



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: May 16, 2013 **REPORT NO.** PC-13-061

ATTENTION: Planning Commission, Agenda of May 23, 2013

SUBJECT: LIVING LAB-OCEAN DISCOVERY; PROJECT NO. 287114;
PROCESS 5

**OWNER/
APPLICANT:** Ocean Discovery Institute, a California Nonprofit Educational Foundation

SUMMARY

Issue: Should the Planning Commission recommend approval to the City Council of an application for the demolition of two single family dwelling units and construction of an 11,737 square foot educational facility with a 380 square foot residential studio on a 0.64 acre site located at 4255 Thorn Street in the City Heights Community of the Mid-City Communities Plan area?

Staff Recommendation:

1. **Recommend** the City Council **Approve** Conditional Use Permit No. 1008720 and Site Development Permit No. 1008721;
2. **Recommend** the City Council **Approve** Public Right-of Way Vacation No. 1010432.

Community Planning Group Recommendation: On April 1, 2013, the City Heights Area Planning Committee voted 14-0-0 to recommend approval of the project (Attachment 13).

Environmental Review: This project is exempt from environmental review pursuant to Article 19, Section 15332, Infill Development Project, of the California Environmental Quality Act (CEQA). The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately serviced by all required utilities and public services. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 8, 2013, and the Notice of Right to Appeal (NORA) was posted on April 15, 2013 and the opportunity to appeal that determination ended April 29, 2013 (Attachment 14).



Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The 0.64 acre project site is located at 4255 Thorn Street in the RS-1-7 Zone within the Central Urbanized Planned District Boundary, the City Heights Community of the Mid-City Communities Plan area, and the City Heights Redevelopment Project Area. The community plan designates the site for Residential (6-10 du/ac). Educational facilities are allowed in the zone and the community plan through a Conditional Use Permit. The project site could accommodate one dwelling unit on the consolidated lots based on the underlying zone, and 3 to 6 residential dwelling units based on the community plan.

The project proposes the demolition of two single family dwelling units and construction of an 11,737 square foot educational facility with a 380 square foot residential studio on the site. The development of the proposed project would decrease the opportunity to provide housing stock in a time when the City Council has determined that the City of San Diego is in a housing state of emergency. However, this project is subject to a Housing Trust Fund (HTF) non-residential impact fee for the educational facility, which is due at the time of building permit issuance. Although the proposed project is located in the City Heights Redevelopment Project Area, no redevelopment funds are being used to finance this project.

BACKGROUND

The proposed project site is located at 4255 Thorn Street (Attachment 1), on the southeastern corner of Thorn Street and Van Dyke Avenue (Attachment 2), in the RS-1-7 Zone within the Central Urbanized Planned District Boundary (Attachment 3), the City Heights Community of the Mid-City Communities Plan area (Attachment 4), and the City Heights Redevelopment Project Area. The community plan designates the site for Residential (6-10 du/ac) and educational uses are allowed in the residential land use designation and within the residential zone through a Conditional Use Permit. The 0.64 acre site could accommodate one dwelling unit on the consolidated lots based on the underlying zone, and 3 to 6 residential dwelling units based on the community plan.

The project site consists of four lots containing two existing single family dwelling units and accessory structures, which were constructed in 1960. A historical assessment for the two single-family dwelling units was performed and City staff determined that the properties and associated structures would not be considered historically or architecturally significant under the California Environmental Quality Act (CEQA) in terms of architectural style, appearance, design, or construction associated with important persons or events in history.

The project site contains frontage on Van Dyke Avenue, Thorn Street and Lexington Avenue. The northern portion of Thorn Street contains public improvements and the southern side of the street is unimproved, and the far eastern portion of the Thorn Street frontage is partially

improved (Attachment 2). Lexington Avenue runs along the eastern property line as an unimproved paper street and is part of the Manzanita Canyon, an urban canyon within the community.

DISCUSSION

Project Description:

The project proposes the demolition of two single family dwelling units and construction of an 11,737 square foot educational facility on the 0.64 acre site. The facility includes two laboratories, alcoves for small gatherings and classes, a kitchen and dining room, offices, storage space, and a 380 square foot residential studio for a visiting scientist-in-residence. The Ocean Discovery Institute's Living Lab would provide natural resources-based instructional services, access to local nature, youth development activities, and public programs, which have been designed to facilitate learning about science and conservation, inspiring participants to inquire, investigate, and innovate. The state-of-the-art laboratories would provide hands-on programming in science, technology, engineering, and mathematics.

The building design would achieve a Leadership in Energy and Environmental Design (LEED) Platinum level certification and would meet applicable themes of the Living Building Challenge (e.g., net zero for water and energy use, integrates opportunities for urban agriculture, etc.). Additionally, the site would be improved with 35,000 square feet of outdoor features and provide increased accessibility to nature within the neighborhood. Landscaping would be woven throughout the site by incorporating a green roof and extending landscaping around the building into the canyon, and native plantings would represent local habitats. Interpretive signage would be located to explain ongoing experiments. Space would be allocated to raise native plants for use in canyon restoration projects, which provides the opportunities for teaching and demonstrations about growing edible produce.

Development of the project requires a Conditional Use Permit (CUP) for the proposed educational facility, a Site Development Permit (SDP) for deviations to the zoning regulations for a sustainable building project, and a Public Right-Of-Way (ROW) Vacation to vacate a portion of Thorn Street. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project-Related Issues:

Public Right-of Way Vacation- The project proposal includes a request for a public right-of-way (ROW) vacation for a portion of Thorn Street, and if granted, would install all new public improvements along the southern and far eastern portions of Thorn Street. Public improvements would include new curb, gutter, sidewalk, an approximately 4 foot high retaining wall, storm drain improvements, pavement, street parking, and the relocation of the water and sewer mains. At the intersection of Van Dyke Avenue and Thorn Street, new street signage, striping, crosswalk and accessible curb ramps would be provided, which will improve the access to this facility as well as the Joyner Elementary school that is located immediately north of the site.

Staff has reviewed the requested public ROW vacation for a portion of Thorn Street as it relates to the current street configuration and design, topographic conditions, and the prospective public use. Staff has determined that there are no present or prospective uses for that portion of public ROW, and the public would benefit from the action through the improved use of the land and the benefit of the installation of the public ROW improvements that currently do not exist.

Deviations- The proposed project includes a request for deviations to street side yard setback, side yard setback, site wall height, building height, and the driveway width. The following are the code sections and justifications for the deviations (Attachment 5-Deviation Location Diagram):

Street Side Yard Setback- A deviation to SDMC Section 131.0443(a)(3)(B) to allow for a 3 foot street side yard setback along Thorn Street for the open air entry rotunda, where the code requires a 10 foot street side yard setback. This deviation is requested to allow for an enhanced main entry of the facility along Thorn Street, to enhance the security of the facility and to assist in noise reduction from the outdoor activities. The open air entry rotunda also serves as an outdoor meeting and orientation space for the students and guests.

Side Yard Setback- A deviation to SDMC Section 131.0443(a)(3)(A) to allow for an 8 foot side yard setback along the south property line, where the code requires 10 percent width of the property or 9.76 feet. The original property would have required an 8 foot side yard setback; however, with the ROW vacation along Thorn Street, the property requires a 9.76 foot setback. This deviation is requested to maintain the original 8 foot side yard setback along the south property line. This side yard will contain a 6 foot high CMU property line wall/fence and be fully landscaped, which provides screening and a buffer to the single family dwelling unit next door.

Site Wall Height- A deviation to SDMC Section 142.0310(c) to allow for a 7 foot to 11 foot (varies based on grade) wall/fence along Thorn Street, where the code requires no portion of the fence shall exceed the height established by a line drawn beginning at a point 3 feet above grade at the property line and ending at a point 6 feet above grade at the setback line. This deviation is requested to achieve a more creative and sustainable management of the off-site storm water flow along Thorn Street, which provides the opportunities for teaching and demonstrations about storm water, and to assist in noise reduction from the outdoor activities.

Building Height- A deviation to San Diego Municipal Code (SDMC) Section 131-0444(b) and Table 131-04H, to allow for a maximum building height of 33 feet along the south side yard setback with no angled building envelope, where the code requires the building envelope above 24 feet to be angled back by 30 degrees and have an overall maximum height of 30 feet. This deviation is requested to improve the environmental sustainability of the architectural design to achieve a net zero energy building and reduce the heat gain. Because of the 10 foot grade difference from Thorn Street to the southern property line, the requested deviation is only for the southern façade of the building and remaining portions of the building complies with the height regulations of the zone.

Driveway Width- A deviation to SDMC Section 142.0560(c) to allow for a 20 foot driveway width, where the code requires a minimum 24 foot driveway width for a non-residential uses. This deviation is requested to reduce the visual impact of the parking entrance and enhance

compatibility with the surrounding residential neighborhood. The controlled parking facility contains 15 parking spaces and is mostly used by staff, which would create a very low driveway usage.

Staff has reviewed each of the requested deviations as they relate to the proposed design of the project, the property configuration with its varying topographic conditions, and the surrounding development. Staff has determined that the deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and to achieve a net zero energy building, while meeting the purpose and intent of the development regulations.

General/Community Plan Analysis:

The proposed project is located at 4255 Thorn Street in the City Heights Community of the Mid-City Communities Plan area. The proposal is to demolish two single family dwelling units and construction of an 11,737 square foot educational facility with 35,000 square feet of outdoor features. The proposed site is located on an approximately 0.64-acre site with a land use designation of Residential (6-10 du/ac) that would allow the development of 3 to 6 residential dwelling units. A mixture of single and multi-family residential developments is located immediately to the south and west of the site. Joyner Elementary school is located immediately north of the site and Manzanita canyon is located east and south east of the project site.

The proposed project is classified as an educational facility and would not adversely affect the goals and policies of the Mid-City Communities Plan. The proposed project would not adversely impact the Community Plan land use designation as educational uses are allowed within the residential land use designation through a Conditional Use Permit (CUP). The proposed project helps to implement the Public Facilities and Services Element, which promotes additional educational facilities within the community, including the location of alternative resources.

The proposed Living Lab facility would provide research and educational opportunities within the adjacent Manzanita Canyon, and would help implement General Plan goals and policies. The General Plan's Urban Design Element's policies UD-A.2 and UD-A.3 encourage the design and location of buildings that permit visual and physical access to the canyon. The proposed project's incorporation of photovoltaic panels and permeable surfaces would also support the General Plan Conservation Element policies CE-I.5 and CE-E.2 that address renewable energy and urban runoff management.

The proposed project includes deviations to the height limit and setback regulations. The proposed deviation to the height limit would help improve the sustainability of the proposed project, with the goal of creating a net zero energy building, and would not have a major visual impact to the surrounding land uses. The overall building height as seen from Thorn Street is below the height limit due to grading conditions and the proposed design would not affect shading of neighboring structures. The proposed deviation in the setback for the entry rotunda and the corner of the parking lot screen wall would not adversely impact pedestrian or vehicular circulation goals and policies of the General Plan and Community Plan which include the provision of adequate sidewalks and paths and limiting the impact of parking on pedestrians. The proposed partial vacation of Thorn Street would not adversely affect the circulation network of the community plan as connectivity along Thorn Street will be maintained.

Conclusion:

With the approval of the requested deviations, the proposed project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted Mid-City Communities Plan, Land Development Code, and the General Plan.

ALTERNATIVES

1. **Recommend Approve** of Conditional Use Permit No. 1008720, Site Development Permit No. 1008721 and Public Right-of Way Vacation No. 1010432, **with modifications.**
2. **Recommend Denial** of Conditional Use Permit No. 1008720, Site Development Permit No. 1008721 and Public Right-of Way Vacation No. 1010432, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



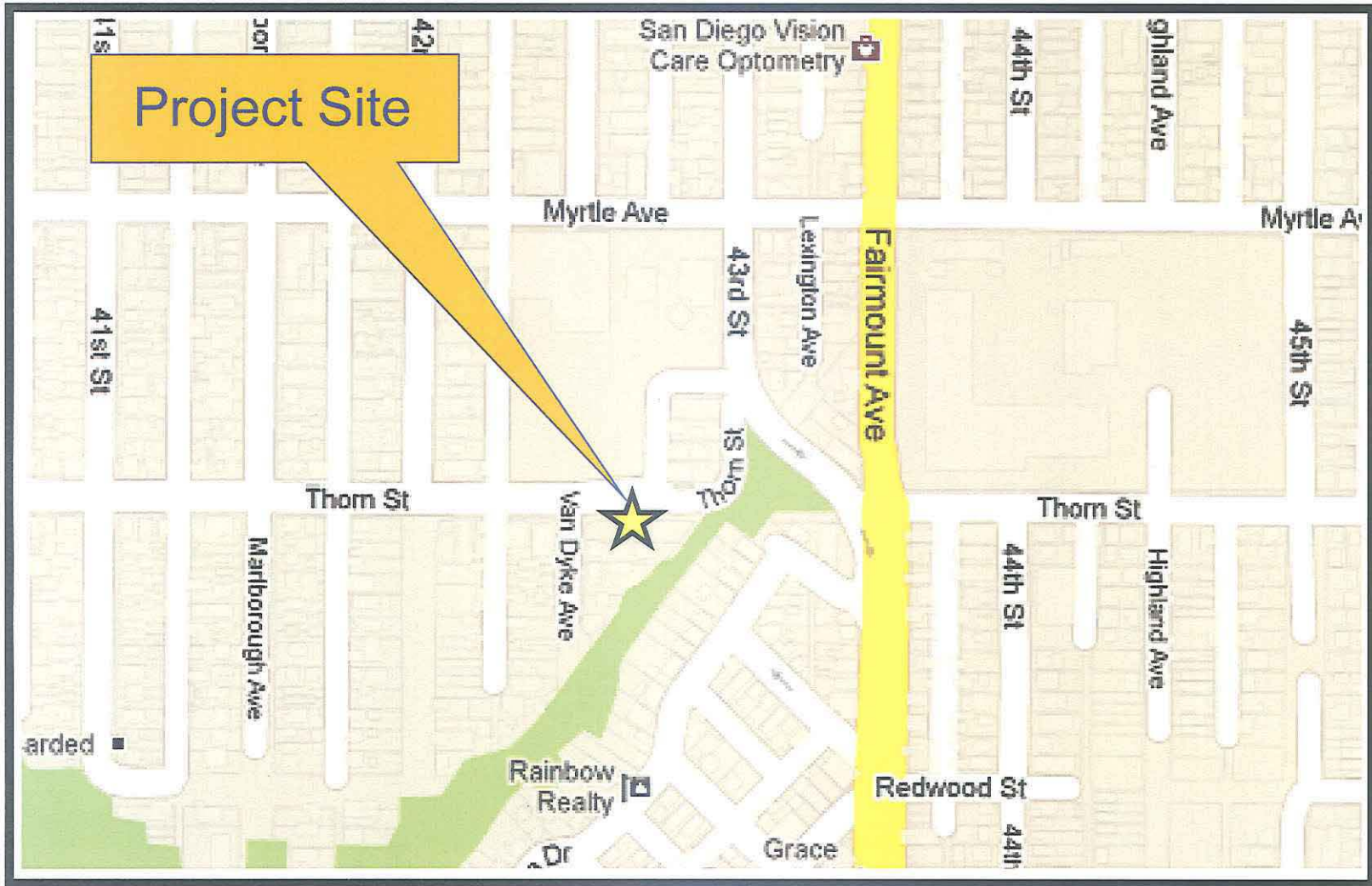
Jeffrey A. Peterson
Development Project Manager
Development Services Department

WESTLAKE/JAP

Attachments:

1. Location Map
2. Aerial Photographs
3. Zone Map
4. Community Plan Land Use Map
5. Deviation Location Diagram
6. Project Data Sheet
7. ROW Vacation No. 37352-B Sheet
8. Project Plans
9. Draft CUP and SDP Resolution with Findings
10. Draft CUP and SDP Permit with Conditions
11. Draft Public ROW Vacation Resolution
12. Draft Planning Commission Recommendation
13. Community Planning Group Recommendation
14. Environmental Exemption
15. Ownership Disclosure Statement
16. Project Chronology

Internal Order No. 24002968



Location Map

Living Lab -Ocean Discovery; Project No. 287114
4255 Thorn Street





Aerial Photograph

Living Lab -Ocean Discovery; Project No. 287114
4255 Thorn Street

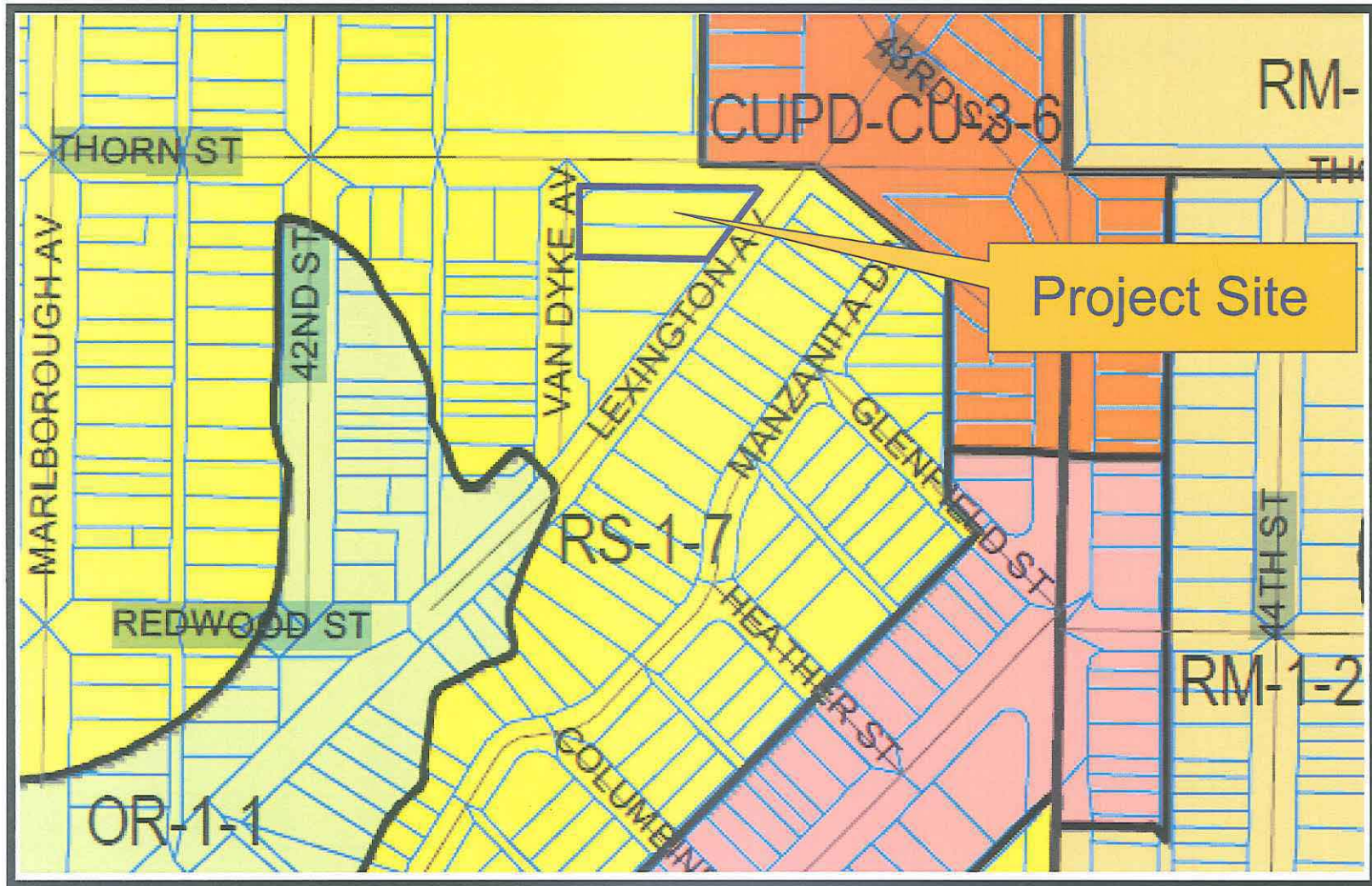




Aerial Photograph

Living Lab -Ocean Discovery; Project No. 287114
4255 Thorn Street



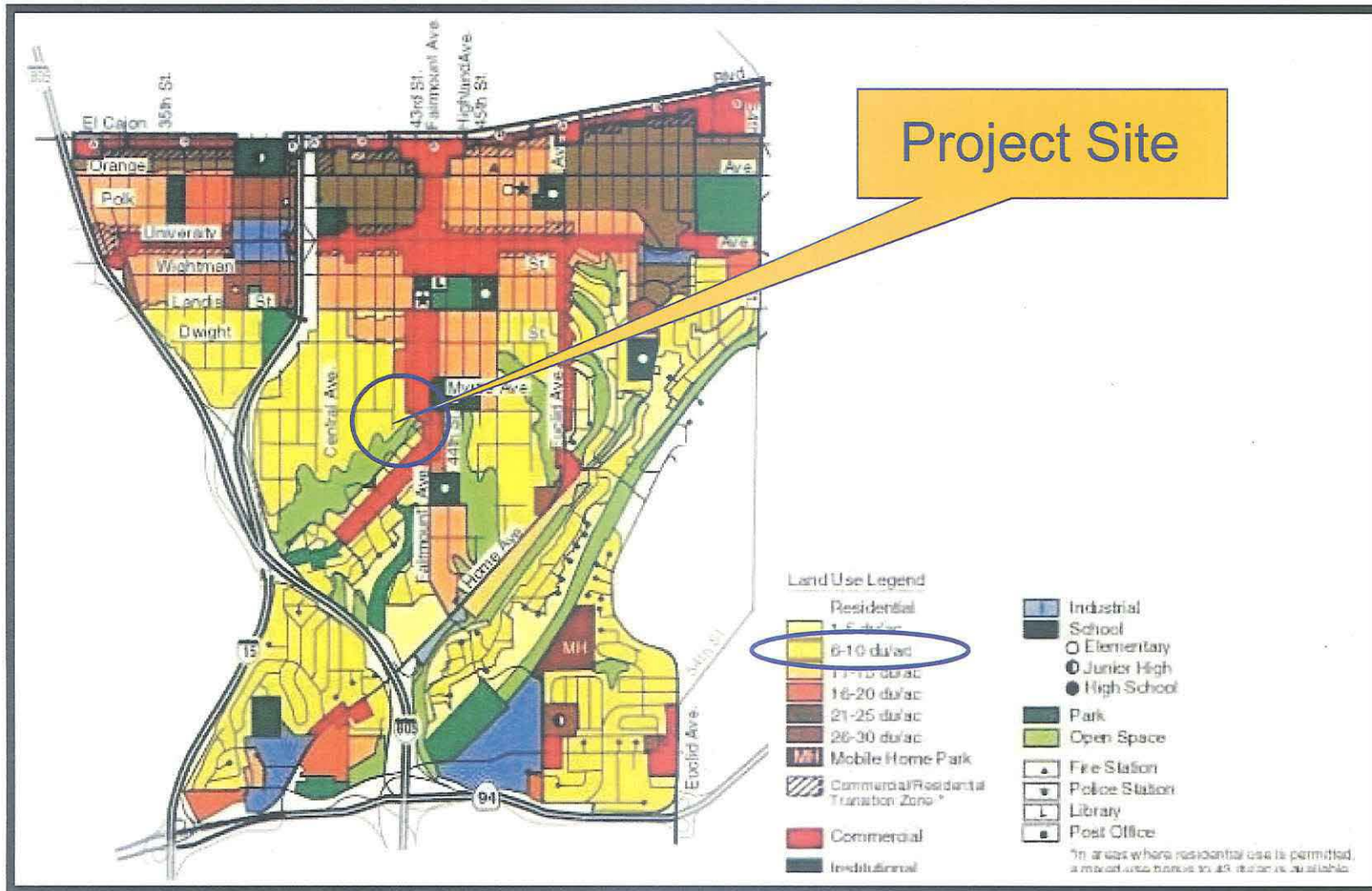


Zone Map (RS-1-7)

