

PLAN SHEET LEGEND	
	2x4 STUD WALL
	2x6 STUD WALL
	2x6 WALL WITH STAGGERED STUDS
	INDICATES TOILET PAPER DISPENSER LOCATION AT 24" FROM FIN. FLR. FROM CABINET EDGE.
	INDICATES DIRECTION OF SLIDING DOOR OR WINDOW PANEL.
	INDICATES HINGED MEDICINE CABINET (W/O) BY LEISER MODEL NO. 688P24 TYP. MODEL NO. 68-36 IN AT LEAST 10" WALL SPACE. SEE SHEET NOTES.
	INDICATES SINKER HEAD AT 68" MAX. HT.
	HALL IV BATT SOUND ATTENUATION INSULATION
	NOTES CEILING HT.
	INDICATES HANDICAP STAINLESS STEEL GRAB BAR. FLOR. OR WALL MOUNTED PER PLANS.
	INDICATES 24" TYP. BAR. SEE SHEET NOTE NO. 10.
	INDICATES FLOOR DRAIN LOCATION
	INDICATES HURRED CLG. AREA TO 2'-0" CLR. UNO.
	INDICATES AREA OF UNIT PLAN IDENTICAL TO REFERENCED UNIT PLAN FOR TYP. NOTES, DIMS. & DETAILS.

PLAN FINISH SCHEDULE LEGEND						
ROOM NAME	ROOM	CEILING HEIGHT	N	NONE	X	PER OWNER
FLOOR MATERIAL	CEILING MATERIAL	BASE MATERIAL	6B	6YP, ED. TAPE/PAINTEED, 1 COAT PAINT, PER SPECS.		
CT CERAMIC TILE, PER SPECS.	BC BROOM FINISH CONC.	F	6YP, ED. LIGHT ORANGE FEEL TEXTURE & FLAT LATEX PAINT PER SPECS.			
CP CARPET IV PAD, PER SPECS.	DK WATERPROOF DECK TOPPING, PER SPECS.	S	6YP, ED. LIGHT ORANGE FEEL TEXTURE & SEMI-GLOSS ENAMEL PAINT PER SPECS.			
SV SHEET VINYL, PER SPECS.	ST STUCCO FINISH	6	6YP, ED. LIGHT ORANGE FEEL TEXTURE & GLOSS ENAMEL PAINT PER SPECS.			
LH HD. TEXTURED LAMINATE FLOORING, PER SPECS.	YES 6" HOOD BASE PRIME D PAINTED PER SPECS.					

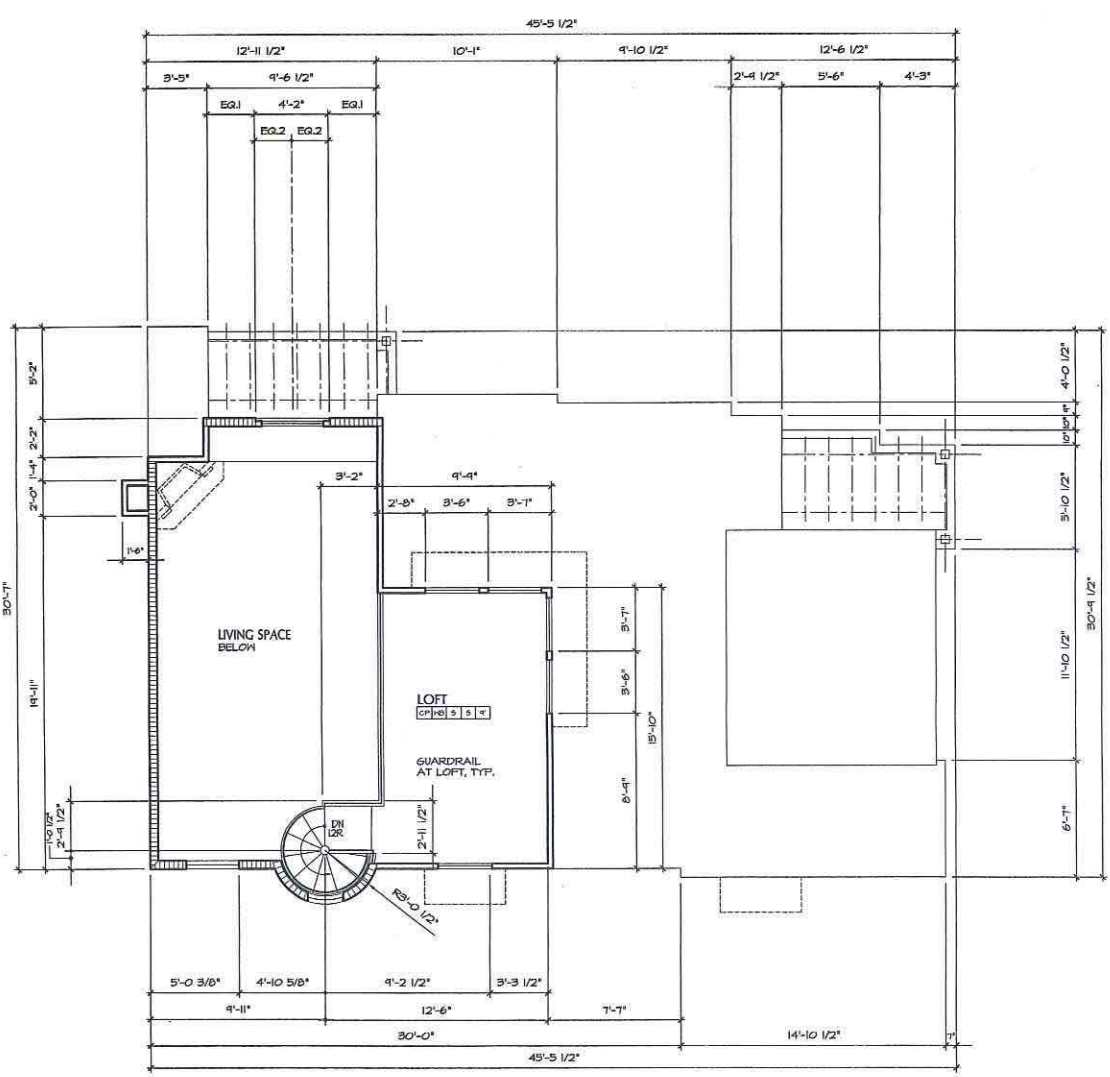
APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 Easement Amendment - 7755B
 APPEL. NO. 1038122. 6/4/12 50% CHARGE
 AM. TYP. / 50% CHARGE 500136/6/12
 APPROVED BY HEARING OFFICER, 3-12-10
 COMMISSION CITY COUNCIL DIR. 3-12-10
 SIGNATURE: *[Signature]*

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE, SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

UNIT C6 - FLOOR PLANS

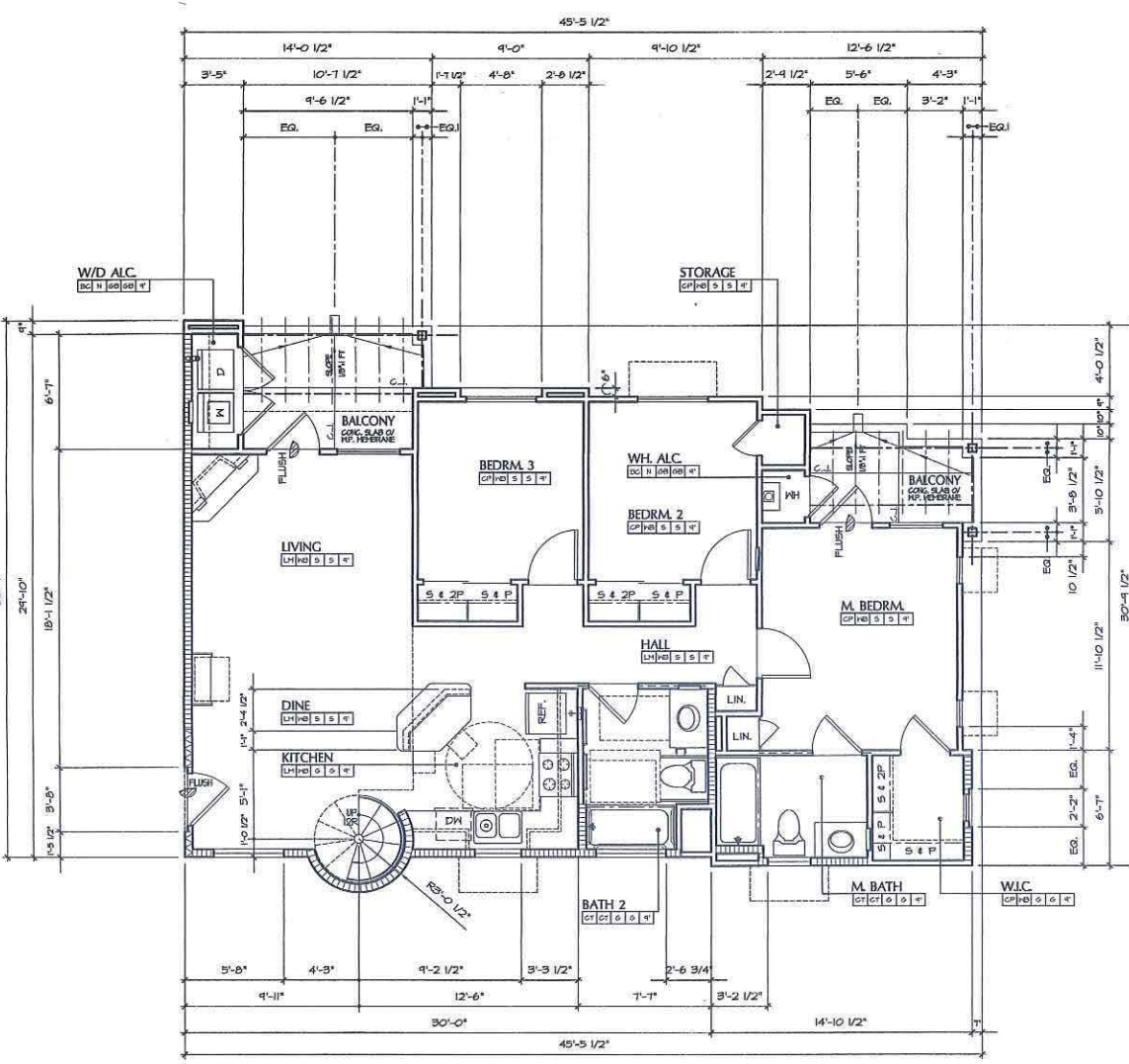
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/06/09	1		
2	3RD SUBMITTAL	01/19/10	2		

DATE: MAY. 01, 2009 SHEET: **A0.28**
 JOB NO.: _____ DRAWN: _____ CHECKED: _____
 SHEET 33 OF 61



UNIT C6.3L THIRD FLOOR UNIT - MAIN LEVEL
 3 BEDROOM - LOFT - 2 BATH
 SCALE: 1/4" = 1'-0"

NOTE: FOR TYP. NOTES, DIMS. AND DETAILS REFER TO UNIT C6.1 AND C6.3 - FLOOR PLANS



UNIT C6.3L THIRD FLOOR UNIT - MAIN LEVEL
 3 BEDROOM - LOFT - 2 BATH
 SCALE: 1/4" = 1'-0"

NOTE: FOR TYP. NOTES, DIMS. AND DETAILS REFER TO UNIT C6.1 - FLOOR PLAN

ALL DWELLING UNITS ARE ADAPTABLE AND ACCESSIBLE UNITS

UNIT C6.3L

SPACE	SQ. FOOTAGE
LOFT AREA	164.32 S.F.
LIVING AREA BELOW	1062.02 S.F.
SUB-TOTAL	1226.34 S.F.

ACCESSORY AREAS

SPACE	SQ. FOOTAGE
COVERED PATIO / BALG.	0 S.F.
WH CLOSET	4.16 S.F.
STORAGE	8.84 S.F.
WASHER-DRYER	23.49 S.F.
SUB-TOTAL	4151 S.F.

TOTAL	SQ. FOOTAGE
TOTAL	1267.85 S.F.
OPEN TO SKY PATIO/BALG.	129.5 S.F.
POP-OUTS	30.71 S.F.

PER SDMG 118.0234(b)(4) PHANTOM FLOOR = 321 S.F.

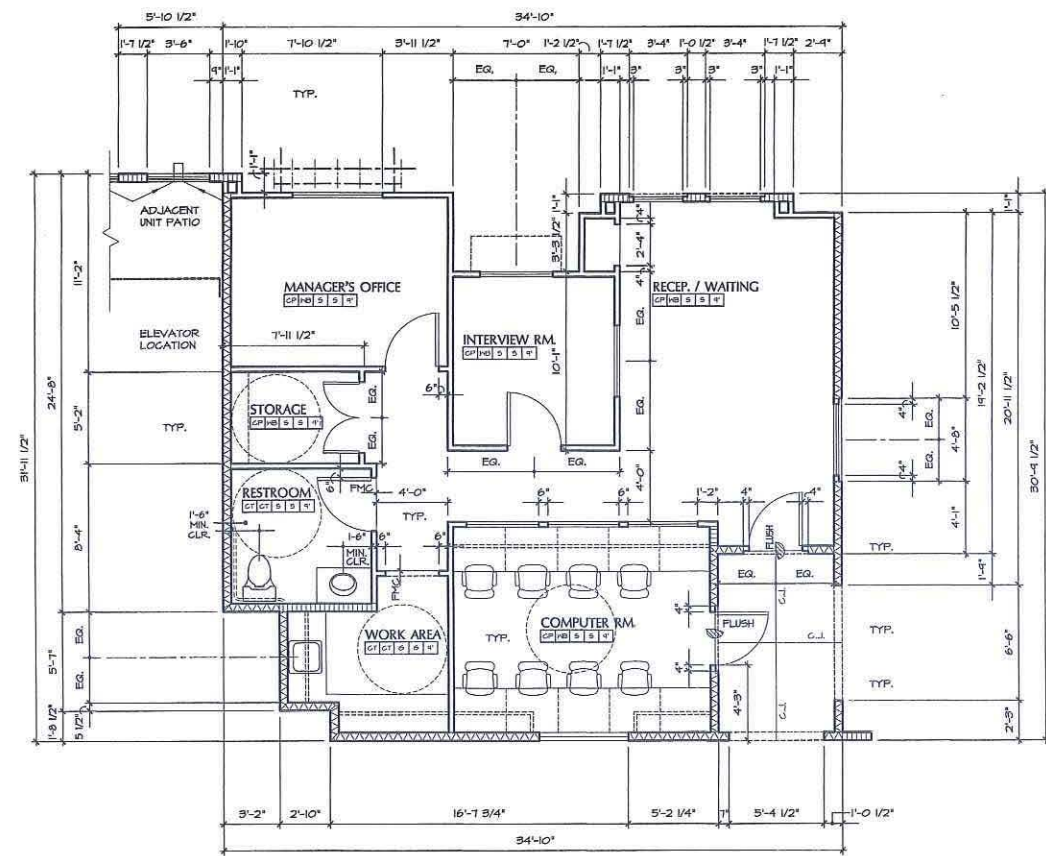
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PLAN SHEET LEGEND

	2x4 STUD WALL		WALL W/ BATT SOUND ATTENUATION INSULATION
	2x6 STUD WALL		NOTES CEILING HT.
	2x6 WALL WITH STAGGERED STUDS		INDICATES HANDICAP STAINLESS STEEL GRAB BAR, FLOOR OR WALL-MOUNTED PER PLANS
	INDICATES TOILET PAPER DISPENSER LOCATION AT 24" FROM FIN. FLOOR 2" FROM CABINET EDGE		INDICATES 24" TONER BAR SEE SHEET NOTE NO. 10.
	INDICATES DIRECTION OF SLIDING DOOR OR WINDOW PANEL		INDICATES FLOOR DRAIN LOCATION
	INDICATES RECESSED MEDICINE CABINET (N.O.) BY LEIBER MODEL NO. 88P24 TYP. MODEL NO. 75-36 HI AT LIMITED WALL SPACE SEE SHEET NOTE 15		INDICATES FURRED CEILING AREA TO 8'-0" CLR. UNO.
	INDICATES SHOWER HEAD AT 8" MAX. HT.		INDICATES AREA OF INT PLAN IDENTICAL TO REPETITIVE INT PLAN FOR TYP. NOTES, DPs, & DETAILS

PLAN FINISH SCHEDULE LEGEND

ROOM NAME	ROOM	CEILING HEIGHT	N	NON	X	PER OWNER
FLOOR MATERIAL		CEILING MATERIAL	GB	6YF. BD. TAPE/PAINTE		
BASE MATERIAL		WALL FINISH		1 COAT PAINT, PER SPECS.		
GT CERAMIC TILE, PER SPECS.		BC BROOM FINISH CONC.	F	6YF. BD. LIGHT ORANGE PEEL TEXTURE & FLAT LATEX PAINT PER SPECS.		
CP CARPET W/ PAD, PER SPECS.		DK WATERPROOF DECK TOPPING, PER SPECS.	S	6YF. BD. LIGHT ORANGE PEEL TEXTURE & SEMI-GLOSS ENAMEL PAINT PER SPECS.		
SV SHEET VINYL, PER SPECS.		ST STUCCO FINISH	G	6YF. BD. LIGHT ORANGE PEEL TEXTURE & GLOSS ENAMEL PAINT PER SPECS.		
LM HD. TEXTURED LAMINATE FLOORING, PER SPECS.		HB 6" HOOD BASE PRIME & PAINTED PER SPECS.				



LEASING OFFICE



LEASING OFFICE

SPACE	SQ. FOOTAGE
INTERVIEW ROOM	91 S.F.
MANAGER'S OFFICE	124 S.F.
COMPUTER ROOM	187 S.F.
WORK AREA	79 S.F.
RECEP./WAITING	100 S.F.
SUB-TOTAL	674 S.F.
TOTAL	937 S.F.

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 Equipment Abandonment - 7/15/55
 APPROVED BY: HEARING OFFICER, PLANNING COMMISSION
 SIGNATURE: *Chandra Jolley*

**TROLLEY RESIDENTIAL DEVELOPMENT
 JACOBS FOUNDATION**

c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

LEASING OFFICE - FLR. PLN.

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/05/09	1		
2	3RD SUBMITTAL	01/19/10	2		

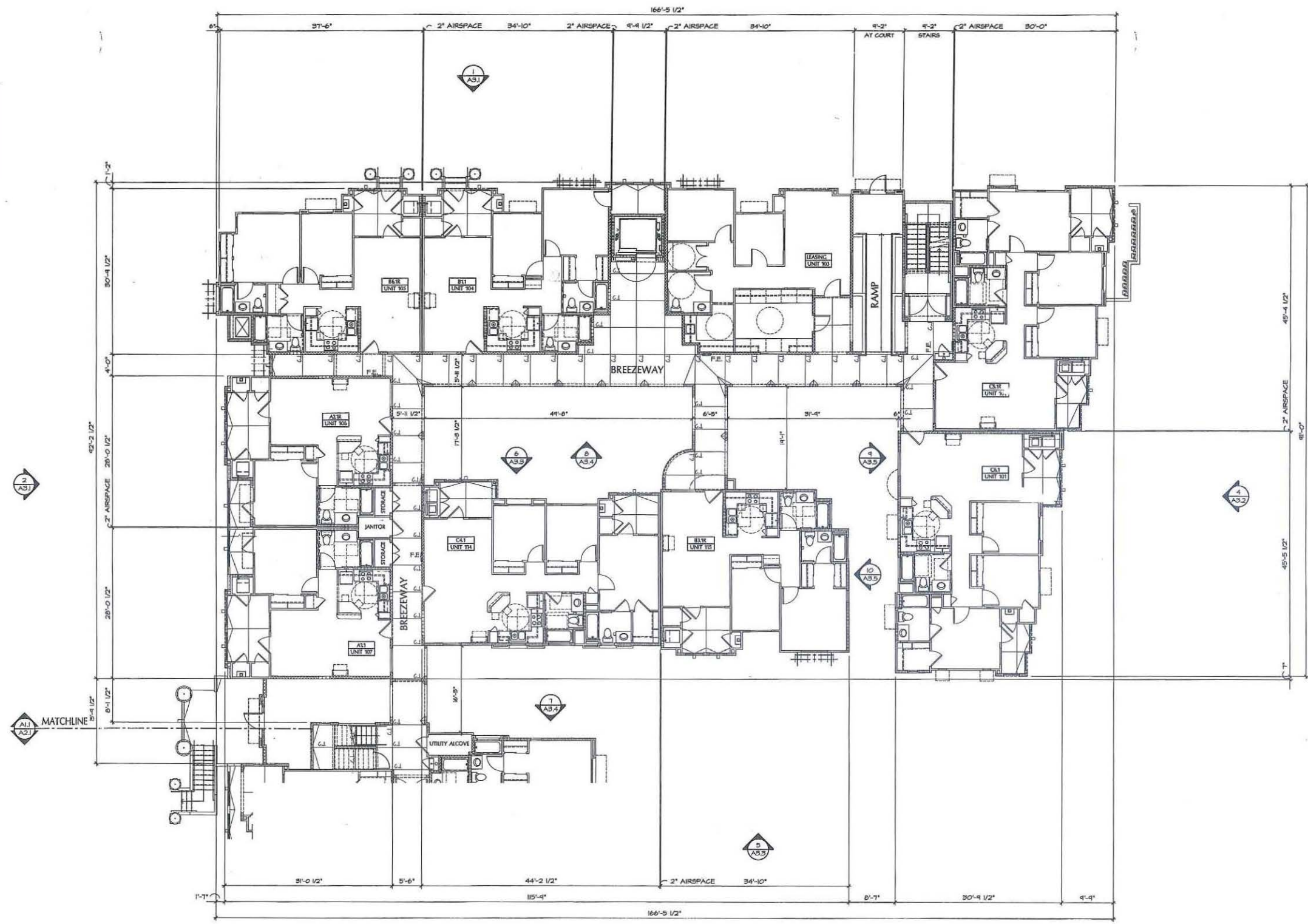


DATE: MAY, 09, 2009 SHEET: A0.29
 JOB NO.:
 DRAWN:
 CHECKED:
 SHEET 34 OF 61

BUILDING PLAN FINISH SCHEDULE LEGEND
 REFER TO UNIT PLAN NOTES FOR FINISH SCHEDULE.

BUILDING SHEET LEGEND

	2x4 STUD WALL		2x6 WALL W/ STAGGERED STUDS
	2x6 STUD WALL		2x6 STUD WALL
	1-HOUR FIRE PARTITION		F.D.
	RECESSED FIRE EXTINGUISHER		DECK DRAIN
	INDICATES FURRED C.L. AREA TO 1'-0" UNO.		F.E.



FIRST LEVEL PLAN

BUILDING 1
 ALL DWELLING UNITS ARE HANDICAP ADAPTABLE AND ACCESSIBLE UNITS

SCALE: 1/8" = 1'-0"

BUILDING DATA

OCCUPANCY	R2
CONSTRUCTION	VA
HEIGHT	4 STORIES
FIRE SPRINKLERS	IB
TOTAL DWELLING UNITS	20

SPACE	SF. BLDG. 1
LIVING AREA	26,897 S.F.
COVERED PATIO & BALG.	2,100 S.F.
MH CLOSET & LAUNDRY	1,974 S.F.
STORAGE	926 S.F.
SUBTOTAL	30,097 S.F.
JANITOR	173 S.F.
ELEVATOR	242 S.F.
STAIRS	610 S.F.
CIRCULATION (EXTERIOR BALCONY)	4,295 S.F.
MISC. SPACE (POP-OUTS)	269 S.F.
SUBTOTAL	6,189 S.F.
TOTAL BLDG. AREA	36,202 S.F.
BALC. OPEN TO SKY	1,065 S.F.
PER SDMG 113.0234(b)(4) PHANTOM FLOOR = 1,656 S.F.	

