



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: July 3, 2013 **REPORT NO. PC-13-083**

ATTENTION: Planning Commission, Agenda of July 11, 2013

SUBJECT: CASTLEROCK – PROJECT NO. 10046

REFERENCE: Land Use and Housing Report No. 13-09/Planning Commission Report No. PC-03-046

OWNER/ Pardee Homes (Attachment 24)

SUMMARY

Issue(s): Should the Planning Commission recommend approval of a residential subdivision within the East Elliott Community Plan area, with a resolution of support to the Local Agency Formation Commission for reorganization of the developed portion of the site to the City of Santee?

Staff Recommendations:

1. Recommend the City Council **Certify** Environmental Impact Report No. 10046, **Adopt** the Mitigation Monitoring and Reporting Program, and **Adopt** the Findings and Statement of Overriding Considerations;
2. Recommend the City Council **Approve** amendments to the General Plan and the East Elliott Community Plan No. 618628;
3. Recommend the City Council **Adopt** the Rezoning Ordinance No. 19029;
4. Recommend the City Council **Approve** Vesting Tentative Map No. 1004468 with Public Rights-of-Way Vacations No. 100446958, and Easement Vacations No. 1004471;
3. Recommend the City Council **Approve** Site Development Permit No. 19032 and Planned Development Permit No. 19031 with a Boundary Line Adjustment for the Multiple Habitat Planning Area; and
4. Recommend the City Council **Approve** a Resolution of Support for

Reorganization of an approximately 113 acre portion of the site to the City of Santee.

Community Planning Group Recommendation: The project site is located in the East Elliott Community Plan area. There is no active Community Planning Group for this area.

Other Recommendations: On May 7, 2013, the Mission Trails Regional Park, Citizens Advisory Committee voted to accept the design of the Castlerock project as consistent with the MTRP Design Guidelines; therefore, support the project with the request that water, sewer, and reclaimed water be provided through Padre Dam Municipal Water District (Attachment 22).

On July 19, 2012, the Wetlands Advisory Board voted that the project is not inconsistent with city wetlands protection policies.

Environmental Review: Environmental Impact Report No. 10046 has been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) Guidelines. A Mitigation, Monitoring, and Reporting Program has been prepared and will be implemented which will reduce, to below a level of significance, some of the potential impacts identified in the environmental review process. The applicant has also provided Draft Candidate Findings and a Statement of Overriding Considerations to allow the City Council to adopt the project with significant and unmitigated impacts.

Fiscal Impact Statement: All staff costs associated with the processing of this project are paid from a deposit account maintained by the owner, Pardee Homes. A Fiscal Impact Analysis report, and separate City Staff response, for the annexation and future development on the Castlerock property is attached which addresses the anticipated long term fiscal well being for the City of San Diego, and will require review by the full City Council.

Housing Impact Statement: The East Elliott Community Plan identifies an approximately 117-acre area on the eastern fringe of the planning area for Very Low Density (0-5 dwelling units per acre) single family residential development. A maximum of 500 dwelling units may be developed within this area. The Annexation Scenario would develop 430 single family dwelling units which would become part of the City of Santee. Based upon the remaining acreage of residentially designated land after annexation, approximately 45 single family residential units could be developed within the City of San Diego's boundaries. The No Annexation Scenario would develop 422 single family dwelling units within the City of San Diego. Compliance with the City of San Diego's Inclusionary Affordable Housing Ordinance would be addressed through payment of affordable housing fees to the City of San Diego under both the Annexation and No-Annexation Scenarios.

BACKGROUND

The Castlerock project is an approximate 203-acre site, located at the eastern border of the City of San Diego, in the East Elliott Community Plan area, on the north side of Mast Boulevard between Medina Drive and West Hills Parkway (Attachment 1). The City of Santee is contiguous with the eastern and southern borders of the project site. Direct access to the property is from Mast Boulevard with regional access from State Route 52 and West Hills Parkway. The site is currently designated for Single Family Development within the East Elliott Community Plan and zoned RS-1-8 (Attachment 2). The site was part of Camp Elliott in the 1940's-50's. A network of unimproved dirt trails and roads resulting from off-road vehicle activity exists on site. An SDG&E electrical substation is located on a parcel near the center of the site and is "Not a Part" (NAP) of this project. Power lines extend westerly from the substation.

The project site consists primarily of rolling terrain of slopes and ridges with the Sycamore Landfill to the west, single dwelling units to the east (located in the City of Santee), and West Hills High School to the south (Attachment 3). On site, elevations vary from approximately 376 feet above mean sea level (MSL) at the southeastern corner of the site to approximately 678 feet above MSL immediately to the northwest.

On February 12, 2003, the Planning Commission approved an initiation of the East Elliott Community Plan Amendment, to allow multiple dwelling units where the Plan recommends single family dwellings (Attachment 4). Soon after, Pardee submitted the Castlerock development project. During the City's review of the project, Pardee began negotiations with the City of Santee in response to many of the potential impacts as listed in the Initiation Resolution. The proximity of the site to the services and neighborhoods of the City of Santee resulted in the eventual proposal that this site be reorganized into the City of Santee.

On December 2, 2008, the Council of the City of San Diego approved a resolution "authorizing the Mayor, or his designee, to execute and deliver the Letter of Intent related to a proposed reorganization of San Diego's and Santee's jurisdictional boundaries to move certain real property and a proposed Castlerock housing development project out of San Diego's jurisdiction and into Santee's jurisdiction" (Attachment 5).

The proposed non-binding Letter of Intent (LOI) by and between the City of San Diego, the City of Santee, and Pardee Homes was to express the general intent of the cities to pursue discussions associated with the reorganization of their jurisdictional boundaries in the event that the City of San Diego was to approve Pardee Home's proposed Castlerock development project. On October 8, 2008, the Santee City Council voted 3-1 to enter into a similar LOI (Attachment 6).

DISCUSSION

Project Description:

The Castlerock development is a dual scenario project; the first scenario, the Annexation Scenario, proposes the subdivision of a 203.64-acre site into a 430-unit residential development with 283 detached single-family residences and 147 multi-family detached units clustered on larger lots (referred to as green court units), approximately 4.0 acres (gross) of public parks, 0.64 acre (0.49 acre usable) of pocket parks, a multi-use trail, public streets and private driveways,

and approximately 94-acres of open space. Design Guidelines for the detached multi-family area are required and attached as a part of the Exhibit A (Attachment 7). Under the Annexation Scenario, the project site would be detached from the City of San Diego, except for approximately 90-acres of dedicated open space area, and annexed into the City of Santee's territory and the Padre Dam Municipal Water District (PDMWD) service district ("Reorganization"). In the event the San Diego Local Area Formation Commission (LAFCO) does not approve the Annexation Scenario or the Annexation Scenario is terminated by failure by one or more agencies to approve it, the No Annexation Scenario would become effective. The No Annexation Scenario proposes the subdivision of the 203.64-acre site into a 422-unit residential development with 282 detached single-family residences, 140 multi-family green court units, approximately 4.0 acres (3.0 usable) of public parks, 0.50 acre (0.39 acre usable) of pocket parks, a multi-use trail, public streets and private driveways, approximately 94-acres of open space, a vernal pool preserve, HOA Brush Management area, and related on-site and off-site water and sewer infrastructure improvements (Attachment 7). The site is currently zoned in its entirety as RS-1-8. The requested rezone will only affect the future developed portion of the site and B-sheets have been prepared for each scenario (Attachments 8-9).

General/Community Plan Analysis:

As described previously in this report, there are two scenarios under which the Castlerock project would be developed. The Annexation Scenario would require an amendment to the City of San Diego General Plan and the East Elliott Community Plan to remove the project area from the City of San Diego boundaries. The No Annexation Scenario would redesignate approximately 15 acres of property from Very Low Density Residential (0-5 du/ac) to Low Density Residential (5-10 du/ac). The proposed amendment was initiated by Planning Commission on February 12, 2003, by Planning Commission Resolution Number 3474-PC. As part of the initiation, Planning Commission directed staff to analyze several issues in conjunction with the plan amendment process. Those issues and analysis of those issues are provided in Attachment 10. The following is an analysis of the project's consistency with General Plan and East Elliott Community Plan goals and objectives.

General Plan

The Land Use and Community Planning Element (Land Use Element) provides policies to guide the City of San Diego's growth and implement the City of Villages strategy within the context of San Diego's community planning program. The Land Use Element addresses land use issues that apply to the City as a whole. The community planning program is the mechanism to refine citywide policies, designate land uses, and make additional site-specific recommendations as needed. The Land Use Element establishes the structure to respect the diversity of each community and includes policy direction to govern the preparation of community plans. The element also provides policy direction in areas including zoning and policy consistency, the plan amendment process, coastal planning, airport-land use planning, annexation policies, balanced communities, equitable development, and environmental justice.

Section K of the Land Use Element provides policies on Annexation and Reorganization. One of the two goals for this section is the identification of prospective annexation areas to limit urban sprawl, avoid duplication of urban services in an efficient manner, and preserve open space. The

project site is identified in the East Elliott Community Plan as an area which should be considered for reorganization to the City of Santee should Santee favor such reorganization. Annexation of the Castlerock development by Santee would avoid duplication of urban services that are currently provided for adjacent residential development by the City of Santee. The Annexation Scenario would also include preservation of open space which would remain within the City of San Diego and become an extension of Mission Trails Regional Park.

The Urban Design Element addresses the integration of new development with the natural landscape or within the framework of an existing community, with minimum impact on that community's physical and social assets. The project consists of single family residences consistent with existing single family development in the City of Santee. The project has been designed to maintain and preserve, through dedication, approximately 90 acres of open space within the MHPA in an area for the proposed expansion of Mission Trails Regional Park. Pedestrian Trails have been included into the design to connect with existing trails outside the project site. Landscaping and brush management plans would limit the plants adjacent to the MHPA and open space to native species and have been designed to preserve the natural landscape.

The Public Facilities, Services and Safety Element addresses facilities and services that are publicly managed, and have a direct influence on the location of land uses. The policies within the element also apply to transportation improvements and park and recreation facilities and services. Under the Annexation scenario, fire protection and paramedic services would be provided by the City of Santee. There is a fire station located within one mile of the project located at 9130 Carlton Oaks Drive and another station approximately three miles away located at 8950 Cottonwood Avenue. Under the No Annexation Scenario, primary fire protection and paramedic services would be provided by Fire Station Number 34, located at 6565 Cowles Mountain Boulevard within the City of San Diego. Under both scenarios, call volume would increase for the responding fire stations; however, no new stations would be required.

Police services would be provided by the San Diego County Sheriff's Department under its contract with the City of Santee under the Annexation Scenario. There is no fixed formula or ratio used to provide an adequate level of service; however, an annual review by the City would ensure that adequate police protection would be provided. Under the No Annexation scenario, primary police protection would be provided by the City of San Diego Police Department. Without additional police officers it is likely that response times would increase in the project area. The Police Department has determined that two additional police officers would be needed to attain the City's 1.45 officers per 1,000 residents; however, no new facilities would be required to serve the new development.

Primary library service under the Annexation scenario would be provided by the Carlton Hills Library, part of the San Diego County system. Additional library service would be provided by nearby libraries in Lakeside, San Carlos and El Cajon. Primary library service under the Annexation scenario would be provided by the City of San Diego's nearest branch library, six miles away in San Carlos. Currently, the existing branch library in San Carlos does not meet the City's service area goals; however, a new 25,000 square foot library is planned to replace the existing 8,200 square foot library, which would adequately serve the existing and proposed population. The project would include payment of required Development Impact Fees to support

development of the new library.

The City of Santee's service ratio for recreation is 10 acres of parkland for every 1,000 residents, but only 5 acres must be developable. Based upon Santee's service ratio, 6.94 acres of parkland would be required under the Annexation Scenario. The proposed project would develop 4.09 acres of public parks and .66 acres of pocket parks resulting in a deficit. This deficit would be handled through payment of in-lieu park fees by the applicant. Per the City of San Diego's General Plan recommendations for provision of population based parks, 3.44 acres would be required, therefore, under the No Annexation scenario, 4.09 acres of population based parks and .50 acres of private pocket parks would be provided on-site.

Under both the Annexation and No Annexation scenarios, school service would be provided by the Santee School District and the Grossmont Unified High School District. It is anticipated that the maximum number of residential units proposed (430) would generate a total of 359 students. Payment of school fees would be required under both scenarios and would ensure that any project impacts are properly mitigated.

The Conservation Element contains policies to guide the conservation of the resources that are fundamental components of San Diego's environment, that help define the City's identity, and that are relied upon for continued economic prosperity. One of the main goals of the element regarding open space is to preserve the natural landforms which make San Diego unique. Although the project includes grading on portions of the site which include slopes and canyons, these slopes would be contour grades to blend in with the natural landscape and revegetated with native plants. As mentioned previously, the project also would preserve, through dedication, approximately 90 acres of open space as part of the MHPA and would become an extension of the proposed expansion of Mission Trails Regional Park.

East Elliott Community Plan

The East Elliott Community Plan designates the site for both residential and open space land uses adjacent to a residential area in the City of Santee. The project site is comprised in part, of an approximately 117 acre area designated for residential use. The community plan states that residential development in this area should be sensitive and similar to the adjacent development in the City of Santee in terms of siting, scale, density and design. A maximum of 500 single family residential units can be constructed in this area according to the community plan.

The proposed project would be consistent with the community plan through development that is sensitive and similar in scale to the adjacent development in Santee. The existing residential development in Santee consists of single family, detached units on approximately 7,000 square foot lots with an average density of 4.46 dwelling units per acre. The proposed project would yield an average of 6,340 square foot lots and an average density of 4.64 dwelling units per acre. The design and architectural detail of the proposed units would be consistent with the design guidelines contained in the Mission Trails Design District Design Guidelines and compatible with the existing residential development in Santee. The proposed project would also be consistent with the community plan's goals for open space preservation through the preservation, through dedication of approximately 90 acres of open space.

While the East Elliott Community Plan allows the residential density proposed in both scenarios, the addition of a multi-family designation is proposed for the project (Attachment 11). For the Annexation Scenario the developed portion of the site will be removed from the community plan, should the reorganization ultimately be approved (Attachment 12), and the addition of multi-family residential will be added under the No Annexation Scenario (Attachment 13).

Environmental Analysis:

The Project includes both development scenarios: the Annexation and No-Annexation Scenarios, with the approval of the No-Annexation Scenario contingent on the failure of the approval of the Annexation Scenario by the City of Santee, the PDMWD, or LAFCO. If Santee, PDMWD or LAFCO do not approve the reorganization, then Pardee would develop the No-Annexation Scenario, which would remain in the City of San Diego. The environmental document for the project identifies potential environmental impacts and mitigation associated with each scenario (Attachment 14).

The analysis discusses the project's potential impacts to Land Use, Landform Alteration/Visual Quality/Neighborhood Character, Air Quality/Odor, Biological Resources, Historical Resources, Human Health/Public Safety/Hazardous Materials, Hydrology/Water Quality, Geology and Soils, Greenhouse Gases, Noise, Paleontological Resources, Transportation/Circulation, Public Facilities and Services, Public Utilities, and Energy Use and Conservation.

The evaluation of environmental issue areas in this EIR concludes that both scenarios would result in significant but mitigable direct impacts associated with Air Quality (construction emissions), Biological Resources (sensitive biological resources, plan consistency, and unexploded ordnance), Cultural/Historical Resources (archaeology), Human Health/Public Safety/Hazardous Materials (unexploded ordnance), Noise (traffic noise exposure), Paleontological Resources (unknown subsurface resources), and Transportation/Circulation (traffic/circulation). The No Annexation Scenario would also result in an additional significant but mitigable direct impact associated with Noise (stationary noise) and a significant but mitigable cumulative impact related to Public Facilities and Services (libraries). Implementation of the proposed Mitigation Monitoring and Reporting Program (MMRP) would reduce these environmental effects of both scenarios to below a level of significance.

Both scenarios would result in significant unmitigated impacts related to Landform Alteration/Visual Quality/Neighborhood Character (landform alteration and views), and Greenhouse Gases.

Project-Related Issues:

The project is within or directly adjacent to the Multiple Species Conservation Program's (MSCP) MHPA. The project is located in or adjacent to Environmentally Sensitive Lands (ESL) for Steep Hillside, and Sensitive Biological Resources which include Wetlands. The site also has vernal pools, which will be avoided and protected unless the Army Corps of Engineers (ACOE) issues a 404 permit and the United States Fish & Wildlife Service (USFWS) issues a section 7 Biological Opinion authorizing impacts. The portion of the site not detached would stay in the City of San Diego as an addition to the Mission Trails Regional Park. The Cedar Fire

in October 2003 burned the vast majority of the project site so the Castlerock Project is designed with brush management zones, fire walls and modern structural upgrades for homes located in a fire hazard area. In addition, there are conditions in the Site and Planned Development Permit and Vesting Tentative Map that ensure the development is serviced and protected by sufficient fire service (Attachments 15-18).

For the reorganization to occur, the San Diego City Council would need to certify the EIR which includes the Annexation and No-Annexation Scenarios, approve all necessary ordinances and resolutions, as well as an Annexation Agreement which sets forth the duties and responsibilities of the City of San Diego, City of Santee, Padre Dam, and Pardee during the processing of the Annexation Scenario, and a Resolution of Support for Reorganization to LAFCO. A draft Resolution in Support is provided (Attachment 19). For the no-Annexation Scenario, the Council will consider a new Public Facilities Financing Plan for East Elliott.

In order to evaluate the fiscal impact of both scenarios, a Fiscal Impact Analysis has been prepared by the applicant (Attachment 20). City Staff has prepared an evaluation of the Applicant's Analysis which is also attached (Attachment 21). Additionally, LAFCO would need to consider different factors related to land use and the provision of public services. Primarily, LAFCO will need to determine if the City of Santee and PDMWD could provide public services, including but not limited to public safety, water, and wastewater more efficiently than the City of San Diego.

Community Planning Group:

The East Elliott Community Plan area does not have an active Community Planning Group. On May 7, 2013, the Mission Trails Regional Park Citizen's Advisory Committee voted 10-1-1 to recommend that the project "proceed with the water coming from Padre Dam Water District utilizing purple pipe (Attachment 22)."

Conclusion:

The proposed Castlerock project consists of the subdivision of a 203.64-acre site into up to a 430-unit residential development with 283 detached single-family residences and up to 147 multi-family detached units clustered on larger lots, approximately 4.0 acres of public parks, 0.64 acre of pocket parks, a multi-use trail, public streets and private driveways, and approximately 90-acres of dedicated open space. The project consists of two scenarios, an Annexation Scenario and a No-Annexation Scenario, which would be effective only if the Annexation Scenario were not approved by other public agencies.

Staff has determined the proposed project, with the adoption of the East Elliott Community Plan Amendment and the rezoning ordinance, complies with the applicable sections of the Municipal Code. In addition, staff has considered the proposed reorganization and recommends Planning Commission support of the action (Attachment 23). An Environmental Impact Report has been prepared for this project and the mitigation required would reduce some potentially significant impacts to below a level of significance. Findings and a Statement of Overriding Considerations must be made to certify the Environmental Impact Report regarding potential direct and cumulative impacts which remain significant and unmitigated.

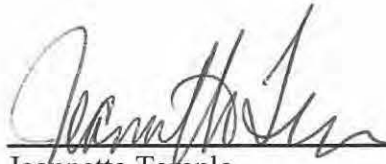
ALTERNATIVES:

1. **Recommend Approval** of the project, **with modifications.**
2. **Recommend Denial** of the project, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Jeannette Temple
Development Project Manager
Development Services Department



Cathy Winterrowd
Assistant Deputy Director
Advanced Planning and Engineering

GALLARDO/WESTLAKE/JT

Attachments:

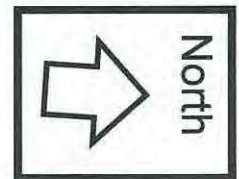
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Community Plan Amendment Initiation Resolution
5. City of San Diego Letter of Intent Resolution
6. City of Santee Letter of Intent
7. Proposed Development Plans/Exhibits A(1) and A(2), and Green Court Design Guidelines
8. Draft Rezone Ordinance
9. Draft B-Sheets for Annexation and No Annexation Scenarios
10. Community Plan Amendment Initiation Responses
11. Draft Community Plan Amendment Resolution,
12. CPA Strikeout/Underline Text, and Revised Graphics for Annexation
13. CPA Strikeout/Underline Text, and Revised Graphics for No Annexation
14. Draft Environmental Resolution with MMRP, Findings and Statement of Overriding Considerations
15. Draft Permit Ordinance with Findings
16. Draft Permit with Conditions
17. Draft Vesting Tentative Map Ordinance and Easement Relocation Exhibit
18. Draft Vesting Tentative Map Conditions
19. Draft Resolution of Support of Reorganization
20. Applicant's Fiscal Impact Analysis
21. Staff Analysis of Applicant's Fiscal Impact Analysis

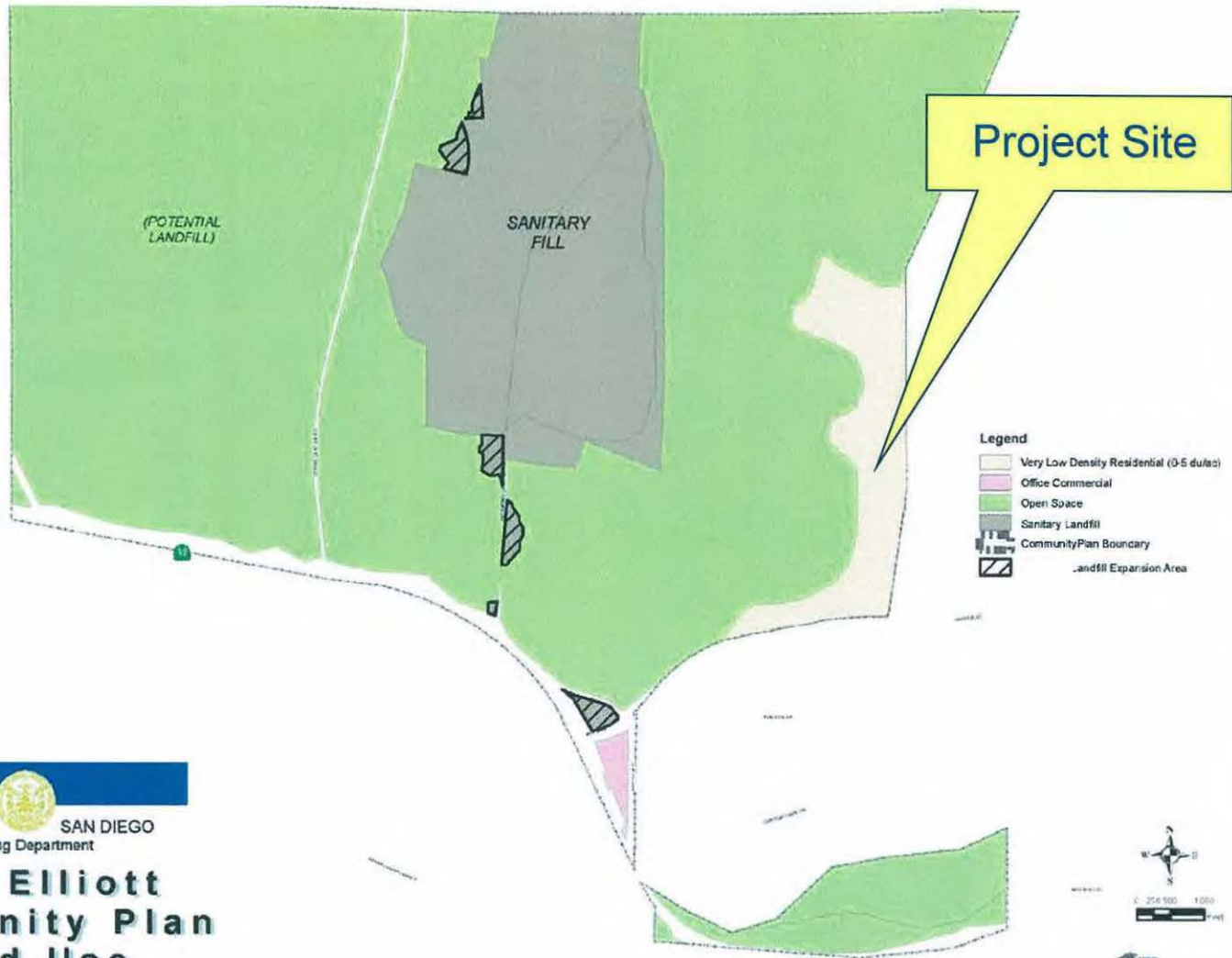
22. Mission Trails Regional Park Committee Recommendation
23. Draft Planning Commission Resolution
24. Ownership Disclosure
25. Project Chronology



Aerial Photo

CASTLEROCK – 8510 MAST BOULEVARD
PROJECT NO. 10046





CITY OF SAN DIEGO
 Planning Department
East Elliott
Community Plan
Land Use



Land Use Map
CASTLEROCK – 8510 MAST BOULEVARD
 PROJECT NO. 10046





Project Location Map

CASTLEROCK – 8510 MAST BOULEVARD
PROJECT NO. 10046



PLANNING COMMISSION RESOLUTION NO. 3474-PC**INITIATING AN AMENDMENT TO THE ELLIOTT
COMMUNITY PLAN AND THE PROGRESS GUIDE AND GENERAL PLAN
TO ALLOW MULTIPLE DWELLING UNITS**

WHEREAS, on February 12, 2003, the Planning Commission of the City of San Diego held a public hearing to consider initiation of an amendment to the Elliott Community Plan and the Progress Guide and General Plan; and

WHEREAS, the amendment request is to allow multiple dwelling units in an area where the plan recommends single family residential development; and

WHEREAS, the Planning Commission of the City of San Diego considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; **NOW, THEREFORE**,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby initiates the Castlerock amendment to the Elliott Community Plan and Progress Guide and General Plan, to include analysis of the following issues:

- The compatibility of multiple dwelling units with the remainder of East Elliott and the adjacent Santee community.
- The location, number and density of multiple dwelling units that should be permitted.
- The impact of multiple dwelling units on the amount of grading needed for the larger pad areas unless the units are terraced.
- The benefits of providing multiple dwelling units in the provision of additional dwelling units and the provision of affordable housing.
- The provision of required affordable housing on site.
- If the affordable housing fee provision is utilized, what would the fee be and where would it be spent.
- In considering the affordable housing issue, consider the availability of affordable housing in the City of Santee.
- Consider the 50 percent affordable housing density bonus.

- Consider the visual impact in relation to the site's position as a backdrop to Santee Lakes, and coordinate this analysis with the City of Santee.
- Consider pedestrian access to schools, and the library.
- Coordinate bicycle access to surrounding bikeways and land uses.
- Look at access public transportation.
- For internal circulation, analyze the frequency of street connections and consider traffic calming on the north-south collector street.
- Consider mixed use with a small retail component.
- Consider the cumulative effects of the landfill and its proposed expansion.
- Obtain a letter of comment from the City of Santee.


John Wilhoit
Senior Planner

Approved: February 12, 2004
By a vote of: 6-0-0


Linda Lugano
Legislative Recorder
to the Planning Commission

Art Galloway

(R-2009-690)

#334

4A

12/02

RESOLUTION NUMBER R- 304519
DEC 15 2008
 DATE OF FINAL PASSAGE _____

A RESOLUTION AUTHORIZING THE MAYOR TO EXECUTE AND DELIVER A LETTER OF INTENT ON BEHALF OF THE CITY OF SAN DIEGO RELATED TO A PROPOSED REORGANIZATION OF THE JURISDICTIONAL BOUNDARIES OF THE CITY OF SANTEE AND THE CITY OF SAN DIEGO.

WHEREAS, Pardee Homes, a California corporation [Pardee], is the owner and developer of the real property consisting of approximately 117 acres of land [Property] located within San Diego's East Elliott Community Plan Area; and

WHEREAS, Pardee has applied to San Diego for approval to build its proposed "Castlerock" housing development project [Project] on the Property; and

WHEREAS, the Project is adjacent to developed areas in the City of Santee, and relatively far from developed areas in the City of San Diego; therefore, many of the potential impacts of the Project may be borne by Santee rather than San Diego, including without limitation potential impacts to roads, utilities, emergency services, park and recreation facilities, libraries and other public facilities and services; and

WHEREAS, if San Diego were to approve the Project, a reorganization of San Diego's and Santee's jurisdictional boundaries to move the Property and the Project out of San Diego's jurisdiction and into Santee's jurisdiction [Reorganization] may help address such impacts and may be consistent with San Diego's and Santee's planning documents; and

WHEREAS, a Letter of Intent [LOI] has been proposed to express the general willingness of San Diego and Santee to implement the Reorganization on terms to be negotiated

(R-2009-690)

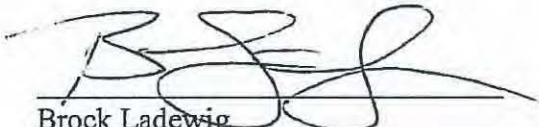
if and only if San Diego approves the Project, and to express Pardee's general intent to cooperate with and facilitate the Reorganization; and

WHEREAS, the making of the LOI by The City of San Diego, in light of the information currently available and actually known by the City, is in the best interests of the public health, safety, or welfare; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego, the Mayor, or his designee, is authorized to execute and deliver the Letter of Intent on file in the Office of the City Clerk as Document No. RR- 304519 related to a proposed reorganization of San Diego's and Santee's jurisdictional boundaries to move certain real property and a proposed "Castlerock" housing development project out of San Diego's jurisdiction and into Santee's jurisdiction.

APPROVED: MICHAEL J. AGUIRRE, City Attorney

By


Brock Ladewig
Chief Deputy City Attorney

BL:bas
11/17/08
Or.Dept: CP&CI
R-2009-690
MMS #7079

R-304519

(R-2009-690)

I hereby certify that the foregoing Resolution was passed by the Council of the City of San Diego, at this meeting of DEC 02 2008.

ELIZABETH S. MALAND
City Clerk

By *Mary Zumaiga*
Deputy City Clerk

Approved: 12.15.08
(date)

JSL
JERRY SANDERS, Mayor

Vetoed: _____
(date)

JERRY SANDERS, Mayor

R-304519



CITY OF SANTEE

MAYOR
Randy Voepel

CITY COUNCIL
Jack E. Dale
Rob McNelis
John W. Minto
John Ryan

CITY MANAGER
Keith Till October 18, 2012

Mr. David Graham
Office of the Mayor
City of San Diego
202 C Street, 11th Floor
San Diego, CA 92101

Mr. Jimmy Ayala
Director of Community Development
Pardee Homes
6025 Edgewood Bend Court
San Diego, CA 92130

Re: Letter of Intent Regarding a Jurisdictional Reorganization Plan

Dear Mr. Graham and Mr. Ayala:

On October 8, 2008, the Santee City Council approved the Letter of Intent Regarding a Jurisdictional Reorganization Plan ("LOI") entered into by and between the City of San Diego ("San Diego"), the City of Santee ("Santee") and Pardee Homes ("Pardee") (collectively, "the Parties"). A copy of the LOI executed by myself on behalf of Santee is attached.

Paragraph 17 of the LOI provides the following:

17. This Letter of Intent shall be effective on the date it is executed by the last Party to sign the Letter of Intent, and it shall be effective until December 31, 2010, unless extended in writing by the Parties.

For the past couple of years, the Parties have worked cooperatively and in good faith to accomplish the purposes and intent of the LOI. It is my understanding that it is anticipated that the Project will be scheduled for hearing before the San Diego City Council during the first quarter of 2013. As a result, the Parties believe it is prudent to extend the expiration of the LOI.

Effective immediately, the LOI will be extended until the earlier of LAFCO final decision on the Reorganization or a Party providing thirty (30) days written notice to all Parties terminating the LOI.

Santee:
City of Santee, a municipal corporation

By: Keith Till

Title: City Manager

David Graham and Jimmy Ayala
October 18, 2012
Page 2

San Diego:
City of San Diego, a municipal corporation

By: _____

Title: _____

Pardee:
Pardee Homes, a California corporation

By: 

Beth Fischer
Vice President

Title: _____

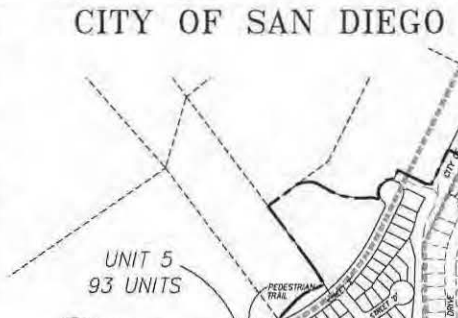
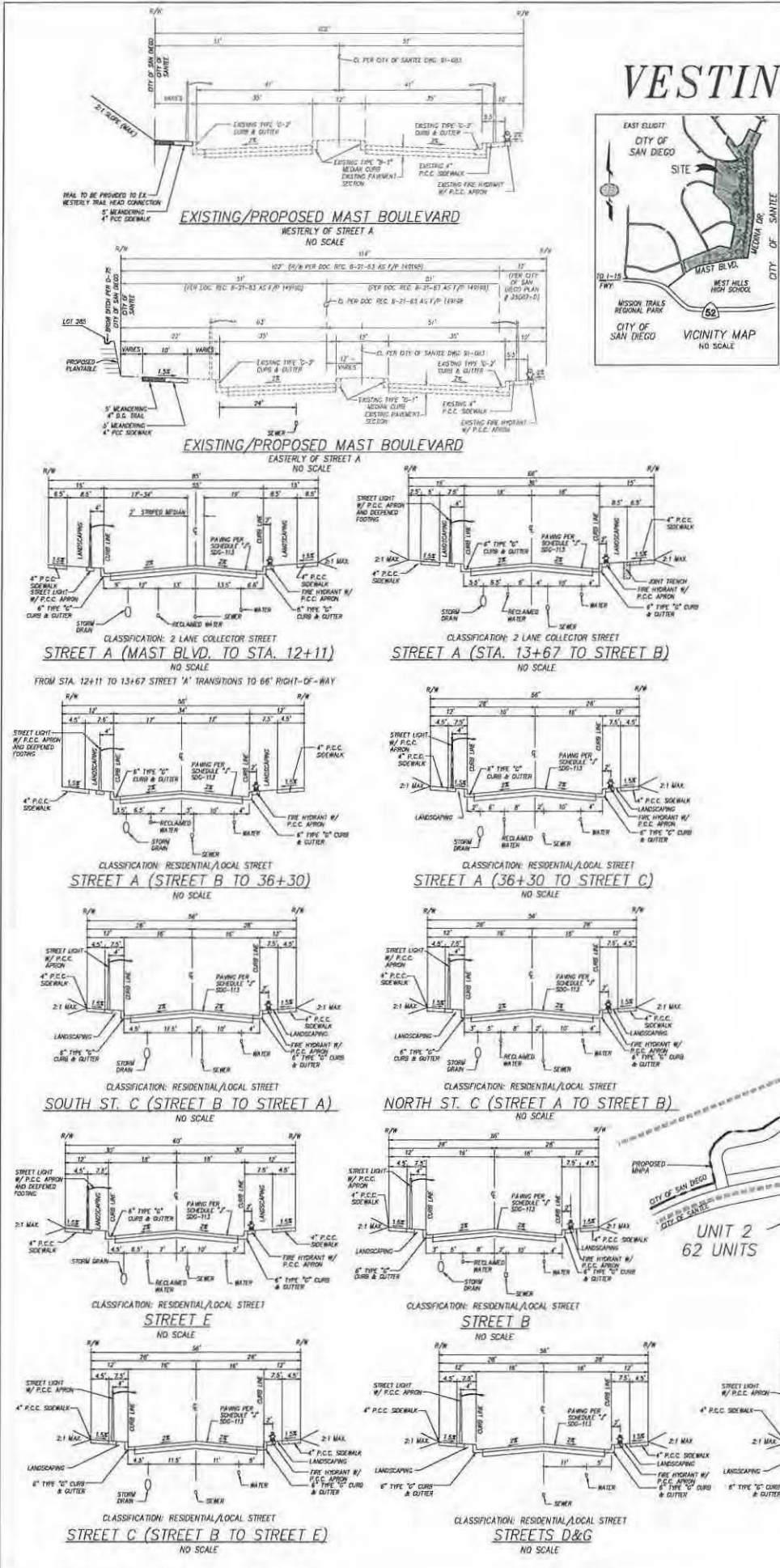
Enclosure

cc: Shawn Hagerty, City Attorney, City of Santee
Shannon Thomas, Deputy City Attorney, City of San Diego
John Ponder, Attorney, Pardee Homes

CASTLEROCK VESTING TENTATIVE MAP NO. 1004468

CITY OF SAN DIEGO

ASSESSOR'S PARCEL NUMBERS
366-050-12, 366-050-18, 366-050-19, 366-050-20, 366-050-21, 366-050-22, 366-050-23, 366-050-24, 366-050-25, 366-050-26, 366-050-27, 366-050-28, 366-050-29, 366-050-30, 366-050-31, 366-050-32, 366-050-33, 366-050-34, 366-050-35, 366-050-36, 366-050-37, 366-050-38, 366-050-39, 366-050-40, 366-050-41, 366-050-42, 366-050-43, 366-050-44, 366-050-45, 366-050-46, 366-050-47, 366-050-48, 366-050-49, 366-050-50, 366-050-51, 366-050-52, 366-050-53, 366-050-54, 366-050-55, 366-050-56, 366-050-57, 366-050-58, 366-050-59, 366-050-60, 366-050-61, 366-050-62, 366-050-63, 366-050-64, 366-050-65, 366-050-66, 366-050-67, 366-050-68, 366-050-69, 366-050-70, 366-050-71, 366-050-72, 366-050-73, 366-050-74, 366-050-75, 366-050-76, 366-050-77, 366-050-78, 366-050-79, 366-050-80, 366-050-81, 366-050-82, 366-050-83, 366-050-84, 366-050-85, 366-050-86, 366-050-87, 366-050-88, 366-050-89, 366-050-90, 366-050-91, 366-050-92, 366-050-93, 366-050-94, 366-050-95, 366-050-96, 366-050-97, 366-050-98, 366-050-99, 366-050-100



GRADING

- TOTAL AMOUNT OF SITE TO BE GRADED: 108.63 ACRES
- PERCENT OF TOTAL SITE GRADED: 53%
- AMOUNT OF SITE WITH 25 PERCENT SLOPES OR GREATER: 84.4 ACRES
- PERCENT OF TOTAL SITE WITH 40 PERCENT SLOPES OR GREATER: 20%
- PERCENT OF THE EXISTING SLOPES STEEPER THAN 25% PROPOSED TO BE GRADED: 14%
- AMOUNT OF CUT: 1,245,000 CUBIC YARDS
- AMOUNT OF FILL: 1,245,000 CUBIC YARDS
- MAXIMUM HEIGHT OF FILL: 50 FEET 2.1 SLOPE RATIO
- MAXIMUM HEIGHT OF CUT: 150 FEET 2:1 SLOPE RATIO
- AMOUNT OF EXPORT SOIL: 0 CUBIC YARDS
- RETAINING WALLS: HOW MANY: 15
MAXIMUM LENGTH: 804 FEET

NOTE: ADDITIONAL WALLS UNDER 3' IN HEIGHT MAY BE REQUIRED IN RESIDENTIAL PAD AREAS BASED ON FINAL HOUSE FOOTING

SOLAR ACCESS NOTE

THIS IS TO AFFIRM THAT THE DESIGN OF THIS SUBDIVISION PROVIDES TO THE EXTENT FEASIBLE FOR FUTURE PASSIVE OR NATURAL HEATING AND COOLING OPPORTUNITIES IN ACCORDANCE WITH THE PROVISIONS OF SECTION 66011.1 OF THE STATE SUBDIVISION MAP ACT.

DENSITY

MAXIMUM NUMBER OF DWELLING UNITS ALLOWED FOR EAST ELLIOTT COMMUNITY PLAN: 500 UNITS
MAXIMUM NUMBER OF DWELLING UNITS ON SITE: 430 UNITS

GENERAL NOTES

LOT SUMMARY

1. RESIDENTIAL LOTS: (1-285)	TOTAL AREA: 41.35 ACRES
2. CONDOMINIUM LOTS: (286-302)	TOTAL AREA: 15.07 ACRES
3. MHPA OPEN SPACE LOTS: (303-312)	TOTAL AREA: 30.53 ACRES
4. H.C.A. LOTS: (A-MP, N-W, K, Y, Z)	TOTAL AREA: 30.87 ACRES
5. STREETS AND PUBLIC PLACES (S)	TOTAL AREA: 23.18 ACRES
6. VERTICAL POOL LOT (AA)	TOTAL AREA: 1.82 ACRES
TOTAL AREA WITHIN SUBDIVISION IS:	203.84 ACRES GROSS

- #### CONDOMINIUM NOTE
- LOTS 284 THROUGH 293 OF THIS VESTING TENTATIVE MAP ARE CONDOMINIUM PROJECTS AS DEFINED IN SECTION 1300 (I), 1302 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND ARE SUBJECT TO PURSUANT TO THE SUBDIVISION MAP ACT, THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS: 147
- #### BENCHMARK
- STANDARD STREET SURVEY MONUMENT STAMPED 15 2768 PER MAP 6284 CONTAINING INTERSECTION MARK BOUNDARIES AND PEBBLE BEACH DRIVE
DATE: 06-11-1952 ELEV. 346.62 G.P.S. POINT 2024
- #### LAMBERT COORDINATES
- 291-1768
- #### SHEET SUMMARY
- | | |
|--------------|---|
| SHEET 1 | SCENARIO 'A' VESTING TENTATIVE MAP COVER SHEET |
| SHEET 2 | EXISTING CONDITIONS |
| SHEET 3 | EASEMENT VARIATIONS AND DESIGNATIONS |
| SHEETS 4-7 | GRADING AND UTILITY PLAN |
| SHEET 8 | CROSS SECTIONS |
| SHEET 9 | EARTHWORK EXHIBIT |
| SHEET 10 | SLOPE ANALYSIS |
| SHEET 11 | SCENARIO 'A' PLANNED DEVELOPMENT POINT COVER SHEET |
| SHEETS 12-17 | PLANNED DEVELOPMENT POINT SITE PLANS |
| SHEETS 18-25 | LANDSCAPE ARCHITECTURE PLANS |
| SHEETS 26-33 | ARCHITECT'S PLANS |
| SHEET 34 | SCENARIO 'B' VESTING TENTATIVE MAP COVER SHEET OR B |
| SHEET 35 | SCENARIO 'B' VARIATIONS |
| SHEET 36 | SCENARIO 'B' OFFSITE SEWER AND WATER UTILITY PLAN |
| SHEET 37-62 | SCENARIO 'B' LANDSCAPE ARCHITECT'S PLANS |

CONDOMINIUM TABLE

LOT NO.	NO. OF UNITS
284	16
285	15
286	15
287	15
288	20
289	20
290	14
291	8
292	24
TOTAL	147

- ### NOTES
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FIRE POLICY 7-00-8 (R/C 801.4.1)
 - PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FIRE POLICY A-00-1
 - TEMPORARY STREET SIGNS ARE REQUIRED IN ACCORDANCE WITH UFS 204.4
 - PROVIDE AN ILLUMINATED DIRECTORY IN ACCORDANCE WITH FIRE POLICY 7-00-8 (R/C 801.4.1)
 - THE DEVELOPER RESERVES THE RIGHT TO FILE MULTIPLE MAP UNITS WHICH MAY BE FILED AS INDIVIDUAL FINAL MAPS AS PERMITTED BY THE CALIFORNIA STATE SUBDIVISION MAP ACT. THE DEVELOPER ALSO RESERVES THE RIGHT TO FILE THE FINAL MAPS OUT OF NUMERICAL SEQUENCE. THE CITY ENGINEER SHALL REVIEW SUCH MAP UNITS AND IMPOSE REASONABLE CONDITIONS RELATING TO THE FILING OF SAID MAP UNITS.
 - AT NO TIME WILL THE DEVELOPER REQUEST, ON THE CITY PERMIT, WATER METERS WITHIN ANY VEHICULAR USE AREA TO SERVE THIS DEVELOPMENT.
 - 207 UNITS
 - EXISTING OVERHEAD UTILITIES WITHIN THE PROJECT BOUNDARY OR ADJUTING PUBLIC RIGHT-OF-WAY SHALL BE PLACED UNDERGROUND.
 - PROVIDE THE ASSURANCE OF ANY CONSTRUCTION PERMIT THAT THE SUBDIVISOR SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE Ongoing PERMANENT WATER MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.

- ### NOTES (CONTINUED)
10. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE SUBDIVISOR SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (CONCRETE REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
 11. NO TREES OR SHRUBS EXCEEDING THREE (3) FEET IN HEIGHT IN MATURITY SHALL BE INSTALLED WITHIN 100 FEET OF ANY PUBLIC SEWER FACILITIES.
 12. NO STRUCTURES OR LANDSCAPING SHALL BE INSTALLED IN OR OVER ANY SEWER EASEMENT PRIOR TO THE APPLICANT OBTAINING A MAINTENANCE AND ENFORCEMENT AGREEMENT.
 13. ALL IRRIGATION SYSTEMS SERVED BY IRRIGATION METERS SHALL BE DESIGNED TO UTILIZE RECLAIMED WATER.
 14. THIS PROJECT SHALL COMPLY WITH ALL CURRENT STREET LIGHTING STANDARDS ACCORDING TO THE CITY OF SAN DIEGO STREET DESIGN MANUAL, EDITIONARY NO. 2017/18, FILED NOVEMBER 25, 2002 AND THE AMENDMENT TO COUNCIL POLICY 200-18 APPROVED BY CITY COUNCIL ON FEBRUARY 26, 2002 (RESOLUTION R-29614) SATISFACTORY TO THE CITY ENGINEER.
 15. ALL LOCAL STREETS WITH GRADE BREAKS GREATER THAN 10% SHALL HAVE VERTICAL CURVES IN ACCORDANCE WITH THE CITY'S STREET DESIGN MANUAL.
 16. ALL IRRIGATION PIPING SHALL BE DESIGNED FOR RECYCLED WATER.
 17. PRIOR TO THE APPROVAL OF ANY PUBLIC IMPROVEMENT PLANS, THE DEVELOPER WILL BE REQUIRED TO REVERSE AND OBTAIN WATER DEPARTMENT APPROVAL OF THE CASTLEROCK WATER STUDY. THE DEVELOPER WILL BE RESPONSIBLE FOR INSTALLING ALL WATER FACILITIES, AS REQUIRED BY THE APPROVED WATER STUDY, NECESSARY TO SERVE THIS DEVELOPMENT. WATER FACILITIES SHOWN ON THE APPROVED VESTING TENTATIVE MAP MAY REQUIRE MODIFICATION BASED ON THE ACCEPTED WATER STUDY.
 18. AN ENGAGEMENT MAINTENANCE AND REMOVAL AGREEMENT WILL BE REQUIRED FOR AND PRIOR TO PROPOSED IMPROVEMENTS OF ANY KIND, INCLUDING LANDSCAPE, HARDSCAPE (I.E. MEDIAN, CURBS, ETC.) AND ENRICHED PAVING, TO BE INSTALLED IN OR OVER EASEMENT.
 19. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE DEVELOPER SHALL ASSURE, BY PERMIT AND BOND, THE DESIGN AND CONSTRUCTION OF ALL PUBLIC SEWER FACILITIES NECESSARY TO SERVE THIS DEVELOPMENT.

LEGAL DESCRIPTION

PORTIONS OF LOTS 4, 5, 8 AND 9 OF THE RESUBDIVISION OF A PART OF FAHITA MANOCHA IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF, NO. 1703, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY, STATE OF CALIFORNIA, ON FEBRUARY 26, 1978. SEE PROJECT TITLE REPORT FOR FULL PARTICULARS.

DEVELOPMENT SUMMARY

1. SUMMARY OF REQUEST:
A. REZONE, EASEMENT VARIATION SITE DEVELOPMENT PERMIT, A VESTING TENTATIVE SUBDIVISION MAP AND A PLANNED DEVELOPMENT PERMIT FOR 285 SINGLE-FAMILY DETACHED DWELLING UNITS, 147 SINGLE-FAMILY DETACHED CONDOMINIUM DWELLING UNITS.

- #### 2. STREET ADDRESS:
- NOT ASSIGNED
- #### 3. SITE AREA:
- GROSS SITE AREA: 203.84 AC.
NET SITE AREA: 88.39 AC.
NET SITE AREA EXCLUDING REQUIRED STREETS AND PUBLIC UTILITIES: 86.57 AC.
- #### 4. EXISTING ZONING: RS-1-1
- PROPOSED ZONING: RA-1-1, RM-2-4, CC
- #### 5. CONFORMANCE DATA:
- | | |
|--|---------------------------|
| TOTAL BUILDING AREA (GROUND AREA) | 18,400 S.F. |
| TOTAL LANDSCAPE/OPEN SPACE AREA | 58,077 AC. 2,422,546 S.F. |
| TOTAL HARDSCAPE/PAVED AREA | 11,812 AC. 513,850 S.F. |
| FLOOR AREA RATIO (FAR) | 0.41 |
| GROSS FLOOR AREA (GFA) | 1,008,724 S.F. |
| MINIMUM FLOOR AREA PER DETACHED DUA (FAR: 1:22,000 S.F.) | 356,500 S.F. |
| CONDOMINIUMS (DUA FAR: 356,500 S.F.) | |

- #### 6. DENSITY:
- MAXIMUM DWELLING UNITS ALLOWED PER EAST ELLIOTT COMMUNITY PLAN: 500
NUMBER OF EXISTING UNITS TO REMAIN ON SITE: NONE
NUMBER OF PROPOSED DWELLING UNITS ON SITE: 430
TOTAL NUMBER OF UNITS PROPOSED ON SITE: 430
- #### 7. YARDS/SETBACKS:
- ZONE: RS-1-1
- | | |
|---|---------------|
| FRONT YARD: | REQUIRED: 15' |
| PROPOSED: 18' FOR FRONT LOADED ROLL UP GARAGE, 20' FOR FRONT LOADED FLIP UP GARAGE AND 10' FOR SIDE LOADED GARAGES AND/OR LIVING AREA | |
| STREET SIDE YARD: | REQUIRED: 5' |
| PROPOSED: 5' | |
| REAR YARD: | REQUIRED: 10' |
| PROPOSED: 10' | |
| ZONE: RM-2-4 | |
| FRONT YARD: | REQUIRED: 15' |
| PROPOSED: 15' | |
| STREET SIDE YARD: | REQUIRED: 5' |
| PROPOSED: 5' | |
| INTERIOR YARDS: | REQUIRED: 5' |
| PROPOSED: 5' | |
| REAR YARD: | REQUIRED: 15' |
| PROPOSED: 15' | |



CASTLEROCK

APPLICANT: PARDEE HOMES
3025 CROWDER ROAD COURT
SAN DIEGO, CA 92130
(619)794-2503 FAX: (619)794-2589

PLANNING AND CIVIL ENGINEERING
LATITUDE 33 PLANNING & ENGINEERING
3355 MIHA SUBDIVISION PLACE, SUITE 650
SAN DIEGO, CA 92121
TEL: (619) 751-0033
FAX: (619) 751-0034

LANDSCAPE ARCHITECT: KTR&A
3916 NORBON STREET
SAN DIEGO, CA 92131
(619) 294-4477 FAX: (619) 294-3905

Prepared By: LATITUDE 33 PLANNING & ENGINEERING
Name: SSS MIHA SUBDIVISION PLACE, SHEET 650
Address: SAN DIEGO, CA 92121
Phone #: (619) 751-0033
Fax #: (619) 751-0034

Project Address: MOST BOULEVARD WEST OF MEDINA DRIVE

Project Name: CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title: VESTING TENTATIVE MAP
COVER SHEET
SCENARIO 'A'

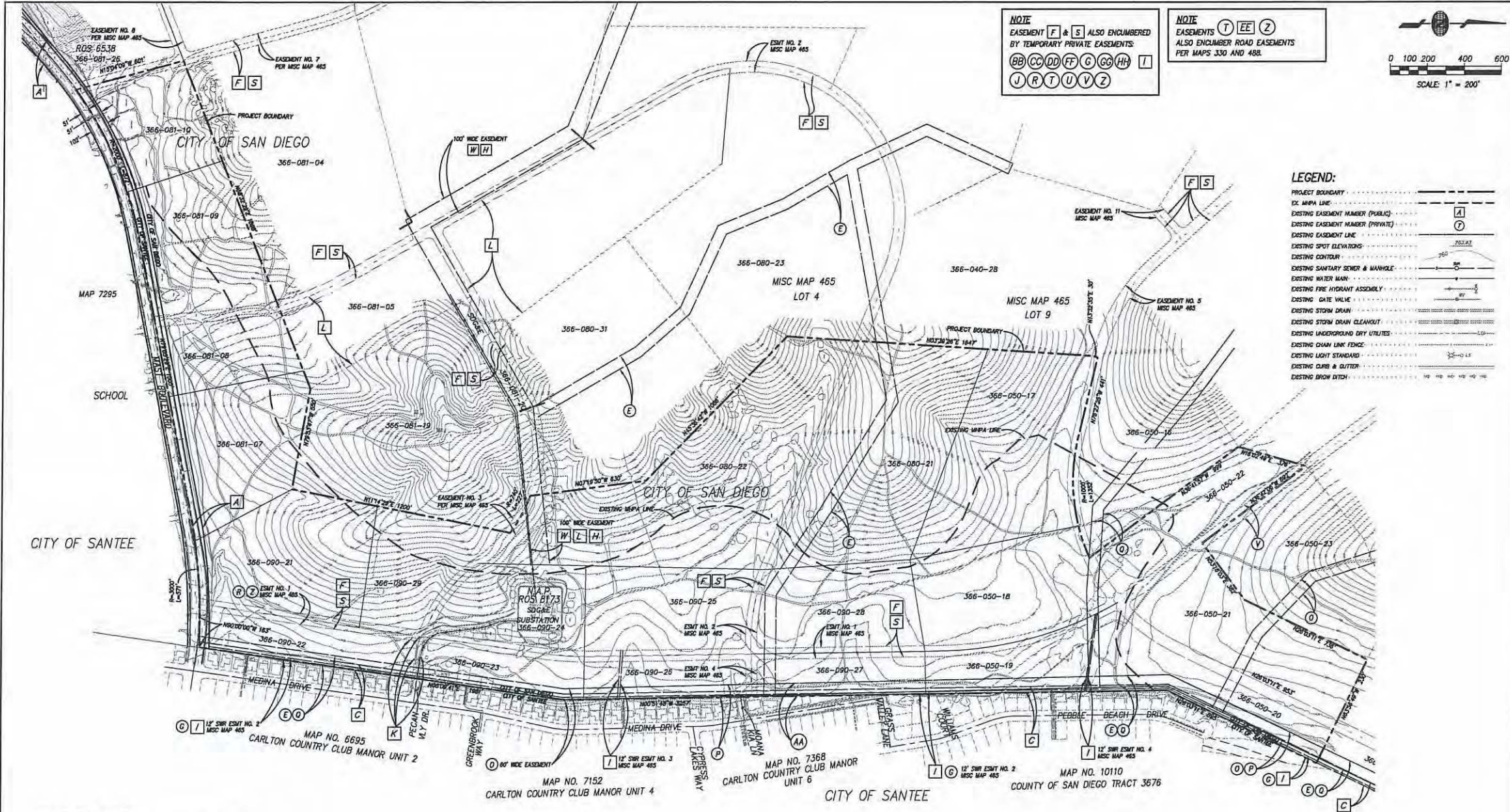
Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	JUNE 30, 2011
Revision 8:	FEBRUARY 28, 2011
Revision 7:	JULY 5, 2007
Revision 6:	MARCH 2, 2007
Revision 5:	NOVEMBER 12, 2006
Revision 4:	APRIL 3, 2006
Revision 3:	AUGUST 13, 2004
Revision 2:	DECEMBER 18, 2003
Revision 1:	1ST SUBMITTAL JULY 11, 2003

Original Date: JUNE 9, 2003

Sheet: 1 of 62

DEP: 10046

JOB ORDER # 42-1653



NOTE
EASEMENT F & S ALSO ENCUMBERED BY TEMPORARY PRIVATE EASEMENTS:
BB CC DD FF GG HH I
J RT UV Z

NOTE
EASEMENTS T EE Z ALSO ENCUMBER ROAD EASEMENTS PER MAPS 330 AND 488.

