



THE CITY OF SAN DIEGO  
**REPORT TO THE PLANNING COMMISSION**

**DATE ISSUED:** June 13, 2013 **REPORT NO. PC-13-068**  
**ATTENTION:** Planning Commission, Agenda of June 20, 2013  
**SUBJECT:** AT&T – Boundary Street - PROJECT NO. 226649. PROCESS 5.  
**APPLICANT:** AT&T Mobility

**SUMMARY**

**Issue(s):** Should the Planning Commission recommend that the City Council approve a Wireless Communication Facility (WCF) located in the public right-of-way at 4371 1/3 Boundary Street in the Greater North Park community plan area?

**Staff Recommendation:** Recommend that the City Council APPROVE Conditional Use Permit (CUP) No. 1129466 and Site Development Permit (SDP) No. 1129467.

**Community Planning Group Recommendation:** At the February 19, 2013 meeting, the North Park Planning Committee voted 9-1-0 to support the water tower design option. (Attachment 12)

**Environmental Review:** This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on March 21, 2013, and the opportunity to appeal that determination ended April 10, 2013. The project was evaluated pursuant to the California Environmental Quality Act (CEQA) and determined to be exempt per Categorical Exemption 15303 (New Construction or Conversion of Small Structures).

**Fiscal Impact Statement:** AT&T Mobility is the Financially Responsible Party responsible for costs associated with the processing of this application.

**Code Enforcement Impact:** Not applicable.

**Housing Impact Statement:** Not applicable.

## **BACKGROUND/DISCUSSION**

AT&T – Boundary Street is an application for a Conditional Use Permit (CUP) and Site Development Permit (SDP) for a Wireless Communication Facility (WCF). The project is located in a portion of the public right-of-way to the north-east of the intersection of Boundary Street and Meade Avenue, to the west of Interstate 805. An address of 4371 1/3 Boundary Street has been assigned to the project. The project is part of the Mid-City Communities Planned District MR-800B zone and is located in the Greater North Park community plan area.

The proposed WCF consists of a 49-foot tall faux water tank, concealing panel antennas. “North Park” signage will be added to sides of the tank. Equipment associated with the antennas is proposed in a building at the base of the water tank. Trees, shrubs, concrete bollards with lights, and hardscape are being added around the base of the WCF. The landscape design incorporates similar improvements found at the University Avenue and I-805 overpass.

Various architectural designs were presented to the community for consideration at this location. At the direction of the Community Planning Group, AT&T developed a water tank design, to reflect the iconic North Park water tank (recently designated as historic).

WCF are permitted in the public right-of-way, with above-ground equipment, with the processing of a Conditional Use Permit, Process 3. In this case, deviations are being requested as the proposed project is not a typical right-of-way installation. To allow the deviations, a Mid-City Communities Development Permit is required, which is processed as a Site Development Permit. In addition, a Site Development Permit, Process 5, is required for the proposed development in the public right-of-way. Draft findings for these permits have been provided (Attachment 5).

The project deviates from the following San Diego Municipal Code regulations for WCFs located in the public right-of-way, LDC section 141.0420(h). These regulations are intended for antennas located on a street light standard or utility pole, or similar types of installations in the public right-of-way. In this case, however, the antennas are concealed within a faux water tank structure and as such the project deviates from these regulations:

1. LDC section 141.0420(h)(2) requires that “panel antennas shall be vertically mounted to the pole in compliance with any applicable separation requirements and shall not exceed 6 inches in distance from the pole.”
2. LDC section 141.0420(h)(3) requires that “no more than four panel antennas or two omni-directional antennas shall be mounted on any utility pole by any one wireless communication facilities provider.”
3. LDC section 141.0420(h)(4) requires that “antennas shall be painted to match the color of the surface of the pole on which they are attached.”

In addition, the project deviates from the WCF Design Requirements, LDC section 141.0420(g)(3) which limits equipment area square footage to 250 square feet. The equipment area is 313 square feet.



The Mid-City Communities Development Permit, processed as a Site Development Permit, allows the requested deviations.

**Community Plan Analysis:**

While the Greater North Park Community Plan does not specifically address WCFs, it does identify locations where entrances to the community can be improved. This location is identified as Urban Design Area 2. Page 130 of the Greater North Park Community Plan, identifies this intersection as an opportunity to “enhance entryways to the community.”

The City’s General Plan, Section UD-A.15, addresses WCFs as follows:

Minimize the visual impact of wireless facilities.

- a) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b) Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

This project complies with the requirements of the General Plan for WCFs. The antennas have been concealed in a structure, reflecting the iconic North Park water tank, which will also support community identification signage. Landscape improvements around the water tank will transform this neglected section of right-of-way into an aesthetically pleasing community entryway that will be maintained by AT&T. The design was developed after numerous meetings with the community group and the water tank design was created based on the community’s request.

**Conclusion:**

This project complies with the applicable regulations of the Land Development Code and the City’s General Plan and draft findings (Attachment 5) have been made in the affirmative. Therefore, staff recommends approval of CUP No. 1129466 and SDP No. 1129467.

**ALTERNATIVES**

- 1. Recommend Approval of CUP No. 1129466 and SDP No. 1129467, with modifications.
- 2. Recommend Denial of CUP No. 1129466 and SDP No. 1129467, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



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Mike Westlake  
Assistant Deputy Director  
Development Services Department



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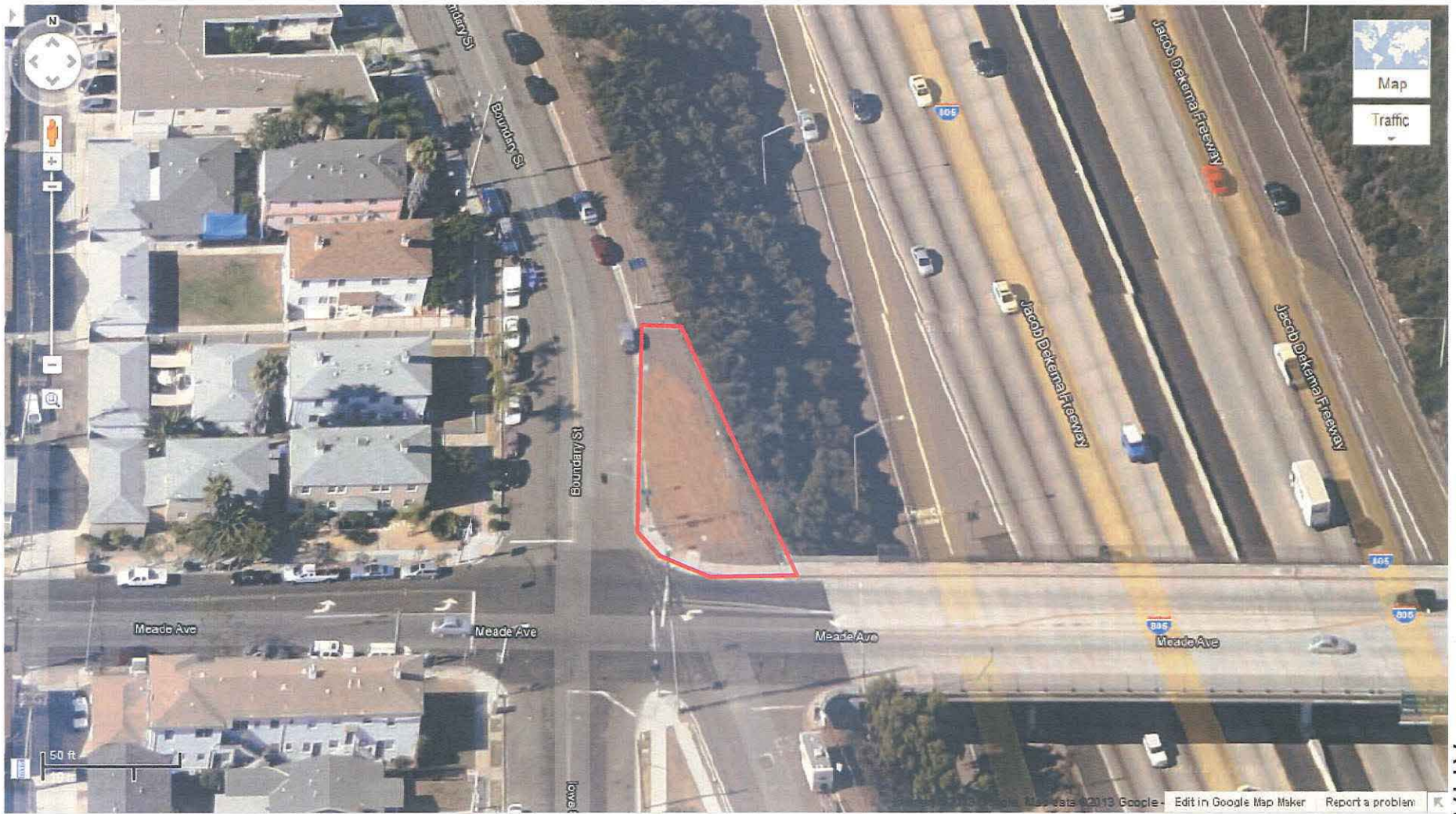
Alex Hempton, AICP  
Development Project Manager  
Development Services Department

BROUGHTON/AFH

Attachments:

1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of Right to Appeal (NORA) – Env. Exemption
8. Photo Simulations
9. Site Justification
10. Coverage Maps
11. Project Plans
12. Community Planning Group Recommendation
13. Ownership Disclosure Statement
14. Project Chronology
15. Notice of Planning Commission Hearing
16. Photo Study





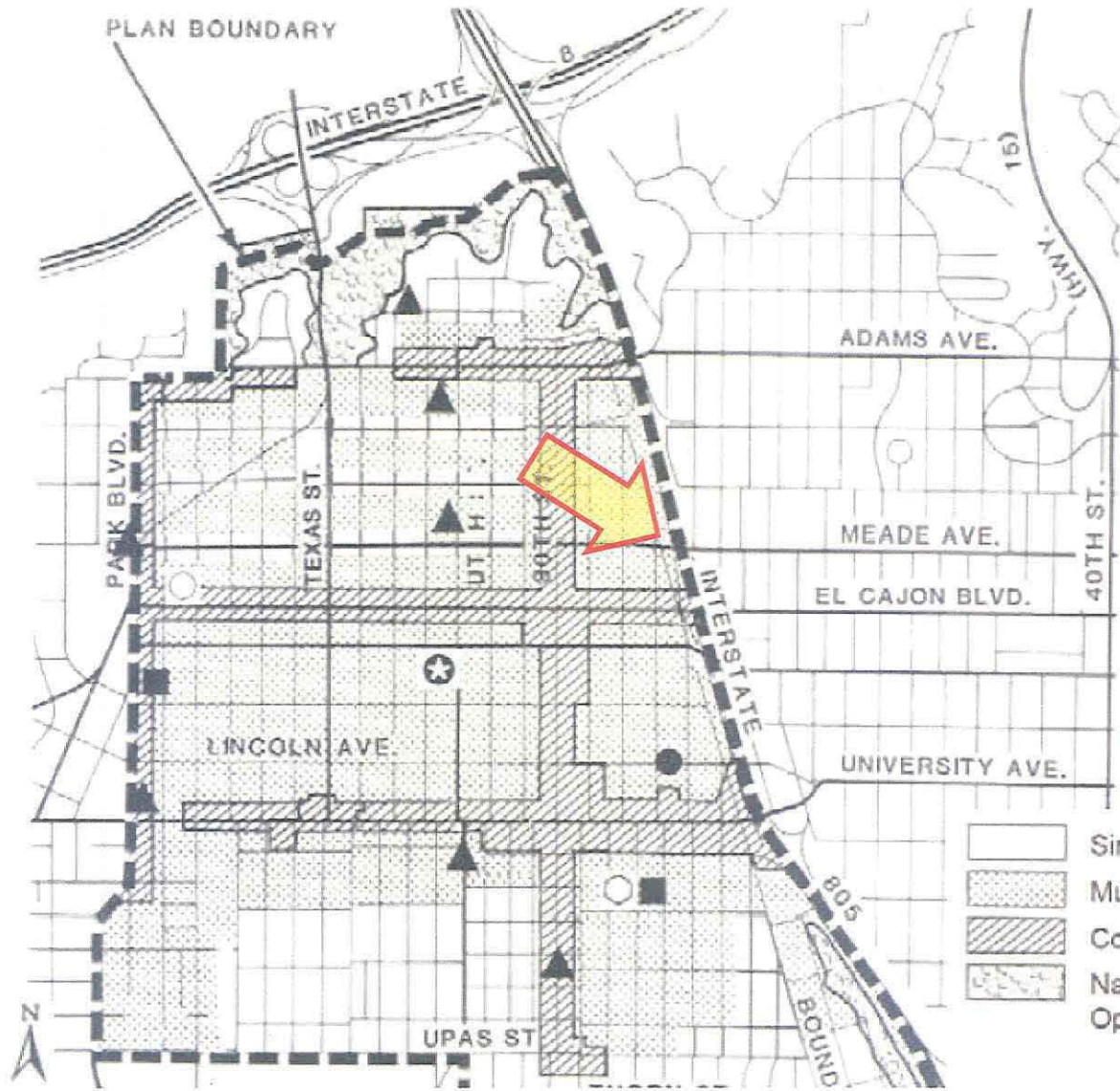
## Aerial Photo

AT&T - Boundary Street - Project Number 226649

4371 1/3 Boundary Street (Public Right-of-Way)







This project site is located within the public right-of-way and is surrounded by properties designated for Residential High/Very High density.

- |  |                                    |  |              |
|--|------------------------------------|--|--------------|
|  | Single-family                      |  | Park         |
|  | Multifamily                        |  | School       |
|  | Commercial                         |  | Library      |
|  | Natural and Undeveloped Open Space |  | Fire Station |
|  |                                    |  | Hospital     |
|  |                                    |  | Post Office  |



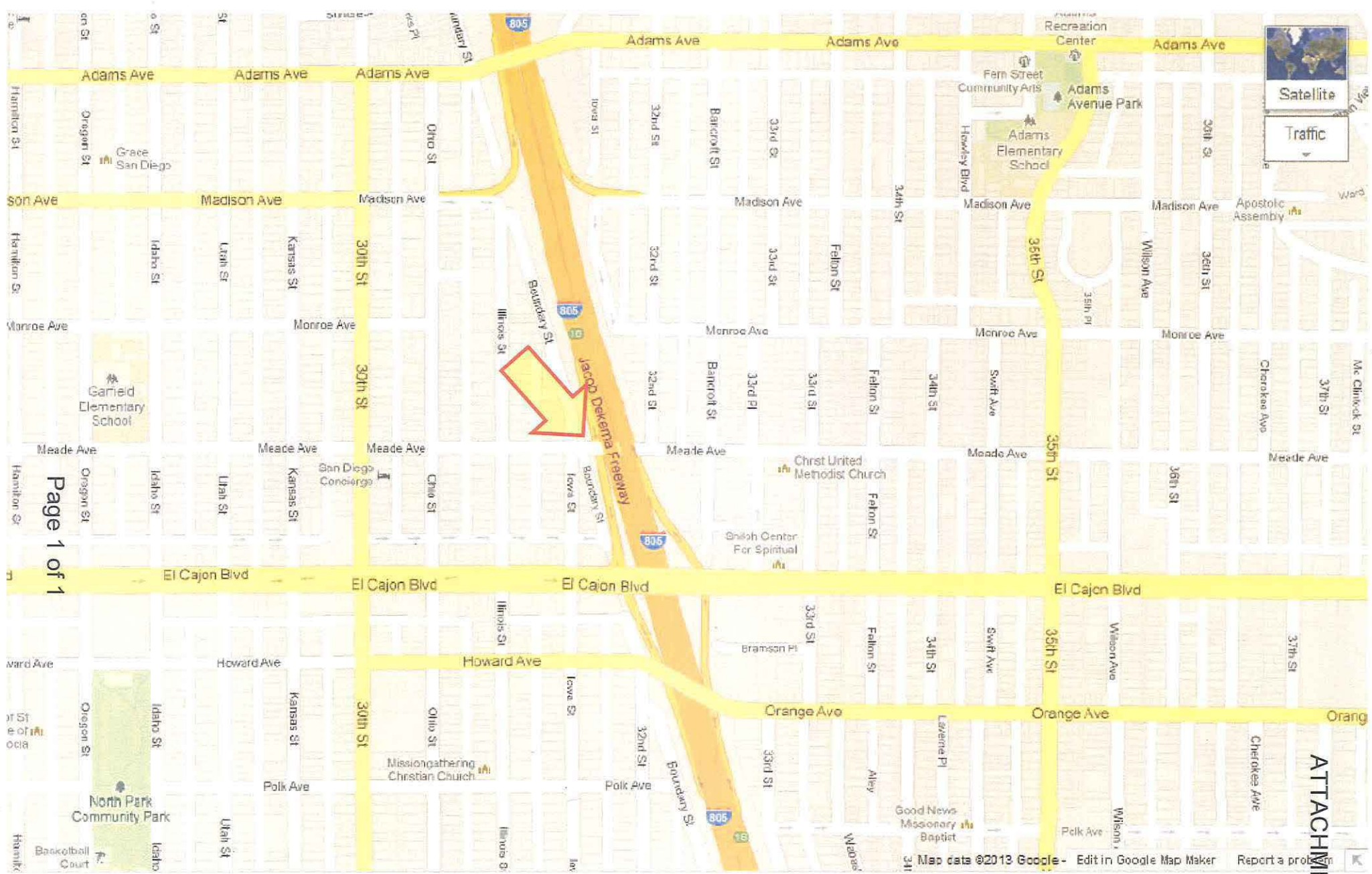
# Community Plan Land Use Map

AT&T – Boundary Street – Project Number 226649

4371 1/3 Boundary Street (Public Right-of-Way)

From Figure 23, Page 141 of the Greater North Park Community Plan





# Project Location Map

**AT&T – Boundary Street – Project Number 226649**

**4371 1/3 Boundary Street (Public Right-of-Way)**



<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	AT&T – Boundary Street	
<b>PROJECT DESCRIPTION:</b>	Conditional Use Permit (CUP) and Site Development Permit (SDP), Process 5, for a Wireless Communication Facility (WCF) consisting of a 49-foot tall faux water tank concealing antennas, an equipment enclosure, and landscape improvements.	
<b>COMMUNITY PLAN AREA:</b>	Greater North Park	
<b>DISCRETIONARY ACTIONS:</b>	Conditional Use Permit (CUP) and Site Development Permit (SDP), Process 5	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	The site is located within public-right-of-way and is surrounded by properties designated for Residential High/Very High density.	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> MCCPD-MR-800B <b>HEIGHT LIMIT:</b> 50' <b>FRONT SETBACK:</b> - <b>SIDE SETBACK:</b> - <b>STREETSIDE SETBACK:</b> - <b>REAR SETBACK:</b> -		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential, MCCPD-MR-800B	Residential/Freeway
<b>SOUTH:</b>	Residential, MCCPD-MR-800B	Residential
<b>EAST:</b>	Residential, RS-1-7	Residential/Freeway
<b>WEST:</b>	Residential, MCCPD-MR-800B	Residential
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	<p>This project deviates from the following regulations for WCFs located in the public right-of-way, LDC section 141.0420(h):</p> <ol style="list-style-type: none"> <li>1. LDC section 141.0420(h)(2) requires that “panel antennas shall be vertically mounted to the pole in compliance with any applicable separation requirements and shall not exceed 6 inches in distance from the pole.”</li> </ol>	



	<ol style="list-style-type: none"> <li>2. LDC section 141.0420(h)(3) requires that “no more than four panel antennas or two omni-directional antennas shall be mounted on any utility pole by any one wireless communication facilities provider.”</li> <li>3. LDC section 141.0420(h)(4) requires that “antennas shall be painted to match the color of the surface of the pole on which they are attached.”</li> </ol> <p>In addition, the project deviates from the WCF Design Requirements, LDC section 141.0420(g)(3) which limits equipment area square footage to 250 square feet.</p>
<p><b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b></p>	<p>At the February 19, 2013 meeting, the North Park Planning Committee voted 9-1-0 to support the water tower design. (Attachment 12)</p>

RESOLUTION NUMBER R- \_\_\_\_\_

DATE OF FINAL PASSAGE: \_\_\_\_\_

**A RESOLUTION OF THE COUNCIL OF THE CITY OF  
SAN DIEGO APPROVING/DENYING  
CONDITIONAL USE PERMIT (CUP) NO. 1129466 and  
SITE DEVELOPMENT PERMIT (SDP) NO. 1129467  
AT&T – BOUNDARY STREET  
PROJECT NO. 226649**

WHEREAS, the CITY OF SAN DIEGO, Owner, and AT&T MOBILITY, Permittee, filed an application with the City of San Diego for a Conditional Use Permit (CUP) No. 1129466 and Site Development Permit (SDP) No. 1129467 to construct, operate, and maintain a Wireless Communication Facility (WCF) known as the AT&T – Boundary Street project, located at 4371 1/3 Boundary Street in a portion of the public right-of-way located to the north-east of the intersection of Boundary Street and Meade Avenue, in the Greater North Park Community Plan area, in the MCCPD-MR800B zone; and

WHEREAS, on June 20, 2013, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 1129466 and Site Development Permit No. 1129467 and pursuant to Resolution No. XXXX-PC voted to recommend [INSERT: City Council approval/disapproval] of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on \_\_\_\_\_, testimony having been heard, evidence having been submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to Conditional Use Permit (CUP) No. 1129466 and Site Development Permit (SDP) No. 1129467:

**Site Development Permit - Section 126.0504**

**Findings for all Site Development Permits:**

**1. The proposed development will not adversely affect the applicable land use plan;**

The purpose of the Mid-City Communities Planned District is to assist in implementing the goals and objectives of the adopted community plans for older, developed communities and to assist with implementation of the City’s General Plan. While the proposed development is not residential, it is located adjacent to the Mid-City Communities Planned District MR-800B zone, and the Planned District aims to provide an attractive street environment in the MR zones. The project is located in an area identified as Urban Design Area 2 and page 130 of the Greater North



## ATTACHMENT 5

Park Community Plan, identifies this intersection as an opportunity to “enhance entryways to the community.” The proposed landscape improvements, hardscape, and water tank community monument structure create an aesthetically pleasing entry to the community in a currently unutilized portion of public right-of-way. The landscape and water tank structure will be maintained by AT&T.

The goal of the Urban Design section of the Greater North Park Community Plan is to, “Enhance the unique character and community image of Greater North Park.” The Community Planning Group’s close involvement with AT&T during the design of this project generated a design that is unique to North Park. One of the objectives in the community plan is to, “Develop a varied urban character within the community.” The proposed WCF is not a typical design and creates an urban plaza and monument tailored by the community.

