



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: August 8, 2013 **REPORT NO. PC-13-090**

ATTENTION: Planning Commission, Agenda of August 15, 2013

SUBJECT: CNRI/ALBERT EINSTEIN ACADEMY; PROJECT NO. 296407;
PROCESS 4

**OWNER/
APPLICANT:** 446 26TH Street Holdings, LLC, a California Limited Liability Company /
458 26TH Street Holdings, LLC, a California Limited Liability Company

SUMMARY

Issue: Should the Planning Commission approve a change of use and conversion of an existing vacant convalescent hospital for the operation of a charter middle school located at 458 26th Street, and to allow for the continued operation of an existing general hospital located at 446 26th Street within the Southeastern San Diego Community Plan area?

Staff Recommendation:

1. **CERTIFY** Mitigated Negative Declaration No. 296407 and **ADOPT** Mitigation, Monitoring, and Reporting Program;
2. **APPROVE** Conditional Use Permit No. 1100117 and Site Development Permit No. 1100118; and
3. **APPROVE** Conditional Use Permit No. 1100120 and Site Development Permit No. 1100121.

Community Planning Group Recommendation: On July 8, 2013, the Southeastern San Diego Planning Group voted 10-0-0 to recommend approval of the project with conditions (Attachment 15).

Civic San Diego Recommendation: Civic San Diego has reviewed the proposed development and is in support of the project (Attachment 16).

Environmental Review: A Mitigated Negative Declaration (MND) No. 296407 has been prepared for the project in accordance with California Environmental Quality Act (CEQA) guidelines, which addresses potential impacts to Transportation/Circulation. A

Mitigation, Monitoring, and Reporting Program (MMRP) would be implemented with this project to reduce the potential impacts to a level below significance.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The 2.93 acre project site is located at 446 and 458 26th Street in the MF-3000 and CSR-2-R-1500 Zones of the Southeastern San Diego Planned District within the Southeastern San Diego Community Plan, and the Southeastern San Diego Special Character MF Neighborhood overlay Zone (Grant Hill). The proposed development is a change of use and conversion of an existing vacant convalescent hospital for the operation of a charter middle school located at 458 26th Street and to allow for the continued operation of an existing general hospital located at 446 26th Street. The community plan designates the site for Institutional-Hospital land use. Educational facilities and hospitals are allowed in the zone through a Conditional Use Permit and the community plan recommends maintaining a hospital use at the site. The proposed reuse of the site as a school conforms with the Institutional land use designation.

BACKGROUND

The project site is located at 446 and 458 26th Street (Attachment 1), on the western side of 26th Street, between Island Avenue and J Street (Attachment 2), in the MF-3000 and CSR-2-R-1500 Zones in the Southeastern San Diego Planned District (Attachment 3) within the Southeastern San Diego Community Plan (Attachment 4), and the Southeastern San Diego Special Character MF Neighborhood overlay Zone (Grant Hill). Additionally the following overlay zones apply: the Federal Aviation Administration (FAA) Part 77 Notification Area for San Diego International Airport (SDIA) and North Island Naval Air Station (NAS), and the Transit Area Overlay Zone.

The 2.93 acre project site consists of two lots, the first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing 4-story, approximately 38,000 square-foot, hospital building at 458 26th Street was approved on September 17, 1962, pursuant to Conditional Use Permit (CUP) No. 5082 (Attachment 7) and was constructed in 1964. The existing 6-story, 78,529 square-foot hospital building located at 446 26th Street was approved on May 3, 1970, pursuant to CUP No. 266-PC (Attachment 8), and was constructed in 1973. This new CUP No. 266-PC is a replacement of CUP No. 5082, and governs both the existing and new buildings and the project site. The 1973 construction included a 2-story corridor addition and basement, which connected the two hospital buildings together. A historical assessment for the two existing buildings was performed and City staff determined that the properties and associated structures would not be considered historically or architecturally significant under the California Environmental Quality Act (CEQA) in terms of architectural style, appearance, design, or construction associated with important persons or events in history.

The project site contains frontage on 26th Street, Island Avenue and J Street. The development to the north, west and south consists of single-family and multi-family dwelling units, and the development to the east consists of single-family and multi-family dwelling units and the Grant Hill Park (a City park). The properties to the north, east, and south are zoned MF-3000 in the Southeastern San Diego Planned District (SESDPD) and are within the Southeastern San Diego (SESD) Special Character MF Neighborhood Overlay Zone (Grant Hill), and the community plan designates the sites for Residential land use (10-15 dwelling units per acre). The properties to the west are zoned CSR-2-R-1500 in the SESDPD and community plan designates the sites for Multiple Use (Residential/Commercial), which allows for a residential density up to 15 dwelling units per acre.

DISCUSSION

Project Description:

The project site is located at 446 and 458 26th Street in the MF-3000 and CSR-2-R-1500 Zones in the SESDPD and the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the second lot (2522 J Street) consists of a parking lot. The development regulations in the Land Development Code (LDC) Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). The project proposes to separate the existing two hospital buildings and the redistribution of the two legal lots in order to allow for a change of use and conversion of the vacant convalescent hospital to a charter middle school on a proposed 1.29 acre lot and to allow for the continued operation of the existing general hospital on a proposed 1.64 acre lot. The redistribution of the lots would be done through a Lot Line adjustment, and the recordation of a Lot Line Adjustment Parcel Map prior to the issuance of any building permit has been made a condition of both development permits.

The existing 6-story, 78,529 square-foot building located at 446 26th Street will remain a general hospital, but the number of hospital beds will be reduced from 111 to 58. The existing vacant 4-story, approximately 38,000 square-foot, convalescent hospital building at 458 26th Street shall be converted into a charter middle school. The proposed 24 classroom charter middle school would serve ultimately a maximum of 600 students in grades 6 through 8 with an option to expand to grade 9. The proposed charter middle school hours would be from 8:00am to 3:00 pm, 178 days of the year.

The 458 26th Street site would be improved with a new playground area, new landscaping onsite and within the public right-of-way, new ADA accessibility ramps and access, and associated improvements to the interior and exterior of the building. The parking areas would be reconfigured with 37 on-site parking spaces and the addition of an on-site drop off area, which has been designed to allow for the drop off queuing being on-site and accessed from the alley. Additionally, the proposed charter middle school building change of use and conversion would achieve a Leadership in Energy and Environmental Design (LEED) Silver level certification. The project will retain the majority of the existing building, and the new construction related to the building envelope and interior remodel will include the use of sustainable construction materials and practices, and construction waste management. Operational sustainable features

include the use of high efficacy plumbing fixtures, Energy Star appliances, water conserving native and pest resistant plant in the landscape, and a high efficiency irrigation system to achieve the LEED certification.

Development of the 458 26th Street project requires a CUP to amend CUP No. 266-PC for the proposed educational facility and a Site Development Permit (SDP) for deviations to the development regulations for a sustainable building project and for development within the SESDPD that requires a CUP, pursuant to Land Development Code (LDC) Section 1519.0202(a)(5). In addition, a CUP to amend CUP No. 266-PC and SDP is required to maintain the existing hospital at 446 26th Street. Because the project utilizes renewable technologies and qualifies as a Sustainable Building, the land use approvals have been processed through the Affordable/In-Fill Housing and Sustainable Buildings Expedite Program.

Project-Related Issues:

Deviations- The proposed project includes a request for deviations to interior side yard setback, floor area ratio, signage, and the distance between driveways. The following are the code sections and justifications for the deviations (Attachment 5-Deviation Location Diagram):

Side Yard Setback- A deviation from LDC Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard, where a 5-foot interior side yard setback is required. The site is within the Southeastern San Diego Special Character MF Neighborhood Overlay Zone (Grant Hill) and the development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). This deviation is to allow for the separation of the existing two hospital buildings and the redistribution of the two legal lots. The new interior property line will be located in the middle of two fire separation/party walls running the full length of the 2-story corridor and basement, which connects the two hospital buildings together.

Floor Area Ratio- A deviation from LDC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 0.70 on the site at 458 26th Street and a FAR of 1.10 on the site at 446 26th Street, where a 0.50 FAR is permitted. The site is within the Southeastern San Diego Special Character MF Neighborhood Overlay Zone (Grant Hill) and development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). The existing two hospital buildings were constructed in 1964 and 1973. The proposed charter school will enclose portions of existing balconies, resulting in minor increases to the existing Gross Floor Area.

Signage- A deviation from SDMC Section 142.1265 to allow for the proposed charter middle school signage as shown on the Exhibit "A" and to allow for existing general hospital signage to remain (monument sign and wall signs). The development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). This deviation is to allow for the new and existing signage to exceed the one (1) square foot of signage allowed within the SF-5000 Zone.

Distance between driveways- A deviation from SDMC Section 142.0560(j)(6) to allow for a 39-foot length of full-height curb between driveways on Island Avenue serving the same premises, where 45-feet is required. Two of the existing three driveways along Island Avenue shall be removed and a new driveway is proposed to serve the lower parking lot/drop off area. The existing driveway serving the upper parking lot will remain. Therefore, a total of two driveways (new and existing) will provide direct access to the property along Island Avenue, and a third access to the property is located at the alley. There is an existing grade difference of 6- to 9-feet between the upper and lower parking lots, which is supported by an existing retaining wall. This deviation request is to allow for a reduced separation distance from the driveway serving the upper and lower parking lots, and still meet the purpose and intent of the regulations by providing a physical and visual separation between the two driveways.

Staff has reviewed each of the requested deviations as they relate to the proposed design of the project, the property configuration with its varying topographic conditions, and the surrounding development. Staff has determined that the deviations are appropriate and will result in a more desirable project that efficiently utilizes the site and achieves the revitalization and re-use of the existing vacant hospital building, while meeting the purpose and intent of the development regulations.

General Plan/Community Plan Analysis:

The proposed project is located within the Grant Hill neighborhood of the Southeastern San Diego Community Plan (SESDCP) area. The site is designated for Institutional-Hospital land use in the community plan.

The SESDCP Neighborhood Element - Grant Hill Objective 5 recommends maintaining a hospital use at the site of Physicians and Surgeons Hospital, located at 446 26th Street. The existing buildings are vacant or underutilized and have been in this condition for a prolonged period of time. Reuse of the site as a school is also an institutional land use. The reuse of the site as a school conforms with the Institutional land use designation and does not adversely affect the community plan.

The General Plan Urban Design Element - Civic Architecture and Landmarks policy UD-E.2 recommends treating and locating civic architecture and landmark institutions prominently and where feasible, provide distinctive public open space, public art, greens, and/or plazas around civic buildings such as courthouses, libraries, post offices, and community centers to enhance the character of these civic and public buildings. Such civic and public buildings are widely used and should form the focal point for neighborhoods and communities. The SESDCP stresses well designed, aesthetically pleasing development that helps to integrate the project into the neighborhood as a community enhancement. Streetscape elements should be used to enhance the appearance and function of the development. The elements should be compatible with the materials, color and design of the structures and should be planned as a unifying element of the area.

The project addresses the Urban Design element through external renovations to the existing structure by adding interest through the addition of architecturally interesting window awnings,

as well as shade structure and color treatments to brighten the monotone structure. Additionally, gathering spaces and landscape enhancements will add to the structure integration, community character, texture, interest, and visually break up the large structure thereby implementing the General Plan and Community Plan's policies and recommendations.

The General Plan Public Facilities, Services and Safety Element – School Policy PF-K.7, recommends that the City work with the school districts and other education authorities to develop school and educational facilities that are architecturally designed to reflect the neighborhood and community character, that are pedestrian and cycling friendly and that are consistent with sustainable development policies and urban design policies. The interior, exterior, and landscape renovation of the site from a medical facility use to a charter school site is consistent with the General Plan School policy as well as increasing the integration of the currently underutilized building into the fabric of the community visually and through the provision of educational opportunities for local students.

Policies contained in the General Plan's Recreation Element for Joint Use and Cooperative Partnerships including Joint Use policies RE-E.2, RE-E.3, RE-E.4, and RE-E.8 encourage the joint use of recreation areas for school and public active and passive recreation use. Additionally, the SESDCP Public Facilities Education recommendation 5.c encourages the school district(s) to work with the City to acquire additional land to expand existing sites. In some cases, the expanded sites could be used for educational facilities and in other instances joint use with City parks could be accomplished.

The transition of the underutilized medical facility to an education facility will include the creation of a multi-purpose play area and parking area on a previous parking lot. A joint use agreement has not been pursued at this time but this development project does not preclude joint school and public uses in the future. The development does provide additional recreational opportunities for the students.

Policy CE-A.5 contained in the Conservation Element - Climate Change and Sustainable Development recommends employing sustainable or "green" building techniques for the construction and operation of buildings. The project conforms to the Conservation Element through renovations to raise the building energy use and sustainability to LEED Silver standard.

The proposed project is consistent with the goals of the General Plan Urban Design; Public Facilities, Services and Safety; Recreational; and Conservation Elements for renovation, community integration and reuse of an underutilized structure for charter school use. Further, the project meets the broad objectives of the SESDCP for increased employment opportunities and rehabilitation of existing facilities.

Community Planning Group:

On July 8, 2013, the Southeastern San Diego Planning Group voted 10-0-0 to recommend approval of the project with conditions (Attachment 15). The following are the group's conditions with staff responses:

1. Stop signs are needed to the east and west on 26th Street, at Island and on J Street.
Staff's Response: The project Transportation Impact Study (prepared by Fehr and Peers, final version dated June 3, 2013) analyzed and suggested the installation of all way stop controls and high visibility school crosswalks at both intersections of 26th Street/Island Avenue and 26th Street/J Street. The project is conditioned to install these improvements.
2. Additional street lights, mid-block lights and alley lights, (at both ends and in the middle of the alley) and around the perimeter of the site are needed. Suggest that you (applicant) work with the Eighth District Office on pursuing street lighting.
Staff's Response: There are existing street lights located less than 300 feet from the project street frontages and the project is in compliance with current street light standards according to the City of San Diego Street Design Manual and Council Policy 200-18. The City requires alley street lights in high crime census tracts at the request of the San Diego Police Department (SDPD) and the street lights can only be installed on SDG&E power poles, which are to be removed eventually as part of the Citywide Undergrounding Program. Therefore, the project is not conditioned to install street lights adjacent to the project site.
3. Parking spaces must be adequate to accommodate the staff so that the residences are not impacted.
Staff's Response: The required parking rate for a middle school includes the provision of two parking spaces per classroom, which accommodates not only staff, but also other users of the facility. The project complies with the City's minimum required parking rates and is not anticipated to impact the local on-street parking or neighboring residents.
4. Implement San Diego Police Department Recommendations.
Staff's Response: SDPD-Crime Prevention Through Environmental Design (CEPTED) reviewed the proposed project and provided a detailed report to the applicant. The report contained several general as well as some specific crime prevention design comments and suggestions, and specific crime prevention design measures are suggested in the review, which the applicant may incorporate into their design. SDPD provides this informational service to assist proposed development; however, the City does not require the design comments and suggestions as a condition of approval.
5. Continue training with the Staff and Students on shooter/terrorist attacks.
Staff's Response: This recommendation is for the applicant and cannot be made as a condition of approval.
6. All PTS (Project Tracking System) Cycle Issues must be addressed.
Staff's Response: All of the City's review issues were addressed by the applicant prior to the project being scheduled for Planning Commission.
7. Landscaping should be drought resistant.
Staff's Response: The proposed development complies with the Landscape Regulations pursuant to the SDMC, which includes provisions to conserve water through low-watering using planting and irrigation design. In addition, the project will would achieve a LEED Sliver level certification that may include additional conservation design feature to assist in the conservation of water and energy usage.

8. 26th and Market Streets, there must be a MINIMUM of at least a pedestrian-activated traffic control for crossing Market Street.

Staff's Response: The project is conditioned to assure establishment of a school zone/suggested route to school plan as discussed in the Transportation Impact Study (prepared by Fehr and Peers, final version dated June 3, 2013). The applicant is evaluating the installation of a pedestrian crossing facility with Rectangular Rapid Flashing Beacons (RRFB's) and appropriate advanced warning at the intersection of 26th Street/Market Street; however, these improvements are not a requirement or condition of the project.

9. Support a 4-way stop sign on SR 94, East Bound Ramp on 28th Street, with a 25 MPH sign.

Staff's Response: Acknowledgement of the community group's support of the all way stop, which is included in the proposed development.

10. Support all four deviations being requested: 1) Side Yard Set Back; 2) FAR; 3) Signage; and 4) Distance between driveways.

Staff's Response: Acknowledgement of the community group's support of the proposed deviations for the proposed development.

11. We (the community group) reserve the right to appeal from this hearing body.

Staff's Response: Acknowledgement of the community group's right to appeal the Planning Commission's decision in accordance with LDC Section 112.0508.

Environmental Analysis:

A Mitigated Negative Declaration (MND) has been prepared for the project in accordance with California Environmental Quality Act (CEQA) guidelines and a Mitigation, Monitoring and Reporting Program (MMRP) would be implemented with this project to reduce the potential impacts to below a level of significance. The potential significant environmental impacts are in the following areas: Transportation/ Circulation.

A transportation impact study dated June 3, 2013, was prepared for the proposed project by Fehr & Peers. The project would result in significant direct impacts to two intersections (28th Street and State Route 94 eastbound ramps, and 28th Street and State Route 94 westbound ramps). This impact would be mitigated through installation of an all-way stop control at both locations as detailed in Section V of the MND.

The project would also result in significant direct impacts to two roadway segments (28th Street between State Route 94 westbound ramps and State Route 94 eastbound ramps, and 28th Street between State Route 94 eastbound ramps and Island Avenue), however these segments are built out to their ultimate roadway classification and the intersection mitigation detailed in Section V of the MND would mitigate impacts to the segments and improve overall corridor operations.

In addition, a significant cumulative (2035) impact was identified at the intersection of 28th Street and State Route 94 westbound ramp because of the projected queue lengths related to the presence of the all-way stop control. Due to the impact, mitigation would be required in the

form of a fair-share contribution of 18.75 percent toward the cost of the installation of a traffic signal as detailed in Section V of the MND. With implementation of the MMRP, potential direct and cumulative transportation/traffic circulation impacts would be reduced to below a level of significance.

Conclusion:

With the approval of the requested deviations, the proposed project meets all applicable regulations and policy documents, and staff finds the project consistent with the recommended land use, design guidelines, and development standards in effect for this site per the adopted Southeastern San Diego Community Plan, Land Development Code, and the General Plan.

ALTERNATIVES

1. **CERTIFY** Mitigated Negative Declaration No. 296407 and **ADOPT** Mitigation, Monitoring, and Reporting Program; and **APPROVE** Conditional Use Permit No. 1100117 and Site Development Permit No. 1100118, and Conditional Use Permit No. 1100120 and Site Development Permit No. 1100121, **with modifications.**
2. **DO NOT CERTIFY** Mitigated Negative Declaration No. 296407 and **DO NOT ADOPT** Mitigation, Monitoring, and Reporting Program; and **DENY** Conditional Use Permit No. 1100117 and Site Development Permit No. 1100118, and Conditional Use Permit No. 1100120 and Site Development Permit No. 1100121, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Acting Deputy Director
Development Services Department



Jeffrey A. Peterson
Development Project Manager
Development Services Department

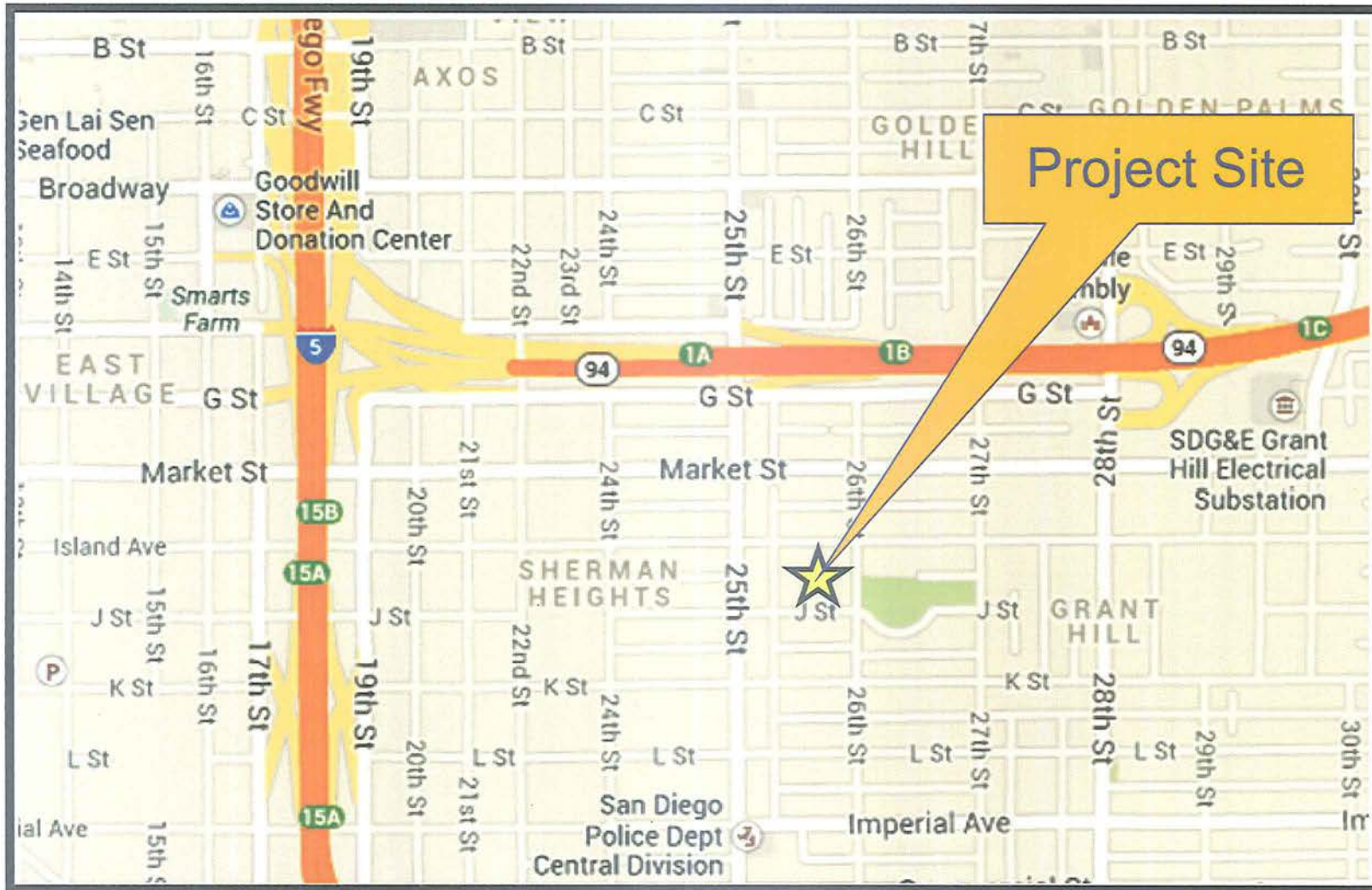
WESTLAKE/JAP

Attachments:

1. Location Map
2. Aerial Photographs
3. Zone Map
4. Community Plan Land Use Map
5. Deviation Location Diagram
6. Project Data Sheet
7. Conditional Use Permit No. 5082
8. Conditional Use Permit No. 266-PC

9. Project Plans
10. Draft CUP and SDP Resolution with Findings for 446 26TH Street
11. Draft CUP and SDP Permit with Conditions for 446 26TH Street
12. Draft CUP and SDP Resolution with Findings for 458 26TH Street
13. Draft CUP and SDP Permit with Conditions for 458 26TH Street
14. Draft Mitigated Negative Declaration (MND) Resolution
15. Community Planning Group Recommendation
16. Civic San Diego Recommendation
17. Ownership Disclosure Statement
18. Project Chronology

Internal Order No. 24003266



Location Map

CNRI/Albert Einstein Academy - Project No. 296407

446 and 458 26th Street

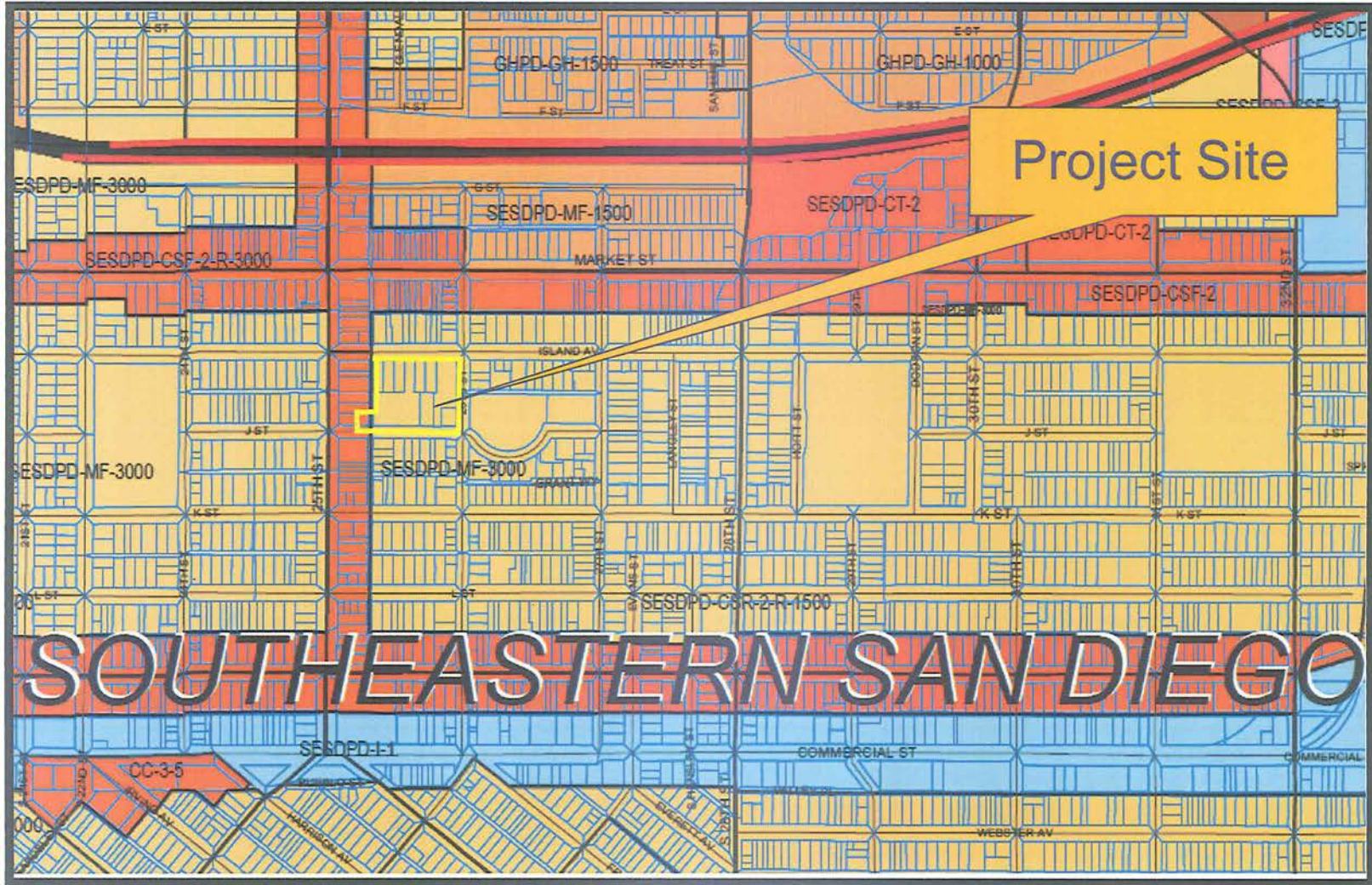




Aerial Photograph (Bird's eye view)

CNRI/Albert Einstein Academy - Project No. 296407
446 and 458 26th Street



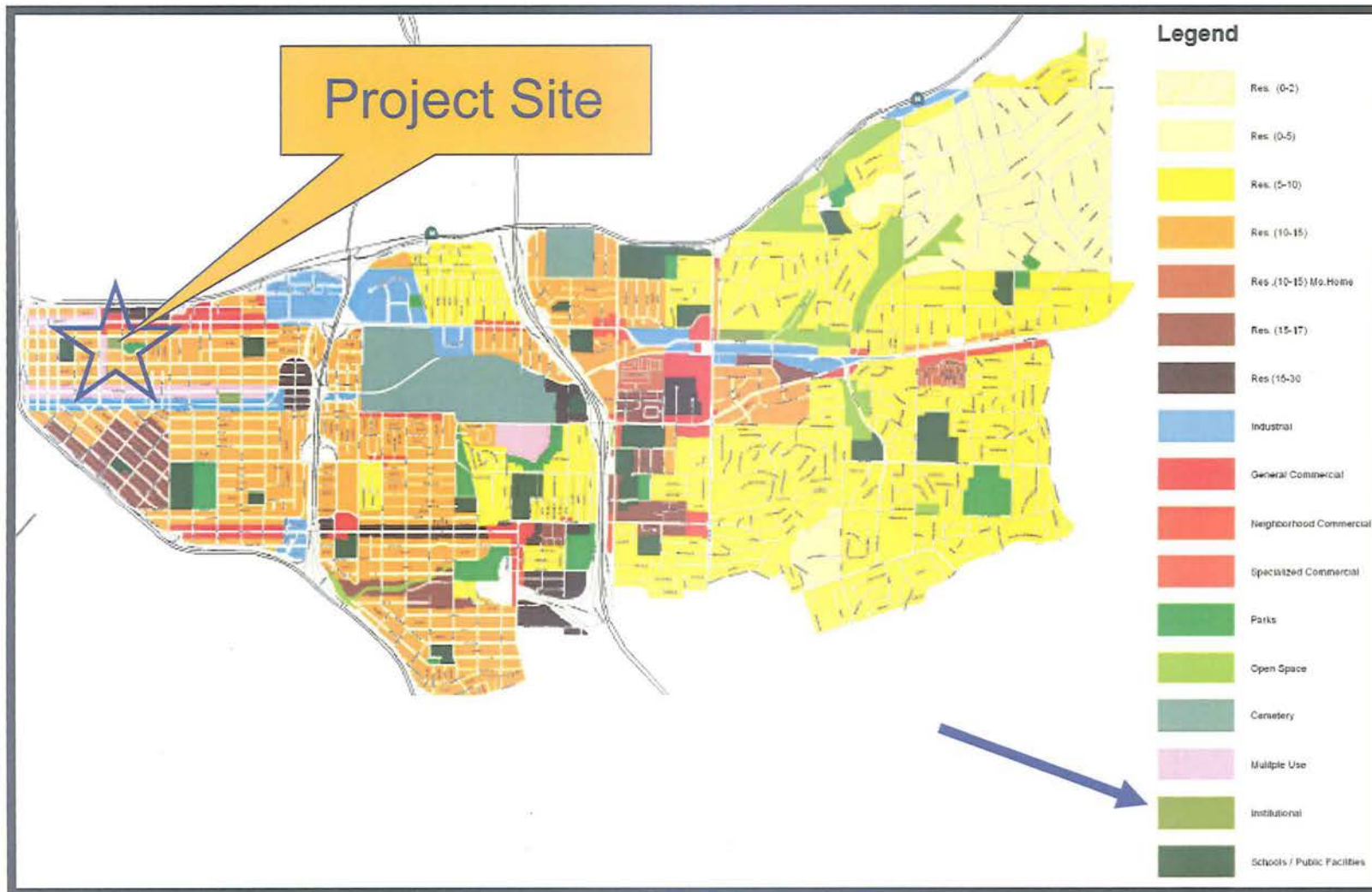


Zoning Map (MF-3000 and CSR 2-R-1500)

CNRI/Albert Einstein Academy - Project No. 296407

446 and 458 26th Street



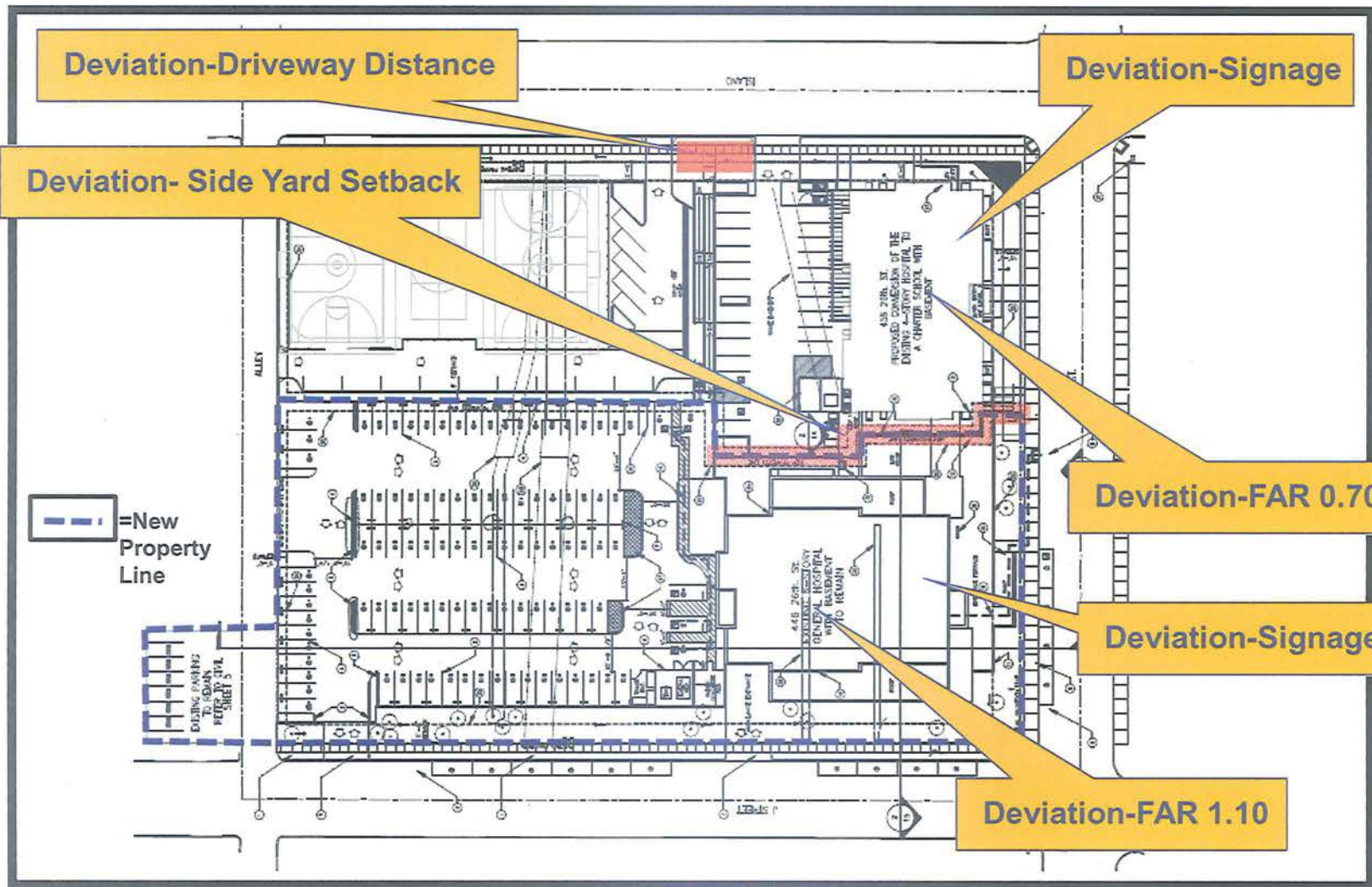


Community Land Use Map (SESD)

CNRI/Albert Einstein Academy - Project No. 296407

446 and 458 26th Street





Deviation Location Diagram

CNRI/Albert Einstein Academy - Project No. 296407

446 and 458 26th Street



PROJECT DATA SHEET

PROJECT NAME:	CNRI/Albert Einstein Academy - Project No. 296407	
PROJECT DESCRIPTION:	A change of use and conversion of an existing vacant convalescent hospital for the operation of a charter middle school located at 458 26 th Street and to allow for the continued operation of an existing general hospital located at 446 26 th Street.	
COMMUNITY PLAN AREA:	Southeastern San Diego	
DISCRETIONARY ACTIONS:	Conditional Use Permit and Site Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Institutional-Hospital	
ZONING INFORMATION		
ZONE:	MF-3000 w/SCMFN Overlay	CSR-2-R-1500
HEIGHT LIMIT:	24 feet (flat roof) & 30 (pitched)	None
LOT SIZE:	5,000 square feet	10,000 square feet
FLOOR AREA RATIO:	0.50	0.75
LOT COVERAGE:	n/a	0.75
FRONT SETBACK:	15 feet	0 feet
SIDE SETBACK:	5 feet	0 feet
STREETSIDE SETBACK:	10 feet	10 feet
REAR SETBACK:	5 feet	0 feet
PARKING:	37 spaces for Albert Einstein Academy	102 spaces for CNRI
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential, MF-3000	Single-Family and Multi-Family Dwelling Units
SOUTH:	Residential, MF-3000	Single-Family and Multi-Family Dwelling Units
EAST:	Residential, MF-3000	Single-Family and Multi-Family Dwelling Units, and the Grant Hill Park (a City park)
WEST:	Multiple Use (Residential/Commercial), CSR-2-R-1500	Single-Family and Multi-Family Dwelling Units
DEVIATIONS OR VARIANCES REQUESTED:	Deviations to interior side yard setback, floor area ratio, signage, and the distance between driveways.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On July 8, 2013, the Southeastern San Diego Planning Group voted 10-0-0 to recommend approval of the project with conditions.	

CONDITIONAL USE PERMIT - CASE NO. 5082

WHEREAS, Conditional Use Permit application No. 20817 has been considered by the Planning Commission of the City of San Diego, California, and the Planning Commission has conducted a public hearing on this request of Lillian Shapery and Arthur Shapery to construct and operate an 80-bed convalescent hospital on Lots 1-4, inclusive, Block 21, L. W. Kimball's Subdivision, Map No. 56, in the R-4 zone; and

WHEREAS, the Planning Commission has made the following Findings of Fact in relation thereto:

1. That the proposed use at the particular location is necessary or desirable to provide a service or facility which will contribute to the general well-being of the neighborhood or the community because the subject facility is well located in relation to other convalescent hospitals and to the population of the City.
2. That such use under the circumstances of the particular case will not be detrimental to health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity because conditions imposed herein insure compatibility with adjacent residential uses.
3. That the proposed use will comply with the regulations and conditions specified in the Municipal Code for such use because the conditions imposed herein insure compliance.
4. That the granting of this conditional use will not adversely affect the Master Plan of the City or the adopted plan of any governmental agency because no Master Plan has been adopted for this area.

NOW, THEREFORE, BE IT RESOLVED, By the City Planning Commission of San Diego, California, that permission is hereby granted to Lillian Shapery and Arthur Shapery, owners, to construct and operate an 80-bed convalescent hospital at the above-mentioned location, under the following conditions:

1. That prior to the issuance of any building permits, complete building plans of the proposed sanitarium (including signs) shall be submitted to the Planning Director for approval. Said plans shall be in substantial conformity with Exhibit "A" on file in the office of the Planning Department. The property shall be developed in accordance with the approved building plans except where regulations of this and other governmental agencies require deviation therefrom.
2. That prior to the issuance of any building permits, a complete landscaping plan, including a permanent watering system, shall be submitted to the Planning Director for approval. Approved planting shall be installed prior to occupancy of the subject property.
3. That prior to the issuance of any building permits an approved final subdivision map of the entire subject property shall be recorded.

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P. Case No. 5082

4. That prior to occupancy of any building, not less than twenty-seven (27) offstreet parking spaces shall be provided on the subject property in the approximate locations shown on Exhibit "A". Areas and driveways shall be surfaced with not less than 2" A.C. or its equivalent, and each parking space shall be marked and provided with substantial wheel stops. Each parking space shall be not less than 180 square feet in area exclusive of aisle and driveway areas.

5. That any flood lighting employed on the subject property shall be directed away from adjoining property at all times.

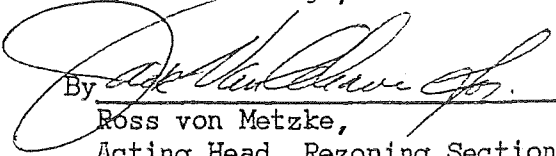
6. That construction and operation of the proposed use shall comply at all times with the regulations and requirements of this and other governmental agencies.

7. That a 6-foot high chain link fence shall be constructed along the west property line except within the setback area where the height of the fence shall be 3 feet. Said fence to be solidly planted with appropriate vines or shrubs.

That permission granted by this Conditional Use Permit shall become effective and final on the eleventh day after it is filed in the office of the City Clerk, unless a written appeal is filed within ten (10) days after such filing in the office of the City Clerk.

Any Conditional Use Permit, or extension of time, granted by the City shall be null and void, and shall be revoked automatically six (6) months after its effective date, unless the use and/or construction permitted is commenced before said time expires, in accordance with Municipal Code Section 101.0506.

CITY PLANNING COMMISSION
City of San Diego, California

By 
Ross von Metzke,
Acting Head, Rezoning Section

DATED: September 12, 1962

FILED IN OFFICE OF CITY CLERK

September 13, 1962

Right of Appeal expires 10 days after above date.

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AMENDMENT

CONDITIONAL USE PERMIT - CASE NO. 5082

WHEREAS, The City Planning Commission of San Diego, California, has considered the written request of J. M. Schwartz, dated March 12, 1965, for an amendment to Conditional Use Permit No. 5082, filed in the Office of the City Clerk on September 13, 1962; and

WHEREAS, The Planning Commission has found the requested amendment would make no material change in the permission granted and would not be injurious to the neighborhood or be otherwise detrimental to the public welfare;

NOW, THEREFORE, BE IT RESOLVED, That Conditional Use Permit No. 5082 be amended to include revision of Condition No. 4 and the addition of Condition No. 8, as follows:

"4. That not less than 21 parking spaces shall be provided on the subject property in the appropriate locations shown on Exhibit "A". Areas and driveways shall be surfaced with not less than 2" A.C. or its equivalent, and each parking space shall be marked and provided with substantial wheel stops. Each parking space shall be not less than $8\frac{1}{2}$ X 20 feet."

"8. That permission is hereby granted to operate a pharmacy in connection with the convalescent hospital and to also serve the general public. No freestanding signs shall be permitted and any outside signs shall be subject to approval by the Planning Director."

That permission granted by this amendment shall become effective and final on the eleventh day after it is filed in the Office of the City Clerk, unless a written appeal is filed within ten (10) days after such filing in the Office of the City Clerk.

CITY PLANNING COMMISSION
City of San Diego, California

By 
Ross von Metzke, Senior Planner

DATED: April 7, 1965

FILED IN OFFICE OF CITY CLERK

April 14, 1965

RIGHT OF APPEAL EXPIRES 10 DAYS AFTER ABOVE DATE.

AMENDMENT

CONDITIONAL USE PERMIT - CASE NO. 5082

WHEREAS, The City Planning Commission of San Diego, California, has considered the written request of Mrs. Lillian Shapery, dated October 31, 1962, for an amendment to Conditional Use Permit No. 5082, filed in the Office of the City Clerk on September 13, 1962;

WHEREAS, The Planning Commission has found the requested amendment would make no material change in the permission granted and would not be injurious to the neighborhood or be otherwise detrimental to the public welfare;

NOW, THEREFORE, BE IT RESOLVED, That Conditional Use Permit No. 5082 be amended so as to allow up to 120 beds; that Condition No. 4 of Conditional Use Permit No. 5082 be amended to read as follows:

4. "That prior to occupancy of any building, not less than one offstreet parking space for each three beds be provided on the subject property in the approximate locations shown on Exhibit "A". Areas and driveways shall be surfaced with not less than 2" A.C. or its equivalent, and each parking space shall be marked and provided with substantial wheel stops. Each parking space shall be not less than 180 square feet in area exclusive of aisle and driveway areas."