LEGEND:

PROJECT BOUNDARY	-----
EX. MAPA LINE	-----
EXISTING EASEMENT NUMBER (PUBLIC)	-----
EXISTING EASEMENT NUMBER (PRIVATE)	-----
EXISTING EASEMENT LINE	-----
EXISTING SPOT ELEVATIONS	-----
EXISTING CONTOUR	-----
EXISTING SANITARY SEWER & MANHOLE	-----
EXISTING WATER MAIN	-----
EXISTING FIRE HYDRANT ASSEMBLY	-----
EXISTING GATE VALVE	-----
EXISTING STORM DRAIN	-----
EXISTING STORM DRAIN CLEANOUT	-----
EXISTING UNDERGROUND DRY UTILITIES	-----
EXISTING CHAIN LINK FENCE	-----
EXISTING LIGHT STANDARDS	-----
EXISTING CURB & GUTTER	-----
EXISTING BROW SITCH	-----

EASEMENT NOTES:
TITLE REPORT BY: FIRST AMERICAN TITLE COMPANY
ORDER NO.: DIV-910245
DATED: APRIL 10, 2003 AT 7:30 AM

- PUBLIC/FRANCHISE UTILITY EASEMENTS**
- A** A PUBLIC ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF THE CITY OF SAN DIEGO, A MUNICIPAL CORPORATION, FOR THE CONSTRUCTION, OPERATION, REPAIR, AND MAINTENANCE OF PUBLIC ROADS OR STREETS AND INCIDENTAL PURPOSES RECORDED AUGUST 21, 1983 AS FILE NO. 149186 OF O.R. (ITEM # 9)
 - SAID INSTRUMENT ALSO GRANTS THE PRIVILEGE AND RIGHT TO EXTEND AND MAINTAIN DRAINAGE STRUCTURES AND EXCAVATION AND DRAINAGE SLOPES BEYOND THE LIMITS OF SAID RIGHT OF WAY WHERE REQUIRED FOR THE CONSTRUCTION AND MAINTENANCE THEREOF. NOTE: PORTION OF EASEMENT DEED CORRECTED BY DOCUMENT RECORDED AUGUST 22, 1987 AS FILE NO. 158539 OF O.R.**
 - C** A ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR ROAD AND INCIDENTAL PURPOSES RECORDED DECEMBER 26, 1964, AS FILE NO. 229121 OF O.R. (ITEM # 10)
 - EE** THE RIGHTS OF OTHERS TO USE THE ROAD EASEMENTS IN CAMP ELLIOTT AREA AS DELINEATED ON MISC. MAP NO. 488, BY THE CITY OF SAN DIEGO, AS DISCLOSED BY AN INSTRUMENT RECORDED MAY 1, 1965 AS FILE NO. 24508 OF O.R. (ITEM # 30)
 - F** A PUBLIC ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF THE CITY OF SAN DIEGO RECORDED JUNE 7, 1983 AS FILE NO. 101350 OF O.R. (ITEM # 15)
 - H** A PUBLIC EASEMENT FROM KNOTT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED FEBRUARY 11, 1976 AS FILE/PHASE NO. 79-040268 OF O.R. (ITEM # 40)
 - I** PUBLIC SENIOR EASEMENTS 2, 3, AND 4 FROM THE UNITED STATES OF AMERICA IN FAVOR OF THE CITY OF SAN DIEGO, A MUNICIPAL CORPORATION, FOR SENIOR AND INCIDENTAL PURPOSES RECORDED JULY 6, 1965 AS FILE NO. 120547 OF O.R. (ITEM # 31)
 - K** AN EASEMENT FROM PATRIN, INC. IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR ROAD, UTILITY AND INCIDENTAL PURPOSES AS GRANTED BY INSTRUMENT RECORDED OCTOBER 24, 1975 AS FILE NO. 75-289928 OF O.R. (ITEM # 36)
 - L** AN EASEMENT FROM PATRIN, INC. IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR LINES OF POLES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND PREMISES FOR ANY AND ALL PURPOSES, TOGETHER WITH THE RIGHT OF INGRESS, EGRESS AND EGRESS THEREOF FOR INCIDENTAL PURPOSES RECORDED OCTOBER 24, 1975 AS FILE NO. 75-289927 OF O.R. (ITEM # 37)
 - S** PUBLIC ROAD EASEMENTS OVER PORTIONS OF THE HEREIN DESCRIBED LAND AS SHOWN ON CITY ENGINEER'S D.W.G. NO. 11844-D, MISCELLANEOUS MAP NO. 465 FILED IN THE OFFICE OF THE COUNTY RECORDER ON FEBRUARY 15, 1965 AS FILE NO. 26328 AND RECORDED MAY 3, 1966 AS FILE NO. 74298. (ITEM # 18 & 31)
 - W** AN EASEMENT FROM SPANOS ENTERPRISES IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION, FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED NOVEMBER 24, 1975 AS FILE NO. 75-330837 OF O.R. (ITEM # 38)

- PRIVATE EASEMENTS**
- AA** A PRIVATE EASEMENT AND RIGHT OF WAY FROM THE UNITED STATES OF AMERICA IN FAVOR OF WATSON FOR ROADWAY AND INCIDENTAL PURPOSES AS GRANTED BY INSTRUMENT RECORDED JULY 30, 1984 AS FILE NO. 137273 OF O.R. AND THE RIGHT OF OTHERS TO USE SAID EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD. (ITEM # 7)
 - BB** THE EFFECT OF EASEMENTS SHOWN ON CITY ENGINEER'S D.W.G. NO. 11844-D (MISC. MAP 465) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDED BY DOCUMENT RECORDED AUGUST 22, 1985 AS FILE NO. 153301 OF O.R. (ITEM # 20)
 - CC** THE EFFECT OF PRIVATE EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF CELLAR AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 465) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDED BY DOCUMENT RECORDED SEPTEMBER 14, 1965 AS FILE NO. 146779 OF O.R. (ITEM # 30)
 - DD** THE RIGHT TO USE WITH OTHERS ROAD EASEMENTS SHOWN ON CITY ENGINEER'S D.W.G. NO. 11844-D (MISC. MAP 465) FILED IN THE OFFICE OF THE COUNTY RECORDER ON FEBRUARY 15, 1965, SUBJECT TO EASEMENTS SHOWN ON SAID CITY ENGINEER'S D.W.G. NO. 11844-D AND ALSO SUBJECT TO SOLO SLOPE RIGHTS AS DESCRIBED BY INSTRUMENT RECORDED AUGUST 22, 1985 AS FILE NO. 154944 OF O.R. (ITEM # 18 & 29)
 - E** A PRIVATE ROAD EASEMENT AND RIGHT OF WAY FROM THE UNITED STATES OF AMERICA IN FAVOR OF MERRICK, MANHOLE, MANHOLE AND CROWN FOR ROADWAY AND INCIDENTAL PURPOSES AS GRANTED BY INSTRUMENT RECORDED DECEMBER 14, 1964 AS FILE NO. 226876 OF O.R. AND THE RIGHT OF OTHERS TO USE SAID EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD. (ITEM # 13)
 - FF** THE EFFECT OF A PRIVATE EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF RECOT AS SHOWN ON CITY ENGINEER'S D.W.G. NO. 11844-D TOGETHER WITH SOLO SLOPE RIGHTS AS ENDED BY DOCUMENT RECORDED JULY 7, 1985 AS FILE NO. 121258 OF O.R. (ITEM # 107)
 - G** A PRIVATE EASEMENT IN FAVOR OF PATRIN, INC. FOR SENIOR AND INCIDENTAL PURPOSES AS RECORDED BY INSTRUMENT RECORDED JUNE 30, 1965 AS FILE NO. 117259 OF OFFICIAL RECORDS, AND THE RIGHT OF OTHERS TO USE THE ROAD EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD, OVER, UNDER, ALONG AND ACROSS ANY PORTION OF SENIOR EASEMENT NO. 2 AS SHOWN ON MISCELLANEOUS MAP NO. 465, ENTITLED NO. 11844-D RECORDED IN THE OFFICE OF THE COUNTY RECORDER ON FEBRUARY 15, 1965, FILE NO. 26328 AND IN FILE NO. 74298 RECORDED MAY 3, 1966. (ITEM # 18 & 30)
 - GG** AN EASEMENT FOR SENIOR EASEMENT NO. 3 AND INCIDENTAL PURPOSES IN FAVOR OF UNITED STATES OF AMERICA AND THROUGH THE ADMINISTRATION OF GENERAL SERVICES RECORDED JULY 7, 1965 AS FILE NO. 121258 OF O.R. (ITEM # 23)
 - HH** THE EFFECT OF EASEMENTS SHOWN ON CITY ENGINEER'S D.W.G. NO. 11844-D (MISC. MAP 465) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDED BY DOCUMENT RECORDED JULY 7, 1985 AS FILE NO. 121258 OF O.R. (ITEM # 24)
 - J** THE EFFECT OF A TEMPORARY PUBLIC ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF PATRIN, INC. AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 465) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDED BY DOCUMENT RECORDED JUNE 30, 1965 AS FILE NO. 117259 OF O.R. (ITEM # 19)
 - D** A PRIVATE EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF MISCELL, FOR ROADWAY PURPOSES RECORDED NOVEMBER 16, 1964 AS FILE NO. 211204 OF O.R. (ITEM # 12)

- PRIVATE EASEMENTS**
- P** A PRIVATE EASEMENT FOR ROAD AND INCIDENTAL PURPOSES IN FAVOR OF BURROGHART AND LONGHORN AS GRANTED BY INSTRUMENT RECORDED AUGUST 5, 1964 AS FILE NO. 141464 OF O.R. AND THE RIGHT OF OTHERS TO USE SAID EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD. (ITEM # 77)
 - Q** A PRIVATE EASEMENT AND RIGHT OF WAY FROM THE UNITED STATES OF AMERICA IN FAVOR OF MATTO AND ALAMARA FOR ROADWAY AND INCIDENTAL PURPOSES AS GRANTED BY INSTRUMENT RECORDED DECEMBER 14, 1964 AS FILE NO. 226876 OF O.R. AND THE RIGHT OF OTHERS TO USE SAID EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD. (ITEM # 14)
 - R** THE RIGHT TO USE WITH OTHERS ROAD EASEMENTS SHOWN ON CITY ENGINEER'S D.W.G. NO. 11844-D (MISC. MAP 465) FILED IN THE OFFICE OF THE COUNTY RECORDER ON FEBRUARY 15, 1965, SUBJECT TO EASEMENTS SHOWN ON SAID CITY ENGINEER'S D.W.G. NO. 11844-D AND ALSO SUBJECT TO SOLO SLOPE RIGHTS AS DESCRIBED BY INSTRUMENT RECORDED JULY 22, 1985 AS FILE NO. 131459 OF O.R. (ITEM # 27)
 - T** THE EFFECT OF A PRIVATE ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF TOM AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 465) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDED BY DOCUMENT RECORDED JUNE 23, 1965 AS FILE NO. 114340 OF O.R. (ITEM # 17)
 - U** THE EFFECT OF A PRIVATE ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF SPANOS ENTERPRISES AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 465) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDED BY DOCUMENT RECORDED JULY 16, 1985 AS FILE NO. 129756 AND 129757, BOTH OF O.R. (ITEM # 22)
 - V** THE EFFECT OF A PRIVATE ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF PROWSE AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 465) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDED BY DOCUMENT RECORDED NOVEMBER 26, 1965 AS FILE NO. 214400 OF O.R. (ITEM # 31)
 - Z** FILE/PHASE NO. 148748 OF O.R. FROM UNITED STATES OF AMERICA TO BRENDEL AND UPWORTHY
 - Z** THE EFFECT OF EASEMENTS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D TOGETHER WITH SOLO SLOPE RIGHTS AS ENDED BY DOCUMENT RECORDED SEPTEMBER 8, 1968 AS FILE NO. 148748 OF O.R. (ITEM # 33)
 - Z** AN EASEMENT FOR THE RIGHT TO OFFER TO DEDICATE AND TO DEDICATE FOR PUBLIC USE TO THE CITY OR COUNTY OF SAN DIEGO EASEMENTS SHOWN ON SAID DRAWING NO. 11844-D AND INCIDENTAL PURPOSES RESERVED IN THE DOCUMENT RECORDED SEPTEMBER 8, 1968 AS INSTRUMENT NO. 148748 OF O.R. (ITEM # 34)
 - Z** AN EASEMENT FOR THE RIGHT TO GRANT SLOPE RIGHTS TO THE CITY OR COUNTY OF SAN DIEGO AND INCIDENTAL PURPOSES RESERVED IN THE DOCUMENT RECORDED SEPTEMBER 8, 1968 AS INSTRUMENT NO. 148748 OF O.R. (ITEM # 35)

CASTLEROCK

APPLICANT: PARRIS HOMES
6025 EDENWOOD BEACH COURT
SAN DIEGO, CA 92121
(652)794-2500 FAX (652)794-2500

LANDSCAPE ARCHITECT: KRUM
3016 NORMAL STREET
SAN DIEGO, CA 92108
(619) 294-4477 FAX (619) 294-9663

PLANNING AND CIVIL ENGINEER:
LATITUDE 33 PLANNING & ENGINEERING
5355 MIRA SORRENTO PLACE, SUITE 600
SAN DIEGO, CA 92121
(652) 751-0633 FAX (652) 751-0634

Prepared By: **LATITUDE 33 PLANNING & ENGINEERING**
Address: 5355 MIRA SORRENTO PLACE, SUITE 600
SAN DIEGO, CA 92121
Phone #: (652) 751-0633
Fax #: (652) 751-0634

Project Address: **WEST BOLLINGER WEST OF MEDINA DRIVE**

Project Name: **CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT**

Sheet Title: **VESTING TENTATIVE MAP
EXISTING CONDITIONS**

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	JUNE 30, 2011
Revision 8:	FEBRUARY 26, 2011
Revision 7:	JULY 8, 2007
Revision 6:	MARCH 2, 2007
Revision 5:	NOVEMBER 17, 2006
Revision 4:	APRIL 3, 2006
Revision 3:	AUGUST 11, 2004
Revision 2:	DECEMBER 18, 2003
Revision 1:	1ST SUBMITTAL JULY 11, 2003

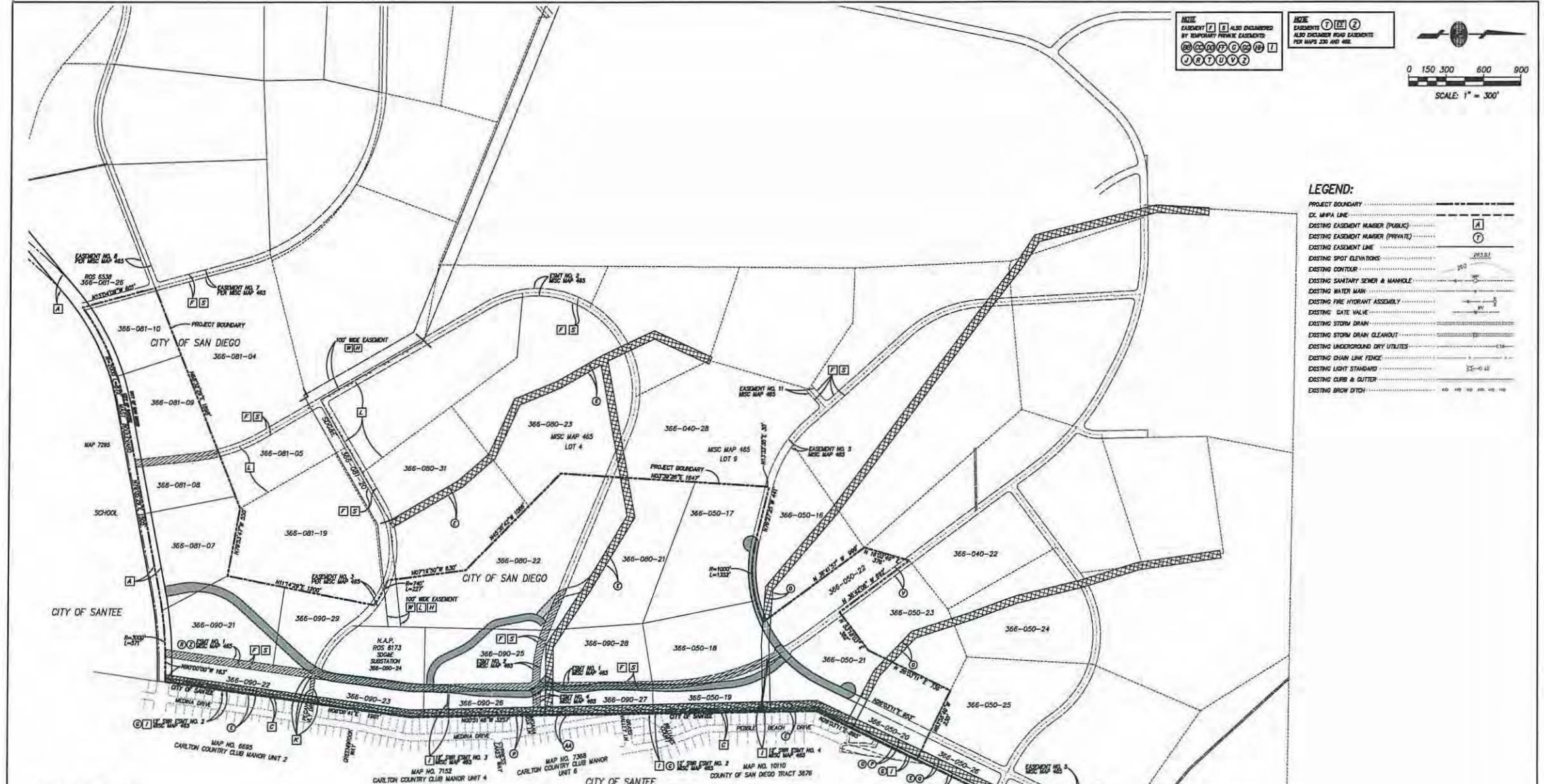
Original Date: **JUNE 8, 2007**

Sheet **2** of **62**

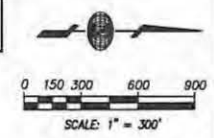
DEP **10046**

JOB ORDER # **42-1853**





NOTE: EASEMENT NO. 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.



LEGEND:

PROJECT BOUNDARY	-----
DL MAPA LINE	-----
EXISTING EASEMENT MARKER (PUBLIC)	-----
EXISTING EASEMENT MARKER (PRIVATE)	-----
EXISTING EASEMENT LINE	-----
EXISTING SPOT ELEVATIONS	.....
EXISTING CONTOUR	.....
EXISTING SANITARY SEWER & MANHOLE	.....
EXISTING WATER MAIN	.....
EXISTING FIRE HYDRANT ASSEMBLY	.....
EXISTING GATE VALVE	.....
EXISTING STORM DRAIN	.....
EXISTING STORM DRAIN CLEANOUT	.....
EXISTING UNDERGROUND DRY UTILITIES	.....
EXISTING CHAIN LINK FENCE	.....
EXISTING LIGHT STANDARDS	.....
EXISTING CURB & GUTTER	.....
EXISTING BRUSH DITCH	.....

EASEMENT NOTES:

TITLE REPORT BY: FIRST AMERICAN TITLE COMPANY ORDER NO. DIV-1248115(11), DATED: MAY 24, 2011 AT 7:30 AM

*** EASEMENT TO REMAIN**

- EASEMENT TO BE RELOCATED AT LOCATION AS SHOWN ON PLAN.
- ★ PORTION OF EASEMENT TO BE VACATED BY CITY
- ★ EASEMENT TO BE QUITCLAIMED BY PRIVATE ACTION

PUBLIC/FRANCHISE UTILITY EASEMENTS

- * [A] A PUBLIC ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF THE CITY OF SAN DIEGO, A MUNICIPAL CORPORATION, FOR THE CONSTRUCTION, OPERATION, REPAIR AND MAINTENANCE OF PUBLIC ROADS OR STREETS AND INCIDENTAL PURPOSES RECORDED AUGUST 21, 1965 AS FILE NO. 141686 OF O.R. (ITEM # 13)
- SAID INSTRUMENT ALSO GRANTS THE PRIVILEGE AND RIGHT TO EXTEND AND MAINTAIN DRAINAGE STRUCTURES AND DRAINAGE SLOPES BEYOND THE LIMITS OF SAID RIGHT OF WAY WHERE REQUIRED FOR THE CONSTRUCTION AND MAINTENANCE THEREOF. NOTE: PORTION OF EASEMENT DEED CORRECTED BY DOCUMENT RECORDED AUGUST 22, 1965 AS FILE NO. 126528 OF O.R.
- * [C] A ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR ROAD AND INCIDENTAL PURPOSES RECORDED DECEMBER 29, 1961 AS FILE NO. 229121 OF O.R. TO BE QUITCLAIMED BY SAN DIEGO GAS AND ELECTRIC (ITEM # 10)
- * [CE] THE RIGHTS OF OTHERS TO USE THE ROAD EASEMENTS IN CAMP ELLIOTT AREA AS DELINEATED ON MISC. MAP NO. 485 BY THE CITY OF SAN DIEGO, AS DISCLOSED BY AN INSTRUMENT RECORDED MAY 3, 1966 AS FILE NO. 74308 OF O.R. (ITEM # 23) TO REMAIN OFFSITE
- * [F] A PUBLIC ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF THE CITY OF SAN DIEGO RECORDED JUNE 7, 1965 AS FILE NO. 101330 OF O.R. (ITEM # 15)
- * [H] A PUBLIC EASEMENT FROM KNOTT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED FEBRUARY 11, 1976 AS FILE/PHASE NO. 76-042896 OF O.R. (ITEM # 40)
- * [I] PUBLIC SEWER EASEMENTS 2, 3, AND 4 FROM THE UNITED STATES OF AMERICA IN FAVOR OF THE CITY OF SAN DIEGO, A MUNICIPAL CORPORATION, FOR SEWER AND INCIDENTAL PURPOSES RECORDED JULY 6, 1965 AS FILE NO. 120947 OF O.R. (ITEM # 21)
- * [K] AN EASEMENT FROM PATRA, INC. IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR ROAD, UTILITY AND INCIDENTAL PURPOSES AS GRANTED BY INSTRUMENT RECORDED OCTOBER 21, 1975 AS FILE NO. 75-289268 OF O.R. TO BE QUITCLAIMED BY SAN DIEGO GAS AND ELECTRIC (ITEM # 38)
- * [L] AN EASEMENT FROM PATRA, INC. IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY FOR LINES OF POLES FOR THE TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND PIPELINES FOR ANY AND ALL PURPOSES, TOGETHER WITH THE RIGHT OF ACCESS, EGRESS AND EXPRESS THEREOF OR INCIDENTAL PURPOSES RECORDED OCTOBER 21, 1975 AS FILE NO. 75-289267 OF O.R. (ITEM # 37)
- * [S] PUBLIC ROAD EASEMENTS OVER PORTIONS OF THE HEREIN DESCRIBED LAND AS SHOWN ON CITY ENGINEER'S DWG. NO. 11844-D (MISC. MAP NO. 485) FILED IN THE OFFICE OF THE COUNTY RECORDER ON FEBRUARY 15, 1965 AS FILE NO. 121258 OF O.R. AND RECORDED MAY 3, 1965 AS FILE NO. 74308 OF O.R. (ITEM # 16 & 31)
- * [T] AN EASEMENT FROM SPANOS ENTERPRISES IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY, A CORPORATION, FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES RECORDED NOVEMBER 25, 1975 AS FILE NO. 75-330897 OF O.R. (ITEM # 30)
- * [U] TO BE QUITCLAIMED BY SDG&E

● EASEMENTS CONTAIN RECITALS THAT THEY SHALL TERMINATE OR EXPIRE UPON DEDICATION OF A PUBLIC ROAD OR STREET, AS THE PROPOSED SUBDIVISION MAP WILL CREATE A DEDICATED ROAD THROUGH THE MAP, THE EASEMENTS SHALL TERMINATE UPON THE DEDICATION AND IMPROVEMENT OF SUCH ROAD WITHIN THE MAP AS TO THOSE PORTIONS OF THE EASEMENTS LOCATED WITHIN THE BOUNDARIES OF THE MAP, BUT WILL SURVIVE AS TO THOSE PORTIONS LOCATED OUTSIDE THE BOUNDARIES OF THE MAP.

PRIVATE EASEMENTS

- * [AA] A PRIVATE EASEMENT AND RIGHT OF WAY FROM THE UNITED STATES OF AMERICA IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY AS GRANTED BY INSTRUMENT RECORDED JULY 30, 1964 AS FILE NO. 127733 OF O.R. AND THE RIGHT OF OTHERS TO USE SAID EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD. (ITEM # 8)
- * [BB] THE EFFECT OF EASEMENTS SHOWN ON CITY ENGINEER'S DWG. NO. 11844-D (MISC. MAP 485) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDOVISED BY DOCUMENT RECORDED AUGUST 23, 1965 AS FILE NO. 133281 OF O.R. (ITEM # 28)
- * [CC] THE EFFECT OF PRIVATE EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF CELLAR AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 485) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDOVISED BY DOCUMENT RECORDED SEPTEMBER 14, 1965 AS FILE NO. 146776 OF O.R. (ITEM # 30)
- * [DD] THE RIGHT TO USE WITH OTHERS ROAD EASEMENTS SHOWN ON CITY ENGINEER'S DWG. NO. 11844-D (MISC. MAP 485) FILED IN THE OFFICE OF THE COUNTY RECORDER ON FEBRUARY 15, 1965, SUBJECT TO EASEMENTS SHOWN ON SAID CITY ENGINEER'S DWG. NO. 11844-D AND ALSO SUBJECT TO SOLO SLOPE RIGHTS AS ENDOVISED BY INSTRUMENT RECORDED AUGUST 25, 1965 AS FILE NO. 124944 OF O.R. (ITEM # 18 & 20)
- * [E] A PRIVATE ROAD EASEMENT AND RIGHT OF WAY FROM THE UNITED STATES OF AMERICA IN FAVOR OF MENDOZA, HANDELL, RINGOLD, HANDELL AND COHEN FOR ROADWAY AND INCIDENTAL PURPOSES AS GRANTED BY INSTRUMENT RECORDED DECEMBER 14, 1964 AS FILE NO. 226878 OF O.R. AND THE RIGHT OF OTHERS TO USE SAID EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD. (ITEM # 13)
- * [F] THE EFFECT OF A PRIVATE EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF BOODICE AS SHOWN ON CITY ENGINEER'S DWG. NO. 11844-D TOGETHER WITH SOLO SLOPE RIGHTS AS ENDOVISED BY DOCUMENT RECORDED JULY 7, 1965 AS FILE NO. 121258 OF O.R. (ITEM # 107)
- * [G] A PRIVATE EASEMENT IN FAVOR OF PATRA, INC. FOR SEWER AND INCIDENTAL PURPOSES AS RESERVED BY INSTRUMENT RECORDED JUNE 30, 1965 AS FILE NO. 117368 OF OFFICIAL RECORDS AND THE RIGHT OF OTHERS TO USE SAID ROAD EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD, OVER, UNDER, ALONG AND ACROSS ANY PORTION OF SEWER EASEMENT NO. 2 AS SHOWN ON MISCELLANEOUS MAP NO. 485, CONTROLLED NO. 11844-D RECORDED IN THE OFFICE OF THE COUNTY RECORDER, ON FEBRUARY 15, 1965, FILE NO. 24328 AND IN FILE NO. 74308 RECORDED MAY 3, 1965, TO BE QUITCLAIMED BY THE GRANTEE OR SUCCESSOR IN INTEREST. (ITEM # 18 & 30)
- * [GG] AN EASEMENT FOR SEWER EASEMENT NO. 2 AND INCIDENTAL PURPOSES IN FAVOR OF UNITED STATES OF AMERICA AND THROUGH THE ADMINISTRATION OF GENERAL SERVICES RECORDED JULY 7, 1965 AS FILE NO. 121258 OF O.R. (ITEM # 107)
- * [HH] THE EFFECT OF EASEMENTS SHOWN ON CITY ENGINEER'S DWG. NO. 11844-D (MISC. MAP 485) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDOVISED BY DOCUMENT RECORDED JULY 7, 1965 AS FILE NO. 121258 OF O.R. (ITEM # 84)
- * [J] THE EFFECT OF A TEMPORARY PUBLIC ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF LINDA, INC. AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 485) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDOVISED BY DOCUMENT RECORDED JUNE 30, 1965 AS FILE NO. 117368 OF O.R. (ITEM # 19)
- * [K] A PRIVATE EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF MISZELL FOR ROADWAY PURPOSES RECORDED NOVEMBER 10, 1964 AS FILE/PHASE NO. 211204 OF O.R. (ITEM # 12)

PRIVATE EASEMENTS

- * [P] A PRIVATE EASEMENT FOR ROAD AND INCIDENTAL PURPOSES IN FAVOR OF BURBANK AND LONGMITH AS GRANTED BY INSTRUMENT RECORDED AUGUST 5, 1964 AS FILE NO. 141464 OF O.R. AND THE RIGHT OF OTHERS TO USE SAID EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD. TO BE QUITCLAIMED BY THE GRANTEE OR SUCCESSOR. (ITEM # 8)
- * [Q] A PRIVATE EASEMENT AND RIGHT OF WAY FROM THE UNITED STATES OF AMERICA IN FAVOR OF MATO AND ALTAMIRA FOR ROADWAY AND INCIDENTAL PURPOSES AS GRANTED BY INSTRUMENT RECORDED DECEMBER 14, 1964 AS FILE NO. 226878 OF O.R. AND THE RIGHT OF OTHERS TO USE SAID EASEMENT AS CONVEYED OR RESERVED IN VARIOUS OTHER INSTRUMENTS OF RECORD. (ITEM # 14)
- * [R] THE RIGHT TO USE WITH OTHERS ROAD EASEMENTS SHOWN ON CITY ENGINEER'S DWG. NO. 11844-D (MISC. MAP 485) FILED IN THE OFFICE OF THE COUNTY RECORDER ON FEBRUARY 15, 1965, SUBJECT TO EASEMENTS SHOWN ON SAID CITY ENGINEER'S DWG. NO. 11844-D AND ALSO SUBJECT TO SOLO SLOPE RIGHTS AS ENDOVISED BY INSTRUMENT RECORDED JULY 22, 1965 AS FILE NO. 124542 OF O.R. (ITEM # 27)
- * [S] THE EFFECT OF A PRIVATE ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF SPANOS ENTERPRISES AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 485) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDOVISED BY DOCUMENT RECORDED JUNE 23, 1965 AS FILE NO. 141430 OF O.R. (ITEM # 17)
- * [T] THE EFFECT OF A PRIVATE ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF SPANOS ENTERPRISES AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 485) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDOVISED BY DOCUMENT RECORDED SEPTEMBER 8, 1966 AS FILE NO. 146748 OF O.R. (ITEM # 33)
- * [U] THE EFFECT OF A PRIVATE ROAD EASEMENT FROM THE UNITED STATES OF AMERICA IN FAVOR OF PRINGLE AS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D (MISC. MAP 485) TOGETHER WITH SOLO SLOPE RIGHTS AS ENDOVISED BY DOCUMENT RECORDED JUNE 23, 1965 AS FILE NO. 214403 OF O.R. (ITEM # 31)
- * [V] FILE/PHASE NO. 146748 OF O.R. FROM UNITED STATES OF AMERICA TO BOODICE AND UPONOR.
- * [W] THE EFFECT OF EASEMENTS SHOWN ON CITY ENGINEER'S DRAWING NO. 11844-D TOGETHER WITH SOLO SLOPE RIGHTS AS ENDOVISED BY DOCUMENT RECORDED SEPTEMBER 8, 1966 AS FILE NO. 146748 OF O.R. (ITEM # 33)
- * [X] AN EASEMENT FOR THE RIGHT TO OFFER TO DEDICATE AND TO DEDICATE FOR PUBLIC USE TO THE CITY OR COUNTY OF SAN DIEGO EASEMENTS SHOWN ON SAID DRAWING NO. 11844-D AND INCIDENTAL PURPOSES RESERVED IN THE DOCUMENT RECORDED SEPTEMBER 8, 1966 AS INSTRUMENT NO. 146748 OF O.R. (ITEM # 34)
- * [Y] AN EASEMENT FOR THE RIGHT TO GRANT SLOPE RIGHTS TO THE CITY OR COUNTY OF SAN DIEGO AND INCIDENTAL PURPOSES RESERVED IN THE DOCUMENT RECORDED SEPTEMBER 8, 1966 AS INSTRUMENT NO. 146748 OF O.R. (ITEM # 35)

EASEMENT LEGEND:

EXISTING PUBLIC EASEMENT TO BE VACATED	-----
EXISTING PRIVATE EASEMENT TERMINATED	-----
INDICATES PROPOSED PUBLICLY DEDICATED RIGHTS-OF-WAY TO PROVIDE FOR ACCESS TO OFFSITE PROPERTIES IN LIEU OF PRIVATE EASEMENTS AA, BB, C, CC, DD, E, FF, GG, HH, I, J, K, L, M, N, O, P, Q, R, S, T, U, V, W, X, Y, Z.	
PROPOSED DEDICATED PUBLIC EASEMENT FOR T AND S.	-----

CASTLEROCK

APPLICANT: PARADE HOMES
6025 EDENWOOD BEND COURT
SAN DIEGO, CA 92121
(650)794-2200 FAX (650)794-2289

LANDSCAPE ARCHITECT: KTRAM
3918 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-6177 FAX (619) 294-8865

PLANNING AND CIVIL ENGINEER:
LATITUDE 33 PLANNING & ENGINEERING
5326 ANNA GORRETTI PLACE, SUITE 600
SAN DIEGO, CA 92121
(650) 751-0633 FAX (650) 751-0634

Prepared By:
Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 5326 ANNA GORRETTI PLACE, SUITE 600
SAN DIEGO, CA 92121
Phone #: (650) 751-0633
Fax #: (650) 751-0634

Project Address:
JUST BOULEVARD WEST OF MEDIA DRIVE

Project Name:
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title:
**VESTING TENTATIVE MAP
EASEMENT VACATIONS AND
DEDICATIONS**

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	JUNE 30, 2011
Revision 8:	FEBRUARY 26, 2011
Revision 7:	JULY 5, 2007
Revision 6:	MARCH 5, 2007
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Revision 3:	AUGUST 18, 2004
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Revision 1:	FST SUBMITTAL JULY 11, 2003

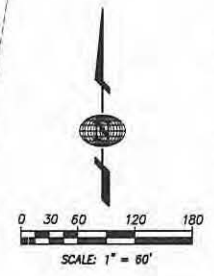
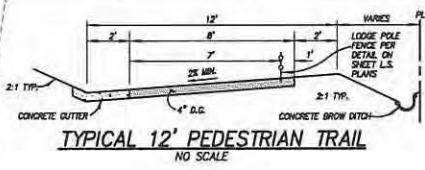
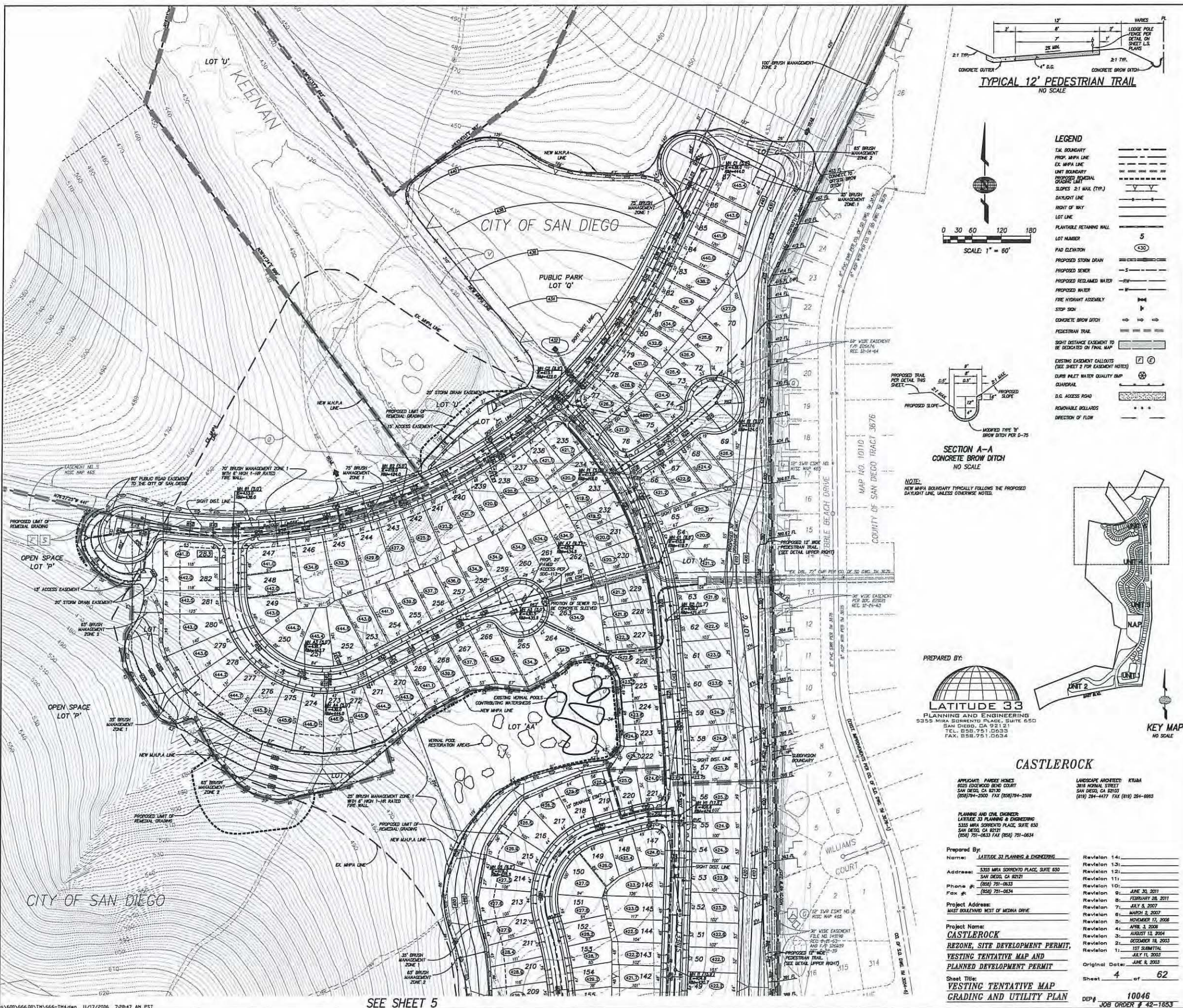
Original Date: JUNE 8, 2003

Sheet: 3 of 62

DEP# 10046

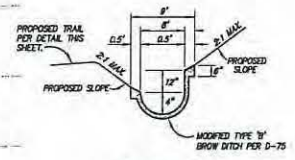
JOB ORDER # 42-1653



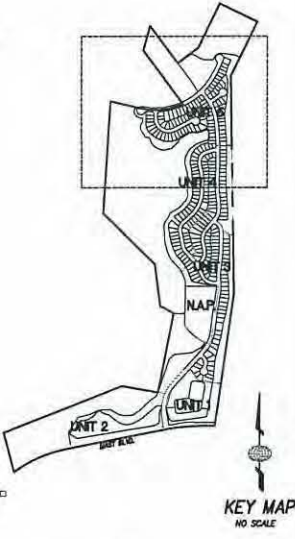


LEGEND

- T.M. BOUNDARY
- PROP. MAPA LINE
- EX. MAPA LINE
- UNIT BOUNDARY
- PROPOSED REMEDIAL GRADING
- SLOPES 2:1 MAX. (TYP.)
- DAYLIGHT LINE
- RIGHT OF WAY
- LOT LINE
- PLANTABLE RETAINING WALL
- LOT NUMBER
- PAD ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED SEWER
- PROPOSED RECLAIMED WATER
- PROPOSED WATER
- FIRE HYDRANT ASSEMBLY
- STOP SIGN
- CONCRETE BROW DITCH
- PEDESTRIAN TRAIL
- SIGHT DISTANCE EASEMENT TO BE INDICATED ON FINAL MAP
- EXISTING EASEMENT CALLOUTS (SEE SHEET 2 FOR EASEMENT NOTES)
- CLUMP INLET WATER QUALITY BMP
- QUADRANT
- D.G. ACCESS ROAD
- REMOVABLE BOLLARDS
- DIRECTION OF FLOW



NOTE: NEW MAPA BOUNDARY TYPICALLY FOLLOWS THE PROPOSED DAYLIGHT LINE, UNLESS OTHERWISE NOTED.



PREPARED BY:
LATITUDE 33
 PLANNING AND ENGINEERING
 5355 MIRIA SORRENTO PLACE, SUITE 650
 SAN DIEGO, CA 92121
 TEL: (619) 751-0633
 FAX: (619) 751-0634

CASTLEROCK

APPLICANTS: PARKER HOMES
 6025 EDGEWOOD BLVD COURT
 SAN DIEGO, CA 92121
 (619) 794-2500 FAX (619) 794-2599

LANDSCAPE ARCHITECT: KRUM
 3818 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4177 FAX (619) 294-8883

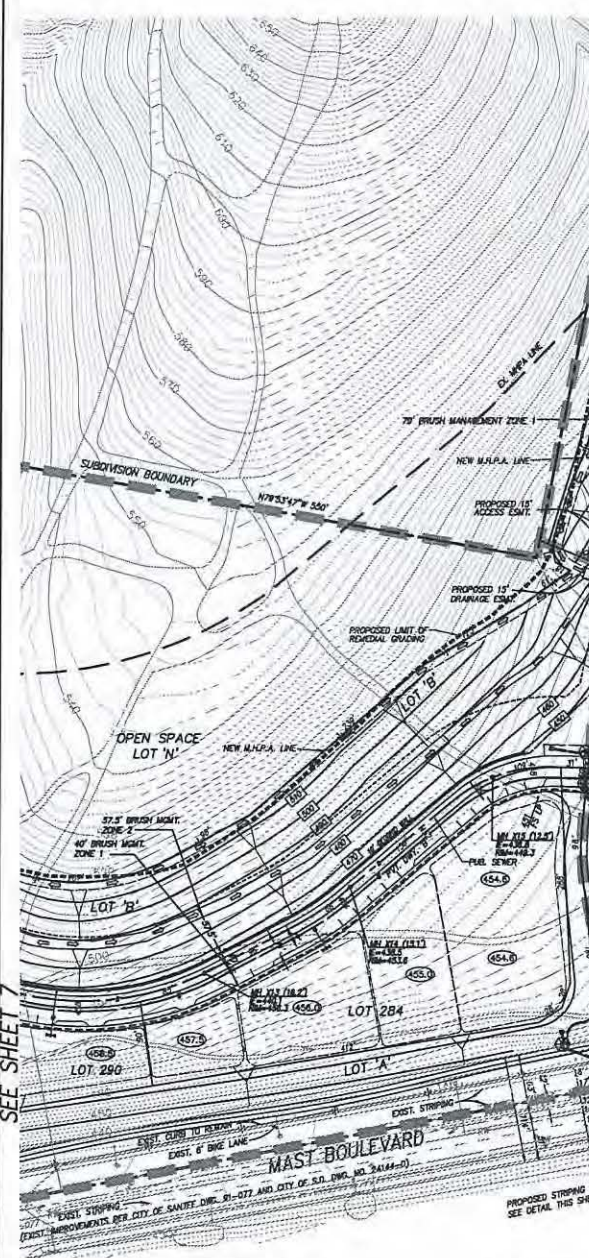
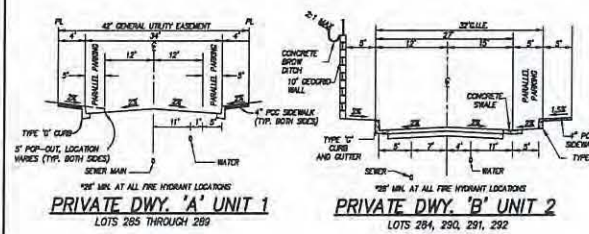
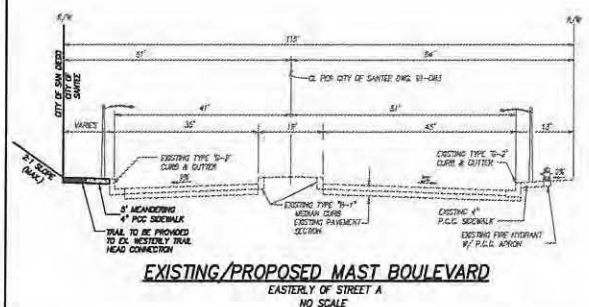
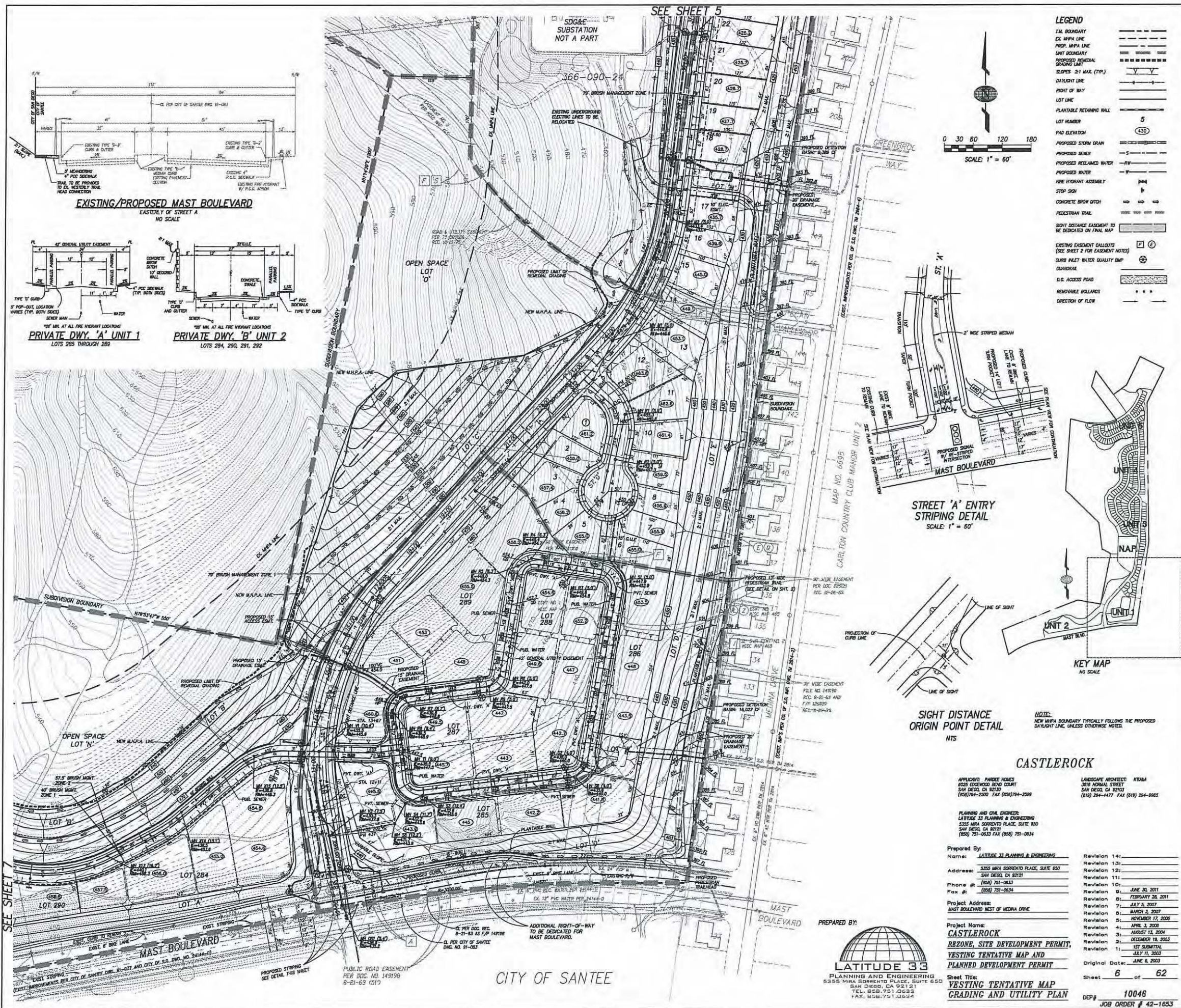
PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 5355 MIRIA SORRENTO PLACE, SUITE 650
 SAN DIEGO, CA 92121
 (619) 751-0633 FAX (619) 751-0634

Project Name:
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title:
VESTING TENTATIVE MAP
GRADING AND UTILITY PLAN