While the Greater North Park Community Plan does not specifically address WCFs, the City’s General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. This project implements the recommendations of the General Plan by screening the antennas and associated equipment within a faux water tank structure, surrounding by landscape and hardscape improvements. The project design has been closely coordinated with input from the Community Planning Group to generate a WCF that is aesthetically pleasing and respectful of the neighborhood context and character. Based on the design of this facility and its siting, this Wireless Communication Facility will not adversely affect the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that AT&T Mobility perform a model RF test and submit the finding in a report to the City of San Diego prior to the issuance of a building permit. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the city.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The proposed WCF is designed as a faux water tank, capable of concealing panel antennas behind radio-frequency (RF) transparent materials. Landscape and hardscape improvements surround the water tank, in an unused portion of public right-of-way. The WCF regulations allow WCFs with above-ground equipment with a Conditional Use Permit, Process 3. In this case, due to the size of the structure and other improvements proposed as part of this project, a Site Development Permit, Process 5, is also required. In addition, deviations are requested to the WCF regulations



as they apply to WCFs located in the public right-of-way, and the WCF Design Requirement's equipment area size limitation. These deviations are permitted with the approval of this Mid-City Communities Development Permit, processed as a Site Development Permit.

WCFs are required to adhere to Design Requirements outlined in LDC section 141.0420(g). WCFs "shall utilize the smallest, least visually intrusive antennas, components, and other necessary equipment." [LDC section 141.0420(g)(1)] AT&T has been able to achieve this requirement by locating the antennas and equipment inside a faux water tank that functions as a type of community monument. In addition, "the applicant shall use all reasonable means to conceal or minimize the visual impacts of the WCFs through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." [LDC section 141.0420(g)(2)] With this project, AT&T has minimized the visual impacts of the WCF by integrating the facility into the neighborhood. By closely coordinating with the Community Planning Group, the applicant developed a design that incorporates an architectural and landscape design sited to act as a community monument.

LDC section 141.0420(g)(3) limits the size of equipment enclosures to 250 square feet. In this case, the enclosure, at 313 square feet exceeds the allowable area. This deviation can be supported as the equipment area is incorporated as part of the water tank structure.

LDC section 141.0420(h) provides regulations for WCFs located in the public right-of-way. These regulations, when adopted did not contemplate antenna installations on anything other than vertical elements in the public right-of-way such as light standards and utility poles. As such, a WCF designed as a faux water tank was not considered as an option at the time the regulations were developed necessitating a deviation for alternative designs such as this one. Therefore the design proposed does not comply with the following LDC sections: 141.0420(h)(2), which requires that antennas be mounted to the pole no more than 6 inches from the pole; LDC section 141.0420(h)(3), which requires that no more than four panel antennas or two omni-directional antennas shall be mounted on a pole; and LDC section 141.0420(h)(4) which states that antennas shall be painted to match the color of the surface of the pole.

Therefore, the proposed WCF complies with the applicable regulations of the LDC, with the exceptions listed above, which are permitted with the approval of this Mid-City Communities Development Permit, which is processed as a Site Development Permit.

### **Supplemental Findings for Public Right-of Way Encroachments**

- 1. The proposed *encroachment* is reasonably related to public travel, or benefits a public purpose, or all *record owners* have given the applicant written permission to maintain the *encroachment* on their property;**

The proposed AT&T WCF and accompanying development of the existing unused portion of public right-of-way benefits a public purpose in two main ways: 1) the AT&T WCF will allow for greater wireless coverage and capacity for the surrounding neighborhood and travelers along Interstate 805, and; 2) the proposed improvements to the public right-of-way consisting of a community monument, landscape, and hardscape improvements will result in an aesthetically pleasing space to be developed and maintained by AT&T.



2. **The proposed encroachment does not interfere with the free and unobstructed use of the public *right-of way* for public travel;**

The proposed encroachment is located in an unused portion of public right-of-way and does not obstruct the use of the existing road or sidewalk. In fact, the development should create a more pedestrian friendly environment that will enhance the use of the public right-of-way.

3. **The proposed *encroachment* will not adversely affect the aesthetic character of the community; and**

The proposed WCF has been designed in coordination with the Community Planning Group to achieve a design that is appropriate and acceptable to the community. Various architectural designs and renderings were provided. Therefore, the proposed encroachment will not adversely affect the aesthetic character of the community.

4. **The proposed *encroachment* does not violate any other Municipal Code provisions or other local, state, or federal law; and**

The proposed WCF complies with the applicable regulations of the Municipal Code and is permitted with the approval of this Conditional Use Permit and Site Development Permit.

5. **For *coastal development* in the *coastal overlay zone*, the *encroachment* is consistent with Section 132.0403 (Supplement Use Regulations of the Coastal Overlay Zone).**

This project is not located in the coastal overlay zone. Therefore, this finding is not applicable to this project.

**Mid-City Communities Development Permit Findings – Section 1512.0204**

1. **Conformance With Community Plan and Design Manuals. The proposed use and project design meet the purpose and intent of the Mid-City Communities Planned District (Section 1512.0101), and the following documents, as applicable to the site: the Mid-City Community Plan, the Greater North Park Community Plan, the State University Community Plan, the Uptown Community Plan, the Mid-City Design Plan (California State Polytechnic University, Pomona; Graduate studies in Landscape Architecture; June, 1983), Design Manual for the Normal Heights Demonstration Area and the City Heights Demonstration Area (HCH Associates and Gary Coad; April, 1984), The Design Study for the Commercial Revitalization of El Cajon Boulevard (Land Studio, Rob Quigley, Kathleen McCormick), The North Park Design Study, Volume 1, Design Concept and Volume 2, Design Manual (The Jerde Partnership, Inc. and Lawrence Reed Moline, Ltd.), Sears Site Development Program (Gerald Gast and Williams-Kuebelbeck and Assoc.; 1987) and will not adversely affect the Greater North Park Community Plan, the Uptown Community Plan or the General Plan of the City of San Diego;**

The purpose of the Mid-City Communities Planned District is to assist in implementing the goals and objectives of the adopted community plans for older, developed communities and to assist with implementation of the City's General Plan. While the proposed development is not residential, it is located adjacent to the Mid-City Communities Planned District MR-800B zone, and the Planned District aims to provide an attractive street environment in the MR zones. The



project is located in an area identified as Urban Design Area 2 and page 130 of the Greater North Park Community Plan, identifies this intersection as an opportunity to “enhance entryways to the community.” The proposed landscape improvements, hardscape, and water tank community monument structure create an aesthetically pleasing entry to the community in a currently unutilized portion of public right-of-way. The landscape and water tank structure will be maintained by AT&T.

The goal of the Urban Design section of the Greater North Park Community Plan is to, “Enhance the unique character and community image of Greater North Park.” The Community Planning Group’s close involvement with AT&T during the design of this project generated a design that is unique to North Park. One of the objectives in the community plan is to, “Develop a varied urban character within the community.” The proposed WCF is not a typical design and creates an urban plaza and monument tailored by the community.

While the Greater North Park Community Plan does not specifically address WCFs, the City’s General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. This project implements the recommendations of the General Plan by screening the antennas and associated equipment within a faux water tank structure, surrounding by landscape and hardscape improvements. The project design has been closely coordinated with input from the Community Planning Group to generate a WCF that is aesthetically pleasing and respectful of the neighborhood context and character. Based on the design of this facility and its siting, this Wireless Communication Facility will not adversely affect the applicable land use plans.

2. **Compatibility with surrounding development. The proposed development will be compatible with existing and planned land use on adjoining properties and will not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community will be achieved as far as practicable;**

The proposed WCF consists of a 49-foot tall faux water tank, concealing antennas. The facility has been designed to be compatible with the surrounding development. Landscape material and hardscape is proposed surrounding the water tank structure, in an effort to improve views of the WCF as seen from the public right-of-way, reduce the apparent bulk and scale of the water tank, and create a public benefit to the community in the form of an aesthetically pleasing community monument. While the project is located within the public right-of-way, it does comply with the adjacent Mid-City Communities Planned District MR-800B zone height limit of 50 feet. During the design process, structures at 40-feet were proposed, however in order to incorporate the North Park signage and other water tank architectural details, 49 feet was necessary. The design proposes an architectural solution to effectively integrate the WCF with the surrounding neighborhood in a compatible manner.

3. **No Detriment to Health, Safety and Welfare. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity;**



The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that AT&T Mobility perform a model RF test and submit the finding in a report to the City of San Diego prior to the issuance of a building permit. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the city.

- 4. Adequate Public Facilities. For residential and mixed residential/commercial projects within the park-deficient neighborhoods shown on Map Number B-4104 that are not exempted by Section 1512.0203(b)(1)(A) or (B), the proposed development provides a minimum of 750 square feet of on-site usable recreational open space area per dwelling unit. The on-site usable recreational open space area shall not be located within any area of the site used for vehicle parking, or ingress and egress, and shall be configured to have a minimum of 10 feet in each dimension. The area will be landscaped and may also include hardscape and recreational facilities;**

This project consists of a WCF, which does not involve a residential use. Therefore, as this finding applies to residential and mixed residential/commercial projects, this permit finding is not applicable to this project.

- 5. Adequate Lighting. In the absence of a street light within 150 feet of the property, adequate neighborhood-serving security lighting consistent with the Municipal Code is provided on-site; and**

A street light is located within 150 feet of this project. However, in addition, the project is proposing lighted bollards around the project.

- 6. The proposed use will comply with the relevant regulations in the San Diego Municipal Code.**

The proposed WCF is designed as a faux water tank, capable of concealing panel antennas behind radio-frequency (RF) transparent materials. Landscape and hardscape improvements surround the water tank, in an unused portion of public right-of-way. The WCF regulations allow WCFs with above-ground equipment with a Conditional Use Permit, Process 3. In this case, due to the size of the structure and other improvements proposed as part of this project, a Site Development Permit, Process 5, is also required. In addition, deviations are requested to the WCF regulations as they apply to WCFs located in the public right-of-way, and the WCF Design Requirement’s equipment area size limitation. To allow the requested deviations, a Mid-City Communities Development Permit, processed as a Site Development Permit, is required.

WCFs are required to adhere to Design Requirements outlined in LDC section 141.0420(g). WCFs “shall utilize the smallest, least visually intrusive antennas, components, and other necessary equipment.” [LDC section 141.0420(g)(1)] AT&T has been able to achieve this requirement by locating the antennas and equipment inside a faux water tank that functions as a type of community monument. In addition, “the applicant shall use all reasonable means to



conceal or minimize the visual impacts of the WCFs through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape, and siting solutions.” [LDC section 141.0420(g)(2)] With this project, AT&T has minimized the visual impacts of the WCF by integrating the facility into the neighborhood. By closely coordinating with the Community Planning Group, the applicant developed a design that incorporates an architectural and landscape design sited to act as a community monument.

LDC section 141.0420(g)(3) limits the size of equipment enclosures to 250 square feet. In this case, the enclosure, at 313 square feet exceeds the allowable area. This deviation can be supported as the equipment area is incorporated as part of the water tank structure.

LDC section 141.0420(h) provides regulations for WCFs located in the public right-of-way. These regulations, when adopted did not contemplate antenna installations on anything other than vertical elements in the public right-of-way such as light standards and utility poles. As such, a WCF designed as a faux water tank was not considered as an option at the time the regulations were developed necessitating a deviation for alternative designs such as this one. Therefore the design proposed does not comply with the following LDC sections: 141.0420(h)(2), which requires that antennas be mounted to the pole no more than 6 inches from the pole; LDC section 141.0420(h)(3), which requires that no more than four panel antennas or two omni-directional antennas shall be mounted on a pole; and LDC section 141.0420(h)(4) which states that antennas shall be painted to match the color of the surface of the pole.

Therefore, the proposed WCF complies with the applicable regulations of the LDC, with the exceptions listed above, which are permitted with the approval of this Mid-City Communities Development Permit, which is processed as a Site Development Permit.

### **Conditional Use Permit - Section 126.0305**

#### **1. The proposed development will not adversely affect the applicable land use plan;**

The purpose of the Mid-City Communities Planned District is to assist in implementing the goals and objectives of the adopted community plans for older, developed communities and to assist with implementation of the City’s General Plan. While the proposed development is not residential, it is located adjacent to the Mid-City Communities Planned District MR-800B zone, and the Planned District aims to provide an attractive street environment in the MR zones. The project is located in an area identified as Urban Design Area 2 and page 130 of the Greater North Park Community Plan, identifies this intersection as an opportunity to “enhance entryways to the community.” The proposed landscape improvements, hardscape, and water tank community monument structure create an aesthetically pleasing entry to the community in a currently unutilized portion of public right-of-way. The landscape and water tank structure will be maintained by AT&T.

The goal of the Urban Design section of the Greater North Park Community Plan is to, “Enhance the unique character and community image of Greater North Park.” The Community Planning Group’s close involvement with AT&T during the design of this project generated a design that is unique to North Park. One of the objectives in the community plan is to, “Develop a varied urban character within the community.” The proposed WCF is not a typical design and creates an urban plaza and monument tailored by the community.



While the Greater North Park Community Plan does not specifically address WCFs, the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. This project implements the recommendations of the General Plan by screening the antennas and associated equipment within a faux water tank structure, surrounding by landscape and hardscape improvements. The project design has been closely coordinated with input from the Community Planning Group to generate a WCF that is aesthetically pleasing and respectful of the neighborhood context and character. Based on the design of this facility and its siting, this Wireless Communication Facility will not adversely affect the applicable land use plans.

**2. The proposed *development* will not be detrimental to the public health, safety, and welfare;**

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that AT&T Mobility perform a model RF test and submit the finding in a report to the City of San Diego prior to the issuance of a building permit. Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the city.

**3. The proposed *development* will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and**

The proposed WCF is designed as a faux water tank, capable of concealing panel antennas behind radio-frequency (RF) transparent materials. Landscape and hardscape improvements surround the water tank, in an unused portion of public right-of-way. The WCF regulations allow WCFs with above-ground equipment with a Conditional Use Permit, Process 3. In this case, due to the size of the structure and other improvements proposed as part of this project, a Site Development Permit, Process 5, is also required. In addition, deviations are requested to the WCF regulations as they apply to WCFs located in the public right-of-way, and the WCF Design Requirement's equipment area size limitation. To allow the requested deviations, a Mid-City Communities Development Permit, processed as a Site Development Permit, is required.

WCFs are required to adhere to Design Requirements outlined in LDC section 141.0420(g). WCFs "shall utilize the smallest, least visually intrusive antennas, components, and other necessary equipment." [LDC section 141.0420(g)(1)] AT&T has been able to achieve this requirement by locating the antennas and equipment inside a faux water tank that functions as a type of community monument. In addition, "the applicant shall use all reasonable means to conceal or minimize the visual impacts of the WCFs through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." [LDC section 141.0420(g)(2)] With this project, AT&T has minimized the visual impacts of the WCF by integrating the facility into the neighborhood. By closely coordinating with the community planning group, the applicant



developed a design that incorporates an architectural and landscape design sited to act as a community monument.

LDC section 141.0420(g)(3) limits the size of equipment enclosures to 250 square feet. In this case, the enclosure, at 313 square feet exceeds the allowable area. This deviation can be supported as the equipment area is incorporated as part of the water tank structure.

LDC section 141.0420(h) provides regulations for WCFs located in the public right-of-way. These regulations, when adopted did not contemplate antenna installations on anything other than vertical elements in the public right-of-way such as light standards and utility poles. As such, a WCF designed as a faux water tank was not considered as an option at the time the regulations were developed necessitating a deviation for alternative designs such as this one. Therefore the design proposed does not comply with the following LDC sections: 141.0420(h)(2), which requires that antennas be mounted to the pole no more than 6 inches from the pole; LDC section 141.0420(h)(3), which requires that no more than four panel antennas or two omni-directional antennas shall be mounted on a pole; and LDC section 141.0420(h)(4) which states that antennas shall be painted to match the color of the surface of the pole.

Therefore, the proposed WCF complies with the applicable regulations of the LDC, with the exceptions listed above, which are permitted with the approval of the Mid-City Communities Development Permit, which is processed as a Site Development Permit.

**4. The proposed use is appropriate at the proposed location.**

Council Policy 600-43 identifies the public right-of-way as a Preference 1 (most preferred) location for siting WCFs. WCFs proposing above-ground equipment are permitted by the WCF regulations with a Conditional Use Permit. The Council Policy outlines a variety of preference levels for locating WCFs. For example, a residential zone with a residential use is one of the least preferred locations for a WCF, while a commercial or industrial zone is one of the most preferred locations. With this project, AT&T is proposing to improve an unused portion of the public right-of-way with landscape, hardscape, and a community monument. Designed at the direction of the community planning group, the water tank reflects the iconic North Park water tank, and at the same time conceals AT&T antennas. Based on the design of the WCF, Council Policy 600-43, and the WCF regulations, the proposed WCF use is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, Conditional Use Permit (CUP) No. 1129466 and Site Development Permit (SDP) No. 1129467 are granted to the CITY OF SAN DIEGO, Owner, and AT&T MOBILITY, Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.



**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**WHEN RECORDED MAIL TO**  
CITY CLERK

**PROJECT MANAGEMENT**  
PERMIT CLERK  
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24001348

**CONDITIONAL USE PERMIT NO. 1129466**  
**SITE DEVELOPMENT PERMIT NO. 1129467**  
**AT&T – BOUNDARY STREET, PROJECT NO. 226649**  
**CITY COUNCIL**

This CONDITIONAL USE PERMIT (CUP) No. 1129466 and SITE DEVELOPMENT PERMIT (SDP) No. 1129467 are granted by the City Council of the City of San Diego to the CITY OF SAN DIEGO, Owner, and AT&T MOBILITY, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0501 et al., 1512.0204, and 126.0301 et al. The site is located at 4371 1/3 Boundary Street, in a portion of the public right-of-way to the north-east of the intersection of Boundary Street and Meade Avenue in the Mid-City Communities Planned District, MCCPD-MR-800B zone of the Greater North Park community plan area as shown on the approved Exhibit "A" dated \_\_\_\_\_.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated \_\_\_\_\_, on file in the Development Services Department.

The project shall include:

- a. A 49-foot tall faux water tank structure containing twelve (12) panel antennas, measuring 8 feet by 12 inches by 9 inches, concealed behind radio-frequency transparent materials with "North Park" signage on the outside of the tank;
- b. A 313 square-foot equipment room located at the base of the faux water tank structure;
- c. This project requests the following deviations which are permitted with this Site Development Permit (Mid-City Communities Development Permit):

1. The project deviates from the following regulations for WCFs located in the public right-of-way, LDC section 141.0420(h). These regulations are intended for antennas located on a street light standard, utility pole, or similar type of installation in the public right-of-way. In this case, the antennas are concealed within a faux water tank structure and as such the project deviates from these regulations:

- A. 141.0420(h)(2) requires that “panel antennas shall be vertically mounted to the pole in compliance with any applicable separation requirements and shall not exceed 6 inches in distance from the pole.”
- B. 141.0420(h)(3) requires that “no more than four panel antennas or two omni-directional antennas shall be mounted on any utility pole by any one wireless communication facilities provider.”
- C. 141.0420(h)(4) requires that “antennas shall be painted to match the color of the surface of the pole on which they are attached.”

2. The project deviates from the WCF Design Requirements, LDC section 141.0420(g)(3) which limits equipment area square-footage to 250 square-feet. The equipment area is 313 square feet.

- d. Landscaping (planting, irrigation and landscape related improvements);
- e. This structure is for the primary purpose of providing a community monument, but may have the secondary purpose of accommodating Permittee’s Operations on the Premises.
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer’s requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by \_\_\_\_\_.

2. This Conditional Use Permit (CUP) and corresponding use of this site shall expire on \_\_\_\_\_ 2023. Upon expiration of this Permit, the facilities and improvements



described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit, unless a new permit is obtained as described in Condition No. 3.

3. No later than ninety (90) days prior to the expiration of this Permit, the Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.

4. Under no circumstances, does approval of this Permit authorize the Permittee to utilize this site for wireless communication purposes beyond the Permit expiration date. Use of this Permit beyond the expiration date of this permit is prohibited.

5. No Permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Permittee shall secure all necessary building permits. The Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Permittee.

#### **LANDSCAPE REQUIREMENTS:**

14. In the event that the Landscape Plan and the Site Plan conflict, the Site Plan shall be revised to be consistent with the Landscape Plan such that landscape areas are consistent with the Exhibit "A" Landscape Development Plan.

15. Prior to issuance of any construction permits for buildings complete landscape and irrigation construction documents consistent with the Land Development Manual: Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape



Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40 square foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

16. Prior to issuance of any Certificate of Occupancy or activation of WCF, it shall be the responsibility of the Permittee to install all required landscape and pass all required landscape inspections.

17. All required landscape shall be maintained by the Permittee in a healthy condition, free of disease, weeds and litter at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

18. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15 gallon size or 60-inch box size material, respectively. Development Services may authorize adjustment of the size and quantity of replacement material where material replacement would occur in inaccessible areas or where the existing plant being replaced is larger than a 15 gallon shrub or 60-inch box tree.

#### PLANNING/DESIGN REQUIREMENTS:

19. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Permittee.

20. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

21. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

22. The Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the potential removal and the restoration of this site to its original condition.

23. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure that the construction team building the project is in compliance with the approved Exhibit "A." The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final telecom planning inspection approval.

24. No overhead cabling is allowed for this project.

25. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.
26. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
27. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA and FCC.
28. The approved antenna dimensions are 8 feet by 12 inches by 9 inches as illustrated on the Exhibit "A" dated DATE OF APPROVAL. Replacement of the antennas may occur in the future, subject to the Permittee notifying the Development Services Department prior to the replacement of the antennas and subject to the provision of providing an updated Radio Frequency (RF) report demonstrating compliance with the Federal Communication Commission's regulations in accordance with SDMC Section 141.0420(b)(1)(A) to the satisfaction of the Development Services Department.
29. Although the project is located within the public right-of-way, due to the characteristics of the proposed structure, the Permittee shall submit an application for and obtain the required Building, Electrical, and Mechanical Permits from the Development Services Department, prior to the commencement of any construction activity, in addition to any other required public right-of-way construction permits.

**PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:**

30. Prior to the issuance of any building permits, the Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.
31. All proposed public water facilities, including services and meters, must be designed and constructed in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto.
32. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.



**ENGINEERING REQUIREMENTS:**

33. The project proposes to export 46 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.
34. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
35. Prior to the issuance of any construction permit, the Permittee shall obtain a Nonexclusive Right-of-Way Use Agreement from the City of San Diego for the proposed work in the Meade Avenue, Boundary Street and Iowa Street Right-of-Way.
36. Prior to the issuance of any construction permit, the Permittee shall obtain a Public Right-of-Way permit for the proposed work in the Meade Avenue, Boundary Street and Iowa Street Right-of-Way.
37. Prior to the issuance of any construction permits, the Permittee shall assure by permit to reconstruct the existing curb ramp at the northeast corner of Boundary Street and Meade Avenue, with current City standard curb ramp Standard Drawing SDG-130 and SDG-132 with truncated domes, satisfactory to the City Engineer.
38. Prior to the issuance of any construction permits, the Permittee shall assure by permit to construct a current City Standard sidewalk, with historic scoring, adjacent to the site on Boundary Street, satisfactory to the City Engineer.
39. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
40. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
41. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

**AIRPORT REQUIREMENTS:**

42. Prior to issuance of a right-of way, building permit, or any other construction permit, the Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration (FAA).

