



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: July 3, 2013 **REPORT NO. PC-13-078**

ATTENTION: Planning Commission, Agenda of July 11, 2013

SUBJECT: AT&T – Gold Coast/Wangenheim Middle School
PROJECT NO. 290602. PROCESS 4.

**OWNER/
APPLICANT:** SAN DIEGO UNIFIED SCHOOL DISTRICT/
AT&T MOBILITY

SUMMARY

Issue: Should the Planning Commission approve a Wireless Communication Facility (WCF) at 9230 Gold Coast Drive, within the Mira Mesa community plan area?

Staff Recommendation: APPROVE Conditional Use Permit (CUP) No. 1145092 and Planned Development Permit (PDP) No. 1145093.

Community Planning Group Recommendation: At the December 17, 2012 meeting of the Mira Mesa Community Planning Group, the group voted 13-1-0 to recommend approval of this project. In the motion to approve the project, the group made a request that the proposed live eucalyptus trees be changed to a different species due to concerns about tree instability. In response, AT&T changed the proposed live species to Brisbane Box. The group also requested that the equipment room be ADA accessible for use by the school if AT&T leaves the property. AT&T did not make this change as the equipment room would be removed if AT&T vacated the property.

Environmental Review: This project was evaluated pursuant to the California Environmental Quality Act (CEQA) and determined to be categorically exempt from CEQA, per State Guidelines, Section 15303 (New Construction). The environmental exemption determination was made on June 7, 2013, and the opportunity to appeal that determination ended June 21, 2013.

Fiscal Impact Statement: AT&T Mobility is the Financially Responsible Party responsible for costs associated with the processing of this application.

Code Enforcement Impact: Not applicable.



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Housing Impact Statement: Not applicable.

BACKGROUND

This project is an application for a Conditional Use Permit (CUP) and Planned Development Permit (PDP) for a Wireless Communication Facility (WCF). The project is located at 9230 Gold Coast Drive on the east side of the Wangenheim Middle School campus, near Black Mountain Road. The project is located in the AR-1-2 zone, within the Mira Mesa community plan area (Attachments 1, 2, 3 and 4).

WCF's are permitted in agricultural zones with a non-residential use with the processing of a CUP, Process 3, when the antennas are less than 100 feet of the property line of a residential use, day care, elementary school, or middle school. In this case, since a middle school is located on the subject property, a CUP Process 3 is required. The project also proposes to deviate from the zone height and setback requirements, which requires the processing of a PDP, Process 4, to deviate from these regulations.

DISCUSSION

Project Description:

This WCF proposes to install a 65-foot high faux eucalyptus tree, or "monoecalyptus," supporting twelve (12) panel antennas. The monoecalyptus would also provide space to collocate another carrier's antennas. Equipment associated with the antennas would be located in an equipment room proposed adjacent to the monoecalyptus.

The San Diego Municipal Code Section 141.0420(g)(6) allows WCF designed as faux landscape when there are existing trees present or proposed trees similar in size and species to the proposed faux tree. In this case, existing eucalyptus trees are present, reaching a height of around 50 feet. Additional Brisbane Box trees¹ are proposed adjacent to the faux tree to help to further screen and integrate the monoecalyptus.

Two deviations are requested for this project:

1. Height: The monoecalyptus, proposed at 65 feet tall, exceeds the AR-1-2 zone 30 foot height limit.
2. Setback: Portions of the project are located within the 20 foot side yard setback.

A PDP, Process 4, is being processed along with the CUP to allow these deviations. The proposed height allows AT&T to meet its coverage objective and is acceptable at this location due to the existing mature trees and proposed additional trees. The setback deviation allows AT&T to locate the faux tree within a section of the campus containing a line of landscape along Black Mountain Road in order to integrate the faux tree and avoid disrupting the school campus.

¹ Additional eucalyptus trees were requested to help screen and integrate the proposed monoecalyptus tree. At the request of the Mira Mesa Community Planning Group, which had concerns about the stability of eucalyptus trees, the proposed species was changed to Brisbane Box.

Community Plan Analysis:

While the Mira Mesa Community Plan does not specifically address WCFs, the City's General Plan addresses WCFs in UD-A.15 as follows:

Minimize the visual impact of wireless facilities.

- a) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b) Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

In this case, the project complies with the requirements of the General Plan by camouflaging the proposed antennas on a new faux eucalyptus tree and by locating the equipment in an area screened with landscape. The proposed design allows the WCF to be aesthetically pleasing and respectful of the neighborhood context.

Conclusion:

This project complies with the applicable regulations of the Land Development Code and the City's General Plan and draft findings (Attachment 5) have been made in the affirmative. Therefore, staff recommends approval of CUP No. 1145092 and PDP No. 1145093.

ALTERNATIVES

- 1. **Approve CUP No. 1145092 and PDP No. 1145093, with modifications.**
- 2. **Deny CUP No. 1145092 and PDP No. 1145093, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Alex Hempton, AICP
Development Project Manager
Development Services Department

TOMLINSON/AFH

Attachments:

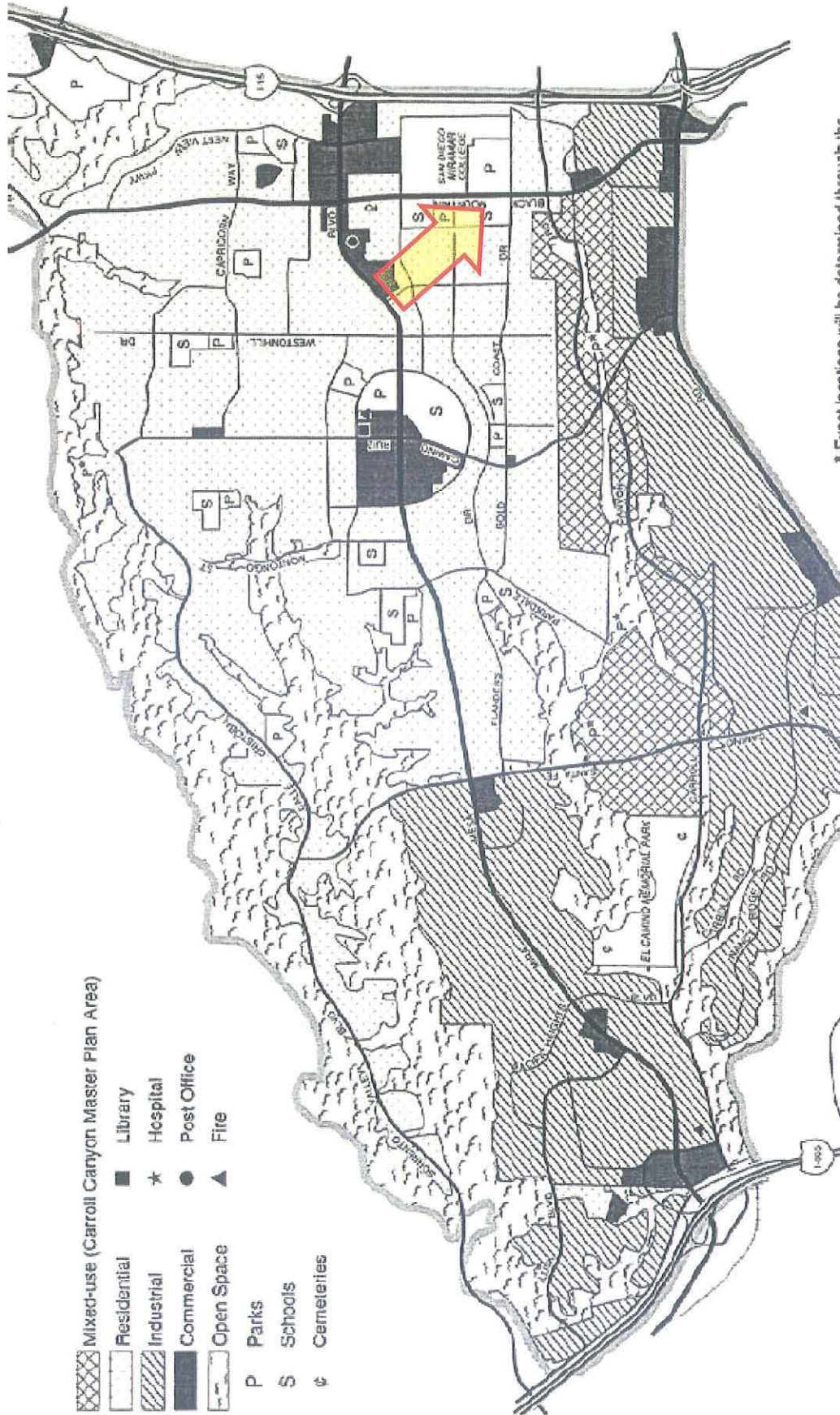
1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of (Environmental) Exemption
8. Photo Simulations
9. Site Justification and Coverage Maps
10. Photographic Survey
11. Project Plans
12. Community Planning Group Recommendation
13. Ownership Disclosure Statement
14. Project Chronology
15. Notice of Planning Commission Hearing



Aerial Photo

AT&T – Gold Coast/Wangenheim Middle School – Project Number 290602

9230 Gold Coast Drive



- Mixed-use (Carroll Canyon Master Plan Area)**
- Residential
 - Industrial
 - Commercial
 - Open Space
 - Parks
 - Schools
 - Cemeteries
 - Library
 - Hospital
 - Post Office
 - Fire

Designated as
School

Community Plan Land Use Designation

AT&T – Gold Coast/Wangenheim Middle School – Project Number 290602

9230 Gold Coast Drive





Page 1 of 1



Project Location Map

AT&T – Gold Coast/Wangenheim Middle School – Project Number 290602

9230 Gold Coast Drive



ATTACHMENT 3

Map data ©2013 Google - Edit in Google Map Maker Report a problem

PROJECT DATA SHEET		
PROJECT NAME:	AT&T – Gold Coast/Wangenheim Middle School	
PROJECT DESCRIPTION:	Wireless Communication Facility (WCF) consisting of a new 65 foot tall monoecalyptus supporting 12 panel antennas with room for an additional carrier's antennas. An equipment room is proposed adjacent to the faux tree.	
COMMUNITY PLAN AREA:	Mira Mesa	
DISCRETIONARY ACTIONS:	Conditional Use Permit and Planned Development Permit (Process 4)	
COMMUNITY PLAN LAND USE DESIGNATION:	School	
<u>ZONING INFORMATION:</u>		
ZONE: AR-1-2 HEIGHT LIMIT: 30' FRONT SETBACK: 25' SIDE SETBACK: 20' REAR SETBACK: 25'		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	School, AR-1-2	School/Park
SOUTH:	School, AR-1-2	School
EAST:	Park, AR-1-2	Park
WEST:	School, AR-1-2	School
DEVIATIONS OR VARIANCES REQUESTED:	Deviation to the AR-1-2 zone 30-foot height limit and encroachment into the side setback.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Mira Mesa Community Planning Group voted to recommend approval of this project at their December 17, 2012 meeting.	

PLANNING COMMISSION
RESOLUTION NO. PC-XXXX
CONDITIONAL USE PERMIT NO. 1145092
PLANNED DEVELOPMENT PERMIT NO. 1145093
AT&T – GOLD COAST/WANGENHEIM MIDDLE SCHOOL
PROJECT NUMBER 290602

WHEREAS, the SAN DIEGO UNIFIED SCHOOL DISTRICT, Owner, and AT&T MOBILITY, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1145092 and 1145093);

WHEREAS, the site is located at 9230 Gold Coast Drive in the AR-1-2 zone of the Mira Mesa community plan area;

WHEREAS, the project site is legally described as: all that portion of the Southeast Quarter of Section 31, Township 14 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, according to Record of Survey Map No. 954, filed in the Office of the County Recorder of San Diego County, September 13, 1941;

WHEREAS, on June 7, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on July 11, 2013, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 1145092 and Planned Development Permit No. 1145093 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated January 26, 2012:

FINDINGS:

Conditional Use Permit - Section 126.0305

1. The proposed development will not adversely affect the applicable land use plan;

While the Mira Mesa Community Plan does not specifically address WCFs, the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. This project proposes to camouflage antennas on a

65-foot tall faux eucalyptus tree, or “monoecalyptus.” The proposed faux tree is located within a line of existing trees and additional trees will be planted to screen and integrate the faux tree. Equipment associated with the facility is located adjacent to the faux tree. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that AT&T perform a cumulative model RF test and submit the finding in a report to the City of San Diego prior to the issuance of a building permit. (Note: This condition is in addition to LDC section 141.0420(b)(1)(A), which requires compliance with federal and state standards and regulations with regards to WCF’s.) Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

3. The proposed development will comply with the regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code; and

The project complies with the applicable development regulations of the Land Development Code and the City of San Diego Wireless Communication Facility (WCF) Regulations (Land Development Code Section 141.0420). This section of the code requires that WCFs be minimally visible through the use of architecture, landscape, and siting solutions. WCFs are permitted as faux landscape, such as the proposed monoecalyptus, when existing trees of a similar size and species are present or trees of a similar species that will reach a similar size are proposed. This project proposes to locate antennas on a new 65-foot tall monoecalyptus tree. Existing trees are present and additional trees are proposed to help screen and integrate the faux tree. Two deviations are requested to the AR-1-2 zone height and setback regulations, which are being processed with the accompanying Planned Development Permit. Therefore, this project complies with the applicable regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

WCF are permitted in agricultural zones, with a non-residential use, where the antennas are less than 100 feet from the property line of a day care, elementary school, middle school, or residential use, with the processing of a Conditional Use Permit, Process 3. Consistent with Council Policy 600-43, WCF are more preferred on property zoned as commercial or industrial and less preferred on properties with more sensitive uses. Wireless carriers are required to provide coverage within their license area, which sometimes necessitates locating in a less preferred location. In this case, the WCF has been designed as a faux tree, situated among existing trees and other landscape material, and will not disrupt the surrounding uses. Therefore, the proposed use is appropriate at the proposed location.

Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan;

While the Mira Mesa Community Plan does not specifically address WCFs, the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. This project proposes to camouflage antennas on a 65-foot tall faux eucalyptus tree, or "monoecalyptus." The proposed faux tree is located within a line of existing trees and additional trees will be planted to screen and integrate the faux tree. Equipment associated with the facility is located adjacent to the faux tree. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that AT&T perform a cumulative model RF test and submit the finding in a report to the City of San Diego prior to the issuance of a building permit. (Note: This condition is in addition to LDC section 141.0420(b)(1)(A), which requires compliance with federal and state standards and regulations with regards to WCF's.) Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The project complies with the applicable development regulations of the Land Development Code and the City of San Diego Wireless Communication Facility (WCF) Regulations (Land Development Code Section 141.0420). This section of the code requires that WCFs be minimally visible through the use of architecture, landscape, and siting solutions. WCFs are permitted as faux landscape, such as the proposed monoecalyptus, when existing trees of a similar size and species are present or trees of a similar species that will reach a similar size are proposed. This project proposes to locate antennas on a new 65-foot tall monoecalyptus tree. Existing trees are present and additional trees are proposed to help screen and integrate the faux tree.