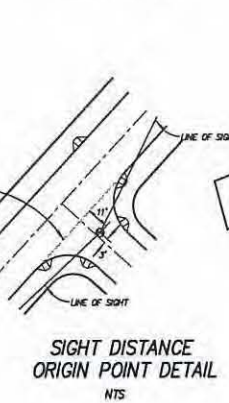
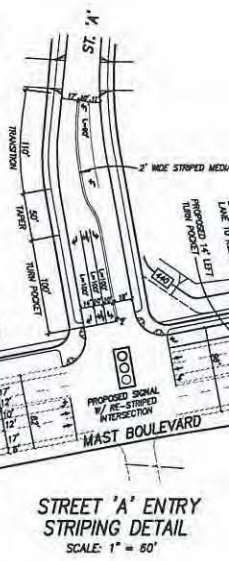
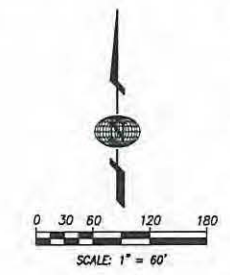
Prepared By:	Latitude 33 Planning & Engineering	Revision 14:	
Name:	Latitude 33 Planning & Engineering	Revision 13:	
Address:	5355 Miria Sorrento Place, Suite 650 San Diego, CA 92121	Revision 12:	
Phone #:	(619) 751-0633	Revision 11:	
Fax #:	(619) 751-0634	Revision 10:	
Project Address:	WEST BOLLINGWOOD WEST OF MEDINA DRIVE	Revision 9:	JUNE 30, 2011
		Revision 8:	FEBRUARY 28, 2011
		Revision 7:	JULY 5, 2007
		Revision 6:	MARCH 5, 2007
		Revision 5:	NOVEMBER 17, 2006
		Revision 4:	APRIL 1, 2006
		Revision 3:	AUGUST 13, 2004
		Revision 2:	DECEMBER 18, 2003
		Revision 1:	1ST SUBMITTAL JULY 11, 2003
		Original Date:	JUNE 6, 2003
		Sheet	4 of 62
		DEP#	10046
		JOB ORDER #	42-1853

SEE SHEET 5



LEGEND

- T&E BOUNDARY
- EX. M&P.A. LINE
- PROP. M&P.A. LINE
- LOT BOUNDARY
- PROPOSED REMEDIAL GRADING LIMIT
- DAYLIGHT LINE
- RIGHT OF WAY
- LOT LINE
- PLANTABLE RETAINING WALL
- LOT NUMBER
- PAD ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED SEWER
- PROPOSED RECLAIMED WATER
- PROPOSED WATER
- FIRE HYDRANT ASSEMBLY
- STOP SIGN
- CONCRETE BROW DITCH
- PEDESTRIAN TRAIL
- SHORT DISTANCE EASEMENT TO BE DEDICATED ON FINAL MAP
- EXISTING EASEMENT DALLOUTS (SEE SHEET 2 FOR EASEMENT NOTES)
- CLUMP INLET WATER QUALITY BMP
- DIAMETER
- D.I.C. ACCESS ROAD
- REMOVABLE BOLLARDS
- DIRECTION OF FLOW



CASTLEROCK

APPLICANTS: PREECE HINES
6025 EDGEWOOD ROAD COURT
SAN DIEGO, CA 92120
(602)794-2200 FAX (602)794-2298

LANDSCAPE ARCHITECT: ATBMA
3016 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-8065

PLANNING AND CIVIL ENGINEER:
LATITUDE 33 PLANNING & ENGINEERING
5355 MIRIA SORRENTO PLACE, SUITE 800
SAN DIEGO, CA 92121
(858) 751-0633 FAX (858) 751-0634

Prepared By: LATITUDE 33 PLANNING & ENGINEERING
Address: 5355 MIRIA SORRENTO PLACE, SUITE 800
SAN DIEGO, CA 92121
Phone #: (858) 751-0633
Fax #: (858) 751-0634

Project Address: MAST BOULEVARD WEST OF MEDINA DRIVE

Project Name: CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title: VESTING TENTATIVE MAP
GRADING AND UTILITY PLAN

Original Date: JUNE 8, 2003

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: JUNE 30, 2011
Revision 8: FEBRUARY 26, 2011
Revision 7: JULY 3, 2007
Revision 6: MARCH 2, 2007
Revision 5: NOVEMBER 17, 2006
Revision 4: APRIL 3, 2006
Revision 3: AUGUST 11, 2004
Revision 2: DECEMBER 19, 2003
Revision 1: 1ST SUBMITTAL
JULY 11, 2003

Original Date: JUNE 8, 2003

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DEP# 10046

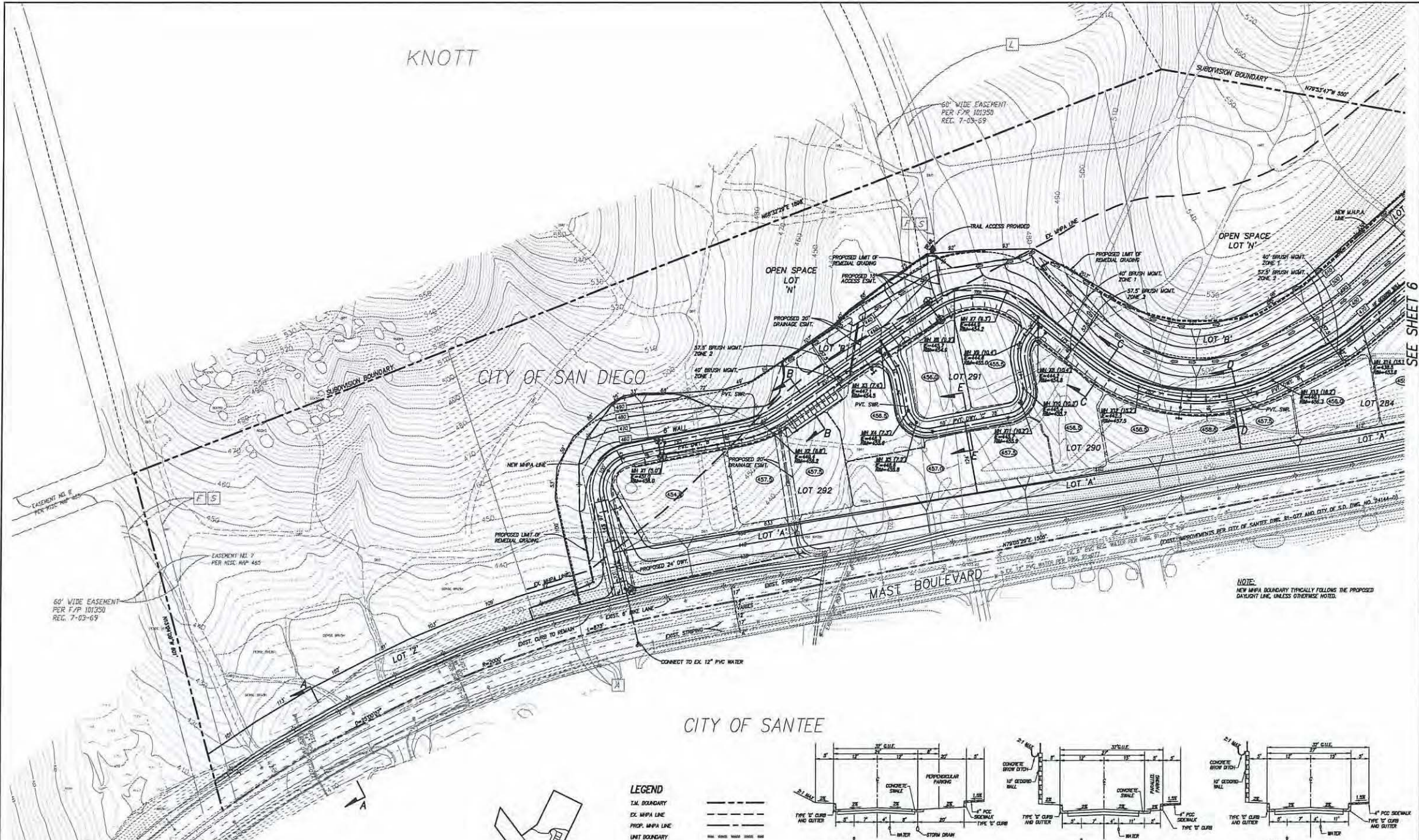
JOB ORDER # 42-1853

SEE SHEET

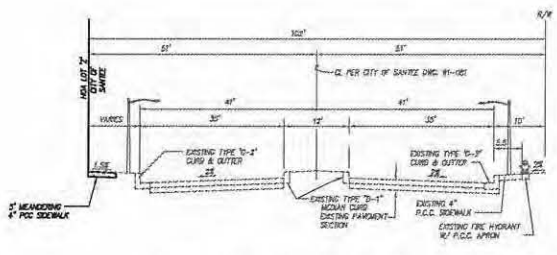
SEE SHEET 5

CITY OF SANTEE

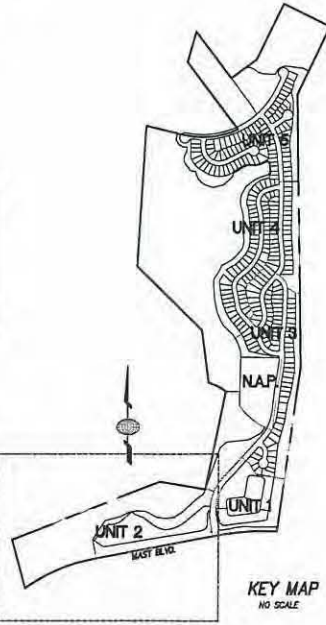




SEE SHEET 54



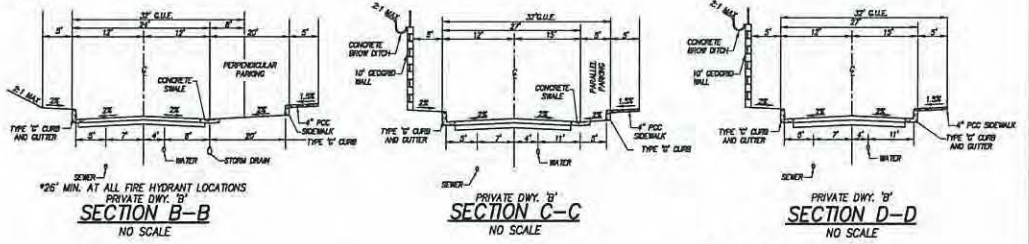
EXISTING/PROPOSED MAST BOULEVARD SECTION A-A WESTERLY OF PROPOSED PROJECT NO SCALE



KEY MAP NO SCALE

LEGEND

- TKL BOUNDARY
- EX. MAPA LINE
- PROP. MAPA LINE
- UNIT BOUNDARY
- PROPOSED REMEDIAL GRADING LIMIT
- SLOPES: 2:1 MAX. (TYP.)
- DAYLIGHT LINE
- RIGHT OF WAY
- LOT LINE
- PLANTABLE RETAINING WALL
- LOT NUMBER
- PAO ELEVATION
- PROPOSED STORM DRAIN
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED RECLAIMED WATER
- FIRE HYDRANT ASSEMBLY
- STOP SIGN
- CONCRETE BROW DITCH
- PEDESTRIAN TRAIL
- SHORT DISTANCE EASEMENT TO BE DEDICATED ON FINAL MAP
- EXISTING EASEMENT CALLOUTS (SEE SHEET 2 FOR EASEMENT NOTES)
- CURB INLET WATER QUALITY BMP GUARDRAIL
- DIRECTION OF FLOW

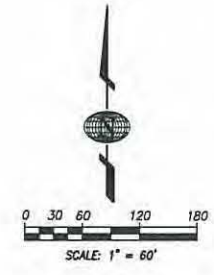


SECTION B-B NO SCALE

SECTION C-C NO SCALE

SECTION D-D NO SCALE

SECTION E-E NO SCALE



PREPARED BY:
LATITUDE 33
 PLANNING AND ENGINEERING
 5355 MIRA BORRENTI PLACE, SUITE 650
 SAN DIEGO, CA 92121
 TEL. 658.751.0633
 FAX. 658.751.0634

CASTLEROCK

APPLICANTS: PARKER HOMES
 6025 EDGEWOOD BEND COURT
 SAN DIEGO, CA 92121
 (609)794-2500 FAX (609)794-2599

LANDSCAPE ARCHITECT: KTB&A
 3014 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-8965

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 5355 MIRA BORRENTI PLACE, SUITE 650
 SAN DIEGO, CA 92121
 (658) 751-0633

Project Address:
 MAST BOULEVARD WEST OF MEDIA DRIVE

Project Name:
CASTLEROCK
 REZONE, SITE DEVELOPMENT PERMIT,
 VESTING TENTATIVE MAP AND
 PLANNED DEVELOPMENT PERMIT

Sheet Title:
VESTING TENTATIVE MAP
GRADING AND UTILITY PLAN

Prepared By: LATITUDE 33 PLANNING & ENGINEERING
 Address: 5355 MIRA BORRENTI PLACE, SUITE 650 SAN DIEGO, CA 92121
 Phone #: (658) 751-0633
 Fax #: (658) 751-0634

Project Address: MAST BOULEVARD WEST OF MEDIA DRIVE

Project Name: **CASTLEROCK**
 REZONE, SITE DEVELOPMENT PERMIT,
 VESTING TENTATIVE MAP AND
 PLANNED DEVELOPMENT PERMIT

Sheet Title: **VESTING TENTATIVE MAP**
GRADING AND UTILITY PLAN

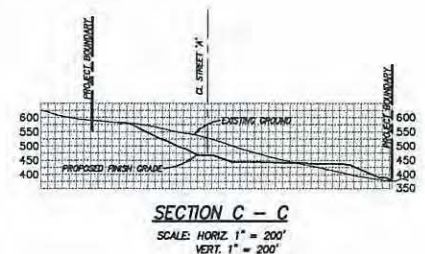
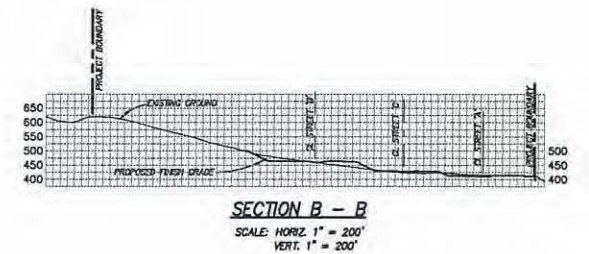
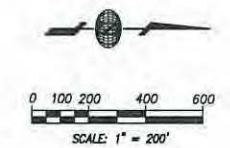
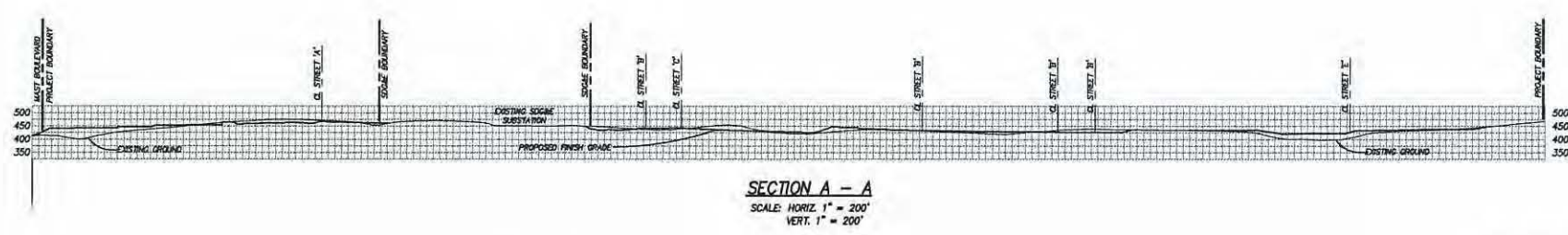
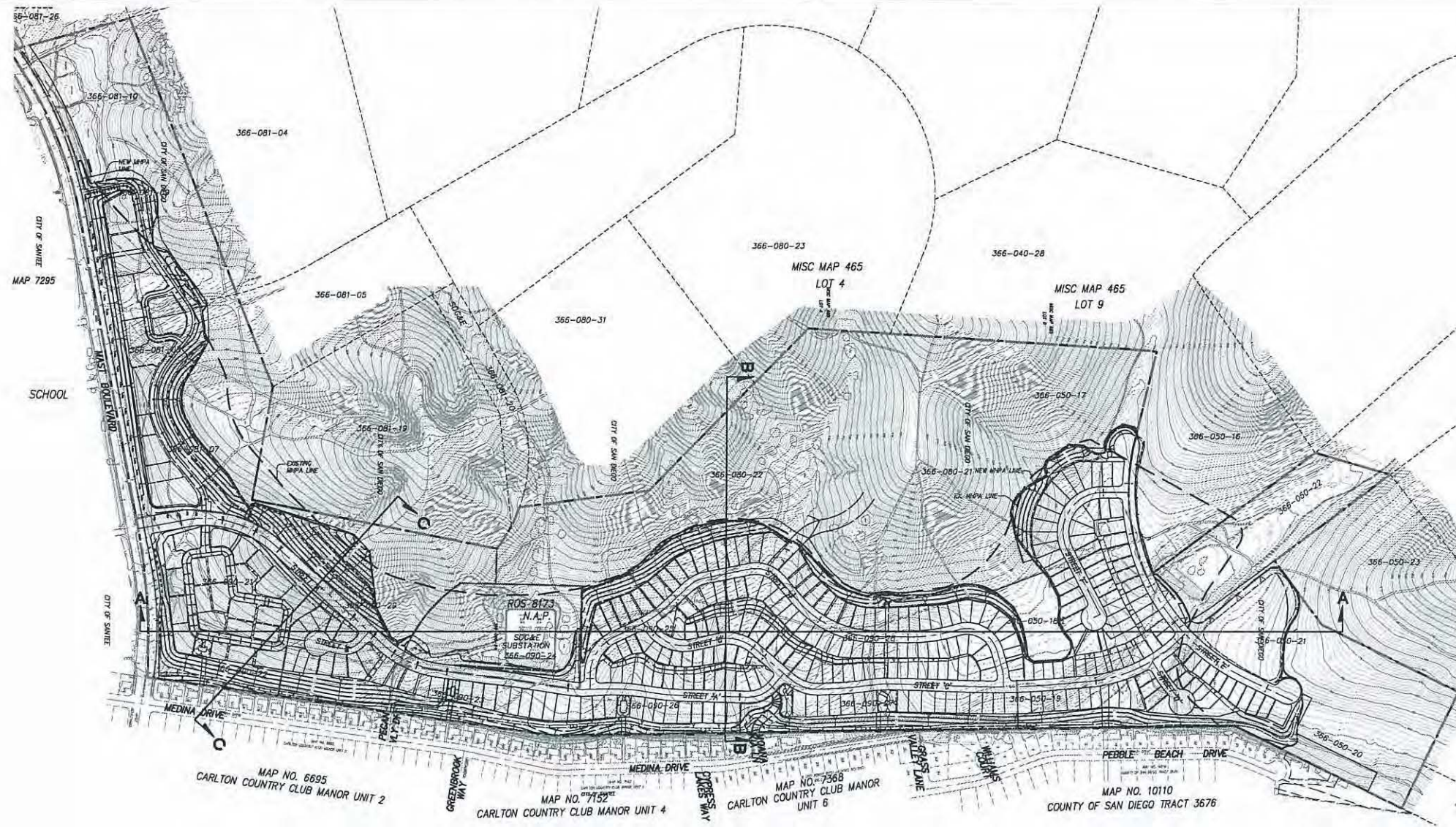
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 Revision 8: FEBRUARY 28, 2011
 Revision 7: JULY 5, 2007
 Revision 6: MARCH 2, 2007
 Revision 5: NOVEMBER 17, 2006
 Revision 4: APRIL 3, 2006
 Revision 3: AUGUST 11, 2004
 Revision 2: DECEMBER 16, 2003
 Revision 1: 1ST SUBMITTAL
 Original Date: JULY 11, 2003
 Original Date: JUNE 8, 2003

Original Date: JUNE 8, 2003

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DEP# 10046

JOB ORDER # 42-1853



CASTLEROCK

APPLICANT: PARKER HOMES
6025 EDGEWOOD BEND COURT
SAN DIEGO, CA 92121
(650)794-2500 FAX (650)794-2580

LANDSCAPE ARCHITECT: KIRARA
3014 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-8965

PLANNING AND CIVIL ENGINEER:
LATITUDE 33 PLANNING & ENGINEERING
5355 MIRA SORRENTO PLACE, SUITE 650
SAN DIEGO, CA 92121
(650) 751-0633 FAX (650) 751-0634

Prepared By: LATITUDE 33 PLANNING & ENGINEERING
Address: 5355 MIRA SORRENTO PLACE, SUITE 650
SAN DIEGO, CA 92121
Phone #: (650) 751-0633
Fax #: (650) 751-0634

Project Address: EAST BOLLEWIND WEST OF MEDINA DRIVE

Project Name: **CASTLEROCK**
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title: **VESTING TENTATIVE MAP**
CROSS SECTIONS

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	JUNE 30, 2011
Revision 9:	FEBRUARY 28, 2011
Revision 8:	JULY 5, 2007
Revision 7:	MARCH 5, 2007
Revision 6:	NOVEMBER 17, 2006
Revision 5:	APRIL 3, 2006
Revision 4:	AUGUST 13, 2004
Revision 3:	DECEMBER 18, 2003
Revision 2:	JULY 11, 2003
Revision 1:	JUNE 9, 2003

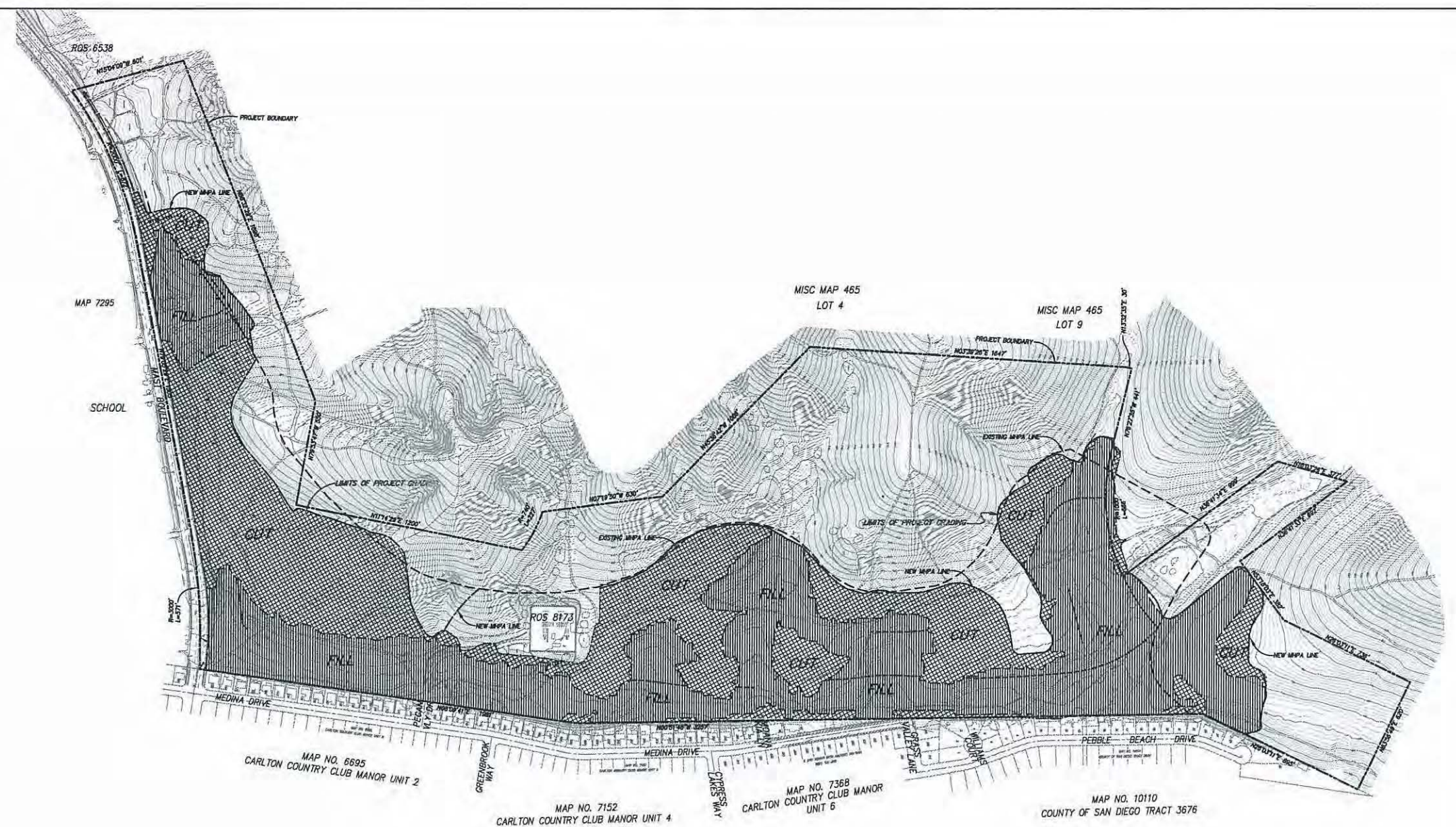
Original Date: JUNE 9, 2003

Sheet 8 of 62

DEP# 10048

JOB ORDER # 42-1653





LEGEND:

- PROJECT BOUNDARY: - - - - -
- EX. MHPA LINE: - · - · - ·
- PROP. MHPA LINE: - - - - -
- EXCAVATION (CUT): [Hatched pattern]
- EMBANKMENT (FILL): [Vertical line pattern]
- CUT/FILL LINE: - - - - -
- PORTIONS OF SEWER REQUIRING 1/2 PIPES: [Dashed line pattern]

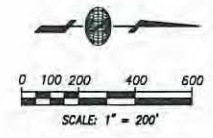
NOTE: POST CONSTRUCTION STUDY IS REQUIRED FOR AREAS WITH FILL BELOW SEWER PIPES THAT HAVE A SLOPE OF LESS THAN 2%. PIPES THAT FALL WITHIN THESE PARAMETERS ARE REQUIRED TO BE 1/2 PIPES TO ALLOW FOR ADDITIONAL SETTLEMENT FULLY SEATED AT JOINTS.

EARTHWORK SUMMARY:

TOTAL CUT = 1,080,000 C.Y. + (1) 72,000 C.Y. + (2) 71,000 C.Y. + (3) 22,000 C.Y. = 1,245,000 } APPROXIMATE CUT/FILL BALANCE
 TOTAL FILL = 1,198,000 C.Y. + (4) 47,000 C.Y. = 1,245,000

- (1) STREET UNDERCUT (ASSUMED 2' DEPTH) = 72,000 C.Y.
- (2) SWALE AND BUILDING FOUNDATION SPOILS = 71,000 C.Y.
- (3) UTILITY TRENCH SPOILS = 22,000 C.Y.
- (4) REMEDIAL GRADING QUANTITY = 568,000 C.Y.
- (5) REMEDIAL GRADING QUANTITY W/2% SHRINKAGE FACTOR = 47,000 C.Y.

SHRINKAGE FACTOR AND REMEDIAL GRADING QUANTITIES PROVIDED BY GEOCON INC. PER GEOTECHNICAL INVESTIGATION FOR CASTLEROCK, SAN DIEGO, CALIFORNIA, DATED: JULY 14, 2003.



CASTLEROCK

APPLICANT: PANDER HOMES
 6025 EDGEWOOD BEND COURT
 SAN DIEGO, CA 92121
 (650) 794-2500 FAX (650) 794-2598

LANDSCAPE ARCHITECT: KTRAM
 3014 NORVAL STREET
 SAN DIEGO, CA 92108
 (619) 394-6477 FAX (619) 394-6985

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 5355 MIRA SORRENTO PLACE, SUITE 650
 SAN DIEGO, CA 92121
 (650) 791-0633 FAX (650) 791-0634

Project Name:
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Project Address:
 WEST BOLLEWAD WEST OF MEDINA DRIVE

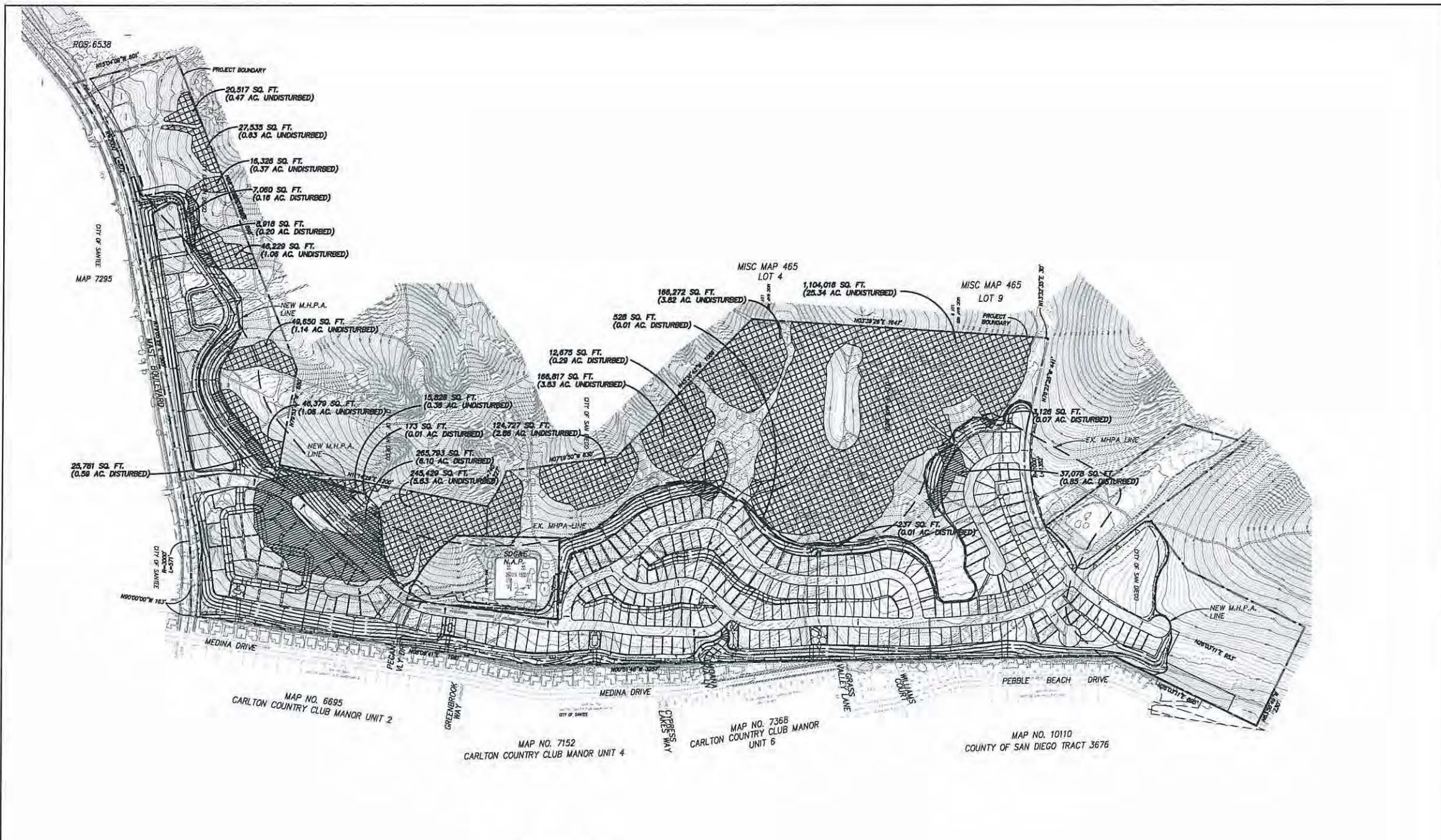
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Revision 11:	
Revision 10:	
Revision 9:	JUNE 30, 2011
Revision 8:	FEBRUARY 28, 2011
Revision 7:	JULY 5, 2007
Revision 6:	MARCH 2, 2007
Revision 5:	NOVEMBER 12, 2006
Revision 4:	APRIL 1, 2006
Revision 3:	AUGUST 13, 2004
Revision 2:	DECEMBER 18, 2003
Revision 1:	1ST SUBMITTAL
Original Date:	JULY 11, 2003
Original Date:	JUNE 9, 2003

PREPARED BY:



Sheet Title:
VESTING TENTATIVE MAP
EARTHWORK EXHIBIT

Sheet 9 of 62
 DEP# 10046
 JOB ORDER # 42-1653



AREA SUMMARY

	ACREAGE	SQUARE FEET	PERCENTAGE
0 TO 25% SLOPES	156.7 AC	6,826,208 SF	74%
25% AND GREATER SLOPES	54.9 AC	2,391,092 SF	26%
TOTAL	211.6 AC	9,217,300 SF	100%

LEGEND

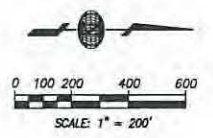
- T.M. BOUNDARY
- EX. M.H.P.A. LINE
- PROP. M.H.P.A. LINE
- 0 - 25% SLOPES
- 25% AND GREATER SLOPES
- 25% AND GREATER SLOPES DISTURBED

SLOPE ANALYSIS

	ACREAGE	SQUARE FEET	PERCENTAGE
25% AND GREATER SLOPES DISTURBED	8.3 AC	361,369 SF	15%
25% AND GREATER SLOPES UNDISTURBED	46.6 AC	2,029,723 SF	85%
TOTAL 25% AND GREATER SLOPES	54.9 AC	2,391,092 SF	100%

DISTURBED AREA

	ACREAGE	SQUARE FEET	PERCENTAGE
0 TO 25% SLOPES DISTURBED	101.3 AC	4,796,485 SF	92%
25% AND GREATER SLOPES DISTURBED	8.3 AC	361,369 SF	8%
TOTAL AMOUNT OF SITE TO BE GRADED	109.6 AC	4,775,581 SF	100%



CASTLEROCK

APPLICANT: PANDAZ HOMES
 5025 EDGEWOOD BEAD COURT
 SAN DIEGO, CA 92121
 (619)794-2500 FAX (619)794-2588

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 5355 MIRA SORRENTO PLACE, SUITE 650
 SAN DIEGO, CA 92121
 (619) 751-0633 FAX (619) 751-0634

Prepared By:
 Name: LATITUDE 33 PLANNING & ENGINEERING
 Address: 5355 MIRA SORRENTO PLACE, SUITE 650
 SAN DIEGO, CA 92121
 Phone #: (619) 751-0633
 Fax #: (619) 751-0634

Project Address:
 EAST BOULEVARD WEST OF MEDINA DRIVE

Project Name:
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title:
VESTING TENTATIVE MAP
SLOPE ANALYSIS

LANDSCAPE ARCHITECT: KTBBA
 3019 NORVAL STREET
 SAN DIEGO, CA 92108
 (619) 254-8477 FAX (619) 254-8883

- Revision 14: _____
- Revision 13: _____
- Revision 12: _____
- Revision 11: _____
- Revision 10: _____
- Revision 9: JUNE 30, 2011
- Revision 8: FEBRUARY 20, 2011
- Revision 7: JULY 5, 2007
- Revision 6: MARCH 2, 2007
- Revision 5: NOVEMBER 12, 2008
- Revision 4: APRIL 3, 2008
- Revision 3: AUGUST 13, 2004
- Revision 2: DECEMBER 18, 2003
- Revision 1: 1ST SUBMITTAL
JULY 11, 2003

Original Date: JUNE 8, 2003
 Sheet 10 of 62

DEP# 10046
 JOB ORDER # 42-1653

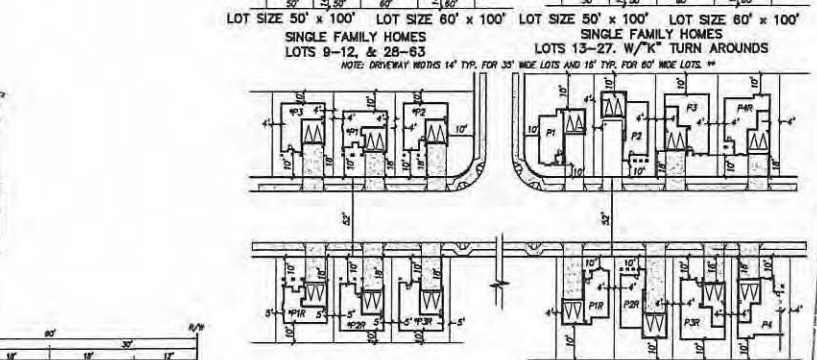
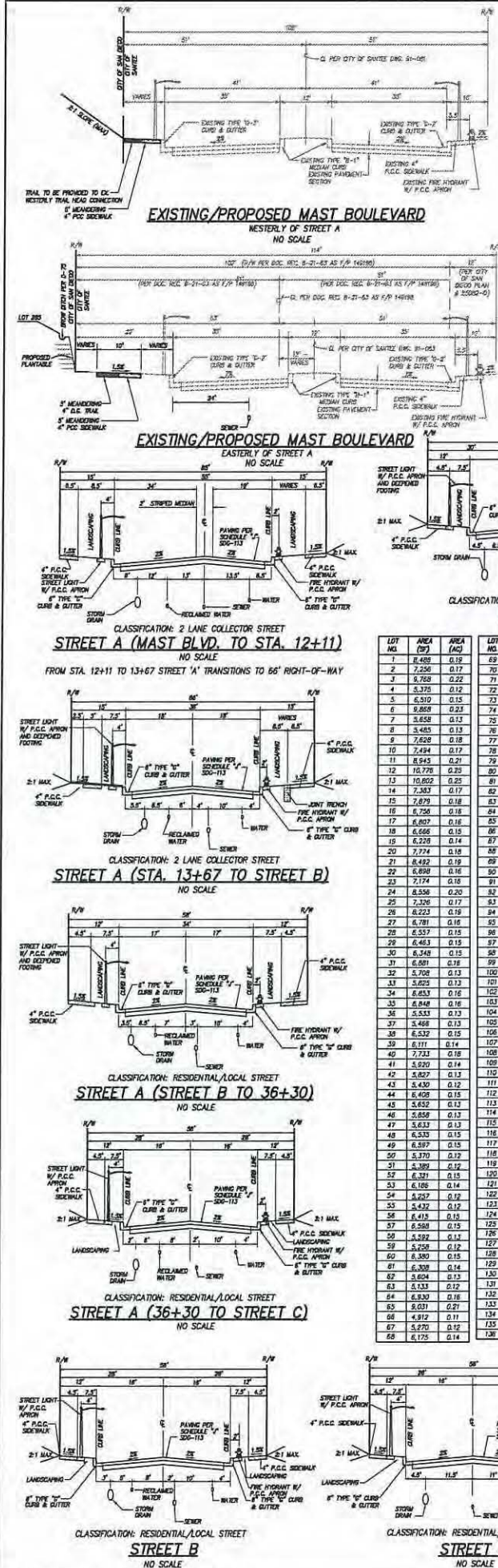
PREPARED BY:



CASTLEROCK PLANNED DEVELOPMENT PERMIT

DEVELOPMENT SUMMARY

- SUMMARY OF REQUEST: A RESIDE, EASEMENT VACATION SITE DEVELOPMENT PERMIT, A VESTING TENTATIVE SUBDIVISION MAP AND A PLANNED DEVELOPMENT PERMIT FOR 93 SINGLE-FAMILY DETACHED DWELLING UNITS, 147 SINGLE-FAMILY DETACHED CONDOMINIUM DWELLING UNITS.
- STREET ADDRESS: [REDACTED]
- EXISTING ZONING: RS-1-R
- PROPOSED ZONING: RS-1-R, RM-2-A, OC, DP-2-1
- CONVERSION DATA:
 - TOTAL BUILDING AREA (FOOTPRINT AREA): 18,460 AC. 801,500 S.F.
 - TOTAL LANDSCAPE/OPEN SPACE AREA: 18,077 AC. 2,442,544 S.F.
 - TOTAL MASSING/PAVED AREA: 11,888 AC. 518,102 S.F.
 - FLOOR AREA RATIO (FAR): 0.41
 - GROSS FLOOR AREA (GFA): 1,204,724 S.F.
 - SINGLE FAMILY DETACHED GFA: 1,152,000 S.F.; SINGLE FAMILY DETACHED CONDOMINIUMS GFA: 52,724 S.F.
- DEVELOPMENT:
 - MAXIMUM DWELLING UNITS ALLOWED PER EAST ELLIOT COMMUNITY PLAN: 800
 - NUMBER OF EXISTING UNITS TO REMAIN ON SITE: NONE
 - NUMBER OF PROPOSED DWELLING UNITS ON SITE: 430
 - TOTAL NUMBER OF UNITS PROPOSED ON THE SITE: 430
- YARD/SETBACKS:
 - ZONE: RS-1-R
 - FRONT YARD: REQUIRED: 15' PROPOSED: 15'
 - REAR YARD: REQUIRED: 10' PROPOSED: 10'
 - SIDE YARD: REQUIRED: 5' PROPOSED: 5'
- STREET SIDE YARD: REQUIRED: 5' PROPOSED: 10'
- INTERIOR YARD: REQUIRED: 5' PROPOSED: 4'
- REAR YARD: REQUIRED: 15' PROPOSED: 15'
- ZONE: RM-2-A
- FRONT YARD: REQUIRED: 15' PROPOSED: 15'
- REAR YARD: REQUIRED: 10' PROPOSED: 10'
- SIDE YARD: REQUIRED: 5' PROPOSED: 5'
- REAR YARD: REQUIRED: 15' PROPOSED: 15'



LOT SIZE 50' x 100' LOT SIZE 60' x 100' LOT SIZE 50' x 100' LOT SIZE 60' x 100'
SINGLE FAMILY HOMES
LOTS 9-12, & 28-53

LOT SIZE 47' x 72' SINGLE FAMILY HOMES - LOTS 64-67; 69-80; 88-123; 132-143; 146-161; 220-234.

LOT SIZE 47' x 85' SINGLE FAMILY HOMES - LOTS 84-85; 88; 81-87; 124-131; 144-145; 162-219; 235-283.

NOTE: DRIVEWAY WIDTHS 14' TYP. FOR 30' WIDE LOTS AND 18' TYP. FOR 60' WIDE LOTS.

NOTE: ALL DIMENSIONS SHOWN ARE THE MINIMUM PROVIDED.

NOTE: GARAGE DOORS SHALL BE ROLL UP TYPE FOR SINGLE FAMILY HOMES WHICH HAVE 18 FEET DISTANCE FROM THE PROPERTY LINE TO THE PROPOSED GARAGE DOOR.

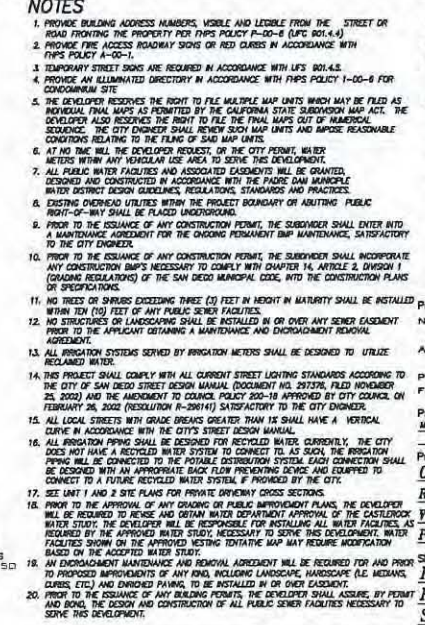
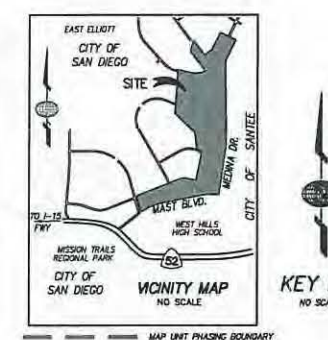
NOTE: DRIVEWAYS SHALL NOT BE MORE THAN 40% OF THE PROPERTY FRONTAGE.

CLASSIFICATION: RESIDENTIAL/LOCAL STREET

NO SCALE

LOT NO.	AREA (AC)	AREA (SQ FT)	LOT NO.	AREA (AC)	AREA (SQ FT)	LOT NO.	AREA (AC)	AREA (SQ FT)	LOT NO.	AREA (AC)	AREA (SQ FT)
1	8.408	0.19	69	5.777	0.13	137	6.336	0.15	205	7.127	0.16
2	7.256	0.17	70	11.288	0.26	138	4.747	0.11	207	3.844	0.13
3	4.768	0.22	71	8.720	0.19	139	4.254	0.11	208	5.844	0.13
4	5.378	0.12	72	4.390	0.10	140	8.814	0.21	209	3.444	0.13
5	6.310	0.15	73	4.121	0.09	141	4.814	0.11	210	5.831	0.13
6	8.668	0.21	74	3.258	0.07	142	4.813	0.11	211	4.272	0.12
7	5.658	0.13	75	4.952	0.11	143	4.814	0.11	212	4.025	0.12
8	3.483	0.13	76	4.836	0.11	144	5.294	0.12	213	6.088	0.14
9	7.628	0.18	77	3.134	0.12	145	5.900	0.14	214	5.984	0.14
10	7.434	0.17	78	4.382	0.10	146	6.247	0.14	215	6.106	0.14
11	10.845	0.25	79	4.277	0.10	147	4.263	0.10	216	5.844	0.13
12	10.778	0.25	80	4.331	0.10	148	5.892	0.13	217	5.382	0.12
13	10.802	0.25	81	4.634	0.11	149	4.427	0.10	218	4.810	0.11
14	7.292	0.17	82	5.089	0.12	150	5.740	0.13	219	3.708	0.12
15	6.225	0.14	83	2.810	0.07	151	4.864	0.11	220	4.013	0.09
16	5.758	0.13	84	6.035	0.14	152	4.456	0.10	221	3.789	0.09
17	6.807	0.16	85	5.877	0.13	153	4.426	0.10	222	4.560	0.10
18	6.686	0.15	86	5.339	0.12	154	4.013	0.09	223	3.718	0.09
19	6.225	0.14	87	4.315	0.10	155	3.274	0.08	224	3.838	0.09
20	7.774	0.18	88	3.658	0.08	156	5.557	0.13	225	3.923	0.09
21	8.482	0.19	89	4.880	0.11	157	3.882	0.08	226	5.551	0.13
22	6.896	0.16	90	4.715	0.10	158	3.277	0.08	227	4.987	0.11
23	7.174	0.16	91	5.069	0.12	159	4.688	0.11	228	5.091	0.12
24	6.558	0.20	92	6.031	0.21	160	4.001	0.09	229	7.207	0.16
25	7.226	0.17	93	5.996	0.14	161	4.172	0.10	230	5.465	0.13
26	6.223	0.14	94	7.262	0.17	162	4.590	0.11	231	5.283	0.12
27	6.281	0.14	95	2.810	0.07	163	4.456	0.10	232	3.119	0.07
28	6.537	0.15	96	6.662	0.15	164	5.386	0.12	233	3.087	0.07
29	6.463	0.15	97	8.841	0.20	165	5.702	0.13	234	5.343	0.13
30	6.548	0.15	98	5.276	0.13	166	5.088	0.14	235	4.460	0.10
31	6.801	0.16	99	5.417	0.13	167	6.853	0.16	236	4.838	0.11
32	5.708	0.13	100	5.343	0.12	168	6.002	0.14	237	4.422	0.10
33	5.823	0.13	101	6.733	0.15	169	7.019	0.16	238	6.343	0.15
34	6.653	0.16	102	6.386	0.15	170	6.804	0.16	239	6.375	0.15
35	6.846	0.16	103	6.843	0.16	171	7.381	0.17	240	4.414	0.10
36	5.533	0.13	104	6.818	0.16	172	7.221	0.16	241	6.507	0.15
37	5.238	0.12	105	6.878	0.16	173	4.823	0.11	242	6.735	0.15
38	6.532	0.15	106	6.819	0.15	174	3.017	0.07	243	6.838	0.16
39	11.114	0.26	107	6.381	0.15	175	6.881	0.16	244	6.263	0.15
40	7.723	0.18	108	4.434	0.10	176	6.587	0.15	245	6.408	0.15
41	5.820	0.14	109	4.924	0.11	177	6.812	0.16	246	10.994	0.25
42	5.827	0.13	110	4.880	0.11	178	6.120	0.14	247	6.538	0.14
43	4.430	0.10	111	4.389	0.10	179	7.412	0.17	248	4.801	0.10
44	6.408	0.15	112	4.094	0.09	180	7.261	0.16	249	5.784	0.13
45	6.852	0.15	113	4.010	0.09	181	7.316	0.17	250	6.352	0.15
46	5.859	0.13	114	4.161	0.10	182	6.621	0.15	251	6.291	0.15
47	5.633	0.13	115	4.262	0.10	183	7.781	0.18	252	6.478	0.15
48	6.533	0.15	116	4.786	0.11	184	7.099	0.16	253	6.270	0.14
49	6.887	0.16	117	7.933	0.18	185	6.610	0.15	254	8.042	0.18
50	5.370	0.12	118	7.631	0.17	186	6.284	0.14	255	5.700	0.13
51	6.389	0.15	119	5.253	0.12	187	6.712	0.15	256	5.422	0.12
52	5.381	0.12	120	6.257	0.14	188	7.223	0.16	257	5.234	0.12
53	6.185	0.14	121	7.342	0.17	189	7.433	0.17	258	3.135	0.07
54	5.287	0.12	122	6.965	0.21	190	8.238	0.18	259	3.089	0.07
55	5.432	0.13	123	11.204	0.26	191	7.022	0.16	260	3.714	0.13
56	6.432	0.15	124	12.973	0.30	192	6.291	0.15	261	6.099	0.15
57	6.588	0.15	125	10.500	0.24	193	7.440	0.17	262	3.102	0.07
58	5.282	0.12	126	8.489	0.19	194	8.208	0.20	263	6.233	0.15
59	6.228	0.14	127	7.844	0.18	195	11.446	0.27	264	6.434	0.15
60	6.380	0.15	128	8.287	0.19	196	8.556	0.20	265	6.212	0.14
61	6.300	0.14	129	6.486	0.15	197	6.838	0.16	266	7.924	0.18
62	6.604	0.15	130	8.254	0.21	198	6.257	0.15	267	6.293	0.15
63	6.133	0.14	131	7.844	0.18	199	6.463	0.16	268	6.355	0.15
64	6.830	0.16	132	7.228	0.17	200	6.556	0.16	269	3.353	0.12
65	6.031	0.21	133	6.123	0.14	201	6.804	0.16	270	3.455	0.13
66	4.812	0.11	134	6.886	0.16	202	6.177	0.15	271	6.293	0.15
67	5.470	0.13	135	6.886	0.16	203	11.872	0.27	272	6.623	0.15
68	6.178	0.14	136	5.973	0.13	204	5.270	0.13	273	6.623	0.15
			205	5.429	0.12	274	6.281	0.16			

TYPICAL FAMILY PLOTTING

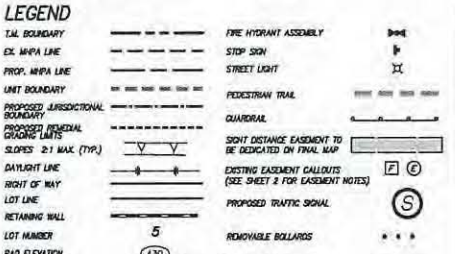


GENERAL NOTES

- RESIDENTIAL LOTS (1-283) TOTAL AREA: 41.38 ACRES
- CONDOMINIUM LOTS (284-430) TOTAL AREA: 15.47 ACRES
- MPA OPEN SPACE LOTS (A-D,P,Q,U,V) TOTAL AREA: 90.03 ACRES
- U.L.A. LOTS (A-H, R - T, X, Y, Z) TOTAL AREA: 32.87 ACRES
- STREETS AND PUBLIC PARK (S) TOTAL AREA: 22.18 ACRES
- VERNAL POOL LOT (AA) TOTAL AREA: 1.82 ACRES
- TOTAL AREA WITHIN SUBDIVISION IS: 203.84 ACRES GROSS
- EXISTING ZONING IS: RS-1-R
- PROPOSED ZONING IS: RS-1-R, RM-2-A, OC, DP-2-1
- ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND.
- CONTOUR INTERVAL: 2 FEET
- SOURCES: PHOTO GEODETIC CORPORATION 6-25-01
- ALL PROPOSED SLOPES ARE 2:1 MAX UNLESS NOTED OTHERWISE.
- EXISTING SHOW HEDGES IS PRELIMINARY AND IS SUBJECT TO MODIFICATION IN FINAL DESIGN.
- LOT DIMENSIONS AND SETBACK DIMENSIONS SHOWN HEREON ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATION IN FINAL DESIGN.
- ALL EXISTING BUILDINGS AND STRUCTURES SHALL BE DEMOLISHED.
- MPA LOTS "A-H, R, X, Y, Z" TO BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- LOT "AA" WILL BE USED FOR VERNAL POOL RESTORATION AND MANAGEMENT PURPOSES.
- MPA OPEN SPACE "P, U, V, Y" TO BE OWNED AND MAINTAINED BY THE CITY OF SAN DIEGO (BUDGET AC).
- LOT G WILL BE DESIGNATED FOR PARK PURPOSES TO THE CITY OF SAN DIEGO IN SCENARIO "A" ON THE CITY OF SAN DIEGO'S SCENARIO "B".
- HOSE WELLS WILL BE ADDED WHERE REQUIRED BY THE ADJUSTMENT ANALYSIS REPORT.
- BEARING RESTRICTIONS EXISTING FOR REVISION LOT SHALL BE GRANTED OVER THE PRIVATE PARKS IN LOTS "X, Y, U, L, R, S, AND Z".
- PUBLIC ACCESS EASEMENTS SHALL BE GRANTED OVER ALL MPA LOTS WITH PROPOSED TRAIL CONNECTIONS.

