



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: September 5, 2013 **REPORT NO. PC-13-088**

ATTENTION: Planning Commission, Agenda of September 12, 2013

SUBJECT: TRIPLEX FOR WIR HOLDINGS, LLC. APPEAL – PROJECT NO. 290417. PROCESS THREE

REFERENCE: Hearing Officer Report No. HO-13-049:
(<http://www.sandiego.gov/development-services/pdf/hearingofficer/reports/2013/HO-13-049.pdf>)

OWNER: Ronald J. Bills, Owner of Triplex for WIR Holdings, LLC.

APPLICANT: Hilary Lowe, Mark Mitchell Architecture and Planning

SUMMARY

Issue: Appeal of the Hearing Officer's decision to approve a Coastal Development Permit and Lot Line Adjustment for the proposed demolition of an existing two-story duplex and construction of a new three-story triplex located at 2719 Bayside Walk within the Mission Beach Precise Plan area.

Staff Recommendations:

1. DENY the appeal; and
2. APPROVE Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742.

Community Planning Group Recommendation: On January 15, 2013, the Mission Beach Precise Planning Board voted 9-0-1 to recommend denial of the project. The applicant presented the project a second time on March 19, 2013, and the Board voted 10-0-1 to recommend denial of the project. Reasons for their denial are expanded within the Hearing Officer Report, included as Attachment 1 to this report.

Environmental Review: The project was determined to be exempt pursuant to

California Environmental Quality Act (CEQA) Guidelines Section 15332 – Infill Development Projects. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 12, 2013, and the opportunity to appeal that determination ended May 3, 2013.

Fiscal Impact Statement: None. The processing of this application is paid for through a deposit account established by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: The subject property being developed is a legal building site zoned for multi-family residential use. The project proposes to demolish an existing two-story duplex and construct a new three-story triplex. There will be a net gain of one residential unit to the available housing stock within the Mission Beach Precise Plan Area.

BACKGROUND

The property is located at 2719 Bayside Walk on the east side of Bayside Walk between Avalon Court and San Luis Rey Place, within the Mission Beach Precise Plan, which designates the site for residential development at a maximum density of 36 dwelling units per acre, and the proposed development is consistent with this designation. The site is located in the MBPD-R-S zone of the Mission Beach Planned District, which allows for residential development. The site is also located in the Airport Environs Overlay Zone, the 60-65 CNEL noise contour, the Airport Influence Area (SD International Airport), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway, the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Mission Beach Precise Plan and Local Coastal Program Area. The site is bordered by existing residential development to the north, south and west, with Mission Bay located to the east.

The site is east of the Pacific Ocean, west of Mission Bay, and east side of Bayside Walk between Avalon Court and San Luis Rey Place. The property located at 2715 Bayside Walk constructed a garage over a portion of the shared property line. This is the southern property line for the project site. The proposed redevelopment of the site cannot occur without this adjustment to the shared property line as the garage needs to be completely located on the site addressed as 2715 Bayside Walk. The total amount of the adjustment is approximately 8.2 square feet, which will then allow the project site to be redeveloped with the proposed three-story triplex.

On June 12, 2013, the Hearing Officer approved the proposed project with a modification to the draft permit. The Hearing Officer added Condition No. 27 to specify that the project's guard rails cannot be moved into the required yard (Attachment 6).

On June 25, 2013, Deborah Watkins, Chair of the Mission Beach Precise Planning Board, filed an appeal of the Hearing Officer decision on the basis of Factual Error and Findings Not

Supported. A copy of that Appeal is included as Attachment 2, and the issues raised in the Appeal are discussed within this Staff Report.

DISCUSSION

Project Description:

In the interest of reducing impacts to resources required to produce this document, please reference the attached Report to the Hearing Officer No. 13-049 for the complete project description and relevant attachments as described within this Report (Attachment 1).

Appeal of the Hearing Officer's Approval:

On June 12, 2013, the Hearing Officer approved the project and adopted the project resolutions after hearing public testimony. The Appeal of that decision was filed on June 25, 2013 (Attachment 2). The Appeal focuses on Factual Errors and Findings Not Supported. The following is the description of the appeal issues followed by the City Staff response to each appeal issue.

Appeal Issue #1: *The evidence and statements relied upon by the City in its findings that a deck overhang is a roof and that the portion of the deck that encroaches beyond the setback line is in effect a roof eave that is an allowable encroachment in the Mission Beach Planned District Ordinance ("PDO") is incorrect.*

Staff's Response: The eaves and rain gutters proposed in this project comply with the Mission Beach PDO, effective August 2012. San Diego Municipal Code (SDMC) Table 1513-03B allows eaves to encroach 2-feet into the required yards on courts, places and walks, and 6-inches on interior and street side yards. It also allows rain gutters to encroach 6-inches into all yards. Footnote 2 in this table states that the eave "area that encroaches may not be used to support decks, exterior balconies, or floors" (Attachment 4). Although "eave," as used in this section, is not defined, the regulation itself implies that a portion of a balcony that extends beyond the railing can encroach into the setback.

As designed the eaves do not support the decks or railings. Therefore, the proposed eaves have been designed to comply with all of these regulations. Additionally, Condition No. 27 was added to the permit, related to moving balcony railings (Attachment 6). Staff believes that the proposed design conforms to the regulations and is consistent with the purpose and intent of the Mission Beach PDO.

Appeal Issue #2: *The pop-outs located along a portion of the second and third floors on the South elevation in the interior side yard of the building are eaves is incorrect.*

Staff's Response: On the interior side yard, rain gutters are shown to transport moisture and rainwater from the surfaces of the building. These rain gutters encroach 6-inches into the yard as permitted by the Mission Beach PDO, Table 1513-03B (Attachment 4). The eaves also house rain gutters for the same purpose. The building sections shown on Sheets A5.1 and A5.2, and

the encroachments exhibit on sheet E1.0 reflect this project design (Attachment 7).

Appeal Issue #3: *The applicant has designed his project at 2719 Bayside Walk with deck overhangs that encroach into the required yard setbacks on Bayside Walk and Avalon Court, which is not allowed in the Mission Beach PDO. The applicant claims that the decks are in fact "roofs" and that the portion of the decks that encroach into the yards are "roof eaves" as that term is set forth in the Mission Beach PDO. They are not. The intent and application of the Mission Beach PDO is that roofs are at the tops of structures. The decks on the second and third floors of this project are balconies because they do not support the entire roofing system and are not the top of the structure.*

Staff's Response: As stated within Staff's Response to Appeal Issue #1, the eaves and rain gutters proposed in this project comply with the Mission Beach PDO.

Conclusion:

The Hearing Officer made all required findings in the affirmative after receiving all public testimony, including a letter received at the June 12, 2013, hearing. Staff has determined the proposed project complies the applicable Coastal Development Regulations, the Mission Beach Precise Plan and the City of San Diego Land Development Code, and recommends the Planning Commission deny the appeal and affirm the approval of the proposed project as conditioned.


ALTERNATIVES:

1. Deny the appeal and approve Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742, with modifications.
2. Approve the appeal and deny Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,



Mike Westlake
Acting Deputy Director
Development Services Department

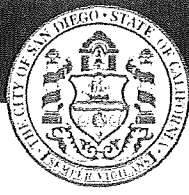


Laura C. Black, AICP, Project Manager
Development Services Department

WESTLAKE/LCB

Attachments:

1. Report to the Hearing Officer No. 13-049, including attachments
2. Copy of Appeal filed June 25, 2013
3. Letter received at the Hearing Officer hearing on June 12, 2013
4. Table 1513-03B – Mission Beach Planned District Ordinance
5. Draft Permit Resolution with Findings for Planning Commission
6. Draft Permit with Conditions for Planning Commission
7. Project Plans



THE CITY OF SAN DIEGO

REPORT TO THE HEARING OFFICER

HEARING DATE: June 12, 2013 REPORT NO. HO 13-049

ATTENTION: Hearing Officer

SUBJECT: TRIPLEX FOR WIR HOLDINGS, LLC.
PTS PROJECT NUMBER: 290417

LOCATION: 2719 Bayside Walk

APPLICANT: Hilary Lowe, Mark Mitchell Architecture and Planning
OWNER: Ronald J. Bills, Owner of WIR Holdings, LLC.

SUMMARY

Issue(s): Should the Hearing Officer approve a Coastal Development Permit and Lot Line Adjustment to demolish an existing residential dwelling unit and construct a new three-story triplex located at 2719 Bayside Walk and a Lot Line Adjustment between 2719 Bayside Walk and 2715 Bayside Walk within the Mission Beach Precise Plan area?

Staff Recommendation -

APPROVE Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742.

Community Planning Group Recommendation – On March 19, 2013, the Mission Beach Precise Planning Board voted 10-0-1 to recommend denial of the project. Reasons for their denial are included in Attachment 8.

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines Section 15332 – Infill Development Projects (Attachment 7). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on April 12, 2013, and the opportunity to appeal that determination ended May 3, 2013.

BACKGROUND

The 4,477 square foot project site is currently developed with a two-story residential building that was built in 1946. The property is located at 2719 Bayside Walk on the east side of Bayside Walk between Avalon Court and San Luis Rey Place, within the Mission Beach Precise Plan,

which designates the site for residential development at a maximum density of 36 dwelling units per acre, and the proposed development is consistent with this designation. The site is located in the MBPD-R-S zone of the Mission Beach Planned District, which allows for residential development. The site is also located in the Airport Environs Overlay Zone, the 60-65 CNEL noise contour, the Airport Influence Area (SD International Airport), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway, the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Mission Beach Precise Plan and Local Coastal Program Area. (Attachments 1-3). The site is bordered by existing residential development to the north, south and west, with Mission Bay located to the east.

A Coastal Development Permit is required for the proposed demolition of the existing structure and construction of the new three-story triplex and a Lot Line Adjustment is required due to the property located at 2715 Bayside Walk constructing a garage over the shared property line.

A historic review of the existing residential building was conducted by staff in January 2013. Staff determined that the site does not meet local designation criteria as an individually significant historic resource under any adopted Historic Resources Board Criteria.

DISCUSSION

A Coastal Development Permit (CDP) and Lot Line Adjustment are required to demolish the existing residential building and construct a new three-story, 5,276 square foot triplex located on a 4,477 square foot site. The site is east of the Pacific Ocean, east side of Bayside Walk between Avalon Court and San Luis Rey Place. The property located at 2715 Bayside Walk constructed a garage over a portion of the shared property line. This is the southern property line for the project site. The proposed redevelopment of the site cannot occur without this adjustment to the shared property line as the garage needs to be completely located on the site addressed as 2715 Bayside Walk. The total amount of the adjustment is approximately 8.2 square feet, which will then allow the project site to be redeveloped with the proposed three-story triplex.

The proposed triplex would consist of the following: a four car tandem garage, a two car tandem garage and a one bedroom unit on the first floor; a three bedroom unit on the second floor; a two bedroom unit on the third floor and a roof deck on the very top of the proposed residential structure.

The first floor consists of a one bedroom unit that includes a living room, dining room, kitchen, one bedroom, one bathroom, laundry area, storage area with outside patio areas. The garages for the entire building will also be located on the first floor of the building. The four car tandem garage will be assigned to the first and third floor units and the two car tandem garage will be assigned to the second floor unit.

The second floor consists of a three bedroom unit that includes a living room, dining room, kitchen, three bedrooms, three bathrooms, laundry area, storage area and exterior patio space.

The third floor consists of a two bedroom unit that includes a living room, dining room, kitchen, two bedrooms, two bathrooms, an office, laundry area, storage area, linen closet and exterior patio space.

The roof deck would be accessed from the stair well that starts on the first floor of the building and provides access to all three units within the building. There are approximately 600 square feet of solar panels proposed on the flat roof as well.

The proposed project would be consistent with the bulk and scale of the surrounding residential community. The three-story building would have a height not greater than 30' -0" as defined, which would comply with the Coastal Height Limitation Overlay Zone's maximum allowable height of 30 feet. Landscaping would conform to the Mission Beach Planned District minimum percentage and the City's Landscape Technical Manual.

The structure design includes stucco, glass, wood siding and stone veneer with a flat roof for a maximum building height of 30' to the roof deck rail. As designed the project complies with the 30-foot Coastal Height Limit Overlay Zone, Mission Beach Planned District requirements and the Mission Beach Precise Plan and Local Coastal Program policies (Attachments 5-6).

The project site is located within the Airport Influence Area (AIA) for the San Diego International Airport (SDIA) Airport Land Use Compatibility Plan (ALUCP). Due to the project site location within the 60-65 dB CNEL noise contour, the project information was submitted to the San Diego County Regional Airport Authority (SDCRAA) for a determination of consistency. The SDCRAA, acting in its capacity as the San Diego County Airport Land Use Commission (ALUC), has determined that the proposed project is conditionally consistent with the SDIA ALUCP. Condition numbers 13-15 of the Coastal Development Permit are consistent with conditions presented in Resolution 2013-0008 ALUC, approved on April 4, 2013 by the ALUC (Attachment 9).

COMMUNITY PARTICIPATION

On March 19, 2013, the Mission Beach Precise Planning Board (MBPPB) voted 10-0-1 to recommend denial of the project. The MBPPB denied the proposed project based on the fact that they believe the project to extend 6 inches into required yard setbacks for the project along Bayside Walk, Avalon Court and the interior side yard. Staff has analyzed the information provided by the MBPPB and determined that the project conforms to the underlying zone and the Mission Beach Precise Plan.

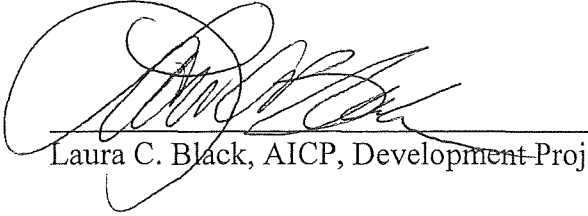
CONCLUSION

Staff has reviewed the application for the Coastal Development Permit and Lot Line Adjustment and determined the project is consistent with the applicable Coastal Development Regulations, the Mission Beach Precise Plan and the City of San Diego Land Development Code. Staff recommends that the Hearing Officer approve the requested permits.

ALTERNATIVES

1. Approve Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742, with modifications.
2. Deny Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742, if the findings required to approve the project cannot be affirmed.

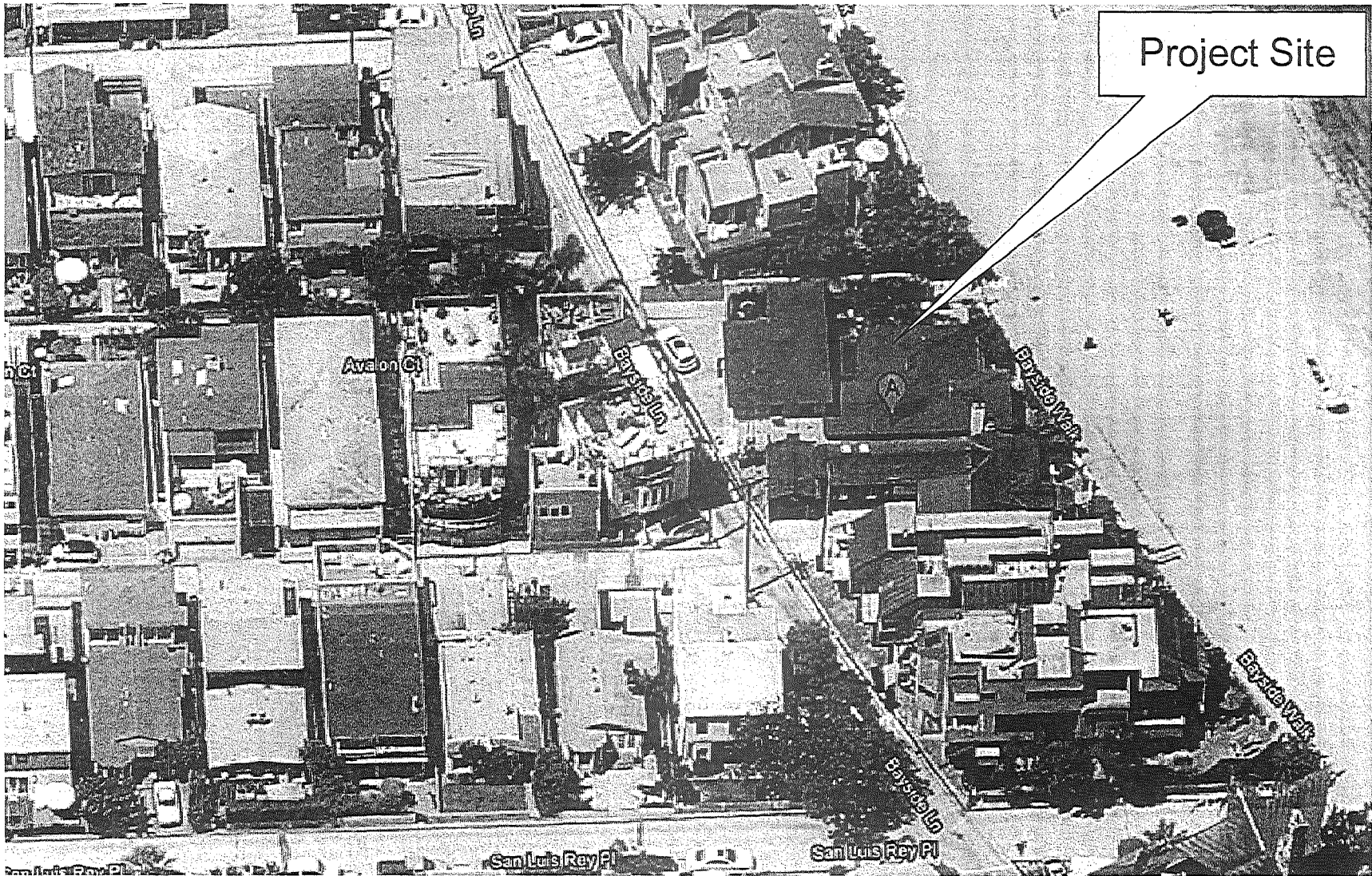
Respectfully submitted,



Laura C. Black, AICP, Development Project Manager

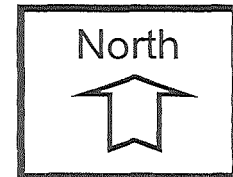
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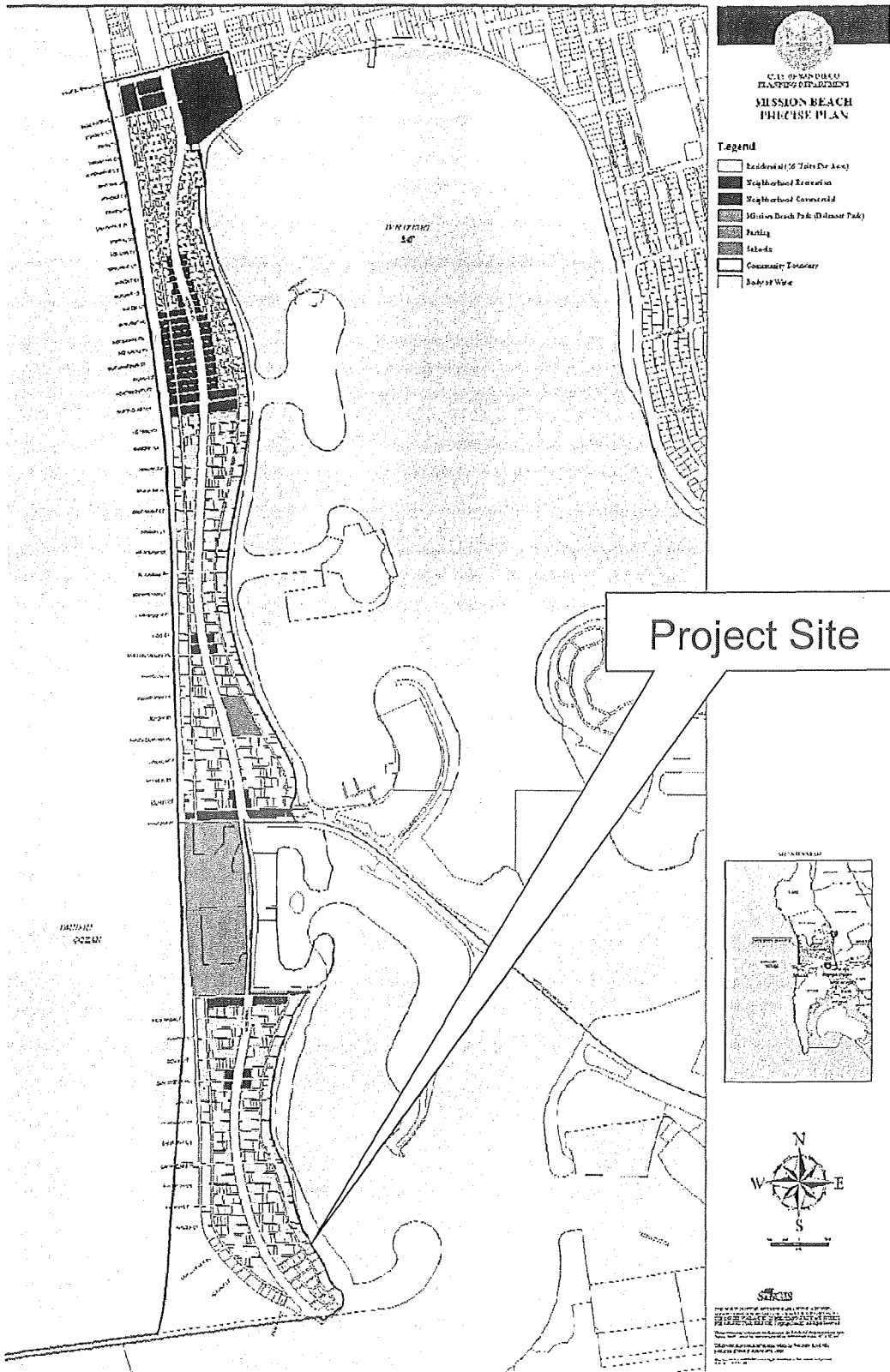
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Community Planning Group Recommendation (including meeting minutes)
9. San Diego County Regional Airport Authority Review and Resolution No. 2013-0008
ALUC
10. Ownership Disclosure Statement
11. Project Chronology
12. Project Plans/Parcel Map (Full size set provided to Hearing Officer)



Aerial Photo

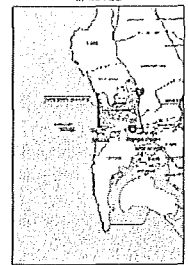
TRIPLEX FOR WIR HOLDINGS, LLC - 8469 2719 Bayside Walk
PROJECT NO. 290417





- Legend**
- Residential (50 Feet Or More)
 - Neighborhood Recreation
 - Neighborhood Commercial
 - Mission Beach Park (Mission Park)
 - Parkway
 - Schools
 - Community/Tourism
 - Bayfront Walk

Project Site

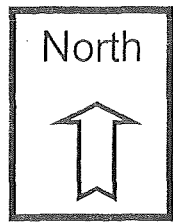


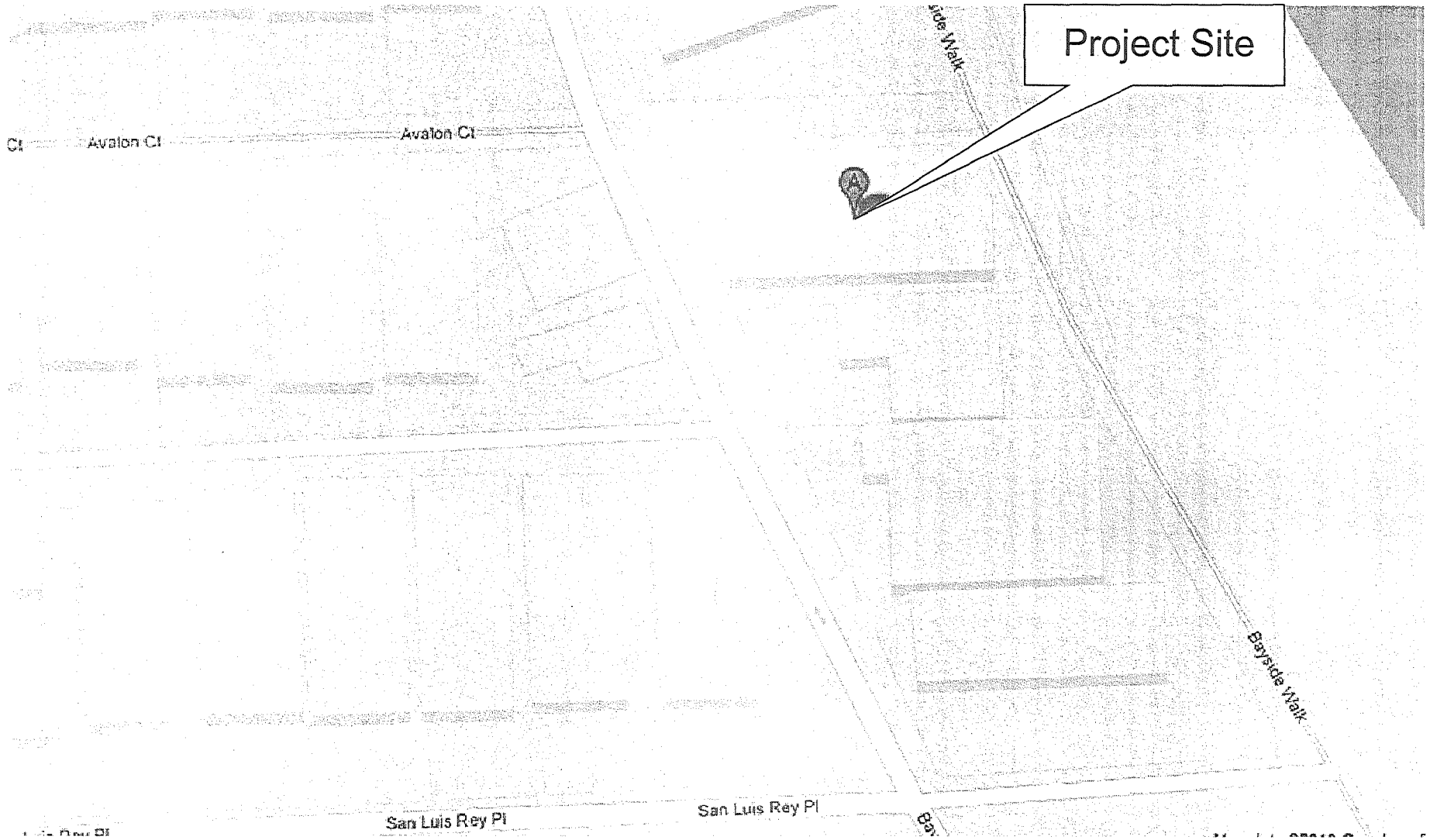
SDFCUS
San Diego Framework Code
The Framework Code is a set of rules that governs the use of land in the City of San Diego. It is the primary tool used to implement the City's General Plan and other policies. The Framework Code is organized into zones, each with its own set of rules. The Project Site is located in the Mission Beach Precise Plan zone.