That permission granted by this amendment shall become effective and final on the eleventh day after it is filed in the Office of the City Clerk, unless a written appeal is filed within ten (10) days after such filing in the Office of the City Clerk.

Any amendment, or extension of time, granted by the City shall be null and void, and shall be revoked automatically six (6) months after its effective date, unless the use and/or construction permitted is commenced before said time expires, in accordance with Municipal Code Section 101.0506.

CITY PLANNING COMMISSION
City of San Diego, California

By *Jack W. Clave*
Head, Rezoning Section

DATE: November 21, 1962

FILED IN OFFICE OF CITY CLERK

NOV 27 1962

Right of Appeal expires 10 days after above date.

OFFICE COPY

EXTENSION OF TIME

CONDITIONAL USE PERMIT - CASE NO. 5082

WHEREAS, The City Planning Commission of San Diego, California, has considered the written request of Lillian Shapery and Arthur Shapery for a six months' extension of time to September 24, 1963, in which to construct and operate a 120-bed convalescent hospital on Lots 1-4 and the northerly 60 feet of Lots 46-48, inclusive, Block 21, L. W. Kimball's Subdivision, Map No. 56, in the R-4 zone; and

WHEREAS, it has been found that there has been no material change of circumstances since the granting of said Conditional Use Permit which would adversely affect the public welfare;

NOW, THEREFORE, BE IT RESOLVED, By the Planning Commission of the City of San Diego, California, that an extension of time until September 24, 1963, be granted to said Lillian Shapery and Arthur Shapery in which to construct and operate said facilities, as mentioned above.

That permission granted by this Conditional Use Permit shall become effective and final on the eleventh day after it is filed in the Office of the City Clerk, unless a written appeal is filed within ten (10) days after such filing in the Office of the City Clerk.

Any Conditional Use Permit, or extension of time, granted by the City shall be null and void, and shall be revoked automatically six (6) months after its effective date, unless the use and/or construction permitted is commenced before said time expires, in accordance with Municipal Code Section 101.0506.

CITY PLANNING COMMISSION
City of San Diego, California

By 
Head, Rezoning Section

DATED: March 13, 1963

FILED IN OFFICE OF CITY CLERK

MAR 14 1963

Right of Appeal expires 10 days after above date.

DOCUMENT NO. 783870

FILED NOV 8 1970

OFFICE OF THE CITY CLERK
SAN DIEGO, CALIFORNIA

City Planning Dept.

NOV 6 1970

RECEIVED

FINDINGS OF FACT
RESOLUTION NO. 266-PC

WHEREAS, PACIFIC COAST MEDICAL ENTERPRISES, a California corporation, "Owner/Permittee" filed an application for a conditional use permit to construct and operate a general hospital and convalescent hospital, located on the west side of 26th Street between "J" Street and Island Avenue more particularly described as Lots 1 and 2 Berensonia Tract, Map 5318 & Lots 5-16, 33-43 and portions of Lots 46-48, Block 21, L. W. Kimball's Subdivision, Map No. 56, on file in the office of the County Recorder, in the R-4 zone.

WHEREAS, the Planning Commission of The City of San Diego held a public hearing on Case No. 266-PC pursuant to Section 101.0505 et sequitur of the Municipal Code of The City of San Diego and granted a conditional use permit under date of October 14, 1970, and filed the same in the office of the City Clerk on October 20, 1970 to "Owner/Permittee" to construct and operate a general hospital and convalescent hospital subject to terms and conditions as set out in said conditional use permit; NOW, THEREFORE,

BE IT RESOLVED, by the Planning Commission of The City of San Diego, as follows:

That all of the following facts exist with respect to the issuance of a conditional use permit in favor of "Owner/Permittee"

1. That the proposed use at the particular location is necessary or desirable to provide a service which will contribute to the general well-being of the community.
2. That such use will not, under the circumstances of the particular case, be detrimental to the health, safety or general welfare of persons residing or working in the vicinity, or injurious to property or improvements in the vicinity.
3. That the proposed use will comply with the regulations and conditions specified in the Code for such use.
4. That the granting of this conditional use will not adversely affect the adopted Southeast San Diego Community Plan.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the Planning Commission does hereby grant to "Owner/Permittee" a conditional use permit in the form and with the terms and conditions as set forth in Conditional Use Permit - Case No. 266-PC, attached hereto and made a part hereof.

Mary M. Bagaloff
Mary M. Bagaloff, Secretary of the
Planning Commission

RECEIVED
CITY CLERK'S OFFICE

1970 NOV -3 PM 1:14

SAN DIEGO, CALIF.

*170-172-1
B. Hall*

City Plan

CONDITIONAL USE PERMIT - PLANNING COMMISSION
CASE NO. 266-PC

This conditional use permit is granted by the City Planning Commission of The City of San Diego to PACIFIC COAST MEDICAL ENTERPRISES, a California corporation, "Owner/Permittee" for the purposes and under the terms and on the conditions as set out herein pursuant to the authority contained in Section 101.0505 et sequitur of the Municipal Code of The City of San Diego.

1. Permission is hereby granted to "Owner/Permittee" to construct and operate a general hospital and convalescent hospital located on the west side of 26th Street between "J" Street and Island Avenue, more particularly described as Lots 1 and 2 Berensonia Tract, Map 5318 and Lots 5-16, 33-43 and portions Lots 46 through 48, Block 21, L. W. Kimball's Subdivision, Map No. 56, on file in the office of the County Recorder, in the R-4 zone.

2. The general hospital and convalescent hospital shall include, and the term "Project" as used in this conditional use permit shall mean the total of the following facilities:

- a. 111 bed general hospital
- b. 108 bed convalescent hospital
- c. Offstreet parking
- d. Incidental accessory uses as may be determined and approved by the Planning Director.

3. At the time of occupancy, offstreet parking shall be provided and maintained on the subject property in the approximate location shown on Exhibit "A" (dated October 14, 1970), on file in the office of the Planning Department at a ratio of 1.75 parking spaces for each general hospital bed and 1 offstreet parking space for each 2½ convalescent hospital beds with a minimum of 240 spaces. Areas and driveways shall be surfaced with not less than 2" A.C. or its equivalent and each parking space shall be marked. Parking spaces and aisles shall conform to Planning Department standards. No charge shall be made at any time for the use of these offstreet parking spaces.

4. Prior to the issuance of a building permit the applicant shall record a parcel map or subdivision map for the purposes of consolidating the lots into one parcel vacating the alley, and the north south alley between J Street and Island Avenue shall be improved to City standards.

5. Prior to occupancy, outside water and sewer mains shall be installed for operation as required by the Utilities Director.

6. Standard commercial driveways shall be provided for at all points of access.

7. A minimum 10 foot wide planting strip including adequate watering system shall be provided adjacent to all streets bordering the subject property except areas of ingress and egress.

8. The Permittee shall comply with the General Conditions for Conditional Use Permits attached hereto and made a part hereof.

Passed and adopted by the Planning Commission of The City of San Diego on October 14, 1970.

RECEIVED
CITY'S OFFICE
OCT 14 1970
SAN DIEGO, CALIF.

AUTHENTICATED BY:

J. R. Quivey
R. Quivey, Senior Planner
Planning Department

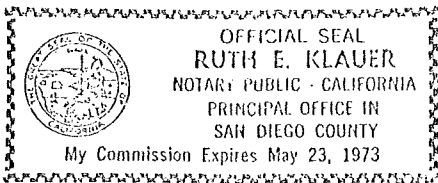
Mary M. Bagaloff
Mary M. Bagaloff, Secretary of the
Planning Commission

STATE OF CALIFORNIA)
) SS.
COUNTY OF SAN DIEGO)

On This 3rd day of January 1970, before me the undersigned a Notary Public in and for said County and State, personally appeared J. R. QUIVEY, known to me to be a Senior Planner of The City of San Diego, and MARY M. BAGALOFF, known to me to be the Secretary of the Planning Commission of The City of San Diego and known to me to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal, in the County of San Diego, State of California, the day and year in this certificate first above written.

(Notary Stamp)



Ruth E. Klauser
Notary Public in and for the County
of San Diego, State of California

ACKNOWLEDGED:

The undersigned Permittee by execution hereof agrees to each and every condition of this conditional use permit and promises to perform each and every obligation of Permittee hereunder.

PACIFIC COAST MEDICAL ENTERPRISES, a
California corporation, "Owner/Permittee

By *[Signature]*
Authorized Signator

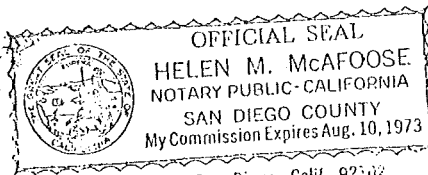
STATE OF CALIFORNIA)ss.
COUNTY OF SAN DIEGO)

On this 22 day of October, 1970, before me, the undersigned, a Notary Public in and for said County and State, personally appeared *[Signature]* known to me to be *[Signature]* of PACIFIC COAST MEDICAL ENTERPRISES, a California corporation, the corporation that executed the within instrument and known to me to be the person who executed the same on behalf of said corporation and acknowledged to me that said corporation executed the same, pursuant to its bylaws or a resolution of its Board of Directors.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Notarial Seal, the day and year in this certificate first above written.

NOTARY STAMP

[Signature]
Notary Public in and for said County
and State



2611 B Street, San Diego, Calif. 92102

GENERAL CONDITIONS FOR CONDITIONAL USE PERMITS

1. Prior to the issuance of any building permits, complete building plans (including signs) shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity with Exhibit "A" (dated October 14, 1970), on file in the office of the Planning Department. The property shall be developed in accordance with the approved building plans except where regulations of this or other governmental agencies require deviation therefrom. Prior to and subsequent to the completion of the project, no changes, modifications or alterations shall be made unless and until appropriate applications for amendment of this permit shall have been approved and granted.
2. Prior to the issuance of any building permits, a complete landscaping plan, including a permanent watering system, shall be submitted to the Planning Director for approval. Said plans shall be in substantial conformity with Exhibit "A" (dated October 14, 1970), on file in the office of the Planning Department. Approved planting shall be installed prior to the issuance of an occupancy permit on any building. Such planting shall not be modified or altered unless and until this permit shall have been amended to permit such modification or alteration.
3. All outdoor lighting shall be so shaded and adjusted that the light therefrom is directed to fall only on the same premises where such light sources are located.
4. This conditional use permit granted by the City shall be utilized within one year after the effective date thereof. Failure to utilize the conditional use permit within a one-year period will automatically void the same. This conditional use permit shall be subject to all of the terms and conditions granted herein and pursuant to the terms set forth in Section 101.0506 and 101.0509 of the Municipal Code. See the latter referenced sections as those terms and conditions apply hereto.
5. Construction and operation of the approved use shall comply at all times with the regulations of this or other governmental agencies.
6. This conditional use permit shall not be final until the eleventh day following its filing in the office of the City Clerk and is subject to appeal to the City Council as provided for in Section 101.0508 of the Municipal Code of The City of San Diego.
7. The effectiveness of this conditional use permit is expressly conditioned upon, and the same shall not become effective for any purpose unless and until the following events shall have occurred:
 - a. Permittee shall have agreed to each and every condition hereof by having this conditional use permit signed within 90 days of the Commission's decision. In no event shall this condition be construed to extend the time limitation set forth in 4 above; i.e., the time commences to run on the date that the Planning Commission granted this conditional use permit.
 - b. This conditional use permit executed as indicated shall have been recorded in the office of the County Recorder.
8. After the establishment of the project as provided herein, the subject property shall not be used for any other purposes unless specifically authorized by the Planning Commission, unless the proposed use meets every requirement of zone existing for the subject property at the time of conversion.

9. The project included within this conditional use permit shall be used only for the purposes and under the terms and conditions as set forth in this permit unless the permit shall have been revoked by The City of San Diego.

10. In addition to any other remedy provided by law, any breach in any of the terms or conditions of this permit or any default on the part of the Permittee or its successors in interest, shall be deemed a material breach hereof and this conditional use permit may be cancelled or revoked. Cancellation or revocation of this conditional use permit may be instituted by the City or permittee. The Planning Director shall set this matter for public hearing before the Planning Commission giving the same notice as provided in Section 101.0505.2. An appeal from the decision of the Planning Commission may be taken to the City Council within 10 days after the decision is filed with the City Clerk. The Clerk shall set the matter for public hearing before the City Council giving the same notice as provided in Section 101.0505.2.

11. This conditional use permit shall inure to the benefit of and shall constitute a covenant running with the lands, and the terms, conditions and provisions hereof shall be binding upon Permittee, and any successor or successors thereto, and the interests of any successor shall be subject to each and every condition herein set out.

DOCUMENT NO.

FINDINGS OF FACT
RESOLUTION NO. 266-PC/EXTENSION OF TIME FILED

DEC 14 1971

OFFICE OF THE CITY CLERK
SAN DIEGO, CALIFORNIA

WHEREAS, PACIFIC COAST MEDICAL ENTERPRISES, a California corporation, "Owner/Permittee" filed an application for a conditional use permit to construct and operate a general hospital and convalescent hospital, located on the west side of 26th Street between "J" Street and Island Avenue, more particularly described as [Lots 1 and 2 Berensonia Tract, Map 5318 and Lots 5-16, 33-43, and portions Lots 46-48, Block 21, L. W. Kimball's Subdivision Map No. 56,] on file in the office of the County Recorder, in the R-4 zone.

WHEREAS, the Planning Commission of The City of San Diego considered Case No. 266-PC/Extension of Time pursuant to Section 101.0506 et sequitur of the Municipal Code of The City of San Diego and granted a conditional use permit extension of time under date of November 24, 1971, and filed the same in the office of the City Clerk on December 1, 1971 to "Owner/Permittee" to construct and operate a general hospital and convalescent hospital subject to terms and conditions as set out in said conditional use permit; NOW, THEREFORE,

BE IT RESOLVED, by the Planning Commission of The City of San Diego, as follows:

That the following fact exists with respect to the issuance of a conditional use permit extension of time in favor of "Owner/Permittee":

That there has been no material change in circumstances since the granting of the conditional use permit which would be injurious to the neighborhood or otherwise detrimental to the public welfare.

The above finding is supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the Planning Commission does hereby grant to "Owner/Permittee" a conditional use permit extension of time in the form and with the terms and conditions as set forth in Conditional Use Permit - Case No. 266-PC/EoT, attached hereto and made a part hereof.

Mary M. Bagaloff

Mary M. Bagaloff, Secretary of the
Planning Commission

RECEIVED

1971 DEC 13 PM 2:09

SAN DIEGO, CALIF.

City Planning Dept
DEC 14 1971
RECEIVED

CONDITIONAL USE PERMIT - PLANNING COMMISSION
CASE NO. 266-PC/EXTENSION OF TIME

This conditional use permit is granted by the City Planning Commission of The City of San Diego to PACIFIC COAST MEDICAL ENTERPRISES, a California corporation, "Owner/Permittee" for the purposes and under the terms and on the conditions as set out herein pursuant to the authority contained in Section 101.0506 et sequitur of the Municipal Code of The City of San Diego.

1. Permission is hereby granted to "Owner/Permittee" to construct and operate a general hospital and convalescent hospital located on the west side of 26th Street between "J" Street and Island Avenue, more particularly described as Lots 1 and 2 Berensonia Tract, Map 5318 and Lots 5-16, 33-43 and portions Lots 46 through 48, Block 21, L. W. Kimball's Subdivision, Map No. 56, on file in the office of the County Recorder, in the R-4 zone.

2. The general hospital and convalescent hospital shall include, and the term "Project" as used in this conditional use permit shall mean the total of the following facilities:

- 111 bed general hospital
- 108 bed convalescent hospital
- Offstreet parking
- Incidental accessory uses as may be determined and approved by the Planning Director.

3. At the time of occupancy, offstreet parking shall be provided and maintained on the subject property in the approximate location shown on Exhibit "A" (dated November 24, 1971), on file in the office of the Planning Department at a ratio of 1.75 parking spaces for each general hospital bed and 1 offstreet parking space for each 2½ convalescent hospital beds with a minimum of 240 spaces. Areas and driveways shall be surfaced with not less than 2" A.C. or its equivalent and each parking space shall be marked. Parking spaces and aisles shall conform to Planning Department standards. No charge shall be made at any time for the use of these offstreet parking spaces.

4. Prior to the issuance of a building permit the applicant shall record a parcel map or subdivision map for the purposes of consolidating the lots into one parcel vacating the alley, and the north south alley between J Street and Island Avenue shall be improved to City standards.

5. Prior to occupancy, outside water and sewer mains shall be installed for operation as required by the Utilities Director.

6. Standard commercial driveways shall be provided for at all points of access.

7. A minimum 10 foot wide planting strip including adequate watering system shall be provided adjacent to all streets bordering the subject property except areas of ingress and egress.

8. The Permittee shall comply with the General Conditions for Conditional Use Permits attached hereto and made a part hereof.

Passed and adopted by the Planning Commission of The City of San Diego on November 24, 1971.

RECEIVED
CITY OF SAN DIEGO

73 DEC 13 PM 2:00

SAN DIEGO, CALIF.

AUTHENTICATED BY:

F. R. Knostman

F. R. Knostman, Acting Senior Planner
Planning Department

Mary M. Bagaloff

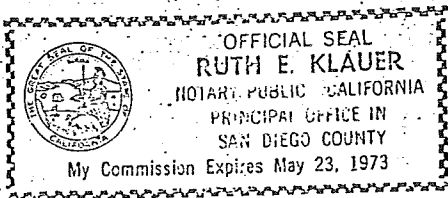
Mary M. Bagaloff, Secretary of the
Planning Commission

STATE OF CALIFORNIA)
) ss.
COUNTY OF SAN DIEGO)

On This 13th day of December, 1971, before me the undersigned a Notary Public in and for said County and State, personally appeared F. R. KNOSTMAN, known to me to be an Acting Planner of The City of San Diego; and MARY M. BAGALOFF, known to me to be the Secretary of the Planning Commission of The City of San Diego and known to me to be the persons whose names are subscribed to the within instrument and acknowledged that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal, in the County of San Diego, State of California, the day and year in this certificate first above written.

(Notary Stamp)



Ruth E. Klauer

Notary Public in and for the County
of San Diego, State of California

ACKNOWLEDGED:

The undersigned Permittee by execution hereof agrees to each and every condition of this conditional use permit and promises to perform each and every obligation of Permittee hereunder.

PACIFIC COAST MEDICAL ENTERPRISES, a California corporation, "Owner/Permittee"

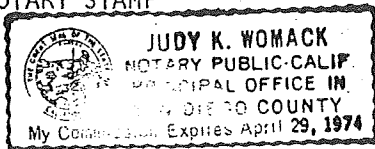
By *Kurt Nork*
Authorized Signator

STATE OF CALIFORNIA)ss.
COUNTY OF SAN DIEGO)

On this 2nd day of December, 1971, before me, the undersigned, a Notary Public in and for said County and State, personally appeared KURT N. NORK known to me to be OWNER/PERMITTEE of PACIFIC COAST MEDICAL ENTERPRISES, a California corporation, the corporation that executed the within instrument and known to me to be the person who executed the same on behalf of said corporation and acknowledged to me that said corporation executed the same, pursuant to its bylaws or a resolution of its Board of Directors.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my Notarial Seal, the day and year in this certificate first above written.

NOTARY STAMP



Judy K. Womack
Notary Public in and for said County and State

GENERAL CONDITIONS FOR CONDITIONAL USE PERMITS

1. Prior to the issuance of any building permits, complete building plans (including signs) shall be submitted to the Planning Director for approval. Plans shall be in substantial conformity with Exhibit "A" (dated November 24, 1971), on file in the office of the Planning Department. The property shall be developed in accordance with the approved building plans except where regulations of this or other governmental agencies require deviation therefrom. Prior to and subsequent to the completion of the project, no changes, modifications or alterations shall be made unless and until appropriate applications for amendment of this permit shall have been approved and granted.
2. Prior to the issuance of any building permits, a complete landscaping plan, including a permanent watering system, shall be submitted to the Planning Director for approval. Said plans shall be in substantial conformity with Exhibit "A" (dated November 24, 1971), on file in the office of the Planning Department. Approved planting shall be installed prior to the issuance of an occupancy permit on any building. Such planting shall not be modified or altered unless and until this permit shall have been amended to permit such modification or alteration.
3. All outdoor lighting shall be so shaded and adjusted that the light therefrom is directed to fall only on the same premises where such light sources are located.
4. This conditional use permit granted by the City shall be utilized within 18 months after the effective date thereof. Failure to utilize the conditional use permit within an 18-month period will automatically void the same. This conditional use permit shall be subject to all of the terms and conditions granted herein and pursuant to the terms set forth in Section 101.0506 and 101.0509 of the Municipal Code. See the latter referenced sections as those terms and conditions apply hereto.
5. Construction and operation of the approved use shall comply at all times with the regulations of this or other governmental agencies.
6. This conditional use permit shall not be final until the eleventh day following its filing in the office of the City Clerk and is subject to appeal to the City Council as provided for in Section 101.0508 of the Municipal Code of The City of San Diego.
7. The effectiveness of this conditional use permit is expressly conditioned upon, and the same shall not become effective for any purpose unless and until the following events shall have occurred:
 - a. Permittee shall have agreed to each and every condition hereof by having this conditional use permit signed within 90 days of the Commission's decision. In no event shall this condition be construed to extend the time limitation set forth in 4 above; i.e., the time commences to run on the date that the Planning Commission granted this conditional use permit.
 - b. This conditional use permit executed as indicated shall have been recorded in the office of the County Recorder.
8. After the establishment of the project as provided herein, the subject property shall not be used for any other purposes unless specifically authorized by the Planning Commission, unless the proposed use meets every requirement of zone existing for the subject property at the time of conversion.

9. The property included within this planned residential development shall be used only for the purposes and under the terms and conditions as set forth in this permit unless the permit shall have been revoked by The City of San Diego.

10. In addition to any other remedy provided by law, any breach in any of the terms or conditions of this permit or any default on the part of the Permittee or its successors in interest, shall be deemed a material breach hereof and this permit may be cancelled or revoked. Cancellation or revocation of this permit may be instituted by the City or permittee. The Planning Director shall set this matter for public hearing before the Planning Commission giving the same notice as provided in Section 101.0900, paragraph E. An appeal from the decision of the Planning Commission may be taken to the City Council within 10 days after the decision is filed with the City Clerk. The Clerk shall set the matter for public hearing before the City Council giving the same notice as provided in Section 101.0900.

11. This planned residential development permit shall inure to the benefit of and shall constitute a covenant running with the lands, and the terms, conditions and provisions hereof shall be binding upon Permittee, and any successor or successors thereto, and the interests of any successor shall be subject to each and every condition herein set out.

CNRI / ALBERT EINSTEIN ACADEMY

STUDIO E
ARCHITECTS



ARCHITECTURE

SHEET INDEX

- 01. TITLE SHEET
- 02. EXISTING HOSPITAL SITE FOR REFERENCE
- 03. PROPOSED HOSPITAL SITE FOR REFERENCE
- 04. SURVEY SHEET
- 05. SURVEY SHEET
- 06. PROPOSED LOT LINE ADJUSTMENT
- 07. PRELIMINARY UTILITY PLAN
- 08. 446 28TH ST. HOSPITAL LEVEL 1 FLOOR PLAN (BASEMENT)
- 09. 446 28TH ST. HOSPITAL LEVEL 2 FLOOR PLAN (LOADING)
- 10. 446 28TH ST. HOSPITAL LEVEL 3 FLOOR PLAN (LOADING)
- 11. 446 28TH ST. HOSPITAL LEVEL 4 FLOOR PLAN
- 12. 446 28TH ST. HOSPITAL LEVEL 5 FLOOR PLAN
- 13. 446 28TH ST. HOSPITAL LEVEL 6 FLOOR PLAN
- 14. 446 28TH ST. HOSPITAL ROOF PLAN
- 15. 446 28TH ST. HOSPITAL TI WORK LEVEL 1, 2 & 3
- 16. 446 28TH ST. HOSPITAL TI WORK PARTIAL EXTERIOR ELEVATION LEVEL 2 & 3
- 17. 446 28TH ST. HOSPITAL SITE SECTIONS
- 18. PROPOSED SCHOOL SITE PLAN
- 19. PRELIMINARY GRADING AND PAVING PLAN
- 20. EXISTING BUILDING PLANS FOR REFERENCE
- 21. PROPOSED SCHOOL LEVEL 0 & 1 FLOOR PLAN
- 22. PROPOSED SCHOOL LEVEL 2 FLOOR PLAN
- 23. PROPOSED SCHOOL LEVEL 3 FLOOR PLAN
- 24. PROPOSED SCHOOL LEVEL 4 FLOOR PLAN
- 25. PROPOSED SCHOOL ROOF PLAN
- 26. PROPOSED SCHOOL ELEVATIONS
- 27. PROPOSED SCHOOL SITE SECTIONS
- 28. LANDSCAPE 1
- 29. LANDSCAPE 2

DEVELOPMENT SUMMARY

1. SUMMARY OF REQUEST
 - REQUEST PLAN REVIEW FOR CONCURRENT PROCESS AND AGREEMENT, FOR NEW FIREWALL, UTILITY REPAIR AND INCIDENTAL WORK AS REQUIRED TO LEGALIZE THE PENDING LOT SPLIT.
 - SCOPE OF WORK INCLUDES MAJOR DEMOLITION AND REWORK OF ELECTRICAL, WATER, AND SEWER SERVICE TO LEGALLY REPAIR THE EXISTING BUILDING AT THE COMMON FIREWALL. NEW FIRE RATED AREA SEPARATION WALL IS 77 FEET LONG, AND OCCURS AT LEVELS 1 AND -1. NEW 50" HIGH PARAPET WILL BE BUILT AT THE ROOF DIRECTLY ABOVE THE WALL.
 REQUIRED DISCRETIONARY PERMITS:
 SEE PROJECT NUMBER #296407 FOR ADDITIONAL INFORMATION (SEPARATE SUBMITTAL)

2. STREET ADDRESS
 446 AND 458 28TH STREET
 SAN DIEGO, CA 92102

3. PLANNED DISTRICT/COMMUNITY PLAN
 SOUTHEASTERN SAN DIEGO PLANNED DISTRICT - SESOPD
 SOUTHEASTERN SAN DIEGO COMMUNITY PLAN

4. ZONING
 MF-3000 (SOUTHEAST SAN DIEGO SPECIAL CHARACTER MULTI-FAMILY NEIGHBORHOOD - REFERENCES SF-6000 REGULATIONS)
 "OVERLAY ZONES"
 SESD SPECIAL CHARACTER MF NEIGHBORHOOD OVERLAY ZONE, TRANSIT AREA OVERLAY ZONE

5. LEGAL DESCRIPTION
 PARCEL 1: PARCEL 1 OF PARCEL MAP NO. 701, CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JANUARY 3, 1972.
 PARCEL 2: LOTS 29 AND 30 IN BLOCK 31 OF L.W. KIMBALL SUBDIVISION OF THE NORTHWEST QUARTER OF FRIERLAND LOT 1164, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE MAP THEREOF NO. 36, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON MARCH 31, 1973.
 ALSO ALL THAT PORTION OF THE NORTH 10.00 FEET OF "J" STREET LYING SOUTH OF AND ADJOINING SAID LOT 30, AS VACATED AND CLOSED TO PUBLIC USE ON NOVEMBER 22, 1926 BY RESOLUTION NO. 29740 OF THE COMMON COUNCIL OF THE CITY OF SAN DIEGO, EXCEPTING THEREFROM THE WEST 92.00 FEET THEREOF.

6. ASSESSOR'S PARCEL NUMBER LAMBERT COORDINATES
 533-491-30 THRU 35 159-1727

7. PREVIOUS APPROVALS
 CONDITIONAL USE PERMIT 289-PC

8. PROPOSED USE
 458 28TH ST - CHARTER MIDDLE SCHOOL serving 600 students in grades 6-8 and tenant improvement of the existing 4 story commercial hospital at 446 28th Street, eliminating 100 beds and associated parking. Proposed school hours shall be 8:00-3:00 M-F, 178 days per year. Proposed maximum number of students per Grade:

Year	Grade 6	Grade 7	Grade 8	Total
Year 1	200	100	100	400
Year 2	200	200	100	500
Year 3	200	200	200	600

The school intends to keep the option open for a future Grade 9 in the proposed facility.

458 28TH ST - HOSPITAL - NO CHANGE IN USE

9. TYPE OF CONSTRUCTION
 446 28TH STREET - TYPE II SPRINKLERED 458 28TH STREET - TYPE II SPRINKLERED

10. OCCUPANCY GROUP
 446 28TH STREET: I-2 458 28TH STREET: E-1

11. SITE AREA
 GROSS SITE AREA (EXISTING) 2.923 ACRES = 127,326 SF
 446 28TH STREET AFTER LOT SPLIT: 1.636 ACRES = 71,264 SF
 458 28TH STREET AFTER LOT SPLIT: 1.287 ACRES = 56,062 SF

12. FLOOR AREA
 446 28TH STREET: 78,529 S.F. (NO CHANGE)
 458 28TH STREET: 58,000 S.F.

13. PARKING
 458 28TH STREET
 REQUIRED: MIDDLE SCHOOL - 22 CLASSROOMS X 2 SP. / CLASSROOM = 44 SPACES
 TRANSIT AREA REDUCTION - 85% OF MINIMUM = 37.4 SPACES PROVIDED = 27 SPACES
 ACCESSIBLE SPACES (REQUIRED AND PROVIDED) = 1 VAN AND 1 ACCESSIBLE SPACES
 MOTORCYCLE PARKING (37 SPACES X 2%) = 1 REQ'D, 2 PROVIDED
 BICYCLE STORAGE (37 SPACES X 2%) = 1 REQ'D, 11 PROVIDED
 446 28TH STREET
 REQUIRED: HOSPITAL - 58 BEDS X 1.75 SPACES/BED PER CURRENT CLIP = 102 SPACES PROVIDED = 106 SPACES
 ACCESSIBLE SPACES (REQUIRED AND PROVIDED) = 1 VAN AND 4 ACCESSIBLE SPACES
 MOTORCYCLE PARKING (102 SPACES X 2%) = 2 REQ'D, 2 PROVIDED
 BICYCLE STORAGE (102 SPACES X 2%) = 2 REQ'D, 2 PROVIDED

14. WATER SERVICE / SEWER SERVICE
 CITY OF SAN DIEGO WATER / CITY OF SAN DIEGO WASTEWATER

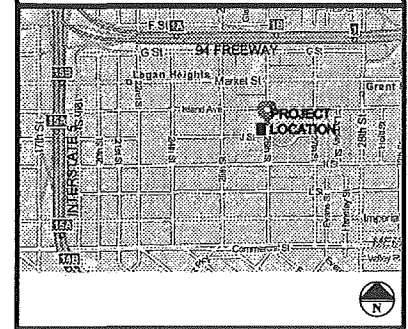
15. BUILDING CODE
 2010 C.B.C., 2010 C.M.C., 2007 N.E.C., 2010 C.P.C., 2010 C.E.C., 2010 C.F.C.

16. OWNER'S NAME & ADDRESS
 CNRI SAN DIEGO INC.
 446 28TH STREET
 SAN DIEGO, CA 92102
 CONTACT: THOMAS TRAN, DIRECTOR 619 481 6262 EMAIL: thomstran@cnriandsdgo.com

17. PROJECT TEAM
 ARCHITECT - 446 28TH STREET:
 EHM ARCHITECTURE INC.
 3086 FALCON STREET
 SAN DIEGO, CA 92103-2943
 (619) 298-5493
 FAX (619) 298-5987
 CONTACT: RANDAL JAY EBBA, CEO
 EMAIL: rjayebba@ehmarch.com
 ARCHITECT - 458 28TH STREET:
 STUDIO E ARCHITECTS
 3086 FALCON STREET
 SAN DIEGO, CA 92103-2943
 (619) 235-9232 X215
 FAX (619) 298-0987
 CONTACT: MAXINE WARD
 EMAIL: mward@studioearchitects.com

LANDSCAPE ARCHITECT:
 DAVID MC CALLOUGH
 303 9TH AVENUE, SUITE 201
 SAN DIEGO, CA 92101
 (619) 298 3150
 EMAIL: dmcc@mcad.com
 CIVIL ENGINEER:
 SURVEY & WORK ENGINEERS INC.
 3041 4TH AVENUE
 SAN DIEGO, CA 92103
 (619) 299 8500 FAX (619) 299 9504
 CONTACT: WILLIAM TEMPLETON
 EMAIL: wtemplaton@survest-weg.com

VICINITY MAP



OWNER:
 CNRI
 446 28TH STREET
 SAN DIEGO, CA 92102

ARCHITECT:
 EHM ARCHITECTURE INC.
 RANDAL JAY EBBA, CEO-PREIDENT/CEO
 3086 FALCON STREET
 SAN DIEGO, CA 92103-2943

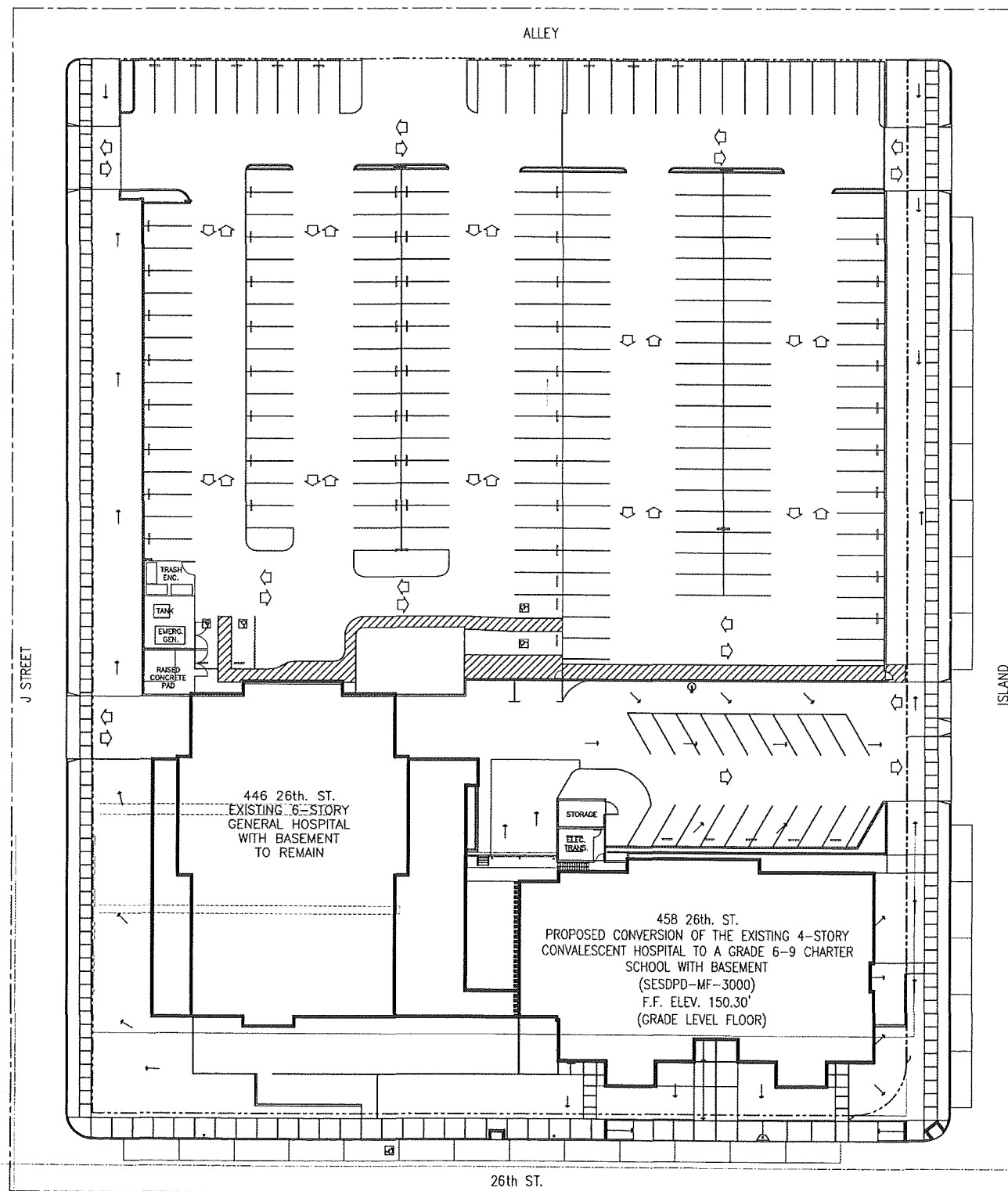
PHONE #
 (619) 298-5493, 2508
 (619) 298-5987, FAX

PROJECT ADDRESS:
 446 & 458 28TH STREET
 SAN DIEGO, CA 92102

PROJECT NAME:
 CNRI / ALBERT EINSTEIN ACADEMY

SHEET TITLE:
 TITLE SHEET
 CUP SUBMITTAL

ORIGINAL DATE: 09/19/2013
 SHEET 1 of 29



SITE PLAN NOTES:

- EXISTING AND PROPOSED EASEMENTS ARE LOCATED AND NOTED ON THIS PROPERTY AND ON THE ADJACENT PROPERTY.
- EXISTING DRAINAGE IS SHOWN. NO GRADING IS PROPOSED.
- THERE ARE NO EXISTING OR PROPOSED BUS STOPS.
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER PDPS PROJECT 03-06.
- NO MECHANICAL EQUIPMENT, TANK, DUCT, ELEVATOR ENCLOSURE, COOLING TOWER, OR MECHANICAL VENTILATOR SHALL BE ERRECTED, CONSTRUCTED, MAINTAINED, OR ALTERED ANYWHERE ON THE PREMISES UNLESS ALL SUCH EQUIPMENT AND APPURTENANCES ARE CONTAINED WITHIN A COMPLETELY ENCLOSED PENTHOUSE OR OTHER PORTION OF A BUILDING HAVING WALLS AND FLOORS WITH CONSTRUCTION AND APPEARANCE SIMILAR TO THE MAIN BUILDING.
- PALEONTOLOGY -- NO GRADING IS PROPOSED. THEREFORE NO PALEONTOLOGICAL REVIEW IS REQUIRED.
- POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALL BELLS ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE. CFC 1001.4
- OFF-STREET PARKING:
 - REQUIRED:
 - 6-8 CLASSROOMS (12) X 2 = 24 SPACES
 - HIGH SCHOOL STUDENTS = 400 @ 1 PER 8 = 50 SPACES
 - TRANSIT AREA REDUCTION = 127/85% = 108 SPACES
 - TOTAL OFF-STREET PARKING REQUIRED: 117 SPACES
 - PROPOSED:
 - EXISTING PARKING = 122 SPACES TOTAL OFF-STREET PARKING PROVIDED: 122 SPACES
- ON-STREET PARKING:
 - EXISTING ON-STREET PARKING SPACES ARE BEING PROPOSED ALONG 26TH STREET, DUE TO THE LACK OF AVAILABLE SPACE FOR OFF-STREET ACCESSIBLE PARKING AT THE PRIMARY ENTRANCE TO THE EAST. TO THE STEEP SLOPE TO THE NORTH AND TO THE EXCESSIVE DISTANCE AND DIFFICULT PATH OF TRAVEL THAT WOULD RESULT FROM THE ADJACENT OF ACCESSIBLE PARKING TO THE WESTERLY REAR ENTRANCE.
 - PROPOSED CAR ACCESSIBLE PARKING = 4 PARKING SPACES
 - PROPOSED VAN ACCESSIBLE PARKING = 1 PARKING SPACE
 - NET LOSS = 0
 - ISLAND VEHICLE:
 - EXISTING ON-STREET PARKING SPACES = 13 STANDARD SPACES
 - ON-STREET PARKING SPACES TO REMAIN = 10 STANDARD SPACES
 - NET LOSS = 3 STANDARD SPACES
- DRAFT PERMIT CONDITION -- THIS PROJECT SHALL COMPLY WITH ALL CURRENT STREET LIGHTING STANDARDS ACCORDING TO THE CITY OF SAN DIEGO STREET DESIGN MANUAL (DOCUMENT NO. 297376, FILED NOVEMBER 25, 2002) AND THE AMENDMENT TO COUNCIL POLICY 200-18 APPROVED BY CITY COUNCIL ON FEBRUARY 26, 2002 (RESOLUTION R-266141) SATISFACTORY TO THE CITY ENGINEER. THIS MAY REQUIRE (BUT NOT BE LIMITED TO) INSTALLATION OF NEW STREET LIGHT(S), UPGRADING LIGHT FROM LOW PRESSURE TO HIGH PRESSURE SODIUM VAPOR AND/OR UPGRADING WATTAGE.
- INNOVATIVE DESIGN APPROACH:

THE DESIGN IS INNOVATIVE, PRIMARILY IN ITS ADAPTIVE REUSE OF AN EXISTING STRUCTURE TO MAXIMIZE SQUARE FOOTAGE OF TEACHING SPACE WITHOUT ADDING BULK OR SCALE TO THE EXISTING BUILDING. THE BUILDING SCALE REMAINS IN HARMONY WITH THE ADJACENT ONE- AND TWO-STORY STRUCTURES, AS IT HAS BEEN IN PLACE SINCE THE 1960'S AND AS IT IS ADJACENT TO A SIX-STORY HOSPITAL BUILDING TO THE SOUTH. BY UTILIZING SPORTSFIELDS AT THE FEEDER ELEMENTARY SCHOOL TO FOUR BLOCKS EAST OF THE SITE TO MINIMIZE NOISE IMPACT ON THE ADJACENT SINGLE FAMILY HOMES, TO MAXIMIZE USE OF THE NEARBY EXISTING ELEMENTARY SPORTSFIELDS, AND TO PROVIDE THE MOST TEACHING SPACE POSSIBLE FOR THIS IMPORTANT NEIGHBORHOOD PROJECT, INNOVATION ALSO LIES IN THE PROGRAM USED BY THE SCHOOL OPERATOR, WHICH RESULTS IN HIGHER ED SCORES AND A SENSE OF EMPOWERMENT AMONG STUDENTS.
- A STATE FIRE MARSHAL-APPROVED AND LISTED FIRE ALARM SYSTEM CONFORMING TO THE 11.1.44 SHALL BE PROVIDED FOR ALL GROUP E OCCUPANCIES WITH AN OCCUPANT LOAD OF 50 OR MORE PERSONS CONTAINING MORE THAN ONE CLASSROOM IN BUILDINGS CONTAINING GROUP E OCCUPANCIES PROVIDED WITH AN AUTOMATIC EXTINGUISHING SYSTEM OR DETECTION SYSTEM. THE OPERATION OF SUCH SYSTEM SHALL AUTOMATICALLY ACTIVATE THE BUILDING ALARM SYSTEM. AN ALARM NOTIFICATION APPLIANCE SHALL BE MOUNTED ON THE EXTERIOR OF THE BUILDING.
- A. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. (CFC 1001.3)
- B. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH CFC 1007.
- C. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. AN APPROVED AUDIBLE SPRINKLER FLOW ALARM TO ALERT THE OCCUPANTS SHALL BE PROVIDED IN THE INTERIOR OF THE BUILDING IN A NORMALLY OCCUPIED LOCATION.(CBC 904.3.2, CBC STANDARD 9-1)
- UTILIZATION OF EXISTING SEWER LATERALS IS AT THE SOLE RISK AND RESPONSIBILITY OF THE DEVELOPER TO ENSURE THE LATERALS ARE FUNCTIONAL AND CONNECTED TO A PUBLIC SEWER FACILITY.
- MAXIMUM HARDSCAPE:

