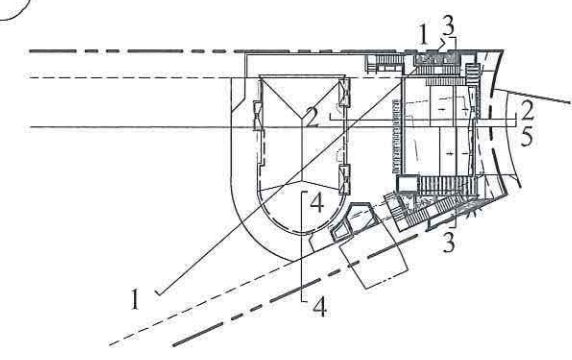
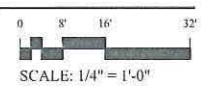
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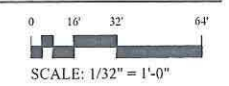
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BUILDING A
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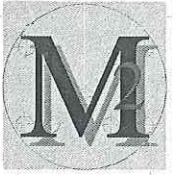


SECTION "3" BUILDING A



KEY MAP





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PROJECT NO. 2011-17

REVIEWED BY CAM

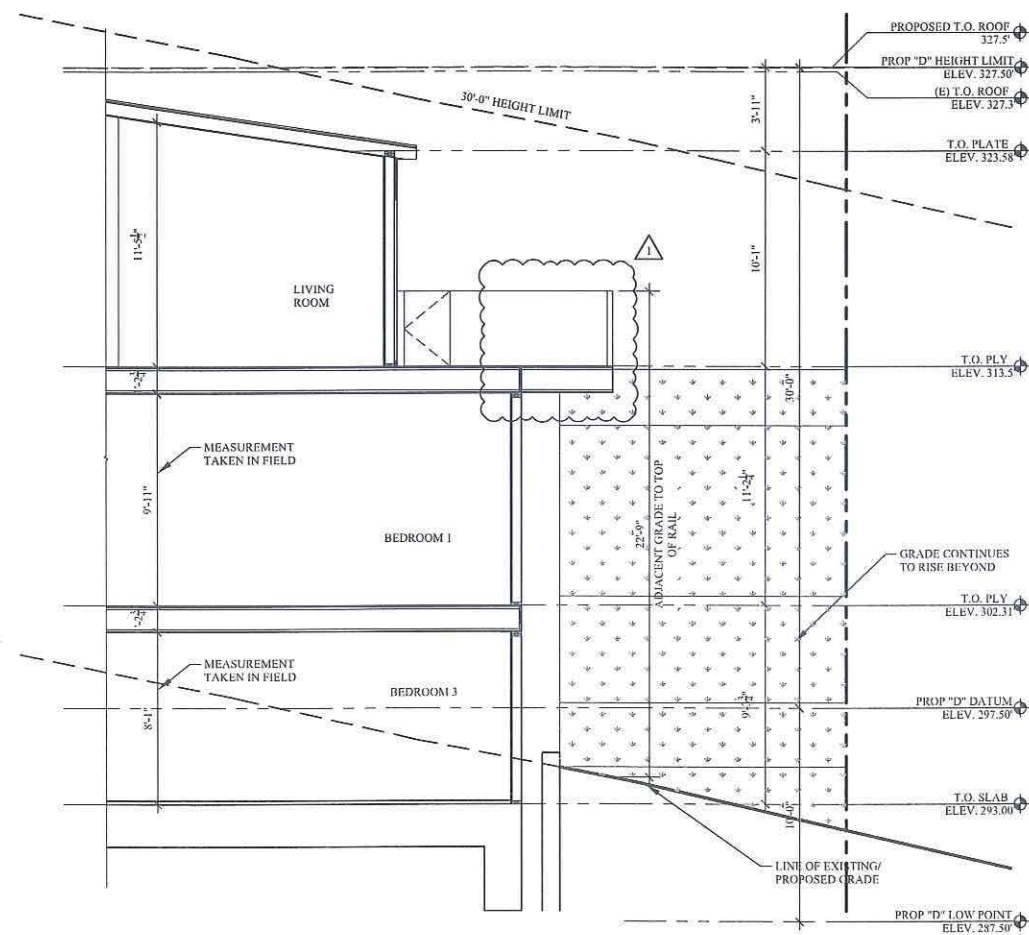
DRAWN BY JK

DATE 03-18-2013

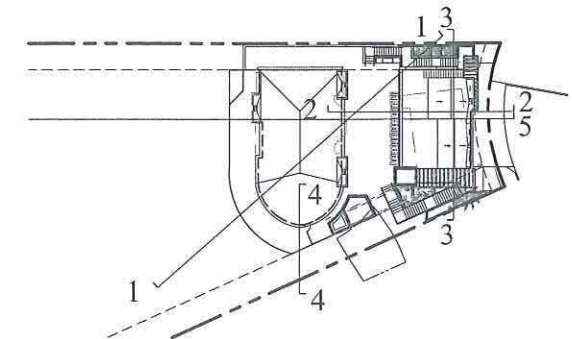
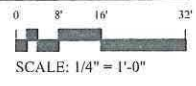
Marengo Morton Architects, Inc. is providing this information with the understanding that it is not intended to constitute a contract. It is the responsibility of the client to verify the accuracy of the information provided and to ensure that it is used for the intended purpose only. The client and architect shall be responsible for any errors or omissions. This information is provided for informational purposes only and is not intended to constitute a contract. It is the responsibility of the client to verify the accuracy of the information provided and to ensure that it is used for the intended purpose only. The client and architect shall be responsible for any errors or omissions.