Living Lab -Ocean Discovery; Project No. 287114

4255 Thorn Street



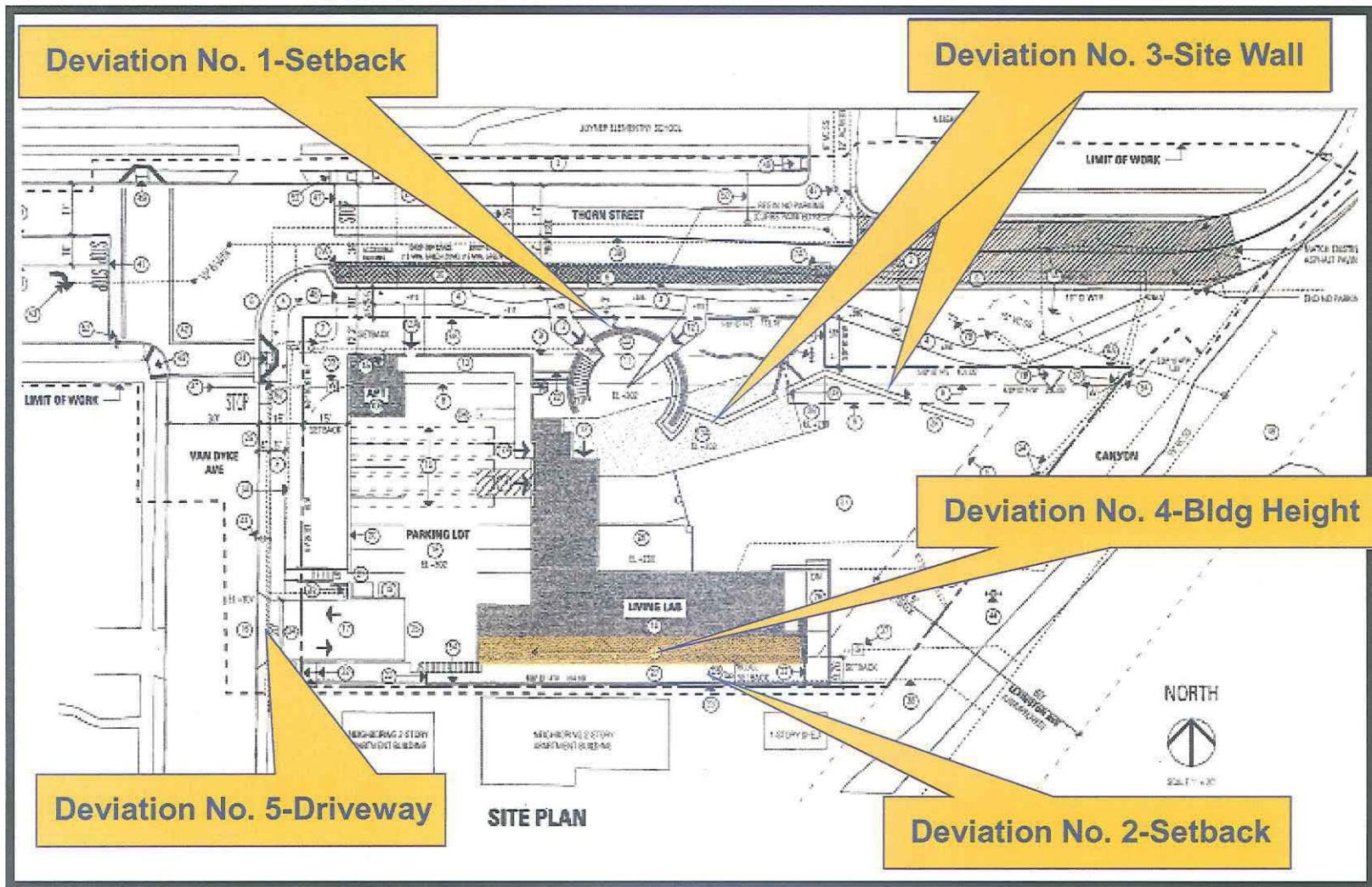


Community Plan Land Use Map

Living Lab -Ocean Discovery; Project No. 287114

4255 Thorn Street





Deviation Location Diagram

Living Lab - Ocean Discovery; Project No. 287114
 4255 Thorn Street



PROJECT DATA SHEET

PROJECT NAME:	Living Lab-Ocean Discovery; Project No. 287114	
PROJECT DESCRIPTION:	Demolition of two single family dwelling units and construction of an 11,737 square foot educational facility with a 380 square foot residential studio.	
COMMUNITY PLAN AREA:	City Heights	
DISCRETIONARY ACTIONS:	Conditional Use Permit, Site Development Permit and Public Right-of Way Vacation	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential (6-10 du/ac)	
<u>ZONING INFORMATION:</u>		
<p>ZONE: RS-1-7</p> <p>HEIGHT LIMIT: 24/30 feet</p> <p>LOT SIZE: 5,000 square feet</p> <p>FLOOR AREA RATIO: 0.45</p> <p>LOT COVERAGE: NA</p> <p>FRONT SETBACK: 15 feet</p> <p>SIDE SETBACK: 10 percent of lot width or 9.76 feet</p> <p>STREETSIDE SETBACK: 10 feet</p> <p>REAR SETBACK: 13 feet</p> <p>PARKING: 15 on-site spaces</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential; RS-17 and CU-3-6	Elementary School and Multi-Family Residential
SOUTH:	Residential; RS-17	Multi-Family Residential
EAST:	Residential and Open Space; RS-17	Open Space
WEST:	Residential; RS-17	Multi-Family Residential
DEVIATIONS OR VARIANCES REQUESTED:	The proposed project includes a request for deviations to street side yard setback, side yard setback, site wall height, building height, and the driveway width.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On April 1, 2013, the City Heights Area Planning Committee voted 14-0-0 to recommend approval of the project.	

EXHIBIT "B"

ACCESSORS MAP.

476-183-04-00

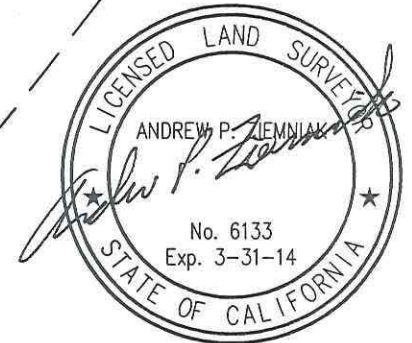
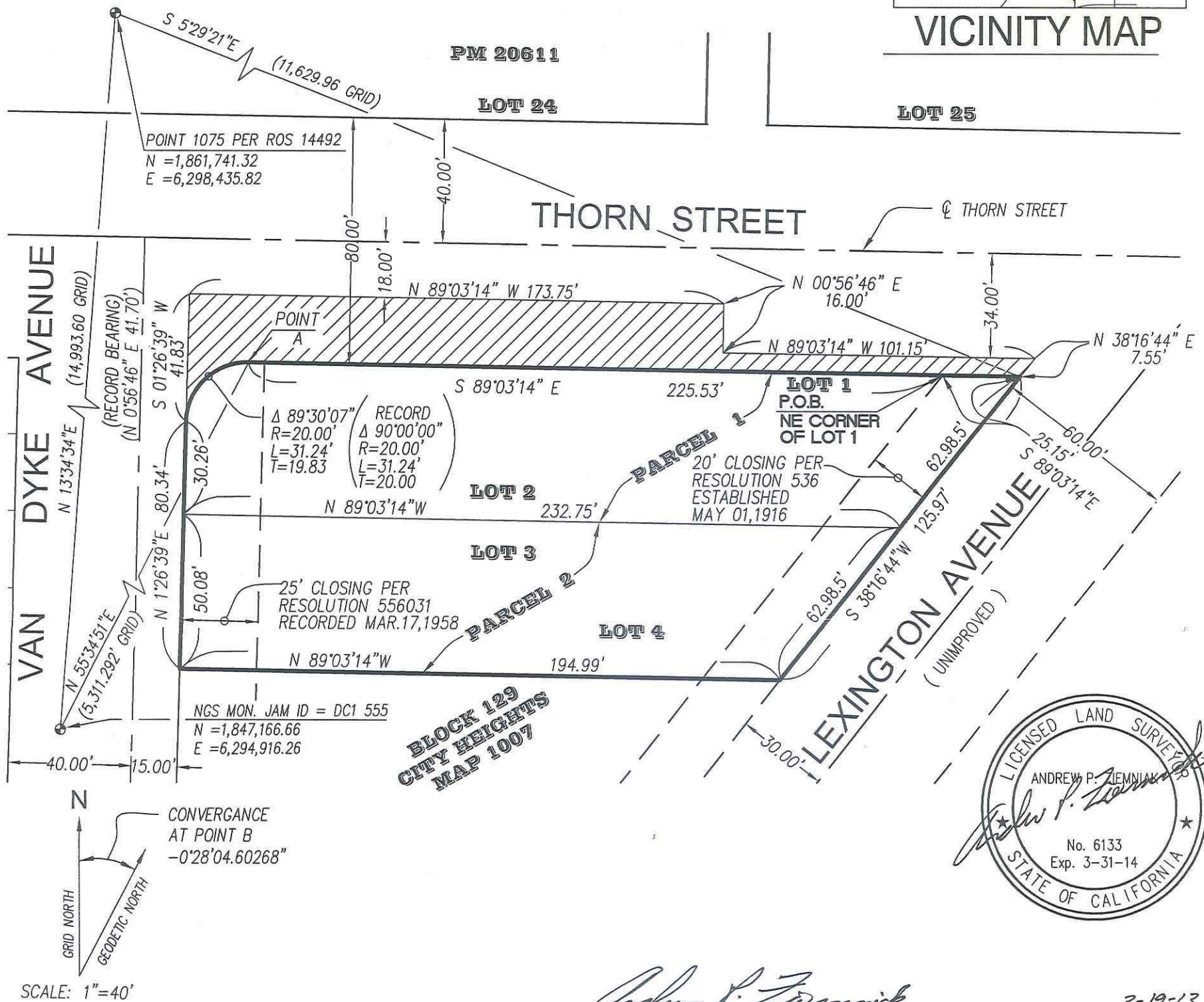
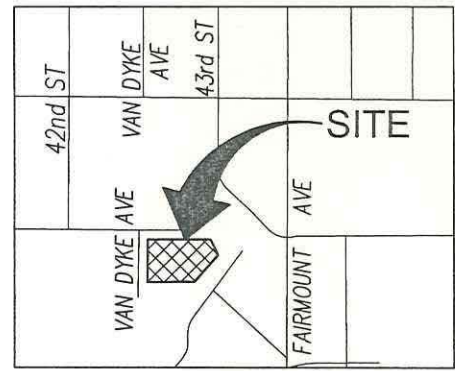
BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS PLAT IS THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE-6 (1991.35 EPO CH) AND THE LINE BETWEEN NGS MONUMENT JAM POINT ID DC1555 AND ROS14492 POINT 1075 AND THE LINE BETWEEN THE POINTS HAVING A BEARING OF N 13°34'34" EAST.

REFERENCES

- MAP 1007
- MISC.MAP 109
- MAP 1686
- PM 20611
- MC GRAY PRIVATE SURVEYS
- LOTS 25 & 28 BLK 129, CITY HEIGHTS
- CITY OF SAN DIEGO TIE NOTES 208-1737,9-22-55
- CITY OF SAN DIEGO TIE NOTES 208-1737,10-08-55.
- CITY DRAWING 6926-B
- CITY RESOLUTION R-146155

LEGEND



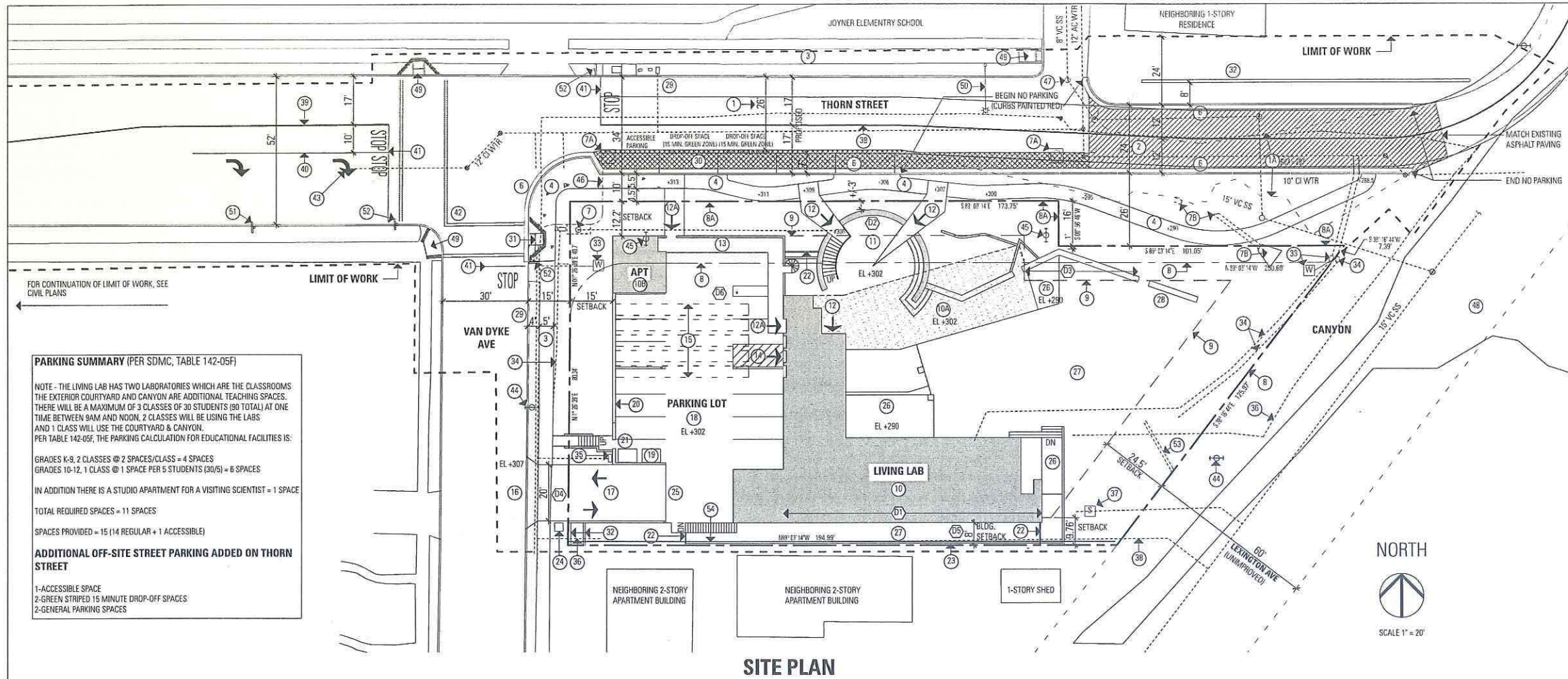
Andrew P. Ziemiak
 ANDREW P. ZIEMIAK P.L.S. 6133 EX 3/31/2014 DATE 3-19-13

STREET VACATED WITH A G.U.E RESERVATION AREA 4501.86 SQ.FT.

MARTIN & ZIEMIAK
 CIVIL ENGINEERING AND LAND SURVEYING
 304-West El Norte Pkwy Suite N-33
 Escondido, CA 92026
 Phone (858) 935-7690
 FAX (858) 935-7694

THORN STREET VACATION WITH AN ACCESS EASMENT RESERVATION OVER THE VACATED AREA EAST OF VAN DYKE AVENUE MAP 1007

DESCRIPTION	BY	APPROVED	DATE	FILMED	CITY OF SAN DIEGO, CALIFORNIA DEVELOPEMENT SERVICE DEPARTMENT SHEET 1 OF 1 SHEETS	ID. NO. PTS 287114 W.O. NO. 24002968
ORIGINAL						1848-6297 NAD 83 COORDINATES
					FOR CITY ENGINEER _____ DATE _____	208-1737 LAMBERT COORDINATES
					DIVISION HEAD _____	
					SECTION HEAD _____	37352-B
STATUS						



PARKING SUMMARY (PER SDMC, TABLE 142-05F)

NOTE - THE LIVING LAB HAS TWO LABORATORIES WHICH ARE THE CLASSROOMS. THE EXTERIOR COURTYARD AND CANYON ARE ADDITIONAL TEACHING SPACES. THERE WILL BE A MAXIMUM OF 3 CLASSES OF 30 STUDENTS (90 TOTAL) AT ONE TIME BETWEEN 9AM AND NOON. 2 CLASSES WILL BE USING THE LABS AND 1 CLASS WILL USE THE COURTYARD & CANYON. PER TABLE 142-05F, THE PARKING CALCULATION FOR EDUCATIONAL FACILITIES IS:

GRADES K-8, 2 CLASSES @ 2 SPACES/CLASS = 4 SPACES
 GRADES 10-12, 1 CLASS @ 1 SPACE PER 5 STUDENTS (30/5) = 6 SPACES

IN ADDITION THERE IS A STUDIO APARTMENT FOR A VISITING SCIENTIST = 1 SPACE
 TOTAL REQUIRED SPACES = 11 SPACES

SPACES PROVIDED = 15 (14 REGULAR + 1 ACCESSIBLE)

ADDITIONAL OFF-SITE STREET PARKING ADDED ON THORN STREET

1-ACCESSIBLE SPACE
 2-GREEN STRIPED 15 MINUTE DROP-OFF SPACES
 2-GENERAL PARKING SPACES

SITE PLAN

PROJECT DIRECTORY:

OWNER:	OCEAN DISCOVERY INSTITUTE 2711 PACIFIC BEACH DRIVE SAN DIEGO, CA 92109 REPRESENTATIVE: ANNE CORREIA acorrei@oceandis.org	PH (858) 488-3848 FAX (858) 488-4265
PROJECT MANAGEMENT:	HUGHES MARINO 1450 FRONT STREET SAN DIEGO, CA 92101 REPRESENTATIVE: KIRT GILLILAND kirt@hughesmarino.com	PH (619) 238-1518 FAX (619) 238-2112
ARCHITECT:	ROB WELLINGTON QUIGLEY, FAIA 416 - 13TH STREET SAN DIEGO, CA 92101 PROJECT MANAGER: MARYANNE WELTON mware@robquigley.com PROJECT ARCHITECT: BOB DICKENS bob@robquigley.com	PH (659) 328-8030 FAX (659) 328-8032 PH (619) 232-0888 FAX (619) 232-8566
LANDSCAPE ARCHITECT:	SPURLOCK POIRIER 2122 HANCOCK STREET SAN DIEGO, CA 92110 REPRESENTATIVE: LUCAS SHELLHAMMER lshellhammer@sp-land.com	PH (619) 681-0090 FAX (619) 681-0096
CIVIL ENGINEER, ENVIRONMENTAL & ECOLOGICAL PLANNING:	AECOM 1420 KETNER BLVD., SUITE 500 SAN DIEGO, CA 92101 REPRESENTATIVE: GARRETT AVERY Garrett.Avery@aecom.com	PH (619) 764-6834 FAX (619) 233-0952
TRAFFIC:	LINSCOTT, LAW & GREENSPAN, ENGINEERS 4542 RUFFNER STREET, SUITE 100 SAN DIEGO, CA 92111 REPRESENTATIVE: JOHN KEATING keating@linscott.com	PH (858) 300-6800 FAX (858) 300-8810
SURVEYOR:	MARTIN & ZIEMNIAK 306-N WEST EL NORTE PARKWAY #33 ESCONDIDO, CA 92026 REPRESENTATIVE: ANDY ZIEMNIAK aziemniak@mrcells.com	PH (858) 935-7690 FAX (858) 935-7694

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A3.2	ELEVATIONS & HEIGHT LIMIT DIAGRAM

