



THE CITY OF SAN DIEGO  
**REPORT TO THE PLANNING COMMISSION**

**DATE ISSUED:** September 19, 2013 **REPORT NO. PC-13-112**

**ATTENTION:** Planning Commission, Agenda of September 26, 2013

**SUBJECT:** VERIZON – OAKS NORTH  
PROJECT NO. 310809. PROCESS 4.

**OWNER/  
APPLICANT:** OAKS NORTH COMMUNITY CENTER, INC./  
VERIZON WIRELESS

**SUMMARY**

**Issue:** Should the Planning Commission approve a Wireless Communication Facility (WCF) at 12578 Oaks North Drive, within the Rancho Bernardo community plan area?

**Staff Recommendation:** APPROVE Neighborhood Use Permit No. 1182839, Neighborhood Development Permit No. 1182840, and Planned Development Permit No. 1182841.

**Community Planning Group Recommendation:** At the June 20, 2013 meeting of the Rancho Bernardo Community Planning Board, the group voted not to approve the project until lease issues with the landlord are resolved. (Attachment 15)

**Environmental Review:** This project was evaluated pursuant to the California Environmental Quality Act (CEQA) and determined to be categorically exempt from CEQA, per State Guidelines, Sections 15303 (New Construction or Conversion of Small Structures). The environmental exemption determination was made on July 31, 2013 and the opportunity to appeal that determination ended August 14, 2013.

**Fiscal Impact Statement:** Verizon Wireless is the Financially Responsible Party responsible for costs associated with the processing of this application.

**Code Enforcement Impact:** Not applicable.

**Housing Impact Statement:** Not applicable.



## **BACKGROUND**

This project is an application for a Neighborhood Use Permit (NUP), Neighborhood Development Permit (NDP), and Planned Development Permit (PDP), Process 4, for a Wireless Communication Facility (WCF). The project consists of a new 52-foot tall faux pine tree (“monopine”), supporting 12 panel antennas and one microwave dish, along with a 451-square foot equipment enclosure with an emergency generator. The project is located at 12578 Oaks North Drive, in the Rancho Bernardo community plan area, in the RS-1-14 zone (Attachments 1, 2, 3, and 4).

WCFs are permitted with a NUP when located in a residential zone, with a non-residential use, where the antennas are more than 100 feet from the property line of a residential use, day care, elementary school, or middle school, pursuant to San Diego Municipal Code (SDMC) Section 141.0420(d)(2).

The project requests two deviations, which are processed with the NDP and PDP. The NDP permits the equipment enclosure to exceed the 250-square foot maximum size permitted by the WCF Design Requirements, SDMC Section 141.0420(g)(3). The PDP allows the monopine to exceed the RS-1-14 zone 35-foot height limit. At 52-feet tall, the monopine exceeds the zone height limit by 17 feet.

Cricket, Sprint, and AT&T also operate WCFs on this property. Sprint antennas are located on an adjacent clubhouse building, while Cricket and AT&T are collocated on a nearby monopine.

WCF are permitted as faux trees when existing or proposed trees of a similar size and species are present (SDMC Section 141.0420(g)(6)). The proposed monopine is situated in a grove of existing pine trees adjacent to the existing clubhouse building. Three additional live pine trees are proposed to further screen and integrate the monopine where gaps in screening exist.

### **Community Plan Analysis:**

The Rancho Bernardo Community Plan does not specifically address WCFs, however the City’s General Plan addresses WCFs in UD-A.15 as follows:

Minimize the visual impact of wireless facilities.

- a) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b) Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

The project complies with the General Plan recommendations by utilizing a camouflage

technique, in this case a faux tree, to integrate the wireless facility with the surroundings. Proposed and existing live trees adjacent to the monopine help to screen and blend the facility in with the surrounding neighborhood.

**Conclusion:**

With the exception of the two requested deviations, this project complies with the applicable regulations of the Land Development Code and the City's General Plan and draft findings (Attachment 5) have been made in the affirmative. Therefore, staff recommends approval of NUP No. 1182839, NDP No. 1182840, and PDP No. 1182841.

**ALTERNATIVES**

1. **Approve NUP No. 1182839, NDP No. 1182840, and PDP No. 1182841, with modifications.**
2. **Deny NUP No. 1182839, NDP No. 1182840, and PDP No. 1182841, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.**

Respectfully submitted,



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Mike Westlake  
Acting Deputy Director  
Development Services Department



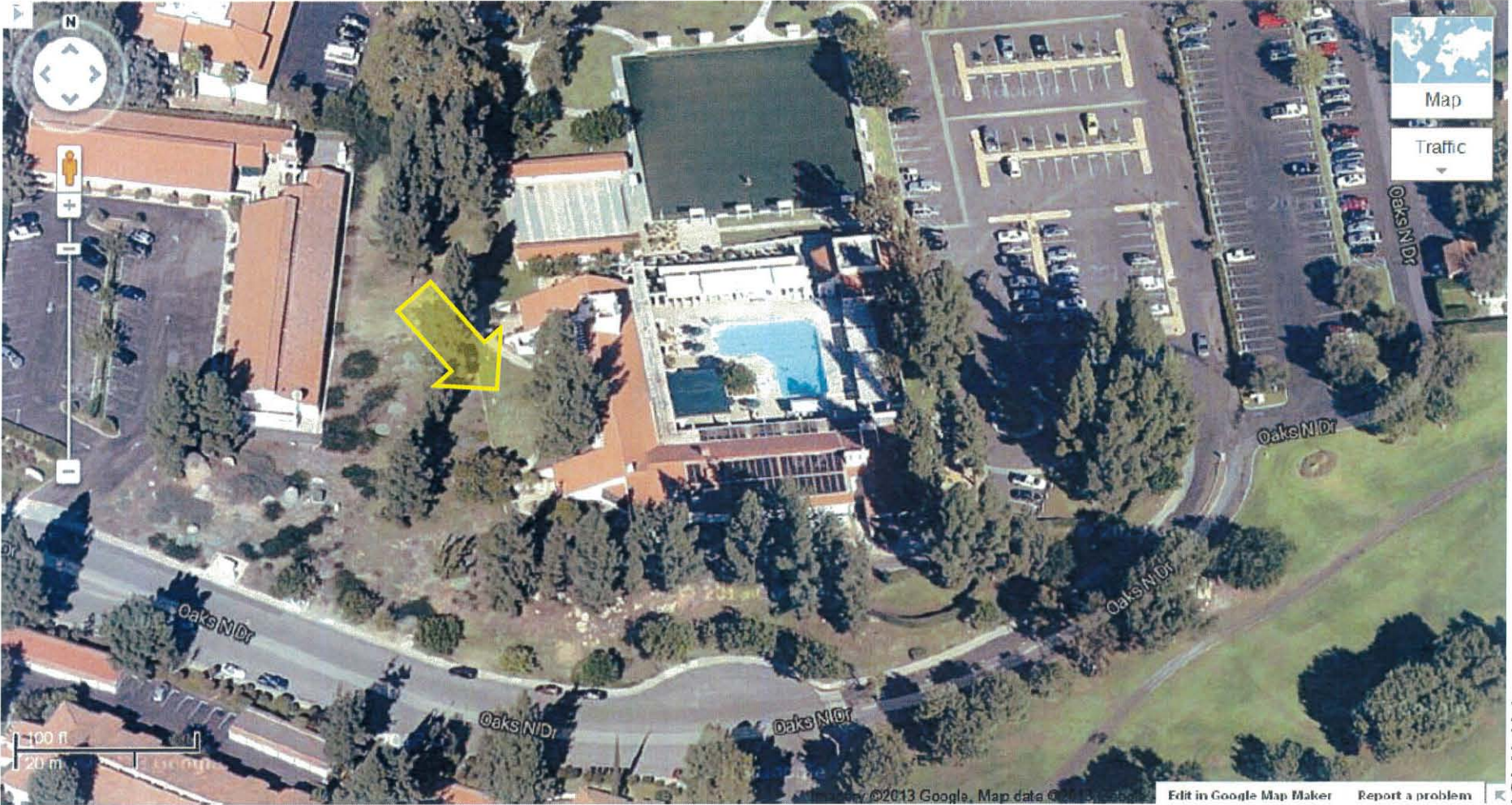
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Alex Hempton, AICP  
Development Project Manager  
Development Services Department

TOMLINSON/AFH

Attachments:

1. Aerial Photo
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Notice of (Environmental) Exemption
8. Photo Simulations
9. Site Justification and Coverage Maps
10. Photographic Survey
11. Project Plans
12. Ownership Disclosure Statement
13. Project Chronology
14. Notice of Planning Commission Hearing
15. Community Group Minutes



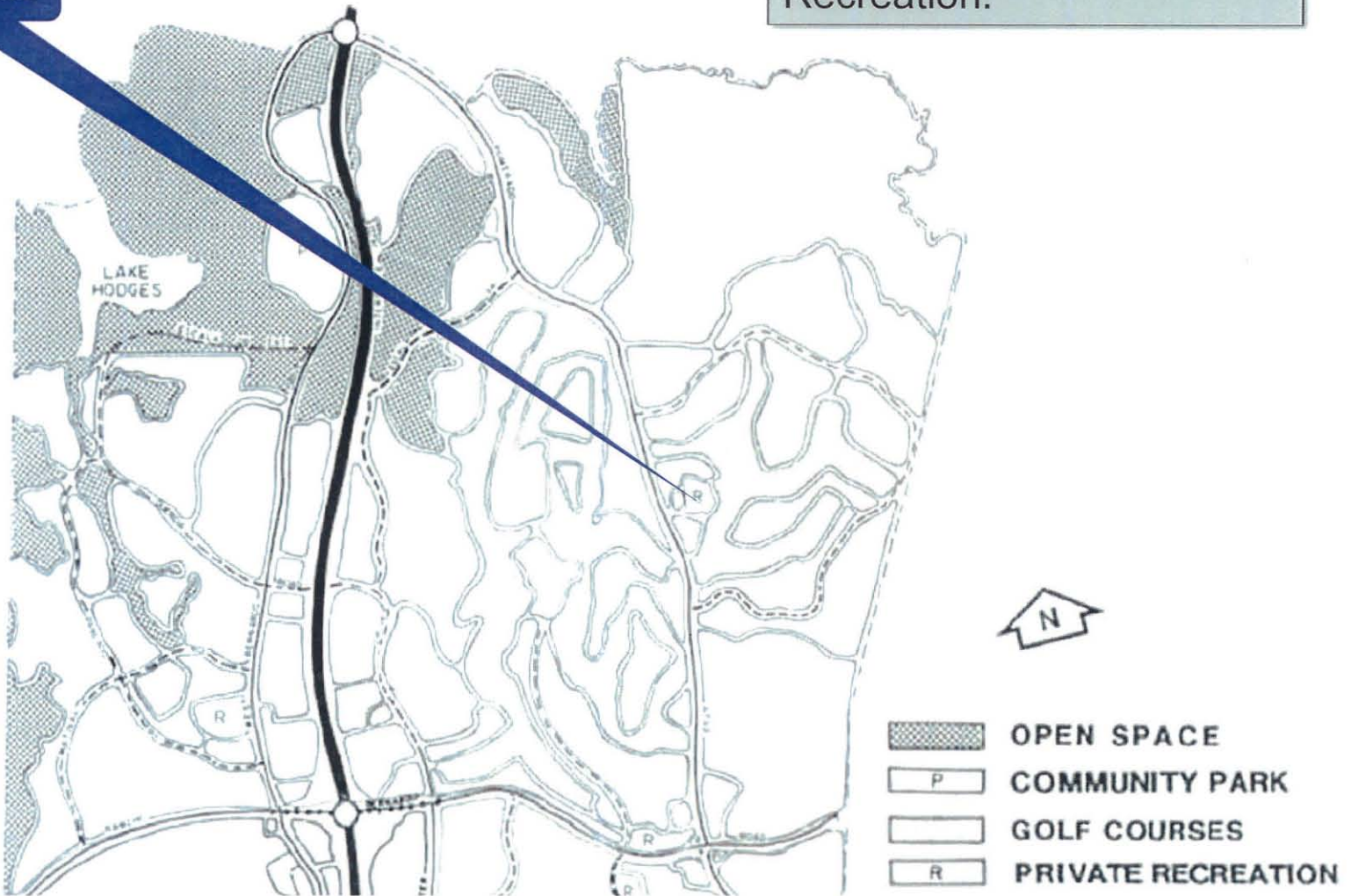
# Aerial Photo

Verizon – Oaks North – Project Number 310809

12578 Oaks North Drive

Project Site

Designated as "Private Recreation."



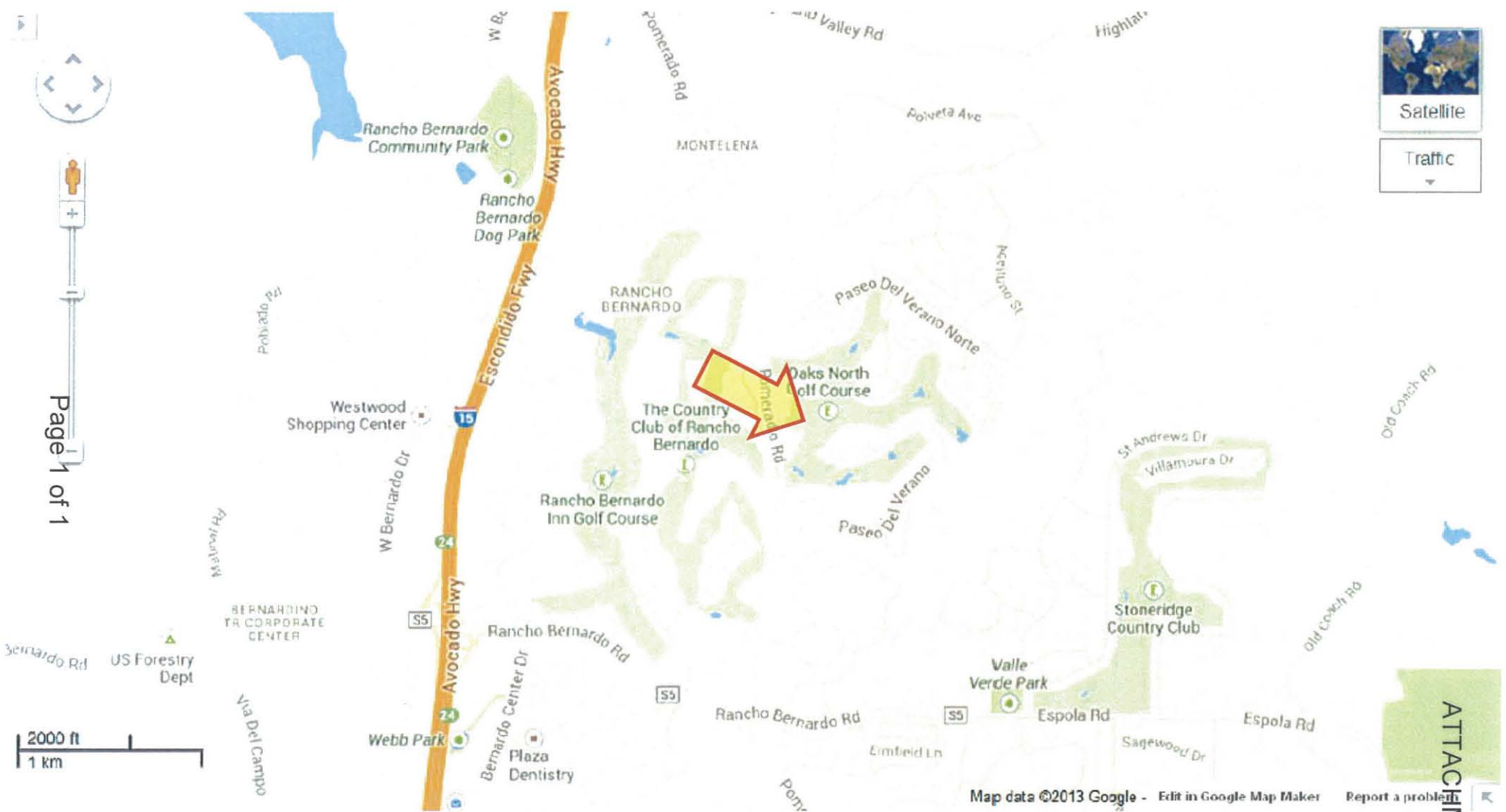
## Community Plan Land Use Designation

Verizon – Oaks North – Project Number 310809

12578 Oaks North Drive

FIGURE  
14

Page 1 of 1



Map data ©2013 Google - Edit in Google Map Maker Report a problem



**Project Location Map**  
Verizon – Oaks North – Project Number 310809  
 12578 Oaks North Drive



ATTACHMENT 3

<b>PROJECT DATA SHEET</b>		
<b>PROJECT NAME:</b>	Verizon – Oaks North	
<b>PROJECT DESCRIPTION:</b>	Wireless Communication Facility (WCF) consisting of a 52-foot tall monopine supporting 12 panel antennas and one microwave dish. Equipment is proposed adjacent to the monopine in an enclosure.	
<b>COMMUNITY PLAN AREA:</b>	Rancho Bernardo	
<b>DISCRETIONARY ACTIONS:</b>	NUP, NDP, and PDP (Process 4)	
<b>COMMUNITY PLAN LAND USE DESIGNATION:</b>	Private Recreation	
<b><u>ZONING INFORMATION:</u></b>		
<b>ZONE:</b> RS-1-14 <b>HEIGHT LIMIT:</b> 35' <b>FRONT SETBACK:</b> 15' <b>SIDE SETBACK:</b> 4' <b>REAR SETBACK:</b> 10'		
<b><u>ADJACENT PROPERTIES:</u></b>	<b>LAND USE DESIGNATION &amp; ZONE</b>	<b>EXISTING LAND USE</b>
<b>NORTH:</b>	Residential, RM-1-1	Residential/Golf Course
<b>SOUTH:</b>	Residential, RS-1-14	Residential/Golf Course
<b>EAST:</b>	Residential, RS-1-14	Residential/Golf Course
<b>WEST:</b>	Commercial, CN-1-2	Commercial
<b>DEVIATIONS OR VARIANCES REQUESTED:</b>	Deviation to the RS-1-14 zone 35-foot height limit and deviation to the WCF Design Requirements, LDC Section 141.0420(g)(3) which limits equipment square footage to 250 square feet.	
<b>COMMUNITY PLANNING GROUP RECOMMENDATION:</b>	The Rancho Bernardo Planning Board, at their June 20, 2013 meeting, voted not to approve the project at this time.	