Two deviations are requested to the AR-1-2 zone height and setback regulations, which are being processed with the accompanying Planned Development Permit. The monoecalyptus tree, at 65-feet tall, deviates from the AR-1-2 zone 30-foot height limit by 35 feet. The equipment area and portions of the monoecalyptus, encroach into the 20-foot required side yard setback. The proposed height allows AT&T to meet its coverage objective and existing and proposed trees allow the faux tree to integrate with the surroundings at this height. The setback deviation is appropriate in that it allows

ATTACHMENT 5

the WCF to be located within a line of existing landscape and is not in conflict with other school-related uses on site. Therefore, the proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the AR-1-2 zone.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, CONDITIONAL USE PERMIT NO. 1145092 and PLANNED DEVELOPMENT PERMIT NO. 1145093 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit Nos. 1145092 and 1145093, a copy of which is attached hereto and made a part hereof.

Alexander Hempton, AICP
Development Project Manager
Development Services

Adopted on: July 11, 2013

Internal Order No. 24003089

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003089

CONDITIONAL USE PERMIT NO. 1145092
PLANNED DEVELOPMENT PERMIT NO. 1145093
AT&T – GOLD COAST/WANGENHEIM MIDDLE SCHOOL
PROJECT NO. 290602
PLANNING COMMISSION

This **CONDITIONAL USE PERMIT (CUP) NO. 1145092** and **PLANNED DEVELOPMENT PERMIT (PDP) NO. 1145093** are granted by the **Planning Commission** of the City of San Diego to **THE SAN DIEGO UNIFIED SCHOOL DISTRICT**, Owner, and **AT&T MOBILITY**, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0301, et seq., 126.0601, et seq., and 141.0420. The site is located at 9230 Gold Coast Drive in the AR-1-2 zone of the Mira Mesa community plan area. The project site is legally described as: all that portion of the Southeast Quarter of Section 31, Township 14 South, Range 2 West, San Bernardino Base and Meridian, in the City of San Diego, County of San Diego, State of California, according to Record of Survey Map No. 954, filed in the Office of the County Recorder of San Diego County, September 13, 1941.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF), described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated July 11, 2013, on file in the Development Services Department.

The project shall include:

- a. A 65-foot tall monoecalyptus (faux tree) supporting twelve (12) panel antennas with space for an additional carrier's antennas and an equipment shelter;
- b. Deviation to the AR-1-2 zone 30 foot height limit and encroachment into the AR-1-2 zone side setback, permitted with the processing of this Planned Development Permit;

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by July 25, 2013.
2. This Conditional Use Permit [CUP] and Planned Development Permit [PDP] and corresponding use of this site shall expire on July 25, 2023. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the

event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AIRPORT REQUIREMENTS:

14. Prior to issuance of any construction permits, the Owner/Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration [FAA].

LANDSCAPE REQUIREMENTS:

15. Prior to the issuance of a construction permit, landscape construction documents shall be submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to this Permit and Exhibit 'A' on file in the office of Development Services Department.

16. Landscape installed as part of the project shall be maintained and irrigated for the life of the permit. All required landscape shall be maintained in a disease, weed and litter free condition at all times.

17. Prior to activation of facility, it shall be the responsibility of the Permittee to install all required landscape and obtain all required landscape inspections.

18. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/ or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage.

PLANNING/DESIGN REQUIREMENTS:

19. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

20. All proposed hand-holes shall be covered with bark material to match the faux tree trunk to the satisfaction of the Development Services Department.

21. All coaxial conduits shall be routed up through the caisson and into the tree to the satisfaction of the Development Services Department. Cable enclosures (referred to as "doghouses") are not permitted.

22. Branches shall extend a minimum of 24-inches beyond the face of the proposed antennas to the satisfaction of the Development Services Department.
23. Starting branch height shall be no lower than 10-feet, as illustrated on the stamped, approved Exhibit "A."
24. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.
25. Radio-frequency transparent "socks" fully covering the front and back of the antennas (and any other components) shall be installed.
26. The Permittee shall provide color samples and manufacturer specifications for the faux tree prior to Building Permit issuance. This is to ensure that the proposed faux tree integrates with the surrounding landscape and meets the City's quality standards. Staff will pre-approve the color sample and manufacturer specifications prior to Building Permit issuance. The exact faux tree color exhibit and specifications will be used during the FINAL INSPECTION. The specifications approved by Planning Staff must be identical to the as-built faux tree.
27. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
28. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
29. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
30. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."
31. No overhead cabling is allowed for this project.
32. Exposed mounting apparatus shall be removed and shall not remain on the faux tree absent antennas.
33. The Owner/Permittee shall not cause or allow the antennas located on the faux tree to be different sizes (length, width, or height) than as shown on the stamped approved plans.
34. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.

35. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.

36. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

37. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- A "Telecom Planning Inspection" will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at 619-446-5349 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on July 11, 2013 by Resolution No. PC-XXXX.

Permit Type/PTS Approval No.: CUP/1145092
and PDP/1145093
Date of Approval: 7/11/2013

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Alexander Hempton, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**SAN DIEGO UNIFIED
SCHOOL DISTRICT**
Owner

By _____
NAME
TITLE

AT&T MOBILITY
Permittee

By _____
Kevin Becker
Senior Real Estate &
Construction Manager

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: June 7, 2013

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order 24003089

PROJECT NAME/NUMBER: AT&T Gold Coast/Wangenheim MS/No. 290602

COMMUNITY PLAN AREA: Mira Mesa

COUNCIL DISTRICT: 6

LOCATION: 9230 Gold Coast Drive, San Diego, CA 92126

PROJECT DESCRIPTION: PLANNED DEVELOPMENT PERMIT (PDP) AND CONDITIONAL USE PERMIT (CUP) for a new Wireless Communication Facility (WCF). The project would consist of a 65-foot high mono-eucalyptus (faux tree) supporting twelve (12) antennas and an 11'5" by 20'0" equipment enclosure located adjacent to the tree. The project site is located within the AR-1-2 zone; MCAS Miramar AIA; and FAA Part 77 overlay within the Mira Mesa Community Plan area.

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Planning Commission (Process 4)

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15303 (New Construction).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego Development Services Staff

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project has been determined to be exempt from CEQA pursuant to Sections 15301. This Class 3 exemption allows for the construction of limited numbers of new, small facilities or structures, including but not limited to, up to four commercial buildings in urban areas not exceeding 10,000 square feet or utility extensions. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore these exemptions are applicable to the proposed project.

DEVELOPMENT PROJECT MANAGER: Alex Hempton
MAILING ADDRESS: 1222 First Avenue, MS 501, San Diego, CA
92101-4153
PHONE NUMBER: (619) 446-5349

On June 7, 2013 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (June 21, 2013). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

EXISTING



SD0263
Gold Coast
9230 Gold Coast Drive
San Diego, CA 92126

Page 1 of 3



ATTACHMENT 8

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

PROPOSED

4/10/2013

Photosimulation of proposed telecommunications site



SD0263
Gold Coast
9230 Gold Coast Drive
San Diego, CA 92126



Proposed mono-eucalyptus

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

PROPOSED



SD0263
Gold Coast
9230 Gold Coast Drive
San Diego, CA 92126

Page 3 of 3



ATTACHMENT 8

SITE JUSTIFICATION
Gold Coast
9230 Gold Coast Drive

PROJECT DESCRIPTION

The project is a proposed wireless communication facility located at Wangenheim Middle School in the Mira Mesa Community Plan area. The subject property is located at 9230 Gold Coast Drive. The property zoned AR-1-2 and is developed with a middle school. The surrounding uses include Miramar College to the east, school and recreation uses to the north and residential uses to the south and west.

SITE DESIGN

The proposed facility is a 65 foot monoecalyptus at the eastern end of the Wangenheim Middle School adjacent to the existing boundary fencing. The equipment will be located at the base of the tree in a shelter. There are existing trees and ground cover around the proposed monoecalyptus. Neither the proposed faux tree nor the equipment will impact usable school facilities.

PREFERENCE 3 LOCATION:

The project site is proposed on a Preference 3 location. The site was chosen due to its location in the required coverage area and because it could accommodate the proposed wireless facility. There were no lower preference properties in the area that could accommodate the needs of this site.

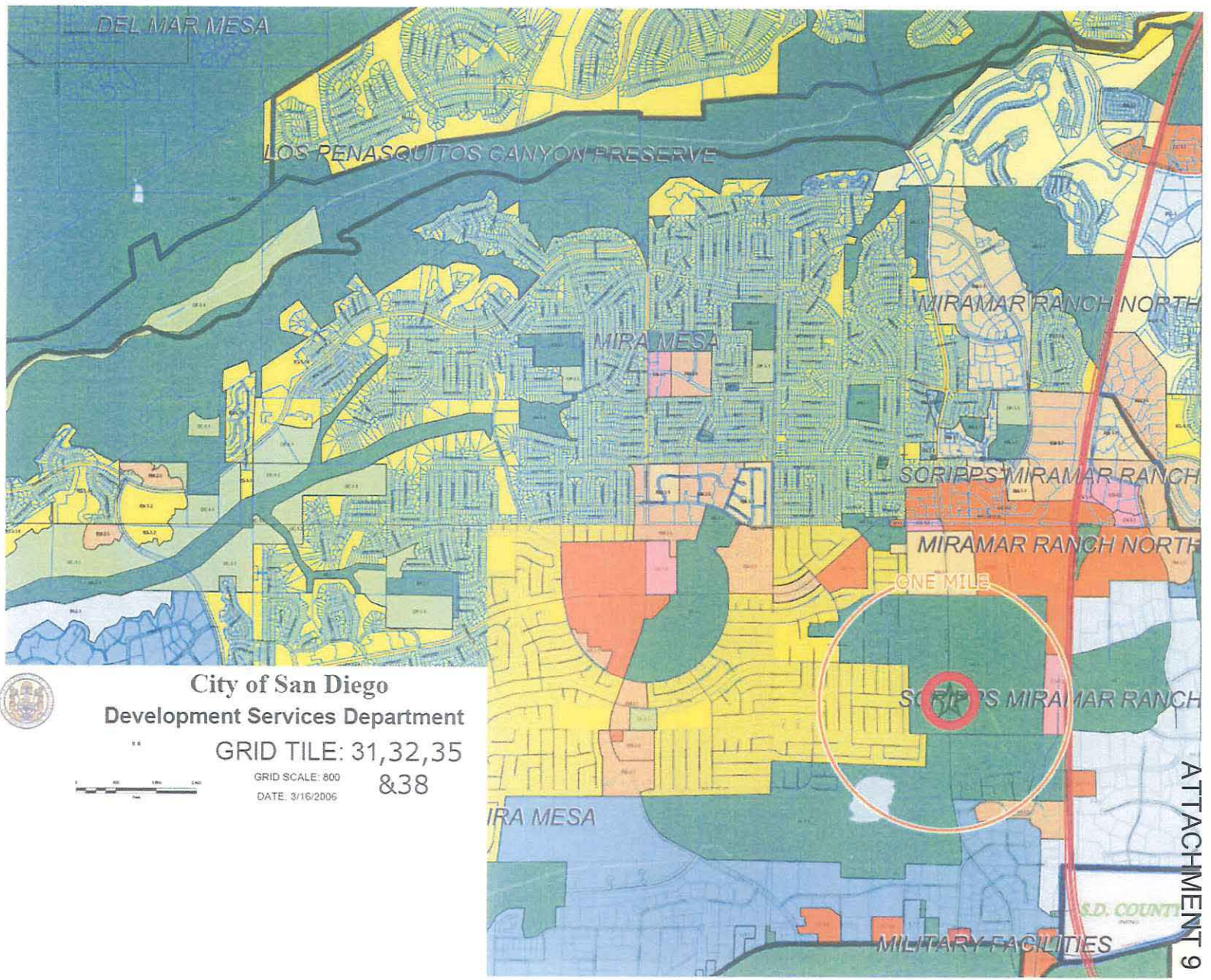
CO-LOCATION OF WIRELESS FACILITIES

No other wireless carriers are located on this property.

- Legend**
- City of San Diego Boundary
 - Community Plan Areas
 - Parcels
- ZONE NAME**
- AR-1.1
 - AR-1.2
 - CC-1.0
 - CC-3.4
 - CR-1.2
 - CO-1.2
 - CP-1.1
 - CV-1.1
 - CV-1.2
 - IP-2.1
 - QC-1.1
 - UP-1.1
 - GP-1.1
 - OP-2.1
 - JR-1.1
 - OR-1.2
 - RM-1.1
 - RM-1.2
 - RM-1.3
 - RM-2.5
 - RM-3.7
 - RM-1.9
 - RS-1.11
 - RS-1.13
 - RS-1.14
 - RT-1.2
 - RX-1.2

Page 2 of 5

- Legend**
-  Search Ring
 -  Selected Site
 -  Existing sites within 1 mile radius:
 - No sites within 1 mile
 -  **Alternative Sites:**
 - No alternative sites