LDC SECTION 1519.0302(1) - A MAXIMUM OF 30 PERCENT OF THE REQUIRED FRONT AND STREET SIDE YARDS IS PERMITTED FOR INSTALLATION OF HARDSCAPE FEATURES WHICH SHALL INCLUDE DRIVEWAYS, WALKWAYS OR DECORATIVE PAVEMENT TREATMENTS:

 - FRONT YARD: 10'x155' = 1,550 SF
 - TOTAL FRONT YARD HARDSCAPE = 298 SF 298/1,550 = 19.23% FRONT YARD HARDSCAPE
 - STREET SIDE YARD: 8'x410' = 3,280 SF
 - TOTAL STREET SIDE YARD HARDSCAPE = 980 SF 980/3,280 = 29.9% STREET SIDE YARD HARDSCAPE

STUDIO E
ARCHITECTS

ARCHITECTURE



3986 Falcon Street
San Diego, CA 92103-2943
619 299 5453 x306
619 299 0907 fax
www.studioe.com
Ronald Jay ERM AIA, NCARB, Architect

OWNER:
CARR
446 26TH STREET
SAN DIEGO, CA 92102

ARCHITECT:
ERM ARCHITECTURE INC.
RANDAL JAY ERM AIA, CDS-PREIDENTICED
3603 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE #
(619) 299-5453 x306
(619) 299-0907 FAX

PROJECT ADDRESS:
446 & 458 26th STREET
SAN DIEGO, CA 92102

PROJECT NAME:
CHER / ALBERT EINSTEIN ACADEMY

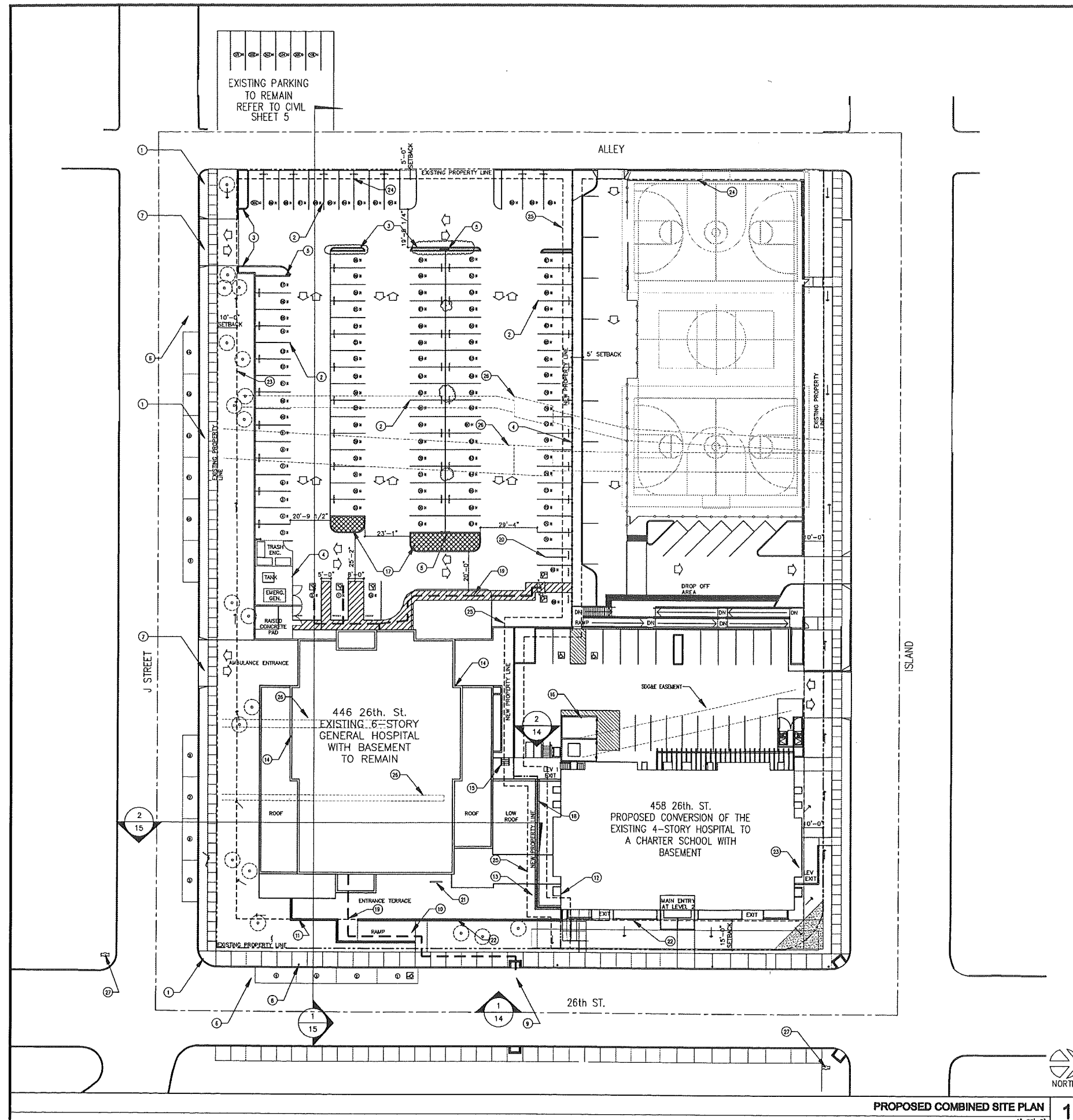
SHEET TITLE:
EXISTING SITE PLAN
CUP SUBMITTAL

REVISION 1
REVISION 2
REVISION 3
REVISION 4
REVISION 5

ORIGINAL DATE: 02/19/2013
SHEET 2 of 29

EXISTING COMBINED SITE PLAN 1

FOR REFERENCE ONLY



SITE PLAN NOTES:

1. EXISTING AND PROPOSED EASEMENTS ARE LOCATED AND NOTED ON THIS PROPERTY AND ON THE ADJACENT PROPERTY.
2. EXISTING DRAINAGE IS SHOWN. NO GRADING IS PROPOSED.
3. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FHPS POLICY P-00-6.
4. NO MECHANICAL EQUIPMENT, TANK, DUCT, ELEVATOR ENCLOSURE, COILING TOWER, OR MECHANICAL VENTILATOR SHALL BE INSTALLED, CONSTRUCTED, MAINTAINED, OR ALTERED ANYWHERE ON THE PREMISES UNLESS ALL SUCH EQUIPMENT AND APPURTENANCES ARE CONTAINED WITHIN A COMPLETELY ENCLOSED PENITHOUSE OR OTHER PORTION OF A BUILDING HAVING WALLS AND ROOF WITH CONSTRUCTION AND APPEARANCE SIMILAR TO THE MAIN BUILDING.
5. PALEONTOLOGY --- NO GRADING IS PROPOSED. THEREFORE NO PALEONTOLOGICAL REVIEW IS REQUIRED.
6. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALL BELLS ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE. (CFC 1001.4)
7. A STATE FIRE MARSHAL-APPROVED AND LISTED FIRE ALARM SYSTEM CONFORMING TO THE ILL 44 SHALL BE PROVIDED FOR ALL GROUP E OCCUPANCIES WITH AN OCCUPANT LOAD OF 50 OR MORE PERSONS CONTAINING MORE THAN ONE CLASSROOM. IN BUILDINGS CONTAINING GROUP E OCCUPANCIES PROVIDED WITH AN AUTOMATIC EXTINGUISHING SYSTEM OR DETECTION SYSTEM, THE OPERATION OF SUCH SYSTEM SHALL AUTOMATICALLY ACTIVATE THE BUILDING ALARM SYSTEM. AN ALARM NOTIFICATION APPLIANCE SHALL BE MOUNTED ON THE EXTERIOR OF THE BUILDING.
8. A. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE ALARM SYSTEMS SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. (CFC 1001.3)
 B. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH CFC 1007.
 C. AN APPROVED ADDRESS SPRINKLER FLOW ALARM SHALL BE PROVIDED ON THE EXTERIOR OF THE BUILDING IN AN APPROVED LOCATION. AN APPROVED ADDRESS SPRINKLER FLOW ALARM TO ALERT THE OCCUPANTS SHALL BE PROVIDED IN THE INTERIOR OF THE BUILDING IN A NORMALLY OCCUPIED LOCATION. (CBC 904.3.2, CBC STANDARD 9-1)
9. UTILIZATION OF EXISTING SEWER LATERALS IS AT THE SOLE RISK AND RESPONSIBILITY OF THE DEVELOPER TO ENSURE THE LATERALS ARE FUNCTIONAL AND CONNECTED TO A PUBLIC SEWER FACILITY.

KEYNOTES: (APPLY TO THIS SHEET ONLY)

- 1 EXISTING CONCRETE SIDEWALK TO REMAIN
 - 2 EXISTING PAINTED PARKING STRIPE W/WHEEL STOP
 - 3 EXISTING CONC. CURB & LANDSCAPE PLANTING
 - 4 EXISTING CHAIN LINK FENCING TO REMAIN
 - 5 EXISTING POLE MOUNTED LIGHT STANDARD
 - 6 EXISTING ON-STREET PARKING
 - 7 EXISTING CONC. CURB CUT TO REMAIN
 - 8 EXISTING UTILITY POWER POLE TO REMAIN
 - 9 EXISTING ON-STREET ACCESSIBLE PARKING SPACES
 - 10 EXISTING ACCESSIBLE RAMP TO BLDG.
 - 11 EDGE OF EXISTING RAISED CONC. PATIO/ROOF DECK
 - 12 LINE OF EXISTING ADJACENT 4 STORY BLDG.
 - 13 LINE OF PROPOSED 3-H R FIRE RESISTIVE FIRE WALL
 - 14 EDGE OF EXISTING ROOF ABOVE
 - 15 EXISTING CONC. STAIR AND GUARD TO REMAIN
 - 16 EXISTING C.M.U. UTILITY ENCLOSURE TO REMAIN
 - 17 PROPOSED NEW CONC. CURB & AND TREE
 - 18 NEW PROPERTY LINE BETWEEN BUILDINGS
 - 19 ACCESSIBLE PATH OF TRAVEL
 - 20 MOTORCYCLE PARKING
 - 21 BICYCLE PARKING
 - 22 15' FRONT YARD SETBACK
 - 23 10' STREET SIDE YARD SETBACK
 - 24 5' REAR ALLEY YARD SETBACK
 - 25 5' INTERIOR SIDE YARD SETBACK
 - 26 SEWER EASEMENT PER SURVEY SHEET # 5
 - 27 EXISTING FIRE HYDRANTS LOCATED ACROSS THE STREET
 - 28 DEMO ASPHALT AREA TO ALLOW FOR NEW CONC. PLANTER
- KEYNOTE NUMBER (17)
- NOTE:
 (2) STAND PIPES ARE LOCATED ON EACH FLOOR OF THE BUILDING.
 PUBLIC TRANSIT EXISTS OUTSIDE OF THE PROJECT BOUNDARIES. THERE IS NO TRANSIT STOP ON THE PROPERTY.
 REFER TO SHEET 4 & 5 FOR DETAILED SURVEY INFORMATION.
 REFER TO SHEET 18 FOR SCHOOL TENANT IMPROVEMENTS.
 NEW TREES: SEE LANDSCAPE PLAN FOR ADDITIONAL TREES

STUDIO E
ARCHITECTS

ARCHITECTURE



3956 Falcon Street
San Diego, CA 92103-2943
619 299 5433 FAX
www.studioe.com
Ronald Jay Elm AIA, NCARB, Architect

OWNER:
CNSR
448 26TH STREET
SAN DIEGO, CA 92102

ARCHITECT:
EIM ARCHITECTURE INC.
RANDAL JAY EIM AIA, COO-PRESIDENT/CEO
3088 FALCON STREET
SAN DIEGO, CA 92108-2943

PHONE #
(619) 299-5433 X208
(619) 299-0657 FAX

PROJECT ADDRESS:
448 & 458 26th STREET
SAN DIEGO, CA 92102

PROJECT NAME:
CNSR / ALBERT EINSTEIN ACADEMY

SHEET TITLE:
HOSPITAL PROPOSE SITE PLAN
CUP SUBMITTAL

REVISION 5
REVISION 4
REVISION 3
REVISION 2
REVISION 1

ORIGINAL DATE: 02/19/2013
SHEET 3 of 29

PROPOSED COMBINED SITE PLAN

1"=20'-0"



1

FOR REFERENCE ONLY

LEGAL DESCRIPTION

PARCEL 1
PARCEL 1 OF PARCEL MAP NO. 701, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JANUARY 3, 1972.
PARCEL 2
LOTS 29 AND 30 IN BLOCK 21 OF L.W. KIMBALL SUBDIVISION OF THE NORTHWEST QUARTER OF PUEBLO LOT 1154, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 56, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON MARCH 31, 1873.
ALSO ALL THAT PORTION OF THE NORTH 10.00 FEET OF "J" STREET LYING SOUTH OF AND ADJOINING SAID LOT 30, AS VACATED AND CLOSED TO PUBLIC USE ON NOVEMBER 22, 1926 BY RESOLUTION NO. 39740 OF THE COMMON COUNCIL OF THE CITY OF SAN DIEGO.
EXCEPTING THEREFROM THE WEST 90.00 FEET (92.00 FEET PER GRANT DEED) THEREOF.

SURVEYOR'S NOTE

THIS SURVEY HAS DISCOVERED AN ERROR IN THE CHAIN OF TITLE FOR PARCEL 2, AS SHOWN HEREON. THE EXCEPTING CALL SHOULD BE THE WEST 90.00 FEET. THE 92.00-FOOT DIMENSION CONTAINED WITHIN THE VESTING DEED CONFLICTS WITH THE ORIGINAL GRANT DEED WHICH CREATED THE SAID CHAIN OF TITLE SEARCH PERFORMED BY FIRST AMERICAN TITLE COMPANY REVEALED A TYPOGRAPHICAL ERROR, CIRCA 1955, WHICH CHANGED THE FIRST DESCRIPTION FROM EXCEPTING THE WEST 90.00 FEET TO THE INCORRECT DISTANCE OF 92.00 FEET.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS MAP IS THE NORTHERLY LINE OF PARCEL 1 OF PARCEL MAP NO. 701.

I.E. N 89°49'53" W.

BASIS OF ELEVATIONS

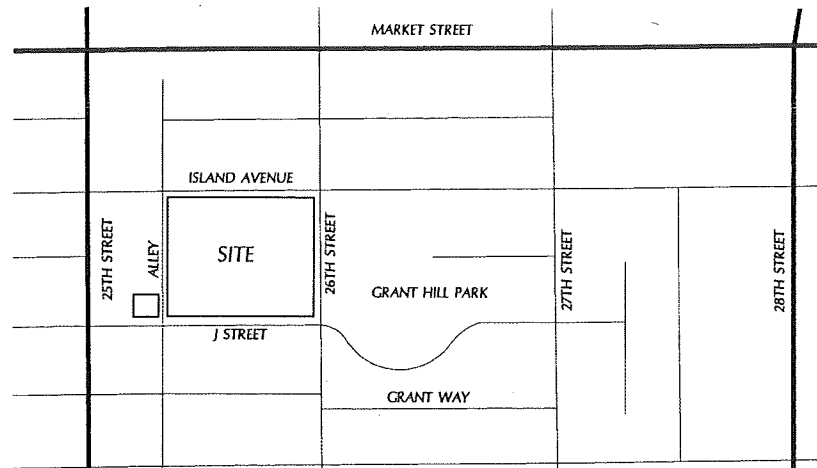
THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE BRASS PLUG LOCATED IN THE TOP OF CURB AT THE SOUTHEAST CORNER OF 26TH STREET AND MARKET STREET, AS PUBLISHED IN THE CITY OF SAN DIEGO VERTICAL CONTROL BOOK.

TITLE NOTES

- SUBJECT PROPERTY APNs: 535-481-30, 31, 32, 33, 34, 35, 37, 38, 39 AND 7.
THE FOLLOWING TITLE NOTES CORRESPOND TO THE SCHEDULE "B" ITEMS LISTED IN THE TITLE REPORT PROVIDED TO THE UNDERSIGNED SURVEYOR BY FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NO. MCS-543568-50, DATED MAY 10, 2012.
1 AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER LINES AND INCIDENTAL PURPOSES, RECORDED JANUARY 20, 1909 AS BOOK 453, PAGE 126 OF DEEDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION AND THEREFORE IS NOT PLOTTED HEREON.
4 AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER LINES AND INCIDENTAL PURPOSES, RECORDED JANUARY 20, 1909 AS BOOK 453, PAGE 127 OF DEEDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION AND THEREFORE IS NOT PLOTTED HEREON.
5 AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER LINES AND INCIDENTAL PURPOSES, RECORDED JANUARY 21, 1909 AS BOOK 456, PAGE 184 OF DEEDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION AND THEREFORE IS NOT PLOTTED HEREON.
6 AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR DRAINAGE AND INCIDENTAL PURPOSES, RECORDED OCTOBER 27, 1926 IN BOOK 1288 OF DEEDS, PAGE 101. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION AND THEREFORE IS NOT PLOTTED HEREON.
7 AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR DRAINAGE AND INCIDENTAL PURPOSES, RECORDED OCTOBER 27, 1926 IN BOOK 1288 OF DEEDS, PAGE 108. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
SAID EASEMENT IS PLOTTED HEREON.
8 AN EASEMENT IN FAVOR OF HENRY AUBRY AND EVA AUBRY, HUSBAND AND WIFE AS JOINT TENANTS FOR SEWER LINE AND INCIDENTAL PURPOSES, RECORDED JUNE 10, 1949 AS BOOK 3074, PAGE 243 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
THE LOCATION OF SAID EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION AND THEREFORE IS NOT PLOTTED HEREON.
9 A PRIVATE DRIVEWAY EASEMENT RECORDED JUNE 20, 1949 AS BOOK 3233, PAGE 120 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
SAID EASEMENT IS PLOTTED HEREON.
10 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED NOVEMBER 4, 1970 AS INSTRUMENT NO. 201892 AND DECEMBER 16, 1971 AS INSTRUMENT NO. 292822, BOTH OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
11 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "CONSTRUCTION AND OPERATION GENERAL HOSPITAL AND CONVALESCENT HOSPITAL" RECORDED DECEMBER 16, 1971 AS INSTRUMENT NO. 292822 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
12 AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER FACILITIES AND INCIDENTAL PURPOSES, RECORDED DECEMBER 28, 1971 AS INSTRUMENT NO. 302778 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
SAID EASEMENT IS PLOTTED HEREON.
13 AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR DRAINAGE FACILITIES AND INCIDENTAL PURPOSES, RECORDED DECEMBER 28, 1971 AS INSTRUMENT NO. 302778 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
SAID EASEMENT IS PLOTTED HEREON.
14 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "ENCROACHMENT REMOVAL AGREEMENT" RECORDED AUGUST 15, 1973 AS INSTRUMENT NO. 73-227291 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
15 AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER AND INCIDENTAL PURPOSES RECORDED MAY 18, 1977 AS INSTRUMENT NO. 77-191270 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
SAID EASEMENT IS PLOTTED HEREON.
16 AN EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED FEBRUARY 7, 1979 AS INSTRUMENT NO. 79-058184 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
SAID EASEMENT IS PLOTTED HEREON.
17 COVENANTS, CONDITIONS, RESTRICTIONS AND EASEMENTS IN THE DOCUMENT RECORDED AUGUST 1, 1989 AS INSTRUMENT NO. 89-405311 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
18 AN UNRECORDED LEASE DATED JULY 1, 1996, EXECUTED BY PHYSICIANS AND SURGEONS HOSPITAL AS LESSOR AND SAN DIEGO GAS AND ELECTRIC COMPANY, AS LESSEE, AS DISCLOSED BY A MEMORANDUM OF LEASE RECORDED SEPTEMBER 14, 1999 AS INSTRUMENT NO. 1990-90-503718 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
19 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "RESOLUTION NO. R-298915" RECORDED MARCH 18, 2004 AS INSTRUMENT NO. 2004-0222286 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
20 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "NEIGHBORHOOD USE PERMIT 728255" RECORDED JULY 21, 2010 AS INSTRUMENT NO. 2010-365618 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.

VICINITY MAP

NOT TO SCALE



LEGEND

Table with columns for UTILITIES and IMPROVEMENTS. Includes symbols for Light Standard, Street Light, Power Pole, Electric Conduit, Electric Pullbox, Electric Riser, Electric Meter, Electric Transformer, Electric Vault, Overhead Electric Telephone and Cable Line, Electric Line, Air Condition Unit, Cable Television Line, Communications Box, Communications Cabinet, Communications Riser, Telephone Lid, Telephone Manhole, Telephone Riser, Telephone Vault, Telephone Line, Gas Meter, Gas Valve, Gas Line, Storm Drain Drop Inlet, Storm Drain Line, Storm Drain Weephole, Water Riser, Water Manhole, Water Meter, Water Valve, Water Vault, Fire Hydrant, Fire Department Connection, Irrigation Control Box, Irrigation Control Valve, Back Flow Preventer, Fire Service Line, Water Line, Sewer Manhole, Sewer Clean Out, Sewer Line.

UTILITY NOTE

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON VISIBLE ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. THE DEPICTED LOCATIONS, SIZES AND TYPES OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE RECORD DRAWINGS AND/OR ACTUAL AS-BUILT LOCATIONS. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

BURKETT & WONG ENGINEERS AND THE UNDERSIGNED LAND SURVEYOR MAKE NO CLAIM AS TO THE ACCURACY OF UNDERGROUND UTILITIES SHOWN HEREON. THE USER OF THIS SURVEY IS RECOMMENDED TO CONDUCT INDEPENDENT PHYSICAL INSPECTION OF EACH UNDERGROUND UTILITY PRIOR TO EXCAVATION OR CONSTRUCTION.

PRIVATE UTILITY SERVICES SHOWN HEREON ARE THE RESULT OF UNDERGROUND UTILITY MARKOUTS AND PACIFIC COAST MEDICAL ENTERPRISES PLUMBING, MECHANICAL AND CIVIL PLANS PROVIDED TO THE UNDERSIGNED SURVEYOR BY THE OWNER. WATER LATERALS CONSIDERED ABANDONED OR NO LONGER IN USE MAY HAVE NOT BEEN SHOWN HEREON.

PUBLIC RECORD UTILITY INFORMATION SHOWN HEREON WAS TAKEN FROM THE FOLLOWING:

- 1 SAN DIEGO GAS AND ELECTRIC GAS ASSET MAP, DATED 9-21-2012.
2 SAN DIEGO GAS AND ELECTRIC STANDARD ELECTRIC FACILITY MAP, DATED 9-24-2012.
3 CITY OF SAN DIEGO AS-BUILT PLAN ENTITLED "WATER & SEWER GROUP 481", DRAWING NO. 25101-6-D, DATED 12-4-1992.
4 CITY OF SAN DIEGO DRAWING NO. 1691-1-L, DATED APRIL 1, 1927.
5 CITY OF SAN DIEGO AS-BUILT PLAN ENTITLED "WATER & SEWER GROUP 481", DRAWING NO. 25101-16-D, DATED 12-4-1992.
6 CITY OF SAN DIEGO AS-BUILT PLAN, DRAWING NO. 14717-2-D, DATED 12-28-1971.

SURVEYOR'S STATEMENT

THIS BOUNDARY AND TOPOGRAPHIC SURVEY WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON AN AERIAL AND GROUND FIELD SURVEY COMPLETED SEPTEMBER 24, 2012 AND REPRESENTS THE SITE FEATURES FOUND AT SAID TIME OF SURVEY.

CASEY R. LYNCH, P.L.S.
LICENSE NO. L.S. 6360

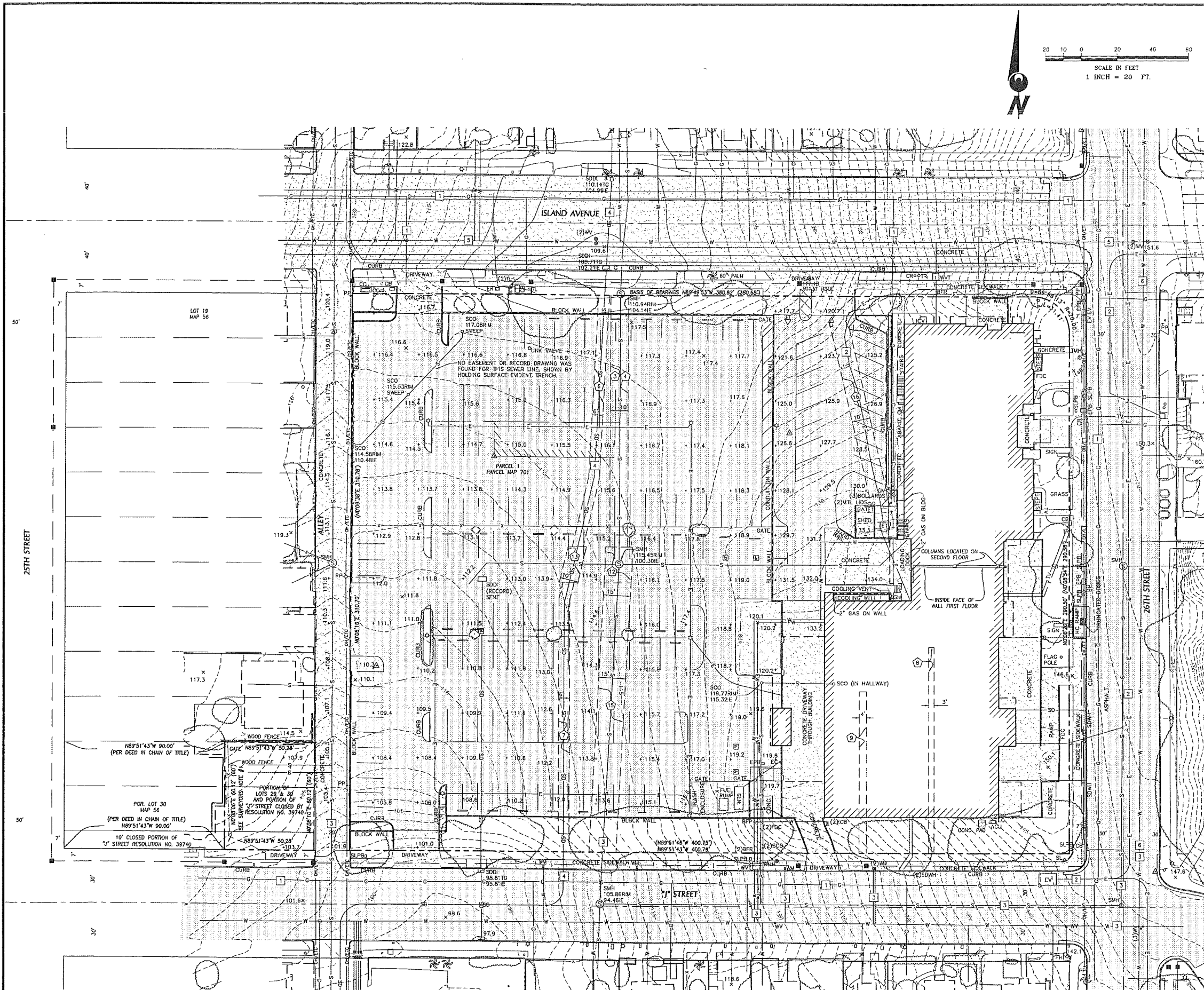
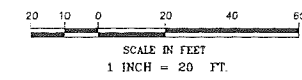
9/25/2012
DATE



STUDIO E ARCHITECTS

EHNI ARCHITECTURE
3568 Falcon Street
San Diego, CA 92103-2943
619 299 5453 FAX
619 299 0957 TEL
www.ehniarch.com
Randall Jay Einhorn, M.A., HONARD, Architect

Table with columns for CLIENT, ARCHITECT, PROJECT ADDRESS, PROJECT NAME, SHEET TITLE, and REVISIONS. Includes client name CHRI/ALBERT EINSTEIN ACADEMY and project address 446 & 458 26th Street, San Diego, CA 92102.



STUDIO E
ARCHITECTS

ENM ARCHITECTURE
3505 Falcon Street
San Diego, CA 92103-2943
619 299 5453 x306
619 299 0207 fax
www.studioe.com
Ronald Joy Criv AIA, NCARB, Architect

OWNER:
CJRH
448 26TH STREET
SAN DIEGO, CA 92101

ARCHITECT:
ENM ARCHITECTURE, INC.
RONALD JOY CRIV AIA, CCS-PROF/SD/CA
3466 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE:
619 299 5453 x306
619 299 0207 FAX

PROJECT ADDRESS:
448 & 458 26TH STREET
SAN DIEGO, CA 92101

PROJECT NAME:
CJRH / ALBERT EINSTEIN ACADEMY

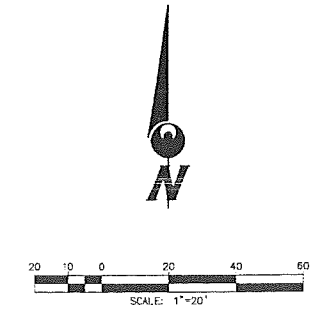
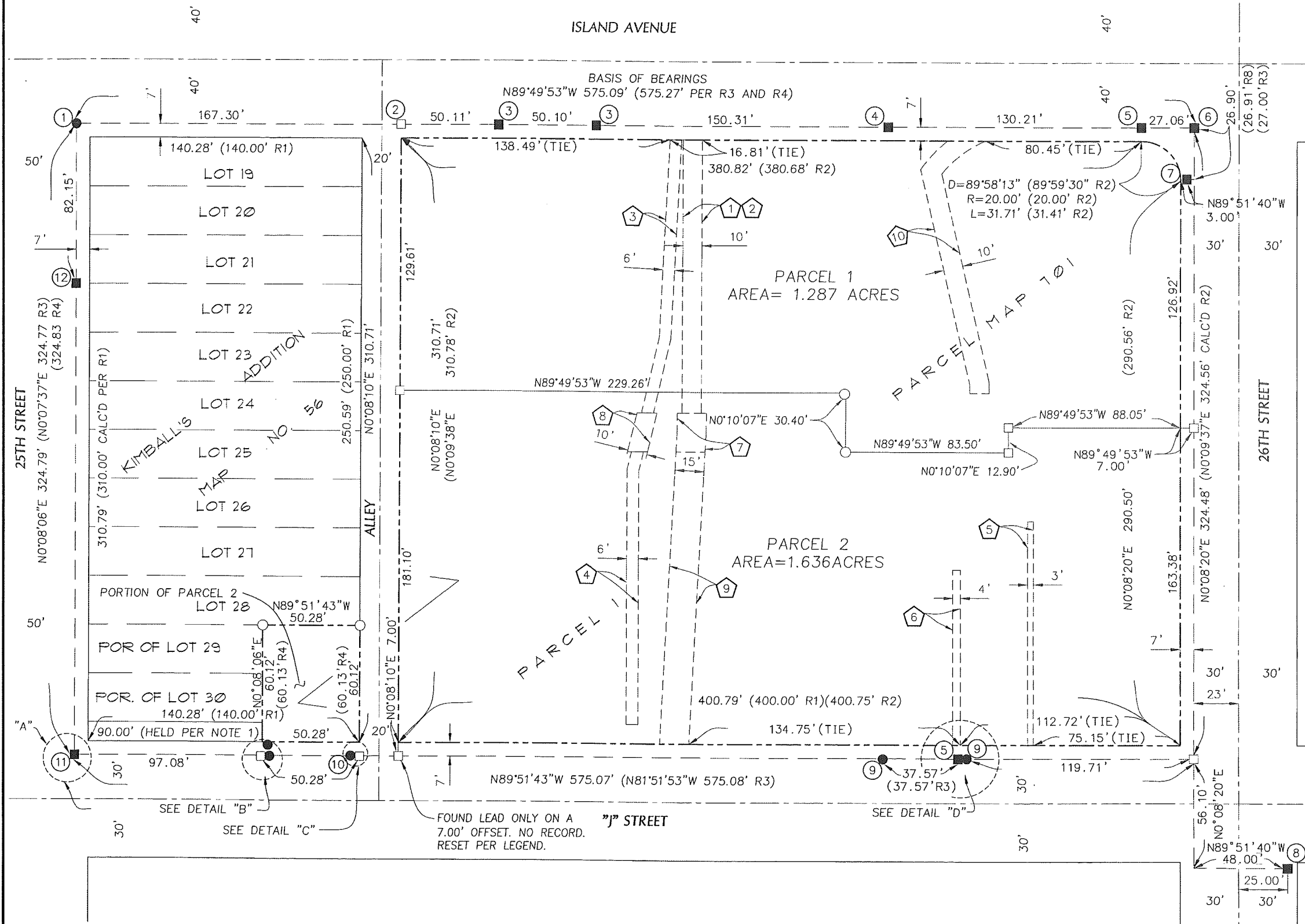
SHEET TITLE:
STRUCTURAL & CIVIL ENGINEERS & SURVEYORS

REVISION A
REVISION B
REVISION C
REVISION D

DATE: 05/20/12
SHEET 5 OF 20

ATTACHMENT 9

PROPOSED LOT LINE ADJUSTMENT MAP



- EASEMENT LEGEND**
- ① AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER LINES AND INCIDENTAL PURPOSES, RECORDED JANUARY 20, 1908 AS BOOK 453, PAGE 126 OF DEEDS.
 - ② AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER LINES AND INCIDENTAL PURPOSES, RECORDED JANUARY 20, 1909 AS BOOK 453, PAGE 127 OF DEEDS.
 - ③ AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR DRAINAGE AND INCIDENTAL PURPOSES, RECORDED OCTOBER 27, 1926 IN BOOK 1288 OF DEEDS, PAGE 101.
 - ④ AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR DRAINAGE AND INCIDENTAL PURPOSES, RECORDED OCTOBER 27, 1926 IN BOOK 1288 OF DEEDS, PAGE 108.
 - ⑤ AN EASEMENT IN FAVOR OF HENRY ALBRY AND EVA ALBRY, HUSBAND AND WIFE AS JOINT TENANTS FOR SEWER LINE AND INCIDENTAL PURPOSES, RECORDED JUNE 10, 1949 AS BOOK 3074, PAGE 243 OF OFFICIAL RECORDS.
 - ⑥ A PRIVATE DRIVEWAY EASEMENT RECORDED JUNE 20, 1949 AS BOOK 3233, PAGE 120 OF OFFICIAL RECORDS.
 - ⑦ AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER FACILITIES AND INCIDENTAL PURPOSES, RECORDED DECEMBER 26, 1971 AS INSTRUMENT NO. 322776 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
 - ⑧ AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR DRAINAGE FACILITIES AND INCIDENTAL PURPOSES, RECORDED DECEMBER 26, 1971 AS INSTRUMENT NO. 322776 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
 - ⑨ AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER AND INCIDENTAL PURPOSES RECORDED MAY 18, 1977 AS INSTRUMENT NO. 77-181270 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
 - ⑩ AN EASEMENT IN FAVOR OF SAN DIEGO GAS AND ELECTRIC COMPANY RECORDED FEBRUARY 7, 1979 AS INSTRUMENT NO. 79-058104 OF OFFICIAL RECORDS. REFERENCE IS MADE TO THE SUBJECT DOCUMENT FOR FULL PARTICULARS.
- NON-PLOTTABLE EASEMENT**
THE LOCATION OF THE FOLLOWING EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION AND THEREFORE IS NOT PLOTTED HEREON.
- AN EASEMENT IN FAVOR OF THE CITY OF SAN DIEGO FOR SEWER LINES AND INCIDENTAL PURPOSES, RECORDED JANUARY 21, 1908 AS BOOK 456, PAGE 184 OF DEEDS.

STUDIO E
ARCHITECTS

ENM ARCHITECTURE
3666 Falcon Street
San Diego, CA 92103-2943
619 299 5453 4306
619 299 0957 fax
www.studioe.com
Revised by Enm AIA, NCARB, Architect

OWNER

City of San Diego
445 26TH STREET
SAN DIEGO, CA 92102

ARCHITECT

ENM ARCHITECTURE, INC.
SANDAL JAY ENM AIA, CCS-PRESIDENT/CEO
3666 FALCON STREET
SAN DIEGO, CA 92103-2943

PROJECT ADDRESS

445 & 456 26th STREET
SAN DIEGO, CA 92102

PROJECT NAME

CSIPI / ALBERT EINSTEIN ACADEMY

DATE

05/20/2012

REVISIONS

REVISION A	_____
REVISION B	_____
REVISION C	_____
REVISION D	_____

SHEET TITLE

GENERAL PLAN 05/20/2012

COST 0 of 29

STUDIO E ARCHITECTS

2258 First Avenue

San Diego California 92101

mai@studioe.com

T 619 235 9267 F 619 235 0522

BURKETT+WONG ENGINEERS & SURVEYORS

3154 Fourth Ave. San Diego CA 92103-5104 (619) 299-5550

Albert Einstein Academy Charter Middle School

458 26th Street, San Diego CA 92102

Project 12111 PTS 296407

- 09/20/12 COMPLETE NEI CHECK
10/01/12 MR SUBMITTAL
10/26/12 CLIP SUBMITTAL
11/12/12 CLIP SUBMITTAL
07/19/13 CLIP SUBMITTAL
03/19/13 CLIP RESUBMITTAL

WET UTILITY PLAN

EXISTING ITEMS LEGEND

Table with columns for UTILITIES and EXISTING UTILITY NOTES. Includes symbols for water service, fire service, backflow preventer, and various pipe types.

EXISTING UTILITY NOTES:

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREIN ARE BASED ON VISIBLE ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR... BURKETT & WONG ENGINEERS AND THE UNDERSIGNED LAND SURVEYOR MAKE NO CLAIM AS TO THE ACCURACY OF UNDERGROUND UTILITIES SHOWN HEREIN...

NEW UTILITY LEGEND

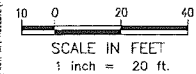
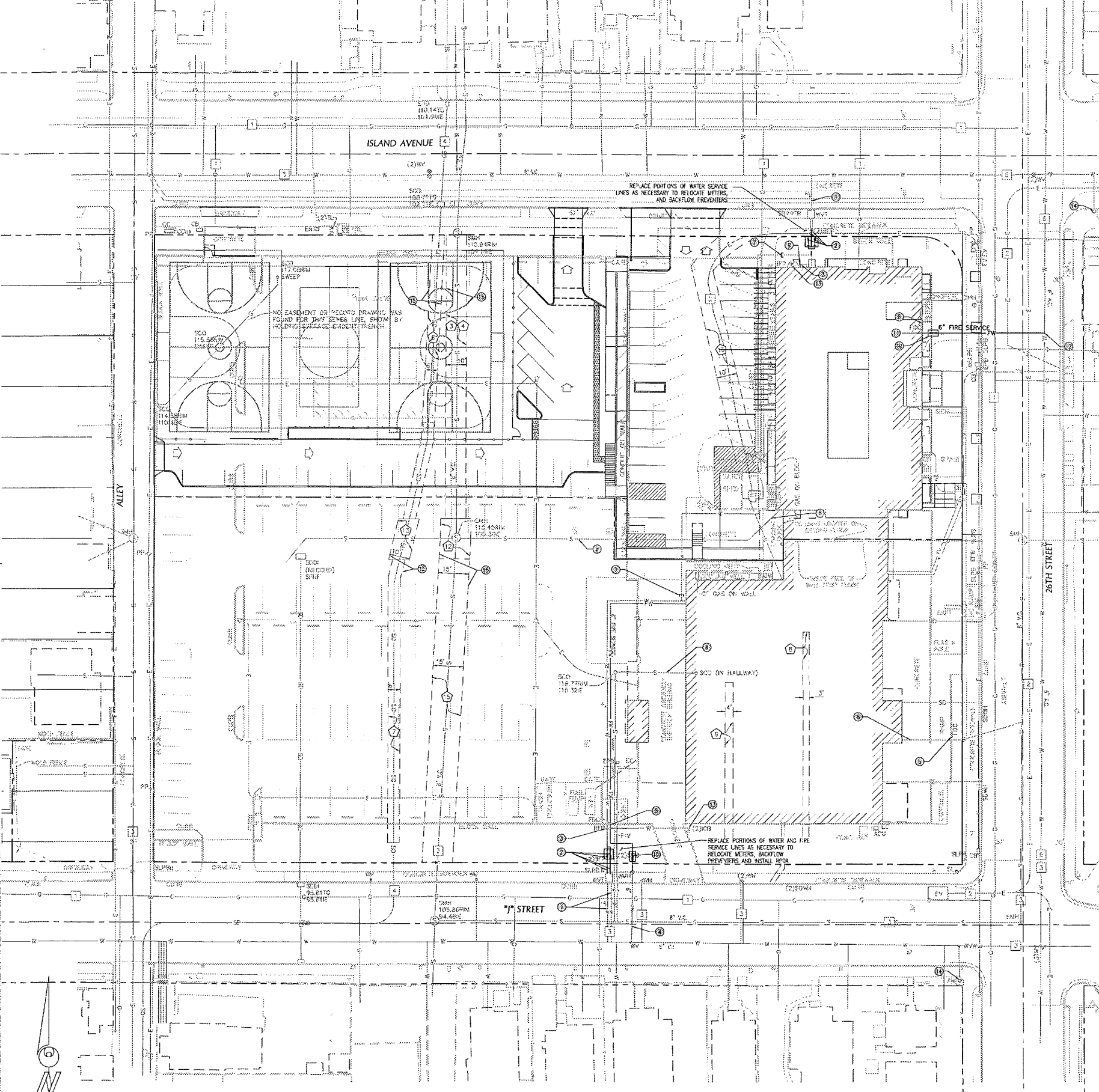
Table with columns for PROPERTY LINE, WATER SERVICE, FIRE SERVICE, BACKFLOW PREVENTER, RPA, and CAP EXISTING UTILITY.