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BLDG. 1 - FIRST LEVEL PLAN

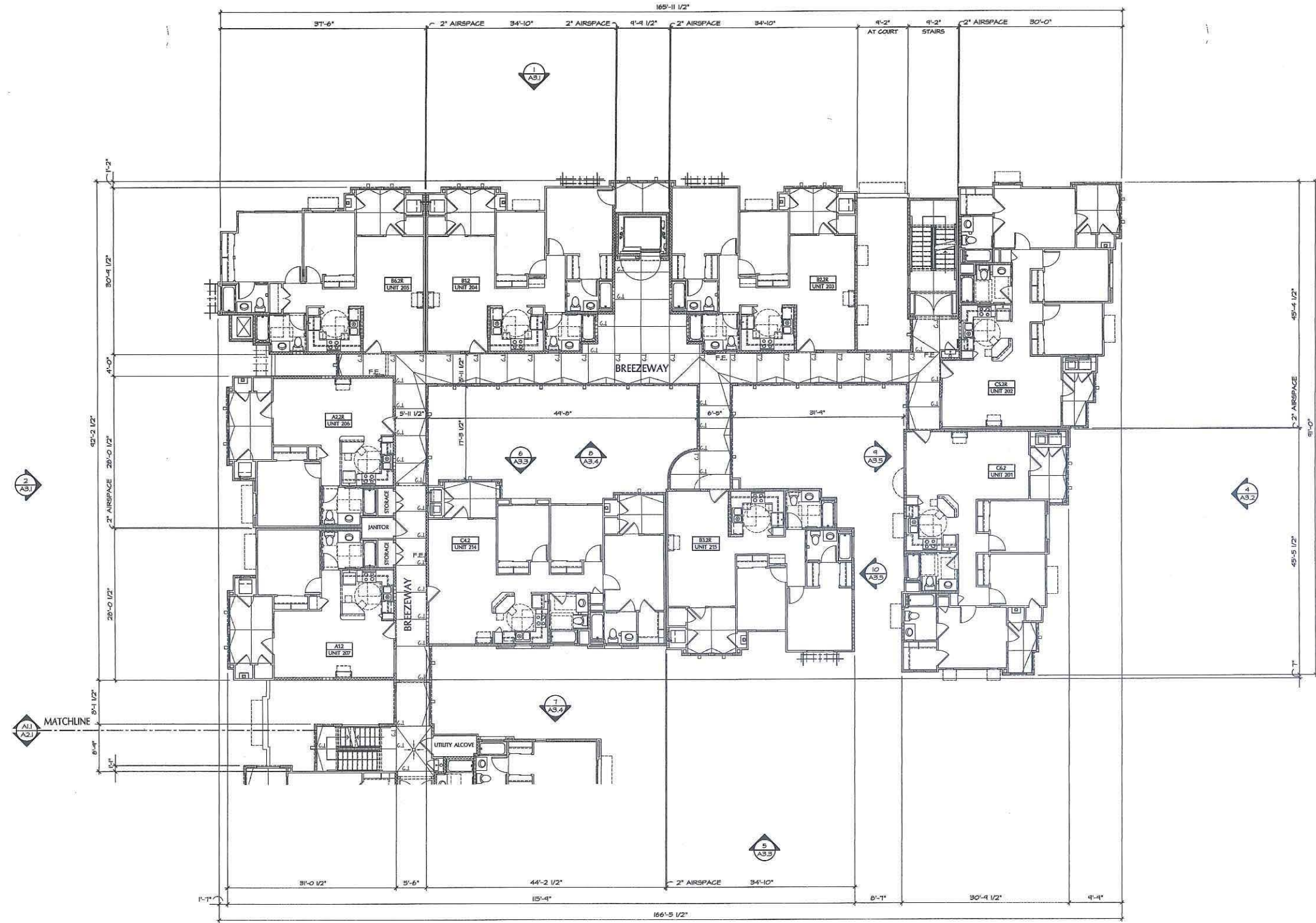
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
A 1	2ND SUBMITTAL	10/06/09	A 1		
A 2	3RD SUBMITTAL	01/19/10	A 1		
A 1			A 1		

DATE: MAY, 09, 2009 SHEET: **A1.1**
 SHEET 35 OF 61



APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 Easement Abandonment #47558
 APPROVED BY: DDP 04/18/10 SDP 04/16/10
 AM PDP/SDP 08/14/10
 APPROVED BY: THE BOARD OF SUPERVISORS
 COMMISSION CITY COUNCIL 09/22/10
 SIGNATURE: *Andrea Stosley*

BUILDING PLAN FINISH SCHEDULE LEGEND		
REFER TO UNIT PLAN NOTES FOR FINISH SCHEDULE.		
BUILDING SHEET LEGEND		
	2x4 STUD WALL	
	2x6 STUD WALL	
	1-HOUR FIRE PARTITION	
	INDICATES FURRED CL. AREA TO 1'-0" UNG.	
		DECK DRAIN
		RECESSED FIRE EXTINGUISHER



SECOND LEVEL PLAN

BUILDING I
 ALL DWELLING UNITS ARE HANDICAP ADAPTABLE AND ACCESSIBLE UNITS

SCALE: 1/8" = 1'-0"

BUILDING DATA	
OCCUPANCY	R2
CONSTRUCTION	VA
HEIGHT	4 STORIES
FIRE SPRINKLERS	IS
TOTAL DWELLING UNITS	26

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
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BLDG. I - SECOND LEVEL PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
▲ 1	2ND SUBMITTAL	10/08/09	▲		
▲ 2	3RD SUBMITTAL	01/19/10	▲		
▲			▲		
▲			▲		

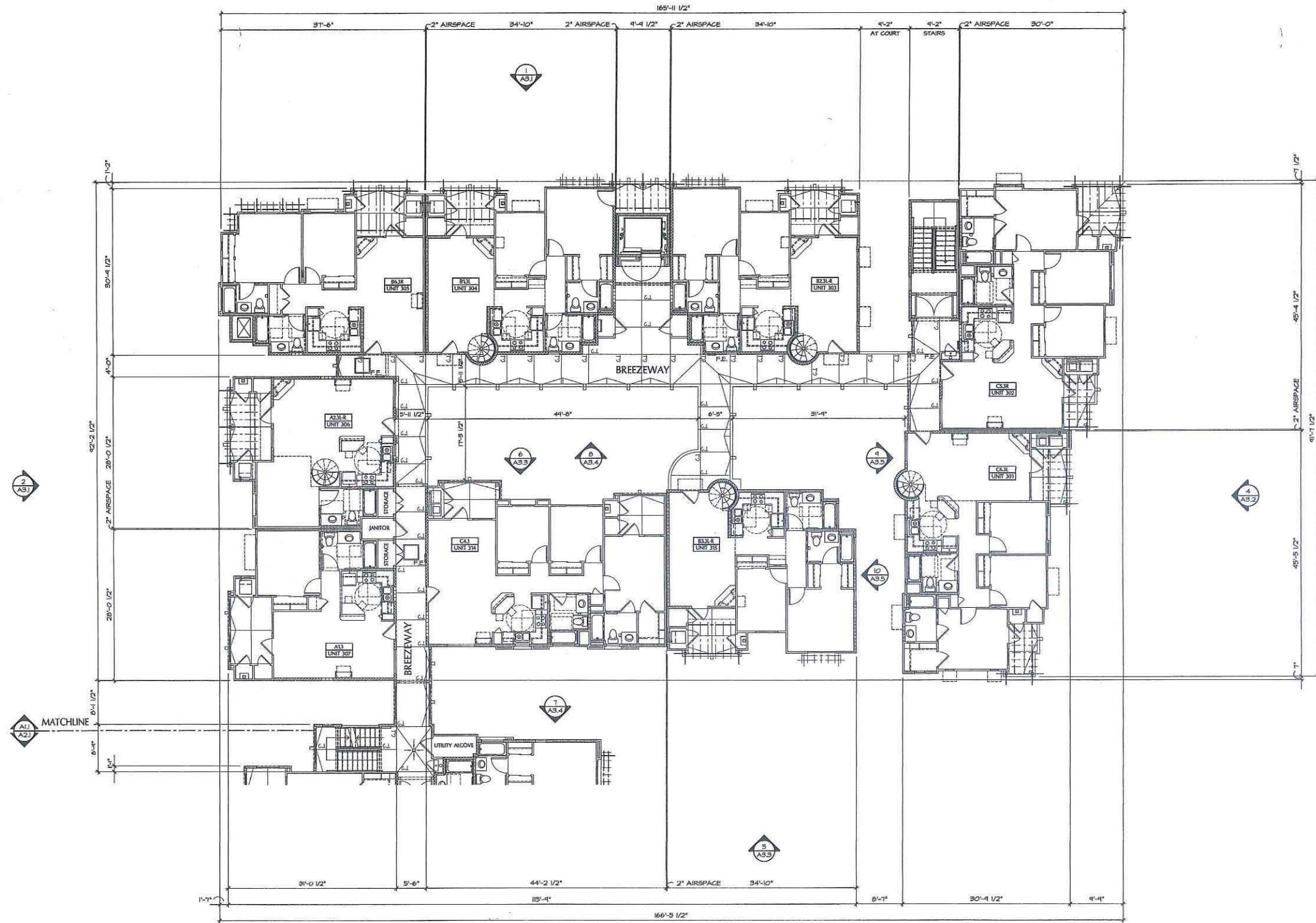


DATE: MAY 04, 2009 SHEET: A1.2
 JOB NO.:
 DRAWN:
 CHECKED:
 SHEET 36 OF 61

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 EXISTING Abandonment 917558
 APPLICANT: JACOBS FOUNDATION
 AM TDR/POP 50413/1619502
 HEARING DATE: 3-12-10
 COMMISSIONER: COUNCIL 3-12-10
 SIGNATURE: *Glendora Jorda*

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BUILDING PLAN FINISH SCHEDULE LEGEND			
REFER TO UNIT PLAN NOTES FOR FINISH SCHEDULE.			
BUILDING SHEET LEGEND			
	2x4 STUD WALL		2x6 WALL w/ STAGGERED STUDS
	2x6 STUD WALL		2x8 STUD WALL
	1-HOUR FIRE PARTITION		DECK DRAIN
	INDICATES FURRED CL6 AREA TO 4'-10" W.A.D.		RECESSED FIRE EXTINGUISHER



THIRD LEVEL PLAN

BUILDING 1
 ALL DWELLING UNITS ARE HANDICAP ADAPTABLE AND ACCESSIBLE UNITS

SCALE: 1/8" = 1'-0"

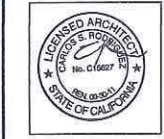
BUILDING DATA	
OCCUPANCY	R2
CONSTRUCTION	VA
HEIGHT	4 STORIES
FIRE SPRINKLERS	1B
TOTAL DWELLING UNITS	2B

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 Easement Abandonment 7/7/53
 APPROVAL: (S) ELLY GARDNER 6/16/09
 PLAN TYPED: 5/20/10 BY: J. GARDNER
 APPROVED BY: HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 5/20/10
 SIGNATURE: *Donna J. Gardner*

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
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BLDG. 1 - THIRD LEVEL PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/06/09	2	3RD SUBMITTAL	01/19/10
2	3RD SUBMITTAL	01/19/10			



DATE: MAY. 04, 2009 SHEET: A1.3
 JOB NO.:
 DRAWN:
 CHECKED:
 SHEET 37 OF 61

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BUILDING PLAN FINISH SCHEDULE LEGEND			
REFER TO UNIT PLAN NOTES FOR FINISH SCHEDULE			
BUILDING SHEET LEGEND			
	2x4 STUD WALL		2x6 HALL W/ STAGGERED STUDS
	2x6 STUD WALL		2x8 STUD WALL
	1-HOUR FIRE PARTITION		DECK DRAIN
	INDICATES FURRED G.L. AREA TO 4'-10" UNO.		RECESSED FIRE EXTINGUISHER



FOURTH LEVEL PLAN

BUILDING I
 ALL DWELLING UNITS ARE HANDICAP ADAPTABLE AND ACCESSIBLE UNITS

SCALE: 1/8" = 1'-0"

BUILDING DATA	
OCCUPANCY	R2
CONSTRUCTION	VA
HEIGHT	4 STORIES
FIRE SPRINKLERS	1B
TOTAL DWELLING UNITS	26

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92116
 (619) 527-6161 PH. (619) 298-2399 FAX

BLDG. I - FOURTH LEVEL PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/08/09	1		
2	3RD SUBMITTAL	01/19/10	2		



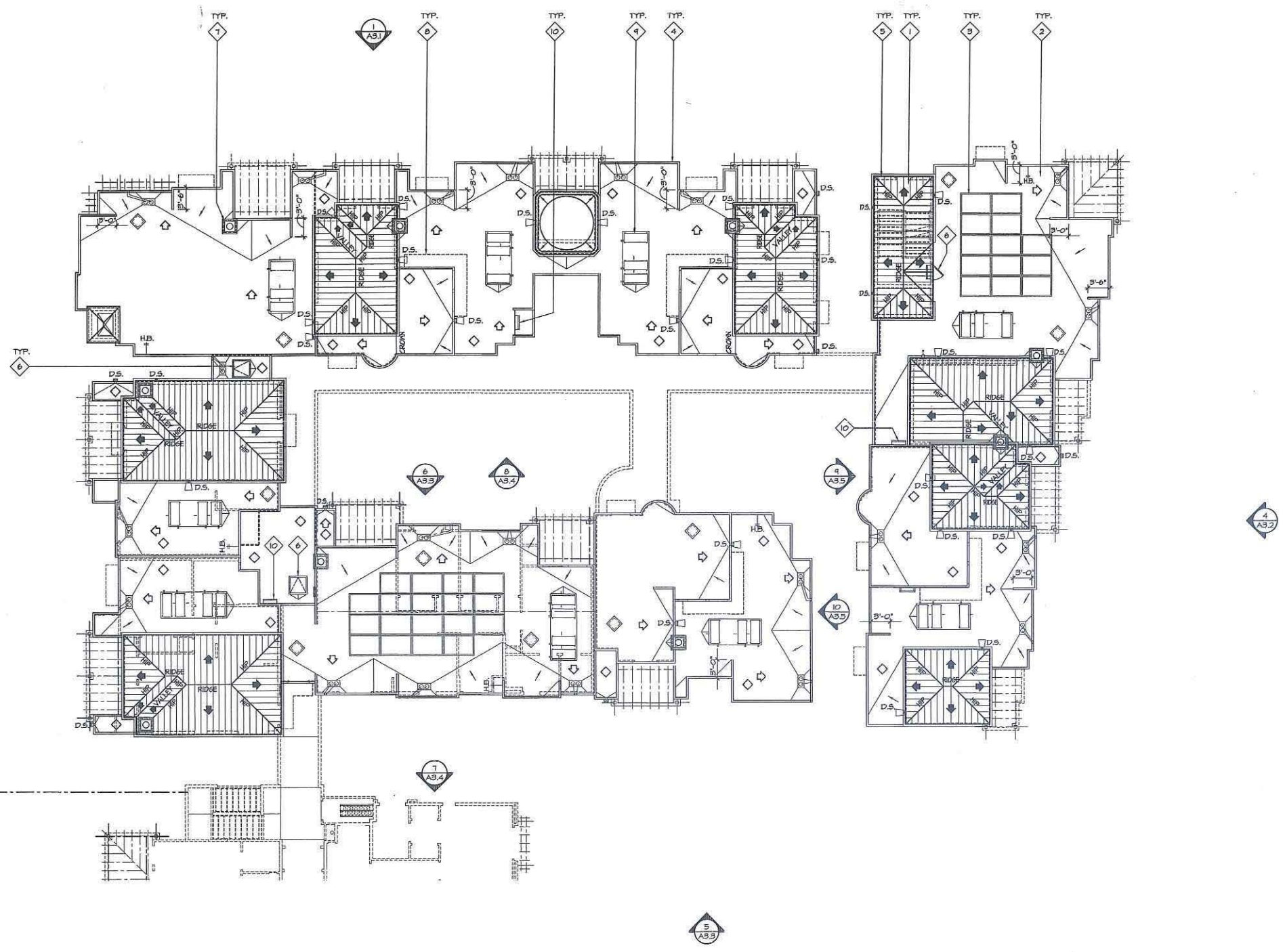
DATE: MAY. 09, 2009 SHEET: **A1.4**
 JOB NO.:
 DRAWN:
 CHECKED:
 SHEET 38 OF 61

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TYP. ROOF LEGEND & NOTES

- 1 METAL ROOFING W/ 12" STANDING SEAMS
 - ALTERNATE SLOPED ROOFS:
 FLAT CONCRETE TILE AT SLOPED ROOFS
 VILLA CONCRETE TILE ROOFINGS
- 2 BUILT-UP ROOFING AT FLAT ROOF AREAS
- 3 ROOF MOUNTED PHOTOVOLTAIC SOLAR PANELS, SCREENED FROM VIEW
- 4 PARAPET WALL WITH METAL COPING.
- 5 LINE OF ROOF OVERHANGS.
- 6 ROOF ACCESS HATCH.
- 7 B-VENT CHIMNEY
- 8 METAL ROOF CANOPY
- 9 ROOF-MOUNTED AC CONDENSER UNIT
- 10 ROOF ACCESS LADDER.

NOTES:
 BUILT-UP ROOF SLOPE SHALL BE 1/2" = 1 FT. MIN.
 PITCHED ROOF SLOPE SHALL BE 4 : 12 MIN.
 PITCHED ROOFS SHALL HAVE METAL BUTTERS.



ROOF PLAN
 BUILDING I

SCALE: 1/8" = 1'-0"

APPROVED EXHIBIT "A"
 PROJECT NO. 177150
 Easement Abandonment 475523
 APPLICABLE TO THE FILE NUMBER SDP 619664
 Am. PDV SDP 580136/619562
 APPROVED BY: HEARING OFFICER, PLANNING
 COMMISSION/CITY COUNCIL ON 5-22-10
 SIGNATURE: *Amara Jusley*

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

BLDG. I - ROOF PLAN

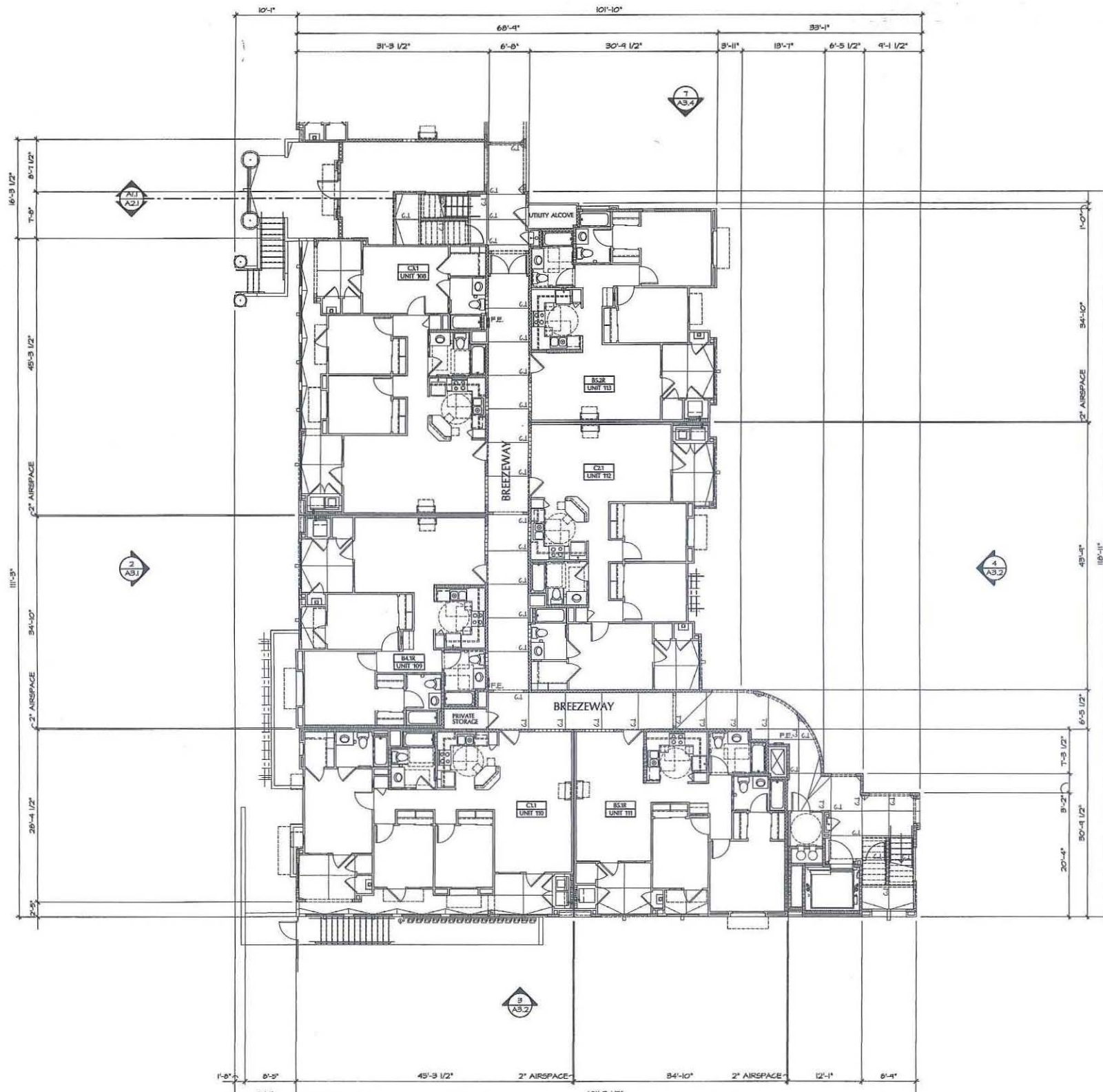
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/06/09	▲		
2	3RD SUBMITTAL	01/19/10	▲		
▲			▲		
▲			▲		



DATE: MAY. 09, 2009 SHEET: A1.5
 JOB NO.:
 DRAWN:
 CHECKED:
 SHEET 39 OF 61

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BUILDING PLAN FINISH SCHEDULE LEGEND			
REFER TO UNIT PLAN NOTES FOR FINISH SCHEDULE.			
BUILDING SHEET LEGEND			
	2x4 STUD WALL		2x6 WALL W/ STAGGERED STUDS
	2x6 STUD WALL		2x8 STUD WALL
	1-HOUR FIRE PARTITION		F.D.
	INDICATES FURRED GL. AREA TO 1'-0" UNO.		P.E.
			RECESSED FIRE EXTINGUISHER



FIRST LEVEL PLAN

BUILDING II
 ALL DWELLING UNITS ARE HANDICAP ADAPTABLE AND ACCESSIBLE UNITS

SCALE: 1/8" = 1'-0"

BUILDING DATA	
OCCUPANCY	R2
CONSTRUCTION	VA
HEIGHT	4 STORIES
FIRE SPRINKLERS	IS
TOTAL DWELLING UNITS	24

SPACE	SF, BLDG. II
LIVING AREA	23,342 S.F.
COVERED PATIO & BALG.	2,024 S.F.
PH CLOSET & LAUNDRY	630 S.F.
STORAGE	271 S.F.
SUBTOTAL	26,267 S.F.
TRASH ROOM	202 S.F.
ELEVATOR	322 S.F.
STAIRS	457 S.F.
CIRCULATION (EXTERIOR BALCONY / HALL)	4,460 S.F.
MISC. SPACE (POP-OUTS)	260 S.F.
SUBTOTAL	6,241 S.F.
TOTAL BLDG. AREA	32,544 S.F.
BALC. OPEN TO SKY	987 S.F.

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

BLDG. II - FIRST LEVEL PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/06/09	A		
2	3RD SUBMITTAL	01/19/10	A		

DATE: MAY. 04, 2004
 JOB NO.:
 DRAWN:
 CHECKED:

A2.1
 SHEET 40 OF 61

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 EXISTING APARTMENT REUSE
 APPROVAL NO. 10/06/09 PDP 649667
 PM PDP 502174/619526
 APPROVED BY: HEARING OFFICER, PLANNING
 COMMISSION CITY COUNCIL ON 3-22-10
 SIGNATURE: *John A. Shastley*

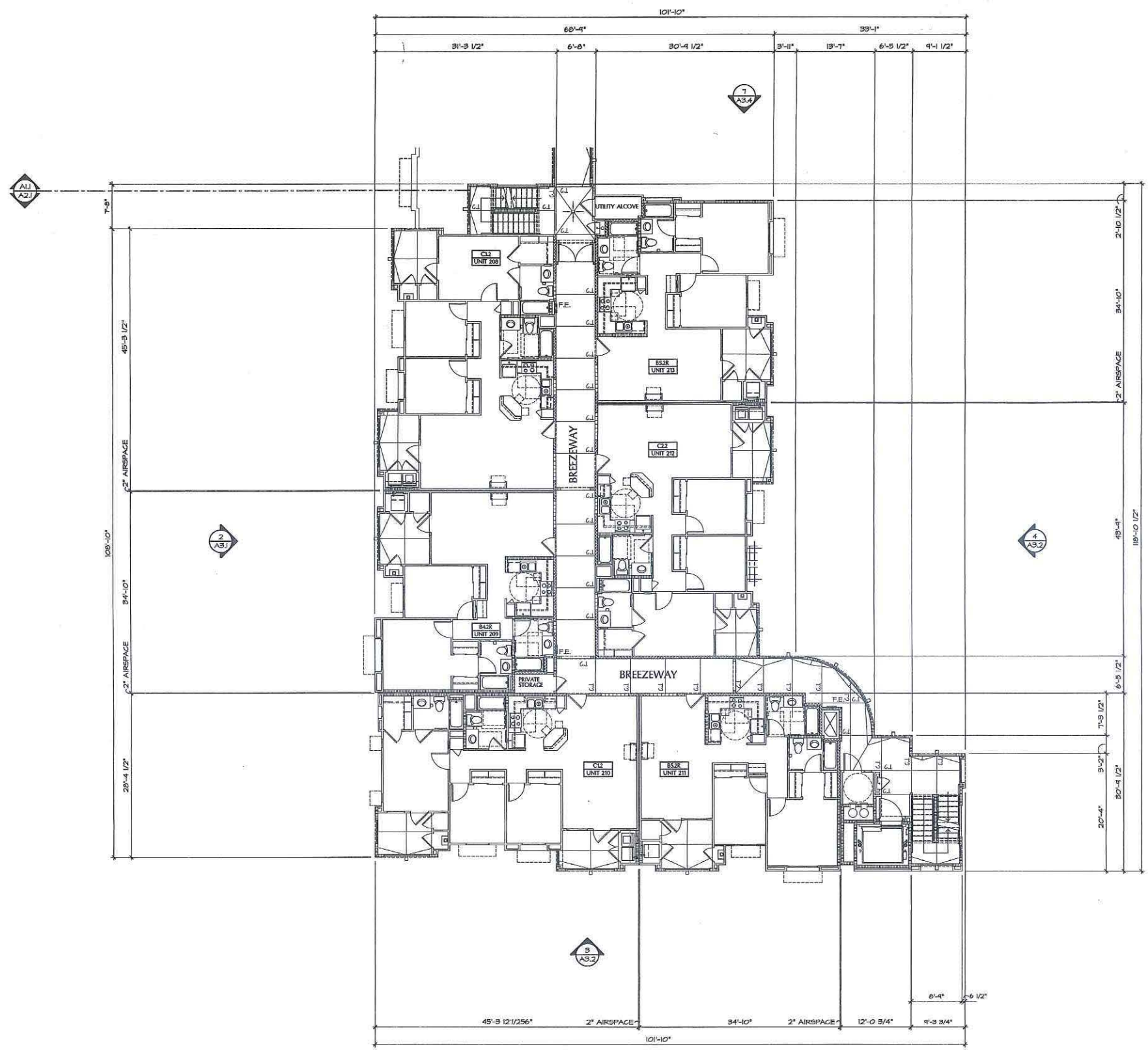


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BUILDING PLAN FINISH SCHEDULE LEGEND
 REFER TO UNIT PLAN NOTES FOR FINISH SCHEDULE.