CONDOMINIUM NOTE

LOTS 284 THROUGH 283 OF THIS VESTING TENTATIVE MAP ARE CONDOMINIUM PROJECTS AS DEFINED IN SECTION 15501 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT. THE TOTAL NUMBER OF CONDOMINIUM DWELLING UNITS IS: 147



CASTLEROCK

APPLICANT: PAVANE HOMES
8025 CANTON STREET
SAN DIEGO, CA 92130
(607)794-2500 FAX (607)794-2508

LANDSCAPE ARCHITECT: RTBA
3015 HOWARD STREET
SAN DIEGO, CA 92103
(619) 291-4477 FAX (619) 294-9985

PLANNING AND CIVIL ENGINEER:
LATITUDE 33 PLANNING & ENGINEERING
5335 MIRAMONTE PLACE, SUITE 600
SAN DIEGO, CA 92121
(607) 751-0634 FAX (607) 751-0634

Prepared By: [Signature]
Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 5335 MIRAMONTE PLACE, SUITE 600
SAN DIEGO, CA 92121
Phone #: (607) 751-0634
Fax #: (607) 751-0634

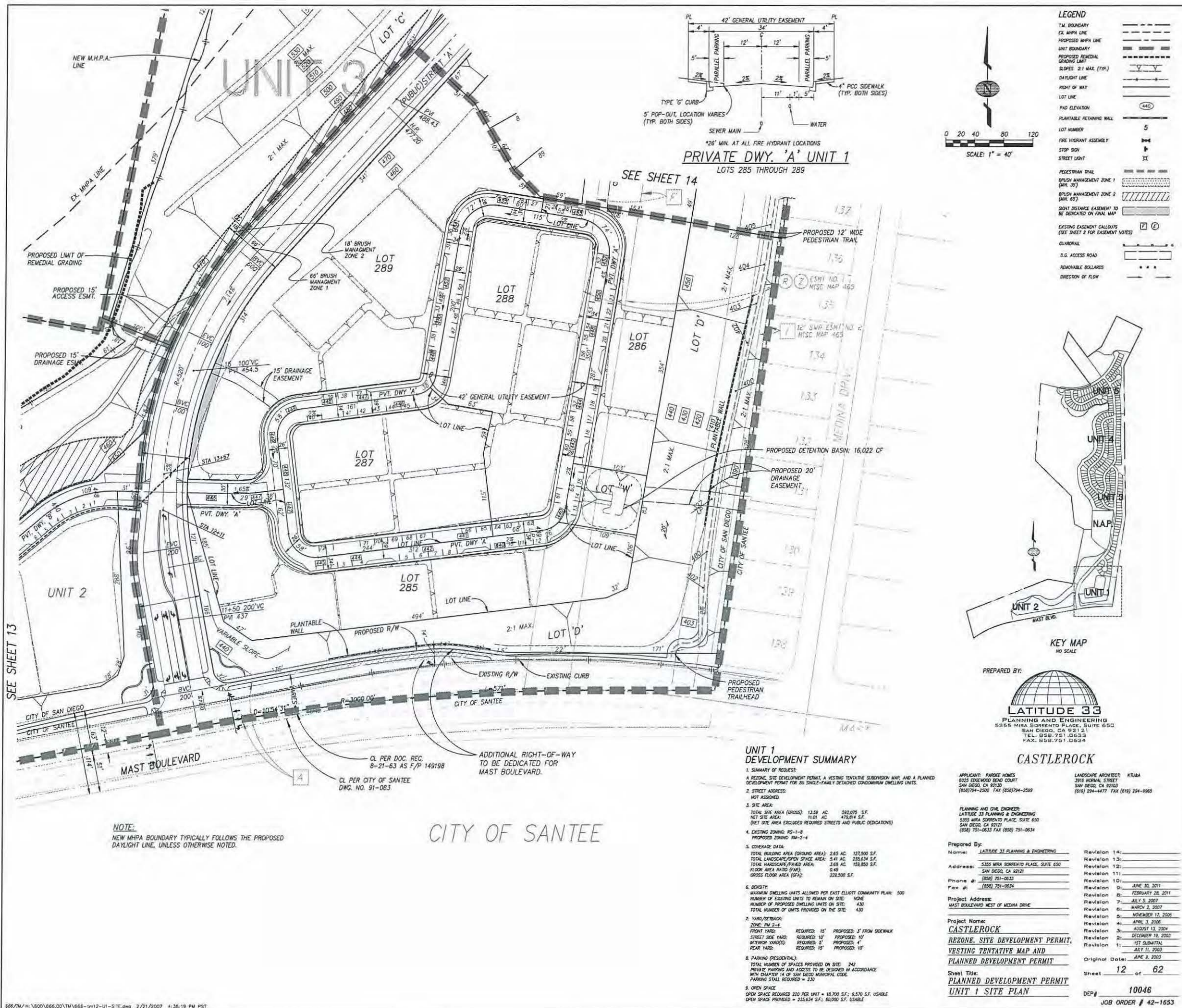
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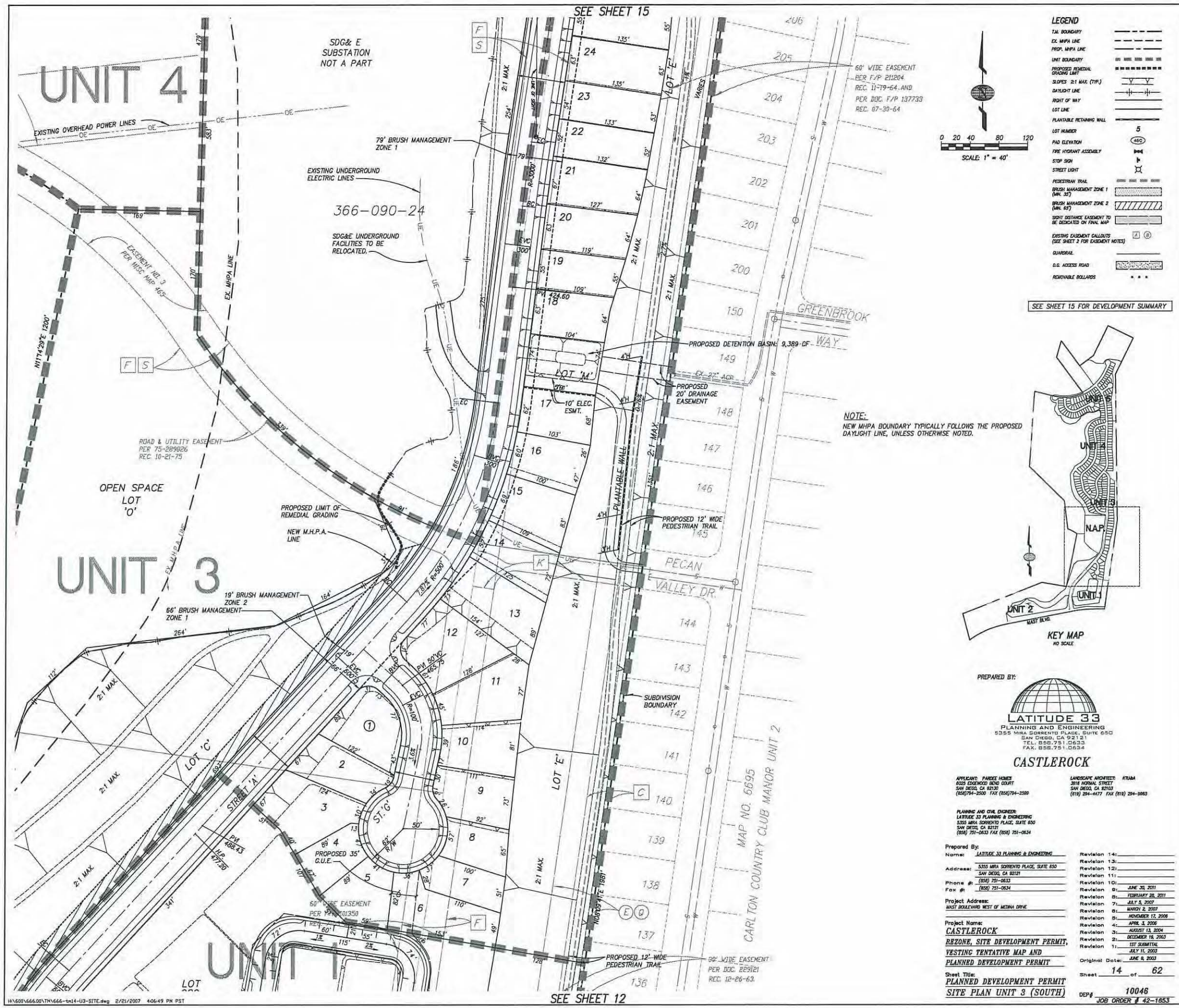
Project Name: CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title: PLANNED DEVELOPMENT PERMIT COVER SHEET SCENARIO "A"

Revision 14: [Blank]
Revision 13: [Blank]
Revision 12: [Blank]
Revision 11: [Blank]
Revision 10: [Blank]
Revision 9: [Blank]
Revision 8: [Blank]
Revision 7: [Blank]
Revision 6: [Blank]
Revision 5: [Blank]
Revision 4: [Blank]
Revision 3: [Blank]
Revision 2: [Blank]
Revision 1: [Blank]

Original Date: [Blank]
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JOB ORDER # 42-1653



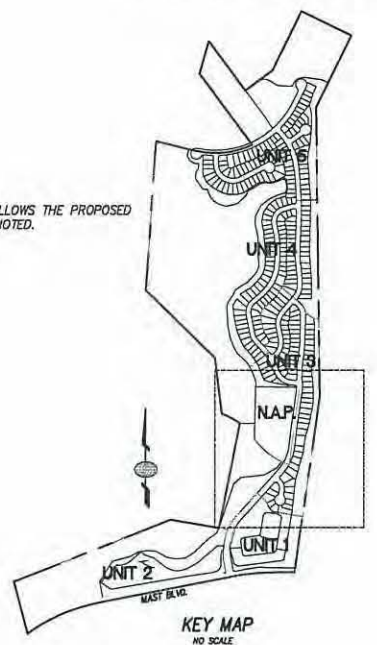


LEGEND

- TAL BOUNDARY
- EX. MAPA LINE
- PROP. MAPA LINE
- UNIT BOUNDARY
- PROPOSED REMEDIAL GRADING LIMIT
- SLOPES 2:1 MAX (TOP)
- DAYLIGHT LINE
- RIGHT OF WAY
- LOT LINE
- PLANTABLE RETAINING WALL
- LOT NUMBER
- PAD ELEVATION
- FIRE HYDRANT ASSEMBLY
- STOP SIGN
- STREET LIGHT
- PEDESTRIAN TRAIL
- BRUSH MANAGEMENT ZONE 1 (4% S)
- BRUSH MANAGEMENT ZONE 2 (4% S)
- RIGHT DISTANCE EASEMENT TO BE DEDICATED ON FINAL MAP
- EXISTING EASEMENT DALLIOUTS (SEE SHEET 2 FOR EASEMENT NOTES)
- QUADRANT
- D.C. ACCESS ROAD
- REMOVABLE BOLLARDS

SCALE: 1" = 40'

SEE SHEET 15 FOR DEVELOPMENT SUMMARY



PREPARED BY:

LATITUDE 33
PLANNING AND ENGINEERING
5355 MIRA GORRENTA PLACE, SUITE 650
SAN DIEGO, CA 92121
TEL. 858.751.0633
FAX. 858.751.0634

CASTLEROCK

APPLICANT: PARKER HOMES
8025 EDENWOOD BOND COURT
SAN DIEGO, CA 92138
(858)794-2500 FAX (858)794-2589

LANDSCAPE ARCHITECT: ITRAMA
3818 NORVAL STREET
SAN DIEGO, CA 92131
(619) 294-4177 FAX (619) 294-1083

PLANNING AND CIVIL DESIGNER:
LATITUDE 33 PLANNING & ENGINEERING
5355 MIRA GORRENTA PLACE, SUITE 650
SAN DIEGO, CA 92121
(858) 751-0633 FAX (858) 751-0634

Prepared By: LATITUDE 33 PLANNING & ENGINEERING

Name: 5355 MIRA GORRENTA PLACE, SUITE 650
Address: SAN DIEGO, CA 92121
Phone #: (858) 751-0633
Fax #: (858) 751-0634

Project Address: WEST BOLLARD WEST OF MEDINA DRIVE

Project Name: **CASTLEROCK**
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title: **PLANNED DEVELOPMENT PERMIT**
SITE PLAN UNIT 3 (SOUTH)

Original Date: JUNE 8, 2007

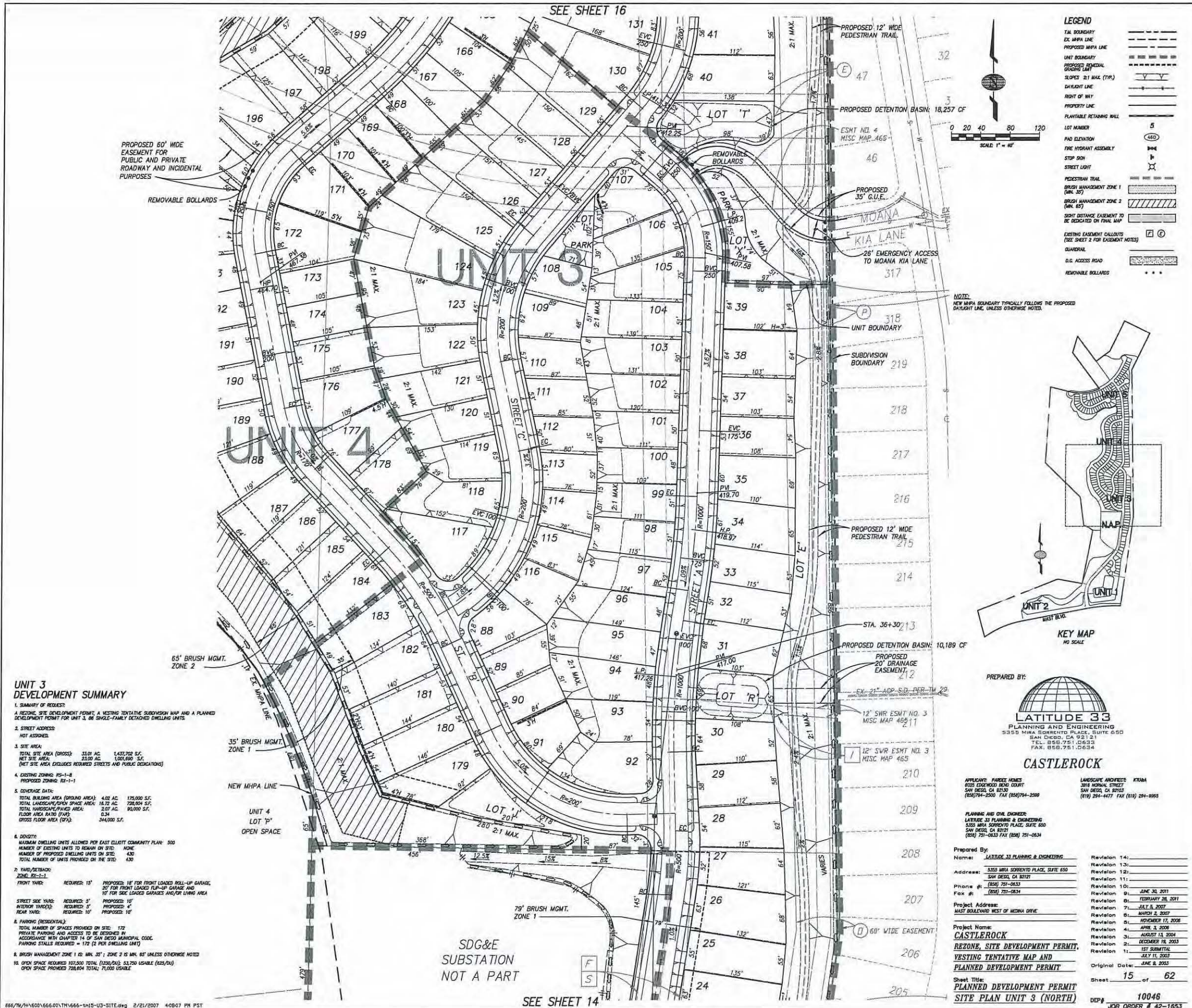
Original Date: JUNE 8, 2007

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: JUNE 30, 2011
Revision 8: FEBRUARY 28, 2011
Revision 7: JULY 5, 2007
Revision 6: MARCH 2, 2007
Revision 5: NOVEMBER 12, 2006
Revision 4: APRIL 3, 2006
Revision 3: AUGUST 13, 2004
Revision 2: DECEMBER 18, 2003
Revision 1: 1ST SUBMITTAL
JULY 11, 2003

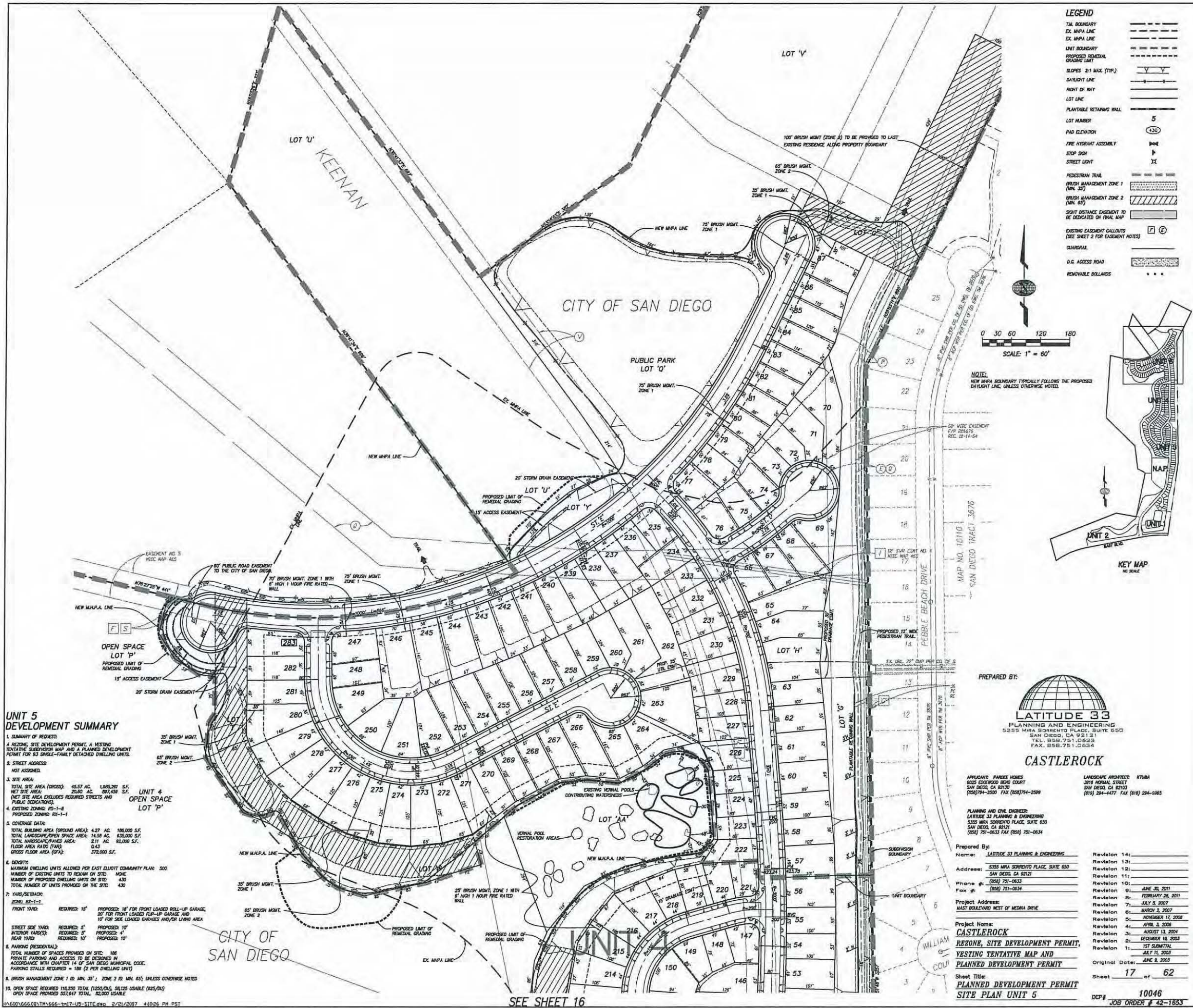
Original Date: JUNE 8, 2007

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DEP# 10046
JOB ORDER # 42-1653

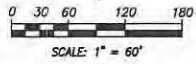


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 SUBSTATION
 NOT A PART

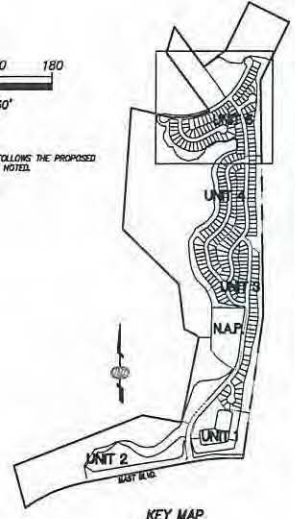


LEGEND

TAL BOUNDARY	---
EX MAPA LINE	---
EX MAPA LINE	---
UNIT BOUNDARY	---
PROPOSED REMEDIAL GRADING LIMIT	---
SLOPES ≥ 1 MAX (TYP)	▽▽
DAYLIGHT LINE	---
RIGHT OF WAY	---
LOT LINE	---
PLANTABLE RETAINING WALL	---
LOT NUMBER	5
PAD ELEVATION	130
FIRE HYDRANT ASSEMBLY	⊕
STOP SIGN	⊕
STREET LIGHT	⊕
PEDESTRIAN TRAIL	---
BRUSH MANAGEMENT ZONE 1 (MIN. 35')	---
BRUSH MANAGEMENT ZONE 2 (MIN. 65')	---
SHORT DISTANCE EASEMENT TO BE DESIGNATED ON FINAL MAP	---
EXISTING EASEMENT CALLOUTS (SEE SHEET 2 FOR EASEMENT NOTES)	Ⓡ Ⓢ
QUADRANT	---
D.G. ACCESS ROAD	---
REMOVABLE BOLLARDS	...



NOTE: NEW MAPA BOUNDARY TYPICALLY FOLLOWS THE PROPOSED DAYLIGHT LINE, UNLESS OTHERWISE NOTED.



UNIT 5 DEVELOPMENT SUMMARY

- SUMMARY OF REQUESTS
- REZONE, SITE DEVELOPMENT PERMIT, A VESTING TENTATIVE SUBDIVISION MAP AND A PLANNED DEVELOPMENT PERMIT FOR 83 SINGLE-FAMILY DETACHED DWELLING UNITS.
- STREET ADDRESS
- KEY ASSIGNED
- SITE AREA:
 - TOTAL SITE AREA (GROSS): 45.57 AC. 1,985,281 S.F.
 - NET SITE AREA: 20.80 AC. 897,458 S.F.
 - (NET SITE AREA EXCLUDES REQUIRED STREETS AND PUBLIC DEDICATIONS).
- EXISTING ZONING: RS-1-B
- PROPOSED ZONING: RS-1-B
- GENERAL DATA:
 - TOTAL BUILDING AREA (GROUND AREA): 4.27 AC. 186,000 S.F.
 - TOTAL LANDSCAPE/OPEN SPACE AREA: 14.58 AC. 635,000 S.F.
 - TOTAL HARDSCAPE/PAVED AREA: 2.11 AC. 89,000 S.F.
 - FLOOR AREA RATIO (FAR): 0.43
 - GROSS FLOOR AREA (GFA): 372,000 S.F.
- DEVELOPMENT:
 - MAXIMUM DWELLING UNITS ALLOWED PER EAST ELLIOTT COMMUNITY PLAN: 200
 - NUMBER OF EXISTING UNITS TO REMAIN ON SITE: NONE
 - NUMBER OF PROPOSED DWELLING UNITS ON SITE: 83
 - TOTAL NUMBER OF UNITS PROVIDED ON THE SITE: 83
- YARD/SETBACK:

FRONT YARD:	REQUIRED: 15'	PROPOSED: 15'	15' FOR FRONT LOADED ROLL-UP GARAGE, 20' FOR FRONT LOADED FLIP-UP GARAGE AND 10' FOR SIDE LOADED GARAGES AND/OR LIVING AREA
STREET SIDE YARD:	REQUIRED: 5'	PROPOSED: 10'	
INTERIOR YARD:	REQUIRED: 5'	PROPOSED: 4'	
REAR YARD:	REQUIRED: 10'	PROPOSED: 10'	
- PARKING (RESIDENTIAL):
 - TOTAL NUMBER OF SPACES PROVIDED ON SITE: 186
 - PRIVATE PARKING AND ACCESS TO BE DESIGNED IN ACCORDANCE WITH CHAPTER 14 OF SAN DIEGO MUNICIPAL CODE.
 - PARKING STALLS REQUIRED = 186 (2 PER DWELLING UNIT)
- BRUSH MANAGEMENT ZONE 1 IS MIN. 35'; ZONE 2 IS MIN. 65', UNLESS OTHERWISE NOTED.
- OPEN SPACE PROVIDED 145,000 TOTAL (1250/DAU), 58125 USABLE (625/DAU)
- OPEN SPACE PROVIDED 897,458 TOTAL, 85000 USABLE

PREPARED BY:

LATITUDE 33
PLANNING AND ENGINEERING
5355 MIWA BARRONTO PLACE, SUITE 650
SAN DIEGO, CA 92121
TEL. 658.751.0633
FAX. 658.751.0634

CASTLEROCK

APPLICANT: PAVLEE HOMES
6025 EDGEWOOD BEND COURT
SAN DIEGO, CA 92121
(658)794-2900 FAX (658) 751-0634

LANDSCAPE ARCHITECT: KTHAM
3014 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4177 FAX (619) 294-0363

PLANNING AND CIVIL ENGINEER:
LATITUDE 33 PLANNING & ENGINEERING
5355 MIWA BARRONTO PLACE, SUITE 650
SAN DIEGO, CA 92121
(658) 751-0633 FAX (658) 751-0634

Prepared By: LATITUDE 33 PLANNING & ENGINEERING

Name: LATITUDE 33 PLANNING & ENGINEERING

Address: 5355 MIWA BARRONTO PLACE, SUITE 650
SAN DIEGO, CA 92121

Phone #: (658) 751-0633

Fax #: (658) 751-0634

Project Address: EAST BOLLARD WEST OF MEDIA DRIVE

Project Name: **CASTLEROCK**
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title: **PLANNED DEVELOPMENT PERMIT**
SITE PLAN UNIT 5

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	JUNE 30, 2011
Revision 9:	FEBRUARY 26, 2011
Revision 8:	JULY 5, 2007
Revision 7:	MARCH 2, 2007
Revision 6:	NOVEMBER 12, 2008
Revision 5:	APRIL 3, 2009
Revision 4:	AUGUST 13, 2004
Revision 3:	DECEMBER 16, 2003
Revision 2:	1ST SUBMITTAL
Revision 1:	JULY 11, 2003

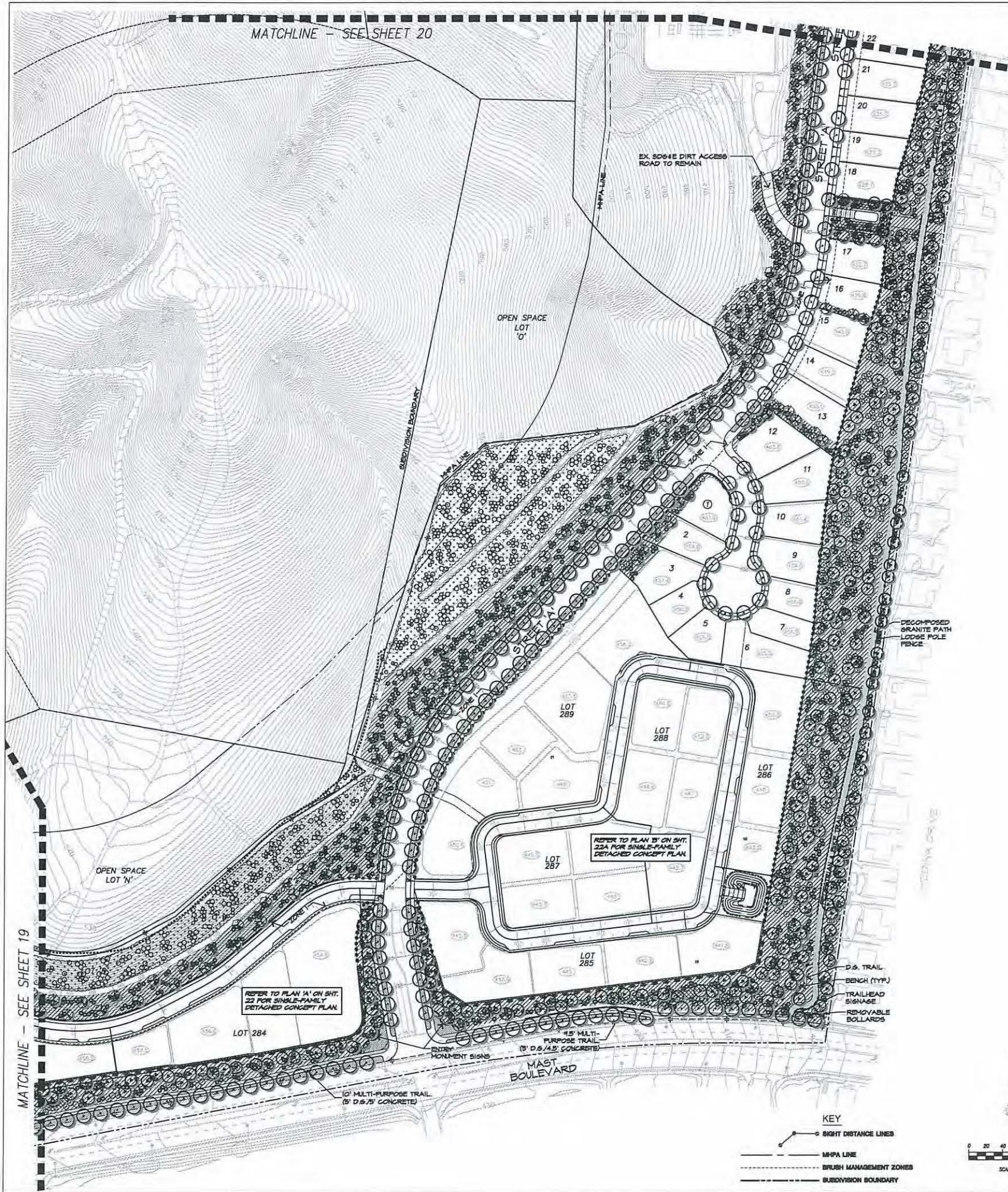
Original Date: JUNE 8, 2003

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DEP# 10046

JOB ORDER # 42-1653

SEE SHEET 16



LANDSCAPE DESIGN CONCEPT
 THE LANDSCAPE DESIGN CONCEPT IS INTENDED TO ENHANCE AND COMPLEMENT THIS NEIGHBORHOOD WHILE BLENDING IT INTO THE SURROUNDING BUILT AND NATURAL ENVIRONMENT. IT IS ALSO THE INTENT TO RETURN THE DISTURBED AREAS TO A NATURAL APPEARANCE THROUGH LANDSCAPING AND EROSION CONTROL METHODS. THE PLANT MATERIALS FOR THE REMAINING PROJECT HAVE BEEN SELECTED TO BE CONSISTENT WITH THE DESIGN TRAIL DESIGN DISTRICT STANDARDS FOR THE SURROUNDING AREAS. SELECTION HAS BEEN BASED ON PAST PERFORMANCE HARDINESS, WATER CONSERVATION, MINIMUM MAINTENANCE AND ATTRACTIVENESS.

ALL PLANTING AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER. ALL PLANTS SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. ALL DISEASE OR DEAD PLANTS SHALL BE TREATED OR REPLACED PER CONDITIONS OF THE PERMIT.

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER RELATED CITY AND REGIONAL STANDARDS.

ALL BRUSH MANAGEMENT ZONES SHALL BE PLANTED OR MAINTAINED IN ACCORDANCE TO THE STANDARDS REFERENCED WITHIN THE LAND DEVELOPMENT MANUAL - LANDSCAPE STANDARDS MG 142-0412.

IRRIGATION SYSTEM
 1. ALL IRRIGATION SHALL CONFORM TO THE LOCAL WATER AGENCY'S LATEST DROUGHT STAGE WATER USE RESTRICTIONS. IRRIGATION SYSTEM AND LANDSCAPE WILL BE DESIGNED TO MEET THE LOCAL PREVIOUS WATER EFFICIENT LANDSCAPE ORDINANCE, EFFECTIVE JANUARY 1, 2010.
 2. ALL PLANTING AREAS WILL BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE AND WILL RECEIVE COMPLETE WATER COVERAGE BY MEANS OF A WEATHER AND SENSOR-BASED AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM. IRRIGATION MAINLINE PIPING SHALL BE PVC SCHEDULE 40 OR CLASS B15 AND SCHEDULE 40 LATERAL LINES.
 3. IRRIGATION SHALL BE DESIGNED FOR RECYCLED WATER USE. RECYCLED WATER SOURCE SHALL BE FROM THE PADRE DAM MUNICIPAL WATER DISTRICT.
 4. IRRIGATION ON PROPOSED CITY FEE-OWNED OPEN SPACE REVEGETATION AREAS SHALL BE TEMPORARY ON-GRADE SYSTEMS THAT SHALL BE REMOVED UPON ACCEPTANCE OF PLANT ESTABLISHMENT BY THE CITY OF SAN DIEGO PARK AND RECREATION DEPARTMENT.

MAINTENANCE
 ALL LANDSCAPING WITHIN BRUSH MANAGEMENT ZONES AND PARKWAYS SHALL BE MAINTAINED BY THE MASTER HOMEOWNERS ASSOCIATION. REAR AND / OR SIDE YARDS OF INDIVIDUAL LOTS SHALL BE THE RESPONSIBILITY OF THE INDIVIDUAL LOT OWNER.

GENERAL NOTES
 1. MINIMUM 24" BOX SIZE STREET TREES SHOULD BE INSTALLED WITHIN TEN FEET OF THE FACE OF CURBS AND IN OPENINGS HAVING A MINIMUM 40 SQ. FT. OF AIR AND WATER PERMEABLE AREA AT A RATE OF ONE PER 30 LINEAR FEET OF STREET FRONTAGE. IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS AND WATER AND SEWER LATERALS, SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE CITY MANAGER.
 2. STREET TREE REQUIREMENT: NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES.
 3. WOOD MULCH SHALL BE UNIFORMLY SPREAD TO A MINIMUM DEPTH OF 2" IN ALL PLANTING AREAS WITH SLOPES LESS THAN 3:1.
 4. FIBER MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 2000 POUNDS PER ACRE IN HYDROSEEDING AREAS.
 5. REVEGETATION AND EROSION CONTROL TIMING - ALL REQUIRED REVEGETATION AND EROSION CONTROL SHALL BE COMPLETED WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING OR DISTURBANCE.
 6. PRIOR TO GRADING THE FIRST 8 INCHES OF TOP SOIL SHALL BE STOCKPILED AND REAPPLIED ON SLOPES AFTER THE COMPLETION OF GRADING.
 7. BOLLARDS SHALL COMPLY WITH CITY OF SAN DIEGO STANDARD DRAWING M-16, DEMOUNTABLE POST.

MINIMUM TREE SEPARATION DISTANCE
 IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
 UNDERGROUND UTILITY LINES (EXCEPT SANITARY SEWER) - 5 FEET
 SANITARY SEWER LINES - 10 FEET
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

MINIMUM SHRUB SEPARATION DISTANCE
 NO SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY MAY BE LOCATED WITHIN 10' OF ANY SEWER MAIN OR WITHIN ACCESS EASEMENTS.

LEGEND
 PERIMETER FENCE - PROPOSED TUBULAR STEEL FENCE - SEE DETAIL A ON SHEET 19
 NOISE ATTENUATION WALL, PROPOSED BLOCK WALL FENCE - SEE DETAIL B ON SHEET 19
 LODGE POLE FENCE - SEE DETAIL D ON SHEET 19
 PERIMETER WALL - SEE DETAIL E ON SHEET 19
 RETAINING WALL - SEE CIVIL'S PLANS
 TUBULAR STEEL FENCE ON RETAINING WALL - SEE CIVIL'S PLANS FOR RETAINING WALL AND DETAIL C ON SHEET 19 FOR TUBULAR STEEL FENCE
 RETAINING PLANTABLE WALL - SEE CIVIL'S PLANS

CROSS REFERENCES
 * REFER TO SHEET 19 FOR FENCE & WALL DETAILS.
 * REFER TO SHEETS 20-21 FOR PLANT MATERIAL LEGEND.
 * REFER TO SHEETS 25-26 FOR BRUSH MANAGEMENT PLAN.

KTUHA 6-30-2011
 Planning - Landscape Architecture
 2016 Normal Street
 San Diego, CA 92103
 (619) 294-4477
 Fax: (619) 294-9985

CASTLEROCK
 APPLICANT: FARRER HOMES
 12626 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92131
 (619) 794-2200 FAX (619) 794-2289

BL000000 SHARP BUSTER ARCHITECTS AND PLANNERS
 335 ANTON BLVD. SUITE 300
 COSTA MESA, CA 92626
 (714) 433-3800 FAX (714) 436-0880

PLANNING AND CIVIL ENGINEER:
 LATITUDINE 3D PLANNING & ENGINEERING
 4433 PARADISE DRIVE 2ND FLOOR
 SAN DIEGO, CA 92123
 (619) 791-0633 FAX (619) 791-0634

LANDSCAPE ARCHITECT: KTUHA
 2016 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-9985

Prepared By: KTUHA
 Landscape Architecture + Planning
 Address: 2016 Normal Street
 SAN DIEGO, CA 92103-2412
 Phone #: (619) 294-4477
 Fax #: (619) 294-9985

Project Address:
 MAST BOULEVARD WEST OF PEBBLE BEACH DRIVE

Project Name:
CASTLEROCK
 TENTATIVE MAP

Sheet Title:
LANDSCAPE CONCEPT PLAN
SHEET 1 of 4
SANTEE OPTION A

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
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 Revision 2: December 18, 2003
 Revision 1: FIRST SUBMITTAL 7-11-03

Original Date: JUNE 8, 2003
 Sheet: 18 of 62
 DEP# 10046
 JPB 03883 44-1637

Project Name:
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 TENTATIVE MAP

Sheet Title:
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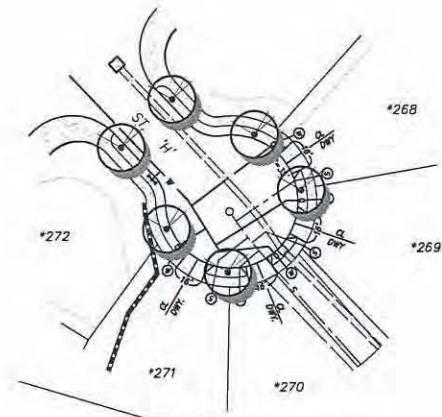
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Project Name:
CASTLEROCK
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Sheet Title:
LANDSCAPE CONCEPT PLAN
SHEET 1 of 4
SANTEE OPTION A

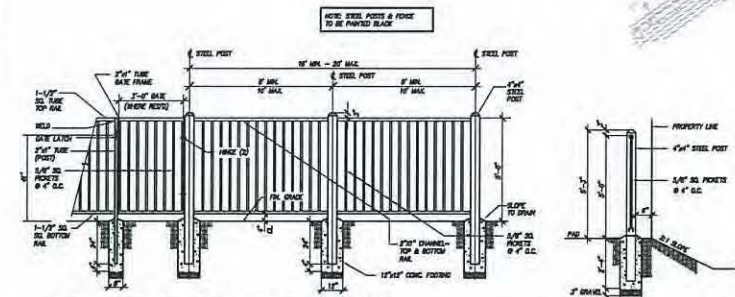
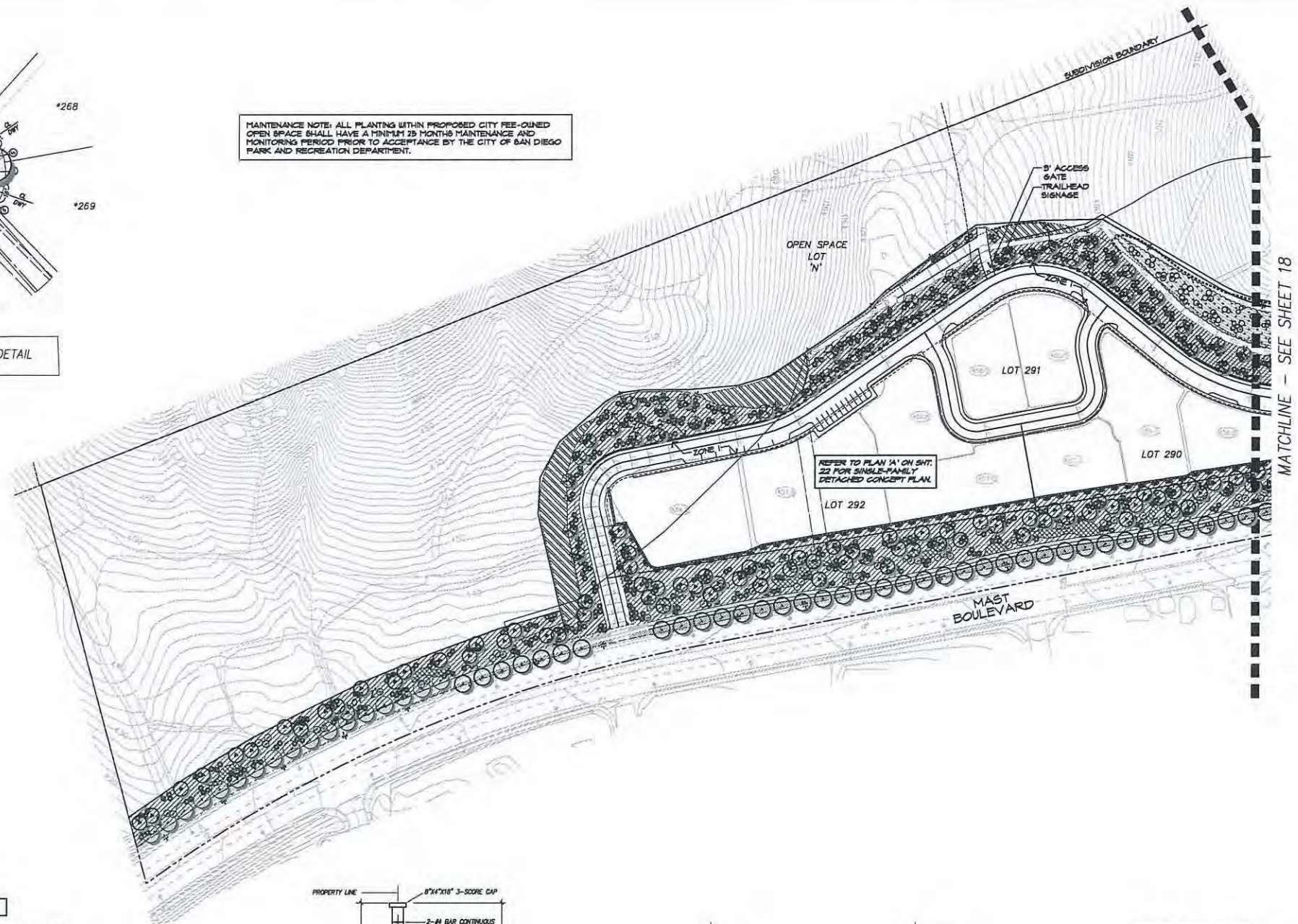
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Original Date: JUNE 8, 2003
 Sheet: 18 of 62
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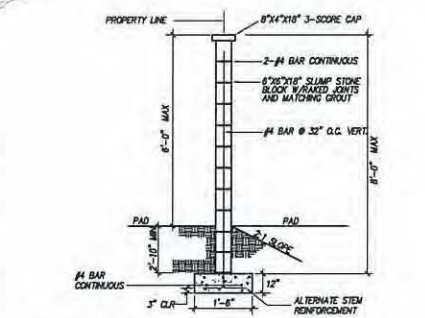


TYPICAL CUL-DE-SAC DETAIL
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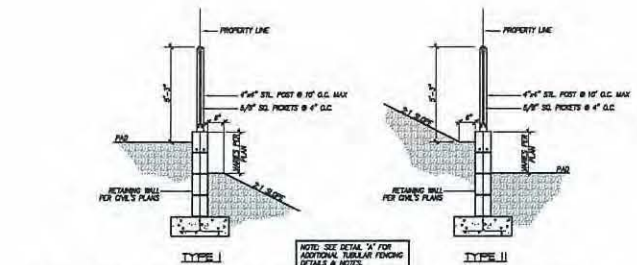
MAINTENANCE NOTE: ALL PLANTING WITHIN PROPOSED CITY FREE-OWNED OPEN SPACE SHALL HAVE A MINIMUM 25 MONTHS MAINTENANCE AND MONITORING PERIOD PRIOR TO ACCEPTANCE BY THE CITY OF SAN DIEGO PARK AND RECREATION DEPARTMENT.



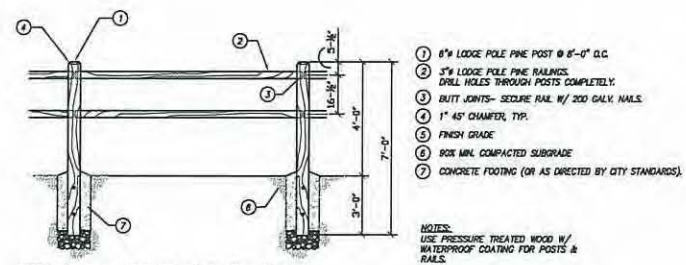
A TUBULAR STEEL FENCE
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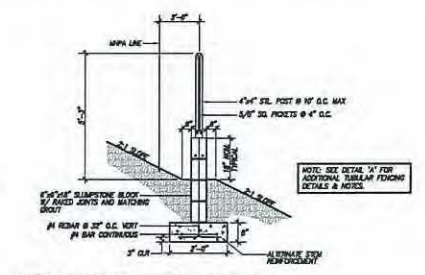
B BLOCK WALL
SECTION- NO SCALE



C TUBULAR STEEL FENCE ON RETAINING WALL
SECTION- NO SCALE



D LODGE POLE FENCE
SECTION- NO SCALE



E PERIMETER WALL
SECTION- NO SCALE

CROSS REFERENCES
 * REFER TO SHEET 16 FOR GENERAL NOTES & WALL LEGEND.
 * REFER TO SHEETS 20-21 FOR PLANT MATERIAL LEGEND.
 * REFER TO SHEETS 25-29 FOR BRUSH MANAGEMENT PLAN.



