



THE CITY OF SAN DIEGO
REPORT TO THE PLANNING COMMISSION

DATE ISSUED: June 13, 2013 **REPORT NO. PC- 13-080**
ATTENTION: Planning Commission, Agenda of June 27, 2013
SUBJECT: BIRD ROCK MIXED USE
PROJECT NO. 259362, PROCESS 4
OWNER: M.O.R.K. Family Trust, Michael and Olga V. Krambs, Trustee
APPLICANT: Morton Marengo Architects

SUMMARY

Issue(s): Should the Planning Commission approve an application for a two-story, mixed-use development within the La Jolla Planned District and La Jolla Community Planning Area?

Staff Recommendations:

1. **Certify** Negative Declaration No. 259362; and
2. **Approve** Coastal Development Permit No. 913578; and
3. **Approve** Tentative Map No. 1087739

Community Planning Group Recommendation: On August 2, 2012, the La Jolla Community Planning Association (LJCPA) voted 13-2-1 to approve a motion that the findings can be made for the proposed Bird Rock Mixed-Use project (Attachment 11).

Environmental Review: The City of San Diego as Lead Agency under the California Environmental Quality Act (CEQA) has prepared and completed a Negative Declaration in accordance with the State of California CEQA Guidelines.

Fiscal Impact Statement: None with this project.

Code Enforcement Impact: None with this project.

Housing Impact Statement: The proposed project will add an additional 10 residential

units to the La Jolla Community Plan area. The applicant will be paying an affordable housing fee to meet the Inclusionary Housing Ordinance requirements.

BACKGROUND

The project is proposing to construct an 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units and two commercial units, 26 parking spaces accessed from the alley, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area. The site is designated for Neighborhood Commercial land use. The project site is located on the northwest corner of La Jolla Boulevard and Bird Rock Avenue, with single family residential to the west, multi-family mixed-use to the north, and commercial to the south and east. The Pacific Ocean is three blocks to the west of the project site.

The project site was formerly developed with a retail gasoline service station. The gas station included three underground storage tanks, one underground waste oil storage tank, an above-ground waste oil tank and two fuel pump islands. The gas station and oil storage tanks were removed and soil testing was conducted. No significant volume of remaining used oil-impacted soil was found. Staff has received a letter of concurrence on the project from the County Department of Health and has no further issues on the storage tank or soil contamination issues (Attachment 12). The Negative Declaration for the project discusses these issues in greater detail.

DISCUSSION

Project Description:

The proposed two-story, mixed-use project would include balconies, archways, landscaping and building articulation (Attachment 5). The surrounding area is fully developed with residential and commercial uses. La Jolla Boulevard has also undergone improvements, including the installation of roundabouts at several intersections.

The project is located in the Coastal Overlay Zone and, therefore requires a Coastal Development Permit.

Community Plan Analysis:

The proposed Bird Rock Mixed Use project is located at 5702 La Jolla Boulevard, on a parcel that is designated for commercial use. The proposed project will include 10 residential units, and 2 commercial units on a .037-acre lot. The proposed use is consistent with the land use designation. The Plan also recommends that new structures, located along this retail district include mixed-use residential/commercial uses to provide opportunities for affordable housing in La Jolla. The proposed project will pay an affordable housing fee to meet the Inclusionary Housing Ordinance requirements.

The La Jolla Community Plan recommends that commercial uses along La Jolla Boulevard be developed in a traditional boulevard manner with street trees and median landscaping. The La

Jolla Community Plan further recommends that new projects upgrade the sidewalks with decorative or uniform paving to enhance the streetscape. La Jolla Boulevard is being enhanced to include median landscaping and sidewalk improvements to include additional landscaping and street lights. The Plan recommends providing decorative lighting, street trees, benches and other pedestrian amenities to create a stronger pedestrian-oriented image to this commercial district. To implement Plan recommendations, the proposed project includes landscaping at the corner of La Jolla Boulevard and Bird Rock Avenue, and benches and street trees along both streets. The building facades are articulated with the upper stories set back from the ground floor façade and include balconies that are integrated into the architecture. The project includes jacaranda street trees to be located adjacent to the curb.

The Community Plan also recommends that projects make available information on energy efficient appliances and technology in marketing materials and within sales offices in order to promote energy savings. For mixed-use projects, the Plan recommends that projects either provide or offer as an option, alternative energy technologies to be incorporated into the residences during construction in order to promote energy savings. The proposed project would include a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the proposed project's energy consumption, as established by Council Policy 900-14.

The La Jolla Community Plan identifies (in Appendix G on the Coastal Access Subarea Maps pages 183-5) physical and visual access to the ocean. Bird Rock Avenue is identified as having a view corridor to the ocean, passing westward to the ocean on the south side of the site. The proposed development would not impair the visual access to the ocean as it respects the street yard setbacks as required by the Land Development Code. There is also a view cone identified in the Community Plan (Figure 9 Identified Public Vantage Points) at the westerly end of Bird Rock Avenue, but the view cone is not affected by the location of the proposed new structure.

Project-Related Issues:

Views

The La Jolla Community Plan identifies a public view corridor along Bird Rock Avenue, immediately south and to the west of the project site. The La Jolla Community Plan defines a View Corridor as an unobstructed frame view down a public right-of-way. The La Jolla Community Plan requires that public views to the ocean be protected. The westernmost end of Bird Rock Avenue is also identified as a View Cone, which is defined by 90 degree angle radiating lines from a public vantage point (the centerline of the street) to the corners of the buildable envelope as defined by the setbacks of each property closest to the ocean or shoreline. All View Cones are directed towards a coastal body of water. The identified View Cone is located three blocks west of the project site, and, therefore, would not be affected by the proposed development. Regarding the View Corridor, staff review of the project concluded that the proposed project would be in compliance with the requirements of the underlying zone regarding heights and setbacks, and the height, bulk and scale of the project would not impact the view corridor.

Conclusion:

The proposed development would significantly improve the existing site conditions, and visually enhance the site and the immediate neighborhood. The project implements the goals of the La Jolla Community Plan and the Progress Guide and General Plan as described in this report. Staff recommends approval of the project.

ALTERNATIVES

1. **Approve Coastal Development Permit No. 913578 and Tentative Map No. 1087739, with modifications.**
2. **Deny Coastal Development Permit No. 913578 and Tentative Map No. 1087739, if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



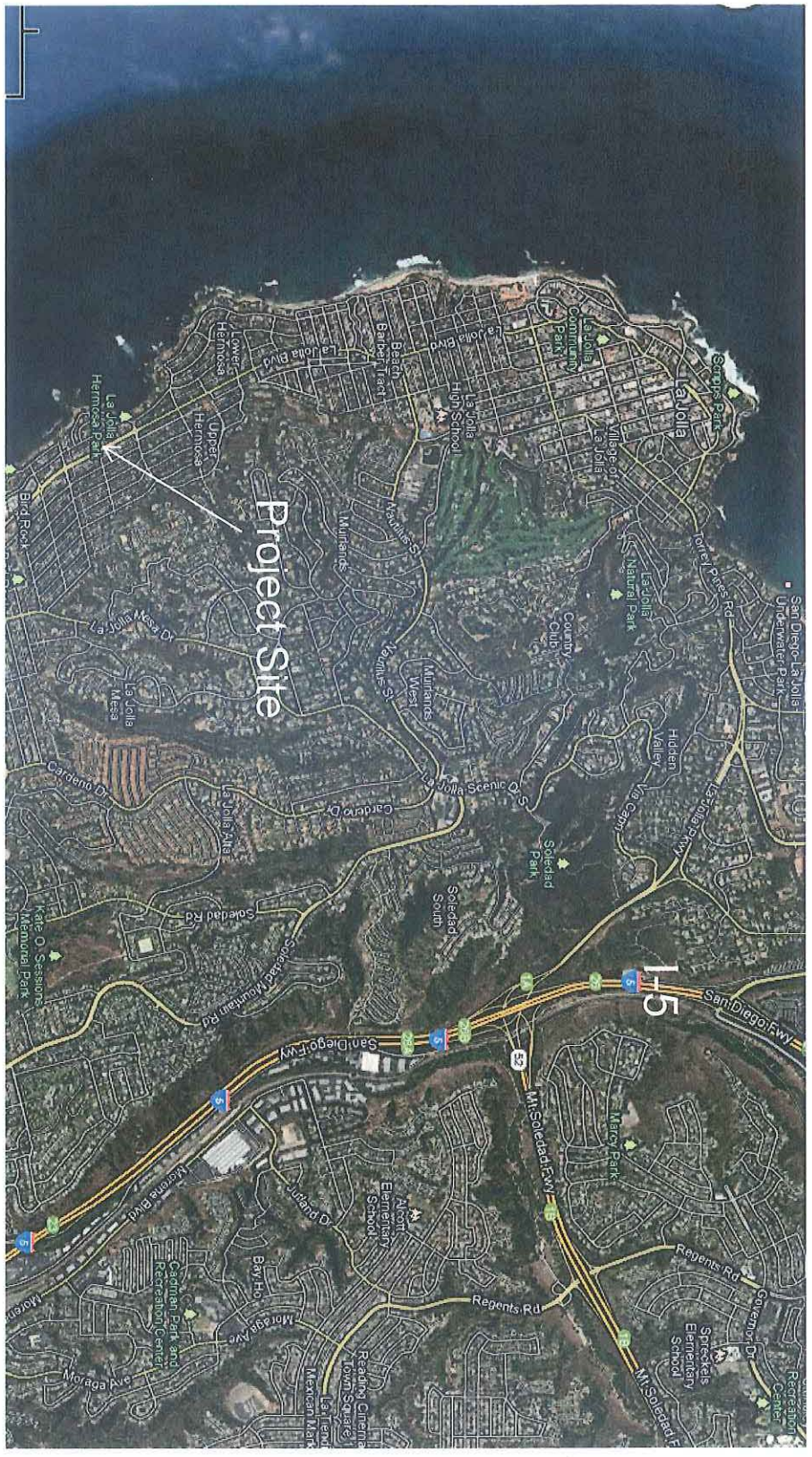
Morris E. Dye
Project Manager
Development Services Department

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Project Plans
6. Tentative Map
7. Draft Map Conditions and Subdivision Resolution
8. Draft Permit with Conditions
9. Draft Resolution with Findings
10. Community Planning Group Recommendation
11. Ownership Disclosure Statement
12. County of San Diego Department of Health Letter

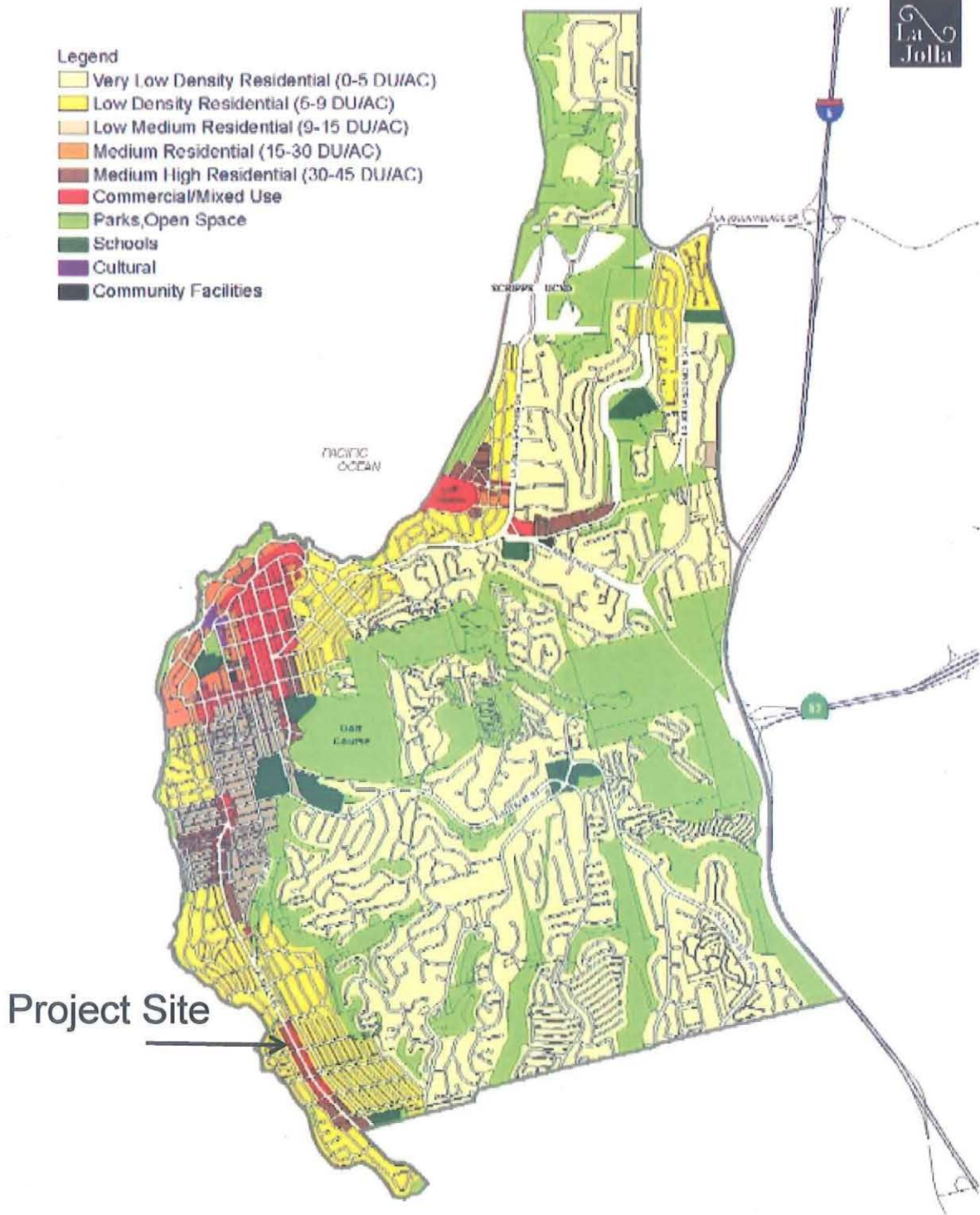


Location Aerial Photo
Bird Rock Mixed Use
 PROJECT NO. 259362





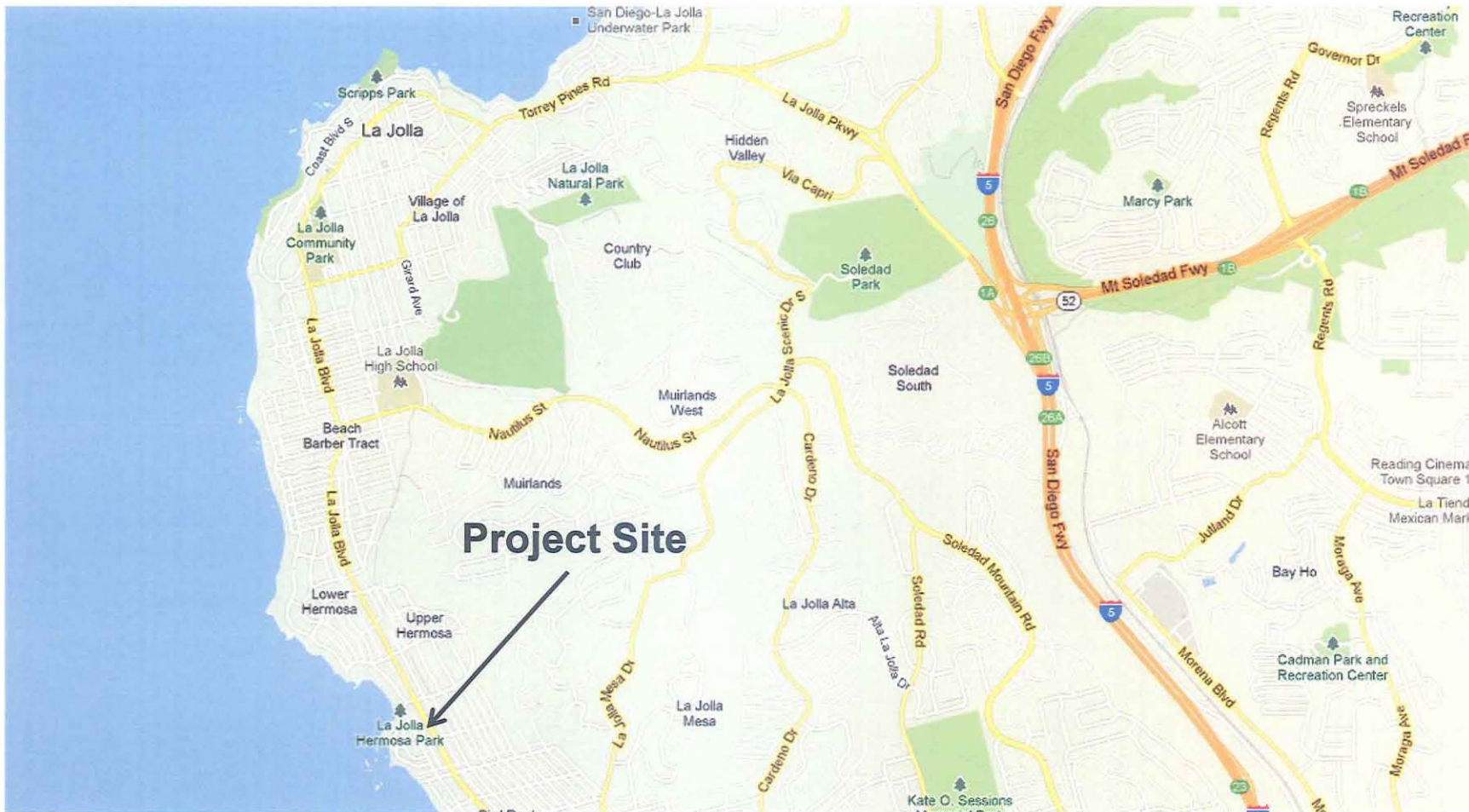
- Legend
- Very Low Density Residential (0-5 DU/AC)
 - Low Density Residential (5-9 DU/AC)
 - Low Medium Residential (9-15 DU/AC)
 - Medium Residential (15-30 DU/AC)
 - Medium High Residential (30-45 DU/AC)
 - Commercial/Mixed Use
 - Parks, Open Space
 - Schools
 - Cultural
 - Community Facilities



Land Use Map

PROJECT NAME – PROJECT ADDRESS
PROJECT NO.





Project Location Map

Bird Rock Mixed Use 5702 La Jolla Boulevard
PROJECT NO. 259362



PROJECT DATA SHEET

PROJECT NAME:	Bird Rock Mixed Use – PTS#259362	
PROJECT DESCRIPTION:	To construct 10 residential for rent units and 7,726 sq ft of commercial space on a vacant 0.37 acre site at 5702 La Jolla Blvd	
COMMUNITY PLAN AREA:	La Jolla	
DISCRETIONARY ACTIONS:	Coastal Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Commercial/Mixed Use (Neighborhood Commercial)	
<u>ZONING INFORMATION:</u>		
ZONE: Zone 4 HEIGHT LIMIT: 30 foot maximum height limit. LOT SIZE: 2,500 square-foot minimum lot size. FLOOR AREA RATIO: 1.0 FRONT SETBACK: No requirement SIDE SETBACK: No requirement STREETSIDE SETBACK: No requirement. REAR SETBACK: No requirement. PARKING:		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Multi-Family Residential/Zone 4	Multi-Family Residential
SOUTH:	Commercial/Zone 4	Commercial
EAST:	Zone 4	Commercial
WEST:	Single Family/ RS-1-7	Commercial
DEVIATIONS OR VARIANCES REQUESTED:	None Required.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On August 2, 2012 the La Jolla Community Planning Association vote 13-2-1 to recommend approval.	

BIRD ROCK MIXED USE

5702 LA JOLLA BOULEVARD
LA JOLLA, CA 92037



Marengo Morton Architects
7724 Girard Ave.
Second Floor
La Jolla, CA 92037
Tel. (858) 459-3769
Fax. (858) 459-3768
Michael Morton AIA
Claude Anthony Marengo DASA



All design, ideas and arrangements are indicated as those drawings are the legal property of Marengo Morton Architects, Incorporated and the specific project for which they were prepared as indicated on the project title block. Reproduction, publication or reuse by any method, in whole or part, without the express written consent of Marengo Morton Architects, Incorporated is prohibited. There shall be no changes, substitutions, modifications or deviations from these drawings or drawings without the express written consent of Marengo Morton Architects, Incorporated. Visual, physical, or electronic copies or use of these drawings and attached specifications shall constitute the acceptance of all their contents.

BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

10-3-11 Completeness Submittal
07-3-12 Community Presentations
7-18-12 Coastal Reconsideration
08-08-12 Community Planning Revisions