SHEET TITLE
SECTION
BUILDING B

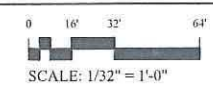
A-6.4
SHEET OF



4 SECTION "4" BUILDING B



KEY MAP



These circumstances include substantial changes proposed to the project or circumstances under which the project was undertaken or the availability of new information. Environmental staff has determined that none of these circumstances apply to this project.

BACKGROUND

The 0.62-acre project site is located at 7940 Costebelle Way, at the terminus of the cul-de-sac and is a hillside lot which slopes down steeply from street level into the lower canyon area. The site is within the SF (Single Family) Zone of the La Jolla Shores Planned District and the La Jolla Community Plan area designates the site for Very Low Density single-family development. The site is also located in the Coastal Height Limit Overlay Zone but is outside of the Coastal Overlay Zone boundary. The site contains Environmentally Sensitive Lands (ESL) including steep hillsides, disturbed biological habitat and the presence of Historical (Archeological) Resources. The site is not within or adjacent to the City of San Diego Multiple Habitat Planning Area (MHPA).

On June 16, 2004, the Hearing Officer approved Site Development Permit (SDP) No. 4522, allowing the construction of a 4,811-square-foot, three-story, single-family residence with a detached garage accessory structure. The 1,266-square-foot, two-story, detached accessory garage structure located at the front of the site adjacent to Costebelle Way was approved with three garage parking spaces at street level and an artist's studio below. Building permits have been issued and the project is currently under construction. Minor construction changes approved during the building permit process have resulted in slight changes to the footprint and square footage of the project from the approved SDP.

DISCUSSION

The requested amendment would allow the addition of a third-story, 514-square-foot, guest quarters to the approved accessory garage structure. The La Jolla Shores Planned District Ordinance allows guest quarters in the SF Zone by right. Permit conditions have been included to regulate the limitations of use for the guest quarters.

The proposed project would be consistent with the bulk and scale of the surrounding community. Due to the sloping nature of the site, the accessory garage structure would appear as a two-story structure from Costebelle Way and the proposed design complies with the 30-foot coastal height limit. The project also complies with the FAR and lot coverage requirements of the zone.

The project is required to comply with all conditions contained in approved Site Development Permit No. 4522, including brush management, engineering, landscape, water and wastewater requirements. There would be no additional impacts to ESL beyond those already identified and mitigated by the certified MND and associated MMRP. No changes to the under-construction single-family structure, development footprint, area of disturbance or lot coverage are proposed with this amendment.

CONCLUSION

Staff has reviewed the application for a Site Development Permit to amend approved Site Development Permit No. 4522 and has determined that the proposed project complies with the applicable sections of the Municipal Code. Staff believes the required findings can be made to support the project as proposed. Therefore, staff recommends that the Hearing Officer approve Site Development Permit No. 1089009.

ALTERNATIVE

1. Approve Site Development Permit No. 1089009, with modifications.
2. Deny Site Development Permit No. 1089009, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Paul Godwin, Development Project Manager

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. CEQA Memo dated January 10, 2013
8. Project Plans (Hearing Officer only)
9. Recorded Site Development Permit No. 4522
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. Certified MND No. 2701 (Hearing Officer only)



THE CITY OF SAN DIEGO

M E M O R A N D U M

DATE: March 13, 2013

TO: Chris Larson, Hearing Officer

FROM: Paul Godwin, Development Project Manager

SUBJECT: Costebelle Residence, PTS No. 295796

This project was heard by the Hearing Officer on February 20, 2013, but was continued to a date certain of March 20, 2013, to allow the applicant time to receive a recommendation from the La Jolla Shores Advisory Board. The staff report incorrectly identified the La Jolla Shores Permit Review Committee vote as the La Jolla Shores Advisory Board (LJSAB) vote. This project is scheduled to be heard by the LJSAB on Tuesday, March 19th and the vote will be provided in a separate memo at the March 20th hearing.

With regard to the La Jolla Community Planning Association (LJCPA) recommendation, a copy of the motion was not included with the staff report because it was not available when the report was printed. Staff received the group's written recommendation on February 13, 2013, and it was provided to the Hearing Officer and reviewing staff the same day. The staff report lists the LJCPA's vote as 14-1 to recommend denial of the project. However, the correct vote is 13-1-1 to recommend denial, as listed on the attached LJCPA motion. Also attached are the applicant's and staff's responses to the motion.

The "Discussion" section on page two of the report incorrectly refers to the project's compliance with the Floor Area Ratio (FAR) requirements, which do not apply to this site. This and the items above will be stated for the record at the March 20, 2013, Hearing Officer hearing.