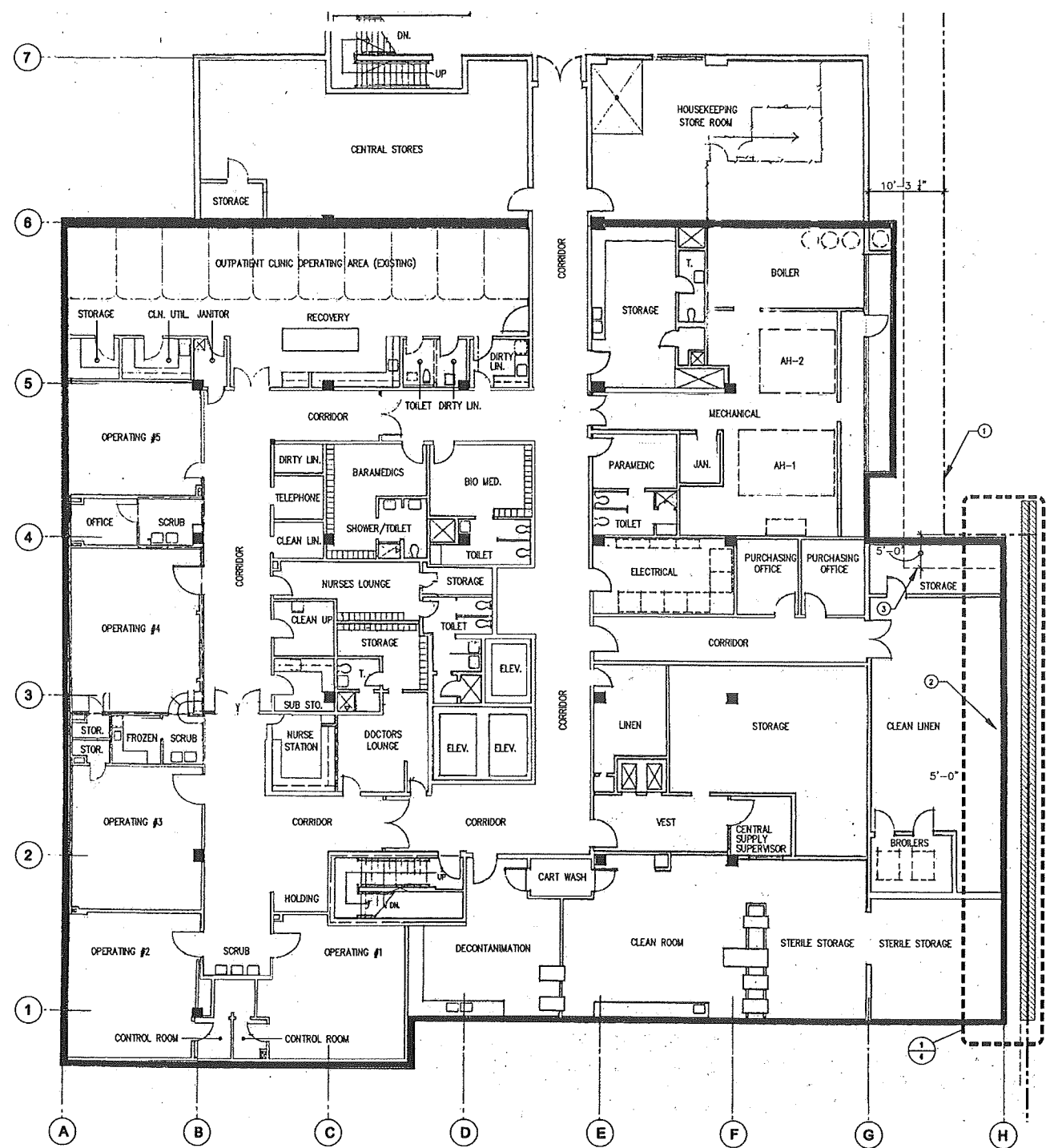
UTILITY KEYNOTES

- 1. EXISTING 2" WATER SERVICE TO REMAIN
2. EXISTING PRIVATE BACKFLOW PREVENTER TO BE REMOVED AND RELOCATED BEHIND ROW
3. EXISTING IRRIGATION BACKFLOW PREVENTER TO REMAIN
4. EXISTING 6" FIRE SERVICE TO REMAIN
5. EXISTING FIRE DEPARTMENT CONNECTION TO REMAIN
6. WATER 1"PS CROSSING PER DETAIL E/CS02. SEE CROSSING SECTION THIS SHEET.
7. CAP EXISTING 4" WATER SERVICE
8. EXISTING SEWER SERVICE TO REMAIN
9. COMBINATION BACKFLOW/IRRIGATION CONTROL VALVE WATER LINE FROM BLDG
10. NEW 6" FIRE SERVICE RPA
11. CONNECT NEW FIRE SERVICE TO EXISTING STANDPIPE IN STAIRWELL
12. NEW CONNECTION TO EXISTING WATER MAIN
13. EXISTING IRRIGATION CONTROLS TO REMAIN OR BE REPLACED AT THE DISCRETION OF THE LANDSCAPE ARCHITECT
14. EXISTING FIRE HYDRANT
15. EXISTING EASEMENT. SEE SURVEY PLAN FOR EASEMENT INFORMATION

UTILITY NOTES:

THE OWNER/PERMITTEE SHALL PROCESS ENCROACHMENT MAINTENANCE AND REMOVAL AGREEMENTS, FOR ALL ACCEPTABLE ENCROACHMENTS INTO THE SEWER EASEMENT, INCLUDING BUT NOT LIMITED TO STRUCTURES, ENHANCED PARKING OR LANDSCAPING, NO STRUCTURES OR LANDSCAPING SHALL BE INSTALLED IN OR OVER THE SEWER EASEMENT THAT WOULD INHIBIT VEHICULAR ACCESS TO REPLACE A SECTION OF MAIN OR PROVIDE ACCESS TO ANY APPURTENANCE OR ISOLATED SECTION OF MAIN... EXISTING BACKFLOW PREVENTERS WERE INSTALLED & INSPECTED IN THE ROW, RECENT TESTING OF THE BACKFLOWS INDICATE THAT THEY ARE OPERATING ADEQUATELY...





KEYNOTES: (APPLY TO THIS SHEET ONLY)

- ① PROPOSED PROPERTY LINE
- ② 3 HR. WALL
- ③ 5' INTERIOR SIDE YARD SETBACK

WALL LEGEND: (APPLY TO THIS SHEET ONLY)

- EXISTING INTERIOR WALL TO REMAIN
- EXISTING EXTERIOR WALL TO REMAIN
- NEW 3HR CMU WALL

STUDIO E
ARCHITECTS

ARCHITECTURE



3966 Falcon Street
San Diego, CA 92103-2943
619 299 5453 X308
619 299 0957 Fax
www.studioe.com
Registered Architect

OWNER:
CHRS
448 28TH STREET
SAN DIEGO, CA 92102

ARCHITECT:
EHA ARCHITECTURE INC.
RANDAL JAY EHA, AIA, CDS, PRESIDENT/CEO
3000 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE #
(619) 299-5453 X308
(619) 299-0957 FAX

PROJECT ADDRESS:
448 & 458 28th STREET
SAN DIEGO, CA 92102

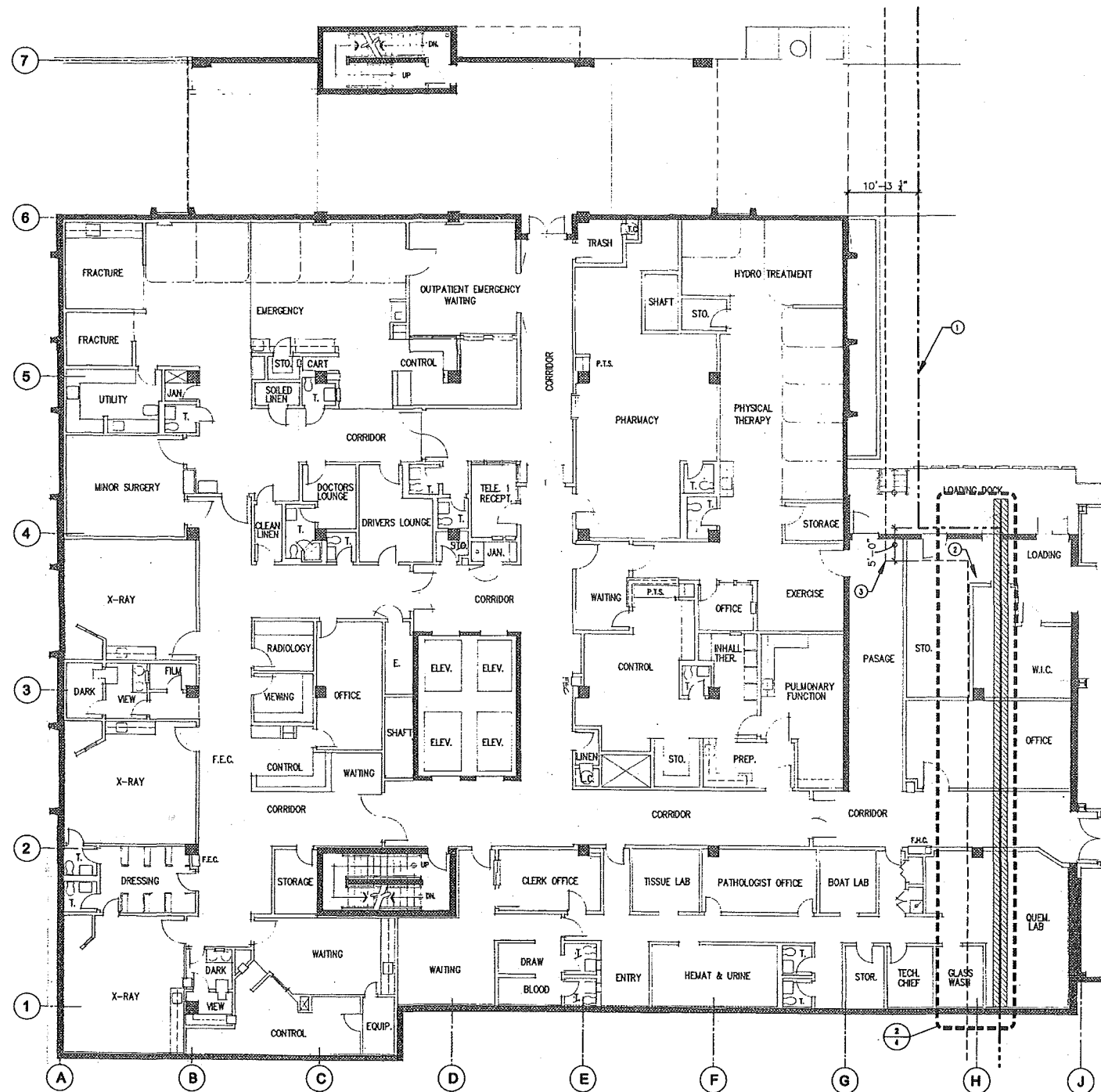
PROJECT NAME:
CHRS / ALBERT EINSTEIN ACADEMY

SHEET TITLE:
HOSPITAL FIRST LEVEL FLOOR PLAN
CME SUBMITTAL

REVISION 5
REVISION 4
REVISION 3
REVISION 2
REVISION 1

ORIGINAL DATE: 02/18/2013
SHEET 8 of 29





ADJACENT SCHOOL BUILDING LEVEL 1

KEYNOTES: (APPLY TO THIS SHEET ONLY)

- ① PROPOSED PROPERTY LINE
- ② 3 HR. WALL
- ③ 5' INTERIOR SIDE YARD SETBACK

WALL LEGEND: (APPLY TO THIS SHEET ONLY)

- EXISTING INTERIOR WALL TO REMAIN
- EXISTING EXTERIOR WALL TO REMAIN
- NEW 3HR CMU WALL

STUDIO E
ARCHITECTS



ARCHITECTURE
3955 Felton Street
San Diego, CA 92103-2943
619 299 8433 x300
619 299 0957 fax
www.studioe.com
Ronald Jay ERM AIA, NCARB, Architect

OWNER:
CNSD
448 28TH STREET
SAN DIEGO, CA 92102

ARCHITECT:
ERM ARCHITECTURE INC.
RONALD JAY ERM AIA, CDS-PRESIDENT/CEO
3650 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE #
(619) 299-8433 x300
(619) 299-0957 FAX

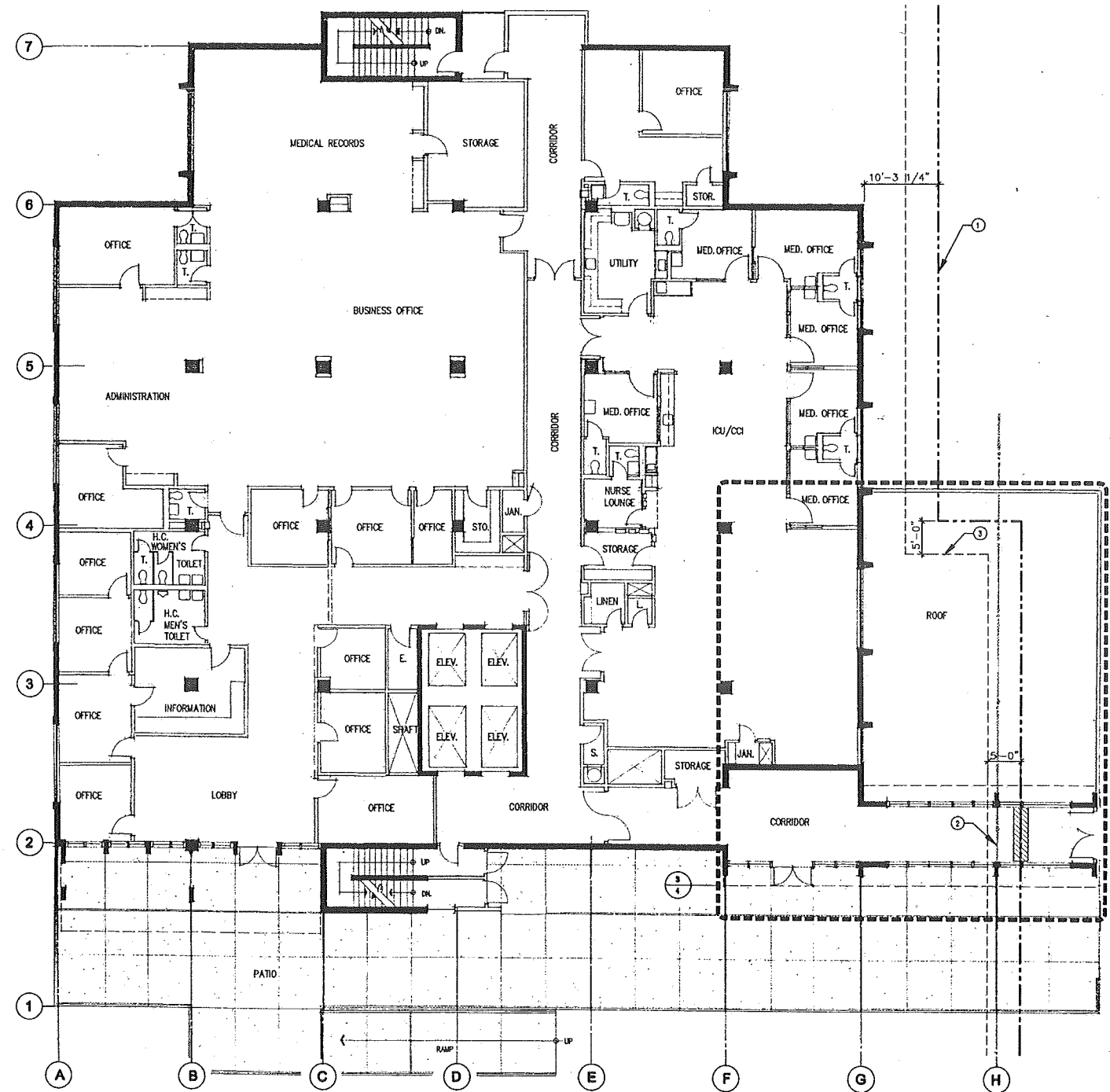
PROJECT ADDRESS:
448 & 459 28th STREET
SAN DIEGO, CA 92102

PROJECT NAME:
CHER / ALBERT EINSTEIN ACADEMY

REVISION 2: _____
REVISION 3: _____
REVISION 4: _____
REVISION 5: _____
REVISION 1: _____

SHEET TITLE:
HOSPITAL SECOND LEVEL FLOOR PLAN
CUP SUBMITAL

ORIGINAL DATE: 02/19/2013
SHEET 9 of 29



ADJACENT SCHOOL BUILDING LEVEL 2

KEYNOTES: (APPLY TO THIS SHEET ONLY)

- ① PROPOSED PROPERTY LINE
- ② 3 HR WALL
- ③ 5' INTERIOR SIDE YARD SETBACK

WALL LEGEND: (APPLY TO THIS SHEET ONLY)

- EXISTING INTERIOR WALL TO REMAIN
- EXISTING EXTERIOR WALL TO REMAIN
- NEW 3HR CMU WALL

STUDIO E
ARCHITECTS

ARCHITECTURE



3956 Falcon Street
San Diego, CA 92103-2943
619 299 5453 3008
619 299 0927 fax
www.studioe.com
Randal Jay EBM AIA, NCARB, Architect

OWNER:
CHRIS
446 28TH STREET
SAN DIEGO, CA 92102

ARCHITECT:
EBAJ ARCHITECTURE INC.
RANDAL JAY EBM AIA, COO-PRESIDENT/CEO
3000 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE #
(619) 299-5453 3008
(619) 299-0927 FAX

PROJECT ADDRESS:
446 & 428 28th STREET
SAN DIEGO, CA 92102

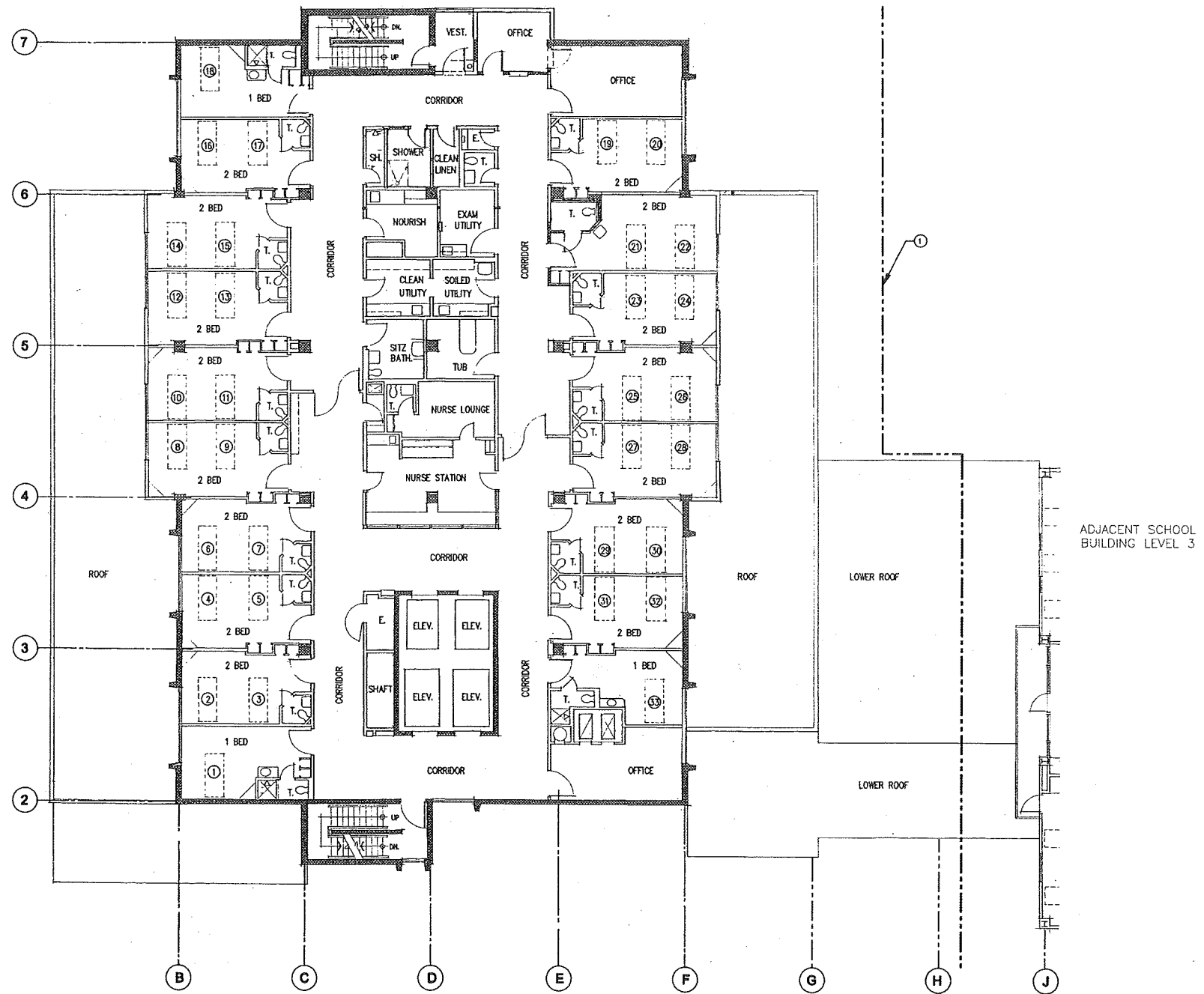
PROJECT NAME:
CHRIS / ALBERT EINSTEIN ACADEMY

SHEET TITLE:
HOSPITAL THIRD LEVEL FLOOR PLAN
CUP SUBMITTAL

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REVISION 3
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REVISION 1

ORIGINAL DATE: 02/18/2013
SHEET 10 of 29





KEYNOTES: (APPLY TO THIS SHEET ONLY)

① PROPOSED PROPERTY LINE

WALL LEGEND: (APPLY TO THIS SHEET ONLY)

- EXISTING INTERIOR WALL TO REMAIN
- EXISTING EXTERIOR WALL TO REMAIN
- NEW 3HR CMU WALL

ADJACENT SCHOOL BUILDING LEVEL 3

STUDIO E
ARCHITECTS

ARCHITECTURE

EHM 3966 Falcon Street
San Diego, CA 92103-2943
619 299 5453 X206
619 299 0957 fax
www.studioe.com
Randal Jay Elm AIA, NCARB, Architect

OWNER:
CHHS
448 28TH STREET
SAN DIEGO, CA 92102

ARCHITECT:
EHM ARCHITECTURE INC.
RANDAL JAY ELM AIA, COO-PRESIDENT/CEO
3608 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE #
(619) 299-5453 X206
(619) 299-0957 FAX

PROJECT ADDRESS:
448 & 458 28th STREET
SAN DIEGO, CA 92102

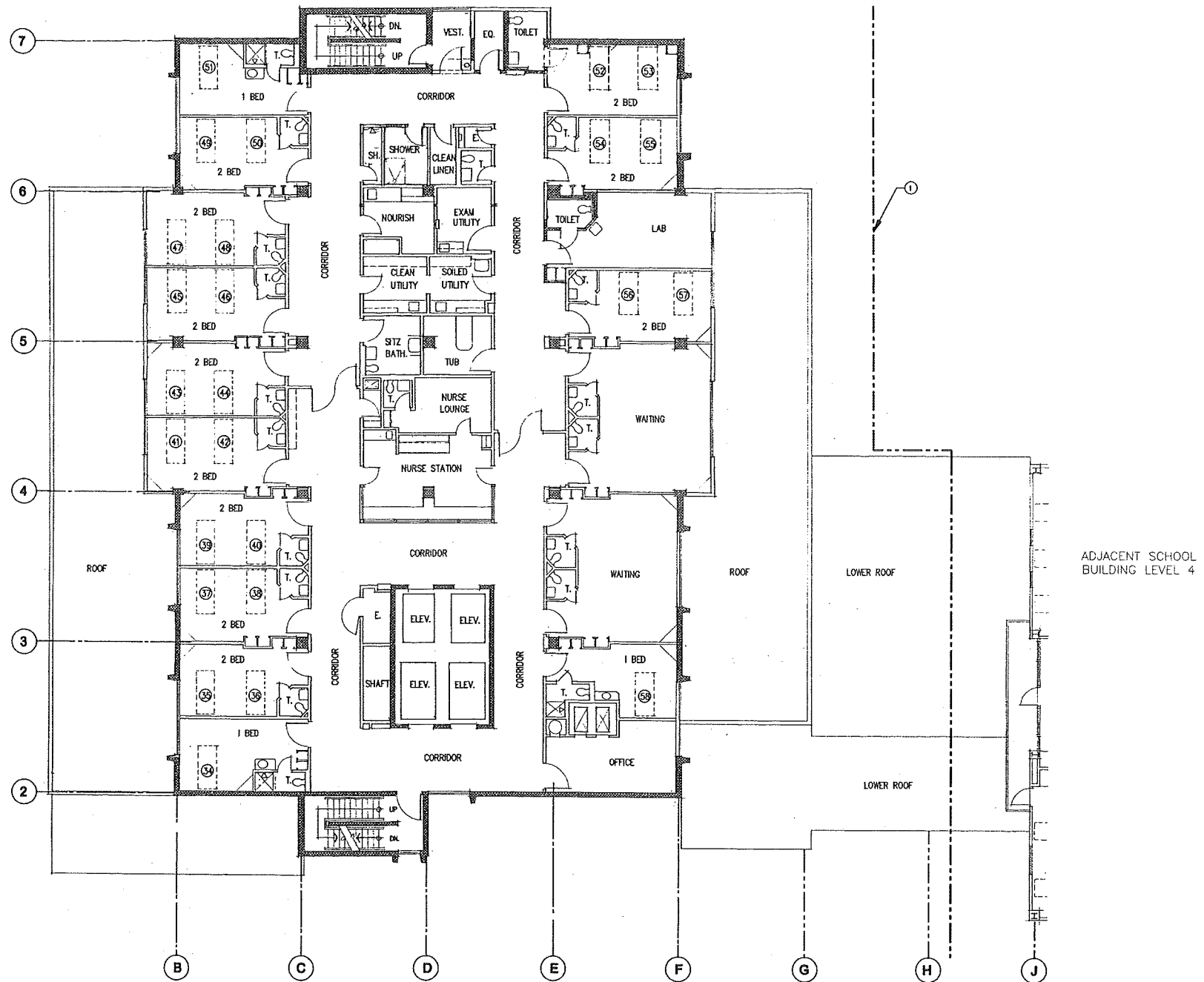
PROJECT NAME:
CHHS ALBERT EINSTEIN ACADEMY

SHEET TITLE:
HOSPITAL FOURTH LEVEL FLOOR PLAN
CUP SUBMITTAL

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REVISION 3 - -
REVISION 2 - -
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ORIGINAL DATE: 02/19/2013
SHEET 11 of 29





KEYNOTES: (APPLY TO THIS SHEET ONLY)

① PROPOSED PROPERTY LINE

WALL LEGEND: (APPLY TO THIS SHEET ONLY)

- EXISTING INTERIOR WALL TO REMAIN
- EXISTING EXTERIOR WALL TO REMAIN
- NEW 3HR CMU WALL

ADJACENT SCHOOL BUILDING LEVEL 4



HOSPITAL FIFTH LEVEL FLOOR PLAN

1

1/8"=1'-0"

STUDIO E
ARCHITECTS

ARCHITECTURE



3956 Falcon Street
San Diego, CA 92103-2943
619 299 5453 X308
619 299 0957 fax
www.studioe.com
Randal Jay ESHA AIA, NCARB, Architect

OWNER:
CHRS
448 28TH STREET
SAN DIEGO, CA 92102

ARCHITECT:
ESHA ARCHITECTURE INC.
RANDAL JAY ESHA AIA, QCS-PRESIDENT/CEO
3008 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE #
(619) 299-5453 X308
(619) 299-0957 FAX

PROJECT ADDRESS:
448 & 458 28th STREET
SAN DIEGO, CA 92102

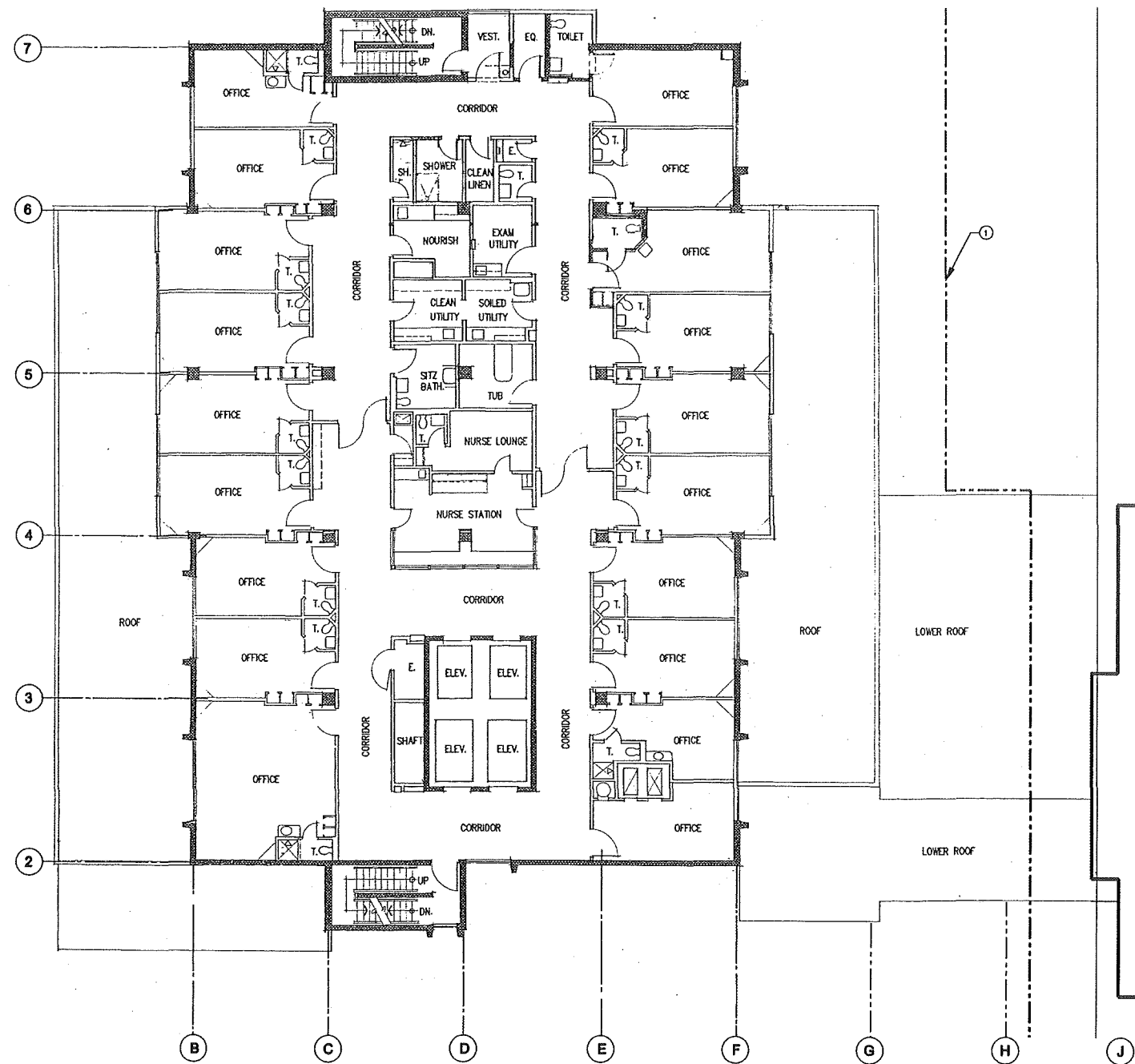
PROJECT NAME:
CHRIS ALBERT EINSTEIN ACADEMY

SHEET TITLE:
HOSPITAL FIFTH LEVEL FLOOR PLAN
CAP SUBMITTAL

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REVISION 2
REVISION 1

ORIGINAL DATE: 02/18/2013

SHEET 12 of 29



KEYNOTES: (APPLY TO THIS SHEET ONLY)

① PROPOSE PROPERTY LINE

WALL LEGEND: (APPLY TO THIS SHEET ONLY)

- EXISTING INTERIOR WALL TO REMAIN
- EXISTING EXTERIOR WALL TO REMAIN
- NEW IRR CMU WALL

STUDIO E
ARCHITECTS

ARCHITECTURE



3950 Falcon Street
San Diego, CA 92103-2943
619 299 5453 x306
619 299 0957 fax
www.studioe.com
Randall Jay Ehm AIA, NCARB, Architect

OWNER:
CHHS
448 NORTH STREET
SAN DIEGO, CA 92102

ARCHITECT:
EHM ARCHITECTURE INC.
RANDALL JAY EHM AIA, COO-PRESIDENT/CEO
3008 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE #
(619) 299-5453 x306
(619) 299-5957 FAX

PROJECT ADDRESS:
448 & 450 26th STREET
SAN DIEGO, CA 92102

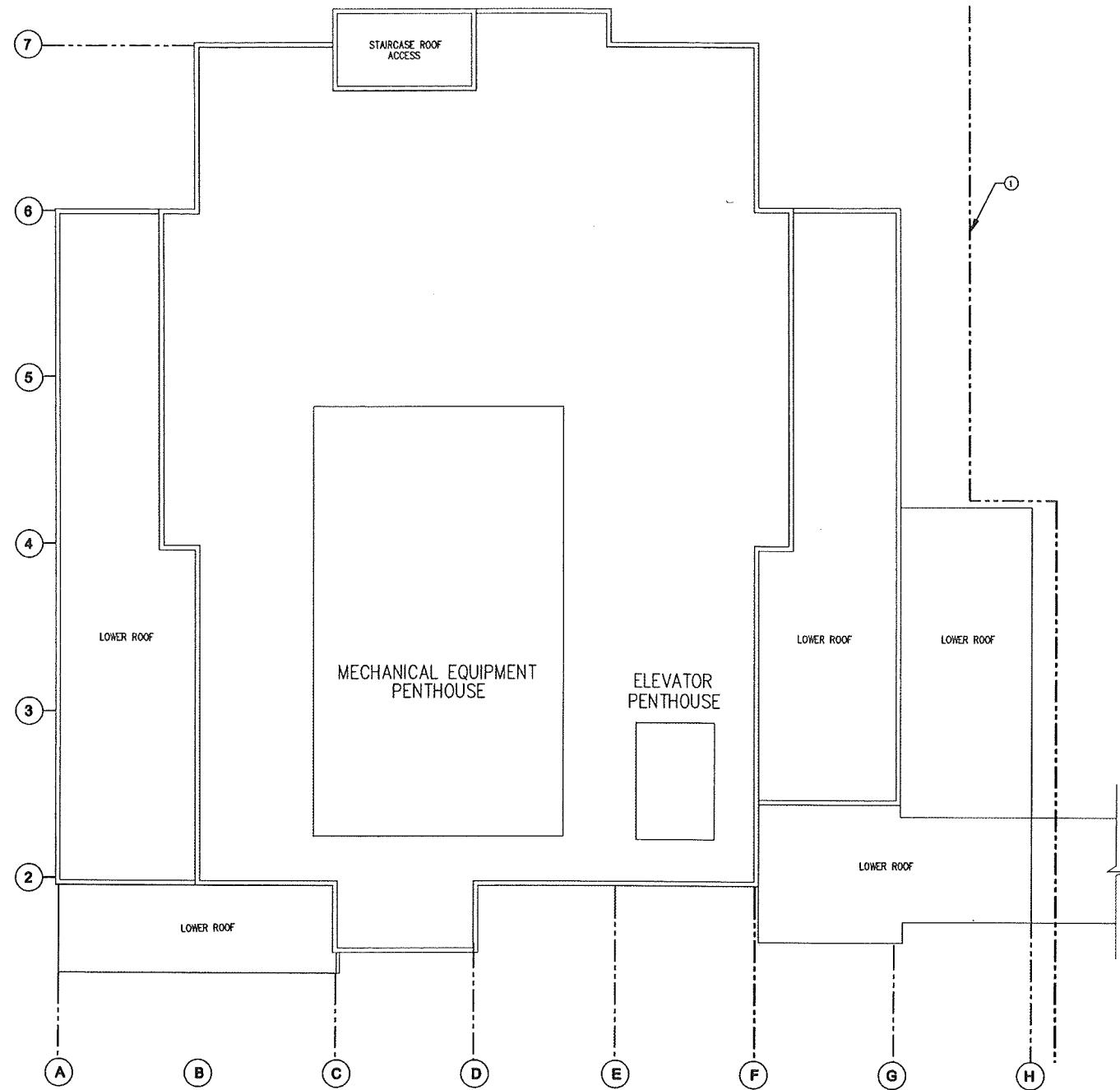
PROJECT NAME:
CHHS / ALBERT EINSTEIN ACADEMY

SHEET TITLE:
HOSPITAL SIXTH LEVEL FLOOR PLAN
CUP SHAWITTAN

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REVISION 4 -
REVISION 3 -
REVISION 2 -
REVISION 1 -

ORIGINAL DATE: 02/19/2013
SHEET 13 of 29





KEYNOTES: (APPLY TO THIS SHEET ONLY)

① PROPOSED PROPERTY LINE

STUDIO E
ARCHITECTS

ARCHITECTURE



3956 Falcon Street
San Diego, CA 92103-2943
619 299 6453 4306
www.studioe.com
Randall Jay Elm AIA, NCARB, Architect

OWNER:
CHRS
448 28TH STREET
SAN DIEGO, CA 92102

ARCHITECT:
ENM ARCHITECTURE INC.
RANDALL JAY ELM AIA, COO-PRESIDENT/CEO
3000 FALCON STREET
SAN DIEGO, CA 92108-2643

PHONE #
(619) 299-6453 4306
(619) 299-5957 FAX

PROJECT ADDRESS:
448 & 458 28th STREET
SAN DIEGO, CA 92102

PROJECT NAME:
CHRS / ALBERT EINSTEIN ACADEMY

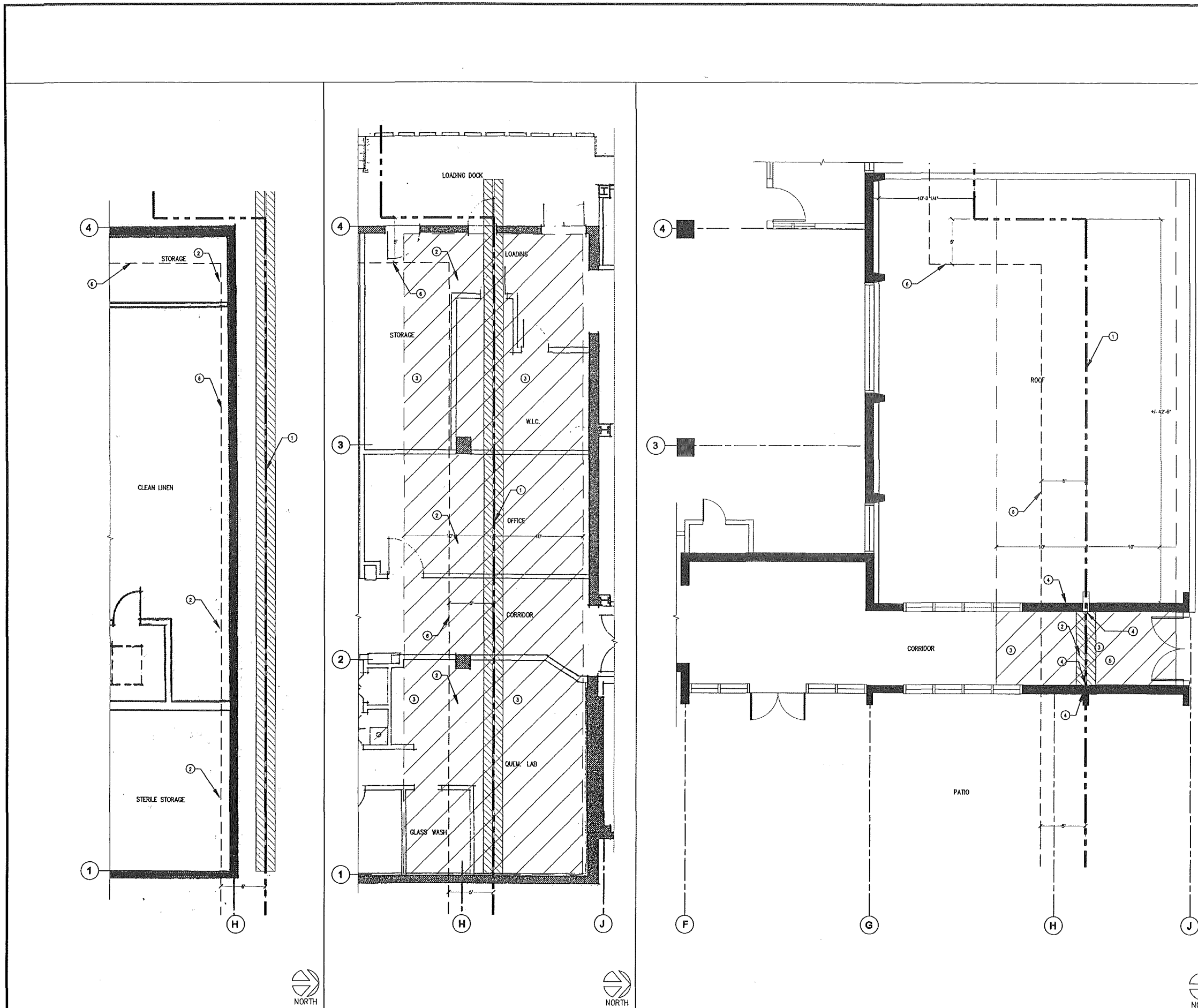
SHEET TITLE:
HOSPITAL ROOF PLAN
CUP SURVIVAL

REVISION 5 _____
REVISION 4 _____
REVISION 3 _____
REVISION 2 _____
REVISION 1 _____

ORIGINAL DATE: 02/19/2013
SHEET 14 of 29



HOSPITAL ROOF PLAN 1
1/8"=1'-0"



- KEYNOTES:** (APPLY TO THIS SHEET ONLY)
- ① PROPOSED PROPERTY LINE
 - ② 3HR CMU WALL
 - ③ WALL ENCLOSURE WITHN 20' WITH NEW 1HR METAL STUD WALL
 - ④ 3 1/2" METAL STUDS @ 16" O.C. WITH R13 BATT INSULATION PROVIDE 3/4" EXTERIOR PLASTER/METAL LATH AT EXTERIOR FACE AND 1/2" TYPE "X" GYPSUM BOARD AT INTERIOR FACE
 - ⑤ 1HR ENVELOPE AT ROOF/CEILING ASSY. WITH MIN. 5/8" TYPE "X" GYPSUM BOARD (VERIFY IN FIELD)
 - ⑥ 5' INTERIOR SIDE YARD SETBACK

- WALL LEGEND:** (APPLY TO THIS SHEET ONLY)
- EXISTING INTERIOR WALL TO REMAIN
 - EXISTING EXTERIOR WALL TO REMAIN
 - NEW 3HR CMU WALL

STUDIO E
ARCHITECTS

ARCHITECTURE

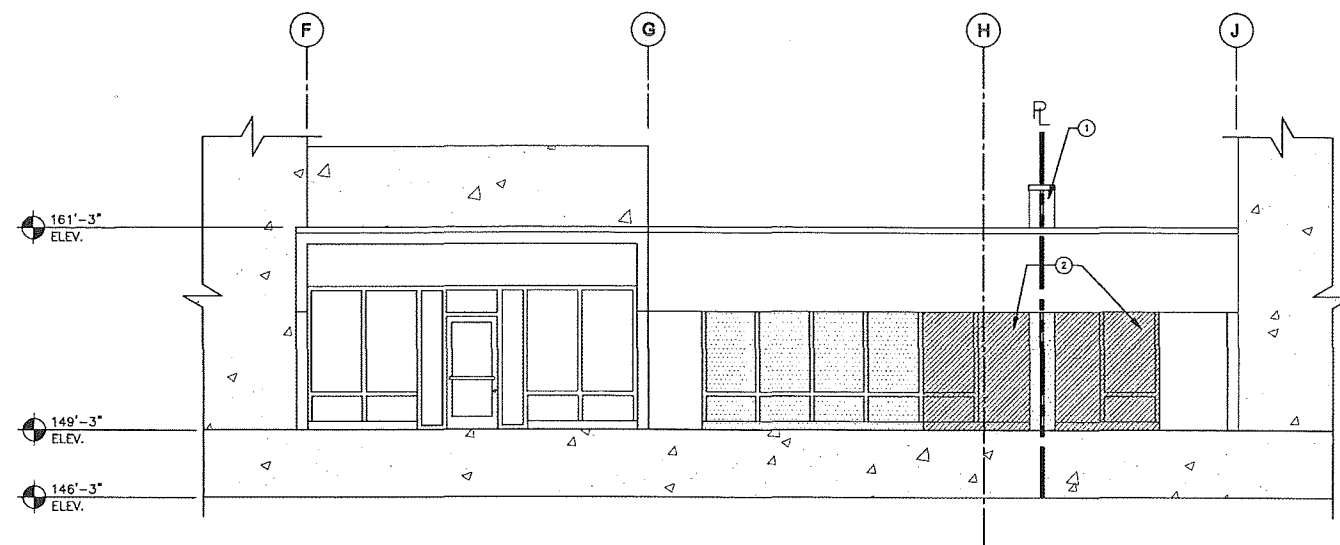
2968 Falcon Street
San Diego, CA 92103-2943
619 299 5453 x306
619 299 0957 fax
www.studioe.com
Randall Jay Ehrn AIA, NCARB, Architect