PHASE PHASE

PROJECT NO: 2011-13

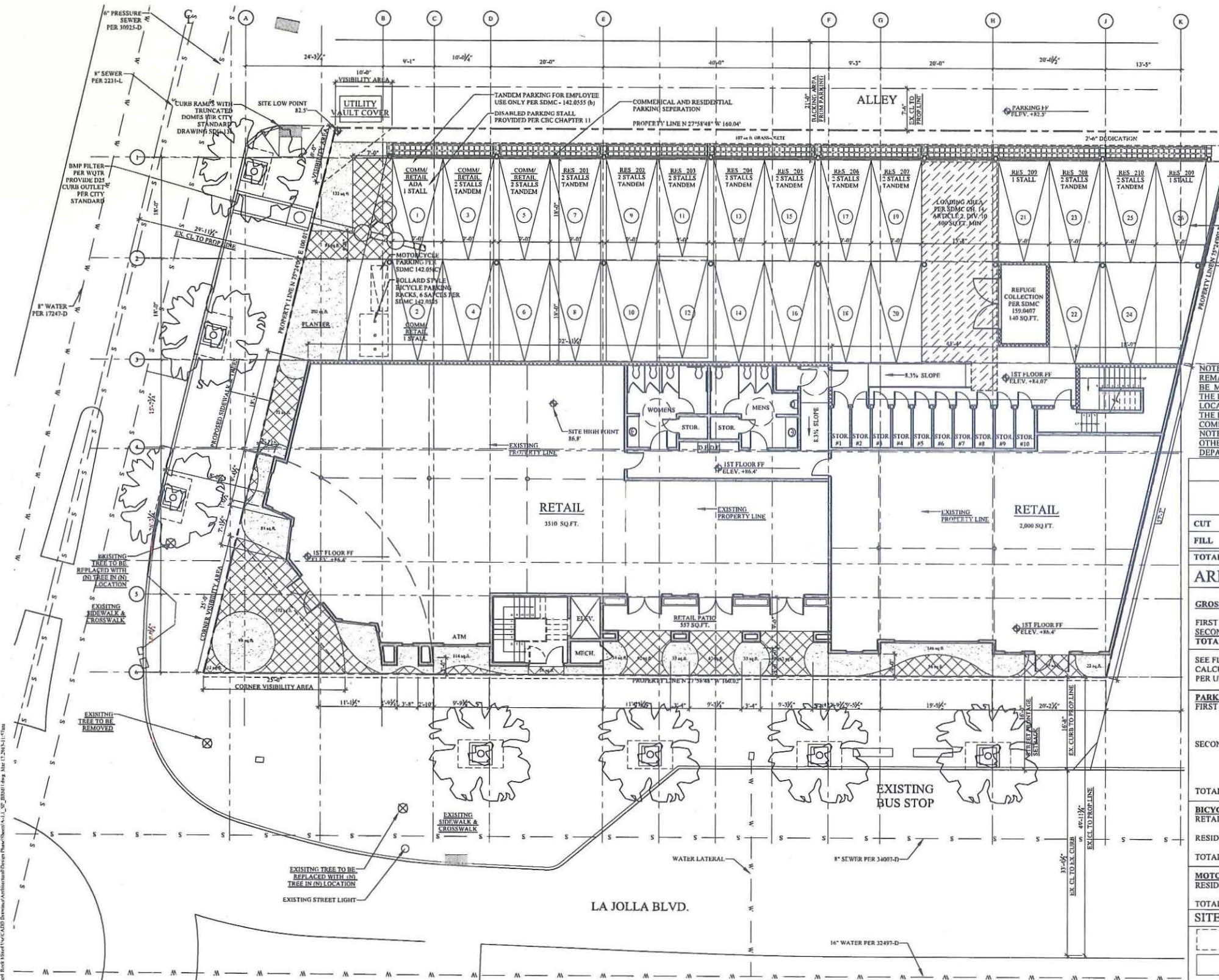
DRAWN BY: RR, MC, JK

DATE: 01-10-2013

TITLE SHEET
T-1
SHEET 1 OF 19

BASIS FOR STRUCTURAL DESIGN	SPECIAL INSPECTION & OFF-SITE FABRICATION	VICINITY MAP	SCOPE OF WORK	PROJECT DATA																																																															
<p>DESIGN LOADS:</p> <p>ROOF LIVE LOAD: _____ DECK LIVE LOAD: _____</p> <p>ROOF DEAD LOAD: _____ DECK DEAD LOAD: _____</p> <p>FLOOR LIVE LOAD: _____</p> <p>FLOOR DEAD LOAD: _____</p> <p>SEISMIC CRITERIA:</p> <p>DISTANCE TO SEISMIC SOURCE: _____</p> <p>SOIL PROFILE TYPE: _____</p> <p>DESIGN WIND: _____</p> <p>FOUNDATIONS / SOILS CRITERIA:</p> <p><input type="checkbox"/> SOILS ENGINEER: _____</p> <p><input type="checkbox"/> EXPANSION INDEX HAS BEEN DETERMINED TO BE GREATER THAN 20 AND THE RECOMMENDATIONS OF THE SOILS ENGINEER HAVE BEEN INCORPORATED INTO THESE PLANS.</p> <p><input type="checkbox"/> EXPANSION INDEX HAS BEEN DETERMINED TO BE 20 OR LESS AND NO SPECIAL DESIGN RECOMMENDATIONS ARE REQUIRED.</p> <p><input type="checkbox"/> AS A LICENSED ARCHITECT/ENGINEER, I HAVE CLASSIFIED THE UNDISTURBED NATIVE SOILS TO BE SAND AND PER TABLE 18-1-A OF THE 1994 CBC I HAVE ASSIGNED THE FOLLOWING SOILS PARAMETERS FOR THE DESIGN OF THE FOUNDATION RELATED ELEMENTS OF THIS PROJECT:</p> <p>NAME _____ SIGNATURE _____ DATE _____ <input type="checkbox"/> LICENSED ARCHITECT</p> <p><input type="checkbox"/> A FOUNDATION PRESSURE OF 1000 PSF HAS BEEN USED TO DESIGN FOUNDATIONS SUPPORTED ON UNCLASSIFIED, UNDISTURBED NATIVE SOILS. THE FOUNDATIONS WILL BE LOCATED ENTIRELY IN UNDISTURBED NATIVE SOILS.</p> <p>NAME _____ SIGNATURE _____ DATE _____ <input type="checkbox"/> LICENSED ARCHITECT</p> <p><input type="checkbox"/> IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED MAY BE REQUIRED.</p>	<p>SPECIAL INSPECTION: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>SPECIAL INSPECTION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:</p> <table border="0"> <tr> <td>1. SOIL COMPLIANCE PRIOR TO FOUNDATION INSPECTION.</td> <td>4. STRUCTURAL MASONRY</td> </tr> <tr> <td>2. FIELD WELDING</td> <td>5. HARDY FRAME PANEL</td> </tr> <tr> <td>3. EPOXY ANCHORS</td> <td>6. EXISTING CONCRETE CORING & BREAKING REQUIRED</td> </tr> </table> <p>REFER TO SHEET S-1 FOR "SPECIAL INSPECTION PROGRAM".</p> <p>1. A CERTIFICATE OF SATISFACTORY COMPLETION OF WORK REQUIRING SPECIAL INSPECTION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION, OFF-SITE FABRICATION: <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>2. A CERTIFICATE OF COMPLIANCE FOR OFF-SITE FABRICATION MUST BE COMPLETED AND SUBMITTED TO THE INSPECTION SERVICES DIVISION PRIOR TO ERECTION OF PREFABRICATED COMPONENTS.</p>	1. SOIL COMPLIANCE PRIOR TO FOUNDATION INSPECTION.	4. STRUCTURAL MASONRY	2. FIELD WELDING	5. HARDY FRAME PANEL	3. EPOXY ANCHORS	6. EXISTING CONCRETE CORING & BREAKING REQUIRED	<p style="text-align: center;">PROJECT SITE</p>	<p>SCOPE OF WORK</p> <p>COASTAL DEVELOPMENT PERMIT, SITE DEVELOPMENT PERMIT FOR LJP, NEIGHBORHOOD DEVELOPMENT PERMIT IN THE LA JOLLA PLANNED DISTRICT ZONE-4, SUSTAINABLE ENERGY PROJECT SUBMITTAL, AND TENTATIVE MAP #361919 (PTS #87287) TO OBTAIN THE RIGHT TO CONSTRUCT A TWO-STORY MIXED-USE BUILDING CONTAINING RETAIL SHELL SPACE AND REQUIRED PARKING ON THE FIRST FLOOR, AND TEN CONDO UNITS ON THE SECOND FLOOR.</p>	<p>PROJECT DATA</p> <p>PROJECT INFORMATION</p> <p>PROJECT ADDRESS: 5702 La Jolla Boulevard LA JOLLA, CA 92037 PROJECT NO: 2011-13</p> <p>LAJLA DESCRIPTION: Lots 15, 16, 17, 18 and Block 21 of La Jolla Park in the City of San Diego, County of San Diego, California, bounded by the East and West Sides of La Jolla Boulevard, North and South Sides of La Jolla Boulevard, and the East Side of La Jolla Boulevard.</p> <p>YEAR BUILT: N/A - VARIANT LIT</p> <p>REVISIONS:</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>01-10-2013</td> <td>ISSUE FOR PERMITTING</td> </tr> </table> <p>PROPERTY TYPE: COMMERCIAL</p> <p>USE: COMMERCIAL</p>	NO.	DATE	DESCRIPTION	1	01-10-2013	ISSUE FOR PERMITTING																																																			
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	<p>STRUCTURAL OBSERVATION</p> <p><input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>STRUCTURAL OBSERVATION SHALL BE PROVIDED FOR THE FOLLOWING ITEMS:</p> <p>1. REFER TO SHEET S1.1 FOR "STRUCTURAL OBSERVATION PROGRAM".</p> <p>STRUCTURAL OBSERVATION MUST BE PROVIDED BY THE ENGINEER OR ARCHITECT OF RECORD RESPONSIBLE FOR THE STRUCTURAL DESIGN OR ANOTHER ENGINEER OR ARCHITECT DESIGNATED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN, AS OUTLINED IN THE STRUCTURAL OBSERVATION PROGRAM. ALL OBSERVED DEFICIENCIES SHALL BE REPORTED IN WRITING TO THE OWNER'S REPRESENTATIVE, SPECIAL INSPECTOR, CONTRACTOR AND THE BUILDING OFFICIAL. THE STRUCTURAL OBSERVER SHALL SUBMIT TO THE BUILDING OFFICIAL A WRITTEN STATEMENT THAT THE SITE VISITS HAVE BEEN MADE AND IDENTIFYING ANY REPORTED DEFICIENCIES THAT, TO THE BEST OF THE STRUCTURAL OBSERVER'S KNOWLEDGE, HAVE NOT BEEN RESOLVED.</p>	<p>PROJECT TEAM</p> <p>OWNERS: B.O.R.K. Family Trust dated 11/10/07 P.O. Box 2035 La Jolla, CA 92038</p> <p>ARCHITECT: Marengo Morton Architects 7724 Girard Avenue, Second Floor La Jolla, CA 92037 Telephone: (858) 459-3769 Fax: (858) 459-3768 Contact: Claude Anthony Marengo cmarengo@mmar.com Cell: (619) 417-1111</p>	<p>SHEET INDEX</p> <table border="1"> <thead> <tr> <th>SHEET TITLE</th> <th>DESCRIPTION</th> <th>#</th> </tr> </thead> <tbody> <tr> <td>T-1</td> <td>COVER / TITLE SHEET</td> <td>1</td> </tr> <tr> <td>T-1.2</td> <td>GENERAL NOTES</td> <td>2</td> </tr> <tr> <td>T-1.3</td> <td>ACCESSIBILITY NOTES</td> <td>3</td> </tr> <tr> <td>T-1.4</td> <td>ACCESSIBILITY NOTES</td> <td>4</td> </tr> <tr> <td>A-1.1</td> <td>SITE PLAN</td> <td>5</td> </tr> <tr> <td>A-1.1a</td> <td>GROSS FLOOR AREA - PLANS</td> <td>6</td> </tr> <tr> <td>A-1.1b</td> <td>COMPARISON</td> <td>7</td> </tr> <tr> <td>A-1.2</td> <td>ADA ACCESS - 1ST FLOOR</td> <td>8</td> </tr> <tr> <td>A-1.3</td> <td>ADA ACCESS - 2ND FLOOR</td> <td>9</td> </tr> <tr> <td>A-1.4</td> <td>LANDSCAPE - 1ST FLOOR</td> <td>10</td> </tr> <tr> <td>A-1.5</td> <td>LANDSCAPE - 2ND FLOOR</td> <td>11</td> </tr> <tr> <td>A-1.6</td> <td>LANDSCAPE - ROOF PLAN</td> <td>12</td> </tr> <tr> <td>A-2.1</td> <td>1ST FLOOR PLAN</td> <td>13</td> </tr> <tr> <td>A-2.2</td> <td>2ND FLOOR PLAN</td> <td>14</td> </tr> <tr> <td>A-4.1</td> <td>ROOF PLAN</td> <td>15</td> </tr> <tr> <td>A-5.1</td> <td>ELEVATIONS</td> <td>16</td> </tr> <tr> <td>A-5.2</td> <td>ELEVATIONS</td> <td>17</td> </tr> <tr> <td>A-6.1</td> <td>SECTIONS</td> <td>18</td> </tr> <tr> <td>-</td> <td>PERSPECTIVES</td> <td>19</td> </tr> <tr> <td>C-1.0</td> <td>CONCEPT, GRADING PLAN</td> <td>20</td> </tr> </tbody> </table>	SHEET TITLE	DESCRIPTION	#	T-1	COVER / TITLE SHEET	1	T-1.2	GENERAL NOTES	2	T-1.3	ACCESSIBILITY NOTES	3	T-1.4	ACCESSIBILITY NOTES	4	A-1.1	SITE PLAN	5	A-1.1a	GROSS FLOOR AREA - PLANS	6	A-1.1b	COMPARISON	7	A-1.2	ADA ACCESS - 1ST FLOOR	8	A-1.3	ADA ACCESS - 2ND FLOOR	9	A-1.4	LANDSCAPE - 1ST FLOOR	10	A-1.5	LANDSCAPE - 2ND FLOOR	11	A-1.6	LANDSCAPE - ROOF PLAN	12	A-2.1	1ST FLOOR PLAN	13	A-2.2	2ND FLOOR PLAN	14	A-4.1	ROOF PLAN	15	A-5.1	ELEVATIONS	16	A-5.2	ELEVATIONS	17	A-6.1	SECTIONS	18	-	PERSPECTIVES	19	C-1.0	CONCEPT, GRADING PLAN	20	<p>ZONING INFORMATION</p> <p>APPLICABLE ZONING: C-1 (COMMERCIAL CENTER CITY), PD (PLANNED DISTRICT), L (LOCAL RESIDENTIAL), L-1 (LOCAL RESIDENTIAL), L-2 (LOCAL RESIDENTIAL), L-3 (LOCAL RESIDENTIAL), L-4 (LOCAL RESIDENTIAL), L-5 (LOCAL RESIDENTIAL), L-6 (LOCAL RESIDENTIAL), L-7 (LOCAL RESIDENTIAL), L-8 (LOCAL RESIDENTIAL), L-9 (LOCAL RESIDENTIAL), L-10 (LOCAL RESIDENTIAL), L-11 (LOCAL RESIDENTIAL), L-12 (LOCAL RESIDENTIAL), L-13 (LOCAL RESIDENTIAL), L-14 (LOCAL RESIDENTIAL), L-15 (LOCAL RESIDENTIAL), L-16 (LOCAL RESIDENTIAL), L-17 (LOCAL RESIDENTIAL), L-18 (LOCAL RESIDENTIAL), L-19 (LOCAL RESIDENTIAL), L-20 (LOCAL RESIDENTIAL), L-21 (LOCAL RESIDENTIAL), L-22 (LOCAL RESIDENTIAL), L-23 (LOCAL RESIDENTIAL), L-24 (LOCAL RESIDENTIAL), L-25 (LOCAL RESIDENTIAL), L-26 (LOCAL RESIDENTIAL), L-27 (LOCAL RESIDENTIAL), L-28 (LOCAL RESIDENTIAL), L-29 (LOCAL RESIDENTIAL), L-30 (LOCAL RESIDENTIAL), L-31 (LOCAL RESIDENTIAL), L-32 (LOCAL RESIDENTIAL), L-33 (LOCAL RESIDENTIAL), L-34 (LOCAL RESIDENTIAL), L-35 (LOCAL RESIDENTIAL), L-36 (LOCAL RESIDENTIAL), L-37 (LOCAL RESIDENTIAL), L-38 (LOCAL RESIDENTIAL), L-39 (LOCAL RESIDENTIAL), L-40 (LOCAL RESIDENTIAL), L-41 (LOCAL RESIDENTIAL), L-42 (LOCAL RESIDENTIAL), L-43 (LOCAL RESIDENTIAL), L-44 (LOCAL RESIDENTIAL), L-45 (LOCAL RESIDENTIAL), L-46 (LOCAL RESIDENTIAL), L-47 (LOCAL RESIDENTIAL), L-48 (LOCAL RESIDENTIAL), L-49 (LOCAL RESIDENTIAL), L-50 (LOCAL RESIDENTIAL), L-51 (LOCAL RESIDENTIAL), L-52 (LOCAL RESIDENTIAL), L-53 (LOCAL RESIDENTIAL), L-54 (LOCAL RESIDENTIAL), L-55 (LOCAL RESIDENTIAL), L-56 (LOCAL RESIDENTIAL), L-57 (LOCAL RESIDENTIAL), L-58 (LOCAL RESIDENTIAL), L-59 (LOCAL RESIDENTIAL), L-60 (LOCAL RESIDENTIAL), L-61 (LOCAL RESIDENTIAL), L-62 (LOCAL RESIDENTIAL), L-63 (LOCAL RESIDENTIAL), L-64 (LOCAL RESIDENTIAL), L-65 (LOCAL RESIDENTIAL), L-66 (LOCAL RESIDENTIAL), L-67 (LOCAL RESIDENTIAL), L-68 (LOCAL RESIDENTIAL), L-69 (LOCAL RESIDENTIAL), L-70 (LOCAL RESIDENTIAL), L-71 (LOCAL RESIDENTIAL), L-72 (LOCAL RESIDENTIAL), L-73 (LOCAL RESIDENTIAL), L-74 (LOCAL RESIDENTIAL), L-75 (LOCAL RESIDENTIAL), L-76 (LOCAL RESIDENTIAL), L-77 (LOCAL RESIDENTIAL), L-78 (LOCAL RESIDENTIAL), L-79 (LOCAL RESIDENTIAL), L-80 (LOCAL RESIDENTIAL), L-81 (LOCAL RESIDENTIAL), L-82 (LOCAL RESIDENTIAL), L-83 (LOCAL RESIDENTIAL), L-84 (LOCAL RESIDENTIAL), L-85 (LOCAL RESIDENTIAL), L-86 (LOCAL RESIDENTIAL), L-87 (LOCAL RESIDENTIAL), L-88 (LOCAL RESIDENTIAL), L-89 (LOCAL RESIDENTIAL), L-90 (LOCAL RESIDENTIAL), L-91 (LOCAL RESIDENTIAL), L-92 (LOCAL RESIDENTIAL), L-93 (LOCAL RESIDENTIAL), L-94 (LOCAL RESIDENTIAL), L-95 (LOCAL RESIDENTIAL), L-96 (LOCAL RESIDENTIAL), L-97 (LOCAL RESIDENTIAL), L-98 (LOCAL RESIDENTIAL), L-99 (LOCAL RESIDENTIAL), L-100 (LOCAL RESIDENTIAL)</p>
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	<p>STRUCTURAL NOTES</p> <p>1. PROP "D" HEIGHT LIMIT AREA <input type="checkbox"/> YES <input type="checkbox"/> NO</p> <p>2. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT, PIPE, ANTENNA, OR OTHER PROJECTION SHALL NOT EXCEED 35'-0" ABOVE GRADE. REFER TO SHEETS A-5.1, A-5.2 FOR BUILDING HEIGHT DOCUMENTATION.</p>			<p>THE PROPOSED PROJECT IS LOCATED AT 5702 LA JOLLA BOULEVARD, WITHIN THE LA JOLLA PLANNED DISTRICT, ZONE 4, THE COASTAL HEIGHT LIMITATION OVERLAY ZONE (PROP D, CHLOZ) COASTAL OVERLAY ZONE (NON-APPEALABLE AREA TWO), PARKING IMPACT (COASTAL AND BEACHES), OVERLAY ZONE (PIOZ), AND RESIDENTIAL TANDEM PARKING OVERLAY ZONE (RTOZ), TRANSIT AREA OVERLAY ZONE (TAOZ) OF THE LA JOLLA COMMUNITY PLAN (LJCP) AND LOCAL COASTAL PROGRAMS (LCP).</p>																																																															

3/2011 Project2011-13 Bird Rock Mixed Use (CSD) Drawings\Architectural\Sheet\TitleSheet.dwg, Date: 01/10/2013 12:06pm



NOTE: PARKING SPACES SHALL PROVIDE SIGNS ON THE PREMISE INDICATING THE AVAILABILITY OF THE PARKING FOR SUCH USE PER SDMC 142.0545 (a)(4)

NOTE: PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-00-6 (UFC 901.4.4)

NOTE: POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE UFC 1001.4

NOTE: REMAINING OFF STREET PARKING SPACES SHALL BE MAINTAINED ON THE PROPERTY AT ALL TIMES IN THE APPROXIMATE LOCATIONS SHOWN.

THE EXHIBIT "A" PARKING SPACES SHALL COMPLY AT ALL TIMES WITH THE SDMC AND SHALL NOT BE CONVERTED FOR ANY OTHER USE UNLESS OTHERWISE AUTHORIZED BY THE DEVELOPMENT SERVICES DEPARTMENT.

GRADING TABLE			
	EXISTING SITE	CUT/ FILL REUSED ON SITE	EXPORTED FROM SITE
CUT	583.23 cu. yds.	N/A	+ 583.23
FILL	N/A	+ 26.5 cu. yds.	- 26.5
TOTAL			= 556.73 CU. YDS.

AREA CALCULATIONS:	
GROSS FLOOR AREA:	
FIRST FLOOR	7,655 SQ.FT.
SECOND FLOOR	10,759 SQ.FT.
TOTAL	18,414 SQ.FT.

SEE FLOOR PLANS FOR BREAK DOWN OF AREA CALCULATIONS PER USE ON THE FIRST FLOOR AND PER UNIT ON THE SECOND FLOOR.

PARKING REQUIREMENTS:	
FIRST FLOOR:	
1.0 STALLS PER EVERY 1,000 SQ.FT.	(3510 + 2000 = 5510 SQ.FT.)
1.0 x 5510 = 5.51	= 6 STALLS
SECOND FLOOR:	
2 STALLS PER 1 BEDROOM/ STUDIO (4)	2 STALLS PER 2 BEDROOM UNIT (6)
2 x 4 (UNITS) = 8 STALLS	2 x 6 (UNITS) = 12 STALLS

TOTAL REQUIRED PARKING: 26 STALLS (1 ADA)

BICYCLE PARKING:	
RETAIL:	0.1 SPACES PER EVERY 1,000 SQ.FT.
(3510 + 2000 = 5510 SQ.FT.)	= 0.551 = 1
RESIDENTIAL:	6 (TWO BDRM UNITS) x 0.5 = 3
4 (ONE BDRM UNITS) x 0.4 = 1.6 = 2	
TOTAL REQUIRED PARKING:	6 SPACES

MOTORCYCLE PARKING:	
RESIDENTIAL:	6 (TWO BDRM UNITS) x 0.1 = 0.6 = 1
4 (ONE BDRM UNITS) x 0.1 = 0.4 = 0	
TOTAL REQUIRED PARKING:	1 PARKING SPACE

SITE PLAN LEGEND	
[Symbol]	2'-4" DEDICATION
[Symbol]	TILE HARDSCAPE
[Symbol]	PROPOSED BUILDING FOOTPRINT
[Symbol]	PROPOSED PROPERTY LINE
[Symbol]	9' x 18' PARKING SPACE
[Symbol]	9' x 36' TANDEM PARKING SPACE

1 PROPOSED SITE PLAN

BENCHMARK
S.E.B.P. BIRD ROCK AVENUE & LA JOLLA BLVD.
EL: 84,774 M.S.L.

SCALE: 1/8" = 1'-0"



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BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

10-3-11 Completeness Submittal
07-3-12 Continuity Presentation
7-19-12 Coastal Resubmittal
08-08-12 Community Planning Revision

PHASE: PHASE

PROJECT NO. 2011-13

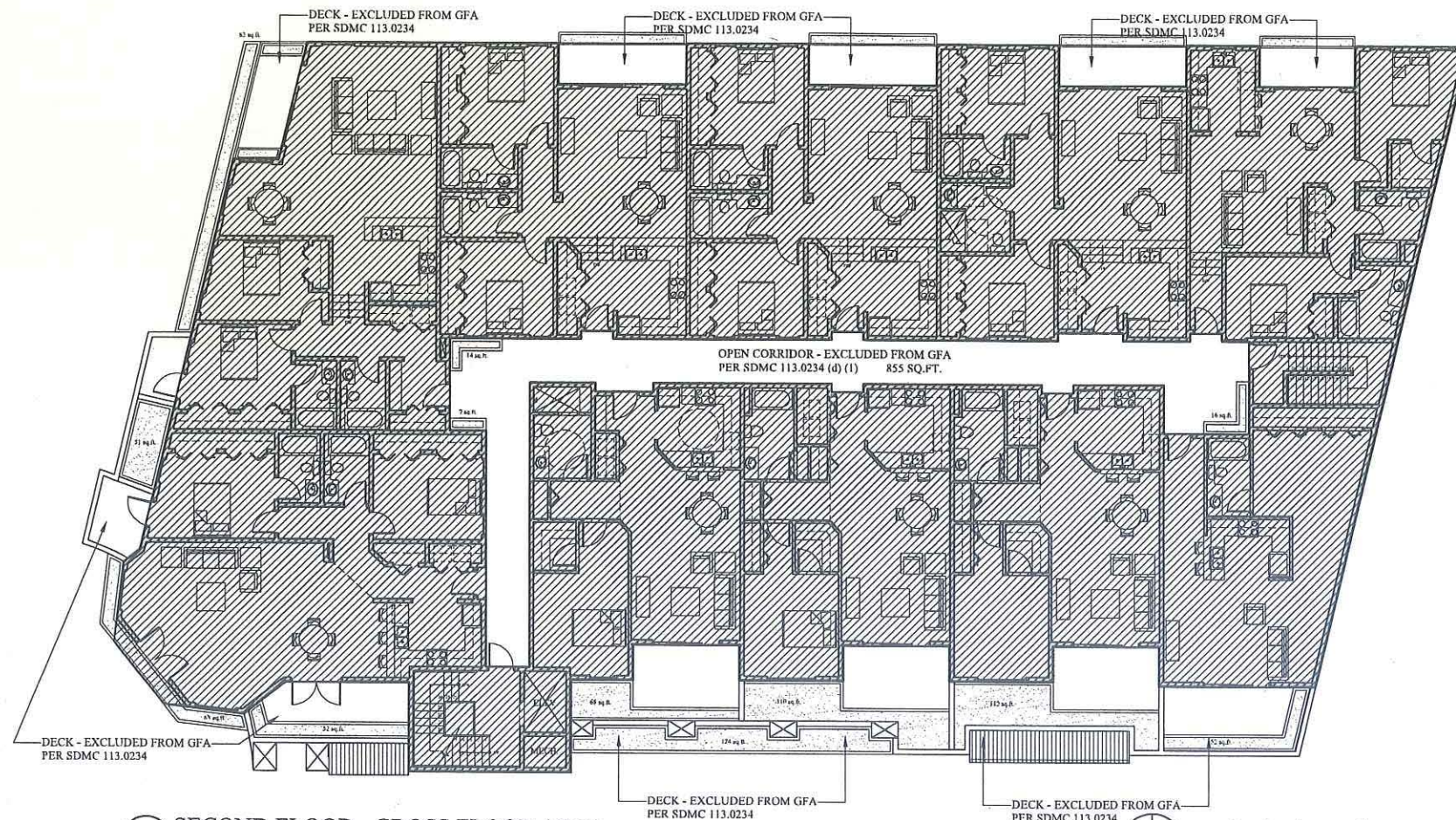
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DRAWN BY: RR, MC, JK

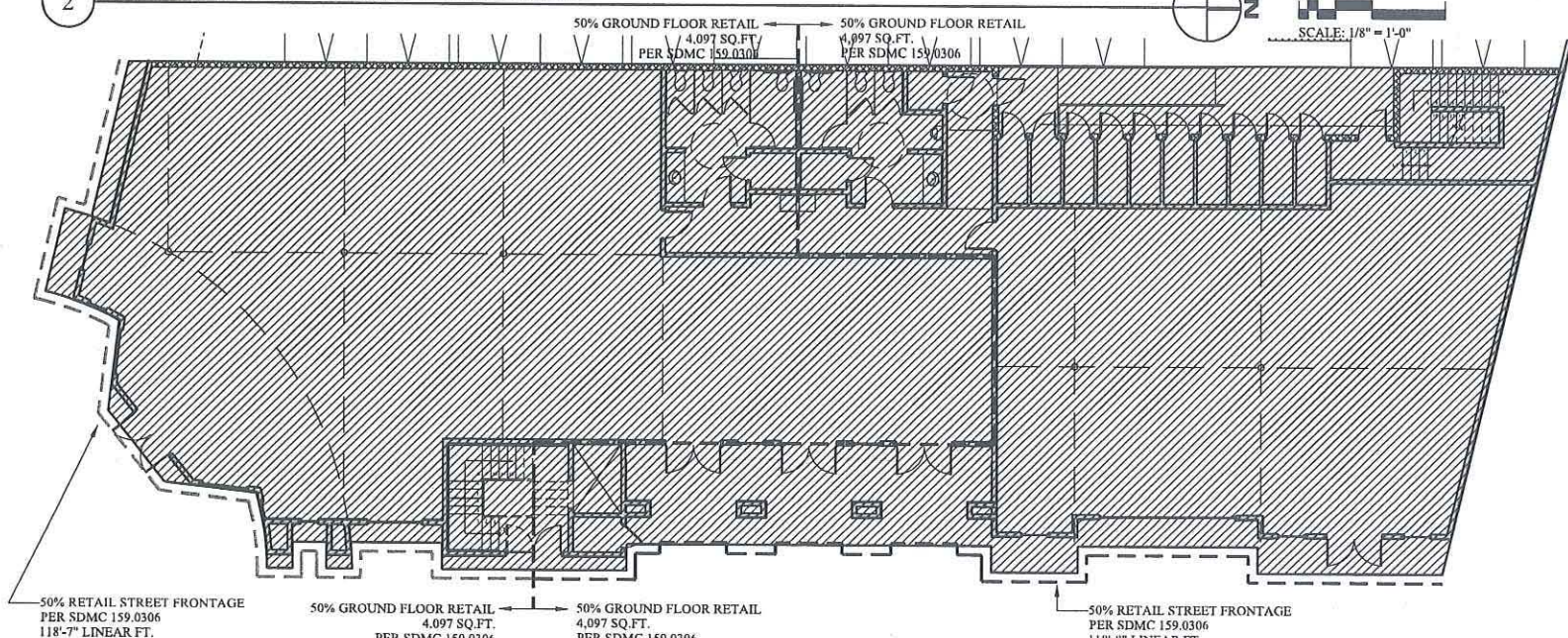
DATE: 01-10-2013

PROPOSED SITE PLAN

A-1.1
SHEET 5 OF 19



2 SECOND FLOOR - GROSS FLOOR AREA



1 FIRST FLOOR - GROSS FLOOR AREA

NOTE:
THE PARKING IS NOT INCLUDED IN THE GFA
BY CODE IS A BASEMENT IN COMPLIANCE WITH
SDMC 113.0261 (d)
GFA CALCULATIONS PER SDMC 113.0234

GFA CALCULATIONS:	
FIRST FLOOR GROSS FLOOR AREA:	7,655 SQ.FT.
SECOND FLOOR GROSS FLOOR AREA:	10,759 SQ.FT.
PROPOSED TOTAL GROSS FLOOR AREA:	18,414 SQ.FT.
ALLOWED TOTAL GROSS FLOOR AREA:	20,904 SQ.FT.