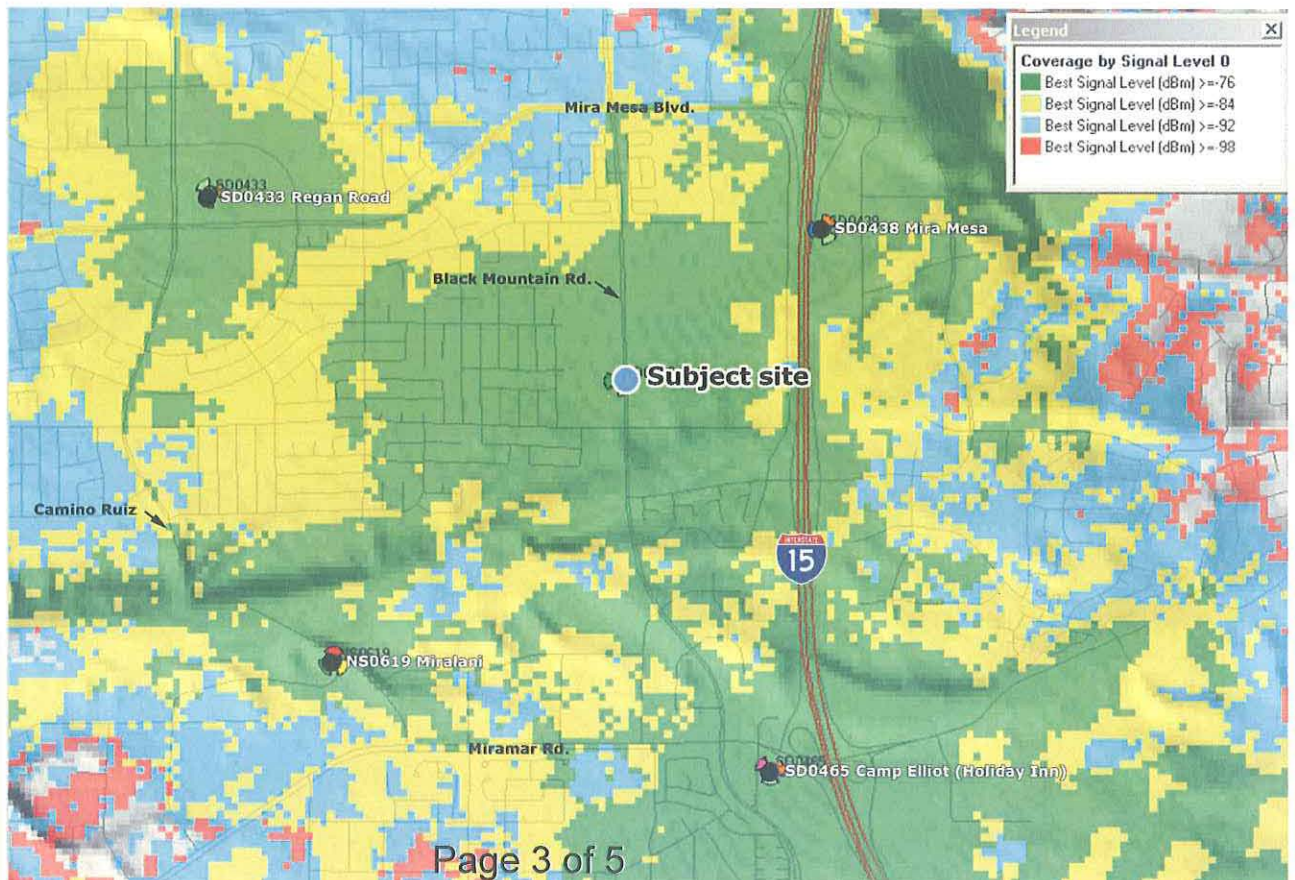
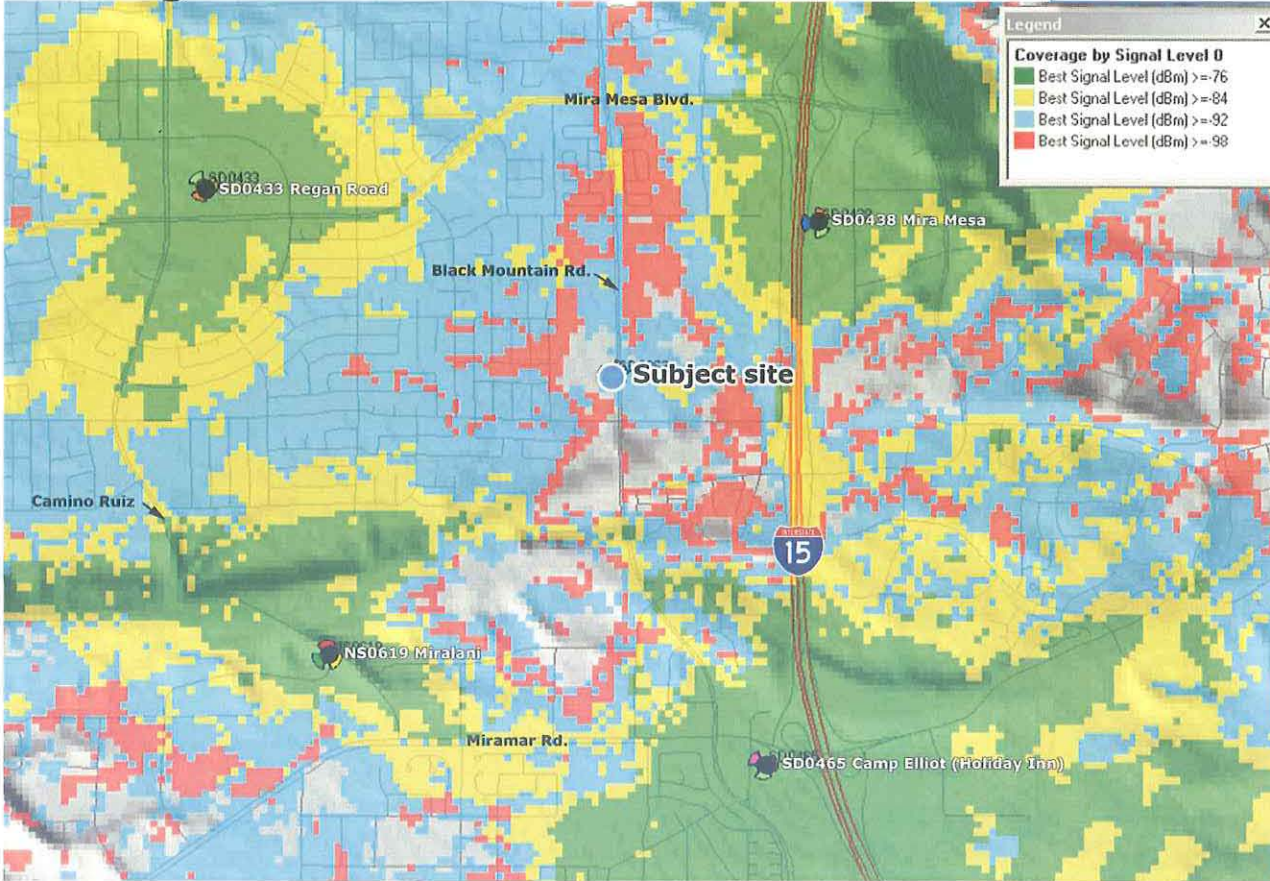


City of San Diego
Development Services Department
GRID TILE: 31,32,35
&38
 GRID SCALE: 800
 DATE: 3/16/2006



ATTACHMENT 9

Coverage without site



Coverage Levels:

- Excellent
- Variable
- Poor
- No Coverage

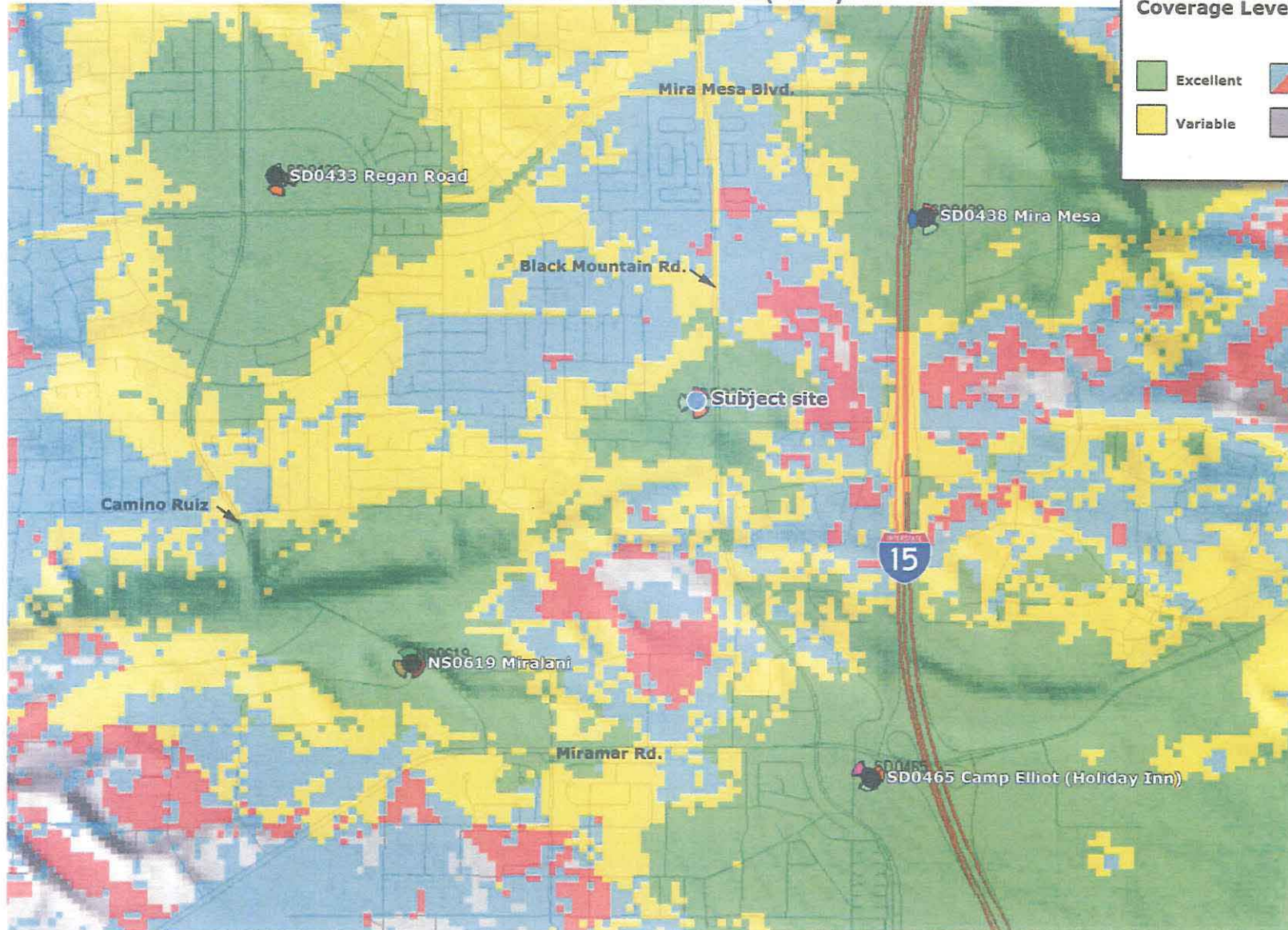


SD0263
Gold Coast
9230 Gold Coast Drive
San Diego, CA 92126

COVERAGE WITH SD0263(30ft.)

Coverage Levels:

- | | |
|-----------|-------------|
| Excellent | Poor |
| Variable | No Coverage |



Proposed coverage with antennas at 50'

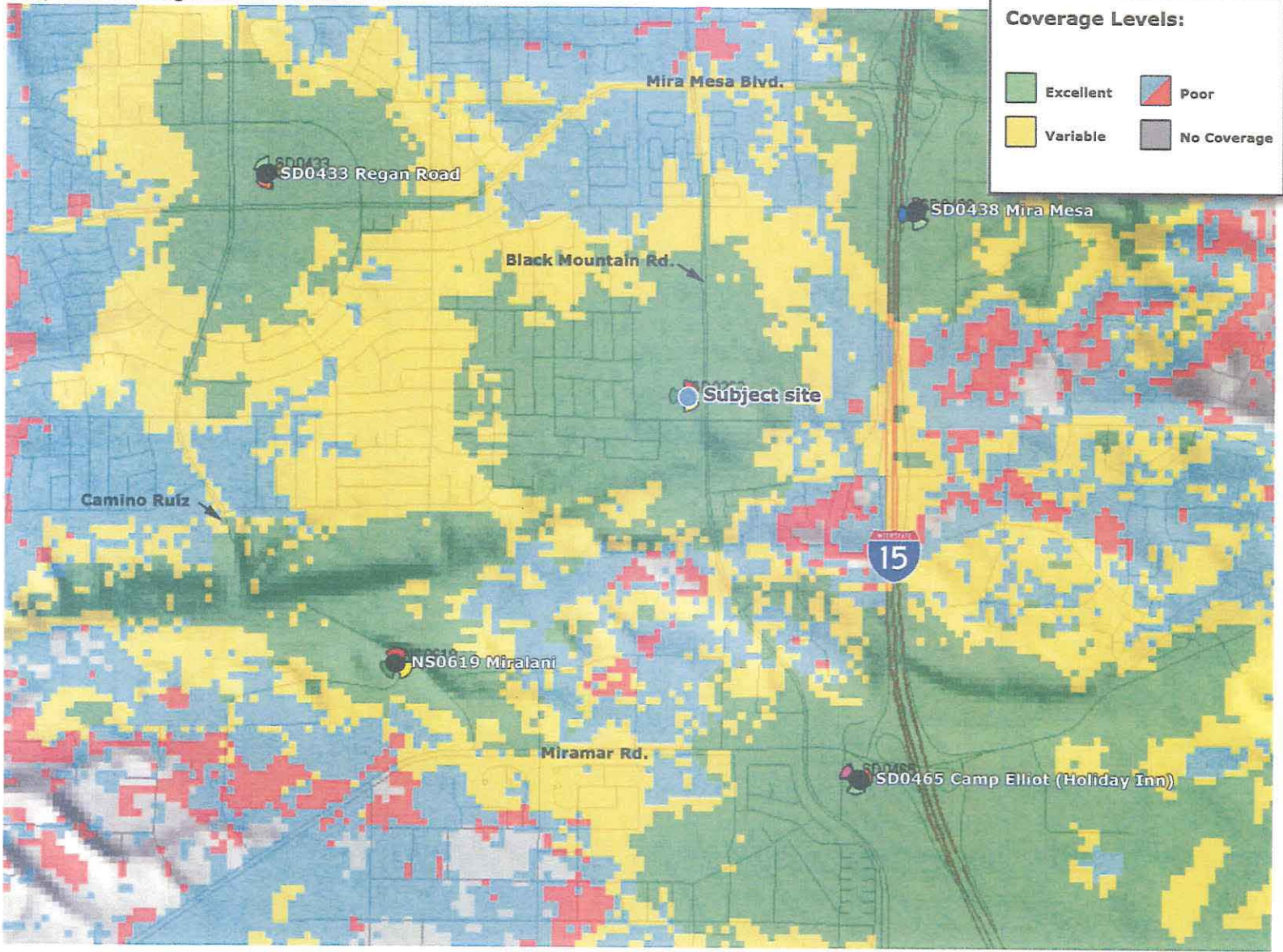




PHOTO STUDY & KEY MAP

SD0263

Gold Coast
9230 Gold Coast Drive
San Diego, CA 92126

Prepared for:

City of San Diego
Department of Planning
1222 First Avenue MS 301
San Diego, CA 92101

Prepared by:

PlanCom, Inc.
Contractor Representatives for
AT&T Wireless

302 State Place
Escondido, CA 92029
Contact: Shelly Kilbourn, Planning Consultant
(619) 208-4685

July 25, 2012



Looking at north elevation



Looking at south elevation



Looking north from site



Looking south from site



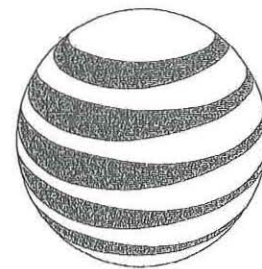
Looking east from site



Looking west from site



Aerial photo of site



at&t
MOBILITY

GOLD COAST
9230 GOLD COAST DRIVE
SAN DIEGO, CA. 92126
SD0263

VICINITY MAP

THOMAS GUIDE PAGE: 1209-E4

ADDRESS:
9230 GOLD COAST DRIVE
SAN DIEGO, CA 92126

RF INFORMATION

	LTE	GSM	UMTS
Tx	704.0 - 716.0 MHz	869 - 874.6 MHz 890 - 891.4 MHz 1950 - 1952.0 MHz 1970 - 1980 MHz	874.6 - 879.6 MHz 1945 - 1950 MHz
Rx	734.0 - 746.0 MHz	824 - 829.4 MHz 845 - 846.4 MHz 1870 - 1872.0 MHz 1890 - 1900 MHz	829.6 - 834.4 MHz 1865 - 1869.8 MHz
MAX EIRP:		LTE: 500 WATTS 850 MHz: 54 WATTS 1900 MHz: 54.5 WATTS	