Thank you.

Paul Godwin
Development Project Manager
Development Services Department

Attachments:

1. LJCPA's February 7, 2013, motion for the Costebelle Residence
2. Applicant and staff's responses to motion



LA JOLLA COMMUNITY PLANNING ASSOCIATION

P.O. Box 889 La Jolla CA 92038 Ph 858.456.7900
<http://www.LaJollaCPA.org> Email: Info@LaJollaCPA.org

Regular Meeting – 07 February 2013

Attention: Paul Godwin, PM
 City of San Diego

DRAFT

Project: Costebelle Residence SDP Amendment
 7940 Costebelle Way
 PN: 295796

Motion: To deny the Amendment to the Site Development Permit because two of the required Findings for a Site Development Permit cannot be made: (1) The proposed development will not adversely affect the applicable Land Use Plan and (2) The proposed development will comply with the regulations of the Land Development Code. Specifically:

Vote: 13-1-1

(a) Contrary to the Visual Resources Plan Recommendations (pg. 56 -57) of the La Jolla Community Plan and Local Coastal Program Land Use Plan the proposed project lacks sufficient articulation of the building facades facing Pottery Canyon Park and open space in order to reduce the perceived bulk and scale of the proposed structures when viewed from the park and open space; and

(b) The proposed structure height of the proposed guest quarters located above the garage accessory building exceeds the maximum allowed structure height of 21 feet as limited by LDC Sec. 141.0306 (f); and

(c) The setback and relationship of the front wall of the proposed guest quarters to the front wall of the garage below presents an upper level front yard setback that is not in general conformity with other upper level setbacks in the vicinity as is required by LDC Sec. 1510.0304 (b); and

(d) The garage with the proposed quest quarters above is so different in form and relationship to the street from that of other structures in the area that the proposed guest quarters addition is not in accordance with the General Design Regulations of the La Jolla Shores PDO, LDC Sec. 1510.0301(b) and will disrupt the architectural unity of the area; and



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Motion cont.

(e) The length of the proposed driveway measured from the street curb to the face of the garage does not meet the minimum length required by LDC Sec 142.0520, Table 142-05B, Footnote 1, nor does the project provide two additional on-site parking space as required by Footnote 1, nor is there sufficient curb length on the street abutting the property to provide the two additional required parking spaces

07 Feb. 2013

Submitted by: **Tony Crisafi, President**
La Jolla CPA

Date

Approved Motion: Costebelle Residence, PTS No. 295796

To deny the Amendment to the Site Development Permit because two of the required Findings for a Site Development Permit cannot be made: (1) The proposed development will not adversely affect applicable Land Use Plan and (2) The proposed development will comply with the regulations of the Land Development Code. Specifically:

- A. **Contrary to the Visual Resources Plan Recommendations (pg. 56-57) of the La Jolla Community Plan and Local Coastal Program Land Use Plan the proposed project lacks sufficient articulation of the building facades facing Pottery Canyon Park and open space in order to reduce the perceived bulk and scale the proposed structures when viewed from the park and open space; and**

Response by Marengo Morton Architects: Through our exhibits we feel that our two structures follow the code and its intent on how sloped development should take place. We have broken up the building by using decks and pop outs and radiused surfaces to allow for a softer massing on the slope as well as different extensions of the building to have a stepping back of the structure. The project meets the 30 ft height limit and the prop D height limit. It furthermore meets the building separation of 6ft for multiple structures on a slope and then continues to meet the height limit and prop d Height limit.

We have exhibits that show from the public space you cannot perceive very well the difference of the height of the previously approved project and the amendment. The reason for this is that there is nearly 100 ft of difference in height at a 45 degree angle and 7-8 ft height increase just doesn't make a large impact. Because the front structure hides most of the building of the back building based on the angle. (please see exhibits)

Staff Response: Staff concurs with the applicant's response. The under-construction single-family home structure, pool, decks and area of disturbance were previously approved and are not part of the scope of this project. Environmental staff has determined that the project is consistent with the previously certified Mitigated Negative Declaration. The requested guest quarters above the previously approved garage accessory structure would remain substantially screened from view by the under-construction single-family home structure as viewed from the adjacent open space.

- B. **The proposed structure height of the proposed guest located above the garage accessory building exceeds the maximum allowed structure height of 21 feet as limited by LDC Sec. 141.0306 (f); and**

Response by Marengo Morton Architects: Per our previous Hearing we no longer are trying to prove whether our structure is required to meet a guest quarters height limit as this is a code section that limits structures when being reviewed for a guest quarters in a discretionary review process.

ATTACHMENT 2

In the Shores the guest quarters and the Companion unit are permitted uses and therefore do not require to fulfill all the discretionary review requirements geared towards protecting areas not accustomed to having these types of impacts.