LEGEND	
	AREA TO BE INCLUDED IN GFA
	50% RETAIL STREET FRONTAGE
	50% RETAIL STREET FRONTAGE



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BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

REVISIONS:
10-3-11 Completeness Submittal
07-3-12 Community Presentation
7-19-12 Coastal Resubmittal
08-08-12 Community Planning Revisions

PHASE: PHASE

PROJECT NO. 2011-13

REVIEWED BY: CAM

DRAWN BY: RR, MC, JK

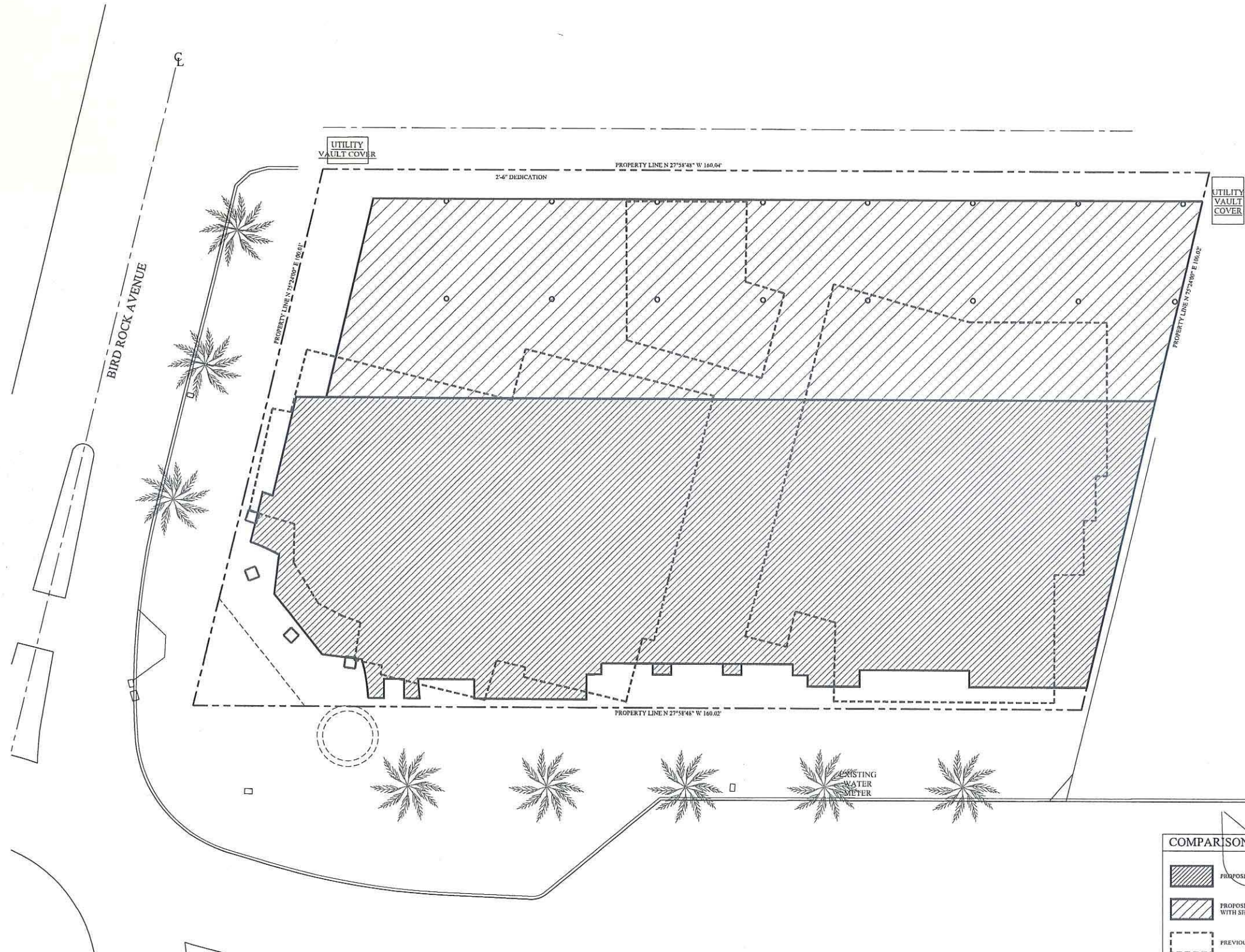
DATE: 01-10-2013

PROPOSED GFA PLAN

A-1.1a
SHEET OF 19

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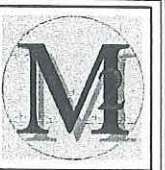
COMPARISON LEGEND

- PROPOSED BUILDING OUTLINE AT FIRST FLOOR
- PROPOSED BUILDING OUTLINE AT COVERED PARKING WITH SECOND FLOOR ABOVE
- PREVIOUSLY APPROVED BUILDING OUTLINE

1
SITE PLAN - BUILDING COMPARISON

 SCALE: 1/8" = 1'-0"

 LA JOLLA BOULEVARD



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BIRD ROCK MIXED USE
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 LA JOLLA, CA 92037

REVISIONS:
 10-2-11 Complete Submittal
 07-3-12 Community Presentation
 7-19-12 Coastal Re-submittal
 08-08-12 Community Planning Revisions

PHASE:
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PROJECT NO. 2011-13

REVIEWED BY: CAM

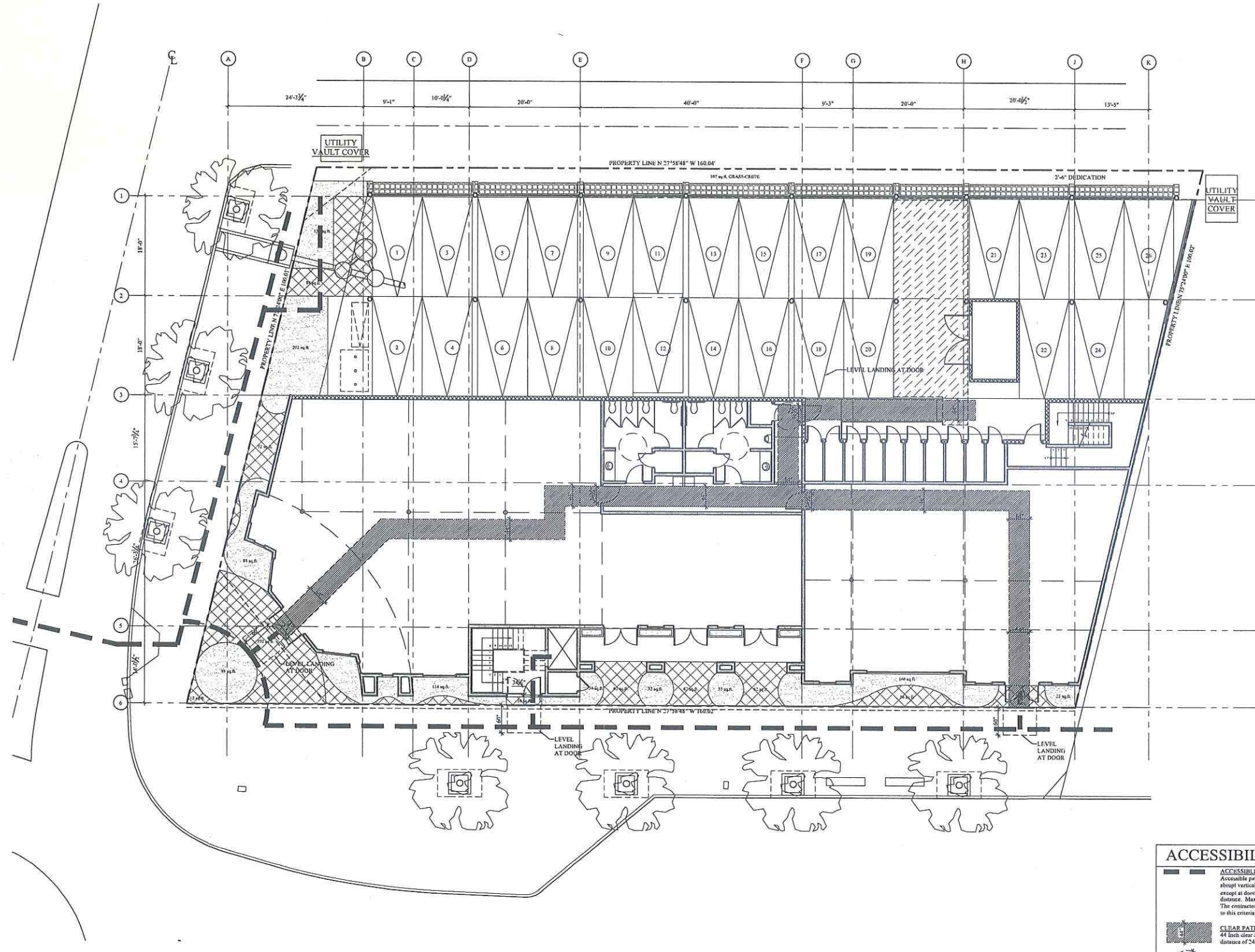
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DATE: 01-10-2013

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SHEET TITLE:
 BUILDING OUTLINE COMPARISON

A-1.1b
 SHEET 7 OF 19







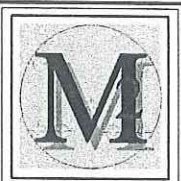
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1 SITE ACCESSIBILITY PLAN


 SCALE: 1/8" = 1'-0"

ACCESSIBILITY LEGEND

- 
ACCESSIBLE PATH OF TRAVEL
 Accessible path of travel as indicated is barrier free access without abrupt vertical changes exceeding 1/4" inches and 1:2 maximum slope except at door thresholds and level changes do not exceed 1/2" vertical distance. Maximum slope of 5% typical. The contractor shall verify that the paths of travel indicated complete to this criteria.
- 
CLEAR PATH
 48 inch clear accessible route, may be reduced to 36 for a distance of 24 inches, this is a clear floor area.
- 
TURNING RADIUS
 60 inch turning radius, clear floor area.
- 
ACCESSIBLE ZONE
 Zone which is 30 inches wide and 48 inches deep, clear floor area.



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BIRD ROCK MIXED USE
 5702 LA JOLLA BLVD
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REVISIONS
 10-3-11 Completeness Submittal
 07-3-12 Community Presentation
 7-15-12 Coastal Resubmittal
 08-01-12 Community Planning Revisions

PHASE
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PROJECT NO. 2011-13

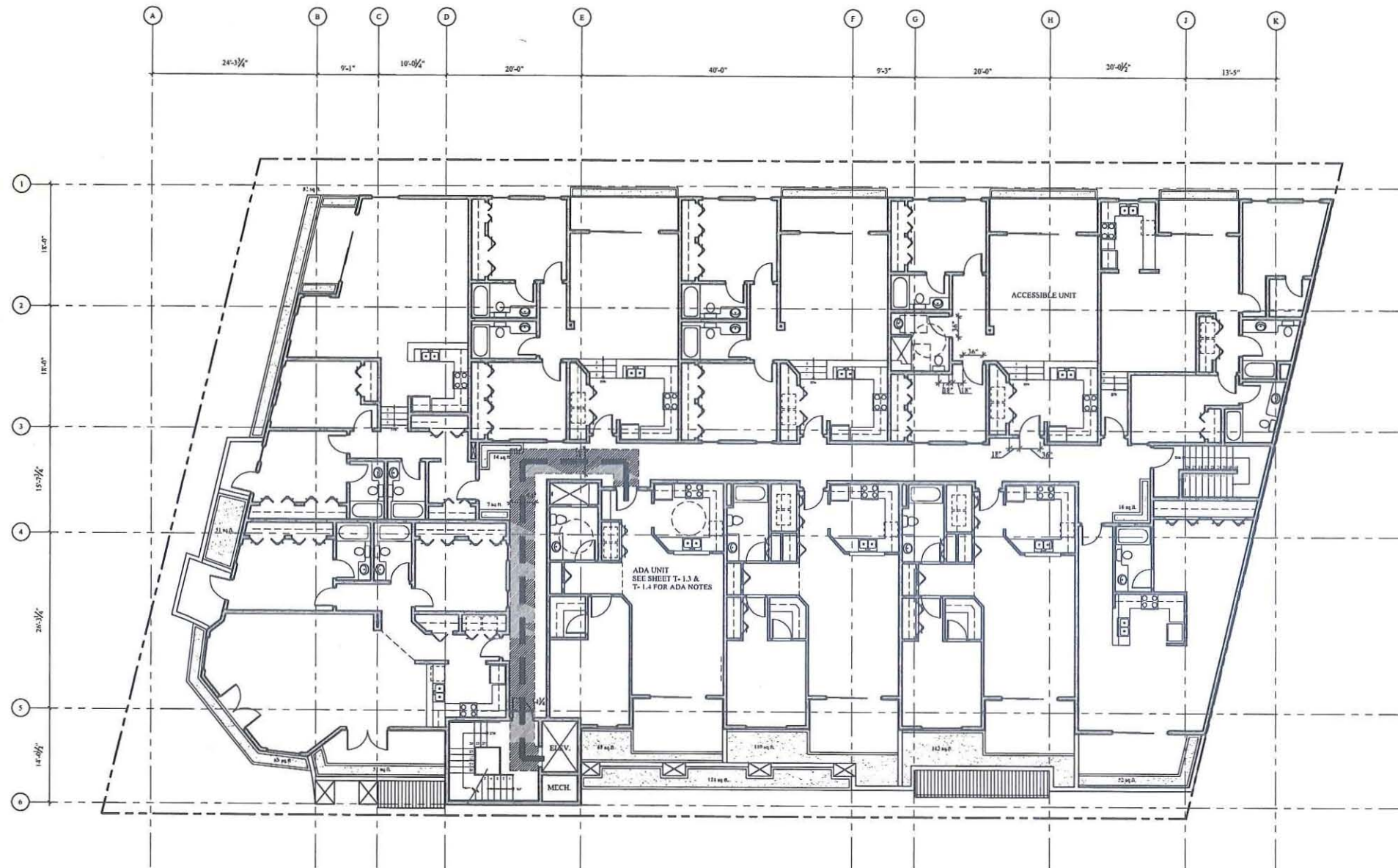
REVIEWED BY CAM

DRAWN BY RR, MC, JK

DATE 01-10-2013

SHEET TITLE
 SITE ACCESSIBILITY PLAN

A-1.2
 SHEET 8 OF 19



1 SECOND FLOOR ACCESSIBILITY PLAN



0 4' 8' 16'
SCALE: 1/8" = 1'-0"

ACCESSIBILITY LEGEND

ACCESSIBLE PATH OF TRAVEL
Accessible path of travel as indicated in hatched free areas without abrupt vertical changes exceeding 1/4" inches and 1:2 maximum slope except at door thresholds and level changes do not exceed 1/2" vertical distance. Maximum cross slope of 2% typical. The contractor shall verify that the paths of travel indicated complete in this criteria.

CLEAR PATH
48 inch clear accessible route, may be reduced to 36 for a distance of 24 inches. This is a clear floor area.

TURNING RADIUS
60 inch turning radius, clear floor area.

ACCESSIBLE ZONE
Zone which is 30 inches wide and 48 inches deep, clear floor area.

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BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

REVISIONS:
10-2-11 Completion Submittal
07-2-12 Community Presentation
7-19-12 Coastal Reapproval
08-08-12 Community Planning Revisions



PHASE: PHASE

PROJECT NO. 2011-13

REVIEWED BY CAM

DRAWN BY RR, MC, JK

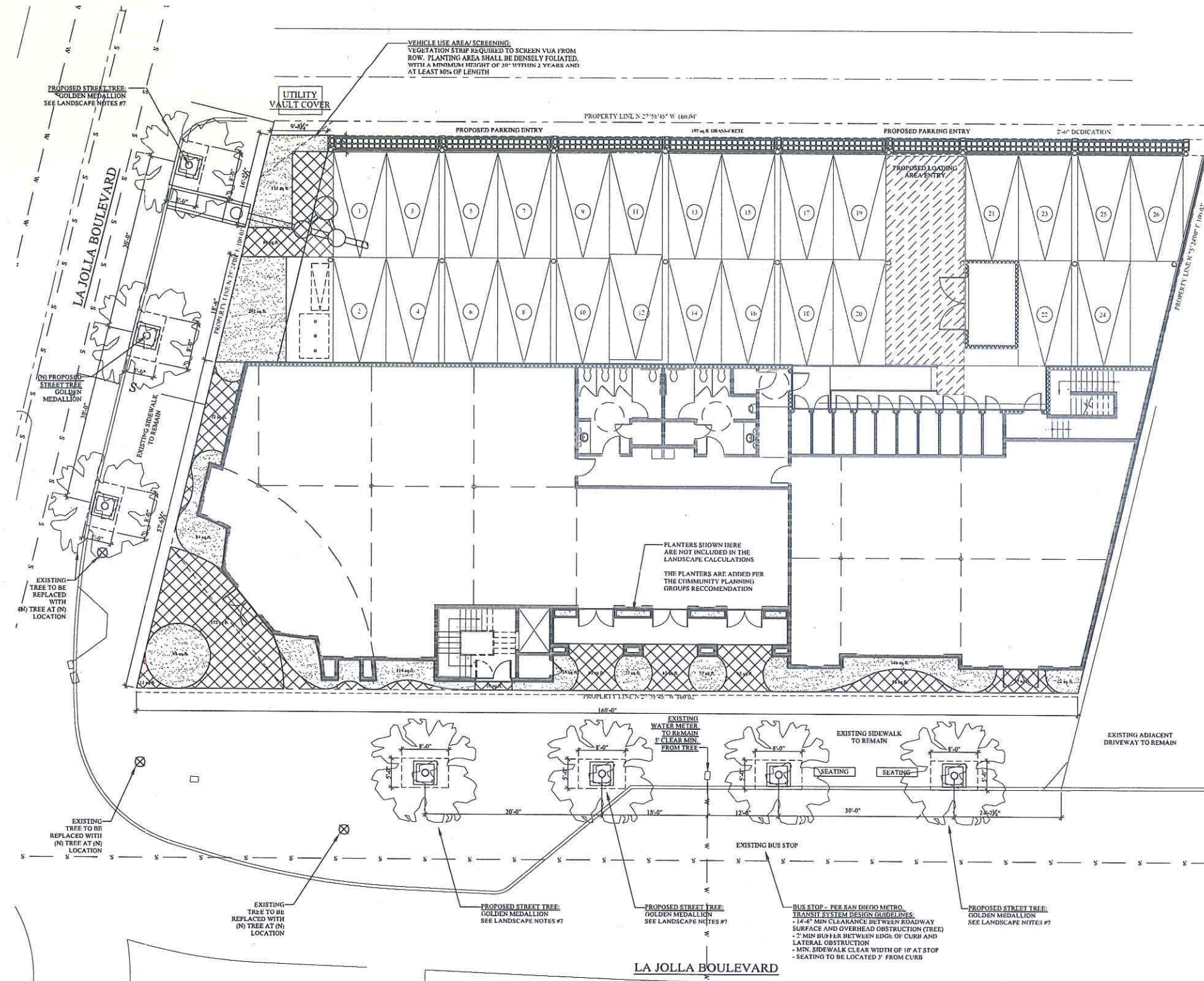
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SECOND FLOOR ACCESSIBILITY PLAN

A-1.3

SHEET 9 OF 19



1 PROPOSED GROUND LEVEL LANDSCAPE PLAN

SCALE: 1/8" = 1'-0"

LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS INCLUDED IN CALCULATING REQUIRED LANDSCAPE SHALL BE OPEN TO THE SKY AND SHALL CONFORM TO LIDPO - SECTION #159.0403.
2. TREES SHALL BE POSITIONED AND KEPT MAINTAINED SO THAT ANY BRANCHES THAT EXTEND OUT OVER DEDICATED STREET RIGHTS-OF-WAY HAVE A MINIMUM OF 14 FEET 6 INCHES OF CLEARANCE ABOVE THE SURFACE OF THE STREET.
3. ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.
4. MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNAL STOP SIGN- 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (SEWER-10 FEET)
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.) - 10 FEET
DRIVEWAYS - 10 FEET
INTERSECTIONS INTERSECTING CURB LINES OF TWO STREETS - 25 FEET
5. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, LA JOLLA PLANNED DISTRICT ORDINANCE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
6. MAINTENANCE - ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOA. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
7. STREET TREES ARE REQUIRED WITHIN THE PUBLIC RIGHT OF WAY AT A RATE OF ONE CANOPY TREE PER 30 LINEAR FEET OF PROPERTY FRONTAGE. ALL TREES SHALL BE A MINIMUM 48 INCH BOX SIZE, WITH 40 SQ. FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA (142.0405(A)(1)-LDC).

LANDSCAPE AREAS:

LANDSCAPE REQUIREMENTS: LIDPO ZONE 4 OPTION A
PROVIDE A LANDSCAPED AREA EQUAL TO 25 PERCENT OF THE TOTAL LOT AREA. THE LANDSCAPED AREA MAY BE PROVIDED AT THE GROUND LEVEL OR ON UPPER LEVEL BALCONIES, DECKS, AND ROOFS, WITH PERMANENTLY AFFIXED PLANTER BOXES OR ANY COMBINATION THEREOF. A MINIMUM OF 40 PERCENT OF THE LANDSCAPED AREA SHALL BE VEGETATED.

LOT AREA (MINUS DEDICATION AREAS AT ALLEY):	15,172 S.F.
TOTAL LANDSCAPE AREA REQUIRED (25% LOT AREA):	3,796 S.F.
TOTAL VEGETATED AREA REQUIRED (40% LANDSCAPED AREA):	1,518 S.F.
TOTAL LANDSCAPE AREA PROVIDED (25% LOT AREA):	3,913 S.F.
TOTAL VEGETATED AREA PROVIDED (76.03% LANDSCAPED AREA):	2,975 S.F.
HARDSCAPE AREA AT FIRST LEVEL:	
VEGETATED AREA AT FIRST LEVEL:	1005 S.F.
VEGETATED AREA AT SECOND LEVEL:	756 S.F.
VEGETATED AREA AT ROOF LEVEL:	1,321 S.F.
TOTAL:	3,913 S.F.

PLANTERS AT THE SECOND FLOOR BALCONIES FACING THE ALLEY - ARE NOT INCLUDED IN LANDSCAPE CALCULATIONS

PLANTER BOXES ADDED PER THE COMMUNITY PLANNING GROUP'S RECOMMENDATION.

VEGETATED AREA AT SECOND LEVEL ALLEY FACING BALCONIES: 50 SQ. FT.

SITE PLAN LEGEND

- PROPOSED STREET TREE - GOLDEN MEDALLION (48 BOX SIZE & 40 SQ. FT. ROOT ZONE)
- PROPOSED GRASS-CRETE
- PROPOSED HARDSCAPE AREA
- PROPOSED LANDSCAPE AREA/ GROUND COVER & SHRUBS
- PROPOSED PHOTOVOLTAIC ROOF
- PROPOSED BUILDING FOOTPRINT
- PROPERTY LINE

PLANT LEGEND

THE FOLLOWING PLANTS ARE PROPOSED TO BE USED WITH THE VEGETATED LANDSCAPE AREAS. PLANT SPECIES/TYPES ARE SIMILAR TO THE PREVIOUSLY APPROVED PROJECT.