BUILDING SHEET LEGEND

	2x4 STUD WALL		2x6 WALL W/ STAGGERED STUDS
	2x6 STUD WALL		2x8 STUD WALL
	1-HOUR FIRE PARTITION		DECK DRAIN
	INDICATES FURRED G.L. AREA TO 1'-0" UND.		RECESSED FIRE EXTINGUISHER



SECOND LEVEL PLAN

BUILDING II
 ALL DWELLING UNITS ARE HANDICAP ADAPTABLE AND ACCESSIBLE UNITS

SCALE: 1/8" = 1'-0"

BUILDING DATA

OCCUPANCY	R2
CONSTRUCTION	VA
HEIGHT	4 STORIES
FIRE SPRINKLERS	IB
TOTAL DWELLING UNITS	24

APPROVED EXHIBIT "A"
 PROJECT NO. 178950
 Easement Abandonment #1755B
 Final PDP/SDP 500 F
 APPROVED BY HEARING OFFICER 5/6/10
 COMMISSION COUNCIL ON 3-22-10
 SIGNATURE: *Christina Seasley*

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

BLDG. II - SECOND LEVEL PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/06/09	1		
2	3RD SUBMITTAL	01/19/10	2		
3			3		

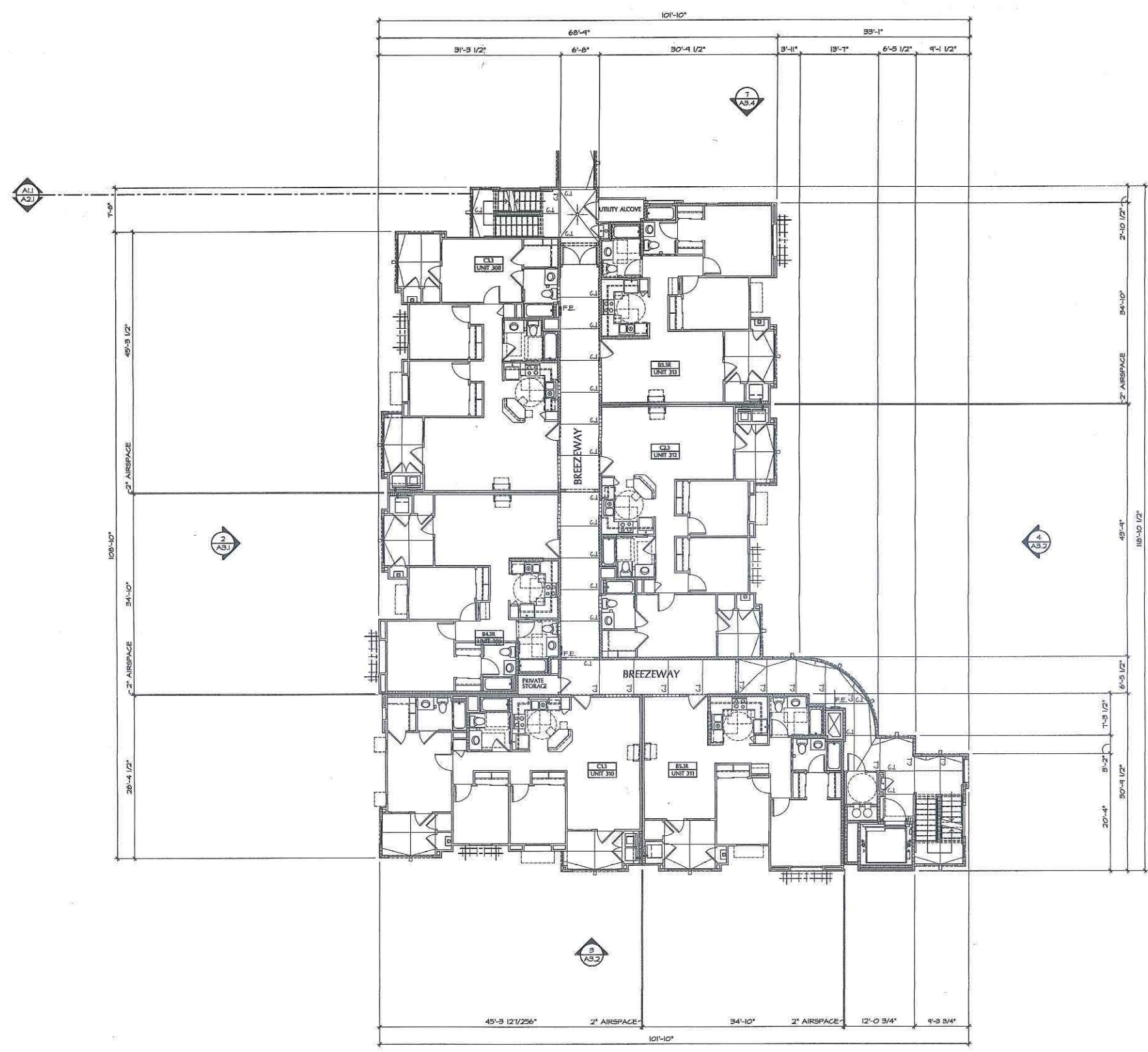
DATE: MAY, 09, 2009 SHEET: **A2.2**
 SHEET 41 OF 61

DATE: _____ SHEET: _____
 JOB NO.: _____
 DRAWN: _____
 CHECKED: _____



ALL IDEAS, DESIGNS, ARRANGEMENTS & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. & WERE CREATED, EVOLVED & DEVELOPED FOR USE ON, & IN CONNECTION WITH, THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. WRITTEN DIMENSIONS OR THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, & THIS OFFICE MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

BUILDING PLAN FINISH SCHEDULE LEGEND			
REFER TO UNIT PLAN NOTES FOR FINISH SCHEDULE.			
BUILDING SHEET LEGEND			
	2x4 STUD WALL		2x6 WALL W/ STAGGERED STUDS
	2x6 STUD WALL		2x8 STUD WALL
	1-HOUR FIRE PARTITION		DECK DRAIN
	INDICATES FURRED CL6 AREA TO 7'-10" U.L.D.		RECESSED FIRE EXTINGUISHER



THIRD LEVEL PLAN

BUILDING II
 ALL DWELLING UNITS ARE HANDICAP ADAPTABLE AND ACCESSIBLE UNITS

SCALE: 1/8" = 1'-0"

BUILDING DATA	
OCCUPANCY	R2
CONSTRUCTION	VA
HEIGHT	4 STORIES
FIRE SPRINKLERS	IB
TOTAL DWELLING UNITS	24

APPROVED EXHIBIT "A"
 PROJECT NO. 17995D
 Easement Abandonment 17995D
 APPROVAL NO. SDP 683152 SDP 64667
 Am. PDP/SDP 582176/619582
 APPROVED BY: HEARING OFFICER: [Signature]
 COMMISSION: CITY COUNCIL ON 12/27/10
 SIGNATURE: [Signature]

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

BLDG. II - THIRD LEVEL PLAN

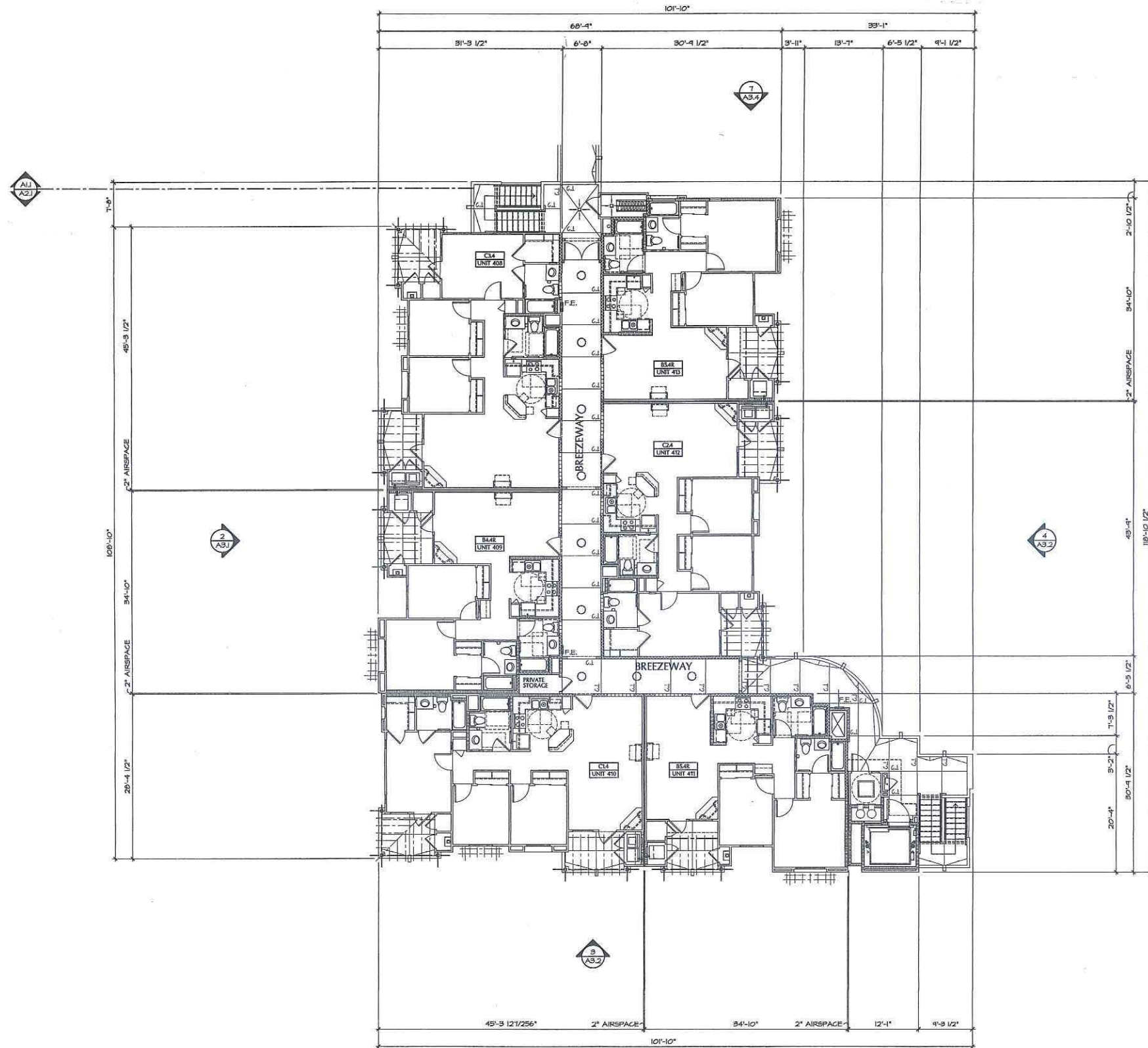
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A 2	3RD SUBMITTAL	01/19/10	A 2		
A 3			A 3		
A 4			A 4		



DATE: MAY 04, 2009 SHEET: A2.3
 JOB NO.:
 DRAWN:
 CHECKED:
 SHEET 42 OF 61

ALL DEAS, DESIGNS, ARRANGEMENTS & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY & ARE THE PROPERTY OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. & WERE CREATED, EVOLVED & DEVELOPED FOR USE ON & IN CONNECTION WITH THE SPECIFIC PROJECT. NO USE OF SUCH DEAS, DESIGNS, ARRANGEMENTS OR PLANS IS PERMITTED WITHOUT THE WRITTEN PERMISSION OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, & THIS OFFICE MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

BUILDING PLAN FINISH SCHEDULE LEGEND			
REFER TO UNIT PLAN NOTES FOR FINISH SCHEDULE.			
BUILDING SHEET LEGEND			
	2x4 STUD WALL		2x6 HALL W/ STAGGERED STUDS
	2x6 STUD WALL		2x6 STUD WALL
	1-HOUR FIRE PARTITION		DECK DRAIN
	INDICATES FURRED CLG. AREA TO 7'-10" UND.		RECESSED FIRE EXTINGUISHER



FOURTH LEVEL PLAN

BUILDING II
 ALL DWELLING UNITS ARE HANDICAP ADAPTABLE AND ACCESSIBLE UNITS

SCALE: 1/8" = 1'-0"

BUILDING DATA	
OCCUPANCY	R2
CONSTRUCTION	VA
HEIGHT	4 STORIES
FIRE SPRINKLERS	IS
TOTAL DWELLING UNITS	24

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 EXHIBIT Abandonment 477-558
 APPROVAL DATE: 05/19/10
 APPROVED BY: HEARING OFFICER, PLANNING
 COMMUNITY CITY COUNCIL ON 5/22/10
 SIGNATURE: *Janet J. Jasky*

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

BLDG. II - FOURTH LEVEL PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
▲ 1	2ND SUBMITTAL	10/06/09	▲		
▲ 2	3RD SUBMITTAL	01/19/10	▲		
▲			▲		



DATE: MAY. 04, 2009 SHEET
 JOB NO.:
 DRAWN:
 CHECKED:
A2.4
 SHEET 43 OF 61

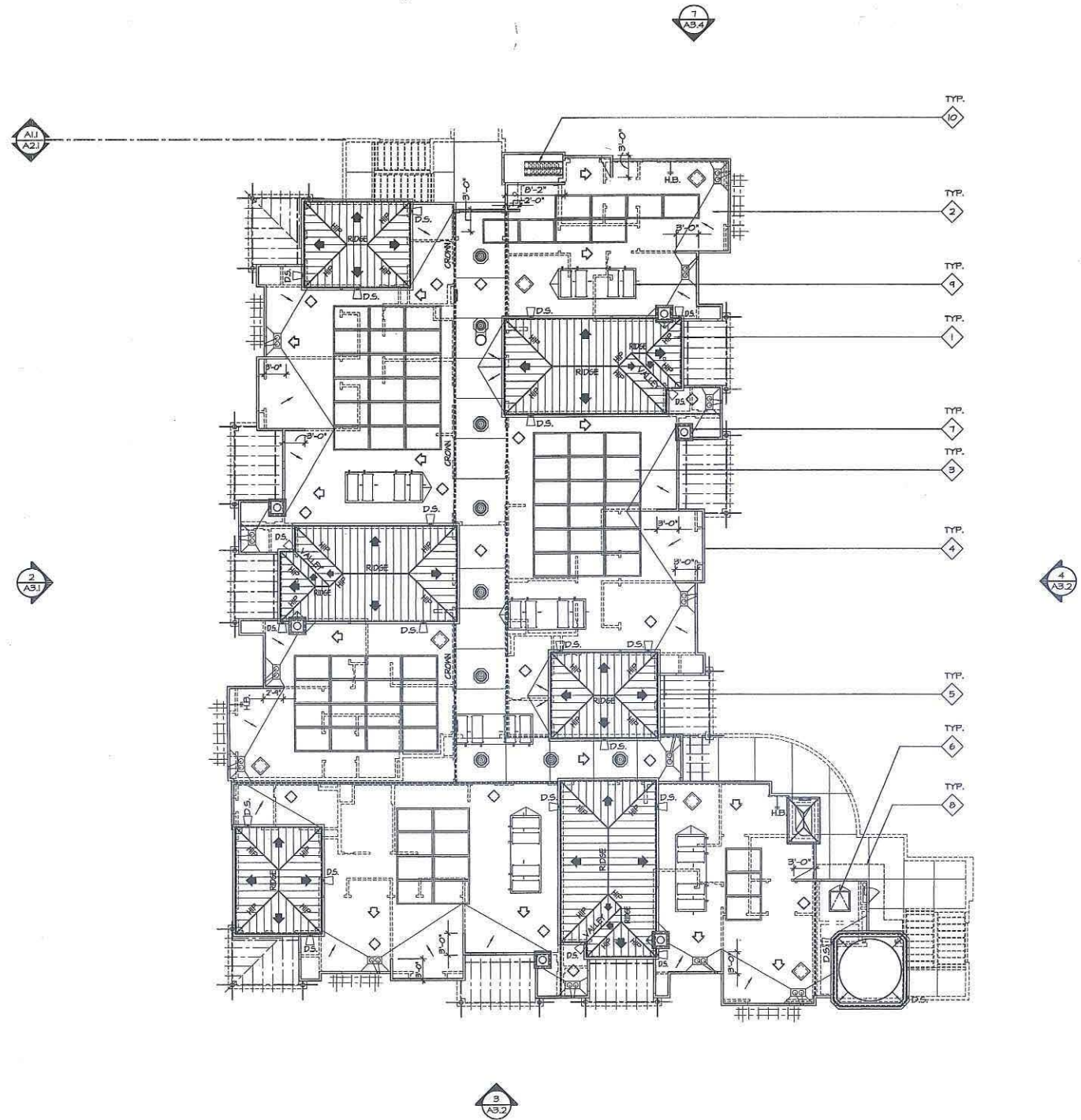
ALL IDEAS, DESIGNS, ARRANGEMENTS & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. & WERE CREATED, EVOLVED & DEVELOPED FOR USE ON, & IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, & THIS OFFICE MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

TYP. ROOF LEGEND & NOTES

- 1 METAL ROOFING W/ 12" STANDING SEAMS
 - ALTERNATE SLOPED ROOFS:
 FLAT CONCRETE TILE AT SLOPED ROOFS
 VILLA CONCRETE TILE ROOFINGS
- 2 BUILT-UP ROOFING AT FLAT ROOF AREAS
- 3 ROOF MOUNTED PHOTOVOLTAIC SOLAR PANELS, SCREENED FROM VIEW
- 4 PARAPET WALL WITH METAL COPING.
- 5 LINE OF ROOF OVERHANG.
- 6 ROOF ACCESS HATCH.
- 7 B-VENT CHIMNEY.
- 8 METAL ROOF CANOPY
- 9 ROOF-MOUNTED AC CONDENSER UNIT
- 10 ROOF ACCESS LADDER.

NOTES:

BUILT-UP ROOF SLOPE SHALL BE 1/2" : 1 FT. MIN.
 PITCHED ROOF SLOPE SHALL BE 4 : 12 MIN.
 PITCHED ROOFS SHALL HAVE METAL GUTTERS.



ROOF PLAN
 BUILDING II

SCALE: 1/8" = 1'-0"

APPROVED EXHIBIT "A"
 PROJECT NO. 13985D
 Edment Amendment 27588
 33 SDP 648667 EDP 64852
 Am. PDP/SDP 582196/619560
 APPROVED BY HEARING OFFICER, PLANNING
 COMMISSION/CITY COUNCIL ON 5/22/10
 SIGNATURE *Shandra Seasley*

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

BLDG. II - ROOF PLAN

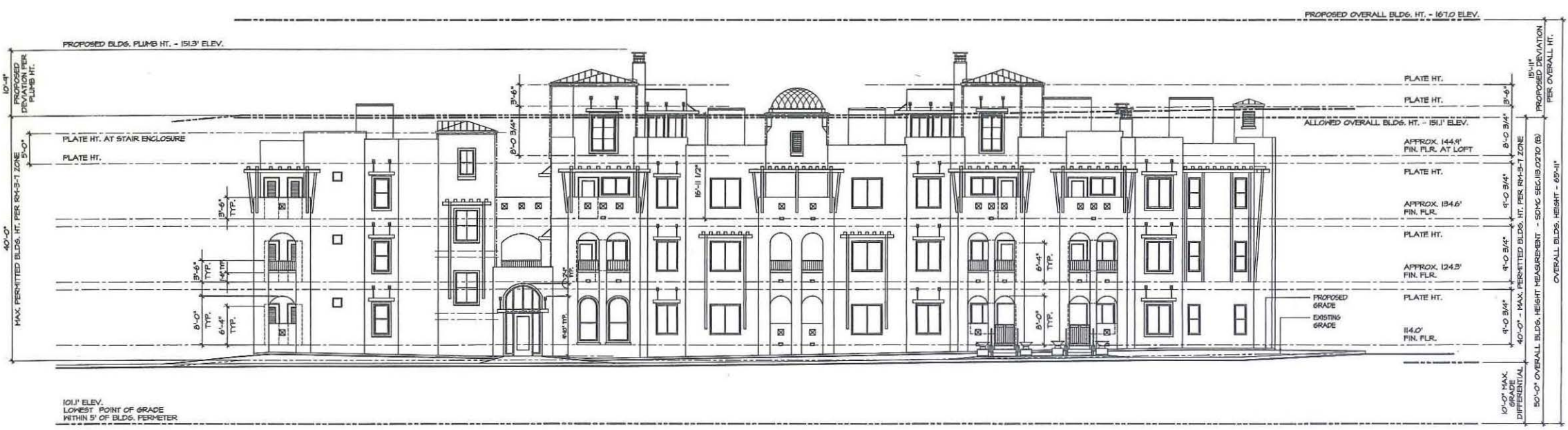
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
▲ 1	2ND SUBMITTAL	10/05/09	▲		
▲ 2	3RD SUBMITTAL	01/19/10	▲		
▲			▲		



DATE: MAY 04, 2009
 JOB NO.:
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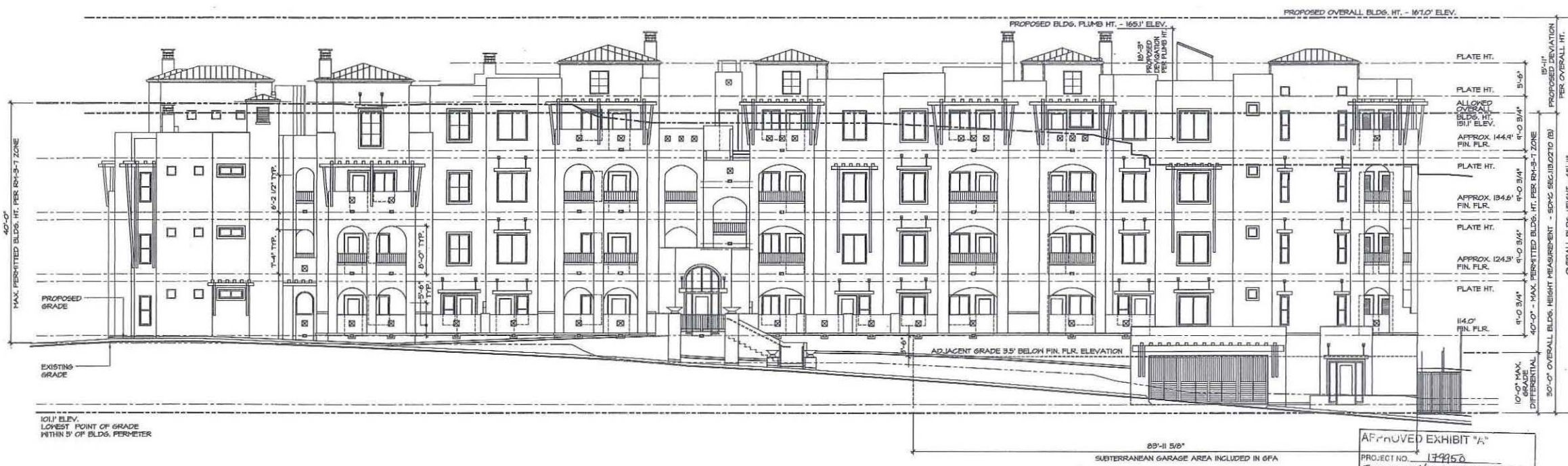
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A2.5
 SHEET 44 OF 61

ALL IDEAS, DESIGNS, ARRANGEMENTS & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY & THE PROPERTY OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. & WERE CREATED, EXAMINED, & DEVELOPED FOR USE ON, & IN CONNECTION WITH, THE SPECIFIC PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, & THIS OFFICE MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



ELEVATION 1 - NORTH
 VIEW ALONG MARKET STREET

SCALE: 1/8" = 1'-0"



ELEVATION 2 - WEST
 VIEW ALONG MARKET CREEK

NOTE: FOR TYPICAL NOTES, DIMENSIONS AND DETAILS, REFER TO ELEVATION 1.

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 Facemont Subdivision 77-558
 APPROX. N. 101ST ST. 64152-20
 ALL THE EASE 50017-64552-01
 APPROVED BY THE CITY OF SAN DIEGO
 COMMISSIONER CITY OF SAN DIEGO
 SIGNATURE: Sandra Teasley
 DATE: 5-22-10

SCALE: 1/8" = 1'-0"

TYPICAL EXTERIOR FINISHES

- METAL ROOFING W/ 12" STANDING SEAMS
- ALTERNATE SLOPED ROOFS
- FLAT CONCRETE TILE AT SLOPED ROOFS
- VILLA CONCRETE TILE ROOFING
- BUILT-UP ROOFING AT FLAT ROOF AREAS
- EXTERIOR STUCCO HALL FINISH
- WOOD ROOF FASCIA
- METAL CANOPY AWNINGS
- WOOD & TRELLIS AWNINGS
- EXPOSED WOOD TRELLIS MEMBERS
- METAL CLAD EXTERIOR DOORS
- METAL CLAD FRENCH DOORS
- VINYL FRAMED WINDOWS
- METAL BALCONY RAILINGS - PAINTED
- METAL ROOF GUTTERS - PAINTED

EXTERIOR COLORS

- ROOFING COLOR, SUCH AS:
 - MOSS / EARTHSTONE GREEN
- THE EXTERIOR STUCCO COLOR RANGE, SUCH AS:
 - BUFF COLOR EARTH TONE
 - HARM SIENNA COLOR
 - BURNT OCHRE EARTH TONE
 - TERRA COTTA EARTH TONE
 - HARM / OFF-WHITES
 - EARTH GREEN / OLIVE
- METAL RAILINGS ACCENT COLOR, SUCH AS:
 - SLATE RED / VERMILLION
 - SLATE GREEN / PEACOCK
 - SLATE PURPLE / VIOLET

ARCHITECTURAL DESIGN ELEMENTS

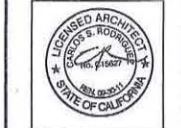
- STREETSCAPE ELEMENTS, INCLUDE:
 - STOREFRONT BLDG. ENTRIES W/ CANOPIES
 - RAISED PLANTERS
 - AWNINGS AND DECORATIVE TRELLIS
- SEMI-PRIVATE OUTDOOR SPACES, INCLUDE:
 - RAISED PLANTERS
 - ENHANCED BLDG. ENTRANCES
- STREET HALL FACADES BLDG. HEIGHTS AND FORMS VARIED BY:
 - WINDOW OPENINGS AND RECESSED BALCONIES
 - DEFINED BLDG./STAIR ENTRY ELEMENTS
 - COMPLEMENTARY MATERIALS AND COLOR
 - STAIRWAYS INCLUDE A MIN. OF ONE 2' X 2' WINDOW OPENING PER FLOOR
- ROOF ELEMENTS, DEFINED BY:
 - ROOF LINES BROKEN UP AND VARIED
 - VARIED ROOF HEIGHTS
 - ROOF-MOUNTED MECHANICAL EQUIPMENT NOT VISIBLE FROM PUBLIC VIEW
 - ROOF FLASHING AND VENTS PAINTED TO MATCH ADJACENT SURFACES
- FAÇADE ELEMENTS, INCLUDES:
 - MIN. 10" WIDE
 - MIN. 20% GLAZING OF BLDG. SURFACE
 - LANDSCAPED PLANTERS
 - VARIED ROOF HEIGHTS
- LIGHTING; MIN. REQUIREMENTS:
 - LIGHTING FOR PEDESTRIAN CORRIDORS AND STREETSCAPE SIDEWALKS SHALL PROVIDE A MIN. LIGHTING STANDARD OF 4,000 LUMENS PER FIXTURE. FIXTURE HEIGHT SHALL NOT EXCEED 16' IN HEIGHT.
 - LIGHTING FIXTURES ON BUILDING FACADES SHALL BE LOCATED TO PROVIDE LIGHTING TO ENTRIES AND PUBLIC SPACES. FIXTURES SHALL BE PEDESTRIAN SCALED AND SHALL BE LOCATED NO LIGHTER THAN 12' ABOVE STREET LEVEL. FIXTURES SHALL NOT EXCEED 6,000 LUMENS PER FIXTURE.
- OTHER:
 - UTILITY METERS AND EQUIPMENT SHALL BE PLACED IN LOCATIONS THAT ARE NOT EXPOSED TO PUBLIC VIEW OR THEY SHALL BE SCREENED.