**TRANSPORTATION DEVELOPMENT REQUIREMENTS:**

43. Prior to any work starting in the City street right-of-way, the applicant shall apply for a "Public Right-of-Way Permit for Traffic Control."
44. Remove and replace concrete sidewalk as shown on the Site Plan to City Standards, SDG-155, to the satisfaction of the City Engineer.
45. Install new pedestrian ramp(s) and landing(s), as shown on the Site Plan to the satisfaction of the City Engineer.
46. Remove the existing pedestrian ramp and landing and install new curb, gutter and sidewalk as shown on the Site Plan, to the satisfaction of the City Engineer.
47. Reconstruct curb ramp and relocate pull box and any other traffic signal equipment with a Traffic Signal Modification Plan to the satisfaction of the City Engineer.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A "Telecom Planning Inspection" will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at 619-446-5349 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on \_\_\_\_\_ and [Approved Resolution Number].



Permit Type/PTS Approval No.: CUP #1129466, SDP #1129467  
Date of Approval: \_\_\_\_\_

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

\_\_\_\_\_  
Alex Hempton, AICP  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner or Permittee as  
specified hereunder.**

**CITY OF SAN DIEGO**  
Owner

By \_\_\_\_\_  
SCOTT CHADWICK  
INTERIM CHIEF  
OPERATING OFFICER

**AT&T MOBILITY**  
Permittee

By \_\_\_\_\_  
KEVIN MCGEE  
NETWORK MANAGER

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: March 26, 2013

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

SAP No. 24001348

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**PROJECT NAME/NUMBER:** AT&T Boundary Street/226649

**COMMUNITY PLAN AREA:** Greater North Park Community Planning Area

**COUNCIL DISTRICT:** 3

**LOCATION:** 4371-1/3 Boundary Street and Meade Avenue, San Diego, California 92116

**PROJECT DESCRIPTION:** Conditional Use Permit (CUP), Site Development Permit (SDP), and Planned Development Permit (PDP) to allow for a Wireless Communication Facility (WCF) in the public right-of-way consisting of a 49'-0" high faux water tank concealing 12 panel antennas. Equipment associated with the antennas would be located within the base of the tower.

**ENTITY CONSIDERING PROJECT APPROVAL:** San Diego City Council

**ENVIRONMENTAL DETERMINATION:** CEQA Exemption 15303-(New Construction or Conversion of Small Structures)

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The City of San Diego conducted an environmental review that determined the project would not have the potential for causing a significant effect on the environment. The project, a CUP, SDP and PDP to allow for a WCF in the public right-of-way consisting of 49'-0" high faux water tank and associated equipment would be located within the base of the tower meets the criteria set forth in CEQA Section 15303 which addresses the construction and location of limited numbers of new, small facilities or structures. Additionally, none of the exceptions described in CEQA Guidelines Section 15300.2 apply.

**DEVELOPMENT PROJECT MANAGER:** Alexander Hempton  
**MAILING ADDRESS:** 1222 First Avenue, MS 501  
San Diego, CA 92101  
**PHONE NUMBER:** (619) 446-5349

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On March 21, 2013, the City of San Diego made the above-referenced environmental determination



## ATTACHMENT 7

pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

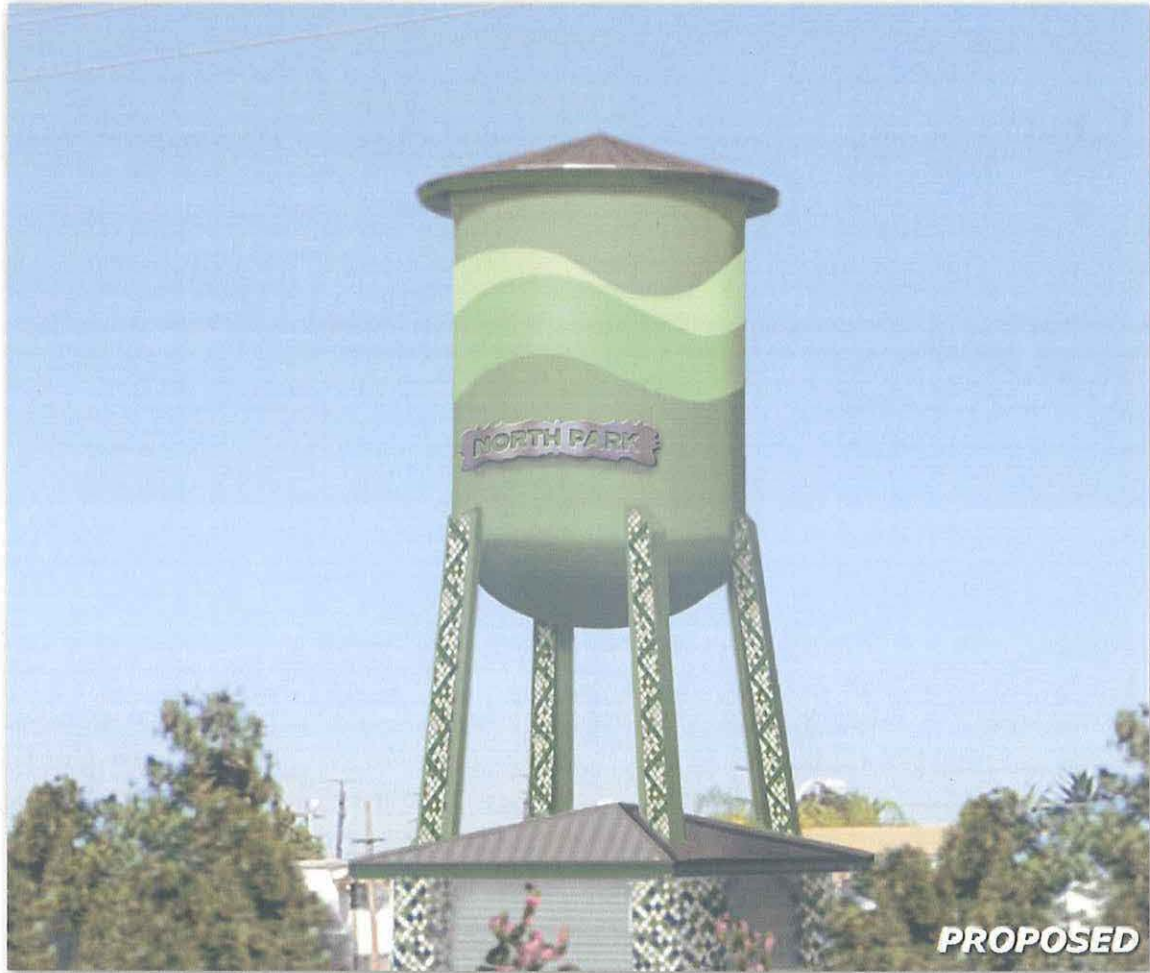
Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

ATTACHMENT 8



**SD0772**  
**Boundary Street**  
**Right of Way**  
4369 Boundary St.  
& Meade Ave  
San Diego, CA 92116



*Photomontage of proposed telecommunications site*



**EXISTING**

**ATTACHMENT 8**



**SD0772**  
**Boundary Street**  
**Right of Way**  
4369 Boundary St.  
& Meade Ave  
San Diego, CA 92116



Proposed antennas mounted within new tower structure

Proposed equipment within enclosure  
at base of new tower

Proposed landscaping



**PROPOSED**



**EXISTING**

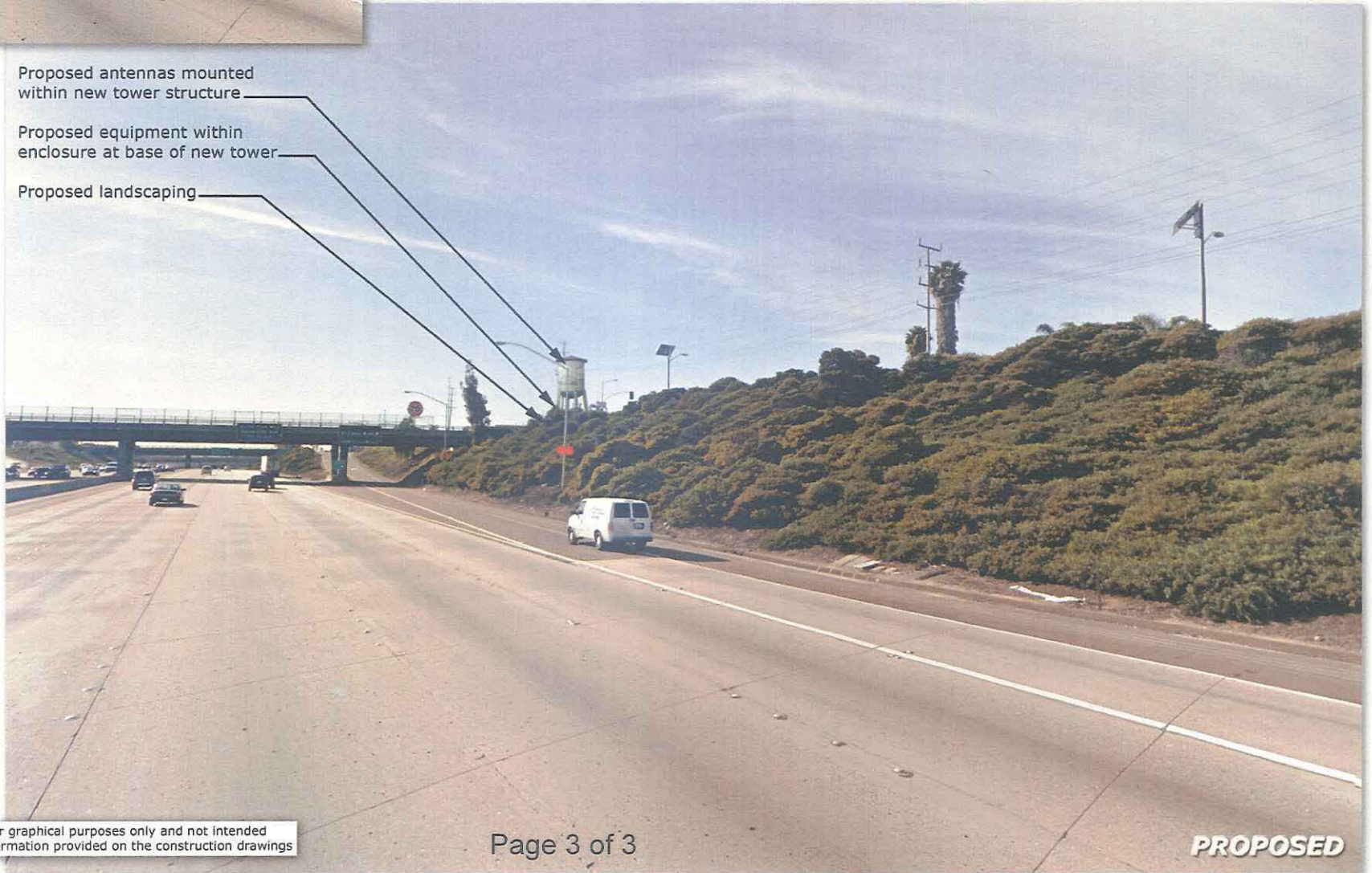


ATTACHMENT 8



**SD0772**  
**Boundary Street**  
**Right of Way**  
4369 Boundary St.  
& Meade Ave  
San Diego, CA 92116

- Proposed antennas mounted within new tower structure
- Proposed equipment within enclosure at base of new tower
- Proposed landscaping



These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**PROPOSED**



**SITE JUSTIFICATION  
AT&T  
Boundary Street ROW  
4416 Boundary Street**

**PROJECT DESCRIPTION**

The project proposes to install a wireless communication facility within a vacant City right-of-way located at 4416 Boundary Street in the Greater North Park Community Plan area. The proposed facility is to install twelve (12) antennas inside a 49 foot faux water tank with the associated equipment located in an enclosure at the base of the tank.

The subject property is zoned Mid-City Planned District Ordinance MCCPD- MR-800B and is a vacant City right-of-way. The property is surrounded by multi-family residential development and the I-805 freeway.

**SITE DESIGN**

The antennas will be mounted inside a 49 foot faux water tank structure on vacant City right-of-way adjacent to the I-805 freeway. The associated equipment will be located on the ground at the base of the water tank. Ten (10) design options, including the faux water tank, were provided to the City and the North Park Community Planning Committee for the proposed for this location. All ten (10) designs concealed the antennas and equipment from view. For most of the designs, the equipment enclosure was located at the base of the tower to appear as an integral part of the tower structure. Additional landscape screening and lighting was provided as well.

All of the proposed tower designs were created using elements and architectural features similar to those found in the surrounding area. The towers with associated landscaping were designed to improve the appearance of the vacant right-of-way property and to blend with the neighborhood context.

After extensive work with the North Park Community Planning Committee, the faux water tank design was chosen as the preferred design.

**ALTERNATIVE SITE CONSIDERATIONS**

Alternative sites considered for this search area included vacant commercial properties, right-of-way locations and multifamily residential buildings on both the east and west sides of the I-805 freeway. The following sites were considered prior to selecting the 4375 Boundary Street ROW location:

1. 3095 Madison Avenue – Abandoned Gas Station
2. Madison Avenue and Iowa Street Right-of-Way (ROW)
3. 3137 El Cajon Blvd – Father Joe Residential Building
4. 4531 Monroe Avenue – Two Story Apartment Building
5. 33<sup>rd</sup> Street and Meade Street - Christ United Methodist Church
6. Power Poles – Boundary Street ROW

**TECHNICAL ANALYSIS/SITE JUSTIFICATION**

The proposed facility will provide increased wireless service coverage and capacity to AT&T customers in the surrounding area. The coverage will include the I-805 freeway and the surrounding commercial and residential development on both sides of the freeway. Coverage plots have been provided to show the existing and proposed service to the area.

**PREFERENCE 3 LOCATION – Process 4 Design**

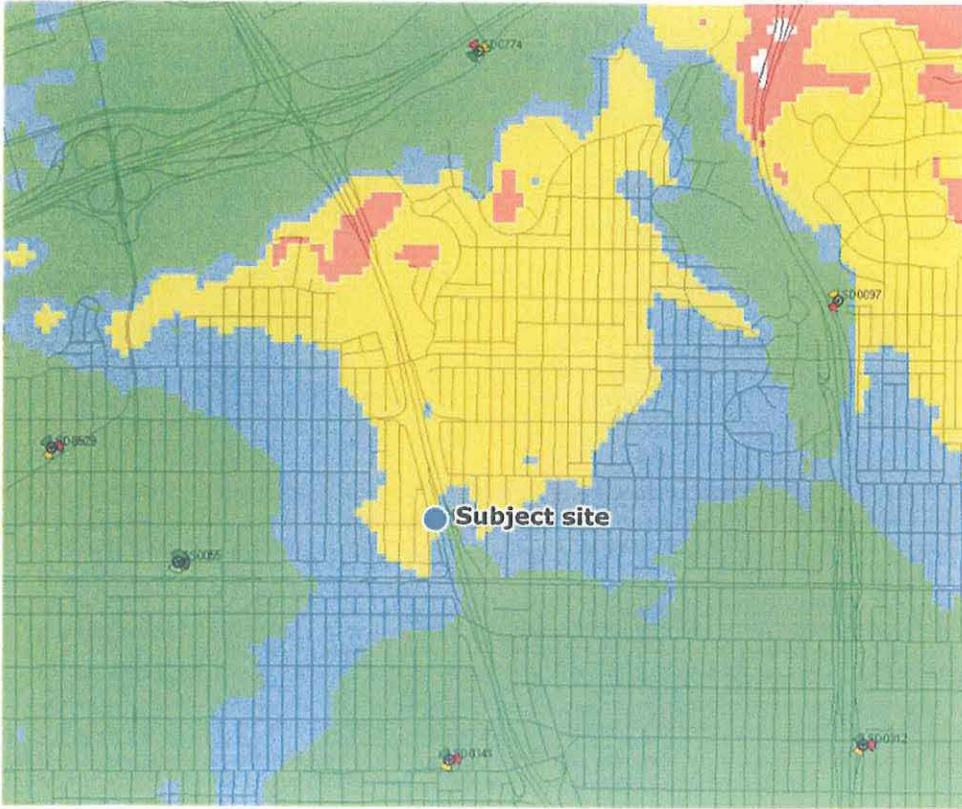
The property is a preference 3 location because it is within a City right-of-way with above ground equipment. The project is a separately regulated use that requires a Conditional Use Permit (Process 3) to allow the operation of a wireless communication facility. The project also requires a Planned Development Permit (Process 4) to deviate from LDC Section 141.0420(h)(3) to allow twelve (12) antennas within the proposed water tank where a maximum four (4) antennas are permitted on a right-of-way site through the Conditional Use Permit (Process 3) process. Due to AT&T's technology and network requirements, the minimum number of antennas needed at this location is twelve (12). The antennas will be completely concealed from view; therefore, the proposed deviation will not result in any impacts to the community, the Land Development Code or the General Plan.

There are no other wireless carriers at this location.

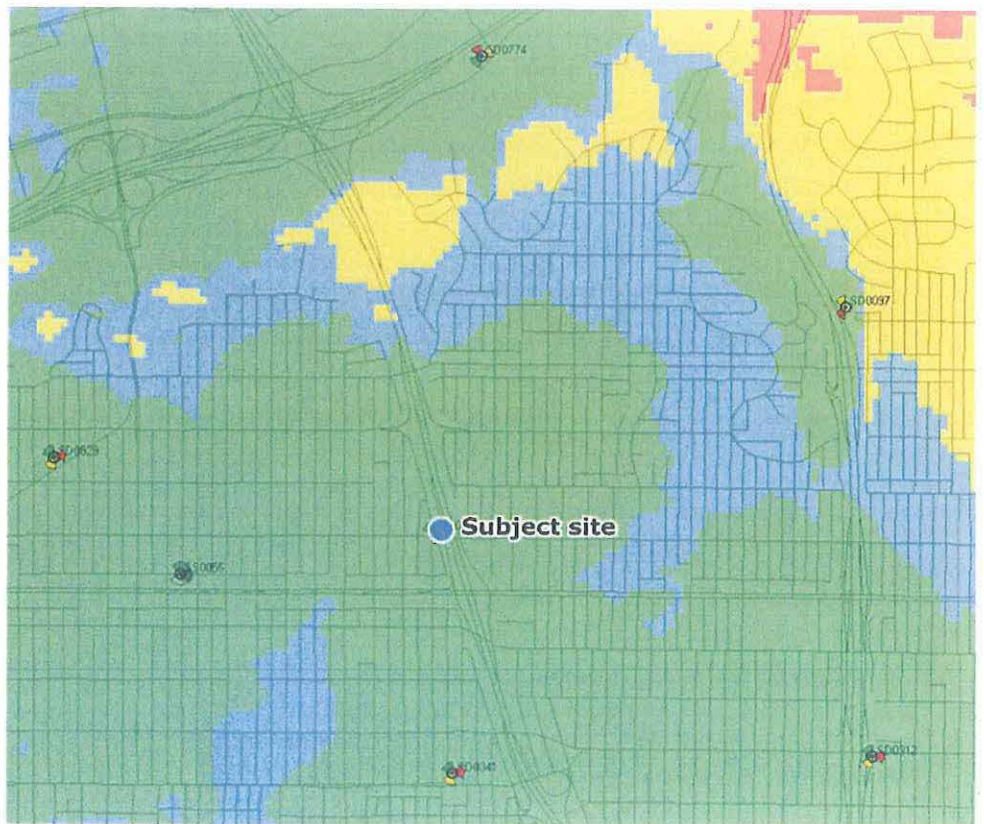




**SD0772**  
**Boundary Street ROW**  
4369 Boundary St.  
& Meade Ave  
San Diego, CA 92116



**Existing coverage**



**Proposed coverage**

**Coverage Levels:**

- Excellent
- Variable
- Poor
- No Coverage





**BOUNDARY STREET  
4371-1/3 BOUNDARY STREET & MEADE AVENUE  
SAN DIEGO, CA 92116  
SD0772**

**VICINITY MAP**

THOMAS GUIDE PAGE: 1269-E4

ADDRESS:  
4371-1/3 BOUNDARY STREET & MEADE AVENUE  
SAN DIEGO, CA 92116

COORDINATES (NAD 83):  
LATITUDE: 32° 45' 26.90" N  
LONGITUDE: 117° 07' 34.78" W

**ACCESSIBILITY DISCLAIMER**

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

**CONSULTANT TEAM**

**ARCHITECT:**  
BOOTH & SUAREZ ARCHITECTURE INC.  
325 CARLSBAD VILLAGE DRIVE, SUITE D2  
CARLSBAD, CA 92008  
(760) 434-8474  
(760) 434-8596 (FAX)

**LEASING:**  
PLANCOM, INC.  
302 STATE PLACE  
ESCONDIDO, CA 92029  
DUFFY DAUGHERTY  
(925) 548-2050

**PLANNING:**  
PLANCOM, INC.  
SHELLY KILBOURN  
302 STATE PLACE  
ESCONDIDO, CA 92029  
(619) 208-4685

**SURVEYOR:**  
CALVADA SURVEYING  
411 JENKS CIRCLE, SUITE 205  
CORONA, CA 92880  
(951) 280-9960  
(951) 280-9746 (FAX)

**RF INFORMATION**

	LTE	GSM	UMTS
Tx	704.0 - 716.0 MHz	890.2 - 891.4 MHz 1950.0 - 1952.4 MHz	869.2 - 874.6 MHz 874.6 - 879.8 MHz 1945.0 - 1950.0 MHz 1970.0 - 1980.0 MHz
Rx	734.0 - 746.0 MHz	845.2 - 846.4 MHz 1870.0 - 1872.4 MHz	824.2 - 829.4 MHz 829.6 - 834.8 MHz 1865.0 - 1869.8 MHz 1890.2 - 1899.8 MHz
MAX EIRP:		700 MHz: 500 WATTS 850 MHz: 54 WATTS 1900 MHz: 54.5 WATTS	

**PROJECT SUMMARY**

**APPLICANT:** AT&T MOBILITY  
7337 TRADE STREET, 3 EAST, ROOM 3684  
SAN DIEGO, CA 92121-4202  
SITE CONTACT: DUFFY DAUGHERTY  
(925) 548-2050

**OWNER:** CITY OF SAN DIEGO  
202 C STREET  
SAN DIEGO, CA 92101

**JURISDICTION:** CITY OF SAN DIEGO

**PROJECT DESCRIPTION:**

- INSTALL AT&T MOBILITY INDOOR EQUIPMENT INSIDE A PROPOSED EQUIPMENT ROOM INSIDE A PROPOSED 49'-0" HIGH FAUX WATER TOWER
- INSTALL (12) AT&T MOBILITY PANEL ANTENNAS & (12) RRUS-11 UNITS INSIDE PROPOSED 49'-0" HIGH FAUX WATER TOWER WITH RF TRANSPARENT SCREENS
- INSTALL (2) GPS ANTENNAS MOUNTED TO EAVE OF PROPOSED WATER TOWER ROOF
- PROVIDE 200 AMP ELECTRICAL SERVICE FROM SDG&E TRANSFORMER ON MEADE AVENUE
- PROVIDE TELCO SERVICE FROM EXISTING TELCO PEDESTAL ON MEADE AVENUE
- INSTALL NEW SIDEWALK ON BOUNDARY STREET & (2) PEDESTRIAN RAMPS ON NORTHEAST CORNER OF BOUNDARY STREET & MEADE AVENUE
- LANDSCAPE & IRRIGATION INSTALLED ON NORTHEAST CORNER OF BOUNDARY STREET & MEADE AVENUE