Staff Response: *Staff concurs with the applicant's response. Because guest quarters are allowed by right in the La Jolla Shores PDO, the guest quarters Separately Regulated Use requirements do not apply to this project. The project as proposed complies with the applicable height limit requirements.*

- C. The setback and relationship of the front wall of the proposed guest quarters to the front wall of the garage below presents an upper level front yard setback that is not in general conformity with upper level setbacks in the vicinity as is required by LDC Sec. 1510.0304 (b); and**

Response by Marenqo Morton Architects: *The code discusses stepping back at the second floors and articulating facades. Due to the fact that the site is very steep, we are close to the street within 5ft of the property line which is allowed by code. We are also controlled by the prop d height limit, and the 30ft height limit that restricts us into a buildable envelope of which we meet all of these criteria. Then our step back of the second floor, is a break of the plane and we achieve that.*

Mr. Merten feels it isn't enough, but the floor does break the plane and achieves relief to the façade in the intent of the code. The code does not list a number because it is not intended to go a distance to achieve a break

Staff Response: *Staff concurs with the applicant's response. There are a wide variety of home designs and configurations in the area and as proposed guest quarters setback generally conforms with other properties in the vicinity.*

- D. The garage with the proposed quest quarters above is so different in form and relationship to the street from that of other structures in the area that the proposed guest quarters addition is not in accordance with the General Design Regulations of the LA Jolla Shores PDO, LDC Sec. 1510.0301 (b) and will disrupt the architectural unity of the area; and**

Response by Marenqo Morton Architects: *We do not agree with this statement. When you look at the neighborhood it is a mountain with houses all draped along the ridge of it and the houses cascading down the slope to the canyon side. The houses are just the opposite of what Mr. Merten is saying they are all so different that there is NO continuity and the size of our addition comes from us lowering the existing first floor and adding the second floor from the street side. The nearby houses are two stories and to the right or east of us there is an accessory structure towering over us due to the topography and it is a 12-14 ft structure on a 15-20 embankment directly adjacent to us. This coupled with to other two stories on a street that only has 5 homes on it none the same. We also have stepped the house slightly back at the second level to give articulation and we are at a 5 ft set back due to the severity of the slope per the regulations.*

ATTACHMENT 2

Staff Response: Staff concurs with the applicant's response. There are a wide variety of home designs and configurations in the area and as proposed the guest quarters generally conforms with other properties in the vicinity and would not disrupt the architectural unity of the area.

- E. The length of the proposed driveway measured from the street curb top to the face of the garage does not meet the minimum length required by LDC Sec 142.0520, Table 142-05B, Footnote 1, nor does the project provide two additional on-site parking space as required by Footnote 1, nor is there sufficient curb length on the street abutting the property to provide the two additional required parking spaces,**

Response by Marengo Morton Architects: This project was previously reviewed for this item and approved the amendment did not affect the decision on this code issue. It is at the discretion of the traffic and engineering dept and it would appear based on the exhibit A's that it was previously approved. Further to that point, the street has houses on the west side and one house on the east side. The one house on the east side is elevated 15ft above street level approximately. That would mean that when looking at the street there is a surplus of guest parking for about 10 spaces conservatively and at full 8x 21 dimensioned spaces (we have an exhibit for this. Furthermore if the city cul de sac were to be complete and line up with our property line we would have the additional space abutting our property to the letter of the code (we have an exhibit showing this as well). But what should be important is that the project that was previously approved did not take issue with this and the amendment does not trigger any further parking requirements.

Staff Response: Staff concurs with the applicant's response. The three-car garage, driveway configuration and parking were approved by the previous discretionary action and are currently under construction with valid building permits.



THE CITY OF SAN DIEGO

M E M O R A N D U M

DATE: March 19, 2013

TO: Chris Larson, Hearing Officer

FROM: Paul Godwin, Development Project Manager

SUBJECT: Costebelle Residence, PTS No. 295796

This project was heard by the Hearing Officer on February 20, 2013, but was continued to a date certain of March 20, 2013, to allow the applicant time to receive a recommendation from the La Jolla Shores Advisory Board. On Tuesday, March 19, 2013, the La Jolla Shores Advisory Board voted 4-0-1 to recommend approval of the project with no recommendations or conditions.

This recommendation of approval was based on the plans provided at the meeting by the applicant, which show a full 3:12 pitched roof for the proposed guest quarters. The applicant has incorporated a 3:12 pitched roof in order to meet the Municipal Code Section 141.0306, *Separately Regulated Use Regulations, Guest Quarters or Habitable Accessory Buildings*, height requirements. A copy of the revised plans is attached.

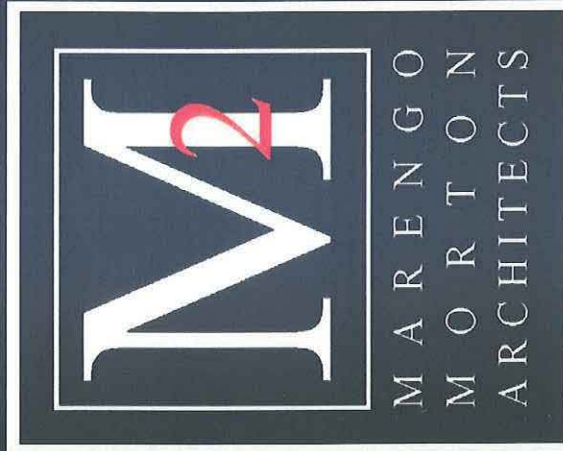
Thank you.