OWNER:	_____	REVISION 2:	_____
CHRF	_____	REVISION 3:	_____
448 98TH STREET	_____	REVISION 4:	_____
SAN DIEGO, CA 92108	_____	REVISION 5:	_____
ARCHITECT:	_____	REVISION 6:	_____
EDM ARCHITECTURE INC.	_____	REVISION 7:	_____
RANDALL JAY EDM AIA, CDR-PRESENTING/O	_____	REVISION 8:	_____
3008 FALCON STREET	_____	REVISION 9:	_____
SAN DIEGO, CA 92103-2943	_____	REVISION 10:	_____
PHONE #	_____	PROJECT ADDRESS:	_____
(619) 299-5453 x306	_____	448 & 458 98th STREET	_____
(619) 299-0957 FAX	_____	SAN DIEGO, CA 92108	_____
PROJECT NAME:	_____	PROJECT NAME:	_____
CHRF / ALBERT EINSTEIN ACADEMY	_____	CHRF / ALBERT EINSTEIN ACADEMY	_____
SHEET TITLE:	_____	ORIGINAL DATE:	02/16/2013
HOSPITAL PARTIAL FLOOR PLAN	_____	SHEET	15 of 29
DATE:	02/16/2013		

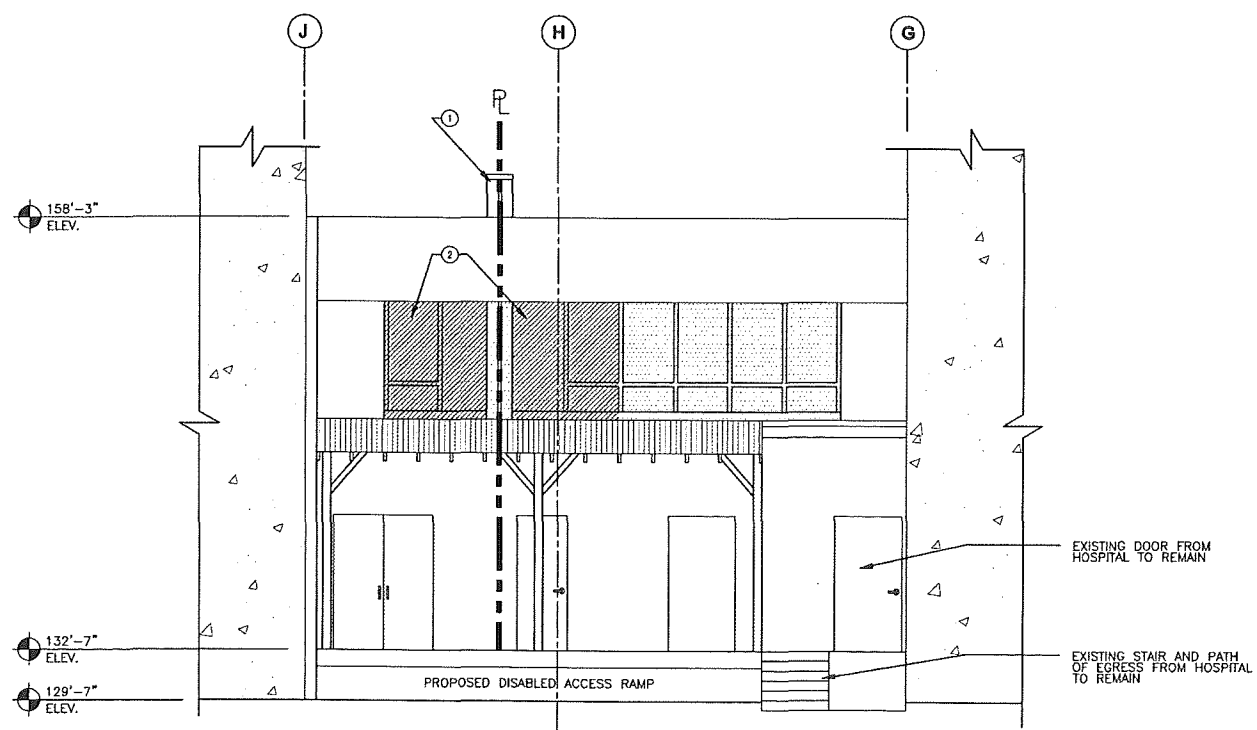
1st. LEVEL TENANT IMPROVEMENT PARTIAL FLOOR PLAN 1 1/4"=1'-0"

2nd. LEVEL TENANT IMPROVEMENT PARTIAL FLOOR PLAN 2 1/4"=1'-0"

HOSPITAL 3rd. LEVEL TENANT IMPROVEMENT PARTIAL FLOOR PLAN 3 1/4"=1'-0"



EAST ELEVATION 1
1/4"=1'-0"



WEST ELEVATION 2
1/4"=1'-0"

KEYNOTES: (APPLY TO THIS SHEET ONLY)

- ① NEW C.M.U. AREA SEPARATION WALL PER PLAN
- ② REMOVE EXISTING STOREFRONT WINDOWS AND INFILL WITH 1 HR. WALL PER PLAN

STUDIO E
ARCHITECTS

ARCHITECTURE



3956 Falcon Street
San Diego, CA 92103-2943
619 299 5453 x306
619 299 0957 fax
www.studioehm.com
Ronald Jay Ehm AIA, NCARB, Architect

OWNER:
CHRS
448 NORTH STREET
SAN DIEGO, CA 92102

ARCHITECT:
EHM ARCHITECTURE INC.
RONALD JAY EHM AIA, CDS-PRESIDENT/CEO
3956 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE #
(619) 299-5453 x306
(619) 299-0957 FAX

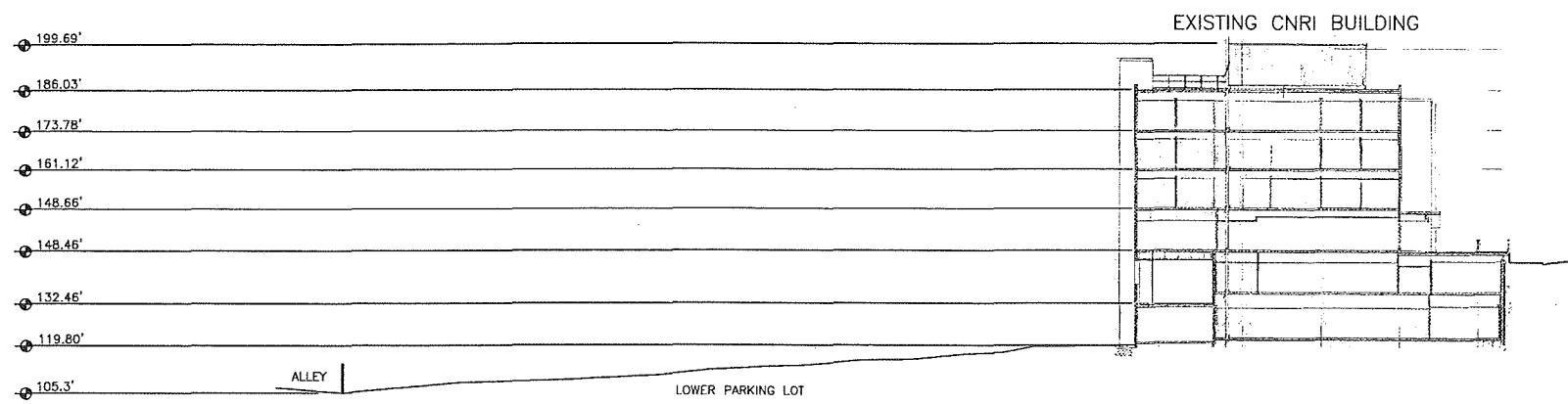
PROJECT ADDRESS:
448 N 458 2ND STREET
SAN DIEGO, CA 92102

PROJECT NAME:
CHRIS / ALBERT EINSTEIN ACADEMY

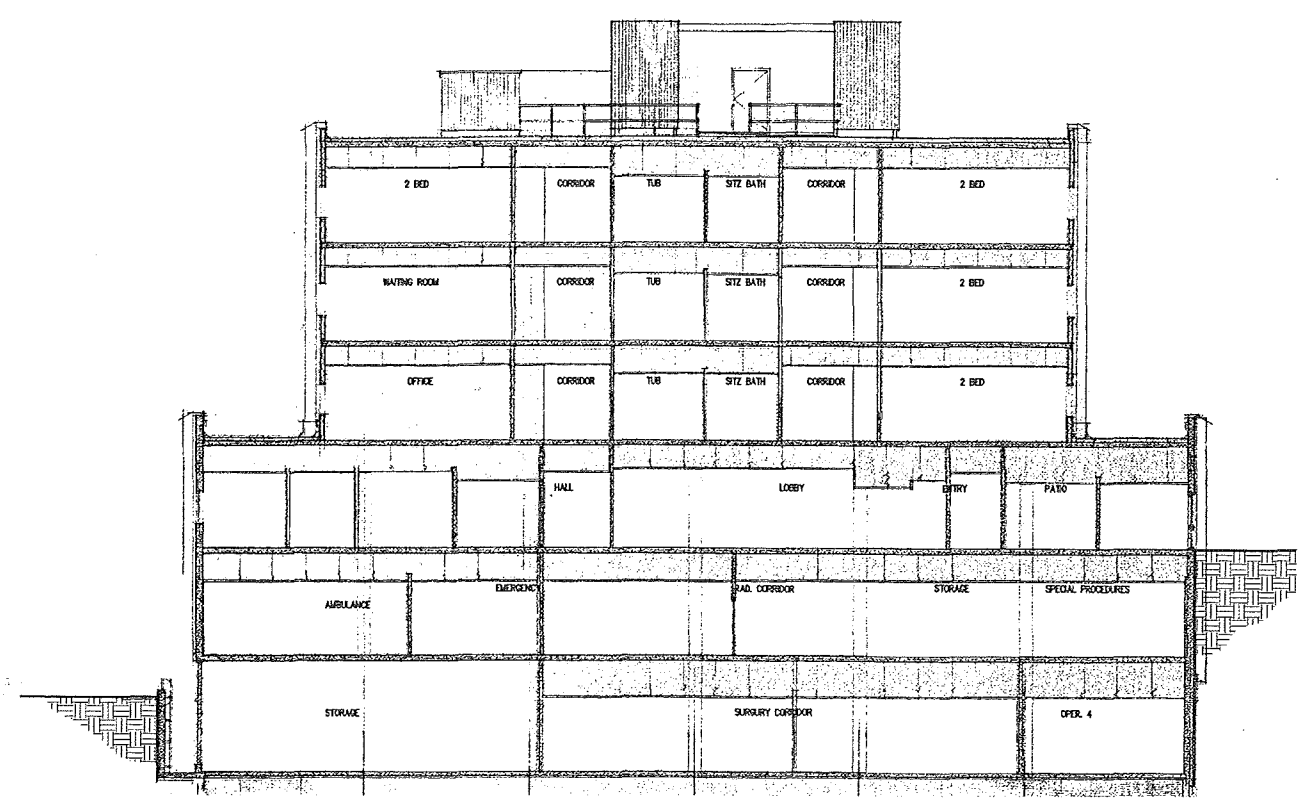
SHEET TITLE:
THIRD LEVEL FLOOR PLAN
CAP SUBMITTAL

REVISION 6: _____
REVISION 4: _____
REVISION 3: _____
REVISION 2: _____
REVISION 1: _____

ORIGINAL DATE: 02/19/2013
SHEET 16 of 29



SECTION A 1
1"=20'-0"



SECTION B 2
1/8"=1'-0"

KEYNOTES: (APPLY TO THIS SHEET ONLY)

①

STUDIO E
ARCHITECTS

ARCHITECTURE



3966 Falcon Street
San Diego, CA 92103-2943
619 299 5453 x306
619 299 0827 fax
www.studioe.com
Rendered by EHM AIA, NCARB, Architect

OWNER:
CNRI
448 28TH STREET
SAN DIEGO, CA 92102

ARCHITECT:
EHM ARCHITECTURE INC.
RANDALL JAY EHM AIA, COO-PRESIDENT/CEO
3966 FALCON STREET
SAN DIEGO, CA 92103-2943

PHONE #
(619) 299-5453 x306
(619) 299-5527 FAX

PROJECT ADDRESS:
448 & 450 28th STREET
SAN DIEGO, CA 92102

PROJECT NAME:
CNRI / ALBERT EINSTEIN ACADEMY

SHEET TITLE:
SECTION B
CUP SUBMITTAL

REVISION 1: -
REVISION 2: -
REVISION 3: -
REVISION 4: -

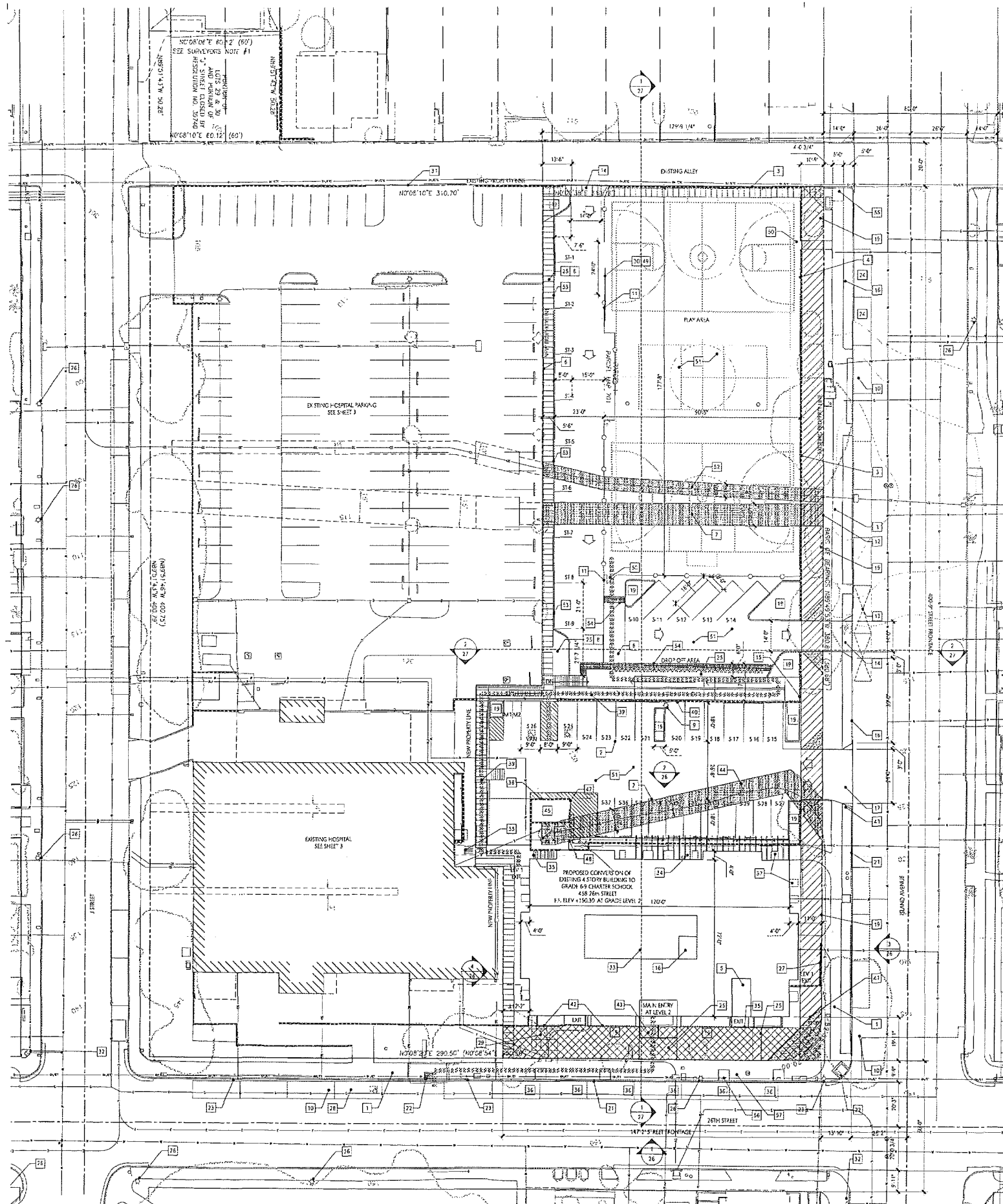
ORIGINAL DATE: 02/18/2013
SHEET 17 of 29

Albert Einstein Academy Charter Middle School
458 26th Street, San Diego CA 92102

Project 12111
PTS 296407

- 09/20/12 COMPLETION CHECK
- 10/10/12 MR SUBMITTAL
- 11/14/12 CLP SUBMITTAL
- 01/22/13 CLP SUBMITTAL
- 02/19/13 CLP RESUBMITTAL
- 04/15/13 CLP RESUBMITTAL

PROPOSED SCHOOL SITE PLAN



Key Notes

- 1 (E) CONCRETE SIDEWALK TO REMAIN
- 2 (N) PAINTED PARKING STRIPES W/ WHITE STOP
- 3 (E) STEPPED CMU SITE WALL W/ FENCE ABOVE, TYP.
- 4 (E) HORIZONTAL SLIDING GATE TO BE REMOVED
- 5 (E) STAIR WITH ROOF ACCESS TO REMAIN. HIGHEST POINT ON BUILDING
- 6 (E) CHAIN LINK FENCING TO REMAIN
- 7 (E) SEWER EASEMENT
- 8 (N) PEDESTRIAN WALKWAY W/ PAINTED STRIPING. NOT A PART OF ACCESSIBLE ROUTE
- 9 (E) POLE MOUNTED LIGHT STANDARD
- 10 (E) ON-STREET PARKING
- 11 (N) METAL FENCE, 5'0" HIGH
- 12 (E) SEWER MANHOLE COVER
- 13 (E) ON-STREET PARKING LOST BY PROPOSED (N) CONC. CURB CUT DRIVEWAY
- 14 (N) CONC. DRIVE APRON PER CITY STANDARDS
- 15 (E) CHAIN LINK FENCE AND MA. GATE TO BE REMOVED
- 16 CLOSE (E) NON-UTILIZED DRIVEWAY WITH CURRENT CITY STANDARD CURB, GUTTER AND SIDEWALK
- 17 (E) CONC. DRIVE APRON TO REMAIN
- 18 (E) ELEVATOR SHAFT ROOF TO REMAIN
- 19 PLANTING PER LANDSCAPE
- 20 (E) ELECTRICAL TRANSFORMER TO REMAIN
- 21 (E) CONC. CURB AND GUTTER TO REMAIN
- 22 (E) ACCESSIBLE CONC. CURB CUT RAMP
- 23 (E) UTILITY POWER POLE TO REMAIN
- 24 (N) ON STREET PARKING SPACE WHERE NON-UTILIZED DRIVEWAY CLOSED
- 25 (N) CONC. WALK W/ 5% MAX. SLOPE IN DIRECTION OF TRAVEL AND 2% MAX. PERPENDICULAR TO DIRECTION OF TRAVEL
- 26 (E) CITY STREET LIGHT STANDARD TO REMAIN
- 27 (E) SITE RETAINING WALL, HEIGHT FOLLOWS GRADE, WITH 42" HIGH GUARDRAIL ABOVE, TO REMAIN
- 28 (E) ON-STREET ACCESSIBLE PARKING SPACE
- 29 (N) WAVE BIKE RACK FOR 11 BIKES
- 30 (N) HORIZONTAL SLIDING GATE
- 31 (E) ALLEY ACCESS FROM ADJACENT SITE TO REMAIN
- 32 (E) FIRE HYDRANT
- 33 (N) ROOFTOP MECHANICAL EQUIPMENT W/ CORRUGATED METAL SCREENING, MAX. 9'0" HIGH
- 34 (N) TRELLIS AND DECK
- 35 (E) CONC. STAIR AND 42" HIGH GUARDRAIL TO REMAIN
- 36 (N) ON-STREET LOADING SPACES AT PEAK HOURS WITH PAINTED WHITE CURB & SIGN
- 37 (E) AWNINGS TO REMAIN
- 38 (E) CMU UTILITY ENCLOSURE TO REMAIN
- 39 (N) ACCESSIBLE RAMP W/ 1:12 MAX. SLOPE
- 40 (E) SITE RETAINING WALL W/ METAL GUARDRAIL ABOVE
- 41 VISIBILITY TRIANGLE PER SDMC 113.0273, TYP.
- 42 (N) PERFORATED, CORRUGATED METAL SCREENING ON FRAMEWORK, INSTALLED IN FRONT OF EXISTING AWNINGS & BALCONIES
- 43 (N) AWNING AT MAIN ENTRY
- 44 (E) PUBLIC UTILITY EASEMENT
- 45 (N) TRASH & RECYCLING AREA IN (E) CMU ENCLOSURE
- 46 (E) ELECTRICAL TRANSFORMER
- 47 (N) CORRUGATED METAL GATES
- 48 (E) CHAIN LINK FENCING & GATES
- 49 (N) VEHICLE ACCESS TO PLAY AREA ONLY FOR MAINTENANCE OR SPECIAL EVENTS
- 50 (N) METAL GATE
- 51 (E) ASPHALT PARKING LOT, RE STRIPED FOR PARKING OR RECREATION AREA
- 52 (E) STORM DRAIN EASEMENT
- 53 (N) ASPHALT BEAM WITH 12" OPENINGS AT 10' O.C.
- 54 (N) 3'-0" WIDE DETECTABLE WARNING
- 55 (N) ACCESSIBLE CURB RAMP
- 56 (N) STREET TREE IN WELL PER LANDSCAPE
- 57 (N) CONCRETE SIDEWALK PER LANDSCAPE & CIVIL

Site Plan Notes

- PRIOR TO ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE AN CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE IF ANY CONSTRUCTION PERMIT THE OWNER/PERMITEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX F OF THE CITY'S STORM WATER STANDARDS.
1. EXISTING EASEMENTS ARE LOCATED AND NOTED. NO NEW EASEMENTS ARE PROPOSED.
 2. EXISTING DRAINAGE IS SHOWN. MINIMAL GRADING IS PROPOSED - SEE SHEET 19.
 3. THERE ARE NO EXISTING OR PROPOSED BUS STOPS ON THE PROPERTY.
 4. BUILDING ADDRESS NUMBERS WILL BE VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY PER FIRE DEPARTMENT POLICY 0006
 5. PALEONTOLOGY: MINIMAL GRADING IS PROPOSED. THEREFORE NO PALEONTOLOGICAL REVIEW IS REQUIRED.
 6. ANY NEW POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, STANDPIPE CONNECTIONS AND BELLS SHALL BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE PROPERTY.

Parking Requirements

- Parking Required for Non-Residential Use (Title 142.05f):
- Education Facilities:
 Kindergarten - 9th Grade: 2 per classroom if no assembly area or 30 per 1,000sf of assembly area
 Transit Area reduction: 85% of minimum
 Motorcycle Parking: 2% of minimum parking spaces, 2 spaces minimum
 Bicycle Storage: 2% of minimum parking spaces, 2 spaces minimum
- Accessible Parking (CBC Sec. 117298):
- | Total # of spaces | # of accessible spaces |
|-------------------|------------------------|
| 1-25 | 1 |
| 26-50 | 2 |
| 51-75 | 3 |

Parking Provided:

- Total Classrooms = 22. Assembly Area not included
 Minimum Parking required = 22 x 2 = 44
 Parking in Transit Zone = 44 x 85% = 37.4
 Accessible Parking Provided = 2
 Total Off-street Parking Spaces Provided = 37, including 2 accessible spaces
 Motorcycle Parking Provided = 37 x 2% = 1, 2 provided
 Bicycle Storage = 37 x 2% = 1, 11 provided at Wave bike rack at main building entry
 Loading Area provided on-street at main entry - See Site Plan & Traffic Report
 Drop-off/ Pick-up area provided both on-site and on-street at main entry - See Site Plan & Traffic Report

Hatch Legend

- EXISTING FRONT YARD (SF 5000), 15'-0"
- EXISTING STREET SIDE YARD (SF 5000), 10'-0"
- NEW INTERIOR SIDE YARD (SF 5000), 5'-0"
- EXISTING REAR ALLEY YARD (SF 5000), 5'-0"
- VISIBILITY TRIANGLES - NO OBSTRUCTION INCLUDING LANDSCAPE OR SOLID WALLS SHALL EXCEED 3'-0"
- EASEMENTS

Reference Symbols

- BUILDING ELEVATION/ SITE SECTION CUT
- KEYNOTE
- DIRECTION OF SLOPE
- DIRECTION OF FLOW OF TRAFFIC
- ACCESSIBLE PATH OF TRAVEL

Building Area Data for Proposed School (Last Revised 11/14/12)

Floor Level	Existing Gross Floor Area	Proposed Gross Floor Area	Existing Balcony Area	Proposed Balcony Area	Existing Shafts	Number of classrooms	Description
0	1,860 sf	1,860 sf	0 sf	0 sf	0 sf	0	Basement level utilized for storage, utilities, mechanical & electrical rooms
1	9,499 sf	9,499 sf	0 sf	608 sf	141 sf	4	Teaching rooms & lunch area. Access to rear recreational facilities
2	8,403 sf	8,725 sf	274 sf	0 sf	387 sf	6	Main Entry level from 26th Street
3	8,366 sf	8,668 sf	762 sf	432 sf	428 sf	6	Typical teaching level
4	8,366 sf	8,668 sf	762 sf	432 sf	428 sf	6	Typical teaching level
Total	36,494 sf	37,420 sf	1,798 sf	1,472 sf	1,384 sf	22	

- Notes:
1. Gross Floor Area includes walls, stairs, shafts, elevators, circulation area, and mechanical/electrical/utility rooms
 2. Gross Floor Area does not include balconies or decks
 3. Proposed Gross Floor Area increase due to the conversion of existing balconies to interior space.
 4. Existing Shafts includes stairs, elevators and mechanical/electrical/utility shafts.
 5. Proposed Shafts to be determined as the design of the building systems progress.
 6. Level 0 Gross Floor Area is an estimate. Existing drawings were not available of this level.
 7. Level 1 Gross Floor Area includes 1,170 sf building area up to the new property line within the existing connection to adjacent building
 8. Level 2 Gross Floor Area includes 125 sf building area up to the new property line within the existing connection to adjacent building

On-Street Parking Data for Proposed School (Last Revised 02/13/13)

Street	Existing On-Street Parking	Proposed On-Street Parking	Net Loss/ Gain	Notes
26th	11 spaces, including 1 accessible space	11 spaces, including 1 accessible space	0 spaces	6 spaces at building entry will function as drop off during peak times and parking spaces at non-peak times. See keynote 36.
Island	10 spaces	10 spaces	0 spaces	See keynote 24 on site plan for 2 new spaces at closed driveway and keynote 13 for 2 deleted spaces at new driveway
J	10 spaces	10 spaces	0 spaces	

Notes: On-street parking count assumes a 20' red curb no parking zone at street intersections and at driveways, although it is not presently marked this way.

1 Site Plan
SCALE: 1" = 20'

Albert Einstein Academy Charter Middle School
458 26th Street, San Diego CA 92102

Project 12111
PTS 296407

09/28/13 COMPLETENESS CHECK
10/30/13 SUBMITTAL
10/26/13 CLP SUBMITTAL
11/12/13 CLP RESUBMITTAL
02/19/13 CLP RESUBMITTAL
03/19/13 CLP RESUBMITTAL

PRELIMINARY
GRADING &
PAVING PLAN

EXISTING ITEMS LEGEND

EXISTING UTILITIES	
ASBESTOS	ASBESTOS
CEMENT	CEMENT
CONCRETE	CONCRETE
DRIVEWAY	DRIVEWAY
GRASS	GRASS
LANDSCAPE	LANDSCAPE
PAVEMENT	PAVEMENT
RETAINING WALL	RETAINING WALL
SEWER	SEWER
WATER	WATER
ELECTRIC	ELECTRIC
TELEPHONE	TELEPHONE
UNDERGROUND	UNDERGROUND
UTILITY	UTILITY
WALKWAY	WALKWAY
WALL	WALL
WIND	WIND
WOOD	WOOD
YARD	YARD

NEW ITEMS LEGEND

ASPHALT PAVEMENT	ASPHALT PAVEMENT
CONCRETE PAVEMENT	CONCRETE PAVEMENT
DETECTABLE WARNING	DETECTABLE WARNING
NEW RETAINING WALL	NEW RETAINING WALL
NEW CURB	NEW CURB
NEW STORM DRAIN	NEW STORM DRAIN
SAW-CUT LINE	SAW-CUT LINE
GRADE BREAK LINE	GRADE BREAK LINE

NOTES:

- * EXISTING PAVEMENT REMOVAL AND REPLACEMENT: 4,485 SF
- * NEW PAVEMENT: 320 SF
- * NEW PLANTER AREAS: 797 SF
- * SEE ARCHITECTURAL SITE PLAN FOR VISIBLY AREAS FOR DRIVEWAYS
- * ALL RW AND EDGES OF UNDERGROUND VAULTS TO BE ADJUSTED TO NEW ELEVATION AND TO BE MADE FLUSH WITH SURROUNDING PAVEMENT.
- * CONTRACTOR TO CONFIRM DEPTH AND WIDTH OF EXISTING GRY UTILITIES TO ENSURE NO CONFLICT WITH SPOCCED STREET TREES.

NEW ITEMS KEYNOTES

- 1 NEW 6" CURB PER SDGS C-1
- 2 NEW 1" WIDE CURB OUT, FLOW INTO PLANTER
- 3 NEW DRIVEWAY PER SDG-180
- 4 NEW ASPHALT PAVEMENT
- 5 SAW-CUT LINE
- 6 SEE ARCHITECTURAL PROPOSED SCHOOL SITE PLAN
- 7 NEW UNDERGROUND DRAIN PER SDGS D-27
- 8 EXISTING DRIVEWAY AND WALKWAY TO REMAIN
- 9 NEW AREA DRAIN WITH ALUM GRATE
- 10 SURFACE FLOW UNDER RAMP
- 11 NEW RETAINING WALL
- 12 PORTION OF WALL TO BE REMOVED
- 13 EXISTING WALL TO REMAIN
- 14 EXISTING CURB TO BE REMOVED
- 15 NEW PROPERTY LINE
- 16 CAUTION: EXISTING UTILITY TO REMAIN, PROTECT IN PLACE.
- 17 EXISTING RIGHT OF WAY
- 18 EXISTING EASEMENT, SEE SURVEY PLAN
- 19 NEW SCREEN WALL
- 20 EXISTING DRIVEWAY TO BE CLOSED
- 21 NEW ASPHALT BEAM WITH 1" OPENINGS 10' O.C.
- 22 NEW ADA RAMP
- 23 NEW CONCRETE WALK
- 24 NEW CONCRETE SIDEWALK

PRELIMINARY GRADING QUANTITIES

EARTHWORK QUANTITIES SHOWN ARE FOR BONDING AND FERM PURPOSES ONLY. ACTUAL QUANTITIES MAY VARY WITH SYMTRAKE, LOSSES DUE TO CLEARING OPERATIONS, REMOVAL & RECOMPACTION, TRENCHING, ETC. CONTRACTOR SHALL VERIFY EXACT QUANTITIES PRIOR TO BIDDING.

GRADED AREA	0.07 ACRES	MAX. CUT DEPTH	2.0 [FT]
CUT QUANTITIES	40 [CY]	MAX. CUT SLOPE RATIO (2:1MAX)	5:1
FILL QUANTITIES	60 [CY]	MAX. FILL DEPTH	1.5 [FT]
IMPORT	20 [CY]	MAX. FILL SLOPE RATIO (2:1MAX)	5:1

UTILITY NOTE

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON VISIBLE ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. THE DEPTED LOCATIONS, SIZES AND TYPES OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE RECORD DRAWINGS AND/OR ACTUAL AS-BUILT LOCATIONS. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

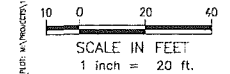
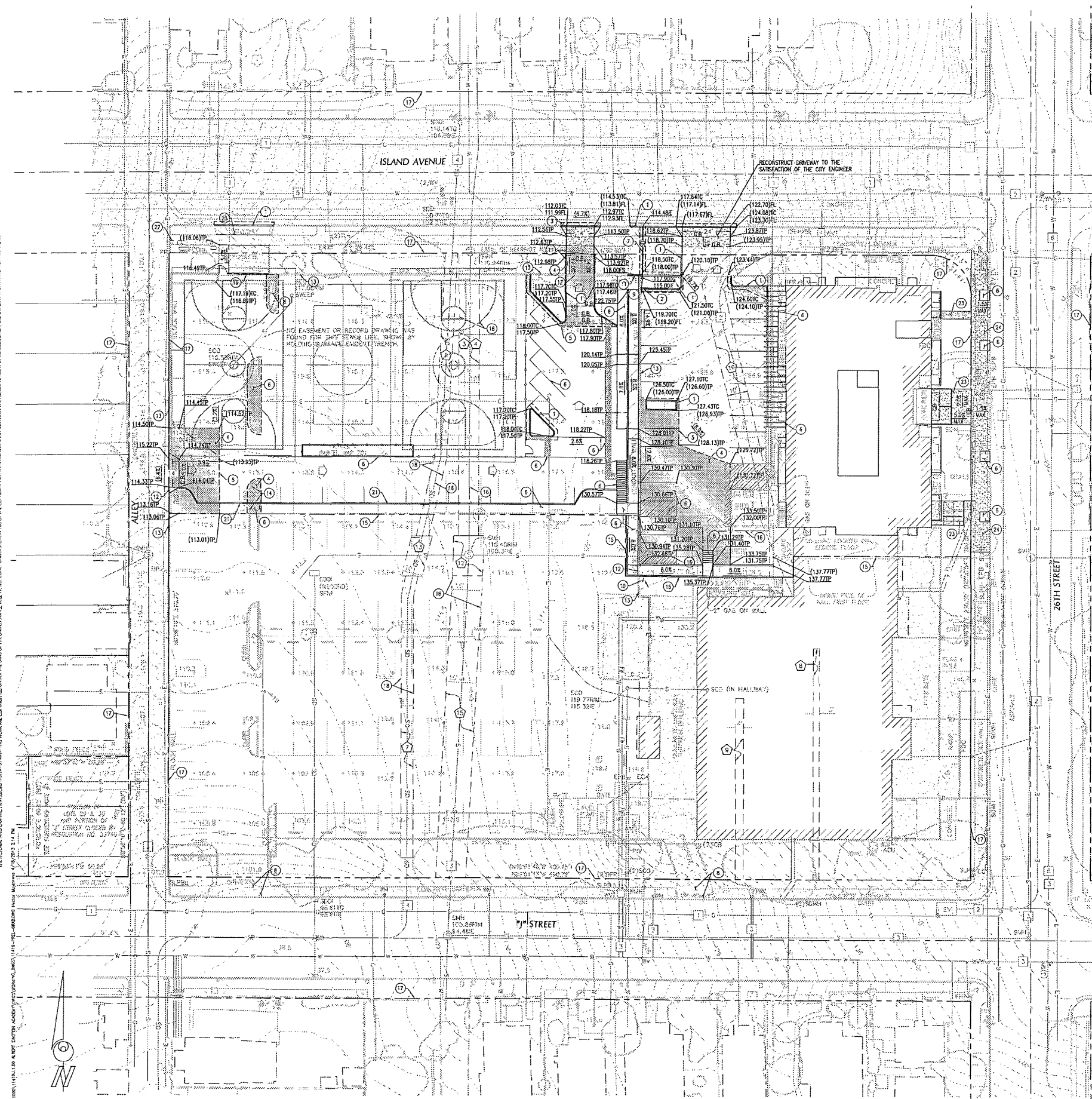
BURKETT & WONG ENGINEERS MAKE NO CLAIM AS TO THE ACCURACY OF UNDERGROUND UTILITIES SHOWN HEREON. THE USER OF THIS SURVEY IS RECOMMENDED TO CONDUCT INDEPENDENT PHYSICAL INSPECTION OF EACH UNDERGROUND UTILITY PRIOR TO EXCAVATION OR CONSTRUCTION.

PRIVATE UTILITY SERVICES SHOWN HEREON ARE THE RESULT OF UNDERGROUND UTILITY MARKOUTS AND PACIFIC COAST MEDICAL ENTERPRISE PLUMBING, MECHANICAL AND CIVIL PLANS PROVIDED TO THE UNDERSIGNED SURVEYOR BY THE OWNER.

WATER LATERALS CONSIDERED ABANDONED OR NO LONGER IN USE MAY HAVE NOT BEEN SHOWN HEREON.

PUBLIC RECORD UTILITY INFORMATION SHOWN HEREON WAS TAKEN FROM THE FOLLOWINGS:

- SAN DIEGO GAS AND ELECTRIC GAS ASSET MAP, DATED 9-21-2012.
- SAN DIEGO GAS AND ELECTRIC STANDARD ELECTRIC FACILITY MAP, DATED 9-24-2012.
- CITY OF SAN DIEGO AS-BUILT PLAN ENTITLED "WATER & SEWER GROUP 481", DRAWING NO. 25101-8-D, DATED 12-4-1992.
- CITY OF SAN DIEGO DRAWING NO. 1691-1-L, DATED APRIL 1, 1927.
- CITY OF SAN DIEGO AS-BUILT PLAN ENTITLED "WATER & SEWER GROUP 481", DRAWING NO. 25101-16-D, DATED 12-4-1992.
- CITY OF SAN DIEGO AS-BUILT PLAN, DRAWING NO. 14717-2-D, DATED 12-28-1971.