**LEGAL DESCRIPTION:**  
PUBLIC STREET RIGHT-OF-WAY (NORTHEAST CORNER OF BOUNDARY STREET & MEADE AVENUE)

**PROJECT ADDRESS:** 4371-1/3 BOUNDARY ST. & MEADE AVE.  
SAN DIEGO, CA 92116

**ASSESSORS PARCEL NUMBER:** 446-122-10 (NEAREST)

**EXISTING ZONING:** MCCPD-MR-800B

**TOTAL SITE AREA:** N/A

**PROPOSED EQUIPMENT AREA:** 313 SQ. FT.

**TOWER AREA:** 189 SQ. FT.

**PROPOSED OCCUPANCY:** B

**CONSTRUCTION TYPE:** TYPE V-A

**SHEET SCHEDULE**

T-1	TITLE SHEET
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	EQUIPMENT & ROOF PLANS
A-4	ANTENNA PLAN & CSR PLAN
A-5	EXTERIOR ELEVATIONS
A-6	TOWER ELEVATION & DETAILS
L-1	LANDSCAPE DEVELOPMENT PLAN
L-2	LANDSCAPE DETAILS
LS-1	TOPOGRAPHIC SURVEY
LS-2	TOPOGRAPHIC SURVEY

**SCALE**

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

**APPLICABLE CODES**

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:  
CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION  
CALIFORNIA PLUMBING CODE, 2010 EDITION  
CALIFORNIA MECHANICAL CODE, 2010 EDITION  
CALIFORNIA ELECTRICAL CODE, 2010 EDITION  
CALIFORNIA FIRE CODE, 2010 EDITION  
CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

**BOOTH & SUAREZ**

ARCHITECTURE ■ INCORPORATED  
395 CARLSBAD VILLAGE DRIVE SUITE D9  
CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

**at&t**  
MOBILITY

7337 TRADE STREET, 3EAST, ROOM 3684  
SAN DIEGO, CA 92121-4202

**APPROVALS**

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME

**BOUNDARY STREET**

PROJECT NUMBER

**SD0772**

4371-1/3 BOUNDARY ST. & MEADE AVE.  
SAN DIEGO, CA 92116  
SAN DIEGO COUNTY

**DRAWING DATES**

05/31/11	DESIGN STUDY (ocp)
06/07/11	90% ZD (ocp)
06/13/11	FINAL ZD (ocp)
07/18/11	CITY COMMENTS (job)
11/10/11	REVISED FINAL ZD (ocp)
01/20/12	CITY COMMENTS #1 (job)
05/02/12	ZD REV. #1 (ocp)
05/23/12	ZD REV. #2 (job)
10/31/12	ZD REV. #3 CITY COMMENTS (r)
01/23/13	ZD REV. #4
01/29/13	ZD REV. #5 WATER TANK REV.
02/22/13	CPG DRM REVIEW (job)
02/27/13	ZD REV. #6 (job)
03/08/13	ZD REV. #7 (job)
03/15/13	ZD REV. #8 (job)
05/08/13	ZD REV. #9 (row)
05/20/13	NOTE REVISION (cl)

SHEET TITLE

**TITLE SHEET**

PROJECTS\AT&T\11091

**T-1**



**Booth & Suarez**  
 ARCHITECTURE INCORPORATED  
 325 CARLSBAD VILLAGE DRIVE SUITE 202  
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



7337 TRADE STREET, 3EAST, ROOM 3684  
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
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LANDLORD APPROVAL	DATE

PROJECT NAME

**BOUNDARY STREET**

PROJECT NUMBER

**SD0772**

4371-1/3 BOUNDARY ST. & MEADE AVE.  
 SAN DIEGO, CA 92116  
 SAN DIEGO COUNTY

DRAWING DATES

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01/29/13	ZD REV. #5 WATER TANK REV.
02/22/13	CPG DRM REVIEW (job)
02/27/13	ZD REV. #6 (job)
03/08/13	ZD REV. #7 (job)
03/15/13	ZD REV. #8 (job)
05/08/13	ZD REV. #9 (raw)
05/20/13	NOTE REVISION (cl)

SHEET TITLE

**SITE PLAN**

PROJECTS\AT&T\11091

**A-1**

CITY ENGINEERING NOTES:

- NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT
- AT&T MOBILITY SHALL OBTAIN A NONEXCLUSIVE RIGHT-OF-WAY USE AGREEMENT FROM THE CITY OF SAN DIEGO FOR THE PROPOSED WORK IN THE MEADE AVENUE, BOUNDARY STREET & IOWA STREET RIGHT-OF-WAY
- AT&T MOBILITY SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR THE PROPOSED WORK IN THE MEADE AVENUE, BOUNDARY STREET & IOWA STREET RIGHT-OF-WAY
- AT&T MOBILITY SHALL OBTAIN A PUBLIC RIGHT-OF-WAY PERMIT FOR TRAFFIC CONTROL PRIOR TO ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY TO THE SATISFACTION OF THE CITY ENGINEER
- AT&T MOBILITY SHALL PROTECT ANY CITY PROPERTY REMOVED AS PART OF THE PROJECT AND RETURN SAID PROPERTY TO THE SATISFACTION OF THE CITY ENGINEER
- AT&T MOBILITY SHALL PROVIDE A PUBLIC IMPROVEMENT PLAN INCLUDING A TRAFFIC CONTROL PLAN TO THE SATISFACTION OF THE CITY ENGINEER
- AT&T MOBILITY SHALL PROVIDE AND MAINTAIN A TELEPHONE CONTACT NUMBER AVAILABLE 24 HOURS / 7 DAYS A WEEK CLEARLY POSTED ON THE SHELTER TO ALLOW CITY STAFF TO IMMEDIATELY CONTACT THE SYSTEM PROVIDER TO THE SATISFACTION OF THE CITY ENGINEER
- AT&T MOBILITY SHALL INSTALL AND MAINTAIN A SEPARATE POWER METER FOR THE PROJECT TO THE SATISFACTION OF THE CITY ENGINEER
- AT&T MOBILITY SHALL INFORM THE CITY AND THE CITY AGREES TO INFORM AT&T MOBILITY IN THE EVENT OF A KNOCK OVER, TO THE SATISFACTION OF THE CITY ENGINEER
- AT&T MOBILITY SHALL INFORM THE CITY AND THE CITY AGREES TO INFORM AT&T MOBILITY IN THE EVENT OF A KNOCK OVER, TO THE SATISFACTION OF THE CITY ENGINEER
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE CITY OF SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS COMMITTEE
- ALL EXCAVATED MATERIAL NOTED TO BE EXPORTED SHALL BE EXPORTED TO A LEGAL DISPOSAL SITE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE "GREEN" BOOK), 2009 EDITION AND REGIONAL SUPPLEMENT AMENDMENTS ADOPTED BY REGIONAL STANDARDS COMMITTEE
- THE DRAINAGE SYSTEM PROPOSED FOR THIS PROJECT IS PRIVATE AND SUBJECT TO APPROVAL BY THE CITY ENGINEER
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, AT&T MOBILITY SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER
- ANY PARTY WHOM FEES, DEDICATIONS, RESERVATIONS, OR OTHER EXACTIONS HAVE BEEN IMPOSED AS CONDITIONS OF APPROVAL OF THIS DEVELOPMENT PERMIT, MAY PROTEST THE IMPOSITION WITHIN 90 DAYS OF THE APPROVAL OF THIS DEVELOPMENT PERMIT BY FILING A WRITTEN PROTEST WITH THE CITY CLERK PURSUANT TO CALIFORNIA GOVERNMENT CODE 66020.

**Lessee's Certificate**  
**Standard Wireless Facility Project**  
**for Post-construction BMP's**

I, we the undersigned, as lessee of a portion of the property described as  
 4371-1/3 BOUNDARY STREET & MEADE AVENUE  
 (Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMP's.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

Sediments  
 Nutrients  
 Trash & debris  
 Oxygen Demanding Substance  
 Oil & Grease  
 Bacteria & Viruses  
 Pesticides

I/We will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

I/We will maintain the above Standard Permanent BMP's for the duration of the lease.

At&T Mobility - Kevin Mochel, Development Mgr.  
 Lessee (print name) Company Name At&T Mobility

Lessee (signature) Date 3/17/08

**STORM WATER QUALITY NOTES**  
**CONSTRUCTION BMP'S**

NOTES 1-7 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S.

- THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.
- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOIL MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE CREATED OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

**A. Site Management Requirements**

Construction is a dynamic operation where change is expected. Storm water BMP's for construction sites are usually temporary measures that require frequent maintenance to maintain their effectiveness and may require relocation, revision and re-implementation, particularly as project grading progresses. Therefore, owner/contractor self-inspections are required. They shall be performed by the owner/contractor's Qualified Contact Person specifically trained in storm water pollution prevention site management and storm water BMP's, including the installation and maintenance of sediment and erosion control measures. Additional qualified persons may assist with the inspection activities under the direction of the Qualified Contact Person. A Qualified Contact Person is required for all sites during both wet and dry weather conditions.

There are four primary purposes of the self-inspections conducted by owners and contractors:

- To ensure that the owner/contractor takes full responsibility for managing storm water pollution caused by their activities.
- To ensure that storm water BMP's are properly documented and implemented and are functioning effectively.
- To identify maintenance (e.g., sediment removal) and repair needs.
- To ensure that the project proponents implement their storm water management plans.

A self-inspection checklist, noting date, time, conditions and inspection date, must be kept on-site and made available for inspection, if requested (note: the State General Construction Permit has additional inspection requirements that must be met to comply with the permit). Self-inspections must be performed by a Qualified Contact Person according to the following schedule:

- Daily forecasting at all times
- At 24-hour intervals during extended rainfall events
- Daily evaluations as earth moving/grading is being conducted during the wet season
- Weekly (every 7 days) in the dry season as earth moving/grading is progressing

Storm water pollution prevention site management requirements include:

- A qualified person who is trained and competent in the use of BMP's shall be on site daily, although not necessarily full time, to evaluate the conditions of the site with respect to storm water pollution prevention. This qualified contact person shall represent the contractor/owner on storm water issues.
- The qualified person shall implement the conditions of the Storm Water Pollution Prevention Plan, contract documents and/or local ordinances with respect to erosion and sediment control and other waste management regulations.
- The qualified person is responsible for monitoring the weather and implementation of any emergency plans as needed. The weather shall be monitored on a 5-day forecast plan and a full BMP protection plan shall be activated when there is a 40% or greater chance of rain.
- The qualified person is responsible for overseeing any site grading and operations and evaluating the effectiveness of the BMP's. This person shall modify the BMP's as necessary to keep the dynamics of the site in compliance. This person or other qualified persons are responsible for checking the BMP's routinely for maintenance and documenting the BMP's being implemented.

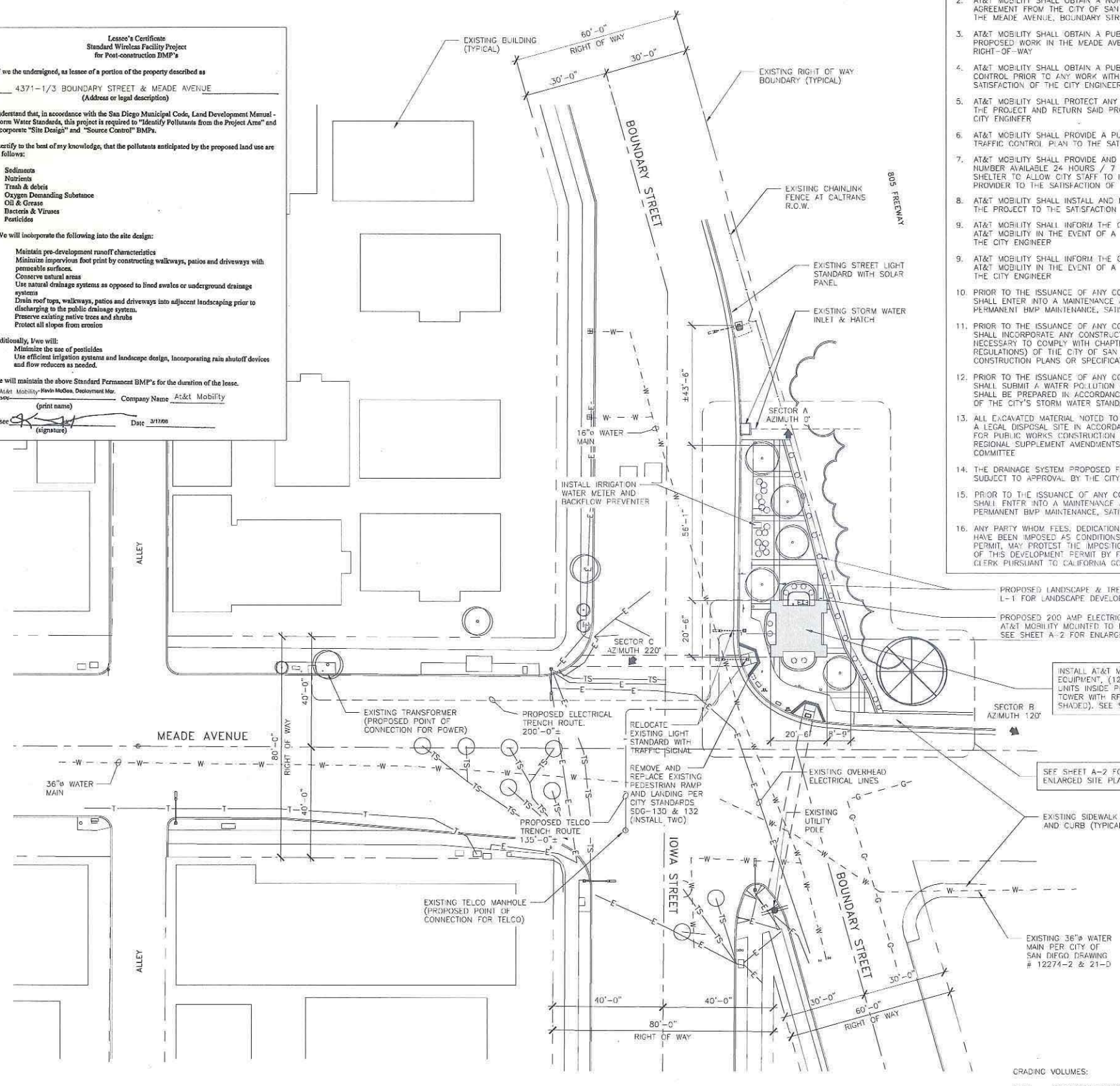
**UTILITY LEGEND:**

- W — EXISTING WATER LINE
- G — EXISTING GAS LINE
- E — EXISTING OVERHEAD ELECTRICAL LINE
- T — EXISTING TRAFFIC SIGNAL
- T — EXISTING TELEPHONE LINE

ALL UTILITIES LOCATED BASED ON UNDERGROUND UTILITY MARK-OUT SURVEY & CITY OF SAN DIEGO ARCHIVE RESEARCH.

REFERENCE DRAWINGS:  
 #12274-2-D  
 #12274-21-D  
 #10736-2-D  
 #25087-15-D

**SITE PLAN**  
 SCALE: 1" = 20'-0"



**GRADING VOLUMES:**

CUT:	ENCLOSURE FOOTING:	6.00 CU. YDS
	TOWER FOOTINGS:	17.00 CU. YDS
	CABLE TRENCH:	9.00 CU. YDS
	UTILITY TRENCH:	32.00 CU. YDS
TOTAL:		64.00 CU. YDS
FILL:	TRENCHES:	18.00 CU. YDS
EXPORT:		46 CU. YDS

SEE CITY ENGINEERING NOTES, NOTE 13 (ABOVE)

**BOUNDARY NOTE:**  
 THE BOUNDARIES ADJACENT TO THIS PROJECT THAT ARE SHOWN ON THIS DRAWING ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY. A BOUNDARY SURVEY WAS NOT PERFORMED





PREPARED FOR



7337 TRADE STREET, 3EAST, ROOM 3684  
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME

**BOUNDARY STREET**

PROJECT NUMBER

**SD0772**

4371-1/3 BOUNDARY ST. & MEADE AVE.  
 SAN DIEGO, CA 92116  
 SAN DIEGO COUNTY

DRAWING DATES

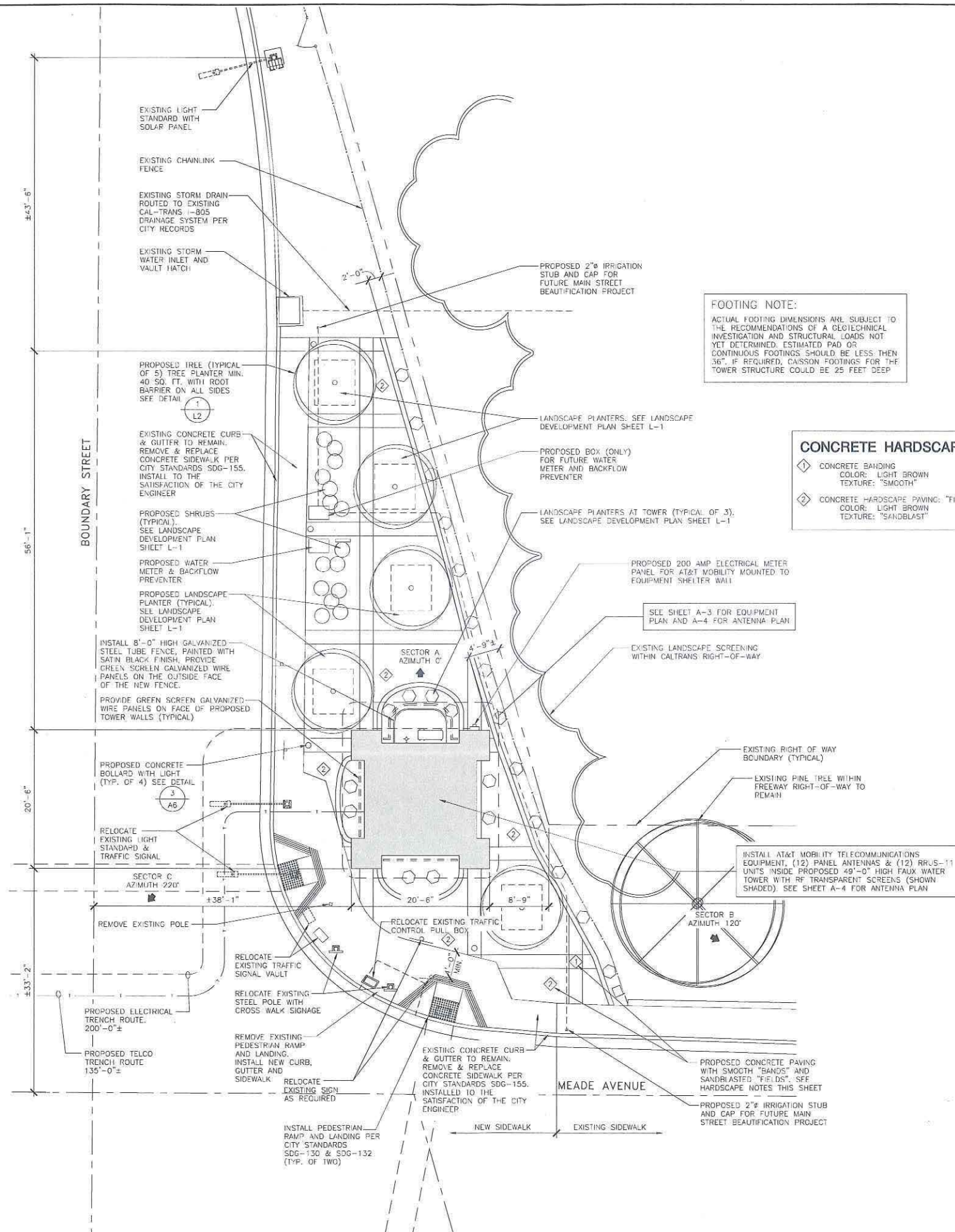
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06/07/11	90% ZD (accp)
06/13/11	FINAL ZD (accp)
07/18/11	CITY COMMENTS (job)
11/10/11	REVISED FINAL ZD (accp)
01/20/12	CITY COMMENTS #1 (job)
05/02/12	ZD REV. #1 (accp)
05/23/12	ZD REV. #2 (job)
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01/29/13	ZD REV. #5 WATER TANK REV.
02/22/13	CPG DRM REVIEW (job)
02/27/13	ZD REV. #6 (job)
03/08/13	ZD REV. #7 (job)
03/15/13	ZD REV. #8 (job)
05/08/13	ZD REV. #9 (rew)
05/20/13	NOTE REVISION (c)

SHEET TITLE

**ENLARGED SITE PLAN**

PROJECTS\AT&T\11091

**A-2**



**ENLARGED SITE PLAN**

SCALE: 1/8" = 1'-0"





**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 305 CARLSBAD VILLAGE DRIVE, SUITE D0  
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



7337 TRADE STREET, 3EAST, ROOM 3684  
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME

**BOUNDARY STREET**

PROJECT NUMBER

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4371-1/3 BOUNDARY ST. & MEADE AVE.  
 SAN DIEGO, CA 92116  
 SAN DIEGO COUNTY