CONSULTANT TEAM

ARCHITECT:
WILLIAM BOOTH & ROBERT SUAREZ
ARCHITECTURE INC.
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008
(760) 434-8474
(760) 434-8596 (FAX)

LEASING:
PLANCOM, INC.
302 STATE PLACE
ESCONDIDO, CA 92029
GREG MOORAD
(858) 603-2336

PLANNING:
PLANCOM, INC.
302 STATE PLACE
ESCONDIDO, CA 92029
DARRELL DAUGHERTY
(619) 917-8703

SURVEYOR:
FLOYD SURVEYING
11576 NORGATE CIRCLE
CORONA, CALIFORNIA 92880
(951) 739-7949
(951) 739-7949 (FAX)

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

PROJECT SUMMARY

APPLICANT: AT&T MOBILITY NSB PROGRAM - SAN DIEGO
7337 TRADE STREET, 3EAST, ROOM 3684
SAN DIEGO, CA 92121-4202
(858) 453-3388
SITE CONTACT: DARRELL DAUGHERTY
(619) 917-8703

OWNER: SAN DIEGO UNIFIED SCHOOL DISTRICT
4100 NORMAL STREET
SAN DIEGO, CA 92103
SITE CONTACT: DEBORAH BEAVER
(658) 637-6204

JURISDICTION: DSA

PROJECT DESCRIPTION:

- INSTALLATION OF AN AT&T MOBILITY PREFABRICATED CONCRETE (11'-5" x 20'-0") EQUIPMENT SHELTER ON A CONCRETE PAD
- INSTALLATION OF THREE ANTENNA SECTORS, OF FOUR 6'-0" ANTENNAS EACH (TOTAL OF 12 ANTENNAS) MOUNTED TO PROPOSED 65'-0" CO-LOCATABLE MONO-EUCALYPTUS TREE.
- INSTALLATION OF TWO GPS ANTENNAS
- PROPOSED RRU11'S MOUNTED BEHIND ANTENNAS & MOUNTED ON CROSSARM (8 PER SECTOR, TOTAL OF 24)
- PROPOSED FUTURE CARRIER ANTENNAS (MAXIMUM OF 12 ANTENNAS) MOUNTED TO PROPOSED 65'-0" CO-LOCATABLE MONO-EUCALYPTUS TREE
- INSTALLATION OF A 200 AMP ELECTRICAL SERVICE FROM AN EXISTING SDG&E MANHOLE
- INSTALLATION OF TELCO/FIBER SERVICE FROM AT&T TELCO PEDESTAL IN RIGHT-OF-WAY
- MINOR LANDSCAPE & IRRIGATION IS PLANNED FOR THIS PROJECT.

LEGAL DESCRIPTION:
N/A

PROJECT ADDRESS: 9230 GOLD COAST DRIVE
SAN DIEGO, CA 92126

ASSESSORS PARCEL NUMBER: 318-120-02-00

EXISTING ZONING: AR-1-2

ZONING PROCESS: CUP (CONDITIONAL USE PERMIT)
PDP (PLAN DEVELOPMENT PERMIT) WITH DEVIATIONS FOR HEIGHT & SETBACK

EXISTING SITE AREA: 1,387,701 SQ.FT.
31.86 ACRES

AT&T MOBILITY ENCLOSURE: 228 SQ. FT.

AT&T MOBILITY LEASE AREA: 851 SQ. FT.

PROPOSED OCCUPANCY: B

NOTE: THERE IS NO EXISTING TELECOMMUNICATIONS FACILITY ON SITE

SHEET SCHEDULE

T-1	TITLE SHEET
A-0	SITE & PARTIAL SITE PLANS
A-1	ENLARGED SHELTER AREA PLAN
A-2	SITE ELEVATION & SHELTER EXTERIOR ELEVATIONS
A-3	ANTENNA PLAN & CSRFP PLAN
A-4	MONO-EUCALYPTUS ELEVATION & DETAILS
L-1	LANDSCAPE DEVELOPMENT PLAN
LS-1	SITE SURVEY GENERAL INFORMATION
LS-2	SITE SURVEY GENERAL INFORMATION

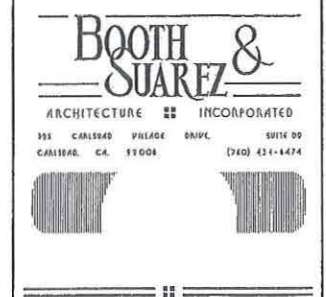
SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT, IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA BUILDING CODE, TITLE 24, 2010 EDITION
CALIFORNIA PLUMBING CODE, 2010 EDITION
CALIFORNIA MECHANICAL CODE, 2010 EDITION
CALIFORNIA ELECTRICAL CODE, 2010 EDITION
CALIFORNIA ENERGY CODE, 2008 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.



PREPARED FOR

7337 TRADE STREET, 3EAST, ROOM 3684
SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME
GOLD COAST

PROJECT NUMBER
SD0263

9230 GOLD COAST DRIVE
SAN DIEGO, CA 92126

SAN DIEGO

DRAWING DATES

06/29/12	90% ZD REVIEW (cl)
07/19/12	REVISED ZD #1 (rl)
09/21/12	REVISED ZD #2 (cl)
09/24/12	REVISED ZD #3 (cl)
02/05/13	REVISED ZD #4 CITY COMMENTS (rl)
04/09/13	REVISED ZD #5 (no)

SHEET TITLE
TITLE SHEET

PROJECTS\AT&T\12096

T-1

Booth & Suarez
 ARCHITECTURE INCORPORATED
 311 CALLE SAN PABLO DRIVE SUITE 201
 CRISTAL CA 94008 (707) 434-8174

PREPARED FOR

 7337 TRADE STREET, SEAST, ROOM 368A
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME
GOLD COAST

PROJECT NUMBER
SD0263

9230 GOLD COAST DRIVE
 SAN DIEGO, CA 92126

SAN DIEGO

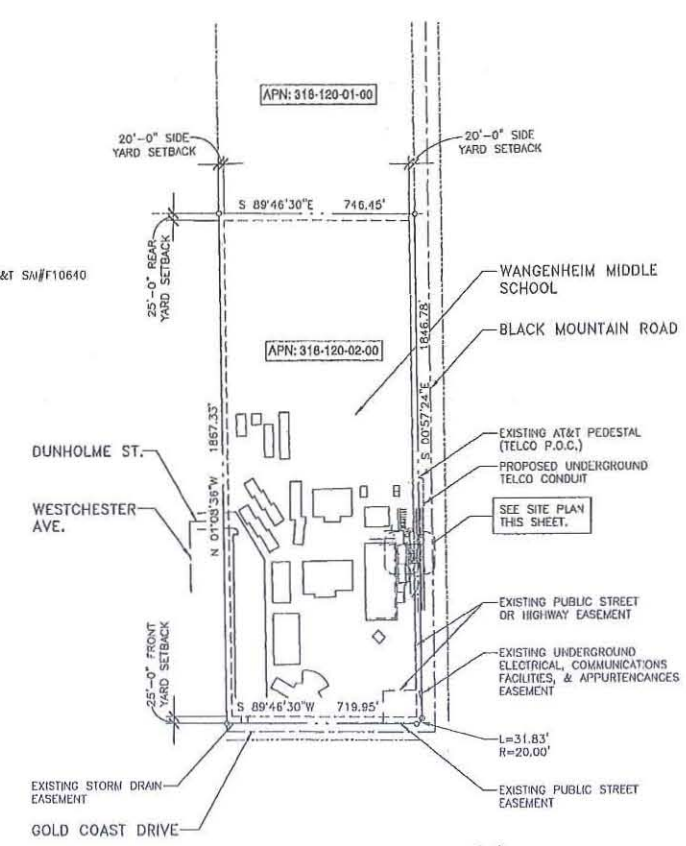
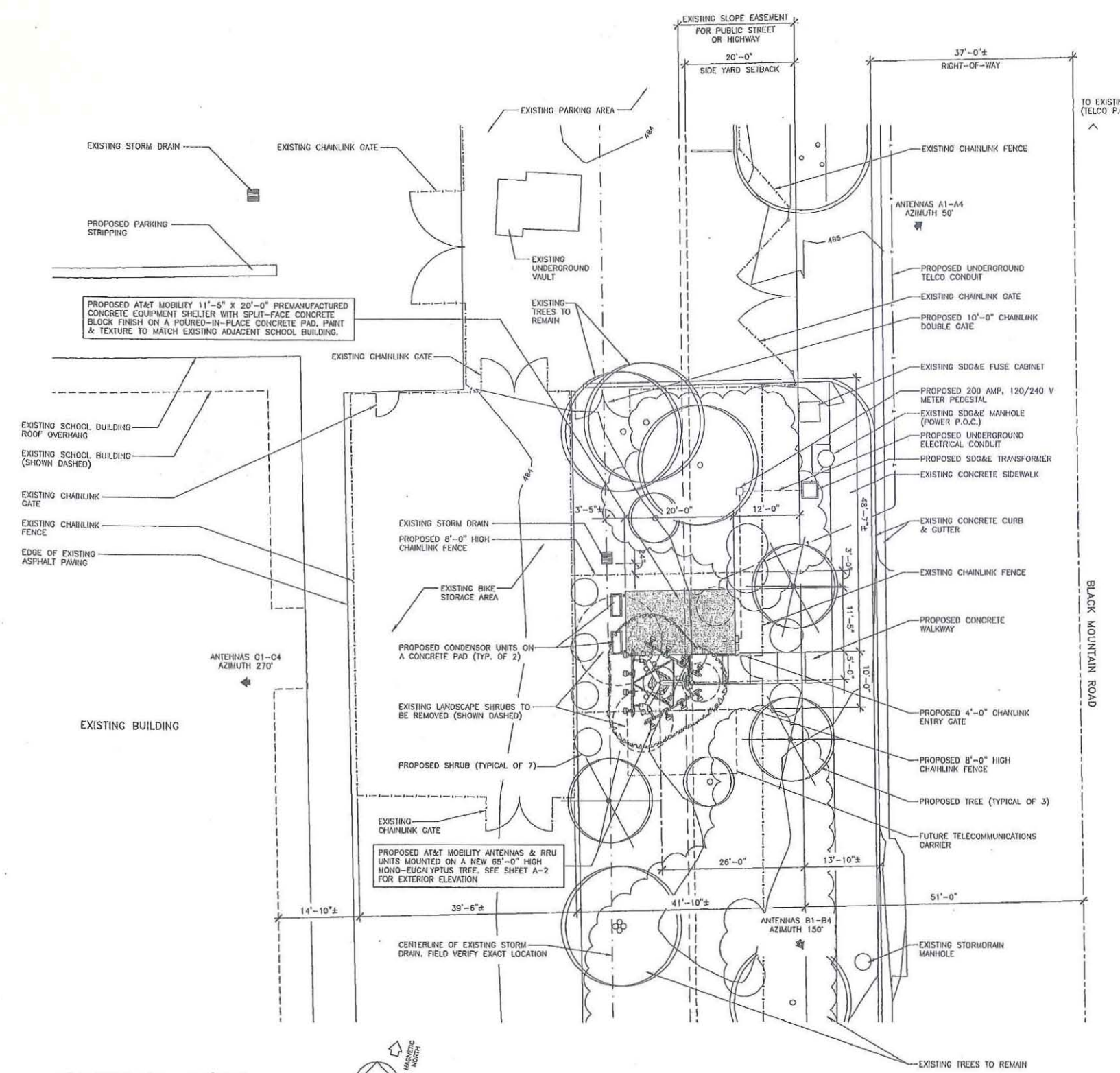
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09/21/12	REVISED 2D #2 (cl)
09/24/12	REVISED 2D #3 (cl)
02/05/13	REVISED 2D #4
04/09/13	CITY COMMENTS (rl)
	REVISED 2D #5 (nc)

SHEET TITLE
SITE & PARTIAL SITE PLANS

PROJECTS\AT&T\12098

A-0



SITE PLAN
 SCALE: 1" = 80'-0"

ENGINEERING NOTE:

- THIS PROJECT IS ON SAN DIEGO UNIFIED SCHOOL DISTRICT PROPERTY. REVIEW AND APPROVAL OF PLANS FOR THE PROPOSED IMPROVEMENTS ARE UNDER THE JURISDICTION OF THE DIVISION OF THE STATE ARCHITECT.
- THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY BECAUSE THE PROPOSED UNDERGROUND ELECTRICAL CONDUIT POWER POC IS THE EXISTING SD&E TRANSFORMER ADJACENT TO THE PROJECT SITE PROPERTY LINE.

GRADING:

CUT	
SHELTER FOUNDATION:	5.5 CU. YDS.
MONOTREE FOOTING:	9.0 CU. YDS.
HARDSCAPE:	1.0 CU. YDS.
LANDSCAPE TREES:	1.0 CU. YDS.
UTILITY TRENCH	
POWER:	8.3 CU. YDS.
TOTAL:	24.8 CU. YDS.
FILL:	
EXPORT:	15.0 CU. YDS.
	14.8 CU. YDS.

NOTE: EXCESS SOIL SHALL BE EXPORTED TO AN APPROVED CITY OF SAN DIEGO SITE.