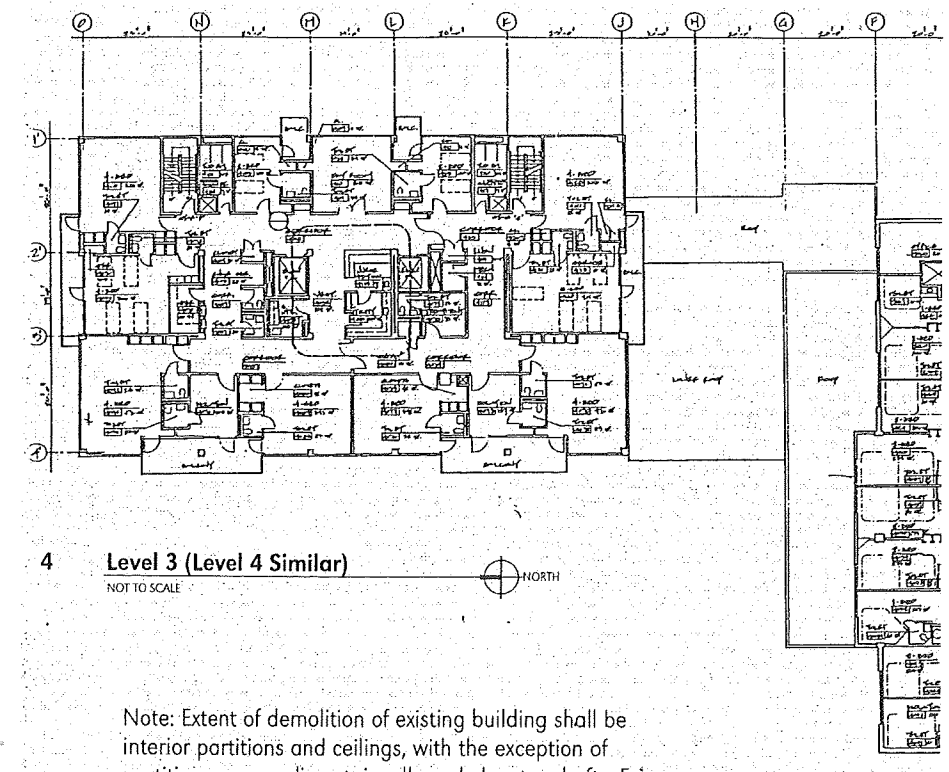
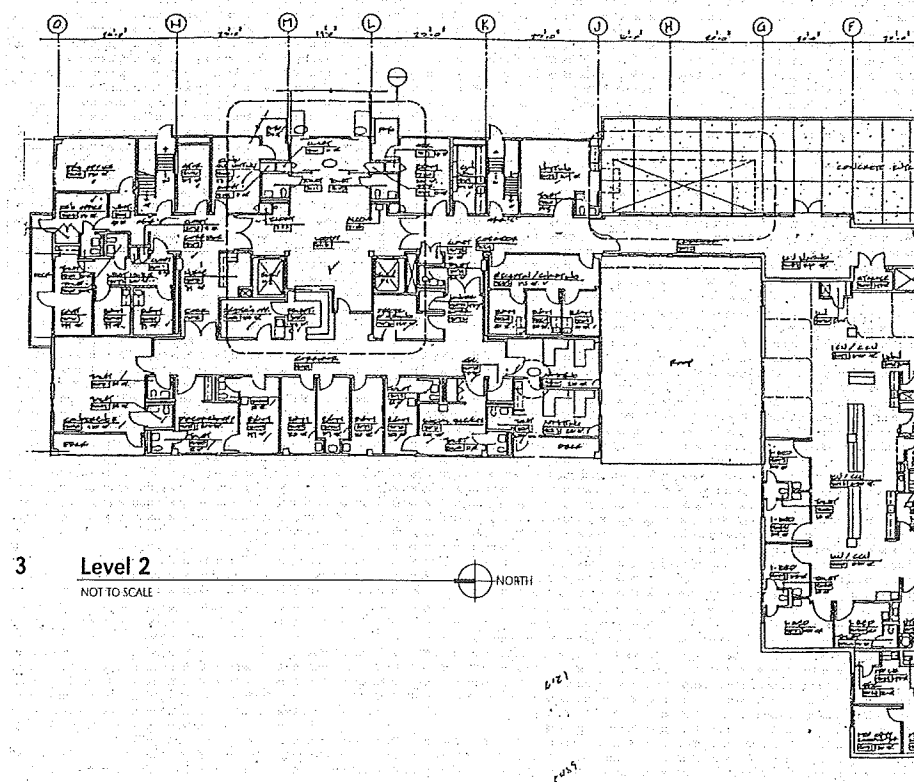
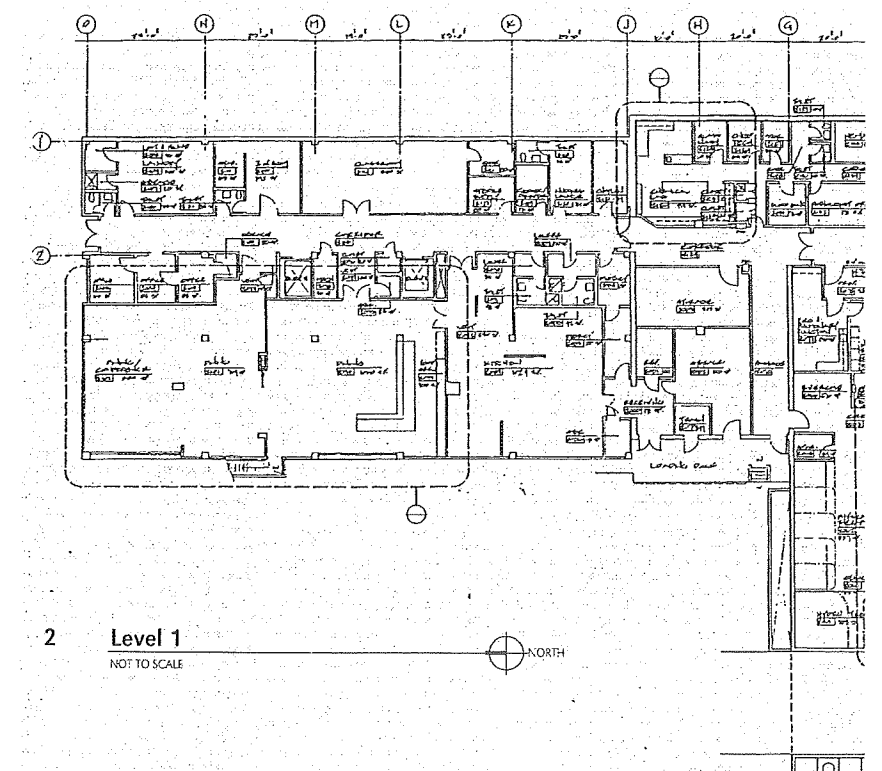
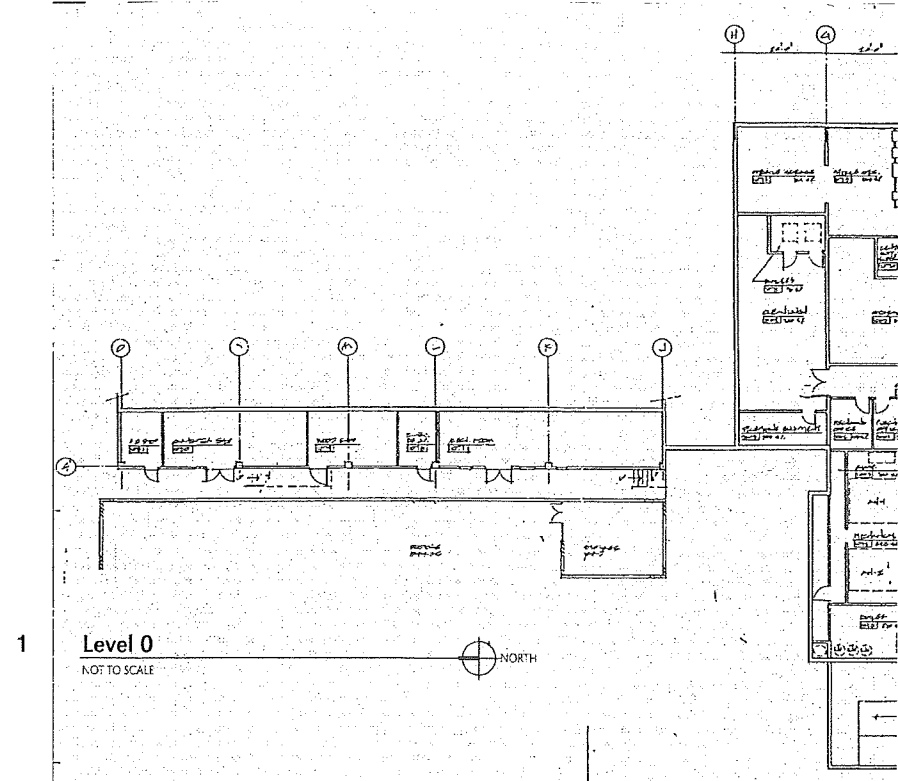


Albert Einstein Academy Charter Middle School
458 26th Street, San Diego CA 92102

Project 12111
PTS 296407

09/26/12	COMPLETE SS CHECK
10/07/12	M.R. SUBMITTAL
11/14/12	CLIP SUBMITTAL
01/22/13	CLIP RESUBMITTAL
02/19/13	CLIP RESUBMITTAL

EXISTING BUILDING PLANS FOR REFERENCE



Note: Extent of demolition of existing building shall be interior partitions and ceilings, with the exception of partitions surrounding stairwells and elevator shafts. For exterior walls to be demolished, see sheets 21-24

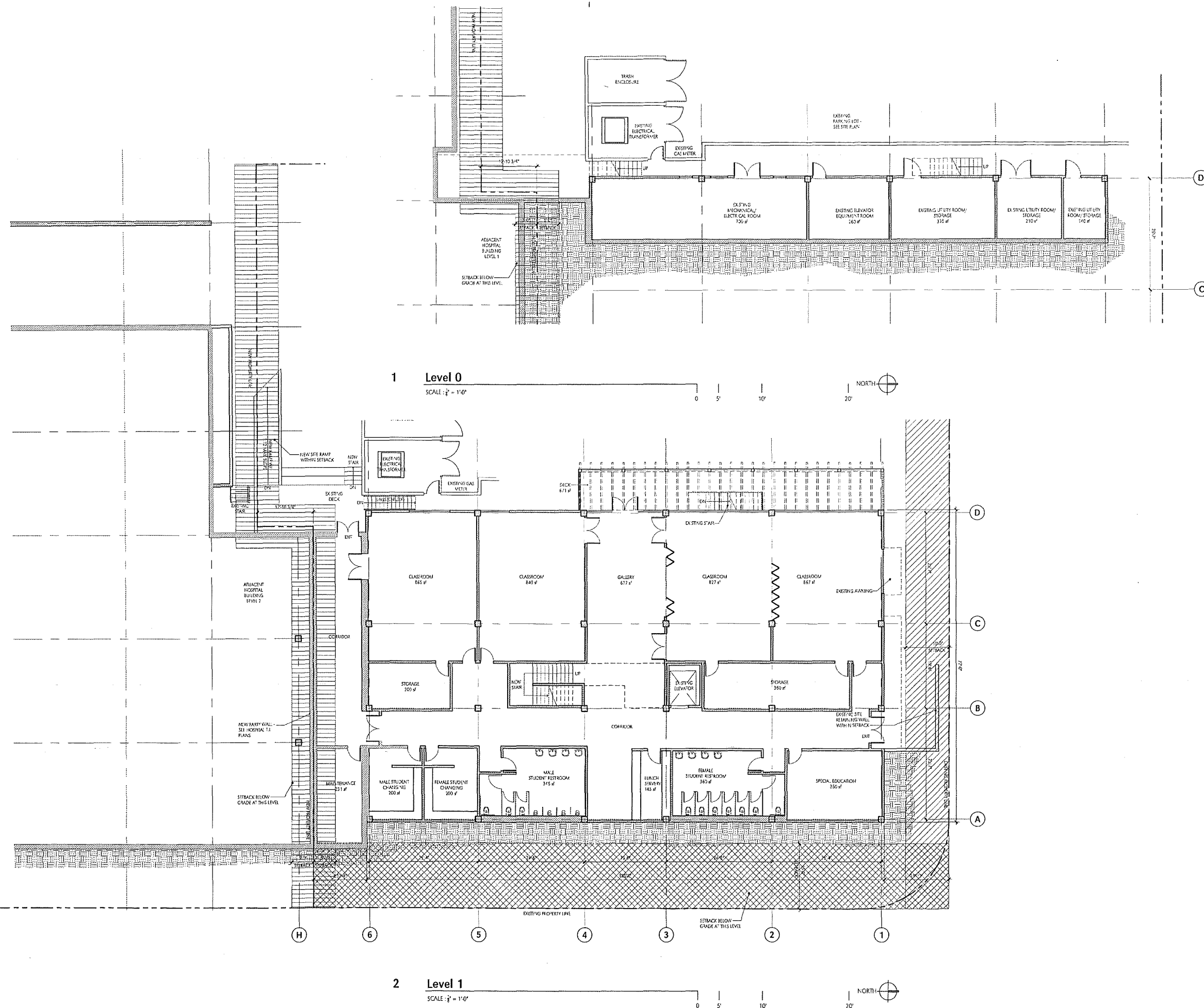
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458 26th Street, San Diego CA 92102

Project 12111
PTS 296407

08/20/12	CONCEPTS CHECK
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11/14/12	CLIP SUBMITTAL
01/22/13	CLIP RESUBMITTAL
02/19/13	CLIP RESUBMITTAL

PROPOSED
SCHOOL
LEVEL 0
AND 1



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STUDIO E
ARCHITECTS

2256 First Avenue

San Diego California 92101

mail@studioearchitects.com

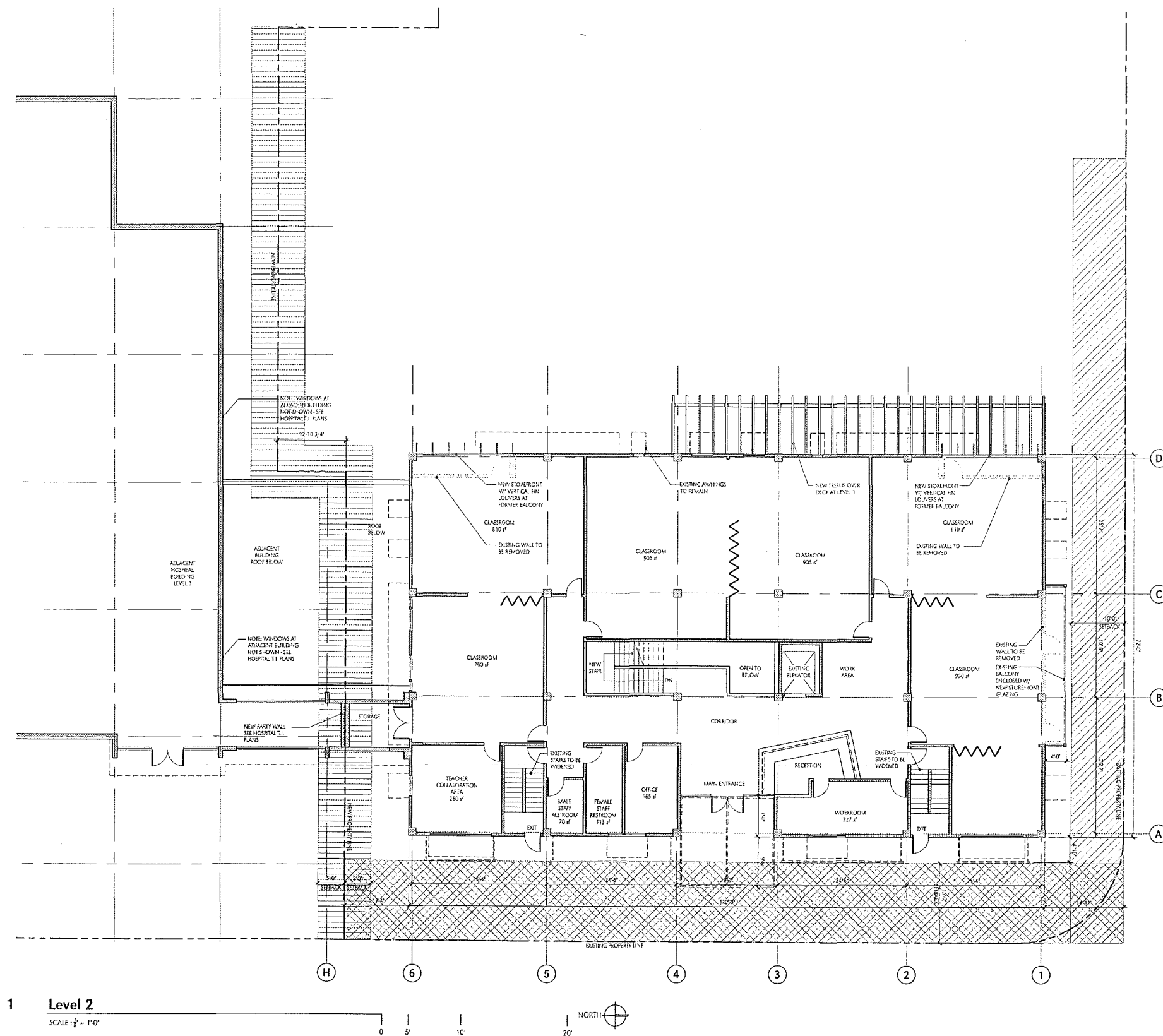
T 619.255.9262 F 619.235.0522

Albert Einstein Academy Charter Middle School
458 26th Street, San Diego CA 92102

Project 12111
PTS 296407

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01/22/13 CUP RESUBMITTAL
02/19/13 CUP RESUBMITTAL

PROPOSED
SCHOOL
LEVEL 2



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2756 First Avenue

San Diego, California 92101

mail@studioe.com

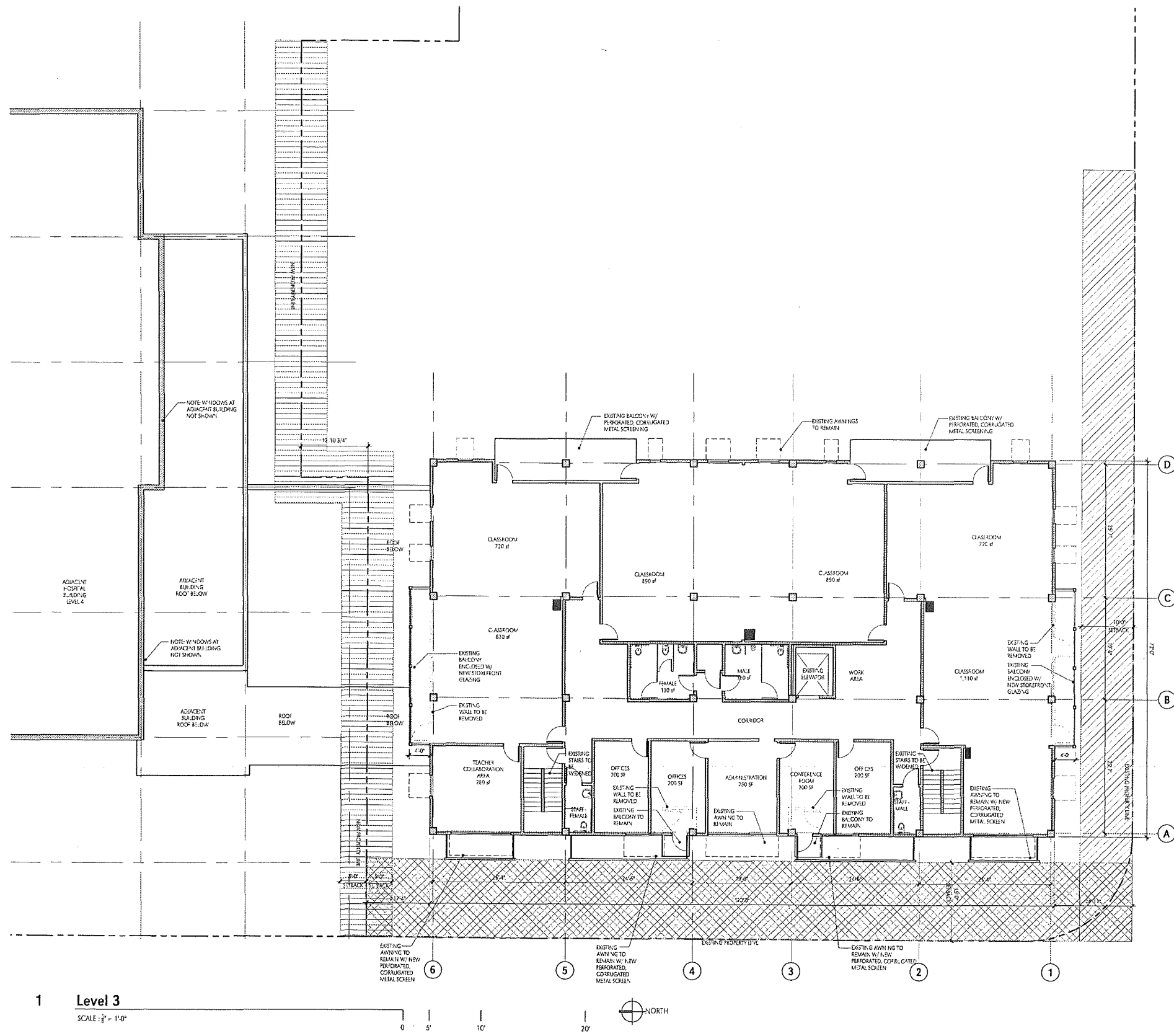
T 619.235.9262 F 619.235.0512

Albert Einstein Academy Charter Middle School
458 26th Street, San Diego CA 92102

Project 12111
PTS 296407

09/20/12 COMPLETION CHECK
10/07/12 V-R SURVIVAL
11/14/12 CUP S. MEET
07/22/13 CUP MEETING
02/19/13 CUP MEETING

PROPOSED
SCHOOL
LEVEL 3



1 Level 3
SCALE: 1/8" = 1'-0"

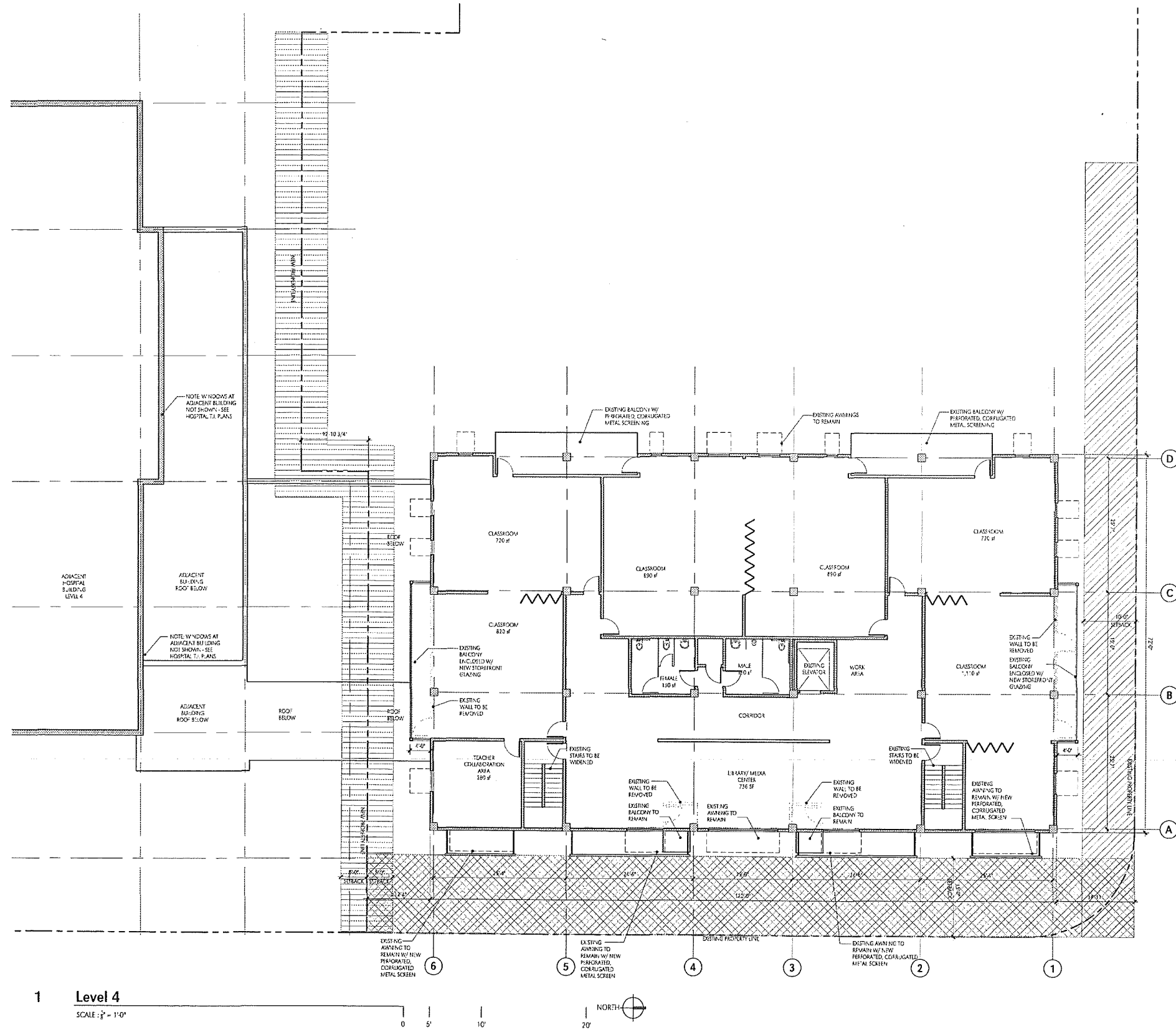
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09/26/12	COMPLETENESS CHECK
10/07/12	MR. SUBMITTAL
11/16/12	CLP SUBMITTAL
07/22/13	CLP RESUBMITTAL
02/19/13	CLP RESUBMITTAL

PROPOSED
SCHOOL
LEVEL 4



1 Level 4
SCALE: 1/4" = 1'-0"

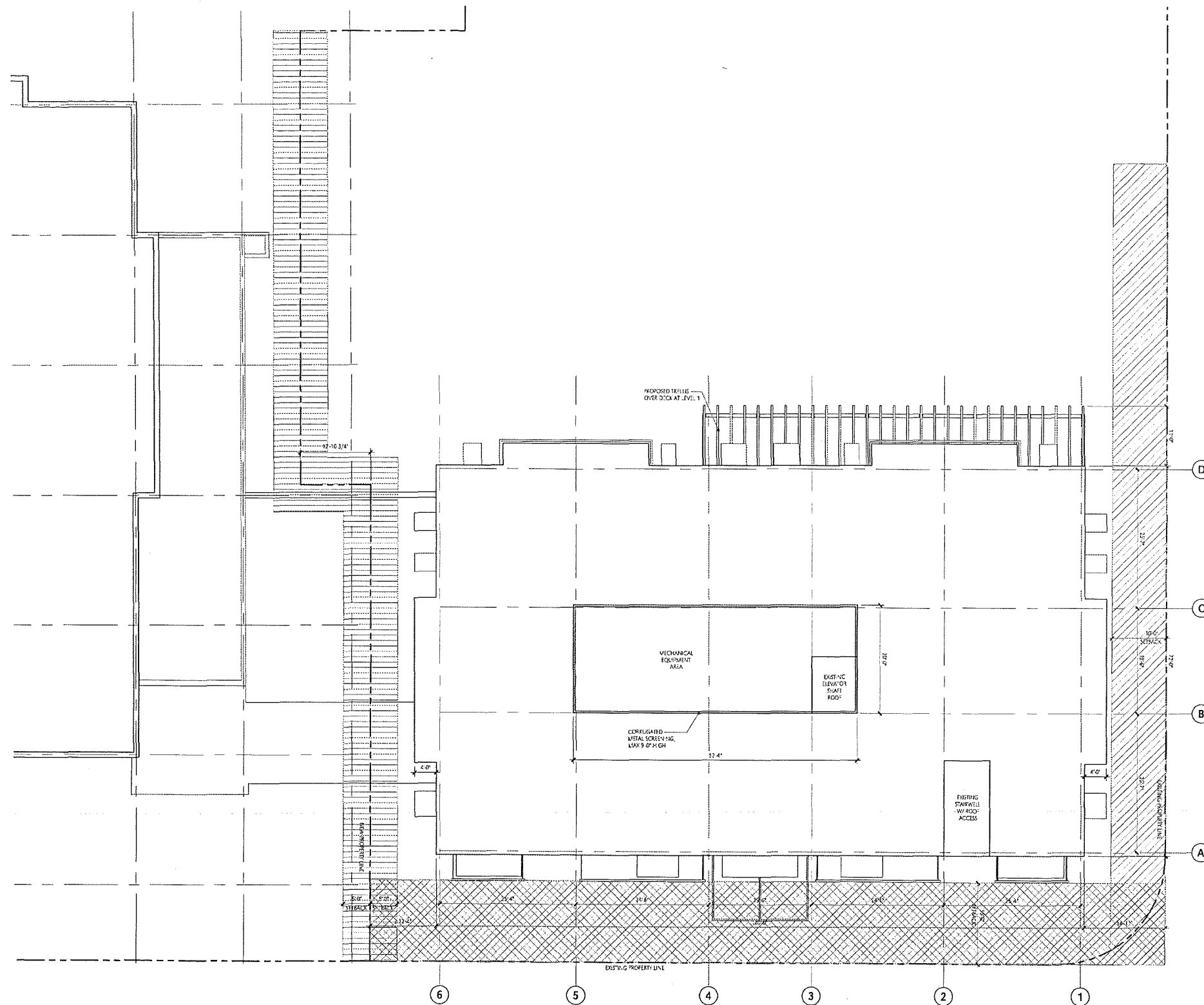
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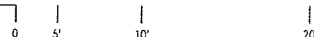
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10/01/13 PER SUBMITTAL
11/14/13 CUP SUBMITTAL
01/22/14 CUP RESUBMITTAL
02/19/14 CUP RESUBMITTAL

PROPOSED
SCHOOL
ROOF LEVEL



1 Roof Level

SCALE: 1/8" = 1'-0"



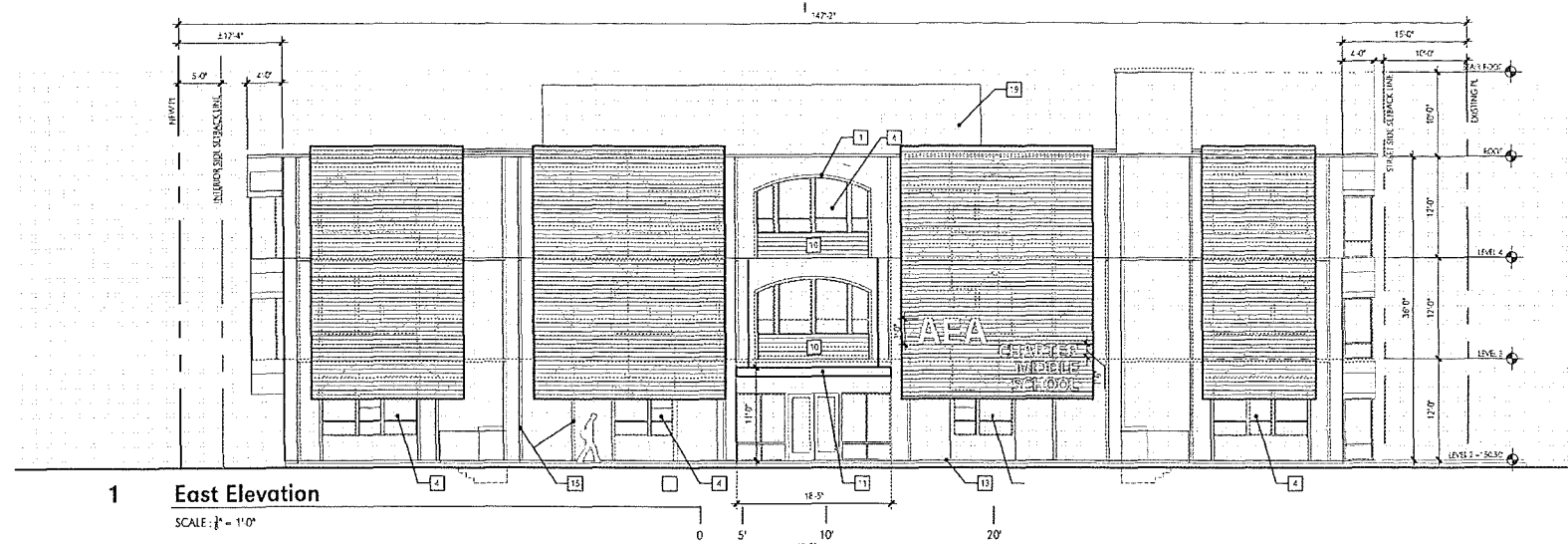
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Elevation Notes

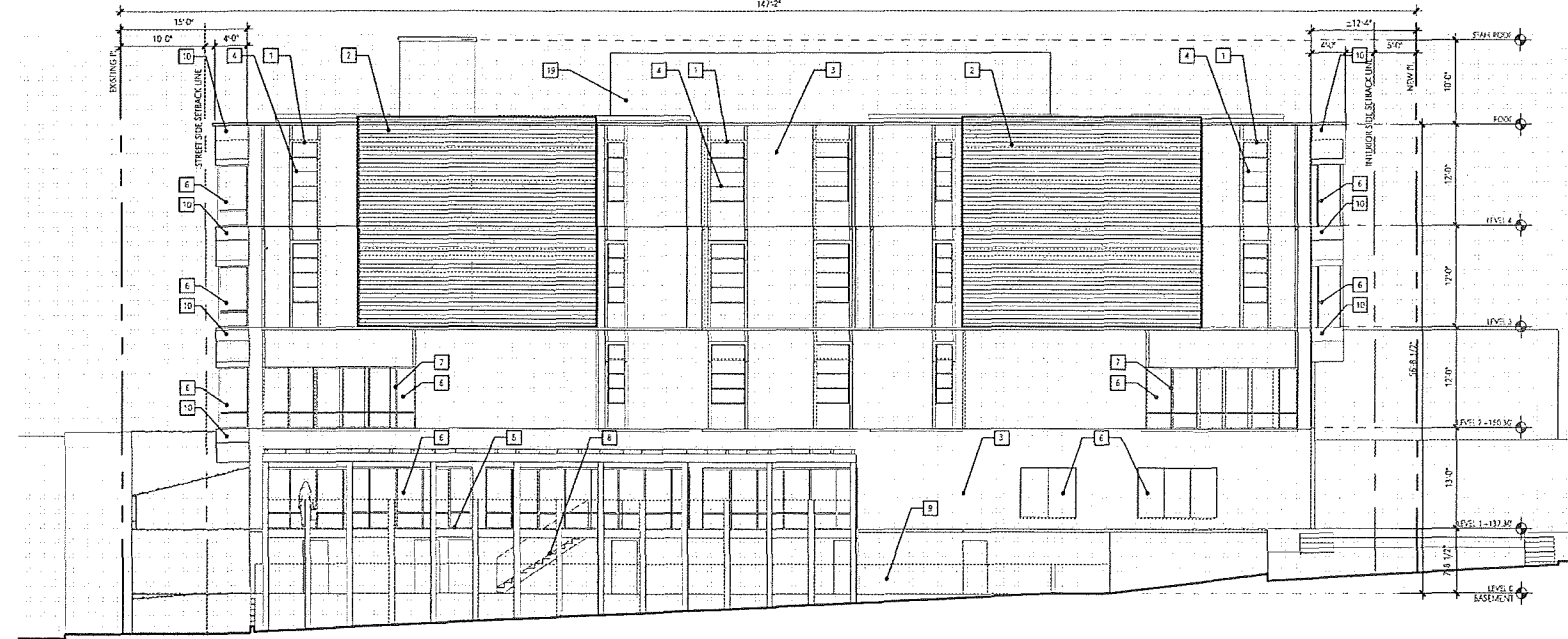
1. ALL BUILDING HEIGHT DIMENSIONS SHOWN REFLECT EXISTING HEIGHTS.

Key Notes

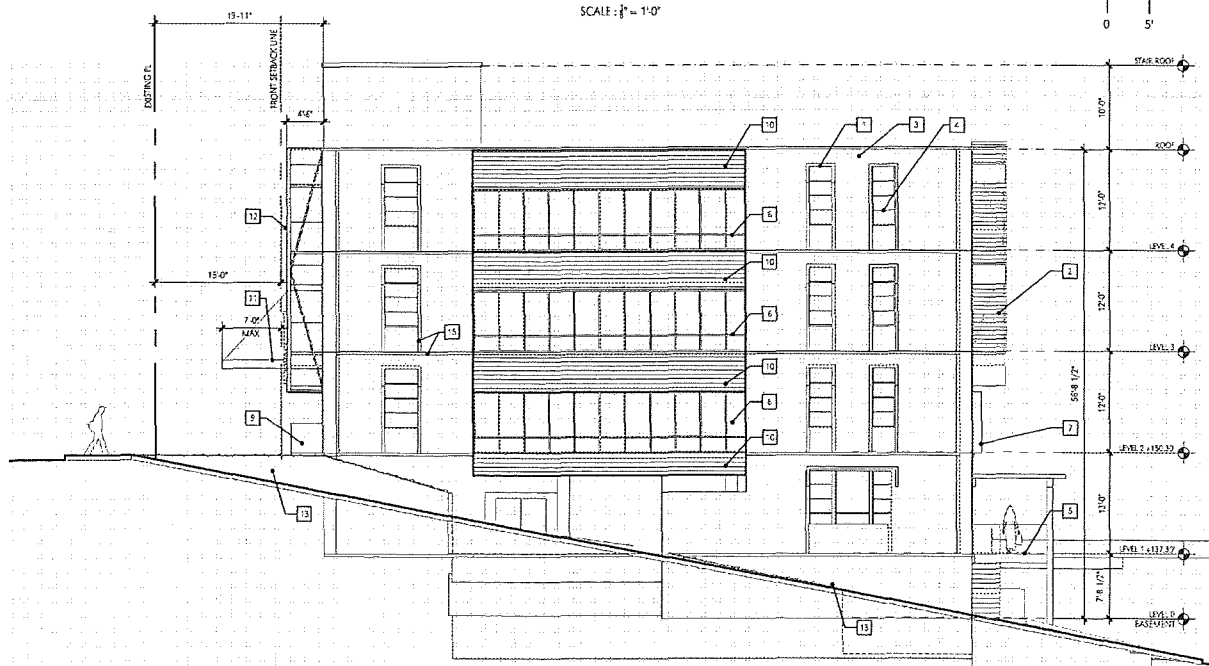
- 1 (E) AWNING TO REMAIN. UNDERSIDE PAINTED WITH ACCENT COLOR
- 2 (E) BALCONIES WITH PERFORATED, CORRUGATED METAL SCREENING. COLOR: METALLIC SILVER
- 3 (E) PLASTER WALL. PAINTED. COLOR: TBD
- 4 (E) WINDOW OPENINGS WITH UPGRADED WINDOW SYSTEM & GLAZING
- 5 (E) 2" DICK & GUARDRAIL WITH TRELLIS ABOVE
- 6 (E) ALUMINUM STOREFRONT WINDOW. COLOR: METALLIC SILVER
- 7 (E) VERT CAL HN METAL LOUVERS
- 8 (E) STAIR TO REMAIN
- 9 (E) GUARDRAIL TO REMAIN
- 10 (E) METAL PANEL CLADDING. COLOR: METALLIC SILVER
- 11 (E) AWNING AT MAIN ENTRY
- 12 (E) PERFORATED, CORRUGATED METAL SCREENING ON FRAMEWORK. INSTALLED IN FRONT OF EXISTING AWNINGS & BALCONIES. COLOR: METALLIC SILVER
- 13 (E) PLANTING AREA FOR LANDSCAPE
- 14 (E) DASHED LINE INDICATES BASEMENT BEYOND
- 15 (E) PLASTER REVEAL
- 16 (E) CONNECTION AT LEVEL 2 TO ADJACENT BUILDING TO BE SEPARATED BY ADJACENT BUILDING OWNER
- 17 (E) CONNECTION AT LEVEL 1 TO ADJACENT BUILDING TO BE SEPARATED BY ADJACENT BUILDING OWNER
- 18 (E) BASEMENT OF ADJACENT BUILDING. NO ACCESS FROM PROPOSED SCHOOL
- 19 (E) ROOFTOP MECHANICAL EQUIPMENT W/ CORRUGATED METAL SCREENING. COLOR: METALLIC SILVER



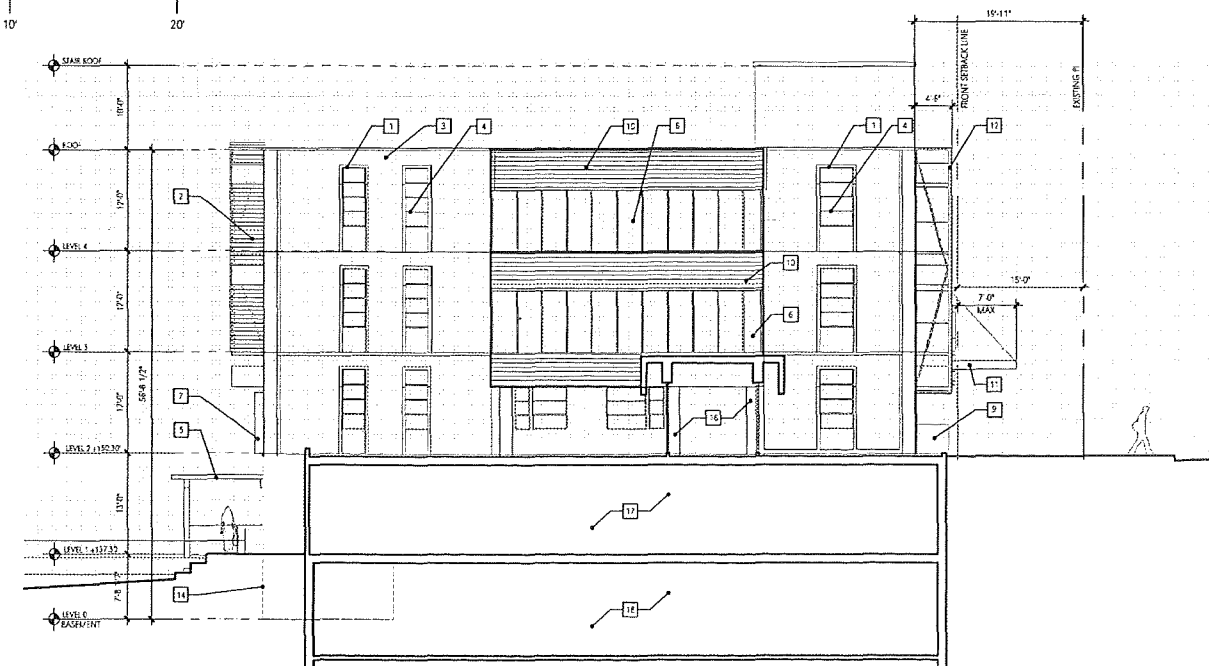
1 East Elevation
SCALE: 1/8" = 1'-0"



2 West Elevation
SCALE: 1/8" = 1'-0"



3 North Elevation
SCALE: 1/8" = 1'-0"



4 South Elevation
SCALE: 1/8" = 1'-0"

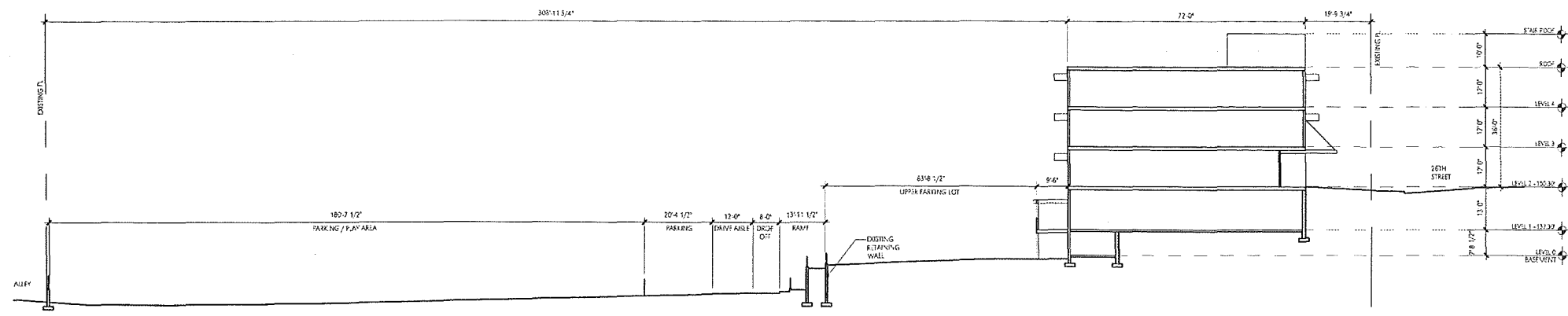
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458 26th Street, San Diego CA 92102

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02/15/13 CLIP RESUBMITAL

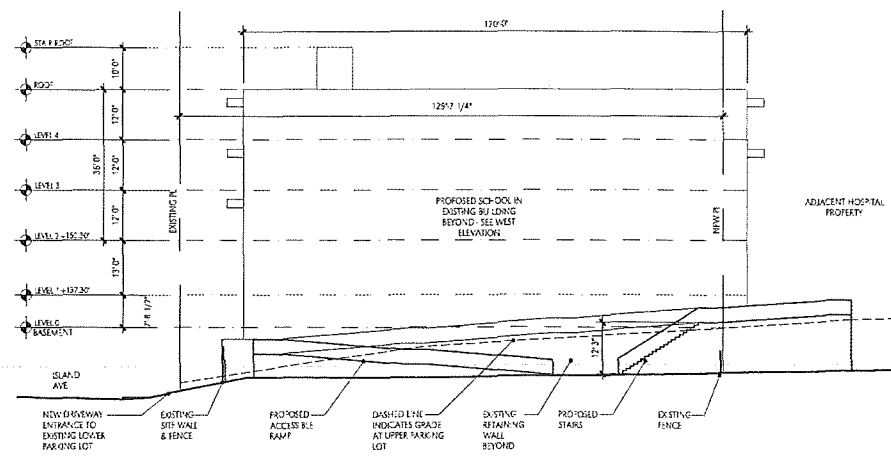
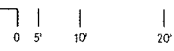
PROPOSED
SCHOOL
ELEVATIONS

STRUCTURAL AND GLAZING CONSULTING SERVICES WITH THIS WORK ARE CONDUCTED UNDER THE LAWS OF THE STATE OF CALIFORNIA. THE ARCHITECT SHALL MAINTAIN THE EXCLUSIVE RIGHT OF REPRESENTATION, DESIGN OR ARCHITECTURE OF THIS WORK.