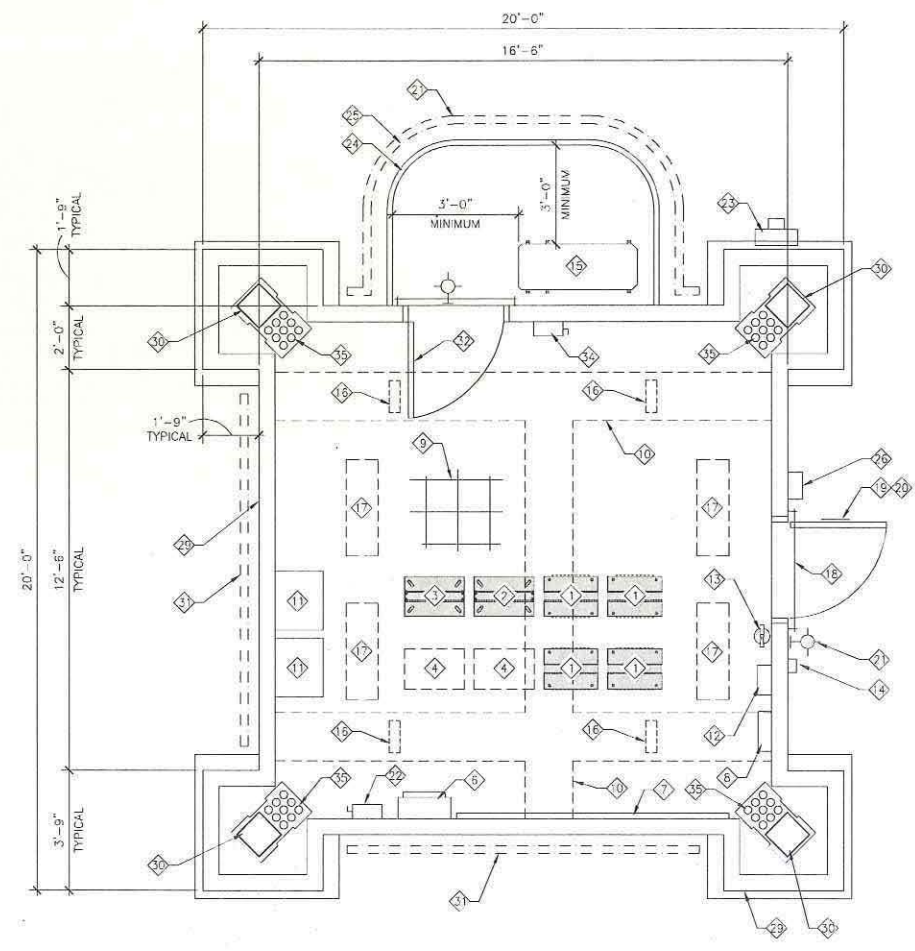
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05/08/13	ZD REV. #9 (rev)
05/20/13	NOTE REVISION (ci)

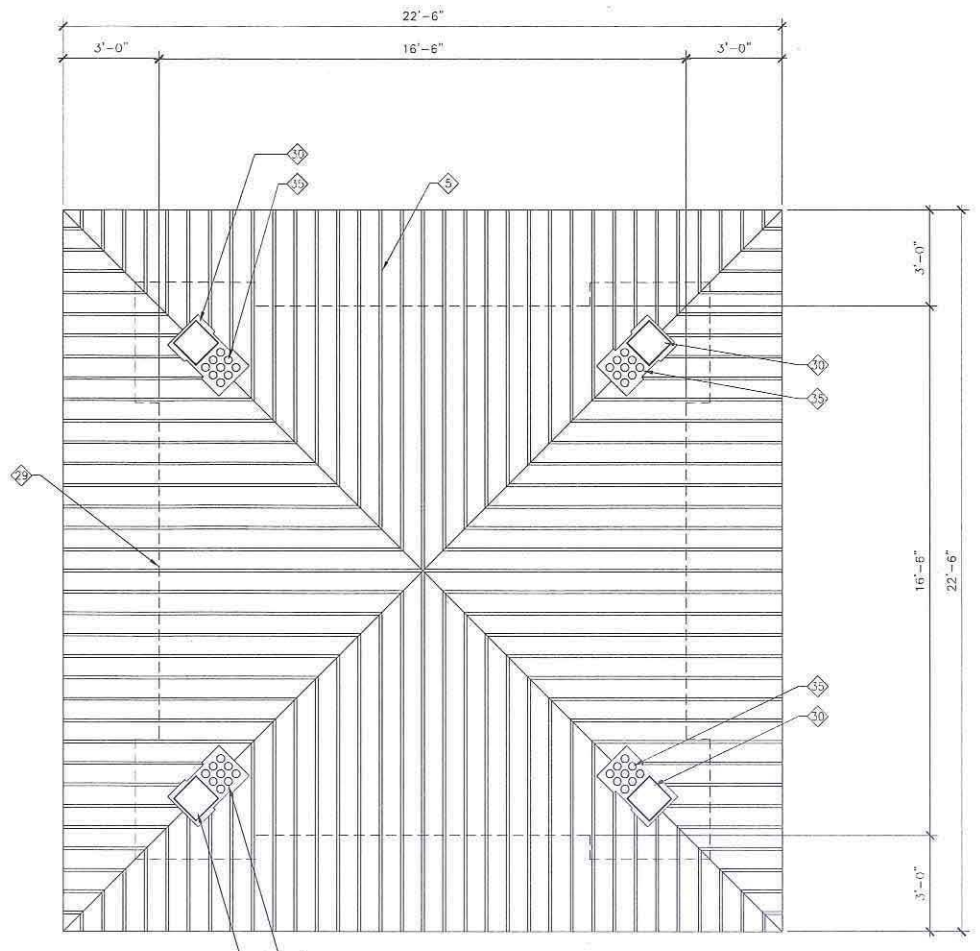
SHEET TITLE  
**EQUIPMENT & ROOF PLANS**

PROJECTS\AT&T\11091

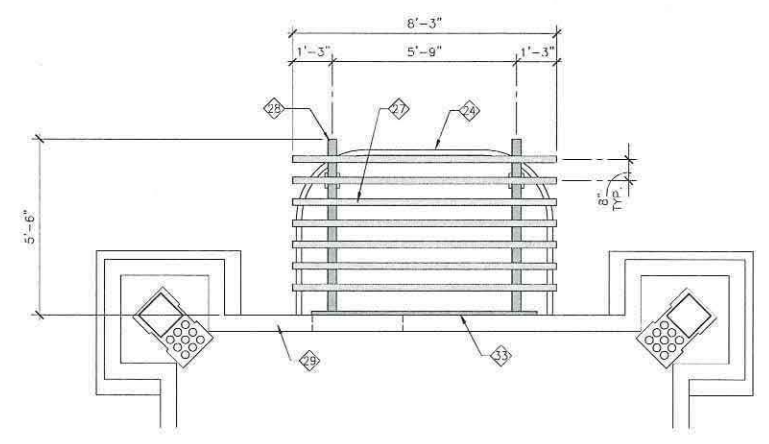
**A-3**



**EQUIPMENT PLAN**  
 SCALE: 3/8" = 1'-0"



**ROOF PLAN**  
 SCALE: 3/8" = 1'-0"



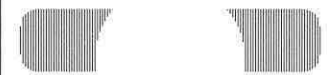
**TRELLIS PLAN**  
 SCALE: 3/8" = 1'-0"

**EQUIPMENT & ROOF PLAN NOTES:**

- 1. PROPOSED AT&T MOBILITY 19" RACK (TYPICAL OF 4). WEIGHT: 500 LBS. EACH, INSTALLED BY CONTRACTOR.
- 2. PROPOSED AT&T MOBILITY ARCUS/ALPHA POWER SYSTEM RACK (TYPICAL OF 1) (MAXIMUM OF 12 BATTERIES). 22.5" WIDE x 21" DEEP x 84" HIGH. WEIGHT: 2400 LBS. EACH, INSTALLED BY CONTRACTOR.
- 3. PROPOSED AT&T MOBILITY ARCUS/ALPHA EXPANSION BATTERY RACK (TYPICAL OF 1) (MAXIMUM OF 24 BATTERIES EACH). 22.5" WIDE x 21" DEEP x 84" HIGH. WEIGHT: 3000 LBS. EACH, INSTALLED BY CONTRACTOR.
- 4. FUTURE EQUIPMENT RACK (SHOWN DASHED). WEIGHT: 507 LBS.
- 5. PROPOSED STANDING SEAM METAL ROOF.
- 6. PROPOSED "INTERSECT, INC." MP SERIES 200AMP POWER DISTRIBUTION (LOAD CENTER WITH MANUAL TRANSFER SWITCH MOUNTED TO WALL (20" WIDE x 10" DEEP x 40" HIGH) WEIGHT: 90 LBS.
- 7. PROPOSED 84" x 48" x 3/4" WALL MOUNTED PLYWOOD TELCO BOARD.
- 8. PROPOSED WALL MOUNTED ALARM BLOCK.
- 9. PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES. EXCELON #51826 SHELTER WHITE WITH 4" COVE BASE.
- 10. PROPOSED OVERHEAD 18" CABLE LADDER @ ±9'-0" (SHOWN DASHED).
- 11. PROPOSED FAN COIL UNIT.
- 12. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL "DRANGER" MODEL'S 5M582 AND 6T401 WALL MOUNTED FIRST AID KIT WITH BLOOD BORNE PATHOGEN KIT AND PLASTIC SAFETY BIN WITH EMERGENCY EYEWASH STATION.
- 13. GENERAL CONTRACTOR SHALL PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "2A-10BC" FIRE EXTINGUISHER IN ACCORDANCE WITH FIRE DEPARTMENT REQUIREMENTS.
- 14. PROPOSED "TRACCESS" LOCKBOX SHALL BE PROVIDED BY AT&T MOBILITY FOR INSTALLATION BY GENERAL CONTRACTOR.
- 15. PROPOSED (2) OUTDOOR CONDENSER UNITS (CARRIER 38HD060) (DECIBALS: 72 (B)) MOUNTED ON STACKING RACK ON NEW CONCRETE PAD.
- 16. PROPOSED MASTER GROUND BUSS BAR (SHOWN DASHED) MOUNTED TO CEILING ADJACENT TO PROPOSED CABLE HATCH (TYPICAL OF 4).
- 17. PROPOSED SURFACE MOUNTED 1' x 4' FLUORESCENT LIGHT FIXTURE (TYPICAL OF 6).
- 18. PROPOSED ALUMINUM THRESHOLD.
- 19. PROPOSED 3'-0" WIDE x 6'-8" HIGH STEEL DOOR AND FRAME WITH AT&T MOBILITY SIGNAGE.
- 20. PROPOSED BATTERY "CAUTION" SIGN ON DOOR.
- 21. PROPOSED WALL MOUNTED EXTERIOR LIGHT FIXTURE (TYPICAL OF 2).
- 22. PROPOSED FUSED DISCONNECT MOUNTED TO INSIDE FACE OF WALL.
- 23. PROPOSED 200 AMP ELECTRICAL METER PANEL MOUNTED TO PROPOSED TOWER WALL.
- 24. PROPOSED 8'-0" HIGH GALVANIZED TUBE STEEL FENCE ENCLOSURE AROUND MECHANICAL EQUIPMENT.
- 25. PROPOSED GREEN SCREEN GALVANIZED WIRE MESH PANELS ON OUTSIDE FACE OF NEW GALVANIZED TUBE STEEL FENCE.
- 26. PROPOSED LUG BOX FOR PORTABLE EMERGENCY GENERATOR CONNECTION (NO PERMANENT ON-SITE GENERATOR IS PROPOSED).
- 27. PROPOSED GALVANIZED 2x4 TUBE STEEL TRELLIS.
- 28. PROPOSED GALVANIZED 4x6 STEEL TUBE BEAM.
- 29. PROPOSED EXTERIOR WALL.
- 30. PROPOSED STRUCTURAL STEEL COLUMN (TYPICAL OF 4).
- 31. PROPOSED GREEN SCREEN GALVANIZED WIRE MESH PANELS ON FACE OF PROPOSED TOWER WALLS.
- 32. PROPOSED 3'-0" WIDE x 6'-8" HIGH STEEL DOOR AND FRAME AT MECHANICAL ENCLOSURE.
- 33. PROPOSED GALVANIZED STEEL LEDGER AT SHELTER WALL.
- 34. PROPOSED FUSED DISCONNECT FOR MECHANICAL EQUIPMENT MOUNTED TO INSIDE FACE OF WALL.
- 35. PROPOSED COAXIAL CABLE CHASE ADJACENT TO PROPOSED STEEL COLUMNS (TYPICAL OF 4).



**Booth & Suarez**  
 ARCHITECTURE ■ INCORPORATED  
 355 CARLSBAD VILLAGE DRIVE, SUITE 09  
 CARLSBAD, CA 92008 (760) 434-6474



PREPARED FOR



7337 TRADE STREET, 3EAST, ROOM 3684  
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME

**BOUNDARY STREET**

PROJECT NUMBER  
**SD0772**

4371-1/3 BOUNDARY ST. & MEADE AVE.  
 SAN DIEGO, CA 92116  
 SAN DIEGO COUNTY

DRAWING DATES

05/31/11	DESIGN STUDY (accp)
06/07/11	90% ZD (accp)
06/13/11	FINAL ZD (accp)
07/18/11	CITY COMMENTS (job)
11/10/11	REVISED FINAL ZD (accp)
01/20/12	CITY COMMENTS #1 (job)
05/02/12	ZD REV. #1 (accp)
05/23/12	ZD REV. #2 (job)
10/31/12	ZD REV. #3 CITY COMMENTS (ri)
01/23/13	ZD REV. #4
01/29/13	ZD REV. #5 WATER TANK REV.
02/22/13	CPG DRM REVIEW (job)
02/27/13	ZD REV. #6 (job)
03/08/13	ZD REV. #7 (job)
03/15/13	ZD REV. #8 (job)
05/08/13	ZD REV. #9 (rew.)
05/20/13	NOTE REVISION (ci)

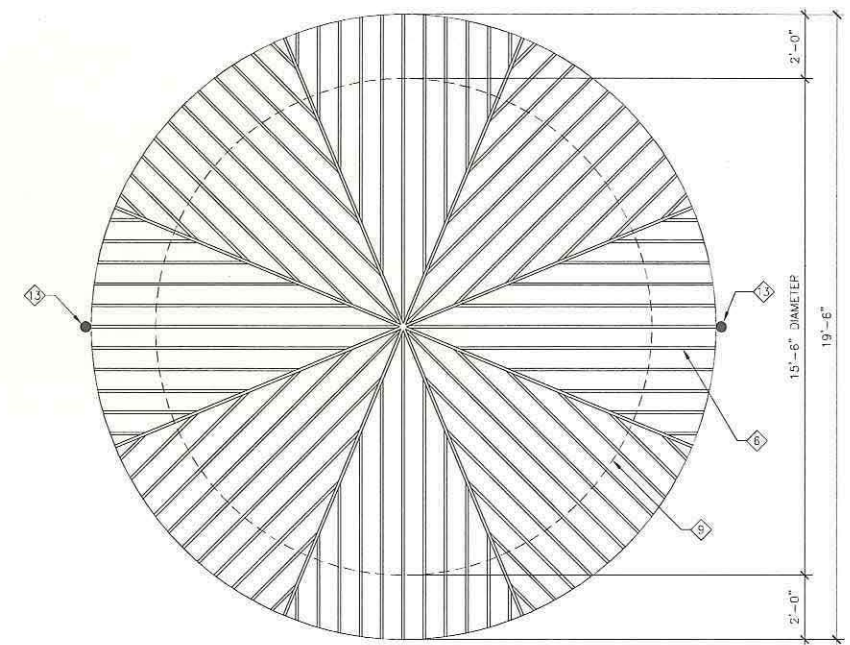
SHEET TITLE  
**ANTENNA PLAN  
 &  
 CSRF PLAN**

PROJECTS\AT&T\11091

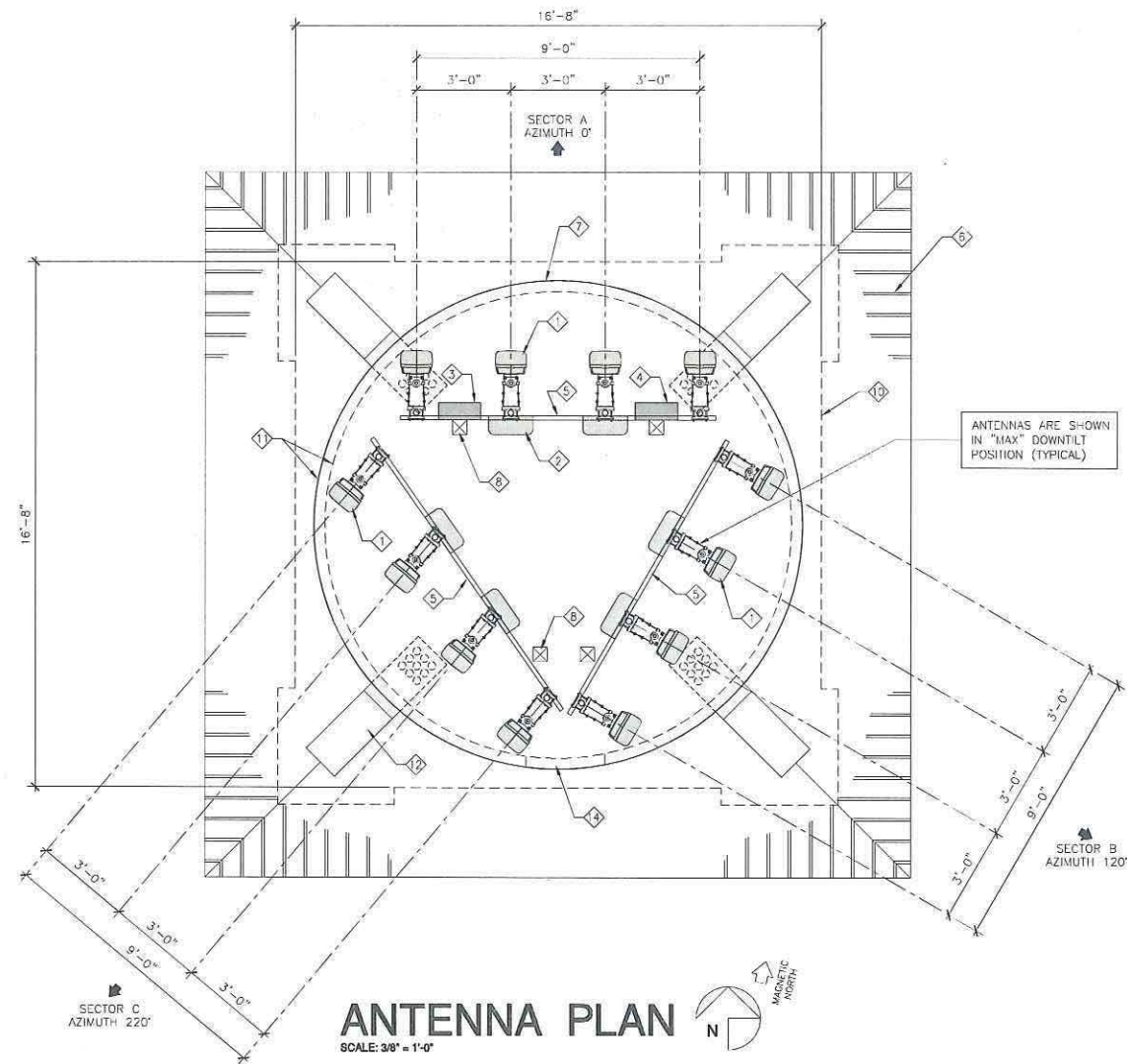
**A-4**

ANTENNA AND COAXIAL CABLE SCHEDULE													
SECTOR ANTENNA	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER	RRUS-11	DOWN TILT	SKEW ANGLE	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+/- 5')	EQUIPMENT JUMPER LENGTH (+/- 3')	CSRF JUMPER LENGTH (+/- 3')	ANTENNA JUMPER LENGTH (+/- 3')	COAX SIZE
A1			LTE - ERICSSON AIR-21										
A2	SOUTHEAST	0°	UMTS - ERICSSON AIR-21	(4)	5°	N/A		8	65'-0"	10'-0"	15'-0"	6'-0"	7/8" / FIBER
A3			UMTS - ERICSSON AIR-21										
A4			LTE - ERICSSON AIR-21										
B1			LTE - ERICSSON AIR-21										
B2	SOUTHWEST	120°	UMTS - ERICSSON AIR-21	(4)	5°	N/A		8	65'-0"	10'-0"	15'-0"	6'-0"	7/8" / FIBER
B3			UMTS - ERICSSON AIR-21										
B4			LTE - ERICSSON AIR-21										
C1			LTE - ERICSSON AIR-21										
C2	NORTHWEST	220°	UMTS - ERICSSON AIR-21	(4)	5°	N/A		8	65'-0"	10'-0"	16'-0"	6'-0"	7/8" / FIBER
C3			UMTS - ERICSSON AIR-21										
C4			LTE - ERICSSON AIR-21										
NEW GPS			SYMMETRICOM 58532A GPS L1					2	85'-0"	-	-	-	1/2"
NEW GPS			SYMMETRICOM 58532A GPS L1					2	85'-0"	-	-	-	1/2"

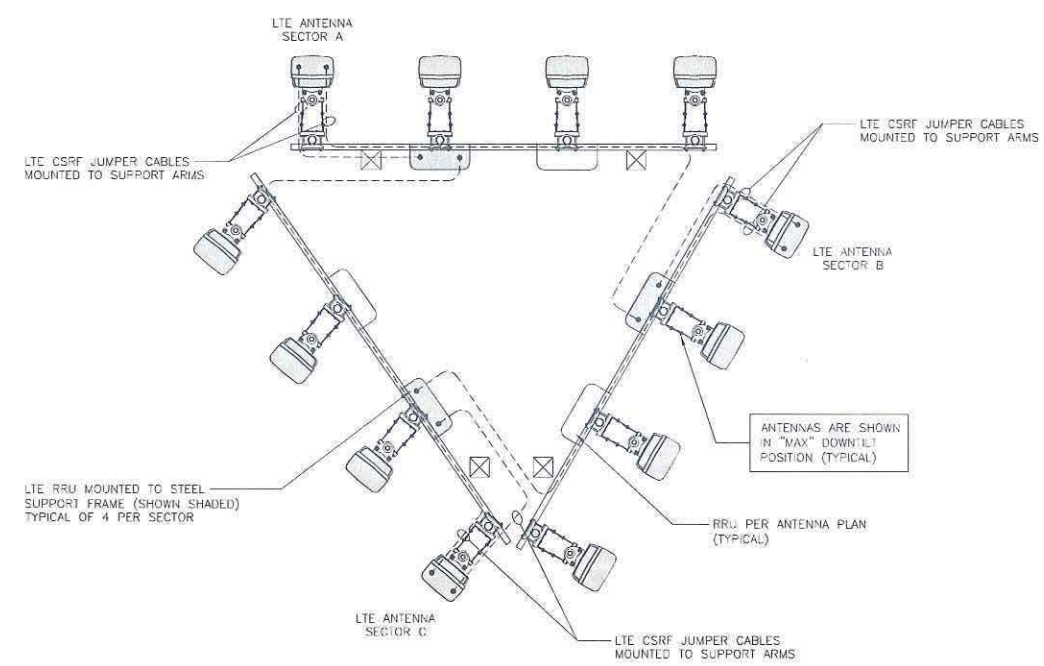
- NOTES:
- LTE ANTENNAS RRU UNITS TO INCLUDE CROSS SECTOR REDUNDANCY FEATURE PER DETAIL (7/A6) & CSRF PLAN ON THIS SHEET
  - ANTENNAS: ERICSSON AIR-21 ANTENNAS: 96" LONG x 12" WIDE x 9" DEEP. WEIGHT: 84.0 LBS (INCLUDE ONE INTEGRAL RRU UNIT)
  - FIELD VERIFY ALL CABLE LENGTHS PRIOR TO ORDERING CABLE
  - VERIFY ROUTE AND LENGTH OF CABLE PRIOR TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR EXISTING OBSTRUCTIONS AND MAINTAIN REQUIRED CLEARANCE OF EXISTING EQUIPMENT.



