

ActivCare at Mission Bay

San Diego, CA

ACTIVCARE LIVING



JAMES H. WHEELER
ARCHITECT, INC.
9619 Chesapeake Dr., Suite 103
San Diego, CA 92123 (619) 571-6990

OCCUPANCY CLASSIFICATION	PROJECT INFORMATION		INDEX OF DRAWINGS																									
<p>THE PROJECT, AS CONSTRUCTED, WILL BE CLASSIFIED AS AN R-2.1 OCCUPANCY, BUT SHALL MEET ALL THE REQUIREMENTS OF AN I-3 (CONDITION 2) OCCUPANCY SO THAT RESTRAINT (SECURED PERIMETER EXITS) CAN BE PROVIDED, PER CALIFORNIA BUILDING CODE SECTION 425.2.1</p> <p>THE FOLLOWING IS A PARTIAL LIST OF CODE ITEMS FOR WHICH THE CONSTRUCTED BUILDING WILL, AS DESIGNED, COMPLY WITH THE REQUIREMENTS FOR AN I-3 OCCUPANCY:</p> <ol style="list-style-type: none"> 1. BUILDING SHALL COMPLY WITH ALL RELEVANT PORTIONS OF SECTION 408 AS RELATING TO I-3 OCCUPANCIES, SPECIFICALLY: <ol style="list-style-type: none"> a. BUILDING SHALL HAVE AN APPROVED MANUAL AND AUTOMATIC FIRE ALARM PER SECTION 408.10, FIRE ALARM PLANS TO BE APPROVED BY THE SAN DIEGO FIRE DEPARTMENT. b. BUILDING SHALL HAVE AN AUTOMATIC SPRINKLER SYSTEM, PER NFPA 13, 2010 EDITION, PLANS TO BE APPROVED BY THE SAN DIEGO FIRE DEPARTMENT c. LOCKS, EGRESS DOORS ARE PERMITTED TO BE LOCKED IN ACCORDANCE WITH SECTION 408.4 2. PER SECTION 408.1.2, THIS OCCUPANCY MAY BE HOUSED IN ONE STORY BUILDINGS OF TYPE VA CONSTRUCTION, PROVIDED FLOOR AREA DOES NOT EXCEED 5,200 SQ. FT. BETWEEN FIRE WALLS OF TWO-HOUR CONSTRUCTION WITH OPENINGS PROTECTED BY FIRE ASSEMBLIES HAVING A 1-1/2 HOUR FIRE PROTECTION. 3. RESIDENTS IN THIS BUILDING WILL HAVE 24 HOUR CONTINUOUS SUPERVISION 	<p>PROJECT DESCRIPTION</p> <p>DEMOLITION OF EXISTING ONE STORY STRUCTURE AND CONSTRUCTION OF NEW 40 BED LICENSED RESIDENTIAL CARE FACILITY FOR THE ELDERLY, PROVIDING ASSISTED LIVING SERVICES SPECIALIZING IN MEMORY CARE, ALONG WITH REQUIRED SITE IMPROVEMENTS AND LANDSCAPING</p> <p>FACILITY SHALL BE LICENSED BY THE STATE OF CALIFORNIA DEPARTMENT OF SOCIAL SERVICES FOR A MAXIMUM OF 40 RESIDENTS</p> <p>SITE ADDRESS</p> <p>2440 GRAND AVENUE SAN DIEGO, CA 92109</p> <p>ASSESSOR'S PARCEL NO.</p> <p>424-090-02</p> <p>LEGAL DESCRIPTION</p> <p>LOTS 4 TO 8 INCLUSIVE, LOTS 17 TO 19 INCLUSIVE, AND PORTIONS OF LOTS 5 AND 20 IN BLOCK 3 OF MISSION BAY TRACT, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1120, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY</p> <p>JURISDICTION HAVING AUTHORITY</p> <p>CITY OF SAN DIEGO</p> <p>PROJECT IS WITHIN THE SAN DIEGO UNIFIED SCHOOL DISTRICT</p> <p>WATER AND SEWER SERVICE BY CITY OF SAN DIEGO</p> <p>REQUIRED DISCRETIONARY PERMITS/APPROVALS</p> <ul style="list-style-type: none"> • CONDITIONAL USE PERMIT (C.U.P.) • COASTAL DEVELOPMENT PERMIT (C.D.P.) • PLANNED DEVELOPMENT PERMIT (P.D.P.) 	<p>GOVERNING CODES</p> <p>THESE DOCUMENTS AND THIS PROJECT SHALL CONFORM WITH THE FOLLOWING CODES:</p> <p>CALIFORNIA BUILDING CODE, 2010 EDITION CALIFORNIA GREEN BUILDING STANDARDS CODE, 2010 EDITION CALIFORNIA PLUMBING CODE, 2010 EDITION CALIFORNIA MECHANICAL CODE, 2010 EDITION CALIFORNIA ELECTRIC CODE, 2010 EDITION CALIFORNIA FIRE CODE, 2010 EDITION 2010 TITLE 24 ENERGY EFFICIENCY STANDARDS</p> <p>BUILDING TO BE DEMOLISHED</p> <p>AREA: 3,082 s.f. YEAR BUILT: 1959</p> <p>PROPOSED DEVELOPMENT REGULATION DEVIATIONS</p> <ul style="list-style-type: none"> • SETBACKS REQUIRED PER RS-1-T: <ul style="list-style-type: none"> -FRONT: 15 ft. -SIDE (STREET): 18.70 ft. (.10 x Lot Width) -SIDE (INTERIOR): 14.95 ft. (.08 x Lot Width) -REAR: 13 ft. • SETBACKS PROVIDED: <ul style="list-style-type: none"> -FRONT: 10 ft. -SIDE (STREET): 10 ft. -SIDE (INTERIOR): 10 ft. -REAR: 50 ft. <p>FACILITY EMPLOYEE INFORMATION</p> <p>THE TOTAL NUMBER OF EMPLOYEES IS ESTIMATED TO BE 35, WITH AN ESTIMATED MAXIMUM OF 18 ON ANY SHIFT. THE ACTUAL NUMBER OF EMPLOYEES WILL VARY BASED ON LICENSING REQUIREMENTS, OCCUPANCY AND SPECIALIZED SERVICES</p>	<p>ARCHITECTURAL</p> <p>TS TITLE SHEET, PROJECT INFORMATION</p> <p>A-1 SITE PLAN A-2 BUILDING FLOOR PLAN A-3 ROOF PLAN A-4 SITE SECTIONS A-5 BUILDING ELEVATIONS</p> <p>C-1 EXISTING CONDITIONS PLAN C-2 SCHEMATIC GRADING PLAN C-3 SCHEMATIC UTILITY PLAN</p> <p>L-1 LANDSCAPE CONCEPT PLAN L-2 LANDSCAPE CONCEPT PLAN/CALCULATIONS</p>																									
<p>FIRE DEPARTMENT NOTES</p> <ol style="list-style-type: none"> 1. BUILDING SHALL BE PROVIDED WITH TWO KNOX APPLIANCES. <ul style="list-style-type: none"> -PROVIDE A KNOX VAULT AT THE MAIN ENTRANCE TO THE BUILDING -PROVIDE A KNOX BOX AT THE FIRE CONTROL ROOM 2. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.4) 3. THE PROJECT SHALL BE PROTECTED THROUGHOUT BY AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, PER NFPA 13, 2010 EDITION. 4. COMMERCIAL COOKING EQUIPMENT THAT PRODUCES GREASE LADEN VAPORS SHALL BE PROVIDED WITH A TYPE I HOOD AND AN AUTOMATIC FIRE EXTINGUISHER SYSTEM THAT IS LISTED AND LABELED FOR ITS INTENDED USE 5. THIS PROJECT IS TO BE PROTECTED THROUGHOUT BY AN APPROVED FIRE ALARM SYSTEM (AUTOMATIC, MANUAL, FIRE FLOW MONITORING) 6. PROVIDE ONE FIRE EXTINGUISHER FOR EVERY 3,000 SQUARE FEET AND 15 FEET OF TRAVEL IN ANY DIRECTION 	<p>BUILDING DATA</p> <p>OCCUPANCY GROUPS: R-2.1 (NON-AMBULATORY), A-2, B *NOTE* SEE OCCUPANCY CLASSIFICATION SECTION AT LEFT FOR ADDITIONAL DETAILS</p> <p>CONSTRUCTION TYPE: V-A</p> <p>SPRINKLERED: YES, SEE FIRE DEPARTMENT NOTES</p> <p>NO. STORIES: ONE</p> <p>BUILDING AREA: 24,850 s.f.</p> <p>FLOOR AREA RATIO: BLDG. AREA / SITE AREA 24,850 s.f. / 53,143 s.f. = 0.468</p> <p>MAX. BLDG. HT. (Allowed): 30 ft.</p> <p>MAX. RIDGE HT. (Actual): 25 ft.</p> <p>TYP. RIDGE HT: 18 ft.</p> <p>ALLOWABLE BUILDING AREA/MIXED AREA CALCULATION:</p> <table border="1"> <thead> <tr> <th>Occupancy Group</th> <th>Allowable Area</th> <th>300% Allowable Sprinkler Increase</th> <th>Actual Bldg. Area</th> <th>Ratio Actual Area/Allowable</th> </tr> </thead> <tbody> <tr> <td>R2.1</td> <td>10,500 s.f.</td> <td>31,500 s.f.</td> <td>17,500 s.f.</td> <td>0.56</td> </tr> <tr> <td>A-2</td> <td>11,500 s.f.</td> <td>34,500 s.f.</td> <td>3,350 s.f.</td> <td>0.10</td> </tr> <tr> <td>B</td> <td>18,000 s.f.</td> <td>54,000 s.f.</td> <td>4,000 s.f.</td> <td>0.07</td> </tr> <tr> <td>Totals</td> <td>40,000 s.f.</td> <td>120,000 s.f.</td> <td>24,850 s.f.</td> <td>0.13</td> </tr> </tbody> </table>	Occupancy Group	Allowable Area	300% Allowable Sprinkler Increase	Actual Bldg. Area	Ratio Actual Area/Allowable	R2.1	10,500 s.f.	31,500 s.f.	17,500 s.f.	0.56	A-2	11,500 s.f.	34,500 s.f.	3,350 s.f.	0.10	B	18,000 s.f.	54,000 s.f.	4,000 s.f.	0.07	Totals	40,000 s.f.	120,000 s.f.	24,850 s.f.	0.13	<p>SITE DATA</p> <p>SITE AREA (Gross/Net) 1.22 Acres (53,143 s.f.)</p> <p>LANDSCAPE AREA</p> <p>-CURRENT: 12,060 s.f. -PROPOSED: 14,100 s.f.</p> <p>ZONE</p> <p>RS-1-T (1 SFR/5,000 s.f.)</p> <p>OVERLAY ZONES</p> <ul style="list-style-type: none"> • COASTAL ZONE • COASTAL HEIGHT LIMIT <p>PARKING REQUIREMENTS</p> <p>CALCULATION (Per S.D. MUN. CODE 141.0312(i)): ASSISTED LIVING OR MEMORY CARE ONE SPACE REQUIRED PER 3 BEDS 60 BEDS/3= 20 SPACES</p> <p>TOTAL SPACES REQUIRED: 20</p> <p>TOTAL SPACES PROVIDED: 21</p> <p>ITEMS TO BE PERMITTED SEPARATELY</p> <p>SEE CIVIL AND LANDSCAPE PLANS FOR ADDITIONAL INFORMATION</p>	<p>PROJECT DIRECTORY</p> <p>OWNER MAJOR GRAND DEVELOPMENT 9619 CHESAPEAKE DRIVE, SUITE 103 SAN DIEGO, CA 92123 Ph: (658)565-4424 Fax: (658)565-1508 Contact Person: KEVIN MORIARTY</p> <p>LANDSCAPE ARCHITECT PARTERRE 122 HAYES AVENUE SAN DIEGO, CA 92103 Ph: (619)296-3713 Fax: (619)296-3702 Contact Person: PAT O'CONNOR</p> <p>ARCHITECT JAMES H. WHEELER ARCHITECT, INC. 9619 CHESAPEAKE DRIVE, SUITE 103 SAN DIEGO, CA 92123 Ph: (658)571-6190 Fax: (658)565-1508</p> <p>SOILS / GEOTECHNICAL ENGINEER CHRISTIAN WHEELER ENGINEERING 3950 HOME AVENUE SAN DIEGO, CA 92105 Ph: (619)550-1700 Fax: (619)550-1701 Contact Person: CHRIS CHRISTIAN</p> <p>CIVIL ENGINEER NASLAND ENGINEERING 4740 RUFFNER STREET SAN DIEGO, CA 92111 Ph: (658)292-7770 Fax: (658)571-3241 Contact Person: GREG KUMP / DAVID BAUGH</p> <p>PLANNING CONSULTANT MARK J. LINMAN LAND USE AND DEVELOPMENT CONSULTING 1816 COLLING HILLS DRIVE EL CAJON, CA 92020 Ph: (619)997-8288 Fax: (619)579-2288</p>
Occupancy Group	Allowable Area	300% Allowable Sprinkler Increase	Actual Bldg. Area	Ratio Actual Area/Allowable																								
R2.1	10,500 s.f.	31,500 s.f.	17,500 s.f.	0.56																								
A-2	11,500 s.f.	34,500 s.f.	3,350 s.f.	0.10																								
B	18,000 s.f.	54,000 s.f.	4,000 s.f.	0.07																								
Totals	40,000 s.f.	120,000 s.f.	24,850 s.f.	0.13																								
			<p>VICINITY MAP</p> <p>DATE: 2/4/2018 PROJECT NO: DRAWN BY: JIM SCALE: SEE PLAN DRAWING NO: TS</p>																									