SITE PLAN KEY

1	THORN STREET, EXISTING IMPROVEMENTS TO REMAIN
1A	THORN STREET, UNIMPROVED SECTION TO BE REPLACED
2	NEW ASPHALT PAVING.
3	EXISTING SIDEWALK
4	PROPOSED SIDEWALK, SEE ALSO CIVIL & LANDSCAPE PLANS
5	NOT USED
6	NEW 6" CURB & GUTTER.
7	REMOVE EXISTING STORM WATER INLET & RCP
7A	NEW STORM DRAIN CLEANOUT
7B	PROPOSED STORM WATER OUTLET, SEE CIVIL PLANS
8	ORIGINAL PROPERTY LINE
8A	PROPOSED PROPERTY LINE (PARTIAL STREET VACATION)
9	SETBACK LINE
10	PROPOSED LIVING LAB, 2-STORY STRUCTURE
10A	PROPOSED LIVING LAB, 1-STORY STRUCTURE SET INTO EMBANKMENT
10B	LIVING LAB APARTMENT, 1-STORY OVER PARKING
11	LIVING LAB ENTRY ROTUNDA
12	PROJECT ENTRY
12A	ACCESSIBLE PROJECT ENTRY, SEE SHEET A2.2
13	ACCESSIBLE WALK, ELEVATOR ACCESS
14	ACCESSIBLE ENTRY FROM PARKING LOT, SEE SHEET A2.1
15	PHOTOVOLTAIC SOLAR PANELS OVER PARKING
16	NEW 20" DRIVEWAY CURB CUT.
17	PARKING LOT ENTRY & EXIT
18	PARKING LOT FOR 15 VEHICLES, SEE A2.1
19	REFUSE & RECYCLING DUMPSTERS, SEE A2.1
20	11" MASONRY & STUCCO FINISH SCREEN WALL
21	EXIT & SERVICE ENTRANCE
22	6" WROUGHT IRON SECURITY FENCE
23	6" CMU W/ STUCCO FINISH FENCE
24	PROPOSED ELECTRIC TRANSFORMER
25	ROLL DOWN SECURITY GATE
26	PAVING, SEE LANDSCAPE PLANS
27	LANDSCAPING, SEE LANDSCAPE PLANS
28	SLOPING SITE WALL
29	EXISTING CURB
30	NEW CONCRETE PAVING.
31	NEW CURB RAMP.
32	NEW RETAINING WALL, SDRSD C-11
33	WATER LATERAL, EXISTING SERVICE TO REMAIN
34	EXISTING WATER LATERALS & METER TO BE REMOVED
35	NEW GAS LATERAL.
36	EXISTING GAS CONNECTION TO BE REMOVED
37	SEWER LATERAL, SDRSD SS-1
38	EXISTING SEWER LATERAL TO BE REMOVED
39	DOUBLE YELLOW STRIPE, CSP A20 DETAIL 22
40	CHANNELIZING LINE, CSP A20 DETAIL 38A
41	STOP BAR, 12" WHITE LINE PER CSP A24E (THERMOPLASTIC)
42	CROSSWALK, 12" WHITE LINE PER CSP A24E (THERMOPLASTIC)
43	RIGHT TURN ARROW, A24A
44	EXISTING POWER POLE TO REMAIN, TELECOMMUNICATIONS CONNECTION TO BE COORDINATED BY UTILITY COMPANY
45	EXISTING POWER POLE TO BE RELOCATED, RELOCATION TO BE COORDINATED WITH THE UTILITY COMPANY
46	EXISTING CURB & GUTTER TO BE REMOVED
47	SS MANHOLE
48	SENSITIVE HABITAT
49	EXISTING CURB RAMP
50	NEW STREET LIGHT
51	NEW SIGN: RIGHT TURN MUST TURN RIGHT
52	NEW STOP SIGN "ALL WAY"
53	STANDPIPE & OUTLET
54	TEMPORARY CONSTRUCTION NOISE ABATEMENT BARRIER (AS REQUIRED)

SITE PLAN NOTES:

- FOR BUS STOP LOCATIONS SEE 600' VICINITY MAP.
- THERE ARE NO EASEMENTS ON THE PROPERTY
- BUILDING ADDRESS TO BE VISIBLE & LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER PHS POLICY P-00-6
- PARTIAL STREET VACATION.** A PARTIAL STREET VACATION IS PROPOSED. PROPOSED PROPERTY LINE ADJUSTMENT IS NOTED BY KEY NOTE "8A" ON SITE PLAN. EXISTING PROPERTY LINE IS NOTED BY KEY NOTE "8". PROPOSED STREET VACATION IS 4,471.5 S.F.
- POST INDICATOR VALVE, FIRE DEPT. CONNECTIONS & ALARM BELL TO BE LOCATED ON ADDRESS/ACCESS SIDE OF STRUCTURE.
- NO TREES OR SHRUBS EXCEEDING 3' IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY WATER & SEWER FACILITIES
- THIS PROJECT SHALL PROVIDE NOISE ATTENUATION TO ENSURE EXTERIOR NOISE LEVELS DO NOT EXCEED 75dB CNEL DURING CONSTRUCTION, AS OUTLINED IN NOISE TECHNICAL REPORT DATED JANUARY 2013.
- THIS PROJECT SHALL PROVIDE NOISE ATTENUATION TO ENSURE INTERIOR NOISE LEVELS DO NOT EXCEED 45dB CNEL, AS OUTLINED IN NOISE TECHNICAL REPORT DATED JANUARY 2013.

DEVIATIONS FROM THE DEVELOPMENT REGULATIONS OF THE MUNICIPAL CODE: (R)

- BUILDING HEIGHT OF STRUCTURE ALONG SOUTH PROPERTY LINE. REQUEST DEVIATION FROM 30' REQUIRED ANGLE BUILDING ENVELOPE PLANE, SDMC TABLE 131-04H. PROPOSED BUILDING HEIGHT TO BE 33' MAX. "D1" ON SITE PLAN.
- ENTRY ROTUNDA SETBACK. REQUEST DEVIATION FOR ROTUNDA SETBACK FROM PROPERTY LINE FROM 10' TO 3". "D2" ON SITE PLAN, SDMC TABLE 131-04D.
- REQUEST DEVIATION FOR HEIGHT OF SITE WALL IN STREET SIDE YARD SETBACK. HEIGHT OF SOLID WALL VARIES FROM 7' TO 11" MAX. "D3" ON SITE PLAN, SDMC 142.031(B)(1)(B).
- DRIVEWAY WIDTH REDUCTION FROM 24' TO 20". "D4" ON SITE PLAN, SDMC TABLE 142-05M.
- DEVIATION FROM INTERIOR SIDE YARD SETBACK DISTANCE. "D5" ON SITE PLAN FROM 9.76' TO 8' (NOTE: 8' IS THE REQUIRED SETBACK FOR THE ORIGINAL PROJECT SITE PRIOR TO THE REQUESTED STREET VACATION INCREASE), SDMC TABLE 131-04D.

DEVELOPMENT SUMMARY

PROJECT NARRATIVE:	ZONE: RS-1-7	STORIES: PER CBC SECTION 504.2 AUTOMATIC SPRINKLER SYSTEM INCREASE, WHERE A BUILDING IS EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1, THE VALUE SPECIFIED IN TABLE 503... THE MAXIMUM NUMBER OF STORIES IS INCREASED BY ONE.	MAX. ALLOWABLE F.A.R.: 45 (SDMC TABLE 131-04.J)	LANDSCAPE AREA (WATER CONSERVATION): SITE = 9,650 S.F. HEIGHT-OF-WAY IMPROVEMENTS = 6,830 S.F.
REMOVED TWO (2) EXISTING SINGLE FAMILY RESIDENCES. CONSTRUCT A NEW 2-STORY PRIVATE EDUCATIONAL FACILITY FOR STUDENTS K - 12 GRADES. PROJECT WILL CONTAIN A SMALL DETACHED RESIDENTIAL UNIT AND PROVIDE ONSITE PARKING FOR 15 VEHICLES	USE: EXISTING - RESIDENTIAL PROPOSED - EDUCATIONAL	SITE AREA: EXISTING 23,278.8 S.F. (53 ACRES) PROPOSED 27,673.7 S.F. (64 ACRES)	SETBACKS (SDMC TABLE 131-04D): FRONT: 15' SIDE - 9.76' (108' X 122') STREET SIDE - 12.7' (110' X 122') REAR - 24.5' (10% LINE DRAWN 90° FROM MID POINT OF FRONT P/L TO REAR P/L = .10 X 244.75)	ADDRESS: ORIGINAL PROJECT ADDRESS WAS 3239 VAN DYKE AVE. NEW PROJECT ENTRY WILL BE ON THORN STREET. PROJECT HAS REQUESTED & RECEIVED A NEW THORN STREET ADDRESS. NEW ADDRESS IS 4255 THORN STREET. ADDRESS TO BE VISIBLE AND LEGIBLE FROM THE STREET.
PROJECT DATA:	OCCUPANCY CLASSIFICATION: GROUP E	GROSS BUILDING AREA: CANYON LEVEL 6,896.3 ENTRY LEVEL 4,300.1 STREET LEVEL 541 (LOFT & ELEVATOR) TOTAL BUILDING 11,737.4 S.F. APARTMENT 379.4 TOTAL PROJECT 12,116.8 S.F.	STRUCTURE HEIGHT (SDMC TABLE 131-04D): 24/30. (NOTE: DEVIATION REQUESTED FOR HEIGHT LIMIT ALONG SOUTH ELEVATION). REST OF PROJECT COMPLIES.	HISTORICAL STRUCTURES: EXISTING STRUCTURES CONSTRUCTED 1980 SEE "HISTORICAL RESOURCE TECHNICAL REPORT" PREPARED BY AECOM, JANUARY 2012
ADDRESS: 4255 THORN STREET	BUILDING TYPE: TYPE VB, FULLY SPRINKLERED.	FLOOR AREA RATIO: .44	FRONT YARD PAVING: PER SDMC 131.044(b) MAX ALLOWABLE PAVING IN FRONT YARD = 60%. FRONT YARD = 1,879.8 S.F. PAVING = 376.6 S.F. = 20%	PARKING: 15 SPACES PROVIDED ON SITE. SEE THE PARKING SUMMARY SHEET A2.1 5 ADDITIONAL STREET SPACES PROVIDED. 1 ACCESSIBLE, 2 GREEN STRIPED DROP OFF & 2 GENERAL PUBLIC SPACES
LEGAL DESCRIPTION: (SEE SHEET A1.1)			GEOLOGIC HAZARD CATEGORY: SITE CLASS D	AS-BUILTS:
ASSESSOR PARCEL NUMBERS: 476-183-04 476-183-07				CONTRACTOR:

SITE PLAN

LIVING LAB
4255 THORN STREET
SAN DIEGO, CA. 92105

A1.0

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 1 OF 19 SHEETS

DATE: 3/27/13

Rob Wellington Quigley, FAIA
416 13th Street
San Diego, California 92101
T (619) 232-0888
F (619) 232-6966

DATE: 3/27/13

DEVELOPMENT SUMMARY CONT.

PROJECT DATA CONT:

LEGAL DESCRIPTION:
 LOTS 1&2 OF BLOCK 129 OF CITY HEIGHTS, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA., MAP NO. 1007, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCT. 3, 1906.
 TOGETHER WITH THAT PORTION OF VAN DYKE AVE., ADJOINING SAID LAND ON THE WEST, AS VACATED AND CLOSED BY RESOLUTION RECORDED MARCH 17, 1958 IN BOOK 6995 PAGE 388 OF OFFICIAL RECORDS.
 AND TOGETHER WITH THAT PORTION OF THE NORTHWESTERLY 20.00 FEET OF LEXINGTON AVE., ADJOINING SAID LAND ON THE EAST AS VACATED AND CLOSED TO PUBLIC USE.
 LOTS 3&4 OF BLOCK 129 OF CITY HEIGHTS, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CA., MAP NO. 1007, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCT. 3, 1906.
 TOGETHER WITH THE EASTERLY 25.00 FEET OF VAN DYKE AVE., ADJOINING SAID LAND ON THE WEST, AS VACATED AND CLOSED BY RESOLUTION RECORDED MARCH 17, 1958 IN BOOK 6995 PAGE 388 OF OFFICIAL RECORDS.
 AND TOGETHER WITH THAT PORTION OF THE NORTHWESTERLY 20.00 FEET OF LEXINGTON AVE., ADJOINING SAID LAND ON THE SOUTHEAST, AS VACATED AND CLOSED TO THE PUBLIC USE.

STREET RIGHT OF WAY VACATION

VACATION OF PORTION OF THORN STREET WITH A GENERAL UTILITY AND ACCESS EASEMENT RESERVATION

THAT PORTION OF THORN STREET FORMALLY KNOWN AS CENTRE STREET IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS DEDICATED TO PUBLIC USE ON MAP NO. 1007 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 3, 1906.

BEGINNING AT THE TRUE POINT OF BEGINNING BEING THE NORTHEAST CORNER OF LOT 1 OF SAID MAP 1007; THENCE CONTINUED AT THE PROLONGATION OF SAID LOT 1, N 89° 03' 14" E 23.15 FEET TO THE NORTHWESTERLY RIGHT-OF-WAY LINE OF LEXINGTON AVENUE VACATED ON MAY 1, 1916 PER CITY RESOLUTION NO. 536; THENCE ALONG THE SAID RIGHT-OF-WAY LINE N 38° 16' 44" E 7.55'; THENCE N 89° 03' 14" W 101.5 FEET; THENCE N 00° 56' 46" EAST 16.00 FEET; THENCE N 89° 03' 14" W 173.75 FEET; THENCE S 01° 26' 39" W 41.83 FEET TO A POINT OF CURVE; THENCE NORTHEASTERLY ALONG A CURVE CONCAVE TO THE SOUTHEAST HAVING A RADIUS OF 20.00 FEET, THROUGH A CENTRAL ANGLE OF 89° 30' 07" AN ARC LENGTH OF 31.24 FEET; THENCE S 89° 03' 14" E 225.53 FEET RETURNING TO THE TRUE POINT OF BEGINNING.

RESERVING THEREFROM A GENERAL UTILITY AND ACCESS EASEMENT OVER THE VACATED PORTION OF THORN STREET.

THIS DESCRIBED RIGHT OF WAY VACATION CONTAINS 4501.86 SQUARE FEET MORE OR LESS.

ALL BEARINGS IN THIS DESCRIPTION ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983 (CCS83) ZONE 6, 1991.35 EPOCH, AND PARTICULARLY RECORD MONUMENTS KNOWN AS NATIONAL GEODETIC SURVEY MONUMENTS JAM, ID NO DC1555 AND MONUMENT 1075 PER ROS 14492. THE LINE BETWEEN MONUMENTS JAM AND 1075 HAS A BEARING OF NORTH 13° 34' 34" EAST FOR A GRID DISTANCE OF 14,993.69 FEET. THE PROJECT COMBINATION FACTOR FOR GRID TO GROUND IS 0.9999998. THIS GPS SURVEY RELATED TO THIS DESCRIPTION WAS COMPLETED ON JUNE 16, 2011.

ATTACHED HERETO IS A DRAWING NO. 37352-D LABELED EXHIBIT-"B" AND BY THIS REFERENCE MADE A PART HEREOF.

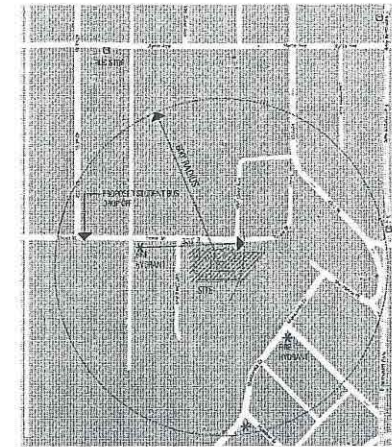
Project Components:

- 12,116 s.f. educational facility includes the following:
- Lobby/reception (Discovery Gallery)
 - 2 classroom/laboratories for 30 students, approximately 1,000 s.f. each
 - Offices/cubicles for 15 staff (approximately 1,315 s.f.)
 - Kitchen and dining room (468 s.f.)
 - Men's, women's and staff restrooms
 - 3 alcoves and 2 fellows bays for informal staff and student break-out meetings
 - Storage/tool storage/mechanical space (approximately 2,000 s.f.)
 - Miscellaneous copier room, locker rooms, janitor closet, elevator equipment and electrical rooms
 - 362 s.f. studio apartment for visiting scientist or caretaker
 - 15-space on site parking lot, plus 5 new street parking on Thorn Street, 2 drop-off spaces, 2 general parking spaces and 1 accessible space.
 - Exterior spaces include public entry through Watershed Plaza, Ocean Discovery Courtyard for outside teaching activities, a demonstration garden, native plantings, and play area

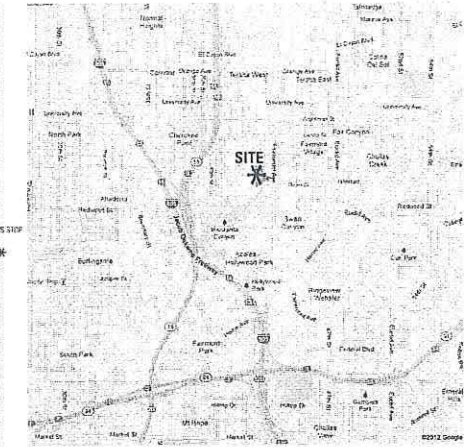
TABLE 1
 HOURS OF OPERATION & USES

Day	Hours of Operation	Peak Times	Use	Targeted Audience	Numbers Served	Staff
School Days	9:00am-6:00pm	9:00am-12pm	Formal science programs	City Heights students	90	15
		4pm-6pm	After-school science programs	City Heights students and families	90	15
Non-School Week Days (Summer & Holidays)	9:00am-6:00pm	9am-3pm	Science programs	City Heights students and families	90	15
		3pm-6pm	Science programs	City Heights students and families	90	15
Weekends	9:00am-3:00pm	9am-3pm	Science programs	City Heights community at large	90	6

Note: Students and their teachers will arrive either on foot or in 60-person buses at the start of the morning sessions and depart at the end of a session. The buses will park for drop-off at the intersection of Thorn & 42nd Streets (2 blocks away) according to an agreement with the SD Unified. It is likely that buses will provide weekday drop-off and pick-up (up to 5 days/week). For the afternoon sessions, students and teachers will be arriving by foot, bicycle, public transportation, or individual vehicles (primarily drop-off/pick-up).



600' VICINITY MAP
 FIRE HYDRANTS & BUS STOP LOCATIONS



VICINITY MAP
 NO SCALE

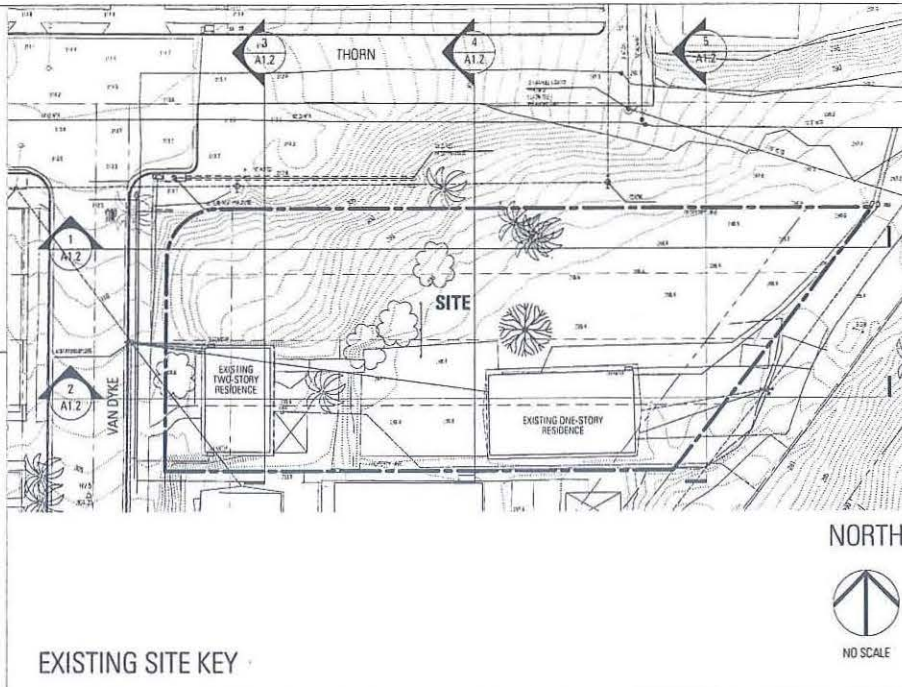
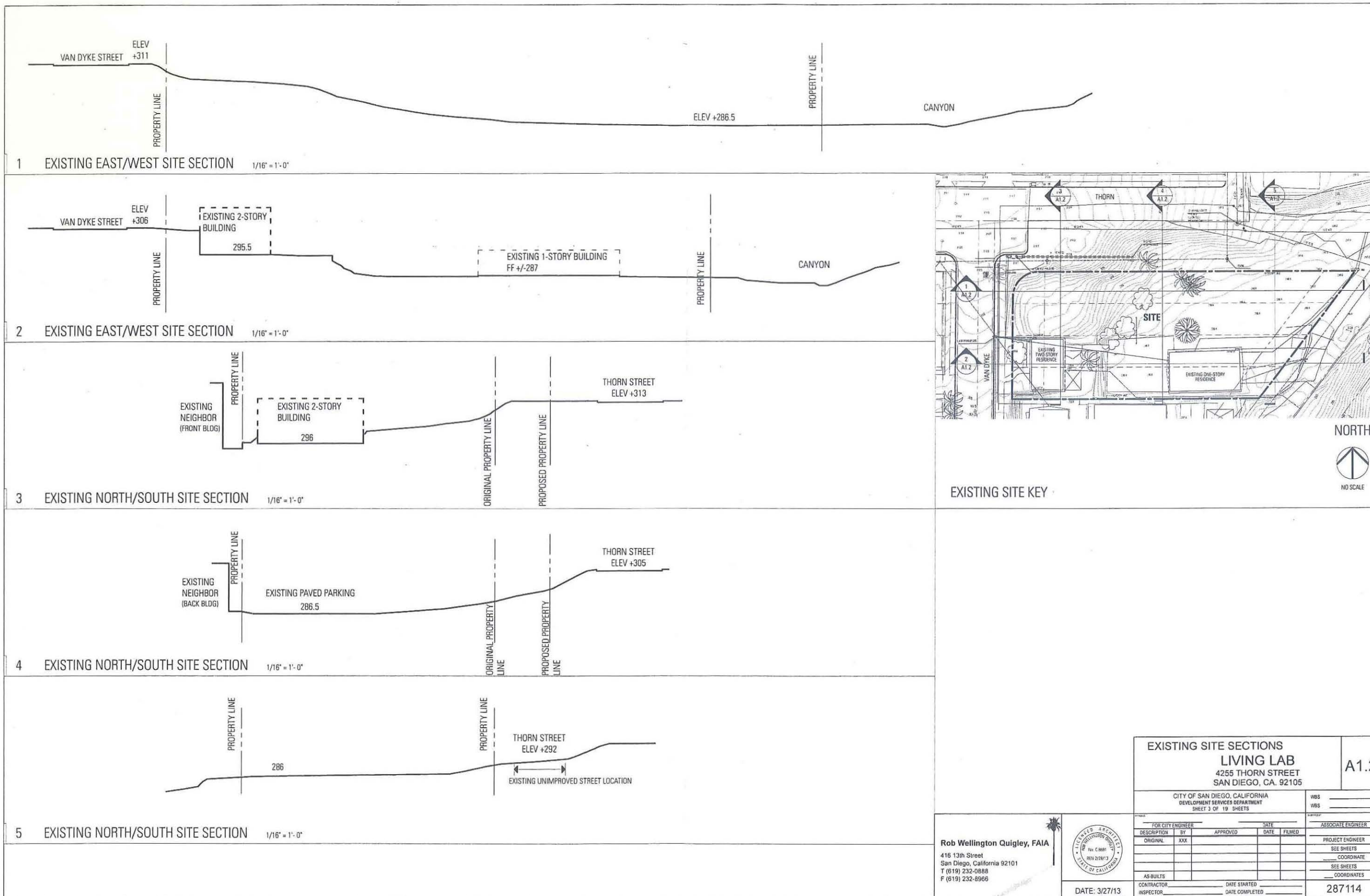