Paul Godwin
Development Project Manager
Development Services Department

Attachment: Revised Plans with 3:12 Roof Pitch

COSTEBELLE RESIDENCE

7940 Costebelle Way La Jolla, CA



Hearing Officer Presentation
February 20, 2013



Neighborhood Key Map



2631 Costebelle Drive



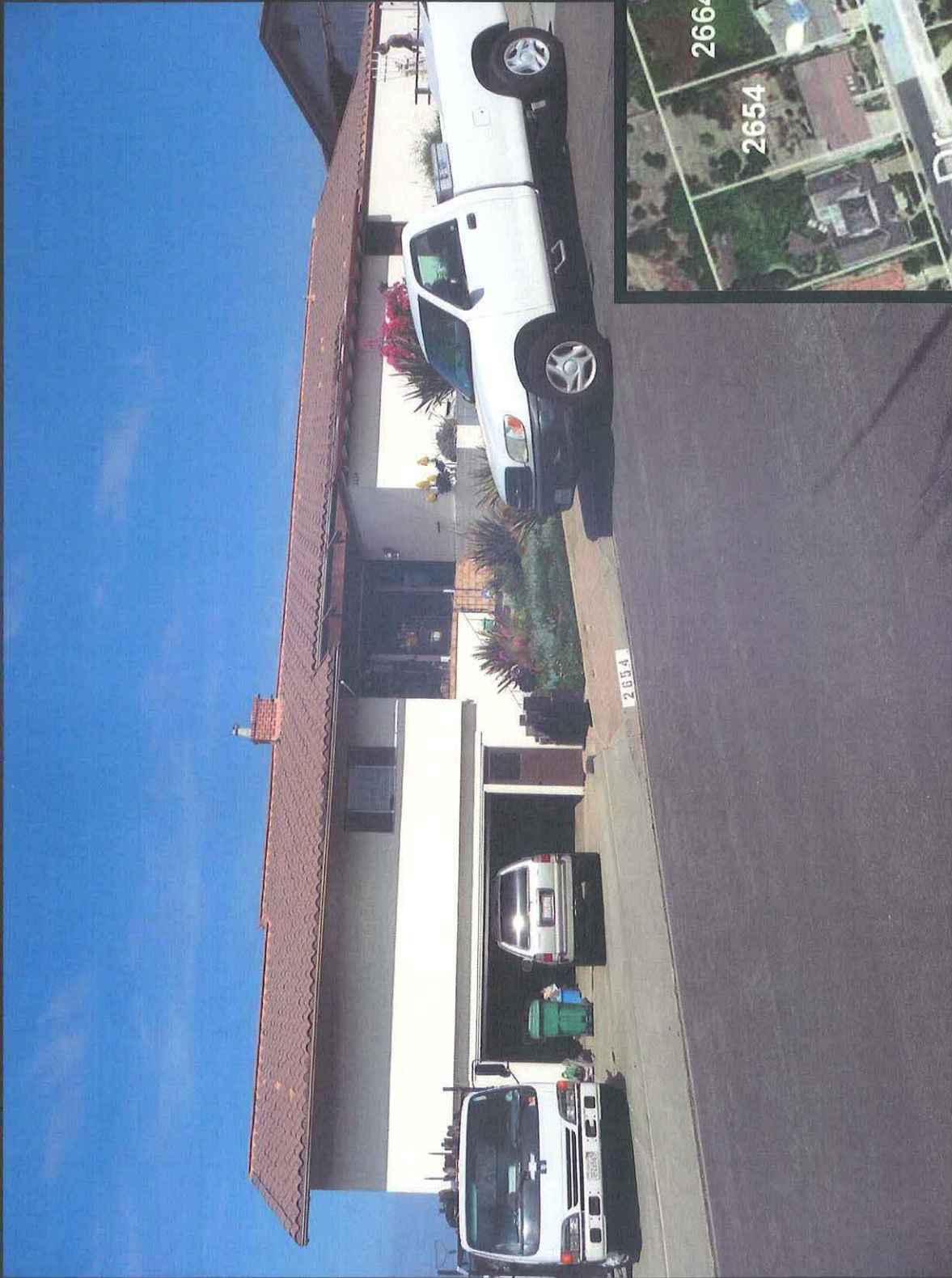
Attachment 8
Ownership Disclosure Statement