- CALLISTEMON "LITTLE JOHN" DWARF BOTTLEBRUSH
- BOUTANVILLEA "SAN DIEGO RED"
- PHOENIX ROSEBUSH PYGMY DATE PALM
- PHORMIUM CULTIVARS NEW ZEALAND FLAX
- PITT. VAR. VARIEGATED MOCK ORANGE
- STRELITZIA NICOLAI GIANT BIRD OF PARADISE



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BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

10-3-11 Competencies Submittal
07-3-12 Community Presentation
7-19-12 Coastal Re-submittal
08-08-12 Community Planning Revision

PHASE
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PROJECT NO. 2011-13

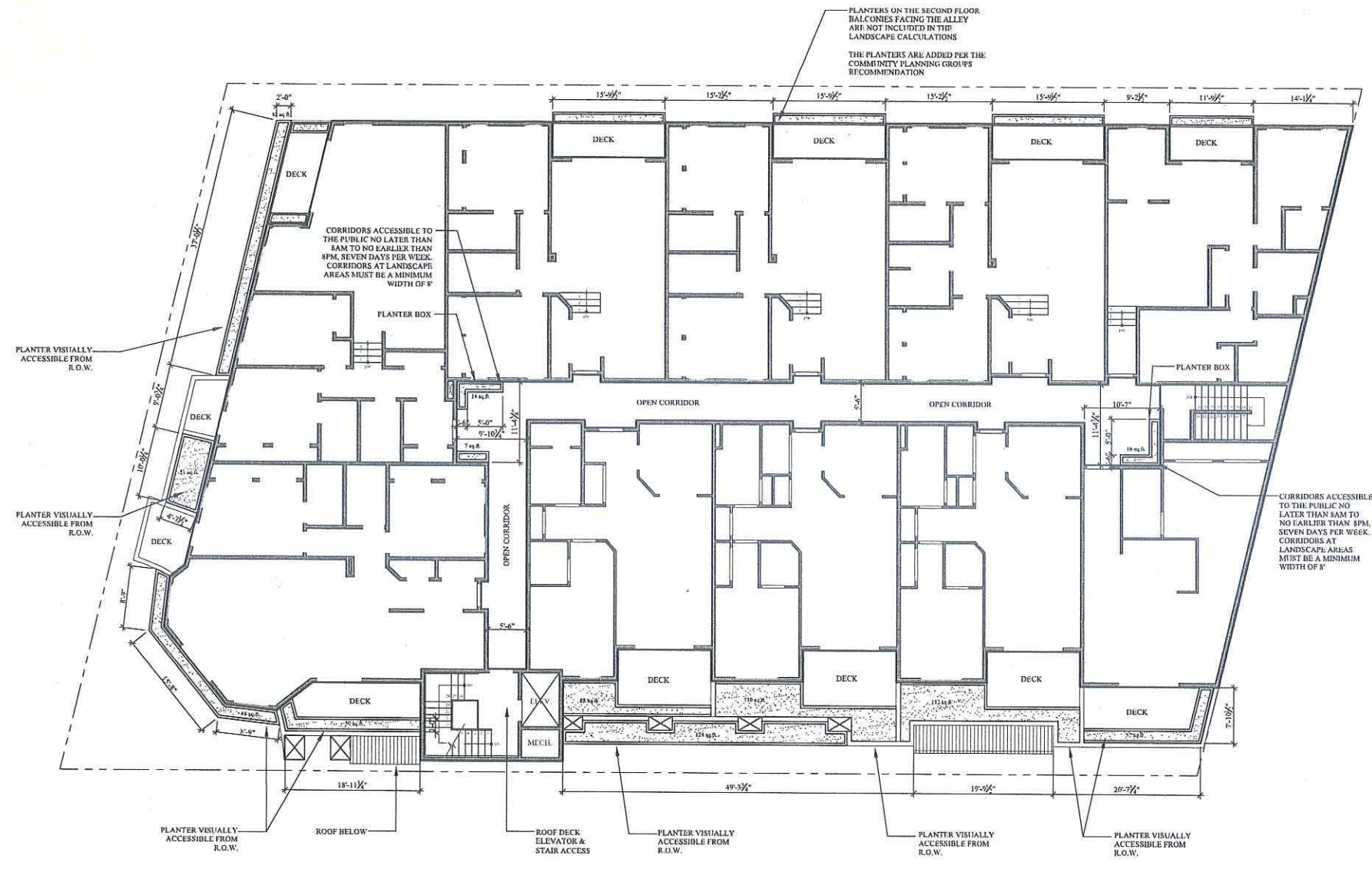
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DRAWN BY RR, MC, JK

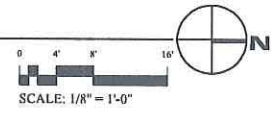
DATE 01-10-2013

PROJECT TITLE
PROPOSED GROUND LEVEL LANDSCAPE PLAN

A-1.4
SHEET 10 OF 19



1 PROPOSED SECOND FLOOR LANDSCAPE PLAN



LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS INCLUDED IN CALCULATING REQUIRED LANDSCAPE SHALL BE OPEN TO THE SKY AND SHALL CONFORM TO LDPD - SECTION 159.0403.
2. TREES SHALL BE POSITIONED AND KEPT MAINTAINED SO THAT ANY BRANCHES THAT EXTEND OUT OVER DEDICATED STREET RIGHTS-OF WAY HAVE A MINIMUM OF 14 FEET 6 INCHES OF CLEARANCE ABOVE THE SURFACE OF THE STREET.
3. ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.
4. MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNAL STOP SIGN - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (SEWER - 10 FEET)
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.) - 10 FEET
DRIVEWAYS - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
5. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, LA JOLLA PLANNED DISTRICT ORDINANCE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
6. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOA. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
7. STREET TREES ARE REQUIRED WITHIN THE PUBLIC RIGHT OF WAY AT A RATE OF ONE CANOPY TREE PER 30 LINEAR FEET OF PROPERTY FRONTAGE. ALL TREES SHALL BE A MINIMUM 48 INCH BOX SIZE, WITH 40 SQ. FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA [142.0409(A)(1)-LDC].

LANDSCAPE AREAS:

LANDSCAPE REQUIREMENTS: LDPD ZONE 4 OPTION A

PROVIDE A LANDSCAPED AREA EQUAL TO 25 PERCENT OF THE TOTAL LOT AREA. THE LANDSCAPED AREA MAY BE PROVIDED AT THE GROUND LEVEL OR ON UPPER LEVEL BALCONIES, DECKS, AND ROOFS, WITH PERMANENTLY AFFIXED PLANTER BOXES OR ANY COMBINATION THEREOF. A MINIMUM OF 40 PERCENT OF THE LANDSCAPED AREA SHALL BE VEGETATED.

LOT AREA (MINUS DEDICATION AREAS AT ALLEY):	15,172 S.F.
TOTAL LANDSCAPE AREA REQUIRED (25% LOT AREA):	3,796 S.F.
TOTAL VEGETATED AREA REQUIRED (40% LANDSCAPED AREA):	1,518 S.F.
TOTAL LANDSCAPE AREA PROVIDED (25.8% LOT AREA):	3,913 S.F.
TOTAL VEGETATED AREA PROVIDED (76.63% LANDSCAPED AREA):	2,975 S.F.

HARDSCAPE AREA AT FIRST LEVEL:	831 S.F.
VEGETATED AREA AT FIRST LEVEL:	1005 S.F.
VEGETATED AREA AT SECOND LEVEL:	756 S.F.
VEGETATED AREA AT ROOF LEVEL:	1,321 S.F.
TOTAL:	3,913 S.F.

PLANTERS AT THE SECOND FLOOR BALCONIES FACING THE ALLEY ARE NOT INCLUDED IN LANDSCAPE CALCULATIONS

PLANTER BOXES ADDED PER THE COMMUNITY PLANNING GROUP'S RECOMMENDATION.

VEGETATED AREA AT SECOND LEVEL ALLEY FACING BALCONIES: 50 SQ.FT.

SITE PLAN LEGEND

- PROPOSED STREET TREE - GOLDEN MEDALLION (48 BOX SIZE & 40 SQ. FT. ROOT ZONE)
- PROPOSED GRASS-CRETE
- PROPOSED HARDSCAPE AREA
- PROPOSED LANDSCAPE AREA/ GROUND COVER & SHRUBS
- PROPOSED PHOTOVOLTAIC ROOF
- PROPOSED BUILDING FOOTPRINT
- PROPERTY LINE

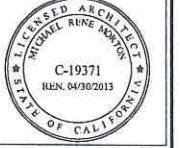
PLANT LEGEND

THE FOLLOWING PLANTS ARE PROPOSED TO BE USED WITH THE VEGETATED LANDSCAPE AREAS. PLANT SPECIES/TYPES ARE SIMILAR TO THE PREVIOUSLY APPROVED PROJECT.

- CALLISTEMON "LITTLE JOHN" DWARF BOTTLEBRUSH
- BOVICAINVILLE "SAN DIEGO RED"
- PHOENIX ROSEBUSH PPMV DATE PALM
- PHORBIUM CULTIVARS NEW ZEALAND FLAX
- PITT. TOB. VAR. VARIEGATED MOCK ORANGE
- STRELITZIA NICOLAI GIANT BIRD OF PARADISE



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Michael Morton AIA
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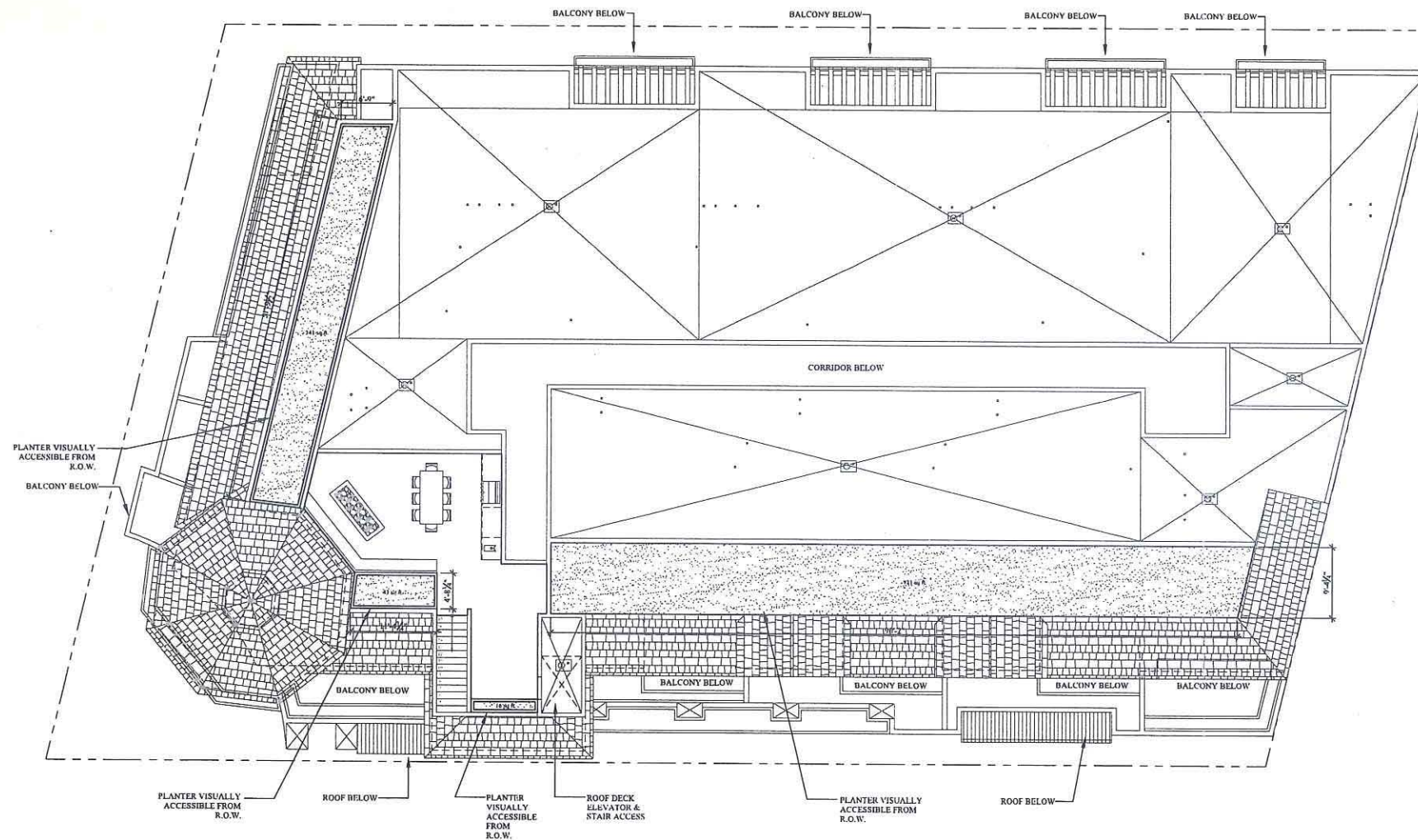
BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

APPROVED:
10-3-11 Completeness Submittal
07-12 Community Presentation
7-15-12 Coastal Reassessment
08-08-12 Community Planning Revisions

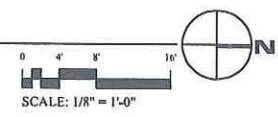
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PROJECT NO 2011-13
REVIEWED BY CAM
DRAWN BY RR, MC, JK
DATE 01-10-2013

SHEET TITLE
PROPOSED SECOND FLOOR LANDSCAPE PLAN
A-1.5
SHEET 11 OF 19

© 2011 Project 2011-13, Bird Rock Mixed Use, Landscape Architectural Design Sheet A-1.5, 1/10/13, 10:00 AM, 1/10/13, 10:00 AM



1 PROPOSED ROOF LANDSCAPE PLAN



LANDSCAPE NOTES

1. ALL LANDSCAPE AREAS INCLUDED IN CALCULATING REQUIRED LANDSCAPE SHALL BE OPEN TO THE SKY AND SHALL CONFORM TO LUPDO - SECTION §159.0403.
2. TREES SHALL BE POSITIONED AND KEPT MAINTAINED SO THAT ANY BRANCHES THAT EXTEND OUT OVER DEDICATED STREET RIGHTS-OF WAY HAVE A MINIMUM OF 14 FEET 6 INCHES OF CLEARANCE ABOVE THE SURFACE OF THE STREET.
3. ALL CANOPY TREES SHALL BE PROVIDED WITH 40 SQ. FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA. THE MINIMUM DIMENSION (WIDTH) OF THIS AREA SHALL BE 5 FEET.
4. MINIMUM TREE SEPARATION DISTANCE:
TRAFFIC SIGNAL STOP SIGN - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET (SEWER-10 FEET)
ABOVE GROUND UTILITY STRUCTURES (TRANSFORMERS, HYDRANTS, UTILITY POLES, ETC.) - 10 FEET
DRIVEWAYS - 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
5. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS, LA JOLLA PLANNED DISTRICT ORDINANCE REGULATIONS, THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
6. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE HOA. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
7. STREET TREES ARE REQUIRED WITHIN THE PUBLIC RIGHT OF WAY AT A RATE OF ONE CANOPY TREE PER 30 LINEAR FEET OF PROPERTY FRONTAGE. ALL TREES SHALL BE A MINIMUM 48 INCH BOX SIZE, WITH 40 SQ. FEET ROOT ZONE AND PLANTED IN AN AIR AND WATER PERMEABLE LANDSCAPE AREA [142.0409(A)(1)-LUPDO].

LANDSCAPE AREAS:

LANDSCAPE REQUIREMENTS: LUPDO ZONE 4 OPTION A
 PROVIDE A LANDSCAPED AREA EQUAL TO 25 PERCENT OF THE TOTAL LOT AREA. THE LANDSCAPED AREA MAY BE PROVIDED AT THE GROUND LEVEL OR ON UPPER LEVEL, BALCONIES, DECKS, AND ROOFS, WITH PERMANENTLY AFFIXED PLANTER BOXES OR ANY COMBINATION THEREOF. A MINIMUM OF 40 PERCENT OF THE LANDSCAPED AREA SHALL BE VEGETATED.

LOT AREA (MINUS DEDICATION AREAS AT ALLEY):	15,172 S.F.
TOTAL LANDSCAPE AREA REQUIRED (25% LOT AREA):	3,796 S.F.
TOTAL VEGETATED AREA REQUIRED (40% LANDSCAPED AREA):	1,518 S.F.
TOTAL LANDSCAPE AREA PROVIDED (25.8% LOT AREA):	3,913 S.F.
TOTAL VEGETATED AREA PROVIDED (76.03% LANDSCAPED AREA):	2,973 S.F.

HARDSCAPE AREA AT FIRST LEVEL:	831 S.F.
VEGETATED AREA AT FIRST LEVEL:	1005 S.F.
VEGETATED AREA AT SECOND LEVEL:	756 S.F.
VEGETATED AREA AT ROOF LEVEL:	1,321 S.F.
TOTAL:	3,913 S.F.

PLANTERS AT THIS SECOND FLOOR BALCONIES FACING THE ALLEY - ARE NOT INCLUDED IN LANDSCAPE CALCULATIONS
 PLANTER BOXES ADDED PER THE COMMUNITY PLANNING GROUP'S RECOMMENDATION

VEGETATED AREA AT SECOND LEVEL ALLEY FACING BALCONIES: 50 SQ. FT.

SITE PLAN LEGEND

- PROPOSED STREET TREE - GOLDEN MEDALLION (48 BOX SIZE & 40 SQ. FT. ROOT ZONE)
- PROPOSED GRASS-CRETE
- PROPOSED HARDSCAPE AREA
- PROPOSED LANDSCAPE AREA/ GROUND COVER & SIURUS
- PROPOSED PHOTOVOLTAIC ROOF
- PROPOSED BUILDING FOOTPRINT
- PROPERTY LINE

PLANT LEGEND

THE FOLLOWING PLANTS ARE PROPOSED TO BE USED WITH THE VEGETATED LANDSCAPE AREAS. PLANT SPECIES/ TYPES ARE SIMILAR TO THE PREVIOUSLY APPROVED PROJECT.

- CALLISTEMON "LITTLE JOHN" DWARF BOTTLEBRUSH
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- PHORMIUM CULTIVARS NEW ZEALAND FLAX
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 5702 LA JOLLA BLVD
 LA JOLLA, CA 92037

10-3-11 **Completeness Submittal**
 07-3-12 **Community Presentation**
 7-15-12 **Coastal Re-submittal**
 08-08-12 **Community Planning Revision**

PHASE
PHASE

PROJECT NO. 2011-13

REVIEWED BY CAM

DRAWN BY RR, MC, JK

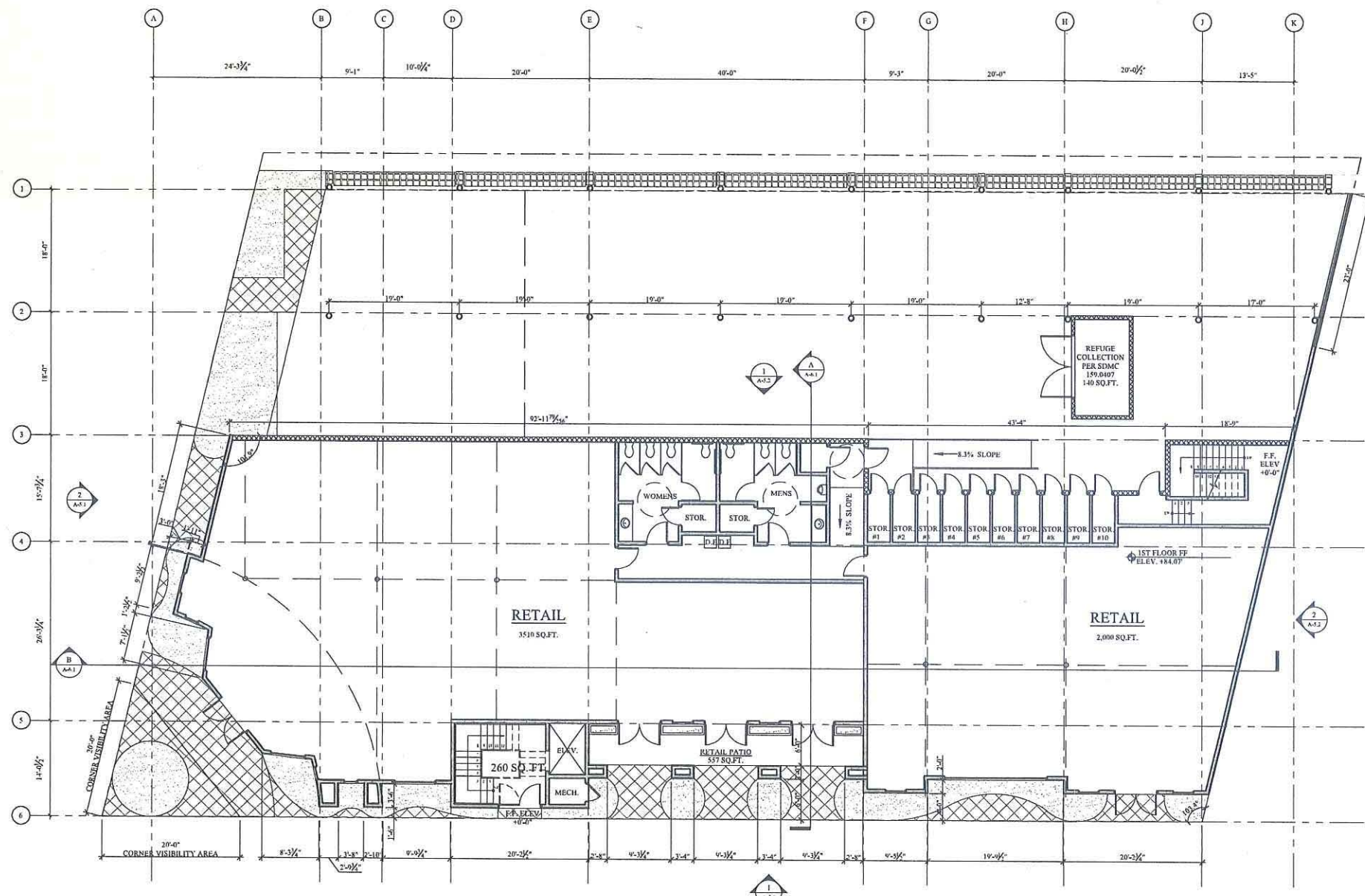
DATE 01-10-2013

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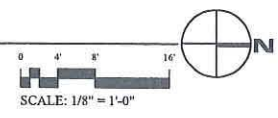
SHEET TITLE
PROPOSED ROOF LANDSCAPE PLAN

A-1.6
 SHEET 12 OF 19

1/2011 Update 2011-13 Bird Rock Mixed Use Coastal Re-submittal Drawing Sheet A-1.6 (LUPDO) Rev. 01-10-2013



1 PROPOSED FIRST FLOOR PLAN

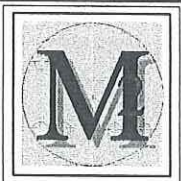


FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1
- D. For Interior Finish See Schedule On Sheet A-8.2
- E. For lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For demolition, see sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet R.2
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas
R-13 Batt Insulation at all accessible interior walls for sound control.
R-30 Batt Insulation at Ceiling & Roof Areas.
R-4.5 Insulation Wrap On All New Hot Water Piping.
R-4.5 Insulation Wrap On All New Supply Ducts.
- I. HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3.
- J. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- L. SMOKE DETECTORS: Shall be installed in each bedroom and on access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3.
- M. WATER HEATER: New Aquastar 240fing instant gas water heater, .81 EF (or eq) typ of 1, TANKLESS
- N. HVAC: New Rheem RGPJ10NAMER, 80,000 BTU gas FAU, .80 AFUE (or eq) typ of 1

FLOOR PLAN LEGEND

- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL FINISH INTERIOR W/ 5" GYP. BD. USE GREENBOARD OR TILE BACKER BOARD AT RESTROOMS.
 - NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
 - ONE HOUR CONSTRUCTION
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE DETAIL S/A10.3.
 - NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
 - NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1
 - SMOKE DETECTOR - PERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN FIELD FOR EXISTING CONDITIONS
 - FLOOR DRAIN (FD) SLOPE 1/8" PER 1'-0"
 - FLUSH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
 - PROPOSED EXTERIOR LIGHTING
 - NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
 - PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD/FD/ST. WALL.
INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.
FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.