NOTE:
 DIMENSIONS SHOWN ON THIS PLAN TO EXISTING BUILDINGS, & FENCES APPROXIMATE. FIELD VERIFY ALL AS-BUILT CONDITIONS

AT&T TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:
 824-880 MHz BAND WIDTH
 1865-1960 MHz BAND WIDTH
 200 WATTS PER SECTOR

EASEMENT:
 EASEMENTS SHOWN REFLECTS PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET LS-1 FOR ADDITIONAL INFORMATION ON NON PLOTTABLE EASEMENTS

PARTIAL SITE PLAN
 SCALE: 1" = 10'-0"

Booth & Suarez
 ARCHITECTURE INCORPORATED
 155 CALLE SAN VILLAGE DRIVE SUITE 205
 CALLE SAN, CA 92105 (760) 424-8474



PREPARED FOR



7337 TRADE STREET, 3EAST, ROOM 3684
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME

GOLD COAST

PROJECT NUMBER

SD0263

9230 GOLD COAST DRIVE
 SAN DIEGO, CA 92126

SAN DIEGO

DRAWING DATES

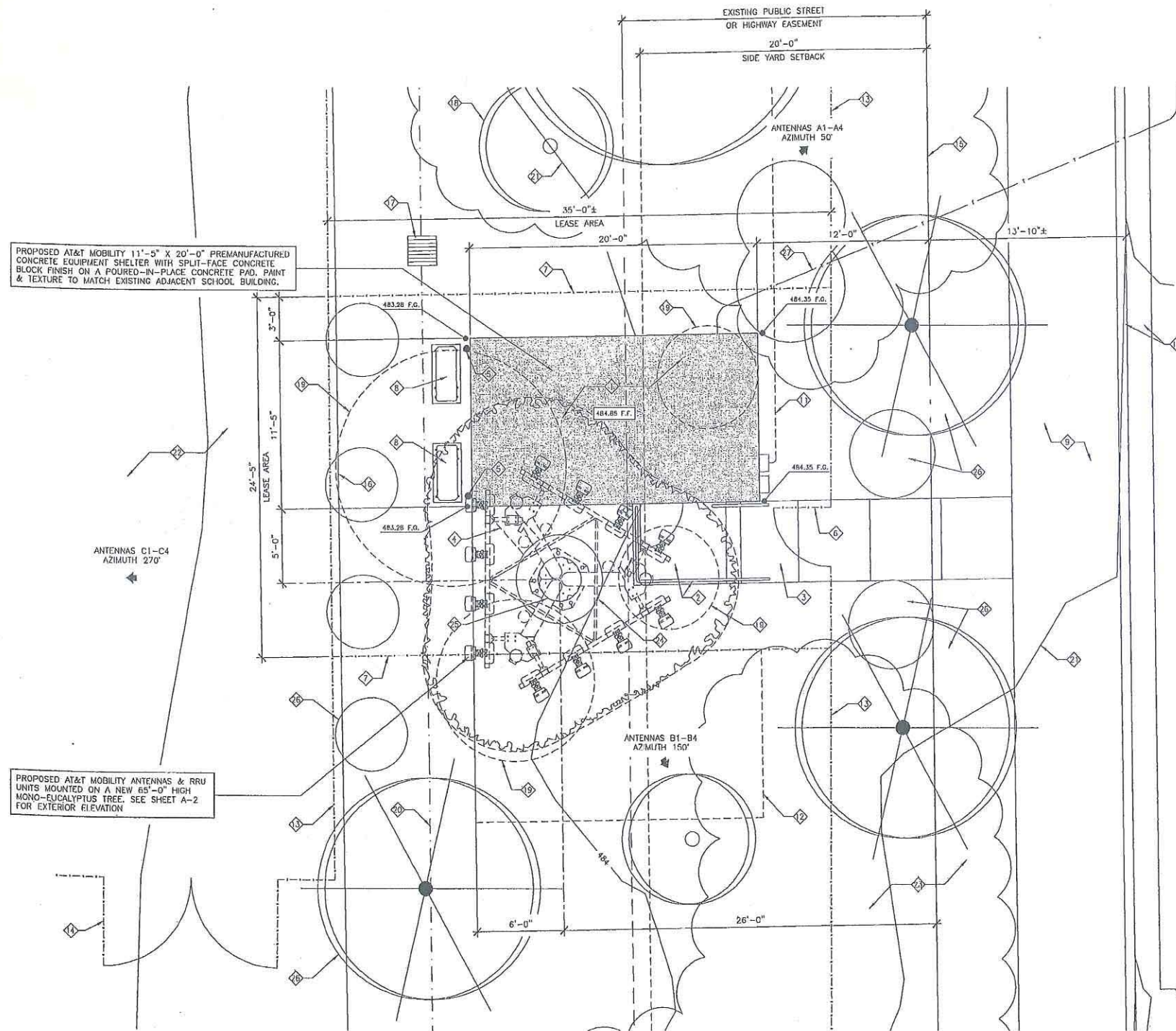
06/29/12	90% ZD REVIEW (a)
07/19/12	REVISED ZD #1 (r)
09/21/12	REVISED ZD #2 (a)
09/24/12	REVISED ZD #3 (a)
02/05/13	REVISED ZD #4
	CITY COMMENTS (r)
04/09/13	REVISED ZD #5 (na)

SHEET TITLE

**ENLARGED SHELTER
 AREA PLAN**

PROJECTS\AT&T\12096

A-1



EQUIPMENT PLAN NOTES:

- 1 PROPOSED AT&T MOBILITY PREFABRICATED SPLIT-FACE CONCRETE EQUIPMENT SHELTER
- 2 PROPOSED CONCRETE LANDING, STEPS & GUARDRAILS
- 3 PROPOSED CONCRETE WALKWAY
- 4 PROPOSED COAX CABLE TRENCH
- 5 PROPOSED E-911 EMERGENCY GPS ANTENNA MOUNTED TO EQUIPMENT SHELTER (TYPICAL OF 2)
- 6 PROPOSED 4'-0" WIDE x 8'-0" HIGH CHAINLINK ENTRY GATE
- 7 PROPOSED 8'-0" HIGH CHAINLINK FENCE
- 8 PROPOSED OUTDOOR SENSOR UNITS ON A CONCRETE PAD (TYP. OF 2)
- 9 EXISTING CONCRETE SIDEWALK
- 10 EXISTING CONCRETE CURB & GUTTER
- 11 PROPOSED UNDERGROUND ELECTRICAL CONDUIT
- 12 FUTURE TELECOMMUNICATIONS FACILITY (SHOWN DASHED)
- 13 EXISTING 8'-0" CHAINLINK FENCE
- 14 EXISTING CHAINLINK GATE
- 15 PROPERTY LINE
- 16 EDGE OF EXISTING ASPHALT PAVING
- 17 EXISTING STORM DRAIN INLET
- 18 EXISTING TREE TO REMAIN
- 19 EXISTING LANDSCAPE TREES TO BE REMOVED (SHOWN DASHED)
- 20 CENTERLINE OF EXISTING STORM DRAIN. FIELD VERIFY EXACT LOCATION
- 21 EXISTING CONTOUR LINES SHOWN AT 1'-0" INTERVALS
- 22 EXISTING BIKE STORAGE AREA
- 23 EXISTING LANDSCAPE AREA TO REMAIN
- 24 PROPOSED CONCRETE CAISSON FOOTING
- 25 PROPOSED MONO-EUCALYPTUS POLE
- 26 PROPOSED LANDSCAPE TREES & SHRUBS. SEE LANDSCAPE DEVELOPMENT PLAN.
- 27 PROPOSED UNDERGROUND TELCO CONDUIT

PROPOSED AT&T MOBILITY 11'-5" X 20'-0" PREMANUFACTURED CONCRETE EQUIPMENT SHELTER WITH SPLIT-FACE CONCRETE, BLOCK FINISH ON A POURED-IN-PLACE CONCRETE PAD. PAINT & TEXTURE TO MATCH EXISTING ADJACENT SCHOOL BUILDING.

PROPOSED AT&T MOBILITY ANTENNAS & RRU UNITS MOUNTED ON A NEW 65'-0" HIGH MONO-EUCALYPTUS TREE. SEE SHEET A-2 FOR EXTERIOR ELEVATION

ENLARGED SHELTER AREA PLAN
 SCALE: 1/4" = 1'-0"

Booth & Suarez
 ARCHITECTURE INCORPORATED
 333 CARLSBAD VILLAGE DRIVE SUITE 89
 CARLSBAD, CA 92008 (760) 424-4474



PREPARED FOR



7337 TRADE STREET, 3EAST, ROOM 3684
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME

GOLD COAST

PROJECT NUMBER

SD0263

9230 GOLD COAST DRIVE
 SAN DIEGO, CA 92126

SAN DIEGO

DRAWING DATES

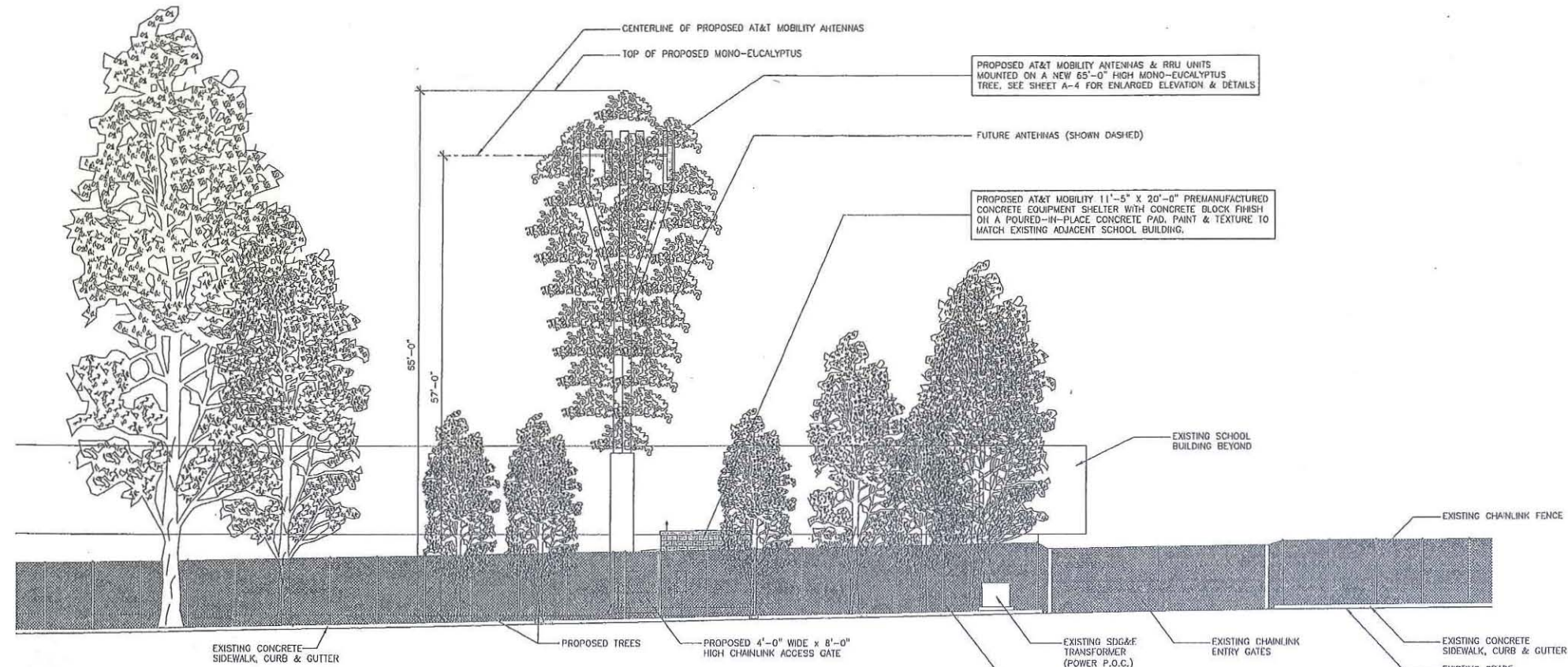
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07/19/12	REVISED ZD #1 (r)
09/21/12	REVISED ZD #2 (a)
09/24/12	REVISED ZD #3 (a)
02/05/13	REVISED ZD #4
	CITY COMMENTS (r)
04/08/13	REVISED ZD #5 (no)

SHEET TITLE

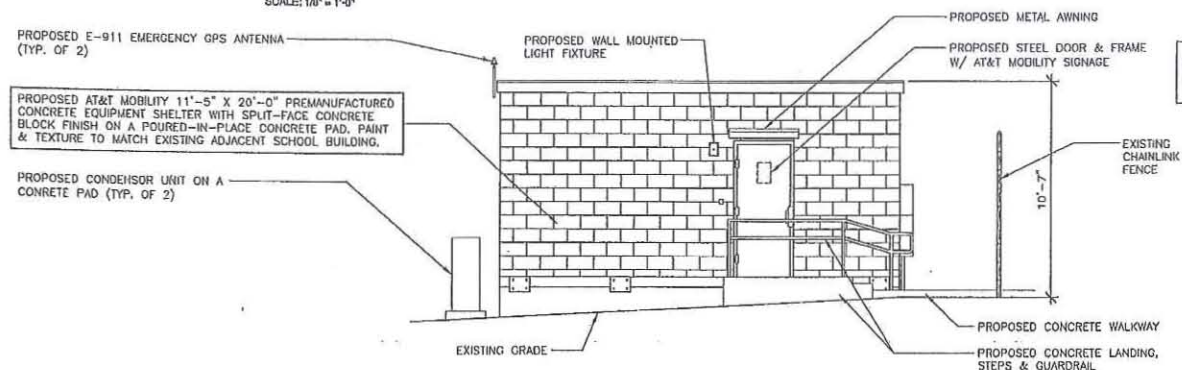
**SITE ELEVATION
 &
 SHELTER EXTERIOR
 ELEVATIONS**

PROJECTS\AT&T\12096

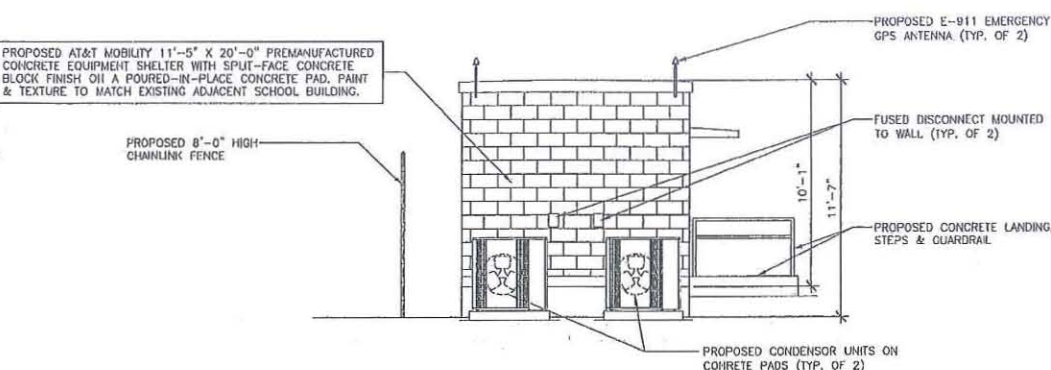
A-2



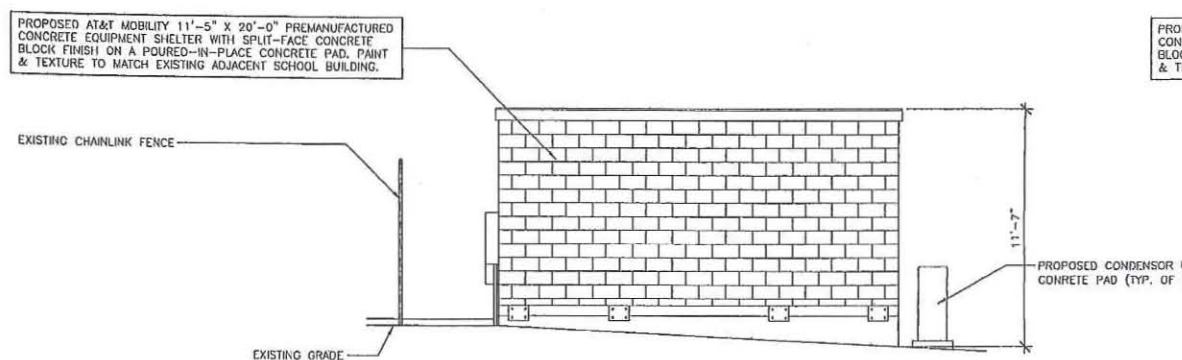
WEST ELEVATION
 SCALE: 1/8" = 1'-0"