TITLE SHEET
 ActivCare at Mission Bay
 ACTIVCARE LIVING, INC

JAMES H. WHEELER ARCHITECT, INC. EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT OF JAMES H. WHEELER ARCHITECT.

DRAWING STATUS

PRELIMINARY DRAWINGS
 DESIGN DEVELOPMENT DRAWINGS
 CHECK SET
 PROGRESS DRAWINGS
 PLAN CHECK DRAWINGS
 BID SET DRAWINGS
 CONSTRUCTION DOCUMENTS
 OTHER

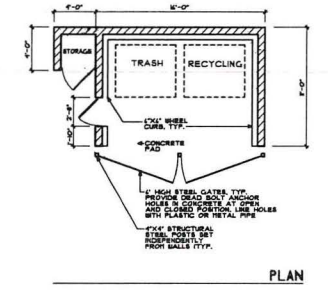
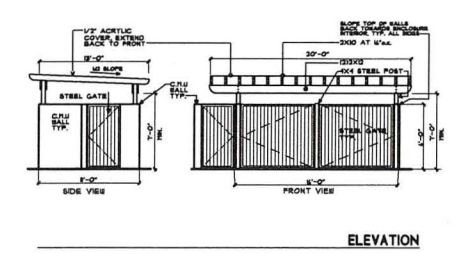
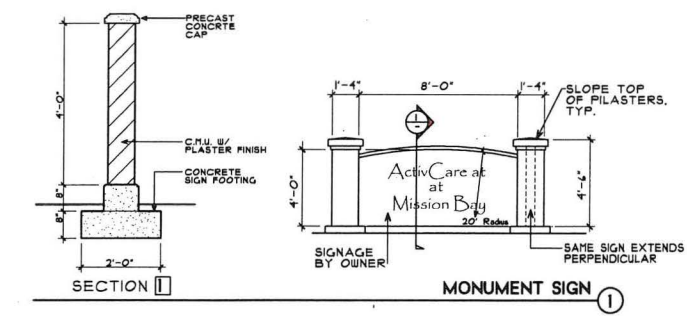
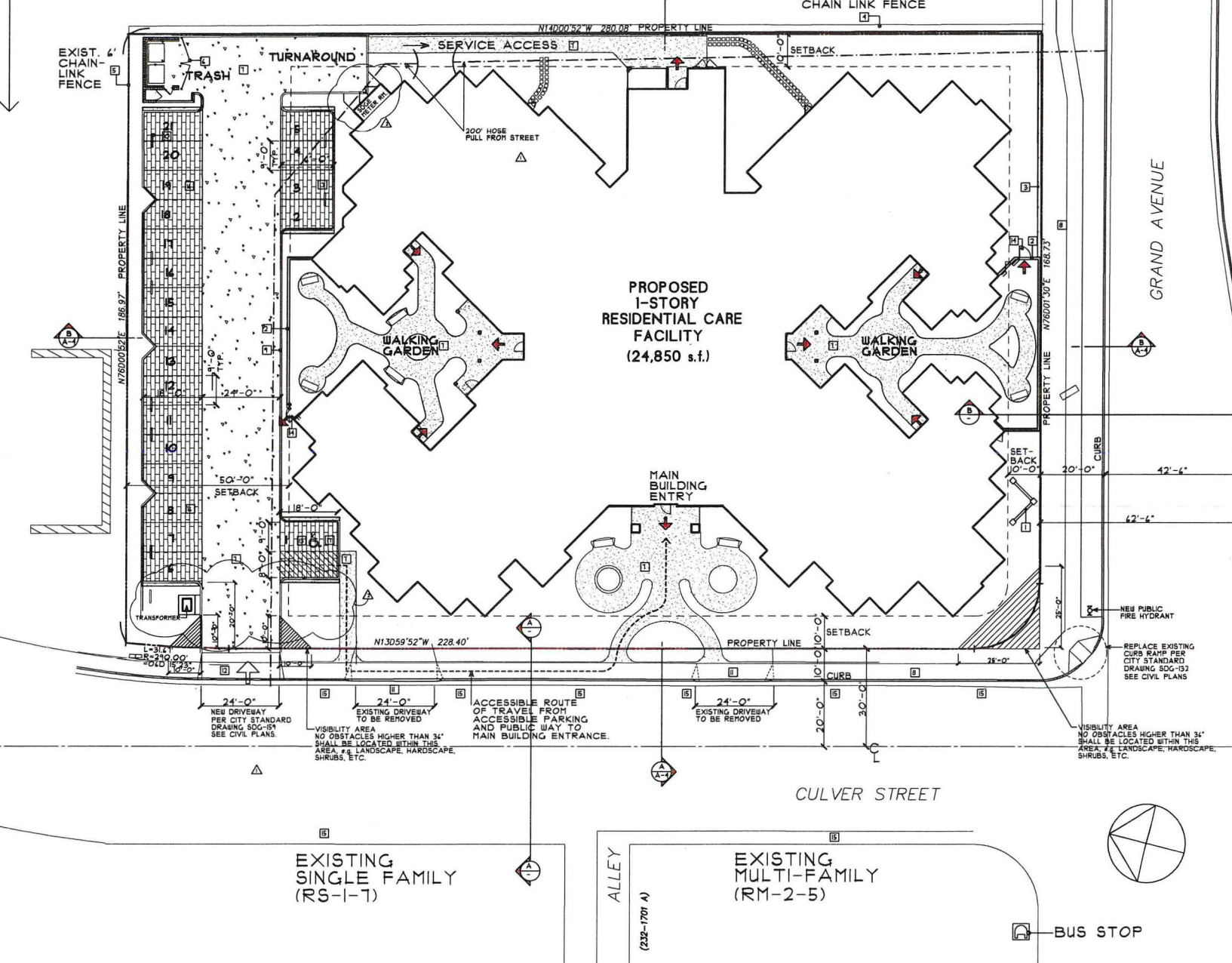
REVISION 1: CITY REVIEW REVISIONS 1/27/2012
REVISION 2: CITY REVIEW REVISIONS 2/1/2018
REVISION 3:
REVISION 4:
REVISION 5:
REVISION 6:



DATE: 2/4/2018
PROJECT NO:
DRAWN BY: JIM
SCALE: SEE PLAN
DRAWING NO: TS

BAYVIEW TERRACE ELEMENTARY SCHOOL

PLAYGROUND

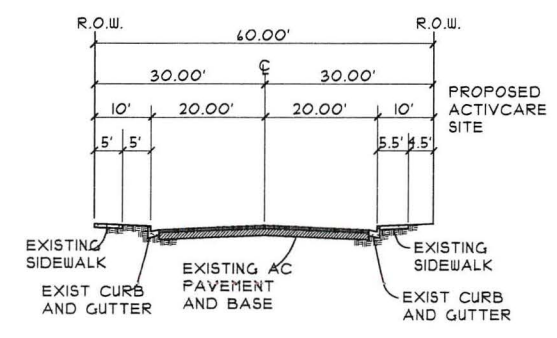
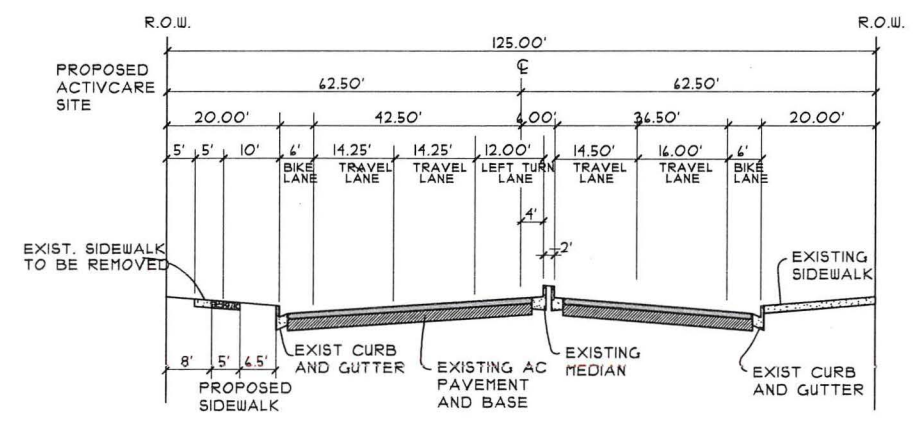


SITE NOTES

- FOR ALL EXISTING AND PROPOSED UTILITY SIZES AND LOCATIONS, SEE CIVIL ENGINEERING PLANS.
- FOR ALL EXISTING AND PROPOSED EASEMENTS, SEE CIVIL ENGINEERING PLANS.
- THERE ARE NO EXISTING FIRE HYDRANTS ON SITE. ONE NEW ON-SITE HYDRANT IS PROPOSED (SEE SITE PLAN). THERE ARE ALSO 4 EXISTING HYDRANTS OFF-SITE WITHIN 300 FEET OF THE PROPERTY IN VARIOUS DIRECTIONS. SEE UTILITY PLANS FOR LOCATIONS.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY F-00-4 (UFC 901.4.1)
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.