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BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

REVISIONS:
10-3-11 Completeness Submittal
07-3-12 Community Presentation
7-15-12 Coastal Resubmittal
08-08-12 Community Planning Revisions

PHASE:
PHASE

PROJECT NO: 2011-13

REVIEWED BY: CAM

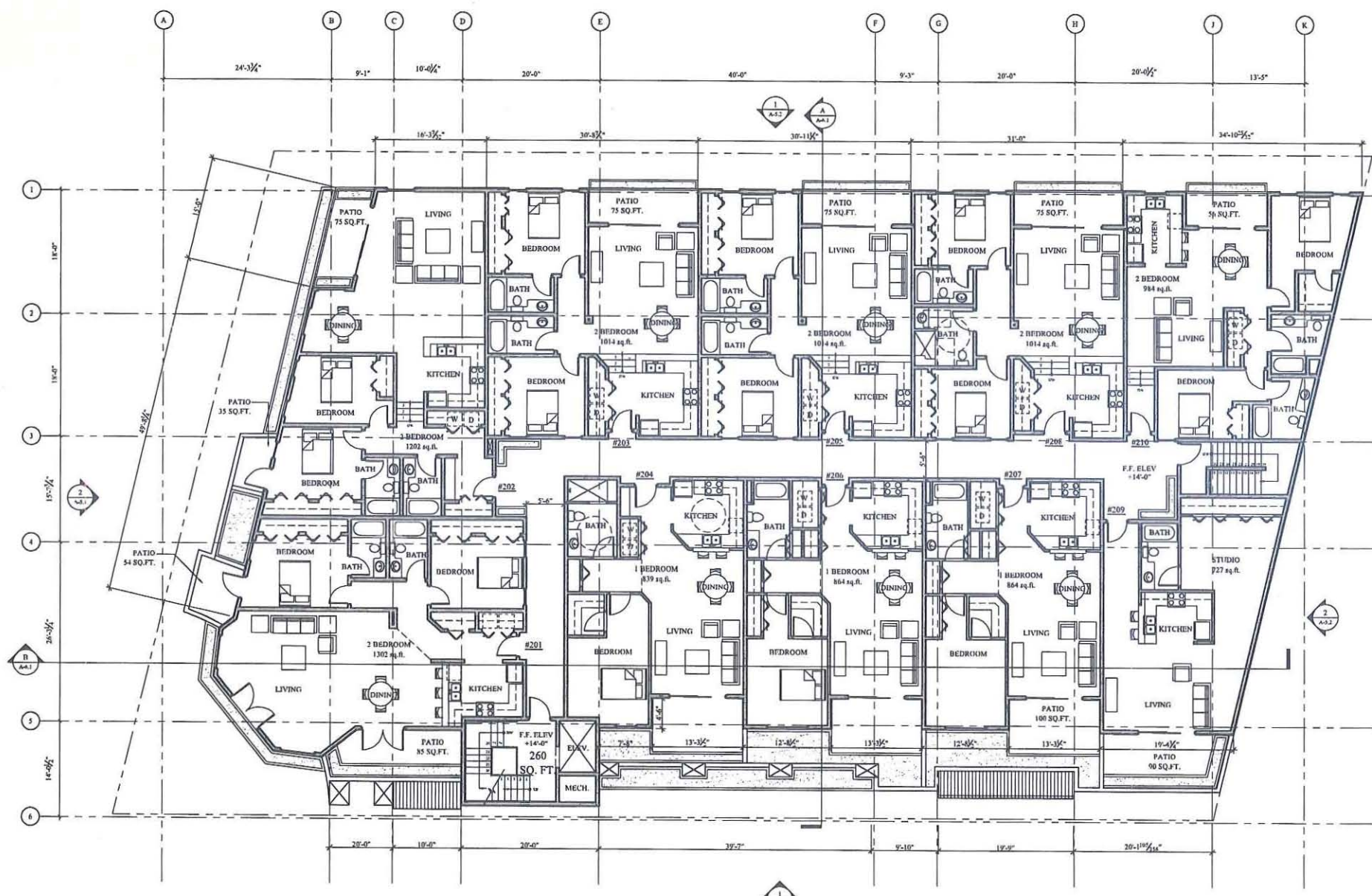
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DATE: 01-10-2013

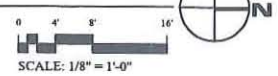
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SHEET TITLE: PROPOSED GROUND FLOOR PLAN
A-2.1
SHEET OF 19

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1 PROPOSED SECOND FLOOR PLAN



FLOOR PLAN NOTES

- A. All Dimensions Shall Be Field Verified. Any discrepancies affecting project layout shall be brought to the attention of the Architect and the issues resolved prior to proceeding with the work in question.
- B. Refer to Site Plan for Site and Utility Information.
- C. For Door and Windows See Schedules On Sheet A-8.1
- D. For Interior Finish See Schedule On Sheet A-8.2
- E. For Lighting/RCP see A-3.1 to A-3.2, for Electrical See E-1.1 to E-1.4
- F. For demolition, see sheets A-2.1 & A-2.2
- G. For Plumbing, Appliance and other Fixtures See Schedule on Sheet 8.2
- H. INSULATION: R-13 Batt Insulation At All New Exterior 2X4 Walls.
R-19 Batt Insulation at all new 2X6 Exterior Walls and Raised Floor Areas
R-13 Batt Insulation at all accessible interior walls for sound control.
R-30 Batt Insulation at Ceiling & Roof Areas.
R-4.5 Insulation Wrap On All New Hot Water Piping.
R-4.5 Insulation Wrap On All New Supply Ducts.
HVAC DUCTS: See Mechanical Notes on Sheets M-1.1 to M-1.3
- I. HVAC Equipment: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- J. WATER HEATER: See Equipment on ME-2 and Title-24 calculations on Sheet T-1.2
- K. SMOKE DETECTORS: Shall be installed in each bedroom on an access point to each sleeping area and on each story and basements. Detector shall have an alarm audible in all sleeping areas of the unit. Section 310.9.1.2. Unit shall be permanently wired and equipped with battery backup. C.B.C. Sec. 310.9.1.3
- M. WATER HEATER: New Aquastar 240fmg instant gas water heater, .81 EF (or eq) typ of 1, TANKLESS
- N. HVAC: New Rheem RGP110NAMESR, 80,000 BTU gas FAN, .80 AFUE (or eq) typ of 1

FLOOR PLAN LEGEND

- NEW 2 X 4 STUD WALL @ 16" O.C. W/ PLYWOOD SHEATHING PER STRUCTURAL FINISH INTERIOR W/ 5/8" GYP. BD. USE GREENBOARD OR TILE BACKER BOARD AT RESTROOMS.
- NEW 2 X 6 STUD WALL @ 16" O.C. FINISH PER INTERIOR FINISH SCHEDULE
- ONE HOUR CONSTRUCTION
2 X WOOD STUD @ 16" O.C. W/ 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE DETAIL S/A10.3.
- NEW DOORS AND DOOR SYMBOL, SEE SCHEDULE ON A8.1
- NEW WINDOW AND WINDOW SYMBOL, SEE SCHEDULE ON A8.1
- SMOKE DETECTOR - FERM. WIRED TO BUILDING POWER W/ BATTERY BACK-UP, VERIFY IN-FIELD FOR EXISTING CONDITIONS
- FLOOR DRAIN (FD) SLOPE 1/4" PER 1'-0"
- FINISH WASHER AND DRYER CONNECTION PER OX BOX SPECIFICATIONS
- PROPOSED EXTERIOR LIGHTING
- NEW DOOR, INSTALLED 4 1/2" TRADITIONAL JAMB ALLOWANCES FROM ADJACENT WALL UNLESS OTHERWISE NOTED
- PROPOSED STRUCTURE DIMENSION
- EXTERIOR WALL DIMENSIONS TO FACE OF STUD/PTCN. WALL
INTERIOR WALL DIMENSIONS TO CENTER LINE OF STUD.
FOR ADDITIONAL PROJECT INFORMATION SEE ADDITIONAL SHEETS.

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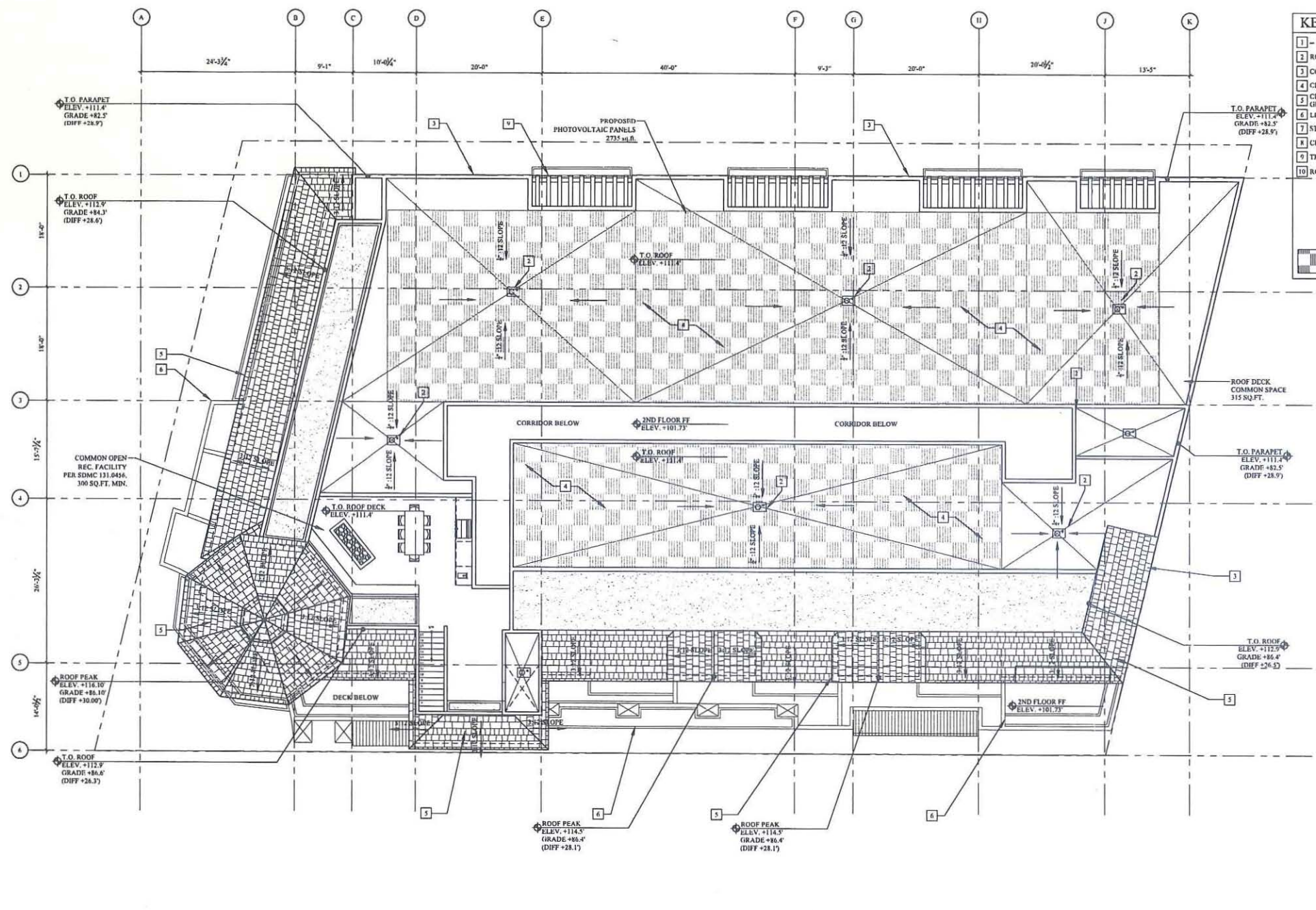
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BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

REVISED	10-3-11	Complete Submittal
	07-3-12	Community Presentation
	7-15-12	Final Resubmittal
	08-08-12	Community Planning Revisions
PHASE	PHASE	
PROJECT NO.	2011-13	
REVIEWED BY	CAM	
DRAWN BY	RR, MC, JK	
DATE	01-10-2013	

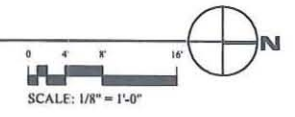
ASSET TITLE
PROPOSED SECOND FLOOR PLAN
A-2.2
SHEET 14 OF 19

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KEYNOTE LEGEND	
1	ROOF DRAIN
2	COPPER PARAPET COPING
3	CLASS 'A' ROOFING - (BUILT-UP/TPO/PVC/EPDM)
4	CLASS 'A' ROOFING - CONCRETE SHINGLE ROOFING - CHARCOAL GRAY
5	LINE OF BALCONY OR ROOF AT LOWER LEVEL BELOW
6	STACK VENT
7	CRICKET
8	TRELLIS BELOW
9	ROOFTOP A/C UNIT ON CURB
 PROPOSED PHOTO VOLTAICS	

1 PROPOSED ROOF PLAN



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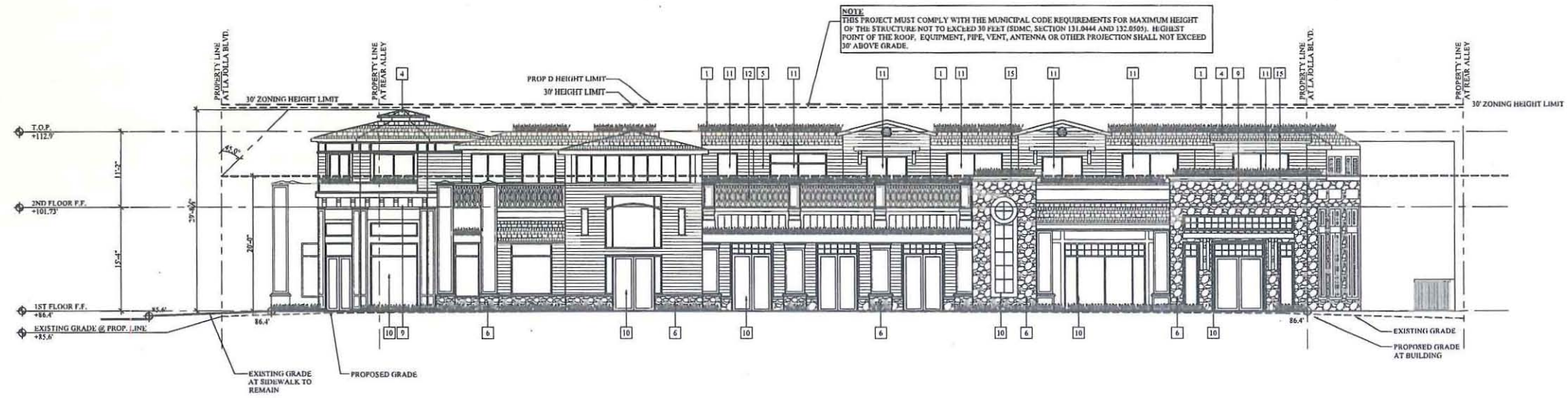
BIRD ROCK MIXED USE
 5702 LA JOLLA BLVD
 LA JOLLA, CA 92037

REV	DATE	DESCRIPTION
10-3-11	Completed	Submittal
07-3-12	Community Presentation	
7-19-12	Coastal Resubmittal	
08-08-12	Community Planning Revisions	

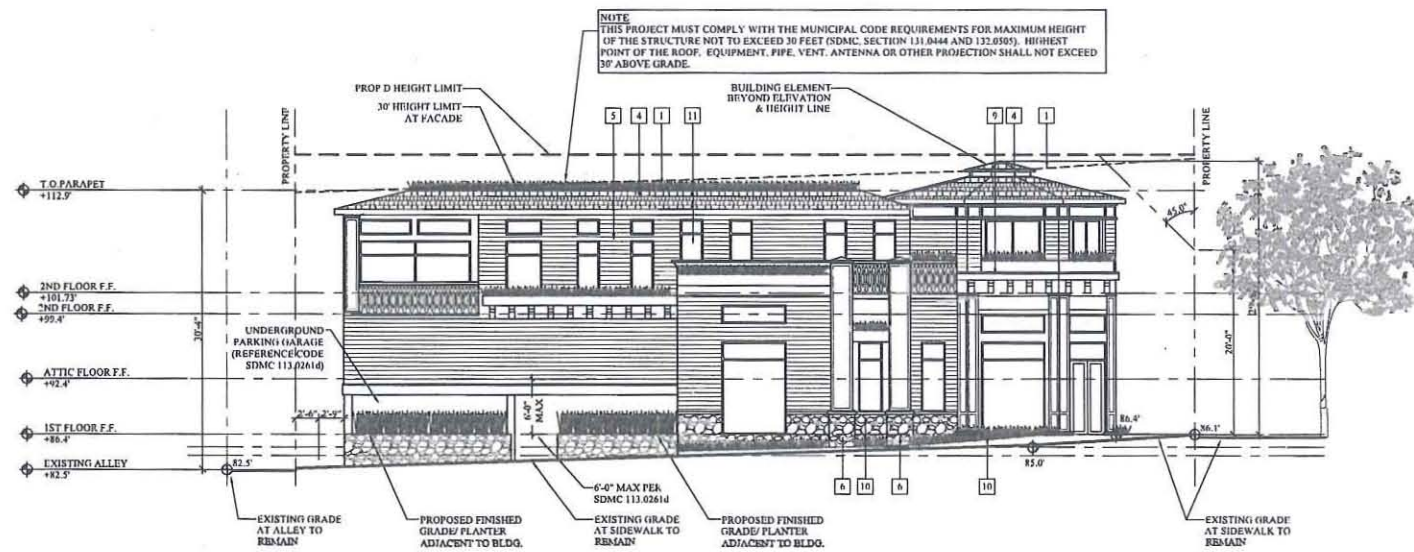
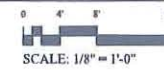
PHASE	PHASE
PROJECT NO.	2011-13
REVIEWED BY	CAM
DRAWN BY	RR, MC, JK
DATE	01-10-2013

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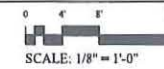
SHEET TITLE: PROPOSED ROOF PLAN
A-4.1
 SHEET 15 OF 19



1 EAST ELEVATION



2 SOUTH ELEVATION



NOTE: SURFACE MATERIALS SHALL DEMONSTRATE COMPLIANCE WITH SDMC 159.0308 METAL ACCENT ROOFS ARE TO BE NON REFLECTIVE AND USED AT A MINIMUM

KEYNOTE LEGEND

- 1 PROFILE OF PREVIOUS PROJECT
- 2 LINE OF EXISTING GRADE
- 3 LINE OF PROPOSED GRADE
- 4 CONCRETE SHINGLE ROOFING - CHARCOAL GRAY
- 5 SIDING FINISH
- 6 SIMULATED STONE VENEER
- 7 WOOD PANELING
- 8
- 9 TENANT SIGN LOCATION
- 10 ALUMINUM STOREFRONT SYSTEM
- 11 OPERABLE METAL FRAMED WINDOW
- 12 DECORATIVE WOOD RAILING PANEL
- 13 GARAGE GATE
- 14 SUPPORT COLUMN
- 15 FOAM CORNICE



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BIRD ROCK MIXED USE
 5702 LA JOLLA BLVD
 LA JOLLA, CA 92037

REVISIONS
 10-3-11 Completion Submittal
 07-3-12 Community Presentation
 7-19-12 Coastal Resubmittal
 08-28-12 Community Planning Restrictions

PHASE PHASE

PROJECT NO. 2011-13

REVIEWED BY CAM

DRAWN BY RR, MC, JK

DATE 01-10-2013

PROJECT TITLE EXISTING ELEVATIONS

A-5.1
 SHEET 16 OF 19

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BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

REVISIONS	
10-3-11	Completeness Submittal
07-2-12	Community Presentation
7-19-12	Costal Re-submittal
08-08-12	Community Planning Revisions



PHASE

PROJECT NO. 2011-13

REVIEWED BY CAM

DRAWN BY RR, MC, JK

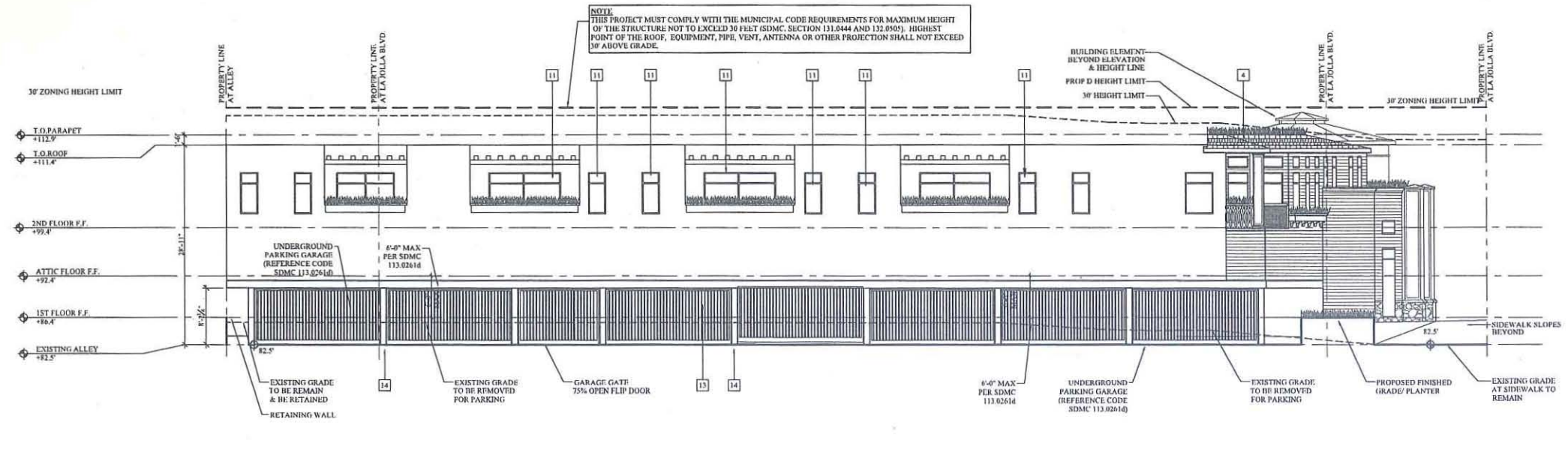
DATE 01-10-2013

REVISIONS
1. Change to stone veneer on the existing building. 2. Change to stone veneer on the existing building. 3. Change to stone veneer on the existing building. 4. Change to stone veneer on the existing building. 5. Change to stone veneer on the existing building. 6. Change to stone veneer on the existing building. 7. Change to stone veneer on the existing building. 8. Change to stone veneer on the existing building. 9. Change to stone veneer on the existing building. 10. Change to stone veneer on the existing building. 11. Change to stone veneer on the existing building. 12. Change to stone veneer on the existing building. 13. Change to stone veneer on the existing building. 14. Change to stone veneer on the existing building. 15. Change to stone veneer on the existing building.

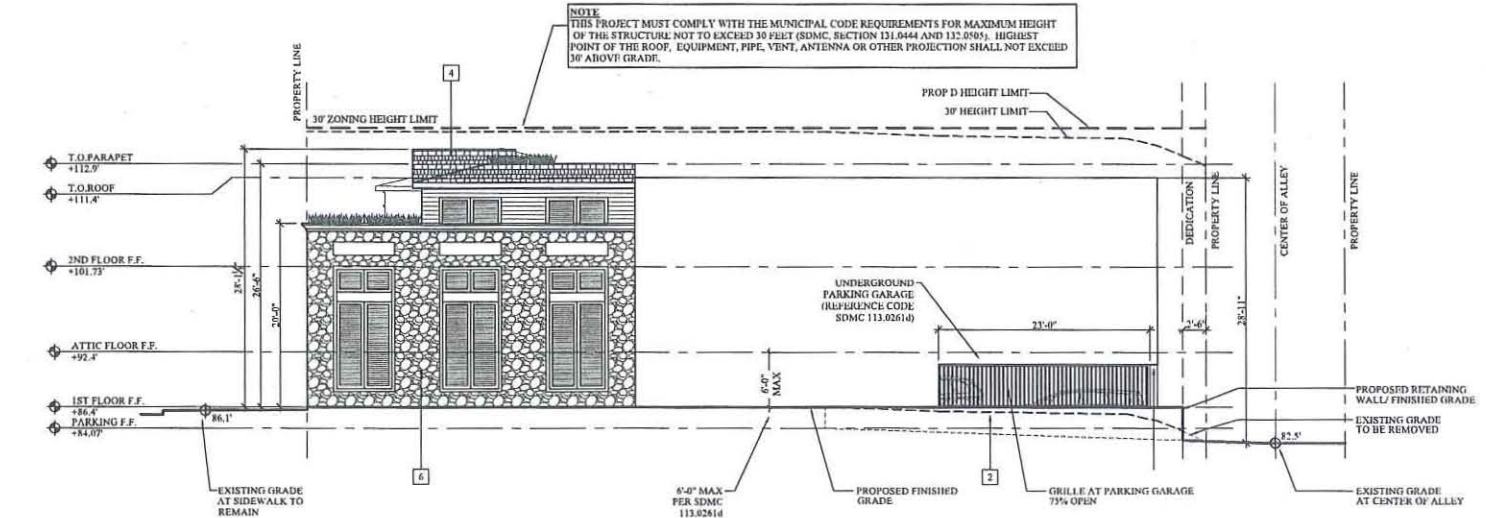
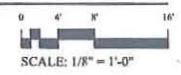
EXISTING ELEVATIONS

A-5.2

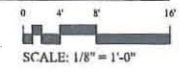
SHEET 17 OF 19



1 WEST ELEVATION



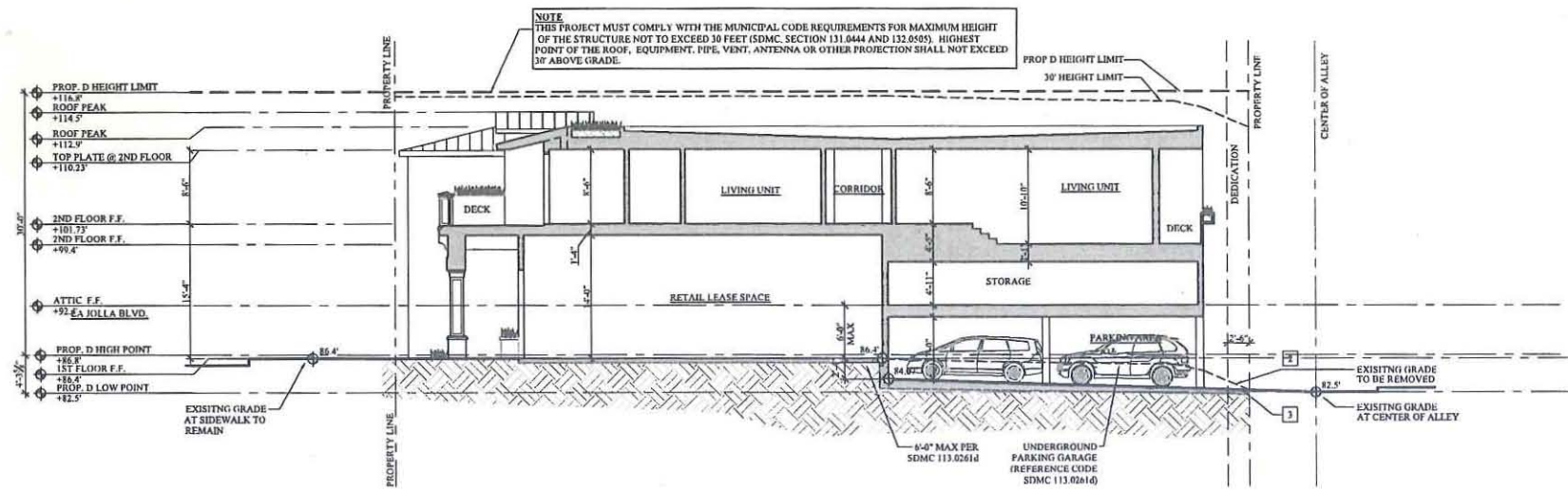
2 NORTH ELEVATION



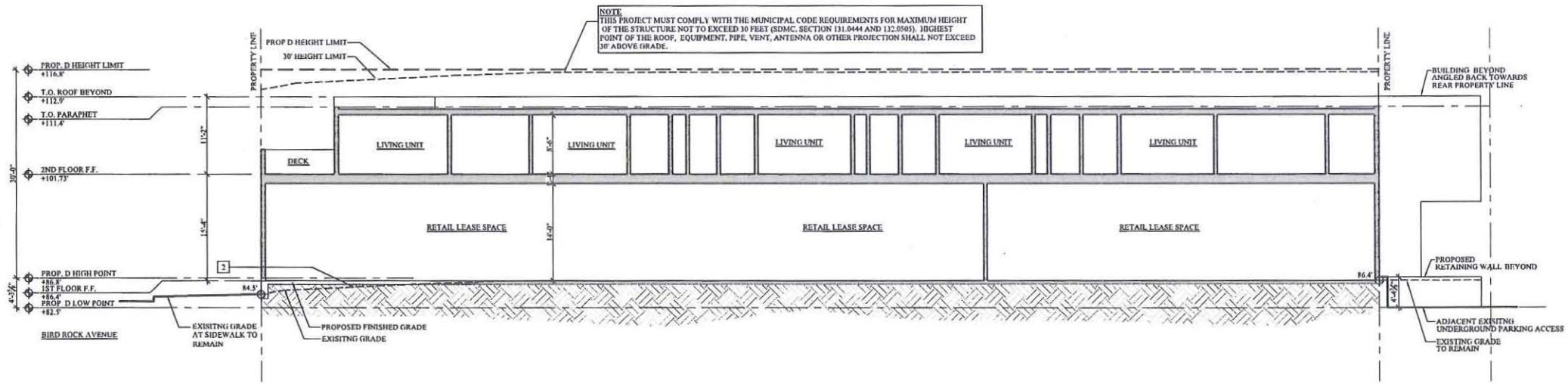
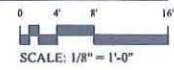
NOTE: SURFACE MATERIALS SHALL DEMONSTRATE COMPLIANCE WITH SDMC 159.0309. METAL ACCENT ROOFS ARE TO BE NON REFLECTIVE AND USED AT A MINIMUM.