PLANNING COMMISSION  
RESOLUTION NO. PC-XXXX  
NEIGHBORHOOD USE PERMIT NO. 1182839  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1182840  
PLANNED DEVELOPMENT PERMIT NO. 1182841  
**VERIZON – OAKS NORTH**  
PROJECT NUMBER 310809

WHEREAS, the OAKS NORTH COMMUNITY CENTER, INC., Owner, and VERIZON WIRELESS, Permittee, filed an application with the City of San Diego for a permit to construct, operate, and maintain a Wireless Communication Facility (WCF) (as described in and by reference to the approved Exhibit "A" and corresponding conditions of approval for the associated Permit Nos. 1182839, 1182840, and 1182841);

WHEREAS, the site is located at 12578 Oaks North Drive of the RS-1-14 zone of the Rancho Bernardo Community Plan;

WHEREAS, the project site is legally described as: Lot 5 of Oaks North Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 7186, filed in the Office of the County Recorder of San Diego County, January 25, 1972;

WHEREAS, on July 31, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New Construction) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on September 26, 2013, the Planning Commission of the City of San Diego considered Neighborhood Use Permit No. 1182839, Neighborhood Development Permit No. 1182840, and Planned Development Permit No. 1182841 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE, BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated September 26, 2013:

FINDINGS:

**Neighborhood Use Permit - Section 126.0205**

**1. The proposed development will not adversely affect the applicable land use plan;**

While the Rancho Bernardo Community Plan does not specifically address WCFs, the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. This project proposes



to camouflage antennas on a 52-foot tall faux pine tree, referred to as a “monopine.” The proposed faux tree is situated in a grove of existing pine trees. Three additional live pine trees will be planted to fill-in gaps in the landscape screening. Equipment associated with the facility is located adjacent to the faux tree and will be minimally visible from the public right-of-way and adjacent properties due to existing vegetation. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that Verizon Wireless perform a model RF test and submit the findings in a report to the City of San Diego prior to the issuance of a building permit. (Note: This condition is in addition to LDC section 141.0420(b)(1)(A), which requires compliance with federal and state standards and regulations with regards to WCF’s.) Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

**3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.**

This project complies with the regulations of the WCF Regulations, LDC Section 141.0420, with the exception of the size of the equipment area square footage. The equipment area, at 451-square feet, exceeds the 250-square foot maximum permitted by the WCF Design Requirements, LDC Section 141.0420(g)(3). The additional square footage allows for the necessary equipment to operate the antennas at full capacity and to accommodate space for an emergency generator. The deviation to the equipment area maximum size is being permitted with this Neighborhood Development Permit. In addition, the monopine height, at 52-feet, exceeds the RS-1-14 zone 35-foot height limit. The height deviation is being permitted with this Planned Development Permit. WCF are permitted in residential zones, with a non-residential use, where the antennas are more than 100-feet from the property line of a residential use, day care, elementary school, or middle school, with the processing of a Neighborhood Use Permit. The design of the proposed WCF, as a faux pine tree, or “monopine,” is appropriate in this setting. The monopine is surrounded by existing mature pine trees. Additionally, three live pine trees are proposed to fill-in gaps in the screening. Equipment associated with the antennas, and an emergency generator, are located in an enclosure adjacent to the monopine. WCF are permitted as faux landscape, such as the proposed monopine, when existing or proposed live trees, of a similar size and species are provided. WCF are required to be minimally visible, utilizing architecture, landscape, and siting solutions. In this case, the design of the WCF complies with these regulations. The requested deviations are acceptable, as existing trees of a similar height exist surrounding the monopine, and effectively screen and integrate the WCF with the surrounding neighborhood. Landscape screening is provided between the proposed equipment enclosure and the public right-of-way and adjacent properties and will be minimally visible, even at a size greater than the maximum permitted by the regulations. The requested height of the proposed monopine will allow Verizon

to meet its coverage objective and possibly reduce the number of additional WCFs required to provide coverage in this area. The increased equipment area accommodates space for an emergency generator and allows noise features to be added to comply with noise requirements. The proposed project complies with the applicable regulations, and the allowable deviations permitted with these permits.

**Neighborhood Development Permit - Section 126.0404**

**1. The proposed development will not adversely affect the applicable land use plan;**

While the Rancho Bernardo Community Plan does not specifically address WCFs, the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. This project proposes to camouflage antennas on a 52-foot tall faux pine tree, referred to as a "monopine." The proposed faux tree is situated in a grove of existing pine trees. Three additional live pine trees will be planted to fill-in gaps in the landscape screening. Equipment associated with the facility is located adjacent to the faux tree and will be minimally visible from the public right-of-way and adjacent properties due to existing vegetation. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

**2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." The proposed project would be consistent with the FCC's regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that Verizon Wireless perform a model RF test and submit the findings in a report to the City of San Diego prior to the issuance of a building permit. (Note: This condition is in addition to LDC section 141.0420(b)(1)(A), which requires compliance with federal and state standards and regulations with regards to WCF's.) Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

**3. The proposed development will comply with the applicable regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.**

This project complies with the regulations of the WCF Regulations, LDC Section 141.0420, with the exception of the size of the equipment area square footage. The equipment area, at 451-square feet, exceeds the 250-square foot maximum permitted by the WCF Design Requirements, LDC Section 141.0420(g)(3). The additional square footage allows for the necessary equipment to operate the antennas at full capacity and to accommodate space for an emergency generator. The deviation to the equipment area maximum size is being permitted with this Neighborhood Development Permit. In addition, the monopine height, at 52-feet, exceeds the RS-1-14 zone 35-

foot height limit. The height deviation is being permitted with this Planned Development Permit. WCF are permitted in residential zones, with a non-residential use, where the antennas are more than 100-feet from the property line of a residential use, day care, elementary school, or middle school, with the processing of a Neighborhood Use Permit. The design of the proposed WCF, as a faux pine tree, or “monopine,” is appropriate in this setting. The monopine is surrounded by existing mature pine trees. Additionally, three live pine trees are proposed to fill-in gaps in the screening. Equipment associated with the antennas, and an emergency generator, are located in an enclosure adjacent to the monopine. WCF are permitted as faux landscape, such as the proposed monopine, when existing or proposed live trees, of a similar size and species are provided. WCF are required to be minimally visible, utilizing architecture, landscape, and siting solutions. In this case, the design of the WCF complies with these regulations. The requested deviations are acceptable, as existing trees of a similar height exist surrounding the monopine, and effectively screen and integrate the WCF with the surrounding neighborhood. Landscape screening is provided between the proposed equipment enclosure and the public right-of-way and adjacent properties and will be minimally visible, even at a size greater than the maximum permitted by the regulations. The requested height of the proposed monopine will allow Verizon to meet its coverage objective and possibly reduce the number of additional WCFs required to provide coverage in this area. The increased equipment area accommodates space for an emergency generator and allows noise features to be added to comply with noise requirements. The proposed project complies with the applicable regulations, and the allowable deviations permitted with these permits.

#### **Planned Development Permit - Section 126.0604**

##### **1. The proposed development will not adversely affect the applicable land use plan;**

While the Rancho Bernardo Community Plan does not specifically address WCFs, the City’s General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities be concealed from view. This project proposes to camouflage antennas on a 52-foot tall faux pine tree, referred to as a “monopine.” The proposed faux tree is situated in a grove of existing pine trees. Three additional live pine trees will be planted to fill-in gaps in the landscape screening. Equipment associated with the facility is located adjacent to the faux tree and will be minimally visible from the public right-of-way and adjacent properties due to existing vegetation. Based on the design of this project, the WCF will not adversely affect the applicable land use plans.

##### **2. The proposed development will not be detrimental to the public health, safety, and welfare; and**

The Telecommunication Act of 1996 preempts local governments from regulating the “placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission’s (FCC) standards for such emissions.” The proposed project would be consistent with the FCC’s regulations for wireless facilities. To insure that the FCC standards are being met, a condition has been added to the permit to require that Verizon Wireless perform a model RF test and submit the findings in a report to the City of

San Diego prior to the issuance of a building permit. (Note: This condition is in addition to LDC section 141.0420(b)(1)(A), which requires compliance with federal and state standards and regulations with regards to WCF's.) Therefore, based on the above, the project would not result in any significant health or safety risks to the surrounding area within the jurisdiction of the City.

3. **The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone, and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.**

This project complies with the regulations of the WCF Regulations, LDC Section 141.0420, with the exception of the size of the equipment area square footage. The equipment area, at 451-square feet, exceeds the 250-square foot maximum permitted by the WCF Design Requirements, LDC Section 141.0420(g)(3). The deviation to the equipment area maximum size is being permitted with this Neighborhood Development Permit. In addition, the monopine height, at 52-feet, exceeds the RS-1-14 zone 35-foot height limit. The height deviation is being permitted with this Planned Development Permit. WCF are permitted in residential zones, with a non-residential use, where the antennas are more than 100-feet from the property line of a residential use, day care, elementary school, or middle school, with the processing of a Neighborhood Use Permit. The design of the proposed WCF, as a faux pine tree, or "monopine," is appropriate in this setting. The monopine is surrounded by existing mature pine trees. Additionally, three live pine trees are proposed to fill-in gaps in the screening. Equipment associated with the antennas, and an emergency generator, are located in an enclosure adjacent to the monopine. WCF are permitted as faux landscape, such as the proposed monopine, when existing or proposed live trees, of a similar size and species are provided. WCF are required to be minimally visible, utilizing architecture, landscape, and siting solutions. In this case, the design of the WCF complies with these regulations. The requested deviations are acceptable, as existing trees of a similar height exist surrounding the monopine, and effectively screen and integrate the WCF with the surrounding neighborhood. The deviations result in a more desirable project by allowing Verizon to meet its coverage objectives by allowing the proposed monopine height, and provide emergency backup power, by allowing the additional equipment area square footage for a generator. The overall project will provide more reliable wireless coverage to the surrounding neighborhood in a way that is visually compatible. Landscape screening is provided between the proposed equipment enclosure and the public right-of-way and adjacent properties and will be minimally visible, even at a size greater than the maximum permitted by the regulations. The requested height of the proposed monopine will allow Verizon to meet its coverage objective and possibly reduce the number of additional WCFs required to provide coverage in this area. The increased equipment area accommodates space for an emergency generator and allows noise features to be added to comply with noise requirements. The proposed deviations are appropriate for this location, based on the proposed design, and result in a more desirable project than if designed in strict conformance with the regulations.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, NEIGHBORHOOD USE PERMIT NO. 1182839, NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1182840, and PLANNED DEVELOPMENT PERMIT NO. 1182841 are hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms

## ATTACHMENT 5

and conditions as set forth in Permit Nos. 1182839, 1182840, and 1182841, a copy of which is attached hereto and made a part hereof.

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Alexander Hempton, AICP  
Development Project Manager  
Development Services

Adopted on: September 26, 2013

Internal Order No. 24003535

**RECORDING REQUESTED BY**  
CITY OF SAN DIEGO  
DEVELOPMENT SERVICES  
PERMIT INTAKE, MAIL STATION 501

**PROJECT MANAGEMENT**  
**PERMIT CLERK**  
**MAIL STATION 501**

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003535

NEIGHBORHOOD USE PERMIT NO. 1182839  
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1182840  
PLANNED DEVELOPMENT PERMIT NO. 1182841  
**VERIZON – OAKS NORTH**  
PROJECT NUMBER 310809

This NEIGHBORHOOD USE PERMIT NO. 1182839, NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1182840, and PLANNED DEVELOPMENT PERMIT NO. 1182841 are granted by the Planning Commission of the City of San Diego to the OAKS NORTH COMMUNITY CENTER, INC., Owner, and VERIZON WIRELESS, Permittee, pursuant to San Diego Municipal Code [SDMC] sections 141.0420, 126.0201, 126.0401, and 126.0601. The site is located at 12578 Oaks North Drive of the RS-1-14 zone of the Rancho Bernardo Community Plan. The project site is legally described as: Lot 5 of Oaks North Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map Thereof No. 7186, filed in the Office of the County Recorder of San Diego County, January 25, 1972.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct, operate, and maintain a Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated September 26, 2013, on file in the Development Services Department.

The project shall include:

- a. A 52-foot tall faux tree, or "monopine," supporting the following antennas:
  - a. One (1) 2' diameter microwave dish;
  - b. Six (6) panel antennas with the following dimensions: 71" by 11.2" by 5.2";
  - c. Six (6) panel antennas with the following dimensions: 72.4" by 6.1" by 4.1";
- b. Two deviations are permitted with this permit:

1. The monopine, at 52-feet tall, deviates from the RS-1-14 zone 35-foot height limit by 17 feet.
  2. The equipment enclosure, at 451 square-feet, deviates from the 250-square foot maximum permitted by LDC Section 141.0420(g)(3) by 201 square-feet.
- c. Landscaping (planting, irrigation and landscape related improvements) as shown on Exhibit "A";
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.
- e. This structure is for the dual and equal purposes of providing landscape screening and camouflage, in addition to accommodating the Permittee's Operations on the Premises.

**STANDARD REQUIREMENTS:**

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by October 10, 2016.
2. This permit and corresponding use of this site shall expire on October 10, 2023. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.



13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

#### **ENGINEERING REQUIREMENTS:**

14. The project proposes to export 87 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2009 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. The drainage system proposed for this development, as shown on the site plan, is private and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

18. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

#### **LANDSCAPE REQUIREMENTS:**

19. Prior to issuance of any construction permits, the Owner/Permittee shall submit complete landscape and irrigation construction documents consistent with the Land Development Manual, Landscape Standards to the Development Services Department for approval. The

construction documents shall be in substantial conformance with Exhibit "A," on file in the Office of the Development Services Department.

20. Prior to issuance of any Certificate of Occupancy or activation of the WCF, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.

21. The Owner/Permittee shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

22. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, the Owner/Permittee is responsible to repair and/or replace any landscape in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or prior to Final Landscape Inspection.

**PLANNING/DESIGN REQUIREMENTS:**

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. All proposed hand-holes shall be covered with bark material to match the monopine trunk to the satisfaction of the Development Services Department.

25. Branches shall extend a minimum of 24-inches beyond the face of the proposed antennas to the satisfaction of the Development Services Department.

26. Starting branch height shall be no lower than 11-feet, as illustrated on the stamped, approved Exhibit "A."

27. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.

28. Radio-frequency transparent "socks" fully covering the front and back of the antennas (and any other components) shall be installed.

29. The Owner/Permittee is required to provide color samples of the faux tree prior to Building Permit issuance. This is to ensure that the proposed faux tree integrates with the surrounding landscape. Staff will pre-approve the color sample prior to Building Permit issuance. The exact faux tree color exhibit will be used during the FINAL INSPECTION. The color approved by Planning Staff must be identical to the as-built faux tree.

30. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.
31. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.
32. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
33. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."
34. No overhead cabling is allowed for this project.
35. Exposed mounting apparatus shall be removed and shall not remain on the monopine absent antennas.
36. The Owner/Permittee shall not cause or allow the antennas located on the monopine to be different sizes (length, width, or height) than as shown on the stamped approved plans.
37. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.
38. Prior to the issuance of a construction permit, the telecommunication provider shall provide a certified cumulative radio frequency model study demonstrating compliance with the Federal Communications Commission's Radio Frequency Guidelines. All significant contributors to the ambient RF environment should be considered in the radio frequency model study.
39. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.
40. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

**INFORMATION ONLY:**

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- A “Telecom Planning Inspection” will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at 619-446-5349 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on September 26, 2013 and [Approved Resolution Number].

DRAFT

Permit Type/PTS Approval No.: NUP No. 1182839, NDP No. 1182840, and PDP No. 1182841  
Date of Approval: 9/26/2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES  
DEPARTMENT

\_\_\_\_\_  
Alex Hempton, AICP  
Development Project Manager

**NOTE: Notary acknowledgment  
must be attached per Civil Code  
section 1189 et seq.**

\_\_\_\_\_  
**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of  
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

**OAKS NORTH COMMUNITY  
CENTER, INC.**

Owner

By \_\_\_\_\_  
NAME  
TITLE

**VERIZON WIRELESS**  
Permittee

By \_\_\_\_\_  
NAME  
TITLE

**NOTE: Notary acknowledgments  
must be attached per Civil Code  
section 1189 et seq.**



THE CITY OF SAN DIEGO

Date of Notice: July 31, 2013

# NOTICE OF RIGHT TO APPEAL ENVIRONMENTAL DETERMINATION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24003535

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**PROJECT NAME/NUMBER:** Verizon Oaks North/Project No. 310809  
**COMMUNITY PLAN AREA:** Rancho Bernardo Community Planning Area  
**COUNCIL DISTRICT:** 5  
**LOCATION:** 12578 Oaks North Drive, San Diego, CA 92128

**PROJECT DESCRIPTION:** PLANNED DEVELOPMENT PERMIT (PDP) and NEIGHBORHOOD USE PERMIT (NUP) for a wireless communication facility consisting of twelve panel antennas and one microwave dish mounted to a new 52-foot high monopine, and a new equipment enclosure. The project is located at 12578 Oaks North Drive at the Oaks North Community Center. The project is located within the RS-1-14 zone and the Rancho Bernardo Community Plan area, within Council District 5.

**ENTITY CONSIDERING PROJECT APPROVAL:** City of San Diego Planning Commission (Process 4).

**ENVIRONMENTAL DETERMINATION:** Categorically exempt from CEQA pursuant to CEQA Guidelines, Section 15303 (New Construction).

**ENTITY MAKING ENVIRONMENTAL DETERMINATION:** City of San Diego Development Services Department staff.

**STATEMENT SUPPORTING REASON FOR ENVIRONMENTAL DETERMINATION:** The project has been determined to be exempt from CEQA pursuant to Section 15303. Section 15303 allows the construction and location of limited numbers of new, small facilities or structures. None of the exceptions listed in CEQA Guidelines Section 15003.2 apply, therefore this exemption is applicable to the proposed project.

**CITY CONTACT:** Alex Hempton, Development Project Manager  
**MAILING ADDRESS:** 1222 First Avenue, MS 501, San Diego, CA 92101-4153  
**PHONE NUMBER:** (619) 446-5349

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On July 31, 2013, the City of San Diego made the above-referenced environmental determination pursuant to the California Environmental Quality Act (CEQA). This determination is appealable to

the City of San Diego City Council. If you have any questions about this determination, contact the Project Manager listed above.

Applications to appeal CEQA determination made by staff (including the City Manager) to the City Council must be filed in the office of the City Clerk within 10 business days from the date of the posting of this Notice (August 14, 2013). The appeal application can be obtained from the City Clerk, 202 'C' Street, Second Floor, San Diego, CA 92101.

This information will be made available in alternative formats upon request.