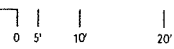
1 Site Section East-West

SCALE: 1/16" = 1'-0"



2 Site Section North-South

SCALE: 1/16" = 1'-0"



Albert Einstein Academy Charter Middle School

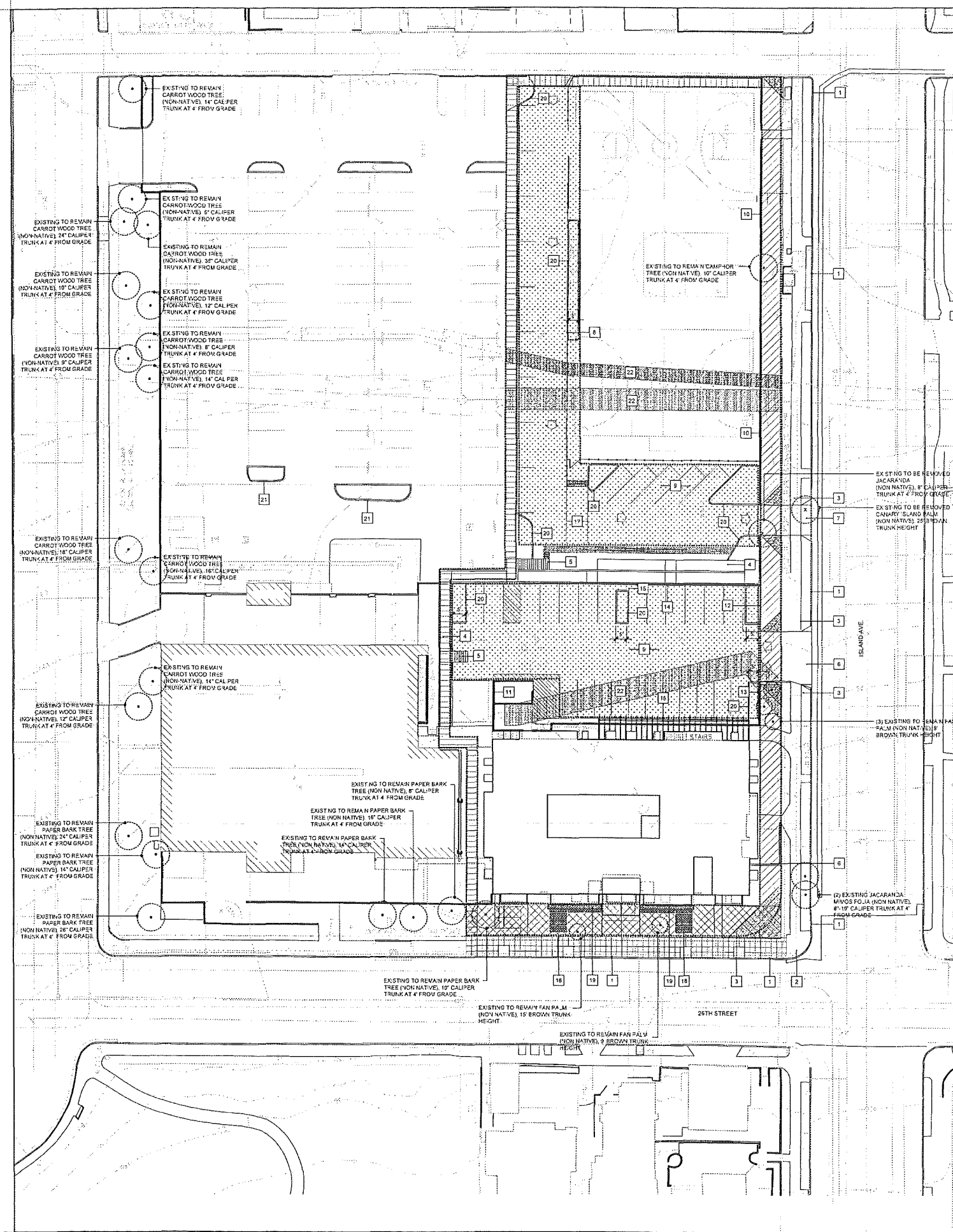
458 26th Street, San Diego CA 92102

Project 12111
PTS 296407

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10/01/12 N/A SUBMITTAL
11/14/12 CUP SUBMITTAL
01/22/13 CUP RESUBMITTAL
02/15/13 CUP RESUBMITTAL

PROPOSED
SCHOOL
SITE SECTIONS

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LANDSCAPE AREA CALCULATIONS

STREET TREES	
ISLAND AVE	
Length of Street Frontage	390 L.F.
Street Trees Required	13
Street Trees Provided	13
26TH STREET	
Length of Street Frontage	140 L.F.
Street Trees Required	5
Street Trees Provided	5
STREET YARD (ALL ZONES)	
Total Area	4316 S.F.
Plant Area Required	1,073 S.F.
Plant Area Provided	3170 S.F.
Plant Area as Hardscape	0 S.F.
Plant Points Required	216
Plant Points provided (proposed plant material)	125
Plant Points provided (existing tree to remain)	518
Points achieved w/ trees	159
REMAINING YARD	
Total Area	2730 S.F.
Plant Area Required	619 S.F.
Plant Area Provided	0 S.F.
Plant Points Required	137
Plant Points provided (proposed plant material)	0
Points achieved w/ trees	0
VEHICLE USE AREA	
Total Area	17247 S.F.
Planting Area Required	517 S.F.
Planting Area Provided	1500
Plant Points Required	517
Plant Points Provided	525
Points Achieved w/Trees	500

AREA CALCULATION LEGEND

SYMBOL	DESCRIPTION	AREA
[Hatched Box]	STREET YARD (ISLAND AVE)	3,590 SF
[Hatched Box]	STREET YARD (26TH STREET)	715 SF
[Hatched Box]	REMAINING YARD	2,730 SF
[Hatched Box]	VEHICLE USE AREA	17,247 SF

PLANT POINT CALCULATION NOTE:

PLANT POINTS ARE CALCULATED IN ACCORDANCE WITH SAN DIEGO MUNICIPAL CODE, SECTION 142-044 AND TABLE 142-04C 142-04D. PLANT MATERIAL IS FIRST QUANTIFIED BASED ON SIZE AND LOCATION, THEN A NUMERICAL POINT SYSTEM IS APPLIED TO EACH PLANT RELATIVE TO THE POINT SCHEDULE IN TABLE 142-04B.

ADDITIONAL NOTES: ALL LANDSCAPE AND IRRIGATION PLANS SHALL CONFORM WITH THE CITY OF SAN DIEGO'S LAND DEVELOPMENT CODE, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS, AND ALL OTHER CITY AND REGIONAL STANDARDS.

- ALL LANDSCAPE AREAS NOT CONTAINING TREES SHALL HAVE A MINIMUM FINISHED DIMENSION OF 3 FEET (WIDTH) MEASURED FROM THE INSIDE FACE OF PAVEMENT.
- EACH TREE SHALL BE PLANTED IN AN AIR AND WATER PERMEABLE PLANTING AREA OF AT LEAST 40 SQUARE FEET WITH A MINIMUM FINISHED DIMENSION (WIDTH) OF 5 FEET MEASURED FROM THE INSIDE FACE OF PAVEMENT. THE PLANTING AREA SHALL BE UNENCUMBERED BY UTILITIES.
- ALL IRRIGATION DESIGN AND INSTALLATION SHALL CONFORM WITH THE LANDSCAPE STANDARDS. IT IS THE RESPONSIBILITY OF THE DESIGNER TO BE FAMILIAR WITH AND IMPLEMENT THE LANDSCAPE STANDARDS.
- ANY CHANGES TO THE SITE AND/OR LANDSCAPE PLANS SHALL BE SUBMITTED TO THE CITY LANDSCAPE PLANNER FOR REVIEW AND APPROVAL PRIOR TO PROCEEDING.
- ANY DISCREPANCY OR CONFLICTS IN DIMENSIONS, LANDSCAPE AREA OR MATERIAL SHALL BE BROUGHT TO THE ATTENTION OF THE CITY LANDSCAPE PLANNER, THE OWNERS, AND THE DESIGNER/ARCHITECT PRIOR TO INSTALLATION.
- TREES REQUIRED BY THIS DIVISION SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET WITHIN 4 YEARS OF PLANTING.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED WITH A RAIN SHUT-OFF DEVICE.
- THE IRRIGATION SYSTEM SHALL BE INSTALLED WITH AN ET BASED IRRIGATION CONTROLLER SCHEDULED TO WATER PLANT MATERIAL BASED ON ACTUAL PLANT WATER NEEDS AS OPPOSED TO WATERING BASED ON A REGULAR PRESET SCHEDULE.
- NO TREES OR SHRUBS EXCEEDING THREE FEET IN HEIGHT AT MATURITY TO BE INSTALLED WITHIN TEN FEET OF ANY PUBLIC SEWER FACILITIES OR IN THE PUBLIC EASEMENT.

MINIMUM TREE SEPARATION DISTANCE

IMPROVEMENT	MINIMUM DISTANCE TO STREET TREE
TRAFFIC SIGNALS (STOP SIGN)	20 FEET
UNDERGROUND UTILITY LINES	5 FEET (10' FOR SEWER)
ABOVE GROUND UTILITY STRUCTURES	10 FEET
DRIVEWAY (ENTRIES)	10 FEET
INTERSECTIONS	25 FEET
INTERSECTING CURB LINES OF TWO STREETS	25 FEET
SEWER LINES	10 FEET

SITE PLAN LEGEND:

- EXISTING CURB, GUTTER, AND SIDEWALK, TO REMAIN
- EXISTING CURB RAMP, TO REMAIN
- VISIBILITY TRIANGLE PER SDMC 113 0273, TYP.
- PROPOSED ACCESSIBLE RAMP W/ 1:12 MAX. SLOPE
- PROPOSED STAIRS
- EXISTING CONC. DRIVE APRON, TO REMAIN
- PROPOSED CONC. DRIVE APRON PER CITY STANDARDS
- PROPOSED FENCE, 5'-6" HIGH
- EXISTING PARKING LOT (PROPOSED RE-STRIPING)
- EXISTING STEPPED CMU SITE WALL W/ METAL FENCE ABOVE, TYP., TO REMAIN
- EXISTING CMU UTILITY ENCLOSURE, TO REMAIN
- PROPOSED 36" HT. PLANTER WALL
- EXISTING SITE RETAINING WALL, TO REMAIN
- EXISTING SITE RETAINING WALL W/ METAL GUARDRAIL ABOVE, TO REMAIN
- EXISTING POLE MOUNTED LIGHT STANDARD, TO REMAIN
- 6" HT. RAISED CONCRETE WHEEL STOPS
- PROPOSED PEDESTRIAN CROSSWALK ZONE
- RECYCLED CONCRETE SLAB STEPPING STONES
- 24" HT. RECYCLED CONCRETE SLAB SEATWALL/BENCH
- 6" HT. RAISED CONCRETE CURB
- PROPOSED NEW PLANTERS IN EXISTING PARKING LOT, WITH RAISED CONCRETE CURB (40 S.F. OR 5' MIN. WIDTH)
- EXISTING UTILITY EASEMENTS (TO REMAIN)

- EXISTING TREE, TO REMAIN IN PLACE
- EXISTING TREE, TO BE REMOVED

LONG TERM MAINTENANCE

ALL REQUIRED LANDSCAPE AREAS TO BE MAINTAINED BY OWNER. THE LANDSCAPED AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. LANDSCAPE AS PART OF THE PROJECT SHALL BE MAINTAINED AND IRRIGATED FOR THE LIFE OF THE PERMIT.

ROOT BARRIER NOTE

NON-DEGRADABLE ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW STREET TREES PER LDC 142-040.

DISTURBED AREA NOTE

ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY RE-VEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL (142-0411(A)).

INVASIVE PLANT NOTE

ALL EXISTING INVASIVE PLANT SPECIES, INCLUDING VEGETATIVE PARTS AND ROOT SYSTEMS, SHALL BE COMPLETELY REMOVED FROM THE PREMISES WHEN THE COMBINATION OF SPECIES, TYPE, LOCATION, AND SURROUNDING ENVIRONMENTAL CONDITIONS PROVIDES A MEANS FOR THE SPECIES TO INVADE OTHER AREAS OF NATIVE PLANT MATERIAL THAT ARE ON OR OFF OF THE PREMISES.

UTILITY SCREENING

ALL WATER, SEWER, AND GAS UTILITIES SHALL BE EFFECTIVELY SCREENED WITH PLANT MATERIAL AT THE TIME OF PLANT INSTALLATION.

PLANT MATERIAL NEAR SEWER LINES

NO TREE OR SHRUB EXCEEDING 9' IN HEIGHT SHALL BE PLANTED WITHIN 10' OF ANY PUBLIC SEWER FACILITIES.

MULCHING NOTE

ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING REVEGETATION AND AREAS PLANTED WITH GROUNDCOVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.

DESIGN STATEMENT

THE LANDSCAPE DESIGN INTENT OF THE ASA MIDDLE SCHOOL DEVELOPMENT IS TO DEVELOP A CREATIVE, COMFORTABLE EXTERIOR ENVIRONMENT FOR THE SCHOOL FACULTY AND STUDENTS AS AN EXTENSION OF THEIR INTERIOR SPACES UTILIZING BRIGHT, TOLERANT, ENVIRONMENTALLY SENSITIVE PLANT MATERIAL AND BUILDING PRODUCTS.

THE EXISTING LOWER PARKING LOT SHALL BE RE-STRIPED AND PARTIALLY CONVERTED TO A MULTIPURPOSE SPORT FIELD.

ACCESSIBLE PATH SYSTEM SHALL BE CREATED TO IMPROVE THE ACCESSIBILITY OF THE SITE FOR ALL SITE USERS.

ADDITIONAL NOTES

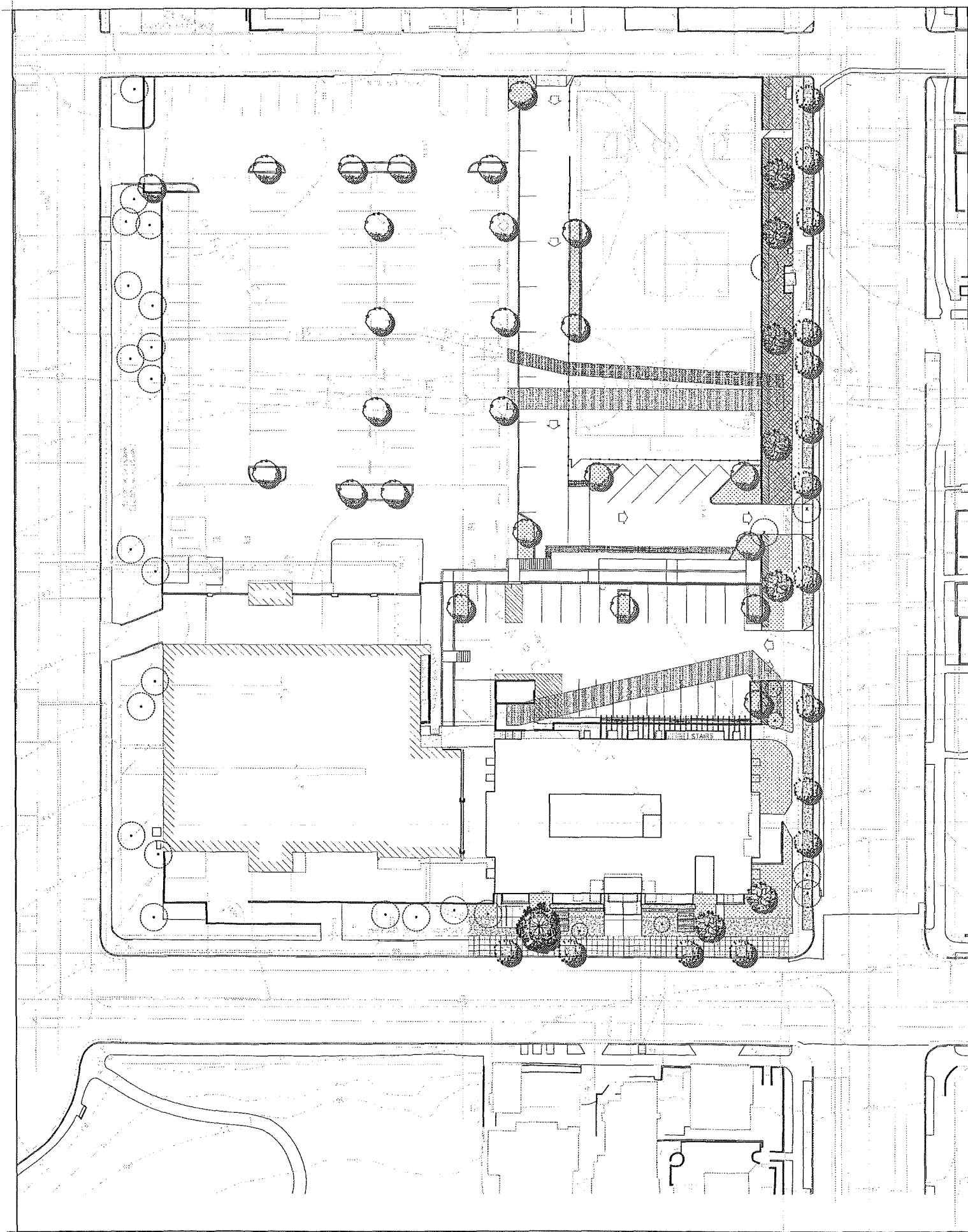
ANY EXPOSED RETAINING WALLS ALONG THE RIGHT-OF-WAY OR DRIVEWAYS SHOULD BE PLANTED WITH CURB GRASSES AND TREATED WITH ANTI-SHRAFFIT TREATMENT THAT WILL COVER THE WALLS.

THE EXISTING PEDESTRIAN SCALE, HISTORIC STREETLIGHT STANDARDS LOCATED ON THE SITE SHOULD REMAIN, AND ANY NEW REQUIRED STREETLIGHTS SHOULD BE PROVIDED IN THE SAME HISTORIC STYLE LIGHT STANDARD.

AGENCY SUBMITTAL #3, 01-22-13 - NOT FOR CONSTRUCTION
 ALBERT EINSTEIN ACADEMY CHARTER MIDDLE SCHOOL
 1530 26TH STREET
 SAN DIEGO, CA 92108
 DATE: 04/17/13
 SCALE: 1"=20'-0"
 SHEET NO.: 29
 OF: 28
 DWA
 LANDSCAPE DEVELOPMENT PLAN

LANDSCAPE DEVELOPMENT PLAN

SCALE 1"=20'-0"



CANDIDATE PLANT MATERIAL

TREES	DIMENSIONS	SIZE	FORM and FUNCTION
QUERCUS AGRIIFOLIA (COAST RED OAK)	30' SPREAD X 30' HEIGHT	36" BOX	BHCST
CECROPIUM HYBRID 'DESERT MUSEUM' (DESERT MUSEUM PALM DEERDE)	20' SPREAD X 25' HEIGHT	36" BOX	DAT
ACACIA STENOZYMA (SHOESTRING ACACIA)	30' SPREAD X 35' HEIGHT	36" BOX	BHCST
MELALEUCA SPP (PAPER BARK)	20' SPREAD X 30' HEIGHT	36" BOX	BHCST
OLEA EUROPAEA 'SWAN HILL' (FRUITLESS OLIVE)	20' SPREAD X 35' HEIGHT	36" BOX	BHCST
MELALEUCA ARILIFERA (BRACELET HONEYMYRTLE)	20' SPREAD X 25' HEIGHT	24" BOX	BHCST
JACARANDA MIMOSIFOLIA (JACARANDA)	30' SPREAD X 30' HEIGHT	24" BOX	DAT
TABESIMA WRETIQWISA (PINK TRUMPET TREE)	15' SPREAD X 15' HEIGHT	36" BOX	DAT

EVERGREEN ACCENT SHRUB	DIMENSIONS	SIZE
CYATHEA COOPERI (AUSTRALIAN TREE FERN)	6'-8" HT.	15 GAL
DROSERIA WIRGINATA (DRAGON PALM)	6'-8" HT.	15 GAL
ALOE SPP.	2'-8" HT.	5 GAL
AGAVE SPP.	2'-8" HT.	5 GAL
SALVA SPP.	2'-8" HT.	5 GAL
HETEROMELLES ARBUTIFOLIA	6'-8" HT.	5 GAL
ARELITUS SPP.	5'-8" HT.	5 GAL
MELALEUCA NERDOPHYLLA	6'-8" HT.	5 GAL
LEUCODERMIS SPP.	6'-8" HT.	5 GAL
LEUCODENDRON SPP.	5'-8" HT.	5 GAL
GREVILLEA SPP.	3'-8" HT.	5 GAL

EVERGREEN BORDER SHRUB/ACCENT SHRUB	DIMENSIONS	SIZE
MANDINA DOVEST CA. (DW. HEAVENLY BAMBOO)	2'-3" HT. 3' O.C.	50% 1 GAL/50% 5 GAL
PITISPORUM GRASS POLIUM (DWARF KANGI)	2' HT. 3' O.C.	50% 1 GAL/50% 5 GAL
PHORMIUM TENAX 'FLAM HOOP' (NEW ZEALAND FLAX)	2'-3" HT. 3' O.C.	50% 1 GAL/50% 5 GAL
ANGOSTEMMUM FLAVIUM (KANGAROO'S PAW)	3'-4" HT. 3' O.C.	50% 1 GAL/50% 5 GAL
LEUCOPHYLLA SPP. (SILVER BELL)	2'-3" HT. 3' O.C.	50% 1 GAL/50% 5 GAL
MYRTUS COMMUNIS COMPACTA (DWARF MYRTLE)	2' HT. 3' O.C.	50% 1 GAL/50% 5 GAL
EUCALYPTUS SPP. (EUCALYPTUS)	2'-3" HT. 3' O.C.	50% 1 GAL/50% 5 GAL
BUNIA MICROPHYLLA (JAPANESE BONYWOOD)	3' HT. 3' O.C.	50% 1 GAL/50% 5 GAL
ROSMARINUS OFF. TUSCAN BLUE (UPRIGHT ROSEMARY)	3'-4" HT. 3' O.C.	50% 1 GAL/50% 5 GAL

EVERGREEN SCREENING SHRUB	DIMENSIONS	SIZE
DIPSOSA MACROCARPA (NATAL PLUM)	3'-4" HT. 6' O.C.	50% 5 GAL/50% 15 GAL
FELICIA SELDRAH (PINEAPPLE GUAVA)	6'-8" HT. 6' O.C.	50% 5 GAL/50% 15 GAL
GREYIA OCCIDENTALIS (LAVENDER STARFLOWER)	6'-8" HT. 6' O.C.	50% 5 GAL/50% 15 GAL
IGUSTRUM JAPONICUM TEXANUM (TEXAS PINE)	3'-4" HT. 6' O.C.	50% 5 GAL/50% 15 GAL
F. G. S. MITRA 'GREEN DEEP' (GREEN DEEP PINE)	3'-4" HT. 6' O.C.	50% 5 GAL/50% 15 GAL
PHOENIX ROSELEIN (PIGGY DATE PALM)	6' SPREAD	50% 5 GAL/50% 15 GAL

EVERGREEN GROUND COVER	DIMENSIONS	SIZE
FESTUCA OVINA 'G. AUCA' (BLUE FESCUE GRASS)	1' HT. 18" O.C.	50% 1 GAL/50% PLATS
LEUCOPHYLLA SPP. (SILVER BELL)	1' HT. 18" O.C.	50% 1 GAL/50% PLATS
MYOPORUM PARVIFOLIUM (GREENING MYOPORUM)	6" HT. 18" O.C.	50% 1 GAL/50% PLATS
SPENCER MANGROUSCAE (BLUE GRASS STICKS CEPLANT)	18" HT. 18" O.C.	50% 1 GAL/50% PLATS
HEUCHERA SPP. (CORAL BELLS)	18" HT. 7" O.C.	50% 1 GAL/50% PLATS
ALOE VARIEGATA (TIKEN ALOE)	1' HT. 18" O.C.	50% 1 GAL/50% PLATS
ECHINOPHYLLA SPP. (ECHINOPHYLLA)	6" HT. 18" O.C.	50% 1 GAL/50% PLATS

EVERGREEN VINE	DIMENSIONS	SIZE
SOLANORA MAXIMA (CUP OF GOLD VINE)		15 GAL

- EXISTING PLANT MATERIAL (TO REMAIN)
- DISCOMPOSED GRANITE OVER WEED CONTROL FABRIC
- AREA PLANTED WITH DENSELY INSTALLED EVERGREEN SPECIES THAT ACHIEVE A 10' VERTICAL HEIGHT OF 30 INCHES WITHIN 2 YEARS OF INSTALLATION. SEE EVERGREEN SCREENING SHRUBS ABOVE.

FORM AND FUNCTION ABBREVIATIONS
BHCST: BROAD HEADED CANOPY SHADE TREE
VAP: VERTICAL ACCENT PALM
EST: EVERGREEN SCREEN TREE
ESB: EVERGREEN BORDER SHRUB
ESS: VERTICAL EVERGREEN SCREENING SHRUB
EAS: EVERGREEN FLOWERING SHRUB
EPG: EVERGREEN FLOWERING GROUND COVER
EVV: EVERGREEN VERTICAL VINE
EAS: EVERGREEN ACCENT SUCCULENT
DAT: DECIDUOUS ACCENT TREE

WATER CONSERVATION STATEMENT

IN RECOGNITION OF WATER AS A LIMITED RESOURCE IN SOUTHERN CALIFORNIA, THE FOLLOWING MEASURES WILL BE UNDERTAKEN TO REDUCE THE PROJECT'S DEMAND ON THE CITY OF SAN DIEGO'S AVAILABLE WATER SUPPLY:

- THE IRRIGATION SYSTEM WILL BE AUTOMATIC AND WILL INCORPORATE LOW VOLUME SPRAY EMITTERS AND CONVENTIONAL LOW ANGLE SPRAY HEADS. GRIP IRRIGATION SYSTEMS MAY BE EMPLOYED WHERE CONSIDERED TO BE EFFECTIVE AND THE IRRIGATION VALVES SHALL BE SEGREGATED TO ALLOW FOR THE SYSTEM OPERATION IN RESPONSE TO ORIENTATION AND DIRECTION.
- IRrigation WILL BE RESTRICTED TO HIGH-YIELD STREET FRONT AREAS AND OTHER AREAS WHICH MAY RECEIVE SIGNIFICANT AMOUNTS OF USE AND ENJOYMENT BY THE USER'S. THE SCHEDULED IRRIGATION SHALL HAVE RELATIVE LOW WATER AND MAINTENANCE REQUIREMENTS.
- PLANT MATERIAL WILL BE SPECIFIED IN CONSIDERATION OF NORTH, SOUTH, EAST AND WEST EXPOSURES.
- SOIL WILL BE AMENDED AND PREPARED TO PROVIDE HEALTHY PLANT GROWTH AND EFFICIENCY AND TO PROVIDE FOR MAXIMUM WATER RETENTION AND PERCOLATION. PLANTER BEDS WILL BE 18 INCHES TO 24 INCHES DEEP AND SHALL BE DESIGNED TO REDUCE EVAPORATION FROM THE ROOT ZONES.
- AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR THE PROPOSED IRRIGATION. SOIL COVER AND MAINTENANCE OF THE VEGETATION ON THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT OF THE VEGETATION SELECTED.

NOTE: CONTRACTOR TO VERIFY DEPTH AND WIDTH OF EXISTING ELECTRICAL UTILITY CONDUIT TO ENSURE NO CONFLICT WITH PROPOSED STREET TREES AT 24TH STREET.

LANDSCAPE DEVELOPMENT PLANTING PLAN

SCALE: 1/8" = 1'-0"

AGENCY SUBMITTAL #3, 01.22.13 - NOT FOR CONSTRUCTION

ALBERT EINSTEIN ACADEMY CHARTER MIDDLE SCHOOL

155 30TH STREET

DATE: 04/13

SCALE: 1/8" = 1'-0"

LANDSCAPE DEVELOPMENT PLANTING PLAN

DATE: 04/13

SCALE: 1/8" = 1'-0"

ALL LANDSCAPE MATERIALS AND PLANTS SHOWN IN THIS DRAWING ARE THE PROPERTY OF HOLLAND LANDSCAPE ARCHITECTURE, INC. (HLLA) AND SHALL BE QUANTIFIED AND DELIVERED FOR USE ON AND BY THE PROJECT WITHIN THE SPECIFIED PROJECT SCHEDULE. HLLA SHALL BE USED WITHOUT THE WRITTEN PERMISSION OF HLLA. WRITTEN PERMISSIONS OBTAINED FROM HLLA SHALL BE PROVIDED TO ALL OTHERS. CONTRACTORS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE FIELD. HEAD PLANETS BE NOTIFIED OF ALL VIOLATIONS FROM THE DRAWING AND CONDITIONS SHOWN BY THESE DRAWINGS.

PLANNING COMMISSION
RESOLUTION NO. _____-PC-1
CONDITIONAL USE PERMIT NO. 1100117
SITE DEVELOPMENT PERMIT NO. 1100118
CNRI/ALBERT EINSTEIN ACADEMY - PROJECT NO. 296407 [MMRP]
[CALIFORNIA NEUROPSYCHOPHARMACOLOGY CLINICAL
RESEARCH INSTITUTE BUILDING]
AMENDMENT TO CONDITIONAL USE PERMIT NO. 266-PC

WHEREAS, 446 26TH STREET HOLDINGS, LLC, a California Limited Liability Company, Owner and Permittee, filed an application with the City of San Diego for a permit to maintain an existing general hospital, which includes the separation of the existing two hospital buildings on the property and a lot line adjustment (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1100117 and 1100118), on portions of a 1.64-acre site;

WHEREAS, the project site is located at 446 26th Street and 2522 J Street in the MF-3000 and CSR-2-R-1500 Zones of the Southeastern San Diego Planned District (SESDPD) within the Southeastern San Diego (SESD) Community Plan, the SESD Special Character MF Neighborhood overlay Zone (Grant Hill), the Federal Aviation Administration (FAA) Part 77 Notification Area for San Diego International Airport (SDIA) and North Island NAS, Transit Area Overlay Zone, and Council District 8;

WHEREAS, the project site is legally described as: the southern portion of Parcel 1 of Parcel Map No. 701, City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County on January 3, 1972; Lot 29 and 30 in Block 21 of L.W. Kimball Subdivision of the northwest quarter of Pueblo Lot 1154, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 56, filed in the Office of the County Recorder of San Diego County on March 31, 1873; Also all that portion of the north 10.00 feet of "J" Street lying south of the adjoining said Lot 30, as vacated and closed to public use on November 22, 1926, by Resolution No. 39740 of the Common Council of the City of San Diego, excepting therefrom the west 92.00 feet thereof;

WHEREAS, on August 15, 2013, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 1100117 and Site Development Permit No. 1100118 an amendment to Conditional Use Permit No. 266-PC, pursuant to the Land Development Code of the City of San Diego;
NOW, THEREFORE

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated August 15, 2013.

FINDINGS:

I. Conditional Use Permit - Section §126.0305

- 1. The proposed development will not adversely affect the applicable land use plan;**

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by Conditional Use Permit (CUP) No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the Southeastern San Diego Planned District (SESDDP) within the Southeastern San Diego Community Plan (SESDCP), and the Southeastern San Diego (SESD) Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution.

The community plan designates the site for Institutional-Hospital land use. Hospitals are allowed in the zone through a CUP. The SESDCP Neighborhood Element - Grant Hill Objective 5 recommends maintaining a hospital use at the site, located at 446 26th Street. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The City of San Diego conducted an environmental review of this site, including a historical assessment for the two hospital buildings. A Mitigated Negative Declaration (MND) No. 296407 has been prepared for the project in accordance with California Environmental Quality Act (CEQA) guidelines, which addresses potential impacts to Transportation/Circulation. A Mitigation, Monitoring, and Reporting Program (MMRP) would be implemented with this project to reduce the potential impacts to a level below significance.

The permit for the project does include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the Land Development Code (LDC) in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in CUP No. 1100117 and Site Development Permit (SDP) No. 1100118, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution.

The redistribution of the lots would be done through a lot line adjustment and the recordation of a Lot Line Adjustment Parcel Map prior to the issuance of any building permit has been made a condition of development permit.

The site is within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) and the development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). To maintain the existing general hospital, requires deviations to following development regulations:

Side Yard Setback- A deviation from LDC Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard, where a 5-foot interior side yard setback is required. This deviation is to allow for the separation of the existing two hospital buildings and the redistribution of the two legal lots. The new interior property line will be located in the middle of two fire separation/party walls running the full length of the 2-story corridor and basement, which connects the two hospital buildings together.

Floor Area Ratio- A deviation from LDC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 1.10 on the site at 446 26th Street, where a 0.50 FAR is permitted. The existing hospital building was constructed in 1973 and is proposing no increase to the existing Gross Floor Area.

Signage- A deviation from SDMC Section 142.1265 to allow for existing general hospital signage to remain (monument sign and wall signs). This deviation is to allow for the existing signage to exceed the one (1) square foot allotment of signage allowed within the SF-5000 Zone.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the existing and proposed property configuration with its varying topographic conditions, the existing signage, and the surrounding development. The proposed deviations have been determined to be appropriate for this location and will result in a more desirable project that efficiently utilizes the site and to achieve the revitalization, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the LDC.

4. The proposed use is appropriate at the proposed location.

The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street. The proposed project is located within the Grant Hill neighborhood of the Southeastern San Diego Community Plan area. The site is designated for Institutional-Hospital land use in the community plan. Hospitals are allowed in the zone through a CUP. The SESDCP Neighborhood Element - Grant Hill Objective 5 recommends maintaining a hospital use at the site, located at 446 26th Street. Therefore, the proposed use is appropriate at this location.

II. Site Development Permit - Section §126.0504

A. Findings for all Site Development Permits

1. The proposed development will not adversely affect the applicable land use plan;

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by Conditional Use Permit (CUP) No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the SESDPD within the SESDCP, and the SESD Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution.

The community plan designates the site for Institutional-Hospital land use. Hospitals are allowed in the zone through a CUP. The SESDCP Neighborhood Element - Grant Hill Objective 5 recommends maintaining a hospital use at the site, located at 446 26th Street. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The City of San Diego conducted an environmental review of this site, including a historical assessment for the two hospital buildings. A MND No. 296407 has been prepared for the project in accordance with CEQA guidelines, which addresses potential impacts to Transportation/ Circulation. A MMRP would be implemented with this project to reduce the potential impacts to a level below significance.

The permit for the project does include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in CUP No. 1100117 and SDP No. 1100118, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution.

The redistribution of the lots would be done through a lot line adjustment and the recordation of a Lot Line Adjustment Parcel Map prior to the issuance of any building permit has been made a condition of development permit.

The site is within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) and the development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). To maintain the existing general hospital, requires deviations to following development regulations:

Side Yard Setback- A deviation from LDC Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard, where a 5-foot interior side yard setback is required. This deviation is to allow for the separation of the existing two hospital buildings and the redistribution of the two legal lots. The new interior property line will be located in the middle of two fire separation/party walls running the full length of the 2-story corridor and basement, which connects the two hospital buildings together.

Floor Area Ratio- A deviation from LDC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 1.10 on the site at 446 26th Street, where a 0.50 FAR is permitted. The existing hospital building was constructed in 1973 and is proposing no increase to the existing Gross Floor Area.

Signage- A deviation from SDMC Section 142.1265 to allow for existing general hospital signage to remain (monument sign and wall signs). This deviation is to allow for the existing signage to exceed the one (1) square foot allotment of signage allowed within the SF-5000 Zone.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the existing and proposed property configuration with its varying topographic conditions, the existing signage, and the surrounding development. The proposed deviations have been determined to be appropriate for this location and will result in a more desirable project that efficiently utilizes the site and to achieve the revitalization, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the LDC.

M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings.

1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants;

The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution. As a component of the proposed charter middle school building, the project would achieve a Leadership in Energy and Environmental Design (LEED) Silver level certification. The overall proposed development to reuse of one of the existing buildings and implementing sustainable design features will materially assist in reducing the overall impacts associated with fossil fuel energy use by the two existing buildings and its occupants.

2. The development will not be inconsistent with the purpose of the underlying zone; and

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the SESDPD within the SESDCP, and the SESD Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution.

The community plan designates the site for Institutional-Hospital land use. Hospitals are allowed in the zone through a CUP. The SESDCP Neighborhood Element - Grant Hill Objective 5 recommends maintaining a hospital use at the site, located at 446 26th Street. Therefore, the proposed development is consistent with the purpose of the underlying zone.

3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution.

The redistribution of the lots would be done through a lot line adjustment and the recordation of a Lot Line Adjustment Parcel Map prior to the issuance of any building permit has been made a condition of development permit.

The site is within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) and the development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). To maintain the existing general hospital, requires deviations to following development regulations:

Side Yard Setback- A deviation from LDC Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard, where a 5-foot interior side yard setback is required. This deviation is to allow for the separation of the existing two hospital buildings and the redistribution of the two legal lots. The new interior property line will be located in the middle of two fire separation/party walls running the full length of the 2-story corridor and basement, which connects the two hospital buildings together.

Floor Area Ratio- A deviation from LDC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 1.10 on the site at 446 26th Street, where a 0.50 FAR is permitted. The existing

hospital building was constructed in 1973 and is proposing no increase to the existing Gross Floor Area.

Signage- A deviation from SDMC Section 142.1265 to allow for existing general hospital signage to remain (monument sign and wall signs). This deviation is to allow for the existing signage to exceed the one (1) square foot allotment of signage allowed within the SF-5000 Zone.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the existing and proposed property configuration with its varying topographic conditions, the existing signage, and the surrounding development. The proposed deviations have been determined to be appropriate for this location and will result in a more desirable project that efficiently utilizes the site and to achieve the revitalization, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the LDC.

III. Southeastern San Diego (PDO) - Section §1519.0202(c)

1. The proposed use and project design meet the purpose and intent of the Southeastern San Diego Planned District Ordinance, comply with the recommendations of the Southeastern San Diego Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council;

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the SESDPD within the SESDCP, and the SESD Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution.

The Southeastern San Diego Community Plan Neighborhood Element - Grant Hill Objective 5 recommends maintaining a hospital use at the site, located at 446 26th Street, and hospitals are allowed in the zone through a CUP. The proposed project is consistent with the goals of the General Plan Urban Design; Public Facilities, Services and Safety; and meets the broad objectives of the SESDCP for maintain the existing hospital facility. Therefore, the proposed development will not adversely affect the General Plan or other applicable plans adopted by the City Council.

2. The proposed development shall be compatible with existing and planned land use on adjoining properties and shall not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community shall be achieved as far as practicable;

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the SESDPD within the SESDCP, and the SESD Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The development to the north, west and south consists of single-family and multi-family dwelling units, and the development to the east consists of single-family and multi-family dwelling units and the Grant Hill Park (a City park). The properties to the north, east, and south are zoned MF-3000 in the SESDPD and are within the Southeastern San Diego Special Character MF Neighborhood Overlay Zone (Grant Hill), and the community plan designates the sites for Residential land use (10-15 dwelling units per acre). The properties to the west are zoned CSR-2-R-1500 in the SESDPD and community plan designates the sites for Multiple Use (Residential/Commercial), which allows for a residential density up to 15 dwelling units per acre.

The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution. The community plan designates the site for Institutional-Hospital land use. Hospitals are allowed in the zone through a CUP. The SESDCP Neighborhood Element - Grant Hill Objective 5 recommends maintaining a hospital use at the site, located at 446 26th Street. Therefore, the proposed development is compatible with existing and planned land use on adjoining properties and does not constitute a disruptive element to the neighborhood and community.

3. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity; and

The City of San Diego conducted an environmental review of this site, including a historical assessment for the two hospital buildings. A MND No. 296407 has been prepared for the project in accordance with CEQA guidelines, which addresses potential impacts to Transportation/ Circulation. A MMRP would be implemented with this project to reduce the potential impacts to a level below significance.

The permit for the project does include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect

for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in CUP No. 1100117 and SDP No. 1100118, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

4. The proposed use will comply with the relevant regulations of the Municipal Code.

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The proposed development is to allow for the continued operation of an existing general hospital located at 446 26th Street, which includes separating the existing two hospital buildings and redistribution of the two legal lots. A change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school is under a separate permit and resolution.

The redistribution of the lots would be done through a lot line adjustment and the recordation of a Lot Line Adjustment Parcel Map prior to the issuance of any building permit has been made a condition of development permit.

The site is within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) and the development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). To maintain the existing general hospital, requires deviations to following development regulations:

Side Yard Setback- A deviation from LDC Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard, where a 5-foot interior side yard setback is required. This deviation is to allow for the separation of the existing two hospital buildings and the redistribution of the two legal lots. The new interior property line will be located in the middle of two fire separation/party walls running the full length of the 2-story corridor and basement, which connects the two hospital buildings together.

Floor Area Ratio- A deviation from LDC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 1.10 on the site at 446 26th Street, where a 0.50 FAR is permitted. The existing hospital building was constructed in 1973 and is proposing no increase to the existing Gross Floor Area.

Signage- A deviation from SDMC Section 142.1265 to allow for existing general hospital signage to remain (monument sign and wall signs). This deviation is to allow for the existing signage to exceed the one (1) square foot allotment of signage allowed within the SF-5000 Zone.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the existing and proposed property configuration with its varying topographic conditions, the existing signage, and the surrounding development. The proposed deviations have been determined to be appropriate for this location and will result in a more desirable project that efficiently utilizes the site and to achieve the revitalization, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the San Diego Municipal Code and the LDC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 1100117 and Site Development Permit No. 1100118 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1100117 and 1100118, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: August 15, 2013

Internal Order No. 24003266

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002968

CONDITIONAL USE PERMIT NO. 1100117
 SITE DEVELOPMENT PERMIT NO. 1100118
CNRI/ALBERT EINSTEIN ACADEMY - PROJECT NO. 296407 [MMRP]
[CALIFORNIA NEUROPSYCHOPHARMACOLOGY CLINICAL RESEARCH
INSTITUTE BUILDING]
 AMENDMENT TO CONDITIONAL USE PERMIT NO. 266-PC
 PLANNING COMMISSION

This Conditional Use Permit No. 1100117 and Site Development Permit No. 1100118 an amendment to Conditional Use Permit No. 266-PC is granted by the Planning Commission of the City of San Diego to 446 26TH STREET HOLDINGS, LLC, a California Limited Liability Company, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0305, 126.0504 and 1519.0202. The 1.64-acre site is located 446 26th Street and 2522 J Street in the MF-3000 and CSR-2-R-1500 Zones of the Southeastern San Diego Planned District (SESDPD) within the Southeastern San Diego (SESD) Community Plan, the SESD Special Character MF Neighborhood overlay Zone (Grant Hill), the Federal Aviation Administration (FAA) Part 77 Notification Area for San Diego International Airport (SDIA) and North Island NAS, Transit Area Overlay Zone, and Council District 8. The project site is legally described as: the southern portion of Parcel 1 of Parcel Map No. 701, City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County on January 3, 1972; Lot 29 and 30 in Block 21 of L.W. Kimball Subdivision of the northwest quarter of Pueblo Lot 1154, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 56, filed in the Office of the County Recorder of San Diego County on March 31, 1873; Also all that portion of the north 10.00 feet of "J" Street lying south of the adjoining said Lot 30, as vacated and closed to public use on November 22, 1926, by Resolution No. 39740 of the Common Council of the City of San Diego, excepting therefrom the west 92.00 feet thereof.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to maintain an existing general hospital, which includes the separation of

the existing two hospital buildings on the property and a lot line adjustment; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 15, 2013, on file in the Development Services Department.

The project shall include:

- a. The existing 6-story, 78,529 square foot building to continue operating as a general hospital with the reduction of the number of hospital beds from 111 to 58, which includes the separation of the existing two hospital buildings on the property and a lot line adjustment;
- b. Deviation as follows:
 - (1) Side yard Setback: A deviation from San Diego Municipal Code (SDMC) Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard;
 - (2) Floor Area Ratio: A deviation from SDMC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 1.10;
 - (3) Signage: A deviation from SDMC Section 142.1265 to allow for existing general hospital signage to remain;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **August 29, 2016**.

2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision.

The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, No. 296407 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration, No. 296407, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Transportation/ Circulation

MAP CHECK REQUIREMENTS:

14. Prior to the issuance of a building permit, a Lot Line Adjustment Parcel Map shall be recorded in the Office of the San Diego County Recorder.

15. Prior to the recordation of the Parcel Map taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.

PLANNING/DESIGN REQUIREMENTS:

16. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

17. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

18. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

19. Owner/Permittee shall maintain a minimum of 102 automobile spaces (including 4 standard accessible spaces and 1 van accessible space), 2 motorcycle spaces, and 2 bicycle spaces with rack(s) shall be provided as required by the SDMC. The 106 automobile spaces as shown on the approved Exhibit "A" (including 4 standard accessible spaces and 1 van accessible space), 2 motorcycle spaces, and 2 bicycle spaces with rack(s) shall be maintained at all times. All on-site parking stalls and aisle widths shall be in compliance with requirements of the SDMC and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

20. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

21. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPD], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

22. The Owner/Permittee shall process encroachment maintenance and removal agreements, for all acceptable encroachments into the sewer easement, including but not limited to structures, enhanced paving, or landscaping. No structures or landscaping shall be installed in or over the sewer easement that would inhibit vehicular access to replace a section of main or provide access to any appurtenance or isolated section of main.