**FAUX TANK ROOF PLAN**  
 SCALE: 3/8" = 1'-0"



**ANTENNA PLAN**  
 SCALE: 3/8" = 1'-0"



**CSRF PLAN**  
 SCALE: 1/2" = 1'-0"

**KEYED NOTES:**

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>1 PROPOSED 8'-0" AT&amp;T MOBILITY PANEL ANTENNA (SHOWN SHADED) MOUNTED TO PROPOSED STEEL SUPPORT FRAME (TYPICAL OF 12)<br/>NOTE: ANTENNAS SHOWN WITH 5° DOWN TILT IN PLAN VIEW</li> <li>2 PROPOSED (2) AT&amp;T MOBILITY RRUS UNITS (STACKED TWO HIGH) (SHOWN SHADED) MOUNTED TO PROPOSED STEEL SUPPORT FRAME (4 PER SECTOR)</li> <li>3 PROPOSED (3) FC-12 DISTRIBUTION BOXES (STACKED TWO HIGH) (SHOWN SHADED) MOUNTED TO PROPOSED STEEL SUPPORT FRAME</li> <li>4 PROPOSED (2) FC-12 DISTRIBUTION BOXES (STACKED TWO HIGH) (SHOWN SHADED) MOUNTED TO PROPOSED UNISTRUT SUPPORT FRAME</li> <li>5 PROPOSED STEEL ANTENNA SUPPORT FRAME</li> <li>6 PROPOSED FRP ROOF, FAUX STANDING SEAM ROOF ASSEMBLY</li> <li>7 PROPOSED 49'-0" HIGH FAUX WATER TOWER</li> <li>8 PROPOSED ROOF SUPPORT COLUMN (TYPICAL OF 4)</li> </ul> | <ul style="list-style-type: none"> <li>9 OUTLINE OF FAUX TANK BELOW (SHOWN DASHED)</li> <li>10 OUTLINE OF EXTERIOR WALL BELOW (SHOWN DASHED)</li> <li>11 PROPOSED RF TRANSPARENT SCREEN (SHOWN SHADED) (TYPICAL)</li> <li>12 PROPOSED TOWER SUPPORT COLUMN BELOW (TYPICAL OF 4)</li> <li>13 PROPOSED GPS ANTENNA MOUNTED TO EAVE OF FAUX WATER TANK ROOF ABOVE (TYPICAL OF 2) (MINIMUM 10'-0" SEPARATION) SEE DETAIL (2/A6)</li> <li>14 PROPOSED REMOVABLE OR HINGED SERVICE ACCESS PANEL</li> </ul> |
|---|--|



**Booth & Suarez**  
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 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
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LANDLORD APPROVAL	DATE

PROJECT NAME

**BOUNDARY STREET**

PROJECT NUMBER

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 SAN DIEGO, CA 92116  
 SAN DIEGO COUNTY

DRAWING DATES

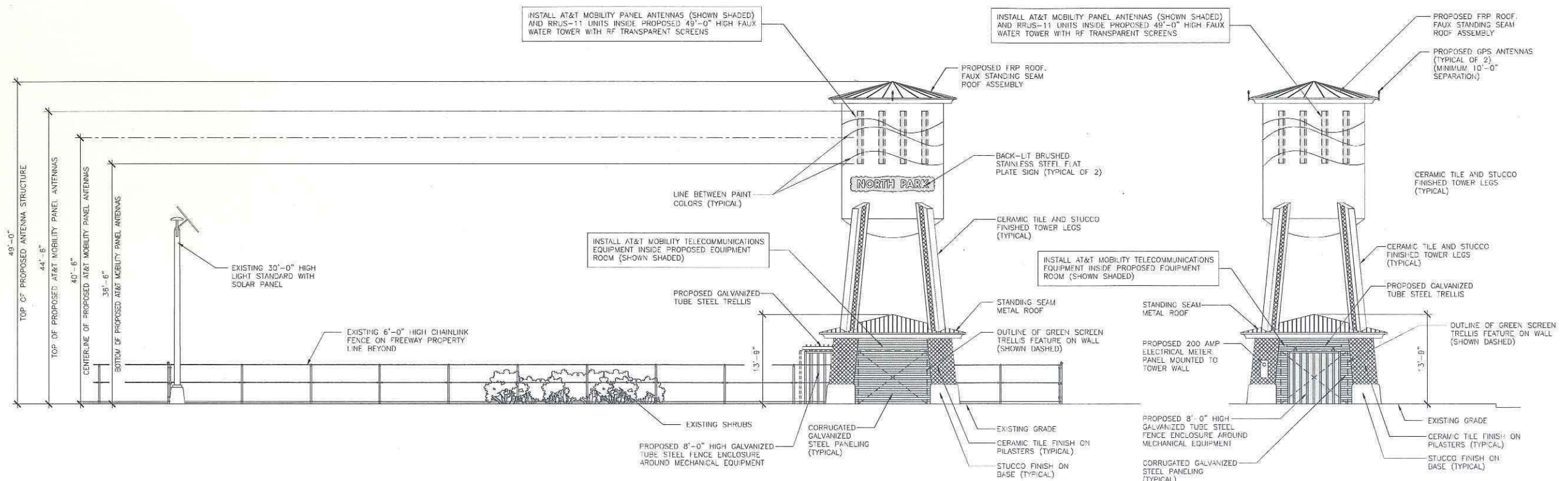
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06/07/11	90% ZD (ocp)
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02/27/13	CPG DRW REVIEW (job)
02/27/13	ZD REV. #6 (job)
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03/15/13	ZD REV. #8 (job)
05/08/13	ZD REV. #9 (rew)
05/20/13	NOTE REVISION (ci)

SHEET TITLE

**EXTERIOR ELEVATIONS**

PROJECTS\AT&T\11091

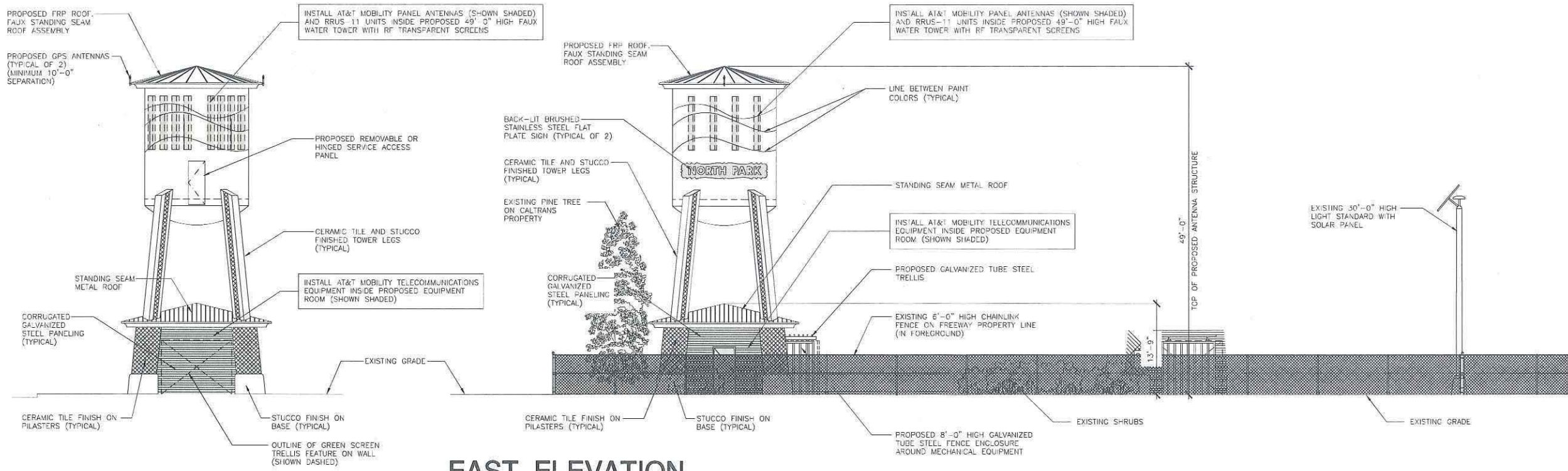
**A-5**



**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

NOTE:  
 PROPOSED LANDSCAPING NOT SHOWN  
 IN THESE ELEVATIONS FOR CLARITY



**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**BOOTH & SUAREZ**  
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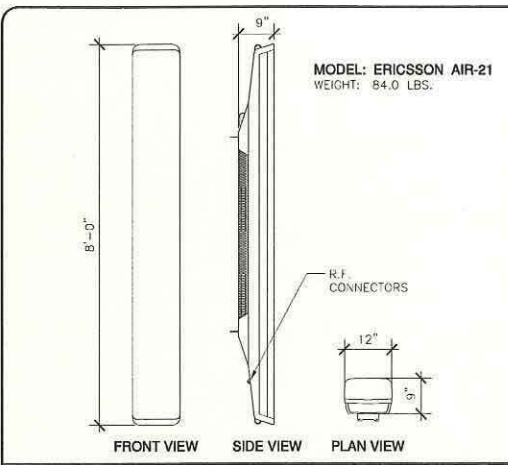
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05/20/13	NOTE REVISION (el)

SHEET TITLE

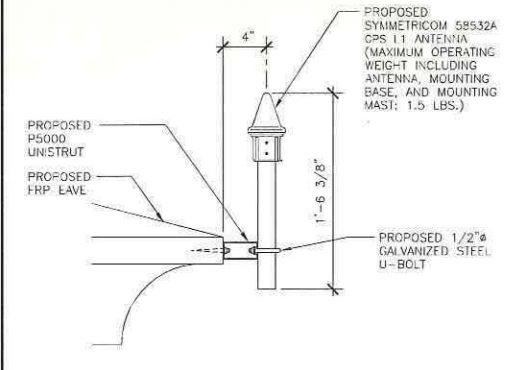
**TOWER ELEVATION  
&  
DETAILS**

PROJECTS\AT&T\11091

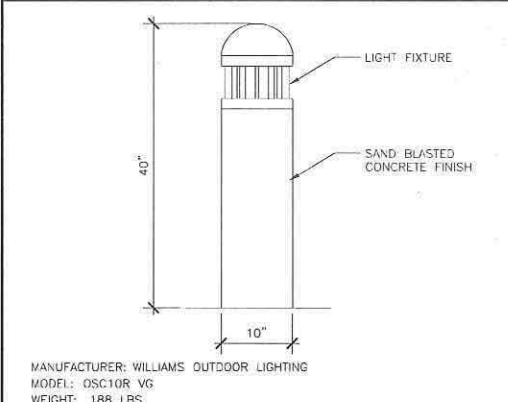
**A-6**



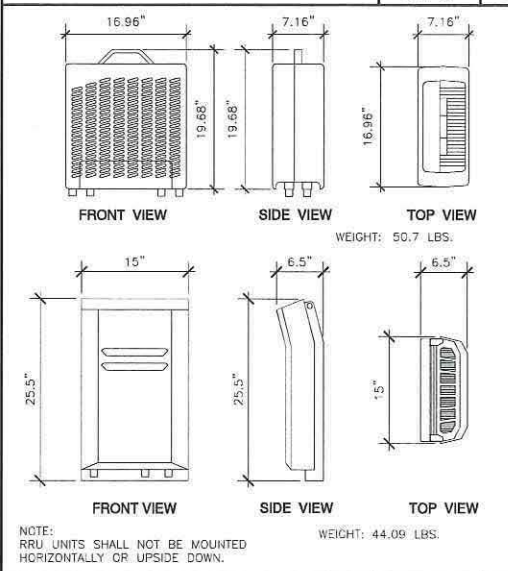
PROPOSED ERICSSON ANTENNA SCALE: NONE 1



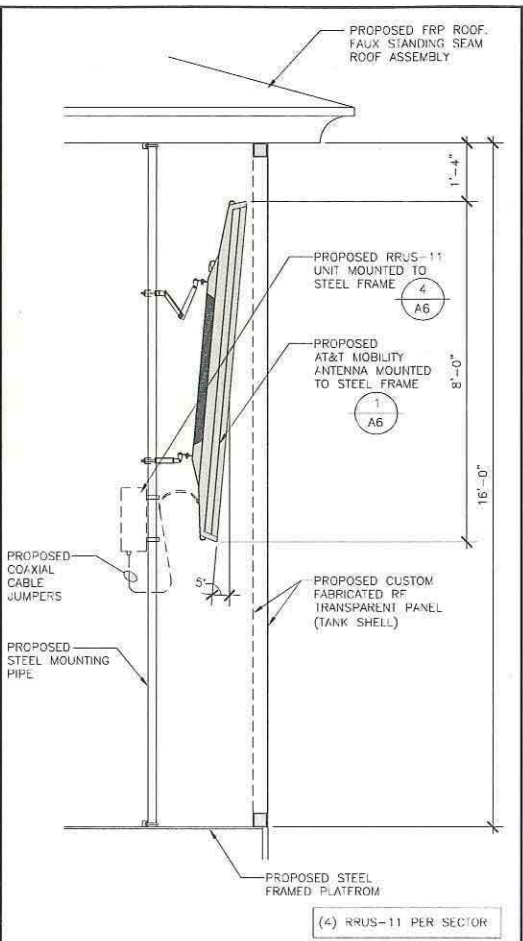
GPS ANTENNA MOUNTING SCALE: 1/2"=1'-0" 2



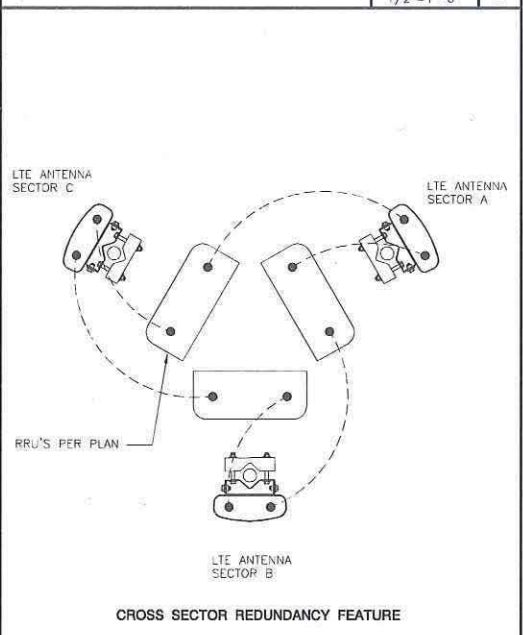
CONCRETE BOLLARD SCALE: 1"=1'-0" 3



REMOTE RADIO UNIT (RRU-11) SCALE: N.T.S. 4



ANTENNA & RRUS-11 MOUNTING SCALE: 1/2"=1'-0" 5

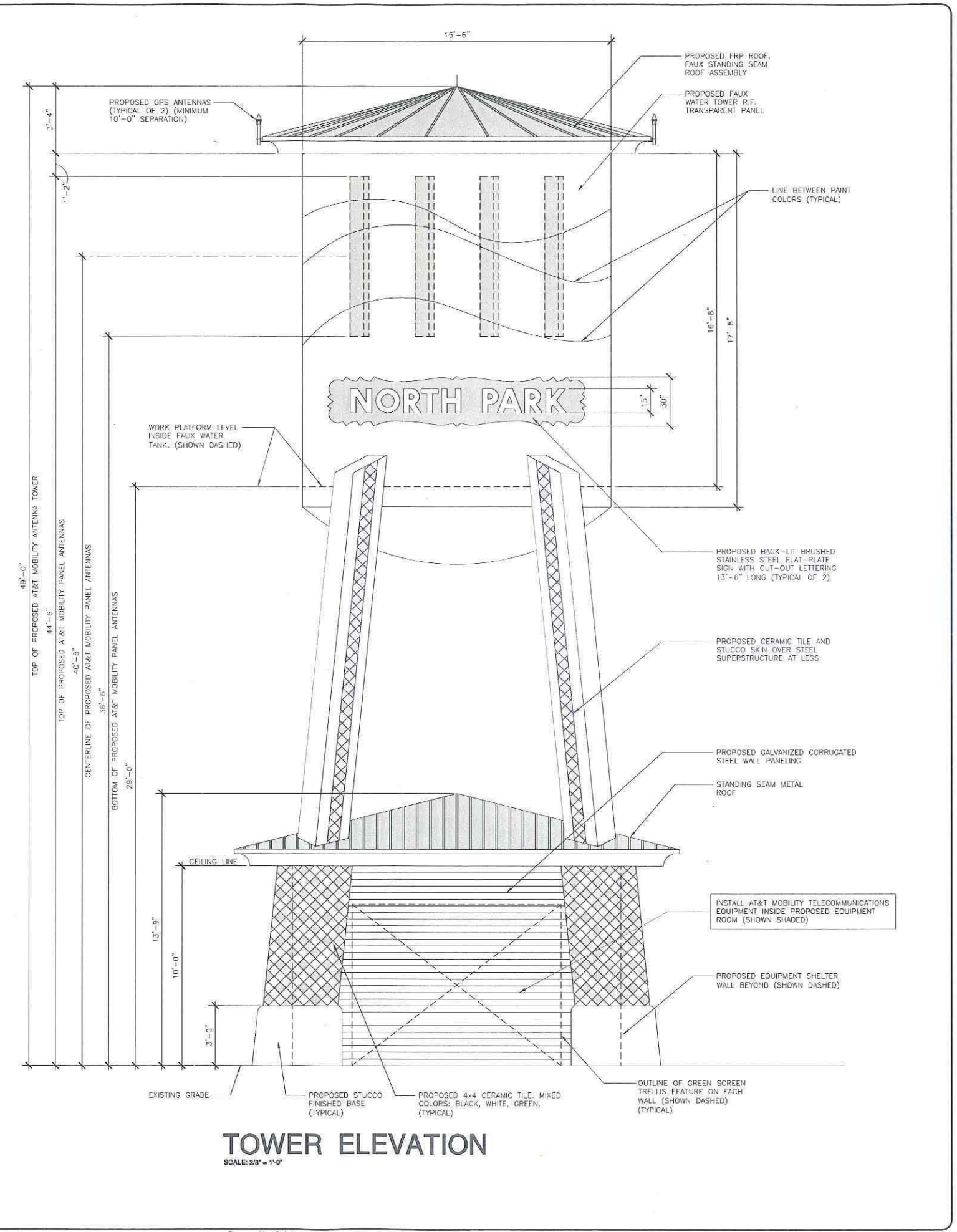


LTE SITE - RADIO HEAD CONFIGURATION SCALE: N.T.S. 7

NOTE:  
 CROSS SECTOR REDUNDANCY FEATURE, ONE RF OUTPUT FROM EACH SECTOR'S RADIO HEAD CONNECTS TO A DIFFERENT SECTOR'S ANTENNA INPUT, WHILE THE OTHER RF OUTPUT CONNECTS TO ITS OWN SECTOR'S ANTENNA INPUT VIA RF JUMPER

1. ALL RF CABLE LENGTHS ARE WITHIN 9FT. OF EACH OTHER ACROSS ALL SECTORS. FOR EXAMPLE, SECTOR A'S SHORTEST JUMPER IS 6 FT; THEREFORE SECTOR C'S LONGEST JUMPER CAN BE NO MORE THAN 15FT. LONG

2. ALL RF CABLE JUMPERS MUST USE PRE-MADE JUMPERS WITH PRE-INSTALLED CONNECTORS ON BOTH ENDS, AS PER RF AND CTO BEST PRACTICES AND GUIDELINES. USE ONLY LDF OR LCF12 JUMPERS FROM APPROVED RF JUMPER CABLE VENDORS (ANDREW AND RFS). DO NOT USE SUPERFLEX TYPE JUMPERS.



**TOWER ELEVATION**  
 SCALE: 3/8"=1'-0"



**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 305 CARLSBAD VILLAGE DRIVE SUITE D9  
 CARLSBAD CA 92008 (760) 434-8474



PREPARED FOR



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 SAN DIEGO, CA 92121-4202

APPROVALS

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05/08/13	ZD REV. #9 (rew)
05/20/13	NOTE REVISION (ci)

SHEET TITLE  
**CONCEPT LANDSCAPE  
 DEVELOPMENT PLAN**

PROJECTS\AT&T\11091

**L-1**

**WATER CONSERVATION NOTES**

1. ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO LANDSCAPE REGULATIONS AND ALL OTHER CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER APPLICABLE CITY AND REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS.
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
7. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.
8. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING.
9. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.