**Bernardo Winery**  
12578 Oaks North Drive  
San Diego, CA  
92128



Page 1 of 2



ATTACHMENT 8

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**PROPOSED**

1/24/2013

**Photosimulation of proposed telecommunications site**





**EXISTING**

**Bernardo Winery**  
12578 Oaks North Drive  
San Diego, CA  
92128



Proposed monopine

Proposed equipment shelter  
finished to match existing  
building

Proposed live pines

Page 2 of 2

ATTACHMENT 8

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

**PROPOSED**

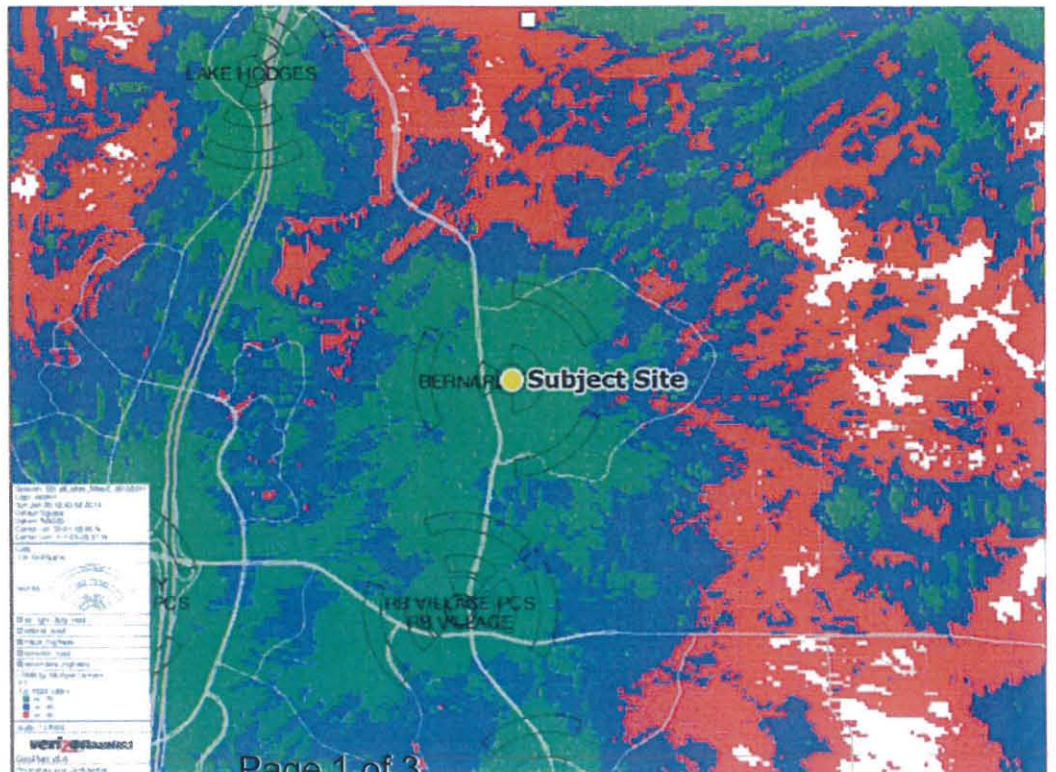
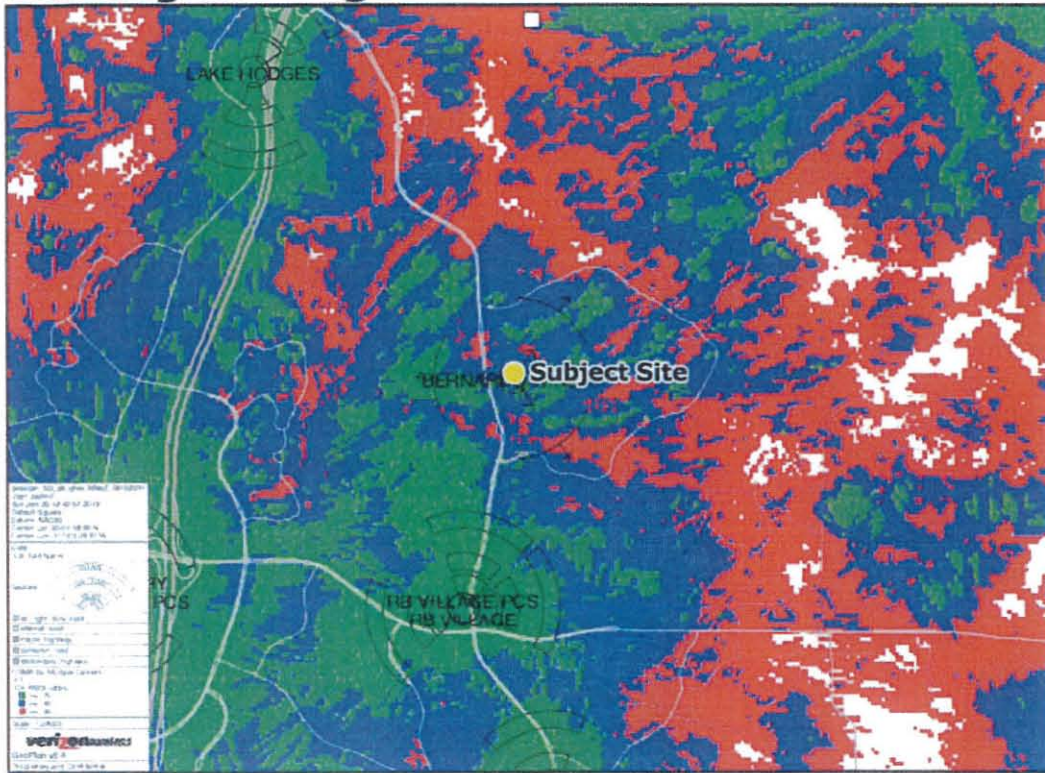
3/13/2013

**Photosimulation of proposed telecommunications site**

Armando Winery  
 18767 Heritage Circle  
 Poway, CA 92064



**Existing coverage**



**Coverage Levels:**

- Excellent
- Good/Variable
- Poor

**Proposed coverage**

**Bernardo Winery**  
 12578 Oaks North Drive  
 San Diego, CA  
 92128



**Legend**

Search Ring

Selected Site

Existing sites within 1 mile radius:

None

**Alternative Sites:**

Heritage Water Tank  
 Heritage Drive  
 Poway, CA 92064

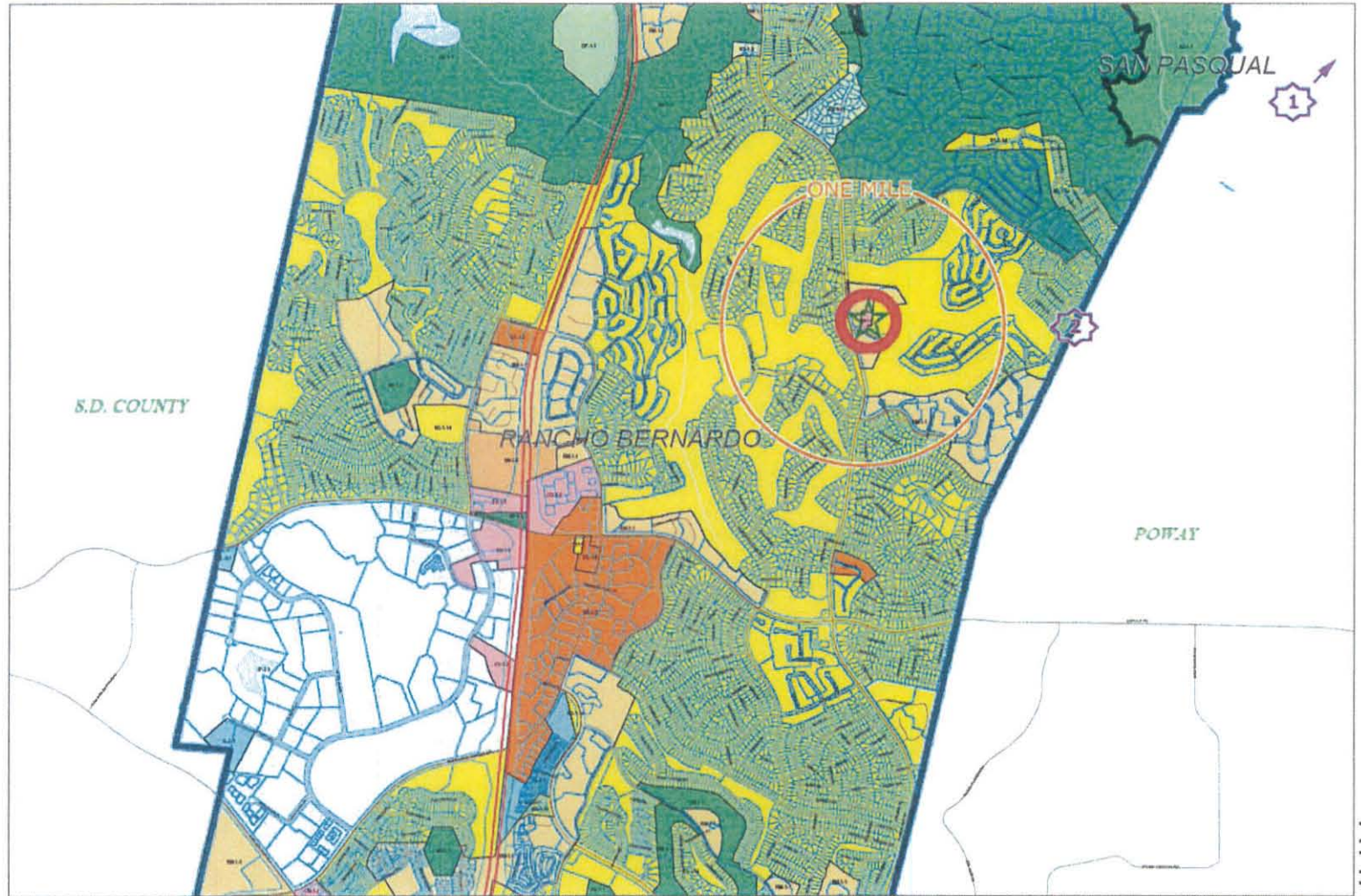
Bernardo Winery (Winery)  
 13330 Paseo Verano Norte  
 San Diego, CA 92128

**Legend**

- City of San Diego Boundary
- Community Plan Areas
- Parcels

**Zoning**

ZONE_NAME
AG-1-1
AR-1-1
AR-1-2
CC-1-3
CN-1-2
CO-1-2
CV-1-1
CV-1-2
IL-2-1
IL-3-1
IP-2-1
OP-1-1
RM-1-1
RM-1-3
RM-2-5
RS-1-11
RS-1-14
RS-1-9

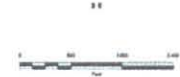


San Diego Geographic Information System (GIS) Data  
 This map is a GIS product of the City of San Diego. It is not a legal document. It is not intended to be used as a legal document. It is not intended to be used as a legal document. It is not intended to be used as a legal document.

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**City of San Diego**  
**Development Services Department**



**GRID TILE: 43**  
 GRID SCALE: 800  
 DATE: 12/18/2007 6:54:58 PM

# PLANCOM INC

## Telecommunications Project Management

January 28, 2013  
VZW – "Bernardo Winery"

*Sent Via Hand Delivery*

Ms. Karen Lynch-Ashcraft  
CITY OF SAN DIEGO  
1222 First Avenue, 5<sup>th</sup> Floor  
San Diego, CA 92101

Re: Verizon Wireless – "Bernardo Winery"

Dear Ms. Lynch-Ashcraft:

We are submitting the attached application and supporting documentation in order to be considered for a Planned Development Permit, Process 4 for a wireless communications facility located at 12578 Oaks North Drive, San Diego, CA 92128. The site is currently developed with the Oaks North Community Center's complex, zoned RS-1-14 and located within the Rancho Bernardo community planning area.

The project consists of the installation of (12) panel antennas configured in 3 sectors of 4 antennas each mounted to a new 52' stealth designed monopine. The rad center is positioned at 44" and the associated 2' MW dish is located directly below at 37'. The associated equipment will be located within a 14'-0" x 31'-4" equipment enclosure complete with stucco finish to match the adjacent building.

Given the coverage objectives and in keeping with current equipment standards we have located this WCFs proposal on a Preference 2 location with an established telecom use however the equipment space exceeds the 250 square foot requirement and the pine itself exceeds the height limit for residential zones and therefore requires a Process 4 – Development Permit. Although a deviation is required, we believe the design is consistent with existing stealth trees in the immediate area and visually integrates with the existing mature landscape on site.

We appreciate your assistance with this project. I will be the contact person for this project, therefore, if you have any questions or need additional information, please contact me directly at (619) 223-1357.

Sincerely,



Shelly Kilbourn, Land Use Consultant  
Agent for Verizon Wireless  
Enclosures



## PHOTO STUDY & KEY MAP

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PROPOSAL TO ESTABLISH AND OPERATE A  
NEW DIGITAL PCS  
COMMUNICATIONS FACILITY

**Verizon Wireless**  
**"Bernardo Winery"**  
12578 Oaks North Drive  
San Diego, CA 92128

Prepared for:  
**City of San Diego**  
**Development Services Department**  
1222 First Avenue  
San Diego, CA 92101

Prepared by:  
**PlanCom, Inc.**  
*Contractor Representatives for*  
**Verizon Wireless**

302 State Place  
Escondido, CA 92029  
Contact: Shelly Kilbourn, Planning Consultant  
(619) 223-1357

January 24, 2013



North Elevation



East Elevation



South Elevation



West Elevation



Looking North



Looking East





Looking South



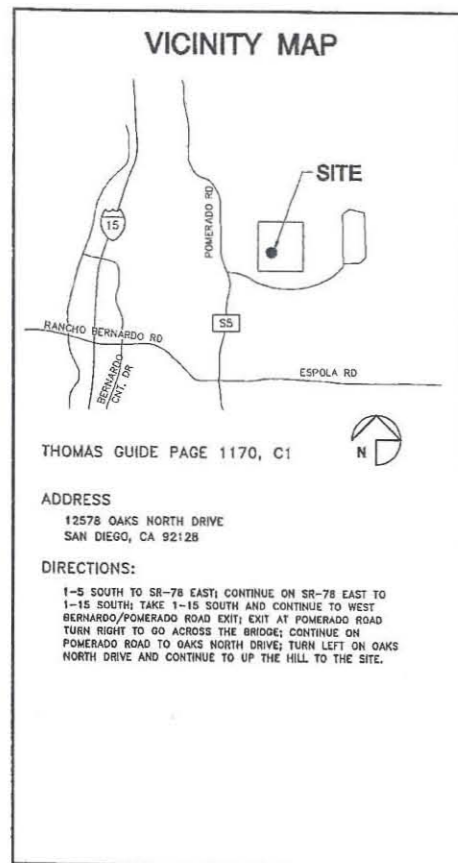
Looking West



Aerial View



**BERNARDO WINERY**  
**12578 OAKS NORTH DRIVE**  
**SAN DIEGO, CA 92128**  
**AKA OAKS NORTH**



**FCC COMPLIANCE STATEMENT**

THE WIRELESS COMMUNICATION FACILITY COMPLIES WITH FEDERAL STANDARDS FOR RADIO FREQUENCY IN ACCORDANCE WITH THE TELECOMMUNICATION ACT OF 1996 AND SUBSEQUENT AMENDMENTS AND ANY OTHER REQUIREMENTS IMPOSED BY STATE OR FEDERAL REGULATORY AGENCIES.

**ENERGY NOTE:**  
 0% FROM ON-SITE RENEWABLE POWER SOURCE

**CONSULTANT TEAM**

**ARCHITECT:**  
 BOOTH & SUAREZ ARCHITECTURE, INC.  
 325 CARLSBAD VILLAGE DRIVE, SUITE D2  
 CARLSBAD, CA 92008  
 (760) 434-8474  
 (760) 434-8596 (FAX)

**SURVEYOR:**  
 JRN CIVIL ENGINEERS  
 232 AVENIDA FABRICANTE, SUITE 107  
 SAN CLEMENTE CA 92672  
 (949) 248-4685

**LEASING/PLANNING:**  
 FLANCON, INC.  
 BRENT HELMING  
 302 STATE PLACE  
 ESCONDOIDO, CA 92029  
 (760) 533-6065

**TYPE OF PERMIT REQUIRED:**

- PROCESS 4 PLANNED DEVELOPMENT PERMIT
- AND NEIGHBORHOOD USE PERMIT

**SCALE**

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

**PROJECT SUMMARY**

**APPLICANT:** VERIZON WIRELESS  
 15505 SAND CANYON AVENUE  
 IRVINE, CA 92618  
**CONTACT:** BRENT HELMING  
 PHONE: (760) 533-6065

**OWNER:** OAKS NORTH COMMUNITY CENTER INC  
 12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
**CONTACT:** ORLANDO URIBE - MANAGER  
 PHONE: (858) 487-0120

**PROJECT DESCRIPTION:**

- PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW STICK BUILT BUILDING WITH STUCCO FINISH AND A TILE ROOF ON A CONCRETE PAD. FINISH TO MATCH EXISTING STORAGE BUILDINGS.
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED TO A NEW 52'-0" HIGH MONOPINE. (6) 71" LENGTH x 11.2" WIDTH x 5.2" DEPTH (6) 72.4" LENGTH x 6.1" WIDTH x 4.1" DEPTH
- INSTALLATION OF TWO (2) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF SIX (6) RRU'S) MOUNTED TO PROPOSED 52'-0" HIGH MONOPINE.
- INSTALLATION OF ONE (1) VERIZON WIRELESS 2'-0" MICROWAVE DISH (FOR TELCO SERVICE FEED) MOUNTED TO PROPOSED 52'-0" HIGH MONOPINE
- INSTALLATION OF A 30KW ENCLOSED EMERGENCY GENERATOR WITH A 150 GALLON DIESEL TANK ON A CONCRETE PAD WITH A CONTAINMENT CURB INSIDE A NEW CONCRETE BLOCK WALL SOUND ATTENUATION BUILDING
- INSTALLATION OF TWO (2) VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF NEW COAXIAL CABLE IN AN UNDERGROUND TRENCH BETWEEN THE PROPOSED MONOPINE AND THE PROPOSED VERIZON WIRELESS EQUIPMENT ENCLOSURE
- INSTALLATION OF NEW 200 AMP ELECTRICAL METER WITH UNDERGROUND ELECTRICAL CONDUIT FEED FROM EXISTING SDG&E TRANSFORMER
- INSTALLATION OF NEW UNDERGROUND TELCO SERVICE CONNECTION FROM EXISTING COX TELCO PEDESTAL.

**PROJECT ADDRESS:** 12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128

**ASSESSORS PARCEL NUMBER:** 273-670-08-00

**EXISTING ZONING:** RS-1-14 RESIDENTIAL

**TOTAL SITE AREA:** 275,579 SF  
 6.33 ACRES

**PROPOSED AREA:**  
 EQUIPMENT BUILDING: 451 SQ. FT.

**PROPOSED OCCUPANCY:** U

**PROPOSED TYPE OF CONSTRUCTION:** V-B

**F.A.R.:** 0.07

**NOTE:** THERE ARE THREE EXISTING TELECOMMUNICATIONS FACILITIES ON THIS SITE (CRICKET, AT&T, SPRINT)

**SHEET SCHEDULE**

T-1	TITLE SHEET & PROJECT DATA
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	EQUIPMENT FLOOR PLAN
A-3	ROOF PLAN
A-4	EXTERIOR ELEVATIONS
A-5	EXTERIOR ELEVATIONS
A-6	MONOPINE ELEVATION, ANTENNA PLAN & DETAILS
L-1	LANDSCAPE DEVELOPMENT PLAN
L-2	PLANTING LEGEND
C-1	TOPOGRAPHIC SURVEY
C-2	TOPOGRAPHIC SURVEY

**LEGAL DESCRIPTION**

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 5 OF OAKS NORTH UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7186 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 25, 1972.

FOR ADDITIONAL LEGAL DESCRIPTION INFORMATION SEE SHEET C-1

**APPLICABLE CODES**

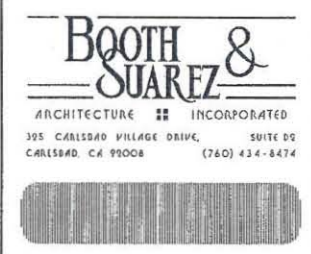
ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

- CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION
- CALIFORNIA PLUMBING CODE, 2010 EDITION
- CALIFORNIA MECHANICAL CODE, 2010 EDITION
- CALIFORNIA ELECTRICAL CODE, 2010 EDITION
- CALIFORNIA FIRE CODE, 2010 EDITION
- CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

**ACCESSIBILITY DISCLAIMER**

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.