DEV. SUMMARY		LIVING LAB		A1.1	
4255 THORN STREET		SAN DIEGO, CA. 92105			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 19 SHEETS				WBS _____ WBS _____	
FOR CITY ENGINEER	DATE	ASSOCIATE ENGINEER			
DESCRIPTION	BY	APPROVED	DATE	FILMED	PROJECT ENGINEER
ORIGINAL	XXX				SEE SHEETS
					COORDINATE
					SEE SHEETS
					COORDINATES
AS-BUILTS					
CONTRACTOR	DATE STARTED			287114	
INSPECTOR	DATE COMPLETED				

Rob Wellington Quigley, FAIA
 416 13th Street
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 F (619) 232-8966



DATE: 3/27/13



EXISTING SITE SECTIONS
LIVING LAB
 4255 THORN STREET
 SAN DIEGO, CA. 92105

A1.2

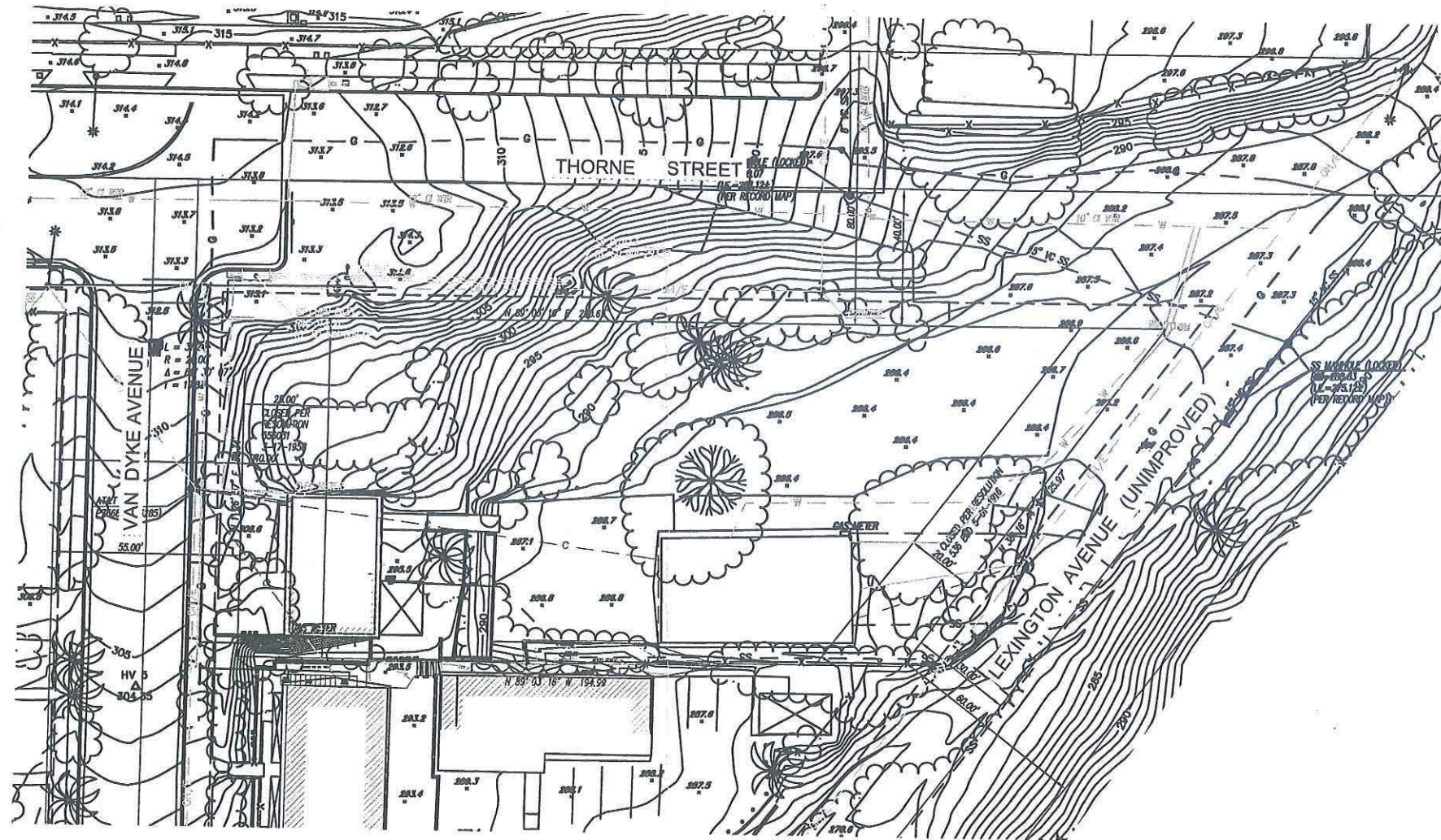
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 19 SHEETS		WBS _____ VBS _____
FOR CITY ENGINEER	DATE	ASSOCIATE ENGINEER
DESCRIPTION	BY	APPROVED
ORIGINAL	XXX	
DATE		FILMED
AS-BUILTS	DATE STARTED	PROJECT ENGINEER
CONTRACTOR	DATE COMPLETED	SEE SHEETS
INSPECTOR		COORDINATE
		SEE SHEETS
		COORDINATES
		287114

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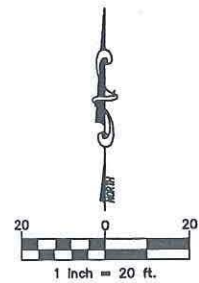
DATE: 3/27/13

Z:\Civil\Land Projects\12\2012 OCEAN DISCOVERY INSTITUTE\DDI\EXHIBIT REV 1 APZ 6-25-12.dwg 1/23/2013 2:49:23 PM PST



LEGEND:

EXISTING CONTOUR	290
EXISTING WATER LINE	W
EXISTING STORM DRAIN LINE	SD
EXISTING SANITARY SEWER LINE	SS
EXISTING COMMUNICATIONS OR DATA LINE	C
EXISTING ELECTRIC LINE	E
EXISTING GAS LINE	G
EXISTING TELEPHONE LINE	T

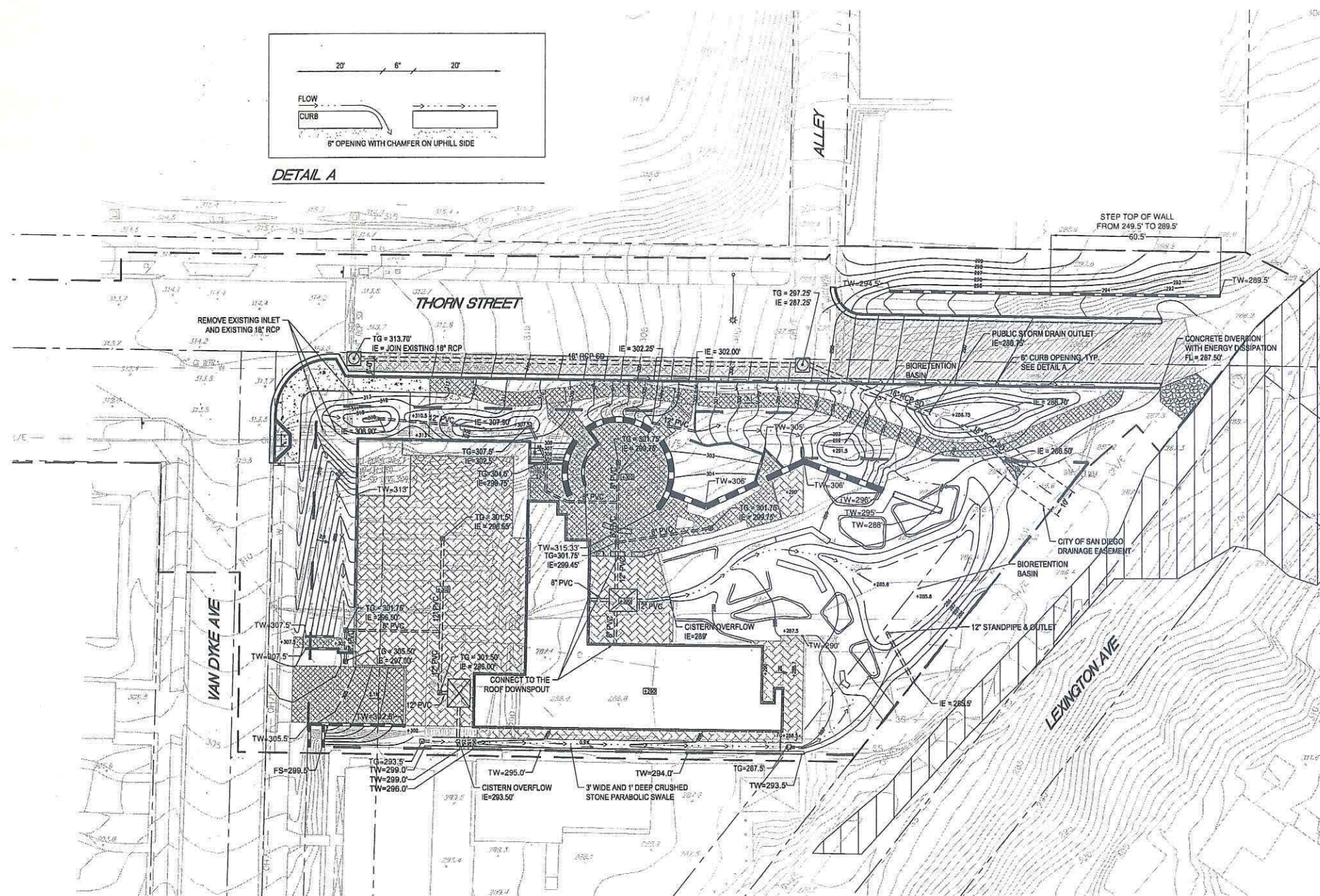
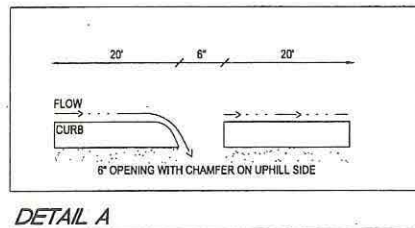


EXISTING TOPOGRAPHIC MAP		T1.0	
LIVING LAB 4255 THORN STREET SAN DIEGO, CA. 92105			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 4 OF 19 SHEETS		WBS _____ WBS _____	
FOR CITY ENGINEER		ASSOCIATE ENGINEER	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	APZ		
AS-BUILTS		DATE STARTED	
CONTRACTOR	INSPECTOR	DATE COMPLETED	287114

MARTIN & ZIEMNIAK
CIVIL ENGINEERING AND
LAND SURVEYING
306 West El Norte Pkwy
Suite N-33
Escondido, CA 92026
Phone (858) 935-7690
FAX (858) 935-7694



DATE: 1/24/13



LEGEND

ITEM	STD. DWG. NO.	SYMBOL
PROPOSED PROPERTY LINE		---
LIMIT OF WORK		---
PROPOSED 5' CONTOUR		---385---
PROPOSED 1' CONTOUR		---384---
SWALE	MATERIAL PER LANDSCAPE PLANS	---
PROPOSED DRAINAGE EASEMENT		---
PROPOSED GRADE		2.0%
PROPOSED SPOT ELEVATION		+290
RETAINING WALL	CSDSD C-13	---
SITE WALL/FENCE	PER ARCHITECT/LANDSCAPE PLANS	---
TOP OF WALL/FINISHED SURFACE ELEVATIONS		16.1.5 TW 16.2.2 FS
CURB RAMP	CSDSD SDG-132	---
DRIVEWAY (20')	CSDSD SDG-160	---
SIDEWALK	CSDSD SDG-155	---
STREET LIGHT	CSDSD SDE-101	---
STORM DRAIN CLEANOUT - TYPE A	SDRSO D-9	---
RIP RAP ENERGY DISSIPATER	CSDSD SDD-104	---
STORM DRAIN INLET		---
STORM DRAIN CISTERN		---
STORM DRAIN		---
WATER MAIN		---
SEWER MAIN & SEWER MANHOLE		---
ABANDON IN PLACE		---
AC PAVEMENT	CSDSD SDG-113	---
CONCRETE PAVEMENT	SDRSO C-18 OR PER LANDSCAPE PLANS	---
PERMEABLE PAVERS OR OTHER PERMEABLE SURFACE	PER LANDSCAPE PLANS	---
DISTURBED WETLANDS		---
WATER LATERAL		---
SEWER LATERAL		---
GAS SERVICE		---
PROPOSED STREET VACATION, 4,467.0 SF		---
PROPOSED BUILDING		---

TOPOGRAPHY:

TOPOGRAPHY OBTAINED FROM PHOTO GEODETIC CORPORATION PHOTOGRAPHY DATED: JUNE 14, 2011 AND SEPT. 20, 2011 MORENO AERIAL PHOTO SURVEYS BENCH MARK: BRASS PLUG AT THE NORTHWEST CORNER OF 41ST STREET AND MYRTLE AVENUE, ELEVATION OF 327.640'

GRADING TABULATIONS:

TOTAL AMOUNT OF SITE TO BE GRADED: 0.94 ACRES
 SITE AREA (LIMIT OF WORK): 1.64 ACRES
 AMOUNT OF CUT: 840 CUBIC YARDS
 MAXIMUM DEPTH OF CUT: 12 FEET
 AMOUNT OF FILL: 3,400 CUBIC YARDS
 AMOUNT OF IMPORT OF SOIL: 2,560 CUBIC YARDS
 MAXIMUM HEIGHT OF FILL SLOPES: 12 FEET
 SLOPE RATIO: 2:1 MAXIMUM
 MAXIMUM HEIGHT OF CUT SLOPES: 12 FEET
 SLOPE RATIO: 2:1 MAXIMUM
 TOTAL LENGTH OF RETAINING WALLS: 500 FEET
 MAXIMUM HEIGHT: 13.33 FEET

GEOTECHNICAL NOTES

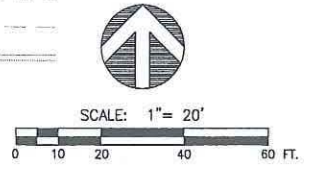
1. FAULTS DISCOVERED DURING GRADING OF THE SITE SHALL BE EVALUATED AND ANALYZED FOR ACTIVITY LEVEL BY THE GEOTECHNICAL CONSULTANT WITH DETAIL REPORTS SUBMITTED SUBJECT TO REVIEW AND APPROVAL BY THE CITY GEOLOGY STAFF PRIOR TO ISSUANCE OF BUILDING PERMITS.
 2. UNLESS A STRUCTURAL SETBACK IS RECOMMENDED BY THE GEOTECHNICAL CONSULTANT, A "NOTICE OF GEOLOGIC AND GEOTECHNICAL CONDITIONS" SHALL BE RECORDED PRIOR TO ISSUANCE OF BUILDING PERMITS FOR BUILDINGS SITED OVER ANY POTENTIALLY ACTIVE FAULT(S) DISCOVERED ON-SITE. NO STRUCTURE FOR HUMAN OCCUPANCY SHALL BE PERMITTED OVER THE TRACE OF AN ACTIVE FAULT AND THE PROJECT GEOLOGIC CONSULTANT MUST PROVIDE A MINIMUM SETBACK.
 3. THE PRECISE AS GRADED LOCATION OF FAULT(S), IF DISCOVERED, SHALL BE SHOWN ON THE FINAL AS GRADED PLANS.

EXISTING ITEMS

- EXISTING PROPERTY LINE
- EXISTING CENTER LINE
- CONTOURS
- STORM DRAIN
- SEWER MAIN
- WATER MAIN
- OVERHEAD UTILITIES
- GAS MAIN
- CURB AND GUTTER

NOTES:

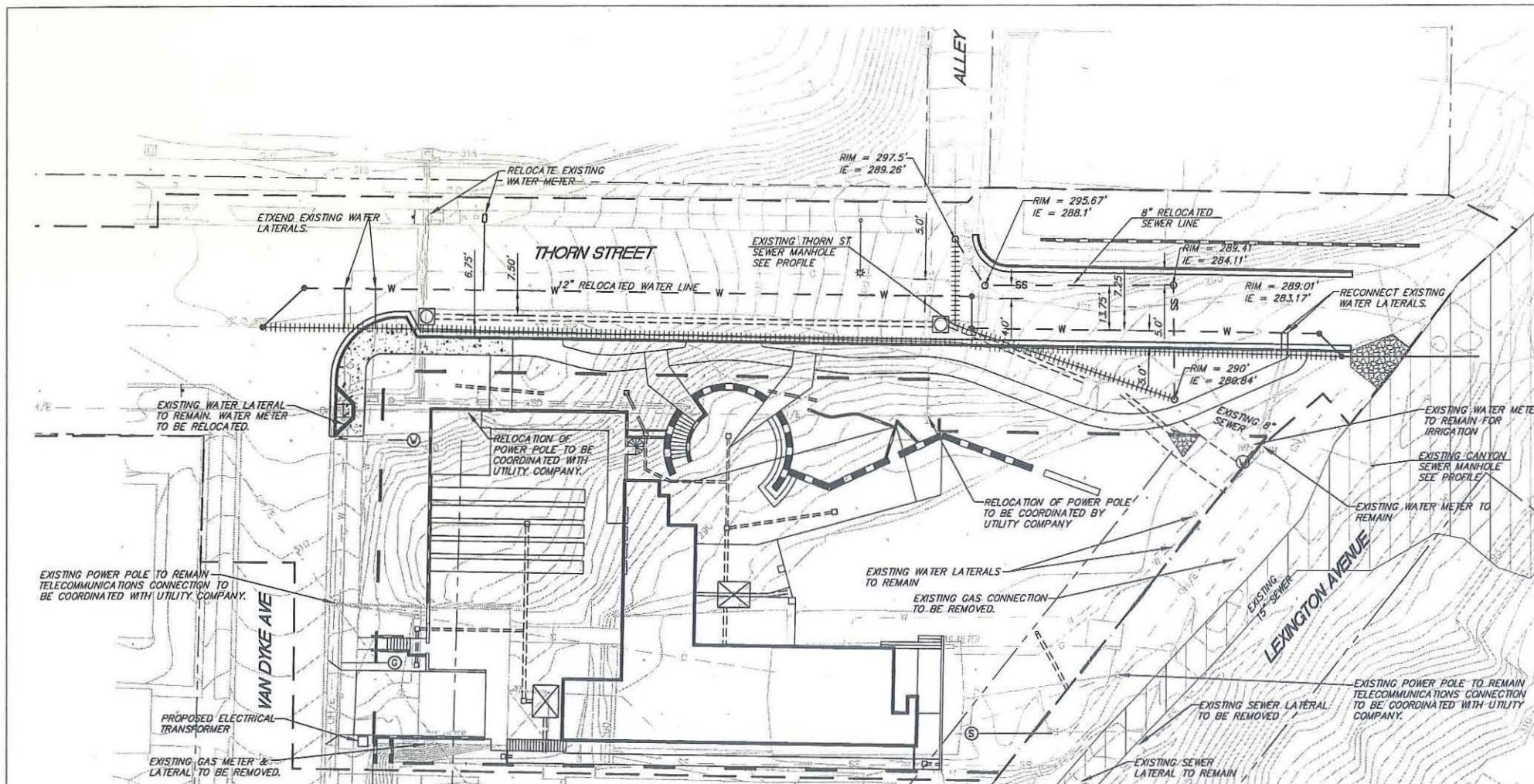
1) ALL DRAINAGE FACILITIES OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATE AND PRIVATELY MAINTAINED.
 2) CONCRETE FLOW DIVERSION AND ENERGY DISSIPATION OVER EXISTING WATERLINE TO BE DESIGNED TO THE SATISFACTION OF THE PUBLIC UTILITY DIRECTOR AND CITY ENGINEER DURING DETAILED DESIGN.