Land Use Map

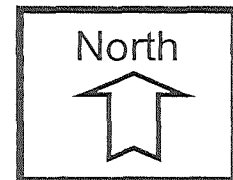
**TRIPLEX FOR WIR HOLDINGS LLC – 2719 Bayside Walk
PROJECT NO. 290417**





Project Location Map

TRIPLEX FOR WIR HOLDINGS LLC – 2719 Bayside Walk
PROJECT NO. 290417



PROJECT DATA SHEET

PROJECT NAME:	Triplex for WIR Holdings, LLC.	
PROJECT DESCRIPTION:	Demolition of an existing residential dwelling unit and the construction of a three-story, 5,276 square foot triplex on a 4,477 square foot lot.	
COMMUNITY PLAN AREA:	Mission Beach	
DISCRETIONARY ACTIONS:	Coastal Development Permit and Lot Line Adjustment	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential (Allows residential development to a maximum of 36 dwelling units per acre).	
<u>ZONING INFORMATION:</u>		
<p>ZONE: MBPD- R-S: (A residential zone located in the Mission Beach Planned District)</p> <p>HEIGHT LIMIT: 30-Foot maximum height limit / proposed 30' max height</p> <p>LOT SIZE: Minimum lot area allowed 2,400 square feet / Proposed lot area – 4,477.44 square feet</p> <p>FLOOR AREA RATIO: Max Allowed – 1.1 /Proposed 0.95 – Lot Coverage 0.65 max / proposed 0.49</p> <p>FRONT SETBACK: 8.5 feet / 10 feet/ 11.5 feet required – 8.5 feet/ 10 feet/ 11.5 feet proposed</p> <p>SIDE SETBACK: 5 feet required / 5 feet proposed</p> <p>REAR SETBACK: 0 feet required / 0 feet proposed</p> <p>SIDE (AVALON CT.) SETBACK: 13.5 feet/ 15 feet/ 16.5 feet required – 13.5 feet/ 15 feet/ 16.5 feet proposed</p> <p>PARKING: 6 parking spaces required / 6 parking spaces provided (tandem)</p>		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential; R-S-MBPD	Single Family Residence
SOUTH:	Residential; R-S-MBPD	Single Family Residence
EAST:	Residential; R-S-MBPD	Single Family Residence
WEST:	Residential; R-S-MBPD	Single Family Residence
DEVIATIONS OR VARIANCES REQUESTED:	None	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On March 19, 2013, the Mission Beach Precise Planning Board voted 10-0-1 to recommend denial of the project.	

HEARING OFFICER RESOLUTION NO. HO-XXXX
COASTAL DEVELOPMENT PERMIT NO. 1018896
LOT LINE ADJUSTMENT NO. 1098742
TRIPLEX FOR WIR HOLDINGS, LLC. - PROJECT NO. 290417

WHEREAS, WIR HOLDINGS, LLC., Ronald J. Bills, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish the existing residential dwelling unit and construct a three-story triplex (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742) on portions of a 4,477 square foot site;

WHEREAS, the project site is located at 2719 Bayside Walk in the MBPD-R-S zone of the Mission Beach Planned District, the Airport Environs Overlay Zone, the 60-65 CNEL noise contour, the Airport Influence Area (SD International Airport), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway, the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Mission Beach Precise Plan and Local Coastal Program Area;

WHEREAS, the project site is legally described as Lot A of Mission Beach, Block 17, Map No. 1809;

WHEREAS, on June 12, 2013, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on April 12, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15332 (Infill Development Projects) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Hearing Officer of the City of San Diego as follows:

That the Hearing Officer adopts the following written Findings, dated June 12, 2013.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed project is located at 2719 Bayside Walk within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local

Coastal Program. The proposed project building footprint will not change substantially from the existing building on site that is proposed to be demolished as part of the project. The proposed building is setback according to the required minimum setback guidelines within the Mission Beach Planned District (MBPD). Although no specific views are identified through the project site in the precise plan, the plan states that views to, and along the shoreline from public areas shall be protected from blockage by development and or vegetation. In addition SDMC 132.0403(b) requires the preservation of a visual corridor of not less than the side yard setbacks or more than 10 feet in width, and running the full depth of the premises whenever there is a potential view to the water. Potential views to Mission Bay looking east from Bayside Lane and through the property will be improved with the proposed development. New open fences and landscape less than three feet in height may be located within the required yards provided they do not obstruct views. Condition Number 23 of the Coastal Development permit will require a view corridor easement 10 feet wide on the north side and 5 feet wide on the south side. Therefore, the proposed project would not encroach upon any existing physical accessway and would not impact the Mission Beach Precise Plan or Local Coastal Program.

2. The proposed coastal development will not adversely affect environmentally sensitive lands.

The proposed project is located at 2719 Bayside Walk within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local Coastal Program. The existing developed site is relatively flat with the proposed building situated very close to the existing structure proposed to be demolished as part of the project. The site is surrounded by development and there is no environmentally sensitive lands mapped on the project site, nor on the adjacent properties; therefore, the proposed project would not have an adverse affect on environmentally sensitive lands.

3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The proposed project is located at 2719 Bayside Walk within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local Coastal Program. The project site is designated for residential development, with a maximum density of 36 dwelling units per acre, within the Mission Beach Precise Plan. The project proposes 3 dwelling units on a 4,477 square foot lot for a density of approximately 29 dwelling units per acre. The project is consistent with the designated use and density in the Mission Beach Precise Plan. Therefore, the proposed project conforms to the identified land use in the Mission Beach Precise Plan and the Local Coastal Program, and the certified Implementation Program.

4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The proposed project is located at 2719 Bayside Walk within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local Coastal Program. The project is located between the nearest public road, Bayside Lane and the sea or shoreline. Bayside Walk is adjacent to the shoreline and Bayside Walk is an area used by pedestrians. Bayside Lane is the first public road adjacent to the project site and to the west of the site. Therefore, the proposed development is located between the first public road and the shoreline of a body of water within the Coastal Overlay Zone. Although no specific views are identified through the project site in the Mission Beach Precise Plan, the plan states that views to, and along the shoreline from public areas shall be protected from blockage by development and or vegetation. In addition SDMC 132.0403(b) requires the preservation of a visual corridor of not less than the side yard setbacks or more than 10 feet in width, and running the full depth of the premises whenever there is a potential view to the water. Condition Number 23 has been added to the Coastal Development Permit to ensure this visual corridor is preserved adjacent to the project site. Potential views to Mission Bay looking east from Bayside Lane and through the property are currently obstructed by existing landscape and structures. The proposed development will remove all existing solid fences or walls or open fences greater than 3 feet in height from the required yards along Avalon Court and the south side yard. New open fences and landscape less than three feet in height may be located within the required yards provided they do not obstruct views. Therefore, the proposed development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Lot Line Adjustment - Section 125.0340

- 1. The proposed adjustment complies with the applicable provisions of the Subdivision Map Act.**

Parcel Map No. 1809 was recorded on November 13, 1924 creating the existing legal lot requesting redevelopment for a three-story triplex and the legal lot adjacent and to the south of the proposed development site. The existing residential dwelling unit was built in 1946. At some point, the property owner to the south of the project site built a garage on a portion of the shared property line between the two properties. This is the south property line for the proposed development. The proposed adjustment will not subdivide any lots. It will adjust the lot line between two existing parcels. Therefore, the proposed adjustment complies with the applicable provisions of the Subdivision Map Act.

- 2. Before adjustment, all lots or parcels are existing parcels of land created by separate fee conveyance and meeting the criteria for determination of a lot as specified in Section 113.0237.**

Parcel Map No. 1809 was recorded on November 13, 1924 creating the existing legal lot requesting redevelopment for a three-story triplex and the legal lot adjacent and to the south of the proposed development site. The existing residential dwelling unit was built in 1946. At some point, the property owner to the south of the project site built a garage on a portion of the shared property line between the two properties. This is the south property line for the proposed development. Before the lot line adjustment, the individual parcels shown on Parcel Map No. 1809 have been recorded by the County Recorder and meets the criteria for determination of a lot as specified in SDMC Section 113.0237.

3. **All adjusted lots or parcels comply with the minimum requirements of the Land Development Code and all existing structures comply with the established yards, except for property for which a Variance has been granted pursuant to Chapter 12, Article 6, Division 8 (Variances) and for previously conforming lots or structures, for which the Lot Line Adjustment shall not increase the existing noncompliance.**

Parcel Map No. 1809 was recorded on November 13, 1924 creating the existing legal lot requesting redevelopment for a three-story triplex and the legal lot adjacent and to the south of the proposed development site. The existing residential dwelling unit was built in 1946. At some point, the property owner to the south of the project site built a garage on a portion of the shared property line between the two properties. This is the south property line for the proposed development. The individual parcels comply with the minimum requirements of the Land Development Code, the Mission Beach Precise Plan and the General Plan. All existing structures comply with the established yards, no deviations or variances are requested from the regulations, so there is no existing noncompliance. Therefore, the proposed lot line adjustment shall not increase the existing noncompliance.

4. **The Lot Line Adjustment will not result in the creation of any additional parcels.**

Parcel Map No. 1809 was recorded on November 13, 1924 creating the existing legal lot requesting redevelopment for a three-story triplex and the legal lot adjacent and to the south of the proposed development site. The existing residential dwelling unit was built in 1946. At some point, the property owner to the south of the project site built a garage on a portion of the shared property line between the two properties. This is the south property line for the proposed development. The proposed adjustment will not subdivide any lots. It will adjust the lot line between two existing parcels. Therefore, the proposed lot line adjustment will not result in the creation of any additional parcels.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Hearing Officer, Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742 are hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742, a copy of which is attached hereto and made a part hereof.

Laura C. Black, AICP
Development Project Manager
Development Services

Adopted on: June 12, 2013

Internal Order No. 24003080

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003080

COASTAL DEVELOPMENT PERMIT NO. 1018896
LOT LINE ADJUSTMENT NO. 1098742
TRIPLEX FOR WIR HOLDINGS, LLC. - PROJECT NO. 290417
HEARING OFFICER

This Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742 is granted by the Hearing Officer of the City of San Diego to WIR HOLDINGS, LLC., Ronald J. Bills, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 125.0340. The 4,477 square foot site is located at 2719 Bayside Walk in the MBPD-R-S zone of the Mission Beach Planned District, the Airport Environs Overlay Zone, the 60-65 CNEL noise contour, the Airport Influence Area (SD International Airport), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway, the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Mission Beach Precise Plan and Local Coastal Program Area. The project site is legally described as: Lot A of Mission Beach, Block 17, Map No. 1809.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish the existing residential dwelling unit and construct a three-story triplex, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated June 12, 2013, on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing residential dwelling unit and the construction of a three-story, 5,276 square foot triplex on a 4,477 square foot lot;
- b. Lot Line adjustment for an approximate 8.2 square foot portion of Parcel 1 to be transferred to Parcel 2, along the southern property line for the project;

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by June 26, 2016.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to,

settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENTS:

13. Prior to the issuance of any building permits, the Owner/Permittee shall grant an avigation easement to the San Diego County Regional Airport Authority as the operator of the San Diego International Airport for the purposes of aircraft operations, noise and other effects caused by the operation of aircraft, and for structure height if the same would interfere with the intended use of the easement. The Owner/Permittee shall use the avigation easement form provided by the San Diego County Regional Airport Authority.

14. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the avigation easement.

15. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520

ENGINEERING REQUIREMENTS:

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

19. Prior to the issuance of any building permits, the Owner/Permittee shall submit an building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying

the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall remove all private improvements from the City's right-of-way, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of a Certificate of Occupancy, the Owner/Permittee to install all required landscape and obtain all required landscape inspections.

22. Landscaping materials shall not encroach or overhang into the Courts and Places rights-of-way and view corridors.

PLANNING/DESIGN REQUIREMENTS:

23. Prior to the issuance of any building permit, the Owner/Permittee shall record a 10-foot wide View Corridor Easement measured from the north property line inward and a 5-foot wide View Corridor Easement measured from the south property line inward, running the full length of the property from east to west in accordance with SDMC Section 132.0403.

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with Council Policy 900-14.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS:

27. Owner/Permittee shall maintain a minimum of 6 off-street parking spaces (provided in the configuration of 3 tandem parking spaces) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A". Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City of San Diego Municipal Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department Director.

28. Each automobile tandem parking space shall be assigned to the same dwelling unit.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

29. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
30. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.
31. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
32. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any water and sewer facilities.
33. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.
34. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 12, 2013, and Resolution No. HO-XXXX.

Coastal Development Permit No. 1018896

Lot Line Adjustment No. 1098742

Date of Approval: June 12, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Laura C. Black, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

WIR HOLDINGS, LLC.
Owner/Permittee

By _____
Ronald J. Bills
Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: April 12, 2013

NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24003080

PROJECT NAME/NUMBER: TRIPLEX FOR WIR HOLDINGS LLC / 290417

COMMUNITY PLAN AREA: Mission Beach

COUNCIL DISTRICT: 2

LOCATION: 2719 Bayside Walk, San Diego, CA 92109

PROJECT DESCRIPTION: The applicant is requesting a COASTAL DEVELOPMENT PERMIT and a LOT LINE ADJUSTMENT for the demolition of the existing single-dwelling residence and subsequent construction of a three-story, 5,276-square foot triplex. Additionally, the project would construct various associated site improvements (e.g. hardscape and landscaping). The project would also incorporate a variety of sustainable features including photovoltaic roof panels to achieve a LEED Silver Certification. The developed 4,477.44-square-foot project site is located at 2719 Bayside Walk. The scope of work also includes a lot line adjustment to adjust a portion of the southern lot line. The land use designation for the project site is residential development (with a maximum density of 36 dwelling units per acre) within the community plan. The project site is located within MBPD-R-S zone of the Mission Beach Planned District, the Airport Environs Overlay Zone, the 60-65 CNEL noise contour, the Airport Influence Area (SD International Airport), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway, the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Mission Beach Precise Plan and Local Coastal Program plan area. (LEGAL DESCRIPTION: Lot A of Mission Beach, Block 17, Map No. 1809).

ENTITY CONSIDERING PROJECT APPROVAL: City of San Diego Hearing Officer Decision.

ENVIRONMENTAL DETERMINATION: Categorically exempt from CEQA pursuant to CEQA State Guidelines, Section 15332 (Infill Development Projects).

ENTITY MAKING ENVIRONMENTAL DETERMINATION: City of San Diego

STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION: The project meets the criteria set forth in CEQA Section 15332 which allows for the construction of infill development within an urbanized area that can be adequately served by all required utilities and public services. The development occurs within the City of San Diego jurisdiction and the project site is less than five acres (0.103 acre) and is surrounded by urban uses; the project site does not contain any habitat for endangered, rare or threatened species; the project would not result in any significant impacts to biological resources, historical resources, traffic, noise, air quality, or water quality; and lastly, the project can be adequately be served by all required utilities and public services.

Furthermore, the exceptions listed in CEQA Section 15300.2 would not apply in that no cumulative impacts were identified; no significant effect on the environment were identified; the project is not adjacent to a scenic highway; the project was not identified on a list of hazardous waste sites pursuant to Section 65962.5 of the Government Code.

DEVELOPMENT PROJECT MANAGER: Laura Black
MAILING ADDRESS: 1222 First Avenue, MS-501, San Diego CA 92101
PHONE NUMBER: (619) 236-6327

On March 6, 2013 the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to the City Council. If you have any questions about this determination, contact the City Development Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 15 business (May 3, 2013) from the date of the posting of this Notice. The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.

ATTACHMENT 0 1



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning
Committee
Distribution Form Part 1

Project Name: Triplex for WIR Holdings, LLC		Project Number: 290417		Distribution Date: 2/21/2013	
Project Scope/Location: MISSION BEACH *SUSTAINABLE EXPEDITE PROGRAM* (PROCESS 3) Coastal Development Permit and Lot Line Adjstmnt to demo the existing residence and construct a new three-story, 5,276 sq ft triplex on a 4,477 sq ft lot located at 2719 Bayside Walk in the R-S Zone of the Mission Beach Planned District, Airport Influence Area, FAA Part 77 Noticing Area, Coastal Height, Coastal (appealable), First Public Roadway, Parking Impact, Res Tandem Parking and Mission Beach Community Plan. CD 2. Notice Cards = 1.					
Applicant Name: Hilary Lowe			Applicant Phone Number: 858.274.5978		
Project Manager: Laura C. Black		Phone Number: (619) 236-6327	Fax Number: (619) 321-3200	E-mail Address: lblack@sandiego.gov	
Project Issues (To be completed by Community Planning Committee for initial review): <i>See attach paper</i>					
<i>Attach Additional Pages If Necessary.</i>			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning
 Committee
 Distribution Form Part 2

Project Name: Triplex for WIR Holdings, LLC		Project Number: 290417	Distribution Date: 2/21/2013
Project Scope/Location: MISSION BEACH *SUSTAINABLE EXPEDITE PROGRAM* (PROCESS 3) Coastal Development Permit and Lot Line Adjstmnt to demo the existing residence and construct a new three-story, 5,276 sq ft triplex on a 4,477 sq ft lot located at 2719 Bayside Walk in the R-S Zone of the Mission Beach Planned District, Airport Influence Area, FAA Part 77 Noticing Area, Coastal Height, Coastal (appealable), First Public Roadway, Parking Impact, Res Tandem Parking and Mission Beach Community Plan. CD 2. Notice Cards = 1.			
Applicant Name: Hillary Lowe		Applicant Phone Number: 858.274.5978	
Project Manager: Laura C. Black	Phone Number: (619) 236-6327	Fax Number: (619) 321-3200	E-mail Address: lblack@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input type="checkbox"/> Vote to Approve	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> Vote to Deny.	Members Yes 10	Members No 0	Members Abstain 1
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: MIKE MEYER		TITLE:	
SIGNATURE: Mike Meyer		DATE: 3-28-13	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			

2719 BAYSIDE WALK

Project issues:

We are still having problem with projections into the Bayside Walk, Avalon Ct. and the interior side yard. The applicant has extended the floor joist beyond the walls into the setbacks. Some extends two feet (Bayside Walk and Court) and some extend 6 inches into intereior side yard.

We do not allow these projections unless they are eaves.

These are not eaves. Using Google as definition of eaves and roofs. The whole first page defines eaves as overhang from a roof. Roofs are defined as tops of buildings.

These projection are coming off a deck on the Bayside Walk. They are not eaves.

Also the courts are not eaves.

The reason we have put the restriction of projections in front of the front yard setback because people have later after building or when redoing decks ten years later for water damage uses the projections to extend the decks into the setback.

The California Coastal Commission after the Planning Group had wanted to allow a three foot cover extended from the building over the front entry door was disallowed because of view corridor last summer.

The Mision Beach Planning Group voted to deny 2719 Bayside Walk 10-0-1 because of the intrusions into yard setback on the Bayside Walk, Avalon Ct. and the interior side yard.

**Mission Beach Precise Planning Board
Tuesday, March 19, 2013
Belmont Park Community Room
Minutes of Meeting**

Board Members Present:

Peggy Bradshaw	Carole Havlat	Dennis Lynch	Mike Meyer
Carlton Nettleton	Robert Ondeck	John Ready	Mary Saska
Gernot Trolf	John Vallas	Debbie Watkins	Mary Willmont

Absent:

Nick Cantalupo

OPENING FUNCTIONS

Meeting was called to order by Chair Debbie Watkins at 7:05 p.m.

- **Approval of Minutes for February, 2013**
Copies of the draft of the February 19, 2013 Minutes of Meeting were distributed and reviewed. There were no changes. The Minutes were approved by unanimous consent as written.

ADMINISTRATIVE ITEMS

- **Revisions to Agenda**
Copies of the March 19, 2013 Agenda were distributed and reviewed. There were no additions to the Agenda.
- **Chair's Report**
(1) **Election Results** – Chair Watkins announced the results of the 2013 Election of Area Representatives held this night would be announced at the end of the meeting.

(2) MB Precise Planning Board Appeals Update:

(a) Project No. 271240 at 2975 Ocean Front Walk – The Board's Appeal to the Planning Commission filed on July 14, 2012 regarding the Map Waiver to convert to condominiums was heard on February 18, 2013. Chair Watkins and Dennis Lynch represented the Board. The Planning Commission directed the owner/developer to resubmit plans to alleviate the encroachments along Ocean Front Walk and the stairs on Ensenada Court, and present the revised plans to the Board before the next Planning Commission Hearing on March 28, 2013. Those plans will be reviewed tonight as an Action Item.

(b) Appeal of AT&T's 30-ft clock tower at Bonita Cove – Chair noted the alternative location at Belmont Park to install cell phone antennas and computer room equipment has been agreed to by AT&T and plans were filed with the City to accomplish this siting. According to the City's Project Manager, AT&T representatives and the new leaseholder are in the process of reviewing and signing the lease and are optimistically looking at March to get started.

- **Secretary's Report**
None.

PUBLIC COMMENT (limited to 3 minutes per speaker)

Destry Whitney of GoGreen4Education commented his organization is working with the Mission Bay Cluster Schools to assist with funding. Mr. Whitney explained that recycle bins are provided to businesses and residents and free pick-up is available. Proceeds are donated to the schools for their use. Mr. Whitney is working with Councilmember Faulconer's office to help alleviate the fly problem in Mission Beach caused by a reduced trash pick-up schedule and overflowing trash bins.

Resident Bob Craig distributed a flyer regarding the Sustainable Design Assistance Team that will come to San Diego in October 2013 to look at ways to improve the environment in Pacific Beach, Mission Beach and Mission Bay.

Dan Hayden, Director of Engineering at Pacifica Real Estate Services, Inc., the new Belmont Park Leaseholder, commented they are considering a roof-top bar/eatery. He will be conducting a second workshop to share their concept plans for Belmont Park and get feedback from the community on February 21, 2013 from 7:00 p.m. – 8:30 p.m. in the Belmont Park Community Room.

REPORTS FROM GOVERNMENT OFFICIALS

- **Ian Clampett**, (Community Representative - Office of Councilmember Kevin Faulconer)
Mr. Clampett reported there was a beach clean-up last weekend at the South Mission Beach Jetty sponsored by Evans Hotel and Surfrider. He commented that the trash and flies problem in Mission Beach is a priority for Councilmember Faulconer, who is looking at the cost for a second trash pick-up to be restored. In addition, Mr. Faulconer is talking with GoGreen4Education to partner with to help alleviate the trash and flies problem, which would donate proceeds to schools. Mr. Clampett stated the Land Use and Housing Committee will take action on the oversized vehicle ordinance at its next meeting on March 22, 2013.

OTHER

Possible Action Item

- **Alternative uses for Mission Beach Elementary School** – Presented by Jennifer Tandy, Chair, Mission Bay Cluster Schools. Ms. Tandy stated she was interested in assuring the sale of the school would be used for the benefit of the community. She proposed setting up a meeting with Mayor Filner to determine whether the City would be interested in purchasing the property for use by different public entities such as Park and Recreation, Police or Homeland Security. Ms. Tandy pointed out that time is of the essence because the property will be sold at a public auction on May 1, 2013 to the highest bidder, and April 12, 2013 is the deadline for public entities to place a bid. She asked the Board whether it would be interested in setting up a subcommittee to look into the matter further and meet with the Mayor. Chair Watkins, Carole Havlat, Mike Meyer and Carlton Nettleton volunteered to sit on the subcommittee. After further discussion, the following motion was duly made to form an ad-hoc subcommittee to meet and develop a plan of action to present to Mayor Filner.

Motion 1 was made by Peggy Bradshaw and seconded by Gernot Trolf TO FORM an ad-hoc subcommittee for the purpose of formulating a plan of action for the sale of the Mission Beach Elementary School to be presented to Mayor Bob Filner as discussed above.

VOTE For: 10 Against: 0 Abstain: 0

Motion passes. [Absent for vote: M. Willmont]

Information Item

- **West Mission Bay Bridge Project Update – City of San Diego Project Management Team**

Nitsuh Aberra, City Project Manager presented the project update. Ms. Aberra pointed out the bridge was built in 1950, and is functionally obsolete and structurally deficient. The City will get 80% of the funding from the Federal government and the City will pay for 20% of the cost. She reported the design stage is still in process. The current bridge will be replaced in two pieces at the eastern half and a free lane will be open to traffic during construction. It will be replaced with a 5-span haunched-box girder bridge structure with three thru lanes, an auxiliary lane to I-8, a 12-foot wide bicycle space, and pedestrian seating. The inside of the bridge will provide vehicular lighting. Construction is scheduled to start in 2015 and will take two years to complete. Several Board members expressed concern about the turn lanes off and onto I-8. Ms. Aberra stated she would look into the matter further and get back to the Board since the bridge is still in its design stage.

BUILDING PLAN REVIEWS**Action Items:**

- **2719 Bayside Walk – Project No. 290417 (Triplex for WIR Holdings, LLC):** Sustainable Expedite Program Coastal Development Permit and Lot Line Adjustment to demo existing residence and construct a new 3-story 5,276 sq. ft. Triplex on 4,477 sq. ft. lot – Review revised project plans for conformity with Mission Beach Planned District Ordinance

Mark Mitchell of Mark Mitchell Architecture represented the owner.

The Board heard this project on January 15, 2013. The project plans were denied (9-0-1) because several areas in the plans did not conform to the new PDO requirements, effective August 9, 2012.

Architect Mark Mitchell presented the revised project plans.

Plan Reviewers Mike Meyer and Dennis Lynch reviewed the revised project plans on behalf of the Board. They pointed out several areas in the project plans were corrected to conform to the new PDO requirements as follows:

- (1) The interior side yard on the south can not have construction greater than 3 feet in height. Refuse/recyclable storage, steps, railings, etc. that exceed this height must be removed;
- (2) Our PDO allows for an 18-inch vertical offset from the setback line extending the full height of the building. This building is greater than 30 feet wide for which that offset becomes mandatory for the entire width of the building;
- (3) Walls, fences, planters and anything man-made greater than 36 inches in height can not be in the required yards along Avalon Court and Bayside Walk

However, the Plan Reviewers pointed out there is a problem with projections into Bayside Walk, Avalon Court and the interior side yard because the applicant extended the floor joist beyond the walls into the setback. Some extend two feet on Bayside Walk and Avalon Court and some extend six inches into the interior side yard. These projections are not allowed unless they are eaves. The Plan Reviewers explained that an eave is an overhang from a roof and these extensions are not considered eaves because they are coming off a deck on the Bayside Walk. After further discussion, a motion was duly made to deny the project as follows:

A [

Motion 2 was made by Dennis Lynch and seconded by Mike Meyer TO DENY the project plans at 2719 Bayside Walk because the intrusions into the yard setbacks are violations of the new PDO requirements as discussed above.