PREPARED FOR

P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

**APPROVALS**

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

**PROJECT NAME**  
**BERNARDO WINERY**  
 12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

**DRAWING DATES**

08/30/12	90% ZD (ss)
09/28/12	REVISED 90% ZD (ss)
10/01/12	100% ZD (ss)
03/11/13	REVISED 100% ZD (ss)
04/02/13	REVISED 100% ZD (rd)
04/03/13	REVISED 100% ZD (ss)
04/19/13	REVISED 100% ZD (ss)

**SHEET TITLE**  
**TITLE SHEET & PROJECT DATA**

PROJECTS\VERIZON\12121

**T-1**

**Lessee's Certificate**  
Standard Wireless Facility Project  
For Post-construction BMP's

I, the undersigned, as lessee of a portion of the property described as:  
12678 OAKS NORTH DRIVE, SAN DIEGO, CA 92128  
(Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMP's.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Stencils & Varnish
- Pesticides

I/We will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

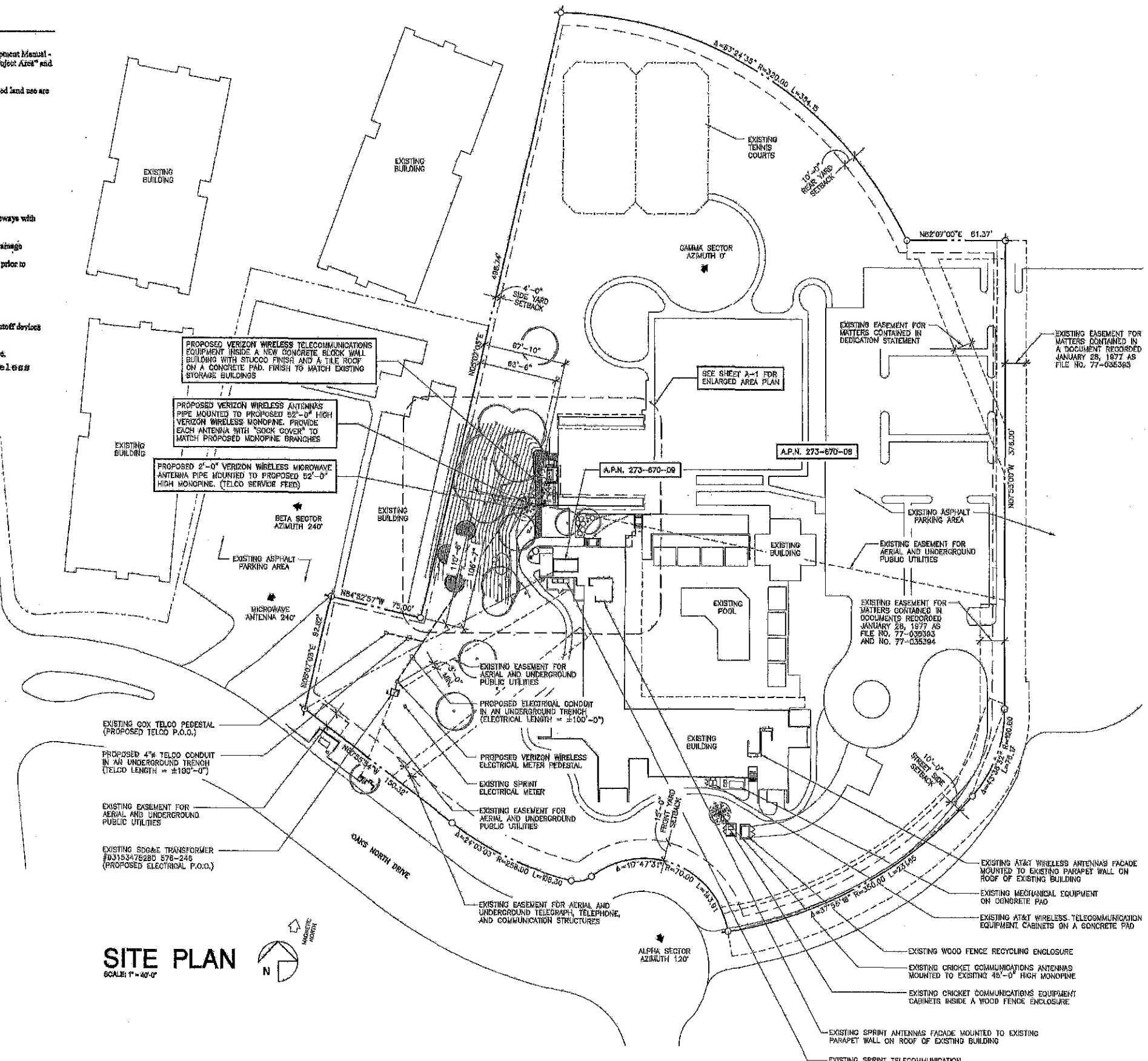
Additionally, I/We will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

I/We will maintain the above Standard Post-construction BMP's for the duration of the lease.

Lessee: Dwight Woods Company Name: Verizon Wireless

Lessee: Dwight Woods Date: 1-9-2008



VERIZON WIRELESS TELECOMMUNICATIONS TRANSMITTER FREQUENCIES AND POWER LEVELS:

CDMA EQUIPMENT:  
TX FREQUENCY: 1965-1970 MHz  
RX FREQUENCY: 1865-1860 MHz  
TX POWER: 600W

PCS EQUIPMENT:  
TX FREQUENCY: 860-864 MHz  
RX FREQUENCY: 835-848 MHz  
TX POWER: 5150W

EASEMENTS:  
EASEMENTS SHOWN REFLECT PRELIMINARY RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL INFORMATION ON NON-PLOTTABLE EASEMENTS

BOUNDARY NOTE:  
THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A COMPLETE BOUNDARY SURVEY WAS NOT PERFORMED

**SITE PLAN**  
SCALE: 1" = 40'-0"



**BOOTH & SUAREZ**  
ARCHITECTURE INCORPORATED  
336 CARLSBAD VILLAGE DRIVE, SUITE D9  
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR



P.O. BOX 18707  
IRVINE, CA 92623-9707  
(949) 256-7000

APPROVALS

AGD	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**BERNARDO WINERY**

12678 OAKS NORTH DRIVE  
SAN DIEGO, CA 92128  
SAN DIEGO COUNTY

DRAWING DATES

08/30/12	90% 2D (ss)
09/28/12	REVISED 80% 2D (ss)
10/01/12	100% 2D (ss)
03/11/13	REVISED 100% 2D (ss)
04/02/13	REVISED 100% 2D (rd)
04/03/13	REVISED 100% 2D (ss)
04/19/13	REVISED 100% 2D (ss)

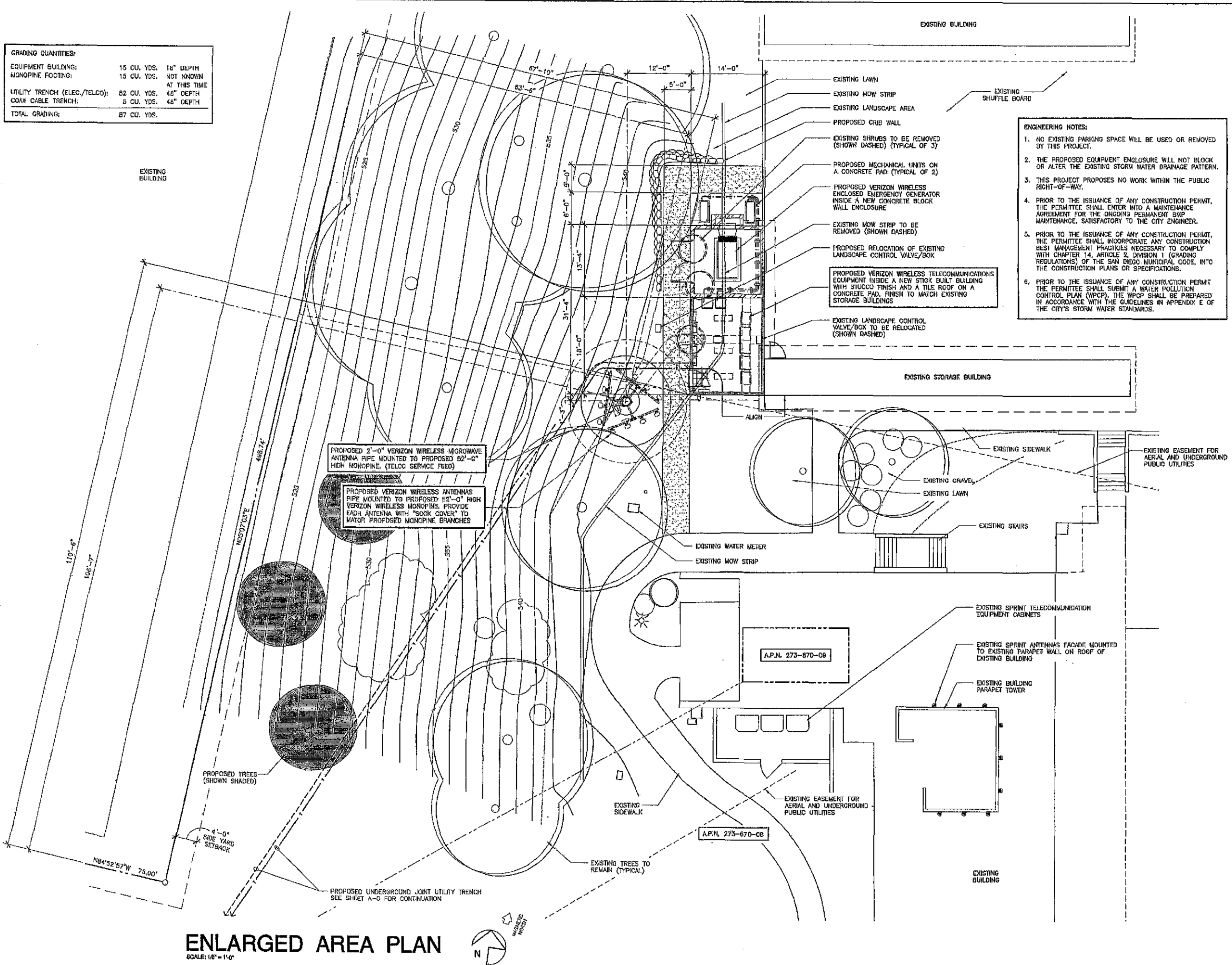
SHEET TITLE

**SITE PLAN**

PROJECTS\VERIZON\12121

**A-0**

GRADING QUANTITIES:		
EQUIPMENT BUILDING:	15 CU. YDS.	18" DEPTH
MONOPINE FOOTING:	15 CU. YDS.	NOT KNOWN AT THIS TIME
UTILITY TRENCH (ELEC./TELECO):	52 CU. YDS.	48" DEPTH
COAX CABLE TRENCH:	5 CU. YDS.	48" DEPTH
<b>TOTAL GRADING:</b>	<b>87 CU. YDS.</b>	



- ENGINEERING NOTES:**
1. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
  2. THE PROPOSED EQUIPMENT ENCLOSURE WILL NOT BLOCK OR ALTER THE EXISTING STORM WATER DRAINAGE PATTERN.
  3. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
  4. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
  5. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 9, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
  6. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.

**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 385 CARLSBAD VILLAGE DRIVE SUITE D9  
 CARLSBAD, CA 92008 (760) 434-6474

PREPARED FOR  
  
 P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/BI	DATE
OP'S	DATE
EE/OUT	DATE

PROJECT NAME  
**BERNARDO WINERY**  
 12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

08/30/12	90% ZD (ss)
09/28/12	REVISED 90% ZD (ss)
10/01/12	100% ZD (ss)
03/11/13	REVISED 100% ZD (ss)
04/02/13	REVISED 100% ZD (rd)
04/03/13	REVISED 100% ZD (ss)
04/19/13	REVISED 100% ZD (ss)

SHEET TITLE  
**ENLARGED AREA PLAN**

PROJECTS\VERIZON\12121

**A-1**

**ENLARGED AREA PLAN**  
 SCALE: 1/8" = 1'-0"

**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 125 CARLEBAD VILLAGE DRIVE, SUITE D9  
 CALLEBARD, CA 95008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**BERNARDO WINERY**

12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

08/30/12	90% ZD (sa)
09/28/12	REVISED 90% ZD (sa)
10/01/12	100% ZD (sa)
03/11/13	REVISED 100% ZD (sa)
04/02/13	REVISED 100% ZD (rd)
04/02/13	REVISED 100% ZD (sa)
04/19/13	REVISED 100% ZD (sa)

SHEET TITLE

**EQUIPMENT FLOOR PLAN**

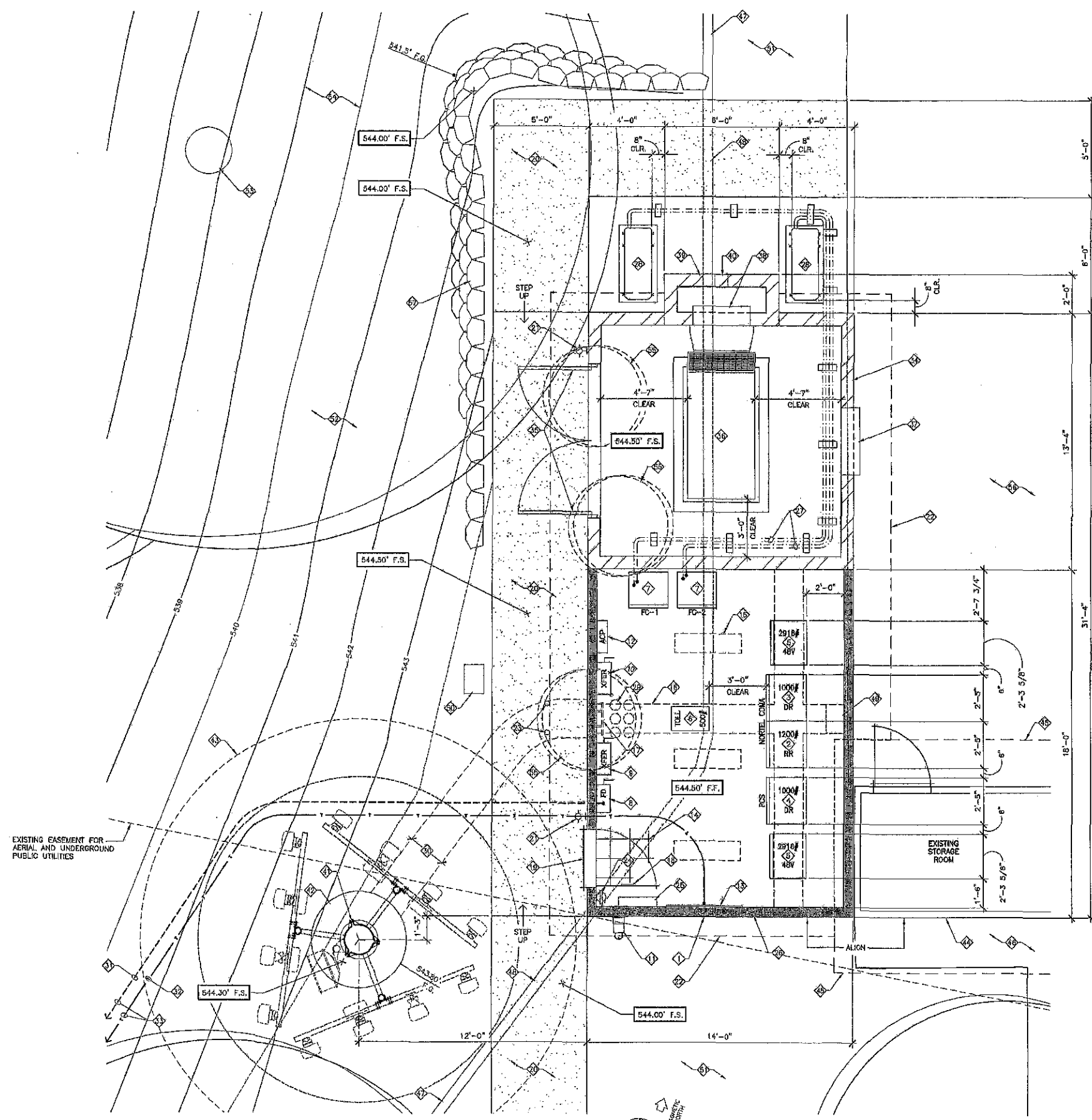
PROJECTS\VERIZON\12121

**A-2**

EQUIPMENT FLOOR PLAN NOTES:

- 1. PROPOSED VERIZON WIRELESS EQUIPMENT INSIDE A NEW STICK BUILT BUILDING TILE ROOF. FINISH TO MATCH EXISTING STORAGE BUILDING (SHOWN SHADED)
- 2. PROPOSED VERIZON WIRELESS NORTTEL CDMA EQUIPMENT RADIO RACK (RR) 29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1200 LBS.
- 3. PROPOSED VERIZON WIRELESS NORTTEL CDMA EQUIPMENT RACK (DR) 29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1000 LBS.
- 4. PROPOSED VERIZON WIRELESS PCS EQUIPMENT RACK (OR) 29" WIDE x 84" HIGH x 25" DEEP. WEIGHT: 1000 LBS.
- 5. PROPOSED VERIZON WIRELESS BATTERY RACK. (TYPICAL OF 2) 27-5/8" WIDE x 57" HIGH x 22-1/2" DEEP. WEIGHT: 2818 LBS.
- 6. PROPOSED VERIZON WIRELESS TOLL RACK. 24" WIDE x 57" HIGH x 15" DEEP. WEIGHT: 600 LBS.
- 7. PROPOSED AIR HANDLERS
- 8. PROPOSED FUSED DISCONNECT SWITCH
- 9. PROPOSED AUTOMATIC TRANSFER SWITCH
- 10. PROPOSED MANUAL TRANSFER SWITCH
- 11. PROPOSED VERIZON WIRELESS REVERSE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 12. PROPOSED 200 AMP ELECTRICAL PANEL
- 13. PROPOSED WALL MOUNTED TELCO BOARD
- 14. PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES. EXCELON #51973 MONO WHITE WITH 4" COVER BASE
- 15. PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 3)
- 16. PROPOSED OVERHEAD 18" CABLE LADDER @ +7'-6" (SHOWN DASHED)
- 17. PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO INSIDE WALL OF BUILDING
- 18. PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME WITH VERIZON WIRELESS SIGNAGE
- 19. PROPOSED ALUMINUM THRESHOLD
- 20. PROPOSED CONCRETE WALK & LANDING
- 21. PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 22. PROPOSED OUTLINE OF TILE ROOF (SHOWN DASHED)
- 23. PROPOSED ES1/GPS ANTENNAS MOUNTED TO TILE ROOF (TYPICAL OF 2)
- 24. PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- 25. PROVIDE AND INSTALL (1) BATTERY ACID SPILL KIT
- 26. PROPOSED 16" x 16" MOTORIZED EXHAUST FAN
- 27. PROPOSED CONDENSATE DRAIN LINE ROUTING
- 28. PROPOSED MECHANICAL UNITS ON A CONCRETE PAD (TYPICAL OF 2). "CARRIER AIR CONDITIONING UNITS MODEL 38HD060 OR EQUIVALENT SIZED UNITS."
- 29. PROPOSED (6) 6" CONDUITS FOR COAX CABLE & (1) 1-1/2" CONDUIT FOR GROUND
- 30. PROPOSED VERIZON WIRELESS COAXIAL CABLE TRENCH
- 31. PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- 32. PROPOSED TELCO CONDUIT IN AN UNDERGROUND UTILITY TRENCH
- 33. PROPOSED TELCO & POWER UTILITY TRENCH. SEE SITE PLAN ON SHEET A-0 FOR CONTINUATION
- 34. PROPOSED CONCRETE BLOCK WALL (NOISE CONTROL FEATURE). SEE NOTE BELOW.
- 35. PROPOSED PAIR 4'-0" WIDE STEEL GATES & FRAME
- 36. PROPOSED VERIZON WIRELESS 30kw ENCLOSED EMERGENCY GENERATOR WITH A 150 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD. "KOHLER" JORCOZIO-VER GENERATOR UNIT OR EQUIVALENT SIZED UNIT WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 65 DBA AT A REFERENCE DISTANCE OF 23 FEET. THE ENGINE EXHAUST SILENCER WILL BE REPLACED WITH A NEW "OTE" EXHAUST 201-5100 CRITICAL GRADE SILENCER OR UNIT WITH SIMILAR OR GREATER NOISE CONTROL CAPABILITIES
- 37. PROPOSED 42" x 54" LOUVERED VENT WITH 12" THICK ACOUSTIC LOUVERS OR UNIT WITH SIMILAR OR GREATER NOISE CONTROL CAPABILITIES
- 38. PROPOSED 36" x 36" LOUVERED VENT WITH 12" THICK ACOUSTIC LOUVERS OR UNIT WITH SIMILAR OR GREATER NOISE CONTROL CAPABILITIES
- 39. PROPOSED CONCRETE BLOCK ACOUSTIC CHIMNEY WALL. TOP OF CHIMNEY WALL SHALL BE 2'-0" MINIMUM ABOVE TOP OF LOUVER
- 40. PROVIDE 4" x 8" OPENING AT BASE OF WALL FOR DRAINAGE (TYPICAL OF 1)
- 41. PROPOSED 52'-0" HIGH VERIZON WIRELESS MONOPINE
- 42. PROPOSED MONOPINE CONCRETE FOOTING
- 43. OUTLINE OF PROPOSED MONOPINE CANOPY
- 44. EXISTING STORAGE BUILDING
- 45. OUTLINE OF EXISTING TILE ROOF (SHOWN DASHED)
- 46. EXISTING CONCRETE SIDEWALK
- 47. EXISTING MOW STRIP
- 48. REMOVE EXISTING MOW STRIP (SHOWN DASHED)
- 49. EXISTING LANDSCAPE CONTROL VALVE/BOX TO BE RELOCATED (SHOWN DASHED)
- 50. PROPOSED RELOCATION OF EXISTING LANDSCAPE CONTROL VALVE/BOX
- 51. EXISTING LAWN AREA
- 52. EXISTING LANDSCAPE AREA
- 53. EXISTING TREE TO REMAIN (TYPICAL)
- 54. EXISTING CONTOUR LINES @ 1'-0" INTERVALS
- 55. REMOVE EXISTING SHRUB (SHOWN DASHED) (TYPICAL OF 3)
- 56. EXISTING CONCRETE SHUFFLE BOARD
- 57. PROPOSED CRIB WALL

NOTE: THE BLOCK WALL ENCLOSURE IS CONSIDERED A PROJECT NOISE DESIGN FEATURE THAT REDUCES NOISE LEVELS DEMONSTRATING COMPLIANCE WITH CITY NOISE STANDARDS.