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION

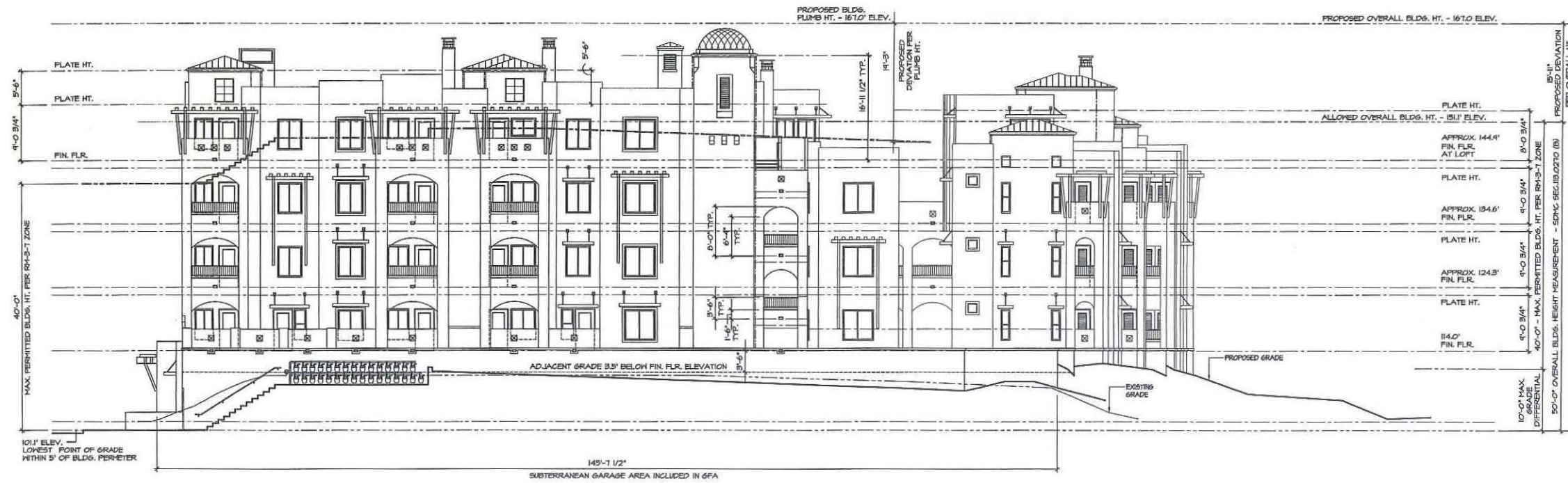
c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

EXTERIOR ELEVATIONS

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
A 1	3RD SUBMITTAL	10/09/09	A		
A 2	3RD SUBMITTAL	01/19/10	A		
A			A		
A			A		



DATE: MAY. 04, 2009 SHEET
 JOB NO.:
 DRAWN:
 CHECKED:
A3.1
 SHEET 45 OF 61



ELEVATION 3 - SOUTH

NOTE: FOR TYPICAL NOTES, DIMENSIONS AND DETAILS, REFER TO ELEVATION 1.

SCALE: 1/8" = 1'-0"



ELEVATION 4 - EAST

VIEW ALONG CREEK

NOTE: FOR TYPICAL NOTES, DIMENSIONS AND DETAILS, REFER TO ELEVATION 1.

SCALE: 1/8" = 1'-0"

TYPICAL EXTERIOR FINISHES

- METAL ROOFING W/ 12" STANDINGS SEAMS
- ALTERNATE SLOPED ROOFS
- FLAT CONCRETE TILE AT SLOPED ROOFS
- VILLA CONCRETE TILE ROOFING
- BUILT-UP ROOFING AT FLAT ROOF AREAS
- EXTERIOR STUCCO HALL FINISH
- WOOD ROOF FASCIA
- METAL CANOPY AWNINGS
- WOOD TRELLIS AWNINGS
- EXPOSED WOOD TRELLIS MEMBERS
- METAL GLAD EXTERIOR DOORS
- METAL GLAD FRENCH DOORS
- VINYL FRAMED WINDOWS
- METAL BALCONY RAILINGS - PAINTED
- METAL ROOF GUTTERS - PAINTED

EXTERIOR COLORS

- ROOFING COLOR, SUCH AS:
 - MOSS / EARTHTONE GREEN
- THE EXTERIOR STUCCO COLOR RANGE, SUCH AS:
 - BUFF COLOR EARTH TONE
 - HARM SIENNA COLOR
 - BURNT OCHRE EARTH TONE
 - TIERRA COTTA EARTH TONE
 - HARM / OFF-WHITES
 - EARTH GREEN / OLIVE
- METAL RAILINGS ACCENT COLOR, SUCH AS:
 - SLATE RED / VERMILLION
 - SLATE GREEN / PEACOCK
 - SLATE PURPLE / VIOLET

ARCHITECTURAL DESIGN ELEMENTS

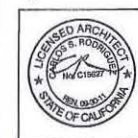
- STREETSCAPE ELEMENTS, INCLUDE:
 - STOREFRONT BLDG. ENTRIES W/ CANOPIES
 - RAISED PLANTERS
 - AWNINGS AND DECORATIVE TRELLIS
- SEMI-PRIVATE OUTDOOR SPACES, INCLUDE:
 - RAISED PLANTERS
 - ENHANCED BLDG. ENTRANCES
- STREET WALL FACADE, BLDG. HEIGHTS AND FORMS VARIED BY:
 - WINDOW OPENINGS AND RECESSED BALCONIES
 - DEFINED BLDG./STAIR ENTRY ELEMENTS
 - COMPLEMENTARY MATERIALS AND COLOR
 - STAIRWAYS INCLUDE A MIN. OF ONE 2' X 2' WINDOW OPENING PER FLOOR
- ROOF ELEMENTS, DEFINED BY:
 - ROOF LINES BROKEN UP AND VARIED
 - VARIED ROOF HEIGHTS
 - ROOF-MOUNTED MECHANICAL EQUIPMENT NOT VISIBLE FROM PUBLIC VIEW
 - ROOF FLASHING AND VENTS PAINTED TO MATCH ADJACENT SURFACES
- PAVED ELEMENT, INCLUDES:
 - MIN. 10' WIDE
 - MIN. 20% GLAZING OF BLDG. SURFACE
 - LANDSCAPED PLANTERS
 - VARIED ROOF HEIGHTS
- LIGHTING, MIN. REQUIREMENTS:
 - LIGHTING FOR PEDESTRIAN CORRIDORS AND STREETSCAPE SIDEWALKS SHALL PROVIDE A MIN. LIGHTING STANDARD OF 4,000 LUMENS PER FIXTURE. FIXTURE HEIGHT SHALL NOT EXCEED 16' IN HEIGHT.
 - LIGHTING FIXTURES ON BUILDING FACADES SHALL BE LOCATED TO PROVIDE LIGHTING TO ENTRIES AND PUBLIC SPACES. FIXTURES SHALL BE PEDESTRIAN SCALED AND SHALL BE LOCATED NO LOWER THAN 12' ABOVE STREET LEVEL. FIXTURES SHALL NOT EXCEED 6,000 LUMENS PER FIXTURE.
- OTHER:
 - UTILITY METERS AND EQUIPMENT SHALL BE PLACED IN LOCATIONS THAT ARE NOT EXPOSED TO PUBLIC VIEW OR THEY SHALL BE SCREENED.

**TROLLEY RESIDENTIAL DEVELOPMENT
 JACOBS FOUNDATION**

c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

EXTERIOR ELEVATIONS

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/08/09	1		
2	3RD SUBMITTAL	01/19/10	2		



DATE: MAY 09, 2009 SHEET: A3.2

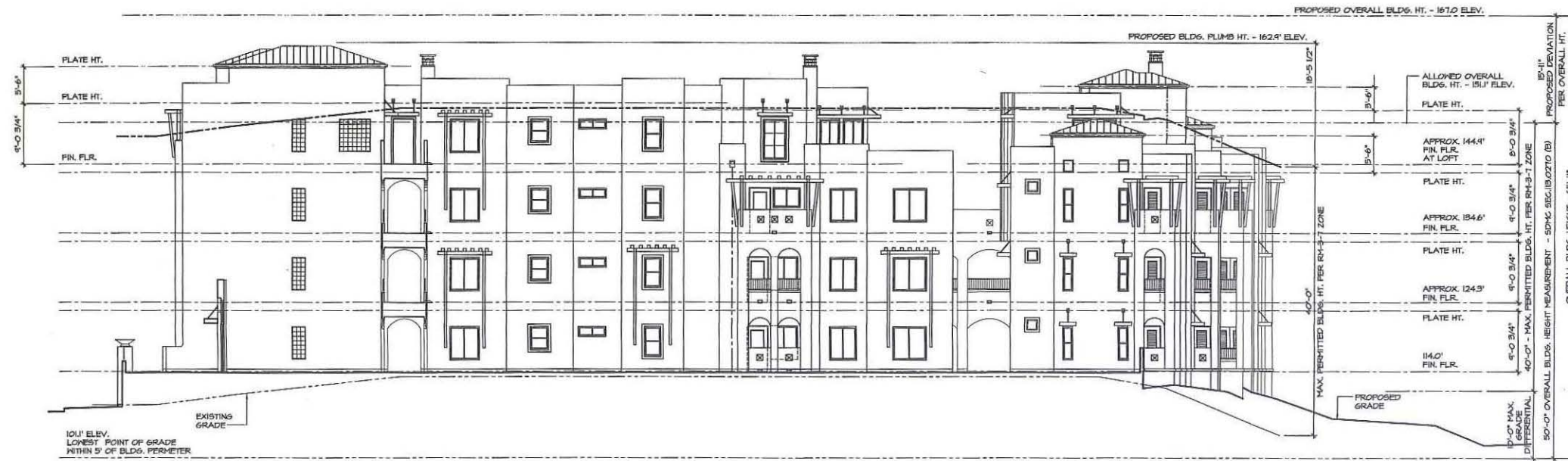
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DRAWN:

CHECKED:

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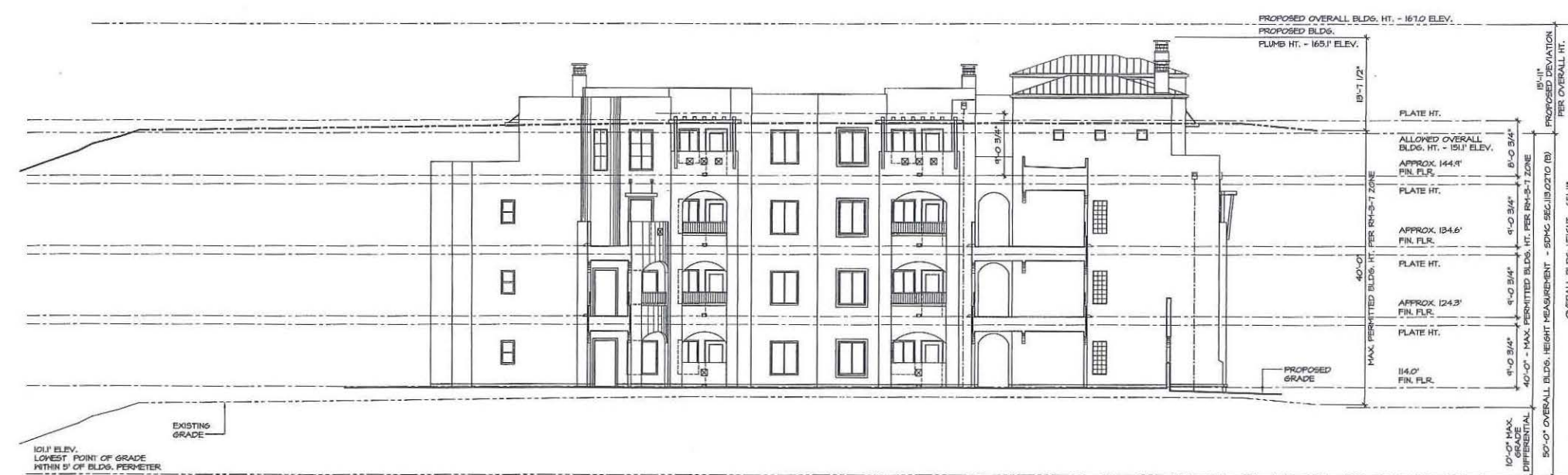
APPROVED EXHIBIT "A"
 PROJECT NO. 17995B
 Elevation abandonment 7/25/08
 APPROVAL NO. 101-10000-002-00004
 AM. PDP/SDP 5001-1/6/08
 APPROVED BY HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 5-27-10
 SIGNATURE: *Dorinda Stasley*



ELEVATION 5

NOTE: FOR TYPICAL NOTES, DIMENSIONS AND DETAILS, REFER TO ELEVATION 1.

SCALE: 1/8" = 1'-0"



ELEVATION 6

NOTE: FOR TYPICAL NOTES, DIMENSIONS AND DETAILS, REFER TO ELEVATION 1.

SCALE: 1/8" = 1'-0"

TYPICAL EXTERIOR FINISHES

- METAL ROOFING W/ 12" STANDING BEAMS
- ALTERNATE SLOPED ROOFS: FLAT CONCRETE TILE AT SLOPED ROOFS, VILLA CONCRETE TILE ROOFINGS
- BUILT-UP ROOFINGS AT FLAT ROOF AREAS
- EXTERIOR STUCCO HALL FINISH
- WOOD ROOF FASCIA
- METAL CANOPY AWNINGS
- WOOD & TRELLIS AWNINGS
- EXPOSED WOOD TRELLIS MEMBERS
- METAL CLAD EXTERIOR DOORS
- METAL CLAD FRENCH DOORS
- VINYL FRAMED WINDOWS
- METAL BALCONY RAILINGS - PAINTED
- METAL ROOF GUTTERS - PAINTED

EXTERIOR COLORS

- ROOFING COLOR, SUCH AS: MOSS / BARTHSTONE GREEN
- THE EXTERIOR STUCCO COLOR RANGE, SUCH AS: BUFF COLOR EARTH TONE, WARM SIENNA COLOR, BURNT OCHRE EARTH TONE, TERRA COTTA EARTH TONE, WARM / OFF-WHITES, EARTH GREEN / OLIVE
- METAL RAILINGS ACCENT COLOR, SUCH AS: SLATE RED / VERMILLION, SLATE GREEN / PEACOCK, SLATE PURPLE / VIOLET

ARCHITECTURAL DESIGN ELEMENTS

- STREETSCAPE ELEMENTS, INCLUDE: STOREFRONT BLDG. ENTRIES W/ CANOPIES, RAISED PLANTERS, AWNINGS AND DECORATIVE TRELLIS
- SEMI-PRIVATE OUTDOOR SPACES, INCLUDE: RAISED PLANTERS, ENHANCED BLDG. ENTRANCES
- STREET WALL FACADE, BLDG. HEIGHTS AND FORMS VARIED BY: WINDOW OPENINGS AND RECESSED BALCONIES, DEFINED BLDG./STAIR ENTRY ELEMENTS, COMPLEMENTARY MATERIALS AND COLOR, STAIRWAYS INCLUDE A MIN. OF ONE 2' X 2' WINDOW OPENING PER FLOOR
- ROOF ELEMENTS, DEFINED BY: ROOF LINES BROKEN UP AND VARIED, VARIED ROOF HEIGHTS, ROOF-MOUNTED MECHANICAL EQUIPMENT NOT VISIBLE FROM PUBLIC VIEW, ROOF FLASHING AND VENTS PAINTED TO MATCH ADJACENT SURFACES
- PASED ELEMENTS, INCLUDE: MIN. 10' PISE, MIN. 20% GLAZING OF BLDG. SURFACE, LANDSCAPED PLANTERS, VARIED ROOF HEIGHTS
- LIGHTING, MIN. REQUIREMENTS: LIGHTING FOR PEDESTRIAN CORRIDORS AND STREETSCAPE SIDEWALKS SHALL PROVIDE A MIN. LIGHTING STANDARD OF 4000 LUMENS PER FIXTURE. FIXTURE HEIGHT SHALL NOT EXCEED 16' IN HEIGHT, LIGHTING FIXTURES ON BUILDING FACADES SHALL BE LOCATED TO PROVIDE LIGHTING TO ENTRIES AND PUBLIC SPACES. FIXTURES SHALL BE PEDESTRIAN SCALED AND SHALL BE LOCATED NO HIGHER THAN 12' ABOVE STREET LEVEL. FIXTURES SHALL NOT EXCEED 8,000 LUMENS PER FIXTURE.
- OTHER: UTILITY METERS AND EQUIPMENT SHALL BE PLACED IN LOCATIONS THAT ARE NOT EXPOSED TO PUBLIC VIEW OR THEY SHALL BE SCREENED.

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 P.H. (619) 298-2399 FAX

EXTERIOR ELEVATIONS

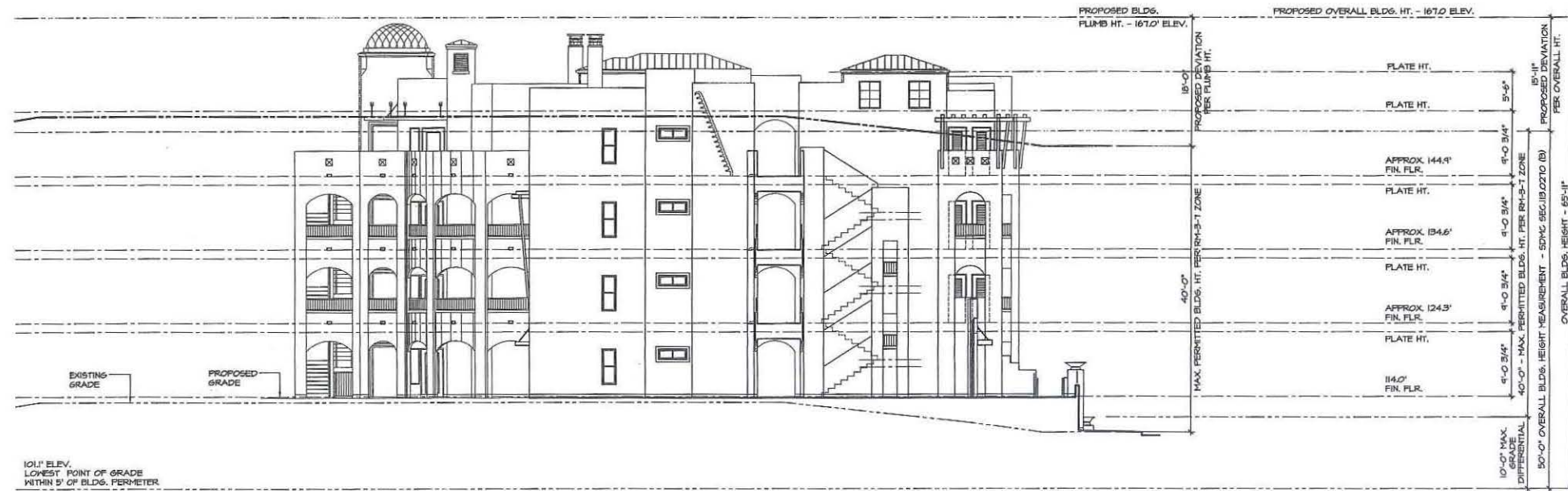
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/04/09	1		
2	3RD SUBMITTAL	01/19/10	2		

DATE: MAY 09, 2009 SHEET: A3.3
 JOB NO.:
 DRAWN:
 CHECKED:
 SHEET 47 OF 61

APPROVED EXHIBIT "A"
 PROJECT NO. 1749152
 Gasment Abandonment 47-55B
 APPLICANT: 7151 ETP 145152 SDP 6/4/10
 AM. TOP SDP 82176 1/4/10
 APPLICANT: 7151 ETP 145152 SDP 6/4/10
 CITY COUNCIL 3-22-10
 SIGNATURE: *Chandra Sealley*



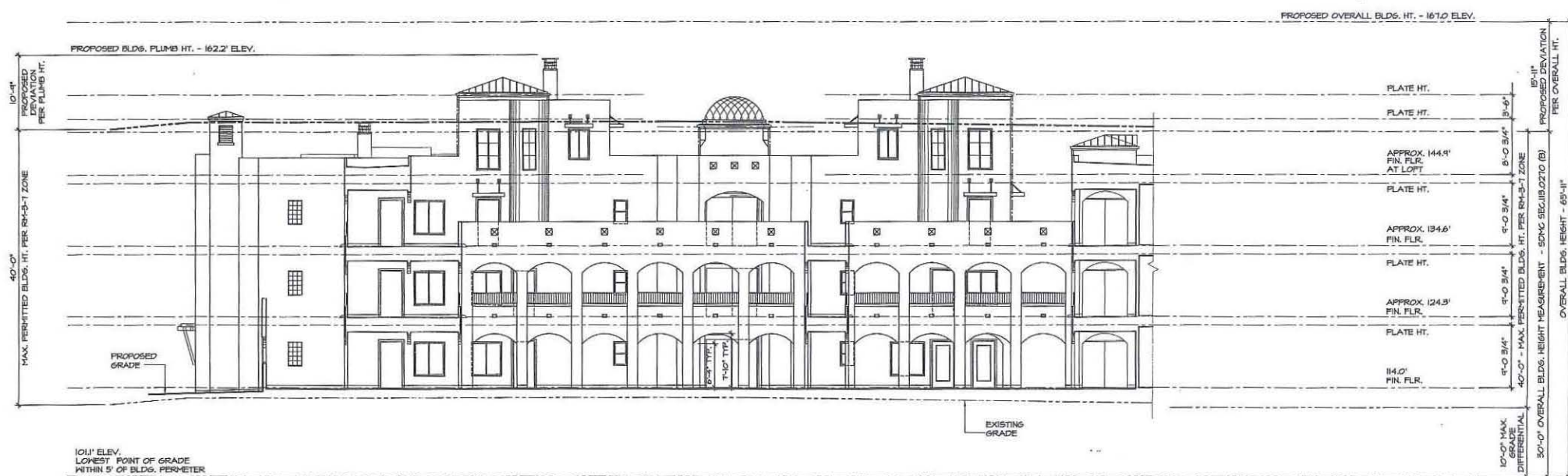
ALL IDEAS, DESIGNS, ARRANGEMENTS & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & ARE THE PROPERTY OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. & WERE CREATED, ENDED & REVISED FOR USE ON, & IN CONNECTION WITH, THE PROJECTS SUBJECT. ANY USE OF THIS DRAWING, DESIGN, OR ARRANGEMENT FOR ANY OTHER PROJECT, WITHOUT THE WRITTEN PERMISSION OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. IS STRICTLY PROHIBITED. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, & THIS OFFICE MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



ELEVATION 7

NOTE: FOR TYPICAL NOTES, DIMENSIONS AND DETAILS, REFER TO ELEVATION 1.

SCALE: 1/8" = 1'-0"



ELEVATION 8

NOTE: FOR TYPICAL NOTES, DIMENSIONS AND DETAILS, REFER TO ELEVATION 1.

SCALE: 1/8" = 1'-0"

TYPICAL EXTERIOR FINISHES

- METAL ROOFING W/ 12" STANDING SEAMS
- ALTERNATE SLOPED ROOFS: FLAT CONCRETE TILE AT SLOPED ROOFS, VILLA CONCRETE TILE ROOFING
- BUILT-UP ROOFING AT FLAT ROOF AREAS
- EXTERIOR STUCCO MALL FINISH
- WOOD ROOF FASCIA
- METAL CANOPY AWNINGS
- WOOD & TRELLIS AWNINGS
- EXPOSED WOOD TRELLIS MEMBERS
- METAL CLAD EXTERIOR DOORS
- METAL CLAD FRENCH DOORS
- VINYL FRAMED WINDOWS
- METAL BALCONY RAILINGS - PAINTED
- METAL ROOF GUTTERS - PAINTED

EXTERIOR COLORS

- ROOFING COLOR, SUCH AS:
 - MOSS / EARTHSTONE GREEN
- THE EXTERIOR STUCCO COLOR RANGE, SUCH AS:
 - BUFF COLOR EARTH TONE
 - WARM SIENNA COLOR
 - BURNT OCHRE EARTH TONE
 - TERRA COTTA EARTH TONE
 - WARM / OFF-WHITES
 - EARTH GREEN / OLIVE
- METAL RAILINGS ACCENT COLOR, SUCH AS:
 - SLATE RED / VERMILLION
 - SLATE GREEN / PEACOCK
 - SLATE PURPLE / VIOLET

ARCHITECTURAL DESIGN ELEMENTS

- STREETSCAPE ELEMENTS, INCLUDE:
 - STOREFRONT BLDG. ENTRIES W/ CANOPIES
 - RAISED PLANTERS
 - AWNINGS AND DECORATIVE TRELLIS
- SEMI-PRIVATE OUTDOOR SPACES, INCLUDE:
 - RAISED PLANTERS
 - ENHANCED BLDG. ENTRANCES
- STREET MALL FACADE, BLDG. HEIGHTS AND FORMS VARIED BY:
 - WINDOW OPENINGS AND RECESSED BALCONIES
 - DEFINED BLDG./STAIR ENTRY ELEMENTS
 - COMPLEMENTARY MATERIALS AND COLOR
 - STAIRWAYS INCLUDE A MIN. OF ONE 2' X 2' WINDOW OPENING PER FLOOR
- ROOF ELEMENTS, DEFINED BY:
 - ROOF LINES BROKEN UP AND VARIED
 - VARIED ROOF HEIGHTS
 - ROOF-MOUNTED MECHANICAL EQUIPMENT NOT VISIBLE FROM PUBLIC VIEW
 - ROOF FLASHING AND VENTS PAINTED TO MATCH ADJACENT SURFACES
- FAÇADE ELEMENT, INCLUDES:
 - MIN. 10' HIDE
 - MIN. 20% GLAZING OF BLDG. SURFACE
 - LANDSCAPED PLANTERS
 - VARIED ROOF HEIGHTS
- LIGHTING, MIN. REQUIREMENTS:
 - LIGHTING FOR PEDESTRIAN CORRIDORS AND STREETSCAPE SIDEWALKS SHALL PROVIDE A MIN. LIGHTING STANDARD OF 4000 LUMENS PER FIXTURE. FIXTURE HEIGHT SHALL NOT EXCEED 15' IN HEIGHT.
 - LIGHTING FIXTURES ON BUILDING FACADES SHALL BE LOCATED TO PROVIDE LIGHTING TO ENTRIES AND PUBLIC SPACES. FIXTURES SHALL BE PEDESTRIAN SCALED AND SHALL BE LOCATED NO HIGHER THAN 12' ABOVE STREET LEVEL. FIXTURES SHALL NOT EXCEED 8,000 LUMENS PER FIXTURE.
- OTHER:
 - UTILITY METERS AND EQUIPMENT SHALL BE PLACED IN LOCATIONS THAT ARE NOT EXPOSED TO PUBLIC VIEW OR THEY SHALL BE SCREENED.