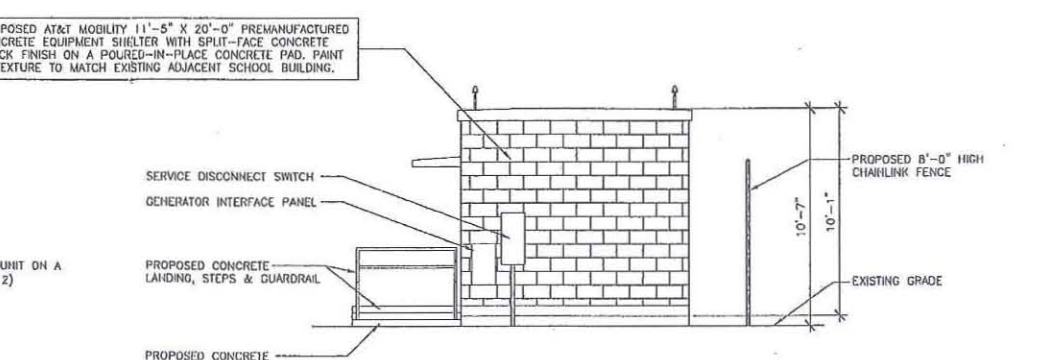
SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



EAST ELEVATION
 SCALE: 1/4" = 1'-0"



NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



WEST ELEVATION
 SCALE: 1/4" = 1'-0"

Booth & Suarez
 ARCHITECTURE INCORPORATED
 351 CALIFORNIA VILLAGE DRIVE, SUITE 83
 CARLSBAD, CA 92008 (760) 434-4474



PREPARED FOR



7337 TRADE STREET, 3EAST, ROOM 3684
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME

GOLD COAST

PROJECT NUMBER

SD0263

9230 GOLD COAST DRIVE
 SAN DIEGO, CA 92126

SAN DIEGO

DRAWING DATES

06/29/12	90% ZD REVIEW (w)
07/19/12	REVISED ZD #1 (r)
09/21/12	REVISED ZD #2 (w)
09/24/12	REVISED ZD #3 (w)
02/05/13	REVISED ZD #4 CITY COMMENTS (r)
04/09/13	REVISED ZD #5 (no)

SHEET TITLE

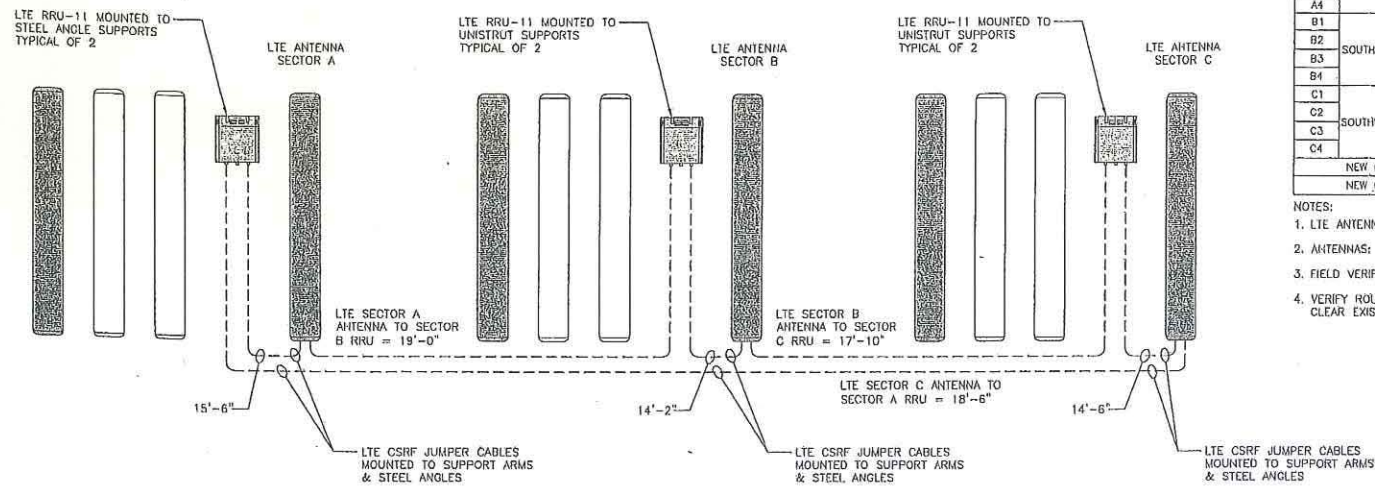
**ANTENNA PLAN
&
CSRFP PLAN**

PROJECTS\AT&T\12096

A-3

SECTOR	DIRECTION	AZIMUTH	ANTENNA MODEL NUMBER	DOWNBILT	RRU	SKEW ANGLE	SERIAL NUMBER	NUMBER OF CABLES PER SECTOR	COAX CABLE LENGTH (+/- 5')	EQUIPMENT JUMPER LENGTH (+/- 3')	CSRFP JUMPER LENGTH (+/- 3')	ANTENNA JUMPER LENGTH (+/- 3')	COAX SIZE
A1	NORTH	50°	LTE - ERICSSON AIR-21	0°	(8) RRU-11	N/A		8	70'-0"	10'-0"	10'-0"	15'-6"	7/8" / FIBER
A2			UNITS ERICSSON AIR-21										
A3			UNITS ERICSSON AIR-21										
A4			LTE - ERICSSON AIR-21										
B1	SOUTHEAST	150°	LTE - ERICSSON AIR-21	0°	(8) RRU-11	N/A		8	70'-0"	10'-0"	17'-10"	14'-2"	7/8" / FIBER
B2			UNITS ERICSSON AIR-21										
B3			UNITS ERICSSON AIR-21										
B4			LTE - ERICSSON AIR-21										
C1	SOUTHWEST	270°	LTE - ERICSSON AIR-21	0°	(8) RRU-11	N/A		8	70'-0"	10'-0"	18'-6"	14'-6"	7/8" / FIBER
C2			UNITS ERICSSON AIR-21										
C3			UNITS ERICSSON AIR-21										
C4			LTE - ERICSSON AIR-21										
NEW GPS			KATHREIN 00-860/1920/GPS-A					2	20'-0"				1/2"
NEW GPS			KATHREIN 00-860/1920/GPS-A					2	20'-0"				1/2"

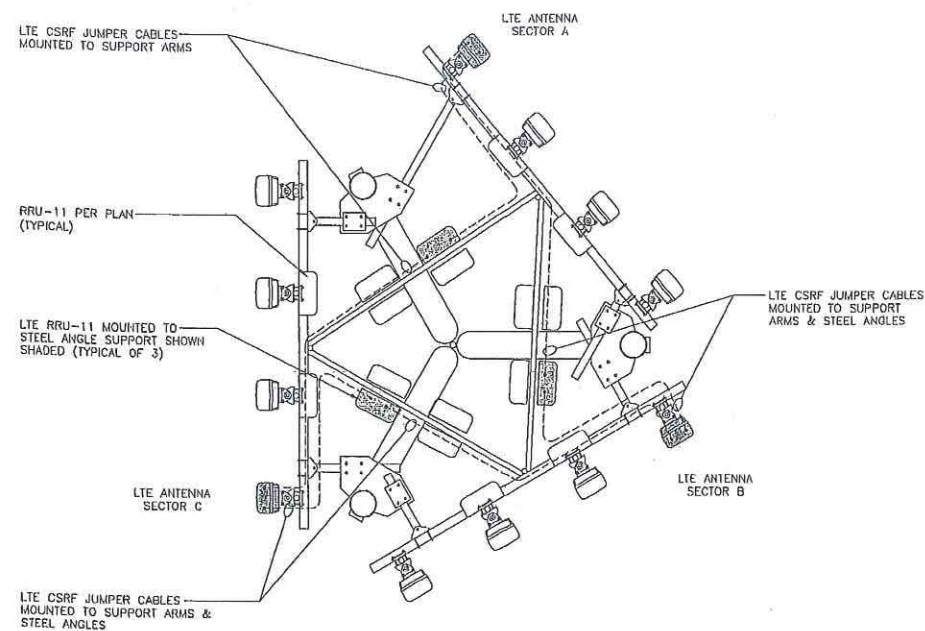
- NOTES:
- LTE ANTENNAS RRU UNITS TO INCLUDE CROSS SECTOR REDUNDANCY FEATURE FOR BOTH RRU UNITS PER DETAIL (4/A4) & CSRFP PLAN ON THIS SHEET
 - ANTENNAS: ERICSSON AIR-21: 72" LONG x 12" WIDE x 9" DEEP, WEIGHT: 70 LBS
 - FIELD VERIFY ALL CABLE LENGTHS PRIOR TO ORDERING CABLE
 - VERIFY ROUTE AND LENGTH OF CABLE PRIOR TO CUTTING. ADJUST INDICATED ROUTE AS REQUIRED TO CLEAR EXISTING OBSTRUCTIONS AND MAINTAIN REQUIRED CLEARANCE OF EXISTING EQUIPMENT.



CSRFP ELEVATION SCHEMATIC

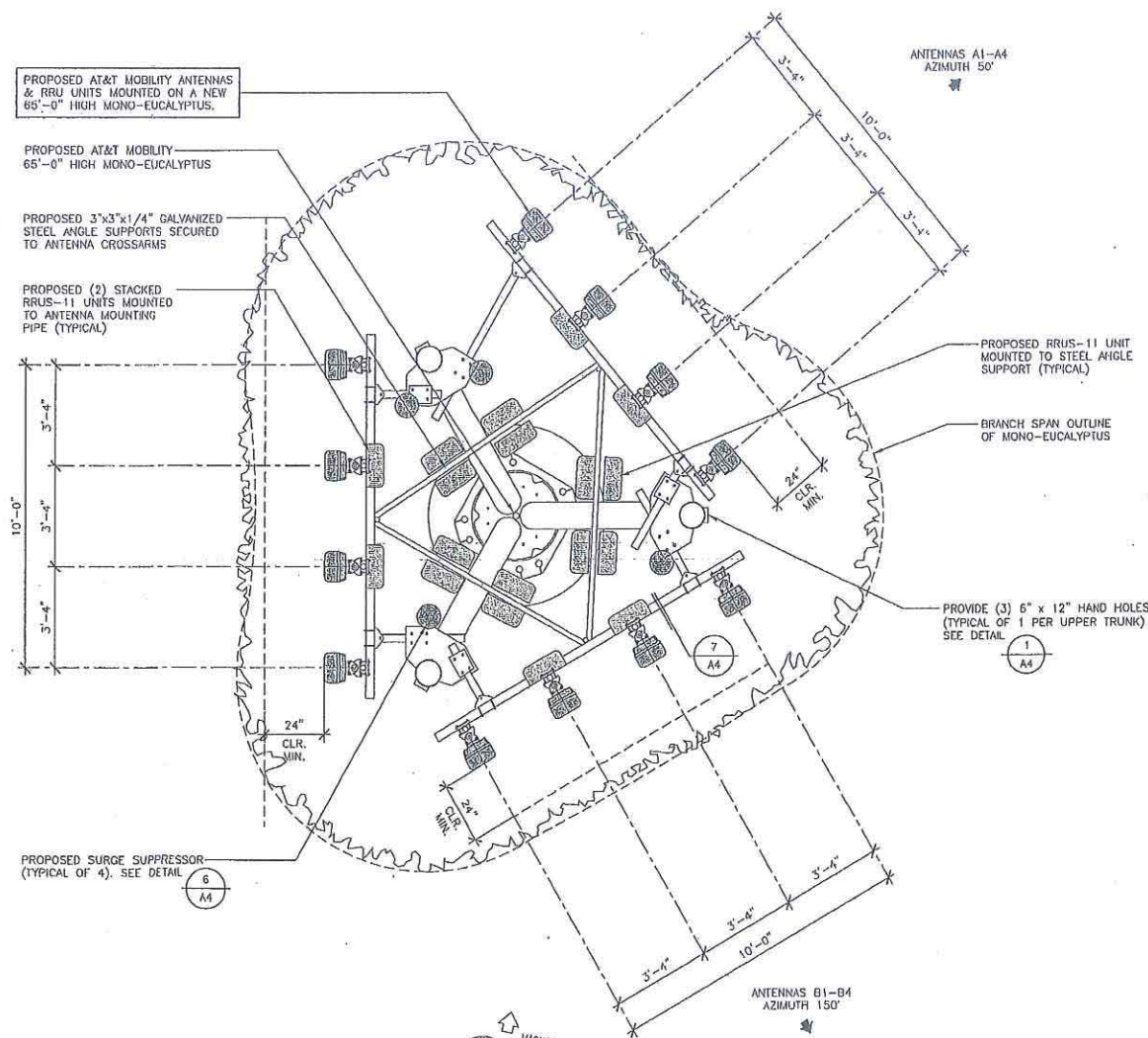
SCALE: N.T.S.