VOTE For: 10 Against: 0 Abstain: 1

Motion passes. [Abstain: J. Ready]

- **3610 Bayside Walk – Project No. 296187 (Cadena Residence):** Sustainable Expedite Program Coastal Development Permit to demo SFR and construct a 2,762 sq. ft. SFR with attached 399 sq. ft. garage on a 0.06 acre site – Review revised project plans for conformity with Mission Beach Planned District Ordinance

Architect Chad Beaver of Golba Architecture represented the owner.

The Board heard this project on November 20, 2012. The project plans were denied (8-0-0) because several areas in the plans did not conform to the new PDO requirements, effective August 9, 2012.

Architect Chad Beaver presented the revised plans.

Plan Reviewers Mike Meyer and Dennis Lynch reviewed the revised project plans on behalf of the Board. Plan Review Lynch pointed out the problem areas in the project plans were corrected to conform to the new PDO requirements as follows:

- (1) The open tandem parking space must be 36 feet long and 8 ½ feet wide [See: PDO, effective August 9, 2012, Section 1513.0403 (b) (4) (A)];
- (2) The eaves on the third floor roof can not encroach more than 6 inches into the interior side yard setbacks on the North and South elevations. This also applies to the first floor garage eave on the North interior side yard;
- (3) The railings have a curved portion that encroaches into the front yard second story setback on the East and into the side yard setbacks on the North third floor and on the second and third floors on the South.
- (4) Landscaping: No landscape plans were submitted. PDO requires 50% softscape 50% hardscape. Trees must be planted within 4 to 5 feet from the building, and no man-made objects greater than 36 inches shall be located in the required front yard setback.

After discussion, the following motion was duly made to approve the project because all concerns have been met to conform to the new PDO requirements.

Motion 3 was made by Dennis Lynch and seconded by Peggy Bradshaw TO APPROVE the project plans at 3610 Bayside Walk because all concerns have been met to conform to the new PDO requirements as discussed above.

VOTE For: 11 Against: 0 Abstain: 0

Motion passes.

ATTACHMENT 0 1

- **729 Devon Court – Project No. 296192 (Nelson Duplex):** Sustainable Expedite Program Coastal Development Permit to demo SFR and construct a 2,646 sq. ft. Duplex with attached 496 sq. ft. garage on a 0.05 acre site – Review revised project plans for conformity with Mission Beach Planned District Ordinance

Architect Chad Beaver represented the owner.

The Board heard this project on November 20, 2012. The project plans were denied (8-0-0) because several areas in the plans did not conform to the new PDO requirements, effective August 9, 2012.

Architect Chad Beaver presented the project plans.

Plan Reviewers Mike Meyer and Dennis Lynch reviewed the revised project plans on behalf of the Board. Plan Review Lynch pointed out the problem areas in the project plans were corrected to conform to the new PDO requirements as follows:

- (1) Tandem parking space on the Eastern portion of the lot must be 8 ½ feet wide [See: PDO, effective August 9, 2012, Section 1513.0403 (b) (4) (A)];
- (2) Roof eaves can not encroach into interior side yards more than 6 inches. Exact measurements of eaves are not noted on the plans; and
- (3) The tree located in the front yard setback must be planted within 4 to 5 feet of the primary structure [See: PDO, effective August 9, 2012, Section 1513.0402 (a) (1)]. No man-made objects greater than 36 inches shall be located in the required front yard setback.

After discussion, the following motion was duly made to approve the project because all concerns have been met to conform to the new PDO requirements.

Motion 4 was made by Dennis Lynch and seconded by Carole Havlat TO APPROVE the project plans at 729 Devon Court because all concerns have been met to conform to the new PDO requirements as discussed above.

VOTE For: 11 Against: 0 Abstain: 0

Motion passes.

- **2975 Ocean Front Walk (Review pursuant to Appeal before Planning Commission on February 28, 2013):** Map Waiver application to waive the requirements of a Tentative Map to convert 3 existing residential units to condominiums – Review revised project plans for conformity with Mission Beach Planned District Ordinance

Matthew Peterson, Attorney/Lobbyist represented owner/developer.

The Board heard this project on March 20, 2012. The Map Waiver Application was denied (8-0-0) because several areas in the plans did not conform to the PDO requirements. The Board filed an Appeal of the Hearing Officer Decision on July 14, 2012 to the Planning Commission, and the Appeal before the Planning Commission was heard on February 28, 2013. On that date, the Planning Commission directed the owner to resubmit plans to alleviate the encroachments along

Ocean Front Walk and the stairs on Ensenada Court, and present the revised plans to the Board before the next Planning Commission Hearing on March 28, 2013.

Matthew Peterson presented the revised project plans. Mr. Peterson pointed out the encroachments along Ocean Front Walk have been removed.

Plan Reviewers Mike Meyer and Dennis Lynch reviewed the revised project plans on behalf of the Board. They confirmed several areas in the project plans were corrected to conform to the PDO requirements as follows:

- (1) The stair case and underlying substructure encroaches into the required front yard setback along Ocean Front Walk at a height in excess of 36 inches; and
- (2) The concrete planter and concrete entry steps encroach into the required front Yard setback along Ocean Front Walk by a height in excess of 36 inches

With regard to the stairs and railing encroaching into the required front yard setback in excess of 36 inches on Ensenada Court, Mr. Peterson distributed copies of the Ensenada Court plans. He stated the owner/developer does not want to make any changes regarding the concrete stairs along Ensenada Court except to add a glass railing.

Plan Reviewer Dennis Lynch pointed out that prior to the March 19th Board Meeting, he met with Matthew Peterson along with Chair Watkins and Mike Meyer at the project site to discuss ways to alleviate the stairs and railing along Ensenada Court. At that time, a viable solution was suggested to remedy the violation. Plan Reviews Lynch and Meyer explained the remedy to the Board. Mr. Peterson stated the remedy recommended would cost \$30-\$40,000 to accomplish.

Plan Reviewer Lynch advised these concrete entry stairs are a violation of our PDO, and an obstruction of the Ensenada Court view corridor. He pointed out that our PDO was in full force at the time this project was built in 1986; and as a result, these items must be corrected whether they were or were not in the original approved plans before a tentative map waiver can be issued.

After further discussion, the following motion was made to deny the project:

Motion 5 was made by Dennis Lynch and seconded by Peggy Bradshaw TO DENY the Tentative Map Waiver Application at 2975 Ocean Front Walk because the concrete entry stairs along Ensenada Court need to be resolved to conform to the new PDO requirements.

VOTE For: 10 Against: 1 Abstain: 0
Motion passes.

BOARD COMMUNICATIONS

Information Items:

- Mission Boulevard Maintenance Assessment District Ad-hoc Subcommittee Update

Chair John Vallas distributed the subcommittee's report dated March 19, 2013. He reported that 98% of the property owners responded to the community survey to gauge public interest in expanding the Mission Boulevard Maintenance Assessment District ("MBMAD") beyond its current purpose of providing for the maintenance of landscaped right-of-way trees and planters located on Mission Boulevard. Mr. Vallas pointed out that this is a statistically valid data sample with an error

ATTACHMENT 0 1

correction rate of +/-6% points. He apprised the Board that 90.38% of survey responders support expanding the scope of the MBMAD, with 67.49% supporting increasing their Maintenance Assessment Fee from the current \$14.68 per year to \$34.69 - \$64.88. He noted the responders' levels of importance include clean streets and sidewalks, extra trash and recycling pickup, and improved pedestrian lighting.

Chair Vallas stated the next step in the process is to work with Park and Recreation to create a petition to distribute and collect signatures of at least 30% of property owners in order to utilize the Formation Fund to pay for the engineer's report and mail-in balloting. He requested an Action Item be placed on the April 16, 2013 Agenda to discuss and approve the creation of a Petition to move forward with the Ballot measure.

- **March 2013 Board Election for Area Representatives Results**

Election Secretary Mary Saska reported the results of the 2013 Election of Area Representatives as follows:

Area I (between San Diego PI & South Side of Capistrano PI)

Dennis Lynch – Term expiring 2016

John Ready – Term expiring 2015

Area II (between North Side of Capistrano PI & South Side of W. Mission Bay Dr and Ventura PI)

Nick Cantalupo – Term expiring 2016

Area III (between North Side of W. Mission Bay Dr and Ventura PI & South Side of El Carmel PI)

Carole Havlat – Term expiring 2016

Area IV (between North Side of El Carmel PI & South Side of San Jose Place)

Gernot Trolf – Term expiring 2016

Area V (between North Side of San Jose Place & South Side of Pacific Beach Drive)

Peggy Bradshaw – Term expiring 2014

Tim Cruickshank – Term expiring 2016

Chair Watkins certified the results of the March 19, 2013 Election of Area Representatives.

Chair Watkins pointed out Agenda Items need to be submitted to the Chair 10 days PRIOR to the scheduled Board meeting. The next Board Meeting is Tuesday, April 16, 2013 in the Belmont Park Community Room.

ADJOURNMENT

Motion 6 was duly made and seconded to ADJOURN the meeting.

VOTE For: Unanimous Against: Abstain:

Respectfully submitted,
Debbie Watkins, Secretary

RESOLUTION NO. 2013-0008 ALUC

A RESOLUTION OF THE AIRPORT LAND USE COMMISSION FOR SAN DIEGO COUNTY, MAKING A DETERMINATION THAT THE PROPOSED PROJECT: CONSTRUCTION OF 3 MULTI-FAMILY RESIDENTIAL UNITS AT 2719 BAYSIDE WALK, CITY OF SAN DIEGO, IS CONDITIONALLY CONSISTENT WITH THE SAN DIEGO INTERNATIONAL AIRPORT - AIRPORT LAND USE COMPATIBILITY PLAN

WHEREAS, the Board of the San Diego County Regional Airport Authority, acting in its capacity as the Airport Land Use Commission (ALUC) for San Diego County, pursuant to Section 21670.3 of the Public Utilities Code, was requested by the City of San Diego to determine the consistency of a proposed development project: Construction of 3 Multi-Family Residential Units at 2719 Bayside Walk, City of San Diego, which is located within the Airport Influence Area (AIA) for the San Diego International Airport (SDIA) Airport Land Use Compatibility Plan (ALUCP), originally adopted in 1992 and amended in 1994 and 2004; and

WHEREAS, the plans submitted to the ALUC for the proposed project indicate that it would involve the construction of 3 attached residential units and associated parking; and

WHEREAS, the proposed project would be located within the 60-65 decibel (dB) Community Noise Equivalent Level (CNEL) noise contour, and the ALUCP identifies residential uses located within the 60-65 dB CNEL noise contour as compatible with airport uses, provided that the residences are sound attenuated to 45 dB CNEL interior noise level, and that an aviation easement is recorded with the County Recorder; and

WHEREAS, the proposed project is located outside the City of San Diego Airport Approach Overlay Zone (AAOZ) and is in compliance with the ALUCP airspace protection surfaces because the project proponent has certified that notification to the Federal Aviation Administration (FAA) is not required pursuant to Section 77.15 of Title 14 of the Code of Federal Regulations (FAR Part 77) if a structure is located within an urbanized area and shielded by existing structures or natural terrain of equal or greater height and could not reasonably pose adverse safety to air navigation; and

WHEREAS, the proposed project is located outside the Runway Protection Zone (RPZ); and

Resolution No. 2013-0008 ALUC
Page 2 of 3

WHEREAS, the ALUC has considered the information provided by staff, including information in the staff report and other relevant material regarding the project; and

WHEREAS, the ALUC has provided an opportunity for the City of San Diego and interested members of the public to present information regarding this matter.

NOW, THEREFORE, BE IT RESOLVED that the ALUC determines that the proposed project: Construction of 3 Multi-Family Residential Units at 2719 Bayside Walk, City of San Diego, is conditionally consistent with the SDIA ALUCP, which was originally adopted in 1992 and amended in 1994 and 2004, based upon the following facts and findings:

- (1) The proposed project involves the construction of 3 attached residential units and associated parking.
- (2) The proposed project is located within the 60-65 dB CNEL noise contour. The ALUCP identifies residential uses located within the 60-65 dB CNEL noise contour as compatible with airport uses, provided that the residences are sound attenuated to 45 dB CNEL interior noise level and that an avigation easement is recorded with the County Recorder. Therefore, as a condition of project approval, the residences must be sound attenuated to 45 dB CNEL interior noise level and an avigation easement must be recorded with the County Recorder.
- (3) The proposed project is located outside the AAOZ. The proposed project is in compliance with the ALUCP airspace protection surfaces because the project proponent has certified that notification to the FAA is not required pursuant to FAR Part 77 if a structure is located within an urbanized area and shielded by existing structures or natural terrain of equal or greater height and could not reasonably pose adverse safety to air navigation.
- (4) The proposed project is located outside the RPZ.
- (5) Therefore, if the proposed project contains the above-required conditions, the proposed project would be consistent with the SDIA ALUCP.

BE IT FURTHER RESOLVED that this ALUC determination is not a "project" as defined by the California Environmental Quality Act (CEQA), Pub. Res. Code Section 21065, and is not a "development" as defined by the California Coastal Act, Pub. Res. Code Section 30106.

Resolution No. 2013-0008 ALUC
Page 3 of 3

PASSED, ADOPTED AND APPROVED by the ALUC for San Diego County at a regular meeting this 4TH day of April, 2013, by the following vote:

AYES: Commissioners: Alvarez, Cox, Desmond, Gleason, Hubbs, Robinson, Sessom, Smisek

NOES: Commissioners: None

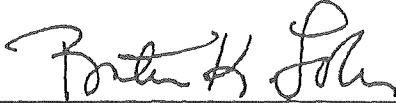
ABSENT: Commissioners: Boland

ATTEST:



TONY R. RUSSELL
DIRECTOR, CORPORATE SERVICES/
AUTHORITY CLERK

APPROVED AS TO FORM:



BRETON K. LOBNER
GENERAL COUNSEL



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title BILLS RESIDENCE Project No. For City Use Only 29047

Project Address:
2719 BAYSIDE WALK, SAN DIEGO, CA 92109

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: 2719 BAYSIDE AVE.
 City/State/Zip: SAN DIEGO CA 92109
 Phone No: 760/994-3054 Fax No: _____
 Signature: Ronald Bills Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature: _____ Date: _____

ATTACHMENT 0 1

Project Title: <u>BILLS RESIDENCE</u>	Project No. (For City Use Only)
---------------------------------------	---------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property.. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
UJTR HOLDING LLC

Owner Tenant/Lessee

Street Address:
2717 BAYSIDE AVE.

City/State/Zip:
SAN DIEGO, CA

Phone No: 761/994-3054 Fax No: _____

Name of Corporate Officer/Partner (type or print):
RONALD J. BILLS

Title (type or print):
RONALD J. BILLS

Signature : Ronald J. Bills Date: 7/21/2012

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

DEVELOPMENT SERVICES
Project Chronology
Triplex for WIR Holdings, LLC – Project No. 290417

Date	Action	Description	City Review Time (Working Days)	Applicant Response (Working Days)
09/20/2012	First Submittal	Project Deemed Complete		
10/16/2012	First Assessment Letter		18 days	
12/19/2012	Second Submittal			45 days
01/11/2013	Second Assessment Letter		11 days	
02/21/2013	Third Submittal			27 days
03/07/2013	Third Assessment Letter		10 days	
04/10/2013	Fourth Submittal			23 days
04/23/2013	Fourth Assessment Letter/Final Review		9 days	
04/12/2013	Environmental Determination – Exempt, Section 15332 Infill Development			
05/03/2013	Environmental Determination – Exempt, Section 15332 Infill Development		8 days	
06/12/2013	Hearing Officer - Public Hearing		27 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	83 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		95 days
TOTAL PROJECT RUNNING TIME			178 days	



City of San Diego
 Development Services
 1222 First Ave. 3rd Floor
 San Diego, CA 92101
 (619) 446-5210

**Development Permit/
 Environmental Determination
 Appeal Application**

FORM
DS-3031
 OCTOBER 2012

See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

1. Type of Appeal:

- Process Two Decision - Appeal to Planning Commission
 Process Three Decision - Appeal to Planning Commission
 Process Four Decision - Appeal to City Council
 Environmental Determination - Appeal to City Council
 Appeal of a Hearing Officer Decision to revoke a permit

2. Appellant Please check one Applicant Officially recognized Planning Committee "Interested Person" (Per M.C. Sec. 113.0103)

Name: Mission Beach Precise Planning Board, Deborah Watkins, Chair E-mail Address: dkwatkins@aol.com
 Address: c/o 713 Isthmus Court City: San Diego State: CA Zip Code: 92109 Telephone: (858) 344-1684

3. Applicant Name (As shown on the Permit/Approval being appealed). Complete if different from appellant.

Hilary Lowe, Mark Mitchell Architecture and Planning

4. Project Information

Permit/Environmental Determination & Permit/Document No.:	Date of Decision/Determination:	City Project Manager:
Triplex for WIR Holdings, LLC; Project No. 290417	June 12, 2013	Laura Black

Decision (describe the permit/approval decision):
 Permission granted to demolish the existing residential dwelling unit and construct a 3-story, 5,276 sq. ft. triplex on a 4,477 sq. ft.

lot located at 2719 Bayside Walk in Mission Beach, San Diego, CA.

5. Grounds for Appeal (Please check all that apply)

- Factual Error
 Conflict with other matters
 Findings Not Supported
 New Information
 City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

Please See: "Attachment A", which is attached hereto and incorporated herewith.

RECEIVED

JUN 25 2013

DEVELOPMENT SERVICES

6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct.

Signature: Deborah Watkins Date: June 25, 2013

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.

----- "Attachment A" -----

Re: 2719 Bayside Walk, Project Number 290417

The Mission Beach Precise Planning Board ("MBPPB"), the recognized community planning group, is filing this Appeal Application to appeal the City's Development Services Department Hearing Officer's decision of June 12, 2013, regarding the above-referenced project. Plan Reviewer Dennis Lynch attended the hearing on behalf of the MBPPB and filed a speaker's slip.

The MBPPB voted to deny the Coastal Development Permit to demo the existing residence and construct a new three-story, 5,276 sq. ft. triplex on a 4,477 sq. ft. lot located at 2719 Bayside Walk at two (2) separate meetings on January 15, 2013 and March 19, 2013. [Please See: Community Planning Committee Distribution Form Part I and Part 2 dated February 2, 2013, and Community Planning Committee Distribution Form Part I and Part 2 dated March 28, 2013, which are attached hereto and incorporated herewith as Exhibits 1 and 2, respectively.] [Also, See: Copy of MBPPB Excerpts from Minutes of Meeting of Tuesday, March 19, 2013, at pages 3-4, which is attached hereto and incorporated herewith as Exhibit 3.]

City's Factual Error In Its Findings

The evidence and statements relied upon by the City in its findings that a deck overhang is a roof and that the portion of the deck that encroaches beyond the setback line is in effect a roof eave that is an allowable encroachment in the Mission Beach Planned District Ordinance ("PDO") is incorrect. **It is not.** These decks are located both in the Bayside Walk and Avalon Court required yard setbacks.

In addition, the City's Hearing Officer's finding that the pop-outs located along a portion of the second and third floors on the South elevation in the interior side yard of the building are eaves is incorrect. **They are not.**

The City's Decision to Approve the Permit Is In Direct

Conflict with the Mission Beach PDO

One of the major goals and intent of the Mission Beach PDO is to provide open space in the yards of our densely-packed small-lots community and to provide a buffer of openness between building construction and the pedestrian and view corridors. The provisions of the Mission Beach PDO have always been extremely protective of its setbacks. We are always preventing developers, who are so eager to occupy as much of a lot's surface as they can, from encroaching into setbacks.

On August 12, 2010, the Planning Commission, during the first of several hearings regarding changes to the Mission Beach PDO, approved a motion to exclude overhang encroachments into the required yards along Bayside and Ocean Front Walks. At that hearing, a comment was made by one of the Commissioners as to the likelihood that the Coastal Commission would object to the overhangs on the Courts and Places. In fact, this turned out to be the case. Encroaching overhangs have never been allowed on developments in Mission Beach.

The Applicant has designed his project at 2719 Bayside Walk with deck overhangs that encroach into the required yard setbacks on Bayside Walk and Avalon Court, which is not allowed in the Mission Beach PDO. The Applicant claims that the decks are in fact "roofs" and that the portion of the decks that encroach into the yards are "roof eaves" as that term is set forth in the Mission Beach PDO. **They are not.** The intent and application

of the Mission Beach PDO is that roofs are at the tops of structures. This is made clear by referring to any and all definitional sources of a roof. [See: Exhibit 2.]

The Applicant's architect feels he has discovered a loophole in the Mission Beach PDO that permits these deck encroachments despite the clear intent and purpose of the PDO to not allow any such encroachments.

The Code provisions the Applicant relies on in Exhibit 4, which is attached hereto, do not in any way support his assertion that concrete decks are roofs or that the non-walkable extended portions of decks qualify as eaves.

Moreover, the Applicant states in Exhibit 4 that he can find "no definition for 'Deck' because a deck is really a roof with a walkable surface." To the contrary, a roof deck is defined as the foundation or base upon which the entire roofing system is dependent; A flat open portion atop a roof, such as a terrace or sundeck. (www.dictionaryofconstruction.com/definition/roof-deck.html). Further, according to *Wikipedia*, a roof deck is the roofing material layer between the primary structural components (trusses & joists) and either insulative layers or weatherproofing layers in a typical roof system.

These definitions distinguish that roof decks are found on the top of structures. The decks on the second and third floors of this project are balconies because they do not support the entire roofing system and are not the top of the structure.

In conclusion, we hereby request the Planning Commission find that these deck overhangs are not roofs, and their encroaching extremities do not constitute roof eaves pursuant to the provisions and intent of the Mission Beach PDO and must be removed.



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning
 Committee
 Distribution Form Part 1

Project Name: TRIPLEX FOR WIR HOLDINGS, LLC 2719 BAYSIDE	Project Number: 290417	Distribution Date: 9/20/2012
--	----------------------------------	--

Project Scope/Location: WALK

MISSION BEACH *SUSTAINABLE EXPEDITE PROGRAM* (PROCESS 3) Coastal Development Permit and Lot Line Adjstmnt to demo the existing residence and construct a new three-story, 5,276 sq ft triplex on a 4,477 sq ft lot located at 2719 Bayside Walk in the R-S Zone of the Mission Beach Planned District, Airport Influence Area, FAA Part 77 Noticing Area, Coastal Height, Coastal (appealable), First Public Roadway, Parking Impact, Res Tandem Parking and Mission Beach Community Plan, CD 2. Notice Cards = 1.

Filed 9-20

Applicant Name: Hillary Lowe	Applicant Phone Number: (858) 274-5978
--	--

Project Manager: Laura Black	Phone Number: (619) 236-6327	Fax Number: (619) 446-5245	E-mail Address: LBlack@sandiego.gov
--	--	--------------------------------------	---

Project Issues (To be completed by Community Planning Committee for initial review):

THIS PROJECT WAS DISCUSSED AT THE BOARD'S JANUARY 15, 2013 MEETING. THE OWNER AND ARCHITECT WERE PRESENT. THIS PROJECT WAS DENIED.

(1) INTERIOR SIDE YARD ON SOUTH CAN NOT HAVE CONSTRUCTION GREATER THAN 3 FEET IN HEIGHT. REMOVE REFUSE/RECYCLABLE STORAGE, STEPS, RAILINGS, ETC. THAT EXCEED THIS HEIGHT. A FENCE UP TO 6 FEET IS ALLOWED ON THE SOUTH PROPERTY LINE.
 NOTE: ONLY A 5 FOOT INTERIOR YARD IS REQUIRED. WHILE THE LOT'S FRONTAGE ALONG BAYSIDE WALK IS 56.3 FEET, THE LOT IS LESS THAN 55 FEET WIDE - thus a 6 FOOT setback is NOT REQUIRED § 1513.0304 (c)(2)(B)

(2) OUR PDO ALLOWS FOR AN 18 INCH VERTICAL OFFSET FROM THE STREET LINE EXTENDING THE FULL HEIGHT OF THE BUILDING. SEE § 1513.0304 (d)(2). THIS BUILDING IS GREATER THAN 30 FEET WIDE FOR WHICH THE OFFSET BECOMES MANDATORY FOR THE ENTIRE WIDTH OF THE BUILDING § 1513.0304 (e)(1)

(3) WALLS, FENCES, PLANTERS AND ANYTHING MAN-MADE GREATER THAN 36 INCHES IN HEIGHT CAN NOT BE LOCATED IN THE REQUIRED YARDS ALONG AVALON CT. AND BAYSIDE WALK.

(4) EAVES AND CORNICES MAY ONLY OVERHANG INTO THE INTERIOR YARD 6 INCHES. WE'RE CONCERNED WITH SOUTHEASTERN PORTION OF BUILDING. SEE MEASUREMENTS FOR EAVES ON SHEET A 3.4 ROOF AND SHEET A 6.2 W/ST ELEVATION § 1513.0304 (a)(1).

Attach Additional Pages If Necessary.	Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101
--	---

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning
 Committee
 Distribution Form Part 2

Project Name: TRIPLEX FOR WIR HOLDINGS, LLC		Project Number: 290417	Distribution Date: 9/20/2012
Project Scope/Location: MISSION BEACH *SUSTAINABLE EXPEDITE PROGRAM* (PROCESS 3) Coastal Development Permit and Lot Line Adjstmnt to demo the existing residence and construct a new three-story, 5,276 sq ft triplex on a 4,477 sq ft lot located at 2719 Bayside Walk in the R-S Zone of the Mission Beach Planned District, Airport Influence Area, FAA Part 77 Noticing Area, Coastal Height, Coastal (appealable), First Public Roadway, Parking Impact, Res Tandem Parking and Mission Beach Community Plan. CD 2. Notice Cards = 1.			
Applicant Name: Hillary Lowe		Applicant Phone Number: (858) 274-5978	
Project Manager: Laura Black	Phone Number: (619) 236-6327	Fax Number: (619) 446-5245	E-mail Address: L.Black@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input type="checkbox"/> Vote to Approve	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> Vote to Deny	Members Yes 9	Members No 0	Members Abstain 1
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: DENNIS WYNCH		TITLE: PLAN REVIEWER	
SIGNATURE: <i>Dennis Wynch</i>		DATE: FEBRUARY 2, 2013	
Attach Additional Pages If Necessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
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City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning
 Committee
 Distribution Form Part 1

Project Name: Triplex for WIR Holdings, LLC	Project Number: 290417	Distribution Date: 2/21/2013
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Project Scope/Location:
 MISSION BEACH *SUSTAINABLE EXPEDITE PROGRAM* (PROCESS 3) Coastal Development Permit and Lot Line Adjstmnt to demo the existing residence and construct a new three-story, 5,276 sq ft triplex on a 4,477 sq ft lot located at 2719 Bayside Walk in the R-S Zone of the Mission Beach Planned District, Airport Influence Area, FAA Part 77 Noticing Area, Coastal Height, Coastal (appealable), First Public Roadway, Parking Impact, Res Tandem Parking and Mission Beach Community Plan. CD 2. Notice Cards = 1.