23. The Owner/Permittee shall be responsible for any damage caused to City of San Diego sewer facilities in the vicinity of the project site, due to the construction activities associated with this project, in accordance with SDMC section 142.0607. In the event that any such facility loses integrity then, the Owner/Permittee shall repair or reconstruct any damaged public sewer facility in a manner satisfactory to the Director of Public Utilities and the City Engineer.

24. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any water and sewer facilities.

25. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

26. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of building and/or construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 15, 2013 and Resolution No. _____-PC -2

Permit Type/PTS Approval No.: CUP No. 1100117
SDP No. 1100118
Date of Approval: August 15, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**446 26TH STREET HOLDINGS, LLC, a
California Limited Liability Company
Owner**

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION
 RESOLUTION NO. _____-PC-2
 CONDITIONAL USE PERMIT NO. 1100120
 SITE DEVELOPMENT PERMIT NO. 1100121
CNRI/ALBERT EINSTEIN ACADEMY - PROJECT NO. 296407 [MMRP]
[ALBERT EINSTEIN ACADEMY BUILDING]
 AMENDMENT TO CONDITIONAL USE PERMIT NO. 266-PC

WHEREAS, 446 26TH STREET HOLDINGS, LLC, a California Limited Liability Company, Owner, and 458 26TH STREET HOLDINGS, LLC, a California Limited Liability Company, Permittee, filed an application with the City of San Diego for a permit to converted the a vacant hospital into a charter middle school, which includes the separation of the existing two hospital buildings on the property and a lot line adjustment (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1100120 and 1100121), on portions of a 1.29-acre site;

WHEREAS, the project site is located at 458 26th Street in the MF-3000 Zone of the Southeastern San Diego Planned District (SESDPD) within the Southeastern San Diego (ESD) Community Plan, the ESD Special Character MF Neighborhood overlay Zone (Grant Hill), the Federal Aviation Administration (FAA) Part 77 Notification Area for San Diego International Airport (SDIA) and North Island NAS, Transit Area Overlay Zone, and Council District 8;

WHEREAS, the project site is legally described as: the northern portion of Parcel 1 of Parcel Map No. 701, City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County on January 3, 1972;

WHEREAS, on August 15, 2013, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 1100120 and Site Development Permit No. 1100121 an amendment to Conditional Use Permit No. 266-PC, pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated August 15, 2013.

FINDINGS:

I. Conditional Use Permit - Section §126.0305

1. The proposed development will not adversely affect the applicable land use plan;

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by Conditional Use Permit (CUP) No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the Southeastern San Diego Planned District (SESDPD) within the

Southeastern San Diego Community Plan (SESDCP), and the Southeastern San Diego (SESD) Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The community plan designates the site for Institutional-Hospital land use. Educational facilities and hospitals are allowed in the zone through a CUP. The proposed reuse of the site as a school conforms to the Institutional land use designation. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The City of San Diego conducted an environmental review of this site, including a historical assessment for the two hospital buildings. A Mitigated Negative Declaration (MND) No. 296407 has been prepared for the project in accordance with California Environmental Quality Act (CEQA) guidelines, which addresses potential impacts to Transportation/Circulation. A Mitigation, Monitoring, and Reporting Program (MMRP) would be implemented with this project to reduce the potential impacts to a level below significance.

The permit for the project does include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the Land Development Code (LDC) in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in CUP No. 1100120 and Site Development Permit (SDP) No. 1100121, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital

located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The redistribution of the lots would be done through a lot line adjustment and the recordation of a Lot Line Adjustment Parcel Map prior to the issuance of any building permit has been made a condition of development permit.

The site is within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) and the development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). The conversion of the existing hospital to a charter middle school requires deviations to following development regulations:

Side Yard Setback- A deviation from LDC Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard, where a 5-foot interior side yard setback is required. This deviation is to allow for the separation of the existing two hospital buildings and the redistribution of the two legal lots. The new interior property line will be located in the middle of two fire separation/party walls running the full length of the 2-story corridor and basement, which connects the two hospital buildings together.

Floor Area Ratio- A deviation from LDC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 0.70 on the site at 458 26th Street, where a 0.50 FAR is permitted. The existing hospital building was constructed in 1964. The proposed charter school will enclose portions of existing balconies, resulting in minor increases to the existing Gross Floor Area.

Signage- A deviation from SDMC Section 142.1265 to allow for the proposed charter middle school signage as shown on the Exhibit "A." This deviation is to allow for the new and existing signage to exceed the one (1) square foot allotment of signage allowed within the SF-5000 Zone.

Distance between driveways- A deviation from SDMC Section 142.0560(j)(6) to allow for a 39-foot length of full-height curb between driveways on Island Avenue serving the same premises, where 45-feet is required. Two of the existing three driveways along Island Avenue shall be removed and a new driveway is proposed to serve the lower parking lot/drop off area. The existing driveway serving the upper parking lot will remain. Therefore, a total of two driveways (new and existing) will provide direct access to the property along Island Avenue, and a third access to the property is located at the alley. There is an existing grade difference of 6- to 9-feet between the upper and lower parking lots, which is supported by an existing retaining wall. This deviation request is to allow for a reduced separation distance from the driveway serving the upper and lower parking lots, and still meet the purpose and intent of the regulations by providing a physical and visual separation between the two driveways.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the existing and proposed property configuration with its varying topographic conditions, the existing and proposed signage, and the surrounding development. The proposed deviations have been determined to be appropriate for this location and will result in a more desirable project that efficiently utilizes the site and to achieve the revitalization and

re-use of the existing vacant hospital building, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the LDC.

4. The proposed use is appropriate at the proposed location.

The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The proposed project is located within the Grant Hill neighborhood of the SESDCP and is designated for Institutional-Hospital land use. The SESDCP Neighborhood Element - Grant Hill Objective 5 recommends maintaining a hospital use at the site of Physicians and Surgeons Hospital, located at 446 26th Street. The existing buildings are vacant or underutilized and have been in this condition for a prolonged period of time. Reuse of the site at 458 26th Street as a school is also an institutional land use and conforms with the Institutional land use designation and does not adversely affect the community plan.

The General Plan Public Facilities, Services and Safety Element – School Policy PF-K.7, recommends that the City work with the school districts and other education authorities to develop school and educational facilities that are architecturally designed to reflect the neighborhood and community character, that are pedestrian and cycling friendly and that are consistent with sustainable development policies and urban design policies. The interior, exterior, and landscape renovation of the site from a medical facility use to a charter school site is consistent with the General Plan School policy as well as increasing the integration of the currently underutilized building into the fabric of the community visually and through the provision of educational opportunities for local students.

The SESDCP Public Facilities Education recommendation 5.c encourages the school district(s) to work with the City to acquire additional land to expand existing sites. In some cases, the expanded sites could be used for educational facilities and in other instances joint use with City parks could be accomplished.

The transition of the underutilized medical facility to an education facility will include the creation of a multi-purpose play area and parking area on a previous parking lot. A joint use agreement has not been pursued at this time but this development project does not preclude joint school and public uses in the future. The development does provide additional recreational opportunities for the students.

The proposed project is consistent with the goals of the General Plan Urban Design; Public Facilities, Services and Safety; Recreational; and Conservation Elements for renovation, community integration and reuse of an underutilized structure for charter school use. Further, the project meets the broad objectives of the SESDCP for increased employment opportunities and rehabilitation of existing facilities. Therefore, the proposed use is appropriate at this location.

II. Site Development Permit - Section §126.0504

A. Findings for all Site Development Permits

1. **The proposed development will not adversely affect the applicable land use plan;**

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the SESDPD within the SESDCP, and the SESD Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The community plan designates the site for Institutional-Hospital land use. Educational facilities and hospitals are allowed in the zone through a CUP. The proposed reuse of the site as a school conforms to the Institutional land use designation. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. **The proposed development will not be detrimental to the public health, safety, and welfare; and**

The City of San Diego conducted an environmental review of this site, including a historical assessment for the two hospital buildings. A MND No. 296407 has been prepared for the project in accordance with CEQA guidelines, which addresses potential impacts to Transportation/ Circulation. A MMRP would be implemented with this project to reduce the potential impacts to a level below significance.

The permit for the project does include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project shall comply with the development conditions in effect for the subject property as described in CUP No. 1100120 and SDP No. 1100121, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. **The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The redistribution of the lots would be done through a lot line adjustment and the recordation of a Lot Line Adjustment Parcel Map prior to the issuance of any building permit has been made a condition of development permit.

The site is within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) and the development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). The conversion of the existing hospital to a charter middle school requires deviations to following development regulations:

Side Yard Setback- A deviation from LDC Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard, where a 5-foot interior side yard setback is required. This deviation is to allow for the separation of the existing two hospital buildings and the redistribution of the two legal lots. The new interior property line will be located in the middle of two fire separation/party walls running the full length of the 2-story corridor and basement, which connects the two hospital buildings together.

Floor Area Ratio- A deviation from LDC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 0.70 on the site at 458 26th Street, where a 0.50 FAR is permitted. The existing hospital building was constructed in 1964. The proposed charter school will enclose portions of existing balconies, resulting in minor increases to the existing Gross Floor Area.

Signage- A deviation from SDMC Section 142.1265 to allow for the proposed charter middle school signage as shown on the Exhibit "A." This deviation is to allow for the new and existing signage to exceed the one (1) square foot of signage allowed within the SF-5000 Zone.

Distance between driveways- A deviation from SDMC Section 142.0560(j)(6) to allow for a 39-foot length of full-height curb between driveways on Island Avenue serving the same premises, where 45-feet is required. Two of the existing three driveways along Island Avenue shall be removed and a new driveway is proposed to serve the lower parking lot/drop off area. The existing driveway serving the upper parking lot will remain. Therefore, a total of two driveways (new and existing) will provide direct access to the property along Island Avenue, and a third access to the property is located at the alley. There is an existing grade difference of 6- to 9-feet between the upper and lower parking lots, which is supported by an existing retaining wall. This deviation request is to allow for a reduced separation distance from the

driveway serving the upper and lower parking lots, and still meet the purpose and intent of the regulations by providing a physical and visual separation between the two driveways.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the existing and proposed property configuration with its varying topographic conditions, the existing and proposed signage, and the surrounding development. The proposed deviations have been determined to be appropriate for this location and will result in a more desirable project that efficiently utilizes the site and to achieve the revitalization and re-use of the existing vacant hospital building, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the LDC.

M. Supplemental Findings--Deviations for Affordable/In-Fill Housing Projects and Sustainable Buildings.

1. The proposed development will materially assist in accomplishing the goal of providing affordable housing opportunities in economically balanced communities throughout the City, and/or the proposed development will materially assist in reducing impacts associated with fossil fuel energy use by utilizing alternative energy resources, self-generation and other renewable technologies (e.g. photovoltaic, wind, and/or fuel cells) to generate electricity needed by the building and its occupants;

The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution. As a component of the proposed charter middle school building change of use and conversion would achieve a Leadership in Energy and Environmental Design (LEED) Silver level certification. The project will retain majority of the existing building and the new construction related to the building envelope and interior remodel will include the use of sustainable construction materials and practices, and construction waste management. Operational sustainable features include the use of high efficacy plumbing fixtures, Energy Star appliances, water conserving native and pest resistant plant in the landscape, and a high efficiency irrigation system to achieve the LEED certification. The overall proposed development to reuse of one of the existing buildings and implementing sustainable design features will materially assist in reducing the overall impacts associated with fossil fuel energy use by the buildings and its occupants.

2. The development will not be inconsistent with the purpose of the underlying zone; and

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the

SESDPD within the SESDCP, and the SESD Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The community plan designates the site for Institutional-Hospital land use. Educational facilities and hospitals are allowed in the zone through a CUP. The proposed reuse of the site as a school conforms to the Institutional land use designation. Therefore, the proposed development is consistent with the purpose of the underlying zone.

3. Any proposed deviations are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The redistribution of the lots would be done through a lot line adjustment and the recordation of a Lot Line Adjustment Parcel Map prior to the issuance of any building permit has been made a condition of development permit.

The site is within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) and the development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). The conversion of the existing hospital to a charter middle school requires deviations to following development regulations:

Side Yard Setback- A deviation from LDC Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard, where a 5-foot interior side yard setback is required. This deviation is to allow for the separation of the existing two hospital buildings and the redistribution of the two legal lots. The new interior property line will be located in the middle of two fire separation/party walls running the full length of the 2-story corridor and basement, which connects the two hospital buildings together.

Floor Area Ratio- A deviation from LDC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 0.70 on the site at 458 26th Street, where a 0.50 FAR is permitted. The existing hospital building was constructed in 1964. The proposed charter school will enclose portions of existing balconies, resulting in minor increases to the existing Gross Floor Area.

Signage- A deviation from SDMC Section 142.1265 to allow for the proposed charter middle school signage as shown on the Exhibit "A." This deviation is to allow for the new and existing signage to exceed the one (1) square foot of signage allowed within the SF-5000 Zone.

Distance between driveways- A deviation from SDMC Section 142.0560(j)(6) to allow for a 39-foot length of full-height curb between driveways on Island Avenue serving the same premises, where 45-feet is required. Two of the existing three driveways along Island Avenue shall be removed and a new driveway is proposed to serve the lower parking lot/drop off area. The existing driveway serving the upper parking lot will remain. Therefore, a total of two driveways (new and existing) will provide direct access to the property along Island Avenue, and a third access to the property is located at the alley. There is an existing grade difference of 6- to 9-feet between the upper and lower parking lots, which is supported by an existing retaining wall. This deviation request is to allow for a reduced separation distance from the driveway serving the upper and lower parking lots, and still meet the purpose and intent of the regulations by providing a physical and visual separation between the two driveways.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the existing and proposed property configuration with its varying topographic conditions, the existing and proposed signage, and the surrounding development. The proposed deviations have been determined to be appropriate for this location and will result in a more desirable project that efficiently utilizes the site and to achieve the revitalization and re-use of the existing vacant hospital building, while meeting the purpose and intent of the development regulations.

III. Southeastern San Diego (PDO) - Section §1519.0202(c)

1. The proposed use and project design meet the purpose and intent of the Southeastern San Diego Planned District Ordinance, comply with the recommendations of the Southeastern San Diego Community Plan, and will not adversely affect the General Plan or other applicable plans adopted by the City Council;

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the SESDPD within the SESDCP, and the SESD Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle

school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The proposed project is located within the Grant Hill neighborhood of the SESDCP and is designated for Institutional-Hospital land use. The SESDCP Neighborhood Element - Grant Hill Objective 5 recommends maintaining a hospital use at the site of Physicians and Surgeons Hospital, located at 446 26th Street. The existing buildings are vacant or underutilized and have been in this condition for a prolonged period of time. Reuse of the site at 458 26th Street as a school is also an institutional land use and conforms with the Institutional land use designation and does not adversely affect the community plan.

The General Plan Public Facilities, Services and Safety Element – School Policy PF-K.7, recommends that the City work with the school districts and other education authorities to develop school and educational facilities that are architecturally designed to reflect the neighborhood and community character, that are pedestrian and cycling friendly and that are consistent with sustainable development policies and urban design policies. The interior, exterior, and landscape renovation of the site from a medical facility use to a charter school site is consistent with the General Plan School policy as well as increasing the integration of the currently underutilized building into the fabric of the community visually and through the provision of educational opportunities for local students.

The SESDCP Public Facilities Education recommendation 5.c encourages the school district(s) to work with the City to acquire additional land to expand existing sites. In some cases, the expanded sites could be used for educational facilities and in other instances joint use with City parks could be accomplished.

The transition of the underutilized medical facility to an education facility will include the creation of a multi-purpose play area and parking area on a previous parking lot. A joint use agreement has not been pursued at this time but this development project does not preclude joint school and public uses in the future. The development does provide additional recreational opportunities for the students.

The proposed project is consistent with the goals of the General Plan Urban Design; Public Facilities, Services and Safety; Recreational; and Conservation Elements for renovation, community integration and reuse of an underutilized structure for charter school use. Further, the project meets the broad objectives of the SESDCP for increased employment opportunities and rehabilitation of existing facilities. Therefore, the proposed development will not adversely affect the General Plan or other applicable plans adopted by the City Council.

2. The proposed development shall be compatible with existing and planned land use on adjoining properties and shall not constitute a disruptive element to the neighborhood and community. In addition, architectural harmony with the surrounding neighborhood and community shall be achieved as far as practicable;

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J

Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The project site is in the MF-3000 and CSR-2-R-1500 Zones of the SESDPD within the SESDCP, and the SESD Special Character MF Neighborhood overlay Zone (Grant Hill). The CSR-2-R-1500 Zone only applies to the small portion of the property located at 2522 J Street, which contains an existing parking lot.

The development to the north, west and south consists of single-family and multi-family dwelling units, and the development to the east consists of single-family and multi-family dwelling units and the Grant Hill Park (a City park). The properties to the north, east, and south are zoned MF-3000 in the SESDPD and are within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill), and the community plan designates the sites for Residential land use (10-15 dwelling units per acre). The properties to the west are zoned CSR-2-R-1500 in the SESDPD and community plan designates the sites for Multiple Use (Residential/Commercial), which allows for a residential density up to 15 dwelling units per acre.

The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The proposed design of the middle school addresses the architectural harmony with the surrounding neighborhood and community, and the General Plan's Urban Design element through external renovations to the existing structure by adding interest through the addition of architecturally interesting window awnings, as well as shade structure and color treatments to brighten the monotone structure. Additionally, gathering spaces and landscape enhancements will add to the structure integration, community character, texture, interest, and visually break up the large structure thereby implementing the General Plan and Community Plan's policies and recommendations. Therefore, the proposed development is compatible with existing and planned land use on adjoining properties and does not constitute a disruptive element to the neighborhood and community.

3. The proposed use, because of conditions that have been applied to it, will not be detrimental to the health, safety and general welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity; and

The City of San Diego conducted an environmental review of this site, including a historical assessment for the two hospital buildings. A MND No. 296407 has been prepared for the project in accordance with CEQA guidelines, which addresses potential impacts to Transportation/ Circulation. A MMRP would be implemented with this project to reduce the potential impacts to a level below significance.

The permit for the project does include various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the LDC in effect for this project. Such conditions have been determined as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding

area. The project shall comply with the development conditions in effect for the subject property as described in CUP No. 1100120 and SDP No. 1100121, and other regulations and guidelines pertaining to the subject property per the LDC. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare of persons residing or working in the area, and will not adversely affect other property in the vicinity.

4. The proposed use will comply with the relevant regulations of the Municipal Code.

The project site consists of two lots located at 446 and 458 26th Street, and 2522 J Street. The first lot (446 and 458 26th Street) contains two existing hospitals and the second lot (2522 J Street) consists of a parking lot, which is located across the alley along J Street. The existing hospital buildings were approved and governed by CUP No. 266-PC, which replaced the existing CUP No. 5082. The proposed development is to allow for a change of use and conversion of the existing vacant convalescent hospital located at 458 26th Street for the operation of a charter middle school, which includes separating the existing two hospital buildings and redistribution of the two legal lots. The request for the existing general hospital located at 446 26th Street to continue operating as a hospital is under a separate permit and resolution.

The redistribution of the lots would be done through a lot line adjustment and the recordation of a Lot Line Adjustment Parcel Map prior to the issuance of any building permit has been made a condition of development permit.

The site is within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) and the development regulations in the LDC Section 1519.0302 (applicable to SF-5000 Zone) apply to the MF-3000 zoned portion of the property within the SESD Special Character MF Neighborhood Overlay Zone (Grant Hill) pursuant to LDC Section 1519.0303(i). The conversion of the existing hospital to a charter middle school requires deviations to following development regulations:

Side Yard Setback- A deviation from LDC Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard, where a 5-foot interior side yard setback is required. This deviation is to allow for the separation of the existing two hospital buildings and the redistribution of the two legal lots. The new interior property line will be located in the middle of two fire separation/party walls running the full length of the 2-story corridor and basement, which connects the two hospital buildings together.

Floor Area Ratio- A deviation from LDC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 0.70 on the site at 458 26th Street, where a 0.50 FAR is permitted. The existing hospital building was constructed in 1964. The proposed charter school will enclose portions of existing balconies, resulting in minor increases to the existing Gross Floor Area.

Signage- A deviation from SDMC Section 142.1265 to allow for the proposed charter middle school signage as shown on the Exhibit "A." This deviation is to allow for the new and existing signage to exceed the one (1) square foot of signage allowed within the SF-5000 Zone.

Distance between driveways- A deviation from SDMC Section 142.0560(j)(6) to allow for a 39-foot length of full-height curb between driveways on Island Avenue serving the same premises, where 45-feet is required. Two of the existing three driveways along Island Avenue shall be removed and a new driveway is proposed to serve the lower parking lot/drop off area. The existing driveway serving the upper parking lot will remain. Therefore, a total of two driveways (new and existing) will provide direct access to the property along Island Avenue, and a third access to the property is located at the alley. There is an existing grade difference of 6- to 9-feet between the upper and lower parking lots, which is supported by an existing retaining wall. This deviation request is to allow for a reduced separation distance from the driveway serving the upper and lower parking lots, and still meet the purpose and intent of the regulations by providing a physical and visual separation between the two driveways.

Each of the requested deviations has been reviewed as they relate to the proposed design of the project, the existing and proposed property configuration with its varying topographic conditions, the existing and proposed signage, and the surrounding development. The proposed deviations have been determined to be appropriate for this location and will result in a more desirable project that efficiently utilizes the site and to achieve the revitalization and re-use of the existing vacant hospital building, while meeting the purpose and intent of the development regulations. Other than the requested deviations, the project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the San Diego Municipal Code and the LDC.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 1100120 and Site Development Permit No. 1100121 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1100120 and 1100121, a copy of which is attached hereto and made a part hereof.

Jeffrey A. Peterson
Development Project Manager
Development Services

Adopted on: August 15, 2013

Internal Order No. 24003266

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002968

CONDITIONAL USE PERMIT NO. 1100120
 SITE DEVELOPMENT PERMIT NO. 1100121
CNRI/ALBERT EINSTEIN ACADEMY - PROJECT NO. 296407 [MMRP]
[ALBERT EINSTEIN ACADEMY BUILDING]
 AMENDMENT TO CONDITIONAL USE PERMIT NO. 266-PC
 PLANNING COMMISSION

This Conditional Use Permit No. 1100120 and Site Development Permit No. 1100121 an amendment to Conditional Use Permit No. 266-PC is granted by the Planning Commission of the City of San Diego to 446 26TH STREET HOLDINGS, LLC, a California Limited Liability Company, Owner, and 458 26TH STREET HOLDINGS, LLC, a California Limited Liability Company, Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0305, 126.0504 and 1519.0202. The 1.29-acre site is located 458 26th Street in the MF-3000 Zone of the Southeastern San Diego Planned District (SES DPD) within the Southeastern San Diego (SESD) Community Plan, the SESD Special Character MF Neighborhood overlay Zone (Grant Hill), the Federal Aviation Administration (FAA) Part 77 Notification Area for San Diego International Airport (SDIA) and North Island NAS, Transit Area Overlay Zone, and Council District 8. The project site is legally described as: the northern portion of Parcel 1 of Parcel Map No. 701, City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County on January 3, 1972.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to converted the a vacant hospital into a charter middle school, which includes the separation of the existing two hospital buildings on the property and a lot line adjustment; described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated August 15, 2013, on file in the Development Services Department.

The project shall include:

- a. A change of use and conversion of an existing 4-story, approximately 38,000 square-foot, vacant convalescent hospital to allow for the operation of a charter middle school within an existing building, which includes the separation of the existing two hospital buildings on the property and a lot line adjustment;
- b. Deviations as follows:
 - (1) Side yard Setback: A deviation from San Diego Municipal Code (SDMC) Section 1519.0302(c)(3) to allow a 0-foot setback at the interior side yard;
 - (2) Floor Area Ratio: A deviation from SDMC Section 1519.0302(c)(4) to allow a floor area ratio (FAR) of 0.70;
 - (3) Signage: A deviation from SDMC Section 142.1265 to allow for school signage as shown on the approved exhibits [Exhibit "A"];
 - (4) Distance between driveways: A deviation from SDMC Section 142.0560(j)(6) to allow for a 39-foot length of full-height curb between driveways on Island Avenue serving the same premises;
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Leadership in Energy and Environmental Design (LEED) Silver Level Certification; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **August 29, 2016**.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and

- b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void,

challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration, No. 296407 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration, No. 296407, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

Transportation/ Circulation

MAP CHECK REQUIREMENTS:

14. Prior to the issuance of a building permit, a Lot Line Adjustment Parcel Map shall be recorded in the Office of the San Diego County Recorder.

15. Prior to the recordation of the Parcel Map taxes must be paid or bonded for this property pursuant to section 66492 of the Subdivision Map Act. A current original tax certificate, recorded in the office of the San Diego County Recorder must be provided to satisfy this condition.

ENGINEERING REQUIREMENTS:

16. The project proposes to import material to the project site. Any excavated material that is exported, shall be exported to a legal disposal site in accordance with the Standard Specifications

for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

17. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.
18. Prior to the issuance of a building permit, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement, from the City Engineer, for the sidewalk underdrains in the Island Avenue Right-of-Way.
19. Prior to the issuance of a building permit, the Owner/Permittee shall assure, by permit and bond, the construction of a current City Standard minimum 14 foot wide one-way concrete driveway, adjacent to the site on Island Avenue, satisfactory to the City Engineer.
20. Prior to the issuance of a building permit, the Owner/Permittee shall assure, by permit and bond, to close the non-utilized driveways with current City Standard curb, gutter and sidewalk, adjacent to the site on Island Avenue, satisfactory to the City Engineer
21. Prior to the issuance of a building permit, the Owner/Permittee shall assure, by permit and bond, to reconstruct the existing driveway with a current City Standard minimum 24 foot wide driveway while holding the existing back of sidewalk grade, adjacent to the site on Island Avenue, satisfactory to the City Engineer.
22. Prior to the issuance of a building permit, the Owner/Permittee shall assure, by permit and bond, to construct a curb ramp at the alley entrance adjacent to the site, with current City Standard Drawing SDG-136 with truncated domes, satisfactory to the City Engineer.
23. Prior to the issuance of a building permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMP) maintenance, satisfactory to the City Engineer.
24. Prior to the issuance of a building permit, the Owner/Permittee shall incorporate any construction BMP necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
25. Prior to the issuance of a building permit, the Owner/Permittee shall assure, by permit and bond, to reconstruct the sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving any contractor's stamp, adjacent to the site on 26th Street, satisfactory to the City Engineer.
26. Prior to the issuance of a building permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

PARK & RECREATION REQUIREMENTS:

27. The Owner/Permittee shall ensure that no school activities including recess, physical education, or other athletic use during, or after school, shall occur on public park property (Grant Hill Park) without first acquiring a Park Use Permit from the Park & Recreation Department.

LANDSCAPE REQUIREMENTS:

28. Prior to issuance of any permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A," on file in the Office of the Development Services Department.

29. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall take into account a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

30. Prior to issuance of any construction permits for structures, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit "A" Landscape Development Plan (including proposed trees on adjacent hospital site). Construction plans shall take into account a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under SDMC 142.0403(b)(5).

31. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

32. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

33. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

34. Prior to issuance of building permits, the Owner/Permittee shall provide documentation that the project has been submitted to the U.S. Green Building Council for review and will achieve at least a Leadership in Energy and Environmental Design (LEED) Silver Certification. Construction documents shall note all criteria included in the design and construction of the project as identified in the LEED certification application.

35. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

36. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

37. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

38. Owner/Permittee shall maintain a minimum of 37 automobile spaces (including 1 standard accessible space and 1 van accessible space), 2 motorcycle spaces, and 11 bicycle spaces with rack(s) shall be provided as required by the SDMC, and shown on the approved Exhibit "A". All on-site parking stalls and aisle widths shall be in compliance with requirements of the SDMC and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

39. Prior to the issuance of the first building permit, the Owner/Permittee shall assure establishment of a school zone/suggested route to school plan along the frontage and vicinity of the school site including, but not limited to appropriate pavement markings, signage and traffic control devices, which may include all-way stop signs, high visibility school crosswalks and flashing beacon pedestrian crossings (as stated in Chapters 8 and 9 of the project Transportation Impact Study, dated June 3, 2013), satisfactory to City Engineer.

40. Prior to issuance of any construction permit, the Owner/Permittee shall assure the installation of all-way stops and high visibility school crosswalks at the intersections of 26th Street/Island Avenue and 26th Street/J Street, satisfactory to the City Engineer.

41. Prior to issuance of any construction permit, the Owner/Permittee shall assure the installation an all-way stop at the intersection of 28th Street/SR-94 Westbound Ramps, satisfactory to the City Engineer and Caltrans.

42. Prior to issuance of any construction permit, the Owner/Permittee shall assure the installation an all-way stop at the intersection of 28th Street/SR-94 Eastbound Ramps, satisfactory to the City Engineer and Caltrans.

43. Prior to issuance of the first building permit, the Owner/Permittee shall provide an 18.75% fair share contribution towards the cost of installing a traffic signal at the intersection of 28th Street/SR-94 Westbound Ramps, satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

44. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

45. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s) [BFPD], on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

46. The Owner/Permittee shall process encroachment maintenance and removal agreements, for all acceptable encroachments into the sewer easement, including but not limited to structures, enhanced paving, or landscaping. No structures or landscaping shall be installed in or over the sewer easement that would inhibit vehicular access to replace a section of main or provide access to any appurtenance or isolated section of main.

47. The Owner/Permittee shall be responsible for any damage caused to City of San Diego sewer facilities in the vicinity of the project site, due to the construction activities associated with this project, in accordance with SDMC section 142.0607. In the event that any such facility loses integrity then, the Owner/Permittee shall repair or reconstruct any damaged public sewer facility in a manner satisfactory to the Director of Public Utilities and the City Engineer.

48. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any water and sewer facilities.

49. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

50. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed

by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of building and/or construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on August 15, 2013, and Resolution No. _____-PC -2.

Permit Type/PTS Approval No.: CUP No. 1100120
SDP No. 1100121
Date of Approval: August 15, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeffrey A. Peterson
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

**446 26TH STREET HOLDINGS, LLC, a
California Limited Liability Company
Owner**

By _____
Name:
Title:

**458 26TH STREET HOLDINGS, LLC, a
California Limited Liability Company
Permittee**

By _____
Name:
Title:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION
RESOLUTION NO. _____-PC-3
ADOPTED ON _____
MITIGATED NEGATIVE DECLARATION NO. 296407
CNRI/ALBERT EINSTEIN ACADEMY - PROJECT NO. 296407 [MMRP]

WHEREAS, on November 20, 2013, 446 26TH STREET HOLDINGS, LLC, a California Limited Liability Company, Owner, and 458 26TH STREET HOLDINGS, LLC, a California Limited Liability Company, Permittee, submitted an application to Development Services Department for a Conditional Use Permit and Site Development Permit, an amendment to Conditional Use Permit No. 266-PC, for the California Neuropsychopharmacology Research Institute (CNRI) / Albert Einstein Academy (Project); and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on August 15, 2013; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing is required by law implicating due process rights of individuals affected by the decision, and the Council is required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigation Negative Declaration No. 296407 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency

and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that Project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program [MMRP], or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101.

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project

By: _____
Jeffrey A. Peterson
Development Project Manager
Development Services Department

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

CONDITIONAL USE PERMIT NO. 1100117
 SITE DEVELOPMENT PERMIT NO. 1100118; AND
 CONDITIONAL USE PERMIT NO. 1100120
 SITE DEVELOPMENT PERMIT NO. 1100121
 PROJECT NO. 296407

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 296407 shall be made conditions of Conditional Use Permit No. 1100117 and Site Development Permit No. 1100118; and Conditional Use Permit No. 1100120 and Site Development Permit No. 1100121 as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website: <http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants: **Not Applicable**

Note: Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant t is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 296407 and/or Environmental Document Number 296407, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc.

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency: **Not Applicable**
4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to

ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner’s representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST		
Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Traffic	Traffic Reports	Traffic Features Site Observation
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

TRANSPORTATION / CIRCULATION

In order to avoid significant direct and cumulative impacts to transportation / circulation, the following mitigation measure(s) shall be implemented by the Applicant/Permittee. Compliance with the mitigation measure(s) shall be the responsibility of the Applicant/Permittee.

- TA.1 Prior to issuance of any construction permit, the Owner/Permittee shall assure the installation of an all-way stop at the intersection of 28th Street/SR-94 Westbound Ramps, satisfactory to the City Engineer and Caltrans.
- TA.2 Prior to issuance of any construction permit, the Owner/Permittee shall assure the installation an all-way stop at the intersection of 28th Street/SR-94 Eastbound Ramps, satisfactory to the City Engineer and Caltrans.
- TA.3 Prior to issuance of the first building permit, the Owner/Permittee shall provide an 18.75 percent fair share contribution towards the cost of installing a traffic signal at the intersection of 28th Street/SR-94 Westbound Ramps, satisfactory to the City Engineer.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Albert Einstein Academy		Project Number: 296407	Distribution Date: July 9, 2013
Project Scope/Location: Albert Einstein Academy, Project #296407, located in the old Physicians, Surgeons Hospital Building, 446 & 458 26th Street. Proposal is for CUPs which involve splitting the two buildings, and includes a re-adjustment of the lot lines for the two buildings on the 2.85 acre parcel in an MF-3000 Zone			
Applicant Name: Maxine Ward, Project Manager, Studio E		Applicant Phone Number: (619) 235-9262	
Project Manager: Jeff Peterson	Phone Number: (619) 446-5237	Fax Number: (619) 446-5245	E-mail Address: JAPeterson@sandiego.gov
Committee Recommendations (To be completed for Initial Review): Please list of conditions list in Part I of this form			
<input type="checkbox"/> Vote to Approve	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> Vote to Approve With Conditions Listed Below	10	0	0
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: Please conditions listed above in part 1			
NAME: Maria Riveroll		TITLE: Chair	
SIGNATURE: Maria Riveroll, EA		DATE: July 14, 2013	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: Albert Einstein Academy	Project Number: 296407	Distribution Date: July 9, 2013	
Project Scope/Location: Albert Einstein Academy, Project #296407, located in the old Physicians, Surgeons Hospital Building, 446 & 458 26th Street. Proposal is for CUPs which involve splitting the two buildings, and includes a re-adjustment of the lot lines for the two buildings on the 2.85 acre parcel in an MF-3000 Zone			
Applicant Name: Maxine Ward, Project Manager, Studio E		Applicant Phone Number: (619) 235-9262	
Project Manager: Jeff Peterson	Phone Number: (619) 446-5237	Fax Number: (619) 446-5245	E-mail Address: JAPeterson@sandiego.gov
Project Issues (To be completed by Community Planning Committee for initial review): Planning Group Conditions: 1. Stop signs are needed to the east and west on 26th Street, at Island and on J Street. 2. Additional street lights, mid-block lights and alley lights, (at both ends and in the middle of the alley) and around the perimeter of the site are needed. Suggest that you work with the Eighth District Office on pursuing street lighting. 3. Parking spaces must be adequate to accommodate the staff so that the residences are not impacted. 4. Implement San Diego Police Department Recommendations. 5. Continue training with the Staff and Students on shooter/terrorist attacks. 6. All PTS Cycle Issues must be addressed. 7. Landscaping should be drought resistant. 8. 26th and Market Streets, there must be a MINIMUM of at least a pedestrian-activated traffic control for crossing Market Street. 9. Support a 4-way stop sign on SR 94, East Bound Ramp on 28th Street, with a 25 MPH sign. 10. Support all four deviations being requested: 1) Side Yard Set Back; 2) FAR; 3) Signage; and 4) Distance between driveways. 11. We reserve the right to appeal from the Hearing Body.			
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			

Peterson, Jeff

From: Maria Riveroll [taxqueen25@cox.net]
Sent: Sunday, July 14, 2013 8:19 PM
To: Peterson, Jeff
Cc: Maxine Ward
Subject: Albert Eistein Academy Project #296407
Attachments: ib620 part 1.pdf

Importance: High

Please see attached. If you need me to fax it to you please let me know.

Thank you. I meant to send you this on Monday night.

Maria Riveroll, Chair

SOUTHEASTERN SAN DIEGO PLANNING GROUP
(619)264-5373 -- FAX (619) 264-3317
[HTTP://WWW.SOUTHEASTERNSD.ORG](http://www.southeasternsd.org)

Civic San Diego

DATE: June 5, 2013
TO: Jeff Peterson, Development Services Project Manager
FROM: Sherry Brooks, Associate Project Manager
SUBJECT: Albert Einstein Academy – Project No. 296407

Civic San Diego staff has reviewed the final plans for the Affordable, In-fill, Sustainable Buildings, Albert Einstein Academy – Project No. 296407, located at 446 & 458 2th Street in Grant Hill within the SEDC Area of Influence and the Southeastern San Diego Community Plan area.

This property is walking distance from the fixed rail intermodal trolley stop at 25th street, so pedestrian-oriented streetscape improvements are especially important. The design team has worked with us and responded to our comments to include parkways with street trees to protect pedestrians (particularly school children) from street traffic, providing a safer and more pedestrian-oriented sidewalk area for the students and neighborhood pedestrians. The design team has also responded our comments regarding exposed walls to include climbing vines and anti-graffiti treatment on exposed retaining walls along the right of way and driveways.

We are in support of the adaptive reuse of this building for this purpose and have no outstanding issues.



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other Lot Line Adj PM

Project Title

CNRI / Albert Einstein Academy

Project No. For City Use Only

296407

Project Address:

446 26th Street and 458 26th Street

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):

Thomas Tran

Owner Tenant/Lessee Redevelopment Agency

Street Address:

446 26th Street

City/State/Zip:

San Diego, CA 92102

Phone No:

(619) 481 5252

Fax No:

(619)299 0957

Signature:

Date:

09-18-12

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Name of Individual (type or print):

Owner Tenant/Lessee Redevelopment Agency

Street Address:

City/State/Zip:

Phone No:

Fax No:

Signature:

Date:

Project Title:	Project No. (For City Use Only) <i>290407</i>
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Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
458 26th Street Holdings, LLC

Owner Tenant/Lessee

Street Address:
525 B Street, Suite 2200 c/o Procopio

City/State/Zip:
San Diego, CA 92101

Phone No: _____ Fax No: _____
(619) 515-3219

Name of Corporate Officer/Partner (type or print):
Christopher Taylor

Title (type or print):
Manager

Signature :  Date: 9/27/12

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : _____ Date: _____



*California Neuropsychopharmacology
Clinical Research Institute, LLC
CNRI - San Diego, LLC*

July 18, 2013

To: Jeffrey A. Peterson
Development Project Manager
City of San Diego
1222 First Avenue, MS 501
San Diego, CA 92101

RE: Members of 446 26th Street Holdings, LLC

Dear Mr. Peterson:

The officers /members of 446 26th Street Holdings, LLC include the following:

1. Thomas Tran aka Tuan Tran, Managing Director, LLC Member.
2. Tram K. Johnson, Managing Director, LLC Member.

Article of Organization was filed with the State of California on February 9, 2009.

Please contact the undersigned should you require any additional information.

Best regards,

A handwritten signature in black ink, appearing to read 'Thomas Tran', is written over a horizontal line.

Thomas Tran
LLC Member



July 9, 2013

To Whom It May Concern:

As authorized by the Albert Einstein Academies Board of Trustees, the sole manager of the "458 26th St Holdings, LLC" is Christopher Taylor.

Sincerely,

A handwritten signature in black ink, appearing to be 'David Sciarretta', with a long horizontal line extending to the right.

David Sciarretta
Executive Director, Middle School

Albert Einstein Academies
3035 Ash Street, San Diego, CA 92102
Ph (619) 795-1190 • Fax (619) 795-1180
aeacms.org

201228210226

LLC-1

File #



State of California Secretary of State

Limited Liability Company Articles of Organization

ENDORSED - FILED in the office of the Secretary of State of the State of California

SEP 26 2012

A \$70.00 filing fee must accompany this form.

Important - Read instructions before completing this form.

This Space For Filing Use Only

Entity Name (End the name with the words "Limited Liability Company," or the abbreviations "LLC" or "L.L.C." The words "Limited" and "Company" may be abbreviated to "Ltd." and "Co.," respectively.)

1. NAME OF LIMITED LIABILITY COMPANY
458 26TH STREET HOLDINGS, LLC

Purpose (The following statement is required by statute and should not be altered.)

2. THE PURPOSE OF THE LIMITED LIABILITY COMPANY IS TO ENGAGE IN ANY LAWFUL ACT OR ACTIVITY FOR WHICH A LIMITED LIABILITY COMPANY MAY BE ORGANIZED UNDER THE BEVERLY-KILLEA LIMITED LIABILITY COMPANY ACT.

Initial Agent for Service of Process (If the agent is an individual, the agent must reside in California and both Items 3 and 4 must be completed. If the agent is a corporation, the agent must have on file with the California Secretary of State a certificate pursuant to California Corporations Code section 1505 and Item 3 must be completed (leave Item 4 blank).)

3. NAME OF INITIAL AGENT FOR SERVICE OF PROCESS
Christopher Taylor

4. IF AN INDIVIDUAL, ADDRESS OF INITIAL AGENT FOR SERVICE OF PROCESS IN CALIFORNIA CITY STATE ZIP CODE
458 26th Street, San Diego CA 92102

Management (Check only one)

5. THE LIMITED LIABILITY COMPANY WILL BE MANAGED BY:

- ONE MANAGER (checked)
MORE THAN ONE MANAGER
ALL LIMITED LIABILITY COMPANY MEMBER(S)

Additional Information

6. ADDITIONAL INFORMATION SET FORTH ON THE ATTACHED PAGES, IF ANY, IS INCORPORATED HEREIN BY THIS REFERENCE AND MADE A PART OF THIS CERTIFICATE.

Execution

7. I DECLARE I AM THE PERSON WHO EXECUTED THIS INSTRUMENT, WHICH EXECUTION IS MY ACT AND DEED.

9/28/12
DATE

[Signature]
SIGNATURE OF ORGANIZER

Christopher Taylor
TYPE OR PRINT NAME OF ORGANIZER

DEVELOPMENT SERVICES DEPARTMENT
PROJECT CHRONOLOGY
 CNRI/ALBERT EINSTEIN ACADEMY - PROJECT NO. 296407

Date	Action	Description	City Review Time (Working Days)	Applicant Response
11/20/2012	First Submittal	Project Deemed Complete	-	-
12/18/2012	First Assessment Letter		18 days	
1/22/2013	Second Submittal		-	18 days
2/5/2013	Second Assessment Letter		10 days	
2/19/2013	Third Submittal		-	9 days
3/5/2013	Third Assessment Letter		10 days	
5/22/2013	Fourth Submittal		-	54 days
6/14/2013	Fourth Review Completed	Only need Community Group Recommendation	16 days	
7/1/2013	Environmental	MND prepared and distributed for public review for 20 days.	-	-
7/8/2013	Community Group Recommendation	Community Group heard and voted on the project.		15 days
7/22/2013	Environmental	End of Public Review	10 days	
8/1/2013	Environmental	MND is finalized.	8 days	
8/15/2013	Public Hearing	First available date	10 days	
TOTAL STAFF TIME		(Does not include City Holidays or City Furlough)	82 days	
TOTAL APPLICANT TIME		(Does not include City Holidays or City Furlough)		96 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Hearing	178 working days (268 calendar days)	