Attachment 7
Residential
Community Planning Group
Residential

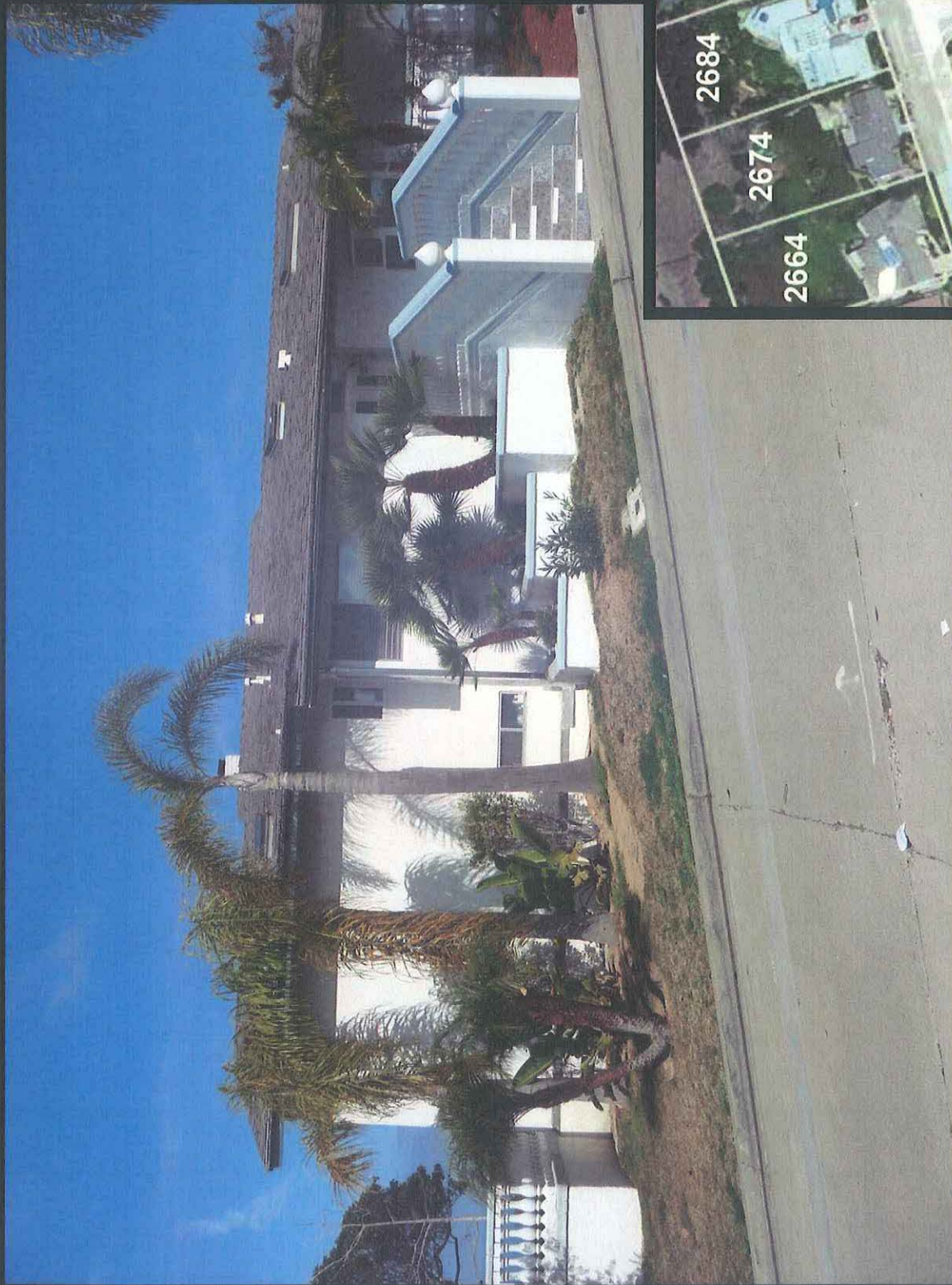
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7872 Esterel Drive