TROLLEY RESIDENTIAL DEVELOPMENT JACOBS FOUNDATION

c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

EXTERIOR ELEVATIONS

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/06/09	▲		
2	3RD SUBMITTAL	01/19/10	▲		
▲			▲		
▲			▲		



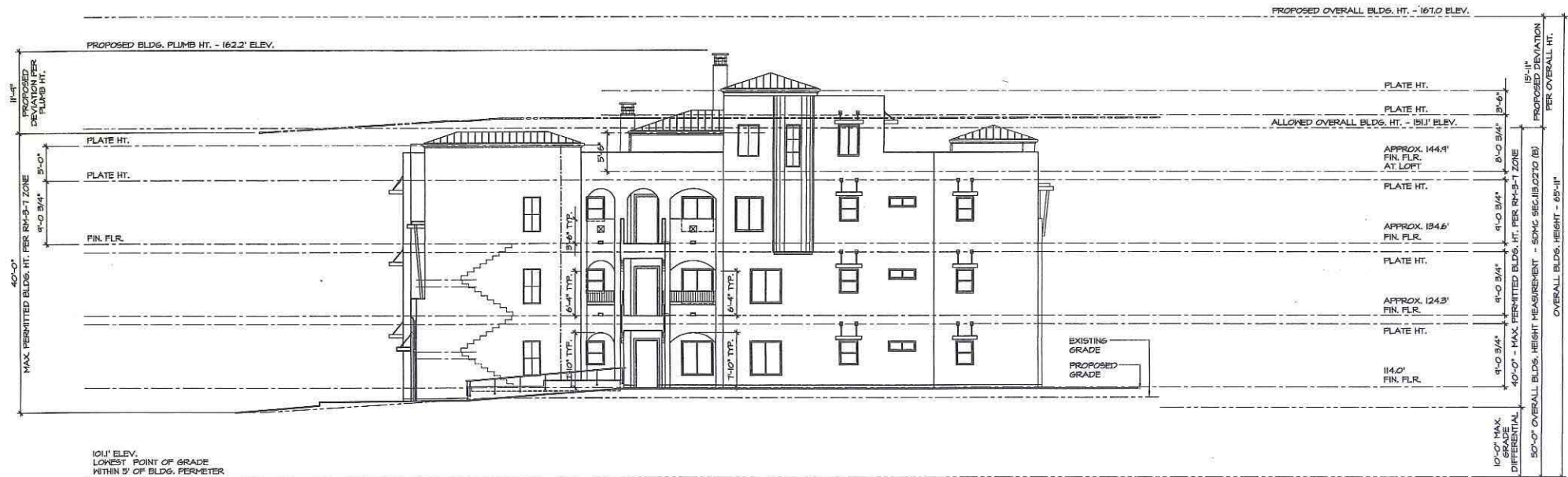
DATE: MAY 04, 2009

SHEET: A3.4

SHEET 48 OF 61

APPROVED EXHIBIT "A"
 PROJECT NO. 129950
 EXHIBIT NO. ABANDONMENT #7-558
 APPLICANT: THE JACOBS FOUNDATION
 APPL. FOR SUP. RES. 6/19/09
 APPROVED BY: HEIDI G. GARCIA
 COMMISSION CITY COUNCIL 3-2-10
 SIGNATURE: Heidi Garcia

SCALE: 1/8" = 1'-0"



TYPICAL EXTERIOR FINISHES

- METAL ROOFING W/ 12" STANDING SEAMS
- ALTERNATE SLOPED ROOFS
- FLAT CONCRETE TILE AT SLOPED ROOFS
- VILLA CONCRETE TILE ROOFING
- BUILT-UP ROOFING AT FLAT ROOF AREAS
- EXTERIOR STUCCO WALL FINISH
- WOOD ROOF FASCIA
- METAL CANOPY AWNINGS
- WOOD & TRELLIS AWNINGS
- EXPOSED WOOD TRELLIS MEMBERS
- METAL GLAD EXTERIOR DOORS
- METAL GLAD FRENCH DOORS
- VINYL FRAMED WINDOWS
- METAL BALCONY RAILINGS - PAINTED
- METAL ROOF GUTTERS - PAINTED

EXTERIOR COLORS

- ROOFING COLOR, SUCH AS:
 - MOSS / EARTHTONE GREEN
- EXTERIOR STUCCO COLOR RANGE, SUCH AS:
 - BUFF COLOR EARTH TONE
 - HARM SIENNA COLOR
 - BURNT OCHRE EARTH TONE
 - TERRA COTTA EARTH TONE
 - HARM / OFF-WHITES
 - EARTH GREEN / OLIVE
- METAL RAILINGS ACCENT COLOR, SUCH AS:
 - SLATE RED / VERMILLION
 - SLATE GREEN / PEACOCK
 - SLATE PURPLE / VIOLET

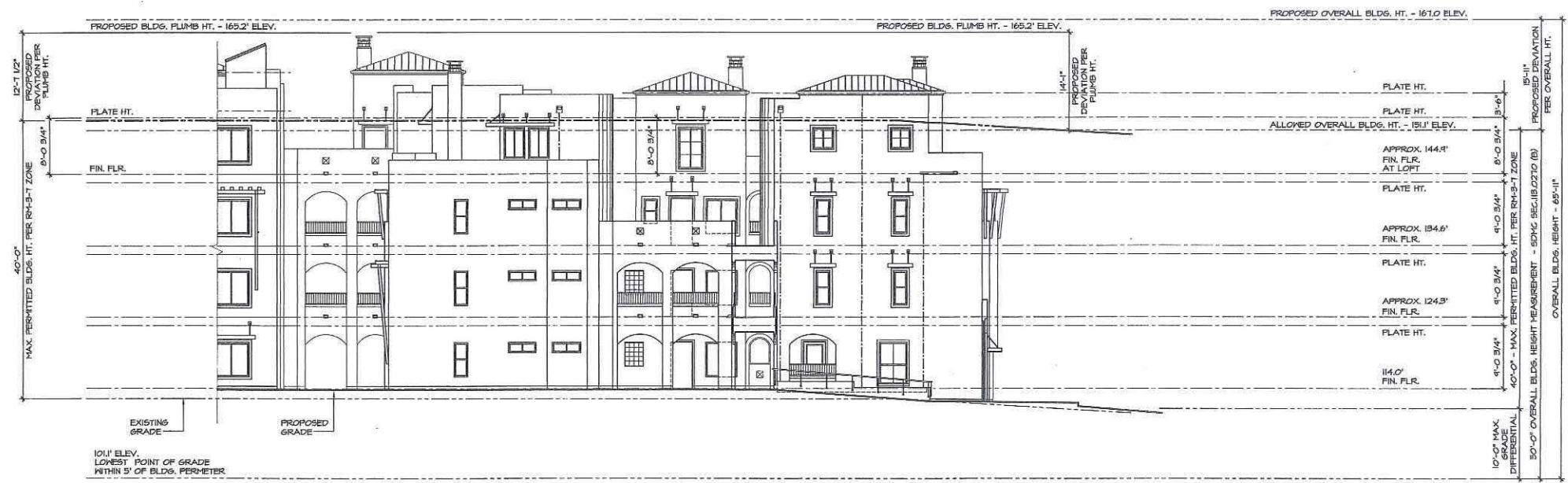
ARCHITECTURAL DESIGN ELEMENTS

- STREETSCAPE ELEMENTS, INCLUDE:
 - STOREFRONT BLDG. ENTRIES W/ CANOPIES
 - RAISED PLANTERS
 - AWNINGS AND DECORATIVE TRELLIS
- SEMI-PRIVATE OUTDOOR SPACES, INCLUDE:
 - RAISED PLANTERS
 - ENHANCED BLDG. ENTRANCES
- STREET WALL FACADES, BLDG. HEIGHTS AND FORMS VARIED BY:
 - WINDOW OPENINGS AND RECESSED BALCONIES
 - DEFINED BLDG./STAIR ENTRY ELEMENTS
 - COMPLEMENTARY MATERIALS AND COLOR
 - STAIRWAYS INCLUDE A MIN. OF ONE 2' X 2' WINDOW OPENING PER FLOOR
- ROOF ELEMENTS; DEFINED BY:
 - ROOF LINES BROKEN UP AND VARIED
 - VARIED ROOF HEIGHTS
 - ROOF-MOUNTED MECHANICAL EQUIPMENT NOT VISIBLE FROM PUBLIC VIEW
 - ROOF FLASHING AND VENTS PAINTED TO MATCH ADJACENT SURFACES
- PAVED ELEMENT; INCLUDES:
 - MIN. 10' WIDE
 - MIN. 20% GLAZING OF BLDG. SURFACE
 - LANDSCAPED PLANTERS
 - VARIED ROOF HEIGHTS
- LIGHTING; MIN. REQUIREMENTS:
 - LIGHTING FOR PEDESTRIAN CORRIDORS AND STREETSCAPE SIDEWALKS SHALL PROVIDE A MIN. LIGHTING STANDARD OF 4,000 LUMENS PER FIXTURE. FIXTURE HEIGHT SHALL NOT EXCEED 16' IN HEIGHT.
 - LIGHTING FIXTURES ON BUILDING FACADES SHALL BE LOCATED TO PROVIDE LIGHTING TO ENTRIES AND PUBLIC SPACES. FIXTURES SHALL BE PEDESTRIAN SCALED AND SHALL BE LOCATED NO LOWER THAN 12' ABOVE STREET LEVEL. FIXTURES SHALL NOT EXCEED 8,000 LUMENS PER FIXTURE.
- OTHER:
 - UTILITY METERS AND EQUIPMENT SHALL BE PLACED IN LOCATIONS THAT ARE NOT EXPOSED TO PUBLIC VIEW OR THEY SHALL BE SCREENED.

ELEVATION 9

NOTE: FOR TYPICAL NOTES, DIMENSIONS AND DETAILS, REFER TO ELEVATION 1.

SCALE: 1/8" = 1'-0"



ELEVATION 10

NOTE: FOR TYPICAL NOTES, DIMENSIONS AND DETAILS, REFER TO ELEVATION 1.

SCALE: 1/8" = 1'-0"

APPROVED EXHIBIT "A"
 PROJECT: 17995D
 EASEMENT ABANDONMENT 77452
 APPROV: PDP 61415A SUP 64147
 AM, PDP 602 582136/61452A
 APPROV: [Signature]
 CC: [Signature]
 SIGNATURE: [Signature]

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
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 (619) 527-6161 PH. (619) 298-2399 FAX

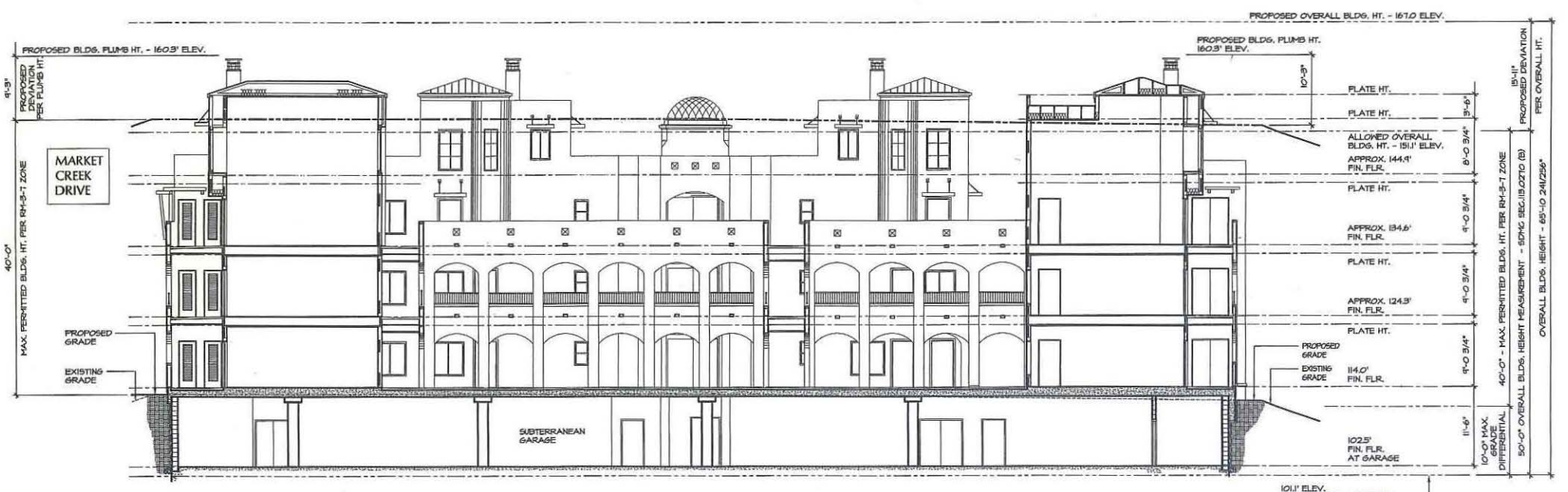
EXTERIOR ELEVATIONS

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/06/09	▲		
2	3RD SUBMITTAL	01/19/10	▲		

DATE: MAY. 04, 2009 SHEET: A3.5
 JOB NO.:
 DRAWN:
 CHECKED:
 SHEET 49 OF 61

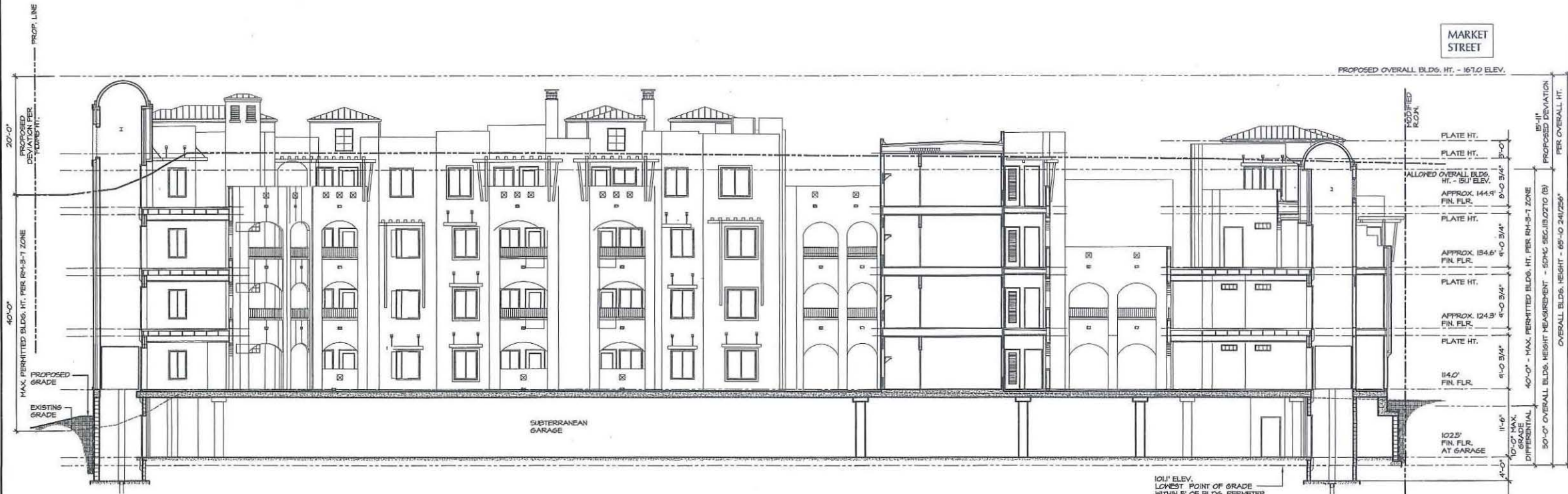


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SECTION A

SCALE: 1/8" = 1'-0"



SECTION B

SCALE: 1/8" = 1'-0"

TYPICAL EXTERIOR FINISHES

- METAL ROOFING W/ 12" STANDING SEAMS
- ALTERNATE SLOPED ROOFS
- FLAT CONCRETE TILE AT SLOPED ROOFS
- VILLA CONCRETE TILE ROOFING
- BUILT-UP ROOFING AT FLAT ROOF AREAS
- EXTERIOR STUCCO HALL FINISH
- WOOD ROOF FASCIA
- METAL CANOPY AWNINGS
- WOOD 4 TRELLIS AWNINGS
- EXPOSED WOOD TRELLIS MEMBERS
- METAL GLAD EXTERIOR DOORS
- METAL GLAD FRENCH DOORS
- VINYL FRAMED WINDOWS
- METAL BALCONY RAILINGS - PAINTED
- METAL ROOF GUTTERS - PAINTED

EXTERIOR COLORS

- ROOFING COLOR, SUCH AS:
 - MOSS / EARTHTONE GREEN
- THE EXTERIOR STUCCO COLOR RANGE, SUCH AS:
 - BUFF COLOR EARTH TONE
 - HARM SIENNA COLOR
 - BURNT OCHRE EARTH TONE
 - TERRA COTTA EARTH TONE
 - HARM / OFF-WHITES
 - EARTH GREEN / OLIVE
- METAL RAILINGS ACCENT COLOR, SUCH AS:
 - SLATE RED / VERMILLION
 - SLATE GREEN / PEACOCK
 - SLATE PURPLE / VIOLET

ARCHITECTURAL DESIGN ELEMENTS

- STREETScape ELEMENTS, INCLUDE:
 - STOREFRONT BLDG. ENTRIES W/ CANOPIES
 - RAISED PLANTERS
 - AWNINGS AND DECORATIVE TRELLIS
- SEMI-PRIVATE OUTDOOR SPACES, INCLUDE:
 - RAISED PLANTERS
 - ENHANCED BLDG. ENTRANCES
- STREET HALL FACADE BLDG. HEIGHTS AND FORMS VARIED BY:
 - WINDOW OPENINGS AND RECESSED BALCONIES
 - DEFINED BLDG./STAIR ENTRY ELEMENTS
 - COMPLEMENTARY MATERIALS AND COLOR
 - STAIRWAYS INCLUDE A MIN. OF ONE 2' X 2' WINDOW OPENING PER FLOOR
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 - ROOF LINES BROKEN UP AND VARIED
 - VARIED ROOF HEIGHTS
 - ROOF-MOUNTED MECHANICAL EQUIPMENT NOT VISIBLE FROM PUBLIC VIEW
 - ROOF FLASHING AND VENTS PAINTED TO MATCH ADJACENT SURFACES
- PASEO ELEMENT, INCLUDES:
 - MIN. 10' WIDE
 - MIN. 20% GLAZING OF BLDG. SURFACE
 - LANDSCAPED PLANTERS
 - VARIED ROOF HEIGHTS
- LIGHTING, MIN. REQUIREMENTS:
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- OTHER:
 - UTILITY METERS AND EQUIPMENT SHALL BE PLACED IN LOCATIONS THAT ARE NOT EXPOSED TO PUBLIC VIEW OR THEY SHALL BE SCREENED.

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 Easement Abandonment 7/15/08
 1022 1/2 ST. L1667
 APN 1022 1/2 ST. L1667
 APPROVED BY: [Signature]
 COMMISSION: [Signature]
 SIGNATURE: [Signature]

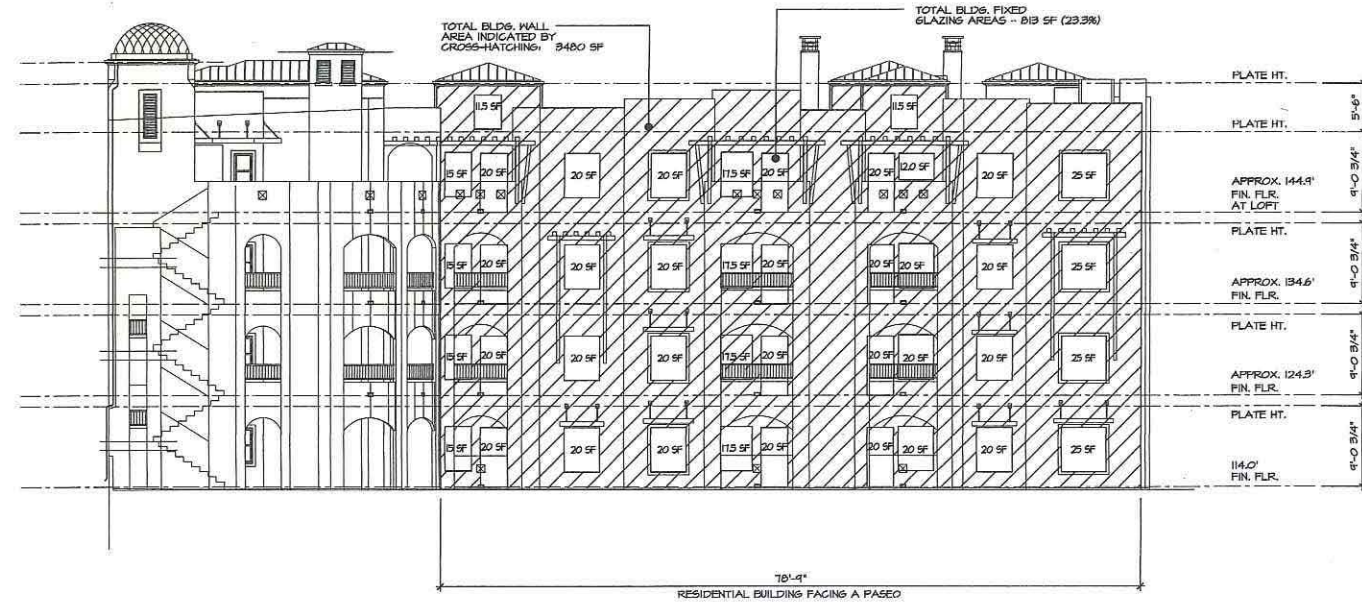
TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

BUILDING SECTIONS

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/06/09	1		
2	3RD SUBMITTAL	01/19/10	2		

DATE: MAY 04, 2009
 SHEET: A3.6
 SHEET 50 OF 61





ELEVATION 4 - EAST / FACING THE PASEO

SCALE: 1/8" = 1'-0"

TYPICAL EXTERIOR FINISHES

- METAL ROOFING W/ 12" STANDING SEAMS
- ALTERNATE SLOPED ROOFS
- FLAT CONCRETE TILE AT SLOPED ROOFS
- VILLA CONCRETE TILE ROOFING
- BUILT-UP ROOFING AT FLAT ROOF AREAS
- EXTERIOR STUCCO WALL FINISH
- MOOD ROOF FASCIA
- METAL CANOPY AWNINGS
- MOOD 4 TRELLIS AWNINGS
- EXPOSED WOOD TRELLIS MEMBERS
- METAL CLAD EXTERIOR DOORS
- METAL CLAD FRENCH DOORS
- VINYL FRAMED WINDOWS
- METAL BALCONY RAILINGS - PAINTED
- METAL ROOF GUTTERS - PAINTED

EXTERIOR COLORS

- ROOFING COLOR, SUCH AS:
 - MOSS / EARTHTONE GREEN
- THE EXTERIOR STUCCO COLOR RANGE, SUCH AS:
 - BUFF COLOR EARTH TONE
 - MARM SIENNA COLOR
 - BURNT OCHRE EARTH TONE
 - TIERRA COTTA EARTH TONE
 - MARM / OFF-WHITES
 - EARTH GREEN / OLIVE
- METAL RAILINGS ACCENT COLOR, SUCH AS:
 - SLATE RED / VERMILLION
 - SLATE GREEN / PEACOCK
 - SLATE PURPLE / VIOLET

ARCHITECTURAL DESIGN ELEMENTS

- STREETSCAPE ELEMENTS, INCLUDE:
 - STOREFRONT BLDG. ENTRIES W/ CANOPIES
 - RAISED PLANTERS
 - AWNINGS AND DECORATIVE TRELLIS
- SEMI-PRIVATE OUTDOOR SPACES, INCLUDE:
 - RAISED PLANTERS
 - ENHANCED BLDG. ENTRANCES
- STREET HALL FACADE BLDG. HEIGHTS AND FORMS VARIED BY:
 - WINDOW OPENINGS AND RECESSED BALCONIES
 - DEFINED BLDG./STAIR ENTRY ELEMENTS
 - COMPLEMENTARY MATERIALS AND COLOR
 - STAIRWAYS INCLUDE A MIN. OF ONE 2' X 2' WINDOW OPENING PER FLOOR
- ROOF ELEMENTS, DEFINED BY:
 - ROOF LINES BROKEN UP AND VARIED
 - VARIED ROOF HEIGHTS
 - ROOF-MOUNTED MECHANICAL EQUIPMENT NOT VISIBLE FROM PUBLIC VIEW
 - ROOF FLASHINGS AND VENTS PAINTED TO MATCH ADJACENT SURFACES
- PASEO ELEMENT, INCLUDES:
 - MIN. 10' WIDE
 - MIN. 20% GLAZING OF BLDG. SURFACE
 - LANDSCAPED PLANTERS
 - VARIED ROOF HEIGHTS
- LIGHTING, MIN. REQUIREMENTS:
 - LIGHTING FOR PEDESTRIAN CORRIDORS AND STREETSCAPE SIDEWALKS SHALL PROVIDE A MIN. LIGHTING STANDARD OF 4,000 LUMENS PER FIXTURE. FIXTURE HEIGHT SHALL NOT EXCEED 16' IN HEIGHT.
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- OTHER:
 - UTILITY METERS AND EQUIPMENT SHALL BE PLACED IN LOCATIONS THAT ARE NOT EXPOSED TO PUBLIC VIEW OR THEY SHALL BE SCREENED.