**EQUIPMENT FLOOR PLAN**  
 SCALE: 3/8" = 1'-0"

**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 225 CARLEBAD VILLAGE DRIVE, SUITE D2  
 CARLSBAD, CA 92008 (760) 432-8474



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**BERNARDO WINERY**

1257B OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

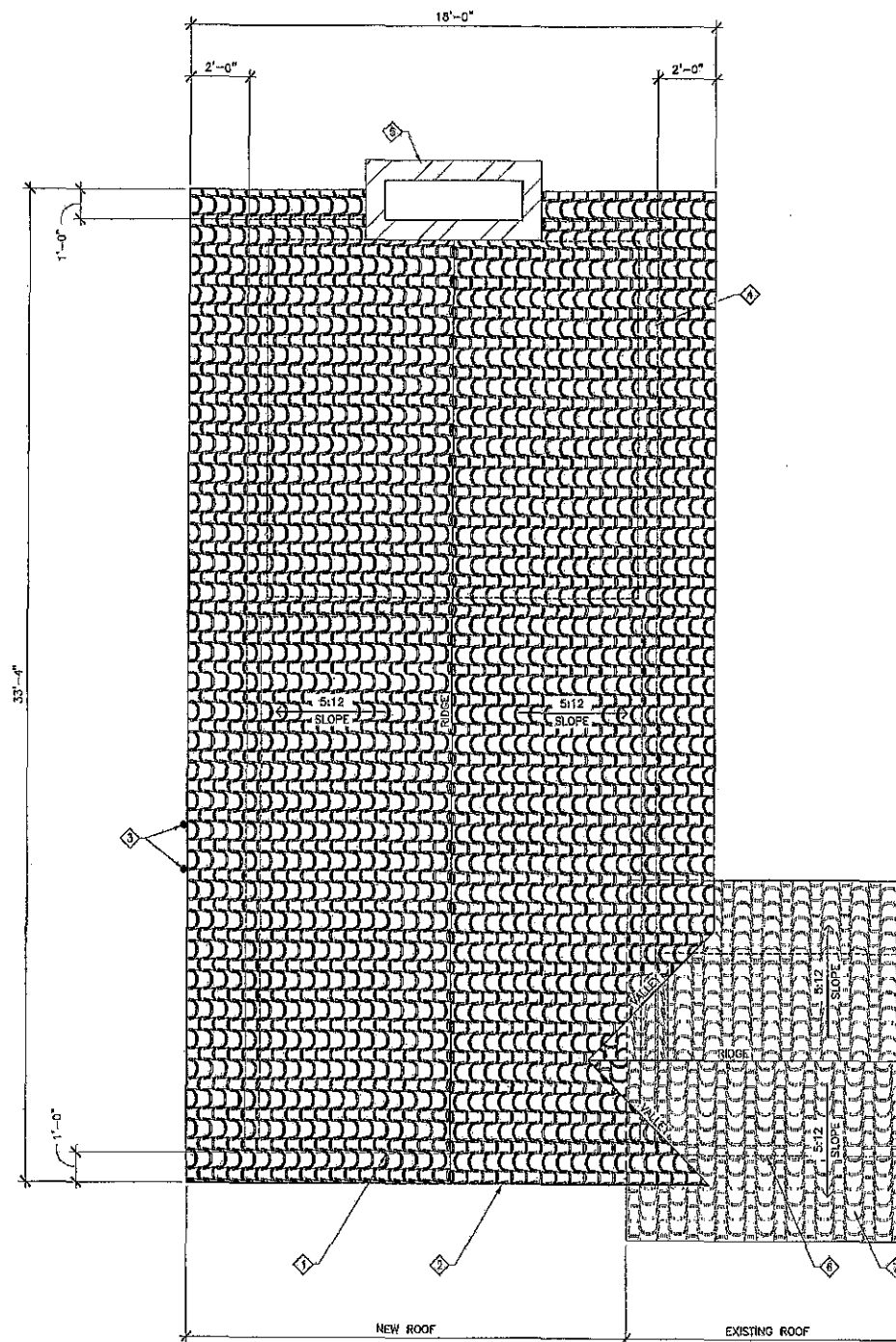
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09/28/12	REVISED 90% ZD (ea)
10/01/12	100% ZD (ea)
03/11/13	REVISED 100% ZD (ea)
04/02/13	REVISED 100% ZD (ea)
04/03/13	REVISED 100% ZD (ea)
04/19/13	REVISED 100% ZD (ea)

SHEET TITLE

ROOF PLAN

PROJECTS\VERIZON\12121

**A-3**



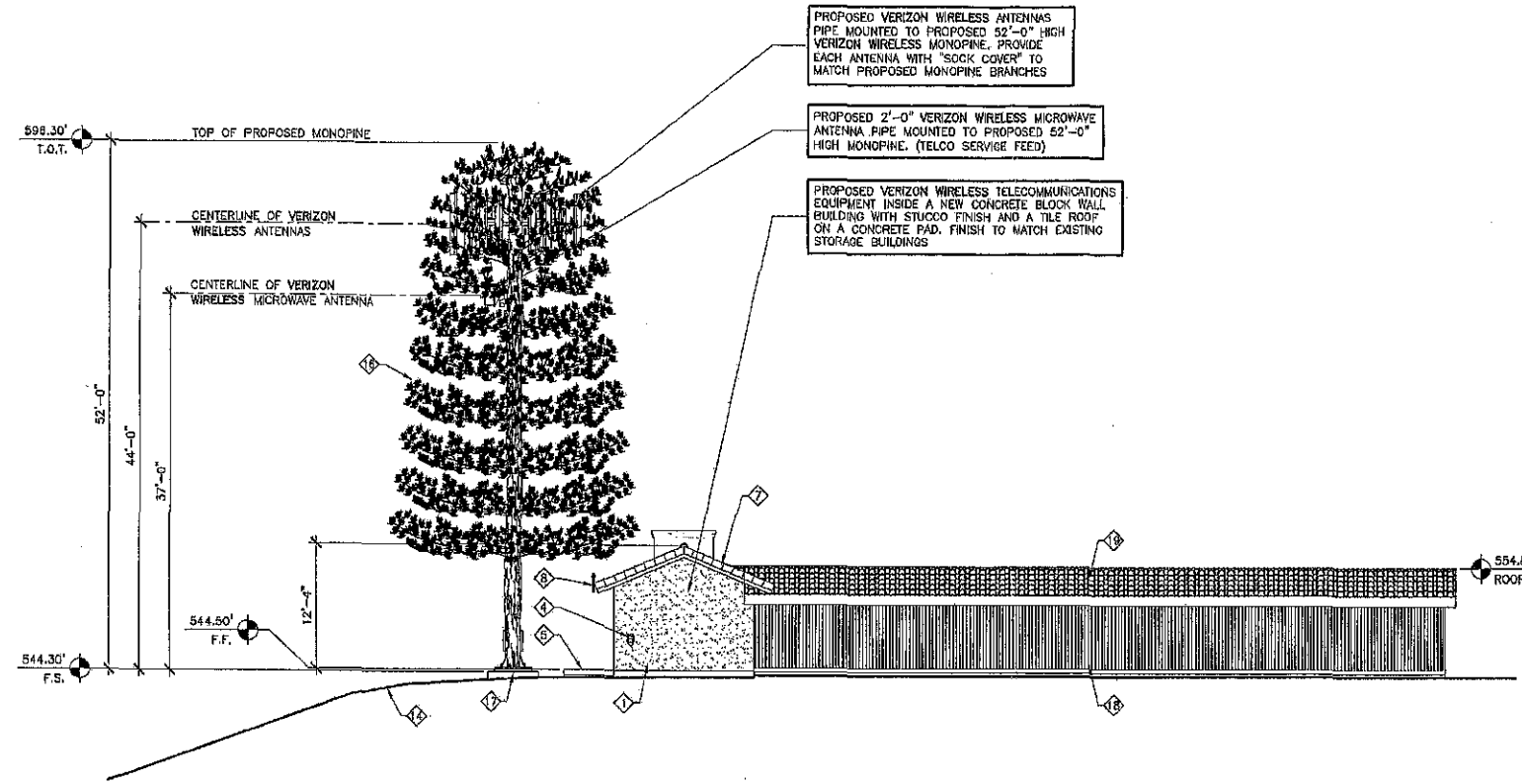
ROOF PLAN NOTES:

- ◆ PROPOSED EQUIPMENT BUILDING BELOW (SHOWN DASHED)
- ◆ TILE ROOFING
- ◆ PROPOSED (2) ES11/GPS ANTENNAS MOUNTED TO ROOF EAVE
- ◆ PROPOSED CONCRETE BLOCK WALL BELOW (SHOWN DASHED)
- ◆ PROPOSED CONCRETE BLOCK ACOUSTIC CHIMNEY WALL
- ◆ EXISTING STORAGE BUILDING (SHOWN DASHED)
- ◆ EXISTING TILE ROOF

**ROOF PLAN**

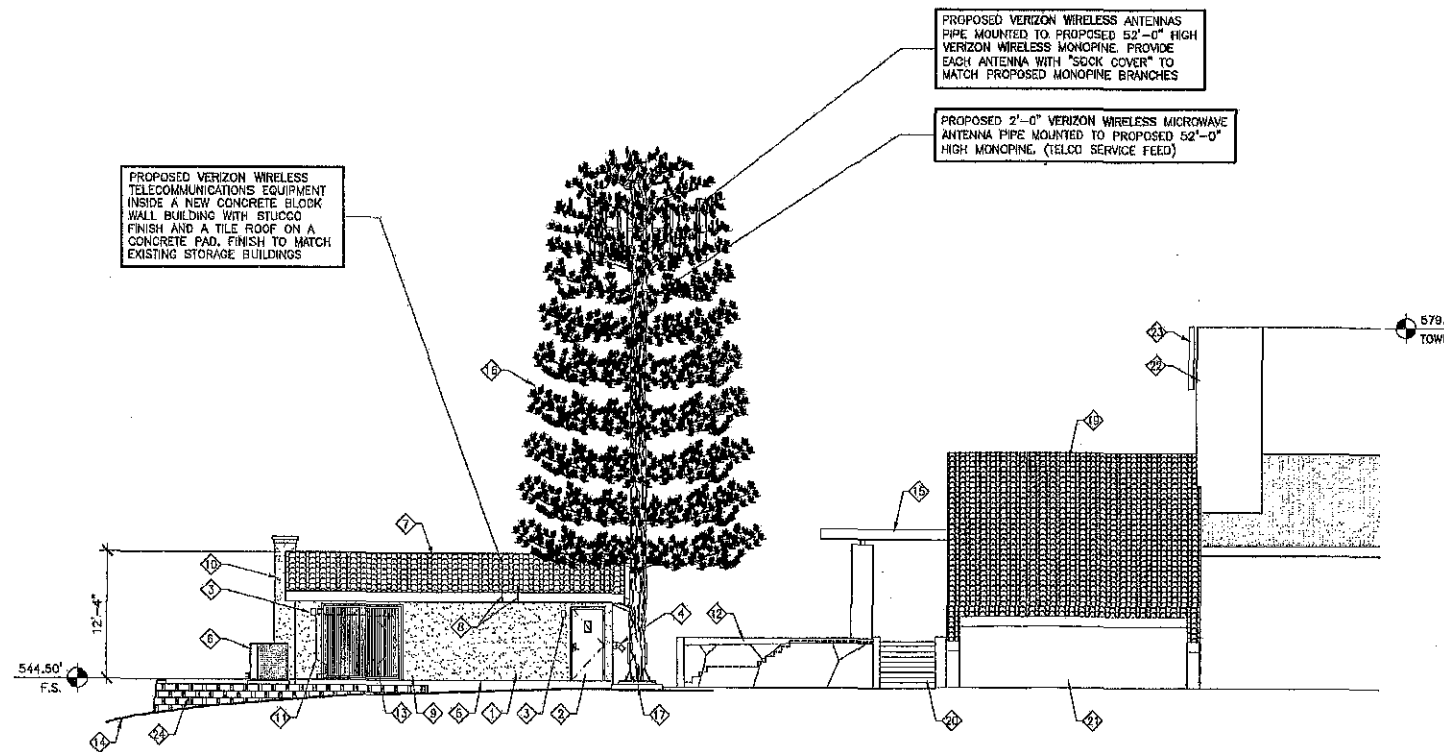
SCALE: 3/8" = 1'-0"





**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



**WEST ELEVATION**

SCALE: 1/8" = 1'-0"

**EXTERIOR ELEVATION NOTES:**

- 1 PROPOSED VERIZON WIRELESS NEW STICK BUILT BUILDING. FINISH TO MATCH EXISTING STORAGE BUILDING (SHOWN SHADED)
- 2 PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME WITH VERIZON WIRELESS SIGNAGE
- 3 PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 4 PROPOSED VERIZON WIRELESS REVERSE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 5 PROPOSED CONCRETE WALK & LANDING
- 6 PROPOSED MECHANICAL UNITS ON A CONCRETE PAD (TYPICAL OF 2)
- 7 PROPOSED TILE ROOF
- 8 PROPOSED EB11/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- 9 PROPOSED CONCRETE BLOCK WALL GENERATOR ENCLOSURE
- 10 PROPOSED CONCRETE BLOCK ACOUSTIC CHIMNEY WALL
- 11 PROPOSED VERIZON WIRELESS 30KW ENCLOSED EMERGENCY GENERATOR WITH A 150 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD. (SHOWN DASHED)
- 12 EXISTING RETAINING WALL
- 13 PROPOSED PAIR 4'-0" WIDE STEEL GATES & FRAME
- 14 EXISTING GRADE
- 15 EXISTING OVERHANG
- 16 PROPOSED 52'-0" HIGH VERIZON WIRELESS MONOPINE
- 17 PROPOSED MONOPINE CONCRETE FOOTING
- 18 EXISTING STORAGE BUILDING
- 19 EXISTING TILE ROOF
- 20 EXISTING STAIRS
- 21 EXISTING BUILDING
- 22 EXISTING BUILDING PARAPET TOWER
- 23 EXISTING SPRINT ANTENNAS MOUNTED TO WALL
- 24 PROPOSED CRIB WALL

**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 395 CARLSBAD VILLAGE DRIVE SUITE 09  
 CARLSBAD, CA 92008 (760) 434-1474

PREPARED FOR  
  
 P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 266-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME  
**BERNARDO WINERY**  
 12576 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

08/30/12	90% ZD (ss)
08/28/12	REVISED 90% ZD (ee)
10/01/12	100% ZD (ss)
02/11/13	REVISED 100% ZD (ss)
04/02/13	REVISED 100% ZD (rd)
04/03/13	REVISED 100% ZD (ss)
04/16/13	REVISED 100% ZD (ss)

SHEET TITLE  
**EXTERIOR ELEVATIONS**

PROJECTS\VERIZON\12121

**A-4**



**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 395 CARLSBAD VILLAGE DRIVE, SUITE 09  
 CARLSBAD, CA 92008 (760) 434-1474



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 266-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**BERNARDO WINERY**

12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

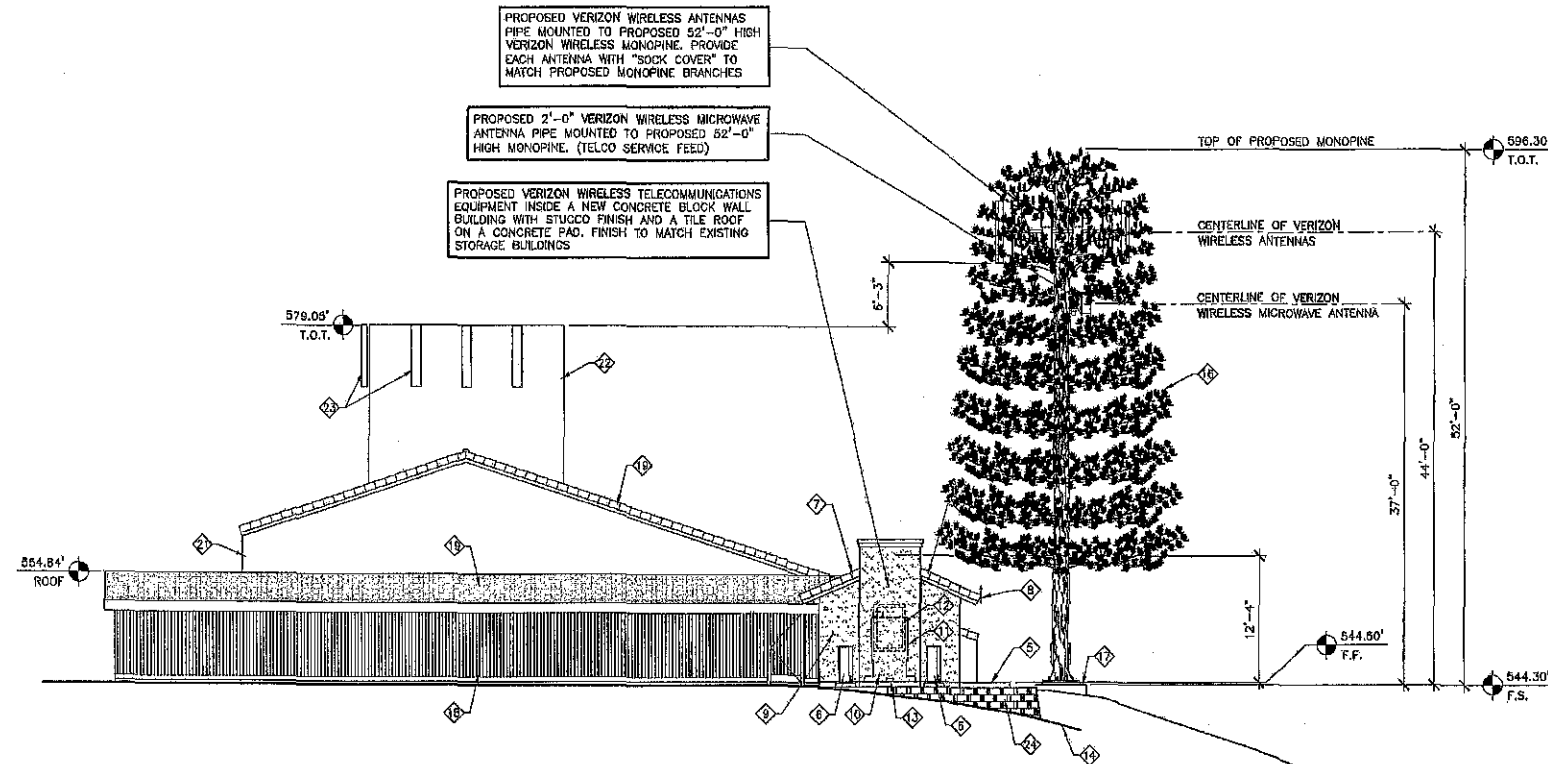
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10/01/12	100% ZD (ea)
03/11/13	REVISED 100% ZD (ea)
04/02/13	REVISED 100% ZD (rd)
04/03/13	REVISED 100% ZD (ea)
04/19/13	REVISED 100% ZD (ea)