CASTLEROCK

APPLICANT: PARDEE HOMES
 12625 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (619) 294-4477
 (619) 294-4477 FAX (619) 294-2589

LANDSCAPE ARCHITECT: KTH+A
 3918 NORMAL STREET
 SAN DIEGO, CA 92108
 (619) 294-4477 FAX (619) 294-2585

Prepared By: KTH+A
 Landscape Architecture & Planning
 Address: 3918 Normal Street
SAN DIEGO, CA 92108-2452
 Phone #: (619) 294-4477
 Fax #: (619) 294-2585

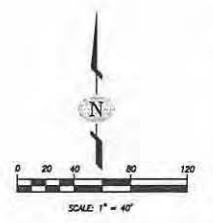
Project Address:
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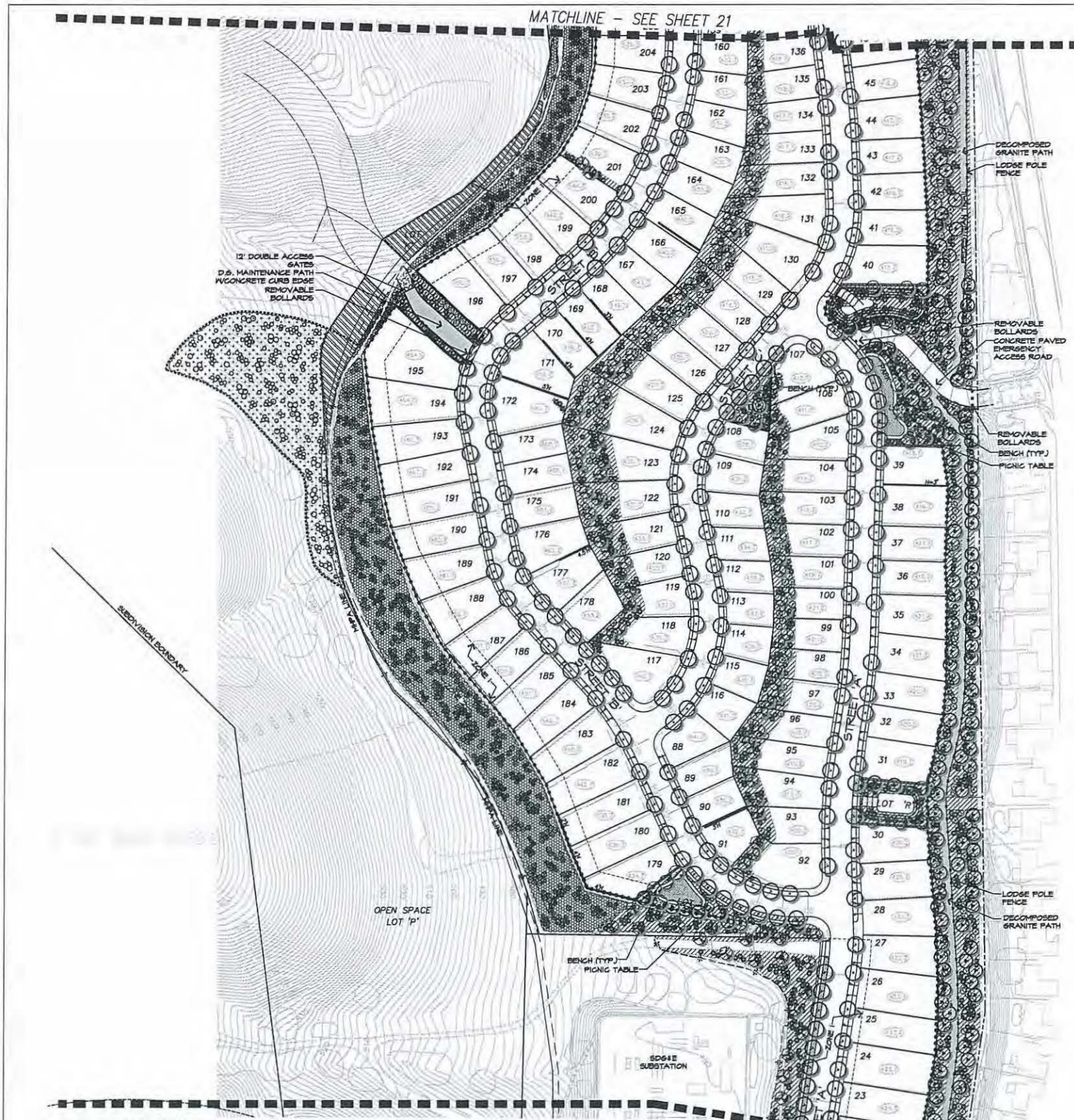
Project Name:
CASTLEROCK
TENTATIVE MAP

Sheet Title:
LANDSCAPE CONCEPT PLAN
SHEET 2 of 4
SANTEE OPTION A

Revision 14:	
Revision 13:	
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Revision 11:	<u>June 20, 2011</u>
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Revision 3:	<u>August 13, 2004</u>
Revision 2:	<u>December 18, 2003</u>
Revision 1:	<u>POST SUBMITTAL 7-11-03</u>

Original Date: JUNE 8, 2003
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PLANT MATERIALS

STREET TREES-EVERGREEN AND DECIDUOUS BROAD-LEAVED TREES such as:

- BRACHYTHON POPULNEUS "BOTTLE TREE"
- KOELBUTERIA BIPINNATA "CHINESE FLAME TREE"
- MAGNOLIA GRANDIFLORA 'SAMUAL JOHNSON'S' "SOUTHERN MAGNOLIA"
- PRUNUS CANARIENSIS "CANARY ISLAND PINE"
- PLATANUS ACERIFOLIA "LONDON PLANE TREE"
- PLATANUS RACEMOSA "CALIFORNIA SYCAMORE"
- KOELBUTERIA BIPINNATA "PINE"
- PRUNUS CERCASPERA "PURPLE LEAF PLUM"
- PRUNUS ILICIFOLIA "HOLLYLEAF CHERRY"
- PRUNUS CALLERYANA "ORIENTAL PEAR"
- QUERCUS AGRIIFOLIA "COAST LIVE OAK"
- QUERCUS ILEX "HOLLY OAK"
- TRISTANIA CONFERTA "TIJU TREE"

ACCENT TREES AT MONUMENTS, RECREATION AREAS AND MULTI-FAMILY HOUSING such as:

- PERMANENT IRRIGATION SYSTEM WITH A STATE OF THE ART, AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM.
- CASSIA LEPTORHYNCHA "GOLD MEDALLION TREE"
- CERCIS OCCIDENTALIS "WESTERN REDBUD"
- MAGNOLIA GRANDIFLORA 'SAMUAL JOHNSON'S' "SOUTHERN MAGNOLIA"
- KOELBUTERIA BIPINNATA "CHINESE FLAME TREE"
- LASERSTROEMIA INDICA "GRAPE MYRTLE"
- PRUNUS SPP. "PINE"
- PRUNUS ILICIFOLIA "PURPLE LEAF PLUM"
- SAMBUCUS MEXICANA "BLUE ELDERBERRY"

TALL EVERGREEN SLOPE TREES such as:

- PERMANENT IRRIGATION SYSTEM WITH A STATE OF THE ART, AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM.
- SELERIA PARVIFOLIA "AUSTRALIAN MELLOW"
- PRUNUS ELIADARICA "MONDILL PINE"
- PRUNUS CANARIENSIS "CANARY ISLAND PINE"
- PRUNUS TORREYANA "TORREY PINE"
- UNDELLARIA CALIFORNICA "BAY LAUREL"

MIXED COMMON AREAS TREES AT MULTI-FAMILY HOUSING such as:

- PERMANENT IRRIGATION SYSTEM WITH A STATE OF THE ART, AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM.
- CERCIS OCCIDENTALIS "WESTERN REDBUD"
- LASERSTROEMIA INDICA "GRAPE MYRTLE"
- LIQUIDAMBAR STRYACIFLUA "SWEET GUM"
- PRUNUS SPP. "PINE"
- PLATANUS RACEMOSA "CALIFORNIA SYCAMORE"
- PRUNUS CALLERYANA "ORIENTAL PEAR"
- QUERCUS AGRIIFOLIA "COAST LIVE OAK"
- TRISTANIA CONFERTA "DRYSAVE OAK"

SMALL TO MEDIUM TEXTURALLY RICH EVERGREEN SLOPE TREES such as:

- PERMANENT IRRIGATION SYSTEM WITH A STATE OF THE ART, AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM.
- ARZUTUS LINDO "STRAWBERRY TREE"
- NETRISCHES ARBUTIFOLIA "TOTOCH TREE"
- NETRISCHES EXCELSA "TOKUKANA"
- RHUS INTERPOLIATA "LEMONADE BERRY"
- RHUS LANCEATA "AFRICAN SAGE"
- PRUNUS ELIADARICA "MONDILL PINE"
- PRUNUS ILICIFOLIA "HOLLYLEAF CHERRY"
- QUERCUS BERBERIDIFOLIA "SCRUB OAK"

SMALL-STATURED, TEXTURALLY RICH ACCENT TREES AT DETACHED MULTI-FAMILY HOUSING such as:

- PERMANENT IRRIGATION SYSTEM WITH A STATE OF THE ART, AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM.
- ERIGONOTRYA DEPLEXA "BRONZE LOGANI"
- LASERSTROEMIA INDICA "GRAPE MYRTLE"
- RHAPHOLEPIS MAJESTIC BEAUTY "MAJESTIC BEAUTY INDIAN HAWTHORN"

LARGE / MEDIUM UPRIGHT EVERGREEN SHRUBS such as:

- PERMANENT IRRIGATION SYSTEM WITH A STATE OF THE ART, AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM.
- ARZUTUS LINDO (10' O.C.) "STRAWBERRY TREE"
- Ceanothus tomentosus "WOOLLY LEAF MOUNTAIN LILAC"
- CECOCARPUS HINULIFLORUS "SAN DIEGO MOUNTAIN MAHOGANY"
- ESCALONIA FRAXINOSA "SAN DIEGO MOUNTAIN MAHOGANY"
- FRAXINODENDRON MEXICANUM "SOUTHERN PLAINBUSH"
- NETRISCHES ARBUTIFOLIA (8' O.C.) "TOTOCH TREE"
- LEPTOSPERMUM SCOPARIUM "NEW ZEALAND TEA TREE"
- RHUS INTERPOLIATA "LEMONADE BERRY"
- MANGNIA DOMESTICA "RAVENEL BARKWOOD"
- PHOTINIA FRASERI "RED-TIP PHOTINIA"
- PRUNUS CAROLINIANA "CHERRY LAUREL"

SMALL / MEDIUM EVERGREEN FLOWERING SHRUBS such as:

- PERMANENT IRRIGATION SYSTEM WITH A STATE OF THE ART, AUTOMATICALLY CONTROLLED, ELECTRICALLY OPERATED, UNDERGROUND PIPED SPRINKLER SYSTEM.
- ASAPANTHUS AFRICANUS (24" O.C.) "LILY OF THE NILE"
- ASIELIA GRANDIFLORA EDWARD GOUCHER "GLOSTY PINK ABELIA"
- BOUSAINVILLEA SPP. "BOUSAINVILLEA"
- CISTIS PURPUREA "ORCHID ROCKROSE"
- HEBERGALLIS HYBRIDA (24" O.C.) "CANTLEY"
- PHORMIUM TENAX TINY TIM "COMPACT FLAX"
- RHAMNUS GROEHA "REDBERRY"
- PITTOCOPIUM SPP. "PITTOCOPIUM"
- SALVIA ARIANA "WHITE SAGE"
- TRICHOSTEMA LANATUM "WOOLLY BLUE GUM"

SEE SHEET 21 FOR CONTINUATION OF PLANT MATERIALS LEGEND.

FOR MULTI-FAMILY HOUSING: A MINIMUM OF TWO-THIRDS OF TREES IN THE STREETYARD SHALL BE 6" BOX (MIN). ALL TREES WITHIN VEHICULAR USE AREA, BOTH IN AND OUT OF THE STREETYARD, SHALL BE A MINIMUM 24" BOX SIZE. SEE MULTI-FAMILY HOUSING ENLARGEMENT PLAN LANDSCAPE CALCULATIONS (SHEETS 22-23A).

FLOWERING, DECIDUOUS STREET TREES TO BE PLANTED WITHIN TEN FEET (10') OF SANITARY SEWER LINES.

PLANT PINUS SPECIES ON INTERIOR STREETS. DO NOT LOCATE ADJACENT TO OPEN SPACE.

PLANT QUERCUS SPECIES ALONG PERIMETER STREET, ADJACENT TO OPEN SPACE.

KTUA 6-30-2011
 2514 Normal Street
 San Diego, CA 92103
 619.594.4171
 619.594.0905
 Planning - Landscape Architecture

CASTLEROCK

APPLICANT: PARRIS HOMES
 12026 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (619)794-2300 FAX (619)794-2589

BL0000000 SHARP BUSTON ARCHITECTS AND PLANNERS
 3318 ANTON BLVD. SUITE 300
 SAN DIEGO, CA 92108
 (714) 432-3000 FAX (714) 432-0860

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4533 PLYMOUTH DRIVE 2ND FLOOR
 SAN DIEGO, CA 92123
 (619) 751-0833 FAX (619) 751-0834

LANDSCAPE ARCHITECT: KTUA
 2514 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-9965

Prepared By: **KTUA**
 Landscape Architects + Planners

Address: 2514 Normal Street
 San Diego, CA 92103-2452

Phone #: (619) 294-4477
 Fax #: (619) 294-9965

Project Address: **MIST BOLLIVARD WEST OF PEBBLE BEACH DRIVE**

Project Name: **CASTLEROCK TENTATIVE MAP**

Sheet Title: **LANDSCAPE CONCEPT PLAN SHEET 3 of 4 SANTEE OPTION A**

Revision 14: _____
 Revision 13: _____
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 Revision 11: **June 30, 2011**
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 Revision 3: **January 13, 2004**
 Revision 2: **December 18, 2002**
 Revision 1: **FIRST SUBMITTAL 7-11-02**

Original Date: **JUNE 8, 2003**

Scale: **20' of 62'**

DEP# **10046**

BRUSH MANAGEMENT AREAS FOR SELECTIVE THINNING
 SEE BRUSH MANAGEMENT NOTES ON SHEETS 20-24 FOR TREATMENT OF VEGETATION WITHIN THIS REGION.

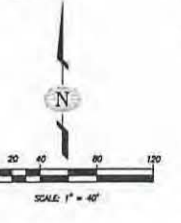
CROSS REFERENCES
 * REFER TO SHEET 18 FOR GENERAL NOTES & WALL LEGEND.
 * REFER TO SHEET 19 FOR FENCE & WALL DETAILS.
 * REFER TO SHEETS 23-25 FOR BRUSH MANAGEMENT PLAN.

SHRUBS	HYDRONISED LBS/ACRE	NUMBER/ACRE	CONTAINER SIZE
ARTEMISIA CALIFORNICA	2.0	30	1 GAL
ARISTIDA PURPUREA	2.0	100	1 GAL
CALOCHORTIS SPLENDENS	0.25	---	---
CALOCHORTIS NEEDII	0.25	---	---
DICHELISSTEMA CAPITATUM	0.5	---	---
ENGELIA CALIFORNICA	0.5	100	1 GAL
ERIGONOTRYA DEPLEXA	0.5	75	1 GAL
HEMIZONIA FASCICULATA	0.5	75	1 GAL
ISOHERIS ARBOREA	0.5	25	1 GAL
LESQUINIA FILAGINIFOLIA	0.25	30	1 GAL
MIMULUS AURANTIACUS	1.0	40	1 GAL
MIRABILIS CALIFORNICA	0.5	75	1 GAL
NASSELLA PULCHRA	2.0	200	4" PLUGS
SALVIA ARIANA	0.5	30	1 GAL
SISTRINCHUM BELLUM	0.5	30	4" POTS
YUCCA SCHIDIGERA	0.5	25	1 GAL





LOW PROFILE NATIVE OPEN SPACE HYDRONISED MIX AND SHRUBS
 TRANSITIONAL PLANTINGS SHALL BE PERMANENTLY IRRIGATED BY MEANS OF AN AUTOMATIC IRRIGATION SYSTEM WITH LOW PRECIPITATION SPRINKLERS TO SEPARATE AND ESTABLISH NATURALIZED HYDRONISED PLANTINGS AND CONTAINER STOCK. WATER COVERAGE SHALL BE KEPT CONTAINED WITHIN TRANSITIONAL ZONE AND RUN-OFF SHALL BE AVOIDED.

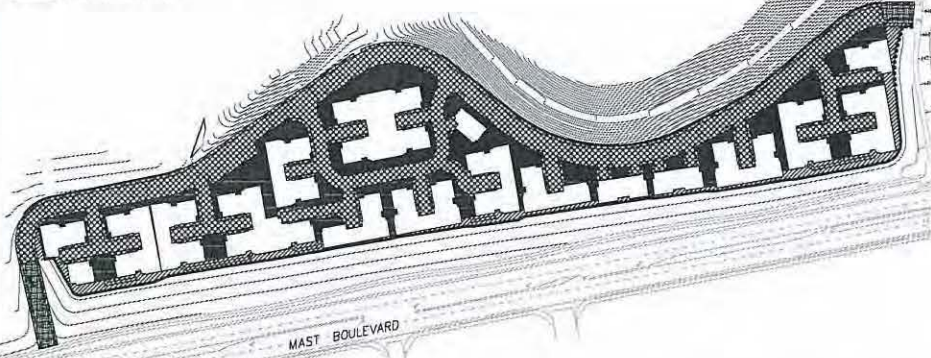
SHRUBS	HYDRONISED LBS/ACRE	NUMBER/ACRE	CONTAINER SIZE
ARTEMISIA CALIFORNICA	2.0	100	1 GAL
CALOCHORTIS SPLENDENS	0.25	---	---
CALOCHORTIS NEEDII	0.25	---	---
DICHELISSTEMA CAPITATUM	0.5	---	---
ERIGONOTRYA DEPLEXA	0.5	---	---
HEMIZONIA FASCICULATA	0.5	---	---
LESQUINIA FILAGINIFOLIA	0.25	---	---
MIMULUS AURANTIACUS	1.0	---	---
NASSELLA PULCHRA	2.0	---	---
RHUS INTERPOLIATA	0.5	---	---
SALVIA ARIANA	0.5	---	---
SISTRINCHUM BELLUM	0.5	---	---

*** ELIMINATE THESE SHRUBS/BEED SPECIES FROM SEED MIX/SHRUB PLANTINGS ON LOT 'Q' ONLY.



LEGEND

-  STREET YARD
-  VEHICULAR USE AREA IN STREET YARD
-  VEHICULAR USE AREA NOT IN STREET YARD
-  REMAINING YARD



ZONE KEY MAP (SCALE: 1"=100')

LANDSCAPE CALCULATIONS

PROJECT LANDSCAPE POINT COVERAGE STATISTICS			
DESCRIPTION	TOTAL AREA (S.F.)	TOTAL POINTS REQUIRED	TOTAL POINTS ACHIEVED
STREET YARD	19,825 S.F.	991 TOTAL POINTS (0.05 PTS./S.F.)	1,478 TOTAL POINTS (0.05 PTS./S.F.) WITH 620 POINTS FROM TREES*
VEHICULAR USE AREA	7,710 S.F. (IN STREET YARD)	386 TOTAL POINTS (0.05 PTS./S.F.)	547 TOTAL POINTS (0.05 PTS./S.F.) WITH 280 POINTS FROM TREES
	120,805 S.F. (NOT IN STREET YARD)	3,624 TOTAL POINTS (0.03 PTS./S.F.)	4,801 TOTAL POINTS (0.03 PTS./S.F.) WITH 4,250 POINTS FROM TREES**
REMAINING YARD	66,840 S.F.	ONE - 24" BOX TREE AT EACH SIDE AND REAR OF EACH BUILDING***	21 BUILDINGS X 3 = 63 TREES, 63 TREES PROVIDED

PROJECT LANDSCAPE AREA COVERAGE STATISTICS			
DESCRIPTION	TOTAL AREA (S.F.)	TOTAL PLANTING AREA REQUIRED	TOTAL PLANTING AREA ACHIEVED
STREET YARD	19,825 S.F.	9,912 S.F. (50% OF TOTAL AREA)	17,180 S.F. TOTAL PLANTING AREA (86% OF TOTAL AREA)
VEHICULAR USE AREA	7,710 S.F. (IN STREET YARD)	386 S.F. (5% OF AREA IN STREET YARD)	2,350 S.F. TOTAL PLANTING AREA (30% OF TOTAL AREA)
	120,805 S.F. (NOT IN STREET YARD)	3,624 S.F. (3% OF AREA NOT IN STREET YARD)	16,510 S.F. TOTAL PLANTING AREA (13% OF TOTAL AREA)
REMAINING YARD	66,840 S.F.	40 S.F. PER TREE	46,145 S.F. TOTAL PLANTING AREA (70% OF TOTAL AREA)

* A MINIMUM OF 3% OF TREES IN THE STREETYARD SHALL BE 36" BOX (MIN).
 ** ALL TREES WITHIN THE VEHICULAR USE AREA, BOTH IN AND OUT OF THE STREETYARD, SHALL BE 36" BOX (MIN), IN AREAS WHERE THERE ARE CONTIGUOUS WALKS, TREES WITHIN 8' OF THESE WALKS HAVE BEEN INCLUDED IN THE CALCULATIONS FOR VEHICULAR USE AREA TO MEET REQUIREMENTS. IN ADDITION, LARGE CANOPY TREES SHALL BE A CONSIDERATION FOR PLANTING IN THE VEHICULAR USE AREA.
 *** WHERE SPACE IS NOT AVAILABLE FOR A 24" BOX TREE AT THE REAR AND EACH SIDE OF A BUILDING, A MINIMUM OF 20 POINTS WILL BE PROVIDED BY SHRUBS.



A SINGLE-FAMILY DETACHED HOUSING
 LANDSCAPE CONCEPT PLAN

CROSS REFERENCES

- * REFER TO SHEET 18 FOR GENERAL NOTES & LEGEND.
- * REFER TO SHEET 19 FOR FENCE & WALL DETAILS.
- * REFER TO SHEETS 20-21 FOR PLANT MATERIAL LEGEND.
- * REFER TO SHEETS 22-24 FOR BRUSH MANAGEMENT PLAN.

KTUA 6-30-2011
 Planning - Landscape Architecture
 3716 Normal Street
 San Diego, CA 92103
 (619) 447-1111
 Fax: 619.447.9005

CASTLEROCK

APPLICANT: PARDE HOMES
 12026 HIGH BLUNT DRIVE, SUITE 100
 SAN DIEGO, CA 92126
 (650)794-2300 FAX (650)794-2398

BLOODGOOD SWAPP BUSTER ARCHITECTS AND PLANNERS
 233 ANTON BLVD. SUITE 300
 COSTA MESA, CA 92626
 (714) 433-3800 FAX (714) 436-0860

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4632 PARADIGM DRIVE 2ND FLSR
 SAN DIEGO, CA 92123
 (650) 751-0533 FAX (650) 751-0534

LANDSCAPE ARCHITECT: KTUA
 3716 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-5965

Prepared By: KTUA
 Landscape Architecture + Planning
 Address: 3716 Normal Street
 SAN DIEGO, CA 92103-2412
 Phone #: (619) 294-4477
 Fax #: (619) 294-5965

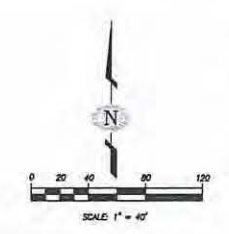
Project Address:
MAST BOULEVARD WEST OF PEBBLE BEACH DRIVE

Project Name:
CASTLEROCK
TENTATIVE MAP





Sheet Title:
LANDSCAPE CONCEPT PLAN
ENLARGEMENT PLAN
SANTEE OPTION A

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: June 30, 2011
 Revision 10: January 18, 2011
 Revision 9: November 22, 2010
 Revision 8: July 2, 2007
 Revision 7: March 2, 2007
 Revision 6: November 15, 2006
 Revision 5: October 3, 2006
 Revision 4: April 3, 2006
 Revision 3: August 14, 2004
 Revision 2: December 18, 2003
 Revision 1: FIRST SUBMITTAL 7-11-03

Original Date: JAN 6, 2003
 Sheet: 22 of 62
 DEP# 10046
 JAS 0303 143-161



LEGEND

-  STREET YARD
-  VEHICULAR USE AREA IN STREET YARD
-  VEHICULAR USE AREA NOT IN STREET YARD
-  REMAINING YARD





ZONE KEY MAP (SCALE: 1"=100')

LANDSCAPE CALCULATIONS

PROJECT LANDSCAPE POINT COVERAGE STATISTICS			
DESCRIPTION	TOTAL AREA (S.F.)	TOTAL POINTS REQUIRED	TOTAL POINTS ACHIEVED
STREET YARD	84,80 S.F.	1,460 TOTAL POINTS (0.05 PTS./S.F.)	5,146 TOTAL POINTS (0.05 PTS./S.F.) WITH 1,200 POINTS FROM TREES
VEHICULAR USE AREA	810 S.F. (IN STREET YARD)	40 TOTAL POINTS (0.05 PTS./S.F.)	0 TOTAL POINTS (0.05 PTS./S.F.) WITH 0 POINTS FROM TREES
	106,980 S.F. (NOT IN STREET YARD)	5,210 TOTAL POINTS (0.05 PTS./S.F.)	765 TOTAL POINTS (0.05 PTS./S.F.) WITH 400 POINTS FROM TREES
REMAINING YARD	100,050 S.F.	ONE - 24" BOX TREE AT EACH SIDE AND REAR OF EACH BUILDING	22 BUILDINGS X 3 = 66 TREES, 170 TREES PROVIDED

PROJECT LANDSCAPE AREA COVERAGE STATISTICS			
DESCRIPTION	TOTAL AREA (S.F.)	TOTAL PLANTING AREA REQUIRED	TOTAL PLANTING AREA ACHIEVED
STREET YARD	84,80 S.F.	14,840 S.F. (50% OF TOTAL AREA)	58,970 S.F. TOTAL PLANTING AREA (49% OF TOTAL AREA)
VEHICULAR USE AREA	810 S.F. (IN STREET YARD)	40 S.F. (5% OF AREA IN STREET YARD)	0 S.F. TOTAL PLANTING AREA (0% OF TOTAL AREA)
	106,980 S.F. (NOT IN STREET YARD)	5,210 S.F. (5% OF AREA NOT IN STREET YARD)	12,180 S.F. TOTAL PLANTING AREA (4% OF TOTAL AREA)
REMAINING YARD	100,050 S.F.	40 SQ. FT. PER TREE	88,546 S.F. TOTAL PLANTING AREA (88% OF TOTAL AREA)

- * A MINIMUM OF 2% OF TREES WITH THE SYMBOL  IN THE STREET YARD SHALL BE 36" BOX (MIN).
- ** ALL TREES WITH THE SYMBOL  WITHIN THE VEHICULAR USE AREA SHALL BE 56" BOX (MIN).
- *** WHERE SPACE IS NOT AVAILABLE FOR A 24" BOX TREE AT THE REAR AND EACH SIDE OF A BUILDING, A MINIMUM OF 20 POINTS WILL BE PROVIDED BY SHRUBS.
- **** PERMANENT LANDSCAPING AND SLOPE ON LOT 'D' PROVIDE ADDITIONAL STREET YARD BUFFERING, EXCEEDING THE CITY OF SAN DIEGO'S LANDSCAPE CODE REQUIREMENT FOR MULTI-FAMILY STREET YARD LANDSCAPE.



CROSS REFERENCES

- * REFER TO SHEET 18 FOR GENERAL NOTES & LEGEND.
- * REFER TO SHEET 19 FOR FENCE & WALL DETAILS.
- * REFER TO SHEETS 20-21 FOR PLANT MATERIAL LEGEND.
- * REFER TO SHEETS 22-23 FOR BRUSH MANAGEMENT PLAN.

KTUA 6-30-2011
 Planning - Landscape Architecture
 2916 Normal Street
 San Diego, CA 92108
 619.294.4477
 Fax: 619.294.9985

CASTLEROCK

APPLICANT: PARKET HOMES
 12626 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (619)794-2200 FAX (619)794-2589

BLOODGOOD SHARP BUSTER ARCHITECTS AND PLANNERS
 233 ANTON BLVD. SUITE 800
 COSTA MESA, CA 92626
 (714) 433-3800 FAX (714) 433-0860

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4832 PARADISE DRIVE, 2ND FLR.
 SAN DIEGO, CA 92123
 (619) 751-0833 FAX (619) 751-0834

LANDSCAPE ARCHITECT: KTUA
 2916 NORMAL STREET
 SAN DIEGO, CA 92108
 (619) 294-4477 FAX (619) 294-9985

Prepared By: KTUA
 Name: Landscape Architecture + Planning
 Address: 2916 Normal Street
 Phone #: (619) 294-4477
 Fax #: (619) 294-9985

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- Revision 7: March 2, 2007
- Revision 6: November 15, 2006
- Revision 5: October 3, 2006
- Revision 4: April 3, 2006
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- Revision 2: December 18, 2003
- Revision 1: FIRST SUBMITTAL 7-11-03

Project Address: MIST BOULEVARD, WEST OF PEBBLE BEACH DRIVE

Project Name: CASTLEROCK
TENTATIVE MAP

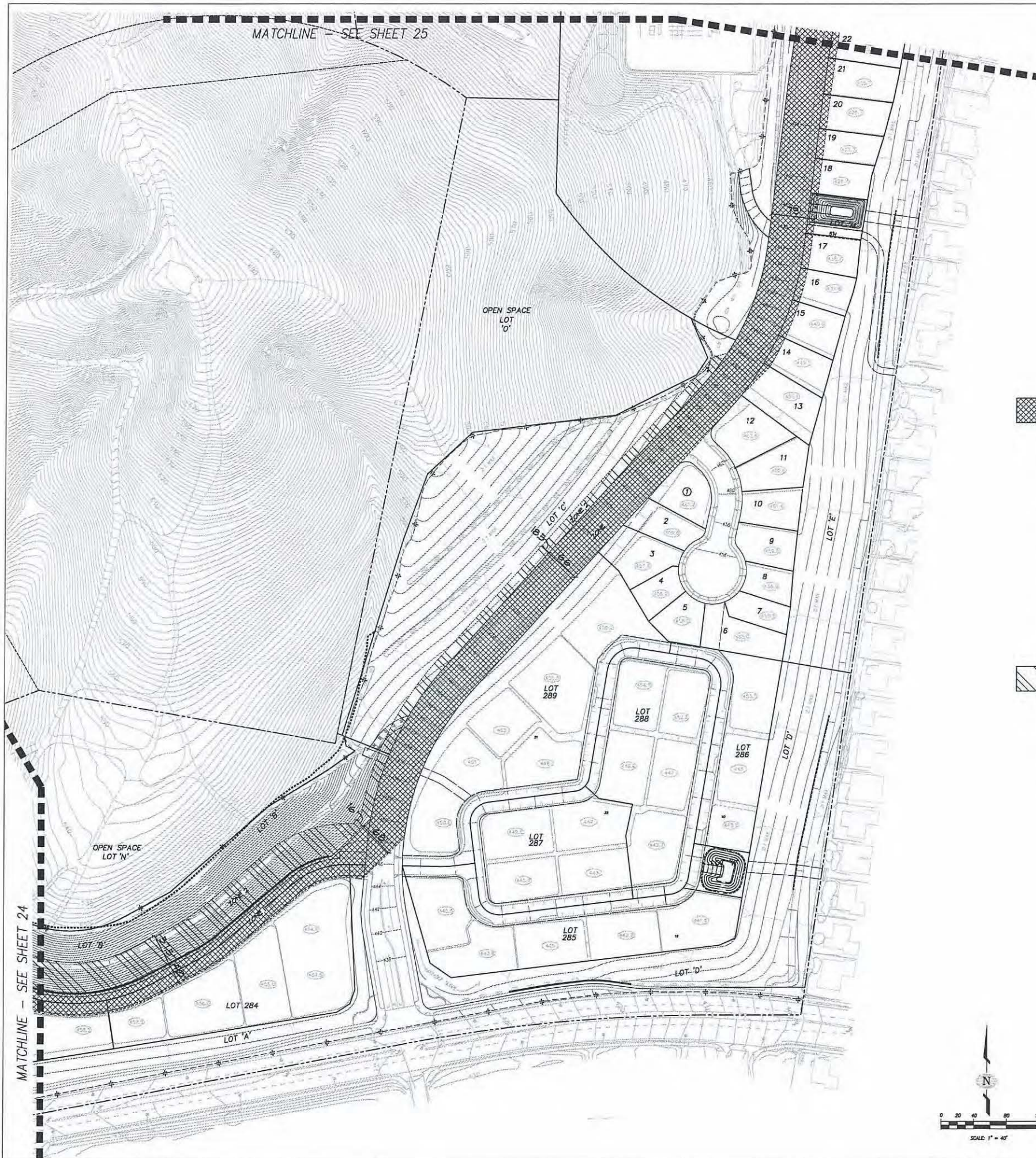
Original Date: JUNE 8, 2003
 Sheet 22A of 62

Sheet Title: LANDSCAPE CONCEPT PLAN
ENLARGEMENT PLAN
SANTER OPTION A

DEP# 10046
 JWS 0303 141-183



B SINGLE-FAMILY DETACHED HOUSING
 LANDSCAPE CONCEPT PLAN



BRUSH MANAGEMENT

ALL BRUSH MANAGEMENT PLANTINGS SHALL CONFORM TO GUIDELINES IN THE SAN DIEGO MUNICIPAL CODE-LAND DEVELOPMENT CODE.
BRUSH MANAGEMENT ZONES DEPTH

OUTSIDE OF MHPA BOUNDARY	
ZONES	WIDTH
1	35'
2	65'

INSIDE MHPA BOUNDARY	
ZONES	WIDTH
1	35'
2	65'

ALTERNATIVE BRUSH MANAGEMENT ZONE DEPTHS @ LOTS 1-5, 12-26 & 285	
ZONES	WIDTH
1	74' "
2	0' "

* WHERE INADEQUATE ZONE 1 WIDTH IS PROVIDED, ZONE DEPTHS ARE BASED ON THE FOLLOWING EQUATION:
 $Z1 + 1.5(Z1-35) + Z2 = 100$

ALTERNATIVE BRUSH MANAGEMENT ZONE DEPTHS @ LOTS 25-26 & 284-285	
ZONES	WIDTH
1	70'
2	15'

ALTERNATIVE BRUSH MANAGEMENT ZONE DEPTHS @ LOTS 24-24, 23-25 & 285-270	
ZONES	WIDTH
1	25'
2	100'



- BRUSH MANAGEMENT ZONE 1 REQUIREMENTS:**
1. THE REQUIRED ZONE 1 WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
 2. ZONE 1 SHALL CONTAIN NO HABITABLE STRUCTURES, STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES, OR OTHER COMBUSTIBLE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, PALAPAS, PLAY STRUCTURES AND NONHABITABLE GAZEBOS THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE 1 SHALL BE OF NONCOMBUSTIBLE CONSTRUCTION.
 3. PLANTS WITHIN ZONE 1 SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-FUEL AND FIRE-RESISTIVE.
 4. TREES WITHIN ZONE 1 SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURE TO THE DRIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
 5. PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
 - A. WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
 - B. WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT PLANT MATURITY OF LESS THAN 24 INCHES.
 6. ZONE ONE IRRIGATION OVER SPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
 7. ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.
 8. BRUSH MANAGEMENT ZONE ONE SHALL NOT BE ON SLOPES WITH A GRADIENT GREATER THAN 4:1 (4 HORIZONTAL FEET TO 1 VERTICAL FOOT).



- BRUSH MANAGEMENT ZONE 2 REQUIREMENTS:**
1. THE REQUIRED ZONE TWO WIDTH SHALL BE PROVIDED BETWEEN ZONE ONE AND THE UNDISTURBED, NATIVE OR NATURALIZED VEGETATION, AND SHALL BE MEASURED FROM THE EDGE OF ZONE ONE THAT IS FARTHEST FROM THE HABITABLE STRUCTURE, TO THE EDGE OF UNDISTURBED VEGETATION.
 2. NO STRUCTURES SHALL BE CONSTRUCTED IN ZONE TWO.
 3. WITHIN ZONE TWO, 50 PERCENT OF THE PLANTS OVER 24 INCHES SHALL BE CUT AND CLEARED TO A HEIGHT OF 6 INCHES.
 4. WITHIN ZONE TWO, ALL PLANTS REMAINING AFTER 50 PERCENT ARE REDUCED IN HEIGHT, SHALL BE PRUNED TO REDUCE FUEL LOADINGS IN ACCORDANCE WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL. NON-NATIVE PLANTS SHALL BE PRUNED BEFORE NATIVE PLANTS ARE PRUNED.

BRUSH MANAGEMENT NOTES CONTINUED ON SHEET 24



CASTLEROCK

APPLICANT: PARADE HOMES
12625 HIGH BLUNT DRIVE, SUITE 100
SAN DIEGO, CA 92130
(619)794-2500 FAX (619)794-2599

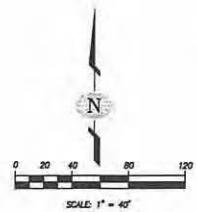
PLANNING AND CIVIL ENGINEERS
LATHROP PLANNING & ENGINEERING
4833 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92123
(619) 751-0533 FAX (619) 751-0534

BLOODGOOD SHARP BUSTER ARCHITECTS AND PLANNERS
255 ANTON BLVD. SUITE 300
COSTA MESA, CA 92626
(714) 425-3000 FAX (714) 436-0880

LANDSCAPE ARCHITECTS: KTUA
3916 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-9985

Prepared By: <u>KTUA</u>	Revision 14: _____
Name: <u>Landscape Architecture + Planning</u>	Revision 13: _____
Address: <u>3916 Normal Street</u>	Revision 12: _____
Phone #: <u>(619) 294-4477</u>	Revision 11: <u>June 30, 2011</u>
Fax #: <u>(619) 294-9985</u>	Revision 10: <u>January 18, 2011</u>
Project Address: <u>MAST ROADWAY WEST OF PEBBLE BEACH DRIVE</u>	Revision 9: <u>November 22, 2010</u>
Project Name: <u>CASTLEROCK TENTATIVE MAP</u>	Revision 8: <u>July 2, 2007</u>
Sheet Title: <u>BRUSH MANAGEMENT PLAN SHEET 1 of 4 SANTEE OPTION A</u>	Revision 7: <u>March 2, 2007</u>
	Revision 6: <u>November 12, 2006</u>
	Revision 5: <u>October 3, 2006</u>
	Revision 4: <u>April 3, 2006</u>
	Revision 3: <u>August 15, 2004</u>
	Revision 2: <u>December 18, 2003</u>
	Revision 1: <u>FIRST SUBMITTAL 7-11-03</u>

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BRUSH MANAGEMENT ZONE 2 REQUIREMENTS CONTINUED...

- B. THE FOLLOWING STANDARDS SHALL BE USED WHERE ZONE TWO IS IN AN AREA PREVIOUSLY GRADED AS PART OF LEGAL DEVELOPMENT ACTIVITY AND IS PROPOSED TO BE PLANTED WITH NEW PLANT MATERIAL, INSTEAD OF CLEARING EXISTING NATIVE OR NATURALIZED VEGETATION:
- ALL NEW PLANT MATERIAL FOR ZONE TWO SHALL BE NATIVE NON-IRRIGATED, LOW-FUEL, AND FIRE-RESISTIVE. NO NON-NATIVE PLANT MATERIAL MAY BE PLANTED IN ZONE TWO EITHER INSIDE THE MHFA OR IN THE COASTAL OVERLAY ZONE, ADJACENT TO AREAS CONTAINING SENSITIVE BIOLOGICAL RESOURCES.
 - NEW PLANTS SHALL BE LOW-GROWING WITH A MAXIMUM HEIGHT AT MATURITY OF 24 INCHES. SINGLE SPECIMENS OF NATIVE TREES AND TREE FORM SHRUBS MAY EXCEED THIS LIMITATION IF THEY ARE LOCATED TO REDUCE THE CHANCE OF TRANSMITTING FIRE FROM NATIVE OR NATURALIZED VEGETATION TO HABITABLE STRUCTURES AND IF THE VERTICAL DISTANCE BETWEEN THE LOWEST BRANCHES OF THE TREES AND THE TOP OF ADJACENT PLANTS ARE THREE TIMES THE HEIGHT OF THE ADJACENT PLANTS TO REDUCE THE SPREAD OF FIRE THROUGH LADDER FUELING.
 - ALL NEW ZONE TWO PLANTINGS SHALL BE TEMPORARILY IRRIGATED UNTIL ESTABLISHED TO THE SATISFACTION OF THE CITY MANAGER. ONLY LOW-FLOW, LOW-SALINITY SPRAY HEADS MAY BE USED IN ZONE TWO. OVERSPRAY AND RUNOFF FROM THE IRRIGATION SHALL NOT DRIFT OR FLOW INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION. TEMPORARY IRRIGATION SYSTEMS SHALL BE REMOVED UPON APPROVED ESTABLISHMENT OF THE PLANTINGS. PERMANENT IRRIGATION IS NOT ALLOWED IN ZONE TWO.
 - WHERE ZONE TWO IS BEING REVEGETATED AS A REQUIREMENT OF SECTION 142.041(A), REVEGETATION SHALL COMPLY WITH THE SPACING STANDARDS IN THE LAND DEVELOPMENT MANUAL. FIFTY PERCENT OF THE PLANTING AREA SHALL BE PLANTED WITH MATERIAL THAT DOES NOT GROW TALLER THAN 24 INCHES. THE REMAINING PLANTING AREA MAY BE PLANTED WITH TALLER MATERIAL, BUT THIS MATERIAL SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS FOR EXISTING PLANT MATERIAL IN ZONE TWO.

6. ZONE TWO SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS.
7. EXCEPT AS PROVIDED IN SECTION 142.041(2), WHERE THE REQUIRED ZONE ONE WIDTH SHOWN IN TABLE 142.041H CANNOT BE PROVIDED ON PREMISES WITH EXISTING STRUCTURES, THE REQUIRED ZONE TWO WIDTH SHALL BE INCREASED BY ONE FOOT FOR EACH FOOT OF REQUIRED ZONE ONE WIDTH THAT CANNOT BE PROVIDED.

THE FIRE CHIEF MAY MODIFY THE REQUIREMENTS OF THIS SECTION IF THE FOLLOWING CONDITIONS EXIST:

- IN THE WRITTEN OPINION OF THE FIRE CHIEF, BASED UPON A FIRE FUEL LOAD MODEL REPORT CONDUCTED BY A CERTIFIED FIRE BEHAVIOR ANALYST, THE REQUIREMENTS OF SECTION 142.041C FAIL TO ACHIEVE THE LEVEL OF FIRE PROTECTION INTENDED BY THE APPLICATION OF ZONES ONE AND TWO; AND
- THE MODIFICATION TO THE REQUIREMENTS ACHIEVES AN EQUIVALENT LEVEL OF FIRE PROTECTION AS PROVIDED BY SECTION 142.041C, OTHER REGULATIONS OF THE LAND DEVELOPMENT CODE, AND THE MINIMUM STANDARDS CONTAINED IN THE LAND DEVELOPMENT MANUAL; AND
- THE MODIFICATION TO THE REQUIREMENTS IS NOT DETRIMENTAL TO THE PUBLIC HEALTH, SAFETY AND WELFARE OF PERSONS RESIDING OR WORKING IN THE AREA.

IF THE FIRE CHIEF APPROVES A MODIFIED PLAN IN ACCORDANCE WITH THIS SECTION AS PART OF THE CITY'S APPROVAL OF A DEVELOPMENT PERMIT, THE MODIFICATIONS SHALL BE RECORDED WITH THE APPROVED PERMIT CONDITIONS.

FOR EXISTING STRUCTURES, THE FIRE CHIEF MAY REQUIRE BRUSH MANAGEMENT IN COMPLIANCE WITH THIS SECTION FOR ANY AREA, INDEPENDENT OF SIZE, LOCATION OR CONDITION IF IT IS DETERMINED THAT AN IMMINENT FIRE HAZARD EXISTS.

BRUSH MANAGEMENT FOR EXISTING STRUCTURES SHALL BE PERFORMED BY THE OWNER OF THE PROPERTY THAT CONTAINS THE NATIVE AND NATURALIZED VEGETATION. THIS REQUIREMENT IS INDEPENDENT OF WHETHER THE STRUCTURE BEING PROTECTED BY BRUSH MANAGEMENT IS OWNED BY THE PROPERTY OWNER SUBJECT TO THESE REQUIREMENTS OR IS ON NEIGHBORING PROPERTY.

MAINTENANCE

REGULAR INSPECTION AND LANDSCAPE MAINTENANCE IS NECESSARY TO MINIMIZE THE POTENTIAL DAMAGE OR LOSS OF PROPERTY FROM BRUSH FIRES AND OTHER NATURAL HAZARDS SUCH AS EROSION AND SLOPE FAILURES. BECAUSE EACH PROPERTY IS UNIQUE ESTABLISHING A PRECISE MAINTENANCE SCHEDULE IS NOT FEASIBLE. HOWEVER, FOR EFFECTIVE FIRE AND WATERSHED MANAGEMENT, PROPERTY OWNERS SHOULD EXPECT TO PROVIDE MAINTENANCE ACCORDING TO EACH BRUSH MANAGEMENT ZONE.

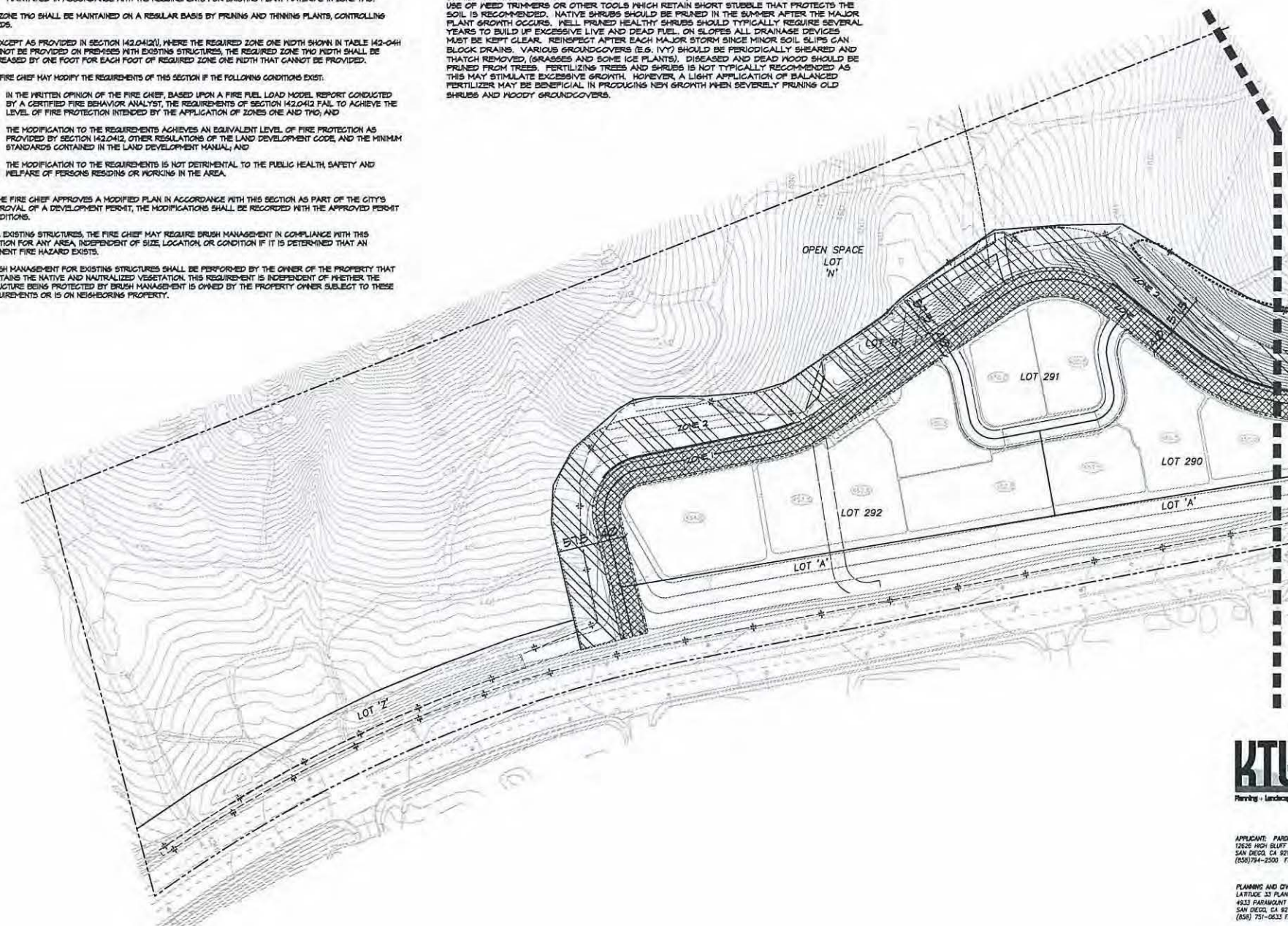
ZONE ONE AND TWO, YEAR-ROUND MAINTENANCE

BRUSH MANAGEMENT ZONE ONE

THIS IS THE MOST CRITICAL AREA FOR FIRE AND WATERSHED SAFETY. ALL ORNAMENTAL PLANTINGS SHOULD BE KEPT WELL WATERED AND ALL IRRIGATION WATER SHOULD DRAIN TOWARD THE STREET. RAIN BUTTERS AND DRAINAGE PIPES SHOULD BE CLEANED REGULARLY AND ALL LEAVES REMOVED FROM THE ROOF BEFORE THE FIRE SEASON BEGINS. ALL PLANTINGS, PARTICULARLY NON-IRRIGATED NATIVES AND LARGE TREES SHOULD BE REGULARLY PRUNED TO ELIMINATE DEAD FUELS, TO REDUCE EXCESSIVE FUEL AND TO PROVIDE ADEQUATE SPACE BETWEEN PLANTS AND STRUCTURES.

BRUSH MANAGEMENT ZONE TWO

THIS ZONE SHOULD INCLUDE REMOVAL OF DEAD WOODY PLANTS, ERADICATION OF WEEDY SPECIES AND PERIODIC PRUNING AND THINNING OF TREES AND SHRUBS. REMOVAL OF WEEDS SHOULD NOT BE DONE WITH HAND TOOLS SUCH AS HOES, AS THIS REMOVES VALUABLE SOIL. THE USE OF REED TRIMMERS OR OTHER TOOLS WHICH RETAIN SHORT STUBBLE THAT PROTECTS THE SOIL IS RECOMMENDED. NATIVE SHRUBS SHOULD BE PRUNED IN THE SUMMER AFTER THE MAJOR PLANT GROWTH OCCURS. WELL PRUNED HEALTHY SHRUBS SHOULD TYPICALLY REQUIRE SEVERAL YEARS TO BUILD UP EXCESSIVE LIVE AND DEAD FUEL. ON SLOPES ALL DRAINAGE DEVICES MUST BE KEPT CLEAR. REINSPECT AFTER EACH MAJOR STORM SINCE MINOR SOIL SLIPS CAN BLOCK DRAINS. VARIOUS GROUNDCOVERS (E.G. IVY) SHOULD BE PERIODICALLY SHEARED AND THATCH REMOVED. (GRASSES AND SOME ICE PLANTS). DISEASED AND DEAD WOOD SHOULD BE PRUNED FROM TREES. FERTILIZING TREES AND SHRUBS IS NOT TYPICALLY RECOMMENDED AS THIS MAY STIMULATE EXCESSIVE GROWTH. HOWEVER, A LIGHT APPLICATION OF BALANCED FERTILIZER MAY BE BENEFICIAL IN PRODUCING NEW GROWTH WHEN SEVERELY PRUNING OLD SHRUBS AND WOODY GROUNDCOVERS.