APPROVED EXHIBIT "A"
 PROJECT NO. 178852
 APPROVED FOR THE CITY OF SAN DIEGO
 DATE: MAY 09, 2009
 SIGNATURE: *Dorinda Deasley*

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

BLDG. PASEO ELEVATION EXHIBIT

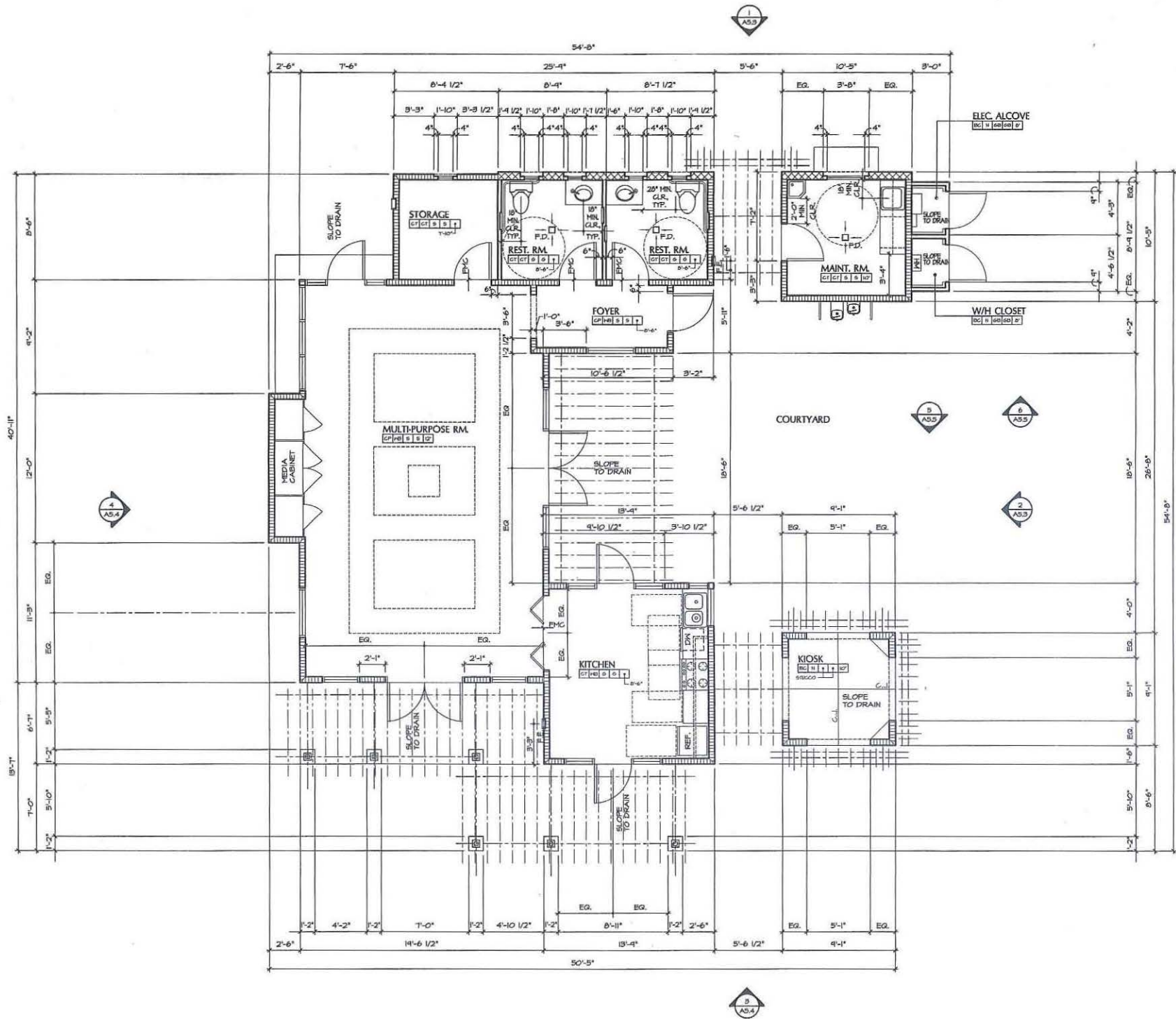
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
▲ 1	2ND SUBMITTAL	10/05/09	▲		
▲ 2	3RD SUBMITTAL	01/19/10	▲		
▲			▲		



DATE: MAY 09, 2009 SHEET: **A3.7**
 JOB NO.:
 DRAWN:
 CHECKED:
 SHEET 51 OF 61

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BUILDING PLAN FINISH SCHEDULE LEGEND		
REFER TO UNIT PLAN NOTES FOR FINISH SCHEDULE.		
BUILDING SHEET LEGEND		
	2x4 STUD WALL	
	2x6 STUD WALL	
	1-HOUR FIRE PARTITION	
	INDICATES RECESSED CLG. AREA TO 1'-0" UNLG.	



FLOOR PLAN
 COMMUNITY BUILDING
 ACCESSIBLE BUILDING

SCALE: 1/4" = 1'-0"

APPROVED EXHIBIT "A"
 PROJECT NO. 17995D
 Easement Abandonment 71955B
 APPROVED BY: [Signature]
 DATE: 5-22-10
 SIGNATURE: *Andrea Stasley*

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
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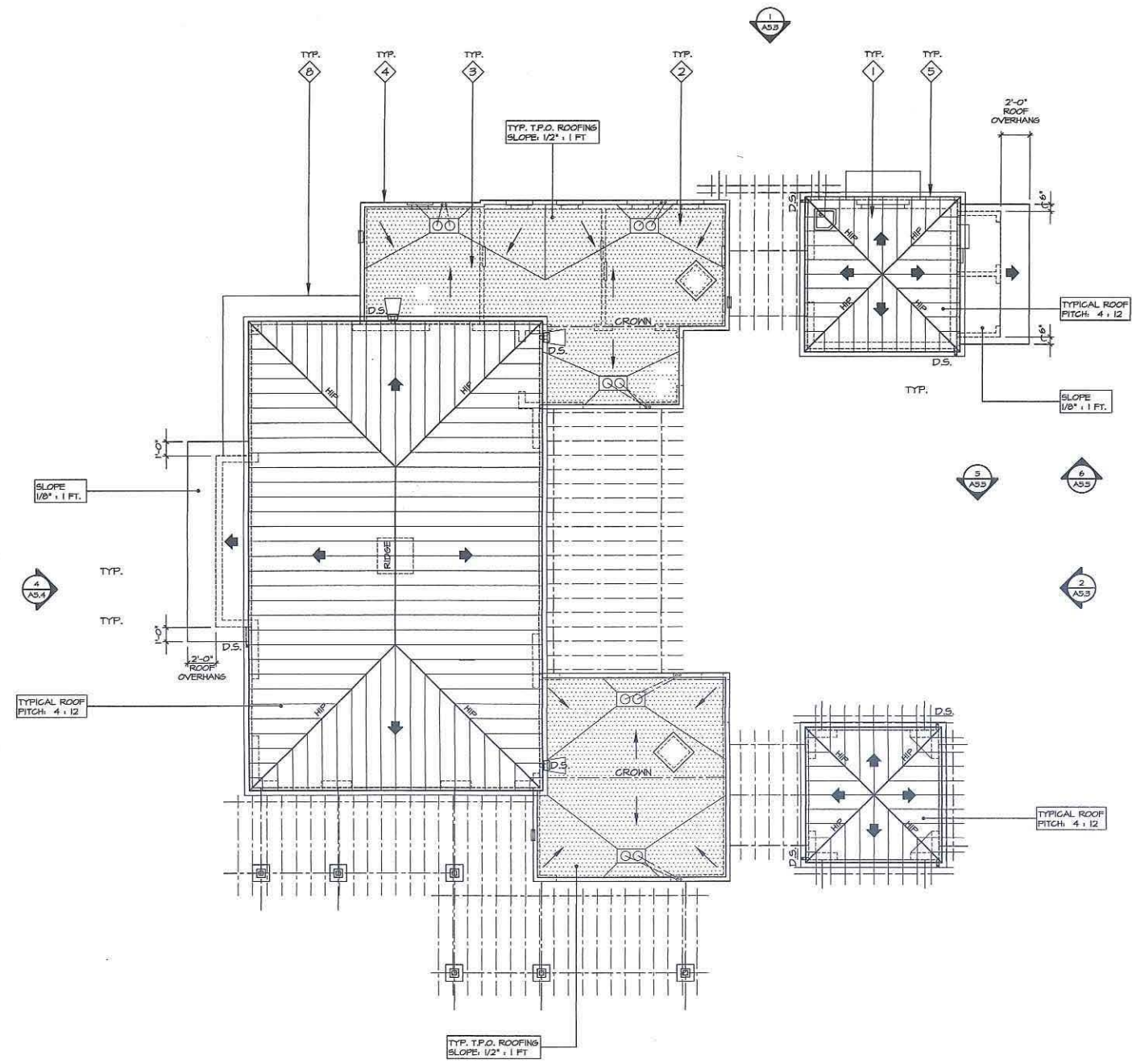
COMM. BLDG. - FLOOR PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/06/09	1		
2	3RD SUBMITTAL	01/19/10	2		
3			3		

DATE: MAY, 09, 2009
 SHEET: A4.1
 SHEET 52 OF 61

BUILDING DATA		BUILDING AREA		OCCUPANT LOAD CALCULATIONS								
OCCUPANCY	A-3 / B	DESCRIPTION / USE	AREA	USE	OCCUPANCY	SQ. FT.	LOAD FACTOR	OCCUPANCY LOAD	COMBINED OCCUPANT LOAD	EXIT(S) REQ'D	EXIT(S) PROVIDED	NOTES: 1. POST A SIGN IN THE ASSEMBLY AREA STATING THE MAXIMUM CAPACITY IN A LOCATION APPROVED BY THE FIRE DEPARTMENT.
CONSTRUCTION	TYPE V - A	KITCHEN	175 SQ. FT.	KITCHEN	B	200	200	1	N/A	1	2	
HEIGHT	ONE STORY	MULTI-PURPOSE RM.	624 SQ. FT.	MULTI-PURPOSE RM.	A3	624	15	42	48	1	3	
FIRE SPRINKLERS	1B SYSTEM	STORAGE	64 SQ. FT.	STORAGE	S2	78	300	1	N/A	1	1	
		WOMEN RESTRM.	66 SQ. FT.	WOMEN RESTRM.	B	200	200	1	N/A	1	2	
		MENS RESTRM.	66 SQ. FT.	MENS RESTRM.	B	200	200	1	N/A	1	2	
		FOYER	53 SQ. FT.	FOYER	B	200	200	1	N/A	1	2	
		MAINT. RM. 4 UTIL. ALCOVES	139 SQ. FT.	MAINT. RM.	S2	106	300	1	N/A	1	1	
		KIOSK	89 SQ. FT.	KIOSK	S2	106	300	1	N/A	1	1	
		TOTAL	1,266 SQ. FT.	TOTAL								

ALL THESE RESUBMITTALS AND PLANS SUBMITTED OR REPRESENTED BY THE DRAWING ARE OWNED BY R.A. RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. NO PART OF THESE DRAWINGS ARE TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, & THIS OFFICE MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.



TYP. ROOF LEGEND & NOTES

- 1 METAL ROOFING W/ 12" STANDING SEAMS
- 2 ALTERNATE SLOPED ROOFS:
FLAT CONCRETE TILE AT SLOPED ROOFS
VILLA CONCRETE TILE ROOFING
- 3 BUILT-UP ROOFING AT FLAT ROOF AREAS
- 4 ROOF MOUNTED PHOTOVOLTAIC SOLAR PANELS, SCREENED FROM VIEW
- 5 PARAPET WALL WITH METAL COPING
- 6 LINE OF ROOF OVERHANGS
- 7 ROOF ACCESS HATCH
- 8 B-VENT CHIMNEY
- 9 METAL ROOF CANOPY
- 10 ROOF-MOUNTED AC CONDENSER UNIT
- 11 ROOF ACCESS LADDER

NOTES:
 BUILT-UP ROOF SLOPE SHALL BE 1/2" x 1 FT. MIN.
 PITCHED ROOF SLOPE SHALL BE 4 : 12 MIN.
 PITCHED ROOFS SHALL HAVE METAL GUTTERS.

ROOF PLAN
 COMMUNITY BUILDING

SCALE: 1/4" = 1'-0"

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 Easement Abandonment #17558
 APPROVAL NO(S) EDC 645152 SDP 64967
 All TYP. SLOPE: 5/8" x 12" 1/19/52
 APPROVED BY HEARING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 3-2-10
 SIGNATURE: *Chandra Worsley*

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION

c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

COMM. BLDG. - ROOF PLAN

BUILDING ATTIC VENTILATION CALCULATION

ZONE	METHOD OF CALC.	ATTIC AREA	REQUIRED VENTILATION	SLOPED ROOF CALCULATION		FLAT ROOF CALCULATION		TOTAL VENT. PROVIDED
				PROPOSED RIDGE VENT	PROPOSED SOFFIT VENT	PROPOSED RJ1414 VENTS	PROPOSED RJ2424 VENTS	
A	NOTE 2	117 S.F.	1.0 S.F.	N/A	43 LINEAL FT.	N/A	N/A	2.70 S.F.
B	NOTE 2	90 S.F.	1.0 S.F.	N/A	38 LINEAL FT.	N/A	N/A	2.40 S.F.
C	NOTE 2	193 S.F.	1.9 S.F.	N/A	N/A	1 X 2.39 + 2.39 S.F.	N/A	2.39 S.F.
D	NOTE 2	671 S.F.	4.47 S.F.	12.5 LINEAL FT.	106 LINEAL FT.	N/A	N/A	8.0 S.F.
E	NOTE 2	28 S.F.	1.0 S.F.	N/A	16.7 LINEAL FT.	N/A	N/A	1.0 S.F.
F	NOTE 2	280 S.F.	1.86 S.F.	N/A	N/A	1 X 1.17 = 1.17 S.F.	N/A	1.17 S.F.

- NOTES:**
- METHOD OF CALC. PROVIDE VENT. AREA - 1/300 S.F. OF ATTIC AREA.
 - METHOD OF CALC. PROVIDE VENT. AREA - 1/150 S.F. OF ATTIC AREA.
 - ATTIC VENTILATION SHALL BE PROVIDED PER THE UNIFORM BLDG. CODE.
 - PROVIDE CLEAR VENTILATION AREA FOR EACH ATTIC AREA PER THE FOLLOWING CRITERIA: AREAS INCLUDE INT. STAIRS, EXIT CORRIDORS & UTILITY ALCOVES.
 - ATTIC DRAFT STOPS OCCUR AT DWELLING SEPARATION WALLS, REQUIRING INDIVIDUAL UNIT ATTIC VENTILATION.
 - SLOPED ROOF, RIDGE AND SOFFIT VENTILATION SYSTEM (COR-A-VENT OR EQUAL)
 STANDARD RIDGE VENT = 18 SQ. INCHES NET FREE VENT AREA PER LINEAL FOOT.
 CONTINUOUS SOFFIT STRIP VENT = 4 SQ. INCHES NET FREE VENT AREA PER LINEAL FOOT.
 - FLAT ROOF: JACK VENTS (G4 J METAL OR EQUAL)
 RJ 2424 - 24" X 24" GALV. MTL. JACK VENT W/ 2.39 S.F. NET FREE VENT AREA EACH.
 RJ 1414 - 14" X 14" GALV. MTL. JACK VENT W/ 1.17 S.F. NET FREE VENT AREA EACH.

- PHOTOVOLTAIC NOTES:**
- FIELD VERIFY SOLAR PANEL LOCATIONS WITH PV CONSULTANT PRIOR TO CONSTRUCTION.
 - COORDINATE ROOF PLUMBING VENT LOCATIONS WITH PV CONSULTANT PLANS AND SPECIFICATIONS.
 - REFER TO PV CONSULTANT PLANS FOR REQUIRED NUMBER OF SOLAR PANELS SUPPORTS.
- NOTE:**
 SOLAR PANELS SHOWN ON ROOF PLAN ARE FOR REFERENCE ONLY. REFER TO PLANS PREPARED BY PV ENGINEER FOR ALL SOLAR PANEL INFORMATION.

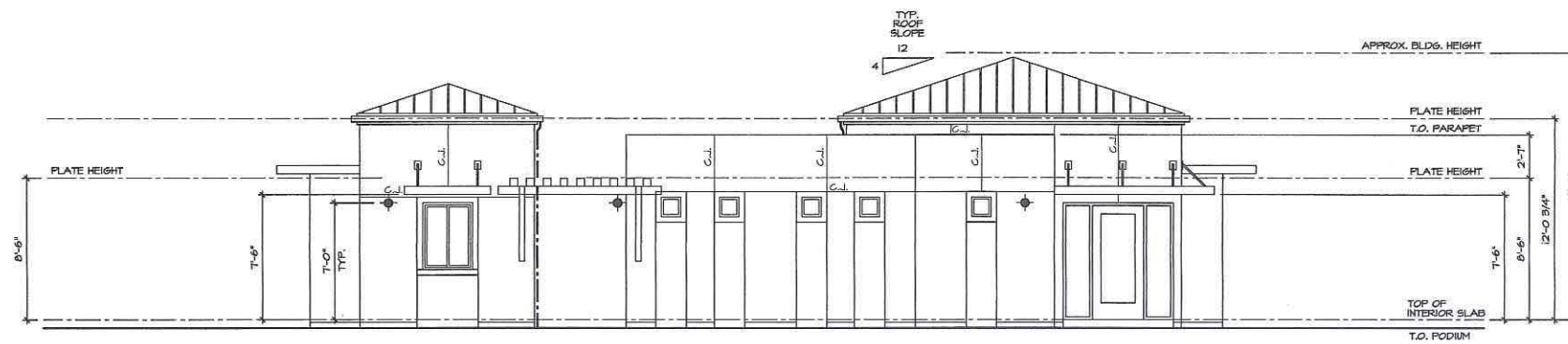
REV. NO. DESCRIPTION DATE REV. NO. DESCRIPTION DATE

1	2ND SUBMITTAL	10/05/09		
2	3RD SUBMITTAL	01/19/10		

DATE: MAY 09, 2009 SHEET: A4.2 SHEET 53 OF 61

DESIGNED BY: [Signature] CHECKED BY: [Signature]

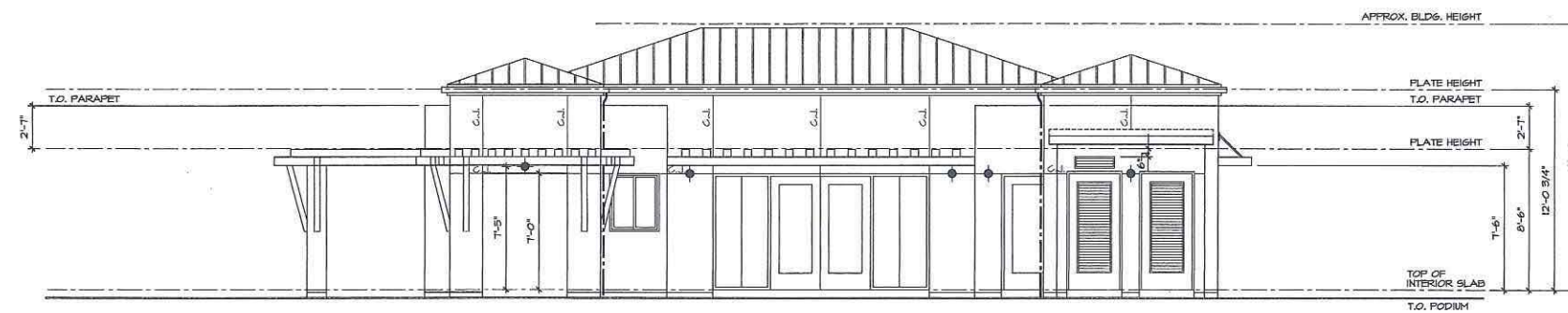
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EXTERIOR ELEVATION 1 - NORTH

COMMUNITY BUILDING

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION 2 - EAST

COMMUNITY BUILDING

REFER TO ELEVATION 1 FOR TYPICAL NOTES, DETAILS AND INFORMATION.

SCALE: 1/4" = 1'-0"

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 easement Abandonment 7/7/58
 vs. PDR 6/15/52 SR 44647
 Am. PDR/SR SB2176/6/15/52
 AFF. FILED BY HLDRING OFF. CIV. PLANING
 COUNCIL FOR CITY COUNCIL ON 5-22-70
 SIGNATURE *Clonnda J. Jolley*

TYPICAL EXTERIOR FINISHES

- METAL ROOFING W/ 12" STANDING BEAMS
- ALTERNATE SLOPED ROOFS:
FLAT CONCRETE TILE AT SLOPED ROOFS
VILLA CONCRETE TILE ROOFING
- BUILT-UP ROOFING AT FLAT ROOF AREAS
- EXTERIOR STUCCO WALL FINISH
- WOOD ROOF FASCIA
- METAL CANOPY AWNINGS
- WOOD & TRELLIS AWNINGS
- EXPOSED WOOD TRELLIS MEMBERS
- METAL GLAD EXTERIOR DOORS
- METAL GLAD FRENCH DOORS
- VINYL FRAMED WINDOWS
- METAL BALCONY RAILINGS - PAINTED
- METAL ROOF GUTTERS - PAINTED

EXTERIOR COLORS

- ROOFING COLOR, SUCH AS:
- MOSS / BARTHCONE GREEN
- THE EXTERIOR STUCCO COLOR RANGE, SUCH AS:
- BUFF COLOR EARTH TONE
- WARM SIENNA COLOR
- BURNT OCHRE EARTH TONE
- TIERRA GOTTA EARTH TONE
- WARM / OFF-WHITES
- EARTH GREEN / OLIVE
- METAL RAILINGS ACCENT COLOR, SUCH AS:
- SLATE RED / VERMILLION
- SLATE GREEN / PEACOCK
- SLATE PURPLE / VIOLET

ARCHITECTURAL DESIGN ELEMENTS

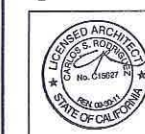
- STREETSCAPE ELEMENTS, INCLUDE:
- STOREFRONT BLDGS. ENTRIES W/ CANOPIES
- RAISED PLANTERS
- AWNINGS AND DECORATIVE TRELLIS
- SEMI-PRIVATE OUTDOOR SPACES, INCLUDE:
- RAISED PLANTERS
- ENHANCED BLDGS. ENTRANCES
- STREET WALL FACADE, BLDG. HEIGHTS AND FORMS VARIED BY:
- WINDOW OPENINGS AND RECESSED BALCONIES
- DEFINED BLDG./STAIR ENTRY ELEMENTS
- COMPLEMENTARY MATERIALS AND COLOR
- STAIRWAYS INCLUDE A MIN. OF ONE 2' X 2' WINDOW OPENING PER FLOOR
- ROOF ELEMENTS, DEFINED BY:
- ROOF LINES BROKEN UP AND VARIED
- VARIED ROOF HEIGHTS
- ROOF-MOUNTED MECHANICAL EQUIPMENT NOT VISIBLE FROM PUBLIC VIEW
- ROOF FLASHING AND VENTS PAINTED TO MATCH ADJACENT SURFACES
- PAVED ELEMENT, INCLUDES:
- MIN. 10' WIDE
- MIN. 20% GLAZING OF BLDG. SURFACE
- LANDSCAPED PLANTERS
- VARIED ROOF HEIGHTS
- LIGHTING, MIN. REQUIREMENTS:
- LIGHTING FOR PEDESTRIAN CORRIDORS AND STREETSCAPE SIDEWALKS SHALL PROVIDE A MIN. LIGHTING STANDARD OF 4,000 LUMENS PER FIXTURE. FIXTURE HEIGHT SHALL NOT EXCEED 16' IN HEIGHT.
- LIGHTING FIXTURES ON BUILDING FACADES SHALL BE LOCATED TO PROVIDE LIGHTING TO ENTRIES AND PUBLIC SPACES. FIXTURES SHALL BE PEDESTRIAN SCALED AND SHALL BE LOCATED NO LIGHTER THAN 12' ABOVE STREET LEVEL. FIXTURES SHALL NOT EXCEED 8,000 LUMENS PER FIXTURE.
- OTHER:
- UTILITY METERS AND EQUIPMENT SHALL BE PLACED IN LOCATIONS THAT ARE NOT EXPOSED TO PUBLIC VIEW OR THEY SHALL BE SCREENED.

**TROLLEY RESIDENTIAL DEVELOPMENT
 JACOBS FOUNDATION**

c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92104
 (619) 527-6161 PH. (619) 298-2399 FAX

COMM. BLDG. - EXT. ELEVATIONS

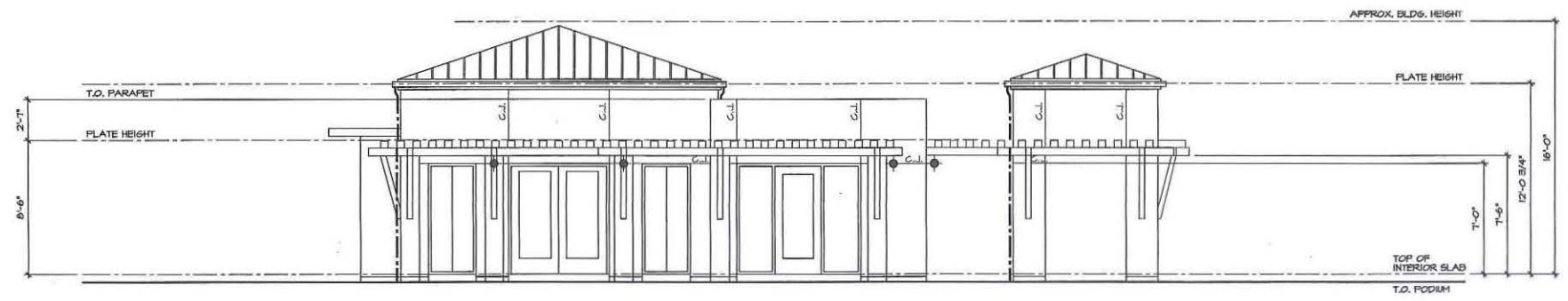
REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
▲ 1	2ND SUBMITTAL	10/06/09	▲		
▲ 2	3RD SUBMITTAL	01/19/10	▲		
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DATE: MAY 04, 2009
 SHEET: A4.3
 JOB NO.:
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 CHECKED:

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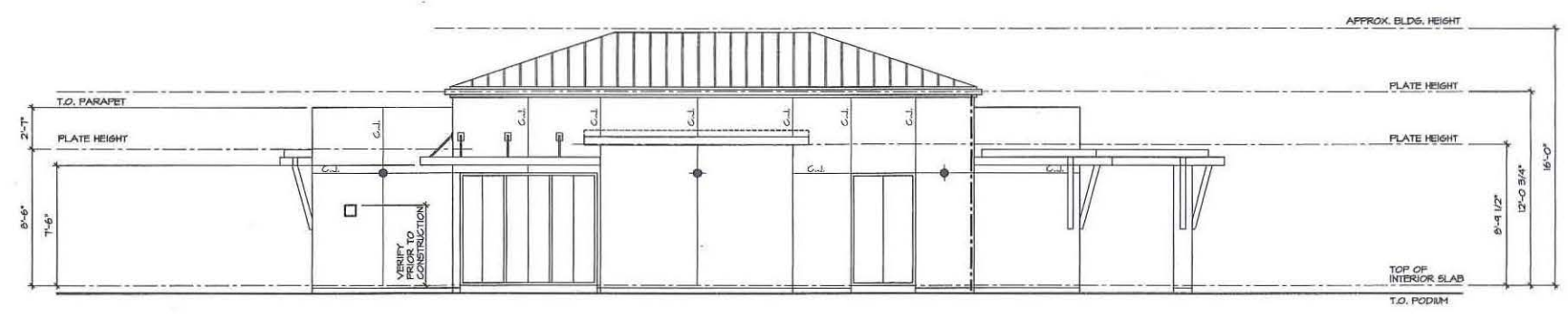
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EXTERIOR ELEVATION 3 - SOUTH

COMMUNITY BUILDING
 REFER TO ELEVATION 1 FOR TYPICAL NOTES, DETAILS AND INFORMATION.