AECOM
 AECOM USA, Inc.
 7807 Conroy Court
 Suite 200 San
 Diego, CA 92111
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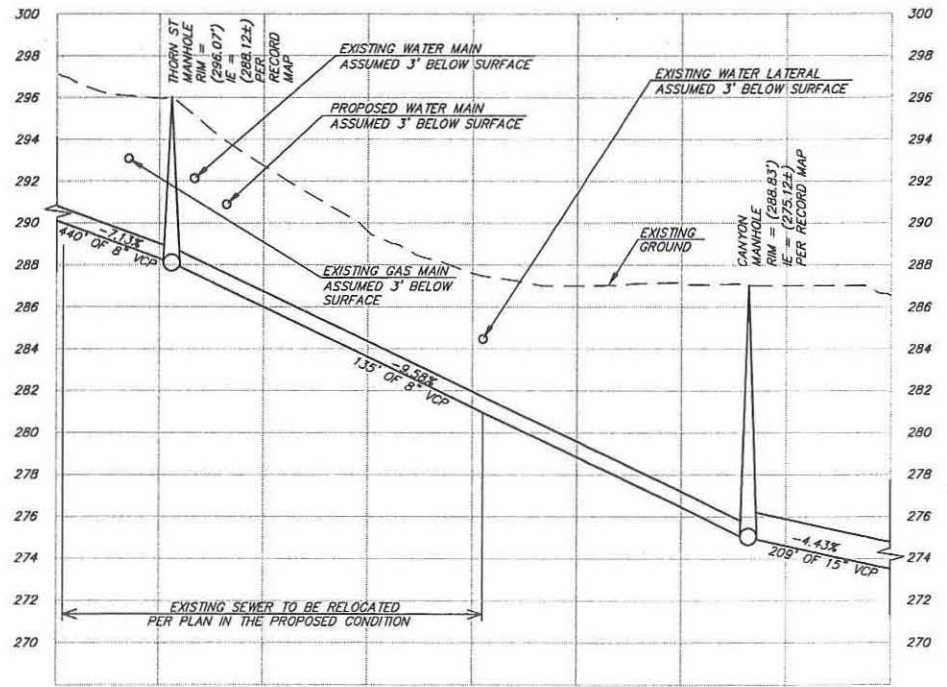
REGISTERED PROFESSIONAL ENGINEER
 K. H. GARDNER
 No. 68877
 Exp. 09/30/13
 CIVIL
 STATE OF CALIFORNIA

GRADING & DRAINAGE PLAN		C1.0
LIVING LAB 4255 THORN STREET SAN DIEGO, CA. 92105		
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 5 OF 19 SHEETS		DATE: 03/27/2013
FOR CITY ENGINEER	DATE	ASSOCIATE ENGINEER
DESCRIPTION BY	APPROVED	PROJECT ENGINEER
ORIGINAL	10/6	SEE SHEETS
		COORDINATE
		SEE SHEETS
		COORDINATES
AS-BUILTS		
CONTRACTOR	DATE STARTED	287114
INSPECTOR	DATE COMPLETED	



LEGEND

ITEM	STD. DWG. NO.	SYMBOL
PROPOSED PROPERTY LINE		---
LIMIT OF WORK		---
PROPOSED 5' CONTOUR		---385---
PROPOSED 1' CONTOUR		---384---
SWALE	MATERIAL PER LANDSCAPE PLANS	---
PROPOSED DRAINAGE EASEMENT		---
PROPOSED GRADE		2.0%
PROPOSED SPOT ELEVATION		+290
RETAINING WALL	CSDSD C-13	---
SITE WALL/FENCE	PER ARCHITECT/LANDSCAPE PLANS	---
TOP OF WALL/FINISHED SURFACE ELEVATIONS		163.5 TW 162.2 FS
CURB RAMP	CSDSD SDG-132	---
DRIVEWAY (20')	CSDSD SDG-160	---
SIDEWALK	CSDSD SDG-155	---
STREET LIGHT	CSDSD SDE-101	---
STORM DRAIN CLEANOUT - TYPE A	SDRSD D-9	---
RIP RAP ENERGY DISSIPATER	CSDSD SDD-104	---
STORM DRAIN INLET		---
STORM DRAIN CISTERN		---
STORM DRAIN		---
WATER MAIN		---
SEWER MAIN & SEWER MANHOLE		---
ABANDON IN PLACE		---
AC PAVEMENT	CSDSD SDG-113	---
CONCRETE PAVEMENT	SDRSD G-1B OR PER LANDSCAPE PLANS	---
PERMEABLE SURFACE	PER LANDSCAPE PLANS	---
DISTURBED WETLANDS		---
WATER LATERAL		---
SEWER LATERAL		---
GAS SERVICE		---
PROPOSED STREET VACATION, 4,467.0 SF		---
PROPOSED BUILDING		---



EXISTING SEWER PROFILE
 HORIZONTAL SCALE: 1" = 20'
 VERTICAL SCALE: 1" = 4'

EXISTING ITEMS

EXISTING PROPERTY LINE	---
EXISTING CENTER LINE	---
CONTOURS	---
STORM DRAIN	---
SEWER MAIN	---
WATER MAIN	---
OVERHEAD UTILITIES	---
GAS MAIN	---
CURB AND GUTTER	---

NOTES:

- 1) ALL ONSITE WATER AND SEWER FACILITIES WILL BE PRIVATE AND SHALL BE DESIGNED TO MEET THE REQUIREMENTS OF THE CALIFORNIA UNIFORM PLUMBING CODE AND SHALL BE REVIEWED AS PART OF THE BUILDING PERMIT PLAN CHECK
- 2) THE METHOD OF RELOCATION OF OVERHEAD FACILITIES IS ASSUMED TO BE UNDERGROUNDING IN THORN STREET. NO EASEMENTS WILL BE REQUIRED ON PRIVATE PROPERTY.

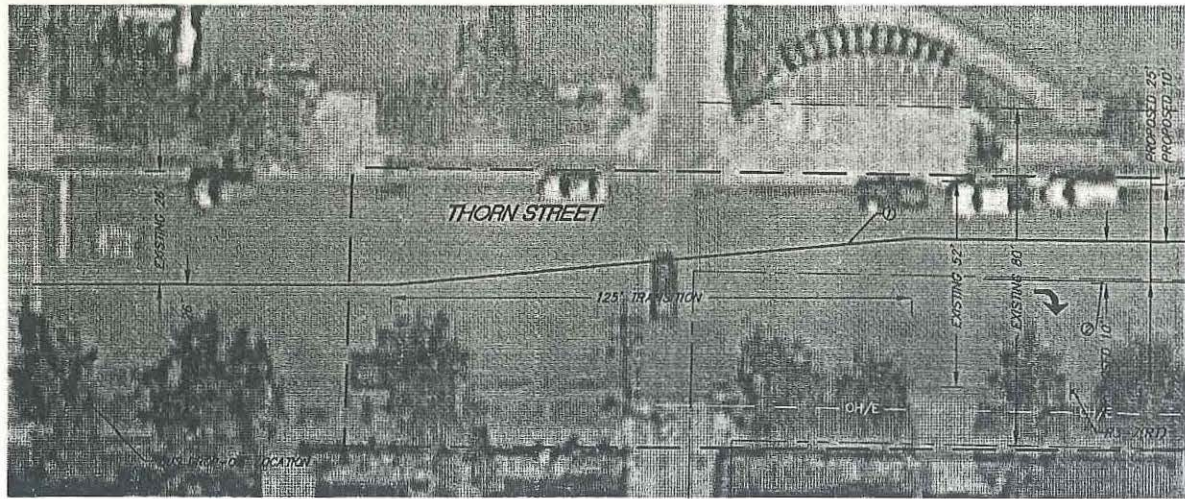


SCALE: 1" = 20'
 0 10 20 40 60 FT.

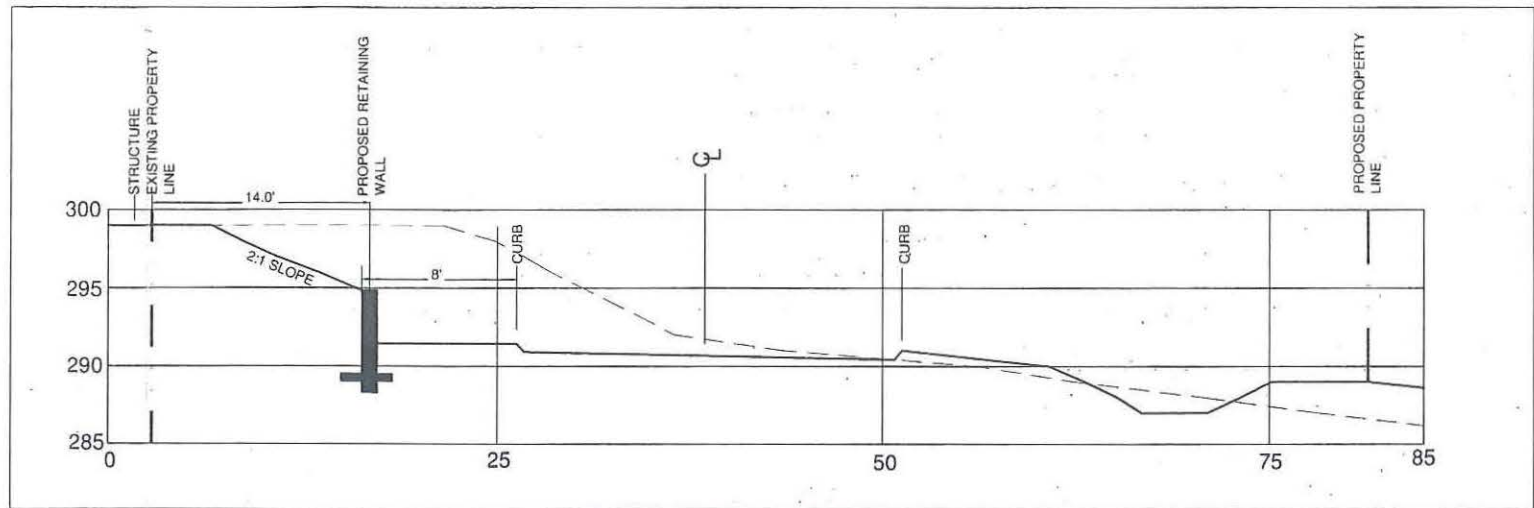
AECOM
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 658 292 7432 fax
 www.aecom.com

REGISTERED PROFESSIONAL ENGINEER
 KEVIN B. GARDON
 CIVIL
 STATE OF CALIFORNIA
 No. 68817
 Exp. 09/30/13

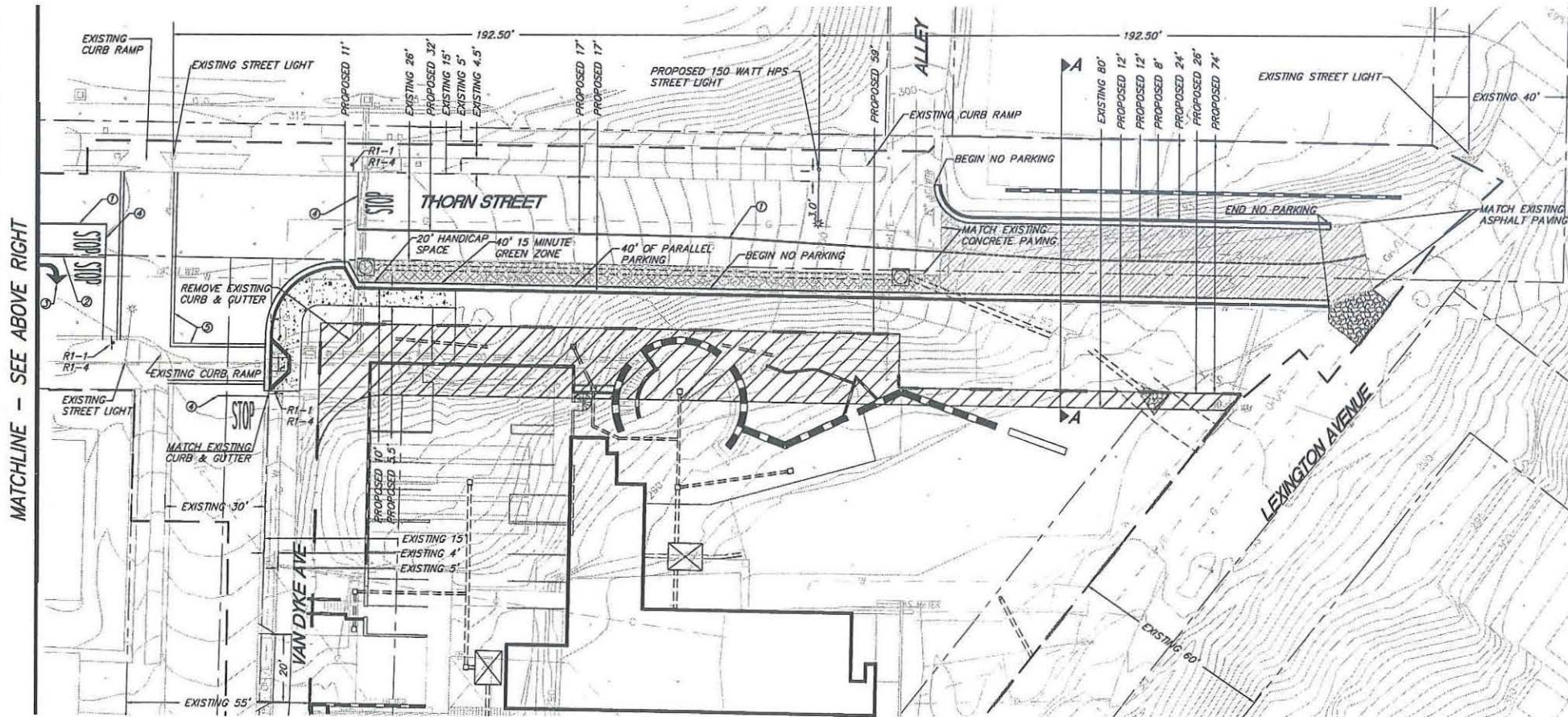
UTILITY PLAN		LIVING LAB		C1.1	
4255 THORN STREET SAN DIEGO, CA. 92105		CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 8 OF 33 SHEETS		WBS WBS	
FOR CITY ENGINEER	DATE	DATE	FILED	ASSOCIATE ENGINEER	
DESCRIPTION BY	APPROVED	DATE	FILED	PROJECT ENGINEER	
ORIGINAL	HWG			SEE SHEETS	
				COORDINATE	
				SEE SHEETS	
				COORDINATES	
AS-BUILT					
CONTRACTOR	DATE STARTED	DATE COMPLETED		287114	
INSPECTOR					



MATCHLINE - SEE BELOW LEFT



SECTION A: THORN STREET CROSS SECTION LOOKING EAST
SCALE: 1" = 5'



MATCHLINE - SEE ABOVE RIGHT

LEGEND

ITEM	STD. DWG. NO.	SYMBOL
PROPOSED PROPERTY LINE		---
LIMIT OF WORK		---
PROPOSED 5' CONTOUR		385
PROPOSED 1' CONTOUR		384
SWALE	MATERIAL PER LANDSCAPE PLANS	---
PROPOSED DRAINAGE EASEMENT		---
GRADE		2.0%
RETAINING WALL	CSDS C-13	---
SITE WALL/FENCE	PER ARCHITECT/LANDSCAPE PLANS	---
TOP OF WALL/FINISHED SURFACE ELEVATIONS		163.5 TW 162.2 FS
CURB RAMP	CSDS SDG-132	---
DRIVEWAY (20')	CSDS SDG-160	---
SIDEWALK	CSDS SDG-155	---
STREET LIGHT	CSDS SDE-101	---
STORM DRAIN CLEANOUT - TYPE A	SDRS D-9	---
RID RAD ENERGY DISSIPATER	CSDS SDD-104	---
STORM DRAIN INLET		---
STORM DRAIN CISTERN		---
STORM DRAIN		---
WATER MAIN		---

NOTES:

- 1) THE 40' 15 MINUTE GREEN ZONE SHALL HAVE A GREEN PAINTED CURB
- 2) THE NO PARKING ZONES SHALL HAVE A RED PAINTED CURB.
- 3) THE 20' HANDICAP SPACE SHALL HAVE A BLUE PAINTED CURB.

- 1) DOUBLE YELLOW STRIPE, CSP A20 DETAIL 22
- 2) CHANNELIZING LINE, CSP A20 DETAIL 38A
- 3) RIGHT TURN ARROW, A24A
- 4) STOP BAR, 12" WHITE LINE PER CSP A24E (THERMOPLASTIC)
- 5) CROSSWALK, 12" YELLOW LINE PER CSP A24E (THERMOPLASTIC)

LEGEND

ITEM	STD. DWG. NO.	SYMBOL
SEWER MAIN & SEWER MANHOLE		SS
ABANDON IN PLACE		
AC PAVEMENT	CSDS SDG-113	---
CONCRETE PAVEMENT	SDRS G-18	---
PERMEABLE SURFACE	PER LANDSCAPE PLANS	---
DISTURBED WETLANDS		---
SEWER LATERAL		S
WATER LATERAL		W
GAS SERVICE		G
PROPOSED STREET VACATION, 4,4670.0 SF		---
PROPOSED BUILDING		---
EXISTING PROPERTY LINE		---
EXISTING CENTER LINE		---
CONTOURS		---
STORM DRAIN		---
SEWER MAIN		---
WATER MAIN		---
OVERHEAD UTILITIES		CH/E
GAS MAIN		---
CURB AND GUTTER		---

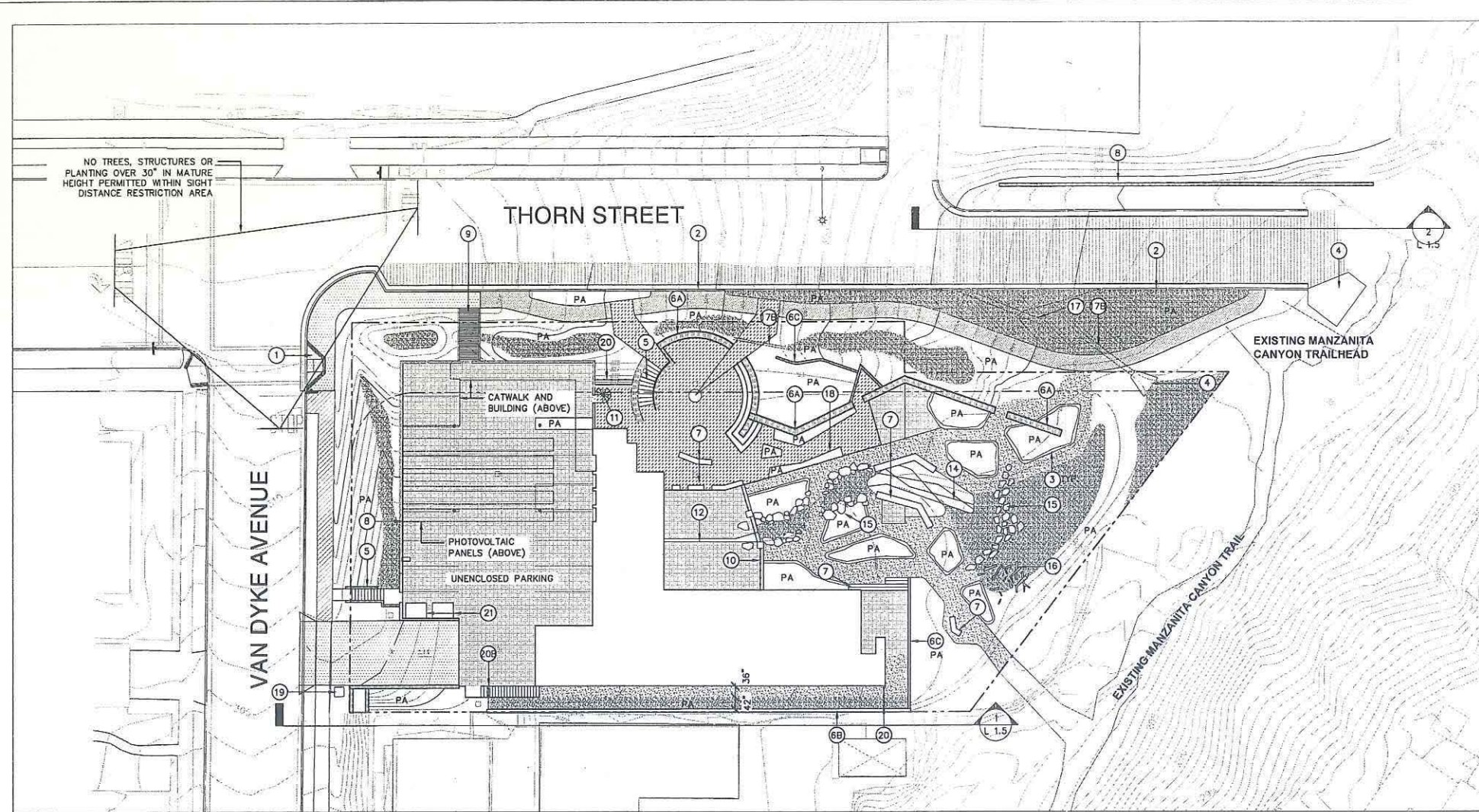


SCALE: 1" = 20'
0 10 20 40 60 FT.

AECOM
AECOM USA, Inc.
7807 Convey Court
Suite 200 San Diego, CA 92111
656 268 8080 tel
656 292 7432 fax
www.aecom.com

REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA
No. 68877
Exp. 09/30/13
CIVIL
DATE: 03/27/2013

OFFSITE IMPROVEMENT PLAN		C1.2	
LIVING LAB		4255 THORN STREET SAN DIEGO, CA. 92105	
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 18 SHEETS		WBS _____ WRS _____	
FOR CITY ENGINEER	DATE	ASSOCIATE ENGINEER	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	KHG		
AS-BUILTS		PROJECT ENGINEER	
CONTRACTOR		COORDINATE	
INSPECTOR		SEE SHEETS	
		COORDINATES	
DATE STARTED		287114	
DATE COMPLETED			



HARDSCAPE LEGEND

SYMBOL	HARDSCAPE	DESCRIPTION
PAVING/ CURB/ EDGING		
[Pattern]	EXISTING SIDEWALK TO REMAIN	
[Pattern]	TYPE 1 PAVING	C.I.P. CONCRETE TO MATCH EXISTING VAN DYKE SIDEWALK, VEHICULAR PER CIVIL ENGINEER
[Pattern]	TYPE 2 PAVING	C.I.P. CONCRETE WITH STANDARD GRAY OR INTEGRAL COLOR, EXPOSED AGGREGATE FINISH
[Pattern]	TYPE 3 PAVING	C.I.P. CONCRETE WITH EXPOSED AGGREGATE FINISH OR STONE PAVERS
[Pattern]	TYPE 4 PAVING	C.I.P. CONCRETE OR PERMEABLE PAVER, VEHICULAR PER CIVIL ENGINEER
[Pattern]	TYPE 5 PAVING	STABILIZED DECOMPOSED GRANITE
[Pattern]	VEHICULAR PAVING	PER CIVIL ENGINEER
[Pattern]	RETENTION BASIN AND SWALE GRAVEL MIX	50% 2"-4" + 50% 4"-8" LOCAL RIVER ROCK
①	TRUNCATED DOMES AND CURB RAMP	PER CIVIL ENGINEER
②	C.I.P. CONCRETE CURB AND GUTTER WITH GAPS FOR WATER ENTRY	VEHICULAR CURB, PER CIVIL ENGINEER
③	STACKED RECYCLED CONCRETE PLANTERS	6" - 1' HEIGHT
④	EROSION CONTROL	PER CIVIL ENGINEER
STEPS/ RAMPS/ BRIDGES/ WALLS		
⑤	STAIR WITH CONCRETE CHEEK WALLS	STEEL HAND RAIL
⑥A	STONE VENEER WALL	NATURAL STONE VENEER WALL HEIGHT VARIES, PER ARCHITECT
⑥B	C.M.U. SCREEN WALL	C.M.U. WITH TOWELED STUCCO FINISH AND COLOR MAX HEIGHT 6', SEE 1/L1.5
⑥C	C.M.U. RETAINING WALL	C.M.U. WITH TOWELED STUCCO FINISH AND COLOR MAX HEIGHT 3'
⑦	C.I.P. CONCRETE SEATWALL	C.I.P. BOARDFORM CONCRETE SEATWALL, LENGTH VARIES PER PLAN
⑧	RETAINING WALL	PER CIVIL ENGINEER, C.M.U. WITH TOWELED STUCCO FINISH
⑨	PLASTIC LUMBER CROSSING	RECYCLED PLASTIC LUMBER DECKING WITH ACCESSIBLE SURFACE
⑩	RETRACTABLE GATE	PER ARCHITECT
OTHER		
⑪	BIKE AND SKATEBOARD RACKS	
⑫	FRENCH DRAIN	
⑬	DRAINAGE FEATURE	TEACHING ELEMENT W/ METAL DRAIN SET INTO CONCRETE TO REVEAL STORMWATER RUNOFF
⑭	WATERSHED PLAY AREA	C.I.P. WATERSHED MODEL WITH INTEGRATED WATER PLAY AREA
⑮	NATURAL BOULDERS	LOCAL BOULDERS, SIZE VARIES
⑯	NATURAL DRIFTWOOD PLAY AREA	NATURE PLAY AREA
⑰	OFFSITE STORMDRAIN OUTFALL	PER CIVIL ENGINEER
⑱	DRAINAGE ELEMENT	PER CIVIL ENGINEER
⑲	RAISED PLANTERS	PREFABRICATED PLANTERS AT ROOFTOP VEGETABLE GARDEN
⑲	PROPOSED UTILITIES	PER CIVIL ENGINEER
⑳	SECURITY FENCE	METAL FENCE OR GATE
⑳	SECURITY FENCE (BELOW STAIR)	METAL FENCE OR GATE
㉑	REFUSE AND RECYCLING DUMPSTERS	
---	EXISTING PROPERTY LINE	
---	PROPOSED PROPERTY LINE	
PA	PLANTING AREA	

DESIGN STATEMENT

"IF I UNDERSTAND HOW THE WORLD WORKS, I CAN MAKE A DIFFERENCE." THIS CENTRAL THEME IS THE FOUNDATION FOR OCEAN DISCOVERY INSTITUTE'S (ODI) LIVING LAB FACILITY. THE PROJECT CONCEPT IS A PRODUCT OF THE PROGRAM NEEDS ODI, COMMUNITY INPUT AND RESPONSE TO THE UNIQUE CONDITIONS OF THE SITE. THE CLIENT INTENDS TO ACHIEVE LEED ACCREDITATION AS WELL AS ADDITIONAL SITE SUSTAINABILITY GOALS. THE BUILDING AND SITE WILL SERVE AS AN EXAMPLE FOR VISITORS AND THE COMMUNITY. LIVING LAB WILL PROVIDE VARIOUS OPPORTUNITIES FOR LEARNING THROUGH EXPERIENCES AND INTERACTIONS FACILITATED BY OCEAN DISCOVERY INSTITUTE'S PROGRAMS.