MATCHLINE - SEE SHEET 23

KTUA 6-30-2011
 Planning - Landscape Architecture
 3916 Normal Street
 San Diego, CA 92103
 619.594.4477
 fax: 619.594.9965



CASTLEROCK

APPLICANT: PARDE HOMES
 12626 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92131
 (650)794-2500 FAX (650)794-2599

BLUDDOCCO SHARP BUSTER ARCHITECTS AND PLANNERS
 555 ANTON BLVD. SUITE 900
 COSTA MESA, CA 92626
 (714) 435-3000 FAX (714) 435-0860

PLANNING AND CIVIL ENGINEER:
 LATTICE 33 PLANNING & ENGINEERING
 4633 PARHAMOUNT DRIVE 2ND FLR.
 SAN DIEGO, CA 92121
 (650) 751-0633 FAX (650) 751-0634

LANDSCAPE ARCHITECT: KTUA
 3916 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-9965

Prepared By:	KTUA	Revision 14:	
Name:	Landscape Architecture + Planning	Revision 13:	
Address:	3916 Normal Street	Revision 12:	
	SAN DIEGO, CA 92103-2612	Revision 11:	June 30, 2011
Phone #:	(619) 294-4477	Revision 10:	September 18, 2010
Fax #:	(619) 294-9965	Revision 9:	November 23, 2010
Project Address:	MAST BOULEVARD WEST OF PETER'S BEACH DRIVE	Revision 8:	July 2, 2007
		Revision 7:	March 2, 2007
		Revision 6:	November 17, 2006
		Revision 5:	October 2, 2006
		Revision 4:	April 3, 2006
		Revision 3:	August 15, 2004
		Revision 2:	December 18, 2003
		Revision 1:	FIRST SUBMITTAL 7-11-03

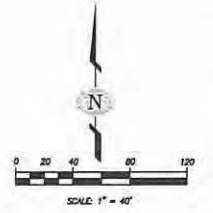
Project Name:
CASTLEROCK
TENTATIVE MAP

Original Date: JUNE 8, 2003

Sheet Title:
BRUSH MANAGEMENT PLAN
SHEET 2 of 4
SANTEE OPTION A

Sheet: 24 of 62

DEP# 10046



MATCHLINE - SEE SHEET 26



MATCHLINE - SEE SHEET 23

REFER TO SHEETS 23 AND 24 FOR BRUSH MANAGEMENT NOTES

KTUA 6-30-2011
 Planning - Landscape Architecture
 3914 Normal Street
 San Diego, CA 92102
 619.894.4477
 fax: 619.524.9965



CASTLEROCK

APPLICANT: PARDE HOMES
 1206 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (658)794-2500 FAX (658)794-2599

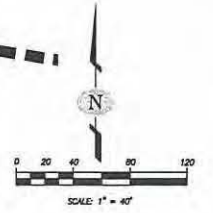
BLOODGOOD SHARP BLISTER ARCHITECTS AND PLANNERS
 555 ANTON BLVD., SUITE 900
 COSTA MESA, CA 92626
 (714) 435-3500 FAX (714) 438-0880

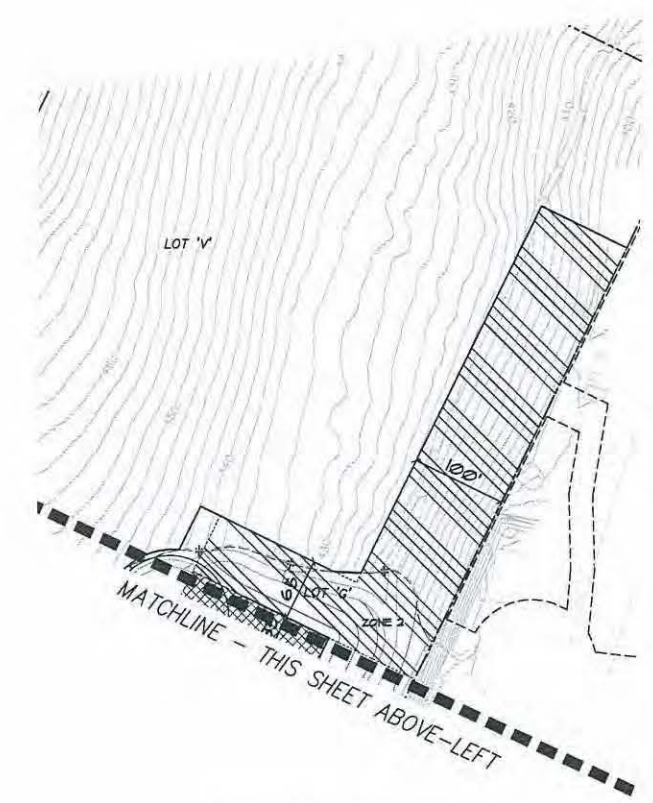
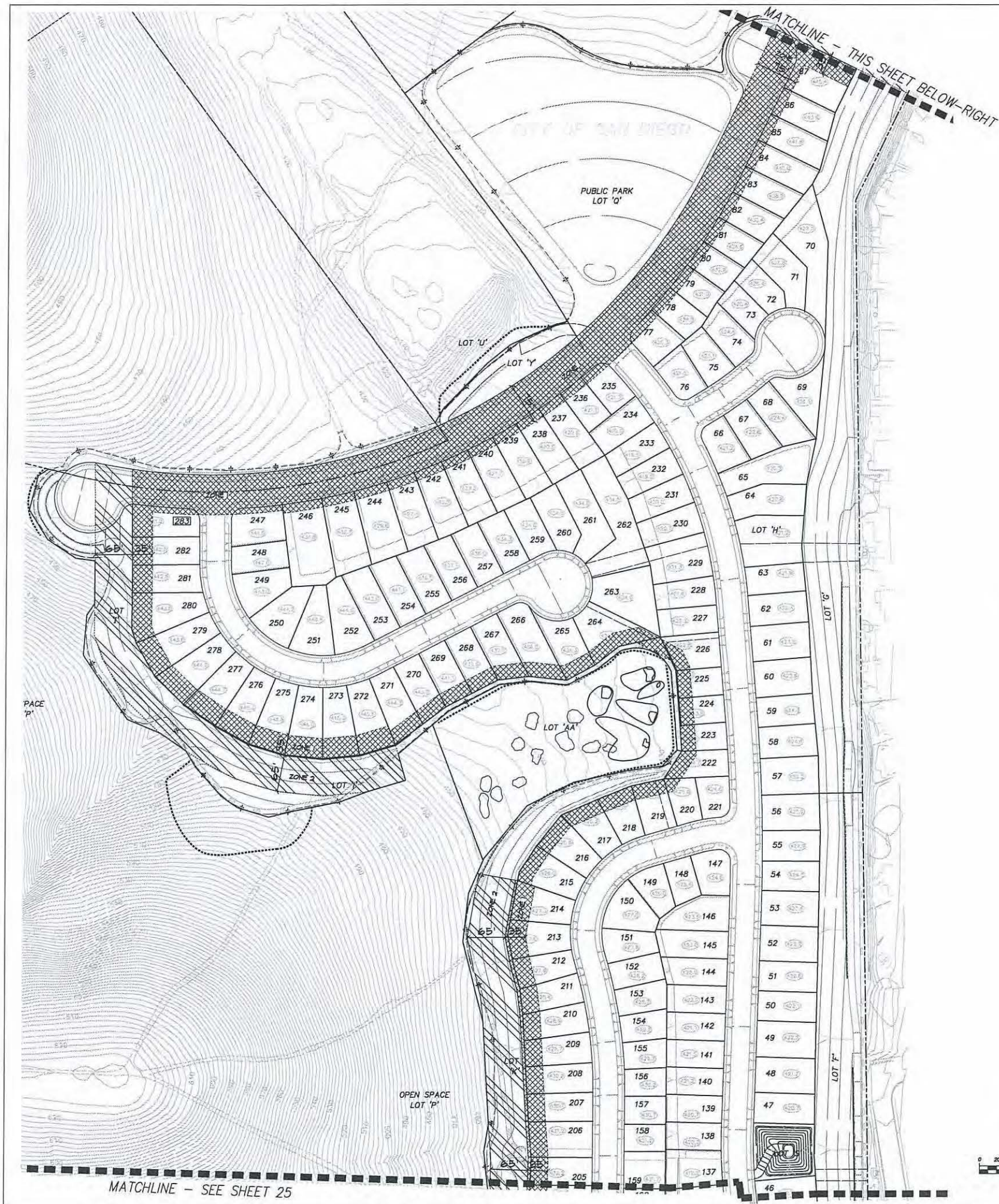
PLANNING AND CIVIL ENGINEER: LATTICE 33 PLANNING & ENGINEERING
 4633 PARAMOUNT DRIVE 2ND FLR.
 SAN DIEGO, CA 92123
 (658) 751-0633 FAX (658) 751-0634

LANDSCAPE ARCHITECT: KTHA
 3918 NORMAL STREET
 SAN DIEGO, CA 92102
 (619) 294-4477 FAX (619) 294-2965

Prepared By: <u>KTUA</u>	Revision 14: _____
Name: <u>Landscape Architecture + Planning</u>	Revision 13: _____
Address: <u>3914 Normal Street</u>	Revision 12: _____
<u>SAN DIEGO, CA 92102-5412</u>	Revision 11: <u>June 30, 2011</u>
Phone #: <u>(619) 294-4477</u>	Revision 10: <u>December 16, 2010</u>
Fax #: <u>(619) 294-1985</u>	Revision 9: <u>November 23, 2010</u>
Project Address: <u>MIST BOWL/YARD WEST OF PINEBEACH DRIVE</u>	Revision 8: <u>July 2, 2007</u>
	Revision 7: <u>March 4, 2007</u>
	Revision 6: <u>November 17, 2006</u>
	Revision 5: <u>October 2, 2006</u>
	Revision 4: <u>April 3, 2006</u>
	Revision 3: <u>September 13, 2004</u>
	Revision 2: <u>December 18, 2003</u>
	Revision 1: <u>FIRST SUBMITTAL 7-11-03</u>

Project Name: CASTLEROCK
TENTATIVE MAP
 Original Date: JUNE 8, 2003
 Sheet Title: BRUSH MANAGEMENT PLAN
SHEET 3 of 4
SANTEE OPTION A
 Original Date: JUNE 8, 2003
 Sheet Title: BRUSH MANAGEMENT PLAN
SHEET 3 of 4
SANTEE OPTION A
 Original Date: JUNE 8, 2003
 Sheet Title: BRUSH MANAGEMENT PLAN
SHEET 3 of 4
SANTEE OPTION A





REFER TO SHEETS 23 AND 24 FOR BRUSH MANAGEMENT NOTES

KTUA 6-30-2011
 Planning - Landscape Architecture
 3916 Normal Street
 San Diego, CA 92116
 (619) 294-4477
 Fax: (619) 294-9965



CASTLEROCK

APPLICANT: PARKER HOMES
 12626 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (650)794-2500 FAX (650)794-2599

PLANNING AND CIVIL ENGINEER:
 LATTICE 33 PLANNING & ENGINEERING
 4532 PARAMOUNT DRIVE 2ND FLR.
 SAN DIEGO, CA 92123
 (654) 751-0633 FAX (654) 751-0634

LANDSCAPE ARCHITECT: KTUA
 3916 NORMAL STREET
 SAN DIEGO, CA 92116
 (619) 294-4477 FAX (619) 294-9965

Prepared By:	KTUA	Revision 14:	
Name:	Landscape Architecture & Planning	Revision 13:	
Address:	3916 Normal Street	Revision 12:	
Phone #:	(619) 294-4477	Revision 11:	June 30, 2011
Fax #:	(619) 294-9965	Revision 10:	September 18, 2011
Project Address:	MIST BOLLIVARD WEST OF PLYMOUTH BEACH DRIVE	Revision 9:	November 22, 2010
		Revision 8:	May 2, 2007
		Revision 7:	March 8, 2007
		Revision 6:	November 17, 2006
		Revision 5:	October 2, 2006
		Revision 4:	August 3, 2006
		Revision 3:	August 11, 2004
		Revision 2:	December 18, 2003
		Revision 1:	FIRST SUBMITTAL 7-11-03

Project Name:
CASTLEROCK
TENTATIVE MAP

Sheet Title:
BRUSH MANAGEMENT PLAN
SHEET 4 of 4
SANTEE OPTION A

Original Date: JUNE 9, 2011
 Sheet: 26 of 62
 DEP# 10046
 MAP NUMBER 945-1822



MATCHLINE - SEE SHEET 25

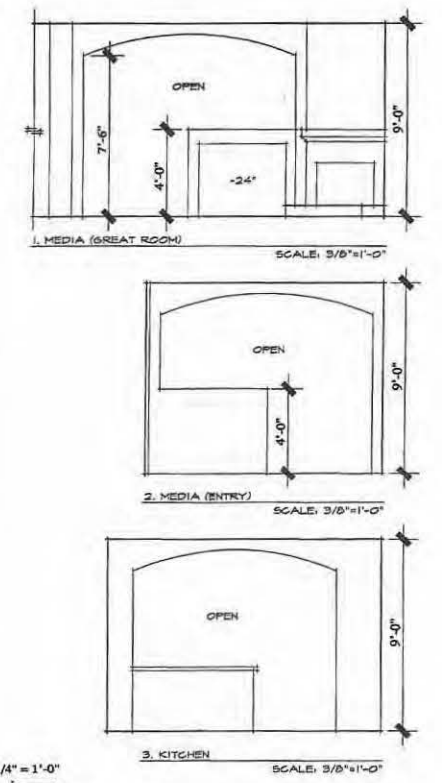
MATCHLINE - THIS SHEET BELOW-RIGHT

MATCHLINE - THIS SHEET ABOVE-LEFT



OPT. M. BED FORWARD

PLAN 1 • 1,788 SQ. FT.
GARAGE 360 SQ.FT.



1/4" = 1'-0"

CASTLEROCK

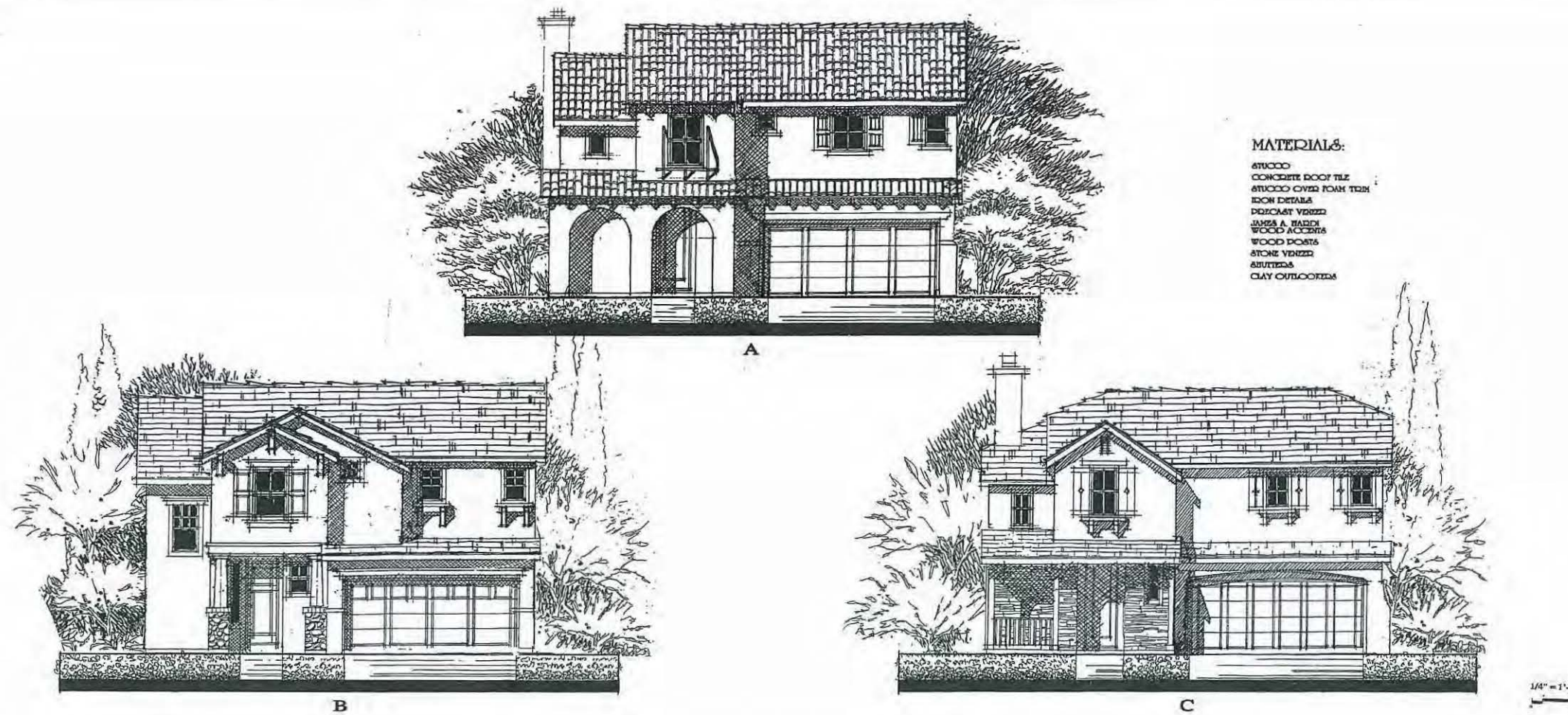
APPLICANT: PARKER JONES
12526 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(619) 784-2500 FAX (619) 784-2509

ARCHITECTS:
BASSONOV LAGOMI
2031 ORCHARD DRIVE, SUITE 100
NEWPORT BEACH, CA 92660-0753
(949) 553-9100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEERS:
LAFRESSE IS PLANNING & ENGINEERING
4933 PARAMOUNT DRIVE 2ND FLOOR
SAN DIEGO, CA 92130
(619) 791-0633 FAX (619) 791-0634

LANDSCAPE ARCHITECTS: KRISHA
3916 NORVAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-3983

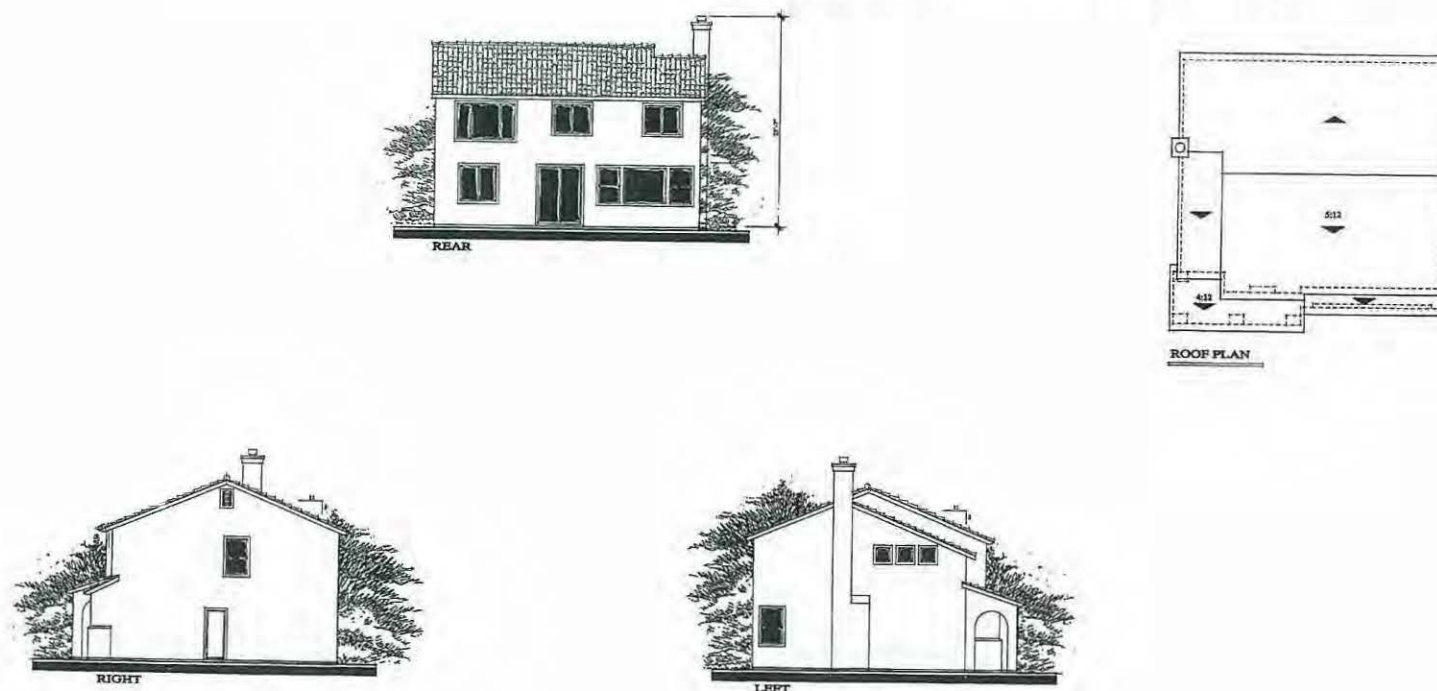
Prepared By: Name: <u>BASSONOV LAGOMI</u>	Revision 14: _____
Address: <u>2031 ORCHARD DRIVE SUITE 100</u>	Revision 13: _____
Phone #: <u>(949) 553-9100</u>	Revision 12: _____
Fax #: <u>(949) 553-0548</u>	Revision 11: _____
Project Address: <u>MIST BOULEVARD WEST OF MEDIA DRIVE</u>	Revision 10: _____
Project Name: <u>CASTLEROCK</u>	Revision 9: _____
<u>REZONE, SITE DEVELOPMENT PERMIT,</u>	Revision 8: _____
<u>VESTING TENTATIVE MAP AND</u>	Revision 7: _____
<u>PLANNED DEVELOPMENT PERMIT</u>	Revision 6: _____
Sheet Title: <u>47x72 PLAN 1 FLOOR PLANS</u>	Revision 5: _____
	Revision 4: <u>APRIL 3, 2006</u>
	Revision 3: <u>AUGUST 13, 2004</u>
	Revision 2: <u>DECEMBER 18, 2003</u>
	Revision 1: <u>1ST SUBMITTAL</u>
	Original Date: <u>JUNE 8, 2003</u>
	Sheet <u>27</u> of <u>53</u>
	DEP# <u>10046</u>
	JOB ORDER # <u>42-1653</u>



MATERIALS:

- STUCCO
- CONCRETE ROOF TILE
- STUCCO COVERED FOAM TERR
- IRON DETAILS
- DIECAST VENEER
- JANSA A. HARDI
- WOOD ACCENTS
- WOOD DOORS
- STONE VENEER
- SHUTTERS
- CLAY OUTLOOKERS

PLAN 1 ELEVATIONS



CASTLEROCK

APPLICANT: FANSEE HOMES
1026 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92108
(619) 794-2200 FAX (619) 794-2299

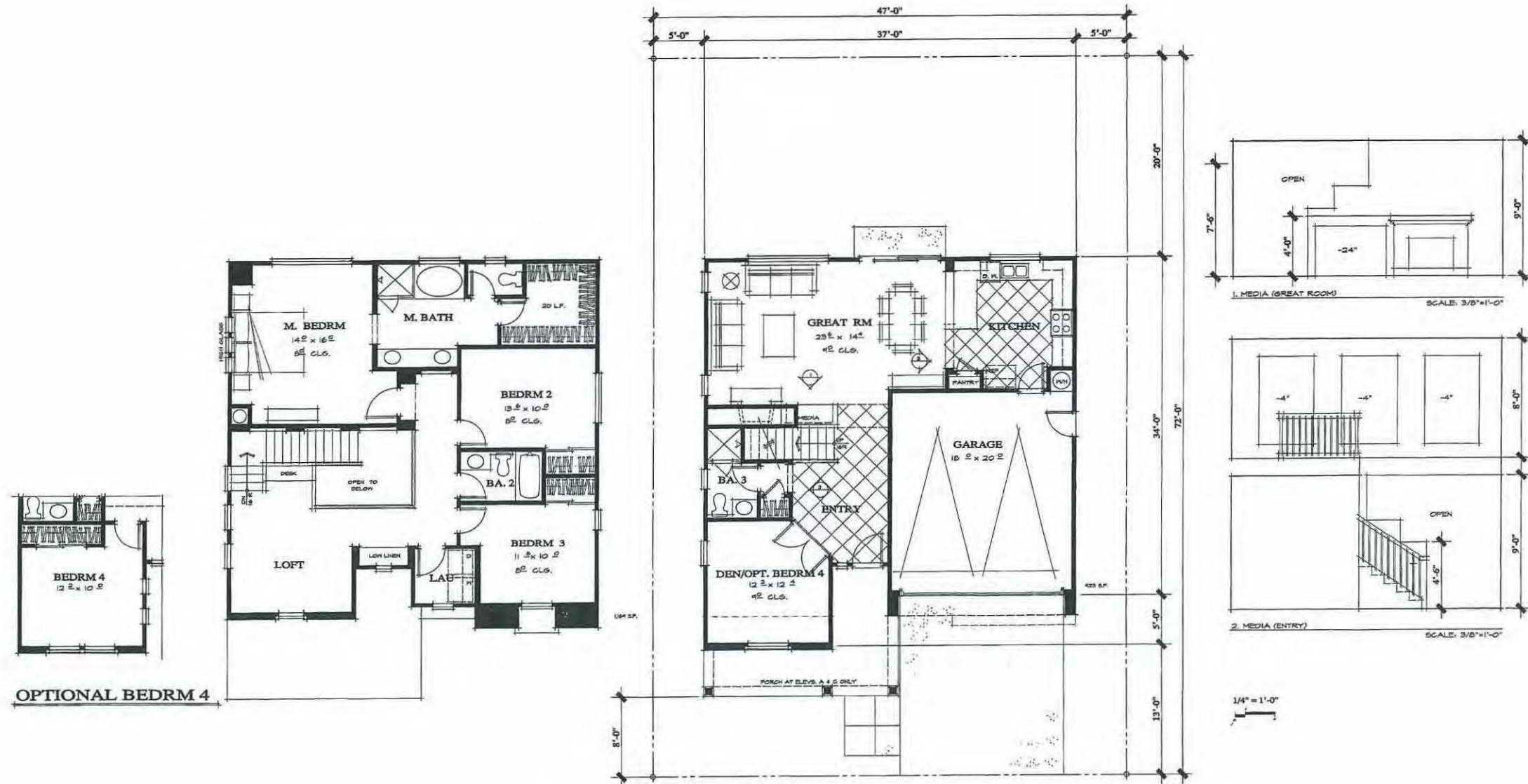
ARCHITECTS:
DANSSON LACON
2031 ORCHARD DR., SUITE 100
NEWPORT BEACH, CA 92660-6752
(949) 553-9100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEER:
LANTIDE JJ PLANNING & ENGINEERING
4833 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92123
(619) 751-0633 FAX (619) 751-0634

LANDSCAPE ARCHITECT: KTRM
3916 NORVAL STREET
SAN DIEGO, CA 92116
(619) 294-4477 FAX (619) 254-5915

Prepared By: DANSSON LACON	Revision 14: _____
Address: 2031 ORCHARD DRIVE SUITE 100 NEWPORT BEACH, CA 92660-6752	Revision 13: _____
Phone #: (949) 553-9100	Revision 12: _____
Fax #: (949) 553-0548	Revision 11: _____
Project Address: EAST BOULEVARD WEST OF MEDIA DRIVE	Revision 10: _____
Project Name: CASTLEROCK	Revision 9: _____
REZONE, SITE DEVELOPMENT PERMIT, YESITING TENTATIVE MAP AND PLANNED DEVELOPMENT PERMIT	Revision 8: _____
Sheet Title: 47x72 PLAN 1 ELEVATIONS AND ROOF PLAN	Revision 7: _____
	Revision 6: _____
	Revision 5: _____
	Revision 4: APRIL 3, 2006
	Revision 3: AUGUST 12, 2004
	Revision 2: DECEMBER 12, 2003
	Revision 1: JULY 11, 2003
Original Date: JUNE 8, 2003	
Sheet 28 of 53	
DEP# 10046	
JOB ORDER # 42-1653	

1/8" = 1'-0"



PLAN 2 • 2,092 SQ. FT.
GARAGE 360 SQ.FT.

CASTLEROCK

APPLICANT: PAVELI HOMES
1520 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(619) 751-2500 FAX (619) 751-2598

PLANNING AND CIVIL ENGINEER:
LATHROP 33 PLANNING & ENGINEERING
433 PARAMOUNT DRIVE 2ND FL.
SAN DIEGO, CA 92103
(619) 751-0633 FAX (619) 751-0634

Prepared By: BASSIMON LAGOH
Name: _____
Address: 2031 OROVARD DRIVE, SUITE 100
NEWPORT BEACH, CA 92660-0753
Phone #: (949) 553-2100
Fax #: (949) 553-0540

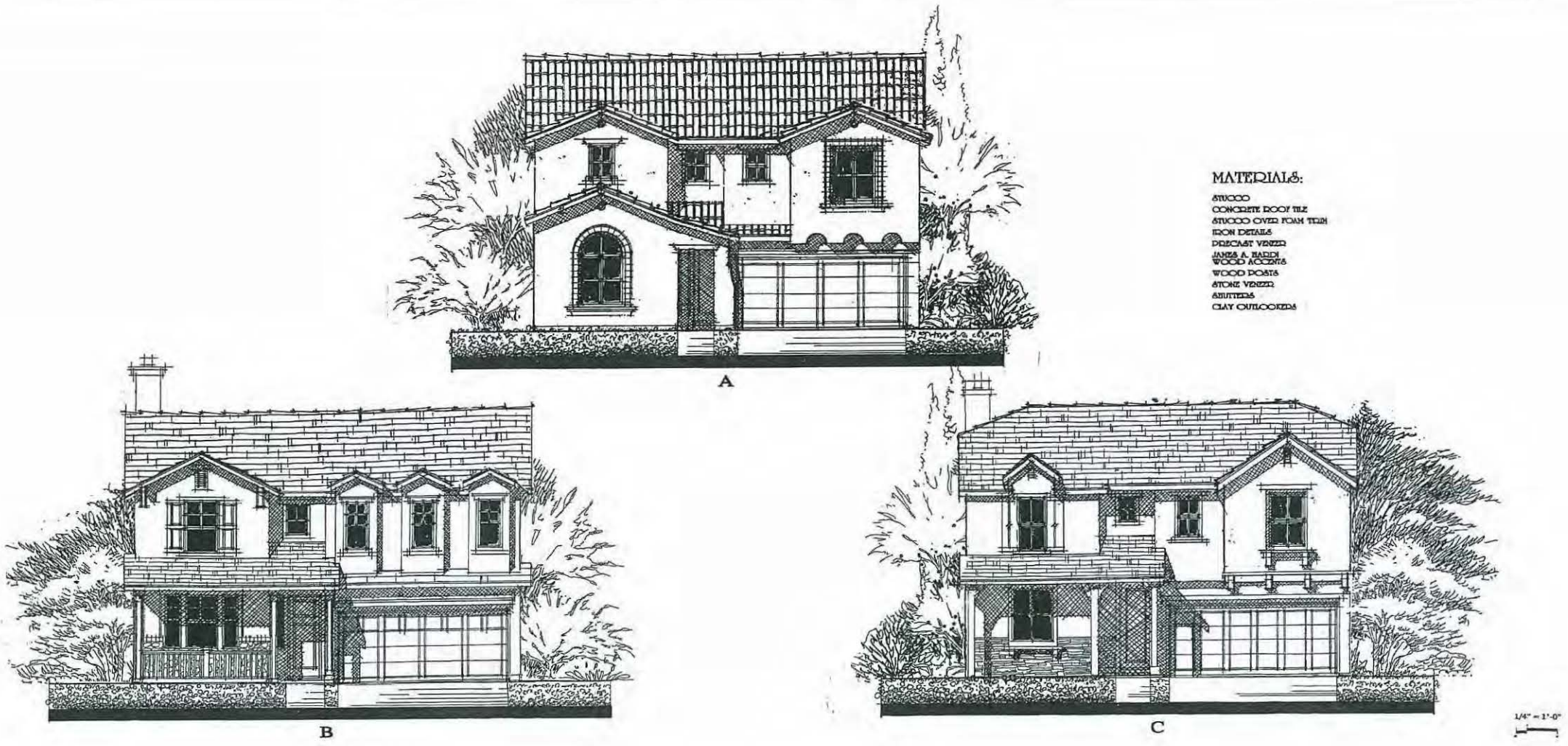
Project Address: MIST BOULEVARD WEST OF MEDANA DRIVE
Project Name: CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title: 47x72 PLAN 2 FLOOR PLANS

ARCHITECT: BASSIMON LAGOH
2031 OROVARD DR., SUITE 100
NEWPORT BEACH, CA 92660-0753
(949) 553-2100 FAX (949) 553-0540

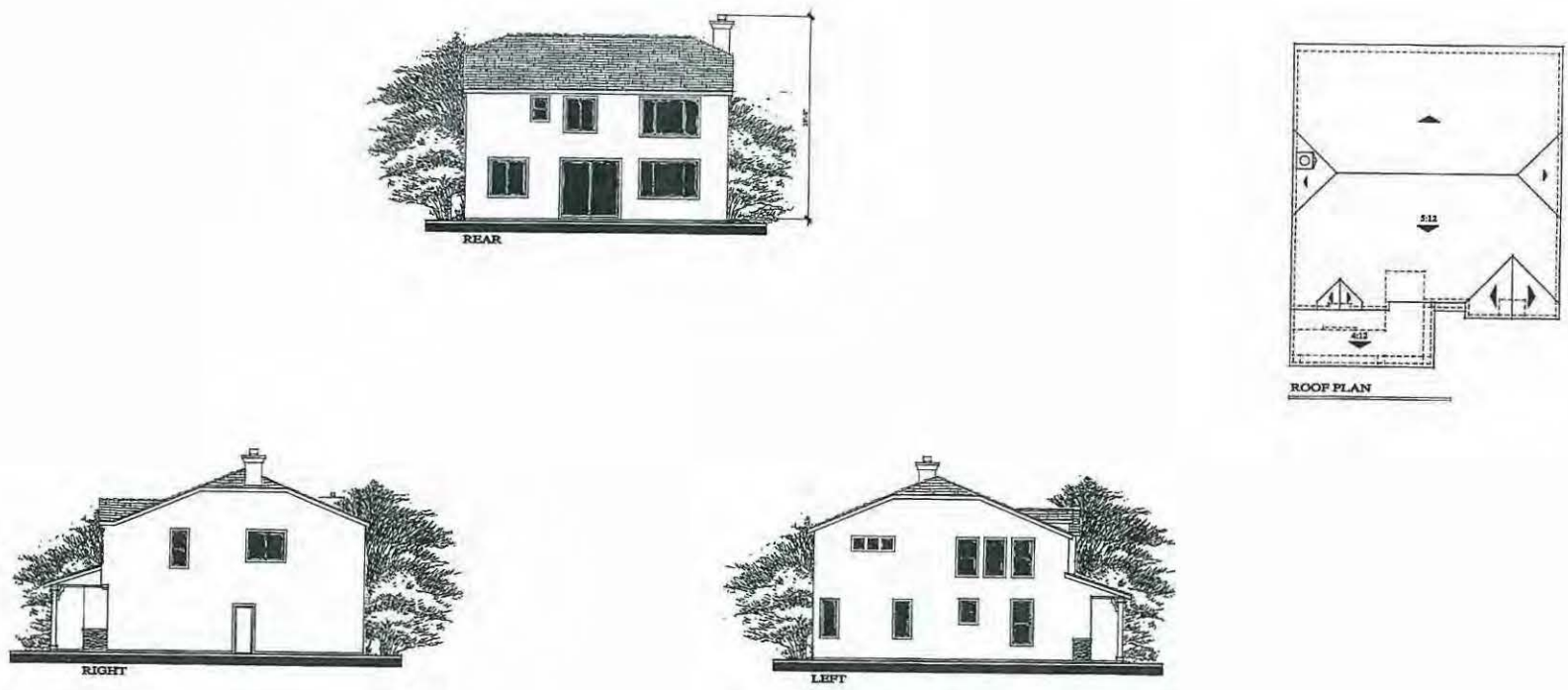
LANDSCAPE ARCHITECT: KRIM
3311 NORMAN STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-8865

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	<u>APRIL 8, 2006</u>
Revision 3:	<u>AUGUST 13, 2004</u>
Revision 2:	<u>DECEMBER 18, 2003</u>
Revision 1:	<u>1ST SUBMITTAL</u>
Original Date:	<u>JULY 11, 2003</u>
Original Date:	<u>APRIL 8, 2003</u>
Sheet	<u>29</u> of <u>53</u>
DEP #	<u>10046</u>
JOB ORDER #	<u>42-1653</u>



MATERIALS:
 STUCCO
 CONCRETE ROOF TILE
 STUCCO OVER FOAM TIE
 IRON DETAILS
 PRECAST VERGE
 JAMES A. HARDY
 WOOD ACCENTS
 WOOD DOORS
 STONE VERGE
 BRICKS
 CLAY OUTLOOKERS

PLAN 2 ELEVATIONS



CASTLEROCK

APPLICANT: PIMDOR HOMES
 1026 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92108
 (602)794-2500 FAX (602)794-2598

ARCHITECT: BRASSENOR LASON
 2025 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660-0753
 (949) 553-8100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEER:
 LATTICE 33 PLANNING & ENGINEERING
 4823 PARAMOUNT DRIVE 2ND FLR.
 SAN DIEGO, CA 92123
 (602) 751-0533 FAX (602) 751-0534

LANDSCAPE ARCHITECT: KTIMA
 3916 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-9365

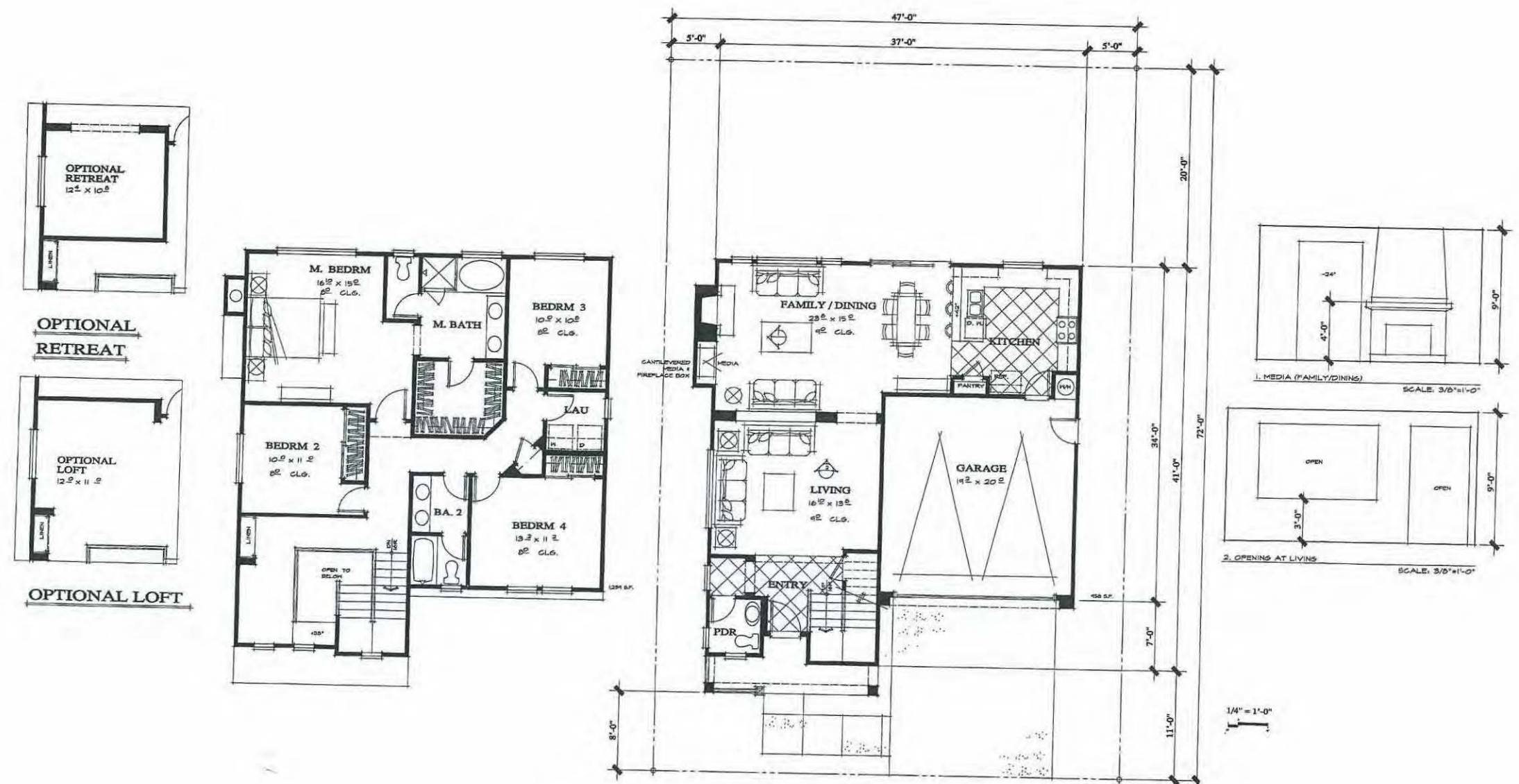
Prepared By: BRASSENOR LASON
 Name: BRASSENOR LASON
 Address: 2025 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660-0753
 Phone #: (949) 553-8100
 Fax #: (949) 553-0548
 Project Address: EAST BOULEVARD WEST OF URSINA DRIVE

Project Name: CASTLEROCK
 REZONE, SITE DEVELOPMENT PERMIT,
 VESTING TENTATIVE MAP AND
 PLANNED DEVELOPMENT PERMIT

Sheet Title: 47x72 PLAN 2 ELEVATIONS
 AND ROOF PLAN

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: APRIL 3, 2006
 Revision 3: AUGUST 13, 2004
 Revision 2: DECEMBER 18, 2003
 Revision 1: 1ST SUBMITTAL
 JULY 11, 2003

Original Date: JUNE 8, 2003
 Sheet 30 of 53
 DEP# 10046
 JOB ORDER # 42-1653



PLAN 3 • 2,229 SQ. FT.
 GARAGE 360 SQ.FT.

CASTLEROCK

APPLICANT: PARKER HOMES
 12626 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (619) 794-2200 FAX (619) 794-2298

ARCHITECTS:
 BASSOCCION LASON
 2037 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660-0753
 (949) 553-9100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEER:
 LATTITUDE 33 PLANNING & ENGINEERING
 4633 PARADISE DRIVE, 2ND FLR.
 SAN DIEGO, CA 92123
 (619) 751-0633 FAX (619) 751-0634

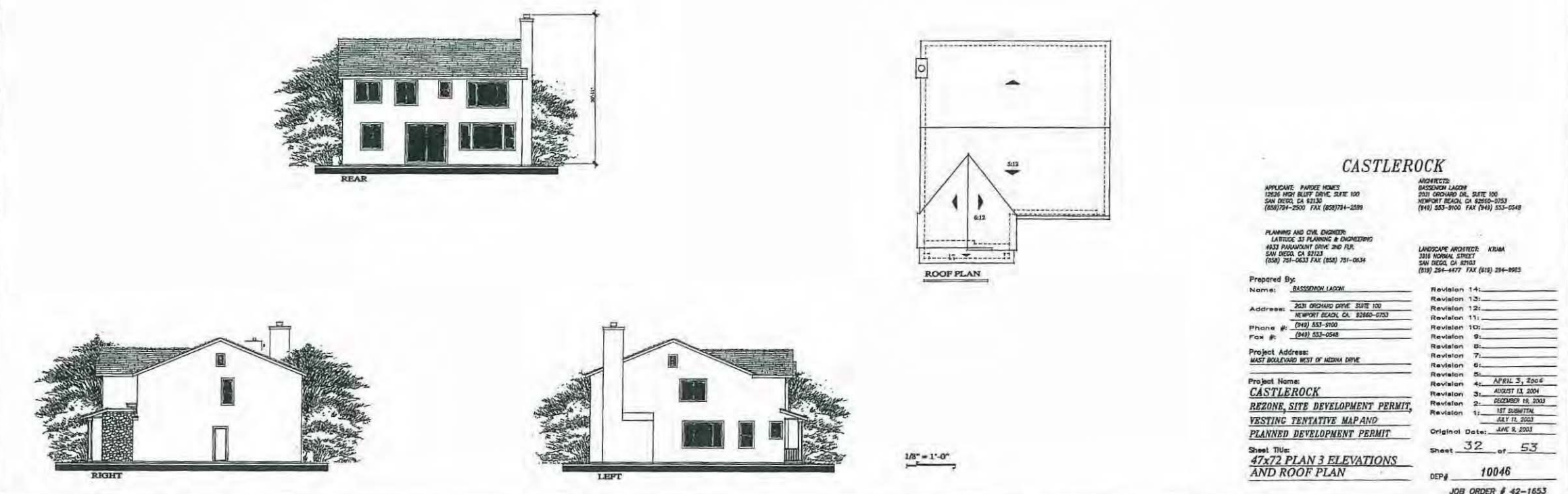
LANDSCAPE ARCHITECTS: KTRUM
 3215 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-5865

Prepared By:	BASSOCCION LASON	Revision 14:	
Name:	BASSOCCION LASON	Revision 13:	
Address:	2037 ORCHARD DRIVE, SUITE 100 NEWPORT BEACH, CA 92660-0753	Revision 12:	
Phone #:	(949) 553-9100	Revision 11:	
Fax #:	(949) 553-0548	Revision 10:	
Project Address:	EAST BOXLEIGH WEST OF MEDINA DRIVE	Revision 9:	
Project Name:	CASTLEROCK	Revision 8:	
REZONE, SITE DEVELOPMENT PERMIT		Revision 7:	
VESTING TENTATIVE MAP AND		Revision 6:	
PLANNED DEVELOPMENT PERMIT		Revision 5:	APRIL 3, 2005
		Revision 4:	AUGUST 11, 2004
		Revision 3:	DECEMBER 16, 2003
		Revision 2:	1ST SUBMITTAL
		Revision 1:	JULY 11, 2003

Original Date: JUNE 8, 2003
 Sheet 31 of 53
 DEP# 10046
 JOB ORDER # 42-1653



PLAN 3 ELEVATIONS



CASTLEROCK

APPLICANT: PARKER HOMES
 12626 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (619) 794-2500 FAX (619) 794-2599

ARCHITECT: BASSIGNON LADD
 2011 ORCHARD DR., SUITE 100
 NEWPORT BEACH, CA 92660-0733
 (949) 553-9100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4532 PARADISE DRIVE, 2ND FLOOR
 SAN DIEGO, CA 92123
 (619) 751-0633 FAX (619) 751-0634

LANDSCAPE ARCHITECT: KRUM
 3918 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4677 FAX (619) 294-8982

Prepared By: BASSIGNON LADD

Name: BASSIGNON LADD
 Address: 2011 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660-0733
 Phone #: (949) 553-9100
 Fax #: (949) 553-0548

Project Address:
 EAST BOULEVARD WEST OF HEENA DRIVE

Project Name:
CASTLEROCK
 REZONE, SITE DEVELOPMENT PERMIT,
 VESTING TENTATIVE MAP AND
 PLANNED DEVELOPMENT PERMIT

Sheet Title:
**47x72 PLAN 3 ELEVATIONS
 AND ROOF PLAN**

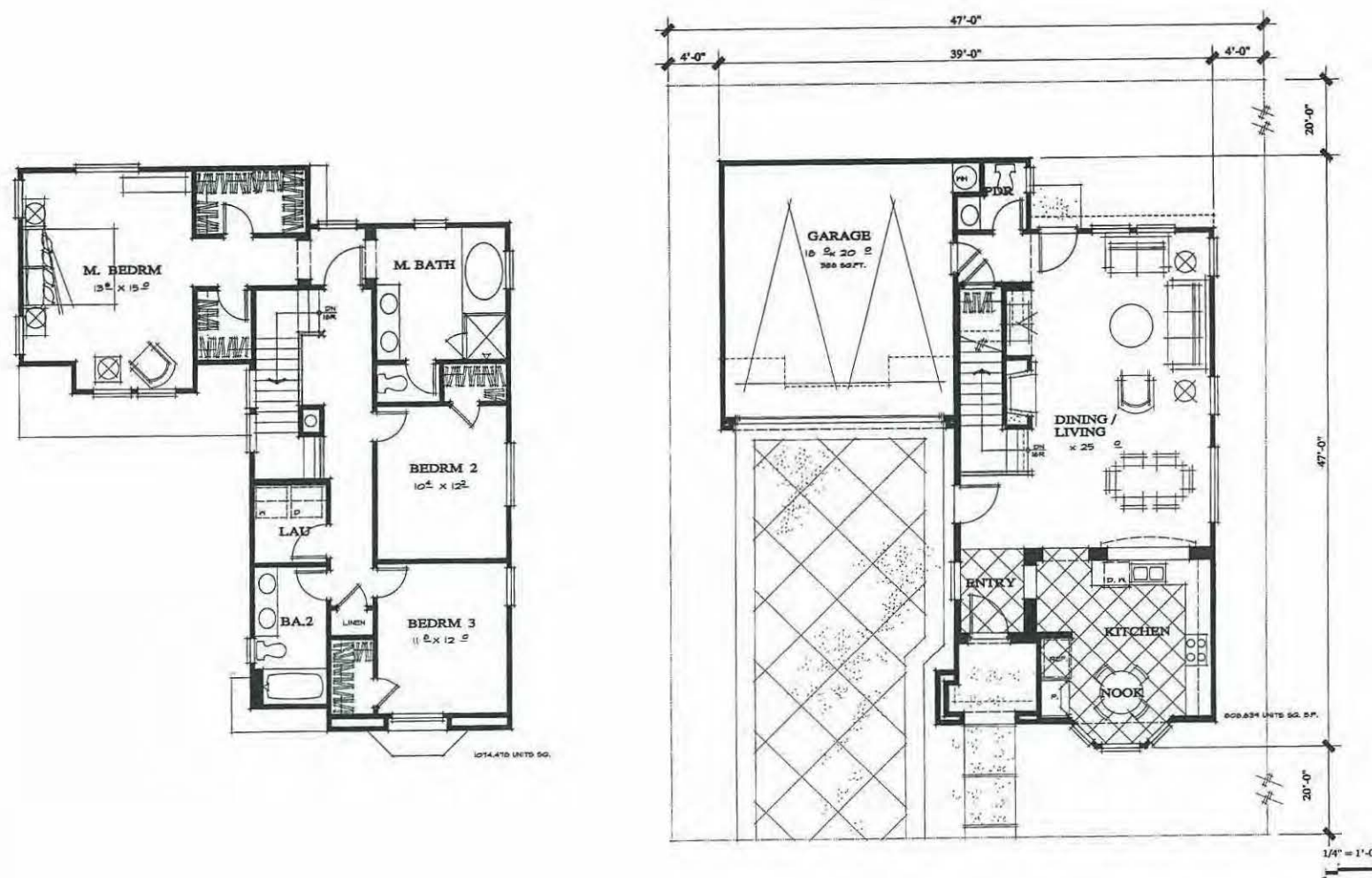
Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: APRIL 3, 2006
 Revision 3: AUGUST 13, 2004
 Revision 2: DECEMBER 18, 2003
 Revision 1: 1ST SUBMITTAL
 JULY 15, 2003

Original Date: JUNE 8, 2003

Sheet 32 of 53

DEP# 10046

JOB ORDER # 42-1653



PLAN 1 • 1,883 SQ. FT.
GARAGE 388 SQ.FT.

CASTLEROCK

APPLICANT: PARDEE HOMES
 12626 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (619)794-2500 FAX (619)794-3289

ARCHITECT:
 BASSONON LAGOM
 2037 ORCHARD DR., SUITE 100
 NEWPORT BEACH, CA 92660-2053
 (949) 553-8100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4833 PARAMOUNT DRIVE, 2ND FL.
 SAN DIEGO, CA 92123
 (619) 751-0633 FAX (619) 751-0634

LANDSCAPE ARCHITECT: ATABA
 2016 NORMAL STREET
 SAN DIEGO, CA 92104
 (619) 294-4677 FAX (619) 294-9965

Prepared By: LATITUDE 33 PLANNING & ENGINEERING

Address: 4833 PARAMOUNT DRIVE 2ND FL. SAN DIEGO, CA 92123

Phone #: (619) 751-0633

Fax #: (619) 751-0634

Project Address: WEST BOLLEAS WEST OF MEDINA DRIVE

Project Name: CASTLEROCK

REZONE, SITE DEVELOPMENT PERMIT, VESTING TENTATIVE MAP AND PLANNED DEVELOPMENT PERMIT

Sheet Title: 47' X 85' PLAN 1 FLOOR PLANS

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	APRIL 3, 2004
Revision 3:	AUGUST 13, 2004
Revision 2:	DECEMBER 18, 2003
Revision 1:	1ST SUBMITTAL
Original Date:	JULY 15, 2003

Original Date: JUNE 9, 2003

Sheet: _____ of _____

DEF# 10046

JOB ORDER # 42-1653

APPLICANT: PARDEE HOMES DATE _____

Latitude 33
 Planning and Engineering
 4833 Paramount Dr., 2nd Fl.
 San Diego, Ca. 92123
 Tel: 619-751-0633 Fax: 619-751-0634

MARK J. POWSON
 RCE 30836 EXPIRES 3-31-2006 DATE _____

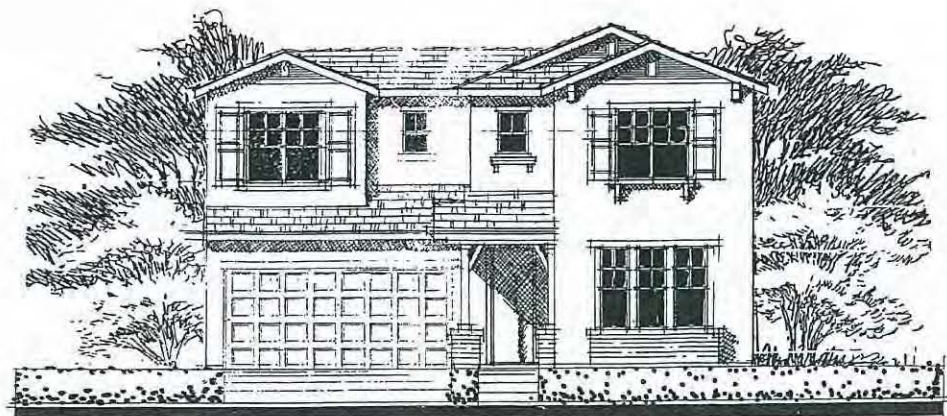




A

MATERIALS:

- STUCCO
- CONCRETE ROOF TILE
- STUCCO COVERED FOAM TRIM
- IRON DETAILS
- DOORWAY VEZEL
- JANES A. BARDI
- WOOD ACCENTS
- WOOD DOORS
- STONE VEZEL
- SHUTTERS
- CLAY OUTLOOKERS



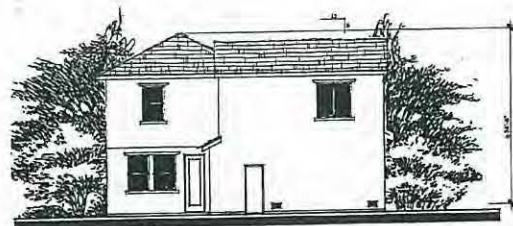
B



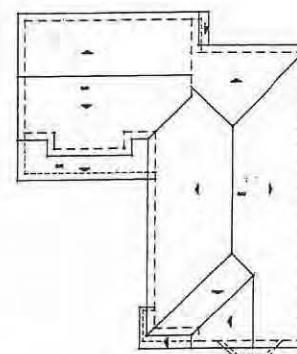
C

1/4" = 1'-0"

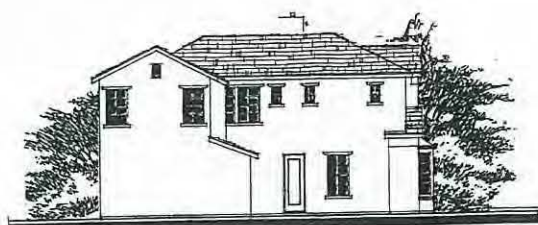
PLAN I ELEVATIONS



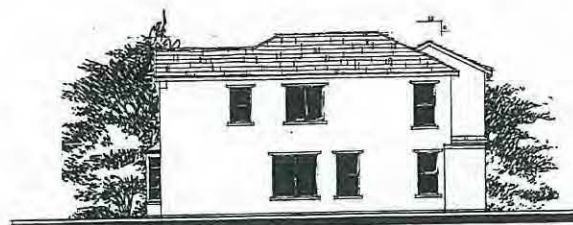
REAR



ROOF PLAN



LEFT



RIGHT

1/8" = 1'-0"

CASTLEROCK

APPLICANT: PATRICK HOMES
12626 HORN BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(619) 794-2500 FAX (619) 794-2500

ARCHITECT: BASSON LADON
2031 ORCHARD DRIVE, SUITE 100
NEWPORT BEACH, CA 92660-0753
(949) 553-9100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEER:
LATRAC 33 PLANNING & ENGINEERING
4937 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92123
(619) 751-0633 FAX (619) 751-0634

LANDSCAPE ARCHITECT: KRAMA
3916 NORVAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-9985

Prepared By:

Name: BASSON LADON

Address: 2031 ORCHARD DRIVE SUITE 100
NEWPORT BEACH, CA 92660-0753

Phone #: (949) 553-9100

Fax #: (949) 553-0548

Project Address:
MIST BOULEVARD WEST OF MEDINA DRIVE

Project Name:

CASTLEROCK

REZONE, SITE DEVELOPMENT PERMIT,

VESTING TENTATIVE MAP AND

PLANNED DEVELOPMENT PERMIT

Sheet Title:

47x85 PLAN I ELEVATIONS

AND ROOF PLAN

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: APRIL 3, 2004

Revision 3: AUGUST 18, 2004

Revision 2: DECEMBER 18, 2003

Revision 1: 1ST SUBMITTAL

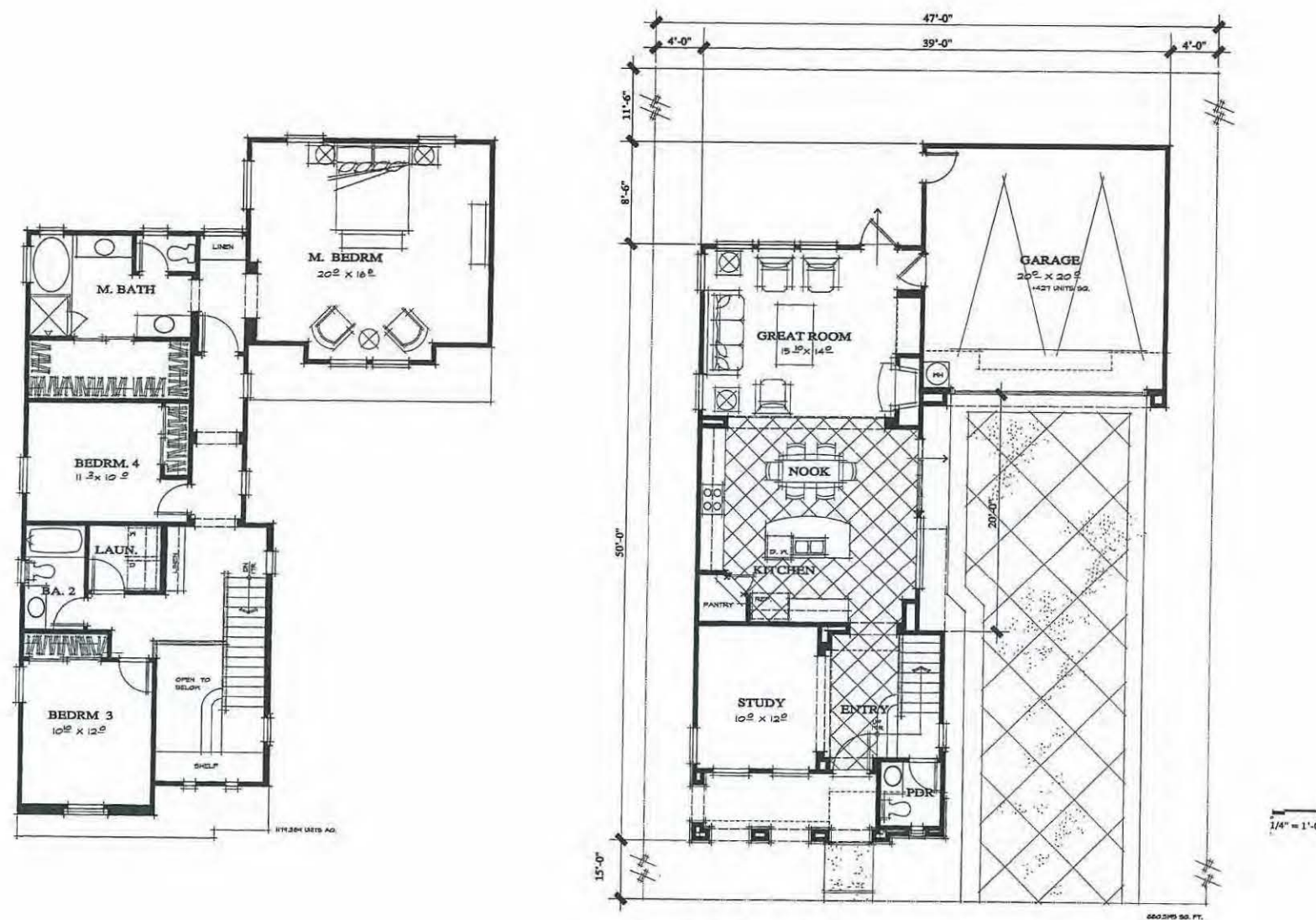
JULY 11, 2003

Original Date: JUNE 8, 2003

Sheet 34 of 53

DEP# 10046

JOB ORDER # 42-1553



PLAN 2 • 2,060 SQ. FT.
GARAGE 427 SQ.FT.