**CONCRETE HARDSCAPE LEGEND:**

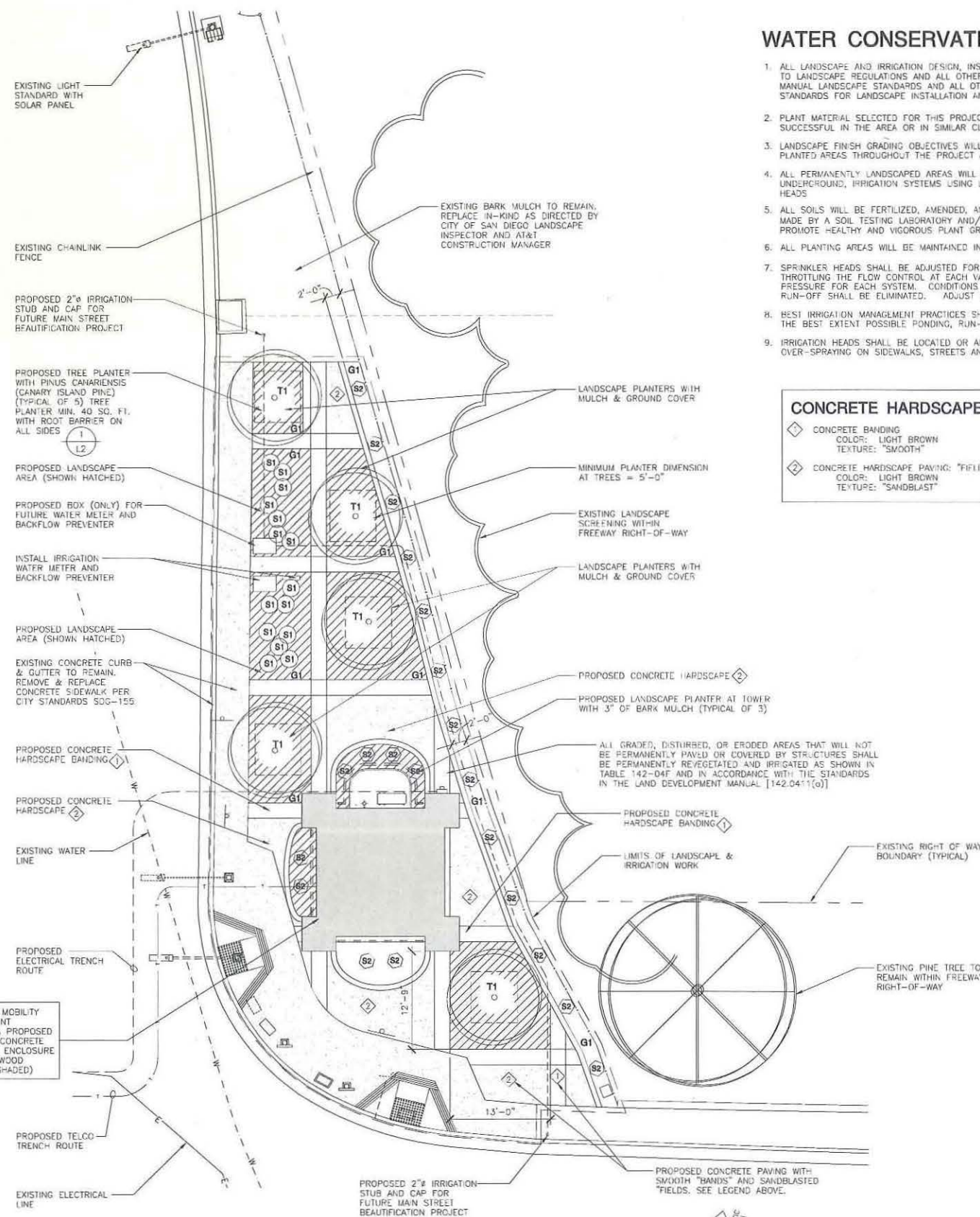
- ◇ CONCRETE BANDING  
 COLOR: LIGHT BROWN  
 TEXTURE: "SMOOTH"
- ◊ CONCRETE HARDSCAPE PAVING: "FIELD"  
 COLOR: LIGHT BROWN  
 TEXTURE: "SANDBLAST"

**PLANTING NOTES**

1. AT&T MOBILITY SHALL BE RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA. TWO MAINTENANCE ASSESSMENT DISTRICTS WILL BE REQUIRED. ALL LANDSCAPE AND IRRIGATION AREAS IN THE R.O.W. CONSIDERED AS PART OF THIS PROJECT SHALL BE CONSIDERED THE PROJECT MAINTENANCE AREA. THE PROJECT MAINTENANCE AREA SHALL BE MAINTAINED FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF APPROVAL.
2. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
3. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
4. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
5. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
6. ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUNDCOVER. ALL EXPOSED SOILS AREA WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH (LDC 142.0413(d)).
7. PLANTING INSTALLATION CRITERIA:  
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
8. MINIMUM TREE SEPARATION DISTANCE  
 IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:  
 TRAFFIC SIGNALS (SICH SIGN) - 20 FEET  
 UNDERGROUND UTILITY LINES - 5 FEET (10 FOOT SEWER)  
 UNDERGROUND UTILITY STRUCTURES - 10 FEET  
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL (142.0411(A)).
10. ANY REQUIRED PLANTING THAT DIES WITHIN 3 YEARS OF INSTALLATION SHALL BE REPLACED WITHIN 30 CALENDAR DAYS OF PLANT DEATH WITH THE SAME SIZE AND SPECIES OF PLANT MATERIAL SHOWN ON THE APPROVED PLAN. REQUIRED SHRUBS OR TREES THAT DIE 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 15 GALLON SIZE OR 60-INCH BOX SIZE MATERIAL, RESPECTIVELY. DEVELOPMENT SERVICES MAY AUTHORIZE ADJUSTMENT OF THE SIZE AND QUANTITY OR REPLACEMENT MATERIAL WHERE MATERIAL REPLACEMENT WOULD OCCUR IN INACCESSIBLE AREAS OR WHERE THE EXISTING PLANT BEING REPLACED IS LARGER THAN 15 GALLON SHRUB OR 60-INCH BOX TREE.
11. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. PROPOSED IRRIGATION SYSTEM: SPRAY & DRIP.
12. PLANTING & IRRIGATION MUST BE INSTALLED PER SAN DIEGO REGIONAL STANDARDS, AND THE CONSULTANT'S GUIDE TO PARK DESIGN & DEVELOPMENT.

**PLANTING LEGEND**

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT & SPREAD	PLANTING SIZE	QUANTITY
	PROPOSED PINUS CANARIENSIS	CANARY ISLAND PINE	80' HEIGHT 30' SPREAD		
	PROPOSED ARDUTUS MARINA	HYBRID STRAWBERRY TREE	36' HEIGHT 30' SPREAD	36" BOX	5
	PROPOSED CASSIA LEPTOPHYLLA	GOLDEN MEDALLION TREE	30' HEIGHT 25' SPREAD		
	PROPOSED RHAPHIDOLEPIS INDOCA	INDIAN HAWTHORN	5' HEIGHT 8' SPREAD	15 GALLON	12
	PROPOSED BOUGAINVILLEA SPECTABILIS	BOUGAINVILLEA	30' HEIGHT 30' SPREAD	15 GALLON	19
	PROPOSED LANTANA CANAHA	WEeping LANTANA	3' HEIGHT 8' SPREAD	1 GALLON @ 2'-6" O.C. MAXIMUM	-



**LANDSCAPE DEVELOPMENT PLAN**

SCALE: 1/8" = 1'-0"



**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 305 CHALSBAD VILLAGE DRIVE, SUITE D9  
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR



7337 TRADE STREET, 3EAST, ROOM 3684  
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME

**BOUNDARY STREET**

PROJECT NUMBER

**SD0772**

4371-1/3 BOUNDARY ST. & MEADE AVE.  
 SAN DIEGO, CA 92116  
 SAN DIEGO COUNTY

DRAWING DATES

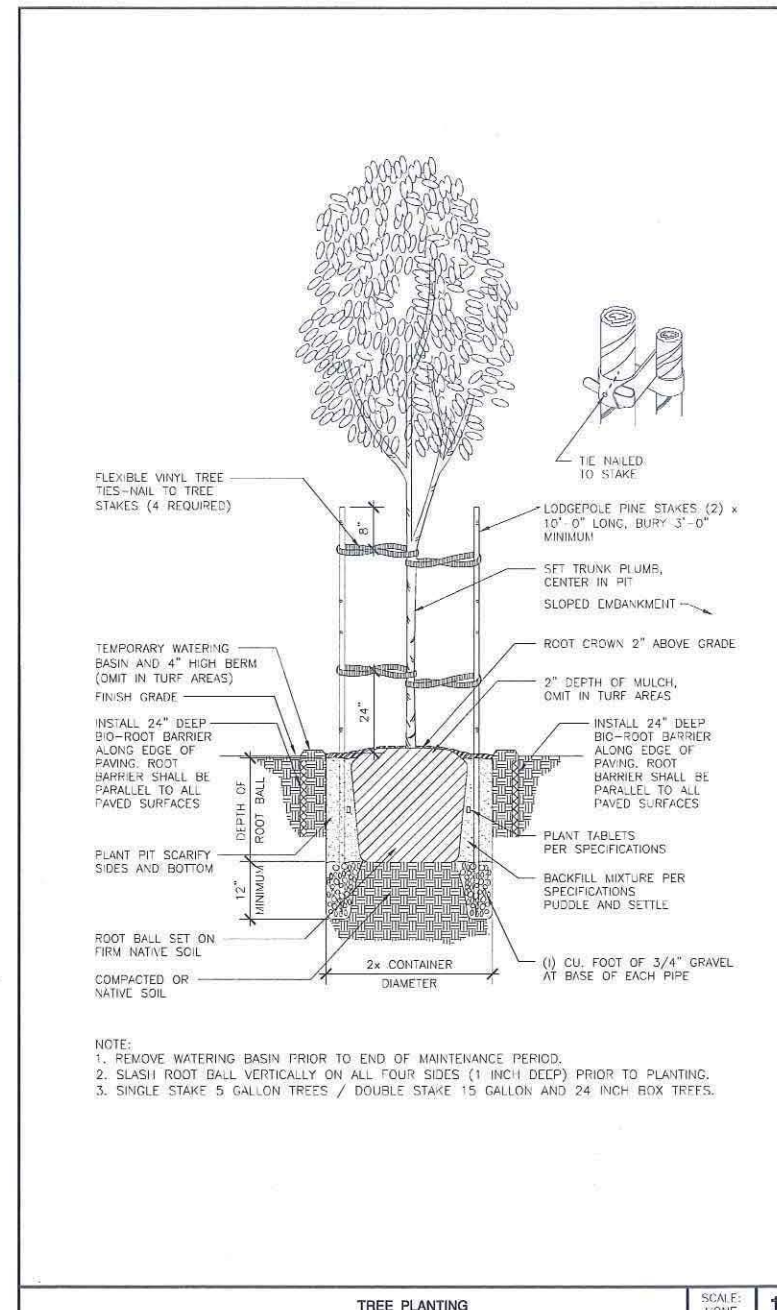
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06/07/11	90% ZD (ocp)
06/13/11	FINAL ZD (ocp)
07/18/11	CITY COMMENTS (job)
11/10/11	REVISED FINAL ZD (ocp)
01/20/12	CITY COMMENTS #1 (job)
05/02/12	ZD REV. #1 (ocp)
05/23/12	ZD REV. #2 (job)
10/31/12	ZD REV. #3
	CITY COMMENTS (ri)
01/23/13	ZD REV. #4
01/29/13	ZD REV. #5 WATER TANK REV.
02/22/13	CPG DRM REVIEW (job)
02/27/13	ZD REV. #6 (job)
03/08/13	ZD REV. #7 (job)
03/15/13	ZD REV. #8 (job)
05/08/13	ZD REV. #9 (rev)
05/20/13	NOTE REVISION (c)

SHEET TITLE

**LANDSCAPE DETAILS**

PROJECT\AT&T\11091

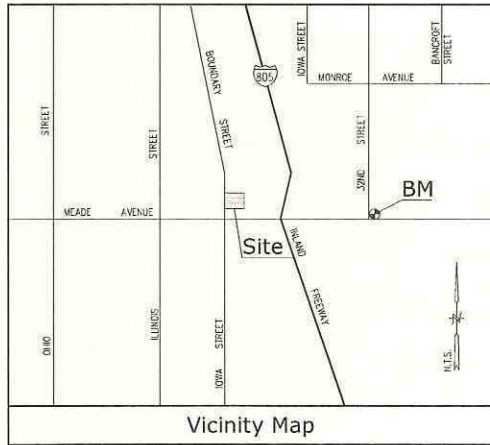
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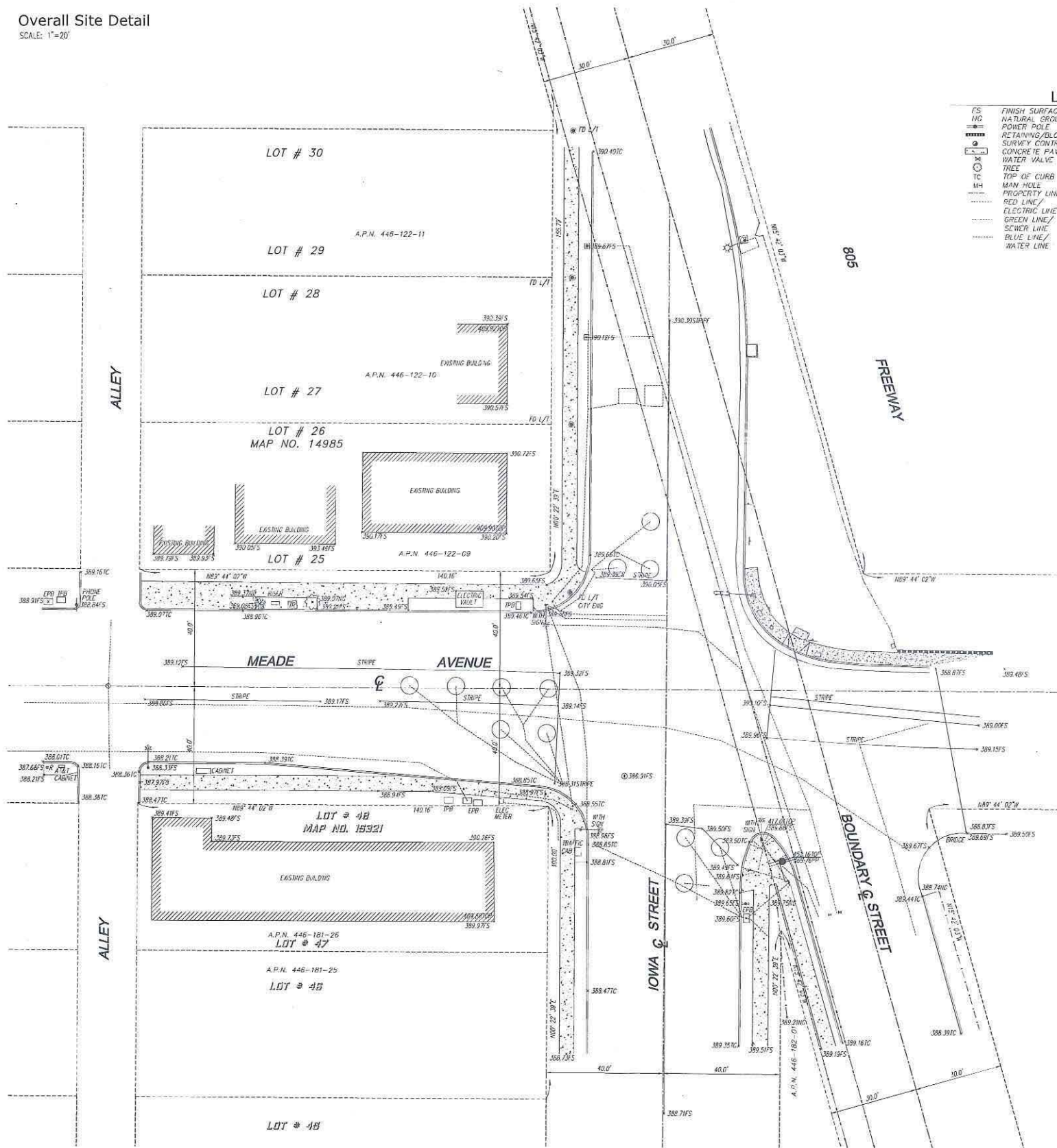
TREE PLANTING

SCALE: NONE 1



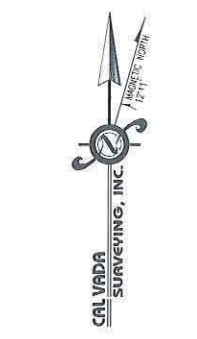


Overall Site Detail  
SCALE: 1"=20'



Legend

FS	FINISH SURFACE	CL	CHAIN LINK FENCE
NG	NATURAL GROUND	LM	LIGHT
PP	POWER POLE	WM	WATER METER
RB	RETAINING/BLOCK WALL	TS	TOP OF STRUCTURE
SC	SURVEY CONTROL POINT	CC	CEGOTIC COORDINATES
CP	CONCRETE PAVEMENT	TFB	TRAFFIC FULL BOX
WV	WATER VALVE	TH	TIRE HYDRANT/TIRE
T	TREE	TR	TRANSFORMER
TC	TOP OF CURB	RISFR	RISER
MH	MAN HOLE	K	OVERHEAD ELECTRIC LINES
PL	PROPERTY LINE	EPB	ELECTRIC PULL BOX
RL	RED LINE / ELECTRIC LINE	EB	ELECTRIC BOX
GL	GREEN LINE / SEWER LINE	OL	ORANGE LINE / COMMUNICATION LINE
BL	BLUE LINE / WATER LINE	YL	YELLOW LINE / GAS
		VO	VAPOR & OIL LINE



Title Report

NOT APPLICABLE (RIGHT OF WAY SURVEY)

Legal Description

NOT APPLICABLE (RIGHT OF WAY SURVEY)

Assessor's Parcel No.

NOT APPLICABLE (RIGHT OF WAY SURVEY)

Easements

NOT AVAILABLE

Lease Area

TO BE DETERMINED

Geographic Coordinates at Proposed Monopine

1983 DATUM: LATITUDE 32° 45' 26.90" N LONGITUDE 117° 07' 34.78" W  
ELEVATION = 350.3 FEET ABOVE MEAN SEA LEVEL

CERTIFICATION:  
THE LATITUDE AND LONGITUDE SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 15 FEET HORIZONTALLY AND THAT THE ELEVATIONS SHOWN ABOVE ARE ACCURATE TO WITHIN +/- 3 FEET VERTICALLY. THE HORIZONTAL DATUM (GEOGRAPHIC COORDINATES) IS IN TERMS OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83) AND IS EXPRESSED IN DEGREES (°), MINUTES (') AND SECONDS ("). TO THE NEAREST HUNDREDTH OF A SECOND. THE VERTICAL DATUM (ELEVATIONS) IS IN TERMS OF THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 29) AND IS DETERMINED TO THE NEAREST TENTH OF A FOOT.

Basis of Bearings

THE STATE PLANE COORDINATE SYSTEM OF 1983 (NAD 83), CALIFORNIA ZONE 6.

Bench Mark

THE CITY OF SAN DIEGO BENCH MARK LOCATED ON THE NORTHEAST CORNER OF 32ND STREET AND MEADE AVE (216 INDEK 1721), ELEVATION = 356.459 (NGVD 29)

Dates of Survey

OCTOBER 6, 2010  
NOVEMBER 1, 2010  
JULY 22, 2011

**BOOTH & SUAREZ**  
ARCHITECTURE INCORPORATED  
193 CARLSBAD VILLAGE DRIVE SUITE 00  
CARLSBAD CA 92008 (760) 434-8474



PREPARED FOR



7337 TRADE STREET, 3EAST, ROOM 3684  
SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
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**SD0772**

4371-1/3 BOUNDARY ST. & MEADE AVE.  
SAN DIEGO, CA 92116  
SAN DIEGO COUNTY

DRAWING DATES

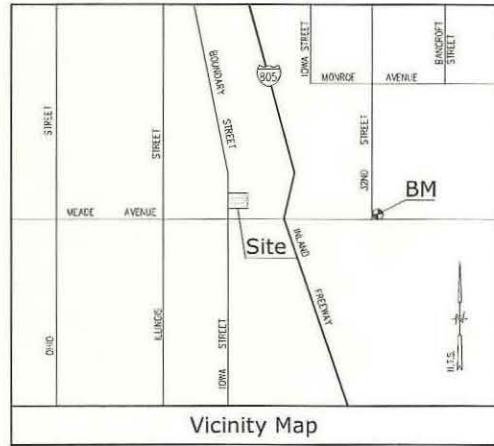
10/11/10	SUBMITTAL
11/02/11	UTILITY LINES
01/14/11	UPDATE GEOGRAPHIC COORDINATES
07/26/11	ADDITIONAL TOPO

**CALVADA SURVEYING, INC.**  
411 Jaska Cir., Suite 205, Corona, CA 92680  
Phone: 951-290-6900 Fax: 951-290-6746  
Toll Free: 800-CALVADA www.calvada.com  
JOB NO. 10739

SHEET TITLE  
**TOPOGRAPHIC SURVEY**

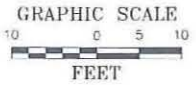
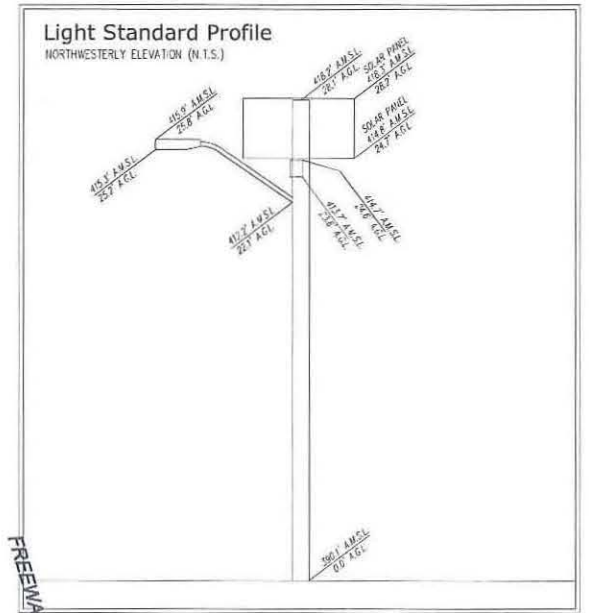
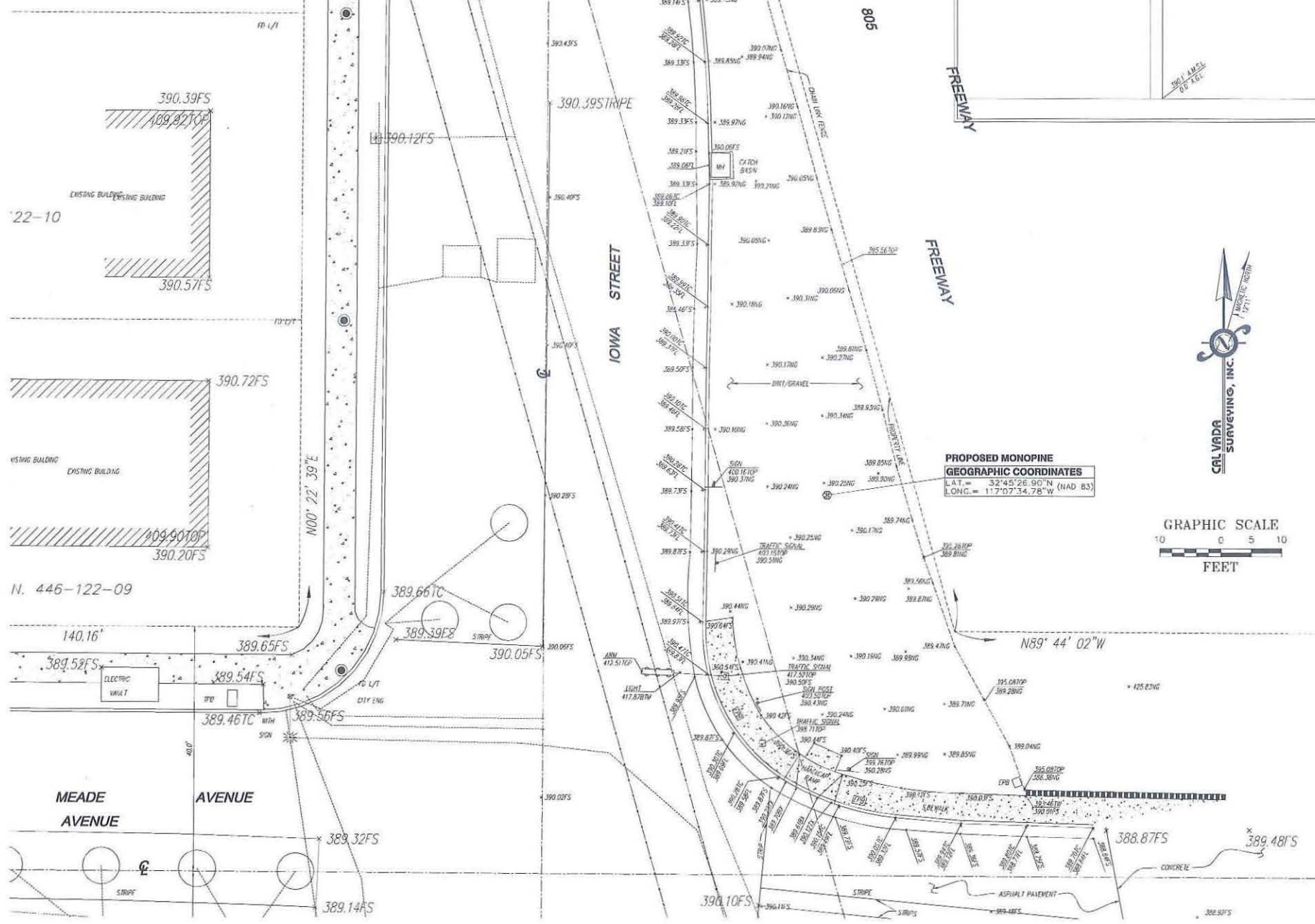
**LS-1**