LIVING LAB
THE LIVING LAB PROGRAM'S PRIMARY AUDIENCE WILL BE YOUNG PEOPLE FROM URBAN AND DIVERSE BACKGROUNDS. STUDENTS FROM IMMEDIATE AND REGIONAL SCHOOLS WILL PARTICIPATE IN SCIENCE EDUCATION PROGRAMS AT THE FACILITY. THESE STUDENTS WILL BE ENGAGED THROUGH VARIOUS PROGRAMS (BOTH PROGRAMMED AND SELF-GUIDED) AIMED AT SPARKING INTEREST AND INQUISITION ABOUT THEIR RELATIONSHIP TO THE REGIONAL ENVIRONMENT. THE BUILDING AND LANDSCAPE WILL SERVE AS METAPHORICAL MODELS OF THE RELATIONSHIPS - PROVIDING A CATALYST FOR LEARNING. ADDITIONALLY, FAMILIES, TEACHERS AND THE COMMUNITY WILL SERVE AS A CRUCIAL ELEMENT TO THE SUCCESS OF THE CENTER. THE FACILITIES WILL ENCOURAGE USE AND OWNERSHIP BY THESE PARTICIPANTS AFTER-SCHOOL AND DURING BREAKS. THE BUILDING AND LANDSCAPE WILL BE OPEN DURING ALL HOURS FOR COMMUNITY SCIENTIFIC RESEARCH, STEWARDSHIP AND RECREATION.

RELATIONSHIP TO CANYON
THE INSTITUTE'S LOCATION AT THE BEGINNING OF MANZANITA CANYON AND CREEK IS AN IMPORTANT PHYSICAL AND METAPHORICAL CONNECTION TO THE GREATER SAN DIEGO REGION AND WATERSHED. THE LANDSCAPE DESIGN EMPHASIZES THIS CONNECTION BY ACTIVELY DISPLAYING AND HIGHLIGHTING THE MOVEMENT AND RELATIONSHIP OF STORMWATER. A SERIES OF RETENTION BASINS, WEIRS AND AN ABSTRACT WATER-LEARNING FEATURE INSPIRE USERS TO LEARN MORE ABOUT THEIR INFLUENCE AT A REGIONAL SCALE. ANOTHER IMPORTANT ELEMENT OF THE DESIGN IS THE INCLUSION OF BOTANICAL GARDENS AND NATIVE REVEGETATION OF MANZANITA CANYON. THE PLANTING PALETTE WILL CONSIST OF ENDEMIC AND REGIONAL PLANTINGS. THE PLANTING WILL DISPLAY THE IMMENSE SEASONAL AND MICROCLIMATIC VARIATION FOUND IN SAN DIEGO.

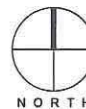
ADDITIONALLY, AS PART OF A SEPARATE PROJECT, ODI WILL INSTITUTE A MITIGATION OF MANZANITA CANYON AND ITS TRAILHEAD. ODI IS CURRENTLY COORDINATING WITH SAN DIEGO CANYONLANDS ON THEIR PROPOSALS FOR MANZANITA CANYON AS PART OF AN URBAN GREENING GRANT. THE PROPOSED FACILITY WILL BE INTEGRALLY CONNECTED TO THE CANYON. SERVING AS A MAJOR GATEWAY MANZANITA CANYON, THE PUEBLO WATERSHED AND THE PACIFIC OCEAN.

INTERPRETIVE POTENTIAL
PROVIDING A GATEWAY ELEMENT HIGHLIGHTING THE IMPORTANCE OF ENVIRONMENTAL AWARENESS IS ANOTHER IMPORTANT ASPECT OF THE PROJECT. THE PROJECT AIMS TO GAIN LEED ACCREDITATION TO CERTIFY ITS SUSTAINABILITY. SITE RUNOFF WILL BE HARVESTED AND USED WITHIN THE BUILDING FOR TOILET FLUSHING AND OUTSIDE THE BUILDING FOR IRRIGATION. ENERGY WILL BE PRODUCED THROUGH AN ARRAY OF SOLAR PANELS THAT WILL ALSO SHADE THE CONCEALED PARKING. ADDITIONALLY, LOCAL, SUSTAINABLE AND RECYCLED MATERIALS WILL BE INCORPORATED INTO THE LANDSCAPE DESIGN. SUSTAINABLE METHODS WILL BE HIGHLIGHTED AND EMPHASIZED THROUGHOUT THE DESIGN SERVING AS A COMMUNITY EXAMPLE.

COMMUNITY CONTEXT
ODI'S LIVING LAB SITE WILL SERVE AS AN INTEGRAL PART OF THE COMMUNITY AND REGIONAL CONTEXT. THE SIDEWALK ADJACENT TO THORN STREET (AND PROPERTY LINE) WILL BE REALIGNED TO PROVIDE AN URBAN TRAIL. THIS REALIGNMENT WILL CREATE AN ENHANCED USER EXPERIENCE AS WELL AS RELATE TO THE MANZANITA CANYON LANDSCAPE. THE PROGRAM MESSES ODI'S CENTRAL THEME OF LEARNING THROUGH SCIENCE WITH THE COMMUNITIES' DESIRE FOR QUALITY PUBLIC PLACES. THE BOTANICAL GARDENS, ORGANIC GARDEN, TRAILS AND LABORATORIES PROVIDE MUCH NEEDED COMMUNITY RESOURCES TO CITY HEIGHTS. TOGETHER, THE BUILDING AND LANDSCAPE WILL PROVIDE A UNIQUE OPPORTUNITY TO ENGAGE YOUTH AND COMMUNITY THROUGH SCIENCE.

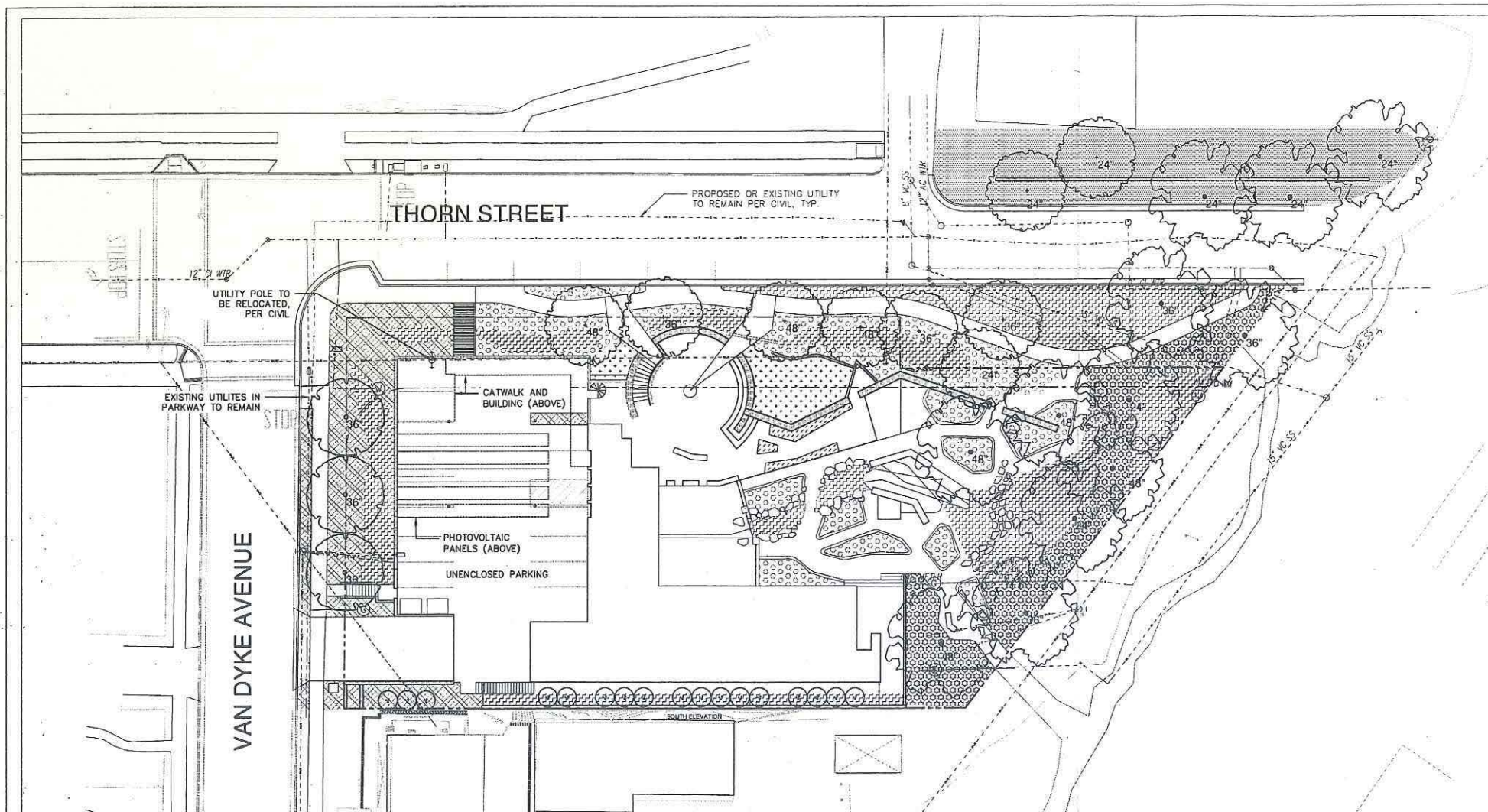
NOTE:
1. REFER TO CIVIL FOR TOP OF WALL ELEVATIONS.
2. REFER TO ARCHITECTURE FOR BUILDING ELEVATIONS.

SCALE: 1" = 20'-0"



SPURLOCK POIRIER
Landscape Architects
2122 Hancock Street
San Diego, CA 92101
619.681.0099
619.681.0098 fax

Hardscape Materials Plan		L1.1	
LIVING LAB 4255 THORN STREET SAN DIEGO, CA, 92105			
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 8 OF 19 SHEETS		WBS	
FOR CITY ENGINEER	DATE	ASSOCIATE ENGINEER	
DESCRIPTION	BY	APPROVED	DATE
ORIGINAL	xxx		
AS-BUILTS			
CONTRACTOR	DATE STARTED	INSPECTOR	DATE COMPLETED
			287114



PLANT KEY NOTE: SEE SHEET L1.3 FOR FULL LEGEND

SYMBOL	COMMON NAME
PERIMETER BUFFER PLANTING SUCH AS:	
	CEANOTHUS VERRUCOSUS
	HETEROMELES ARBUTIFOLIA
	MUHLENBERGIA RIGENS
	PRUNUS ILICIFOLIA SPP. LYONII
	RHAMNUS CALIFORNICA
	RHUS INTEGRIFOLIA
	RHUS OVATA
	ROMNEYA COULTERI
	SAMBUCUS MEXICANA
	UMBELLULARIA CALIFORNICA
	YUCCA WHIPPLEI
	WHITECOAT CEANOTHUS
	TOYON
	DEER GRASS
	CATALINA CHERRY
	COFFEEBERRY
	LEMONADE BERRY
	SUGAR BUSH
	MATALUJA POPPY
	ELDERBERRY
	CALIFORNIA BAY LAUREL
	OUR LORD'S CANDLE

SYMBOL	COMMON NAME
TRANSITIONAL PLANTING: EDIBLE, CULTURAL, FUNCTIONAL	
	ACCA SELLOWIANA
	ACHILLEA MILLEFOLIUM
	AGAVE ATTENUATA
	ALOE VERA MEDICINAL
	BOUGAINVILLEA SPP.
	MIMULUS AURANTIACUS
	PASSIFLORA EDULIS
	PUNICA GRANALUM
	RHAMNUS CALIFORNICA
	ROSMARINUS OFFICINALIS
	SALVIA LEUCANTHA
	SATUREJA DOUGLASII
	SOLANDRA MAXIMA
	PINEAPPLE GUAVA
	YARROW
	FOXTAIL AGAVE
	ALOE
	BOUGAINVILLEA
	STICKY MONKEY FLOWER
	PASSION FRUIT
	POMEGRANATE
	COFFEEBERRY
	ROSEMARY
	MEXICAN BUSH SAGE
	YERBA BUENA
	CUP OF GOLD VINE

SYMBOL	COMMON NAME
NATIVE SLOPE REVEGETATION SUCH AS:	
	ARTEMISIA CALIFORNICA
	BACCHARIS PILULARIS
	ENCELIA CALIFORNICA
	ERIOGONUM FASCICULATUM
	HETEROMELES ARBUTIFOLIA
	MALOSMA LAURINA
	MIMULUS AURANTIACUS
	RHUS INTEGRIFOLIA
	SALVIA APIANA
	SALVIA MELLIFERA
	CALIFORNIA SAGEBRUSH
	COYOTEBRUSH
	CALIFORNIA ENCELIA
	FLAT-TOPPED BUCKWHEAT
	TOYON
	LAUREL SUMAC
	STICKY MONKEY FLOWER
	LEMONADEBERRY
	WHITE SAGE
	BLACK SAGE

SYMBOL	COMMON NAME
ORGANIC VEGETABLE ROOFTOP GARDEN PLANTING SUCH AS:	
	SEASONAL VEGETABLES (TO BE PROVIDED BY OWNER) 135 S.F.

OTHER	
	EXISTING PROPERTY LINE
	PROPOSED PROPERTY LINE

NOTE: PROVIDE 3" BARK OR MINERAL MULCH AT ALL PLANTING AREAS

PLANT KEY NOTE: SEE SHEET L1.3 FOR FULL LEGEND

SYMBOL	COMMON NAME
TREE PLANTING SUCH AS:	
	QUERCUS ILEX
	PLATANUS RACEMOSA
	QUERCUS AGRIFOLIA
	EUPHORBIA INGENS
	HOLLY OAK
	CALIFORNIA SYCAMORE
	COAST LIVE OAK
	CANDELABRA TREE

SYMBOL	COMMON NAME
BIOSWALE AND BASIN PLANTING SUCH AS:	
	ARISTIDA PURPUREA
	ARTEMISIA DOUGLASIANA
	BACCHARIS SALICIFOLIA
	BOUTELLOUA GRACILIS
	CAREX SPISSA
	CHONDROPETALUM TECTORUM
	ELYMUS GLAUCUS/BLUE
	ENCELIA CALIFORNICA
	HETEROMELES ARBUTIFOLIA
	ISOCOMA MENZIESII
	IVA HAYESIANA
	JUNCUS ACUTUS
	LEYMUS TRITICOIDES
	MIMULUS AURANTIACUS
	MUHLENBERGIA RIGENS
	RHUS INTEGRIFOLIA
	SALVIA SPATHACEA
	SISYRINCHIUM BELLUM
	PURPLE THREE-AWN
	MUGWORT
	MULEFAT
	BLUE GRAMA GRASS
	SAN DIEGO SEDGE
	CAPE RUSH
	WILD RYE
	CALIFORNIA ENCELIA
	TOYON
	COAST GOLDEN BUSH
	SAN DIEGO MARSH ELDER
	SPINY RUSH
	CREEPING WILD RYE
	STICKY MONKEY FLOWER
	DEER GRASS
	LEMONADE BERRY
	HUMMINGBIRD SAGE
	BLUE-EYED GRASS

SYMBOL	COMMON NAME
BOTANICAL GARDEN SUCH AS:	
	AGAVE SHAWII
	ARTEMISIA CALIFORNICA 'MONTARA'
	BACCHARIS CENTENNIAL
	DUDLEYA EDULIS
	ENCELIA CALIFORNICA
	ERIOGONUM FASCICULATUM
	JUNCUS ACUTUS
	LEYMUS COND. 'CANYON PRINCE'
	MIMULUS AURANTIACUS
	MUHLENBERGIA RIGENS
	PENSTEMON 'MARGARITA BOP'
	ROMNEYA COULTERI
	SALVIA CLEVELANDII
	TRICHOSTEMA LANATUM
	VIGIERA LACINATA
	COASTAL AGAVE
	MONTARA SAGEBRUSH
	COYOTE BRUSH
	SAN DIEGO DUDLEYA
	CALIFORNIA ENCELIA
	CALIFORNIA BUCKWHEAT
	SPINY RUSH
	GIANT WILD RYE
	STICKY MONKEY FLOWER
	DEER GRASS
	MARGARITA BOP PENSTEMON
	MATALUJA POPPY
	CLEVELAND SAGE
	WOOLLY BLUE CURLS
	SAN DIEGO SUNFLOWER

SYMBOL	COMMON NAME
MARITIME SUCCULENT SUCH AS:	
	AGAVE SHAWII
	DUDLEYA ATT. SPP. ORCUTTII
	DUDLEYA EDULIS
	DUDLEYA VISCIDIA
	OPUNTIA PROLIFERA
	YUCCA WHIPPLEI
	COASTAL AGAVE
	ORCUTT'S DUDLEYA
	SAN DIEGO DUDLEYA
	STICKY DUDLEYA
	COASTAL CHOLLA
	OUR LORD'S CANDLE

Table 142-04E
Minimum Tree Separation Distance

Improvement	Minimum Distance to Street Tree
Traffic signal, Stop Sign	20 feet
Underground Utility Lines (except sewer)	5 feet
Sewer Lines	10 feet
Above Ground Utility Structures (Transformers, Hydrants, Utility poles, etc)	10 feet
Driveways	10 feet
Intersections (intersecting curb lines of two streets)	25 feet

Landscape Water Budget

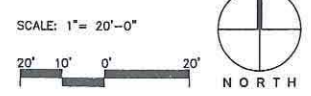
Project ETo: 50.4

Estimated applied water used:

$$50.4 \times 0.62 \times 0.7 \times 13036.2 = 285,148 \text{ Gal/Year}$$

Total Estimated Water Use: 285,148 Gal/Year

NOTE: APPROXIMATELY 108,000 GALLONS PER YEAR OF GRAYWATER WILL BE COLLECTED AND TREATED FROM THE BUILDING. THIS WATER WILL BE USED FOR IRRIGATION.