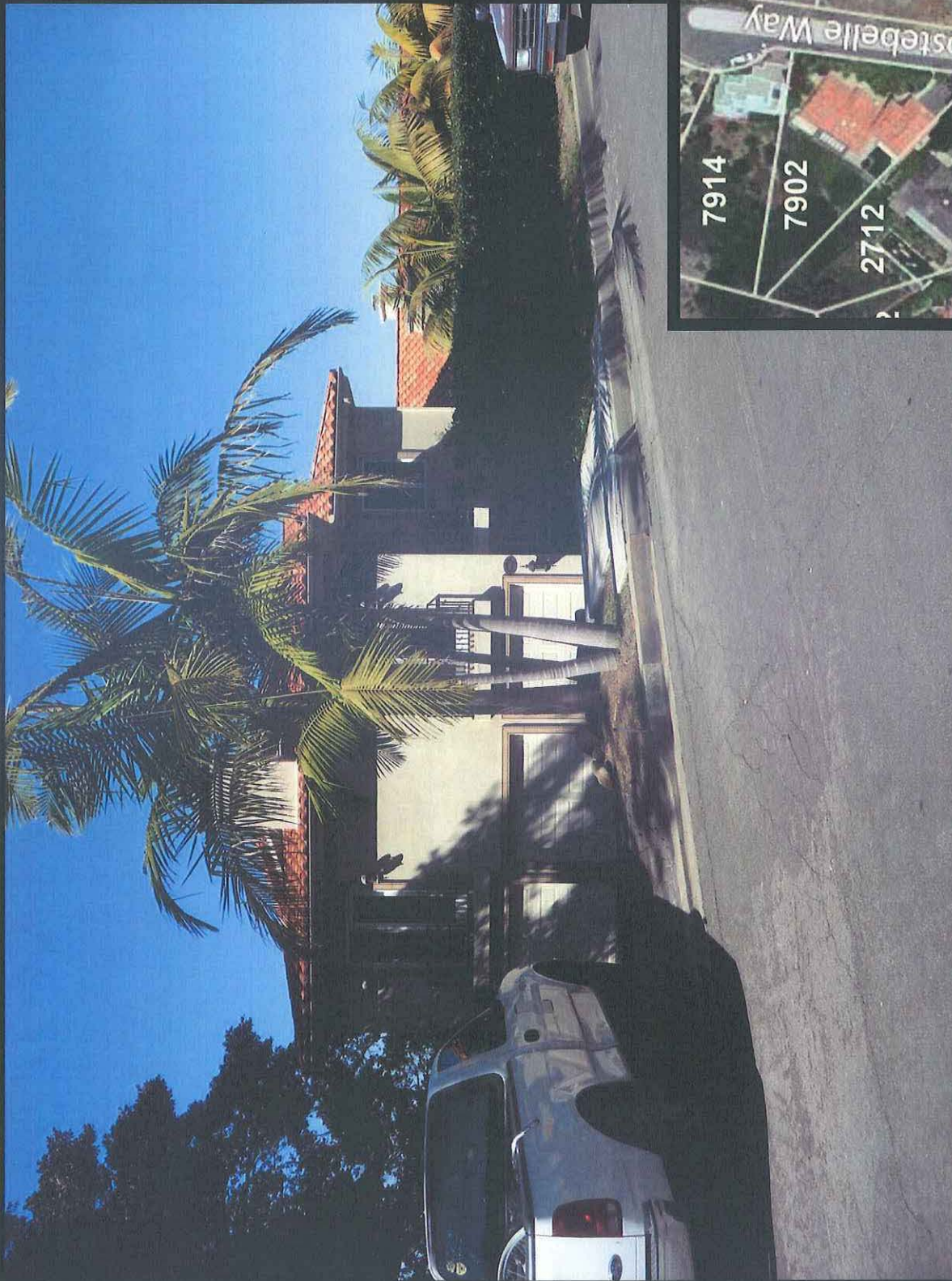
2654 Costebelle Drive



2674 Costebelle Drive



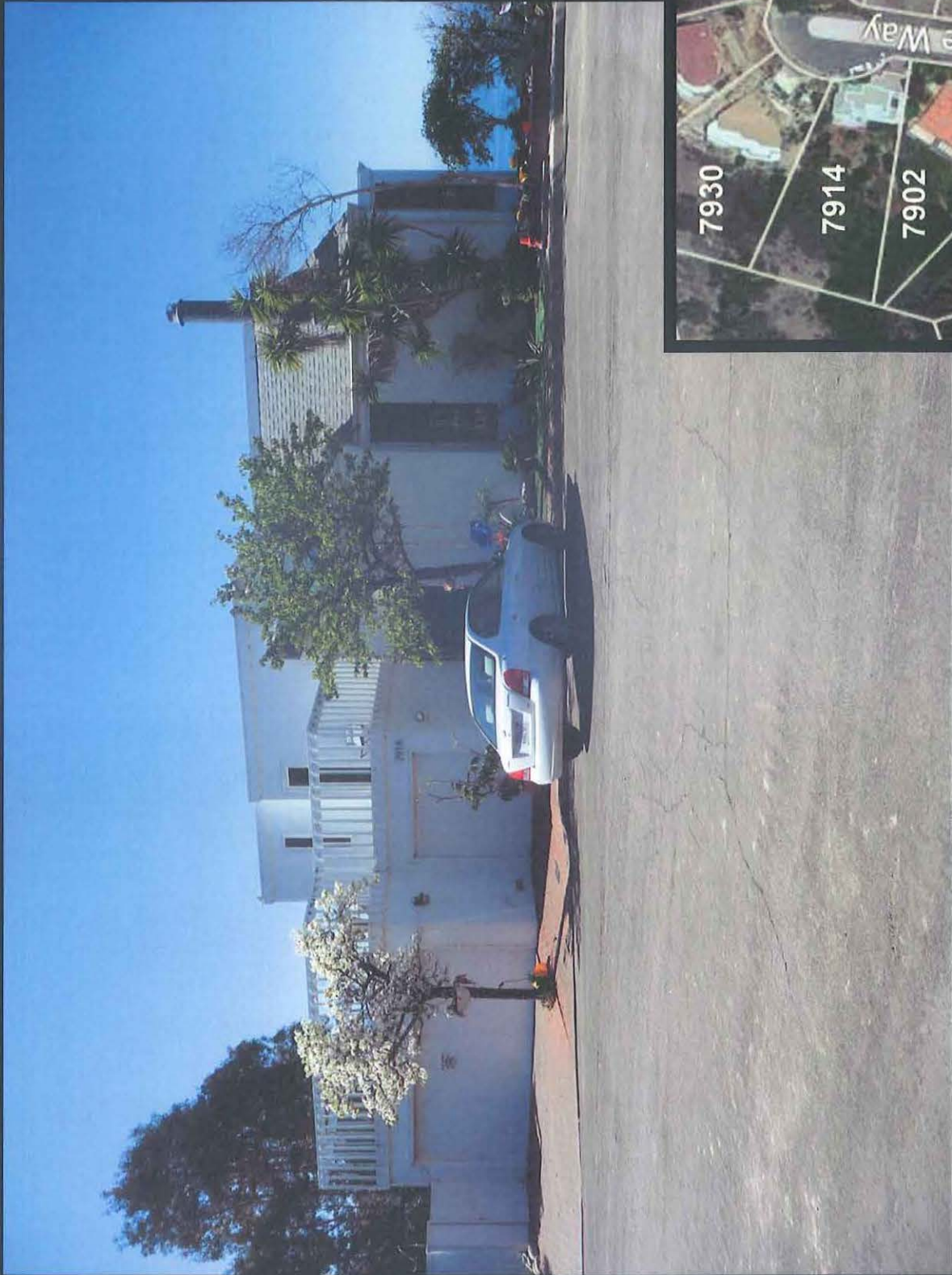
2684 Costebelle Drive



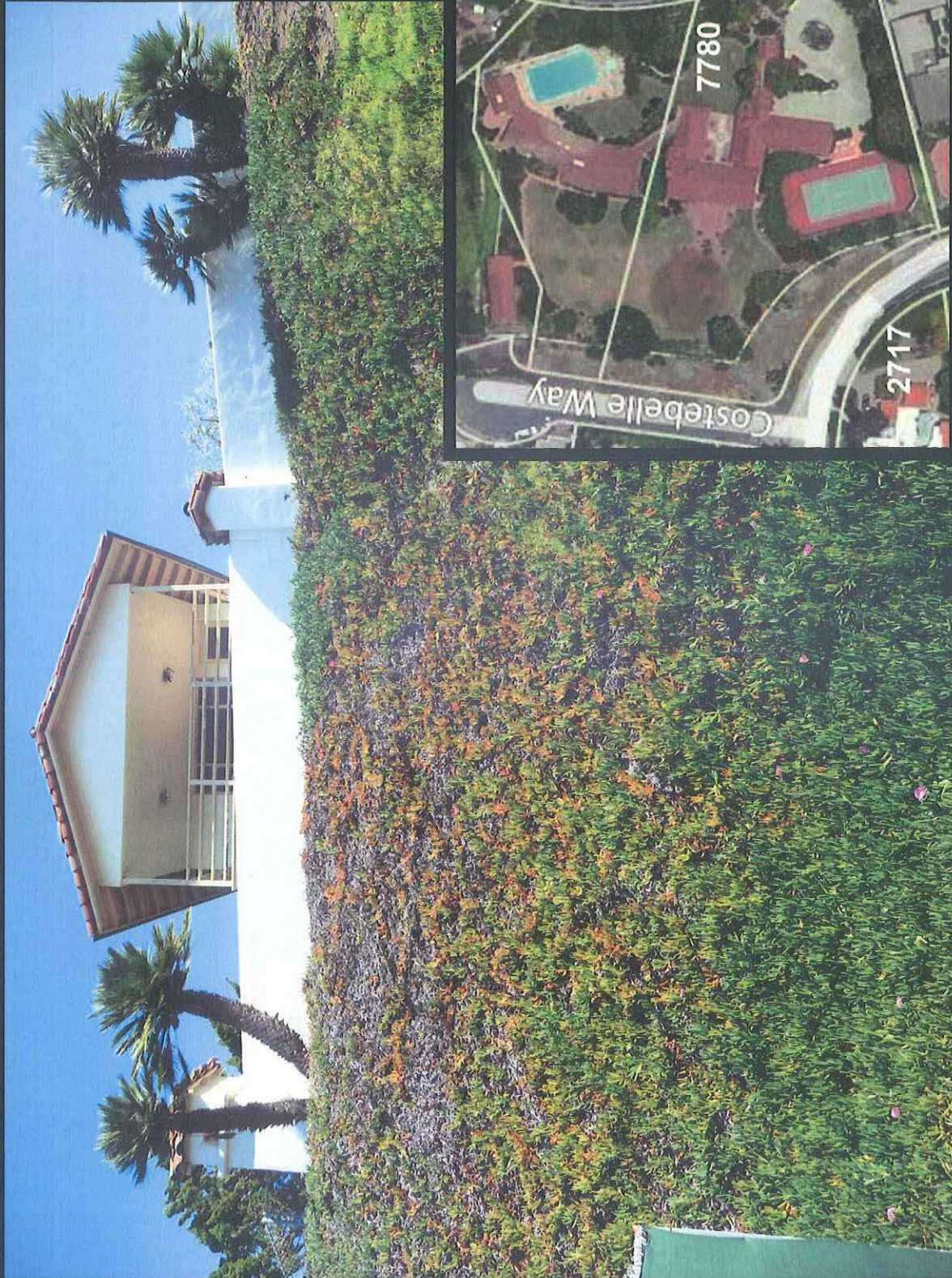
7902 Costebelle Way



7902 Costebelle Drive Property Line



7914 Costebelle Way



7780 Starlight Drive (Thornton Property view from Costebelle Way)



2717 Costebelle Drive