KEYNOTES

- MONUMENT SIGN. SEE DETAIL THIS SHEET.
- 4' HIGH MASONRY FENCE, STUCCO TO MATCH BUILDING
- BROUGHT IRON FENCE. COLOR: BLACK
- EXISTING 10' CHAIN LINK FENCE TO REMAIN
- EXISTING 4' CHAIN LINK FENCE TO REMAIN
- TRASH ENCLOSURE PER DETAIL 2 THIS SHEET
- CONCRETE FLATWORK, BROOM FINISH
- EXISTING CONCRETE SIDEWALK IN PUBLIC WAY
- 4" CONCRETE CURB, TYP. U.O.N.
- CONCRETE WHEEL STOP, TYPICAL
- EXISTING DRIVEWAY TO BE REMOVED
- NEW CONCRETE DRIVEWAY
- ACCESSIBLE PARKING SPACE
- 34" WIDE EMERGENCY ACCESS GATE
- PUBLIC STREET PARKING AVAILABLE
- PERVIOUS PAVERS PER CIVIL PLANS
- IMPERVIOUS PAVERS PER CIVIL PLANS



GRAND AVE

CULVER ST

SECTION B-B

SECTION A-A

JAMES H. WHEELER ARCHITECT, INC.
9519 Chesapeake Dr., Suite 103
San Diego, CA 92123 (650) 571-0900

SITE PLAN
ActivCare at Mission Bay
ACTIVCARE LIVING, INC

JAMES H. WHEELER ARCHITECT, INC. EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT OF JAMES H. WHEELER ARCHITECT.

DRAWING STATUS:
 PRELIMINARY DRAWINGS
 DESIGN DEVELOPMENT DRAWINGS
 CHECK SET
 PROGRESS DRAWINGS
 PLAN CHECK DRAWINGS
 BID SET DRAWINGS
 CONSTRUCTION DOCUMENTS
 OTHER

REVISION 1 CITY REVIEW REVISIONS 11/2/2012
 REVISION 2 CITY REVIEW REVISIONS 2/14/2013
 REVISION 3
 REVISION 4
 REVISION 5
 REVISION 6



DATE 2/4/2013
 PROJECT NO.
 DRAWN BY
 SCALE SEE PLAN
 DRAWING NO.

SITE PLAN

1/20"=1'-0"



A-1

JAMES H. WHEELER ARCHITECT, INC.
 9619 Chesapeake Dr., Suite 103
 San Diego, CA 92123 (619) 574-6970

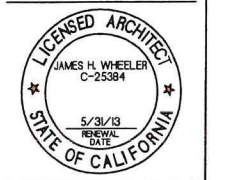
BUILDING FLOOR PLAN
ActivCare at Mission Bay
 ACTIVCARE LIVING, INC

JAMES H. WHEELER ARCHITECT, INC. EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT OF JAMES H. WHEELER ARCHITECT.

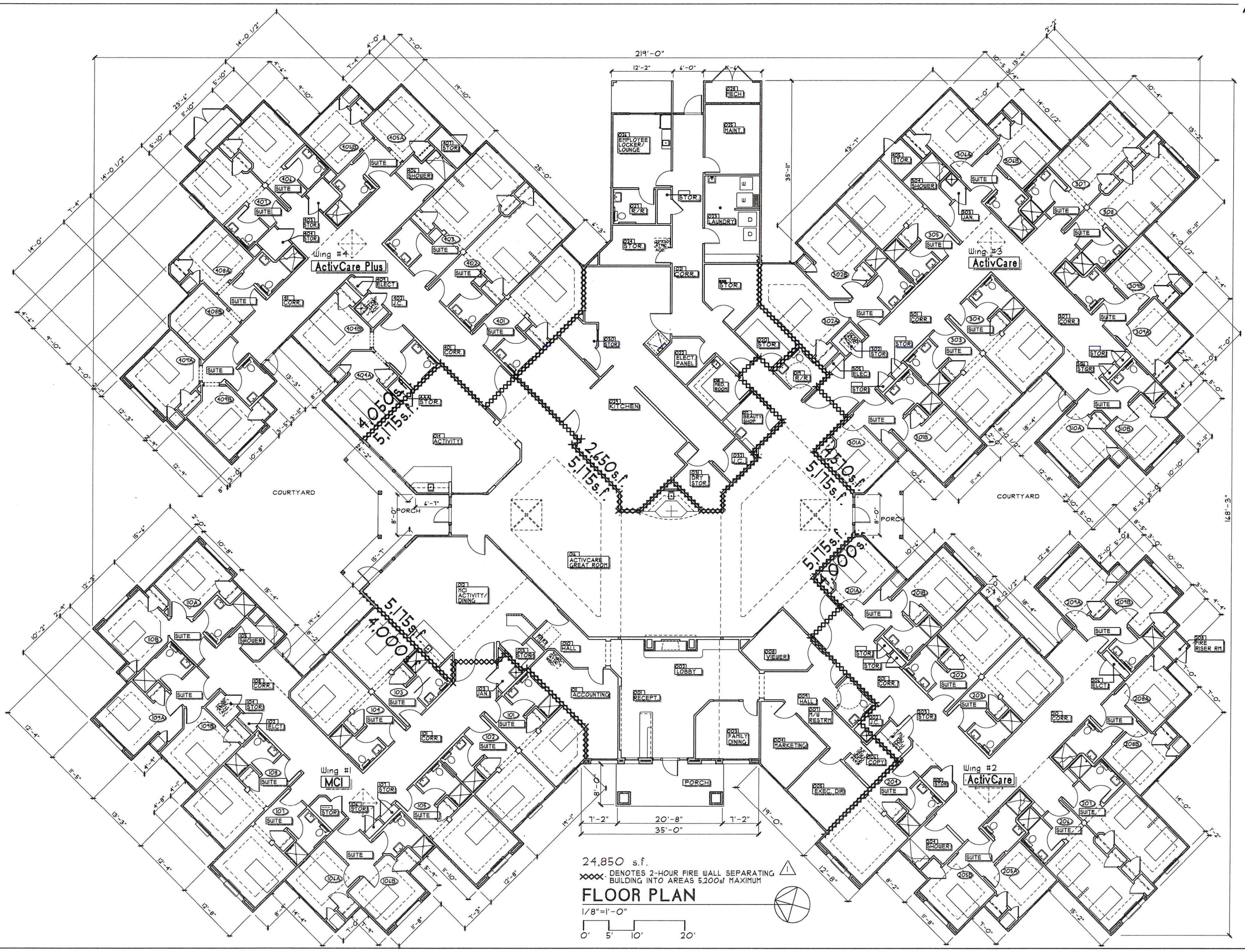
- DRAWING STATUS
- PRELIMINARY DRAWINGS
 - DESIGN DEVELOPMENT DRAWINGS
 - CHECK SET
 - PROGRESS DRAWINGS
 - PLAN CHECK DRAWINGS
 - BID SET DRAWINGS
 - CONSTRUCTION DOCUMENTS
 - OTHER

REVISION

REVISION 1	CITY REVIEW	REVISIONS 1/2/2013
REVISION 2	CITY REVIEW	REVISIONS 2/4/2013
REVISION 3		
REVISION 4		
REVISION 5		
REVISION 6		



DATE: 2/4/2013
 PROJECT NO:
 DRAWN BY: JIM
 SCALE: SEE PLAN
 DRAWING NO:



24,850 s.f.
 DENOTES 2-HOUR FIRE WALL SEPARATING BUILDING INTO AREAS 5,200sf MAXIMUM

FLOOR PLAN

1/8" = 1'-0"
 0' 5' 10' 20'

JAMES H. WHEELER ARCHITECT, INC.
 9419 Chesapeake Dr., Suite 103
 San Diego, CA 92123 (619) 571-6900

ROOF PLAN
ActivCare at Mission Bay
 ACTIVCARE LIVING, INC

JAMES H. WHEELER ARCHITECT, INC. EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT THE WRITTEN CONSENT OF JAMES H. WHEELER ARCHITECT.

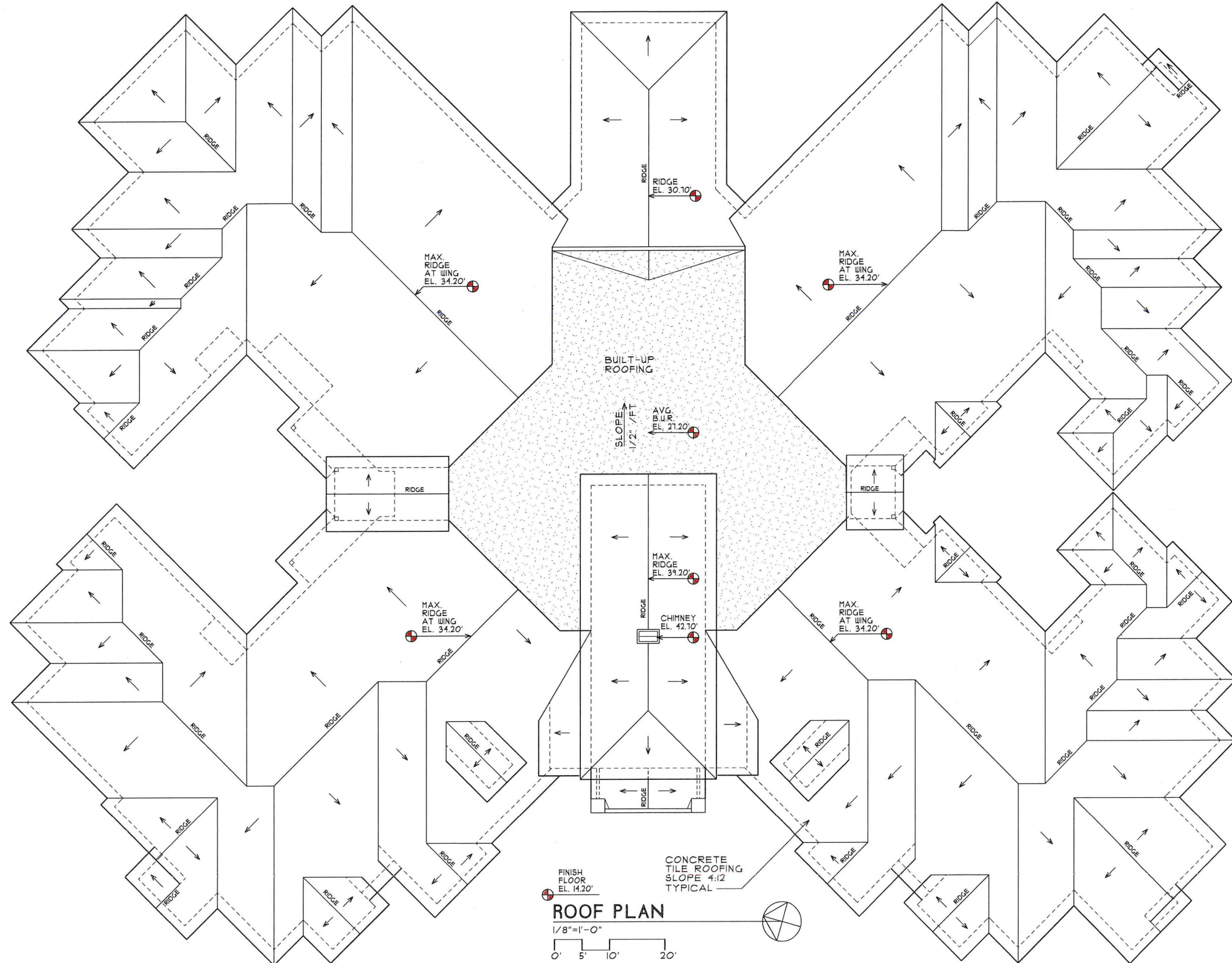
- DRAWING STATUS
- PRELIMINARY DRAWINGS
 - DESIGN DEVELOPMENT DRAWINGS
 - CHECK SET
 - PROGRESS DRAWINGS
 - PLAN CHECK DRAWINGS
 - BID SET DRAWINGS
 - CONSTRUCTION DOCUMENTS
 - OTHER