SHEET TITLE

**EXTERIOR ELEVATIONS**

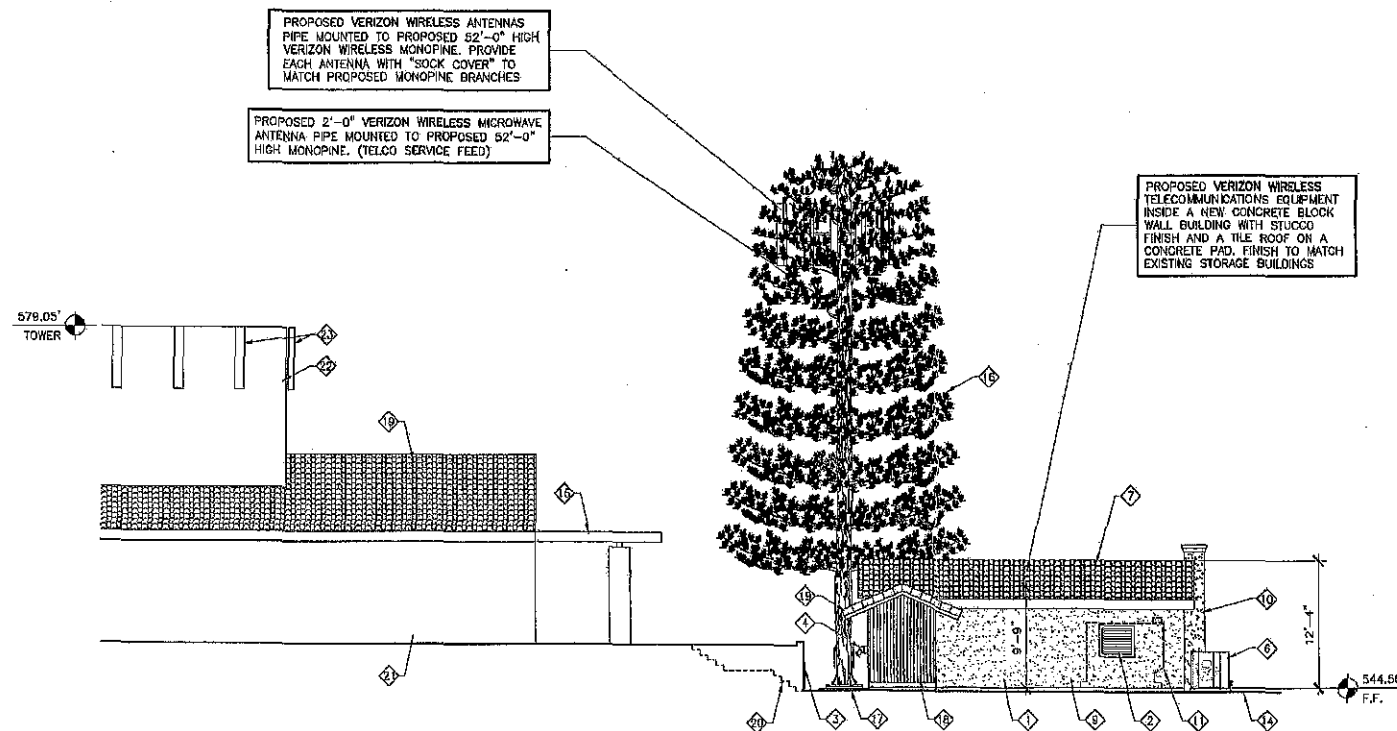
PROJECTS\VERIZON\12121

**A-5**



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

**EXTERIOR ELEVATION NOTES:**

- 1. PROPOSED VERIZON WIRELESS NEW STICK BUILT BUILDING. FINISH TO MATCH EXISTING STORAGE BUILDING (SHOWN SHADED)
- 2. PROPOSED 42" X 54" LOUVERED VENT WITH 12" THICK ACOUSTIC LOUVERS OR UNIT WITH SIMILAR OR GREATER NOISE CONTROL CAPABILITIES
- 3. EXISTING RETAINING WALL
- 4. PROPOSED VERIZON WIRELESS REVERSE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 5. PROPOSED CONCRETE WALK & LANDING
- 6. PROPOSED MECHANICAL UNITS ON A CONCRETE PAD (TYPICAL OF 2)
- 7. PROPOSED TILE ROOF
- 8. PROPOSED ES11/GPS ANTENNAS MOUNTED TO ROOF EAVE (TYPICAL OF 2)
- 9. PROPOSED CONCRETE BLOCK WALL GENERATOR ENCLOSURE
- 10. PROPOSED CONCRETE BLOCK ACOUSTIC CHIMNEY WALL
- 11. PROPOSED VERIZON WIRELESS SLOW ENCLOSED EMERGENCY GENERATOR WITH A 150 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD. (SHOWN DASHED)
- 12. PROPOSED 36" X 36" LOUVERED VENT WITH 12" THICK ACOUSTIC LOUVERS OR UNIT WITH SIMILAR OR GREATER NOISE CONTROL CAPABILITIES (SHOWN DASHED)
- 13. PROVIDE 4" X 8" OPENING AT BASE OF WALL FOR DRAINAGE (TYPICAL OF 1)
- 14. EXISTING GRADE
- 15. EXISTING OVERHANG
- 16. PROPOSED 52'-0" HIGH VERIZON WIRELESS MONOPINE
- 17. PROPOSED MONOPINE CONCRETE FOOTING
- 18. EXISTING STORAGE BUILDING
- 19. EXISTING TILE ROOF
- 20. EXISTING STAIRS (SHOWN DASHED)
- 21. EXISTING BUILDING
- 22. EXISTING BUILDING PARAPET TOWER
- 23. EXISTING SPRINT ANTENNAS MOUNTED TO WALL
- 24. PROPOSED CRIB WALL

**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 105 CALLEJON VILLAGE DRIVE SUITE 80  
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PREPARED FOR  
  
 P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

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OPS	DATE
EE/OUT	DATE

PROJECT NAME  
**BERNARDO WINERY**  
 12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

08/30/12	90% ZD (se)
09/28/12	REVISED 90% ZD (se)
10/01/12	100% ZD (se)
03/11/13	REVISED 100% ZD (se)
04/02/13	REVISED 100% ZD (rd)
04/03/13	REVISED 100% ZD (se)
04/19/13	REVISED 100% ZD (se)

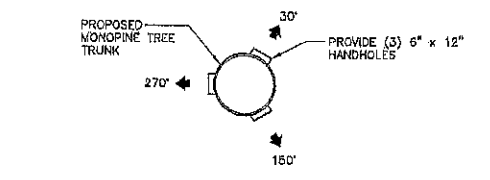
SHEET TITLE  
**MONOPINE ELEVATION  
 ANTENNA PLAN  
 & DETAILS**

PROJECTS: VERIZON, 12121

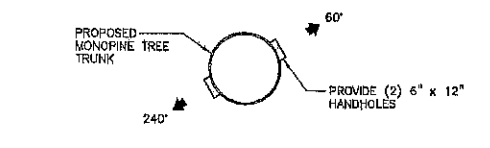
**A-6**

ANTENNA AND COAXIAL CABLE SCHEDULE

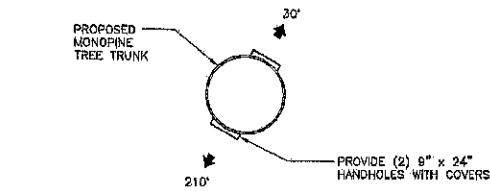
SECTOR ANTENNA	DIRECTION AZIMUTH	ANTENNA MODEL NUMBER	DOWN TILT	SCREW ANGLE	SIZE	NUMBER OF CABLES PER SECTOR	COAX. CABLE LENGTH (+/- 5')	JUMPER LENGTH (+/- 3')	COAX SIZE
ALPHA1	SOUTHEAST 150°	COMMSCOPE: SBNH-106565B	0°	N/A	72.72" L x 11.85" W x 7.1" D	6 COAX	90'-0"	6'-0"	7/8"
ALPHA2		ERICSSON: AR			54" L x 12" W x 8" D	1 FIBER			
ALPHA3		COMMSCOPE: SBNH-106565B			72.72" L x 11.85" W x 7.1" D				
ALPHA4		COMMSCOPE: SBNH-106565B			72.72" L x 11.85" W x 7.1" D				
BETA1	WEST 270°	COMMSCOPE: SBNH-106565B	0°	N/A	72.72" L x 11.85" W x 7.1" D	6 COAX	90'-0"	6'-0"	7/8"
BETA2		ERICSSON: AR			54" L x 12" W x 8" D	1 FIBER			
BETA3		COMMSCOPE: SBNH-106565B			72.72" L x 11.85" W x 7.1" D				
BETA4		COMMSCOPE: SBNH-106565B			72.72" L x 11.85" W x 7.1" D				
GAMMA1	NORTH 30°	COMMSCOPE: SBNH-106565B	0°	N/A	72.72" L x 11.85" W x 7.1" D	6 COAX	90'-0"	6'-0"	7/8"
GAMMA2		ERICSSON: AR			54" L x 12" W x 8" D	1 FIBER			
GAMMA3		COMMSCOPE: SBNH-106565B			72.72" L x 11.85" W x 7.1" D				
GAMMA4		COMMSCOPE: SBNH-106565B			72.72" L x 11.85" W x 7.1" D				
MICROWAVE DISH	240°	L.B.D.	-	-	2'-0" DIAMETER	1	75'-0"	-	1 1/4"



C POLE PLAN AT UPPER HANDHOLES @ 55'-0"

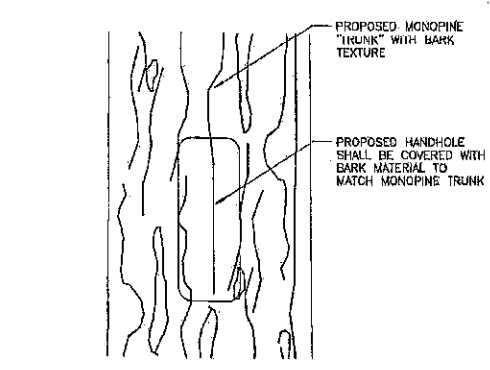


B POLE PLAN AT INTERMEDIATE HANDHOLES @ 28'-0"

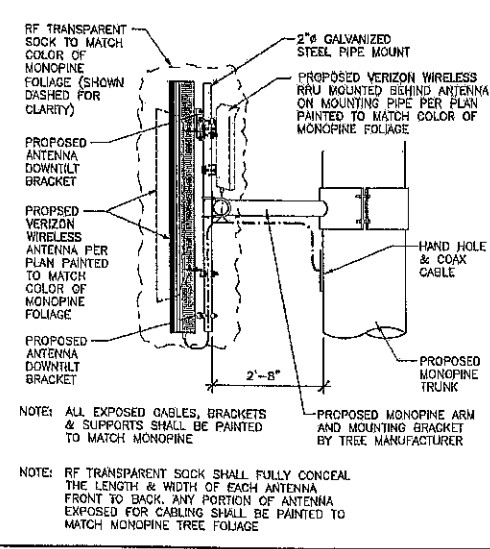


A POLE PLAN AT LOWER HANDHOLES @ 3'-0"

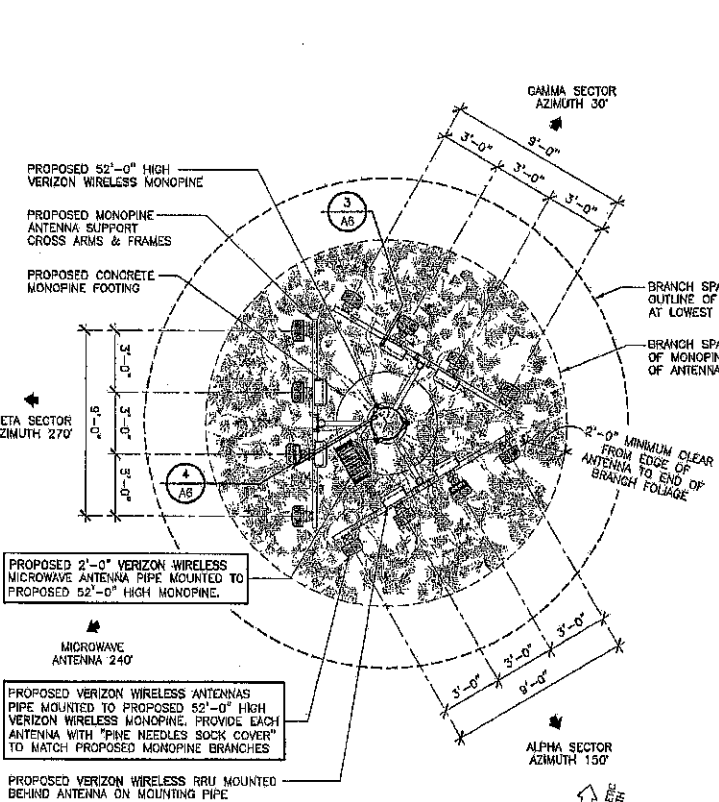
HANDHOLE DETAIL SCALE N.T.S. 1



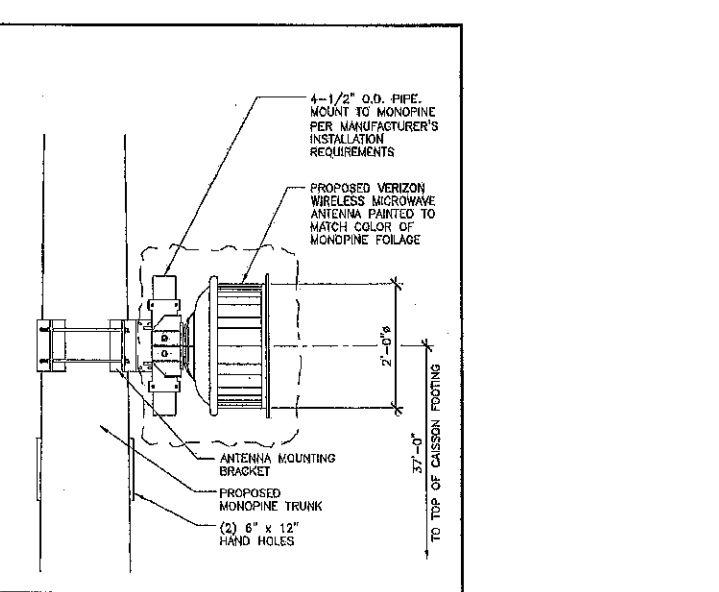
HANDHOLE COVER SCALE N.T.S. 2



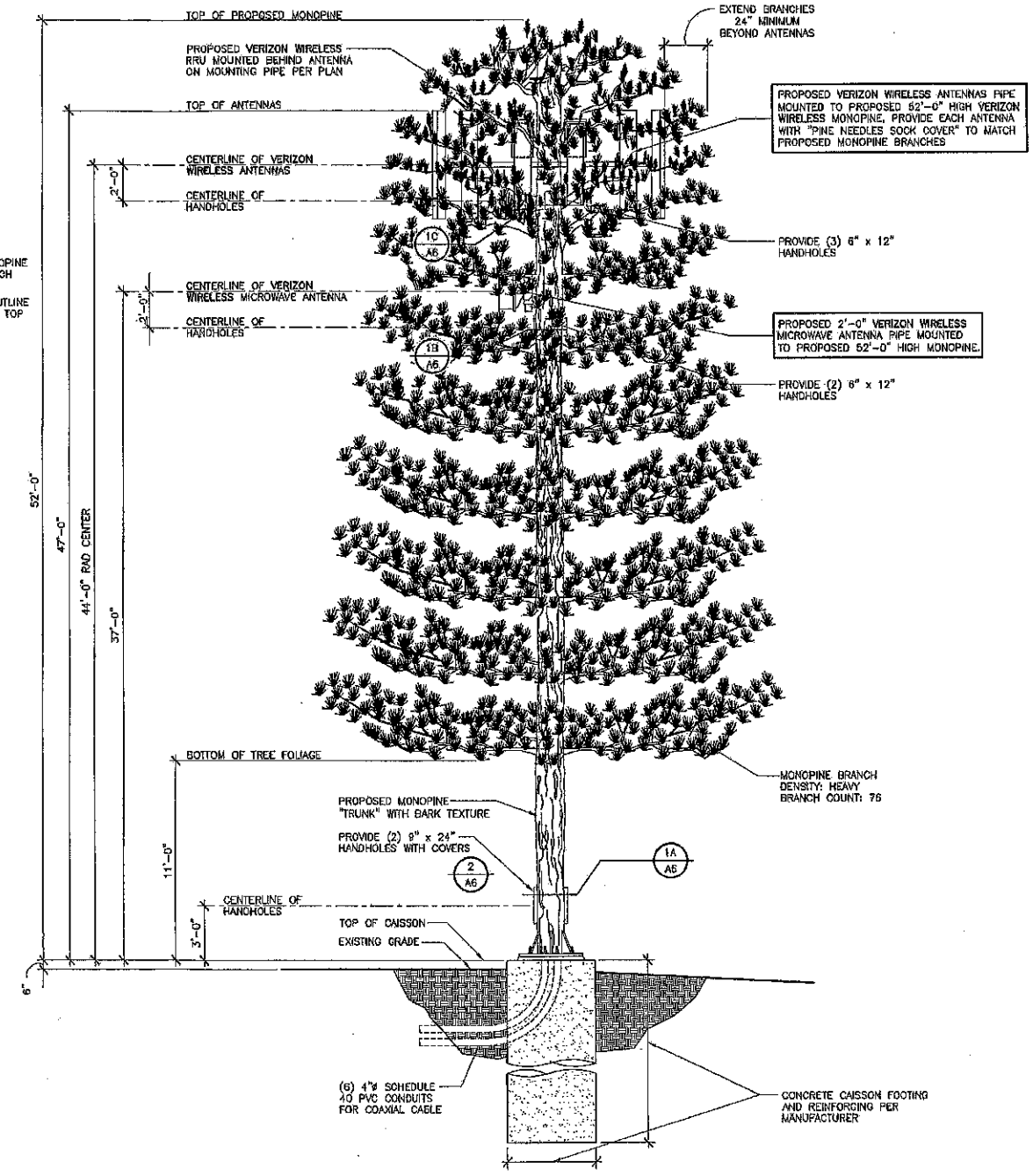
TYPICAL ANTENNA MOUNT SCALE 1/2"=1'-0" 3



ANTENNA PLAN SCALE: 1/4" = 1'-0"



MICROWAVE ANTENNA MOUNT SCALE 3/4"=1'-0" 4



MONOPINE ELEVATION SCALE: 1/4" = 1'-0"

NOTE: NO EXPOSED PIPES ABSENT ANTENNAS SHALL BE INSTALLED AT ANY TIME.