SPURLOCK POIRIER
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Landscape and Revegetation Plan
LIVING LAB
4255 THORN STREET
SAN DIEGO, CA. 92105

L1.2

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 9 OF 19 SHEETS

FOR CITY ENGINEER	DATE	ASSOCIATE ENGINEER
DESCRIPTION	BY	APPROVED
ORIGINAL	XXX	
AS-BUILTS		
CONTRACTOR	DATE STARTED	DATE COMPLETED
INSPECTOR		

DATE: 3/27/13

287114

PLANT LEGEND

SYMBOL	COMMON NAME	FORM / FUNCTION	MATURE SIZE	CONTAINER SIZE	QUANTITY
TREE PLANTING SUCH AS:					
	QUERCUS ILEX	BH, E / SH	40'-70' X 50-60' W	36" BOX	5
	PLATANUS RACEMOSA	BH, D / SH	40'-90' X 50'-70'	24" BOX 36" BOX 48" BOX	8 3 2
	QUERCUS AGRIFOLIA	BH, E / SH	30'-60' X 35'	24" BOX 36" BOX 48" BOX	6 3 3
	EUPHORBIA INGENS	U, E / SC	7' X 15'	24" BOX	14

BIOSWALE AND BASIN PLANTING SUCH AS:

	ARISTIDA PURPUREA	PURPLE THREE-AWN	U, D / AC	2-3' H X 2' W	15% 15 GALLON	37
	ARTEMISIA DOUGLASIANA	MUGWORT	S, E / SC	4' H X SPREADING	15% 5 GALLON 70% 1 GALLON	146 1060
	BACCHARIS SALICIFOLIA	MULEFAT	U, E / SC	4-10' H X 8' W		
	BOUTELOUA GRACILIS	BLUE GRAMA GRASS	U, D / AC	6" -1' H X 6" -1' W		
	CAREX SPISSA	SAN DIEGO SEDGE	U, E / AC	4' H X 2' W		
	CHONDROPETALUM TECTORUM	CAPE RUSH	U, E / AC	2-3' H X 3-4' W		
	ELYMUS GLAUCUS/BLUE	WLD RYE	U, D / SC	4' H X SPREADING		
	ENCELIA CALIFORNICA	CALIFORNIA ENCELIA	U, E / SC	3'-4' H X 4' W		
	HETEROMELES ARBUTIFOLIA	TOYON	U, E / SC	8-15' H X 10-15' W		
	ISOCOMA MENZIESII	COAST GOLDEN BUSH	U, E / SC	3-4' H X 3-4' W		
	IVA HAYESIANA	SAN DIEGO MARSH ELDER	S, E / SC	2' H X SPREADING		
	JUNCUS ACUTUS	SPINY RUSH	U, E / AC, SC	1'-3' H X 1'-5' W		
	LEYMUS TRITICOIDES	CREeping WILD RYE	U, E / AC, SC	2'-3' H X 6' W		
	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	U, E / SC	4.5' H X 4.5' W		
	MUHLENBERGIA RIGENS	DEER GRASS	U, E / AC, SC	5' H X 4' W		
	RHUS INTEGRIFOLIA	LEMONADE BERRY	U, E / AC, SC	10' H X 10- 30' W		
	SALVIA SPATHACEA	HUMMINGBIRD SAGE	S, E / AC	2' H X SPREADING		
	SISYRINCHIUM BELLUM	BLUE-EYED GRASS	S, E / AC	12-16" H X 6: W		

BOTANICAL GARDEN SUCH AS:

	AGAVE SHAWI	COASTAL AGAVE	U, E / AC	1' H X 2' W	15% 15 GALLON	10
	ARTEMISIA CALIFORNICA 'MONTARA'	MONTARA SAGEBRUSH	U, E / AC	2' H X 6' W	15% 5 GALLON 70% 1 GALLON	73 533
	BACCHARIS CENTENNIAL	COYOTE BRUSH	U, E / SC	2-3' H X 4-6' W		
	DUDLEYA EDULIS	SAN DIEGO DUDLEYA	U, E / AC	1' H X 1' W		
	ENCELIA CALIFORNICA	CALIFORNIA ENCELIA	U, E / SC	3'-4' H X 4' W		
	ERIOGONUM FASCICULATUM	CALIFORNIA BUCKWHEAT	U, E / AC, SP	3'-4' H X 4'+ W		
	JUNCUS ACUTUS	SPINY RUSH	U, E / AC, SC	1'-3' H X 1'-5' W		
	LEYMUS COND. 'CANYON PRINCE'	GIANT WILD RYE	U, E / AC, SC	4' H X 4' W		
	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	U, E / SC	4.5' H X 4.5' W		
	MUHLENBERGIA RIGENS	DEER GRASS	U, E / AC, SC	5' H X 4' W		
	PENSTEMON 'MARGARITA BOP'	MARGARITA BOP PENSTEMON	U, E / AC	1-2' H X 2-3' W		
	ROMNEYA COULTERI	MATALAJA POPPY	U, D / SC, AC	8' H X SPREADING		
	SALVIA CLEVELANDII	CLEVELAND SAGE	U, E / AC	4-6' H X 3-5' W		
	TRICHOSTEMA LANATUM	WOOLLY BLUE CURLS	U, E / AC	2'-4' H X 4'+ W		
	VIGUIERA LACINATA	SAN DIEGO SUNFLOWER	U, D / SC, AC	3' H X 5' W		

MARITIME SUCCULENT SUCH AS:

	AGAVE SHAWI	COASTAL AGAVE	U, E / AC	1' H X 2' W	15% 15 GALLON	7
	DUDLEYA ATT. SSP. ORCUTTII	ORCUTT'S DUDLEYA	U, E / AC	1' H X 1' W	15% 5 GALLON 70% 1 GALLON	30 215
	DUDLEYA EDULIS	SAN DIEGO DUDLEYA	U, E / AC	1' H X 1' W		
	DUDLEYA VISCIDULA	STICKY DUDLEYA	U, E / AC	1' H X 1' W		
	OPUNTIA PROLIFERA	COASTAL CHOLLA	U, E / AC	6' H X 3' W		
	YUCCA WHIPPLEI	OUR LORD'S CANDLE	U, E / AC	2-3' H X 3-4' W		

SYMBOL	COMMON NAME	FORM / FUNCTION	MATURE SIZE	CONTAINER SIZE	QUANTITY	
PERIMETER BUFFER PLANTING SUCH AS:						
	CEANOTHUS VERRUCOSUS	WHITECOAST CEANOTHUS	U, E / SC	6-8' H X 6-8' W	15% 15 GALLON	16
	HETEROMELES ARBUTIFOLIA	TOYON	U, E / SC	8-15' H X 10-15' W	15% 5 GALLON 70% 1 GALLON	64 463
	MUHLENBERGIA RIGENS	DEER GRASS	U, E / AC, SC	5' H X 4' W		
	PRUNUS ILICIFOLIA SSP. LYONII	CATALINA CHERRY	U, E / SC	10-40' H X 15' W		
	RHAMNUS CALIFORNICA	COFFEEBERRY	U, E / AC, SC	8-12' H X 4-8' W		
	RHUS INTEGRIFOLIA	LEMONADE BERRY	U, E / AC, SC	10' H X 10- 30' W		
	RHUS OVATA	SUGAR BUSH	U, E / AC, SC	8-15' H X 10' W		
	ROMNEYA COULTERI	MATALAJA POPPY	U, D / SC, AC	8' H X SPREADING		
	SAMBUCUS MEXICANA	ELDERBERRY	U, D / SC, AC	25' H X 25' W		
	UMBELLULARIA CALIFORNICA	CALIFORNIA BAY LAUREL	U, E / AC, SC	75' H X 60' W		
	YUCCA WHIPPLEI	OUR LORD'S CANDLE	U, E / AC	2-3' H X 3-4' W		

TRANSITIONAL PLANTING: EDIBLE, CULTURAL, FUNCTIONAL

	ACCA SELLOWIANA	PINEAPPLE GUAVA	U, E / AC, SP	12-20' H X 10-15' W	15% 15 GALLON	15
	ACHILLEA MILLEFOLIUM	YARROW	U, E / AC	6" H X 2-3' 2' W	15% 5 GALLON 70% 1 GALLON	61 443
	AGAVE ATTENUATA	FOXTAIL AGAVE	U, E / AC, SP	4-5' H X 6-8' W		
	ALOE VERA MEDICINAL	ALOE	U, E / AC, SP	1-2' H X 1-2' W		
	BOUGAINVILLEA SPP.	BOUGAINVILLEA	S, F / AC, SP	VARIES		
	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	U, E / SC	4.5' H X 4.5' W		
	PASSIFLORA EDULIS	PASSION FRUIT	S, E / SH	VINE		
	PUNICA GRANALUM	POMEGRANITE	U, D / AC, SP	20-30' H		
	RHAMNUS CALIFORNICA	COFFEEBERRY	U, E / AC, SC	8-12' H X 4-8' W		
	ROSMARINUS OFFICINALIS	ROSEMARY	S, E / SC	2-4' H X 4-5' W		
	SALVIA LEUCANTHA	MEXICAN BUSH SAGE	U, F / AC, SP	3-4' H X 3-4' W		
	SATUREJA DOUGLASII	YERBA BUENA	S, E / SC	6 IN. H X SPREADING		
	SOLANDRA MAXIMA	CUP OF GOLD VINE	S, E / SH	VINE		

NATIVE SLOPE REVEGETATION SUCH AS:

	ARTEMISIA CALIFORNICA	CALIFORNIA SAGEBRUSH	U, E / SC	1.5'-5' X 4'-7'	100% HYDROSEED	3300 S.F.
	BACCHARIS PILULARIS	COYOTE BRUSH	S, E / SC	8"-24" X 6'	WITH 1 GAL. 5 GAL. AND 15 GAL. SHRUBS AND TREES	
	ENCELIA CALIFORNICA	CALIFORNIA ENCELIA	U, E / SC	3'-4' X 4'		
	ERIOGONUM FASCICULATUM	FLAT-TOPPED BUCKWHEAT	U, E / SC	1' X 2'		
	HETEROMELES ARBUTIFOLIA	TOYON	U, E / SC	12'-15' X 15'		
	MALOSMA LAURINA	LAUREL SUMAC	U, E / SC	15'-20' X 15'-20'		
	MIMULUS AURANTIACUS	STICKY MONKEY FLOWER	U, E / SC	4.5' X 4.5'		
	RHUS INTEGRIFOLIA	LEMONADEBERRY	U, E / SC	3'-10' X 3'-10'		
	SALVIA APIANA	WHITE SAGE	U, E / SC	4' X 4'		
	SALVIA MELLIFERA	BLACK SAGE	U, E / SC	2' X 6'		

ORGANIC VEGETABLE ROOFTOP GARDEN PLANTING SUCH AS:

	SEASONAL VEGETABLES (TO BE PROVIDED BY OWNER)	135 S.F.
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ABBREVIATIONS

FORM:	FUNCTION:
BH = BROAD HEADED	D = DECIDUOUS
PY = PYRAMIDAL	E = EVERGREEN
U = UPRIGHT	P = PALM
S = SPREADING	F = FLOWERING
	SH = SHADE
	SC = SCREEN
	AC = ACCENT
	SP = SPECIMEN

OTHER

---	EXISTING PROPERTY LINE
---	PROPOSED PROPERTY LINE

NOTE:
PROVIDE 3" BARK OR MINERAL MULCH AT ALL PLANTING AREAS

Landscape Planting Legend		L1.3
LIVING LAB 4255 THORN STREET SAN DIEGO, CA. 92105		
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 100F 19 SHEETS		WSS _____ WSS _____
FOR CITY ENGINEER	DATE	ASSOCIATE ENGINEER
DESCRIPTION BY	APPROVED DATE FILMED	PROJECT ENGINEER
ORIGINAL XXX		SEE SHEETS
		COORDINATE
		SEE SHEETS
		COORDINATES
AS-BUILTS	CONTRACTOR DATE STARTED	287114
	INSPECTOR DATE COMPLETED	

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Landscape Architects

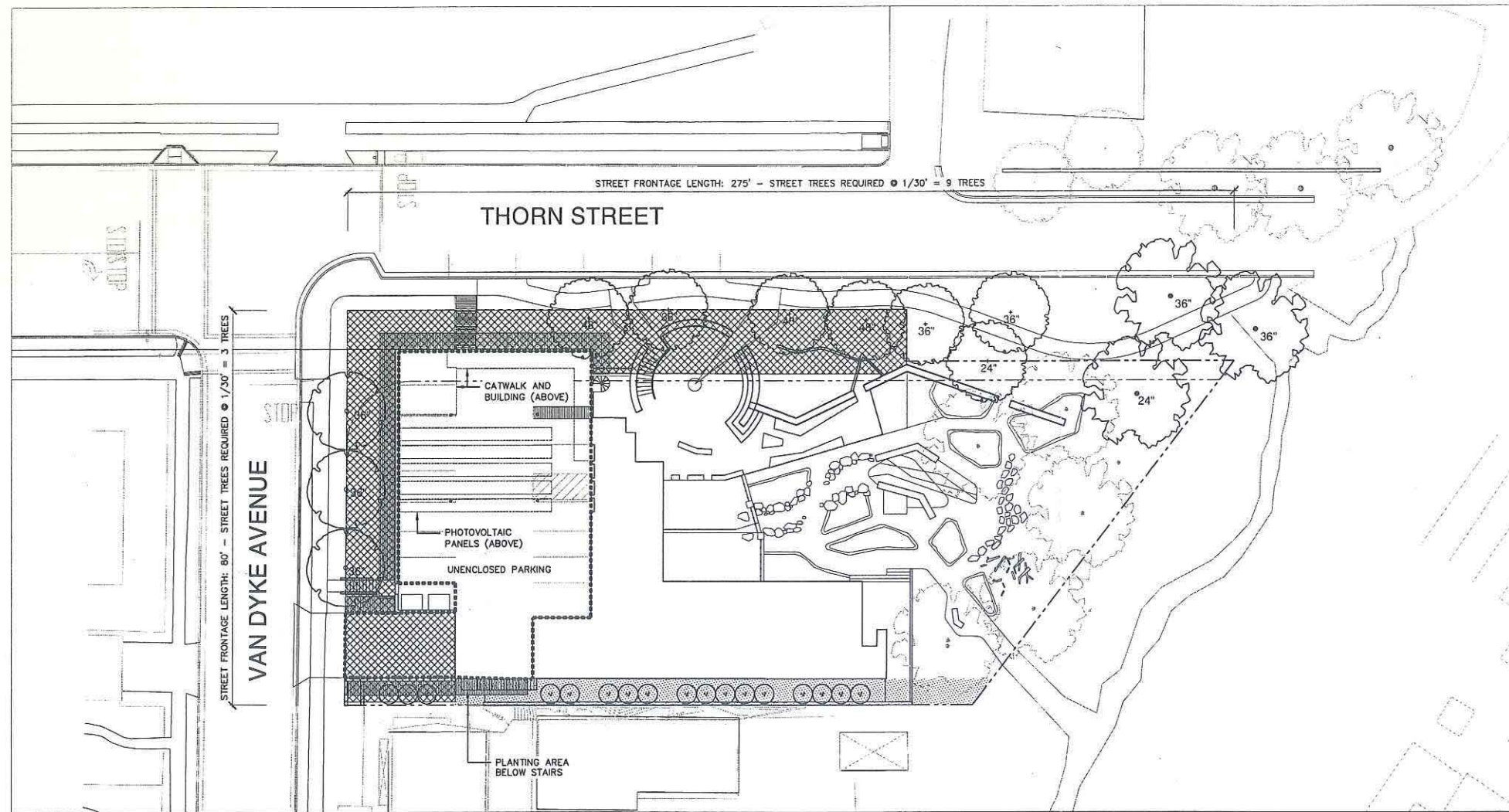
212 Hancock Street
San Diego, CA 92101
619 881-0200
619 881-0298 fax

DATE: 3/27/13

LANDSCAPE AND IRRIGATION SYSTEM NOTES

1. THE LANDSCAPE PLAN WILL CONFORM WITH THE FOLLOWING STANDARDS OF THE CITY-WIDE LAND DEVELOPMENT CODE, SECTION 142.0400, AND THE DEVELOPMENT MANUAL - LANDSCAPE STANDARDS ADOPTED JANUARY 1ST 2000. CITY OF SAN DIEGO REGIONAL STANDARD DRAWINGS, ADA REGULATIONS.
2. LANDSCAPE IN THE COMMON AREAS SHALL BE MAINTAINED BY OCEAN DISCOVERY INSTITUTE. LANDSCAPED AREAS SHALL BE FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
3. ALL PLANT MATERIAL SELECTED FOR USE WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OF SIMILAR CLIMATIC AND SOIL CONDITIONS.
4. COLOR FROM PLANT FOLIAGE, BARK OR FLOWERS WILL BE UTILIZED TO CREATE A FRIENDLY, WARM AND VISUALLY EXCITING LANDSCAPE ENVIRONMENT. THEMATIC COLOR SCHEMES WILL BE UTILIZED IN DEVELOPING PROJECT IDENTITY.
5. PLANTING WILL BE DESIGNED TO OBSCURE UNDESIRABLE VIEWS (AUTOMOBILES, STORAGE, MAINTENANCE, UTILITY AREAS, ETC.) AND ADD VISUAL INTEREST TO THE SITE.
6. ALL SOILS WILL BE FERTILIZED, AMENDED AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
7. ROOT BARRIERS SHALL BE INSTALLED FOR ALL NEW TREES WHICH ARE PLACED WITHIN 5'-0" OF PUBLIC IMPROVEMENTS AND INTERNAL SITE HARDSCAPE AREAS, SUCH AS WALKS, CURBS, OR STREET PAVEMENT. ROOT BARRIERS SHALL NOT BE WRAPPED AROUND THE ROOTBALL OF THE TREE.
8. MULCH REQUIREMENTS - ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 3" EXCLUDING SLOPES REQUIRING VEGETATION AND AREAS PLANTED WITH GROUND COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
9. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE AND CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARDS AND ALL REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
10. IRRIGATION SYSTEMS WILL BE PERMANENT BELOW GROUND AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. THESE SYSTEMS WILL BE INSTALLED AS SOON AS PRACTICAL, AFTER GRADING AND PRIOR TO PLANT MATERIAL INSTALLATION. AREAS ADJACENT TO STRUCTURES, ROADWAYS, ENTRIES AND ACTIVITY AREAS WILL BE IRRIGATED WITH PERMANENT BELOW GRADE AUTOMATED SYSTEMS.
11. IRRIGATION FOR ON-GRADE PLANTING AREAS SHALL UTILIZE SUB-SURFACE OR SPRINKLER / BUBBLER SYSTEMS. SPRINKLER / BUBBLER HEADS SHALL RESPOND TO THE LANDSCAPE DESIGN, PLANT MATERIAL REQUIREMENTS AND PUBLIC HEALTH AND SAFETY. EACH HEAD SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE TO PREVENT "OVERSPRAY" ONTO WALKS, ROADWAYS AND/OR BUILDINGS. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. MOISTURE SENSING AND RAIN SHUT-OFF DEVICES SHALL BE EMPLOYED FOR WATER CONSERVATION.
12. NO IRRIGATION RUN-OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHTS-OF-WAY, STREETS, DRIVES OR ALLEYS. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEMS WITHOUT PROPER BEST MANAGEMENT PRACTICES.
13. PRIOR TO DEMOLITION OF PAVEMENT ON-SITE, IDENTIFY AND PRESERVE OR RELOCATE ANY DATE STAMPS OR HISTORIC MARKINGS IN SIDEWALKS/PAVING.
14. MINIMUM TREE/IMPROVEMENT SEPARATION DISTANCE: TRAFFIC SIGNALS / STOP SIGN - 20FEET; SEWER LINES - 10 FEET; UNDERGROUND UTILITY LINES - 5 FEET; ABOVE GROUND UTILITY STRUCTURES - 10 FEET; DRIVEWAYS - 10 FEET; INTERSECTIONS - 25 FEET.
15. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREA THROUGHOUT THE SITE.

----- EXISTING PROPERTY LINE
 - - - - - PROPOSED PROPERTY LINE



THE FOLLOWING CALCULATIONS HAVE BEEN DESIGNED INTO THE PROPOSED LANDSCAPE DEVELOPMENT PLAN IN ACCORDANCE WITH THE SAN DIEGO MUNICIPAL CODE

Commercial Development in All Zones

STREET YARD	REMAINING YARD	Additional Yard Requirements for projects Abutting Residential Zones:
Planting Area Required: 5,040 Total Street Yard Area (s.f.) X 25% = 1,260 Planting area required (s.f.) Planting Area Provided (s.f.): 3,245 Excess Area Provided (s.f.): 1,985	Planting Area Required: 1,309 Total Remaining Yard Area (s.f.) X 30% = 393 Planting area required (s.f.) Planting Area Provided (s.f.): 770 Excess Area Provided (s.f.): 377	Length of property line(s) abutting residential zone (ft.): 195 X 5 = 975 Square Foot Buffer Required Buffer Area Provided (s.f.): 1,475 Excess Area Provided: 500
Planting Points Required: 5,040 Total Street Yard Area (s.f.) X 0.05 = 252 Plant Points Required To Be Achieved With Trees Only (Includes Street Trees) Plant Points Provided: 350 Excess Plant Points Provided: 98	Planting Points Required: 1,309 Total Remaining Yard Area (s.f.) X 0.05 = 66 Plant Points Required Plant Points Provided: 337 Excess Plant Points Provided: 271	Plant Points Required Within Buffer Total Area s.f.: 1,475 X 0.05 = 75 Points Required Plant Points Provided: 290 Excess Points Provided: 215

Vehicular Use Area >6,000s.f.

Planting area counting toward VUA requirement

Planting Area Required Within VUA:	Points Required	Plant Points Provided	Excess Points Provided
645 Total VUA in Street Yard (s.f.) X .05 = 32 Points Required 60 (min. 50% of pts. req'd.) Points Achieved Through Trees Plant Points Provided: 162 Excess Points Provided: 130	260	319	59

Front Yard Paving and Hardscape (SDMC 131.0447)

Limits paving and hardscape in the required front yard to a maximum of 60% of the area.

2420 Total Area of Front Yard (s.f.)	780 Front Yard Hardscape/ Paving (s.f.)	32% Percent Hardscape/ Paving in Front Yard
--------------------------------------	---	---

Street Trees (SDMC 142.0409)

Requires one street tree per 30 feet of each street frontage.

9 Thorn Street Trees Required	10 Thorn Street Trees Provided
3 Van Dyke Ave. Trees Required	3 Van Dyke Ave. Trees Provided

SCALE: 1" = 20'-0"



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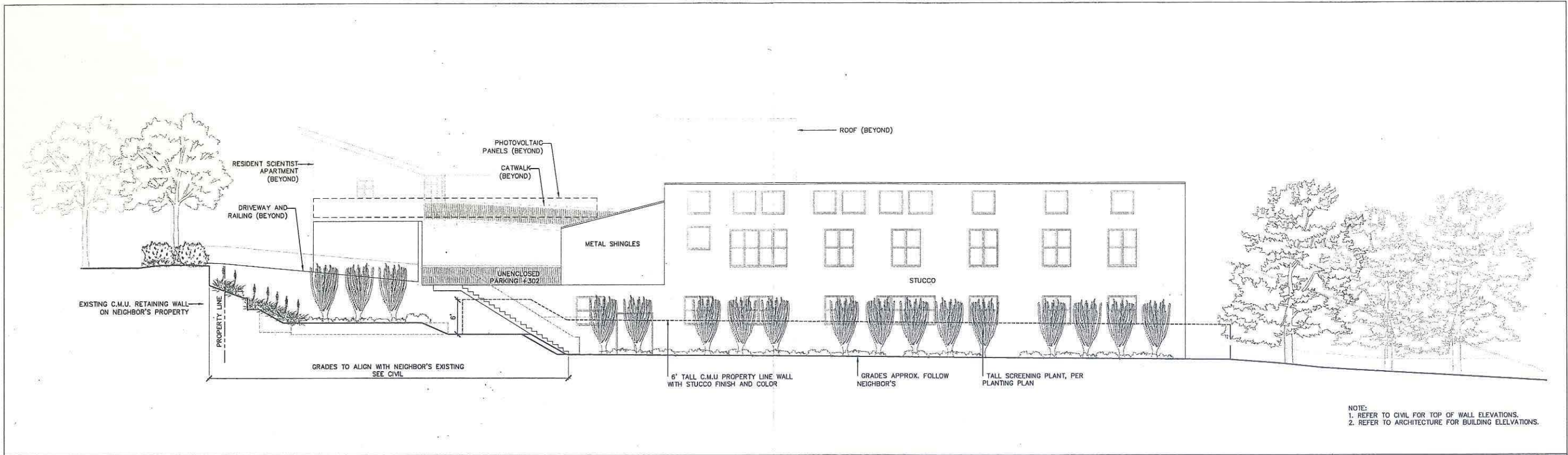
Landscape Calculations

LIVING LAB
 4255 THORN STREET
 SAN DIEGO, CA, 92105

L1.4

CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 11 OF 19 SHEETS

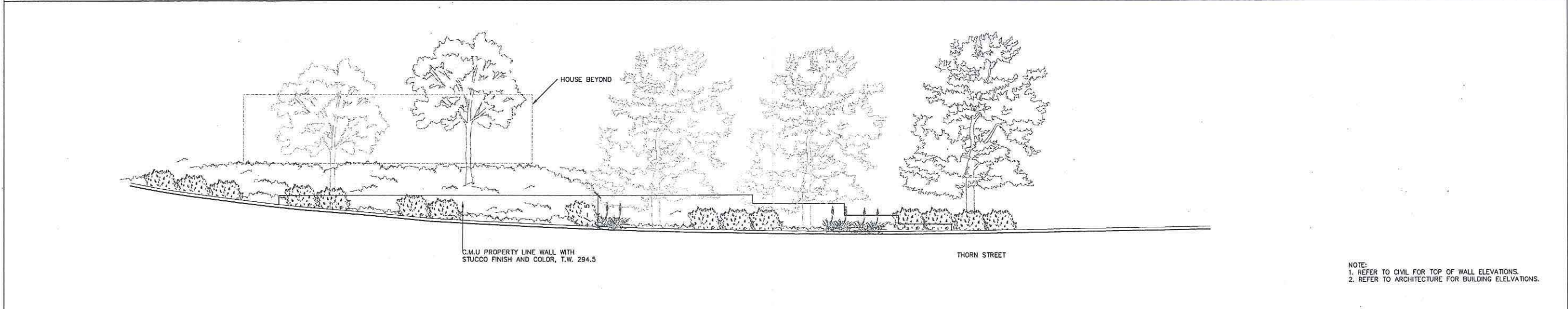
DATE: 3/27/13	CONTRACTOR: _____ DATE STARTED: _____	INSPECTOR: _____ DATE COMPLETED: _____	287114
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NOTE:
 1. REFER TO CIVIL FOR TOP OF WALL ELEVATIONS.
 2. REFER TO ARCHITECTURE FOR BUILDING ELEVATIONS.