REVISION 1	CITY REVIEW REVISIONS 11/2/2012
REVISION 2	CITY REVIEW REVISIONS 2/4/2013
REVISION 3	
REVISION 4	
REVISION 5	
REVISION 6	

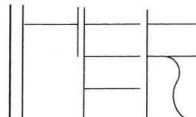


DATE: 2/4/2013
 PROJECT NO:
 DRAWN BY: JIM
 SCALE: SEE PLAN
 DRAWING NO:

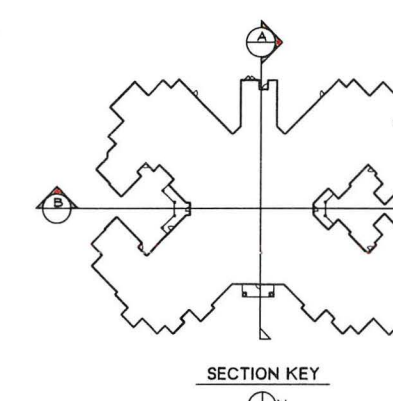
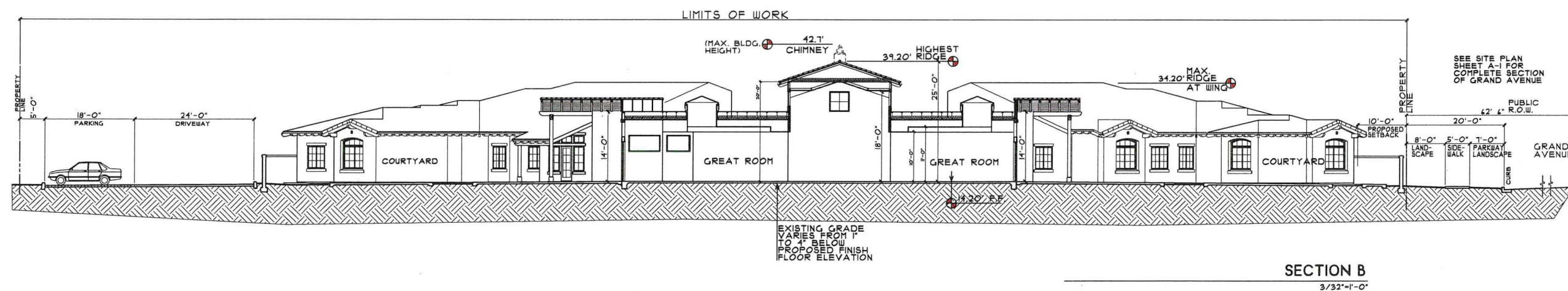
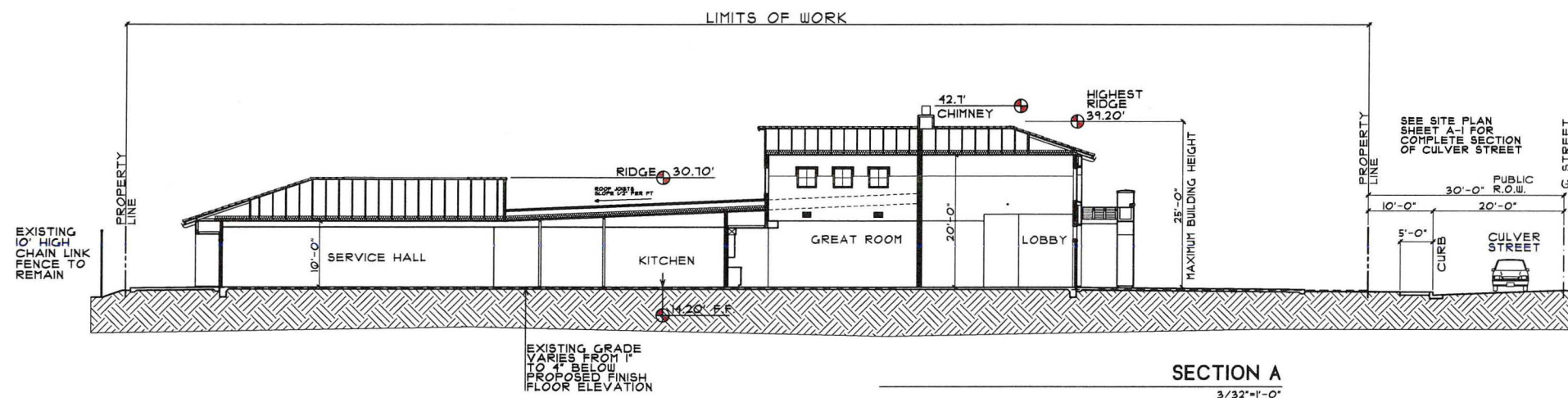
A-3



ROOF PLAN
 1/8" = 1'-0"
 0' 5' 10' 20'



JAMES H. WHEELER
ARCHITECT, INC.
9419 Chesapeake Dr., Suite 103
San Diego, CA 92123 (619) 571-6900



SITE SECTIONS

ActivCare at Mission Bay
ACTIVCARE LIVING, INC

SEE SITE PLAN SHEET A-1 FOR COMPLETE SECTION OF GRAND AVENUE

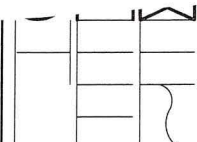
DRAWING STATUS:
 PRELIMINARY DRAWINGS
 DESIGN DEVELOPMENT DRAWINGS
 CHECK SET
 PROGRESS DRAWINGS
 PLAN CHECK DRAWINGS
 BID SET DRAWINGS
 CONSTRUCTION DOCUMENTS
 OTHER

REVISION 1 CITY REVIEW REVISIONS 11/2/2012
 REVISION 2
 REVISION 3
 REVISION 4
 REVISION 5
 REVISION 6



DATE 11/2/2012
 PROJECT NO.
 DRAWN BY
 SCALE SEE PLAN
 DRAWING NO.

A-4



JAMES H. WHEELER ARCHITECT, INC.
 9619 Chesapeake Dr., Suite 103
 San Diego, CA 92123 (619) 571-0900

BUILDING ELEVATIONS
ActivCare at Mission Bay
 ACTIVCARE LIVING, INC

JAMES H. WHEELER ARCHITECT, INC. EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPRIETARY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, OWNED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT THE WRITTEN CONSENT OF JAMES H. WHEELER ARCHITECT.

- DRAWING STATUS**
- PRELIMINARY DRAWINGS
 - DESIGN DEVELOPMENT DRAWINGS
 - CHECK SET
 - PROGRESS DRAWINGS
 - PLAN CHECK DRAWINGS
 - BID SET DRAWINGS
 - CONSTRUCTION DOCUMENTS
 - OTHER

REVISION

1	CITY REVIEW REVISIONS 11/2/2012
2	
3	
4	
5	
6	



DATE: 11/2/2012
 PROJECT NO:
 DRAWN BY: JWJ
 SCALE: SEE PLAN
 DRAWING NO:



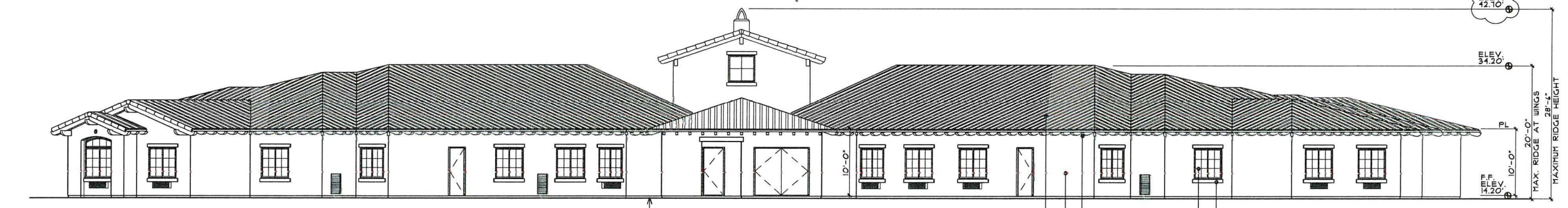
West (at Culver) Elevation "A"
 SINGLE STORY 1/8"=1'-0"



South (at Grand Ave.) Elevation "B"
 SINGLE STORY 1/8"=1'-0"



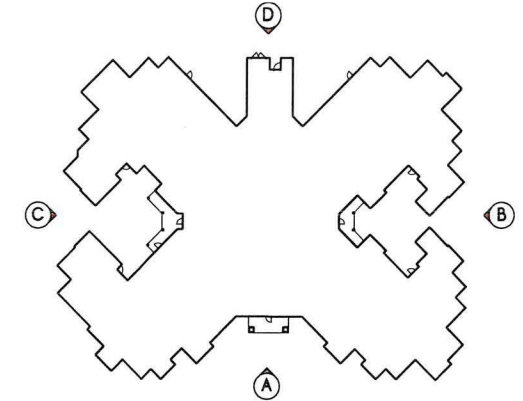
North (parking lot) Elevation "C"
 SINGLE STORY 1/8"=1'-0"



East (rear) Elevation "D"
 SINGLE STORY 1/8"=1'-0"

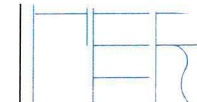
KEYNOTES

- 1 CONCRETE ROOF TILE MISSION 'S' STYLE COLOR: TERRA COTTA
- 2 EXTERIOR PLASTER COLOR: LIGHT TAN
- 3 EXPOSED WOOD, STAINED COLOR: MEDIUM BROWN
- 4 VINYL WINDOWS
- 5 2X PLASTER WRAPPED FOAM TRIM
- 6 PRECAST CONCRETE TRIM
- 7 DECORATIVE WROUGHT IRON COLOR: BLACK
- 8 DECORATIVE CLAY TRIM