Applicant Name: Hillary Lowe	Applicant Phone Number: 858.274.5978
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Project Manager: Laura C. Black	Phone Number: (619) 236-6327	Fax Number: (619) 321-3200	E-mail Address: lblack@sandiego.gov
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Project Issues (To be completed by Community Planning Committee for initial review):
See attach paper

Attach Additional Pages If Necessary.

Please return to:
 Project Management Division
 City of San Diego
 Development Services Department
 1222 First Avenue, MS 302
 San Diego, CA 92101

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City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning
 Committee
 Distribution Form Part 2

Project Name: Triplex for WIR Holdings, LLC		Project Number: 290417	Distribution Date: 2/21/2013
Project Scope/Location: MISSION BEACH *SUSTAINABLE EXPEDITE PROGRAM* (PROCESS 3) Coastal Development Permit and Lot Line Adjstmnt to demo the existing residence and construct a new three-story, 5,276 sq ft triplex on a 4,477 sq ft lot located at 2719 Bayside Walk in the R-S Zone of the Mission Beach Planned District, Airport Influence Area, FAA Part 77 Noilcing Area, Coastal Height, Coastal (appealable), First Public Roadway, Parking Impact, Res Tandem Parking and Mission Beach Community Plan. CD 2. Notice Cards = 1.			
Applicant Name: Hilary Lowe		Applicant Phone Number: 858.274.5978	
Project Manager: Laura C. Black	Phone Number: (619) 236-6327	Fax Number: (619) 321-3200	E-mail Address: lblack@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input type="checkbox"/> Vote to Approve	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> Vote to Deny	Members Yes 10	Members No 0	Members Abstain 1
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: MIKE MEYER		TITLE:	
SIGNATURE: Mike Meyer		DATE: 3-28-13	
Attach Additional Pages If Negessary.		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
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2719 BAYSIDE WALK

Project issues:

We are still having problem with projections into the Bayside Walk, Avalon Ct. and the interior side yard. The applicant has extended the floor joist beyond the walls into the setbacks. Some extends two feet (Bayside Walk and Court) and some extend 6 inches into interior side yard.

We do not allow these projections unless they are eaves.

These are not eaves. Using Google as definition of eaves and roofs. The whole first page defines eaves as overhang from a roof. Roofs are defined as tops of buildings.

These projection are coming off a deck on the Bayside Walk. They are not eaves.

Also the courts are not eaves.

The reason we have put the restriction of projections in front of the front yard setback because people have later after building or when redoing decks ten years later for water damage uses the projections to extend the decks into the setback.

The California Coastal Commission after the Planning Group had wanted to allow a three foot cover extended from the building over the front entry door was disallowed because of view corridor last summer.

The Mision Beach Planning Group voted to deny 2719 Bayside Walk 10-0-1 because of the intrusions into yard setback on the Bayside Walk, Avalon Ct. and the interior side yard.

Information Item

- **West Mission Bay Bridge Project Update – City of San Diego Project Management Team**

Nitsuh Aberra, City Project Manager presented the project update. Ms. Aberra pointed out the bridge was built in 1950, and is functionally obsolete and structurally deficient. The City will get 80% of the funding from the Federal government and the City will pay for 20% of the cost. She reported the design stage is still in process. The current bridge will be replaced in two pieces at the eastern half and a free lane will be open to traffic during construction. It will be replaced with a 5-span haunched-box girder bridge structure with three thru lanes, an auxiliary lane to I-8, a 12-foot wide bicycle space, and pedestrian seating. The inside of the bridge will provide vehicular lighting. Construction is scheduled to start in 2015 and will take two years to complete. Several Board members expressed concern about the turn lanes off and onto I-8. Ms. Aberra stated she would look into the matter further and get back to the Board since the bridge is still in its design stage.

BUILDING PLAN REVIEWS

Action Items:

- **2719 Bayside Walk – Project No. 290417 (Triplex for WIR Holdings, LLC):** Sustainable Expedite Program Coastal Development Permit and Lot Line Adjustment to demo existing residence and construct a new 3-story 5,276 sq. ft. Triplex on 4,477 sq. ft. lot – Review revised project plans for conformity with Mission Beach Planned District Ordinance

Mark Mitchell of Mark Mitchell Architecture represented the owner.

The Board heard this project on January 15, 2013. The project plans were denied (9-0-1) because several areas in the plans did not conform to the new PDO requirements, effective August 9, 2012.

Architect Mark Mitchell presented the revised project plans.

Plan Reviewers Mike Meyer and Dennis Lynch reviewed the revised project plans on behalf of the Board. They pointed out several areas in the project plans were corrected to conform to the new PDO requirements as follows:

- (1) The interior side yard on the south can not have construction greater than 3 feet in height. Refuse/recyclable storage, steps, railings, etc. that exceed this height must be removed;
- (2) Our PDO allows for an 18-inch vertical offset from the setback line extending the full height of the building. This building is greater than 30 feet wide for which that offset becomes mandatory for the entire width of the building;
- (3) Walls, fences, planters and anything man-made greater than 36 inches in height can not be in the required yards along Avalon Court and Bayside Walk

However, the Plan Reviewers pointed out there is a problem with projections into Bayside Walk, Avalon Court and the interior side yard because the applicant extended the floor joist beyond the walls into the setback. Some extend two feet on Bayside Walk and Avalon Court and some extend six inches into the interior side yard. These projections are not allowed unless they are eaves. The Plan Reviewers explained that an eave is an overhang from a roof and these extensions are not considered eaves because they are coming off a deck on the Bayside Walk. After further discussion, a motion was duly made to deny the project as follows:

Motion 2 was made by Dennis Lynch and seconded by Mike Meyer TO DENY the project plans at 2719 Bayside Walk because the intrusions into the yard setbacks are violations of the new PDO requirements as discussed above.

VOTE For: 10 Against: 0 Abstain: 1

Motion passes. [Abstain: J. Ready]

- **3610 Bayside Walk – Project No. 296187 (Cadena Residence):** Sustainable Expedite Program Coastal Development Permit to demo SFR and construct a 2,762 sq. ft. SFR with attached 399 sq. ft. garage on a 0.06 acre site – Review revised project plans for conformity with Mission Beach Planned District Ordinance

Architect Chad Beaver of Golba Architecture represented the owner.

The Board heard this project on November 20, 2012. The project plans were denied (8-0-0) because several areas in the plans did not conform to the new PDO requirements, effective August 9, 2012.

Architect Chad Beaver presented the revised plans.

Plan Reviewers Mike Meyer and Dennis Lynch reviewed the revised project plans on behalf of the Board. Plan Review Lynch pointed out the problem areas in the project plans were corrected to conform to the new PDO requirements as follows:

- (1) The open tandem parking space must be 36 feet long and 8 ½ feet wide [See: PDO, effective August 9, 2012, Section 1513.0403 (b) (4) (A)];
- (2) The eaves on the third floor roof can not encroach more than 6 inches into the interior side yard setbacks on the North and South elevations. This also applies to the first floor garage eave on the North interior side yard;
- (3) The railings have a curved portion that encroaches into the front yard second story setback on the East and into the side yard setbacks on the North third floor and on the second and third floors on the South.
- (4) Landscaping: No landscape plans were submitted. PDO requires 50% softscape 50% hardscape. Trees must be planted within 4 to 5 feet from the building, and no man-made objects greater than 36 inches shall be located in the required front yard setback.

After discussion, the following motion was duly made to approve the project because all concerns have been met to conform to the new PDO requirements.

Motion 3 was made by Dennis Lynch and seconded by Peggy Bradshaw TO APPROVE the project plans at 3610 Bayside Walk because all concerns have been met to conform to the new PDO requirements as discussed above.

VOTE For: 11 Against: 0 Abstain: 0

Motion passes.

MARK MITCHELL A.I.A. ARCHITECTURE & PLANNING

The MBPPB voted to deny the project based on the eave projections into Bayside Walk, Avalon Court and the interior side yards because they argue that these are not eaves since they attach to a deck. It was also suggested that they suspect the guard rails around the decks will be relocated in the future to the edge of the eaves ~~and~~ which is not represented in the design.

The eaves designed in this project comply with the Mission Beach Planned District Ordinance effective August 2012. Table 1513-03B allows eaves to encroach 2-feet into the required yards on courts, places and walks, and 6-inches on interior and street side yards. It is further stated that "the area that encroaches may not be used to support decks, exterior balconies, or floors" and "the eave shall not intrude into any required 45 degree angle for a Court, Place, Walk, or interior yard." The proposed eaves have been designed to comply with all of these regulations.

The google definitions cited by the MBPPB are not in line with the building code and municipal code definitions. The "decks" in question are all roofs over a space below, whether it is an interior space or a patio. The definition of a roof is much more than the "top of a building," as the google definition states. A roof is a specific structural component in a building that provided weather protection and resistance to design loads. A roof can also be a roof deck.

According to the building code a deck is actually a low sloped roof over the area below. It must be sloped for drainage. The 2010 California Building Code has the following definitions for "Roof Assembly" and "Roof Eave", there is no definition for "Deck" because a deck is really a roof with a walkable surface:

CBC SECTION 1502: DEFINITIONS

ROOF ASSEMBLY. *A system designed to provide weather protection and resistance to design loads. The system consists of a roof covering and roof deck or a single component serving as both the roof covering and the roof deck. A roof assembly includes the roof deck, vapor retarder, substrate or thermal barrier, insulation, vapor retarder and roof covering.*

CBC SECTION 702A: DEFINITIONS

ROOF EAVE. *The lower portion of a sloping roof assembly that projects beyond and overhangs an exterior wall at the lower end of the rafter tails.*

The San Diego Municipal Code defines roof eave in Chapter 11 Definitions as the following:

Roof eave means the lowest part of a roof that overhangs the wall below and from which rain water would drain.

The eaves in the proposed triplex are an important part of the design. They provide sun shading, weather protection and visual interest and they have been designed to comply respectfully with the regulations stated in the Mission Beach Planned District Ordinance.

4747 MISSION BLVD., SUITE # 6, SAN DIEGO, CA 92109 858-274-5978 fax 858-274-5981

To: Hearing Officer Project # 290417/ 2719 Bayside Walk

From: Joan & Richard Brazell, owners 2715 Bayside Walk

Re: Start Date of project demolition and framing

On behalf of the summer visitors and vacationing residents we hope you take in consideration that July is our busiest month for traffic, parking and beach goers. The project would be better tolerated by all-(residents, workers and inspectors) if the permit were to be issued after the busy summer season.

Sincerely,

Joan Brazell 7/12/2013

(d) Encroachments

- (1) Only the encroachments identified in Section 1513.0304(d) are allowed.

Table 1513-03B
Allowable Encroachments¹

Feature	Courts, Places, and Walks	Interior and Street Side Yard
Casings for Doors & Windows	6 inches	6 inches
Cornices ^{2,3}	1 foot	6 inches
Direct Vent Gas	1 foot	6 inches in 3- foot setback 1 foot in 5-foot setback
Eaves ²	2 feet ⁴	6 inches
Lighting Fixtures	9 inches	9 inches
Rain Gutters	6 inches	6 inches
Vents	6 inches	6 inches

¹ For features in Table 1513-03B that are located on any portion of the façade that encroaches 18 inches into the Court, Place, or Walk yard setback using the vertical offset in Section 1513.0304(d)(2)(A)(i), a maximum additional encroachment of 6 inches is allowed.

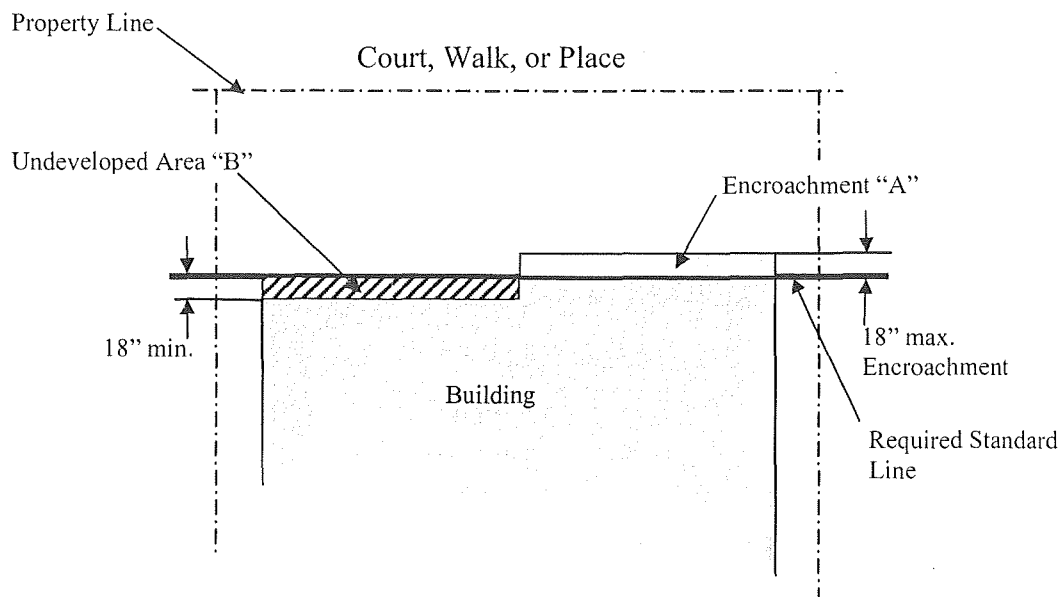
² The area that encroaches may not be used to support decks, exterior balconies, or floors.

³ Cornices shall not exceed 1-foot in height.

⁴ The eave shall not intrude into any required 45 degree angle for a Court, Place, Walk or interior yard.

- (2) Encroachments into yards for Courts, Places, and all yards on Ocean Front and Bayside Walks
- (A) The following encroachments, in addition to those identified in Table 1513-03B, are permitted in yards for Courts, Places, and Walks:
- (i) An encroachment of up to 18 inches or a vertical offset extending full height of the building that is a maximum of 3 feet in deep and not less than 45 degrees for at least 50 percent of the building as illustrated in Diagram 1513-03D provided that the width of the encroaching offset is not more than one-half of the total building width, and an insert area equal to the width of the encroaching offset at a minimum depth of 18 inches is undeveloped behind the required setback line parallel to the Court, Place, or Walk.
- (ii) Only those encroachments identified in Table 1513-03B are allowed in the offset and inset areas.

Diagram 1513-03D
18 Inch Offset for a Court, Walk, or Place



PLANNING COMMISSION RESOLUTION NO. PC-XXXX
COASTAL DEVELOPMENT PERMIT NO. 1018896
LOT LINE ADJUSTMENT NO. 1098742
TRIPLEX FOR WIR HOLDINGS, LLC. - PROJECT NO. 290417

WHEREAS, WIR HOLDINGS, LLC., Ronald J. Bills, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish the existing two-story duplex and construct a three-story triplex (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742) on portions of a 4,477 square foot site;

WHEREAS, the project site is located at 2719 Bayside Walk in the MBPD-R-S zone of the Mission Beach Planned District, the Airport Environs Overlay Zone, the 60-65 CNEL noise contour, the Airport Influence Area (SD International Airport), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway, the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Mission Beach Precise Plan and Local Coastal Program Area;

WHEREAS, the project site is legally described as Lot A of Mission Beach, Block 17, Map No. 1809;

WHEREAS, on June 12, 2013, the Hearing Officer of the City of San Diego approved Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on June 25, 2013, an appeal was filed on the Hearing Officer approval on June 12, 2013, by the Chairperson of the Mission Beach Precise Planning Board;

WHEREAS, on April 12, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15332 (Infill Development Projects) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated September 12, 2013.

FINDINGS:

Coastal Development Permit - Section 126.0708

- 1. The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The proposed project is located at 2719 Bayside Walk within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local Coastal Program. The proposed project building footprint will not change substantially from the existing building on site that is proposed to be demolished as part of the project. The proposed building is setback according to the required minimum setback guidelines within the Mission Beach Planned District (MBPD). Although no specific views are identified through the project site in the precise plan, the plan states that views to, and along the shoreline from public areas shall be protected from blockage by development and or vegetation. In addition SDMC 132.0403(b) requires the preservation of a visual corridor of not less than the side yard setbacks or more than 10 feet in width, and running the full depth of the premises whenever there is a potential view to the water. Potential views to Mission Bay looking east from Bayside Lane and through the property will be improved with the proposed development. New open fences and landscape less than three feet in height may be located within the required yards provided they do not obstruct views. Condition Number 23 of the Coastal Development permit will require a view corridor easement 10 feet wide on the north side and 5 feet wide on the south side. Therefore, the proposed project would not encroach upon any existing physical accessway and would not impact the Mission Beach Precise Plan or Local Coastal Program.

- 2. The proposed coastal development will not adversely affect environmentally sensitive lands.**

The proposed project is located at 2719 Bayside Walk within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local Coastal Program. The existing developed site is relatively flat with the proposed building situated very close to the existing structure proposed to be demolished as part of the project. The site is surrounded by development and there is no environmentally sensitive lands mapped on the project site, nor on the adjacent properties; therefore, the proposed project would not have an adverse affect on environmentally sensitive lands.

- 3. The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.**

The proposed project is located at 2719 Bayside Walk within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local Coastal Program. The project site is designated for residential development, with a maximum density of 36 dwelling units per acre, within the Mission Beach Precise Plan. The project proposes 3 dwelling units on a 4,477 square foot lot for a density of approximately 29 dwelling units per acre. The project is consistent with the designated use and density in the Mission Beach Precise Plan. Therefore, the proposed project conforms to the identified land use in the Mission Beach Precise Plan and the Local Coastal Program, and the certified Implementation Program.

- 4. For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with**

the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The proposed project is located at 2719 Bayside Walk within an urbanized and fully developed residential neighborhood in the Mission Beach Precise Plan and the Local Coastal Program. The project is located between the nearest public road, Bayside Lane and the sea or shoreline. Bayside Walk is adjacent to the shoreline and Bayside Walk is an area used by pedestrians. Bayside Lane is the first public road adjacent to the project site and to the west of the site. Therefore, the proposed development is located between the first public road and the shoreline of a body of water within the Coastal Overlay Zone. Although no specific views are identified through the project site in the Mission Beach Precise Plan, the plan states that views to, and along the shoreline from public areas shall be protected from blockage by development and or vegetation. In addition SDMC 132.0403(b) requires the preservation of a visual corridor of not less than the side yard setbacks or more than 10 feet in width, and running the full depth of the premises whenever there is a potential view to the water. Condition Number 23 has been added to the Coastal Development Permit to ensure this visual corridor is preserved adjacent to the project site. Potential views to Mission Bay looking east from Bayside Lane and through the property are currently obstructed by existing landscape and structures. The proposed development will remove all existing solid fences or walls or open fences greater than 3 feet in height from the required yards along Avalon Court and the south side yard. New open fences and landscape less than three feet in height may be located within the required yards provided they do not obstruct views. Therefore, the proposed development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

Lot Line Adjustment - Section 125.0340

1. The proposed adjustment complies with the applicable provisions of the Subdivision Map Act.

Parcel Map No. 1809 was recorded on November 13, 1924 creating the existing legal lot requesting redevelopment for a three-story triplex and the legal lot adjacent and to the south of the proposed development site. The existing residential dwelling unit was built in 1946. At some point, the property owner to the south of the project site built a garage on a portion of the shared property line between the two properties. This is the south property line for the proposed development. The proposed adjustment will not subdivide any lots. It will adjust the lot line between two existing parcels. Therefore, the proposed adjustment complies with the applicable provisions of the Subdivision Map Act.

2. Before adjustment, all lots or parcels are existing parcels of land created by separate fee conveyance and meeting the criteria for determination of a lot as specified in Section 113.0237.

Parcel Map No. 1809 was recorded on November 13, 1924 creating the existing legal lot requesting redevelopment for a three-story triplex and the legal lot adjacent and to the south of the proposed development site. The existing residential dwelling unit was built in 1946. At some point, the property owner to the south of the project site built a garage on a portion of the shared property line between the two properties. This is the south property line for

the proposed development. Before the lot line adjustment, the individual parcels shown on Parcel Map No. 1809 have been recorded by the County Recorder and meets the criteria for determination of a lot as specified in SDMC Section 113.0237.

3. **All adjusted lots or parcels comply with the minimum requirements of the Land Development Code and all existing structures comply with the established yards, except for property for which a Variance has been granted pursuant to Chapter 12, Article 6, Division 8 (Variances) and for previously conforming lots or structures, for which the Lot Line Adjustment shall not increase the existing noncompliance.**

Parcel Map No. 1809 was recorded on November 13, 1924 creating the existing legal lot requesting redevelopment for a three-story triplex and the legal lot adjacent and to the south of the proposed development site. The existing residential dwelling unit was built in 1946. At some point, the property owner to the south of the project site built a garage on a portion of the shared property line between the two properties. This is the south property line for the proposed development. The individual parcels comply with the minimum requirements of the Land Development Code, the Mission Beach Precise Plan and the General Plan. All existing structures comply with the established yards, no deviations or variances are requested from the regulations, so there is no existing noncompliance. Therefore, the proposed lot line adjustment shall not increase the existing noncompliance.

4. **The Lot Line Adjustment will not result in the creation of any additional parcels.**

Parcel Map No. 1809 was recorded on November 13, 1924 creating the existing legal lot requesting redevelopment for a three-story triplex and the legal lot adjacent and to the south of the proposed development site. The existing residential dwelling unit was built in 1946. At some point, the property owner to the south of the project site built a garage on a portion of the shared property line between the two properties. This is the south property line for the proposed development. The proposed adjustment will not subdivide any lots. It will adjust the lot line between two existing parcels. Therefore, the proposed lot line adjustment will not result in the creation of any additional parcels.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, this appeal from the June 12, 2013 Hearing Officer decision is DENIED and Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742, a copy of which is attached hereto and made a part hereof.

Laura C. Black, AICP
Development Project Manager
Development Services

Adopted on: September 12, 2013
Internal Order No. 24003080

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003080

COASTAL DEVELOPMENT PERMIT NO. 1018896
LOT LINE ADJUSTMENT NO. 1098742
TRIPLEX FOR WIR HOLDINGS, LLC. - PROJECT NO. 290417
PLANNING COMMISSION

This Coastal Development Permit No. 1018896 and Lot Line Adjustment No. 1098742 is granted by the Hearing Officer of the City of San Diego to WIR HOLDINGS, LLC., Ronald J. Bills, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0708 and 125.0340. The 4,477 square foot site is located at 2719 Bayside Walk in the MBPD-R-S zone of the Mission Beach Planned District, the Airport Environs Overlay Zone, the 60-65 CNEL noise contour, the Airport Influence Area (SD International Airport), the FAA Part 77 Notification Area, the Coastal Height Limitation Overlay Zone, the Coastal Overlay Zone (Appealable Area), the First Public Roadway, the Parking Impact Overlay Zone (Beach Impact Area), the Residential Tandem Parking Overlay Zone, and the Mission Beach Precise Plan and Local Coastal Program Area. The project site is legally described as: Lot A of Mission Beach, Block 17, Map No. 1809.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to demolish the existing residential dwelling unit and construct a three-story triplex, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 12, 2013, on file in the Development Services Department.

The project shall include:

- a. Demolition of the existing residential dwelling unit and the construction of a three-story, 5,276 square foot triplex on a 4,477 square foot lot;
- b. Lot Line adjustment for an approximate 8.2 square foot portion of Parcel 1 to be transferred to Parcel 2, along the southern property line for the project;

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. A roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption in accordance with Council Policy 900-14; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by September 12, 2016.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action, or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
10. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to,

settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

AFFORDABLE HOUSING REQUIREMENTS:

12. Prior to the issuance of any building permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

AIRPORT REQUIREMENTS:

13. Prior to the issuance of any building permits, the Owner/Permittee shall grant an avigation easement to the San Diego County Regional Airport Authority as the operator of the San Diego International Airport for the purposes of aircraft operations, noise and other effects caused by the operation of aircraft, and for structure height if the same would interfere with the intended use of the easement. The Owner/Permittee shall use the avigation easement form provided by the San Diego County Regional Airport Authority.

14. Prior to submitting building plans to the City for review, the Owner/Permittee shall place a note on all building plans indicating that an avigation easement has been granted across the property to the airport operator. The note shall include the County Recorder's recording number for the avigation easement.

15. Prior to the issuance of any building permits, the Owner/Permittee shall provide a copy of the signed agreement [DS-503] and show certification on the building plans verifying that the structures do not require Federal Aviation Administration [FAA] notice for Determination of No Hazard to Air Navigation, or provide an FAA Determination of No Hazard to Air Navigation as specified in Information Bulletin 520

ENGINEERING REQUIREMENTS:

16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

19. Prior to the issuance of any building permits, the Owner/Permittee shall submit an building pad certification signed by a Registered Civil Engineer or a Licensed Land Surveyor, certifying

the pad elevation based on USGS datum is consistent with Exhibit 'A', satisfactory to the City Engineer.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall remove all private improvements from the City's right-of-way, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

21. Prior to issuance of a Certificate of Occupancy, the Owner/Permittee to install all required landscape and obtain all required landscape inspections.

22. Landscaping materials shall not encroach or overhang into the Courts and Places rights-of-way and view corridors.

PLANNING/DESIGN REQUIREMENTS:

23. Prior to the issuance of any building permit, the Owner/Permittee shall record a 10-foot wide View Corridor Easement measured from the north property line inward and a 5-foot wide View Corridor Easement measured from the south property line inward, running the full length of the property from east to west in accordance with SDMC Section 132.0403.

24. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

25. Prior to the issuance of building permits, construction documents shall fully illustrate the incorporation of a roof-mounted photovoltaic system consisting of solar panels sufficient to generate at least 50 percent of the project's projected energy consumption, in accordance with Council Policy 900-14.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

27. Balcony railings shall not be located, moved or extended into any required yard.

TRANSPORTATION REQUIREMENTS:

28. Owner/Permittee shall maintain a minimum of 6 off-street parking spaces (provided in the configuration of 3 tandem parking spaces) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A". Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City of San Diego Municipal Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Department Director.

29. Each automobile tandem parking space shall be assigned to the same dwelling unit.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

30. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
31. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.
32. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
33. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any water and sewer facilities.
34. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to cap (abandon) at the property line any existing unused sewer lateral and install new sewer lateral(s) which must be located outside of any driveway or vehicular use area.
35. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, to remove (kill) at the main any existing unused water service.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on September 12, 2013, and Resolution No. PC-XXXX.

Coastal Development Permit No. 1018896
Lot Line Adjustment No. 1098742
Date of Approval: September 12, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Laura C. Black, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

WIR HOLDINGS, LLC.
Owner/Permittee

By _____
Ronald J. Bills
Owner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

Sustainable, Clean & Green Building Development Techniques: This project incorporates the following sustainable, clean, and green building development techniques and conservation efforts, consistent with the San Diego General Plan conservation Element: CE-A.5 a. Minimizing energy use through innovative site design and building orientation that addresses factors such as sun-shade patterns, prevailing winds, landscape, and sun-screens: 1. Building is oriented with the long axis running east-west to take advantage of sun; 2. Cross ventilation from prevailing west wind is facilitated by operable openings on the East and West facades; 3. Openings on the South Façade use low-E glass to prevent solar heat gain and while allowing for natural lighting; 4. Eaves, overhangs and trellis sun screens are used over South facing windows; 5. Employing self generation of energy using renewable technologies, i.e. photovoltaic system: 1. Photovoltaic Panels are planned for a large portion of the roof area; 2. Reducing levels of non-essential lighting, heating and cooling; 3. Daylighting, sufficient insulation and proper sunscreens have been incorporated into the design to create an efficient building that will not need the use of electric lighting during the day and will maintain temperature in a temperate climate without excessive heat gain or loss; 4. Using energy efficient appliances and lighting: 1. New appliances and lighting will be energy efficient and Energy Star rated or the equivalent. CE-A.7. Construct and operate buildings using materials, methods, and mechanical and electrical systems that ensure a healthful indoor air quality. Avoid contamination by carcinogens, volatile organic compounds, fungi, molds, bacteria, and other known toxins. a. Eliminate the use of chlorofluorocarbon based refrigerants in newly constructed facilities and major building renovations and retrofits for all heating, ventilation, air conditioning, and refrigerant-based building systems. b. Reduce the quantity of indoor air contaminants that are odorous or potentially irritating to protect installers and occupants' health and comfort. Where feasible, select low-emitting adhesives, paints, coatings, carpet systems, composite wood, agri-fiber products, and others. CE-A.8. Reduce construction and demolition waste in accordance with Public Facilities Element, Policy PF-1.2, or by renovating or adding on to existing buildings, rather than constructing new buildings. 1. This project involves the construction of a new building that will replace an existing building of older materials that lack the energy efficiency of the proposed design. The new design will be more efficient and increase density on the lot by adding a level. 2. Demolition waste is kept to the minimum amount necessary to the project. 3. Demolition waste will be recycled and/or reused where possible. CE-A.9. Reuse building materials, use materials that have recycled content, or use materials that are derived from sustainable or rapidly renewable sources to the extent possible, through factors including: 1. Scheduling time for deconstruction and recycling activities to take place during project demolition and construction phases. 2. Using life cycle costing in decision-making for materials and construction techniques. Life cycle costing analyzes the costs and benefits over the life of a particular product, technology, or system; 3. Implementing effective economic incentives to recycle construction and demolition debris (see also Public Facilities Element, Policy PF-1.2). CE-A.10. Include features in buildings to facilitate recycling of waste generated by building occupants and associated refuse storage areas. a. Provide permanent, adequate, and convenient space for individual building occupants to collect refuse and recyclable material. 1. This area is designated on the West side of the house along to alley. b. Provide a recyclables collection area that serves the entire building or project. The space should allow for the separation, collection and storage of paper, glass, plastic, metals, yard waste and other materials as needed. 1. This area is designated on the West side of the house along the alley. 2. These accommodations are adequate for a single family residential units. CE-A.11. Implement sustainable landscape design and maintenance. 1. The landscape is not in the scope of this project and is to remain as is. However, it shall be noted that, the improves surface area will not increase and the irrigation requirements are currently acceptable and will not increase. The landscaping complies with the Mission Beach PDO and incorporates drought tolerant species. a. Use integrated pest management techniques, where feasible, to delay, reduce, or eliminate dependence on the use of pesticides, herbicides, and synthetic fertilizers. b. Encourage composting efforts through education, incentives, and other activities. c. Decrease the amount of impervious surfaces in developments, especially where public places, plazas and amenities are proposed to serve as recreation opportunities (see also Recreation Element, Policy RE-A.6 and A.7). d. Strategically plant deciduous shade trees, evergreen trees, and drought tolerant native vegetation, as appropriate, to contribute to sustainable development goals. e. Reduce use of lawn types that require high levels of irrigation. f. Strive to incorporate existing mature trees and native vegetation into site designs. g. Minimize the use of landscape equipment powered by fossil fuels. h. Implement water conservation measures in site/building design and landscaping. i. Encourage the use of high efficiency irrigation technology, and recycled site water to reduce the use of potable water for irrigation. Use recycled water to meet the needs of development projects to the maximum extent feasible. (see Policy CE-A.12).



CONSTRUCTION DOCS 05/07/2013
BUILDING SUBMITTAL I 05/29/2013
HEARING OFFICER 07/31/2013

TRIPLEX FOR WIR HOLDINGS, LLC.



ABBREVIATIONS

Table of abbreviations and their corresponding full names, such as A.F.F. ABOVE FINISH FLOOR, ADD. ADDENDUM, A.D. AREA DRAIN, AL. ALUMINUM, A.B. ANCHOR BOLT, ARCH. ARCHITECT (URAL), BRG. BEARING, BLK. BLOCKING, BO. BOARD, B.S. BOTH SIDES, BRK. BRICK, BDG. BUILDING, CAB. CABINET, CSMT. CASSEMENT, C.I.P.C. CAST-IN-PLACE CONCRETE, CLG. CEILING, C.T. CERAMIC TILE, C.L. CENTER LINE, CIR. CIRCLE, CLR. CLEAR (ANCE), COLL. COLLUM, COMB. COMBINATION, CONG. CONCRETE, CONST. CONSTRUCTION, CONT. CONTINUOUS OR CONTINUE, CONTR. CONTRACT (OR), COUNTER. COUNTER, CFL. COUNTERFLASHING, CFT. CUBIC FOOT, CYD. CUBIC YARD, DET. DETAIL, DIAG. DIAGONAL, DIA. DIAMETER, DIM. DIMENSION, DR. DOOR, D.H. DOUBLE HUNG, DS. DISCONNECT SWITCH (HVAC), E.F. EACH FACE, E.S. EAST, ELEC. ELECTRIC (CAL), E.P. ELECTRIC PANELBOARD, EL. ELEVATION, EQ. EQUAL, EST. ESTIMATE, EXIST. EXISTING, EXP. EXPOSED, EXT. EXTERIOR, F.B. FACE BRICK, F.O.C. FACE OF CONCRETE, F.O.F. FACE OF FINISH, F.O.M. FACE OF MASONRY, F.O.S. FACE OF STUDS, FGL. FIBERGLASS, FIN. FINISH (ED), F.F. FINISH FLOOR, FFL. FIREPLACE, FLG. FLASHING, FLR. FLOOR (ING), F.D. FLOOR DRAIN, FLOR. FLUORESCENT, FTG. FOOTING, FND. FOUNDATION, FR. FRENCH, F.O.B. FURNISHED BY OTHERS, FUT. FUTURE, FX. FIXED, GA. GAUGE, G.I. GALVANIZED IRON (OR), G.C. GENERAL CONTRACT (OR), GYP. GYPSUM, HDW. HARDWARE, HDR. HEADER, HT. HEIGHT, H.C. HOLLOW CORE, HOR. HORIZONTAL, H.B. HOSE BIBB, INCL. INCLUDE (D) (ING), I.D. INSIDE DIAMETER, INT. INTERIOR, JOINT. JOINT, JST. JOIST, KICKPLATE. KICKPLATE, KIT. KITCHEN, LBL. LABEL, LAV. LAVATORY, LH. LEFT HAND, LG. LENGTH, LT. LIGHT, LW. LIGHTWEIGHT, LWC. LIGHTWEIGHT CONCRETE, LVR. LOUVER, MANUF. MANUFACTURE, MRS. MASONRY, MAS. MASONRY, MATL. MATERIAL (S), MAX. MAXIMUM, M.C. MEDICINE CABINET, MED. MEDIUM, METL. METAL, MICRO. MICROWAVE, MIN. MINIMUM, MIR. MIRROR, MISC. MISCELLANEOUS, MULL. MULLION, MULL. MULLION, NOM. NOMINAL, N. NORTH, NOT IN CONTRACT. NOT IN CONTRACT, N.I.C. NOT IN CONTRACT, O.C. ON CENTER, OPN. OPENING, OPP. OPPOSITE, O.D. OUTSIDE DIAMETER, OA. OVERALL, OVERALL, OVERALL, PNL. PANEL, PAR. PARALLEL, PARR. PARALLING, PKG. PACKING, PLY. PLYWOOD, PT. POINT, P.S.F. POUNDS PER SQUARE FOOT, P.F.I. POUNDS PER SQUARE INCH, PCC. PRECAST CONCRETE, PFB. PREFABRICATED, PFL. PREFINISHED, P.L. PROPERTY LINE, RAD. RADIUS, REF. REFERENCE, REFR. REFRIGERATOR, REM. REMOVE, REML. RETURN AIR GRILL, RH. RIGHT HAND, R.O.W. RIGHT OF WAY, R. RISER, R.D. ROOF DRAIN, RFG. ROOFING, RM. ROOM, INCL. ROUGH OPENING, R.O. SCHEDULE, SH. SHEET, SHLVG. SHELVING, SKLT. SKILT, S.C. SOLID CORE, S. SOUTH, SIM. SIMILAR, SIML. SKTLIGHT, S.C. SOLID CORE, S. SOUTH, SPL. SPECIAL, SPEC. SPECIFICATION (S), SQ. SQUARE, S.F. SQUARE FEET, STD. STANDARD, STL. STEEL, STR. STRUCTURAL, SUSP. SUSPENDED, TEL. TELEPHONE, TV. TELEVISION, THK. THICK (NESS), TOP & BOTTOM. TOP & BOTTOM, T. & G. TONGUE & GROOVE, T.O.C. TOP OF CURB, T.O.P. TOP OF PLATE, TRAN. TRANSOM, TRSB. TRUSS, TYP. TYPICAL, UNL. UNLESS OTHERWISE NOTED, V.NR. VENEER, VERT. VERTICAL, VINYL. VINYL, W.SCT. WAJNSCOT, WC. WATER CLOSET, WH. WATER HEATER, W.P.P. WATERPROOFING, W.M. WELDED WIRE MESH, W. WEST, W.DW. WINDOW, WOOD. WOOD, W.I. WROUGHT IRON.

ARCHITECTURAL LEGEND

Table of architectural symbols and their meanings, including DIMENSION TO FACE OF STUD, DIMENSION TO CENTER LINE, DOOR REFERENCE SYMBOL, WINDOW REFERENCE SYMBOL, SHEAR PANEL INDICATION SYMBOL, REVISION REFERENCE SYMBOL, DETAIL NUMBER SHEET NUMBER, SECTION REFERENCE SHEET NUMBER, INTERIOR ELEVATION REFERENCE, EXISTING WALL TO REMAIN, EXISTING WALL TO BE REMOVED, NEW STUD WALL PER PLAN.

PROJECT TEAM

ARCHITECT: MARK MITCHELL ARCHITECTURE AND PLANNING
4747 MISSION BLVD, SUITE #6
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PO BOX 711307
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PHONE #: (619) 504-5610 FAX #: (619) 595-7841
Title24@title24consultants.com

FAA STATEMENT
I, Mark Mitchell AIA do hereby certify that the modification to the existing structure shown on these plans do not require Federal Aviation Administration notification because per Section 77.15 (a) of Title 14 of the Code of Federal Regulations CFR Part 77, notification is not required.

SOILS STATEMENT
THE STRUCTURE WILL BE LOCATED ENTIRELY ON UNDISTURBED NATIVE SOIL. IF THE BUILDING INSPECTOR SUSPECTS FILL, EXPANSIVE SOILS OR ANY GEOLOGIC INSTABILITY BASED UPON OBSERVATION OF THE FOUNDATION EXCAVATION, A SOILS OR GEOLOGICAL REPORT, AND RESUBMITTAL OF PLANS TO PLAN CHECK TO VERIFY THAT THE REPORT RECOMMENDATIONS HAVE BEEN INCORPORATED, MAY BE REQUIRED.

OWNER

DR. RONALD BILLS
2719 BAYSIDE WALK
SAN DIEGO, CA. 92109
(760) 994-3054

SHEET INDEX

- C - COVER
- A1.0 - SITE PLAN
- A2.1 - DEMO PLAN
- A3.1 - FIRST FLOOR PLAN DIMENSIONED
- A3.2 - SECOND FLOOR PLAN DIMENSIONED
- A3.3 - THIRD FLOOR PLAN DIMENSIONED
- A3.4 - ROOF PLAN DIMENSIONED
- A5.1 - SECTIONS
- A5.2 - SECTIONS
- A6.1 - EXTERIOR ELEVATIONS
- A6.2 - EXTERIOR ELEVATIONS
- L1.0 - LANDSCAPE PLAN
- E1.0 - ENCROACHMENTS EXHIBIT

PROJECT DATA

SITE ADDRESS: 2719 BAYSIDE WALK, SAN DIEGO, CA, 92109
ASSESSORS PARCEL NUMBER N. 423-749-04-00
LEGAL DESCRIPTION: LOT 4 OF MISSION BEACH, BLOCK 17, MAP 1809
OVERLAY ZONES: AIRPORT INFLUENCE AREA, FAA PART 77 NOTICING AREA, COASTAL HEIGHT, COASTAL (APPEALABLE), FIRST PUBLIC ROADWAY, PARKING IMPACT, BEACH IMPACT AREA, RESIDENTIAL TANDEM PARKING, GEOLOGIC HAZARD CATEGORIES 52 & 31
YEAR BUILT: 1946
EXISTING USE: SINGLE FAMILY RESIDENTIAL

PROPOSED USE: TRIPLEX
ZONE: MSPD-R-S
COMMUNITY PLAN: MISSION BEACH PDO

LOT AREA: 4477.44 SF
DISTURBED AREA: 0 SF

SETBACKS: REQUIRED: SHOWN:
FRONT: 8.5/10/11.5' 8.5/10/11.5'
SIDE: 5' 5'
REAR: 0' 0'
SIDE: 13.5/15/16.5' 13.5/15/16.5'

BUILDING HEIGHT: MAXIMUM ALLOWED: 20/30'
SHOWN: 20/30'

AREAS:
NEW SQUARE FOOTAGE GARAGE: 1000 SF
(MAX. EXEMPT GARAGE AREA = 200 SF X 6 = 1200 SF)
HOUSE FIRST FLOOR: 398 SF
HOUSE SECOND FLOOR: 1771 SF
HOUSE THIRD FLOOR: 1472 SF
TOTAL NEW FLOOR AREA: (EXCLUDING GARAGE) 4239 SF

NEW DECK SQUARE FOOTAGE:
THIRD FLOOR DECK: 346 SF
ROOF DECK: 301 SF
TOTAL NEW DECK: 693 SF
TOTAL NEW DECK: 1340 SF

FLOOR AREA RATIO: LOT AREA: 4,477.44 SF
MAXIMUM ALLOWABLE: 1.1
NEW: 0.95

MAXIMUM ALLOWABLE LOT COVERAGE: 0.65
PROPOSED LOT COVERAGE: 0.49

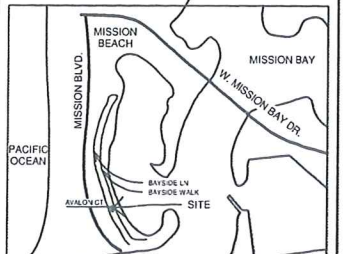
SCOPE OF WORK

DEMOLISH EXISTING TWO STORY DUPLEX AND CONSTRUCT NEW THREE STORY TRIPLEX RENTAL UNITS WITH A ROOF DECK.
COASTAL DEVELOPMENT PERMIT
LOT LINE ADJUSTMENT: INTERIOR LOT LINE, SOUTH BOUNDARY

BUILDING CODE DATA
CONSTRUCTION: TYPE V A
OCCUPANCY CLASSIFICATION: R-2U
NUMBER OF STORIES: 3
GOVERNING CODES: SEE SP-1 GENERAL NOTES FOR COMPLETE LIST.
SPRINKLER SYSTEM: YES
AIRPORT APPROACH: NO
AIRPORT ENVIRONS: NO

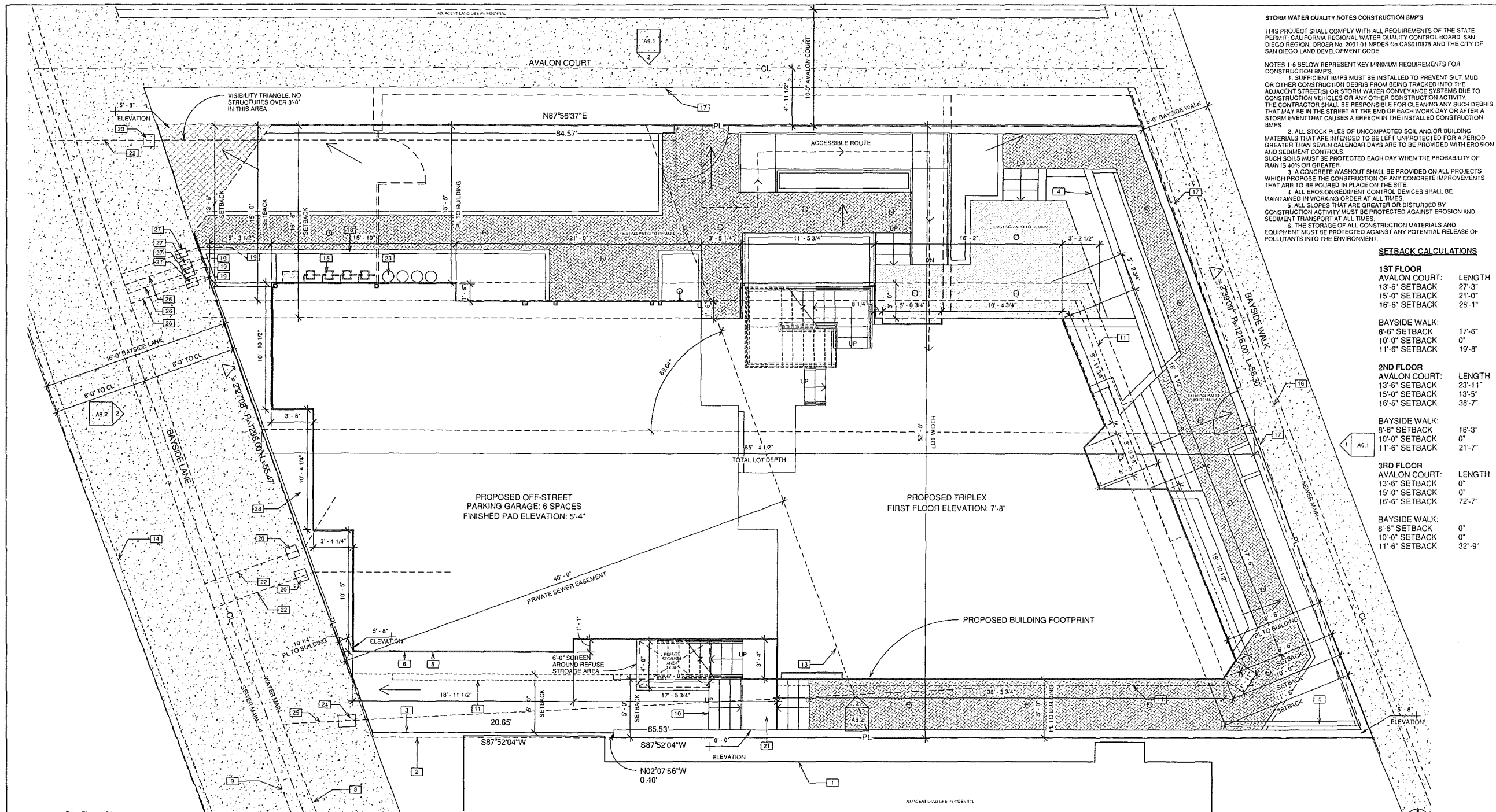
THIS PROJECT WILL COMPLY WITH THE CURRENT CALIFORNIA CONSTRUCTION CODES AND ADHERE TO THE 2010 CALIFORNIA BUILDING CODE, THE 2010 CALIFORNIA ELECTRICAL CODE, THE 2010 CALIFORNIA PLUMBING CODE, THE 2010 CALIFORNIA MECHANICAL, THE 2010 CALIFORNIA FIRE CODE, THE 2010 CALIFORNIA GREEN BUILDING CODE AND THE 2010 CALIFORNIA RESIDENTIAL CODE.

VICINITY MAP



MARK MITCHELL
ARCHITECTURE AND PLANNING
4747 MISSION BLVD, SUITE # 6, SAN DIEGO, CA 92109 (619) 274-5978

DRAWING: COVER
SCALE:
DRAWN: Author
JOB:
SHEET 1
OF 50 SHEETS



STORM WATER QUALITY NOTES CONSTRUCTION BMP'S

THIS PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE STATE PERMIT, CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN DIEGO REGION, ORDER No. 2001-01 NPDES No. CAS010475 AND THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.

NOTES 1-6 BELOW REPRESENT KEY MINIMUM REQUIREMENTS FOR CONSTRUCTION BMP'S

- SUFFICIENT BMP'S MUST BE INSTALLED TO PREVENT SILT, MUD OR OTHER CONSTRUCTION DEBRIS FROM BEING TRACKED INTO THE ADJACENT STREET(S) OR STORM WATER CONVEYANCE SYSTEMS DUE TO CONSTRUCTION VEHICLES OR ANY OTHER CONSTRUCTION ACTIVITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY SUCH DEBRIS THAT MAY BE IN THE STREET AT THE END OF EACH WORK DAY OR AFTER A STORM EVENT THAT CAUSES A BREACH IN THE INSTALLED CONSTRUCTION BMP'S.
- ALL STOCK PILES OF UNCOMPACTED SOIL AND/OR BUILDING MATERIALS THAT ARE INTENDED TO BE LEFT UNPROTECTED FOR A PERIOD GREATER THAN SEVEN CALENDAR DAYS ARE TO BE PROVIDED WITH EROSION AND SEDIMENT CONTROLS. SUCH SOILS MUST BE PROTECTED EACH DAY WHEN THE PROBABILITY OF RAIN IS 40% OR GREATER.
- A CONCRETE WASHOUT SHALL BE PROVIDED ON ALL PROJECTS WHICH PROPOSE THE CONSTRUCTION OF ANY CONCRETE IMPROVEMENTS THAT ARE TO BE POURED IN PLACE ON THE SITE.
- ALL EROSION/SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED IN WORKING ORDER AT ALL TIMES.
- ALL SLOPES THAT ARE GREATER OR DISTURBED BY CONSTRUCTION ACTIVITY MUST BE PROTECTED AGAINST EROSION AND SEDIMENT TRANSPORT AT ALL TIMES.
- THE STORAGE OF ALL CONSTRUCTION MATERIALS AND EQUIPMENT MUST BE PROTECTED AGAINST ANY POTENTIAL RELEASE OF POLLUTANTS INTO THE ENVIRONMENT.

SETBACK CALCULATIONS

FLOOR	SETBACK	LENGTH
1ST FLOOR	AVALON COURT:	27'-3"
	13'-6" SETBACK	21'-0"
	15'-0" SETBACK	28'-1"
BAYSIDE WALK:	8'-6" SETBACK	17'-6"
	10'-0" SETBACK	0"
	11'-6" SETBACK	19'-8"
2ND FLOOR	AVALON COURT:	23'-11"
	13'-6" SETBACK	13'-5"
	15'-0" SETBACK	38'-7"
BAYSIDE WALK:	8'-6" SETBACK	16'-3"
	10'-0" SETBACK	0"
	11'-6" SETBACK	21'-7"
3RD FLOOR	AVALON COURT:	0"
	13'-6" SETBACK	0"
	15'-0" SETBACK	72'-7"
BAYSIDE WALK:	8'-6" SETBACK	0"
	10'-0" SETBACK	0"
	11'-6" SETBACK	32'-9"

1 Site Plan 1/8" 1/4" = 1'-0"

Keynote Legend	Keynote Legend	Keynote Legend	Keynote Legend
1 NEIGHBORING HOUSE FOOTPRINT TO REMAIN	13 PRIVATE SEWER EASEMENT, SEE RICK ENGINEERING SHEET 3 OF 4 OF MAPPING SET	21 STAIR LANDING <30" ABOVE FINISHED GRADE	27 NEW WATER METER, LOCATED IN THE PUBLIC RIGHT OF WAY, TRAFFIC RATED PER CITY STANDARDS, INSTALLED ACCORDING TO FIGURE 3-2 PER CITY OF SAN DIEGO DESIGN GUIDELINES
2 EXISTING PROPERTY LINE	14 OVERHEAD ELECTRICAL UTILITIES	22 EXISTING SEWER LATERAL TO REMAIN, CONTRACTOR TO FIELD VERIFY PRECISE LOCATION AND CONDITION TO DETERMINE FEASIBILITY	28 EXISTING CONCRETE DRIVEWAY, REPAIR & REPLACE AS NEEDED
3 NEW PROPOSED PROPERTY LINE	15 NEW GAS METER LOCATION, ONE PER UNIT PLUS ONE HOUSE METER	23 NEW ELECTRICAL METER, ONE PER UNIT PLUS ONE HOUSE METER	
4 EXISTING MASONRY WALL TO REMAIN	16 8" SEWER MAIN IN BAYSIDE WALK, REFERENCE DRAWING 13003-3-D	24 EXISTING WATER METER, TO BE REPLACED BY NEW SERVICE	
5 LOCATION OF EXISTING GAS METER TO BE RELOCATED 00	17 REMOVE EXISTING FENCE LOCATED IN THE PUBLIC RIGHT OF WAY	25 EXISTING WATER CONNECTION TO BE REPLACED BY NEW SERVICE, ABANDON SERVICE AT WATER MAIN PER CITY STANDARDS	
6 EXISTING ELECTRIC METER, TO BE REPLACED & RELOCATED	18 SCREENING FOR GAS METERS TO BE PROVIDED PER SDMC 142.0910(C)	26 NEW WATER SERVICE, ONE PER UNIT	
7 EXISTING LANDSCAPED AREA TO REMAIN	19 NEW BACK FLOW PREVENTER LOCATED WITHIN PROPERTY LINE, ONE PER UNIT, IN LINE WITH SERVICE		
8 8" WATER MAIN IN BAYSIDE LANE, REFERENCE DRAWING 15547-7-D	20 SEWER LATERAL CLEANOUT IN THE PUBLIC RIGHT OF WAY, TRAFFIC RATED PER CITY STANDARDS, LOCATION TO BE VERIFIED		
9 8" SEWER MAIN IN BAYSIDE LANE, REFERENCE DRAWING 16739-2-D			
10 PROPOSED STAIRS TO ROOF DECK			
11 EAVE ABOVE			
12 STRUCTURE ABOVE			

SITE PLAN NOTES:

NO EXISTING OR PROPOSED BUS STOPS ON SITE

PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.3)

TOPOGRAPHIC SOURCE: THE SITE ELEVATION IS 4'-0" ACCORDING TO 1992 2-FOOT TOPO BY SANGIS MAPS AND THIS IS CONSISTENT WITH THE NEAREST BENCHMARK AT AVALON COURT AND BAYSIDE LANE, C.L. MONUMENT, ELEVATION 5.792 M.S.L. IDENTIFIED BY RICK ENGINEERING SURVEY 2012.