CASTLEROCK

APPLICANT: PARKER HOMES
12225 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(602)794-2200 FAX (602)794-2209

ARCHITECTS:
BASSONSON LARSON
2031 ORCHARD DR., SUITE 100
NEWPORT BEACH, CA 92660-0703
(949) 553-9100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEER:
LAWRENCE J.S. PLANNING & ENGINEERING
4533 PARAMOUNT DRIVE 2ND FL.
SAN DIEGO, CA 92130
(602) 791-9633 FAX (602) 791-0634

LANDSCAPE ARCHITECT: KTRBA
3916 NORVAL STREET
SAN DIEGO, CA 92105
(619) 294-4477 FAX (619) 294-5965

Prepared By: BASSONSON LARSON

Name: BASSONSON LARSON

Address: 2031 ORCHARD DRIVE SUITE 100
NEWPORT BEACH, CA 92660-0703

Phone #: (949) 553-9100

Fax #: (949) 553-0548

Project Address: MIST BOULEVARD WEST OF MEDINA DRIVE

Project Name: CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title: 47x85 PLAN 2 FLOOR PLANS

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: APRIL 3, 2006

Revision 3: AUGUST 13, 2004

Revision 2: DECEMBER 18, 2003

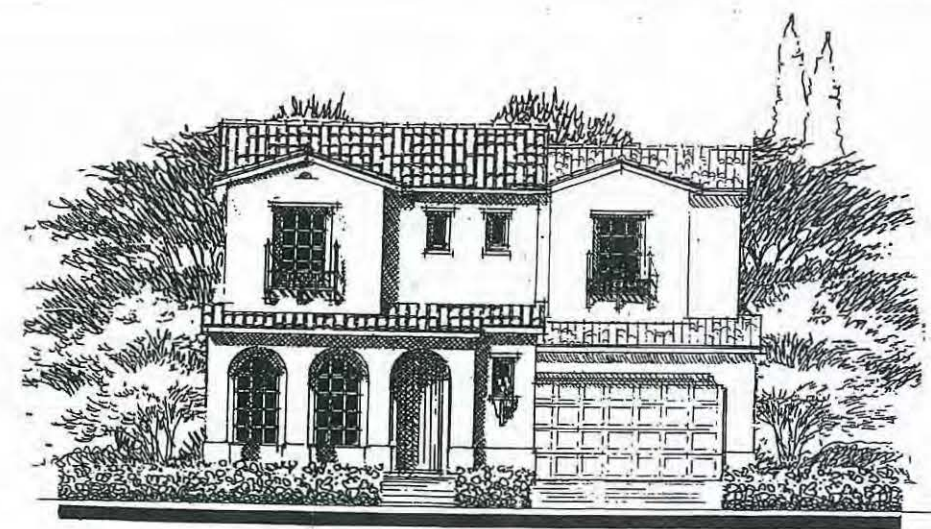
Revision 1: SET SUBMITTAL
JULY 11, 2003

Original Date: JUNE 8, 2003

Sheet 35 of 53

DEP# 10046

JOB ORDER # 42-1653



MATERIALS:
 STUCCO
 CONCRETE ROOF TILE
 STUCCO OVER FOAM TERN
 IRON DETAILS
 PRECAST VENEER
 JAMES A. BAKER
 WOOD ACCENTS
 WOOD POSTS
 STONE VENEER
 SHUTTERS
 CLAY OUTLOOKERS



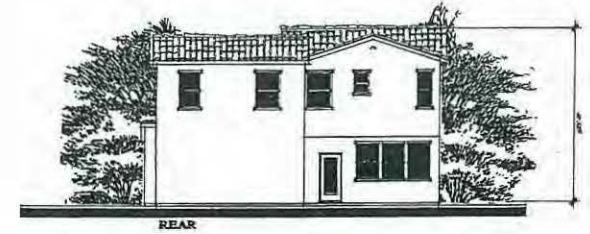
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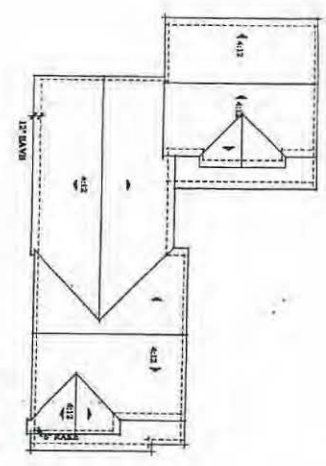
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1/4" = 1'-0"

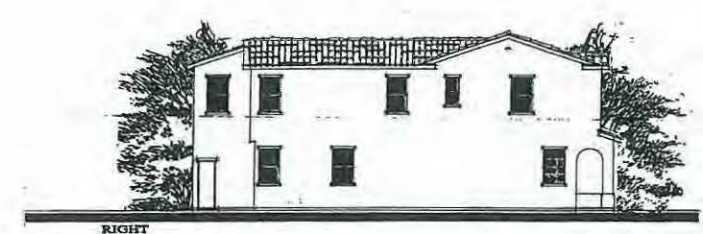
PLAN 2 ELEVATIONS



REAR



ROOF PLAN



RIGHT



LEFT

1/8" = 1'-0"

CASTLEROCK

APPLICANT: PHOENIX HOMES
 10205 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92126
 (619) 754-2500 FAX (619) 754-2530

ARCHITECTS:
 BAIRDREEM LAGOM
 2037 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660-0753
 (949) 553-9100 FAX (949) 553-0549

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4833 PARAMOUNT DRIVE 2ND FLOOR
 SAN DIEGO, CA 92123
 (619) 751-0833 FAX (619) 751-0834

LANDSCAPE ARCHITECT: KIDBA
 3818 NORVAL STREET
 SAN DIEGO, CA 92105
 (619) 254-4477 FAX (619) 294-8982

Prepared By: BAIRDREEM LAGOM
 Name: BAIRDREEM LAGOM
 Address: 2037 ORCHARD DRIVE SUITE 100
 NEWPORT BEACH, CA 92660-0753
 Phone #: (949) 553-9100
 Fax #: (949) 553-0549
 Project Address: EAST BOULEVARD WEST OF MESMA DRIVE

Project Name: CASTLEROCK
 REZONE, SITE DEVELOPMENT PERMIT,
 VESTING TENTATIVE MAP AND
 PLANNED DEVELOPMENT PERMIT

Sheet Title: 47x85 PLAN 2 ELEVATIONS
 AND ROOF PLAN

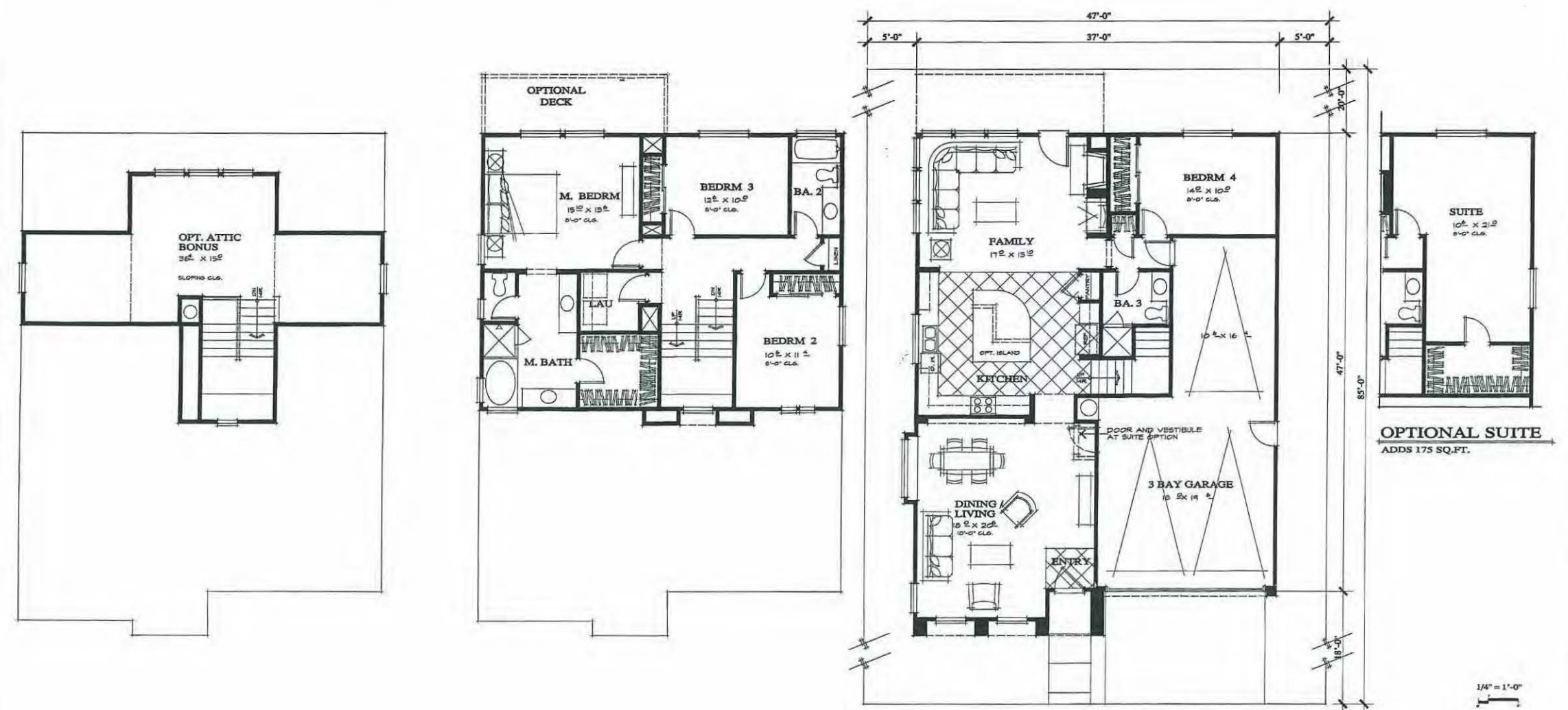
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 Revision 13: _____
 Revision 12: _____
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 Revision 10: _____
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 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: APRIL 3, 2006
 Revision 3: AUGUST 13, 2004
 Revision 2: DECEMBER 19, 2003
 Revision 1: 1ST SUBMITTAL
 JULY 11, 2003

Original Date: JUNE 8, 2003

Sheet 36 of 53

DEP# 10046

JOB ORDER # 42-1653



PLAN 3 • 2,221 SQ. FT.
 2717 SQ. FT. AT OPT. ATTIC BONUS

CASTLEROCK

APPLICANT: PARKS HOMES
 12625 HIGH HILLY DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (619) 794-2500 FAX (619) 794-2510

ARCHITECTS:
 BAUSSENHORN LAZZER
 2031 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660-0753
 (949) 553-8100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4933 PARADISE DRIVE 2ND FLR.
 SAN DIEGO, CA 92130
 (619) 791-0633 FAX (619) 791-0634

LANDSCAPE ARCHITECT:
 KTRBA
 3018 NORMAN STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-8985

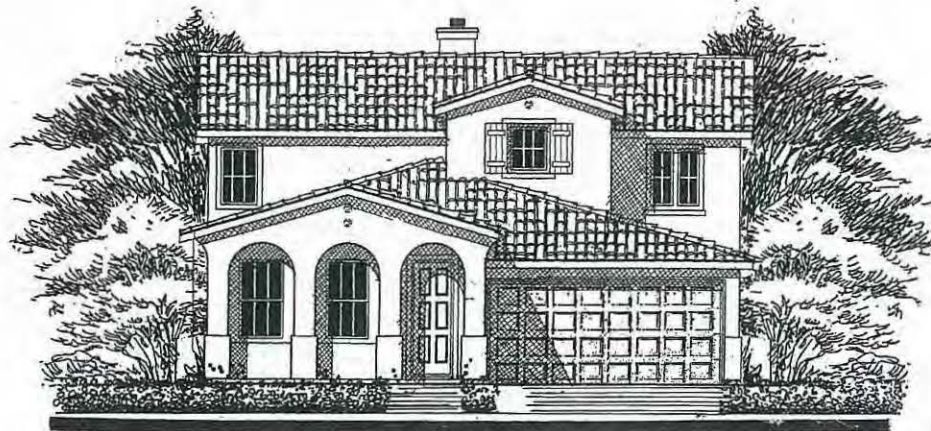
Prepared By: BAUSSENHORN LAZZER
 Name: _____
 Address: 2031 ORCHARD DRIVE SUITE 100
 NEWPORT BEACH, CA 92660-0753
 Phone #: (949) 553-8100
 Fax #: (949) 553-0548
 Project Address: WEST BOULEVARD WEST OF MESINA DRIVE

Project Name:
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title:
47x85 PLAN 3 FLOOR PLANS

Revision 14: _____	Revision 14: _____
Revision 13: _____	Revision 13: _____
Revision 12: _____	Revision 12: _____
Revision 11: _____	Revision 11: _____
Revision 10: _____	Revision 10: _____
Revision 9: _____	Revision 9: _____
Revision 8: _____	Revision 8: _____
Revision 7: _____	Revision 7: _____
Revision 6: _____	Revision 6: _____
Revision 5: _____	Revision 5: _____
Revision 4: APRIL 5, 2004	Revision 4: APRIL 5, 2004
Revision 3: AUGUST 13, 2004	Revision 3: AUGUST 13, 2004
Revision 2: DECEMBER 18, 2003	Revision 2: DECEMBER 18, 2003
Revision 1: 1ST SUBMITTAL	Revision 1: 1ST SUBMITTAL
Original Date: JULY 11, 2003	Original Date: JULY 11, 2003
Original Date: JUNE 8, 2003	Original Date: JUNE 8, 2003
Sheet 37 of 53	Sheet 37 of 53

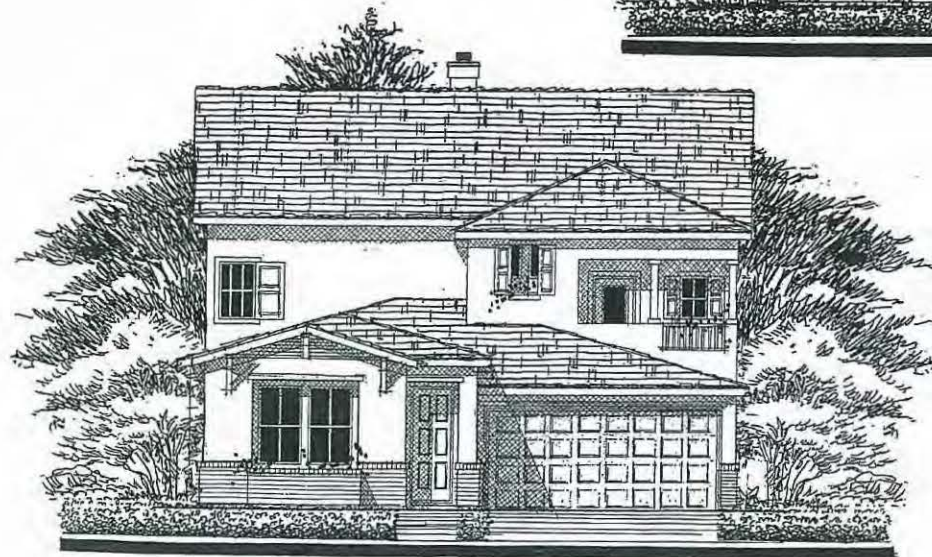
DEP# 10046
 JOB ORDER # 42-1853



A

MATERIALS:

- STUCCO
- CONCRETE DOOF TILE
- STUCCO OVER FOAM THERM
- IRON DETAILS
- POURCAST VINYL
- JANUS A. PANEL
- WOOD ACCENTS
- WOOD POSTS
- STONE VENEER
- SHUTTERS
- CLAY OUTLOOKERS



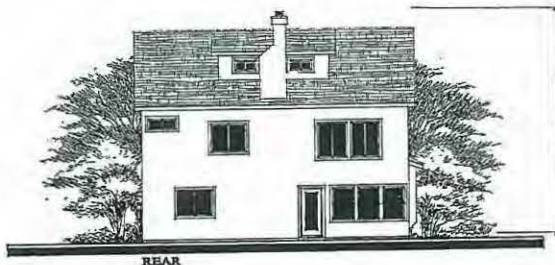
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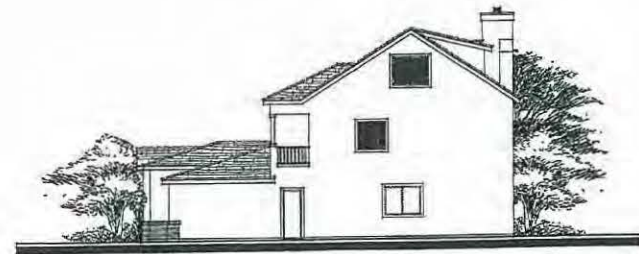
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1/4" = 1'-0"

PLAN 3 ELEVATIONS



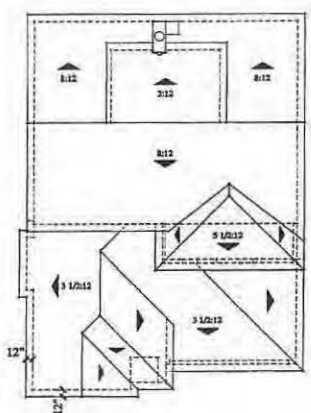
REAR



RIGHT



LEFT



ROOF PLAN

1/8" = 1'-0"

CASTLEROCK

APPLICANT: PANDER HOMES
18226 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92128
(619) 794-2000 FAX (619) 794-2189

PLANNING AND CIVIL ENGINEER:
LATTICE 33 PLANNING & ENGINEERING
4933 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92131
(619) 731-0833 FAX (619) 731-0834

Prepared By: PASTORSON LAGOH
Address: 3031 ORCHARD DRIVE SUITE 100
NEWPORT BEACH, CA 92660-0753
Phone #: (949) 553-9100
Fax #: (949) 553-0548

Project Address: MAST BOARDSHIP WEST OF MEDIA DRIVE

Project Name: CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

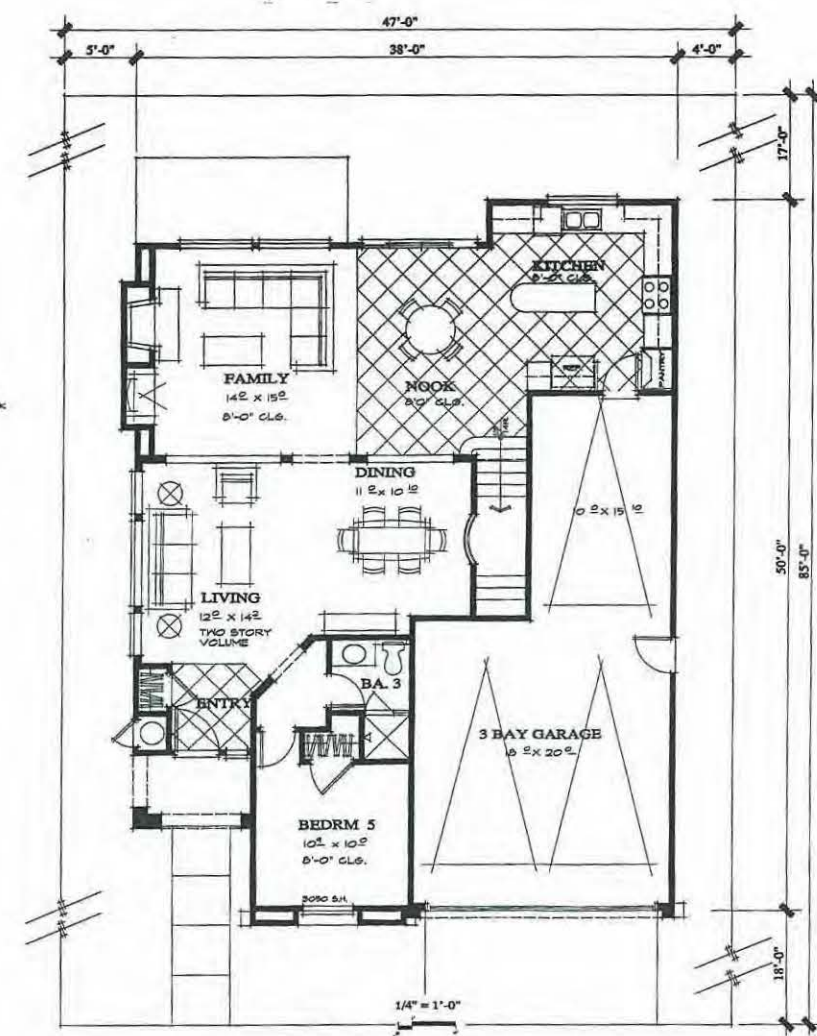
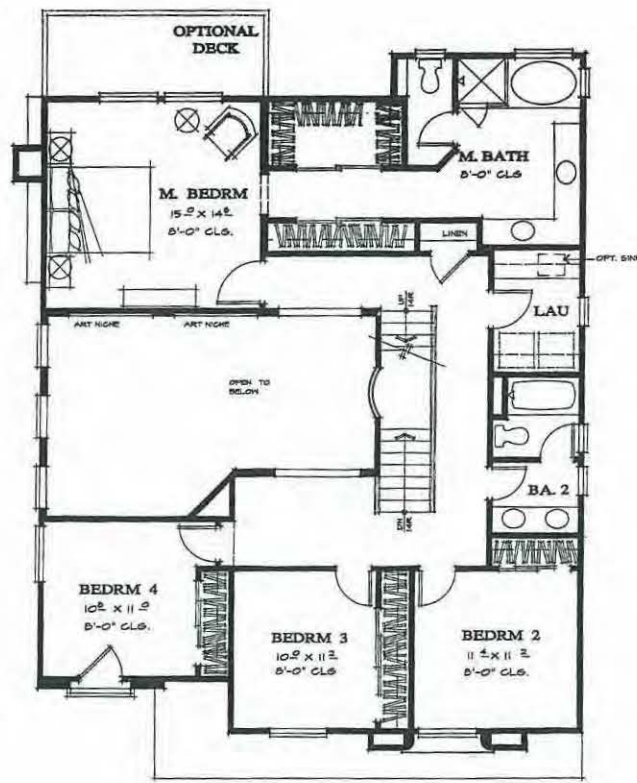
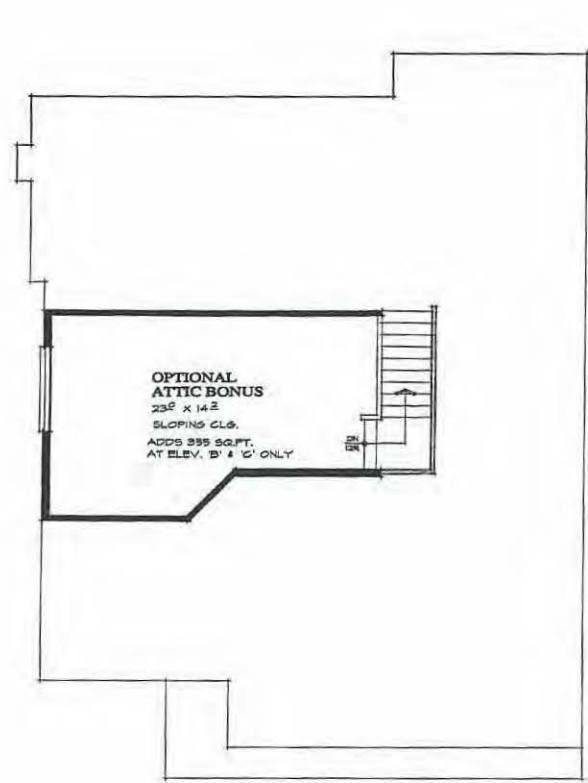
Sheet Title: 47x85 PLAN 3 ELEVATIONS
AND ROOF PLAN

ARCHITECTS:
BASTORSON LAGOH
3031 ORCHARD DR. SUITE 100
NEWPORT BEACH, CA 92660-0753
(949) 553-9100 FAX (949) 553-0548

LANDSCAPE ARCHITECT: KTRUM
3916 NORVAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-9263

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	<u>APRIL 3, 2004</u>
Revision 3:	<u>AUGUST 18, 2004</u>
Revision 2:	<u>DECEMBER 18, 2003</u>
Revision 1:	<u>1ST SUBMITTAL</u>
Original Date:	<u>JUNE 8, 2003</u>
Sheet	<u>38</u> of <u>53</u>
DEP#	<u>10046</u>

JOB ORDER # 42-1653



PLAN 4 • 2,541 SQ. FT.
2859 SQ. FT. AT OPT. ATTIC BONUS

CASTLEROCK

APPLICANT: FINEST HOMES
13228 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92120
(619) 794-2200 FAX (619) 794-2208

ARCHITECT: BASSONON LADDEN
3015 ORCHARD DRIVE, SUITE 100
NEWPORT BEACH, CA 92660-0753
(949) 853-8100 FAX (949) 853-0548

PLANNING AND CIVIL ENGINEER:
LATTICE 33 PLANNING & ENGINEERING
4653 PARADISE DRIVE 2ND FLOOR
SAN DIEGO, CA 92123
(602) 751-0833 FAX (602) 751-0834

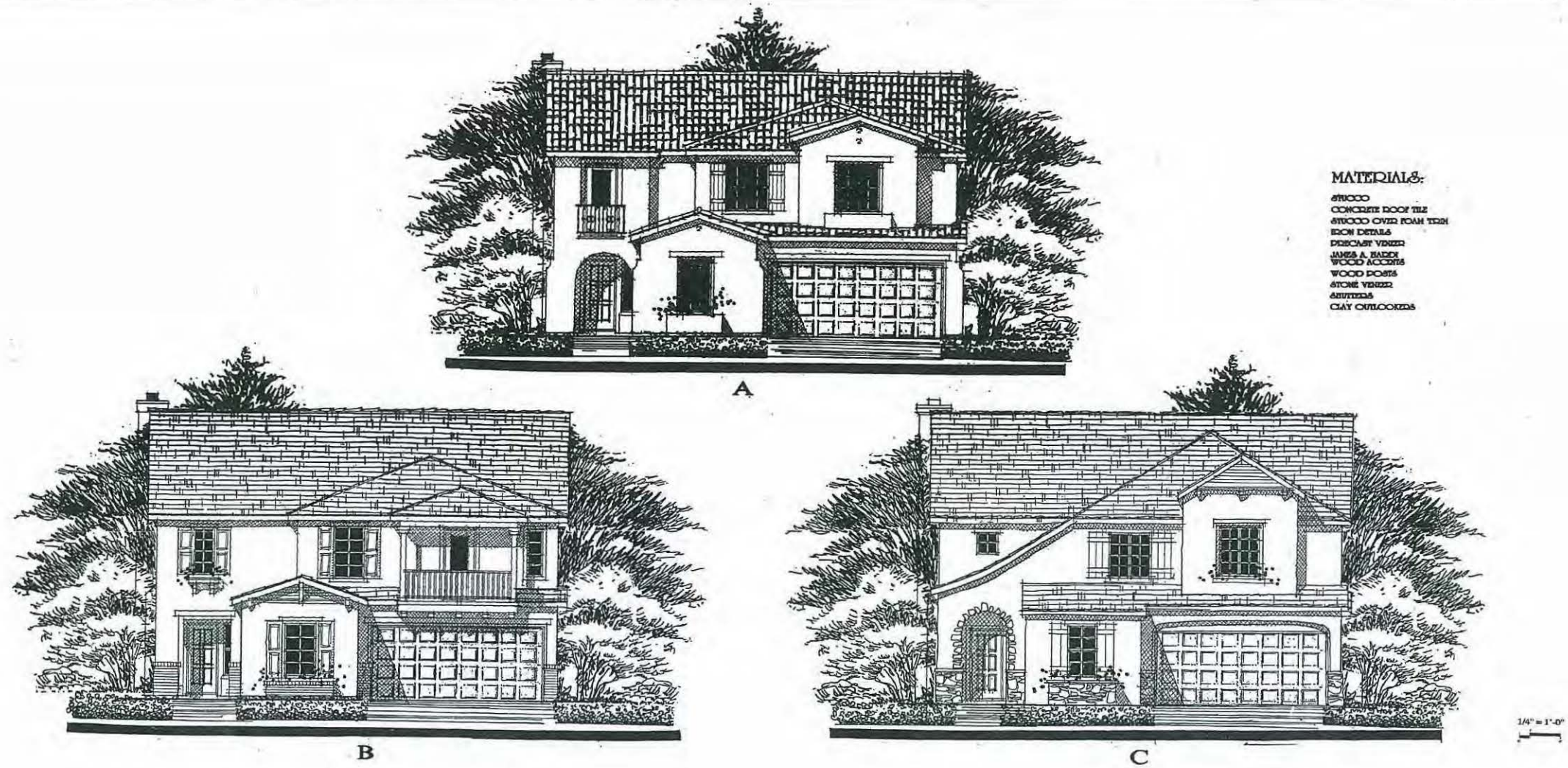
LANDSCAPE ARCHITECT: STRUM
3016 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4677 FAX (619) 294-3985

Prepared By: BASSONON LADDEN
Name: BASSONON LADDEN
Address: 3015 ORCHARD DRIVE, SUITE 100, NEWPORT BEACH, CA 92660-0753
Phone #: (949) 853-8100
Fax #: (949) 853-0548
Project Address: 14515 BOLLINGER WEST OF AERNA DRIVE

Project Name: CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT, VESTING TENTATIVE MAP AND PLANNED DEVELOPMENT PERMIT
Sheet Title: 47x85 PLAN 4 FLOOR PLANS

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: APRIL 3, 2004
Revision 3: AUGUST 13, 2004
Revision 2: DECEMBER 18, 2003
Revision 1: 1ST SUBMITTAL
JULY 11, 2003
Original Date: JUNE 8, 2003
Sheet 39 of 53

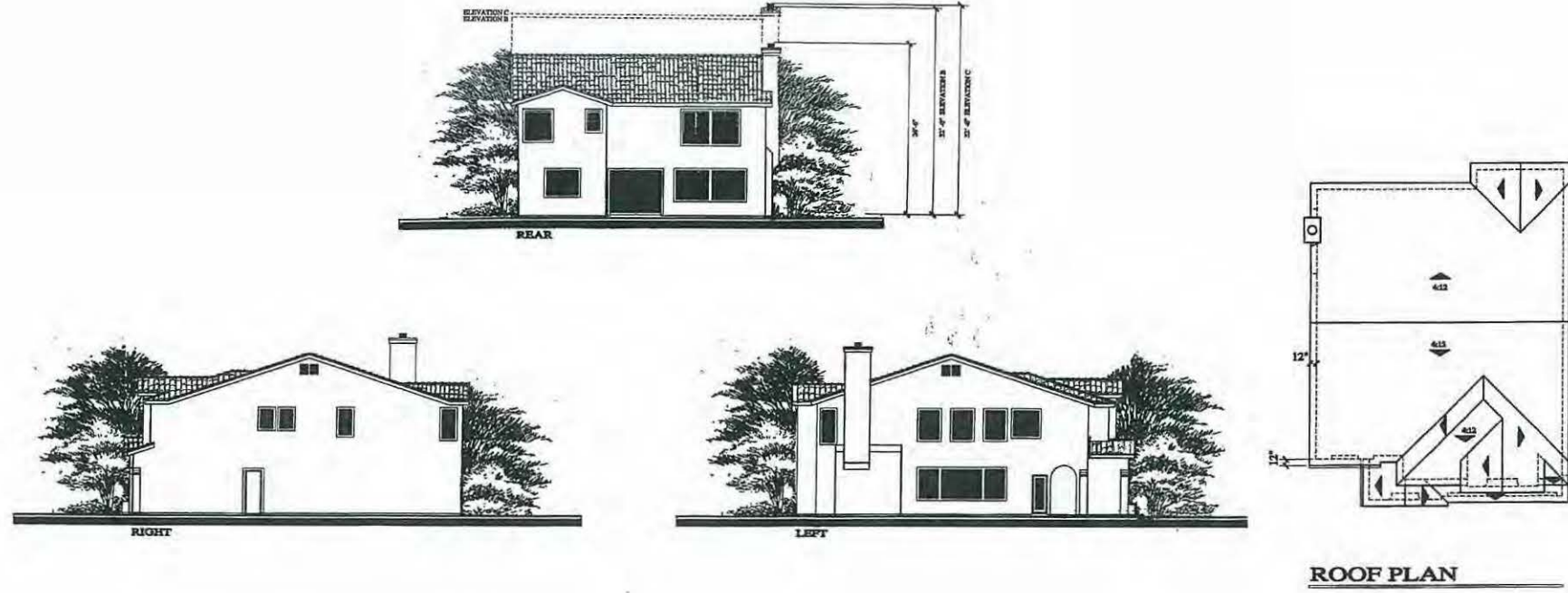
DEP# 10046
JOB ORDER # 42-1803



MATERIALS:

- STUCCO
- CONCRETE DOOR TRIM
- STUCCO OVER FOAM INSUL
- IRON DETAILS
- DEBRIS VENEER
- JAMB & RAJDS
- WOOD ACCENTS
- WOOD POSTS
- STONE VENEER
- SHUTTERS
- CLAY OUTLOOKERS

PLAN 4 ELEVATIONS



CASTLEROCK

APPLICANT: PARKS HOMES
 15208 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (619) 794-2500 FAX (619) 794-2509

ARCHITECTS:
 BASSIGNON LADRE
 3017 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660-0753
 (949) 553-9100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4833 PARADISE DRIVE, 2ND FLOOR
 SAN DIEGO, CA 92123
 (619) 751-0533 FAX (619) 751-0534

LANDSCAPE ARCHITECT: KTRGA
 3716 NORMAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-9965

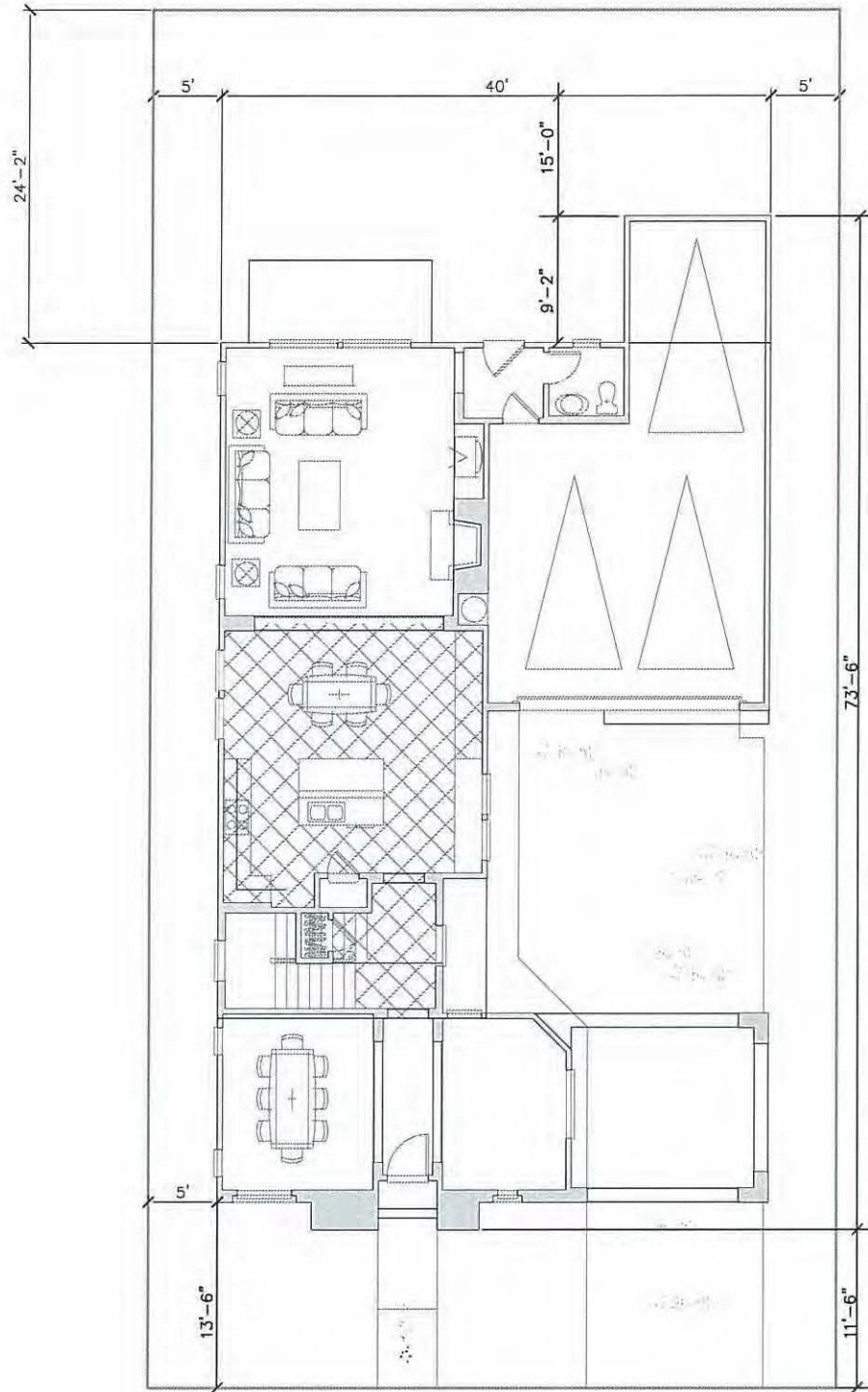
Prepared By: BASSIGNON LADRE
 Name: BASSIGNON LADRE
 Address: 3017 ORCHARD DRIVE SUITE 100
 NEWPORT BEACH, CA 92660-0753
 (949) 553-9100
 Phone #: (949) 553-9100
 Fax #: (949) 553-0548
 Project Address: EAST BULLHORN WEST OF MEDINA DRIVE

Project Name: CASTLEROCK
 REZONE, SITE DEVELOPMENT PERMIT,
 VESTING TENTATIVE MAP AND
 PLANNED DEVELOPMENT PERMIT

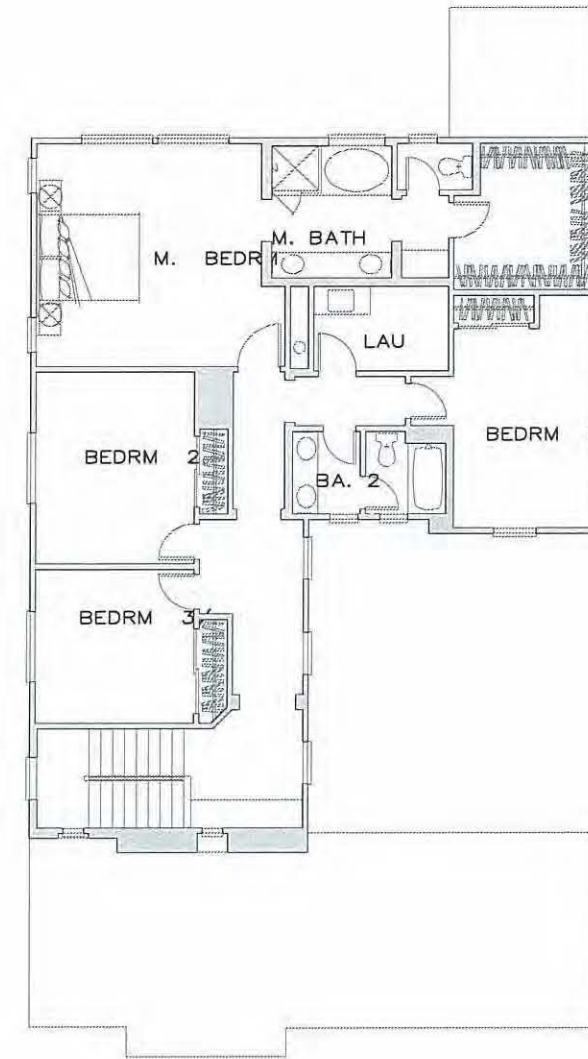
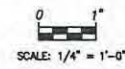
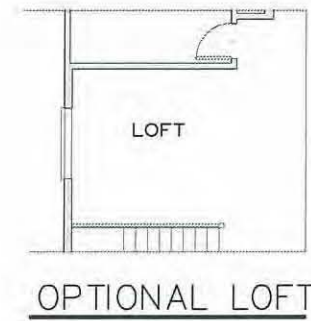
Sheet Title: 47-85 PLAN 4 ELEVATIONS AND ROOF PLAN

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	APRIL 5, 2000
Revision 3:	AUGUST 13, 2004
Revision 2:	DECEMBER 19, 2003
Revision 1:	1ST SUBMITTAL JULY 11, 2003
Original Date:	JUNE 8, 2003

Sheet 40 of 53
 DEP# 10046
 JOB ORDER # 42-1053



Plan 2A
Spanish
First Floor
2,729 s.f. (Target : 2,673 s.f.)
GARAGE AREA = 577 S.F.



Plan 2A
Spanish
Second Floor

CASTLEROCK

APPLICANT: PARKER HOMES
12625 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(602)794-2500 FAX (602)794-2599

ARCHITECT: BASSWOOD LAGOS
2013 ORCHARD DR., SUITE 100
NEWPORT BEACH, CA 92660-0753
(949) 553-9100 FAX (949) 553-0948

PLANNING AND CIVIL ENGINEER:
LATTICE 33 PLANNING & ENGINEERING
4833 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92133
(602) 751-0633 FAX (602) 751-0634

LANDSCAPE ARCHITECT: KTRM
3916 NORVAL STREET
SAN DIEGO, CA 92105
(619) 294-4477 FAX (619) 294-8885

Prepared By: LATTICE 33 PLANNING & ENGINEERING

Name: 4833 PARAMOUNT DRIVE 2ND FLR.

Address: SAN DIEGO, CA 92133

Phone #: (602) 751-0633

Fax #: (602) 751-0634

Project Address: EAST BOULEVARD WEST OF MEDINA DRIVE

Project Name: CASTLEROCK

REZONE, SITE DEVELOPMENT PERMIT,

YESTING TENTATIVE MAP AND

PLANNED DEVELOPMENT PERMIT

Sheet Title: PLAN 2A SPANISH 50' X 100'

FIRST AND SECOND FLOOR PLAN DEP# 10046

JOB ORDER # 42-1853

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: APRIL 3, 2006

Revision 3: AUGUST 18, 2004

Revision 2: DECEMBER 12, 2003

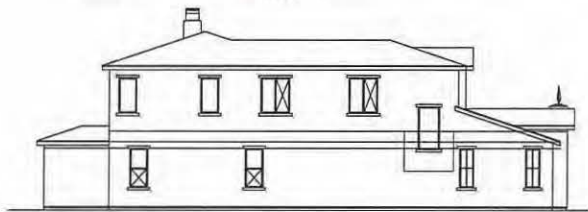
Revision 1: 1ST SUBMITTAL

Original Date: JUNE 8, 2003

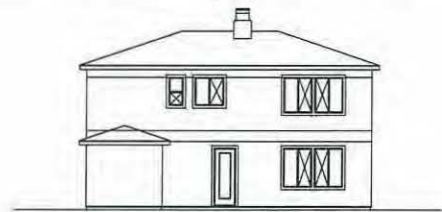
Sheet 41 of 53



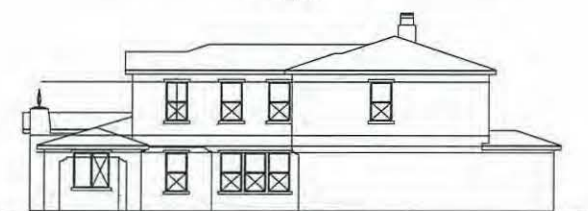
FRONT



LEFT

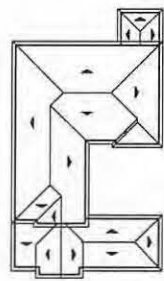


REAR



RIGHT

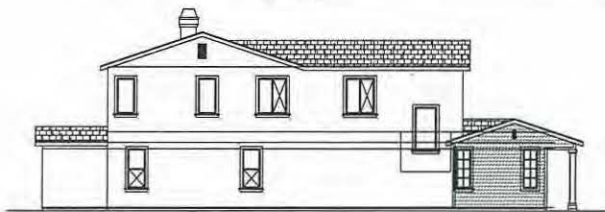
Plan 2A
Spanish
1/8" = 1'-0"



Spanish
6.12 U.A.G.



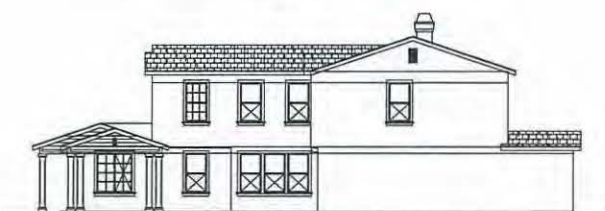
FRONT



LEFT

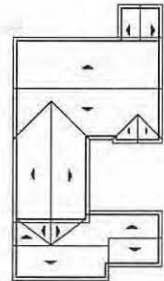


REAR



RIGHT

Plan 2B
Traditional
1/8" = 1'-0"

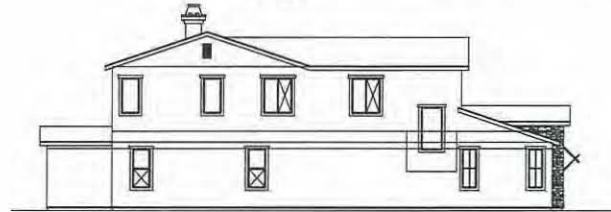


Traditional
6.12 U.A.G.

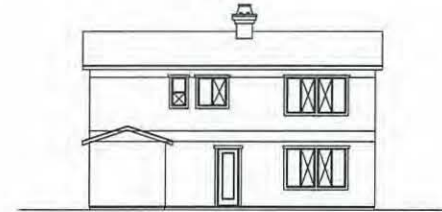
Plan 2
Roof Plans
NO SCALE



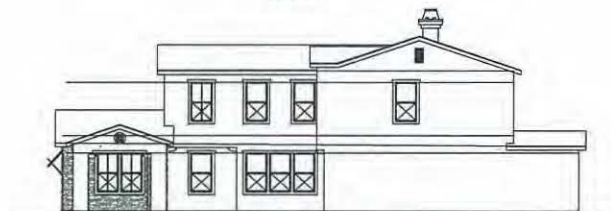
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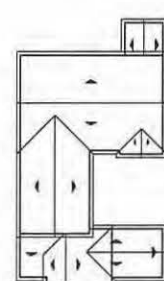


REAR



RIGHT

Plan 2C
Tuscan
1/8" = 1'-0"



Tuscan
6.12 U.A.G.