ELEVATION KEY

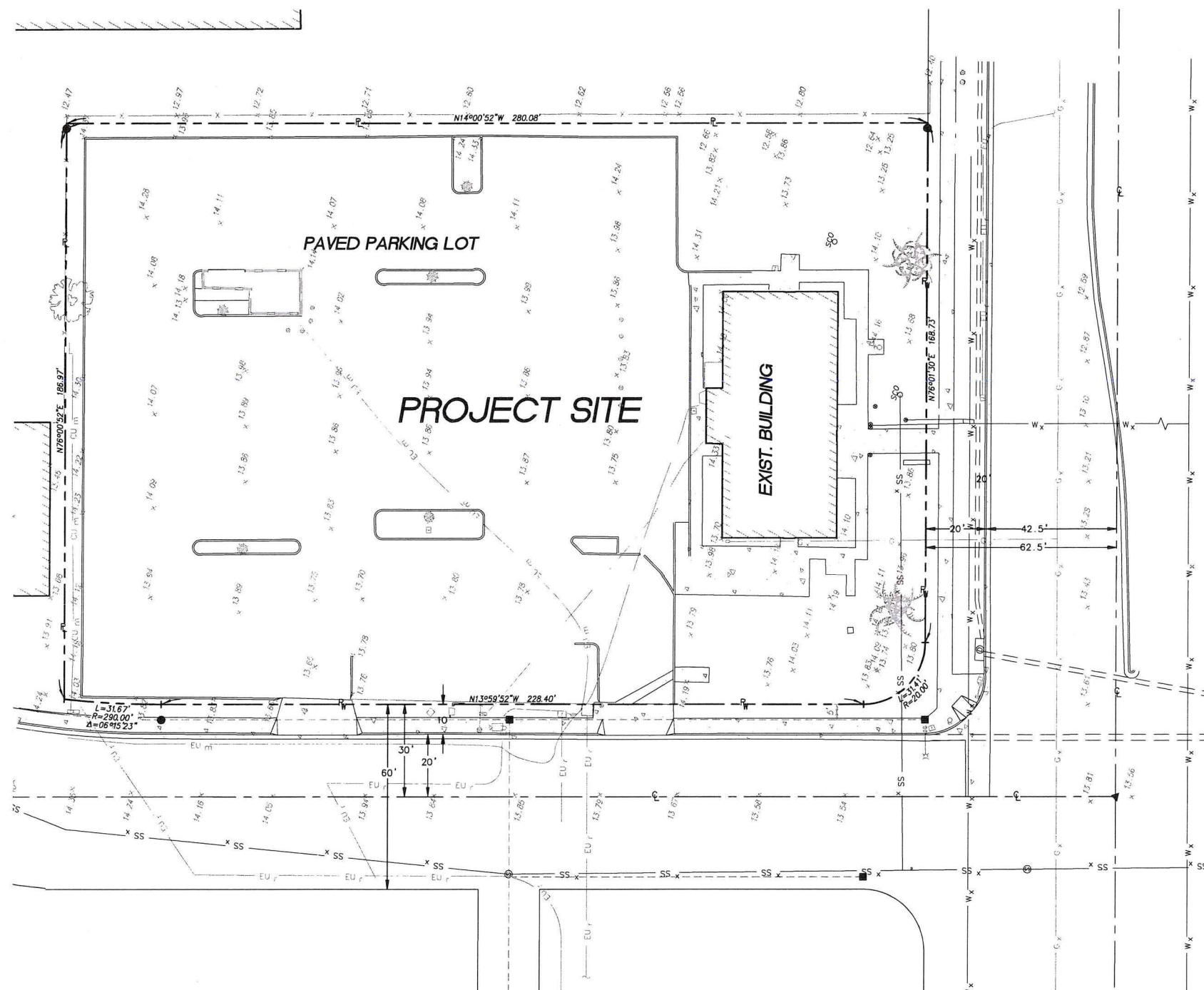




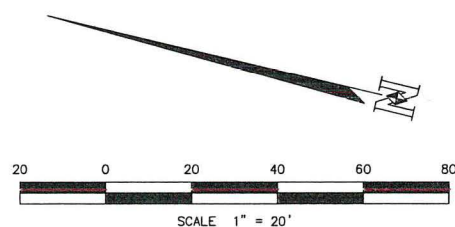
JAMES H. WHEELER
ARCHITECT, INC.
9819 Chesapeake Dr., Suite 103
(655) 571-6190 San Diego, CA
92123

ActivCare at Mission Bay EXISTING CONDITIONS PLAN

HEALTH CARE GROUP



EXISTING CONDITIONS PLAN
SCALE 1" = 20'



LEGEND

- ////// BUILDING LINE
- CATV CABLE TELEVISION
- CPBX COMMUNICATIONS PULL BOX
- CU_m COMMUNICATIONS LINE UNDERGROUND - MARK OUT
- CU_r COMMUNICATIONS LINE UNDERGROUND - RECORD
- CONCRETE PAVING
- CROSS WALK SIGNAL
- EU_m ELECTRIC LINE UNDERGROUND - MARK OUT
- EU_r ELECTRIC LINE UNDERGROUND - RECORD
- EPB ELECTRIC PULL BOX
- EIP ELECTRIC TRANSFORMER PAD
- FENCE LINE - CHAIN LINK
- FF FINISH FLOOR
- FS FINISH SURFACE
- FLAG
- FL FLOWLINE
- FLOWLINE DIRECTION
- FOUND MONUMENT AS NOTED
- GAS LINE (RECORD)
- GUARD POST
- LIGHT STANDARD W/ #3' CONCRETE BASE
- POWER POLE
- POWER POLE ANCHOR
- PROPERTY LINE
- SS SEWER LINE
- SCW SEWER CLEANOUT
- SM SEWER MANHOLE
- SIGN AS NOTED
- SIGN: "HANDICAPPED PARKING"
- SIGN: "NO PARKING"
- SDM STORM DRAIN MANHOLE
- TC TOP OF CURB
- TRAFFIC SIGNAL
- TREE - UNKNOWN
- TREE - PALM
- W WATER LINE
- WM WATER METER
- WV WATER VALVE

LEGAL DESCRIPTION

LOTS 6 TO 8 INCLUSIVE, LOTS 17 TO 19 INCLUSIVE, AND PORTIONS OF LOTS 5 AND 20 IN BLOCK 3 OF MISSION BAY PARK TRACT, IN THE CITY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1120, FILED IN THE OFFICE OF THE RECORDER OF SAN DIEGO COUNTY.

- DRAWING STATUS:**
- PRELIMINARY DRAWINGS
 - DESIGN DEVELOPMENT DRAWINGS
 - CHECK SET
 - PROGRESS DRAWINGS
 - PLAN CHECK DRAWINGS
 - BID SET DRAWINGS
 - CONSTRUCTION DOCUMENTS
 - OTHER

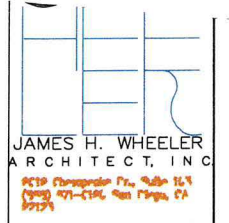
REVISION	DESCRIPTION
1	
2	
3	
4	
5	
6	



DATE 10/31/12
PROJECT NO. 111-217.1
DRAWN BY A. PODLICH
SCALE SEE PLAN
DRAWING NO.

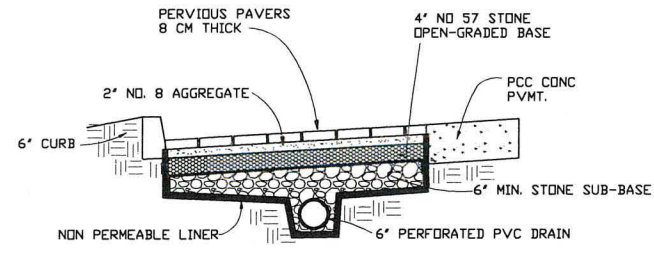
NASLAND ENGINEERING
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
4740 Ruffner Street, San Diego, California, 92111 • 858-292-7770

C-1

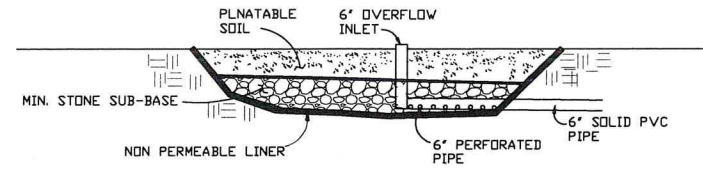


ActivCare at Mission Bay
SCHEMATIC GRADING PLAN

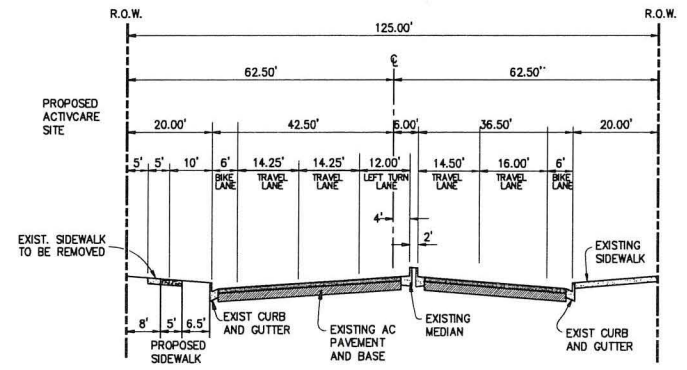
HEALTH CARE GROUP



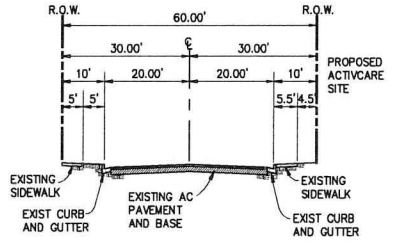
TYPICAL PERVIOUS PAVERS DETAIL
N.T.S.



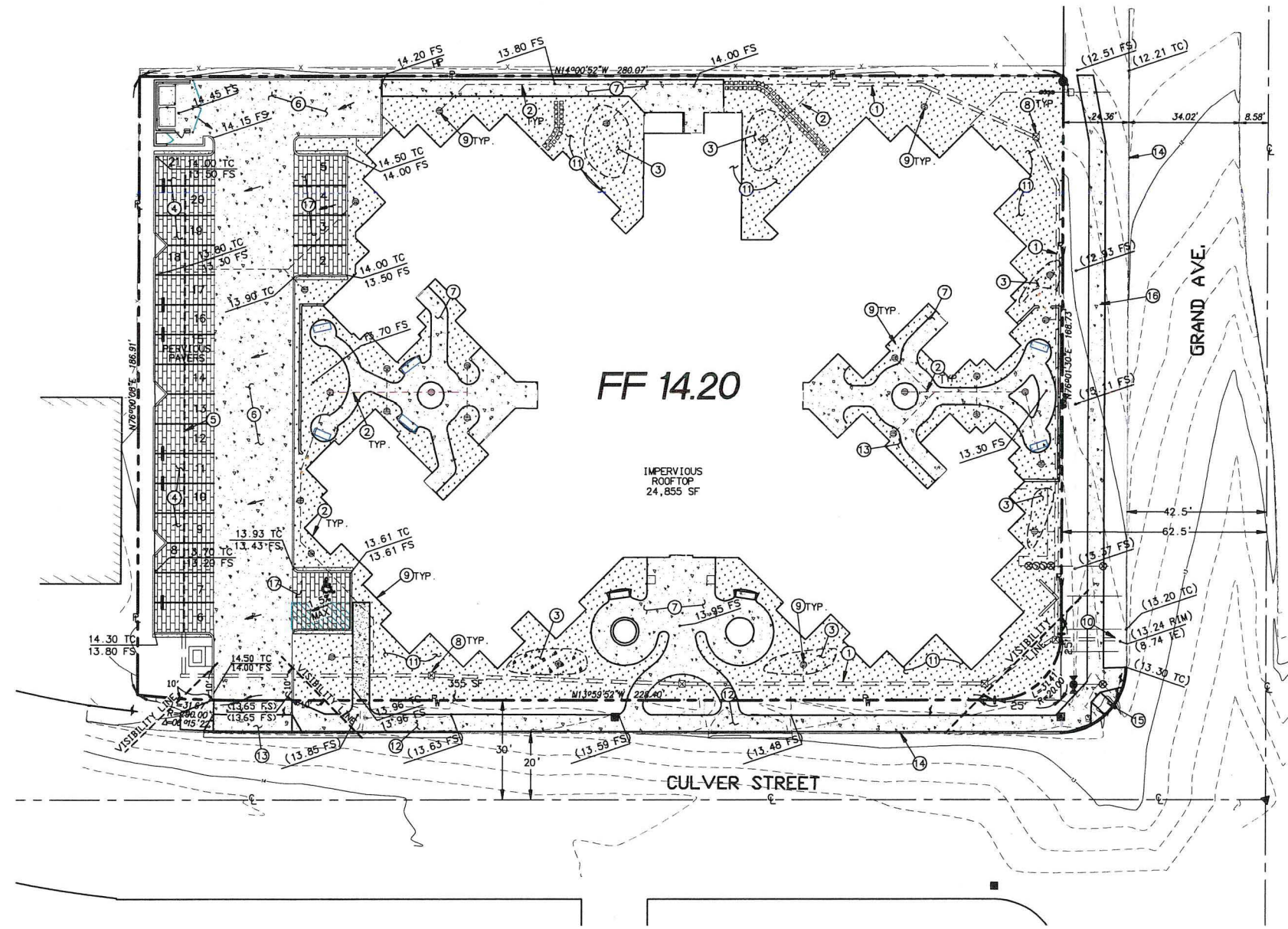
TYPICAL BIORETENTION BASIN
N.T.S.