THERE IS LESS THAN ONE FOOT OF ELEVATION CHANGE OVER THE SITE AND THEREFORE TOPOGRAPHIC LINES ARE NOT SHOWN WITHIN THE SITE BOUNDARIES.

BICYCLE RACKS ARE NOT REQUIRED FOR A DWELLING UNIT WITH A GARAGE ACCESSIBLE ONLY BY RESIDENTS OF THE DWELLING UNIT

MINIMAL EXCAVATION WILL BE PERFORMED FOR FOUNDATIONS. EXACT AMOUNT DEPENDANT ON FOUNDATION PLANS TO BE PRODUCED BY STRUCTURAL ENGINEER AT APPLICATION FOR BUILDING PERMIT. ESTIMATED VALUE IS 234 LINEAR FEET OF CONTINUOUS FOOTINGS AT 1.5 FEET X 1.25 FEET. 234'-0" X 1'-4" X 1'-3" = 438 CUBIC FEET TOTAL = 16.23 CUBIC YARDS OF EXCAVATION

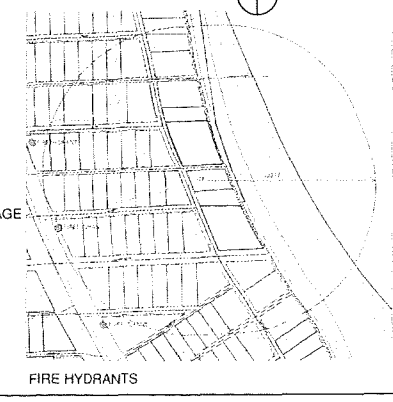
PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (UFC 901.4.3).

MINIMIZE SOIL COMPACTION IN LANDSCAPE AREAS. PER THE CITY OF SAN DIEGO STANDARD LOW IMPACT DEVELOPMENT (LID) SITE DESIGN BEST MANAGEMENT PRACTICES (BMP) REQUIREMENTS: PRIOR TO LANDSCAPE INSTALLATION IN AREAS DISTURBED DUE TO CONSTRUCTION AND WHERE LANDSCAPING WILL BE PLACED, THE SUBSOILS BELOW THE TOP LAYER SHALL BE SCARIFIED AT LEAST 6 INCHES. IF THE UPPER LAYERS OF TOPSOIL EXIST OR IS IMPORTED, INCORPORATE THE UPPER OR TOPSOIL MATERIAL TO AVOID STRATIFIED LAYERS.

THIS PROJECT DOES NOT REQUIRE A GRADING PERMIT PER SECTION 129.0603 (a) IN THE SAN DIEGO MUNICIPAL CODE WHICH GRANTS AN EXEMPTION FOR "EXCAVATION BELOW FINISHED GRADE FOR THE BASEMENT OR FOOTING OF A BUILDING." NO GRADING BEYOND THAT NEEDED TO REINFORCE THE FOOTINGS WILL BE REQUIRED FOR THIS PROJECT.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.



CONSTRUCTION DOCS 05.07.2013
 BUILDING SUBMITTAL 1
 05.29.2013
 HEARING OFFICER
 07/31/2013

TRIPLEX FOR WIR HOLDINGS, LLC.

MARK MITCHELL
 ARCHITECTURE AND PLANNING
 1747 MESSICH BLVD, SUITE # 6, SAN DIEGO, CA 92109 (619) 274-5976

DRAWING: SITE PLAN
 SCALE: 1/4" = 1'-0"
 DRAWN HL
 JCB
 SHEET 5
A1.0
 OF 30 SHEETS

CONSTRUCTION DOCS
05.07.2013
BUILDING SUBMITTAL 1
05.29.2013
HEARING OFFICER
07.31.2013

TRIPLEX FOR
WIR HOLDINGS, LLC.



MARK MITCHELL
ARCHITECTURE AND PLANNING
4747 MISSION BLVD., SUITE 7 C, SAN DIEGO, CA 92109 (619) 274-5976

DRAWING

DEMO PLAN

SCALE: 1/4" = 1'-0"

DRAWN: Author

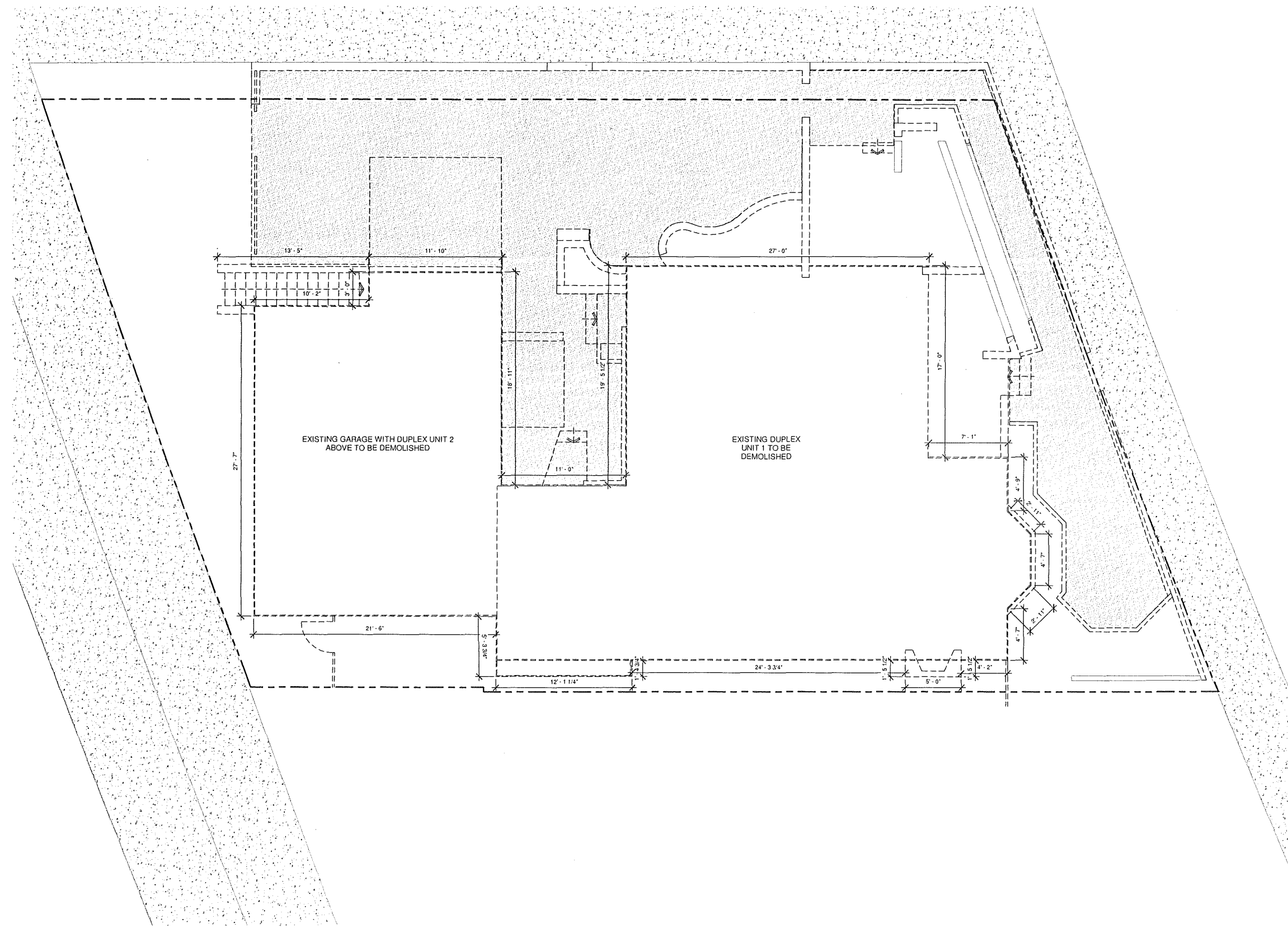
.JOB:

SHEET 7

A2.1

CF 50 SHEETS

1 Demo Plan
1/4" = 1'-0"



CONSTRUCTION DOCS 05.07.2013
BUILDING SUBMITTAL 1 05.23.2013
HEARING OFFICER 07.31.2013

TRIPLEX FOR
WIR HOLDINGS, LLC.



MARK MITCHELL
ARCHITECTURE AND PLANNING
4747 MISSION BLVD., SUITE #16, SAN DIEGO, CA 92108 (619) 274-5976

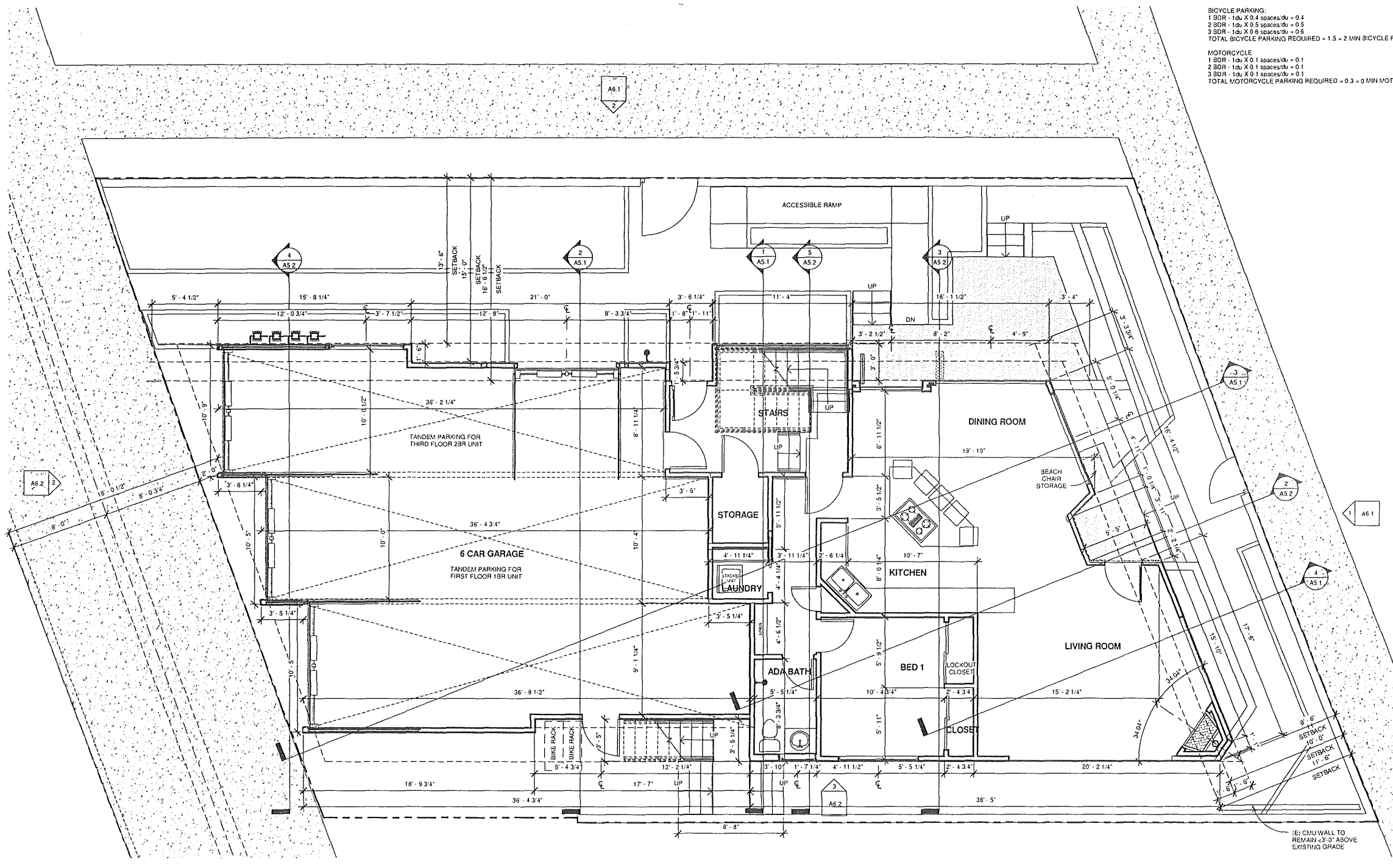
DRAWING
FIRST FLOOR PLAN DIMENSIONED
SCALE: 1/4" = 1'-0"
DRAWN: HL
.CB
SHEET 9
A3.1
OF 50 SHEETS

PARKING SUMMARY

AUTOMOBILE PARKING:
PER MISSION BEACH PDO
SDMC 1519 0403
(2 SPACES PER DWELLING UNIT) X (3 DWELLING UNITS) = 6 SPACES
TANDEM SPACES = 8'-0" X 36'-0" MIN., 8'-6" X 36'-0" AT WALL COLUMN

BICYCLE PARKING:
1 BDR - 1du X 0.4 spaces/du = 0.4
2 BDR - 1du X 0.5 spaces/du = 0.5
3 BDR - 1du X 0.6 spaces/du = 0.6
TOTAL BICYCLE PARKING REQUIRED = 1.5 = 2 MIN BICYCLE PARKING SPACES

MOTORCYCLE
1 BDR - 1du X 0.1 spaces/du = 0.1
2 BDR - 1du X 0.1 spaces/du = 0.1
3 BDR - 1du X 0.1 spaces/du = 0.1
TOTAL MOTORCYCLE PARKING REQUIRED = 0.3 = 0 MIN MOTORCYCLE PARKING SPACES

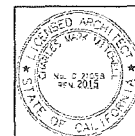


1 FIRST FLOOR DIMENSIONED
1/4" = 1'-0"



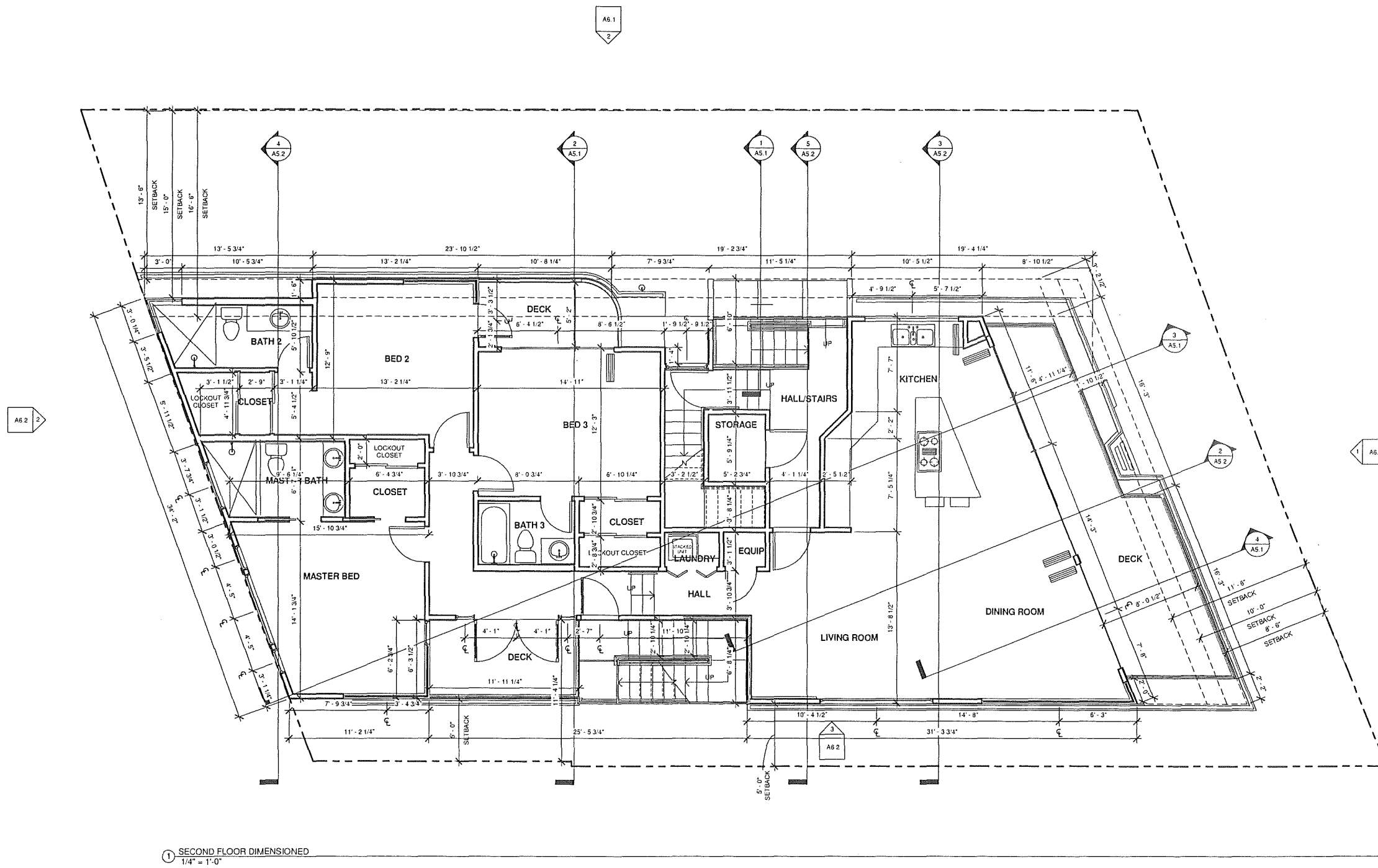
CONSTRUCTION DOCS
05.07.2013
BUILDING SUBMITTAL 1
05.23.2013
HEARING OFFICER
07.31.2013

TRIPLEX FOR
WIR HOLDINGS, LLC.



MARK MITCHELL
ARCHITECTURE AND PLANNING
1747 MISSION BLVD., SUITE # 6, SAN DIEGO, CA 92109 (609) 274-9976

DRAWING
SECOND FLOOR PLAN
DIMENSIONED
SCALE: 1/4" = 1'-0"
DRAWN: HL
JOB
SHEET 10
A3.2
OF 50 SHEETS



1 SECOND FLOOR DIMENSIONED
1/4" = 1'-0"

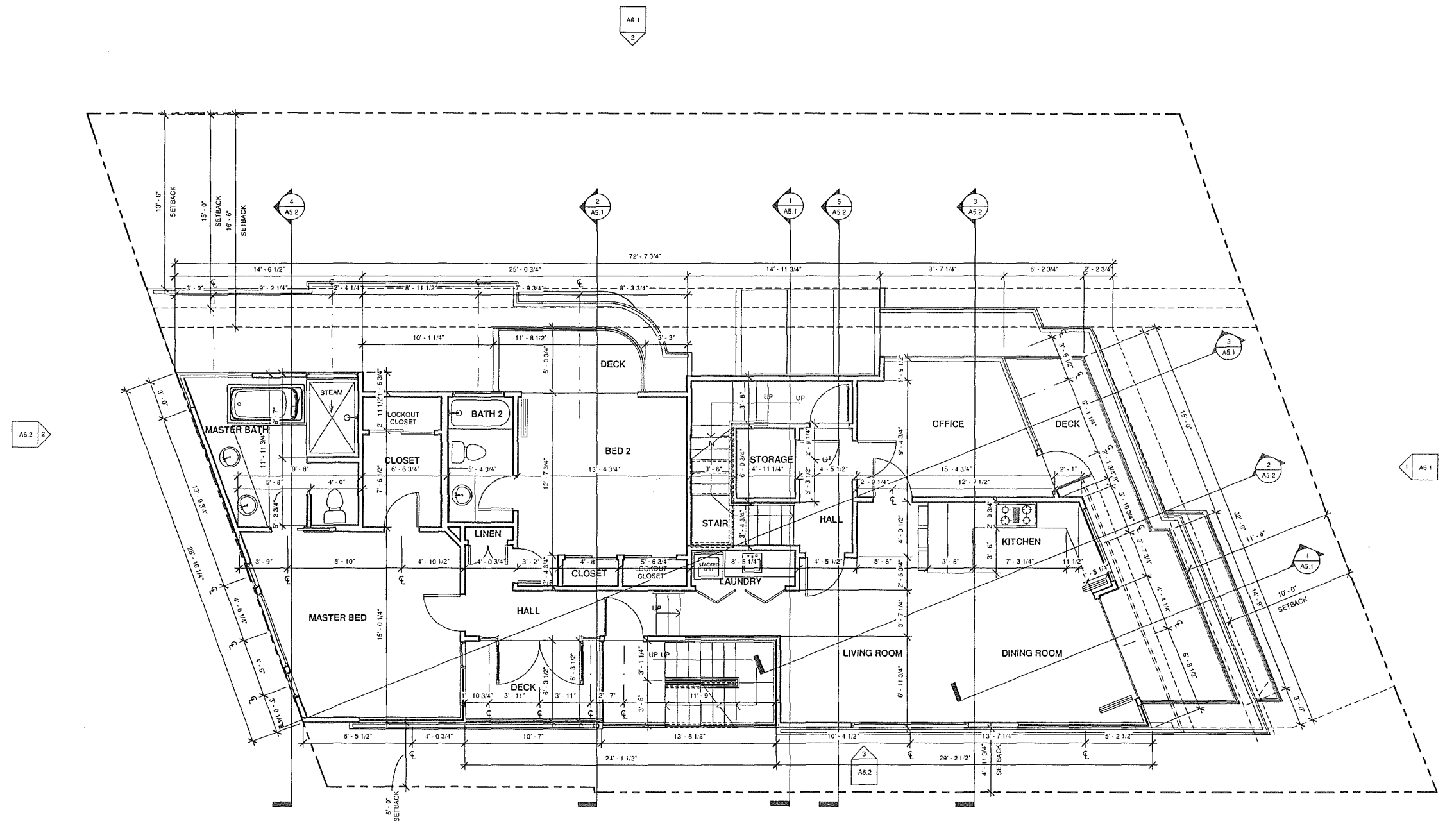
CONSTRUCTION DGGS
05/07/2013
BUILDING SUBMITTAL 1
05/29/2013
HEARING OFFICER
07/31/2013

TRIPLEX FOR
WIR HOLDINGS, LLC.



MARK MITCHELL
ARCHITECTURE AND PLANNING
1747 MISSION BLVD., SUITE # C, SAN DIEGO, CA 92102 (619) 274-5975

DRAWING
THIRD FLOOR PLAN
DIMENSIONED
SCALE 1/4" = 1'-0"
DRAWN Author
-JCB
SHEET 11
A3.3
CF 50 SHEETS

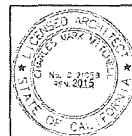


① THIRD FLOOR DIMENSIONED
1/4" = 1'-0"



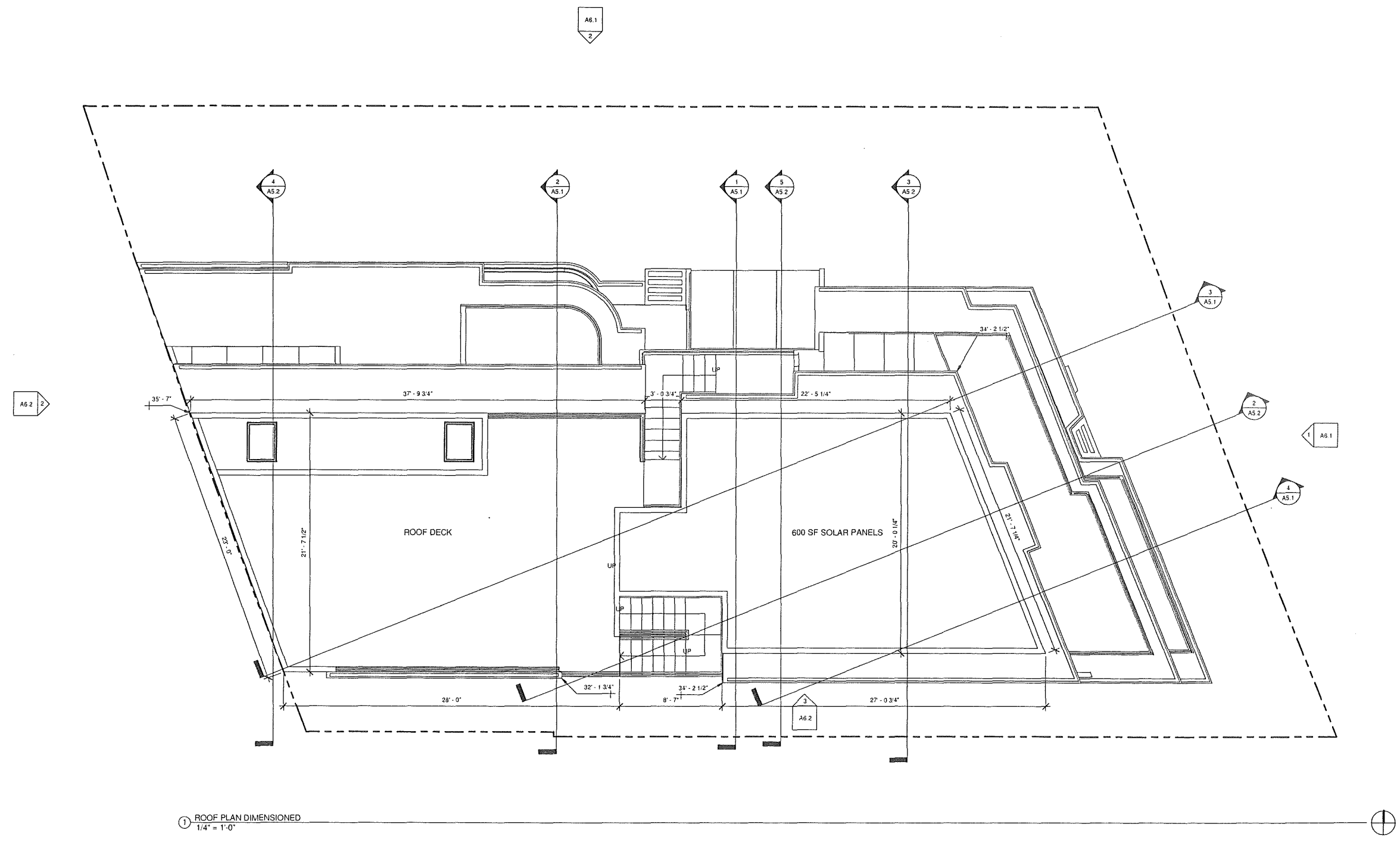
CONSTRUCTION DOCS
05-07-2013
BUILDING SUBMITTAL 1
05-23-2013
HEARING OFFICER
07/31/2013

TRIPLEX FOR
WIR HOLDINGS, LLC.