KEYNOTE LEGEND	
1	PROFILE OF PREVIOUS PROJECT
2	LINE OF PROPOSED GRADE
3	LINE OF EXISTING GRADE
4	CONCRETE SHINGLE ROOFING - CHARCOAL GRAY
5	SIDING FINISH
6	SIMULATED STONE VENEER
7	WOOD PANELING
8	ALUMINUM STOREFRONT SYSTEM
9	TENANT SIGN LOCATION
10	OPERABLE METAL FRAMED WINDOW
11	DECORATIVE WOOD RAILING PANEL
12	GARAGE GATE
13	SUPPORT COLUMN
14	FOAM CORNICE

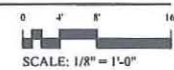
V:\2011 Projects\2011 LA Jolla Bird Rock Mixed Use\113013.dwg, Date: 11/20/13, 12:07pm



A SECTION



B SECTION

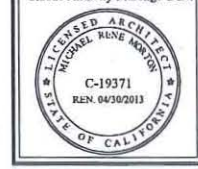


KEYNOTE LEGEND

1	PROFILE OF 'BIRD ROCK STATION' PROJECT
2	LINE OF EXISTING GRADE
3	LINE OF PROPOSED GRADE
4	-
5	-



Marengo Morton Architects
 7724 Girard Ave.
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 Michael Morton AIA
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BIRD ROCK MIXED USE
 5702 LA JOLLA BLVD
 LA JOLLA, CA 92037

REVISIONS	
10-3-11	Complete Submittal
07-3-12	Community Presentation
7-19-12	Costal Resubmittal
08-08-12	Community Planning Revisions

PHASE
PHASE

PROJECT NO.	2011-13
-------------	---------

REVIEWED BY	CAM
-------------	-----

DRAWN BY	RR, MC, JK
----------	------------

DATE	01-10-2013
------	------------

SHEET TITLE
 PROPOSED SECTIONS

A-6.1
 SHEET 18 OF 19

Y:\2013\Projects\2011-13 Bird Rock Mixed Use\CADD\Drawings\Architectural\Drawings\Section\A.dwg, Plot 03/20/13 12:28pm



1 FRONT ELEVATION

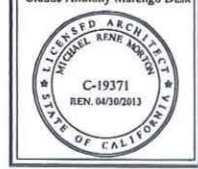


2 PERSPECTIVE AT INTERSECTION

X:\2011 Projects\2011-11 Bird Rock Mixed Use\CAD\Drawings\Architectural\Phase\Sheet A-Proprietary_RDM.dwg, Mar 13, 2013, 12:52 PM



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BIRD ROCK MIXED USE
 5702 LA JOLLA BLVD
 LA JOLLA, CA 92037

10-3-11 Completion Submittal
 07-3-12 Community Presentation
 7-19-12 Coastal Reassessment
 08-08-12 Community Planning Revisions



PHASE PHASE

PROJECT NO. 2011-13

REVIEWED BY CAM

DRAWN BY RR, MC, JK

DATE 01-10-2013

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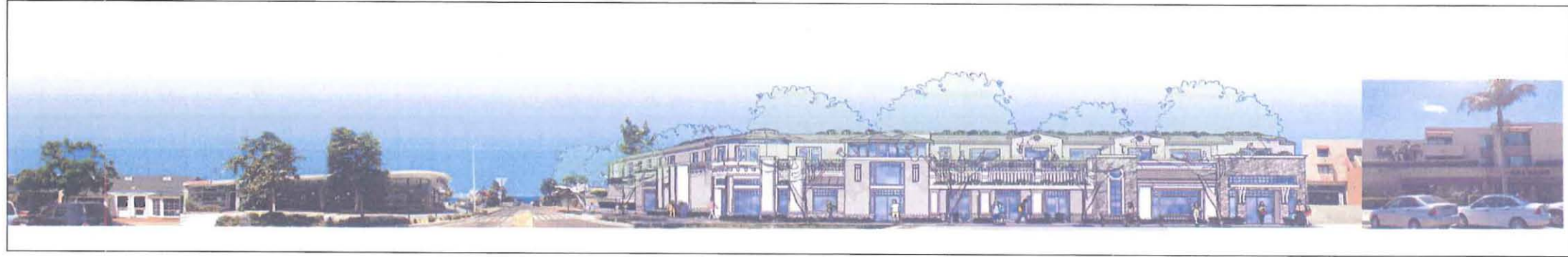
SHEET TITLE

PERSPECTIVES

SHEET 19 OF 19



**Marengo
Morton
Architects**
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3 PHOTO MONTAGE ALONG LA JOLLA BLVD.

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BIRD ROCK MIXED USE
5702 LA JOLLA BLVD
LA JOLLA, CA 92037

10-3-11 Completion Submittal
07-3-12 Community Presentation
7-15-12 Coastal Re-submittal
08-08-12 Community Planning Revisions



PHASE PHASE

PROJECT NO. 2011-13

REVIEWED BY CAM

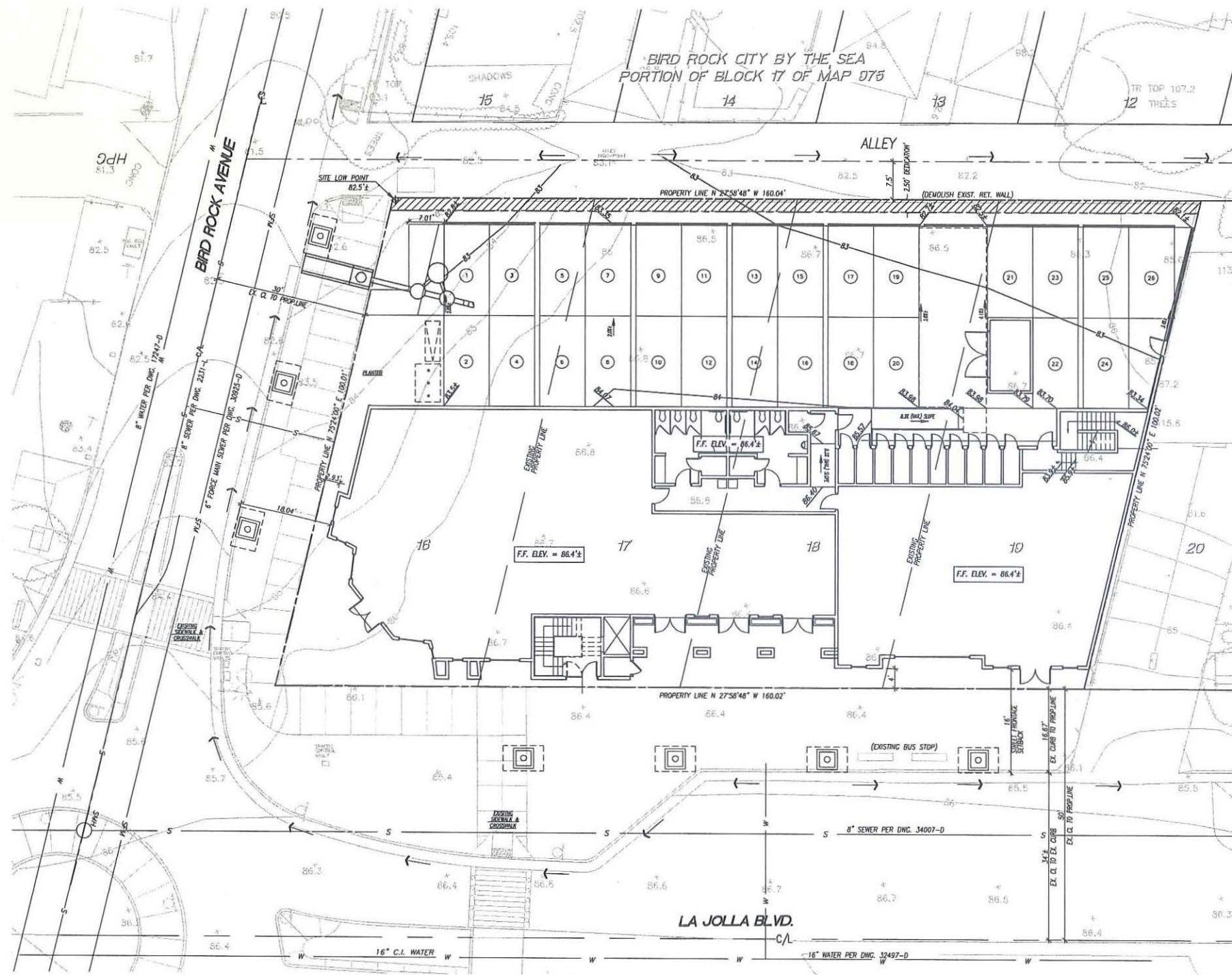
DRAWN BY RR, MC, JK

DATE 01-10-2013

Marengo Morton Architects, Inc. operating as a general contractor, is not responsible for the accuracy of the information provided in this drawing. The user of this drawing is responsible for the accuracy of the information provided in this drawing. The user of this drawing is responsible for the accuracy of the information provided in this drawing. The user of this drawing is responsible for the accuracy of the information provided in this drawing.

TITLE PERSPECTIVES

P:\2011\Projects\011-13 Bird Rock Mixed Use\CAD Drawings\Architectural\Design Phase\Sheet\AC\Components_0101.dwg, Mar 13 2013 12:24pm



LEGEND

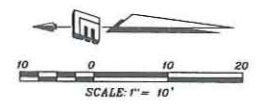
- PROPERTY BOUNDARY
- EXISTING LOT LINE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- DIRECTION OF SURFACE WATER FLOW
- EXIST. WATER LINE
- EXIST. SEWER LINE
- EXIST. SEWER FORCE MAIN
- ALLEY DEDICATION
- SPOT ELEVATION

GRADING TABULATION

1. TOTAL SITE AREA: 0.33 AC.±
2. TOTAL AMOUNT OF SITE TO BE GRADED: 0.33 AC.±
3. PERCENT OF TOTAL SITE TO BE GRADED: 100.0%
4. AMOUNT OF CUT: 870 C.Y.±
5. MAXIMUM DEPTH OF CUT: 4 FT.±
6. AMOUNT OF FILL: 30 C.Y.±
7. MAXIMUM DEPTH OF FILL: 2 FT.±
8. MAXIMUM HEIGHT OF FILL SLOPE: N/A
9. MAXIMUM HEIGHT OF CUT SLOPE: N/A±
10. CUT SLOPE RATIO: N/A
11. FILL SLOPE RATIO: N/A
12. AMOUNT OF EXPORT: 840 C.Y.
13. RETAINING WALLS: N/A HEIGHT = N/A

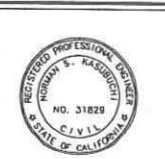
TOPOGRAPHIC INFORMATION

EXISTING TOPOGRAPHY COMPILED FROM AERIAL
 PHOTOGRAMMETRIC METHODS
 DATE: 4/13/05
 DATUM: MEAN SEA LEVEL



BENCH MARK

S.E.P. BIRD ROCK AVENUE & LA JOLLA BLVD.
 ELEVATION 84.774 M.S.L.



Leppert Engineering
 CORPORATION
 5100 Gamma Drive, Suite 205, San Diego, CA 92122-2848
 Phone: (619) 597-2021 Fax: (619) 597-2029

BIRD ROCK MIXED USE
 5702 LA JOLLA BLVD
 LA JOLLA, CA 92037

REVISIONS
 01-16-2013 Cycle Issues Comments

LIC. JOB NO. LJ 14-01-21-01

REVIEWED BY:

DRAWN BY: NE

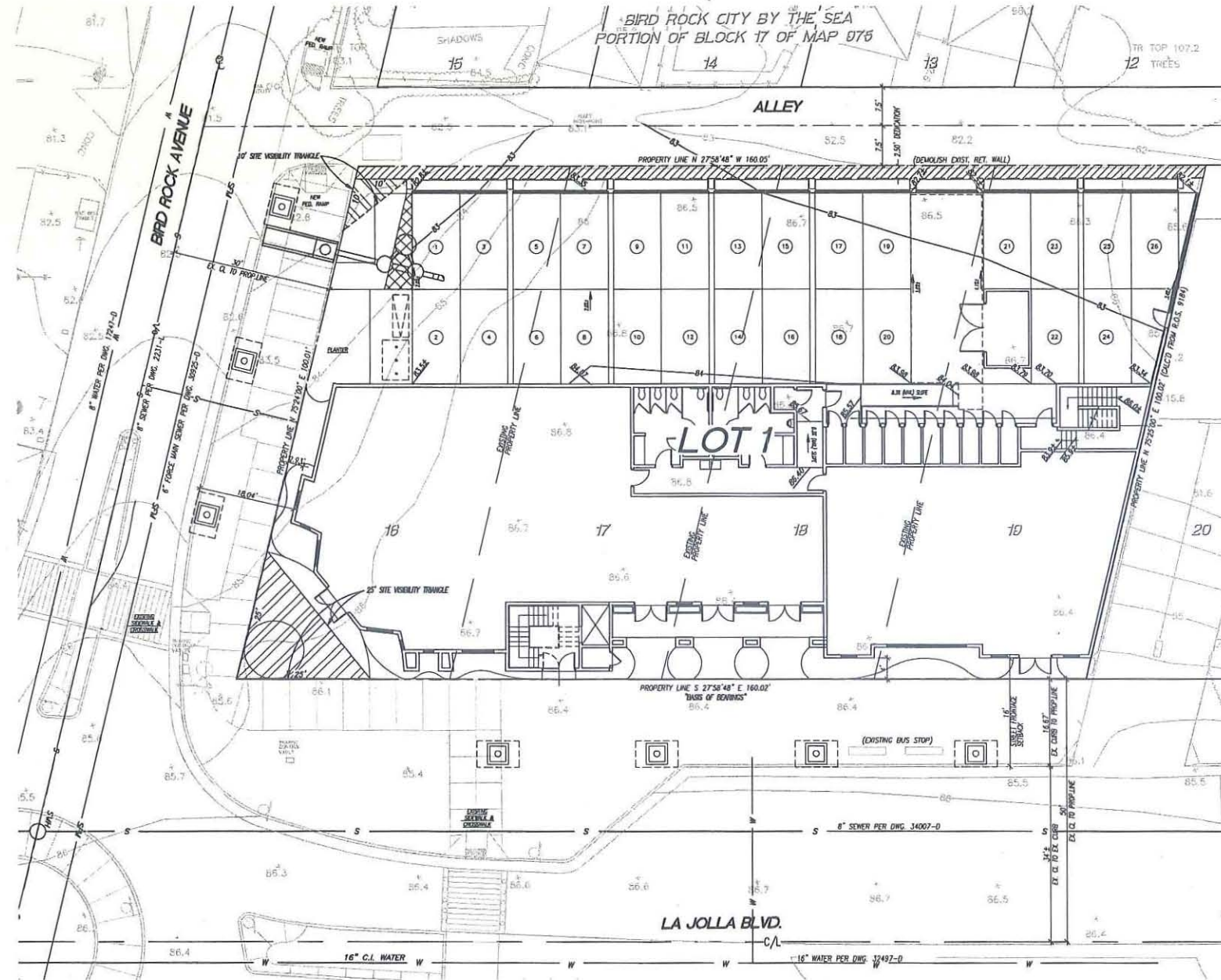
DATE: 10-05-2012

SCALE: 1"=10'

SHEET TITLE
 CONCEPTUAL
 GRADING PLAN

C1.0
 SHEET 1 OF 1

BIRD ROCK MIXED USE TENTATIVE MAP NO 1087739



BUILDING STATISTICS:

BUILDING ELEVATIONS
FIRST FLOOR: 86.4 SECOND FLOOR: 89.4/91.73
NO. OF CONDO UNITS: 2 COMMERCIAL & 10 RESIDENTIAL
RETAIL AREA, 1ST LEVEL: 3,510 SF.
COMMERCIAL AREA, 1ST FLOOR: 2,145 SF.
RESIDENTIAL AREA, 2ND FLOOR: 10,759 SF.

EXISTING PARKING TABULATION

N/A: THE SITE IS VACANT

PARKING ANALYSIS PER CURRENT CODE

PARKING REQUIREMENTS:
FIRST FLOOR: 1.0 STALLS PER EVERY 1,000 SQ.FT.
(3,510 ÷ 2,000 = 1.755) = 2 STALLS
2 + 4 (UNITS) = 6 STALLS
2 + 6 (UNITS) = 12 STALLS
SECOND FLOOR: 2 STALLS PER 1 BEDROOM/ STUDIO (4)
2 STALLS PER 2 BEDROOM UNIT (6)
2 + 4 (UNITS) = 6 STALLS
2 + 6 (UNITS) = 12 STALLS

TOTAL REQUIRED PARKING: 28 STALLS

BIKE PARKING:

RETAIL: 0.1 SPACES PER EVERY 1,000 SQ.FT.
(3,510 ÷ 2,000 = 1.755) = 0.551 = 1
RESIDENTIAL: 6 (TWO BEDRM UNITS) × 0.5 = 3
4 (ONE BEDRM UNITS) × 0.4 = 1.6 = 2
TOTAL REQUIRED PARKING: 6 SPACES

MOTORCYCLE PARKING:

RESIDENTIAL: 6 (TWO BEDRM UNITS) × 0.1 = 0.6 = 1
4 (ONE BEDRM UNITS) × 0.1 = 0.4 = 0
TOTAL REQUIRED PARKING: 1 PARKING SPACE

MONUMENTATION/MAPPING NOTE:

ALL PROPERTY CORNERS WILL BE MONUMENTED AND A ONE LOT FINAL MAP WILL BE FILED UPON APPROVAL OF THE T.M.

RESIDENTIAL CONDOMINIUM STATISTICS:

UNIT NO.	FLOOR	APPROX. SF.
1	SECOND	1,302 SF.
2	SECOND	1,202 SF.
3	SECOND	1,014 SF.
4	SECOND	839 SF.
5	SECOND	1,014 SF.
6	SECOND	864 SF.
7	SECOND	864 SF.
8	SECOND	1,014 SF.
9	SECOND	727 SF.
10	SECOND	984 SF.
TOTAL:		9,824 SF.

COMMERCIAL CONDOMINIUM STATISTICS:

SUITE NO.	FLOOR	APPROX. SF.
A	FIRST	3,510 SF.
B	FIRST	2,000 SF.
TOTAL:		5,510 SF.

UTILITY STATUS TABLE

TYPE	ALLEY	
	OVERHEAD	UNDERGROUND
POWER	X	X
CABLE	X	X
TELEPHONE	X	X

TYPE	STREETS	
	OVERHEAD	UNDERGROUND
POWER	X	X
CABLE	X	X
TELEPHONE	X	X

LEGAL DESCRIPTION

LOTS 16-19 IN BLOCK 17 OF BIRD ROCK CITY BY THE SEA, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 976, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY MARCH 13, 1906.

ASSESSOR'S PARCEL NUMBER

357-368-12 THROUGH 14

SITE ADDRESS

5702 LA JOLLA BLVD.
LA JOLLA, CA 92037

ZONING

EXISTING & PROPOSED BASE ZONE: LPD-4
LA JOLLA PLANNED DISTRICT
PLANNED DISTRICT: PARKING IMPACT, COASTAL HEIGHT LIMIT, RESIDENTIAL TANGENTIAL PARKING, COASTAL CITY, & TRANSIT AREA
OVERLAY ZONES: LA JOLLA
COMMUNITY PLAN: LA JOLLA

SITE AREA

GROSS AREA: 0.685 ACRES (INCLUDES REVERSIONARY RIGHTS)
GROSS AREA: 0.369 ACRES (EXCLUDES REVERSIONARY RIGHTS)
NET AREA: 0.360 ACRES (EXCLUDES 2.5' ALLEY DEDICATION)

DEVELOPMENT SUMMARY

- THIS IS AN APPLICATION FOR A TENTATIVE MAP FOR CONDOMINIUM PURPOSES PURSUANT TO SECTION 172.0444 OF THE MUNICIPAL CODE.
- THIS IS A NEW DEVELOPMENT OF A TWO-STORY MIXED USE BUILDING. A COASTAL DEVELOPMENT PERMIT (CDP) AND SITE DEVELOPMENT PERMIT (SDP) APPLICATION IS BEING PROCESSED CONCURRENT WITH THE TENTATIVE MAP.
- ALL STREET IMPROVEMENTS AND UTILITIES ON BIRD ROCK AVENUE AND LA JOLLA BLVD. ARE EXISTING.
- PROPOSED RESIDENTIAL CONDOMINIUM UNITS: 10
- PROPOSED COMMERCIAL CONDOMINIUM SUITES: 2
- EXISTING NUMBER OF LOTS: 4
- PROPOSED NUMBER OF LOTS: 1

PRIOR DISCRETIONARY APPROVALS

COASTAL DEVELOPMENT PERMIT AMENDMENT NO. 98-0366.

CONDOMINIUM NOTES

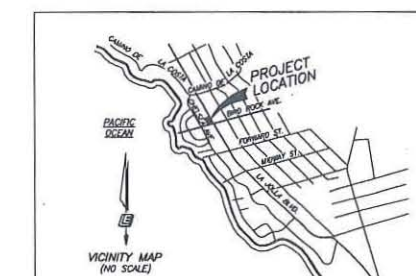
THIS IS A MAP OF A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF RESIDENTIAL CONDOMINIUM UNITS IS 10, AND COMMERCIAL CONDOMINIUM UNITS IS 2, ALL IN LOT 1.

EXISTING UTILITIES

- 8 INCH SEWER LINE IN LA JOLLA BLVD. PER CITY DWG. NO. 34007-D.
- 16 INCH WATER LINE IN LA JOLLA BLVD. PER DWG. 32497-D.
- 8 INCH SEWER LINE IN BIRD ROCK AVE. PER CITY DWG. 2231-L.
- 6 INCH SEWER FORCE MAIN IN BIRD ROCK AVE. PER CITY DWG. 30925-D.
- 8 A.C. INCH WATER LINE IN BIRD ROCK AVE. PER CITY DWG. 17247-D.
- THERE ARE NO EXISTING OVERHEAD UTILITIES ADJACENT TO THE SUBJECT PROPERTY.

EASEMENTS NON-PLOTTABLE

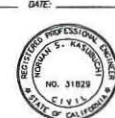
- ACCESS EASEMENT IN FAVOR OF CHEVRON U.S.A. INC., REC. NOVEMBER 3, 1999, AS FILE NO. 1999-0734301, HAS NO SPECIFIC LOCATION SET FORTH IN THE DEED AND CANNOT BE PLOTTED.



TENTATIVE MAP PREPARED BY:

LEPERT ENGINEERING CORPORATION
5190 GOVERNOR DRIVE, SUITE 205
SAN DIEGO, CA 92122
658-597-2001
658-597-2009 FAX

BY: NORMAN S. KASUBUCH
RCE 31829



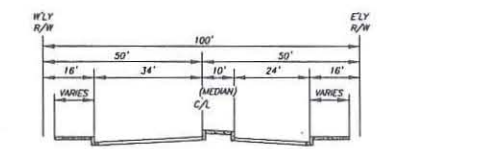
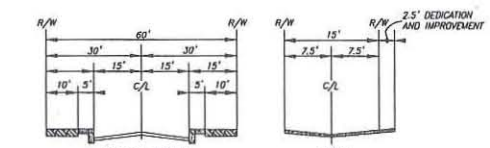
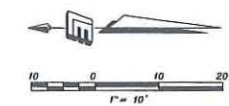
OWNER

MICHAEL KRAMBS AND OLGA V. KRAMBS, TRUSTEES, M.O.R.K. FAMILY TRUST
DATED NOV. 1, 2007.