TYPICAL SECTION GRAND AVE
NO SCALE



TYPICAL SECTION CULVER STREET
NO SCALE



SCHEMATIC GRADING AND DRAINAGE PLAN
SCALE 1" = 20'

- CONSTRUCTION NOTES:**
- * ALL CONFLICTING EXISTING UTILITIES SHOULD BE REMOVED, ABANDONED, OR CAPPED AT R/W.
 - 1 INSTALL 12" PVC STORM DRAIN.
 - 2 INSTALL 6" PVC STORM DRAIN.
 - 3 PROPOSED BIORETENTION BASIN.
 - 4 INSTALL PERVIOUS PAVERS.
 - 5 INSTALL 6" PVC PERFORATED PIPE.
 - 6 INSTALL PCC PAVEMENT.
 - 7 INSTALL PCC SIDEWALK PAVEMENT.
 - 8 INSTALL 12"x12" INLET.
 - 9 INSTALL 6" INLET.
 - 10 CONNECT PROPOSED STORM DRAIN TO EXISTING STORM DRAIN.
 - 11 SELF RETAINING BMP AREA.
 - 12 CLOSE EXISTING DRIVEWAY, INSTALL SIDEWALK, CURB AND GUTTER.
 - 13 INSTALL NEW DRIVEWAY PER RSD SDG-159.
 - 14 PROTECT EXISTING CURB, GUTTER.
 - 15 REMOVE AND REPLACE CURB RAMP PER RSD SDG-132.
 - 16 INSTALL NEW PCC SIDEWALK PER RSD SDG-115.
 - 17 INSTALL IMPERVIOUS PAVERS.

SPECIAL NOTES:

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

EARTHWORK QUANTITIES:

CUT = 500 C.Y.
 FILL = 200 C.Y.
 EXPORT = 300 C.Y.

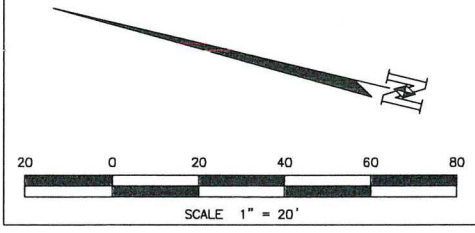
MAX HEIGHT OF CUT/FILL SLOPE = 1'

SOURCE OF TOPOGRAPHY:

NASLAND ENGINEERING
 4740 RUFFNER STREET
 SAN DIEGO, CA 92111
 FIELD SURVEY DATED:
 02/24/2012

BENCH MARK:

CULVER STREET AND GRAND AVENUE, NEPB,
 ELEVATION 13.178 M.S.L.



JAMES H. WHEELER, ARCHITECT, INC. EXPRESSLY RESERVES ITS COMMON LAW AND OTHER PROPERTY RIGHTS IN THIS DOCUMENT. THIS DOCUMENT SHALL NOT BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT OF JAMES H. WHEELER, ARCHITECT

- DRAWING STATUS:**
- PRELIMINARY DRAWINGS
 - DESIGN DEVELOPMENT DRAWINGS
 - CHECK SET
 - PROGRESS DRAWINGS
 - PLAN CHECK DRAWINGS
 - BID SET DRAWINGS
 - CONSTRUCTION DOCUMENTS
 - OTHER

REVISION	DATE	DESCRIPTION
REVISION 1		
REVISION 2		
REVISION 3		
REVISION 4		
REVISION 5		
REVISION 6		



DATE	10/31/12
PROJECT NO.	111-217.1
DRAWN BY	A. PODLICH
SCALE	SEE PLAN
DRAWING NO.	C-2



JAMES H. WHEELER ARCHITECT, INC.
 9619 Chesapeake Dr., Suite 103
 (858) 571-6190 San Diego, CA 92123

ActivCare at Mission Bay
SCHEMATIC UTILITY PLAN

HEALTH CARE GROUP

JAMES H. WHEELER ARCHITECT, INC. EXPRESSLY RESERVES ITS OWNERSHIP AND OTHER PROPERTY RIGHTS IN THIS DOCUMENT. NO DOCUMENT SHALL BE REPRODUCED, COPIED, CHANGED OR DISCLOSED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN CONSENT OF JAMES H. WHEELER ARCHITECT.

- DRAWING STATUS:**
- PRELIMINARY DRAWINGS
 - DESIGN DEVELOPMENT DRAWINGS
 - CHECK SET
 - PROGRESS DRAWINGS
 - PLAN CHECK DRAWINGS
 - BID SET DRAWINGS
 - CONSTRUCTION DOCUMENTS
 - OTHER

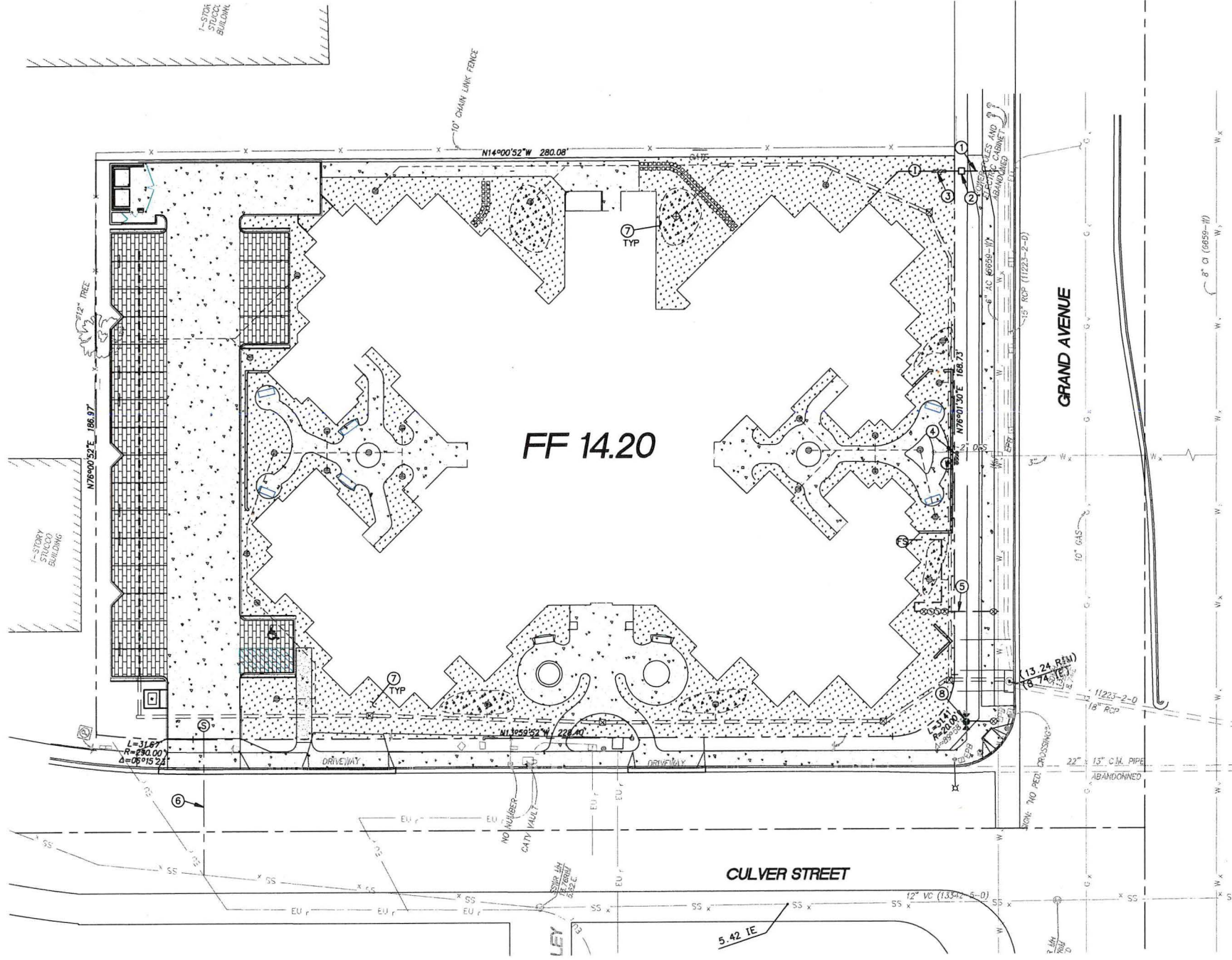
REVISION	DATE	DESCRIPTION
REVISION 1		
REVISION 2		
REVISION 3		
REVISION 4		
REVISION 5		
REVISION 6		



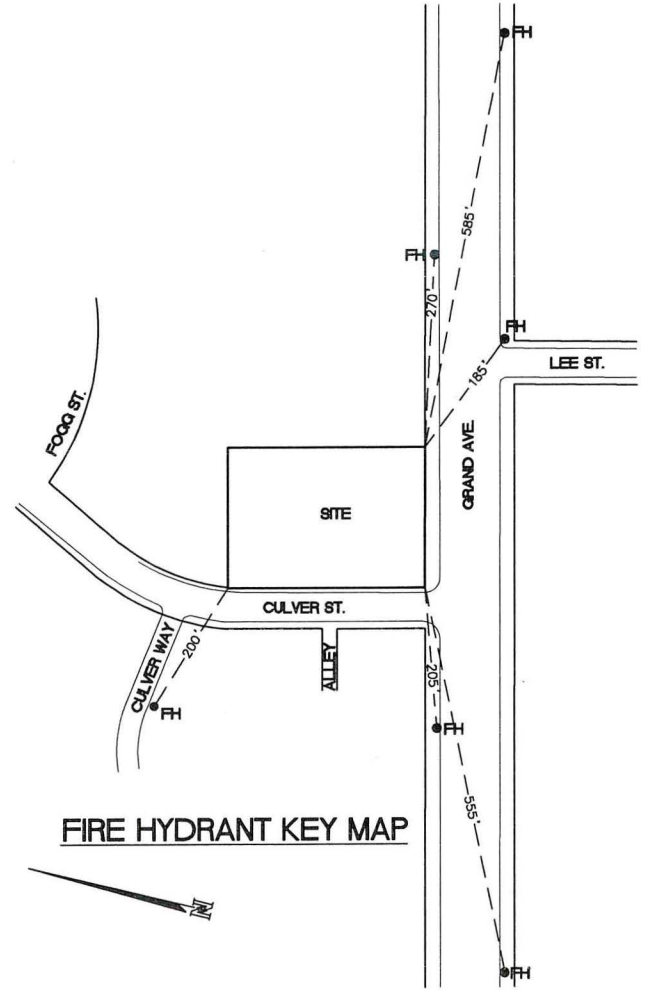
DATE 10/31/12
 PROJECT NO. 111-217.1
 DRAWN BY A. PODLICH
 SCALE SEE PLAN
 DRAWING NO.