MARK MITCHELL
AN ARCHITECT (REGISTERED ARCHITECT) (PLANNING)
1747 MISSION BLVD, SUITE # C, SAN DIEGO, CA 92108 (619) 274-5976

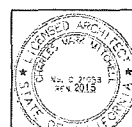
DRAWING
ROOF PLAN
DIMENSIONED
SCALE 1/4" = 1'-0"
DRAWN HL
JOB
SHEET 12
A3.4
OF 50 SHEETS



① ROOF PLAN DIMENSIONED
1/4" = 1'-0"

CONSTRUCTION DOCS
05 07 2013
BUILDING SUBMITTAL 1
08/29/2013
HEARING OFFICER
07/31/2013

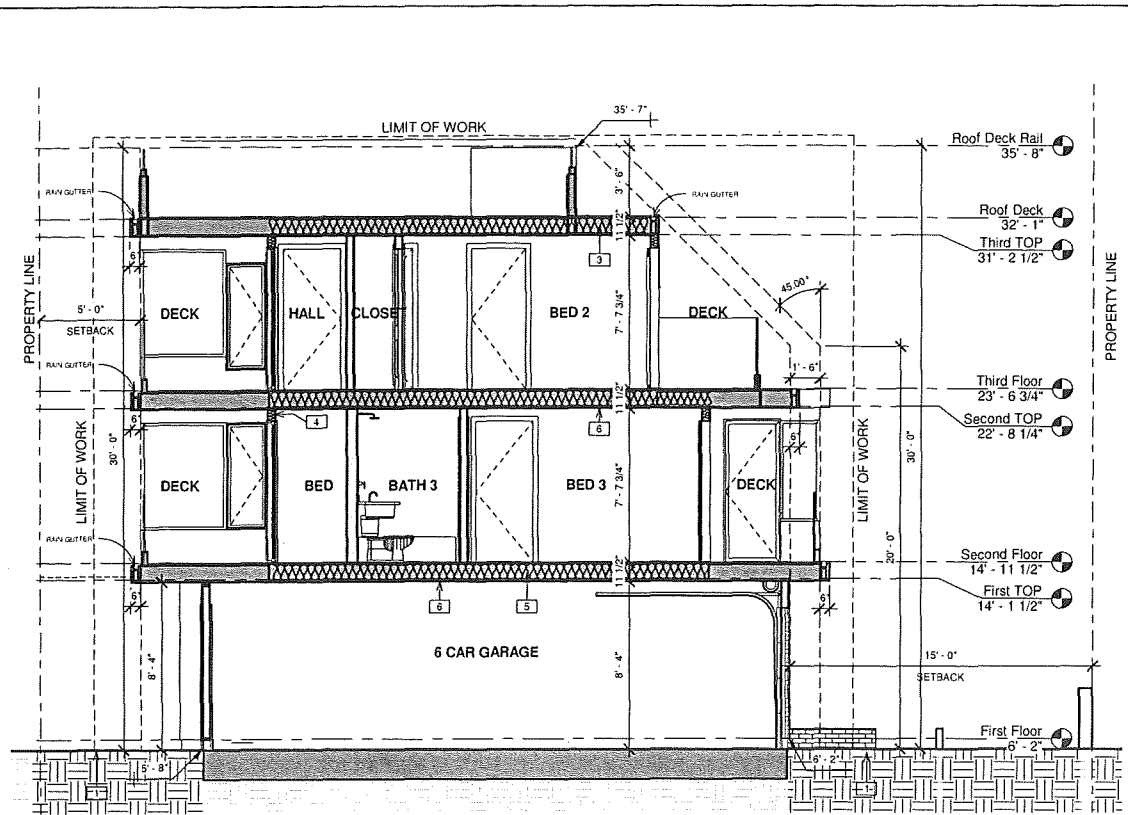
TRIPLEX FOR
WIR HOLDINGS, LLC.



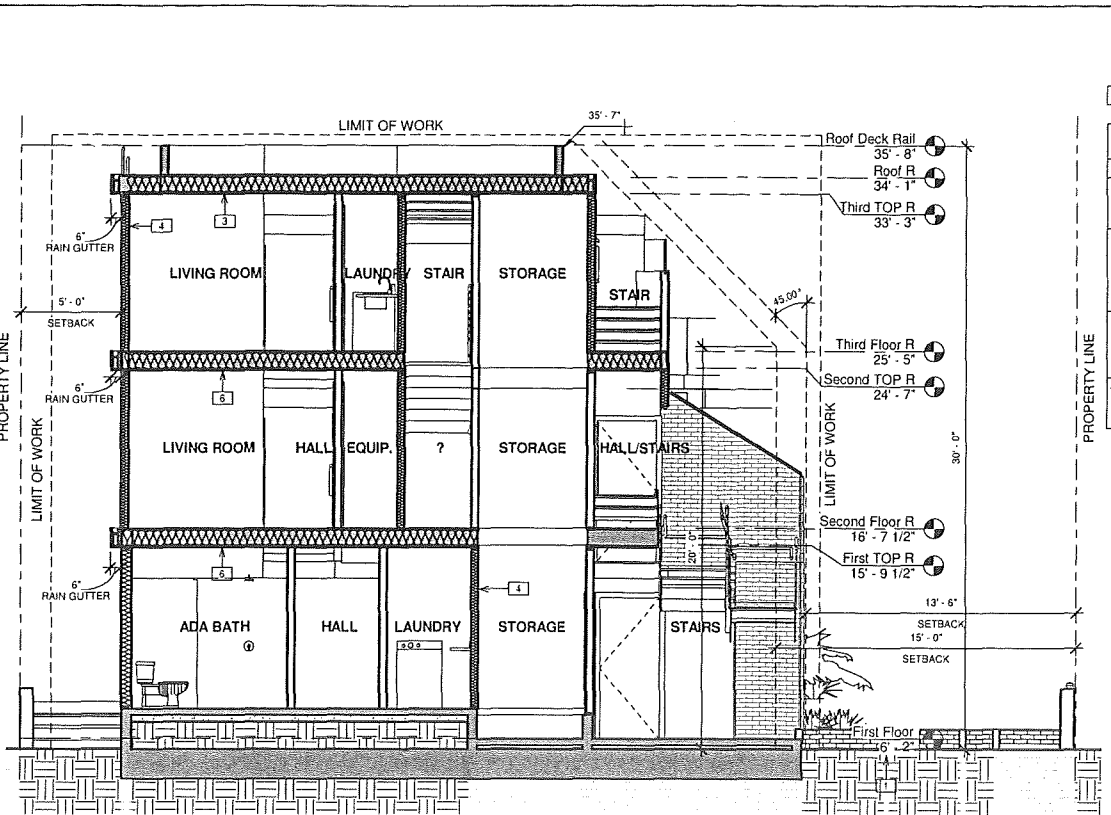
MARK MITCHELL
ARCHITECT/ENGINEER/PLANNING
4747 MESSEUR BLVD., SUITE # C, SAN DIEGO, CA 92103 (619) 274-5375

DRAWING
SECTIONS
SCALE: 1/4" = 1'-0"
DRAWN: HL
JOB:
SHEET 17
A5.1
OF 50 SHEETS

Keynote Legend	
1	EXISTING FINISHED GRADE TO REMAIN
2	EXISTING PLANTER TO REMAIN
3	ALL NEW ROOFS TO HAVE R-30 INSULATION OR EQUIVALENT PER TITLE 24 CALCS
4	ALL NEW EXTERIOR WALLS AND WALLS BETWEEN UNITS AND UNCONDITIONED SPACE TO HAVE R-13 INSULATION OR EQUIVALENT PER TITLE 24 CALCS
5	ALL FLOORS BETWEEN UNITS AND UNCONDITIONED SPACE TO HAVE R-19 INSULATION OR EQUIVALENT PER TITLE 24 CALCS
6	FLOOR ASSEMBLY TO BE 1-HOUR RATED WITH A MINIMUM STC RATING OF 55, SEE DETAIL 10/D3.0

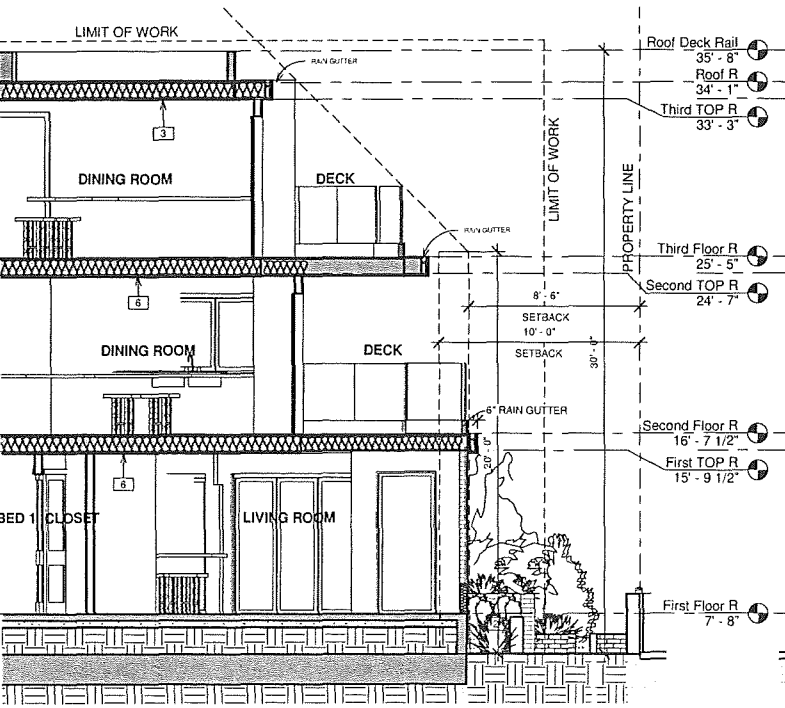


Section 3
1/4" = 1'-0"

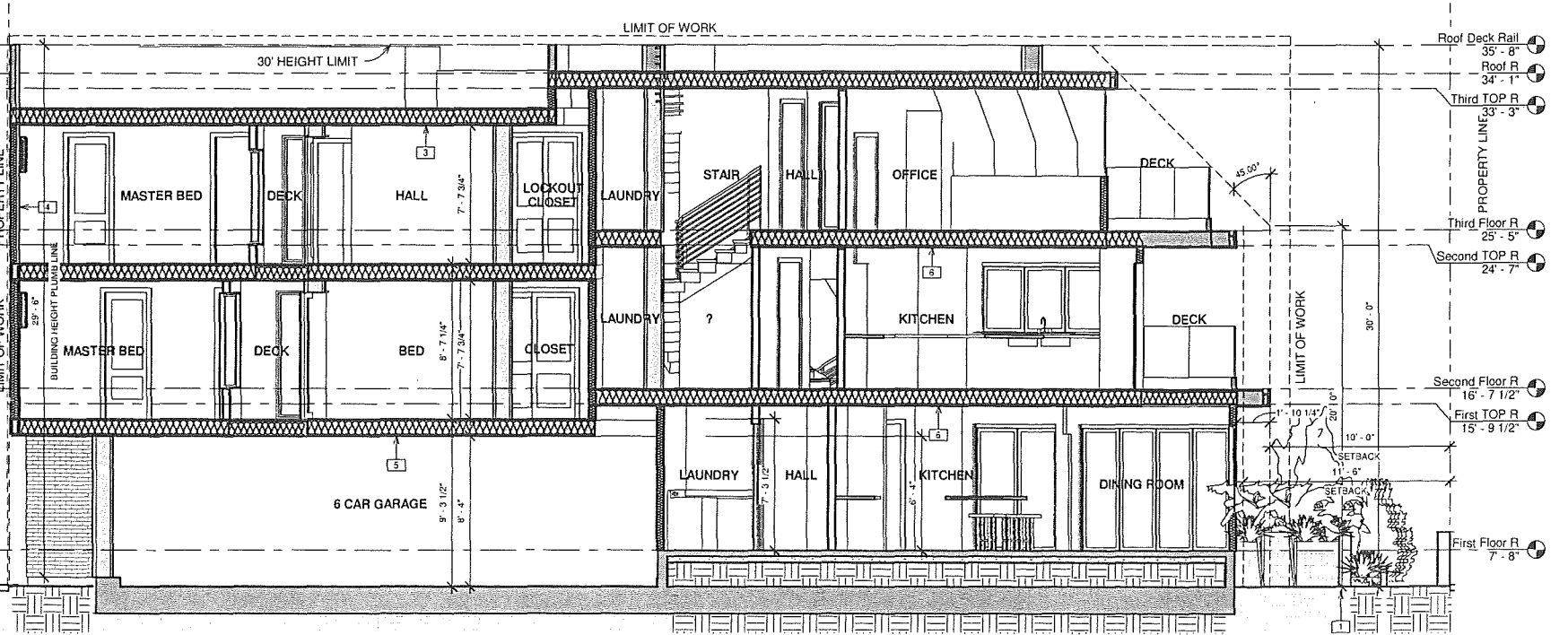


Section 1
1/4" = 1'-0"

THIS BUILDING IS SUBJECT TO PROPOSITION 'D' HEIGHT LIMITATIONS. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
EAVE ENCROACHMENTS SHALL COMPLY WITH SDMC TABLE 1513-03B AND THE APPLICABLE FOOTNOTES

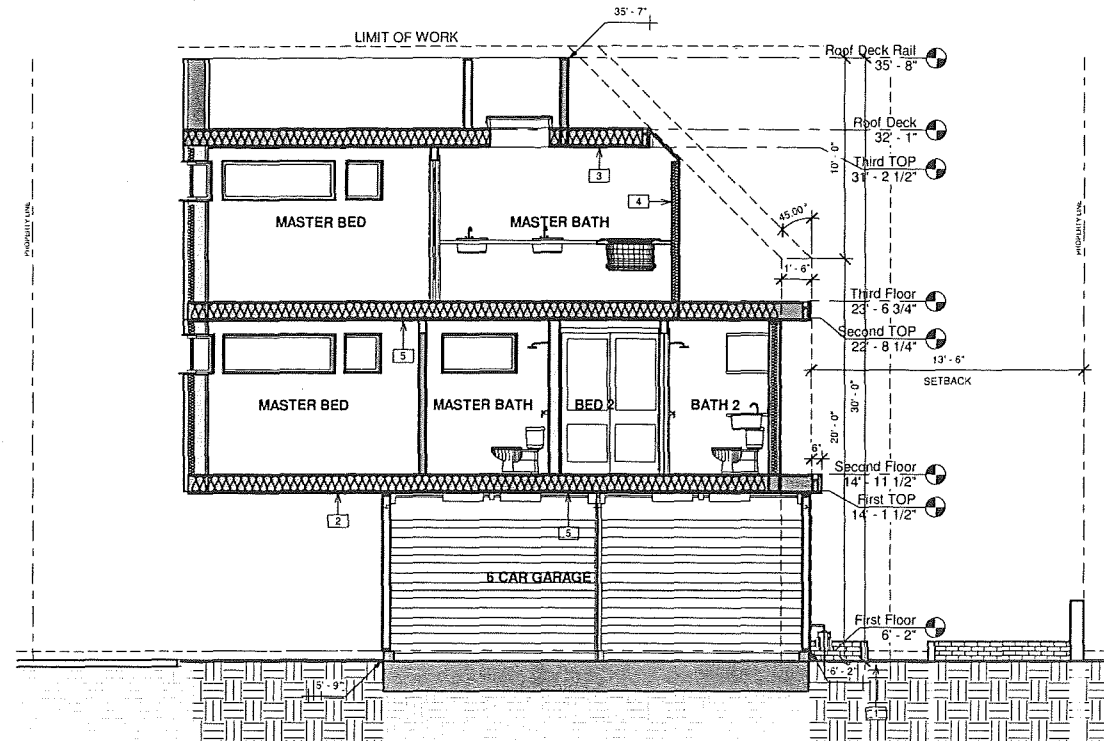


Section 7
1/4" = 1'-0"

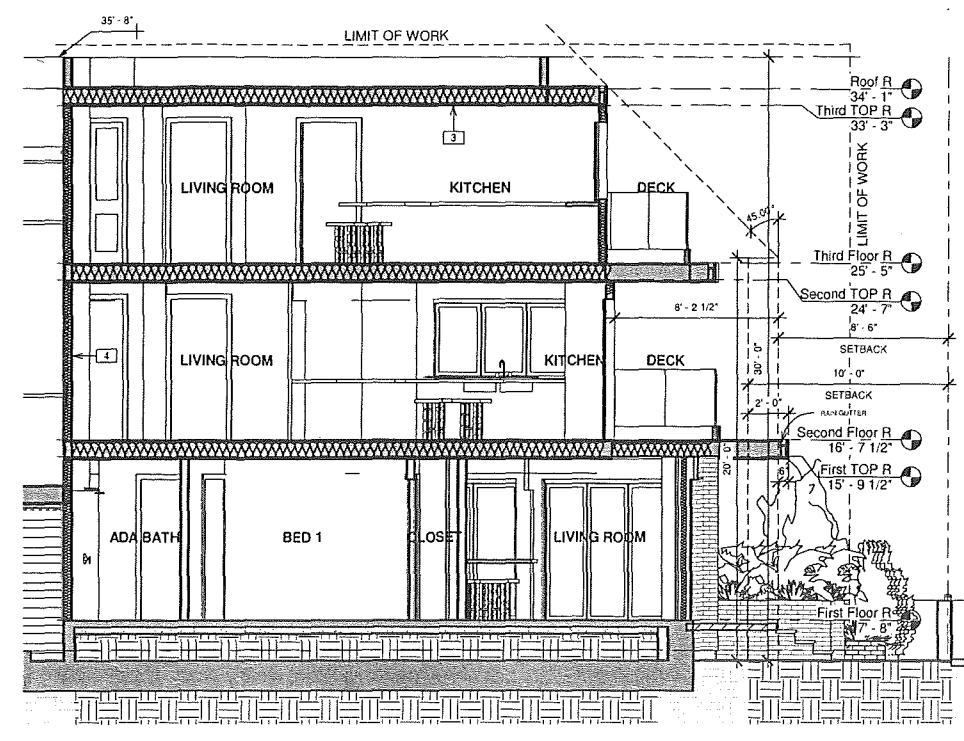


Section 6
1/4" = 1'-0"

CONSTRUCTION DOCS
05/07/2013
BUILDING SUBMITTAL 1
05/23/2013
HEARING OFFICER
07/31/2013



Section 13
1/4" = 1'-0"



Section 11
1/4" = 1'-0"

Keynote Legend	
1	EXISTING FINISHED GRADE TO REMAIN
2	ALL FLOORS BETWEEN UNITS AND UNCONDITIONED SPACE TO HAVE R-19 INSULATION OR EQUIVALENT PER TITLE 24 CALCS
3	ALL NEW ROOFS TO HAVE R-30 INSULATION OR EQUIVALENT PER TITLE 24 CALCS
4	ALL NEW EXTERIOR WALLS AND WALLS BETWEEN UNITS AND UNCONDITIONED SPACE TO HAVE R-13 INSULATION OR EQUIVALENT PER TITLE 24 CALCS
5	FLOOR ASSEMBLY TO BE 1-HOUR RATED WITH A MINIMUM STC RATING OF 55, SEE DETAIL 10/D3.0

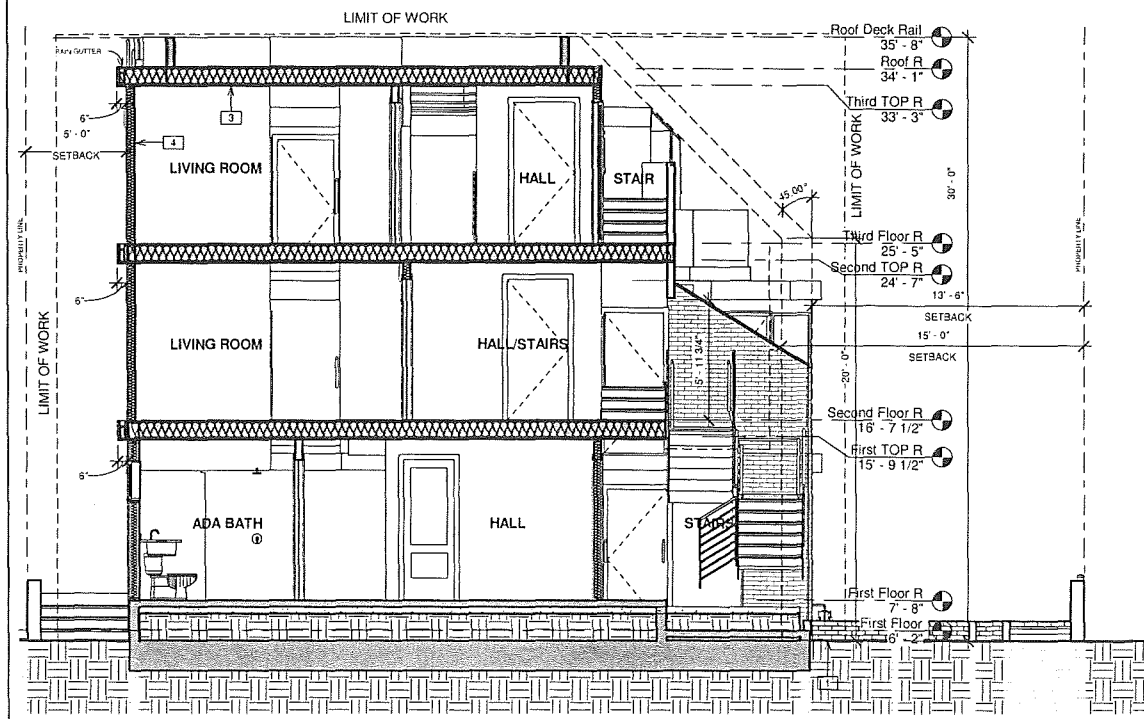
THIS BUILDING IS SUBJECT TO PROPOSITION 'D' HEIGHT LIMITATIONS. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.
EAVE ENCROACHMENTS SHALL COMPLY WITH SDMC TABLE 1513-03B AND THE APPLICABLE FOOTNOTES

TRIPLEX FOR
WIR HOLDINGS, LLC.