NOTE: SCHEMATIC SHOWS ONLY ONE OF TWO RRU'S FOR CLARITY



CSRFP PLAN

SCALE: 3/8" = 1'-0"



ANTENNA PLAN

SCALE: 3/8" = 1'-0"

Booth & Suarez
 ARCHITECTURE INCORPORATED
 155 CARLETON PLACE DRIVE SUITE 89
 CARLSBAD, CA 92008 (760) 431-8424

PREPARED FOR

 7337 TRADE STREET, SEAST, ROOM 3684
 SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

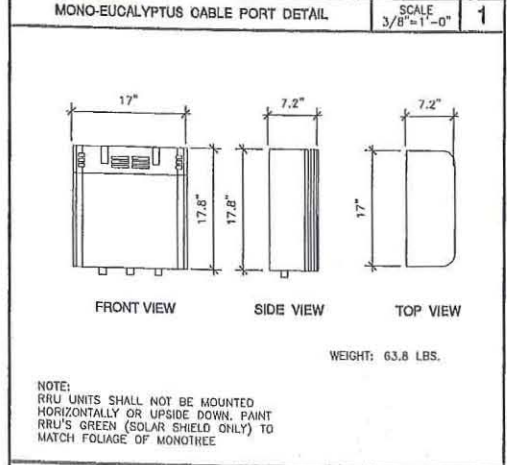
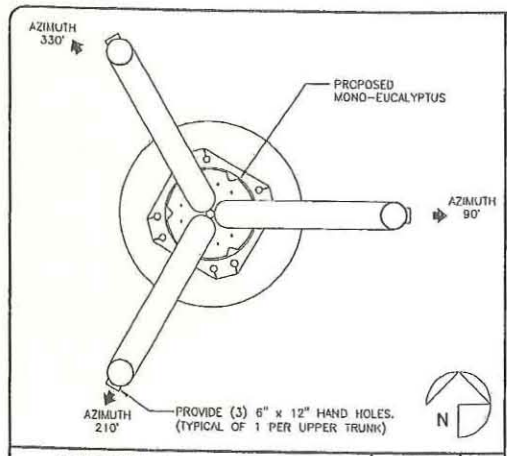
PROJECT NAME
GOLD COAST
 PROJECT NUMBER
SD0263
 9230 GOLD COAST DRIVE
 SAN DIEGO, CA 92126
 SAN DIEGO

DRAWING DATES

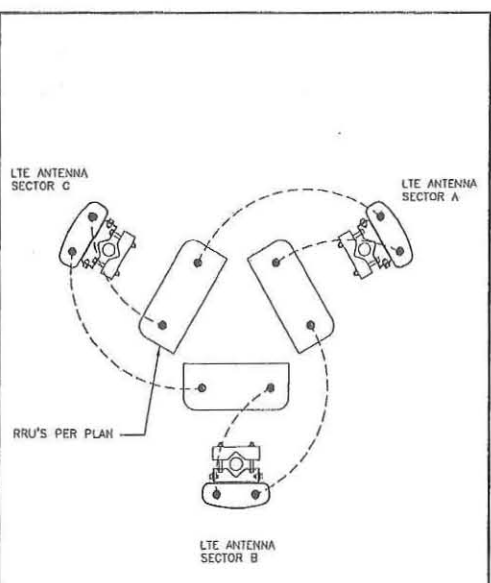
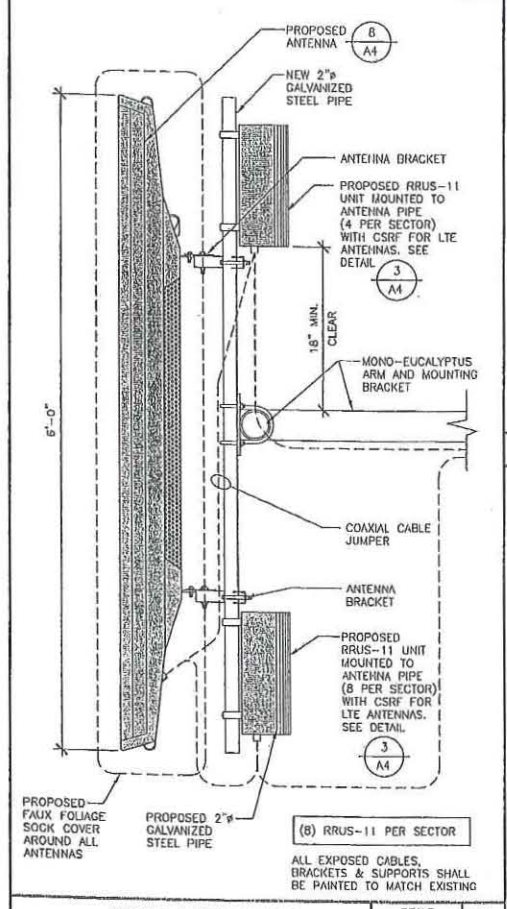
06/29/12	90% 2D REVIEW (cl)
07/19/12	REVISED Z0 #1 (rl)
08/21/12	REVISED Z0 #2 (cl)
08/24/12	REVISED Z0 #3 (cl)
02/05/13	REVISED Z0 #4
04/09/13	CITY COMMENTS (rl)
	REVISED Z0 #5 (na)

SHEET TITLE
**MONO-EUCALYPTUS
 ELEVATION & DETAILS**
 PROJECTS/AT&T/12096

A-4



REMOTE RADIO UNIT (RRU-11) SCALE NONE 3

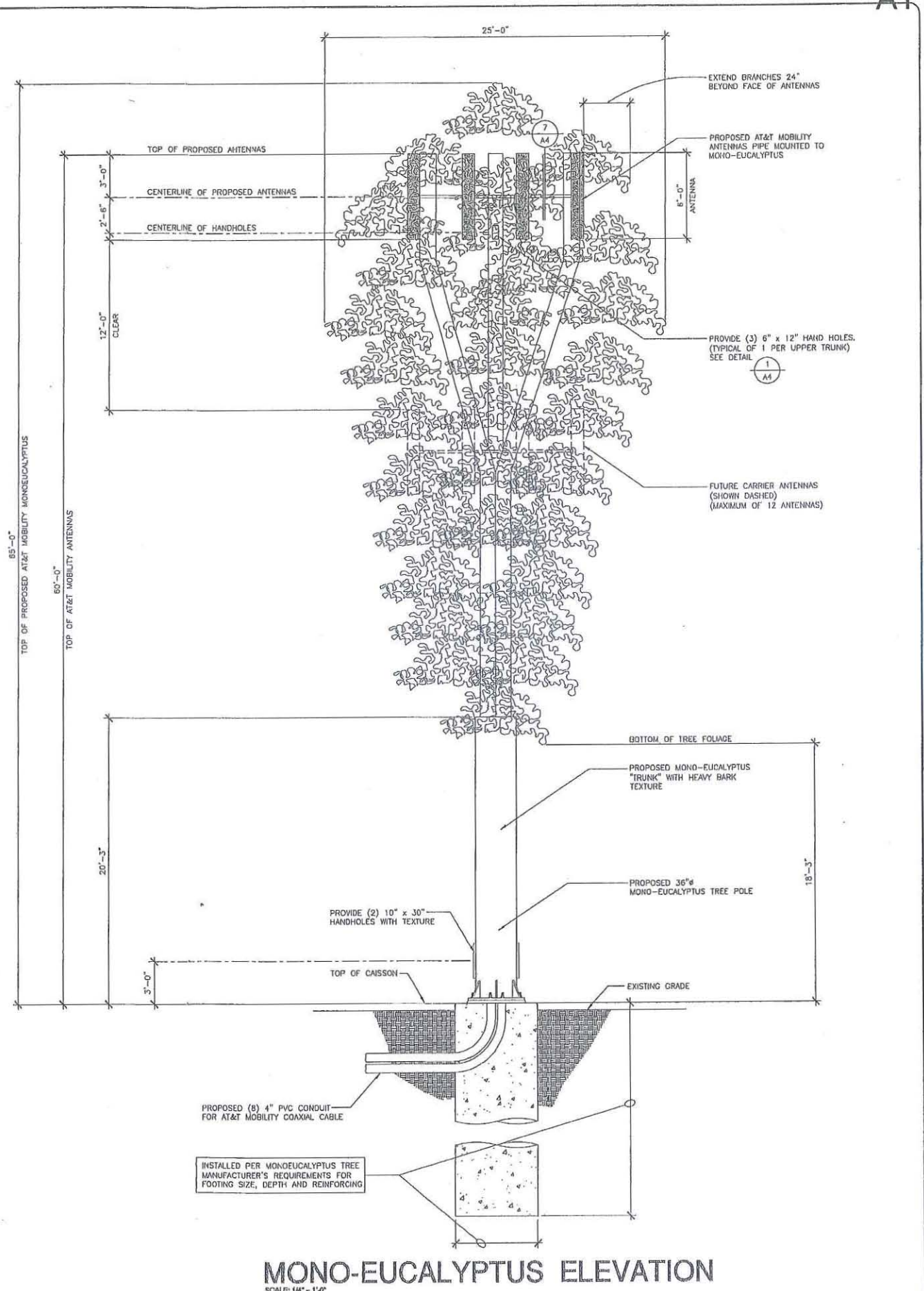
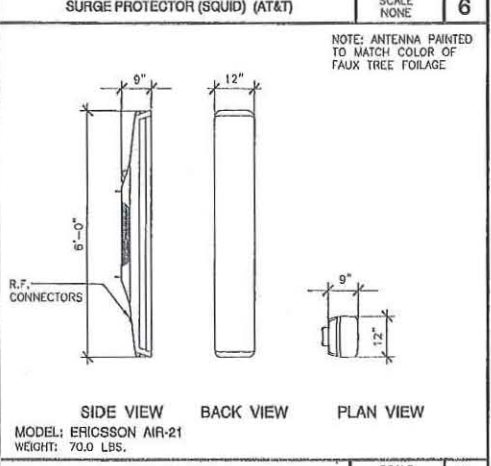
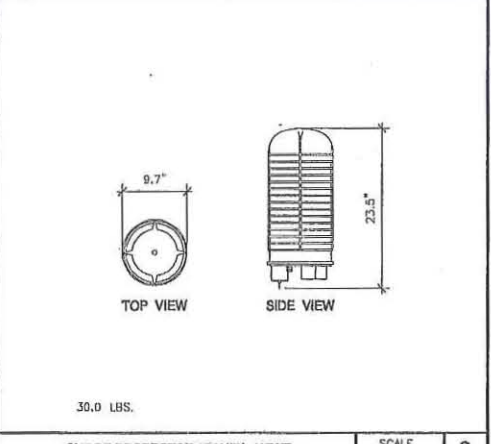


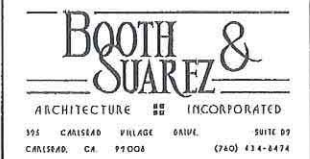
NOTE: CROSS SECTOR REDUNDANCY FEATURE, ONE RF OUTPUT FROM EACH SECTOR'S RADIO HEAD CONNECTS TO A DIFFERENT SECTOR'S ANTENNA INPUT, WHILE THE OTHER RF OUTPUT CONNECTS TO ITS OWN SECTOR'S ANTENNA INPUT VIA RF JUMPER

1. ALL RF CABLE LENGTHS ARE WITHIN 9FT. OF EACH OTHER ACROSS ALL SECTORS. FOR EXAMPLE, SECTOR A'S SHORTEST JUMPER IS 6 FT; THEREFORE SECTOR C'S LONGEST JUMPER CAN BE NO MORE THAN 15FT. LONG. MAXIMUM TOTAL CABLE LENGTH FOR 2 CABLES IS 35'-0"

2. ALL RF CABLE JUMPERS MUST USE PRE-MADE JUMPERS WITH PRE-INSTALLED CONNECTORS ON BOTH ENDS, AS PER RF AND CTO BEST PRACTICES AND GUIDELINES. USE ONLY LDF OR LCF12 JUMPERS FROM APPROVED RF JUMPER CABLE VENDORS (ANDREW AND RFS). DO NOT USE SUPERFLEX TYPE JUMPERS.

LTE SITE - RADIO HEAD CONFIGURATION SCALE N.T.S. 4





PREPARED FOR
at&t
MOBILITY
7337 TRADE STREET, SEAST, ROOM 368A
SAN DIEGO, CA 92121-4202

APPROVALS

R.F.	DATE
ZONING	DATE
CONSTRUCTION	DATE
SITE ACQUISITION	DATE
AT&T MOBILITY APPROVAL	DATE
LANDLORD APPROVAL	DATE

PROJECT NAME
GOLD COAST
PROJECT NUMBER
SD0263
9230 GOLD COAST DRIVE
SAN DIEGO, CA 92126
SAN DIEGO

DRAWING DATES

06/29/12	90% ZD REVIEW (cd)
07/19/12	REVISED ZD #1 (r)
09/21/12	REVISED ZD #2 (cd)
09/24/12	REVISED ZD #3 (cd)
02/05/13	REVISED ZD #4
04/09/13	CITY COMMENTS (r)
	REVISED ZD #6 (na)

SHEET TITLE
LANDSCAPE DEVELOPMENT PLAN

PROJECTS\AT&T\12096

L-1

PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 2 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL TREE AND SHRUB AREAS SHALL RECEIVE A 3" LAYER OF COURSE MULCH. GROUND COVER AREA SHALL RECEIVE A 1" LAYER OF FINE MULCH. SAMPLES OF MULCH ARE TO BE SUBMITTED TO THE CITY FOR APPROVAL AT LEAST TWO WEEKS BEFORE DELIVERY.
6. PLANTING INSTALLATION CRITERIA:
ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (10 FEET FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN AUTOMATIC ELECTRONICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. PROPOSED IRRIGATION SYSTEM: SPRAY & DRIP
10. PROPERTY OWNER (SAN DIEGO UNIFIED SCHOOL DISTRICT) IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA, 9230 GOLD COAST DRIVE SAN DIEGO, CA 92126