SCALE: 1/4" = 1'-0"



EXTERIOR ELEVATION 4 - WEST

COMMUNITY BUILDING
 REFER TO ELEVATION 1 FOR TYPICAL NOTES, DETAILS AND INFORMATION.

SCALE: 1/4" = 1'-0"

APPROVED EXHIBIT "A"
 PROJECT NO. 17995
 Easement Abandonment of Easement
 404 N. Euclid Avenue San Diego, CA 92101
 APPROVED BY HEARING OFFICER: [Signature]
 COMMISSION CITY COUNCIL ON: 5-22-10
 SIGNATURE: [Signature]

TYPICAL EXTERIOR FINISHES

- METAL ROOFING 1/2" 12" STANDING SEAMS
- ALTERNATE SLOPED ROOFS: FLAT CONCRETE TILE AT SLOPED ROOFS, VILLA CONCRETE TILE ROOFING
- BUILT-UP ROOFING AT FLAT ROOF AREAS
- EXTERIOR STUCCO WALL FINISH
- WOOD ROOF FASCIA
- METAL CANOPY ANNINGS
- WOOD & TRELLIS ANNINGS
- EXPOSED WOOD TRELLIS MEMBERS
- METAL GLAD EXTERIOR DOORS
- METAL GLAD FRENCH DOORS
- VINYL FRAMED WINDOWS
- METAL BALCONY RAILINGS - PAINTED
- METAL ROOF GUTTERS - PAINTED

EXTERIOR COLORS

- ROOFING COLOR, SUCH AS:
 - MOSS / EARTHSTONE GREEN
- THE EXTERIOR STUCCO COLOR RANGE, SUCH AS:
 - BUFF COLOR EARTH TONE
 - WARM SIENNA COLOR
 - BURNT OCHRE EARTH TONE
 - TERRA COTTA EARTH TONE
 - WARM / OFF-WHITES
 - EARTH GREEN / OLIVE
- METAL RAILINGS ACCENT COLOR, SUCH AS:
 - SLATE RED / VERMILLION
 - SLATE GREEN / PEACOCK
 - SLATE PURPLE / VIOLET

ARCHITECTURAL DESIGN ELEMENTS

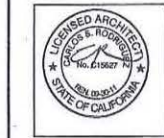
- STREETSCAPE ELEMENTS, INCLUDE:
 - STOREFRONT BLDG. ENTRIES W/ CANOPIES
 - RAISED PLANTERS
 - ANNINGS AND DECORATIVE TRELLIS
- SEMI-PRIVATE OUTDOOR SPACES, INCLUDE:
 - RAISED PLANTERS
 - ENHANCED BLDG. ENTRANCES
- STREET WALL FACADE, BLDG. HEIGHTS AND FORMS VARIED BY:
 - WINDOW OPENINGS AND RECESSED BALCONIES
 - DEFINED BLDG./STAIR ENTRY ELEMENTS
 - COMPLEMENTARY MATERIALS AND COLOR
 - STAIRWAYS INCLUDE A MIN. OF ONE 2' X 2' WINDOW OPENING PER FLOOR
- ROOF ELEMENTS, DEFINED BY:
 - ROOF LINES BROKEN UP AND VARIED
 - VARIED ROOF HEIGHTS
 - ROOF-MOUNTED MECHANICAL EQUIPMENT NOT VISIBLE FROM PUBLIC VIEW
 - ROOF FLASHING AND VENTS PAINTED TO MATCH ADJACEN SURFACES
- PASEO ELEMENT, INCLUDES:
 - MIN. 10' WIDE
 - MIN. 20% GLAZING OF BLDG. SURFACE
 - LANDSCAPED PLANTERS
 - VARIED ROOF HEIGHTS
- LIGHTING; MIN. REQUIREMENTS:
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 - OTHER:
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**TROLLEY RESIDENTIAL DEVELOPMENT
 JACOBS FOUNDATION**

c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92101
 (619) 527-6161 PH. (619) 298-2399 FAX

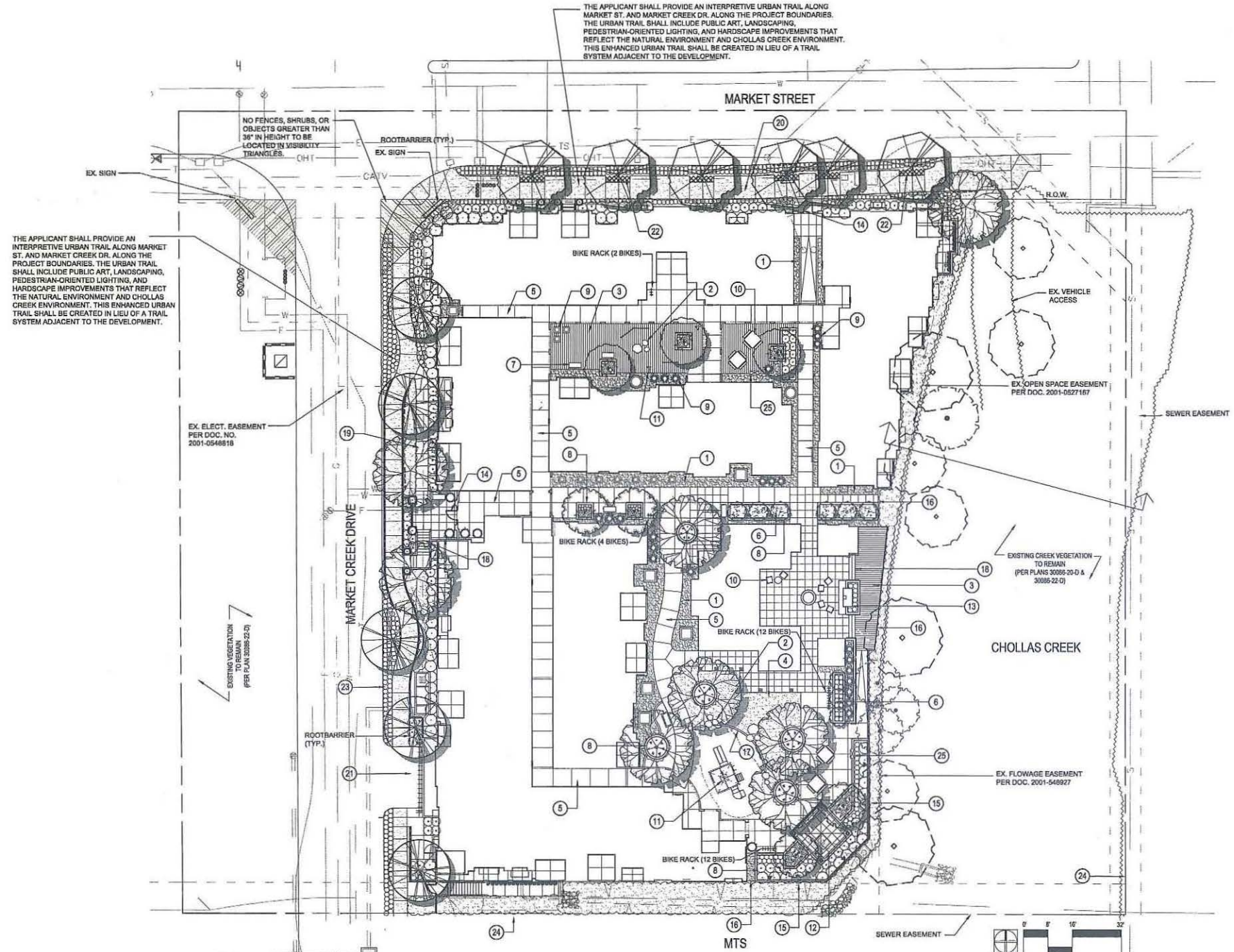
COMM. BLDG. - EXT. ELEVATIONS

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	2ND SUBMITTAL	10/05/09	1		
2	3RD SUBMITTAL	01/18/10	2		



DATE: MAY 04, 2009 SHEET: A4.4
 JOB NO.:
 DRAWN:
 CHECKED:
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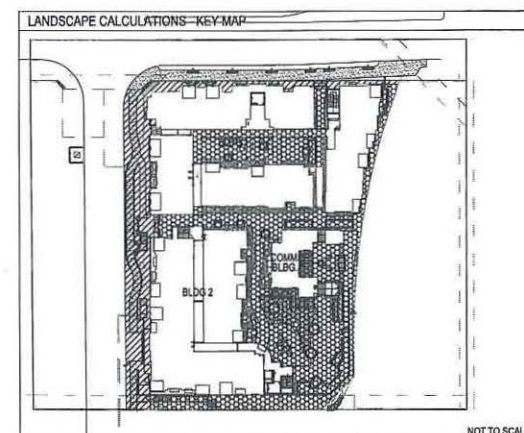
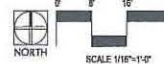


- LANDSCAPE ELEMENT LEGEND**
- DECORATIVE COBBLE
 - DECORATIVE BOLDERS
 - RECYCLED DECK MATERIAL
 - SYNTHETIC TURF PLAY AREA
 - CONCRETE TOPPING SLAB
 - BARK MULCH
 - SEATING BENCH
 - RAISED PLANTER
 - DECORATIVE POTTERY
 - OUTDOOR FURNITURE
 - PLAY EQUIPMENT
 - OVERHEAD SHADE TRELLIS
 - OUTDOOR FIREPLACE
 - DECORATIVE PEDESTRIAN ACCESS GRATE
 - 42" HIGH DECORATIVE METAL GUARDRAIL ON PLANTER WALL
 - LOW DECORATIVE METAL FENCE
 - CONCRETE CURB
 - CONCRETE STEPS
 - CONCRETE WALKWAY
 - CITY SIDEWALK
 - DRIVEWAY TO BELOW GRADE GARAGE
 - HALF TREE GRATE
 - NEW PARKWAY PLANTING
 - PROPERTY LINE
 - BAR-B-QUE
- IRRIGATION NOTE:**
 AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE. THE SYSTEM WILL HAVE A COMBINATION OF SPRAY & DRIP IRRIGATION.
- ROOT BARRIER NOTE:**
 TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 6 FT. OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. ROOT BARRIERS WILL NOT BE WRAPPED AROUND THE ROOTBALL.
- MINIMUM TREE SEPARATION DISTANCE:**
 - ELEGANT PONDERS (ELM) - 20 FEET
 - UNDERGROUND UTILITY LINES - 5 FEET
 - ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 - DRIVEWAYS (ENTRIES) - 10 FEET
 - INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
 - SEWER LINES - 10 FEET
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS; THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS; THE COMMUNITY PLAN IMPLEMENTATION OVERLAY ZONE (CPOZ 'B') OF THE SOUTHEASTERN SAN DIEGO COMMUNITY PLAN; THE CHOLLAS CREEK ENHANCEMENT PROGRAM; AND ALL OTHER CITY AND REGIONAL STANDARDS.**
- THE OWNER/PERMITEE SHALL ENSURE THAT ALL EXISTING, INVASIVE PLANT SPECIES, INCLUDING VEGETATIVE PARTS AND ROOT SYSTEMS, SHALL BE COMPLETELY REMOVED FROM THE DEVELOPMENT AREA OF THE PREMISES WHEN THE COMBINATION OF SPECIES TYPE, LOCATION, AND SURROUNDING ENVIRONMENTAL CONDITIONS PROVIDES A MEANS FOR THE SPECIES TO INVADE OTHER AREAS OF NATIVE PLANT MATERIAL THAT ARE ON OR OFF OF THE PREMISES (LDC 142.0403 (b)(2)).**
- MAINTENANCE NOTE:**
 ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
- TREE GRATES:**
 ANY TREE GRATES (IF UTILIZED) SHALL HAVE A MINIMUM 12" DIAMETER TREE OPENING AND HAVE PERFORMANCE FOR MOISTURE ABSORBENCY.
- MULCH:**
 ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MIN. DEPTH OF 2", EXCLUDING BIOPOR REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUNDCOVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MIN. DEPTH.
- PEDESTRIAN LEVEL LIGHTING:**
 SEE ARCHITECTURAL PLANS FOR PROPOSED PEDESTRIAN LEVEL LIGHTING.
- WATER BUDGET**
- WATER BUDGET = (ET₀) (2.7) (A)
 = (51) (.62) (7) (205)
 WATER BUDGET = 159.475 GAL/YR

THE APPLICANT SHALL PROVIDE AN INTERPRETIVE URBAN TRAIL ALONG MARKET ST. AND MARKET CREEK DR. ALONG THE PROJECT BOUNDARIES. THE URBAN TRAIL SHALL INCLUDE PUBLIC ART, LANDSCAPING, PEDESTRIAN-ORIENTED LIGHTING, AND HARDSCAPE IMPROVEMENTS THAT REFLECT THE NATURAL ENVIRONMENT AND CHOLLAS CREEK ENVIRONMENT. THIS ENHANCED URBAN TRAIL SHALL BE CREATED IN LIEU OF A TRAIL SYSTEM ADJACENT TO THE DEVELOPMENT.

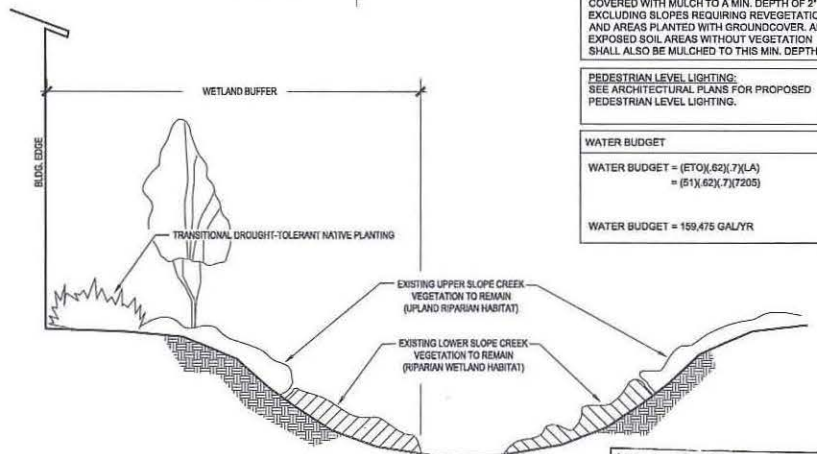
EX. ELECT. EASEMENT PER DOC. NO. 2001-0546818

EXISTING VEGETATION TO REMAIN (PER PLAN 30089-22-D)



LANDSCAPE CALCULATIONS - KEY MAP

LANDSCAPE CALCULATIONS	KEY
STREET YARD PLANTING AREA REQUIRED (142,044): TOTAL AREA 4792 SQ. FT. X 0.05% = 2396 SQ. FT. PLANTING AREA PROVIDED: 2289 SQ. FT. EXCESS AREA PROVIDED: 893 SQ. FT.	
PLANTING POINTS REQUIRED (142,044): TOTAL AREA 4792 SQ. FT. X 0.05% = 240 POINTS PLANT POINTS PROVIDED: 300 POINTS EXCESS POINTS PROVIDED: 60 POINTS POINTS ACHIEVED WITH TREES: 280 POINTS	
REMAINING YARD - MULTIPLE STRUCTURES ON LOT NUMBER OF BUILDINGS 3 TREES REQUIRED 2 NUMBER OF TREES PROVIDED: 21	
VIA: N/A (BELOW-GRADE PARKING)	



APPROVED EXHIBIT "A"

PROJECT NO. 17945D
 RESIDENTIAL DEVELOPMENT
 APPLICANT: S. T. D. DEVELOPMENT, INC.
 AM. PDP/SDP 582176SDP
 APPROVED BY: LEADING OFFICER, PLANNING COMMISSION, CITY COUNCIL ON 3/27/10

DATE: MAY 09, 2009
 JOB NO.: 07023
 DRAWN: CF & MV
 CHECKED: HM

CANDIDATE PLANT LIST

SYM.	BOTANICAL NAME (COMMON NAME)	MATURE SIZE	FUNCTION
	PROJECT SPECIMEN TREES (MIN. SIZE: 3" BO)		
	SUCH AS: PLATANUS MEXICANA (MEXICAN SYCAMORE) PLATANUS RACEMOSA (CALIFORNIA SYCAMORE) QUERCUS AGROPHOLLA (COAST LIVE OAK) QUERCUS ILEX (HOLLY OAK)	42' x 47' 49' x 37' 57' x 32' 35' x 35'	SHADE & TEXTURE ACCENT
	VERTICAL ACCENT TREE (MIN. SIZE: 15' GALLO)		
	SUCH AS: ROBINIA X ANSICUA 'DAHOHENSIS' (DAHO LOCUST) SOPHORA SECUNDIFLORA (TEXAS MOUNTAIN LAUREL) TABERNAEMONTANA (PINK TRUMPET TREE)	30' x 15' 15' x 15' 30' x 15'	SHADE & COLOR
	PROJECT ACCENT TREE (MIN. SIZE: 24" BO)		
	SUCH AS: ENODIOTYIA DEFLEXA (BRONZE LOCUST) LAGERSTROEMIA INDICA - SEMINOLE CUL. (CRAPE MYRTLE) PRUNUS CERASIFERA 'KWAUTER VESUVIUS' (CHERRY PLUM)	15' x 15' 15' x 15' 15' x 15'	COLOR ACCENT
	EVERGREEN ACCENT TREES (MIN. SIZE: 24" BO)		
	SUCH AS: TRISTANIA CONFERTA (BRISBANE BOX) PINUS CANADENSIS (CANARY ISLAND PINE)	30' x 15' 50' x 20'	VERTICAL ACCENT
	MARKET ST. STREET TREE (MIN. SIZE: 3" BO)		
	PLATANUS RACEMOSA (CALIFORNIA SYCAMORE)	45' x 30'	STREET TREE
	CITRUS GROVE (MIN. SIZE: 24" BO)		
	SUCH AS: CITRUS SPP. - SEMI-DWARF CULTIVARS	10' x 10'	FRUITING
	EXISTING TREES EXISTING PLATANUS RACEMOSA EXISTING POPULUS FREMONTII	N/A N/A	N/A N/A
	EVERGREEN SHRUBS (SIZE: 40" S GAL, 60% 1 GAL.)		
	-ALYOGYNE HUEDELI (BLUE HIBISCUS) -ARJUNUS LINEO (STRAWBERRY MADRONE) -CALLISTEMON V. LITTLE JONV (DWARF CALLISTEMON) -CISTUS X. PURPUREUS (ORCHID ROCKROSE) -COTONASTER SPP. (COTONASTER) -EGANUS PUNGENS (SILVERBERRY) -GALVEA 'FIRECRACKER' (ISLAND BUSH SNAPDRAGON) -GREVILLEA NOBLE (KING'S GREVILLEA) -RHAPHIOPHYS SPP. (INDIAN HAWTHORNE)	4' x 4'	SCREENING & COLOR ACCENT
	ACCENT PERENNIALS / SUCCULENTS (SIZE: 15" S GAL, 85% 1 GAL.)		
	-AGAVE SPP. (AGAVE) -DIETES VEGETA (FOXTAIL LIGHT) -ECHINOCANDIDUS (PRIDE-OF-MADDERA) -MULLEBERGIA REGINA (DEER GRASS) -POLYSTICHUM MUNITUM (WESTERN SWORD FERN) -WOODWARDIA FIMBRATA (GIANT CHAIN FERN)	2' x 3'	TEXTURE ACCENT
	SPREADING (SIZE: 60" S GAL, 20% FLATSILVER)		
	-BOUGAINVILLEA SPP. (BOUGAINVILLEA) -CANDIDATUS G. HORIZONTALIS (CARMEL CREEPER) -LANTANA SPP. (TRAILING LANTANA) -LONICERA J. 'HALL MARK' (HONEYBUCKLE) -MIMOSA BIFFENS (CRESPER MIMOSA) -MYOPORUM PACIFICUM (TRAILING MYOPORUM) -SENECO MIMORALIS (BLUE FINGER)	SPREADING	COVER & COLOR ACCENT
	VINES (SIZE: 15" S GAL, 85% 1 GAL.)		
	-BOUGAINVILLEA SPP. (BOUGAINVILLEA) -JUSTITIA SPP. (TRUMPET VINE) -HARDENBERGIA SPP. (LEAG VINE)	VARIES	COLOR ACCENT
	EDIBLE PLANT MATERIAL (SIZE: 15" S GAL, 85% 1 GAL.)		
	-FELDIA BELLOWANA (PINEAPPLE GUAVA) -FRAGARIA BREVIS (WOOD STRAWBERRY) -LAVANDULA ANGSTIFOLIA (ENGLISH LAVENDER) -MENTHA SPICATA (SPEARMINT) -ROSEMARINUS OFFICINALIS (ROSEMARY) -SALVIA SPP. (SAGE) -THYMUS VULGARIS (COMMON THYME) -VITIS VINIFERA THOMPSON SEEDLESS (GRAPPE)	VARIES	RESIDENT USE
	TRANSITIONAL DROUGHT-TOLERANT NATIVE PLANTING (SIZE: 1 GAL.)		
	-BACCHARIS PILLULARIS (DWARF COYOTE BUSH) -MULLEBERGIA REGINA (DEER GRASS)	2' x 2' 2' x 2'	

EXISTING CREEK REVEGETATION
 PER APPROVED PDP #582176SDP #619382

UPPER SLOPE PLANTING OVER RIP-RAP (UPLAND RIPARIAN HABITAT)	LOWER SLOPE PLANTING OVER RIP-RAP (RIPARIAN WETLAND HABITAT)
ARTEMISIA CALIFORNICA (CAL. SAGEBRUSH)	ARTEMISIA DOUGL. (SAGE BRUSH)
BACCHARIS PILLULARIS (COYOTE BUSH)	BACCHARIS SAUCIFOLIA (MULEFAT)
DRYADIS FUNICULUS (COAST MONKEY FLOWER)	MULLEBERGIA REGINA (DEER GRASS)
EROGONIUM FASCICULATUM (FLAT-TOPPED BUCKWHEAT)	FLUCHEA PURPESCENS (FLANBANE)
HAPLOPARIS VENETUS (GOLDEN BUSH)	
LUPINUS SUCCULENTUS (LUPINE)	
LOWER SLOPE PLANTING OVER RIP-RAP (RIPARIAN WETLAND HABITAT)	
ARTEMISIA DOUGL. (SAGE BRUSH)	
ARTEMISIA PALMERI (PALMER'S SAGEBRUSH)	
BACCHARIS SAUCIFOLIA (MULEFAT)	
MULLEBERGIA REGINA (DEER GRASS)	
FLUCHEA PURPESCENS (FLANBANE)	

TREES AS INDICATED ON PLAN

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
 c/o DIAMOND MANAGEMENT, INC.
 404 N. EUCLID AVENUE SAN DIEGO, CALIFORNIA 92114
 (619) 527-6161 PH. (619) 298-2399 FAX

LANDSCAPE DEVELOPMENT PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
▲	2ND SUBMITTAL	10/06/09	▲		
▲	3RD SUBMITTAL	01/19/10	▲		
▲	SUP. SHEETS	02/01/10	▲		

DATE: MAY 09, 2009 SHEET: L1.0
 JOB NO.: 07023
 DRAWN: CF & MV
 CHECKED: HM
 SHEET 56 OF 61

ALL IDEAS, DESIGNS, ARRANGEMENTS & PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY, & THE PROPERTY OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. & IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF RODRIGUEZ ASSOCIATES ARCHITECTS & PLANNERS, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB, & THIS OFFICE MUST BE NOTIFIED OF ALL VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

PDP / SDP AMENDMENT

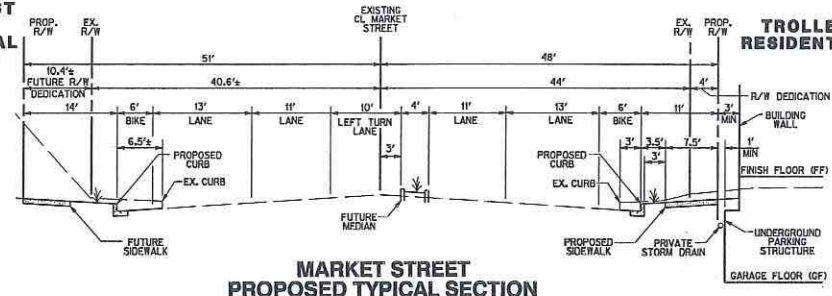
TROLLEY RESIDENTIAL DEVELOPMENT

AT MARKET CREEK PLAZA

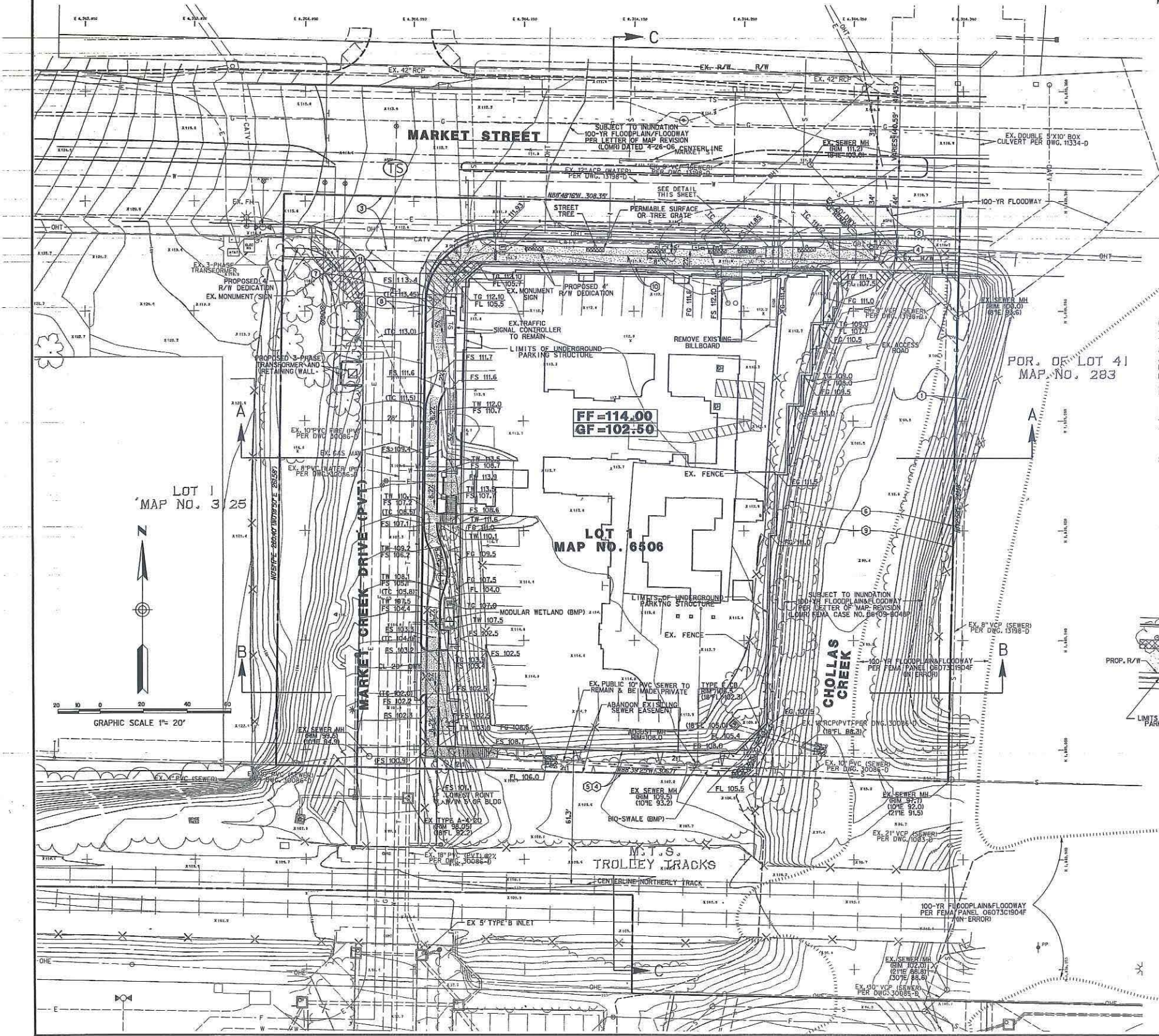
(AMENDMENT TO PDP NO. 582176 / SDP NO. 619562)

NORTHWEST VILLAGE RESIDENTIAL (FUTURE)

TROLLEY RESIDENTIAL



**MARKET STREET
PROPOSED TYPICAL SECTION**
NO SCALE

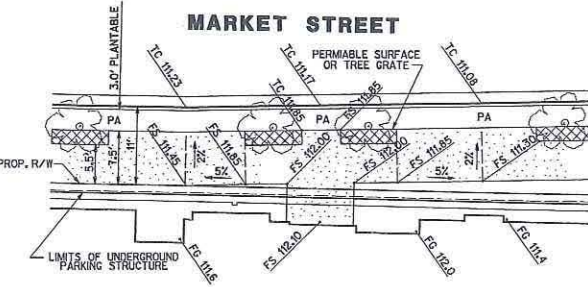


GRADING TABULATION

TOTAL AMOUNT OF SITE TO BE GRADED: AREA 0.92 ACRES, 56% OF TOTAL SITE. AMOUNT OF CUT: 16,500 CUBIC YARDS. MAXIMUM DEPTH OF CUT: 14 FEET. AMOUNT OF FILL: 500 CUBIC YARDS. MAXIMUM DEPTH OF FILL: 4 FEET. MAXIMUM HEIGHT OF CUT SLOPE: 4 FEET, 2:1 SLOPE RATIO. MAXIMUM HEIGHT OF FILL SLOPE: 3 FEET, 2:1 SLOPE RATIO. AMOUNT OF EXPORT SOIL: 16,000 CUBIC YARDS. RETAINING WALLS: LENGTH 65 FEET, MAXIMUM HEIGHT 7 FEET.