CASTLEROCK

APPLICANT: PARADE HOMES
13228 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(602)794-2500 FAX (602)794-2500

ARCHITECTS: BALSDORF LAGON
2033 ORCHARD DR., SUITE 100
NEWPORT BEACH, CA 92660-0753
(949) 553-8100 FAX (949) 553-0548

PLANNING AND CIVIL ENGINEERS:
LATTICE 33 PLANNING & ENGINEERING
4833 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92123
(602) 751-0833 FAX (602) 751-0834

LANDSCAPE ARCHITECT: KTH&A
3518 NORVAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-8885

Prepared By:

Name: LATTICE 33 PLANNING & ENGINEERING

Address: 4833 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92123

Phone #: (602) 751-0833

Fax #: (602) 751-0834

Project Address:
MAST BOULEVARD WEST OF MEDINA DRIVE

Project Name:

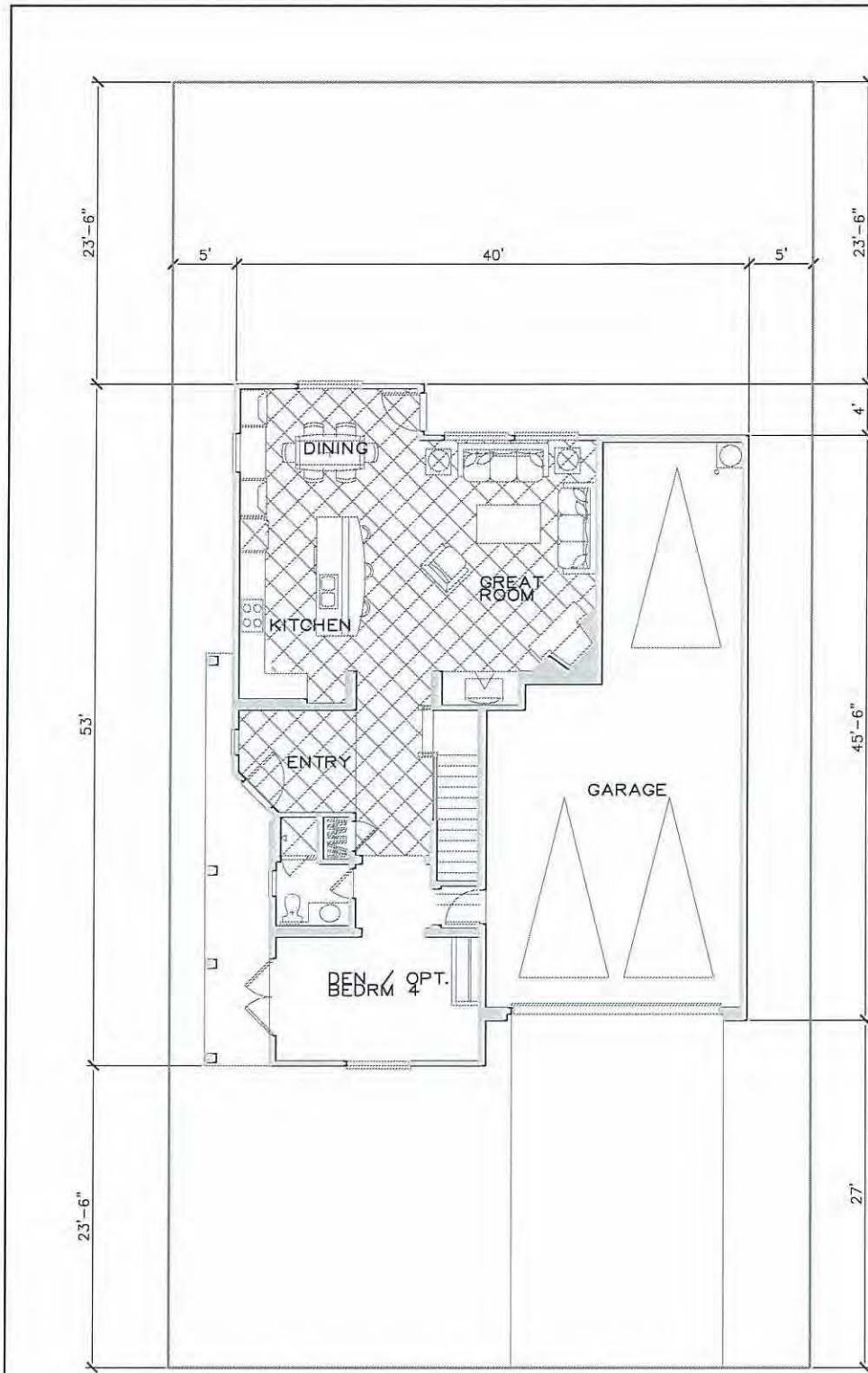
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title:
PLAN 2 50' X 100'

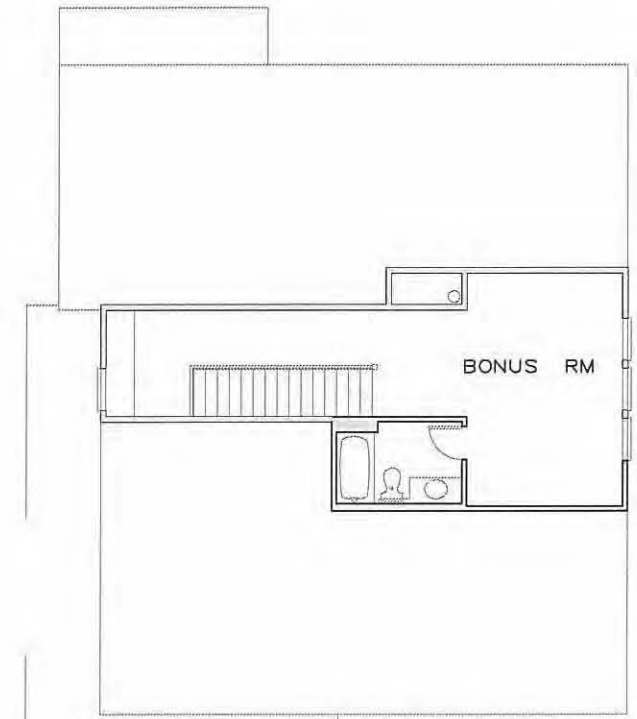
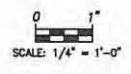
ROOF PLANS AND ELEVATIONS

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	APRIL 3, 2004
Revision 3:	AUGUST 13, 2004
Revision 2:	DECEMBER 18, 2003
Revision 1:	JULY 11, 2003
Original Date:	JUNE 8, 2003
Sheet	42 of 53

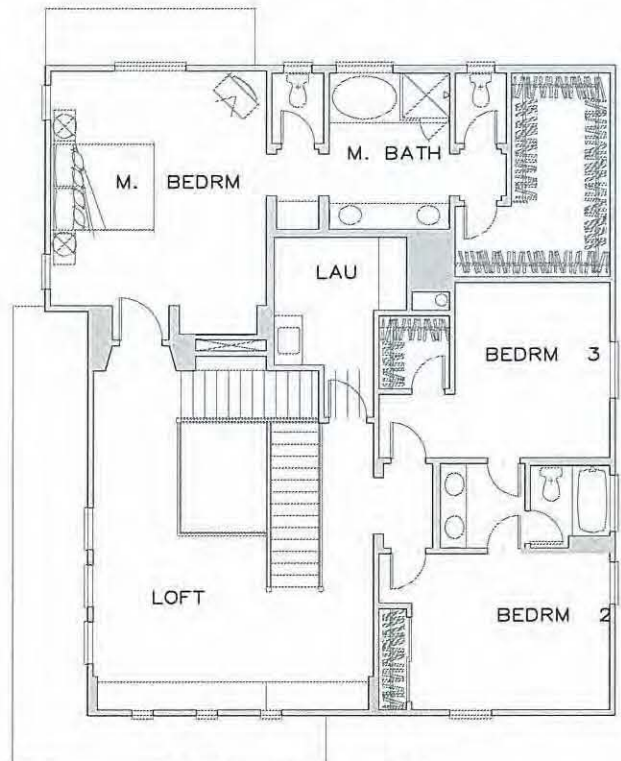
Original Date: JUNE 8, 2003
Sheet 42 of 53
JOB ORDER # 42-1653



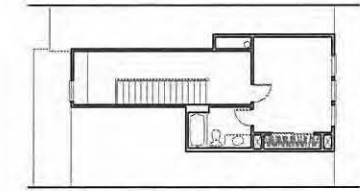
First Floor
 Plan 3A
 Spanish
 3,257 s.f. (Target : 3,350 s.f.)
 GARAGE AREA = 737 S.F.



Plan 3A
 Spanish
 Third Floor



Plan 3A
 Spanish
 Second Floor



OPTIONAL BEDRM 5 / BA. 4
 AT BONUS NOT TO SCALE

CASTLEROCK

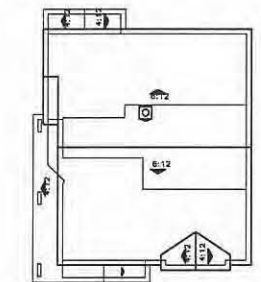
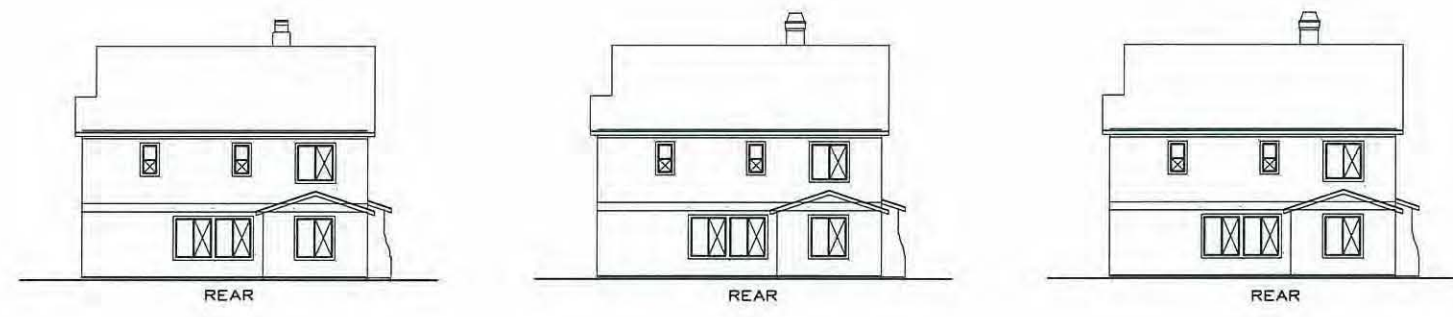
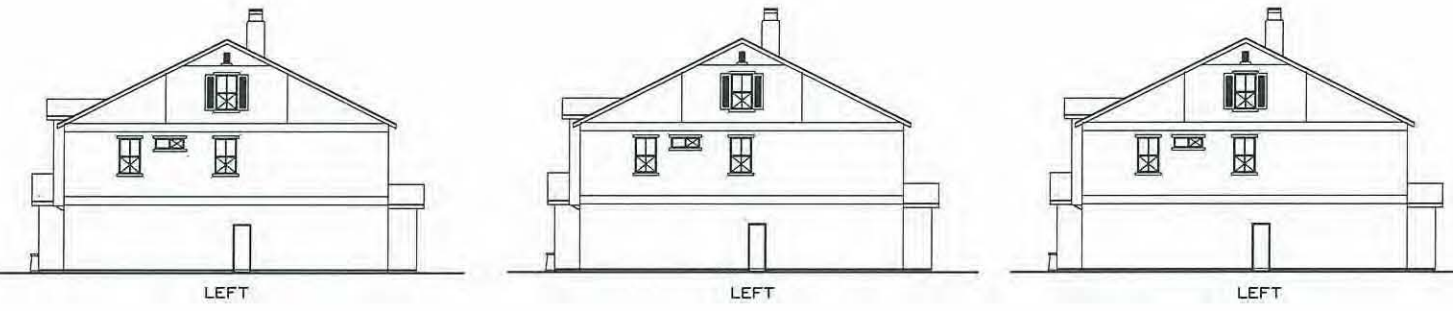
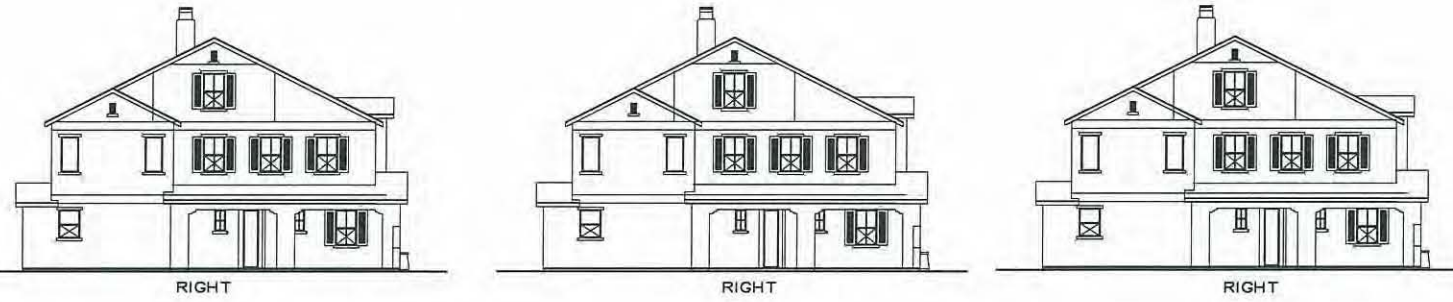
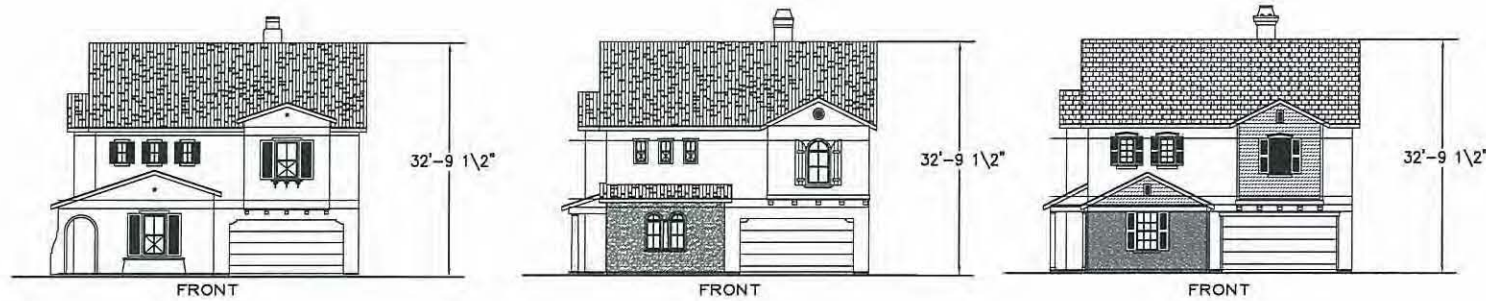
APPLICANT: PARDEE HOMES
 1308 WEST BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (602)794-2500 FAX (602)794-2500

ARCHITECT: BASENOR LAGOS
 3031 GARDNER DR., SUITE 100
 NEWPORT BEACH, CA 92660-0733
 (949) 553-9100 FAX (949) 553-0548

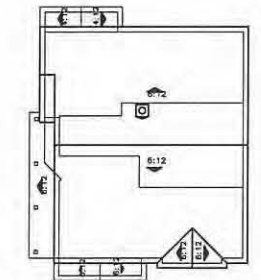
PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4833 PARAMOUNT DRIVE 2ND FLOOR
 SAN DIEGO, CA 92123
 (602) 751-0533 FAX (602) 751-0534

LANDSCAPE ARCHITECT: KRUM
 3916 NORVAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-8885

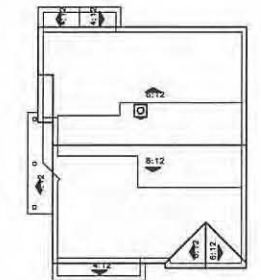
Prepared By:	CASTLEROCK	Revision 14:	_____
Name:	LATITUDE 33 PLANNING & ENGINEERING	Revision 13:	_____
Address:	4833 PARAMOUNT DRIVE 2ND FLOOR SAN DIEGO, CA 92123	Revision 12:	_____
Phone #:	(602) 751-0533	Revision 11:	_____
Fax #:	(602) 751-0534	Revision 10:	_____
Project Address:	EAST BOULEVARD WEST OF MEDINA DRIVE	Revision 9:	_____
Project Name:	CASTLEROCK	Revision 8:	_____
REZONE, SITE DEVELOPMENT PERMIT,		Revision 7:	_____
VESTING TENTATIVE MAP AND		Revision 6:	_____
PLANNED DEVELOPMENT PERMIT		Revision 5:	_____
Sheet Title:	PLAN 3A SPANISH 50' X 100'	Revision 4:	APRIL 3, 2006
FIRST, SECOND & THIRD		Revision 3:	AUGUST 13, 2004
FLOOR PLANS		Revision 2:	DECEMBER 12, 2003
		Revision 1:	JULY 11, 2003
		Original Date:	JUNE 8, 2003
		Sheet	43 of 53
		DEP#	10046
		JOB ORDER #	42-1653



SPANISH
Plan 3A



TRADITIONAL
Plan 3B



TUSCAN
Plan 3C
Roof Plans
NO SCALE

CASTLEROCK

APPLICANT: PARKER HOMES
13025 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(602)794-2500 FAX (602)794-2500

ARCHITECTS: BALSORON LACON
3331 CROWDING DR., SUITE 100
NEWPORT BEACH, CA 92660-0723
(949) 553-9100 FAX (949) 553-2548

PLANNING AND CIVIL ENGINEER:
LATTICE 33 PLANNING & ENGINEERING
4633 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92130
(602) 751-0633 FAX (602) 751-0634

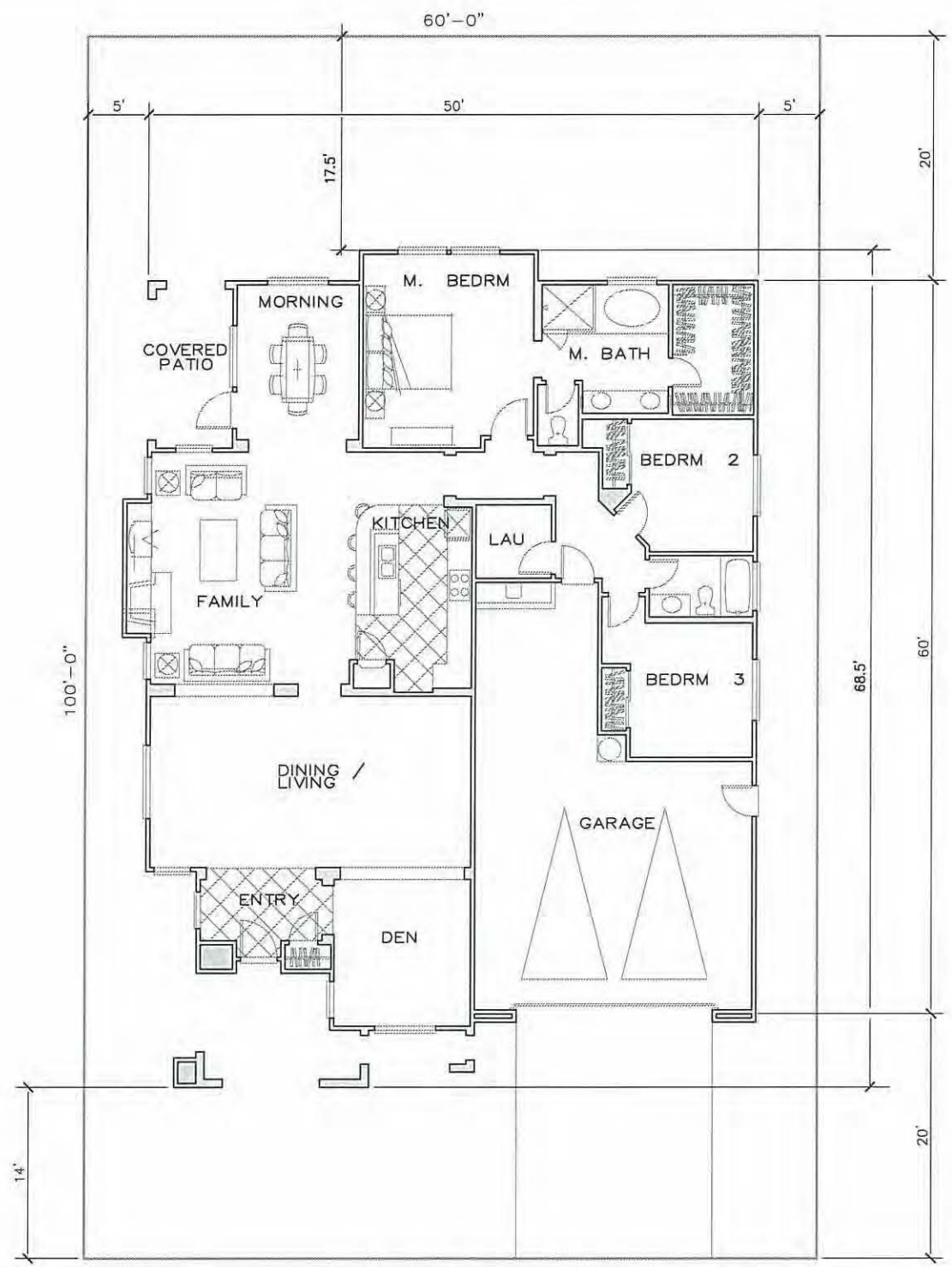
LANDSCAPE ARCHITECT: KRUM
3918 NORMAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-8865

Prepared By:	LATTICE 33 PLANNING & ENGINEERING	Revision 14:	_____
Name:	4633 PARAMOUNT DRIVE 2ND FLR. SAN DIEGO, CA 92130	Revision 13:	_____
Address:	Phone #: (602) 751-0633	Revision 12:	_____
Phone #:	Fax #: (602) 751-0634	Revision 11:	_____
Fax #:	Project Address: MIST BOULEVARD WEST OF MEDINA DRIVE	Revision 10:	_____
Project Address:	Project Name: CASTLEROCK	Revision 9:	_____
Project Name:	REZONE, SITE DEVELOPMENT PERMIT, TESTING TENTATIVE MAP AND PLANNED DEVELOPMENT PERMIT	Revision 8:	_____
Sheet Title:	Revision 7:	Revision 6:	_____
Revision 6:	Revision 5:	Revision 4:	APRIL 3, 2004
Revision 5:	Revision 4:	Revision 3:	AUGUST 13, 2004
Revision 4:	Revision 3:	Revision 2:	DECEMBER 18, 2003
Revision 3:	Revision 2:	Revision 1:	JULY 11, 2003
Revision 2:	Revision 1:	Original Date:	JUNE 8, 2003
Revision 1:	Revision 0:	Sheet:	44 of 53
Revision 0:	Revision -1:	DEP#	10046
Revision -1:	Revision -2:	JOB ORDER #	42-1653

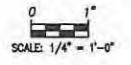
Plan 3A
Spanish
SCALE: 1/8" = 1'

Plan 3C
Tuscan
SCALE: 1/8" = 1'

Plan 3B
Traditional
SCALE: 1/8" = 1'



Plan 1A
 Spanish
 2,233 s.f. (Target : 2,459 s.f.)
 GARAGE AREA = 621 S.F.



CASTLEROCK

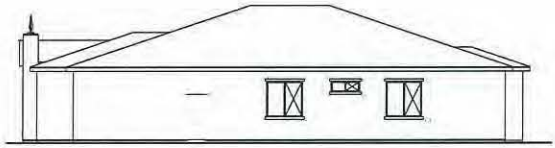
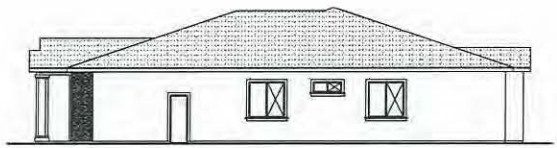
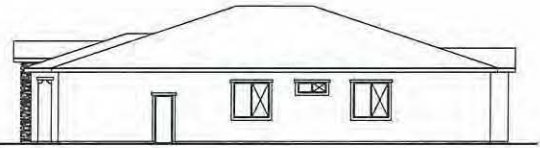
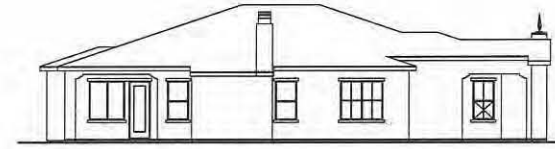
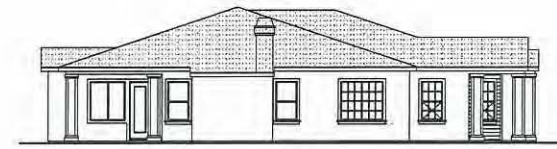
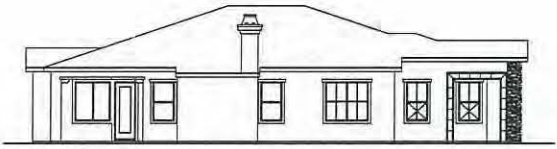
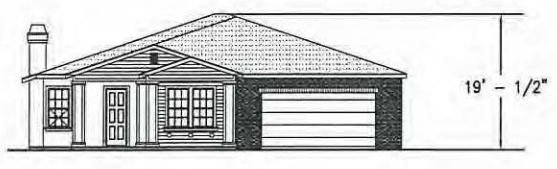
APPLICANT: PANDER HOMES
 12056 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (602)794-2500 FAX (602)794-2580

ARCHITECTS
 BASSONON LACON
 3031 CROWDING DR., SUITE 100
 NEWPORT BEACH, CA 92660-0753
 (949) 363-8100 FAX (949) 523-0548

PLANNING AND CIVIL ENGINEER:
 LATITUDE 33 PLANNING & ENGINEERING
 4833 PARAMOUNT DRIVE 2ND FLR.
 SAN DIEGO, CA 92123
 (650) 751-0833 FAX (650) 751-0834

LANDSCAPE ARCHITECT: KRUMH
 3916 NORVAL STREET
 SAN DIEGO, CA 92103
 (619) 294-4477 FAX (619) 294-9883

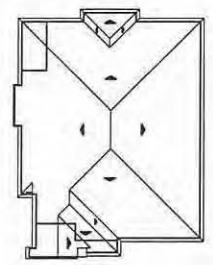
Prepared By:	NAME: LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	_____
Address:	4833 PARAMOUNT DRIVE 2ND FLR. SAN DIEGO, CA 92123	Revision 13:	_____
Phone #:	(650) 751-0833	Revision 12:	_____
Fax #:	(650) 751-0834	Revision 11:	_____
Project Address:	MAST BOULEVARD WEST OF MEDINA DRIVE	Revision 10:	_____
Project Name:	CASTLEROCK REZONE, SITE DEVELOPMENT PERMIT, TESTING TENTATIVE MAP AND PLANNED DEVELOPMENT PERMIT	Revision 9:	_____
Sheet Title:	PLAN 1A SPANISH 60' X 100' FLOOR PLAN, ROOF PLAN & ELEVATIONS	Revision 8:	_____
DEP#	10046	Revision 7:	_____
JOB ORDER #	42-1653	Revision 6:	_____
		Revision 5:	_____
		Revision 4:	APR. 3, 2008
		Revision 3:	AUGUST 13, 2004
		Revision 2:	DECEMBER 13, 2003
		Revision 1:	1ST SUBMITTAL JULY 11, 2003
		Original Date:	JUNE 8, 2003
		Sheet	45 of 53



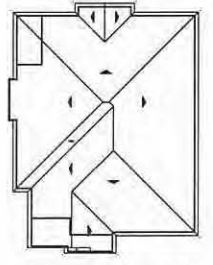
Plan 1A
Spanish
1/8" = 1'-0"

Plan 1B
Traditional
1/8" = 1'-0"

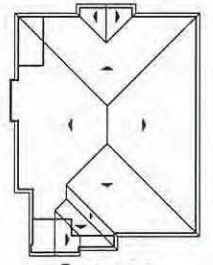
Plan 1C
Tuscan
1/8" = 1'-0"



Spanish
Plan 1A
4:12 U/LD
NOT TO SCALE



Traditional
Plan 1B
ROOF PLAN
NOT TO SCALE
4:12 U/LD



Tuscan
Plan 1C
ROOF PLAN
NOT TO SCALE
4:12 U/LD

CASTLEROCK

APPLICANT: PARKER HOMES
1025 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(602) 794-2500 FAX (602) 794-2598

PLANNING AND CIVIL ENGINEER:
LATTICE 33 PLANNING & ENGINEERING
4833 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92130
(602) 751-0533 FAX (602) 751-0534

Prepared By:
Name: LATTICE 33 PLANNING & ENGINEERING
Address: 4833 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92130
Phone #: (602) 751-0533
Fax #: (602) 751-0534

Project Address:
MAST BOULEVARD WEST OF MEDINA DRIVE

Project Name:
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title:
PLAN 1 60' X 100'
ROOF PLANS AND ELEVATIONS

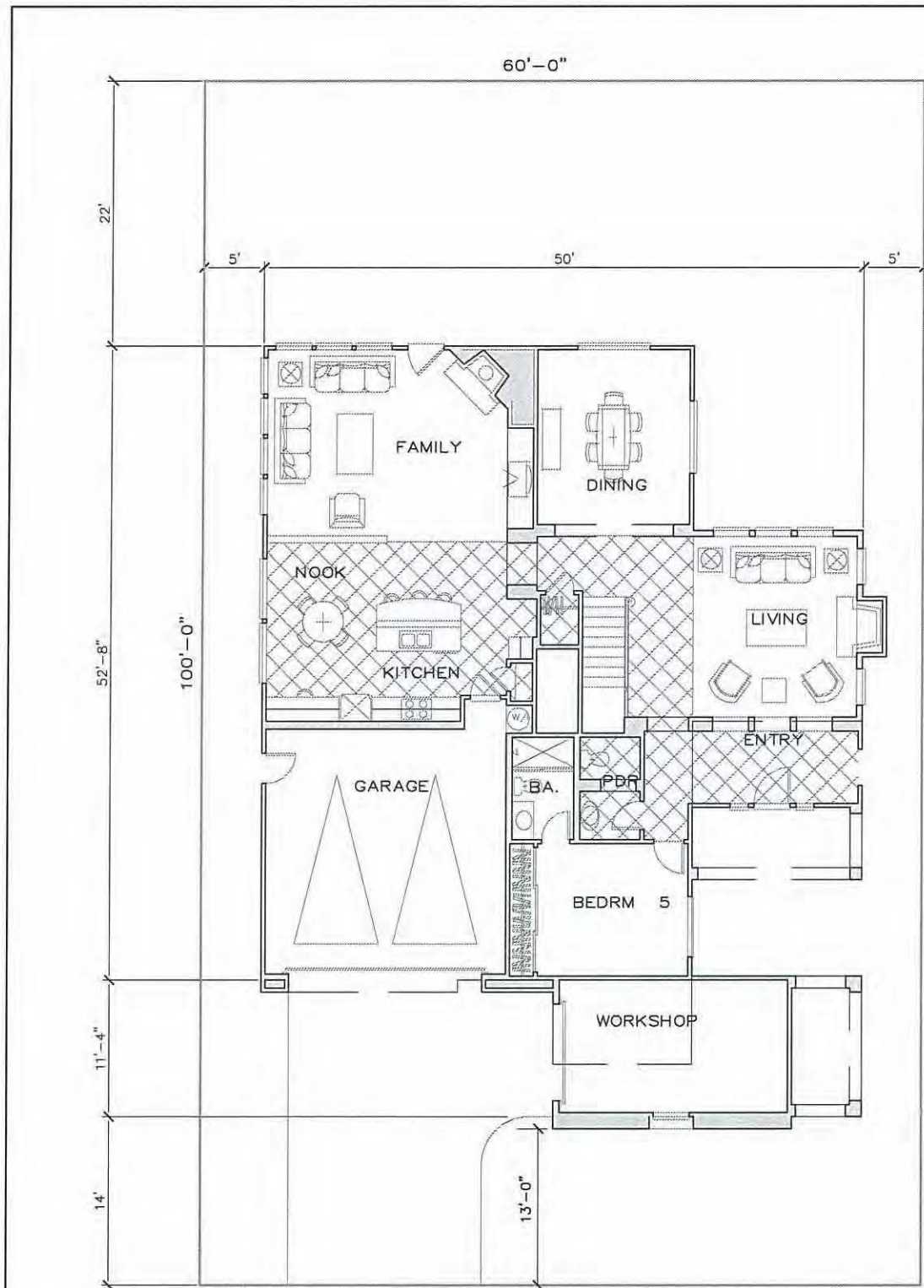
ARCHITECT:
BASSETT LACON
3535 ORCHARD DR., SUITE 100
NEWPORT BEACH, CA 92660-0753
(949) 555-8100 FAX (949) 553-0248

LANDSCAPE ARCHITECT: KTRMA
3916 NORVAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-9985

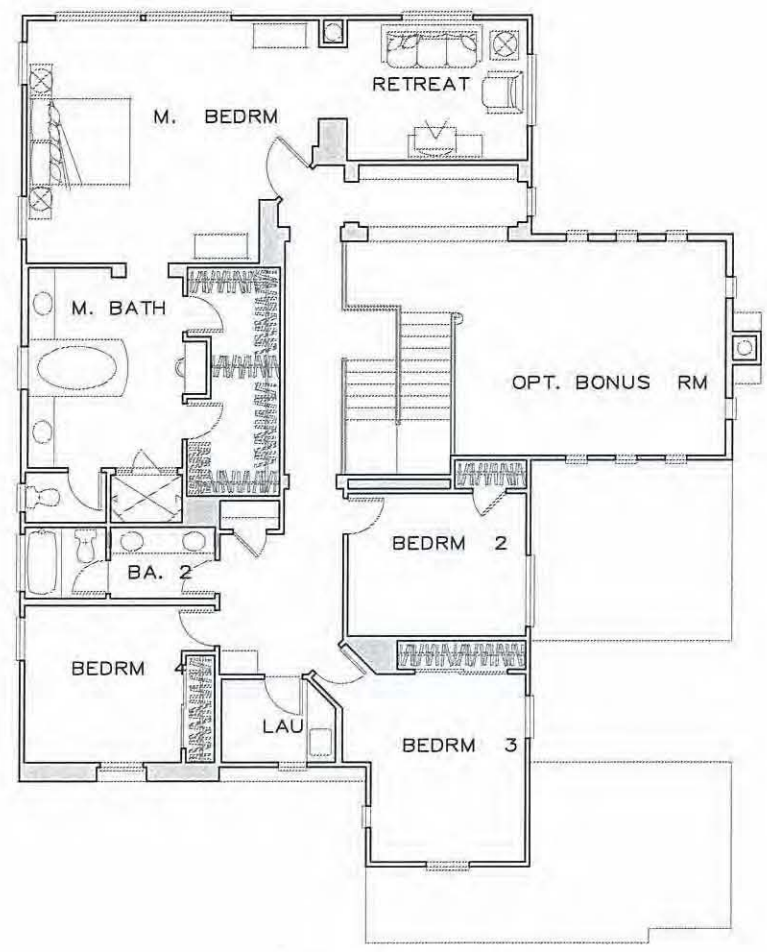
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Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	APRIL 3, 2008
Revision 3:	AUGUST 13, 2004
Revision 2:	DECEMBER 18, 2003
Revision 1:	JULY 11, 2003

Original Date: JUNE 8, 2003
Sheet 46 of 53

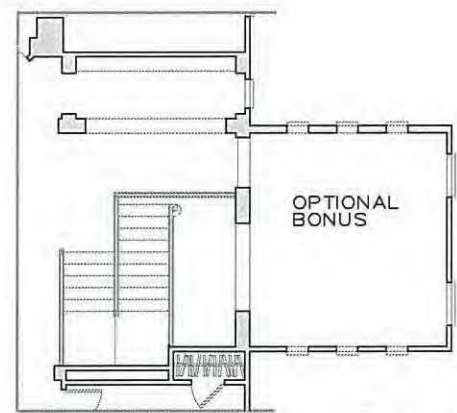
DEP# 10046
JOB ORDER # 42-1853



Plan 4A
Spanish
First Floor
3,551 s.f. (Target : 3,500 s.f.)
(w/ opt. bonus : 3,759 s.f.)
GARAGE AREA = 419 S.F.



Plan 4A
Spanish
Second Floor



Optional Bonus
+234 s.f. (3,788 s.f. total)



CASTLEROCK

APPLICANT: PARRIS HOMES
10256 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(619) 794-2500 FAX (619) 794-2500

PLANNING AND CIVIL ENGINEER:
LATITUDE 33 PLANNING & ENGINEERING
4633 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92130
(619) 751-0833 FAX (619) 751-0834

Prepared By:
Name: LATITUDE 33 PLANNING & ENGINEERING
Address: 4633 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92130
Phone #: (619) 751-0833
Fax #: (619) 751-0834

Project Address:
MAST BOULEVARD WEST OF MEDINA DRIVE

Project Name:
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
TESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

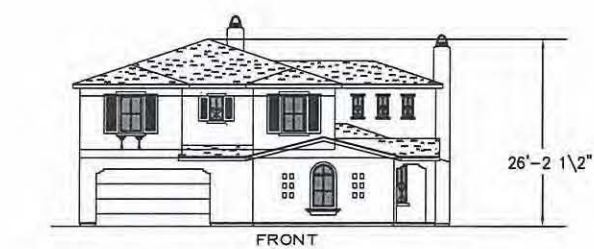
Sheet Title:
PLAN 4A SPANISH 60' X 100'
FIRST & SECOND FLOOR PLANS

ARCHITECTS:
BACCHION LAGOM
3031 CROWDING DR, SUITE 100
NEWPORT BEACH, CA 92660-0753
(949) 553-5100 FAX (949) 553-2548

LANDSCAPE ARCHITECT: KRUM
3916 NORVAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-2665

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	APRIL 3, 2008
Revision 3:	AUGUST 13, 2004
Revision 2:	DECEMBER 18, 2003
Revision 1:	1ST SUBMITTAL JULY 11, 2003
Original Date:	JUNE 8, 2003

Sheet 47 of 53
DEP# 10046
JOB ORDER # 42-1853

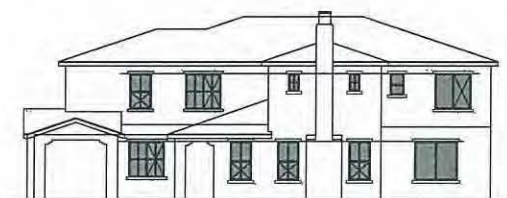


FRONT

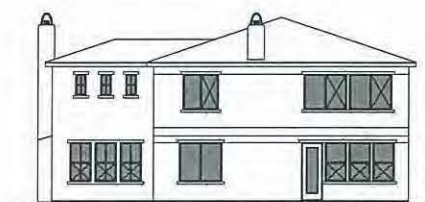
26'-2 1/2"



LEFT

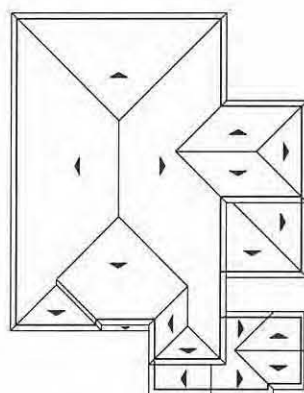


RIGHT

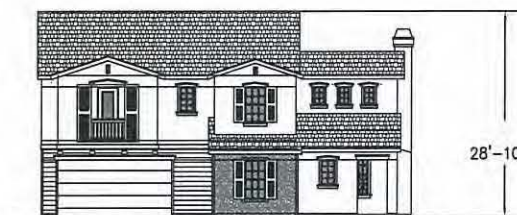


REAR

Plan 4 A
Spanish
1/8" = 1'-0"

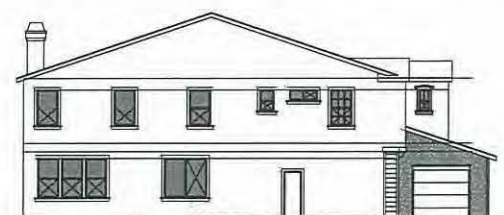


Spanish
4:12 U.N.O



FRONT

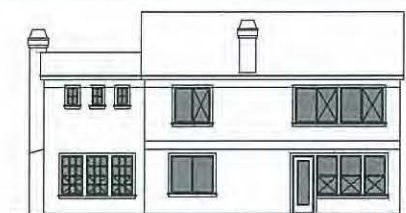
28'-10"



LEFT

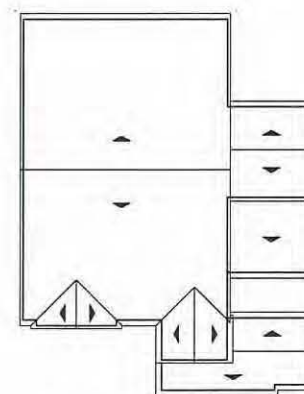


RIGHT



REAR

Plan 4 B
Traditional
1/8" = 1'-0"

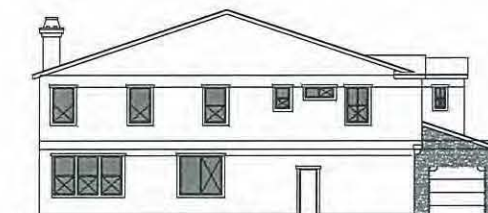


Traditional
4:12 U.N.O
Plan 4
Roof Plans
NO SCALE



FRONT

28'-10 1/2"



LEFT

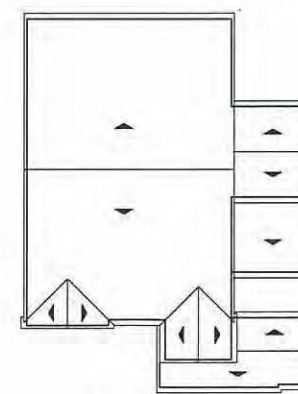


RIGHT



REAR

Plan 4 C
Tuscan
1/8" = 1'-0"



Tuscan
4:12 U.N.O

CASTLEROCK

APPLICANT: PARKER HOMES
13026 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(604)794-2500 FAX (604)794-2500

PLANNING AND CIVIL ENGINEER:
LATRICK SJ PLANNING & ENGINEERING
4833 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92133
(604) 791-0833 FAX (604) 791-0834

Prepared By:
Name: LATRICK SJ PLANNING & ENGINEERING
Address: 4833 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92133
Phone #: (604) 791-0833
Fax #: (604) 791-0834

Project Address:
EAST BOULEVARD WEST OF MEDINA DRIVE

Project Name:
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Sheet Title:
PLAN 4 60' X 100'
ROOF PLANS & ELEVATIONS

ARCHITECTS:
BASSENON LACON
3018 ORCHARD DR. SUITE 100
NEWPORT BEACH, CA 92660-0733
(949) 553-8100 FAX (949) 553-0548

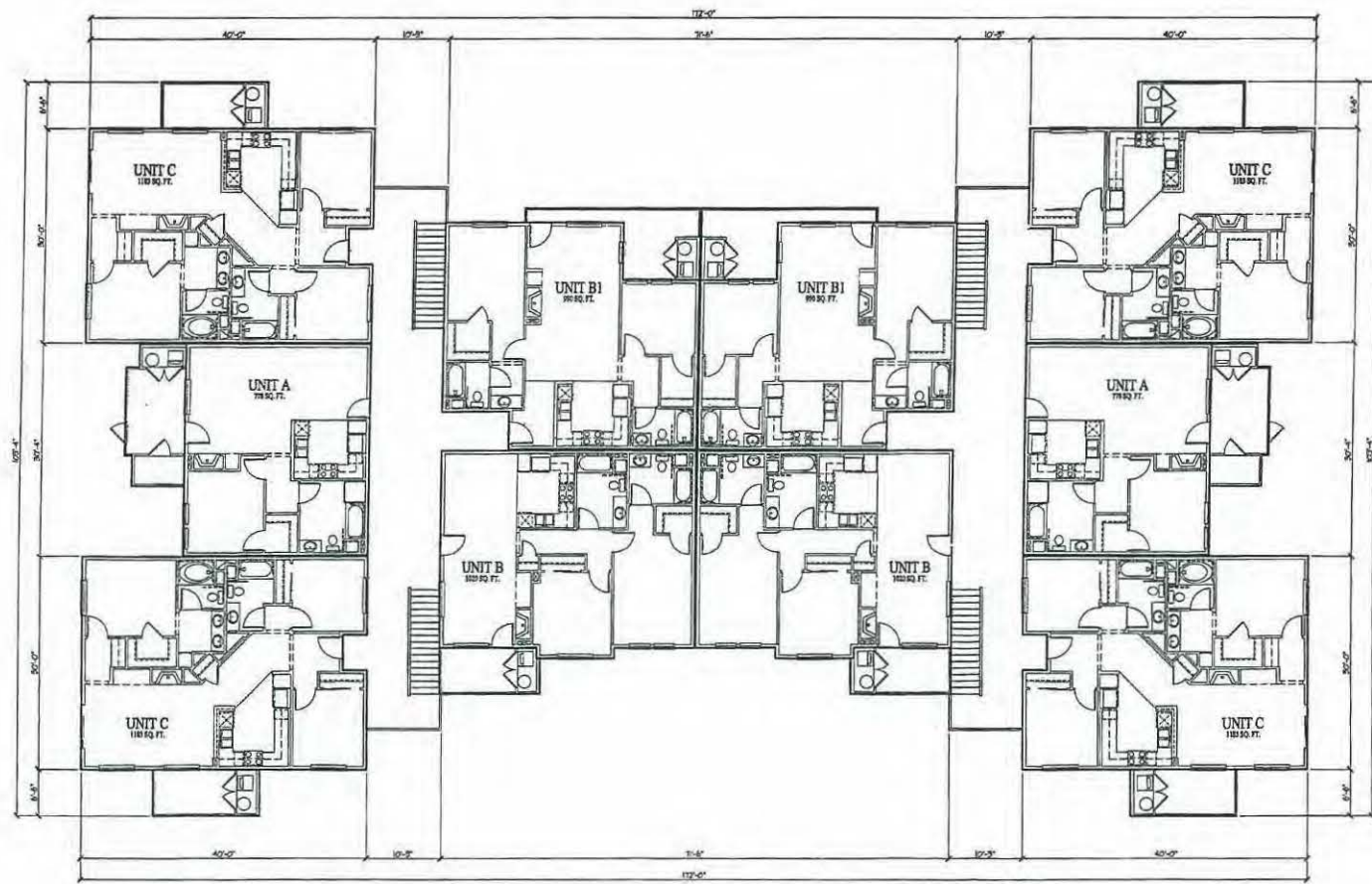
LANDSCAPE ARCHITECT: KTRBA
3916 NORVAL STREET
SAN DIEGO, CA 92103
(619) 294-4477 FAX (619) 294-9963

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	APRIL 3, 2008
Revision 3:	AUGUST 13, 2004
Revision 2:	DECEMBER 18, 2003
Revision 1:	1ST SUBMITTAL JULY 11, 2003
Original Date:	JUNE 8, 2003

Sheet 48 of 53

DEP# 10046

JOB ORDER # 42-1653



Bldg. B100 (On-Grade)
1st, 2nd & 3rd Floor Plans
 SCALE: 1/8" = 1'-0"

CASTLEROCK

APPLICANT: PAREE HOMES
 12626 HIGH BLUFF DRIVE, SUITE 100
 SAN DIEGO, CA 92130
 (619)794-2500 FAX (619)794-2599

ARCHITECT: BLOOMBERG SHARP BUSTER
 505 ANTON BLVD., SUITE 800
 COSTA MESA, CA 92626
 (714) 436-3000 FAX (714) 436-0660

PLANNING AND CIVIL ENGINEER:
 LAYTON, JJ PLANNING & ENGINEERING
 4933 PARAMOUNT DRIVE 2ND FLR.
 SAN DIEGO, CA 92123
 (619) 751-0633 FAX (619) 751-0634

LANDSCAPE ARCHITECT: KTRBA
 3916 NORMAL STREET
 SAN DIEGO, CA 92163
 (619) 294-4477 FAX (619) 294-8955

Prepared By: _____

Name: _____

Address: _____

Phone #: _____

Fax #: _____

Project Address: _____

MIST BOULEVARD WEST OF METONA DRIVE

Project Name: _____

CASTLEROCK

REZONE, SITE DEVELOPMENT PERMIT,

VESTING TENTATIVE MAP AND

PLANNED DEVELOPMENT PERMIT

Sheet Title: _____

BUILDING 100 COMPOSITE

1st, 2nd & 3rd FLOOR PLAN

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: **APRIL 3, 2006**

Revision 3: **AUGUST 11, 2004**

Revision 2: **DECEMBER 19, 2003**

Revision 1: **1ST SUBMITTAL**

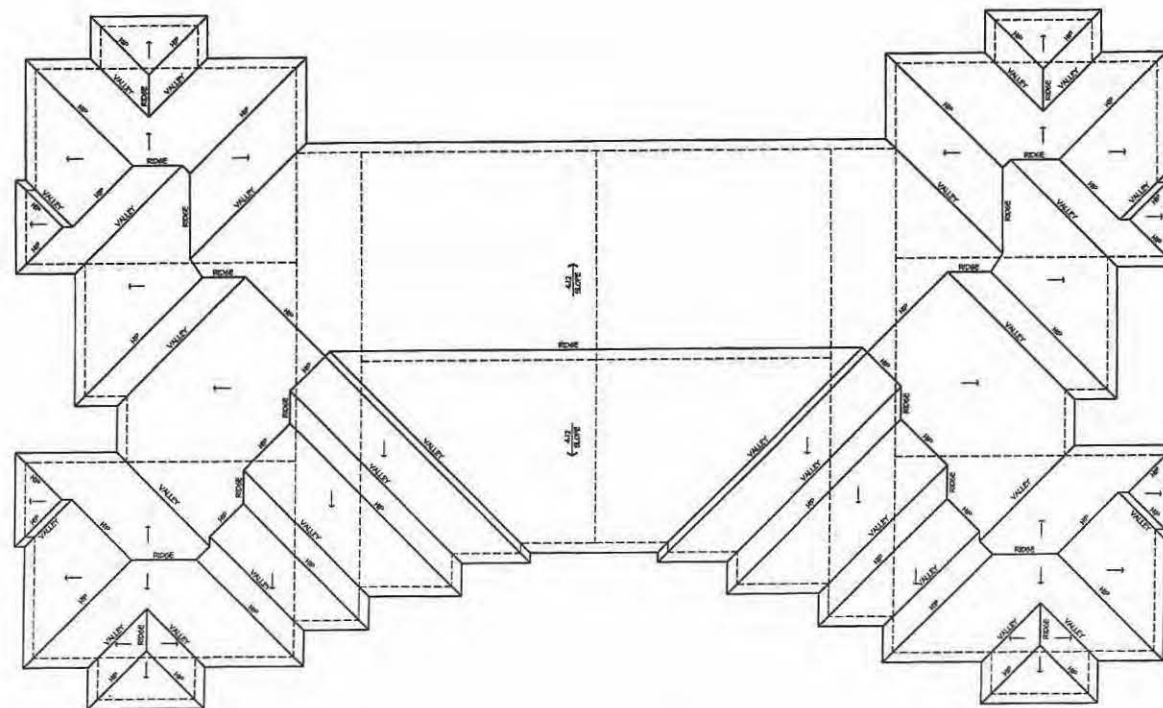
Original Date: **JULY 11, 2003**

Original Date: **APR 8, 2003**

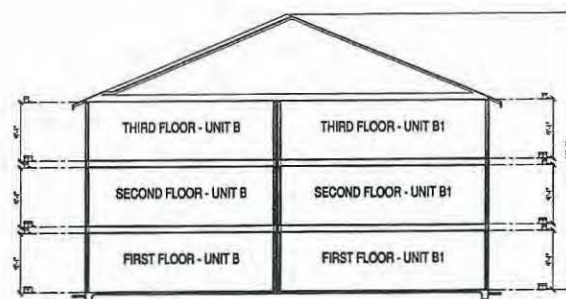
Sheet 49 of 53

DEP# 10046

JOB ORDER # 42-1653



**Building B100 (On-Grade)
Roof Plan**
SCALE: 1/8"=1'-0"



**Bldg. B100 (On-Grade)
Building Section**
SCALE: 1/8"=1'-0"

CASTLEROCK

APPLICANTS: PARKER HOMES
12625 HIGH BLUFF DRIVE, SUITE 100
SAN DIEGO, CA 92130
(619) 794-2200 FAX (619) 794-2599

ARCHITECT: BLOODGOOD SHARP BUSTER
555 ANTON BLVD., SUITE 800
COSTA MESA, CA 92626
(714) 435-2000 FAX (714) 435-0850

PLANNING AND CIVIL ENGINEER:
LANTIERE 33 PLANNING & ENGINEERING
4513 PARAMOUNT DRIVE 2ND FLR.
SAN DIEGO, CA 92123
(619) 751-0533 FAX (619) 751-0534

LANDSCAPE ARCHITECT: KTR&A
3916 NORVAL STREET
SAN DIEGO, CA 92131
(619) 294-4477 FAX (619) 294-2985

Prepared By: _____
Name: _____
Address: _____
Phone #: _____
Fax #: _____

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____

Project Name: _____
CASTLEROCK
REZONE, SITE DEVELOPMENT PERMIT,
VESTING TENTATIVE MAP AND
PLANNED DEVELOPMENT PERMIT

Revision 4: **APRIL 3, 2006**
Revision 3: **AUGUST 13, 2004**
Revision 2: **DECEMBER 16, 2003**
Revision 1: **1ST SUBMITTAL**
JULY 11, 2003

Original Date: **JUNE 8, 2003**
Sheet Title:
BUILDING 100 COMPOSITE
ROOF PLAN & SECTION

Original Date: **JUNE 8, 2003**
Sheet: **50** of **53**
DEP #: **10046**
JOB ORDER #: **42-1853**