NASLAND ENGINEERING
 CIVIL ENGINEERING • SURVEYING • LAND PLANNING
 4740 Ruffner Street, San Diego, California, 92111 • 858-292-7770

C-3

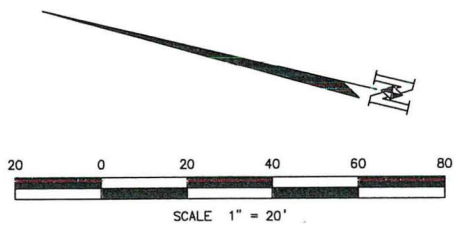


- CONSTRUCTION NOTES:**
1. INSTALL 1" WATER SERVICE PER R.S.D. WS-01.
 2. INSTALL 3/4" IRRIGATION METER PER R.S.D. SDW-134.
 3. INSTALL 3/4" BACK FLOW PREVENTOR PER R.S.D. WR-01.
 4. USE EXISTING 3" SERVICE AND 2" WATER METER. INSTALL NEW 2" BACKFLOW.
 5. INSTALL 6" FIRE SERVICE PER R.S.D. WF-04 W/ BACK FLOW PREVENTOR.
 6. INSTALL 6" SEWER LATERAL PER R.S.D. SDS-105.
 7. SEE GRADING AND DRAINAGE PLAN FOR STORM DRAIN AND BMP INFORMATION.
 8. INSTALL FIRE HYDRANT PER WF-01.

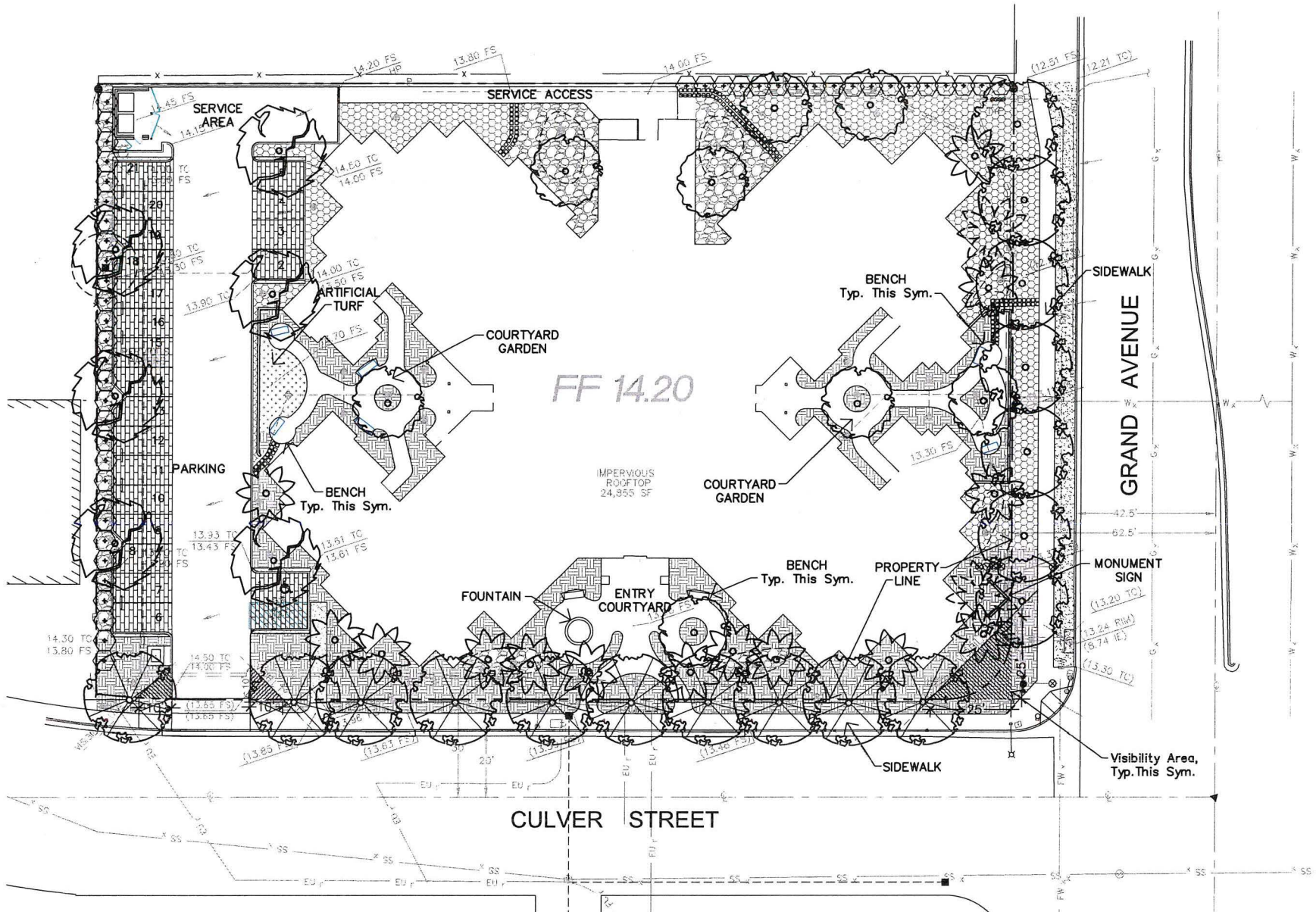


SCHEMATIC UTILITY PLAN
 SCALE 1" = 20'

FIRE HYDRANT KEY MAP



ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF PARTERRE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF PARTERRE.



GENERAL NOTES

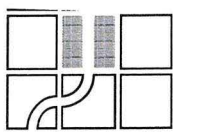
- ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
- IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED. THE IRRIGATION SYSTEM WILL INCLUDE A COMBINATION OF DRIP AND OVERHEAD SPRAY SYSTEMS.
ALL PLANTED AREAS WILL BE IRRIGATED USING LOW PRECIPITATION SPRINKLERS, WATER MONITORING DEVICES, CHECK VALVES AND APPROPRIATE WATER CONSERVING EQUIPMENT.
NO IRRIGATION RUN-OFF SHALL DRAIN OFFSITE INTO THE PUBLIC RIGHT OF WAY, STREETS, DRIVES OR ALLEY.
A DEDICATED IRRIGATION METER FOR LANDSCAPING WILL BE PROVIDED.
- ALL LANDSCAPE AREAS WILL BE ENCLOSED BY A 6" HIGH CONCRETE CURB IN OR ADJACENT TO ALL VJA'S.
- MINIMUM DISTANCE TO STREET TREE:
TRAFFIC SIGNALS (STOP SIGNS) - 20 FEET
UNDERGROUND UTILITY LINES - 5 FEET
ABOVE GROUND UTILITY STRUCTURES - 10 FEET
DRIVEWAY (ENTRIES) - 10 FEET
INTERSECTIONS (INTERSECTING CURBLINE OF TWO STREETS) - 25 FEET
- A MINIMUM ROOT ZONE OF 40 SQUARE FEET IN AREA SHALL BE PROVIDED FOR ALL TREES, WITH A MINIMUM DIMENSION OF 5 FEET.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.
- MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. LANDSCAPE AND IRRIGATION AREAS WITHIN THE PUBLIC ROW SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

DESIGN STATEMENT

- THE LANDSCAPE CONCEPT IS BASED ON THREE GUIDING PRINCIPALS:
- LOW WATER USAGE** - THE MAJORITY OF SELECTED SHRUBS AND GROUND COVERS HAVE LOW WATERING REQUIREMENTS. PLANTS HAVE ALSO BEEN SELECTED WITH CONSIDERATION FOR LOCAL WEATHER CONDITIONS.
 - MODERATE MAINTENANCE REQUIREMENTS** - THE TREES, SHRUBS AND GROUND COVERS SELECTED ARE NOTED FOR THEIR HARDINESS AND MODERATE MAINTENANCE REQUIREMENTS.
 - ATTRACTIVE/FUNCTIONAL PLANTING DESIGN** - CREATING AN ATTRACTIVE IMAGE ALONG A MAJOR STREET LEADING INTO THE COMMUNITY OF MISSION BAY IS A PRIORITY RELATIVE TO THE DESIGN. PRESERVING THE EXISTING SENEGAL DATE PALMS ALONG GRAND AVENUE IS ANOTHER PRIORITY OF THE PLANTING DESIGN. ADDITIONAL QUEEN PALMS ARE RECOMMENDED ALONG THE PROJECT FRONTAGE TO ACCENTUATE THE EXISTING PALMS. SEVERAL OUTDOOR SEATING AREAS IN THE FORM OF COURTYARDS AND GARDENS ARE PROMINENT IN THE SITE DESIGN. REQUIRED BIOSWALE AREAS WILL BE INCORPORATED IN THE FRONTAGE PLANTING DESIGN THEME TO ACCOMMODATE DRAINAGE RUNOFF.