BMP REQUIREMENTS

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ON-GOING PERMANENT BMP MAINTENANCE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.



DETAIL
SCALE: 1"=10'

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- - - EASEMENT LINE
- CONTOUR LINE
- SPOT ELEVATION
- Ⓢ EXISTING TRAFFIC SIGNAL
- ▽ CUT/FILL SLOPE (2:1 MAX)
- LIMITS OF UNDERGROUND PARKING
- DAYLIGHT LINE
- PCC SIDEWALK
- ▨ RIP RAP
- RETAINING WALL
- ⊠ 4'X4' TREE GRATE
- 100-YR FLOODWAY
- 100-YR FLOODPLAIN
- △ SIGHT VISIBILITY TRIANGLE
- ▨ PERMISSIBLE SURFACE OR TREE GRATE

APPROVED EXHIBIT "A"
PROJECT 139950
Basement Abandonment #17554
APPLICANT: PDP 14150 SDP 64164
Am. PDP/SDP 582176/619562
APPROVED BY: PLANNING DEPT. PLANNING
COMMISSION (11) POUNDED 7-22-10
SIGNATURE: *Shandra Doolley*

EASEMENT NOTES

- SEWER EASEMENT RECORDED AUGUST 16, 1928 IN BOOK 1504, PAGE 162, O.R.
- STORM DRAIN EASEMENT RECORDED JULY 21, 1964 AS INST. NO. 131225, O.R.
- RIGHT-OF-WAY DEDICATION PER MAP 6506 RECORDED OCTOBER 15, 1969.
- SEWER EASEMENT PER MAP 6506 RECORDED OCTOBER 15, 1969.
- PRIVATE SEWER EASEMENT RECORDED SEPTEMBER 16, 1993 AS INST. NO. 83-331237, O.R.
- OPEN SPACE EASEMENT RECORDED JULY 27, 2001 AS INST. NO. 2001-0527167, O.R.
- WATER EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548818, O.R.
- ELECTRICAL EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548818, O.R.
- FLOODAGE EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548927, O.R.
- GENERAL UTILITY EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548949, O.R.
- PUBLIC STREET EASEMENT RECORDED AUGUST 15, 2001 AS INST. NO. 2001-0581047, O.R.

ENGINEER OF WORK

RICK ENGINEERING COMPANY
2 SOUTH POINTE DRIVE, STE 275
LAKE FOREST, CALIFORNIA 92530
(949) 588-0707



Barry J. Cowan 0110110
BARRY J. COWAN R.C.E. 46564 DATE

TROLLEY RESIDENTIAL DEVELOPMENT

JACOBS FOUNDATION

DIAMOND MANAGEMENT, INC.
404 BROADWAY AVENUE EAST BAKERSFIELD, CALIFORNIA 93311
805-837-6611 FAX 805-837-6622

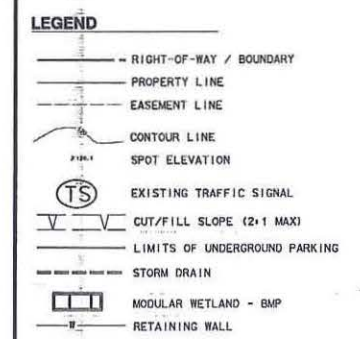
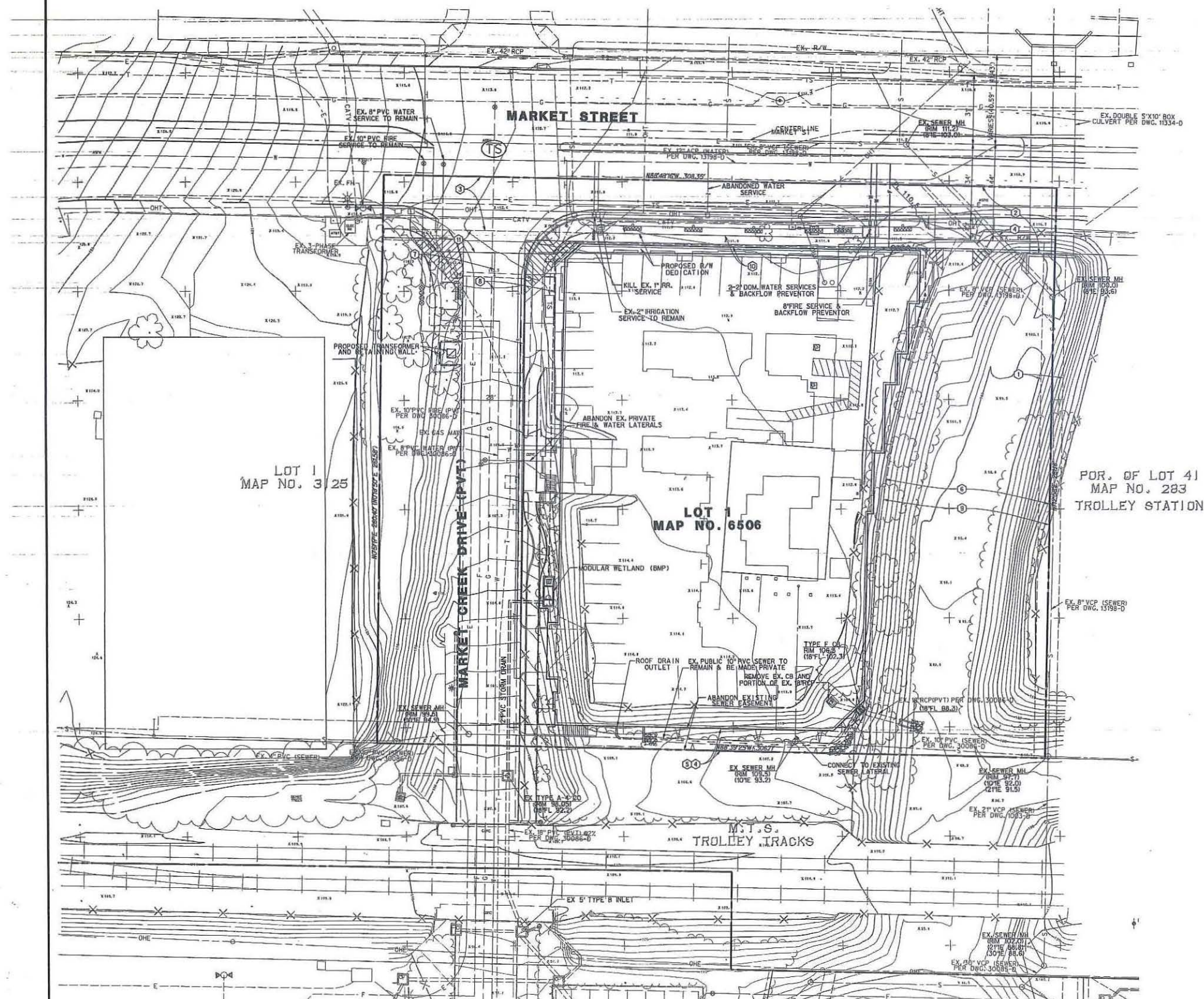
CIVIL GRADING PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	PRELIMINARY REVIEW	10/05/09	1		
2	RESUBMITTAL	1/19/10	1		
			1		

DATE	MAY 09, 2009	SHEET	
JOB NO.	139950		
DRAWN	JSH		
CHECKED	JSH		

C-2
SHEET 59 OF 82

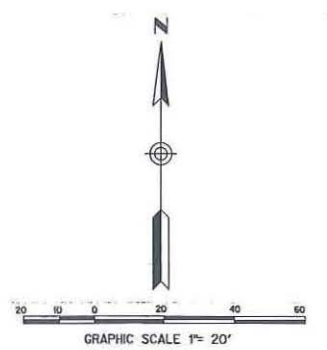
PDP/SDP AMENDMENT TROLLEY RESIDENTIAL DEVELOPMENT AT MARKET CREEK PLAZA (AMENDMENT TO PDP NO. 582176 / SDP NO. 619562)



NOTES
ALL DRAINAGE FACILITIES WITHIN THIS DEVELOPMENT AND OUTSIDE PUBLIC RIGHT-OF-WAY SHALL BE PRIVATE AND PRIVATELY MAINTAINED

APPROVED EXHIBIT "A"
PROJECT NO. 17225D
EASEMENT ABANDONMENT 31356
APPROVED BY HEARING OFFICER, PLANNING
COMM. DIVISION, CITY COUNCIL ON 3/22/10
SIGNATURE: *Dandra Josley*

- EASEMENT NOTES**
- ① SEWER EASEMENT RECORDED AUGUST 16, 1928 IN BOOK 1504, PAGE 162, O.R.
 - ② STORM DRAIN EASEMENT RECORDED JULY 21, 1964 AS INST. NO. 131225, O.R.
 - ③ RIGHT-OF-WAY DEDICATION PER MAP 6506 RECORDED OCTOBER 15, 1969.
 - ④ SEWER EASEMENT PER MAP 6506 RECORDED OCTOBER 15, 1969.
 - ⑤ PRIVATE SEWER EASEMENT RECORDED SEPTEMBER 16, 1983 AS INST. NO. 83-331237, O.R.
 - ⑥ OPEN SPACE EASEMENT RECORDED JULY 27, 2001 AS INST. NO. 2001-0527167, O.R.
 - ⑦ WATER EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548818, O.R.
 - ⑧ ELECTRICAL EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548818, O.R.
 - ⑨ FLOrage EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548927, O.R.
 - ⑩ GENERAL UTILITY EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548949, O.R.
 - ⑪ PUBLIC STREET EASEMENT RECORDED AUGUST 15, 2001 AS INST. NO. 2001-0581047, O.R.



ENGINEER OF WORK
RICK ENGINEERING COMPANY
2 SOUTH POINTE DRIVE, SITE 275
LAKE FOREST, CALIFORNIA 92630
(949) 588-0707



Barry J. Cowan 01/18/10
BARRY J. COWAN R.C.E. 46568 DATE

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION
DIAMOND MANAGEMENT, INC.
404 S. BROADWAY AVENUE, SUITE 200, SAN ANTONIO, TEXAS 78202
281.582.2222

SITE UTILITY PLAN

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
▲ 1	PRELIMINARY REVIEW	10/04/09	▲		
▲ 2	RESUBMITTAL	1/19/10	▲		
▲			▲		
▲			▲		

DATE MAY 01, 2009	SHEET
JOB NO. 171450	C-3
DRAWN JGH	
CHECKED JGH	

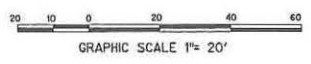
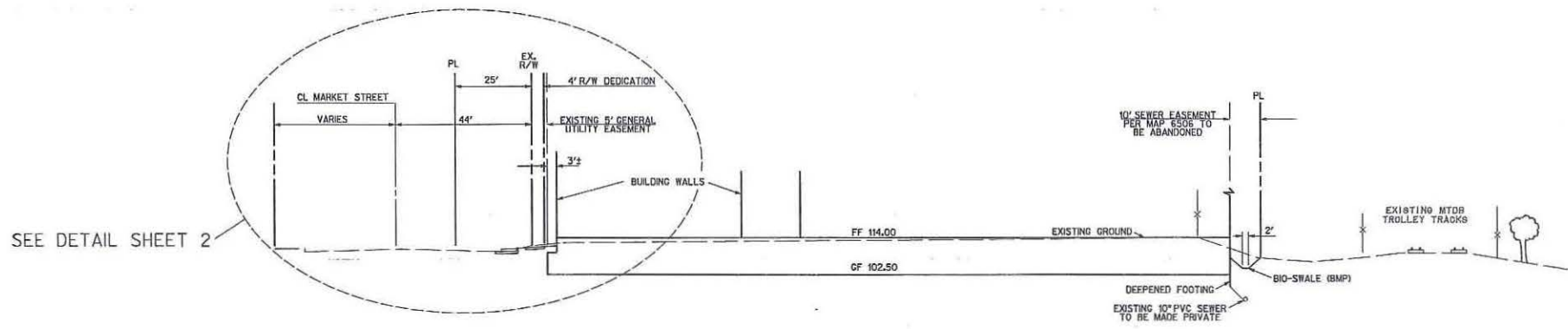
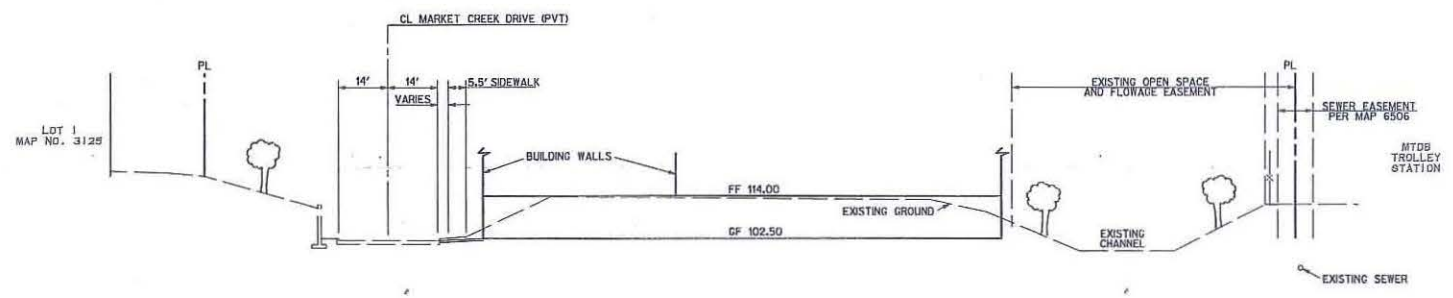
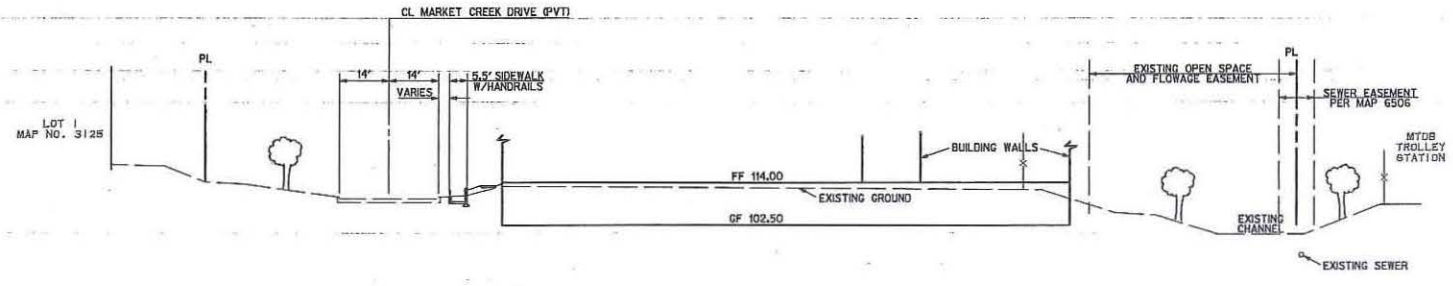
SHEET 60 OF 62

PDP/SDP AMENDMENT

TROLLEY RESIDENTIAL DEVELOPMENT

AT MARKET CREEK PLAZA

(AMENDMENT TO PDP NO. 582176 / SDP NO. 619562)



LEGEND

APPROVED EXHIBIT "A"
 PROJECT NO. 179950
 Easement Abandonment 7/7/08
 AP: PDP/SDP 582176/619562
 APPROVED BY HEARING OFFICER PLANING
 COMMISSION CITY COUNCIL ON 3-28-10
 SIGNATURE: *Andreas Rosley*

ENGINEER OF WORK

RICK ENGINEERING COMPANY
 2 SOUTH POINTE DRIVE, STE 275
 LAKE FOREST, CALIFORNIA 92630
 (949) 588-0707



Barry J. Cowan 01/10/10
 BARRY J. COWAN R.C.E. 46568 DATE

TROLLEY RESIDENTIAL DEVELOPMENT
JACOBS FOUNDATION

DIAMOND MANAGEMENT, INC.
 604 S. BROADWAY AVENUE, SUITE 200, CARLSBAD, CALIFORNIA 92008
 760.434.2222 FAX 760.434.2223

SITE SECTIONS

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
▲ 1	PRELIMINARY REVIEW	10/04/09	▲		
▲ 2	RESUBMITTAL	1/19/10	▲		
▲			▲		

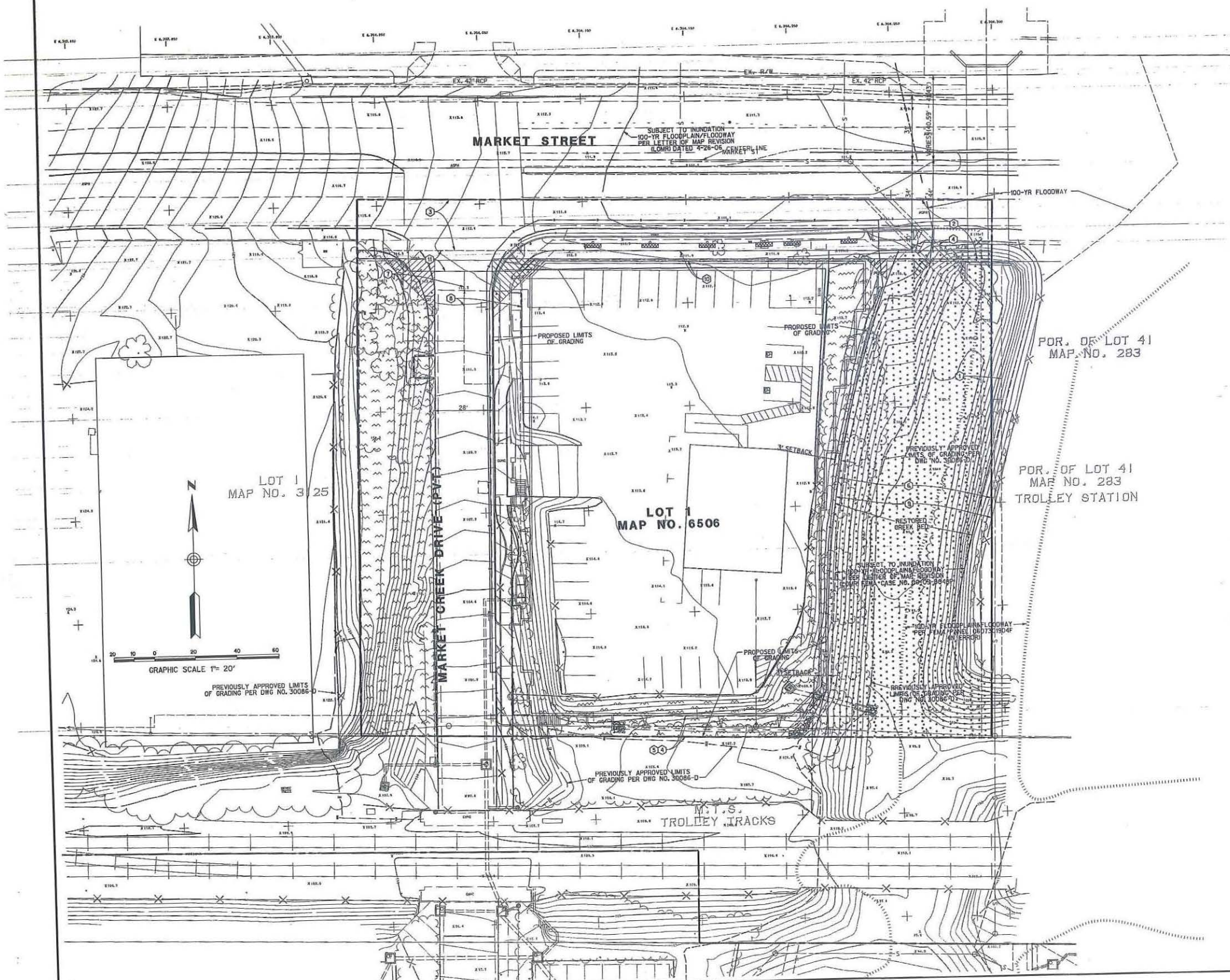
DATE MAY 04, 2009	SHEET
JOB NO. 179950	C-4
DRAWN JGH	
CHECKED JGH	
SHEET 61 OF 62	

PDP/SDP AMENDMENT TROLLEY RESIDENTIAL DEVELOPMENT AT MARKET CREEK PLAZA (AMENDMENT TO PDP NO. 582176 / SDP NO. 619562)

2 SOUTH POINTE DRIVE - SUITE 275
LAKE FOREST, CA 92630
949.588.0707
(FAX) 949.588.0709
rickengineering.com
San Diego - Riverside - San Luis Obispo - Bakersfield - Sacramento - Phoenix - Tucson
Orange

LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- CONTOUR LINE
- SPOT ELEVATION
- CUT/FILL SLOPE (2:1 MAX)
- LIMITS OF UNDERGROUND PARKING
- PROPOSED LIMITS OF GRADING
- RESTORED CREEK BED
- LANDSCAPE
- PREVIOUSLY APPROVED LIMITS OF GRADING PER DWG. 30086-D
- 100-YR FLOODWAY
- 100-YR FLOODPLAIN



APPROVED EXHIBIT "A"
PROJECT NO. 179950
AMENDMENT Abandonment #17558
AP - PDP/SDP 582176 / 619562
AP - PDP/SDP 582176 / 619562
AP - PDP/SDP 582176 / 619562
COMMISSION CITY COUNCIL ON 5/2/2001
SIGNATURE: *Handwritten Signature*

EASEMENT NOTES

- ① SEWER EASEMENT RECORDED AUGUST 16, 1928 IN BOOK 1504, PAGE 162, O.R.
- ② STORM DRAIN EASEMENT RECORDED JULY 21, 1964 AS INST. NO. 131225, O.R.
- ③ RIGHT-OF-WAY DEDICATION PER MAP 6806 RECORDED OCTOBER 18, 1969.
- ④ SEWER EASEMENT PER MAP 6806 RECORDED OCTOBER 18, 1969.
- ⑤ PRIVATE SEWER EASEMENT RECORDED SEPTEMBER 16, 1983 AS INST. NO. 83-231237, O.R.
- ⑥ OPEN SPACE EASEMENT RECORDED JULY 27, 2001 AS INST. NO. 2001-0527167, O.R.
- ⑦ WATER EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548818, O.R.
- ⑧ ELECTRICAL EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548818, O.R.
- ⑨ FLOODAGE EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548927, O.R.
- ⑩ GENERAL UTILITY EASEMENT RECORDED AUGUST 3, 2001 AS INST. NO. 2001-0548949, O.R.
- ⑪ PUBLIC STREET EASEMENT RECORDED AUGUST 15, 2001 AS INST. NO. 2001-0581047, O.R.

ENGINEER OF WORK
RICK ENGINEERING COMPANY
2 SOUTH POINTE DRIVE, STE 275
LAKE FOREST, CALIFORNIA 92630
(949) 588-0707



Barry J. Cowan 01/18/10
BARRY J. COWAN R.C.E. 46568 DATE

TROLLEY RESIDENTIAL DEVELOPMENT JACOBS FOUNDATION

**ENVIRONMENTALLY SENSITIVE
LANDS ANALYSIS**

REV. NO.	DESCRIPTION	DATE	REV. NO.	DESCRIPTION	DATE
1	PRELIMINARY REVIEW	10/06/09	1		
2	RESUBMITTAL	1/19/10	2		

DATE: MAY 09, 2009	SHEET
JOB NO.: 179950	C-5
DRAWN: JGH	
CHECKED: JGH	

SHEET 62 OF 62

DATE PLOTTED: 5/11/09 11:58 AM; PLOT FILE: C:\PROJECTS\179950\ENVIRONMENTAL\ENVIRONMENTAL.DWG; PLOT DEVICE: HP DesignJet 5000PS; PLOT SCALE: 1:1; PLOT SHEET: C-5