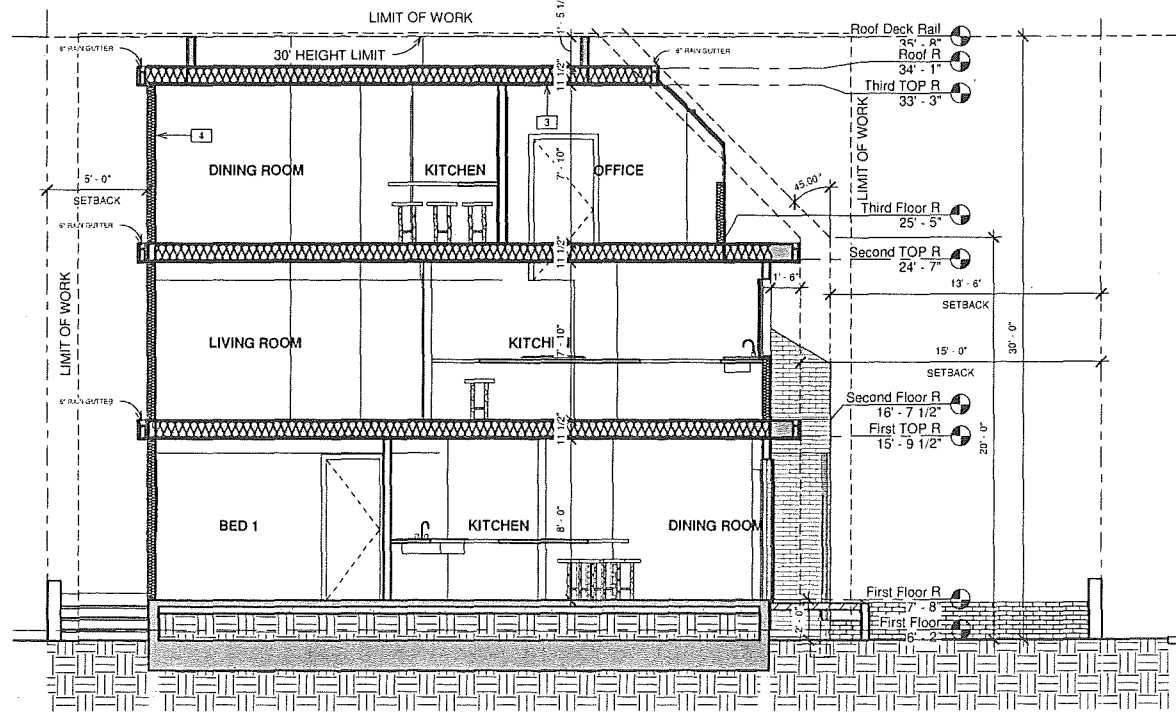


MARK MITCHELL
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1747 MISSION BLVD., SUITE # 6, SAN DIEGO, CA 92108 (619) 274-5978

DRAWING
SECTIONS
SCALE: 1/4" = 1'-0"
DRAWN: HL
JOB
SHEET 18
A5.2
OF 50 SHEETS



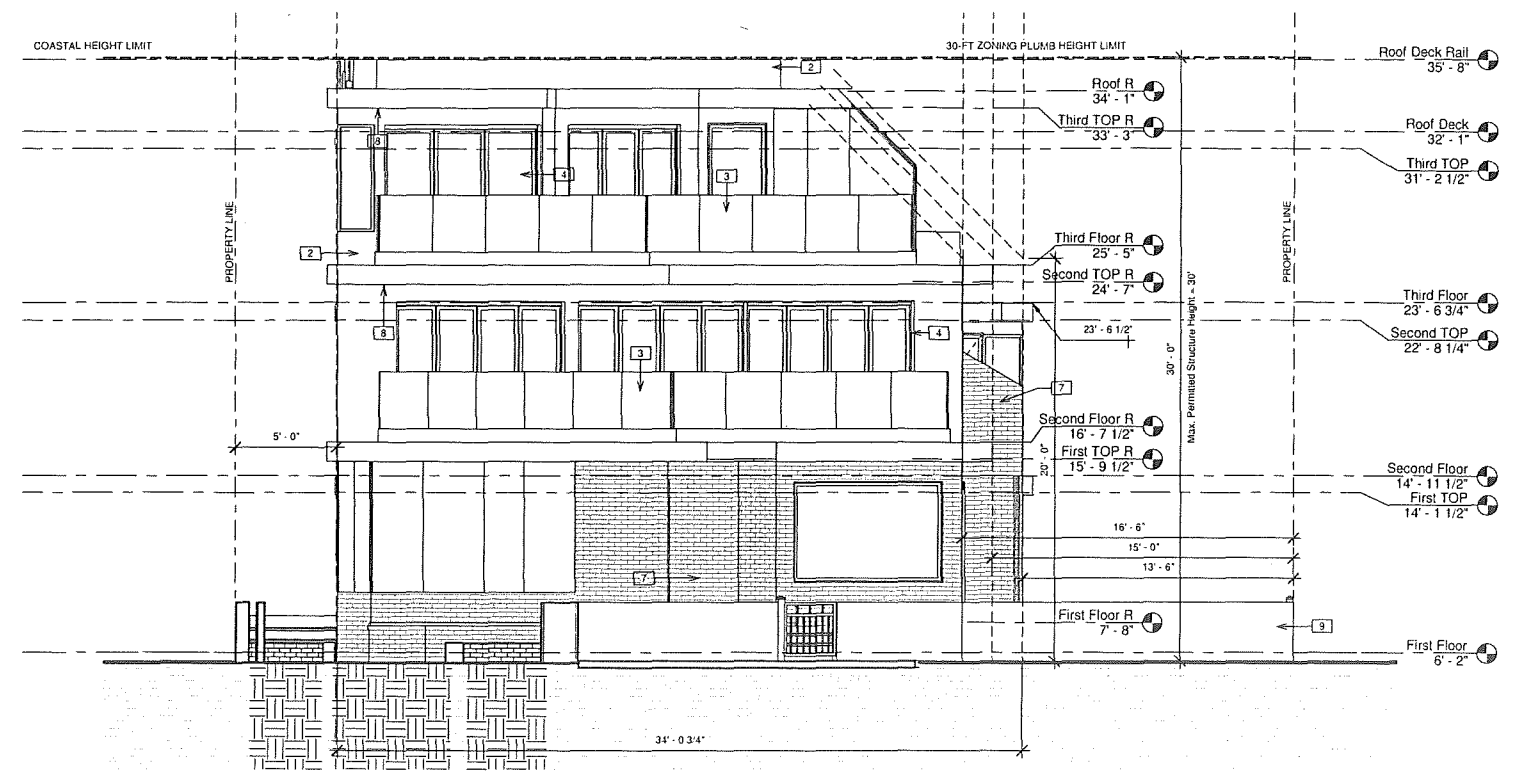
Section 14
1/4" = 1'-0"



Section 12
1/4" = 1'-0"

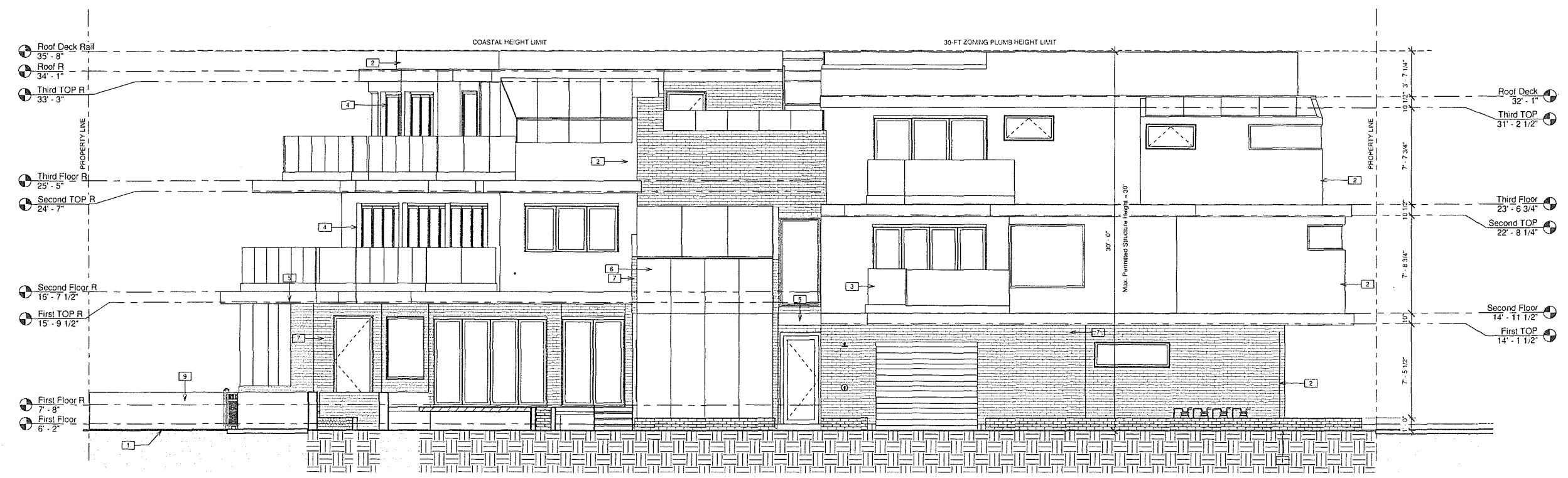
CONSTRUCTION DOCS
05/07/2013
BUILDING SUBMITTAL 1
05/23/2013
HEARING OFFICER
07/31/2013

Keynote Legend	
1	EXISTING FINISHED GRADE TO REMAIN
2	WHITE STUCCO FINISH, COLOR SELECTED BY OWNER
3	GLASS GUARDRAIL WITH COPPER FOOT
4	GLASS NANA WALL WITH WOOD FRAME
5	COPPER SUN SHADE
6	GLASS ATRIUM AT STAIRS
7	STUD WALL WITH BRICK VENEER
8	GAS OUTLET IN SOFFIT
9	MASON WALL WITH STUCCO FINISH



1 East Elevation
1/4" = 1'-0"

THIS BUILDING IS SUBJECT TO PROPOSITION 'D' HEIGHT LIMITATIONS. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.



2 North Elevation
1/4" = 1'-0"

TRIPLEX FOR
WIR HOLDINGS, LLC.

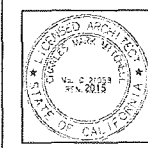


MARK MITCHELL
ARCHITECTURE AND PLANNING
1747 MISSION BLVD., SUITE # 5, SAN DIEGO, CA 92102 (619) 274-5975

DRAWING
EXTERIOR ELEVATIONS
SCALE 1/4" = 1'-0"
DRAWN HL
.CB
SHEET 19
A6.1
CF 50 SHEETS

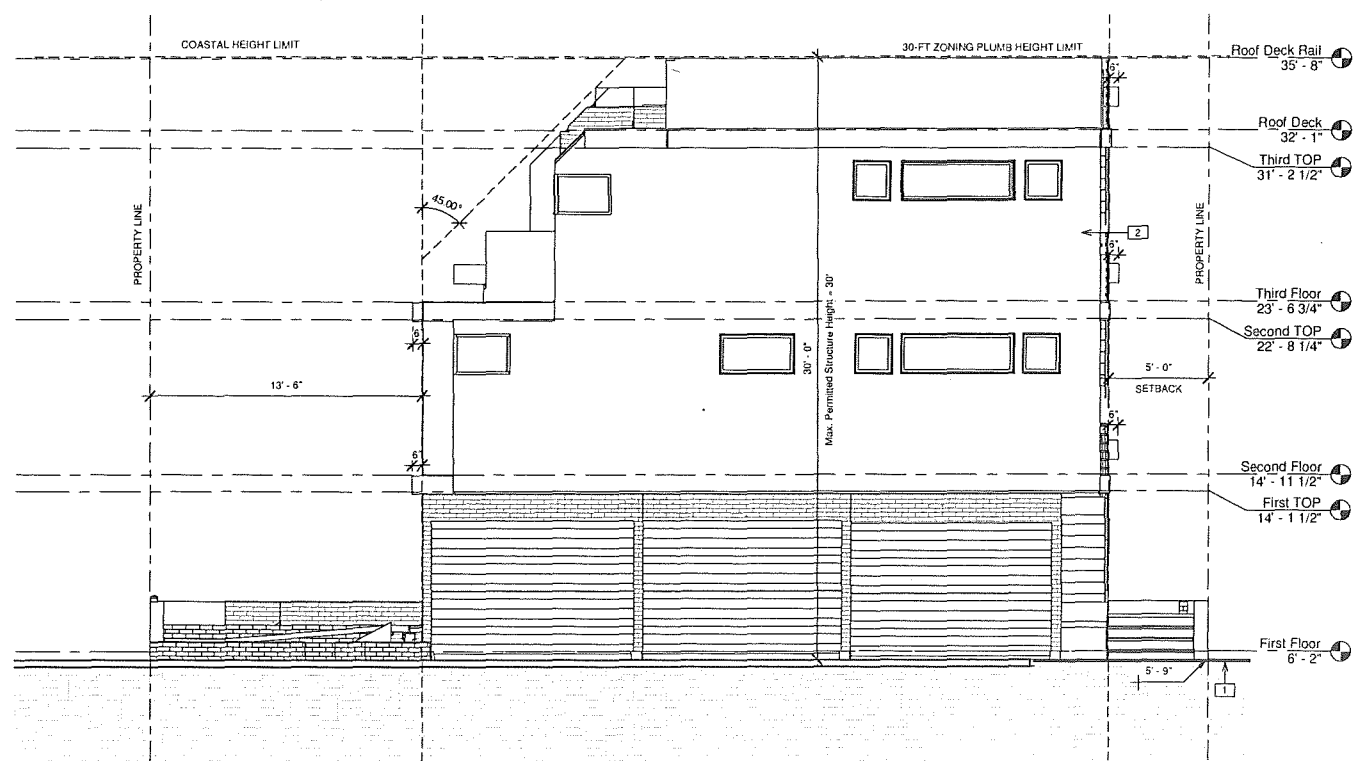
CONSTRUCTION DOCS
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BUILDING SUBMITTAL 1
05/22/2013
HEARING OFFICER
07/31/2013

TRIPLEX FOR
WIR HOLDINGS, LLC.



MARK MITCHELL
ARCHITECTURE AND PLANNING
1747 MISSION BLVD., SUITE # C, SAN DIEGO, CA 92109 (619) 274-9976

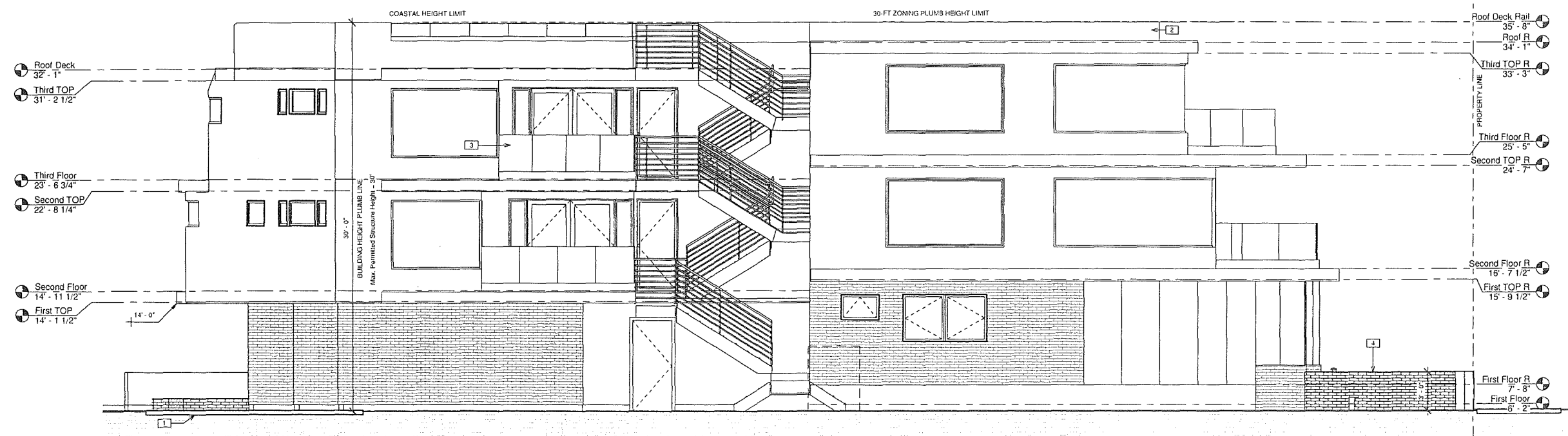
DRAWING
EXTERIOR
ELEVATIONS
SCALE: 1/4" = 1'-0"
DRAWN HL
JOB
SHEET 20
A6.2
CP 50 SHEETS



② West Elevation
1/4" = 1'-0"

Keynote Legend	
1	EXISTING FINISHED GRADE TO REMAIN
2	WHITE STUCCO FINISH, COLOR SELECTED BY OWNER
3	GLASS GUARDRAIL WITH COPPER FOOT
4	EXISTING MASONRY WALL TO REMAIN

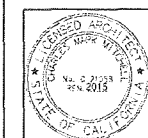
THIS BUILDING IS SUBJECT TO PROPOSITION 'D' HEIGHT LIMITATIONS. THE HIGHEST POINT OF THE ROOF, EQUIPMENT, OR ANY VENT PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE GRADE.



① South Elevation
1/4" = 1'-0"

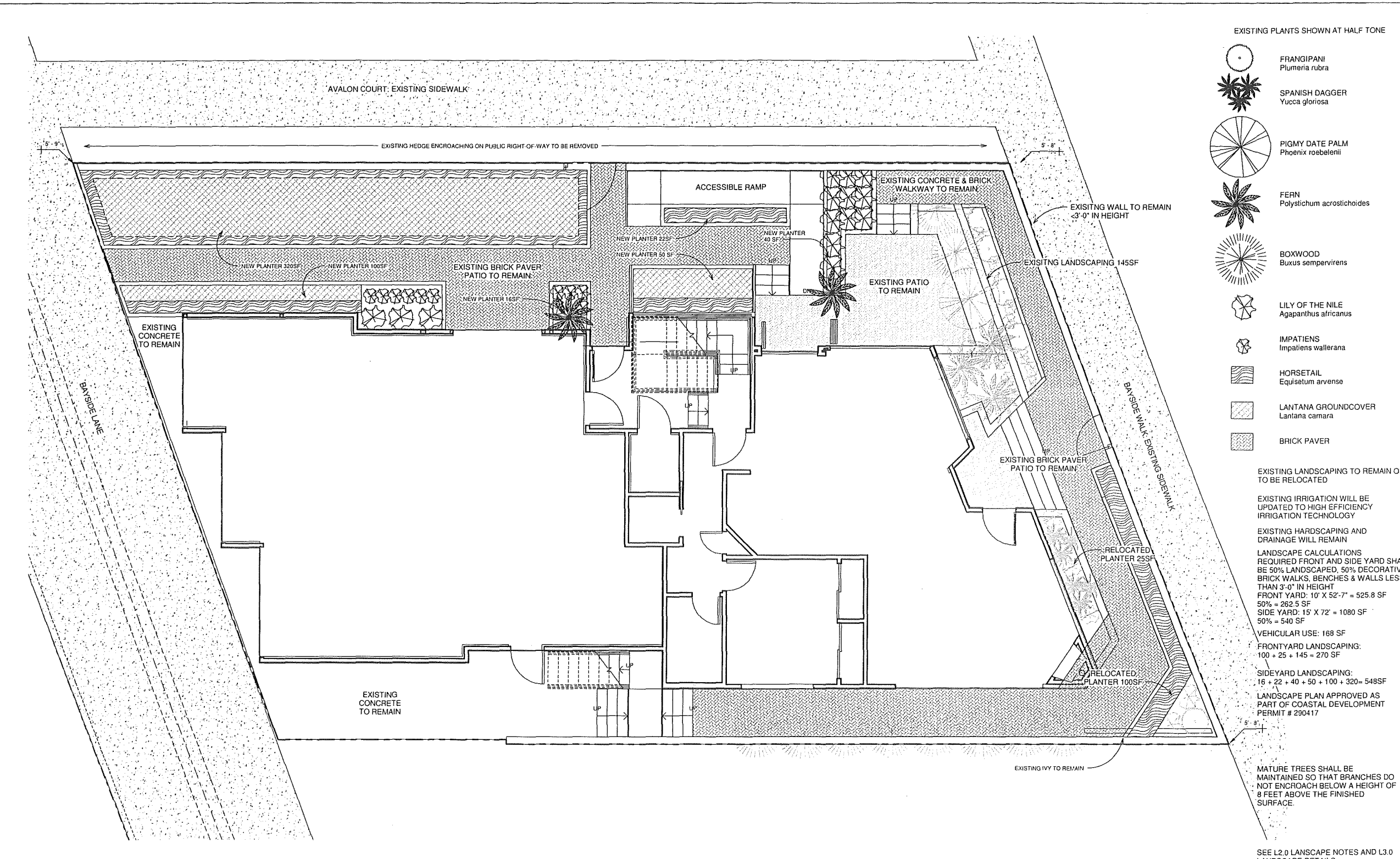
CONSTRUCTION DOCS
05.07.2013
BUILDING SUBMITTAL 1
05.23.2013
HEARING OFFICER
07.31.2013

TRIPLEX FOR
WIR HOLDINGS, LLC.



MARK MITCHELL
ARCHITECTURE AND PLANNING
1747 MISSION BLVD., SUITE # 4, SAN DIEGO, CA 92109 (619) 274-9978

DRAWING
LANDSCAPE PLAN
SCALE: 1/4" = 1'-0"
DRAWN HL
.CB
SHEET 29
L1.0
OF 50 SHEETS



- EXISTING PLANTS SHOWN AT HALF TONE
- FRANGIPANI
Plumeria rubra
 - SPANISH DAGGER
Yucca gloriosa
 - PIGMY DATE PALM
Phoenix roebelenii
 - FERN
Polystichum acrostichoides
 - BOXWOOD
Buxus sempervirens
 - LILY OF THE NILE
Agapanthus africanus
 - IMPATIENS
Impatiens wallerana
 - HORSETAIL
Equisetum arvense
 - LANTANA GROUNDCOVER
Lantana camara
 - BRICK PAVER

EXISTING LANDSCAPING TO REMAIN OR TO BE RELOCATED

EXISTING IRRIGATION WILL BE UPDATED TO HIGH EFFICIENCY IRRIGATION TECHNOLOGY

EXISTING HARDSCAPING AND DRAINAGE WILL REMAIN

LANDSCAPE CALCULATIONS REQUIRED FRONT AND SIDE YARD SHALL BE 50% LANDSCAPED, 50% DECORATIVE BRICK WALKS, BENCHES & WALLS LESS THAN 3'-0" IN HEIGHT

FRONT YARD: 10' X 52'-7" = 525.8 SF
50% = 262.9 SF

SIDE YARD: 15' X 72' = 1080 SF
50% = 540 SF

VEHICULAR USE: 168 SF

FRONTYARD LANDSCAPING:
100 + 25 + 145 = 270 SF

SIDEYARD LANDSCAPING:
15 + 22 + 40 + 50 + 100 + 320 = 548 SF

LANDSCAPE PLAN APPROVED AS PART OF COASTAL DEVELOPMENT PERMIT # 290417

MATURE TREES SHALL BE MAINTAINED SO THAT BRANCHES DO NOT ENCRANCH BELOW A HEIGHT OF 8 FEET ABOVE THE FINISHED SURFACE.

SEE L2.0 LANDSCAPE NOTES AND L3.0 LANDSCAPE DETAILS

1 Landscape Plan
1/4" = 1'-0"

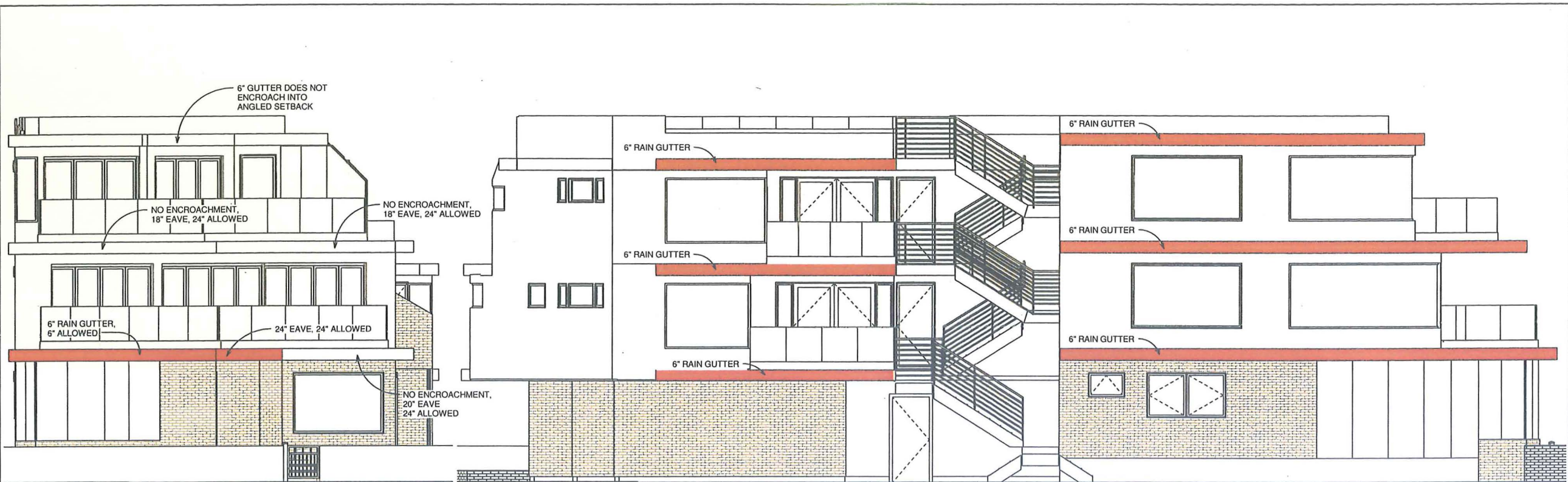
CONSTRUCTION DOCS
05/07/2013
BUILDING SUBMITTAL 1
05/23/2013
HEARING OFFICER
07/31/2013

TRIPLEX FOR
WIR HOLDINGS, LLC.



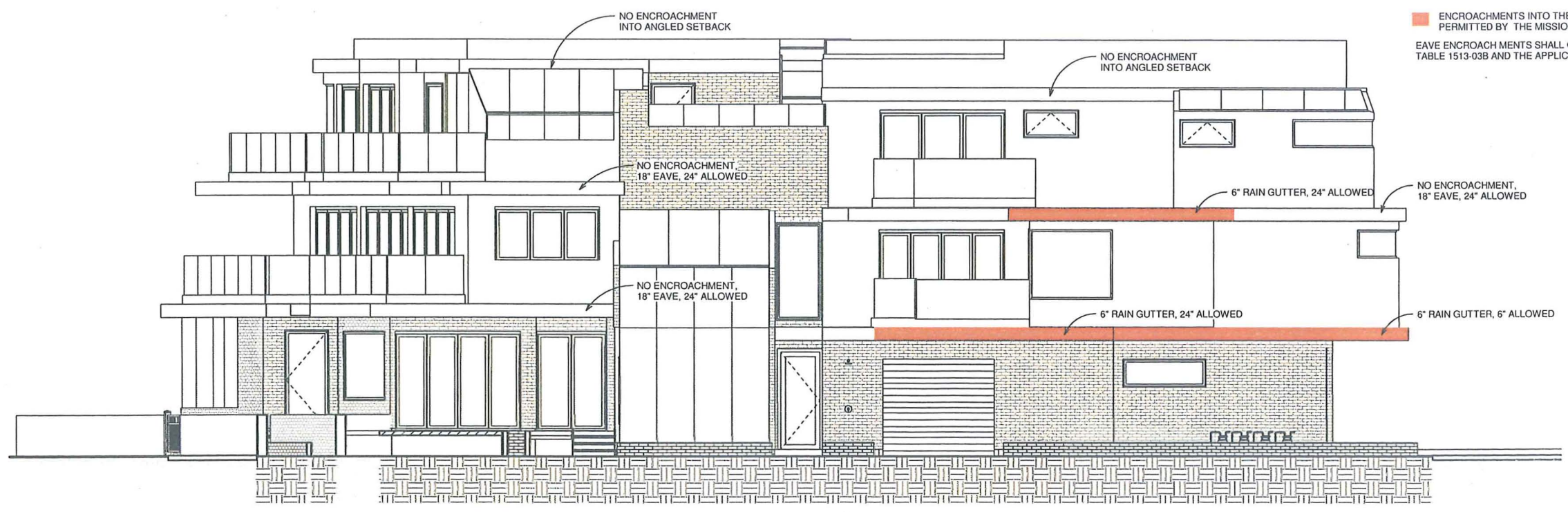
MARK MITCHELL
ARCHITECTURE AND PLANNING
1747 MISSION BLVD., SUITE # C, SAN DIEGO, CA 92109 (619) 274-5978

DRAWING
EXHIBIT 1
SCALE: 1/4" = 1'-0"
DRAWN: Author
JOB:
SHEET
E1.0
OF SHEETS



1 East Elevation Encroachments
1/4" = 1'-0"

3 South Elevation Encroachments
1/4" = 1'-0"



2 North Elevation Encroachments
1/4" = 1'-0"

ENCROACHMENTS INTO THE YARDS AS PERMITTED BY THE MISSION BEACH PDO
EAVE ENCROACHMENTS SHALL COMPLY WITH SDMC TABLE 1513-03B AND THE APPLICABLE FOOTNOTES