MONOPINE MANUFACTURER: CELL TREES CONTACT: DAVID WEEKLEY

**Booth & Suarez**  
 ARCHITECTURE INCORPORATED  
 335 CARLSBAD VILLAGE DRIVE, SUITE D9  
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 266-7000

APPROVALS

A/C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**BERNARDO WINERY**

12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY

DRAWING DATES

08/30/12	90% ZD (se)
09/28/12	REVISED 90% ZD (se)
10/01/12	100% ZD (se)
03/11/13	REVISED 100% ZD (se)
04/02/13	REVISED 100% ZD (rd)
04/03/13	REVISED 100% ZD (se)
04/18/13	REVISED 100% ZD (se)

SHEET TITLE

**LANDSCAPE DEVELOPMENT PLAN**

PROJECTS\VERIZON\12121

**L-1**

**PLANTING NOTES**

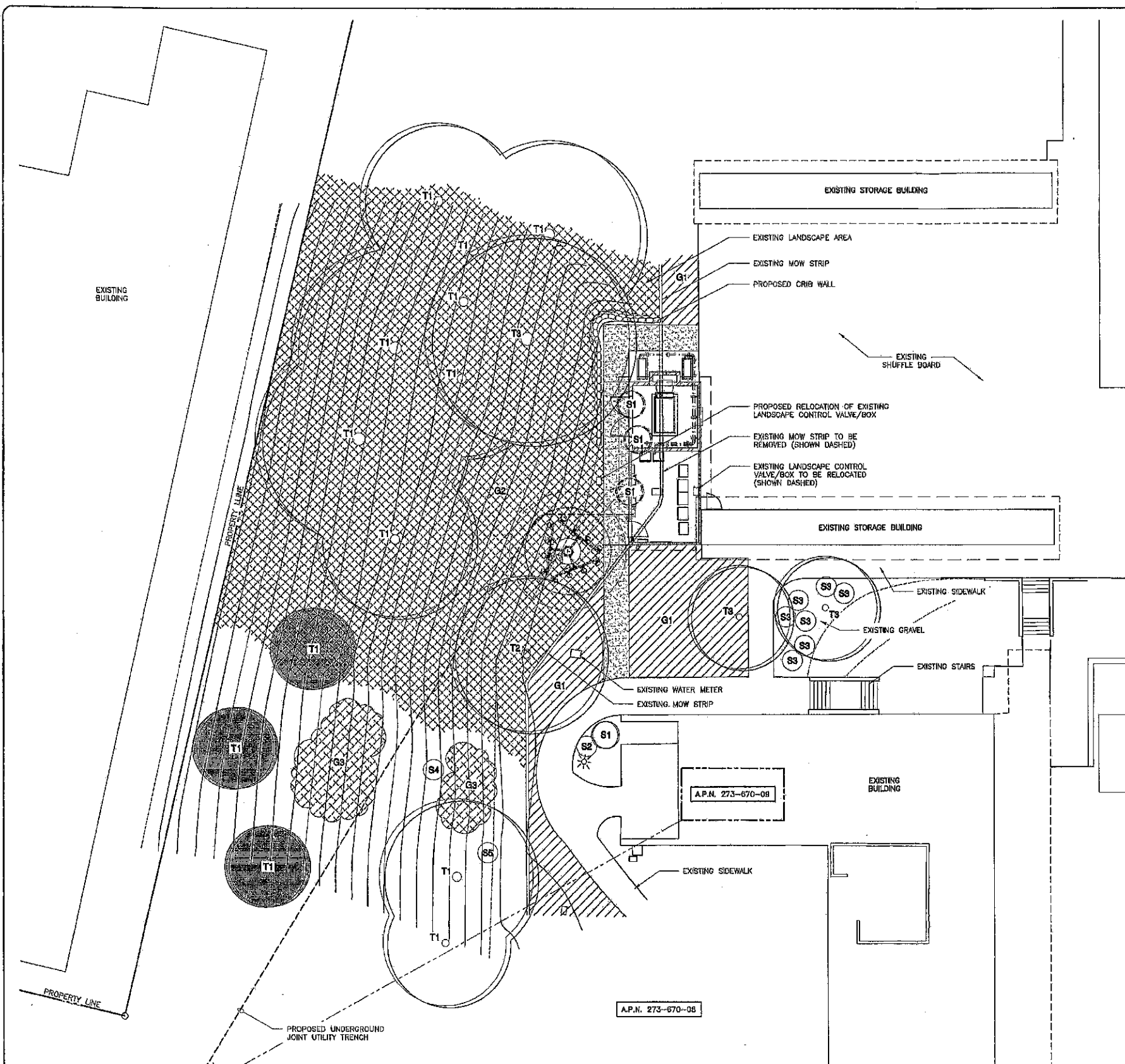
1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION, FROM THE CENTER LINE OF THE TRUNK, FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:  
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL-DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:  
 ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:  
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET  
 UNDERGROUND UTILITY LINES - 5 FEET (10' FOR SEWER)  
 ABOVE GROUND UTILITY STRUCTURES - 10 FEET  
 DRIVEWAY (ENTRIES) - 10 FEET  
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY OWNER. LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC ROW SHALL BE MAINTAINED BY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
11. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
12. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
13. REMOVE WEEDS AND PROVIDE A WEED BARRIER. PROVIDE A MINIMUM 2-INCH THICK BARK MULCH ABOVE THE WEED BARRIER.

**WATER CONSERVATION NOTES**

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS.
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE.
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING.
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.
11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX.
12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.
13. ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN IN TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL [142.0411(e)].
14. IRRIGATION: AN AUTOMATIC, ELECTRICALLY CONTROLLED IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT, AND MAINTENANCE OF THE VEGETATION IN A HEALTHY, DISEASE-RESISTANT CONDITION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.

**LANDSCAPE NOTES:**

1. AREAS DISTURBED DURING CONSTRUCTION FROM EQUIPMENT, TRENCHING WILL BE REVEGETATED TO EXISTING CONDITION.
2. FOR AREAS OF BARE SOIL, NOT REVEGETATED WITH GROUND COVER, PROVIDE A 3 INCH LAYER OF BARK MULCH.



**LANDSCAPE DEVELOPMENT PLAN**  
 SCALE: 1" = 10'-0"



NOTE:  
 1. SEE SHEET L-2 FOR PLANTING LEGEND

**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 185 CARLSBAD VILLAGE DRIVE, SUITE 09  
 CARLSBAD, CA 92008 (760) 234-6474



PREPARED FOR



P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
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PROJECT NAME

**BERNARDO WINERY**

12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
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DRAWING DATES

08/30/12	90% ZD (ss)
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04/02/13	REVISED 100% ZD (rd)
04/03/13	REVISED 100% ZD (ss)
04/19/13	REVISED 100% ZD (ss)

SHEET TITLE

PLANTING LEGEND

PROJECTS\VERIZON\12121

L-2

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	FORM / FUNCTION	PLANTING SIZE	QUANTITY	MATURE HEIGHT & SPREAD
	PIRUS CANARIENSIS	CANARY ISLAND PINE	TREE	EXISTING	-	80' HEIGHT 30' SPREAD
	PIRUS CANARIENSIS	CANARY ISLAND PINE	TREE	24" BOX	3	80' HEIGHT 30' SPREAD
	PYRUS CALLERYANA	FLOWERING PEAR OR BRADFORD PEAR	TREE	EXISTING	-	40' HEIGHT 30' SPREAD
	CUPANOPSIS ANACARDIODES	CARROT WOOD TREE	TREE	EXISTING	-	35' HEIGHT 35' SPREAD
	PITTISPORUM TOBIRA	JAPANESE MOCK ORANGE	SHRUB	EXISTING	-	18' HEIGHT 15' SPREAD
	PITTISPORUM TOBIRA	JAPANESE MOCK ORANGE	SHRUB	REMOVE	3	15' HEIGHT 15' SPREAD
	MORAEA DIETES	SPANISH IRIS (USUALLY LIGHT YELLOW)	SHRUB	EXISTING	-	2' HEIGHT 1.5' SPREAD
	RHAPHIOLEPIS INOCA	INDIAN HAWTHORN	SHRUB	EXISTING	-	5' HEIGHT 8' SPREAD
	CALLISTEMON VIMINALIS	LITTLE JOHN DWARF BOTTLEBRUSH	SHRUB	EXISTING	-	3' HEIGHT 5' SPREAD
	CORVOLYVULUS CNEORUM	BUSH MORNING GLORY	SHRUB	EXISTING	-	2' HEIGHT 3' SPREAD
	STENOTAPHRUM SECUNATUM "FLORATAM"	ST. AUGUSTINE GRASS	GROUND COVER	EXISTING	-	1' HEIGHT 20' SPREAD
	DELOSPERMA FLORIBUNDUM	DISNEYLAND ICE PLANT	GROUND COVER	EXISTING	-	2' HEIGHT 6' SPREAD
	MYOPORUM PACIFICUM	MYOPORUM PACIFICUM	GROUND COVER	EXISTING	-	3' HEIGHT 25' SPREAD

NOTE:  
 PATCH & REPAIR GROUND COVER WHERE DAMAGED BY TRENCHING AND INSTALLATION OF LANDSCAPE SHRUBS

**ITEMS CORRESPONDING TO SCHEDULE "B":**

BY: LAWYERS TITLE COMPANY FILE NO: 08306130  
 4100 NEWPORT PLACE DRIVE, SUITE 120 TITLE OFFICER: CHRIS HAZIAR  
 NEWPORT BEACH, CA 92660 DATED: JULY 23, 2012  
 PHONE: (949) 724-3170

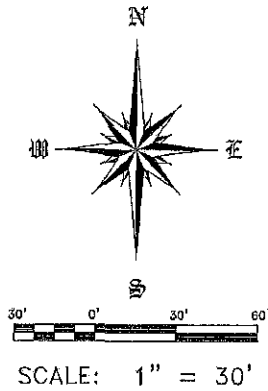
THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCERN SPECIFICS HEREON.

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS. THIS ITEM IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
2. AN EASEMENT FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES AND PURPOSES INCIDENTAL THERETO AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, BY DEED RECORDED JULY 14, 1947 IN BOOK 2430, PAGE 463 OF OFFICIAL RECORDS OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
3. AN EASEMENT FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES AND PURPOSES INCIDENTAL THERETO AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, BY DEED RECORDED NOVEMBER 15, 1950 IN BOOK 3561, PAGE 392 OF OFFICIAL RECORDS OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
4. MATTERS CONTAINED IN THE DEDICATION STATEMENT OR ELSEWHERE ON THE TRACT OR PARCEL MAP 7186. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS APPROXIMATELY PLOTTED HEREON.
5. COVENANTS, CONDITIONS AND RESTRICTIONS AS SET FORTH IN THE DOCUMENT RECORDED APRIL 27, 1972 AS FILE NO. 104705 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
6. AN EASEMENT FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES AND PURPOSES INCIDENTAL THERETO AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, BY DEED RECORDED MAY 10, 1972 AS FILE NO. 117561 OF OFFICIAL RECORDS OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE OVER THE PROPERTY EXCEPT FROM THOSE PORTIONS OCCUPIED BY BUILDINGS, SWIMMING POOLS, CARPORTS AND/OR GARAGE AND IS NOT PLOTTED HEREON.
7. ENCROACHMENT REMOVAL AGREEMENT FOR LANDSCAPING AND SPRINKLERS IN R/W RECORDED SEPTEMBER 6, 1972 AS FILE NO. 238239 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION AND OR EXTENT IS NOT DISCLOSED FROM RECORD AND IS NOT PLOTTED HEREON.
8. AN EASEMENT FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES AND PURPOSES INCIDENTAL THERETO AS GRANTED TO SAN DIEGO GAS AND ELECTRIC COMPANY, BY DEED RECORDED DECEMBER 19, 1972 AS FILE NO. 72-257279 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION AND OR EXTENT IS NOT DISCLOSED FROM RECORD, APPROXIMATE LOCATION SHOWN HEREON.
9. THE MATTERS CONTAINED IN A DOCUMENT RECORDED JANUARY 28, 1977 AS FILE NO. 77-036293 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
10. THE MATTERS CONTAINED IN A DOCUMENT RECORDED JANUARY 28, 1977 AS FILE NO. 77-035284 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
11. AN EASEMENT FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES AND PURPOSES INCIDENTAL THERETO AS GRANTED BY DEED RECORDED APRIL 10, 1998 AS FILE NO. 1998-0202171 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION AND OR EXTENT IS NOT DISCLOSED FROM RECORD, APPROXIMATE LOCATION SHOWN HEREON.
12. AN EASEMENT FOR AERIAL AND UNDERGROUND PUBLIC UTILITIES AND PURPOSES INCIDENTAL THERETO AS GRANTED BY DEED RECORDED AUGUST 28, 2001 AS FILE NO. 2001-0615812 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
13. AN EASEMENT FOR AERIAL AND UNDERGROUND TELEGRAPH, TELEPHONE, AND COMMUNICATION STRUCTURES AND PURPOSES INCIDENTAL THERETO AS GRANTED BY DEED RECORDED JUNE 29, 2006 AS FILE NO. 2006-0460633 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
14. THE MATTERS CONTAINED IN A DOCUMENT RECORDED AUGUST 1, 2007 AS FILE NO. 2007-0614723 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
15. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT RECORDED APRIL 8, 2011 NO. 2011-0183904, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
16. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT RECORDED NOVEMBER 21, 2011 RECORDING NO: 2011-0622189, OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY BUT THE EXACT LOCATION AND OR EXTENT IS NOT DISCLOSED FROM RECORD AND IS NOT PLOTTED HEREON.

ITEMS #S SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT, NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.

**LEGEND:**

- CC - COMMUNICATION CABINET
- CO - COLUMN
- CP - CONCRETE PAD
- DI - DRAIN INLET
- EB - ELECTRIC BOX
- EC - ELECTRIC CABINET
- ET - ELECTRIC TRANSFORMER
- FS - FINISH SURFACE
- G - GUTTER
- GB - GROUND BRAKE
- LP - LIGHT POST
- NO - NATURAL GROUND
- OH - OVERHANG
- SCO - SEWER CLEANOUT
- TC - TOP OF CURB
- TH - TREE HEIGHT
- TR - TELECOMMUNICATION RISER
- TOE - BOTTOM OF SLOPE
- TOP - TOP OF SLOPE
- TW - TOWER HEIGHT
- WM - WATER METER



**LEGAL DESCRIPTION:**

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 5 OF OAKS NORTH UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7186 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 25, 1972.

ASSESSOR'S PARCEL NUMBER: 273-670-08

**BOUNDARY NOTE:**

THE BOUNDARY SHOWN HEREON IS BASED ON RECORD INFORMATION AS COLLECTED FROM THE ASSESSOR'S PARCEL MAP. IT IS NOT THE RESULT OF A COMPLETE BOUNDARY SURVEY. IT HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES ONLY.

**COORDINATES:**

LATITUDE: 33°02'01.062" N  
 LONGITUDE: 117°03'30.861" W  
 DATUM: NAD83

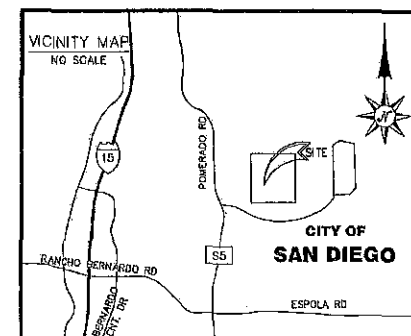
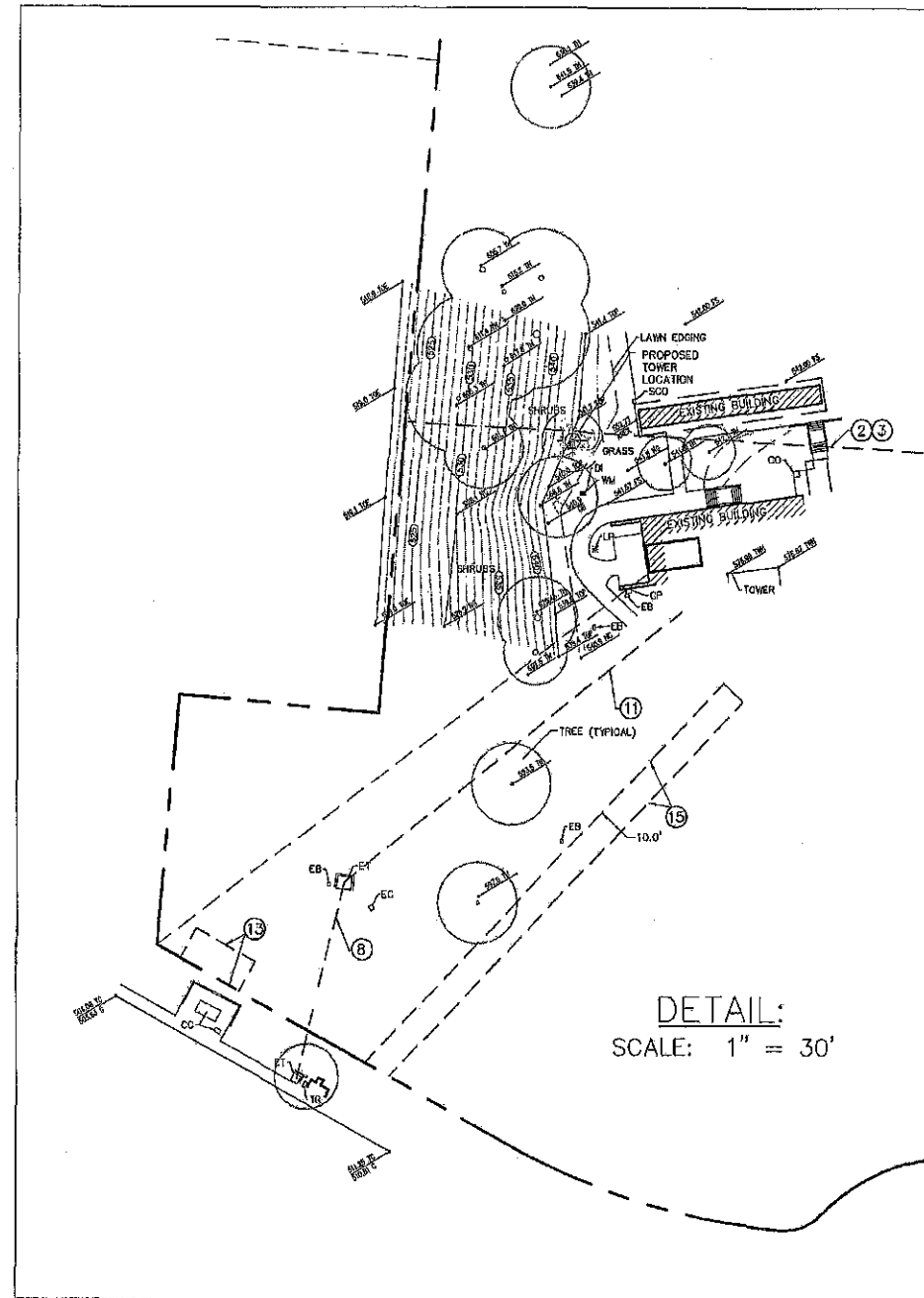
**DATE OF SURVEY:**

06/10/2012

**DATUM STATEMENT:**

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 8, GRID BEARING BETWEEN STATION NO. 352 AND STATION NO. 383 PER RECORD OF SURVEY NO. 14492.