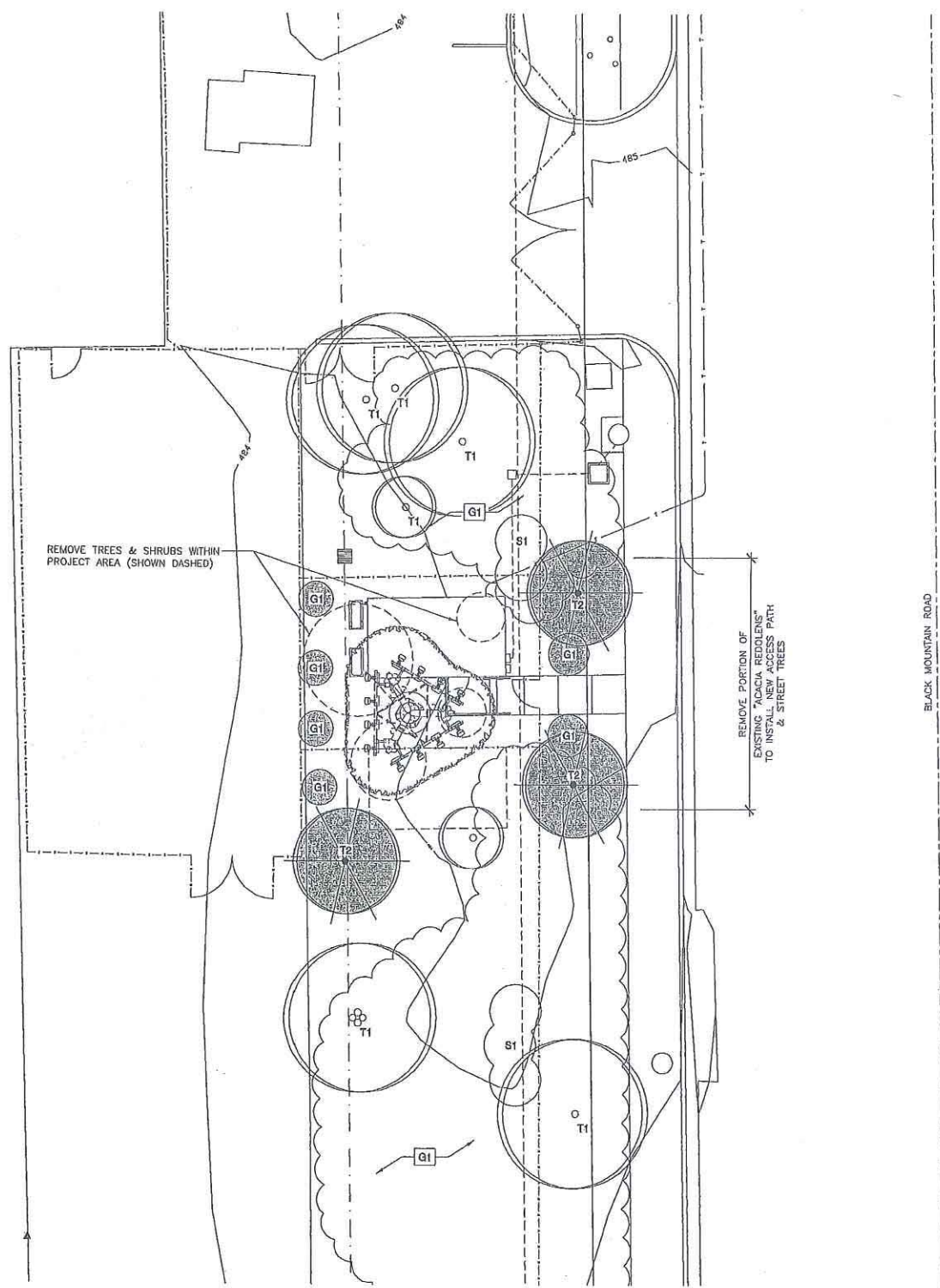
A LANDSCAPE MAINTENANCE AGREEMENT MAY BE REQUIRED FOR THE AREAS WITHIN THE RIGHT-OF-WAY AND ANY LARGE REVEGETATED AREAS VISIBLE TO THE PUBLIC UNTIL SUCH TIME AS AN APPROVED ENTITY CAN ASSUME MAINTENANCE RESPONSIBILITIES.
11. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
12. REQUIRED TREES THAT DIE 3 YEARS OR MORE AFTER INSTALLATION SHALL BE REPLACED WITH 60" BOX SIZE MATERIAL.
13. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL [142.0411(a)].

WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING LANDSCAPE AREAS
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	MATURE HEIGHT & SPREAD	FORM & FUNCTION	PLANTING SIZE	QUANTITY
	PROPOSED LOPHOSTEMON CONFERTUS	BRISBANE BOX	45' HEIGHT 25' SPREAD	SCREEN	24" BOX	3
	EXISTING EUCALYPTUS CAMALDULENSIS	RED RIVER GUM	50' HEIGHT 40' SPREAD	SCREEN	EXISTING	-
	EXISTING ACACIA RETINODES	MIMOSA ACACIA	20' HEIGHT 25' SPREAD	DECORATIVE	EXISTING	2
	PROPOSED ACACIA RETINODES	MIMOSA ACACIA	20' HEIGHT 25' SPREAD	DECORATIVE	5 GALLON	6
	EXISTING ACACIA REDOLENS	PROSTRATE ACACIA	4' HEIGHT 15' SPREAD	DECORATIVE	EXISTING	-



LANDSCAPE DEVELOPMENT PLAN
SCALE: 1" = 10'-0"

**MIRA MESA COMMUNITY PLANNING GROUP
MONTHLY MEETING MINUTES
7:00PM 17 DECEMBER 2012**

LOCATION: Vulcan Materials offices, Main Conference Room. 7220 Trade Street San Diego, 92121

ATTENDANCE: Bari Vaz; John Horst; Ted Brengel; Eileen Magno; Joe Frichtel; Bruce Brown; Matt Woods; Jeff Stevens; Pat O'Donohoe; Tom Derr; Craig Radke; James Ludwick; Mike Linton; Marvin Miles. (14)

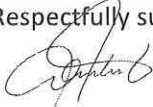
1. Adopt Draft Agenda – Chair offered opportunity to update the agenda. Since MCAS Miramar staff is available to report, an information item was added. Motion to accept updated agenda made/seconded by Joe Frichtel/Bruce Brown. Motion carried 12/0/0.
2. Approval of November 2012 Meeting Minutes. Chair offered an opportunity to request changes/corrections. No changes were requested and the Chair declared the minutes accepted by unanimous consent.
3. New Business
 - a. AT&T Gold Coast PTS 29062, Wangenheim Middle School. Shelly Kilbourne presented for AT&T. Presentation touched on plan to plant new Eucalyptus trees. The Planning Group raised concern about these kind of trees being on school grounds near kids. Eucalyptus trees are heavy, with shallow roots and can fall easily. The matter of equipment rooms being ADA compliant was also raised. If AT&T abandons the property, the equipment rooms can be used by the school, but have to be ADA-compliant. Dr. Jerry Bushberg (radiology professor at UC Davis) spoke on the FCC compliance issues and Radio Frequency (RF) exposure issues being nearby a school. Dr. Bushberg reviewed the sources of the current standards for RF exposure. The government/academic expertise group meets 6 times per year to review the current state of the science. The federal limit is 50 times below the level considered harmful.

Motion was made/seconded by Ted Brengel/Jeff Stevens to recommend approval, conditioned on replacing Eucalyptus trees with another species such as Cottonwood and the equipment rooms being ADA accessible. Discussion included the Chair reading emails from principals of Wangenheim and Walker. Wangenheim principal Dr. Matthew Fallon reviewed reports and supports the project. Rochelle Dawes, principal at Walker Elementary, discussed with Dr. Fallon and has no concerns with respect to Walker Elementary. Some community members have expressed concern, but did not attend the Planning Group meeting. The question was called and the motion carried 13/1/0 (Mike Linton & Marvin Miles joined at this point).
 - b. Mira Mesa Banner District. Ted Brengel for Mira Mesa Town Council. Ted presented the history of the banner district having been restricted to only Mira Mesa Blvd. The request is to expand it back to all major thoroughfares in Mira Mesa. Motion to support Town Council requested expansion of the banner district to all major thoroughfares in Mira Mesa made/seconded by John Horst/James Ludwick. Kenny Nakayama updated the group on the start of the process with the City Council. Motion carried 14/0/0.

4. Old Business – Action or Information Items as indicated on each.
 - a. All old business deferred until January 2013 meeting.
5. Staff Reports – Information Items unless otherwise noted.
 - a. Agenda deferred all staff reports to January 2013 meeting. Kristin Camper from MCAS Miramar attended the meeting and requested to update the group. Kenney Nakayama also attended.
 - b. MCAS Miramar: Kristin Camper presented. Base CO COL Farnam will attend January meeting. The base command extends Holiday greetings to the Community Planning Group.
 - c. Kenny Nakayama updated the group on Todd Gloria's election as Council President. Canyonland dedication process has completed and 40 acres of the dedicated land are in Mira Mesa.
6. Public Comments and Announcements – Information Items Only
 - a. Non-Agenda Public Comments – 3 minutes per speaker. Marvin Miles raised the issue of a Welcome to Mira Mesa sign on Mira Mesa Blvd. immediately west of the I-15. The Maintenance Assessment District will take care of this.
 - b. Joe Frichtel reported on GDP amendment for Mesa Verde Park. The GDP has been amended and the trees will be removed.
 - c. Announcements – 2 minutes per speaker. Community events may be announced here. None were offered.
7. Reports – Information Items Only
 - a. Report of Chair/Correspondence – Bari Vaz: Deferred to January 2013 meeting.
 - b. Transportation Subcommittee – Joe Frichtel: Deferred to January 2013 meeting.
 - c. Stone Creek Subcommittee – Jeff Stevens: Deferred to January 2013 meeting.
 - d. AT&T Antennae Application as San Diego Ice Arena – John Horst. Ignacio dela Torre from AT&T was present for the Wangenheim cell phone topic. AT&T expects to restart process in the coming months.
 - e. Planning Commission (CPC) – Pat O'Donohoe: Deferred to January 2013 meeting.
 - f. Los Penasquitos Canyon Citizen's Advisor Committee – Pam Stevens: Deferred to January 2013 meeting.

Motion to adjourn made/seconded by Joe Frichtel/James Ludwick. Motion carried unanimously.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "John Horst", written in a cursive style.

John Horst
Secretary, Mira Mesa Community Planning Group



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title _____ **Project No. For City Use Only** _____

AT&T Gold Coast SD0263

Project Address:

9280 Gold Coast Drive

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

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Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title:	Project No. (For City Use Only)
----------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
San Diego Unified School District

Owner Tenant/Lessee

Street Address:
4100 Normal St

City/State/Zip:
San Diego California 92103

Phone No: Fax No:
619- 725-7375 619725-7385

Name of Corporate Officer/Partner (type or print):
Tina Viecelli

Title (type or print):
Real Estate Director

Signature:  Date:
Jul 27, 2012

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

[Home](#) [Board Members](#) Board of Education

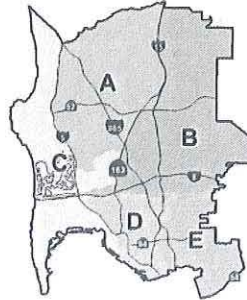
Board of Education

Members of the Board of Education are nominated by geographic sub-districts and elected by the entire school district for a term of four years.

Although each board member technically represents the entire school district, schools and members of the public in a particular sub-district commonly address issues to the board member nominated by that sub-district. For this reason, nominating sub-districts, along with schools geographically located within them, are listed below for each board member. However, you may contact any board member for any purpose.

- [District A - John Lee Evans](#)
- [District B - Kevin Beiser](#)
- [District C - Scott Barnett](#)
- [District D - Richard Barrera](#)
- [District E - Marne Foster](#)

[Sub-District Boundary Map](#)
[Board of Education Roster](#) ↗



Corporate Governance



Randall L. Stephenson
Chairman and Chief Executive Officer
AT&T Inc.

Randall Stephenson became chairman and chief executive officer of AT&T Inc. in 2007, and in the years following he has transformed the company into a global leader in mobile Internet services and IP-based business communications solutions.

Under Mr. Stephenson's leadership, AT&T has dramatically expanded its nationwide U.S. wireless business and enhanced its advanced enterprise capabilities, serving millions of business customers including multinational companies on six continents. The company also has expanded its fast-growing AT&T U-verse platform for integrated TV, data and voice services to reach some 30 million living units.

AT&T is today the world's largest telecommunications company with more than \$127 billion in 2012 revenues and 29 consecutive years of dividend growth. Over the past five years, AT&T has invested more capital into the U.S. economy than any other public company.

Mr. Stephenson began his career with Southwestern Bell Telephone in 1982 in Oklahoma. From 2001 to 2004, he was the company's senior executive vice president and chief financial officer, and from 2004 to 2007, he served as the company's chief operating officer. He was appointed to AT&T's board of directors in 2005.

Under Mr. Stephenson's leadership, AT&T has undertaken the largest education initiative in the company's history - AT&T Aspire, a philanthropic program to help improve college/career readiness for students at risk of dropping out of high school. Launched in 2008, Aspire I invested more than \$100 million to support educational initiatives, and in 2012 AT&T announced Aspire II, a new and expanded financial commitment of \$250 million planned over the next five years.

Mr. Stephenson also has led AT&T's breakthrough "It Can Wait" campaign - an education and awareness program encouraging people to never text while driving.

Mr. Stephenson is a member of the board of directors of Emerson Electric Co., a member of the PGA TOUR Policy Board and a National Executive Board member of the Boy Scouts of America.

Leadership

AT&T Board Bios



Randall L. Stephenson



Jon C. Madonna



James H. Blanchard



Michael B. McCallister



Gilbert F. Amelio



John B. McCoy

Reuben V. Anderson

Joyce M. Roché

ATTACHMENT 13



Jaime Chico Pardo



Scott T. Ford



James P. Kelly



Matthew K. Rose



Laura D'Andrea Tyson

Investor Relations

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[Financial Reporting](#)

[Stock Information](#)

[Stockholder Services](#)

[Investor News](#)

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[Investor Contacts](#)

[FAQ](#)

Stock Quote (NYSE:T)

Price	\$35.62
Last Trade	4:00 PM
	Jun 12 2013
Change	▼ \$-0.14
Change (%)	-0.39%
Volume	16,955,400
52 Week Low	\$32.71
52 Week High	\$39.00
Day Low	\$35.57
Day High	\$36.14

[Price Quotes/Charts](#)

Related Content

- [AT&T Senior Executive Biographies](#)
- [Citizenship and Sustainability](#)
- [Diversity](#)
- [Innovation](#)

AT&T 2013 Annual Meeting of Stockholders

- [2013 Proxy Statement](#)
- [2012 Annual Report](#)
- [2013 Annual Meeting Filed 8-K Voting Results](#)

Project Chronology

AT&T – Gold Coast/Wangenheim Middle School – Project No. 290602

Date	Action	Description	City Review Time	Applicant Response Time
9/27/2012	First Submittal	Project Deemed Complete		
11/9/2012	First Assessment Letter		43	
2/14/2013	Second Submittal			97
3/25/2013	Second Assessment Letter		39	
4/12/2013	Third Submittal			18
6/5/2013	All issues resolved		54	
7/11/2013	Public Hearing – Planning Commission		36	
TOTAL STAFF TIME			172	
TOTAL APPLICANT TIME				115
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Planning Commission Hearing	287 (in calendar days)	



THE CITY OF SAN DIEGO

DATE OF NOTICE: June 26, 2013

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING: July 11, 2013
TIME OF HEARING: 9:00 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
 202 C Street, San Diego, California 92101

PROJECT TYPE: CONDITIONAL USE PERMIT (CUP) AND PLANNED
 DEVELOPMENT PERMIT (PDP), PROCESS FOUR
PROJECT NUMBER: 290602
PROJECT NAME: AT&T GOLD COAST/WANGENHEIM MIDDLE SCHOOL
APPLICANT: Shelly Kilbourn, PlanCom, Inc., agents representing
 AT&T Mobility

COMMUNITY PLAN AREA: Mira Mesa
COUNCIL DISTRICT: District 5

CITY PROJECT MANAGER: Alex Hempton, Development Project Manager
PHONE NUMBER/E-MAIL: (619) 446-5349 / ahempton@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a Conditional Use Permit (CUP) and Planned Development Permit (PDP) for a Wireless Communication Facility (WCF) consisting of twelve (12) panel antennas mounted to a new 65-foot tall faux eucalyptus tree, with space available for an additional carrier's antennas. An equipment room would be located adjacent to the tree. The project is located on the east side of the Wangenheim Middle School campus near Black Mountain Road. The address assigned to the project is 9230 Gold Coast Drive.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at

www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on June 7, 2013 and the opportunity to appeal that determination ended June 21, 2013.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24003089

Revised 10-4-12 HMD