C/D RK DEVELOPMENT PARTNERS
5920 CAMINO DE LA COSTA
LA JOLLA, CA 92037
TEL: 316-444-0599
FAX: 316-444-9070

BY: MICHAEL KRAMBS, TRUSTEE

BY: OLGA V. KRAMBS, TRUSTEE



BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS MAP IS THE WESTERLY LINE OF LA JOLLA BLVD. AS SHOWN ON RECORD OF SURVEY NO. 9184, I.E. S27°58'48"E

TOPOGRAPHY

EXISTING TOPOGRAPHY COMPILED FROM AERIAL PHOTOGRAMMETRIC METHODS
DATE: 4/13/05
DATUM: MEAN SEA LEVEL

BENCHMARK

S.E.B.P. BIRD ROCK AVENUE & LA JOLLA BLVD.
EL. = 84.774 M.S.L.

NO.	DATE	BY	DESCRIPTION
1	04/13/05	N.S.K.	PREPARED
2	04/13/05	N.S.K.	REVISION
3	04/13/05	N.S.K.	REVISION
4	04/13/05	N.S.K.	REVISION
5	04/13/05	N.S.K.	REVISION
6	04/13/05	N.S.K.	REVISION
7	04/13/05	N.S.K.	REVISION
8	04/13/05	N.S.K.	REVISION
9	04/13/05	N.S.K.	REVISION
10	04/13/05	N.S.K.	REVISION

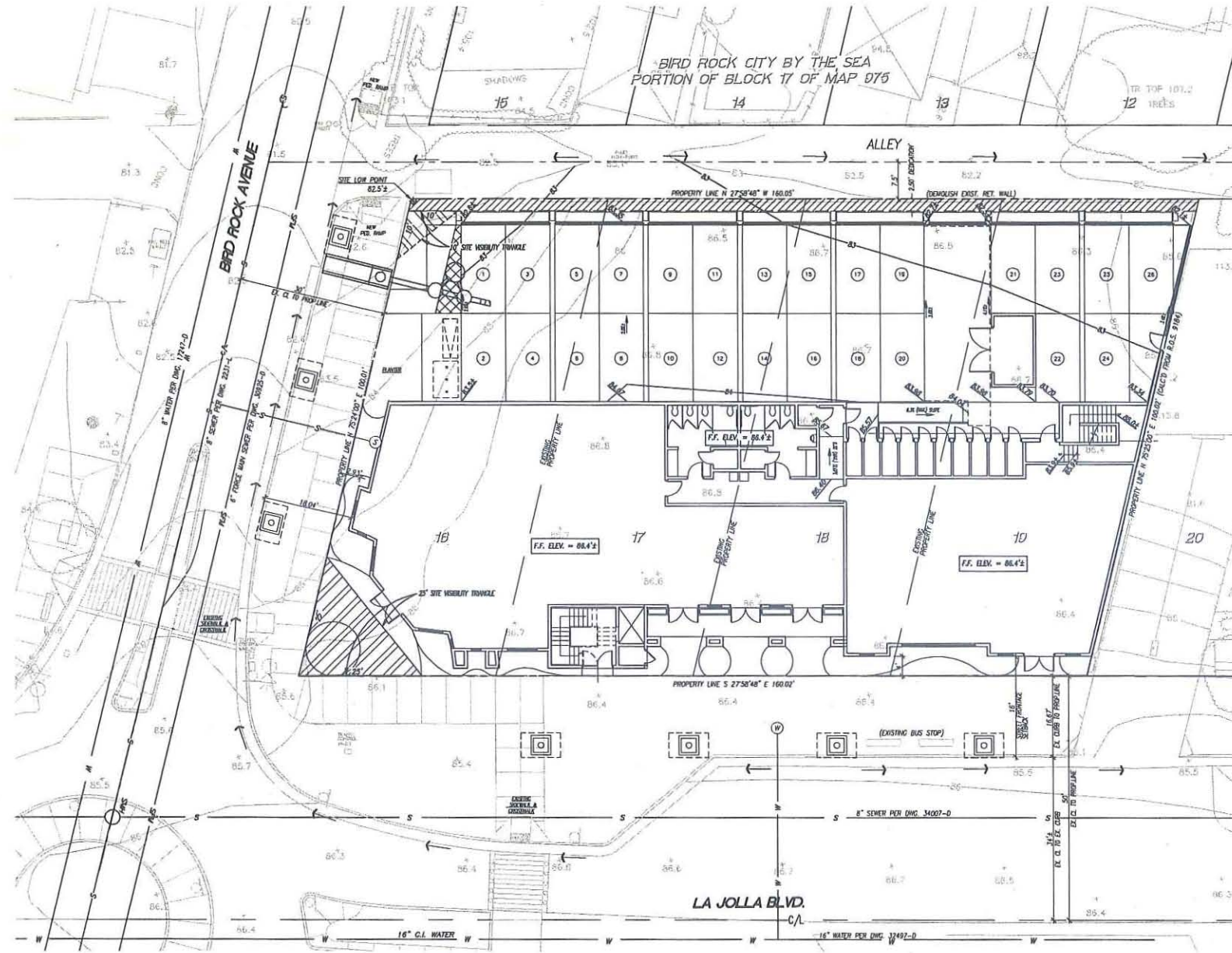
Leppert Engineering Corporation
5190 Governor Drive, Suite 205
San Diego, CA 92122-2848
Phone 658-597-2001 Fax 658-597-2009

PREPARATION AND REVISION LOG

REVISION NO.	DATE	DESCRIPTION
14		
13		
12		
11		
10		
9		
8		
7		
6		
5		
4		
3		
2		
1	02/18/13	

PREPARED BY: LEPERT ENGINEERING CORPORATION
NAME: LEPERT ENGINEERING CORPORATION
ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205
SAN DIEGO, CALIFORNIA 92122-2848
PHONE: (658) 597-2001
PROJECT ADDRESS: 5702 LA JOLLA BLVD.
LA JOLLA, CA 92037
PROJECT NAME: BIRD ROCK MIXED USE
SHEET TITLE: BIRD ROCK MIXED USE TENTATIVE MAP NO. 1087739
ORIGINAL DATE: 01/18/13
SHEET 1 OF 2
PTS# 259632

BIRD ROCK MIXED USE TENTATIVE MAP NO 1087739



LEGEND

DESCRIPTION	SYMBOL
TENTATIVE MAP BOUNDARY	--- --
EXISTING LOT LINE	-----
LIMITS OF ALLEY DEDICATION	-----
RIGHT OF WAY LINE	-----
STREET CENTERLINE	-----
EXISTING CONTOURS	~ ~ ~ ~
PROPOSED CONTOURS	— — — —
EXIST. WATER LINE	— W — W — W —
EXIST. SEWER LINE	— S — S — S —
EXIST. SEWER FORCE MAIN	— SFM — SFM — SFM —
EXIST. SEWER LAT.	⊙ (EX. SEWER LAT.)
EXIST. WATER SERVICE	⊙ (EX. WATER LAT.)
EXIST. PEDESTRIAN RAMP	↕
EXIST. CURB & GUTTER	— C — G —
EXIST. SPOT ELEVATIONS	x 82.6
2.5' ALLEY DEDICATION	▨
DIRECTION OF SURFACE WATER FLOW	←
SITE VISIBILITY TRIANGLE AREA (SEE GENERAL NOTE NO. 3)	▨

GRADING TABULATION

- TOTAL SITE AREA: 0.33 AC.±
- TOTAL AMOUNT OF SITE TO BE GRADED: 0.33 AC.±
- PERCENT OF TOTAL SITE TO BE GRADED: 100.0%
- AMOUNT OF CUT: 870 C.Y.±
- MAXIMUM DEPTH OF CUT: 4 FT.±
- AMOUNT OF FILL: 30 C.Y.±
- MAXIMUM DEPTH OF FILL: 2 FT.±
- MAXIMUM HEIGHT OF FILL: N/A
- MAXIMUM HEIGHT OF CUT: N/A
- CUT SLOPE RATIO: N/A
- FILL SLOPE RATIO: N/A
- AMOUNT OF EXPORT: 840 C.Y.
- RETAINING WALLS: N/A HEIGHT = N/A

TOPOGRAPHIC INFORMATION

EXISTING TOPOGRAPHY COMPILED FROM AERIAL PHOTOGRAMMETRIC METHODS
DATE: 4/13/05
DATUM: MEAN SEA LEVEL

SITE GRADING:

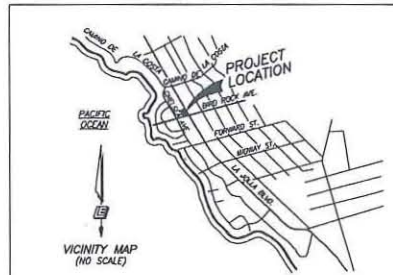
DEVELOPMENT OF THIS SITE, AS PROPOSED, WILL REQUIRE MINOR GRADING TO ESTABLISH THE FINISHED GRADES FOR THE PROPOSED BUILDING. IT IS ANTICIPATED THAT A NOMINAL AMOUNT OF MATERIAL WILL NEED TO BE EXPORTED FROM THE SITE. ALL EXCAVATED MATERIALS SHALL BE DISPOSED OF OFF-SITE AT A LEGAL DISPOSAL SITE.

SITE DRAINAGE:

BUILDING AND ROOF RUNOFF SHALL BE INTERCEPTED BY A PRIVATE ON-SITE DRAINAGE SYSTEM AND DISCHARGED TO THE ADJACENT STREET(S) THROUGH SIDEWALK UNDERDRAINS OR CURB OUTLETS, AND TO THE ADJACENT ALLEY, THE LOCATION OF THE SIDEWALK UNDERDRAINS TO BE DETERMINED AT FINAL DESIGN FOR APPROVAL BY THE CITY ENGINEER.

GENERAL NOTES:

- PRIOR TO BUILDING OCCUPANCY, THE APPLICANT SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE APPLICANT SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX "E" OF THE CITY'S STORM WATER STANDARDS.
- NO OBSTRUCTION INCLUDING LANDSCAPING OR SOLID WALLS IN THE VISIBILITY AREA SHALL EXCEED 3 FEET IN HEIGHT.



PREPARED BY: NAME: LEPPERT ENGINEERING CORPORATION		REVISION 14: _____
ADDRESS: 5190 GOVERNOR DRIVE, SUITE 205 SAN DIEGO, CALIFORNIA 92122-2848		REVISION 13: _____
PHONE #: (619) 597-2001		REVISION 12: _____
PROJECT ADDRESS: 5702 LA JOLLA BLVD. LA JOLLA, CA 92037		REVISION 11: _____
PROJECT NAME: BIRD ROCK MIXED USE		REVISION 10: _____
		REVISION 9: _____
		REVISION 8: _____
		REVISION 7: _____
		REVISION 6: _____
		REVISION 5: _____
		REVISION 4: _____
		REVISION 3: _____
		REVISION 2: _____
		REVISION 1: 02/19/13
SHEET TITLE: GRADING PLAN		ORIGINAL DATE: 03/18/13
SHEET 2 OF 2		
PTS# 259632		

NO.	DATE	BY	DESCRIPTION
1			
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Leppert Engineering
 5190 Governor Drive, Suite 205
 San Diego, CA 92122-2848
 Phone (619) 597-2001 Fax (619) 597-2002

FILE CODE: **LJ 54.01-22.05**
 APPROVED BY ENGINEER: _____
 DATE: _____
 PREPARATION AND REVISION LOG

PLANNING COMMISSION
CONDITIONS FOR TENTATIVE MAP NO. 1087739
BIRD ROCK MIXED USE- PROJECT NO. 259362
ADOPTED BY RESOLUTION NO. R- _____ ON _____

GENERAL

1. This Tentative Map will expire July 12, 2016.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map unless otherwise noted.
3. Prior to the Tentative Map expiration date, a Final Map to consolidate the existing lots into one lot shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Final Map taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Final Map shall conform to the provisions of Coastal Development Permit No. 913578.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

ENGINEERING

7. The Final Map for Tentative Map No.1087739 shall comply with all Conditions of Coastal Development Permit No. 913578.
8. The Subdivider shall ensure that all onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
9. The Subdivider shall install appropriate private back flow prevention devices on all existing and proposed water services (domestic, irrigation, and fire) adjacent to the project site in a manner satisfactory to the Water Department Director.
10. The Subdivider shall provide a letter, agreeing to prepare CC&Rs for the operation and maintenance of all private water and sewer facilities that serve or traverse more than a single condominium unit or lot.

MAPPING

11. A Final Map is required to consolidate the existing lots into one lot and to subdivide the ownership interest as a condition of the tentative map.
12. Prior to the recordation of the Final Map taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.

WASTEWATER

13. The developer shall design and construct all proposed public sewer facilities to the most current edition of the City of San Diego's sewer design guide. Proposed facilities that do not meet the current standards shall be private or re-designed.
14. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.

WATER

15. The Subdivider shall install fire hydrants, if required, at locations satisfactory to the Fire Department, the City Engineer and the Director of Public Utilities.
16. If the Subdivider makes any request for new water facilities (including services or fire hydrants), then the Subdivider shall design and construct such facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto.
17. The Subdivider shall provide a letter to the Development Project Manager, agreeing to prepare CC&Rs for the operation and maintenance of all private water facilities that serve or traverse more than a single condominium unit or lot.
18. The Subdivider agrees to design and construct all proposed public water facilities in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Water facilities, as shown on the approved tentative map may require modification to comply with standard.

AFFORDABLE HOUSING

19. Prior to the issuance of any building permits, the developer shall comply with the Affordable Housing Requirements of the City's Inclusionary Housing Ordinance (Chapter 14, Article 2, Division 13 of the Land Development Code).

INFORMATION:

- The approval of this Tentative Map by the Planning commission of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto.

Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Tentative Map, may protest the imposition within ninety days of the approval of this Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24002235

Project No. 259362
TM No. 1087739

PLANNING COMMISSION RESOLUTION NUMBER R-
TENTATIVE MAP NO. 1087739
BIRD ROCK MIXED USE
PROJECT NO. 259362

WHEREAS, M.O.R.K. Family Trust, Subdivider, and Leppert Engineering Corporation, Engineer, submitted an application with the City of San Diego for a Tentative Map to construct a mixed-use project of 10 residential units and two commercial units know as the Bird Rock Mixed Use project. The project site is located at 5702 La Jolla Boulevard at Bird Rock Avenue in the Zone 4 of the La Jolla Planned District within the La Jolla Community Plan Area. The project site is legally described as Lots 16-19 in Block 17 of Bird Rock City by the Sea, in the City of San Diego, County of San Diego, State of California, according to Map No. 975, filed in the Office of the County Recorder of San Diego County, March 13, 1906.

WHEREAS, this is an application for a Tentative Map for condominium purposes pursuant to Section 125.0444 of the San Diego Municipal Code for the 0.37-acre site and this subdivision is a condominium project as defined in Section 1350 et. seq. of the Civil Code of the State of California.

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 1351 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 10 and the number of commercial condominium units is two.

WHEREAS, on June 27, 2013 the Planning Commission of the City of San Diego considered Tentative Map No. 1087739 and pursuant to San Diego Municipal Code section 125.0440 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same. NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that the Planning Commission adopts the following findings with respect to Tentative Map No. 1087739:

- 1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Action §§ 66473.5, 66474(a), and 66474(b)).**

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The La Jolla Community Plan (Plan) designates the project site Multi-Family residential. The Tentative Map proposes to create a mixed-use condominium project with 10 residential units and two commercial units. Therefore, the project includes a multi-family component and, therefore, the proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Action §§ 66473.5, 66474(a), and 66474(b)).

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project would comply with all regulations of the Land Development Code and is requesting no deviations. The project would observe all required setbacks and height limits and would meet all required minimum lot sizes. Parking access would be taken from the alley behind the project and the project is proposed as a two-story development where a two-story maximum is allowed.

As the project would comply with all applicable codes and restrictions as outlined above, the proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

3. The site is physically suitable for the type and density of development (San Diego Municipal Code § 125.0440(c) and Subdivision Map Act §§ 66474(c) and 66474(d)).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a

0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project site is a vacant, previously graded lot and is surrounded by multi-family residential and commercial retail businesses. The area is comprised of one and two-story buildings and the project would be compatible in size and type. The site is relatively flat and has existing public improvements making the site ready for the mixed-use development. Therefore, the site is physically suitable for the type and density of development (San Diego Municipal Code § 125.0440(c) and Subdivision Map Act §§ 66474(c) and 66474(d)).

4. The design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project is not located in or near any body of water or watercourse. Therefore, the design of the subdivision or the proposed improvements is not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare (San Diego Municipal Code § 125.0440(e) and Subdivision Map Act § 66474(f)).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project will be required to construct curb ramps on both sides of alley adjacent to the project site and ten-foot visibility area must be clear of any obstacles greater than three feet. This will provide for driver and pedestrian safety. Therefore, the design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare (San Diego Municipal Code § 125.0440(e) and Subdivision Map Act § 66474(f)).

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of

property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

No easements have been acquired by the public at large for access through or use of the project property within the subdivision. Therefore, the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)).

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (San Diego Municipal Code § 125.0440(g) and Subdivision Map Act § 66473.1).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The proposed subdivision of a 0.37-acre parcel into one lot for residential and commercial development will not impede or inhibit any future passive or natural heating and cooling opportunities. The design of the subdivision has taken into account the best use of the land to minimize grading and preserving environmentally sensitive lands. Design guidelines have been adopted for the construction of the multi-family residences. However, they do not impede or inhibit any future passive or natural heating and cooling opportunities. With the independent design of the proposed subdivision each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities. Therefore, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (San Diego Municipal Code § 125.0440(g) and Subdivision Map Act § 66473.1).

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (San Diego Municipal Code § 125.0440(h) and Subdivision Map Act § 66412.3).

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

There are no Environmentally Sensitive Lands present on the site and the project is not located in or near the Multi-Habitat Planning Area. The Planning Commission has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of 10 residential units for private development is consistent with the housing needs anticipated for the La Jolla Community Planning area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED that, based on the Findings hereinbefore adopted by the Planning Commission, Tentative Map No. 1087739, is hereby granted to the M.O.R.K. Family Trust, Subdivider subject to the attached conditions which are made a part of this resolution by this reference.

BE IT FURTHER RESOLVED, that the recommendation of the Planning Commission is sustained, and Tentative Map No. 1087739 is granted to the M.O.R.K. Family Trust, Applicant/Subdivider, subject to the conditions attached hereto and made a part hereof.

PASSED AND ADOPTED BY THE PLANNING COMMISSION OF THE CITY OF SAN DIEGO, CALIFORNIA, ON June 27, 2013.

Reviewed by Morris E. Dye

By _____
Morris E. Dye
Development Project Manager
Development Services Department

Job Order No. 24002235

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

JOB ORDER NUMBER: 24002235

PLANNING COMMISSION
COASTAL DEVELOPMENT PERMIT NO. 913578

This Coastal Development Permit No. 913578 is granted by the Planning Commission of the City of San Diego to M.O.R.K. Family Trust, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0702 and 159.0201. The 0.37-acre, vacant site is located at 5207 La Jolla Boulevard, in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area. The project site is legally described as Lots 15, 16, 17 & 18 in Block 21 of La Jolla Park.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owners/Permittees to consolidate four lots into one lot and to construct an 18,414 square-foot, two-story, mixed-use development, consisting of 10 residential units and two commercial units totaling 7,655 square feet of commercial space, 26 parking spaces, and a loading area. The development is described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 27, 2013, on file in the Development Services Department.

The project shall include:

- a. A mixed-use development consisting of two commercial units totaling 7,655 square feet located on the first level, 10 residential units totaling 10,759 square feet located on the second level, and subterranean parking totaling 18,414 square feet;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s),

conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. Failure to utilize and maintain utilization of this permit as described in the SDMC will automatically void the permit unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in affect at the time the extension is considered by the appropriate decision maker.
2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owners/Permittees signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. Unless this Permit has been revoked by the City of San Diego the property included by reference within this Permit shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the Development Services Department.
4. This Permit is a covenant running with the subject property and shall be binding upon the Owners/Permittees and any successor or successors, and the interests of any successor shall be subject to each and every condition set out in this Permit and all referenced documents.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owners/Permittees for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owners/Permittees shall secure all necessary building permits. The Owners/Permittees is informed that to secure these permits, substantial modifications to the building and site improvements to comply with applicable building, fire, mechanical and plumbing codes and State law requiring access for disabled people may be required.
8. Construction plans shall be in substantial conformity to Exhibit "A." No changes, modifications or alterations shall be made unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and have been determined to be necessary in order to make the findings required for this Permit. It is the intent

of the City that the holder of this Permit be required to comply with each and every condition in order to be afforded the special rights which the holder of the Permit is entitled as a result of obtaining this Permit.

In the event that any condition of this Permit, on a legal challenge by the Owners/Permittees of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owners/Permittees shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The applicant shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, including, but not limited to, any to any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify applicant of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the applicant shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, applicant shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and applicant regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the applicant shall not be required to pay or perform any settlement unless such settlement is approved by applicant.

ENGINEERING REQUIREMENTS:

11. The project proposes to export 840 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

12. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

13. Prior to foundation inspection, the Owner/Permittee shall submit a building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying that the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

14. Prior to the issuance of any building permits, the Owner/Permittee shall dedicate, and assure by permit and bond, the improvement of an additional 2.5 feet of the adjacent alley, satisfactory to the City Engineer.

15. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Owner/Permittee to provide the right-of-way free and clear of all encumbrances and prior easements. The Applicant must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.
16. Prior to the issuance of any building permits, the Owner/Permittee shall reconstruct the existing curb ramps on both sides of the alley entrance, adjacent to the site, with current City Standard Drawing SDG-136 with truncated domes, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the curb outlet in the Bird Rock Avenue Right-of-Way.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
20. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.
21. Prior to the issuance of any construction permit the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.
22. Any party, on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within 90 days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code 66020.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the City Manager. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A" on file in the Office of the Development Services Department.
24. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the City Manager for approval. Improvement plans shall take into account a 40 square-foot area around

each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

25. In the event that a foundation only permit is requested by the Permittee or subsequent Owner, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

26. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A," Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

27. Prior to issuance of any construction permits for buildings a water budget shall be provided in accordance with the Water Conservation Requirements-Section 142.0413, Table 142-04I. An irrigation audit shall be submitted consistent with Section 2.7 of the Landscape Standards of the Land Development Manual. The Irrigation audit shall certify that all plants, irrigation systems, and landscape features have been installed and operate as approved by the Development Services Department prior to occupancy of use.

28. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Permittee or subsequent Owner to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

29. The Permittee or subsequent owner shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

30. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

31. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit. The trees shall be maintained in a site manner to allow each tree to grow to its mature height and spread.

PLANNING/DESIGN REQUIREMENTS:

32. All commercial loading and unloading activities in the alleyway shall occur only between the hours of 7 AM and 7 PM.
33. There shall be compliance with the regulations of the underlying zone(s) unless a deviation or variance to a specific regulation(s) is approved or granted as condition of approval of this permit. Where there is a conflict between a condition (including exhibits) of this permit and a regulation of the underlying zone, the regulation shall prevail unless the condition provides for a deviation or variance from the regulations.
34. No fewer than 26 off-street parking spaces shall be maintained on the property at all times in the approximate locations shown on the Exhibit "A". Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the Development Services Department.
35. The height(s) of the building(s) or structure(s) shall not exceed those heights set forth in the conditions and the exhibits (including, but not limited to, elevations and cross sections) or the maximum permitted building height of the underlying zone, whichever is lower, unless a deviation or variance to the height limit has been granted as a specific condition of this permit.
36. A topographical survey conforming to the provisions of the Municipal/Land Development Code may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this permit or a regulations of the underlying zone. The cost of any such survey shall be borne by the Permittee.
37. Any future requested amendment to this permit shall be reviewed for compliance with the regulations of the underlying zone(s) which are in effect on the date of the submittal of the requested amendment.
38. All signs shall comply with the San Diego Municipal Code Chapter 14, Article 2, Division 12, "Sign Regulations
39. All fences and retaining walls shall comply with the San Diego Municipal Code Section 142.0301.
40. Unless there is a code change/amendment, office use is not permitted with the Residential/Retail mixed use bonus density per SDMC 159.0307(c)(2).

TRANSPORTATION REQUIRMENTS:

41. No fewer than 26 parking spaces (20 tandem spaces for 10 residential units and 6 spaces for Commercial/Retail) shall be permanently maintained on the mixed use site within the approximate location shown on the project's Exhibit "A", including 1 disabled/accessible. A minimum of 1 motorcycle and 6 bicycle spaces shall be provided on site.
42. The applicant shall dedicate and improve an additional two feet, six inches (2.5) along the project's frontage of the alley, satisfactory to the City Engineer.

43. The applicant shall construct pedestrian ramps at both east and west sides of the alley entrance, satisfactory to the City Engineer.

WATER/WASTEWATER REQUIREMENTS:

44. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of new water and sewer service(s) if required, outside of any driveway or drive aisle and the removal of any existing unused water and sewer services within the right-of-way adjacent to the project site, in a manner satisfactory to the Director of Public Utilities, the City.

45. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

46. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any public water and sewer facilities.

47. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

48. The Owner/Permittee shall design and construct all proposed public water and sewer facilities in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

AFFORDABLE HOUSING REQUIREMENTS:

49. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

INFORMATION ONLY:

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code §66020.

- This development may be subject to impact fees at the time of construction permit issuance

APPROVED by the Planning Commission of the City of San Diego on June 27, 2013.

COASTAL DEVELOPMENT PERMIT NO. 913578
Date of Approval: June 27, 2013

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT

Morris E. Dye
TITLE: Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owners/Permittees, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owners/Permittees hereunder.