PLANT MATERIAL LEGEND

SYMBOL	CATEGORY/DESCRIPTION	SYMBOL	CATEGORY/DESCRIPTION	SYMBOL	CATEGORY/DESCRIPTION
	ON-SITE SHADE TREES MINIMUM SIZE, 24" BOX (30' - 50' HEIGHT, 30' - 35' SPREAD) SUCH AS: ACACIA STENOPHYLLA SHOESTRING ACACIA RHUS LANCEA AFRICAN SUMAC TRISTANIA CONFERTA BRISBANE BOX QUANTITY - APPROX. 6 EACH		VERTICAL ACCENT TREE MINIMUM SIZE, 12" BTH (60' - 80' HEIGHT) SUCH AS: SYAGRUS ROMANZOFFIANUM QUEEN PALM QUANTITY - APPROX. 14 EACH		LOW WATER USE SHRUBS AND GROUNDCOVERS MINIMUM SIZE, 1 GALLON SUCH AS: CALLISTEMON VMINALIS "LITTLE JOHN" DWARF BOTTLEBRUSH CEANOETHUS GRISEUS HORIZONTALIS WILDLILAC "YANKEE POINT" CISTUS X PURPUREUS ORCHID ROCKROSE COTONEASTER DAMMERI "LOWFAST" BEARBERRY COTONEASTER DIETES BICOLOR FORTNIGHT LILY FICUS PUMILA CREEPING FIG LANTANA HYBRID "SPREADING SUNSHINE" NCN LAVATERA MARITIMA TREE MALLOW MYOPORUM PARVIFOLIUM "PUTAH CREEK" NCN MUHLENBERGIA RIGENS DEER GRASS RHUS INTEGRIFOLIA LEMONADE BERRY SALVIA GREGGI AUTUMN SAGE
	PARKWAY ACCENT TREE (GRAND) MINIMUM SIZE, 24" BOX (30' - 60' HEIGHT, 25' - 30' SPREAD) SUCH AS: CASSIA LEPTOPHYLLA GOLD MEDALLION TREE PINUS TORRYANA TORREY PINE WASHINGTONIA ROBUSTA MEXICAN FAN PALM QUANTITY - APPROX. 7 EACH		EXISTING MULTI TRUNK FAN PALM (PHOENIX RECLINATA) TO REMAIN QUANTITY - 2 EACH		EXISTING LAWN
	STREET ACCENT TREE (CULVER) MINIMUM SIZE, 24" BOX (30' - 60' HEIGHT, 25' - 30' SPREAD) SUCH AS: TRISTANIA CONFERTA BRISBANE BOX ULMUS PARVIFOLIA CHINESE ELM KOELREUTERIA BIPINNATA CHINESE FLAME TREE QUANTITY - APPROX. 10 EACH		EXISTING CANOPY TREE TO BE REMOVED		BIO-RETENTION PLANTING MINIMUM SIZE, 1 GALLON SUCH AS: CUPHEA HYSSOPIFOLIA FALSE HEATHER AGAPANTHUS AFRICANUS LILY OF THE NILE HEMEROCALLIS HYBRIDS DAYLILIES ROCK MULCH IN BASIN AREA QUANTITY - APPROX. 80 EACH NOTE: PLANTS LOCATED WITHIN VISIBILITY AREA TO BE 24" OR LESS IN HEIGHT FROM TOP OF CURB.
	INTERIOR ACCENT TREE MINIMUM SIZE, 24" BOX (20' - 30' HEIGHT, 25' - 35' SPREAD) SUCH AS: PYRUS CALLERYANA ORNAMENTAL PEAR "ARISTOCRAT" CASSIA LEPTOPHYLLA GOLD MEDALLION TREE MAGNOLIA GRANDIFLORA SOUTHERN MAGNOLIA "LITTLE GEM" QUANTITY - APPROX. 8 EACH		SCREENING SHRUB MINIMUM SIZE, 5 GALLON (8'-10' HEIGHT) SUCH AS: DODONAEA VISCOSA HOP SEED BUSH LEUCOPHYLLUM FRUTESCENS TEXAS RANGER QUANTITY - APPROX. 50 EACH		MODERATE WATER USE SHRUBS AND GROUNDCOVERS MINIMUM SIZE, 1 GALLON SUCH AS: ANIGOZANTHOS FLAVIDUS KANGAROO PAW AGAPANTHUS AFRICANUS LILY OF THE NILE HEMEROCALLIS HYBRIDS DAYLILIES CALLISTEMON VMINALIS DWARF BOTTLEBRUSH RHAPIOLEPSIS INDICA VAR. INDIA HAWTHORN LIGUSTRUM JAPONICUM TEXAS PRIVET PHORMIUM TENAX NEW ZEALAND FLAX PITTOSPORUM TOBIRA TOBIRA DIETES BICOLOR FORTNIGHT LILY CARISSA SPP. NATAL PLUM ESCALLONIA SPECIES ESCALLONIA STERLITZIA REGINAE BIRD OF PARADISE QUANTITY - APPROX. 150 EACH



PARTERRE
SITE PLANNING
URBAN DESIGN
LANDSCAPE ARCHITECTURE

1221 HAYES AVENUE
SAN DIEGO, CALIFORNIA 92103
PHONE: (619) 296-3713
FAX: (619) 296-3702

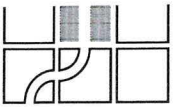
ActivCare at Mission Bay
ActivCare Living
San Diego, California



DRAWN: PO
CHECKED: LO
ISSUED:
NOVEMBER 1, 2012
FEBRUARY 4, 2013

PROJECT NO.
SHEET TITLE
LANDSCAPE PLAN

SHEET NO.
L-1



PARTERRE
SITE PLANNING
URBAN DESIGN
LANDSCAPE ARCHITECTURE

1221 HAYES AVENUE
SAN DIEGO, CALIFORNIA 92103
PHONE: (619) 296-3713
FAX: (619) 296-3702

ActivCare at Mission Bay
ActivCare Living
San Diego, California



DRAWN: PO
CHECKED: LO
ISSUED:
NOVEMBER 1, 2012
FEBRUARY 4, 2013

PROJECT NO.

SHEET TITLE
LANDSCAPE PLAN

SHEET NO.

L-2

LANDSCAPE CALCULATIONS

ACTIVCARE AT MISSION BAY
LANDSCAPE DEVELOPMENT PLAN
ZONE: SINGLE FAMILY

STREET YARD - GRAND AVENUE
TOTAL STREET YARD AREA - 2,900 S.F.
REQUIRED LANDSCAPE AREA - 1,450 S.F. (50%)
REQUIRED POINTS - 145 (.05/S.F.)

LANDSCAPE AREA PER PLAN - 2,290 S.F. (79%)
POINTS PER PLAN - 323 (.11/S.F.)

EX. FAN PALM #1
TOTAL BTH - 30' 30 @ 1.5 PTS. EA. = 45
EX. FAN PALM #2
TOTAL BTH - 18' 18 @ 1.5 PTS. EA. = 27
NEW QUEEN PALMS, 4 EA., 12' BTH EA.
TOTAL BTH - 36' 36 @ 3 PTS. EA. = 108
143 SHRUBS, 1 GAL. @ 1 PTS. EA. = 143
323

STREET YARD - CULVER STREET
TOTAL STREET YARD AREA - 8,820 S.F.
REQUIRED LANDSCAPE AREA - 4,410 S.F. (50%)
REQUIRED POINTS - 441 (.05/S.F.)

LANDSCAPE AREA PER PLAN - 4,630 S.F. (52%)
POINTS PER PLAN - 670 (.07/S.F.)

NEW QUEEN PALMS, 10 EA., 12' BTH EA.
TOTAL BTH - 120' 120 @ 3 PTS. EA. = 360
24" BOX TREE, 1 @ 20 PTS. EA. = 20
290 SHRUBS, 1 GAL. @ 1 PTS. EA. = 290
670

REMAINING YARD
REQUIRED POINTS - 60

POINTS PER PLAN - 895 (.10/S.F.)

24" BOX TREE, 4 @ 20 PTS. EA. = 80
100 SHRUBS, 1 GAL. @ 1 PTS. EA. = 100
180

VUA* WITHIN STREETYARD
TOTAL VUA AREA - 2,560 S.F.
REQUIRED LANDSCAPE AREA - 128 S.F. (5%)
REQUIRED POINTS - 128 (.05/S.F.)

LANDSCAPE AREA PER PLAN - 460 S.F. (18%)
POINTS PER PLAN - 140 (.05/S.F.)

36" BOX TREE, 2 @ 50 PTS. EA. = 100
20 SHRUBS, 5 GAL. @ 2 PTS. EA. = 40
140

VUA* OUTSIDE STREETYARD
TOTAL VUA AREA - 5,050 S.F.
REQUIRED LANDSCAPE AREA - 152 S.F. (3%)
REQUIRED POINTS - 152 (.03/S.F.)

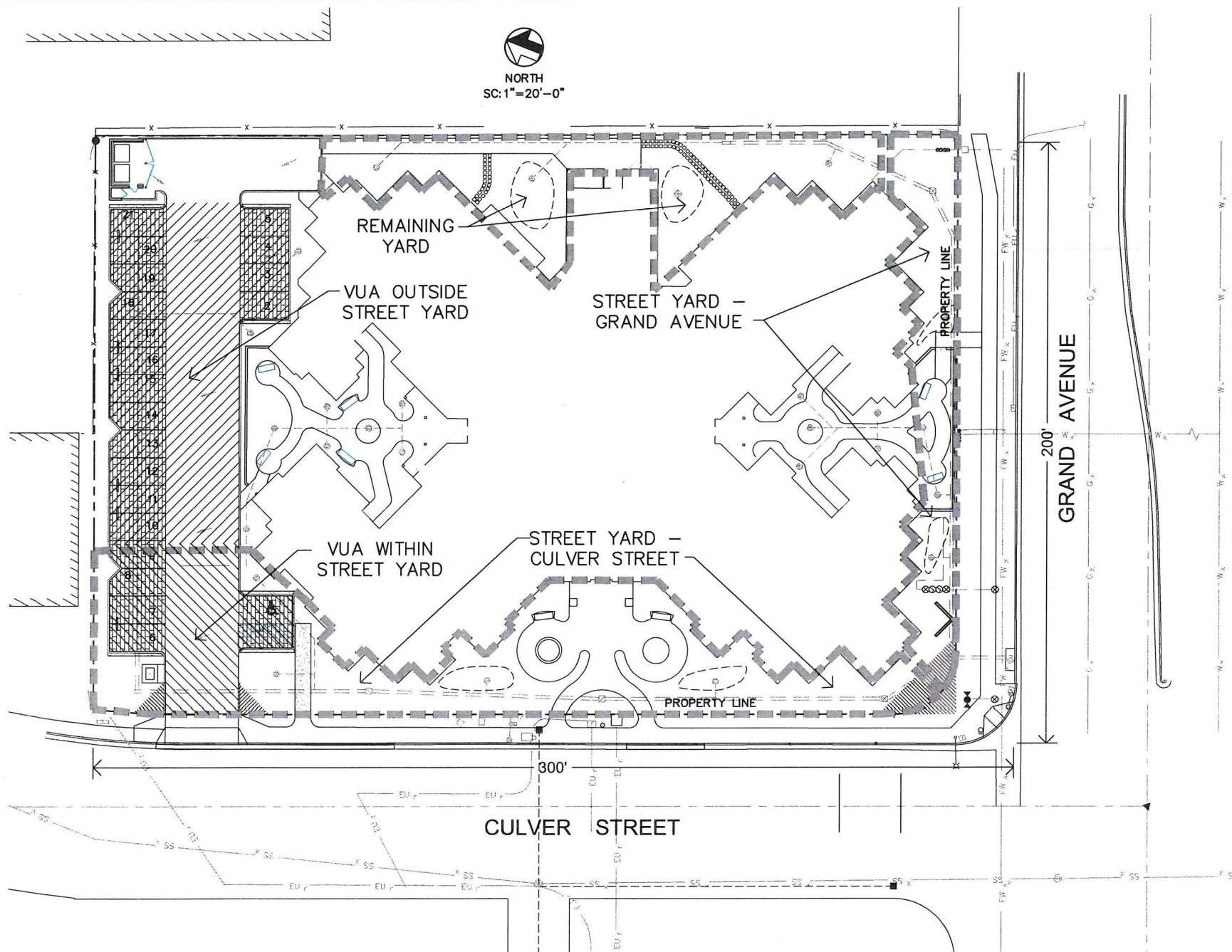
LANDSCAPE AREA PER PLAN - 500 S.F. (10%)
POINTS PER PLAN - 250 (.05/S.F.)

36" BOX TREE, 4 @ 50 PTS. EA. = 200
25 SHRUBS, 5 GAL. @ 2 PTS. EA. = 50
250

STREET TREES
GRAND AVENUE:
LINEAR FEET OF STREET FRONTAGE - 200
REQUIRED TREES - 6.6 EA. (1/30 L.F.)
TREES PER PLAN - 7 EA.

CULVER STREET:
LINEAR FEET OF STREET FRONTAGE - 300
REQUIRED TREES - 10 EA. (1/30 L.F.)
TREES PER PLAN - 10 EA.

* VUA - VEHICULAR USE AREA
* BTH - BROWN TRUNK HEIGHT



ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF PARTERRE AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF PARTERRE.