1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



NOTE:
 1. REFER TO CIVIL FOR TOP OF WALL ELEVATIONS.
 2. REFER TO ARCHITECTURE FOR BUILDING ELEVATIONS.

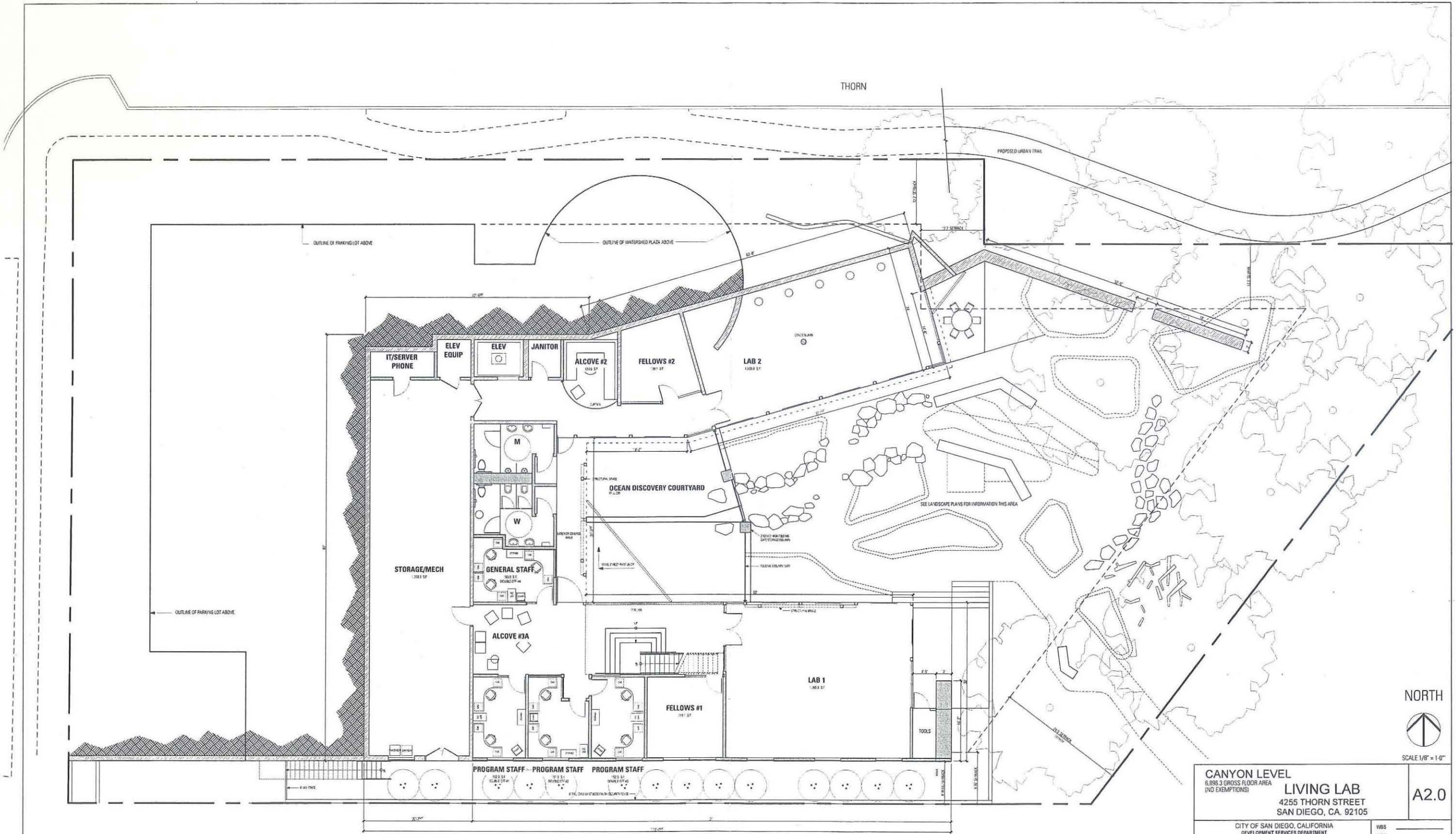
2 OFFSITE RETAINING WALL ELEVATION (OFFSITE)

SCALE: 1/8" = 1'-0"

<p>Elevations</p> <p>LIVING LAB 4255 THORN STREET SAN DIEGO, CA. 92105</p> <p>L1.5</p>	
<p>CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 12 OF 19 SHEETS</p>	
<p>FOR CITY ENGINEER</p> <p>DATE</p>	<p>ASSOCIATE ENGINEER</p>
<p>DESCRIPTION</p> <p>BY</p> <p>APPROVED</p> <p>DATE</p> <p>FILMED</p>	<p>PROJECT ENGINEER</p> <p>SEE SHEETS</p> <p>COORDINATE</p> <p>SEE SHEETS</p> <p>COORDINATES</p>
<p>AS-BUILTS</p>	<p>CONTRACTOR</p> <p>INSPECTOR</p>
<p>DATE: 3/27/13</p>	<p>DATE STARTED</p> <p>DATE COMPLETED</p> <p>287114</p>

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NORTH



SCALE 1/8" = 1'-0"

CANYON LEVEL
 6,896.3 GROSS FLOOR AREA
 (NO EXEMPTIONS)
LIVING LAB
 4255 THORN STREET
 SAN DIEGO, CA. 92105

A2.0

CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 13 OF 19 SHEETS

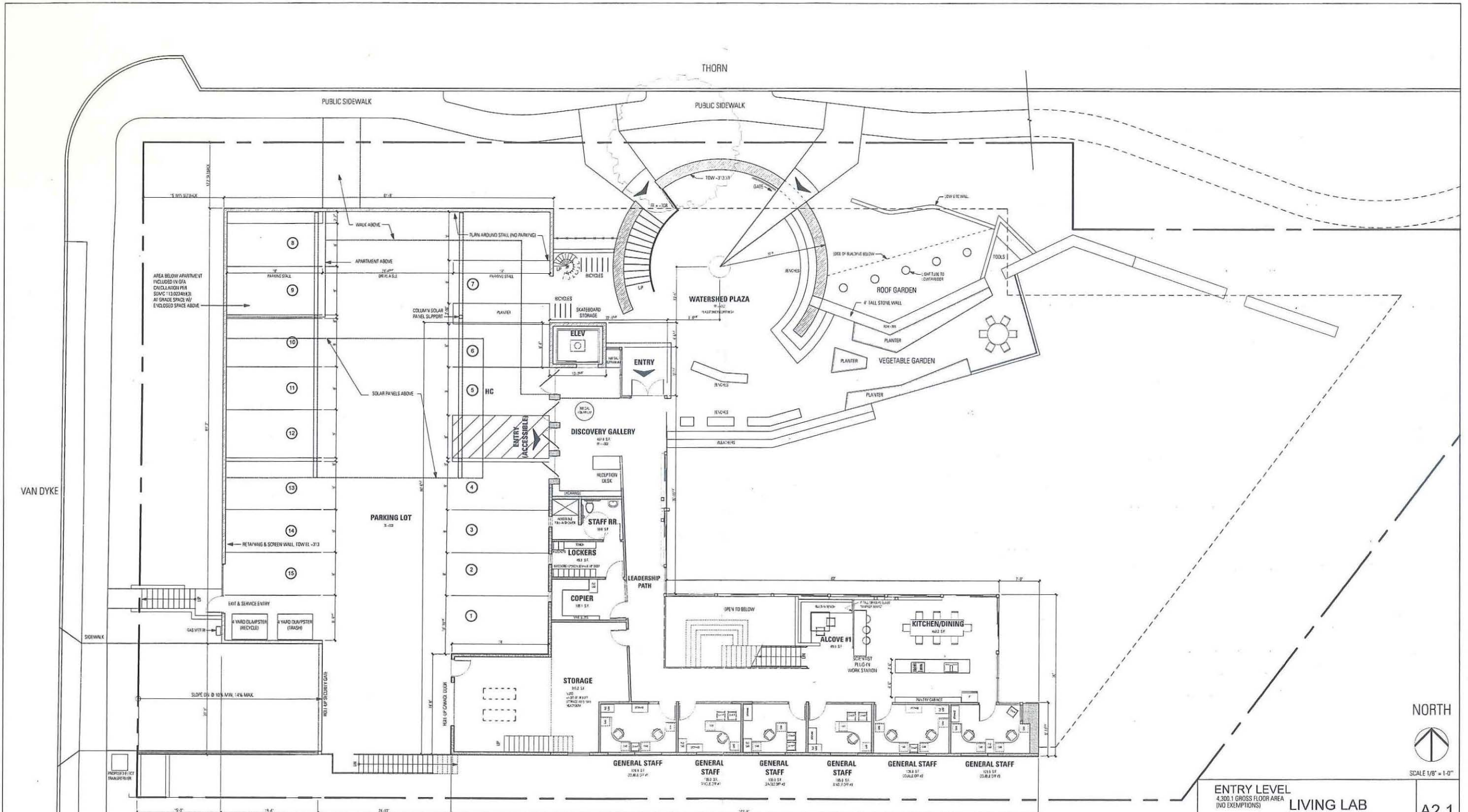
Rob Wellington Quigley, FAIA
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 San Diego, California 92101
 T (619) 232-0888
 F (619) 232-8966



DATE: 3/27/13

FOR CITY ENGINEER				DATE		DATE		DATE	
DESCRIPTION	BY	APPROVED	DATE	FILMED					
ORIGINAL	XXX								
AS-BUILTS									
CONTRACTOR			DATE STARTED						
INSPECTOR			DATE COMPLETED						

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 PROJECT ENGINEER
 SEE SHEETS
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 SEE SHEETS
 COORDINATES
 287114



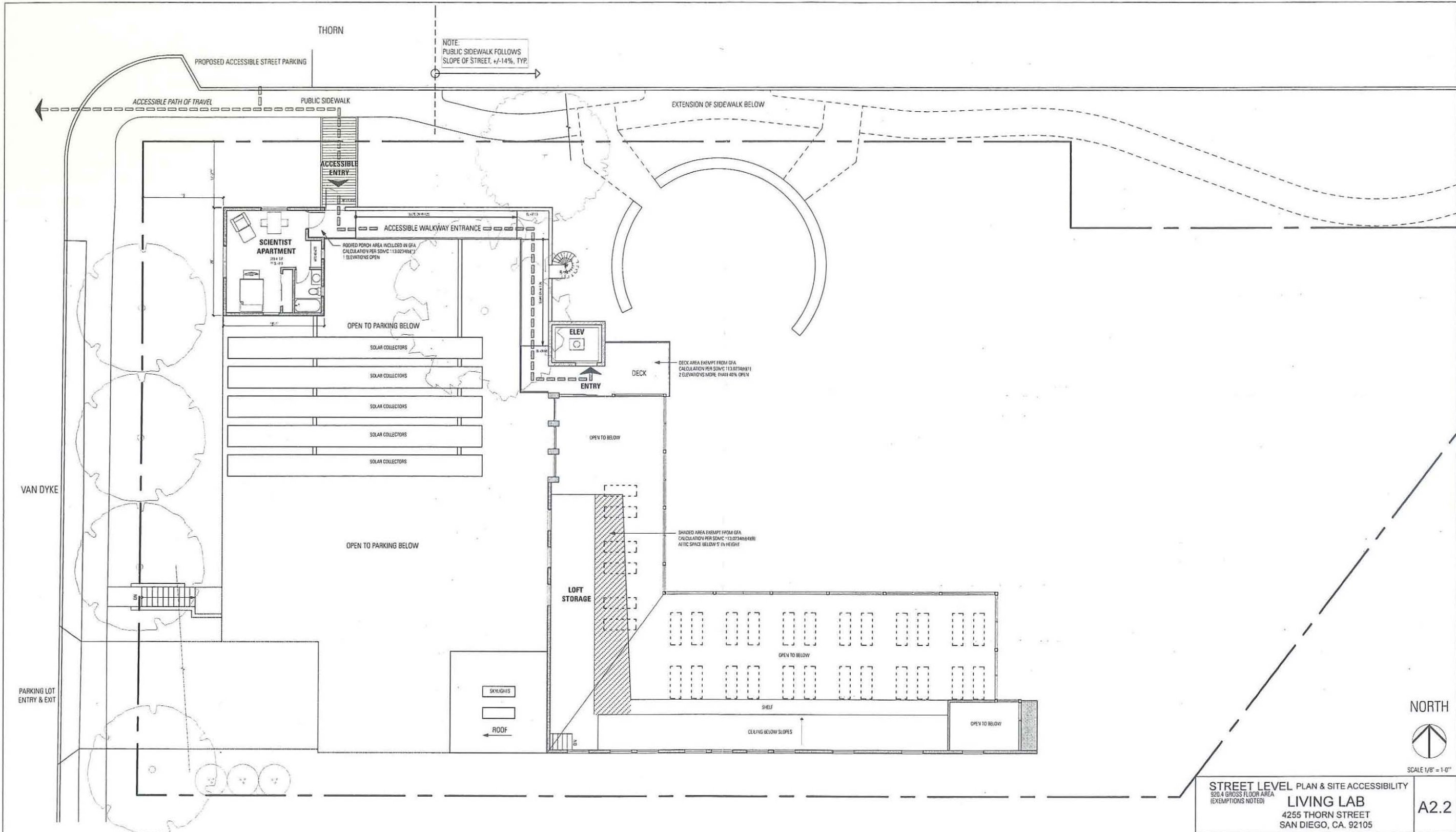
PARKING SUMMARY (Per 1509C, 143.2-143.2F)
 NOTE: THE LIVING LAB HAS TWO LABORATORIES WHICH ARE THE CLASSROOMS THE EXTERIOR COURTYARD AND CANYON ARE ADDITIONAL LEARNING SPACES. THERE WILL BE A MAXIMUM OF 3 CLASSES OF 20 STUDENTS PER TOTAL AT ONE TIME BETWEEN 9AM AND NOON. 2 CLASSES WILL BE USING THE LABS AND 1 CLASS WILL USE THE COURTYARD & CANYON. PER TABLE 142.056, THE PARKING CALCULATION FOR EDUCATIONAL FACILITIES IS:
 GRADES K-9: 2 CLASSES @ 2 SPACES/CLASS = 4 SPACES
 GRADES 10-12: 1 CLASS @ 1 SPACE PER 5 STUDENTS (20/5) = 4 SPACES
 IN ADDITION THERE IS A STUDIO APARTMENT FOR A VISITING SCIENTIST = 1 SPACE
 TOTAL REQUIRED SPACES = 11 SPACES
 SPACES PROVIDED = 1514 REGULAR + 1 ACCESSIBLE

ADDITIONAL OFF-SITE STREET PARKING ADDED ON THORN STREET (SEE SITE PLAN)
 1-ACCESSIBLE SPACE
 2-DIAGONALLY STRIPED 15 MINUTE DROP-OFF SPACES
 2-GENERAL PARKING SPACES

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ENTRY LEVEL 4,300.1 GROSS FLOOR AREA (NO EXEMPTIONS)		LIVING LAB 4255 THORN STREET SAN DIEGO, CA. 92105		A2.1
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 14 OF 19 SHEETS				
FOR CITY ENGINEER: _____ DATE: _____ DESCRIPTION BY: _____ APPROVED: _____ DATE: _____ FILED: _____		WBS: _____ ASSOCIATE ENGINEER: _____ PROJECT ENGINEER: _____ SEE SHEETS: _____ COORDINATE: _____ SEE SHEETS: _____ COORDINATES: _____		
AS-BUILTS: _____ CONTRACTOR: _____ DATE STARTED: _____ INSPECTOR: _____ DATE COMPLETED: _____		287114		



STREET LEVEL PLAN & SITE ACCESSIBILITY
 920.4 GROSS FLOOR AREA
 (EXEMPTIONS NOTED)

LIVING LAB
 4255 THORN STREET
 SAN DIEGO, CA. 92105

A2.2

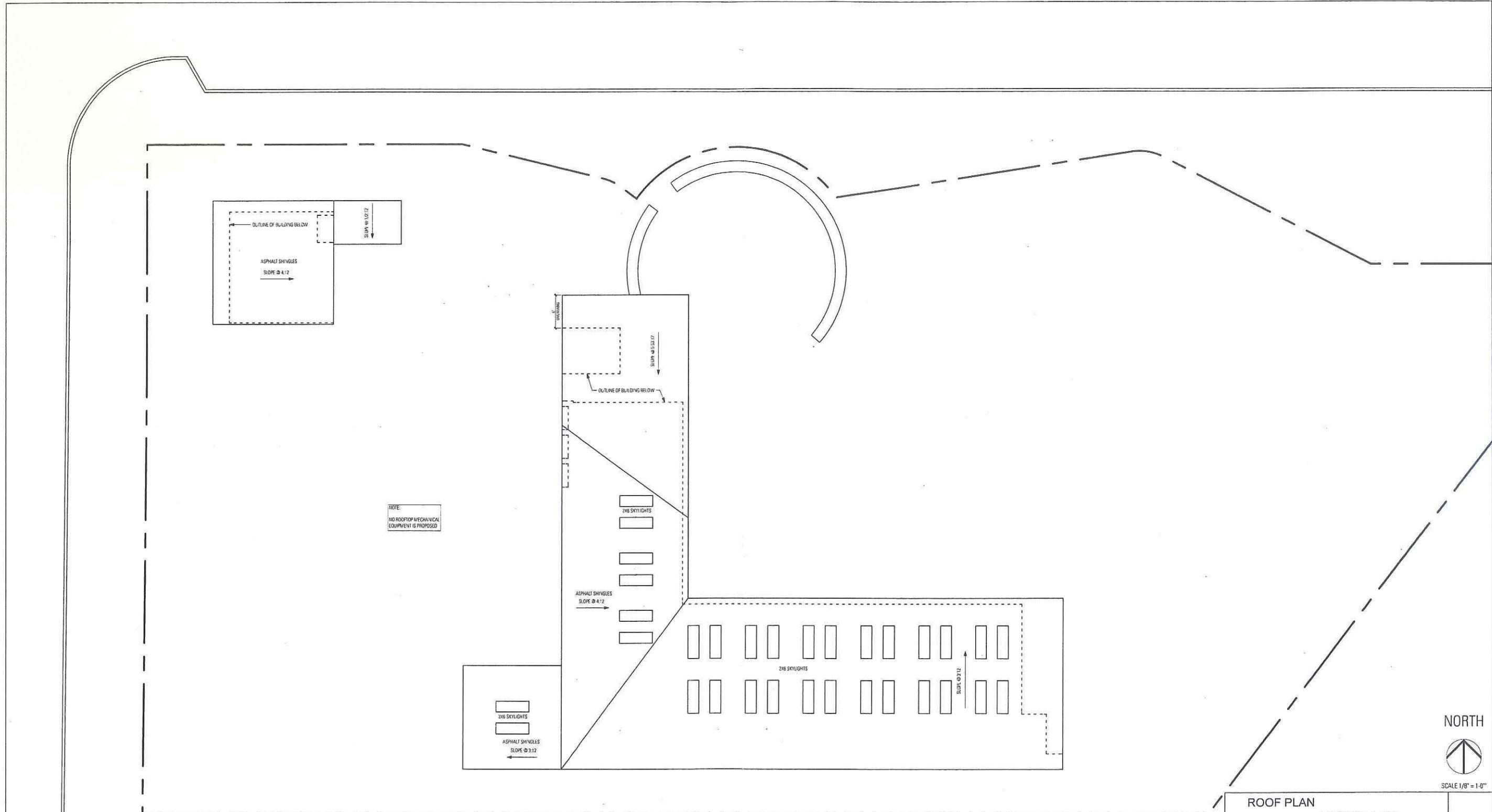
CITY OF SAN DIEGO, CALIFORNIA
 DEVELOPMENT SERVICES DEPARTMENT
 SHEET 15 OF 19 SHEETS

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DATE: 3/27/13

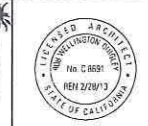
FOR CITY ENGINEER				DATE		ASSOCIATE ENGINEER	
DESCRIPTION	BY	APPROVED	DATE	FILMED			
ORIGINAL	XXX				PROJECT ENGINEER		
					SEE SHEETS		
					COORDINATE		
					SEE SHEETS		
					COORDINATES		
AS-BUILTS					287114		
CONTRACTOR		DATE STARTED					
INSPECTOR		DATE COMPLETED					



ROOF PLAN
LIVING LAB
 4255 THORN STREET
 SAN DIEGO, CA. 92105
 A2.3

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 16 OF 19 SHEETS		WBS WBS
FOR CITY ENGINEER	DATE	ASSOCIATE ENGINEER
DESCRIPTION	BY	APPROVED
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AS-BUILTS		
CONTRACTOR	DATE STARTED	DATE COMPLETED
INSPECTOR		
		287114

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DATE: 3/27/13