Lease Area Detail  
SCALE: 1"=10'

Legend			
FS	FINISH SURFACE	CL	CHAIN LINK FENCE
NG	NATURAL GROUND	L	LIGHT
PP	POWER POLE	WM	WATER METER
RB	RETAINING/BLOCK WALL	TS	TOP OF STRUCTURE
SC	SURVEY CONTROL POINT	GC	GEODETIC COORDINATES
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GL	GREEN LINE	OR	ORANGE LINE
SL	SEWER LINE	CL	COMMUNICATION LINE
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THE CITY OF SAN DIEGO BENCH MARK LOCATED ON THE NORTHEAST CORNER OF 32ND STREET AND MEADE AVE. (216 INDEX 1731), ELEVATION = 386.459 (NGVD 29)

Dates of Survey

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NOVEMBER 1, 2010  
JULY 22, 2011

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ARCHITECTURE INCORPORATED  
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PREPARED FOR



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SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
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DRAWING DATES

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07/26/11	ADDITIONAL TOPO

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Toll Free: 800-CALVADA www.calvada.com

JOB NO. 10730

SHEET TITLE



**TOPOGRAPHIC SURVEY**

**LS-2**





**NORTH PARK PLANNING COMMITTEE**  
**Draft Minutes: February 19, 2013– 6:30 PM**  
[www.northparkplanning.org](http://www.northparkplanning.org)  
[info@northparkplanning.org](mailto:info@northparkplanning.org)

Like us:  [NorthParkPlanning](https://www.facebook.com/NorthParkPlanning) Follow us:  [@NPPlanning](https://twitter.com/NPPlanning)

- I. Call to order: 6:38pm
- II. Attendance Report (10):

Member	NPPC	Bylaws	City Council	Community Plan Update	CPC	MAD	Planning Commission	PPPA	Social Media	Sustainable NPMS	UDPR	Utility Boxes	Other
Robert Barry													
David Cohen													Treasurer
Dionne Carlson	1							X					AABA
Cheryl Dye	2									X	X		NPMS Board Meeting
Vicki Granowitz	3			X	X			X			X	X	NPDBC, Chair
Peter Hill	4							X		X	X		
Brandon Hilpert	5								X				
Roger Lewis													
Carl Moczydlowsky	6												Secretary
Lucky Morrison													
Dang Nguyen	7										X		
Omar Passons	8												Instructive SubComm/TVZY Live
Rick Pyles	9										X		Alcohol Policy Panel Quarterly Mtg
Phil Rath													
Rene' Vidales	10							X		X			Vice-Chair

III. Modifications to and Adoption of the 02/19/13 Agenda.

Motion to move NPHS to Consent Agenda (Hill/Vidales 10-0-0)

Motion to adopt: Dye/Carlson 10-0-0

IV. Consent Agenda:

- a. UDPR Feb 4 In Attendance: Barry, Dye, Bonn, Callen, Hill, Lewis, Morrison, Nguyen, Pyles, Steppke; Non-Voting NPPC Board Members Present: Granowitz
  - i. The project replaces 5 existing antennas and associated equipment storage (3 cabinets). There will be no exterior or aesthetic changes, no exterior antennas. MOTION: Approve the project as presenting including the CUP for replacement of the wireless facility at Trinity Church located at 3030 Thorn St. Dang/Ernie 11-0-0
- b. Public Facilities Feb 13 In Attendance: Carlson, Vidales, Bonn, Granowitz, Hill, Passons, Steppke, Callen arrives 6:30 pm
  - i. NCPA request Support from the NPPC for Bird Park Summer Concerts. MOTION: For the North Park Planning Committee to support the 2013 North Park Community Association Bird Park Concert series. Passons/Bonn 7-0-0
  - ii. Traffic Calming V-Calm sign proposal at 2144 Madison Ave (Westbound): Traffic calming on Madison between Texas & Park. Issues with speeding and safety for pedestrian crossings. Residents present and in support although their preference is for a stop sign. Ernie. Bonn worked with the residents. MOTION: To approve V-calm sign for 2144 Madison Avenue (westbound) between Texas & Park and to request the City to study with vehicular speeds with the possibility of a stop sign as a preferred solution at Madison Avenue & Mississippi. Granowitz/Callen 8-0-0

## ATTACHMENT 12

iii. Proposal to replace diagonal parking with head-in parking on the west side of Alabama Street (University Avenue to Lincoln Avenue): Net gain of 10 parking spaces. This is a result of the University & Alabama improvement projects. Does not need to go to City Council because it was previously instituted as diagonal parking. Has the support of NPMS & adjacent businesses. MOTION: To support proposal to replace diagonal parking with head-in parking on the west side of Alabama Street from University Avenue to Lincoln Avenue. Hill/Bonn 8-0-0

- c. Request for Support for the North Park Historical Society Car Show Steve Hon NPHS  
i. The NPPC has supported this event since its inception.

**Motion to Adopt: Dye/UDPR/PF/Carlson (NPHS) 10-0-0**

### V. Approval of Previous NPPC Minutes: January 20, 2012

- a. **MOTION TO APPROVE as Modified: Pyles/Hill 10-0-0**

### VI. Treasurer's Report

- a. David Cohen (absent) - \$621.87 is the current balance.

### VII. Chair's Report/CPC

- a. **CPC: 3rd Tuesday of the month, 7 pm MOCII 9192 Topaz Way, Kearney Mesa**

- i. Neighborhood Parking Protection Proposal & Pilot - proposes a change to the 72 hr rule for oversized vehicles parked on St, to a permit process, which would allow for immediate enforcement of a violation. Original called for a 2 yr pilot project in the PB area, cpc approved but with a one yr pilot to wrk the bugs out and then take city wide.
- ii. Street Preservation Ordinance - City is tired of fixing st's that than get torn up by other entities doing work. This proposal that would allow for fees to be collected to take care of the streets after work has been done on them. Passed unanimously
- iii. Voting Procedures for conducting an election - For a single Board vacancy: Members vote by secret ballot, however voting Board Members names are to be included on the ballot with the specific voting results recorded in the Minutes making them public and in conformance with the Brown Act & CP 600-24.

- b. **March 19 NPPC Election Update & request for candidate's declaration.**

- i. Candidates, 7 seats (\* = incumbent)

1. \*Rick Pyles
2. \*Dionne Carlson
3. \*Carl Moczydlowsky
4. \*Vicki Granowitz
5. \*Peter Hill
6. \*Dang Ngyuen
7. \*David Cohen
8. Howard Blackson
9. Bruce Shank
10. Julie Ellison
11. Daniel Gebreslasse

- c. **Academy of Our Lady of Peace:** On Feb 12, 2013 in closed session the City Council voted to rescind the AOLP lawsuit, for the city to compensate the AOLP & approve the project. Todd Gloria & Sheri Lightner voted against the action.

### VIII. Social Media – Updates with term dates, names and contacts will be posted after the election.

### IX. Planner's Report - Marlon Pangilinan, 619.235.5293; [mpangilinan@sandiego.gov](mailto:mpangilinan@sandiego.gov)

- a. Dec 12: went before the planning commission on the status of community plan updates. Workshops with the planning commission coming soon.
- b. Community Plan Update – See Agenda Item XV.e. below

### X. Announcements & Non Agenda Public Comment

- a. Ribbon Cutting for the Texas St Improvements Tuesday, March 12 at 9:45 am
- b. C3 The Reinvention of Planning in San Diego: Thursday, Feb 28, 2013 7 am, Holiday Inn on the Bay 1355 North Harbor Dr for more see pg 5 below
- c. SANDAG Regional Bike Projects: For more info:  
i. Uptown Regional Bike Corridor Community Advisory Group: Beth Robrahn, Project Manager  
[http://www.keepsandiegomoving.com/RegionalBikeProjects/uptown\\_intro.aspx](http://www.keepsandiegomoving.com/RegionalBikeProjects/uptown_intro.aspx)  
ii. Mid-City Regional Bike Corridor (Includes North Park) Advisory Group: Bridget Enderle, Project Manager  
Not on website yet, check <http://www.keepsandiegomoving.com/RegionalBikeProjects/Introduction.aspx>
- d. WalkSanDiego – Golden Footprints Awards Thursday, April, 7 – 9 PM San Diego Natural History Museum. NPPC has been nominated for an award for our work on the Texas St Improvements.



#### XI. Elected Official's Report

- a. **Gavin Deeb, Hon. Susan Davis, US Congressional District 53**, 619.208.5353 [Gavin.Deeb@mail.house.gov](mailto:Gavin.Deeb@mail.house.gov) – Voter empowerment act introduced by the congresswoman. Vote by mail, juror non-discrimination act for LGBT Americans. Congresswoman Davis received the distinguished public service award.
- b. **Jason Wiesz, Hon. Toni Atkins, State Assembly District 76** – 619.645.3090 [jason.wiesz@asm.ca.gov](mailto:jason.wiesz@asm.ca.gov) Majority floor leader for State Assembly. Governor introduced budget, increase in per capita budget. Graduating senior deadline for Cal Grant application is in March.
- c. **Christopher Ward, Hon. Marti Block, State Senate District 39** – 619.645.3133 [christopher.ward@sen.ca.gov](mailto:christopher.ward@sen.ca.gov) Please call and express views on issues, particularly on controversial issues. District has been redistricted and is huge. State budget is out, very optimistic.
- d. **Anthony Bernal, Hon. Todd Gloria, City Councilmember District 3**, [ABernal@sandiego.gov](mailto:ABernal@sandiego.gov) - <http://sandiego.gov/cd3> for newsletter signup. Council President Gloria is now chair of the SanDAG transportation committee. Bike infrastructure plan in North Park is underway. Street trees in NP are being addressed through 2012 allocation. March 9<sup>th</sup> 10am Community Coffee at Twigs.

#### XII. Subcommittee Reports:

- a. **Urban Design/Project Review**, Cheryl Dye - NP Adult Community Center, 6:00pm 1st Monday. Next meeting, February 4, 2013
  - i. See consent agenda IV.a.i
  - ii. See action items XIV.a-b
  - iii. Reviewed proposed land use map
- b. **Public Facilities/Public Art**, Dionne Carlson, Rene Vidales – NP Adult Community Center, 6:00 pm, 2nd Wednesday. Next meeting, Wednesday February 13, 2013.
  - i. See consent agenda IV.b.i-iii
  - ii. See action items XIV.c
- c. **Utility Boxes** - The mayor has signed off on advisory committee or task force.

#### XIII. Liaisons Report

- a. **Balboa Park Committee** – Rob Steppke: Considered Sprint Antenna Locations within the park. Infrastructure for Edge 2015 Celebration
- b. **Maintenance Assessment District** – Rob Steppke: Street Tree Policy review and decision making regarding trimming and maintenance. Nomination for new officers, election in April.
- c. **North Park Main Street** – Cheryl Dye: Updated website including video content. Eco district kick-off meeting at Casa de Luz Wednesday Feb 20, @ 5:30. Art Gallery tour on April 13<sup>th</sup>. Post Office building has been purchased and is being developed as a mixed use. 30<sup>th</sup> and Upas building is being demolished and redeveloped as a mixed-use project with underground parking.
- d. **Adams Ave BIA** – Dionne Carlson: No Update
- e. **NPMS Sustainability Committee** – Rene Vidales: No Update, remove
- f. **Regional Bike Plan Proposed Initial Implementation** – Carlson: Looking for fully separated bike lanes moving forward. Willing to relinquish traffic lanes but not parking. Next meeting March 6<sup>th</sup>.
- g. **NPBID Collaborative** – Vicki Granowitz: Meeting tomorrow regarding on land use maps for recommendations to the City.

#### XIV. Action & Discussion Items

- a. **Community Plan Update - Cecilia Gallardo Deputy Director Advanced Planning & Engineering** – Have had NPPC ad-hoc committees working on sustainability and mobility. Ready to get input from the City regarding progress and next steps. Still in draft form.
  - i. **Mobility (Vidales)** – information from the general plan, push connectivity and transit oriented development. Merge elements from the existing community plan and the general plan. Elements are interrelated with other elements and policies.
  - ii. **Sustainability (Vidales)** – implement Sustainable North Park Main Street Implementation Plan into the existing general plan for new community plan elements. Again polices are interrelated.

Provides a good foundation for the City to implement and work through the elements, the matrix provides a foundation for writing the element drafts for these two components. Next steps are to work on economic prosperity elements with Dye and Hill. Looking for draft Community Plan by January 2014. Schedule to be posted on social media. Would like input from NPPC by September.

Maddy (North Park Resident) – Class with Mike Nicholls on a study on Community Planning for form based code.



## ATTACHMENT 12

- b. **AT&T – 4375 1/3 Boundary St. (Public Right of Way, Project # 226649)** Project is a wireless facility UDPR has heard the item three times previously and voted to deny. The applicant has redesigned the facility based on the Subcommittee's suggestions. Three design options were presented. Each includes new lighted street bollards, landscaping, backlit, brushed stainless steel cut-out North Park sign, narrowed "legs", reduced height, as is possible, from original proposals and stubbed out irrigation lines that can be tapped into for future development.

**Option #1** includes tile at the top. 40' tall.

**Option #2** is a design reflecting the iconic North Park Water Tower. 49' tall.

**Option #3** has a stucco top. AT&T is responsible for the tank's maintenance. All options are improvements to original design & expressed appreciation for the effort AT&T put into coming up with the much improved options. 44' tall.

**MOTION:** Recommend that the Board endorse design option #2 and approval of the CUP Lewis/Morrison 8/3/0

i. Comments:

1. Committee ruled out Option 1 which some thought looked like a prison guard tower; with a slight preference for Option 2 –The NP Water facsimile, although there are concerns it could look kitschy if it is too literal. NP Artist Lynn Susholtz will be invited to attend the meeting, since this was partly her suggestion.
2. Shelly Kilborn, applicant representative | Bill Booth, architect: Materials will be traditional materials except at the antennas which require fiberglass for transmission. Lattice would create a ladder to the antenna structures. Vining elements are incorporated into the design.
3. Lynn Susholtz: likes the tile with the North Park tile colors but likes the massing and the exposed structure and lattice work. Vertical corrugated metal wall might benefit from screen wall.
4. Passons: Doesn't prefer the water tower.
5. Hilpert: Water tower is the preferred.
6. Nguyen: Would people mistake the water tower.
7. Hill: Quirky landmarks are reflected in the water tower design.
8. Dye: Likes the tile color but prefers the water tower, quirky and whimsical.
9. Carlson: Likes the water tower, would like some whimsy
10. Pyles: doesn't love the water tower but thinks it is the best of the 3. Likes lattice or strut work, could be construed with the tile.
11. Anthony Bernal would like to thank all of those involved.
12. Rob Steppke: We should do the opposite of whatever Carmel Valley would do.

**MOTION:** To support the Water Tower option design direction. Dye/Hilpert 9-1-0 (Passons voting no)

**MOTION:** For Dye, Carlson and Susholtz to work with AT&T to refine design elements 9-1-0 (Moczydlowsky voting no)

- c. **Plaza de Panama Project, Balboa Park:** Update & next steps. NPPC voted the project down for a number of reasons but specifically because the findings necessary to approve the Site Development Permit could not be made. (April 17, 2012 NPPC Resolution included below.) In a law suit SOHO v. City of San Diego (Plaza de Panama Ctee.), Case # 2012-00102270 Judge Taylor found the City violated the Municipal Code section 126.0504 (i)(3) when the approved the SDP without being able to make the required findings & therefor the If the BPMP & CMPP are left in their currently amended status it opens the door for another similar project to be approved with less public review. Council. President Todd Gloria & City Attorney Jan Goldsmith are currently looking into an expedited process to amend the Municipal Code to remove the section of the code Judge Taylor cited in his published ruling (see attached). Concerns that this would create problematic precedents and approval of the project the NPPC has found to be deferential to Balboa Park.

**MOTION:** To NPPC to send a resolution recommending that City Council, Mayor and the City Attorney rescind the July 2012 approval of amendments to the BPMP & BPCMPP, to reinstate the 1989 BPMP & BPCMPP, in order to be consistent with NPPC's previous actions in that the findings from the San Diego Municipal Code cannot be made to support the project. Vidales/Passons (8-0-0)

- i. **Passons** – Is Todd in support of Plaza de Panama and amending the Municipal Code? **Anthony Bernal** – have asked for the City Attorney's opinion on how to have the project moving forward.
- ii. **Dye** – how does applicability of Historic Resources requirements play into the finding? **Carlson** - SDP requires that there is no reasonable use of the Plaza de Panama without the project in order to exempt the project from historicity.
- iii. **Hilpert** – does not think that the rules should change since the City lost.

**MOTION TO APPROVE Resolution to refrain from altering the Municipal Code for the Plaza de Panama Hilpert/Pyles (10-0-0)**



## ATTACHMENT 12

**MOTION TO APPROVE Resolution for request to rescind Plaza de Panama project plan amendments Dye/Vidales (10-0-0)**

**d. Bylaws - Tabled**

**XV. Unfinished & Future Agenda Items**

- a. Board Elections
- b. Parks & Rec Community Plan Element

**XVI. Next Meeting Date: March 19, 2013**

**XVII. Motion to Adjourn: Hilpert/Ngyuen 8:50 10-0-0**

- a. Minutes submitted by Carl Moczydlowsky

This project is located within the public right-of-way. An Ownership Disclosure Statement is not provided, however AT&T's Board of Directors are listed below.

-  Randall L. Stephenson

-  James H. Blanchard

-  Gilbert F. Amelio

-  Reuben V. Anderson

-  Jaime Chico Pardo

-  Scott T. Ford

-  James P. Kelly

-  Jon C. Madonna

-  Michael B. McCallister

-  John B. McCoy

-  Joyce M. Roché

-  Matthew K. Rose

-  Laura D'Andrea Tyson



## Project Chronology

**AT&T – Boundary Street  
Project No. 226649**

Date	Action	Description	City Review Time	Applicant Response Time
11/23/2011	First Submittal	Project Deemed Complete		
12/27/2011	First Assessment Letter		34	
4/20/2012	Second Submittal			155
5/11/2012	Second Assessment Letter		37	
1/4/2013	Third Submittal			208
3/20/2013	All issues resolved		107	
6/20/2013	Public Hearing – Planning Commission		92	
TOTAL STAFF TIME			270	
TOTAL APPLICANT TIME				363
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Planning Commission Hearing	633 (in calendar days)	



THE CITY OF SAN DIEGO

DATE OF NOTICE: June 6, 2013

## NOTICE OF PUBLIC HEARING PLANNING COMMISSION RECOMMENDATION

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**DATE OF HEARING:** June 20, 2013  
**TIME OF HEARING:** 9 a.m.  
**LOCATION OF HEARING:** Council Chambers, 12th Floor, City Administration Building,  
202 C Street, San Diego, California

**PROJECT TYPE:** CONDITIONAL USE PERMIT (CUP) and SITE  
DEVELOPMENT PERMIT (SDP), Process 5

**PROJECT NUMBER:** 226649  
**PROJECT NAME:** AT&T – BOUNDARY STREET  
**APPLICANT:** Shelly Kilbourn, PlanCom, Inc., agents representing  
AT&T Mobility

**COMMUNITY PLAN AREA:** Greater North Park

**COUNCIL DISTRICT:** District 3

**CITY PROJECT MANAGER:** Alex Hempton, Development Project Manager  
**PHONE NUMBER/E-MAIL:** (619) 446-5349 / ahempton@sandiego.gov

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As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to **recommend** approval, conditional approval, or denial to the City Council of an application for a Wireless Communication Facility (WCF) consisting of a 49-foot tall faux water tank/tower (concealing panel antennas), an equipment enclosure at the base of the water tank, "North Park" community signage on the tank, and landscape improvements. The project is located in a portion of the public right-of-way to the north-east of the intersection of Boundary Street and Meade Avenue, with an assigned address of 4371 1/3 Boundary Street.

The decision to approve, conditionally approve, modify or deny the application for a Conditional Use Permit (CUP) and Site Development Permit (SDP) for a Wireless Communication Facility will be made by the City Council at a future public hearing. You will also receive a notice of the City Council public hearing.



This project was determined to be categorically exempt from the California Environmental Quality Act on March 21, 2013 and the opportunity to appeal that determination ended April 10, 2013.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24001348

Revised 10-04-12 HMD



**PHOTO STUDY & KEY MAP**

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**SD0772**

Boundary Street Right of Way  
4369 Boundary St & Meade Ave  
San Diego, CA 92116

Prepared for:

**City of San Diego**  
**Department of Planning**  
1222 First Avenue MS 301  
San Diego, CA 92101

Prepared by:

**PlanCom, Inc.**  
*Contractor Representatives for*  
**AT&T Wireless**

302 State Place  
Escondido, CA 92029  
Contact: Shelly Kilbourn, Planning Consultant  
(619) 208-4685

November 19, 2010

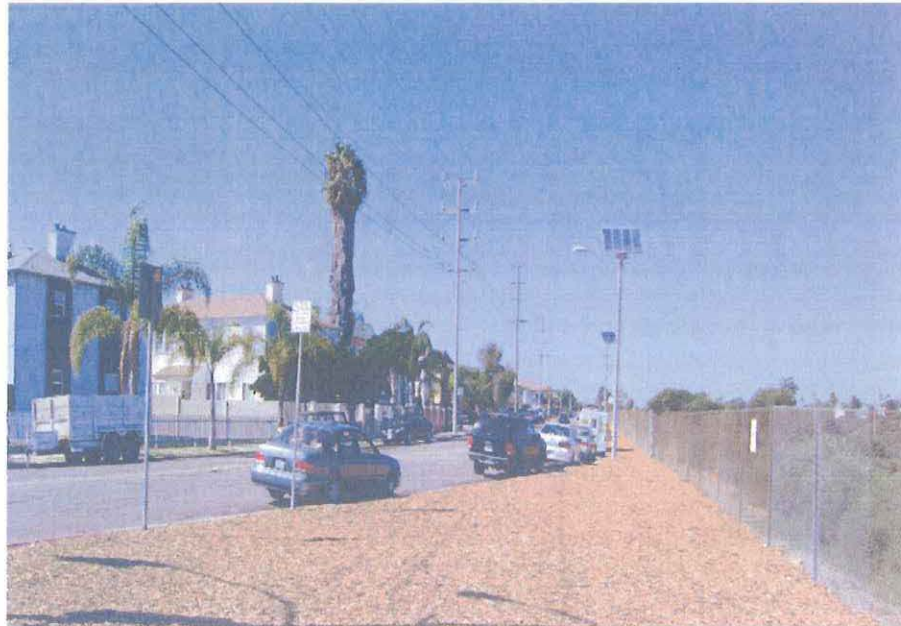




Looking north toward site



Looking northeast toward site



Looking north from site



Looking south from site





Looking east from site



Looking west from site



Aerial of site