Michael Krambs
Owner/Permittee

By _____
Michael Krambs

Olga V. Krambs
Owner/Permittee

By _____
Olga V. Krambs

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION
RESOLUTION NO.
COASTAL DEVELOPMENT USE PERMIT NO. 913578
BIRD ROCK PROJECT NO. 259362

WHEREAS, M.O.R.K. Family Trust, Owner/Permittee, filed an application with the City of San Diego for a Coastal Development Permit and Tentative Map, to construct an 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area, (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 913578), on portions of a 0.37-acre lot; and

WHEREAS, the project site is located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area; and

WHEREAS, the project site is legally described as Lots 16-19 in Block 17 of Bird Rock City by the Sea, in the City of San Diego, County of San Diego, State of California, according to Map No. 975, filed in the Office of the County Recorder of San Diego County, March 13, 1906; and

WHEREAS, on June 27, 2013, the Planning Commission of the City of San Diego considered Coastal Development Permit No. 913578, pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated June 27, 2013.

FINDINGS:

COASTAL DEVELOPMENT PERMIT FINDINGS

1. THE PROPOSED COASTAL DEVELOPMENT WILL NOT ENCROACH UPON ANY EXISTING PHYSICAL ACCESS WAY THAT IS LEGALLY USED BY THE PUBLIC OR ANY PROPOSED PUBLIC ACCESSWAY IDENTIFIED IN A LOCAL COASTAL PROGRAM LAND USE PLAN; AND THE PROPOSED COASTAL DEVELOPMENT WILL ENHANCE AND PROTECT PUBLIC VIEWS TO AND ALONG THE OCEAN AND OTHER SCENIC COASTAL AREAS AS SPECIFIED IN THE LOCAL COASTAL PROGRAM LAND USE PLAN.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

All of the proposed development will be contained within the existing disturbed, previously developed and graded site. The project site has no existing physical access used legally or otherwise by the public, nor does it have any public access identified in the Local Coastal Program. The subject property is not identified in the City of San Diego's adopted LCP Land Use Plan as a public accessway. The project site is bounded by single family residential development to the west, multi-family to the north, and commercial to the south and across La Jolla Boulevard to the east. The site is privately owned and currently vacant.

The project is completely contained within the private property, and as such, the project would not encroach upon any existing physical access way. There is no identified physical accessway in the immediate vicinity of the project. The nearest dedicated public access to the shoreline is at the end of Bird Rock Avenue, three blocks away. There is no beach immediately adjacent to the project as the site is located three blocks to the east of the shoreline.

The La Jolla Community Plan identifies a public view corridor along Bird Rock Avenue, immediately south of the project site through Bird Rock Avenue. The proposed building would conform to the maximum 30-foot Coastal Height Limit allowed by the zone. The La Jolla Community Plan defines a View Corridor as an unobstructed frame view down a public right-of-way. The westernmost end of Bird Rock Avenue is also identified as a View Cone, which is defined by a 90 degree angle radiating lines from a public vantage point (the centerline of the street) to the corners of the buildable envelope as defined by the setbacks of each property closest to the ocean or shoreline. All View Cones are directed towards a coastal body of water. The Bird Rock Avenue View Cone is located at the end of the street over three blocks to the west of the project site. Staff has concluded that the proposed project would be in compliance with the requirements of the underlying zone regarding heights and setbacks and, therefore, would not encroach into either the View Corridor or View Cone. The proposed project would meet the City of San Diego's setback requirements, and would not result in a blockage or obstruction of the View Corridor along Bird Rock Avenue or the View Cone at the end of Bird Rock Avenue.

As there is no physical access way near the project and public views near the site would be maintained along Bird Rock Avenue, the proposed coastal development will not encroach upon any existing physical access way that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

2. THE PROPOSED COASTAL DEVELOPMENT WILL NOT ADVERSELY AFFECT ENVIRONMENTALLY SENSITIVE LANDS.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The project is proposed for a site that is located in a built, urban environment, and does not impact any Environmentally Sensitive Lands. The project is also not adjacent to any sensitive

resources, and not within, or adjacent to, the Multi-Habitat Planning Area (MHPA). As the project is not located within, or adjacent to, any sensitive resources areas, the proposed coastal development will not adversely affect environmentally sensitive lands.

3. THE PROPOSED COASTAL DEVELOPMENT IS IN CONFORMITY WITH THE CERTIFIED LOCAL COASTAL PROGRAM LAND USE PLAN AND COMPLIES WITH ALL REGULATIONS OF THE CERTIFIED IMPLEMENTATION PROGRAM.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The proposed project conforms to the certified Local Coastal land use plan. No public view to the water would be adversely affected by the approval of this project. A View Corridor along Bird Rock Avenue and View Cone at the western end of Bird Rock Avenue would be preserved and the project would not impact this coastal view area. The project meets the intent of the guidelines for the Coastal Overlay and Coastal Height Limitation Overlay zones. The proposed development would be consistent with the recommended neighborhood commercial land use prescribed by the La Jolla Community Plan. The proposed development would also be consistent with the purpose and intent of the La Jolla Planned District Zone 4 and comply with the applicable development regulations of the Land Development Code. Therefore, the proposed development would be in conformity to the certified Local Coastal Program land use plan and comply with all regulations of the certified Implementation Program.

4. FOR EVERY COASTAL DEVELOPMENT PERMIT ISSUED FOR ANY COASTAL DEVELOPMENT BETWEEN THE NEAREST PUBLIC ROAD AND THE SEA OR THE SHORELINE OF ANY BODY OF WATER LOCATED WITHIN THE COASTAL OVERLAY ZONE THE COASTAL DEVELOPMENT IS IN CONFORMITY WITH THE PUBLIC ACCESS AND PUBLIC RECREATION POLICIES OF CHAPTER 3 OF THE CALIFORNIA COASTAL ACT.

The project is proposing to construct a 18,414 square-foot, two-story, mixed-use development consisting of 10 residential units totaling 10,759 square feet and two commercial units totaling 7,655 square feet, 26 parking spaces, and a loading area on a 0.37-acre site, located at 5702 La Jolla Boulevard in Zone 4 of the La Jolla Planned District within the La Jolla Community Planning Area.

The proposed development site is not located between the nearest public roadway and the sea or shoreline of any body of water located within the coastal zone. Therefore, the project is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Coastal Development Permit No. 913578 is hereby GRANTED by the Planning

Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 913578, a copy of which is attached hereto and made a part hereof.

Morris E. Dye
Development Project Manager
Development Services

Adopted on: June 27, 2013
Job Order No. 24002235



PO Box 889, La Jolla, CA 92038
 http://www.LaJollaCPA.org
 Voicemail: 858.456.7900
 info@LaJollaCPA.org

President: Tony Crisafi
 Vice President: Joe LaCava
 Treasurer: Orrin Gabsch
 Assistant Treasurer: Jim Fitzgerald
 Secretary: Dan Allen

La Jolla Community Planning Association

Regular Meetings: 1st Thursday of the Month
 La Jolla Recreation Center, 615 Prospect Street

Thursday, 2 August 2012

D R A F T MINUTES – REGULAR MEETING

Trustees Present: Dan Allen, Cynthia Bond, Tom Brady, Devin Burstein, Laura Ducharme-Conboy, Michael Costello, Dan Courtney, Tony Crisafi, Jim Fitzgerald, Orrin Gabsch, Joe LaCava, David Little, Tim Lucas, Nancy Manno, Phil Merten, Cindy Thorsen, Frances O'Neill Zimmerman.

1. Welcome and Call To Order: Tony Crisafi, President, at 6:05 PM

2. Adopt the Agenda

Approved Motion: Motion to adopt the Agenda, (Fitzgerald/Brady, 9-0-1).

In favor: Allen, Brady, Conboy, Costello, Fitzgerald, Gabsch, LaCava, Manno, Merten.
 Abstain: Crisafi.

3. Meeting Minutes Review and Approval – 5 July Regular Meeting

Approved Motion: Motion to approve Minutes of the 5 July Meeting, (Brady/Fitzgerald, 9-0-1).

In favor: Allen, Brady, Conboy, Costello, Fitzgerald, Gabsch, LaCava, Manno, Merten.
 Abstain: Crisafi.

4. Elected Officials Report - Information Only

A. San Diego City Council District 2 - Councilmember Kevin Faulconer

Rep: Katherine Miles, 619.236.6622, kmiles@sandiego.gov
 Ms. Miles was not present.

B. San Diego City Council District 1 - Councilmember Sherri Lightner

Rep: Erin Demorest, 619.236.7762, edemorest@sandiego.gov

Ms. Demorest reported that the Historical Sites Board will consider changes to the historical designation process at their meeting 13 August; the Planning Commission will hear the year-round rope barrier at Children's Pool on 30 August at 8:20 AM in the City Council chamber at 202 C Street, 13th floor; there will be a career fair 25 August 8 AM to noon at Golden Hall.

5. Non-Agenda Public Comment - Issues not on the agenda and within LJCPA jurisdiction, two (2) minutes or less.

A. UCSD - Planner: Anu Delouri, adelouri@ucsd.edu, <http://physicalplanning.ucsd.edu>

Ms. Delouri was not present.

General Public Comment

Jane Reldan repeated Erin Demorest's announcement concerning the Children's Pool rope barrier. **Marne Foster**, candidate for San Diego Unified School District board, District E, spoke. **Michelle Holt** announced that Tuesday, 7 August, is "National Night Out", crime/drug prevention event; she hopes La Jolla will organize activities in the community for next year. **Robert Felix**, from Walk San Diego, announced "Walk Audits" planned for the end of September; SANDAG has increased funding for pedestrian facilities. **Joe Parker**, Bird Rock Community Council, announced their community event/fundraiser to be held 11 August. **Michael Morton** reported that the Gatto Residence was completed, and he also spoke about seeking donations for the La Jolla

Community Center, formerly the Riford Senior Center.

6. Non-Agenda Items for Trustee Discussion

Issues not on the agenda and within LJCPA jurisdiction, two (2) minutes or less.
There were no comments from Trustees.

7. Officer's Reports

A. Secretary

Trustee Allen stated LJCPA is a membership organization open to La Jolla residents, property owners and local businesspersons at least 18 years of age. By providing proof of attendance one maintains membership and becomes eligible for election as a Trustee. Eligible non-members wishing to join the LJCPA must have recorded attendance for one meeting and must submit an application. Forms are on-line at www.lajollacpa.org.

B. Treasurer

Trustee Gabsch asked assistant treasurer, **Jim Fitzgerald**, to give the Treasurer's report. **Trustee Fitzgerald** presented the results for the past month. July Beginning Balance: \$589.34+ Income \$156.01 – Expenses \$398.02 = August Beginning Balance: \$347.33. Expenses for the month included agenda printing, telephone expenses and the semi-annual rent payment for the meeting room.

Trustee Fitzgerald commented on the special generosity of the Membership and Trustees and reminded Trustees, Members and guests: LJCPA is a non-profit organization and must rely solely on the generosity of the community and the Trustees. All donations are in cash to preserve anonymity.

8. President's Report – Action Items where indicated

A. Trustee Special Election – today; polls to close at 7 PM.

B. A Committee Appointment by other community group - for ratification by Trustees – action item

Approved Motion: Motion to ratify the appointment by the other parent organization, La Jolla Town Council, of Mathew Welsh to the Development Permit Review Committee, (Costello/ Manno, 12-0-1).

In favor: Allen, Bond, Brady, Burstein, Conboy, Costello, Fitzgerald, Manno, Merten, Gabsch, LaCava, Little.
Abstain: Crisafi.

C. Ad Hoc Committee on Trustees Representing Project Applicants or Project Opponents – Action item

Appointees: Phil Merten - Chair, Mike Costello - Vice Chair, Laura Ducharme-Conboy, Jim Fitzgerald, Joe LaCava, Tony Crisafi, Cindy Thorsen, Rob Whittemore.

Comments about the makeup of the committee were made with regard to appropriateness of relative participation by persons with professional interests in development, construction, architecture, *etc.* Speaking were **Trustees Little, LaCava, Manno, Courtney, Brady and Fitzgerald**. Also commenting were **Jane Reldan, Esther Viti and Bob Whitney**.

Approved Motion: Motion to ratify the appointments to the Ad Hoc Committee on Trustees Representing Project Applicants or Project Opponents, (Gabsch/Manno, 10-2-3).

In favor: Allen, Bond, Brady, Conboy, Costello, Courtney, Fitzgerald, Lucas, Manno, Gabsch.
Opposed: Burstein, Little.
Abstain: Merten, LaCava, Crisafi.

9. Consent Agenda – Ratify or Reconsider Committee Action

Consent Agenda allows the Trustees to ratify actions of our joint committees and boards in a single vote with no presentation or debate. The public may comment on consent items. Anyone may request that a consent item be pulled for reconsideration and full discussion. Items pulled from this Consent Agenda are automatically trailed to the next CPA meeting.

PDO – Planned District Ordinance Committee, Chair Ione Stiegler, 2nd Mon, 4pm

DPR – Development Permit Review Committee, Chair Paul Benton, 2nd & 3rd Tues, 4pm
PRC – LJ Shores Permit Review Committee, Chair Helen Boyden, 4th Tues, 4pm
T&T – Traffic & Transportation Board, Chair Todd Lesser, 4th Thurs, 4pm

A. SPOT Kids Sign

PDO Action: This sign substantially conforms to the PDO. 7-0-0

7632 Herschel Ave- New signage to be positioned on the front stucco wall above trellis.

B. Mazon EOT

PRC ACTION: The findings can be made for an Extension of Time for the CDP No. 569852 and SDP No. 569853. 5-0-2

7921 El Paseo Grande - EOT for CDP No. 569852 and SDP No. 569853 to demolish an existing residence and construct a 4,461 SF single-family residence on a 0.14 acre site

C. Palazzo SCR – *Pulled by Mike Costello*

PRC ACTION: The Findings can be made for Substantial Conformance of plans dated July 2, 2012 and submitted to the City against vested CDP No. 46240, SDP No. 4624, PDP No. 207962 and Map Waiver No. 219822. 6-0-1

2402 Torrey Pines Rd - SCR against PTS#19379; CDP No. 46240, SDP No. 46241, Planned Development No. 207962 & Map Waiver No. 219822. The original approval allows 30 dwelling units and SCR proposes 27 dwelling units

D. Lai Residence EOT

PRC ACTION: The findings can be made for an Extension of Time for CDPs 51302 and 40871, SDP 51303 and 40872 and Lot Line Adjustment 165689. 6-0-1.

2037 Torrey Pines Rd - Extension of Time for CDP 51302 and 40871, SDP 51303 and 40872 and Lot Line Adj. 165689 to construct a 6,700 SF residence on a 0.23 acre vacant site and demolish an existing two car garage and add a 677 SF three car garage and add a 1,196 SF guest quarters to an existing 1,787 SF res

E. Valet Permit 909 Prospect St – *Pulled by Nancy Manno*

T & T ACTION: Approved, 4-1-1.

909 Prospect St. - Request for Valet Parking permit for Barfly restaurant.

F. 9th Annual La Jolla Concours d'Elegance – *Pulled by Dan Courtney*

T&T ACTION: Approved, contingent on showing support of businesses on Wall and Prospect Streets, 5-0-2.

Friday April 6th to April 7th- Street Closures

G. Red Curb 7205 Olivetas – *Pulled by Mathew Welsh, applicant*

T&T ACTION: Not approved, 3-3.

7205 Olivetas – red curb opposite the driveway of 7205 Olivetas

Trustee LaCava commented on the sloppy reporting of Traffic & Transportation Board minutes to the Trustees.

Approved Motion: Motion

To accept the action of the Planned District Ordinance Committee: (A) SPOT Kids Sign: The sign substantially conforms to the PDO, and forward the recommendation to the City,

To accept the action of the Development Permit Review Committee: (B) Mazon EOT: The findings can be made for an Extension of Time for the CDP No. 569852 and SDP No. 569853, and forward the recommendation to the City,

To accept the action of the La Jolla Shores Permit Review Committee: (D) Lai Residence EOT: The findings can be made for an Extension of Time for CDPs 51302 and 40871, SDP 51303 and 40872 and Lot Line Adjustment 165689, and forward the recommendation to the City,

(Gabsch/Fitzgerald, 14-0-1).

In favor: Allen, Bond, Brady, Burstein, Conboy, Courtney, Costello, Fitzgerald, Lucas, Manno, Merten, Gabsch, LaCava, Little.

Abstain: Crisafi.

10. Reports from Other Advisory Committees - Information only

A. Coastal Access and Parking Board - Meets 1st Tues, 4pm, La Jolla Recreation Center.

Did not meet in July

B. Community Planners Committee – Meets 4th Tues, 7pm, 9192 Topaz Way, San Diego

Trustee LaCava reported that the CPC is still working on the issue of utility boxes; the Mayor wants CPAs to participate in the October/November period in the development of next year's list of Capital Improvement Projects. **Trustee Manno** suggested forming a committee to work on this. **Don Schmidt** commented.

11. Robbins Residence - Action Item

475 Gravilla Street - Variance for over height walls within the required setbacks, eliminate required on site parking and walls above 3' within the required visibility areas and Neighborhood Development Permit for a 5' wall in the public right of way.

DPR MOTION (June 2012): Findings can be made for a Variance for over height walls within the required setbacks, eliminate required onsite parking and walls above 3' within the required visibility areas and Neighborhood Development Permit for a 5' wall in the public right of way at 475 Gravilla St. 5-0-0

LJCPA ACTION (July 2012): Pulled from Consent Agenda by Phil Merten.

Presenting: Matt Peterson attorney for applicant: Jim Robbins

Mr. Peterson explained the situation and provided a handout. It is a garage conversion to living space and associated wall, fence and landscape improvement. **Trustee Merten** opposes due to the loss of parking in a neighborhood where there are small lots and an apparent parking shortage. He emphasized the details of the development code which indicate that findings could not be made and provided a handout. **Jim Robbins**, the applicant, stated that the original garage and driveway were unusable for modern automobiles with lower ground clearance than those at the time of the home construction; no reasonable driveway modification would solve the problem. There were questions from **Trustees Burstein, Courtney, LaCava, Allen** and **Bond**. Questions also were asked by **Jane Reldan, Claude-Anthony Marengo** and **Bob Collins**. In addition to **Trustee Merten**, there was discussion by **Trustees Costello, Lucas, Crisafi, LaCava, Fitzgerald** and **Zimmerman**.

Approved Motion: Findings can be made for a Variance and Neighborhood Development Permit for over-height walls within the required setbacks, remove required non-conforming on-site parking and modify non-conforming walls to comply with the three-foot high SDMC visibility requirements and to allow the bottom three feet of the existing wall to remain in the public right-of-way based on the right-of-way and fence revision drawing dated 10-3-2011 and understanding that the variance will include the proposed deed restriction, (Costello/Burstein, 12-4-1).

In favor: Allen, Bond, Brady, Conboy, Costello, Courtney, Fitzgerald, Gabsch, LaCava, Lucas, Manno, Thorsen.

Opposed: Little, Merten, Zimmerman.

Abstain: Crisafi.

12. Increase speed limit from 25 MPH to 35 MPH - Nautilus Street – Action item

Nautilus St from W. Muirlands to Fay - an increase in the posted speed limit

T & T ACTION (June 2012): Motion to approve failed 2-3-1

LJCPA ACTION (July 2012): Pulled from Consent Agenda by David Little.

Applicant: City of San Diego

Trustees Little, Gabsch, Conboy, Allen, Brady, Courtney, Lucas, LaCava and **Thorsen** spoke on the issue. The problem is that San Diego Police will not use radar in areas such as this one where the posted limit is less than the 85th percentile of car speeds measured in a speed survey. A raise in the posted limit from 25 to 35 MPS would permit use of radar on Nautilus St from W. Muirlands to Fay to apprehend and cite speeders. A secondary issue was participation of neighbors in the City's process to propose this changed speed limit. President Crisafi read letters in opposition to changing the speed limit from **Barbara Hagey** and **Allen Brown**.

Approved Motion: Do not increase the speed limit on Nautilus St from W. Muirlands to Fay, (Burstein/Zimmerman, 14-2-1).

In favor: Bond, Brady, Conboy, Costello, Courtney, Fitzgerald, Gabsch, Little, Lucas, Manno, Merten, Thorsen,

Zimmerman.
Opposed: Allen, LaCava.
Abstain: Crisafi.

13. Bird Rock Mixed Use - Action Item

5702 La Jolla Boulevard - CDP to construct 10 residential for-rent units and 7,726 SF of commercial space on a vacant 0.37 acre site.

PDO MOTION (JULY 2012): The proposed Bird Rock Mixed Use project #259362 conforms with the LJ PDO. Balcony rail planters and grasscrete in the alley dedication area are recommended. 6-0-1

DPR MOTION (JULY 2012): The Findings for a CDP and NDP, that the development complies with the applicable regulations of the Land Development Code, cannot be made because the LJPDO does not allow tandem parking for commercial uses. 5-0-2

Full consideration at request of Applicant

Presenting: **C.-A. Marengo**, applicant's representative and project architect

Mr. Marengo provided written presentation material. He explained why the DPR voted that findings could not be made, and he provided his counter arguments. This is the fourth iteration of development proposals for this parcel. **Sara Breck, Jane Reldan, Don Schmidt, Joe Parker, Bill Breck, Darcy Ashley** and **Fred Webber** addressed the issues. **Trustees Little, Lucas, Costello, Courtney, Thorsen, Conboy, LaCava, Merten, Manno, Gabsch** and **Crisafi** discussed the proposal. Trustee discussion centered on the issue the functionality of tandem parking accessed by the relatively narrow alley. An additional concern was the parking impact of this project and others as the commercial area of Bird Rock fills in.

Approved Motion: The findings can be made for a Coastal Development Permit and a Neighborhood Development Permit for the proposed Bird Rock Mixed Use project, (Thorsen/Brady, 13-2-1).

In favor: Allen, Brady, Conboy, Courtney, Fitzgerald, Gabsch, LaCava, Little, Lucas, Manno, Merten, Thorsen, Zimmerman.

Opposed: Bond, Costello.

Abstain: Crisafi.

Trustee Special Election Result – one vacant seat due to Trustee resignation announced in May

Election Chair **Tim Lucas** presented the vote count to **President Crisafi**, who then announced the result: Elected to a three year term: Bob Collins

The number of ballots cast was 48. **President Crisafi** announced that results can be challenged until Thursday, August 9, 5:00 pm. If no challenge, the ballots will be destroyed.

President Crisafi thanked Election Chair **Trustee Tim Lucas** for, once again, running a flawless election, and thanked all of the Community Members who graciously contributed their time assisting **Trustee Lucas**. **Trustees** expressed their gratitude.

14. CPA Role in Code Violations within the Community – Discussion / Action Item

DPR MOTION (JULY 2012): The DPR Committee recommends that the LJCPA take a formal position on projects where code violations negatively affecting community and neighborhood character have occurred. 7-0-0

Discussion ensued on what kinds of violations – visual appearance or building technicalities – would be subject. How would LJCPA initiate an action and to whom would it deliver it? There was an assertion that City code enforcement is separate from building inspection staff and the former cannot act until the latter has approved and signed-off a permit. Is the matter of concern that the Development Services Department is interpreting codes in error in the permit process? **Trustees Merten, Zimmerman, Crisafi, Conboy, Little, Allen, Fitzgerald** and **Thorsen** spoke on the issue as did **John Berol, Erin Demorest, Bob Whitney, Helen Boyden, and Claude-Anthony Marengo**. **Trustee Manno** suggested that the discussion be continued by the **Ad Hoc Committee on Trustees Representing Project Applicants or Project Opponents**.

- 15. Adjourn**, at 9:40 PM.
Next Regular Monthly Meeting, 6 September, 6:00 pm.

DRAFT 04, 08AUG12



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 Bird Rock Mixed Use 259362

Project Address:
 5702 LA JOLLA BLVD., LA JOLLA, CA 92037

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Michael Kramps & Olga Kramps, Trustees of the M.ORK Family Trust dated 11/1/2007
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 PO Box 2035
 City/State/Zip:
 LA JOLLA, CA 92038
 Phone No: Fax No:
 858-204-0646
 Signature: Date:
 Michael Kramps, Trustee 9/26/11

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Michael Kramps & Olga Kramps, Trustees of the M.ORK Family Trust dated 11/1/2007
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency

Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:



County of San Diego

DEPARTMENT OF ENVIRONMENTAL HEALTH
LAND AND WATER QUALITY DIVISION

P.O. BOX 129261, SAN DIEGO, CA 92112-9261
858-505-6648/FAX 858-505-6848/1-800-253-9933

www.sdcdeh.org

JACK MILLER
DIRECTOR

ELIZABETH POZZEBON
ASSISTANT DIRECTOR

November 14, 2012

Mr. Michael Krambs
P.O. Box 2035
La Jolla, CA 92038

Dear Mr. Krambs:

REPORT RESPONSE
VOLUNTARY ASSISTANCE PROGRAM CASE #H13147-004 BIRDROCK MIXED USE
5702 LA JOLLA BLVD, LA JOLLA, CA

The *Vapor Risk Assessment Addendum* prepared by Advantage Environmental for the above referenced site dated October 31, 2012 and received by the Department of Environmental Health (DEH) on November 2, 2012 was reviewed and we have the following comments:

- The human health vapor risk assessment is approved for the proposed mixed-use redevelopment of the site. Please obtain a permit to properly destroy the soil vapor probes.

Please call me at (858) 505-6983 if you have any questions.

Sincerely,

Ellen Beacon

Digitally signed by Ellen Beacon
DN: cn=Ellen Beacon, o=County of San Diego, ou=SAM,
email=Ellen.Beacon@sdcounty.ca.gov, c=US
Date: 2012.11.14 15:24:27 -08'00'

ELLEN BEACON, PG 7566
Project Manager
Site Assessment and Mitigation Program

cc: Mr. Michael Gibbs, Advantage Environmental (via e-mail)
Ms. Holly Smit-Kicklighter, City of San Diego (via e-mail)

WP/H13147-004RR11--12