BENCHMARK = FOUND BRASS PLUS AT THE NORTHEAST CORNER OF OAKS NORTH DRIVE AND POMERADO ROAD. EL=486.923 NSL.



*Jeffery L. Mats*  
 JEFFERY L. MATS  
 EXP: 12/31/12 L.S. NO. 6379



**Booth & Suarez**  
 ARCHITECTURE INCORPORATED  
 396 CALLEBARD VILLAGE DRIVE, SUITE 09  
 CALLEBARD, CA 92008 (760) 434-8174



PREPARED FOR  
**verizon wireless**  
 P.O. BOX 19707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

CONSULTANT  
**JRN CIVIL ENGINEERS**  
 232 AVENIDA FABRICANTE,  
 SUITE 107  
 SAN CLEMENTE, CA 92672  
 (949) 248-4685

PROJECT NAME  
**BERNARDO WINERY**  
 12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128  
 SAN DIEGO COUNTY  
 DRAWING DATES

SHEET TITLE  
**TOPOGRAPHIC SURVEY**

PROJECTS\VERIZON\12116\SHEET 1 of 2

**C-1**

**BOOTH & SUAREZ**  
 ARCHITECTURE INCORPORATED  
 388 CALSBAD VILLAGE DRIVE SUITE 02  
 CARLSBAD, CA 92008 (760) 434-8474



P.O. BOX 18707  
 IRVINE, CA 92623-9707  
 (949) 286-7000

**JRN CIVIL ENGINEERS**  
 232 AVENIDA FABRICANTE,  
 SUITE 107  
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PROJECT NAME  
**BERNARDO WINERY**  
 12578 OAKS NORTH DRIVE  
 SAN DIEGO, CA 92128

SAN DIEGO COUNTY

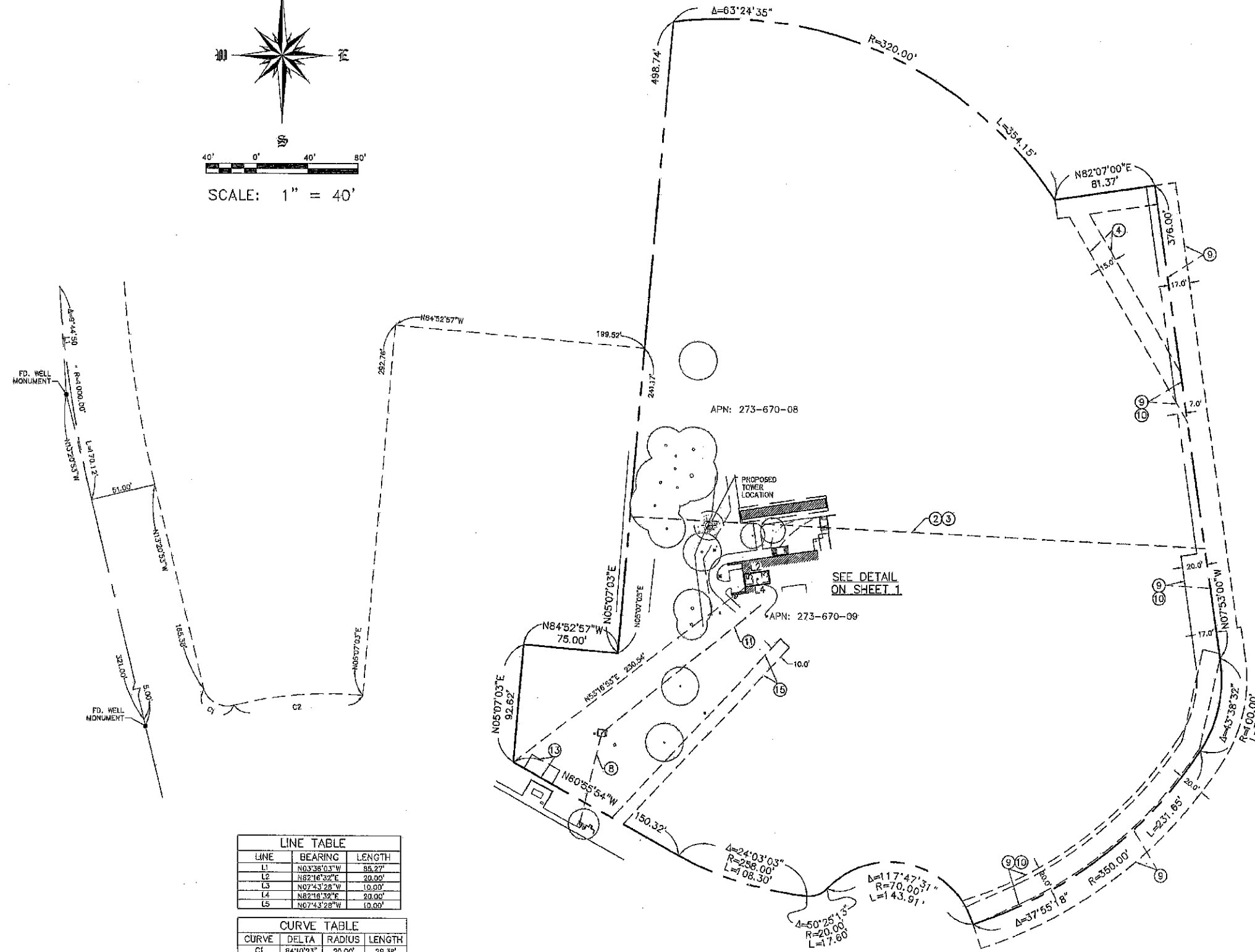
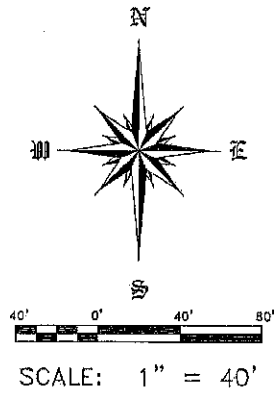
DRAWING DATES

SHEET TITLE

TOPOGRAPHIC SURVEY

PROJECTS\VERIZON\12115\SHEET 2 of 2

**C-2**



LINE	BEARING	LENGTH
L1	N03°38'03"W	85.27'
L2	N82°16'32"E	20.00'
L3	N07°43'28"W	10.00'
L4	N82°18'32"E	20.00'
L5	N07°43'28"W	10.00'

CURVE	DELTA	RADIUS	LENGTH
C1	84°10'23"	20.00'	28.38'
C2	18°37'29"	300.00'	102.75'



City of San Diego  
 Development Services  
 1222 First Ave., MS-302  
 San Diego, CA 92101  
 (619) 446-5000

# Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested:  Neighborhood Use Permit  Coastal Development Permit  
 Neighborhood Development Permit  Site Development Permit  Planned Development Permit  Conditional Use Permit  
 Variance  Tentative Map  Vesting Tentative Map  Map Waiver  Land Use Plan Amendment  Other WCP - Telecom

Project Title Project No. For City Use Only

VZ: "Bernardo Winery"

Project Address:

12578 Oaks North Drive, CA 92128-1699

**Part I - To be completed when property is held by Individual(s)**

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached  Yes  No

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Name of Individual (type or print):

Owner  Tenant/Lessee  Redevelopment Agency

Street Address:

City/State/Zip:

Phone No: Fax No:

Signature: Date:

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services)  
 Upon request, this information is available in alternative formats for persons with disabilities.

DS-318 (6-05)

<b>Project Title:</b> Verizon: 12578 Oaks North Drive, San Diego, CA 92128-1699	<b>Project No. (For City Use Only)</b>
<b>Part II - To be completed when property is held by a corporation or partnership</b>	
<b>Legal Status (please check):</b>	
<input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General) What State? _____ Corporate Identification No. <u>D-0647592</u> <input type="checkbox"/> Partnership	
<p><u>By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached <input type="checkbox"/> Yes <input type="checkbox"/> No</u></p>	
Corporate/Partnership Name (type or print): <u>Oaks North Community Center Inc.</u>	Corporate/Partnership Name (type or print):
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: <u>12578 Oaks North Drive</u>	Street Address:
City/State/Zip: <u>San Diego, CA 92128-1699</u>	City/State/Zip:
Phone No: <u>858-487-0120</u> Fax No: <u>858-487-5328</u>	Phone No:      Fax No:
Name of Corporate Officer/Partner (type or print): <u>Orlando Uribe</u>	Name of Corporate Officer/Partner (type or print):
Title (type or print): <u>General Manager</u>	Title (type or print):
Signature: <u><i>Orlando Uribe</i></u> Date: <u>22 JAN 2013</u>	Signature:      Date:
Corporate/Partnership Name (type or print):	Corporate/Partnership Name (type or print):
<input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: <u>12578 OAKS NORTH DR.</u>	Street Address:
City/State/Zip: <u>SAN DIEGO, CA 92128</u>	City/State/Zip:
Phone No: <u>858-487-0120</u> Fax No: <u>858-487-5328</u>	Phone No:      Fax No:
Name of Corporate Officer/Partner (type or print): <u>JOHN A. FOOTE</u>	Name of Corporate Officer/Partner (type or print):
Title (type or print): <u>PRESIDENT</u>	Title (type or print):
Signature: <u><i>J. Foote</i></u> Date: <u>22 JAN 2013</u>	Signature:      Date:
Corporate/Partnership Name (type or print):	Corporate/Partnership Name (type or print):
<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	<input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address:	Street Address:
City/State/Zip:	City/State/Zip:
Phone No:      Fax No:	Phone No:      Fax No:
Name of Corporate Officer/Partner (type or print):	Name of Corporate Officer/Partner (type or print):
Title (type or print):	Title (type or print):
Signature:      Date:	Signature:      Date:





About Verizon Wireless

We're the people who keep you connected, take your life mobile and deliver the level of convenience you depend on. All thanks to our powerful technology and the nation's largest and most reliable 4G LTE network.

Executive Leaders



Daniel S. Mead  
President and CEO

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Marni Walden  
Executive Vice President and Chief Operating Officer

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Holly Hess Groos  
Senior Vice President and Chief Financial Officer

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Ken Dixon  
Vice President and Chief Marketing Officer

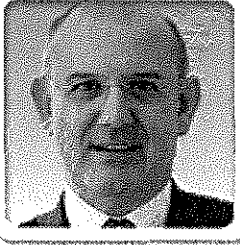
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Nicola Palmer  
Vice President and Chief Network Officer

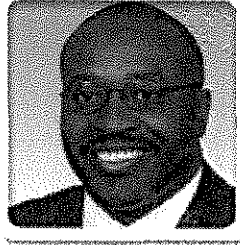
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ATTACHMENT 12



**Andy MacLeod**  
Vice President and Chief Technology Officer

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**M. Alan Gardner**  
Senior Vice President - Human Resources

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**Shankar Arumugavelu**  
Senior Vice President and Chief Information Officer

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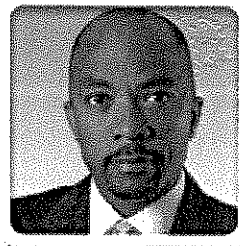
**William B. Petersen**  
Vice President - General Counsel and Secretary

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**Steve Smith**  
Vice President, Business Development

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**Torod B. Neptune**  
Vice President - Corporate Communications

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**Area Presidents**



**Bill Foshay**  
President - Northeast Area

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**Christine Baron**  
President - Midwest Area

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**Roger Tang**  
President - South Area

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**Greg Haller**  
President - West Area

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**Sales**



**Mark Bartolomeo**  
Vice President -Global Enterprise  
Sales

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**Marquett Smith**  
Vice President – Federal Government  
Sales

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**Customer Service**



**John Bianchi**  
Vice President - National Customer  
Service

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**Eileen M. Creedon**  
Vice President - Customer Service  
Strategy

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**Victoria L. Boston**  
Vice President – Northeast Area  
Customer Service

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**Joan T. Bowyer**  
Vice President - Midwest Area  
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**Melanie Braidich**  
Vice President – West Area Customer  
Service

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**Charlie Falco**  
Vice President - South Area Customer  
Service

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**Brian Stacy**  
Vice President - Business Service  
Centers & Government Support

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## Project Chronology

Verizon – Oaks North – Project No. 310809

Date	Action	Description	City Review Time	Applicant Response Time
3/20/2013	First Submittal	Project Deemed Complete		
4/15/2013	First Assessment Letter		26	
5/1/2013	Second Submittal			16
5/7/2013	Second Assessment Letter		6	
6/28/2013	Third Submittal			52
7/23/2013	Issues Resolved		25	
9/26/2013	Public Hearing – Planning Commission		65	
TOTAL STAFF TIME			122	
TOTAL APPLICANT TIME				68
TOTAL PROJECT RUNNING TIME		From Deemed Complete to Planning Commission Hearing	190 (in calendar days)	



THE CITY OF SAN DIEGO

DATE OF NOTICE: September 12, 2013

# NOTICE OF PUBLIC HEARING PLANNING COMMISSION

**DATE OF HEARING:** September 26, 2013  
**TIME OF HEARING:** 9:00 A.M.  
**LOCATION OF HEARING:** Council Chambers, 12th Floor, City Administration Building,  
 202 C Street, San Diego, California 92101

**PROJECT TYPE:** NEIGHBORHOOD USE PERMIT, NEIGHBORHOOD  
 DEVELOPMENT PERMIT, AND PLANNED  
 DEVELOPMENT PERMIT, PROCESS FOUR

**PROJECT NUMBER:** 310809  
**PROJECT NAME:** VERIZON – OAKS NORTH  
**APPLICANT:** Krystal Patterson, PlanCom, Inc., agents representing  
 Verizon Wireless

**COMMUNITY PLAN AREA:** Rancho Bernardo  
**COUNCIL DISTRICT:** District 5

**CITY PROJECT MANAGER:** Alex Hempton, Development Project Manager  
**PHONE NUMBER/E-MAIL:** (619) 446-5349 / ahempton@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility (WCF) consisting of 12 panel antennas and a microwave dish antenna mounted on a new 52-foot tall faux pine tree (“monopine”) with equipment associated with the antennas and an emergency generator located adjacent to the monopine in a 451 square-foot building. The project is located at 12578 Oaks North Drive.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 “Appeal Procedure”, available at

[www.sandiego.gov/development-services](http://www.sandiego.gov/development-services) or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on July 31, 2013 and the opportunity to appeal that determination ended August 14, 2013.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24003535

Revised 10-4-12 HMD



**Rancho Bernardo Community Planning Board**  
**PO Box 270831, San Diego, CA 92198**  
**www.rbplanningboard.com**

**JUNE 20, 2013 Minutes**

**7:00 PM, @ RB Swim & Tennis Club Club 21 Room**  
**16955 Bernardo Oaks Drive**

- ITEM #1**      **CALL TO ORDER – REGULAR MEETING:** Meeting called to order 7:01 pm by Richard House, Chair. In attendance: Fred Gahm, Robin Kaufman, John Cochran, Teri Denlinger, Roberta Mikles, Wolfie Pores, Richard House, Matt Stockton, Joe Dirks, Glen Vaughan, Dou Dell'Angela, Vicki Touchstone, Eugenia Contratto, Mike Lutz. Absent: Peter Tereschuck, Kim Coutts. A quorum was met: 14 out of 16 in attendance.
- ITEM #2**      **NON-AGENDA PUBLIC COMMENT:**  
 -Mitch Berner from Public Solutions informed those in attendance that a fifth Starbucks is being considered in Rancho Bernardo. This will be a drive thru, next to California Bank and Trust at 16796 Bernardo Center Drive.  
 -Mayra Vazquez from Councilman Kersey's office invited the public to a Budget and Finance Forum at the Rancho Penasquitos library on June 26, 6-8 pm.
- ITEM #3**      **MODIFICATIONS TO AGENDA / ADOPT DRAFT AGENDA:**  
 -Motion made Richard House/Wolfie Pores to place item #14 (Verizon/Oaks North Project) as item #7 and move item #7 (Proposed Project Rankings...) to item #14. Motion passed unanimously.
- ITEM #4**      **CHAIR REMARKS**  
 None.
- ITEM #5**      **BARROW EMERSON FROM SANDAG—ON ENHANCED BRT BUS SERVICE FOR RB:**  
 -Barrow Emerson relayed currently proposed information on enhanced bus service for our community which will start next year. This will include inbound and outbound services all day and/or some am/pm service. Changes to neighborhood routes will be reviewed next year and a new BRT station will be completed in the Sabre Springs/Rancho Penasquitos areas as well as Miramar College in 2014. All this information and more can be seen at 'Keep San Diego Moving' on the City web site.
- ITEM #6**      **ADMINISTRATIVE ITEMS:**  
 -Motion made Roberta Mikles/Fred Gahm to accept May 16 minutes with one voting correction. Motion passed 13-0-1 (Teri Denlinger abstained as she was not present at the May 16 meeting). A corrected copy will be sent to all members and then posted on the City website by the Secretary.  
  
 -Treasurer Fred Gahm reported we presently have \$816.34 in the grant account and \$427.63 in the savings account. He also reported we spent more than the allotted \$100 for RB Alive. Vicki commented she was donating her spendings for the event. Motion made Vicki Touchstone/Roberta Mikles to accept the treasurer's report. Motion passed unanimously.
- ITEM #6a**      **RESIDENTS WISHING TO PRESENT THEMSELVES FOR BOARD VACANCIES:**  
 None at this time.
- ITEM #7**      **VERIZON/OAKS NORTH PROJECT:**  
 -Ron Stevens from the Oaks North Community Board of Directors commented the Oaks North Board is still supporting the original concept, but pending Plancom/Verizon issues, the Oaks North Board would like our support of putting this project on hold.  
 -Orlando Uribe, Oaks North Community Center's Manager, reiterated the Oaks North Board

approved the project in concept until the final specs, etc., were ready to be presented to their Board. This was not done yet. Therefore, he too asked that we hold off on supporting the project until all details are reviewed. Motion made Richard House/Roberta Mikles that we not approve the application until there is a legal avenue of approval. See attached document for full comments by Ron Stevens. Motion passed unanimously.

**ITEM #8** **CHANGE THE BOARD MEETING START TIME TO 6:30 PM:**  
-Motion made Richard House/Robin Kaufman to change start time to 6:30 pm to help end meetings earlier. After some discussion, motion failed 2-12-0 in order to help accommodate two members who said it would not give them time to come from work and eat prior to the meeting.

**ITEM #9** **APPOINT JOHN KOWALSKI AS RESIDENT MEMBER TO REGIONAL ISSUES COMMITTEE:**  
-Motion made Richard House/Vicki Touchstone to add John Kowalski as a resident member of the Regional Issues Committee. Motion passed 12-2-0 (Joe Dirks, Robin Kaufman).

**ITEM #10** **APPOINT GEORGE LEITNER AS RESIDENT MEMBER TO DEVELOPMENT REVIEW COMMITTEE:**  
-Motion made Richard House/Matt Stockton to add George Leitner as a resident member of the Development Review Committee. Motion passed unanimously.

**ITEM #11** **REALLOCATION OF RB FOUNDATION GRANT FUND:**  
-Richard House informed us the grant committee (Richard House, Vicki Touchstone, Fred Gahm) met to discuss possible reallocations of funds. After some discussion a motion was made Richard House/Matt Stockton to table the discussion until next month when a final proposal could be presented to the full board.

**ITEM #12** **REPORT ON THE RB ALIVE EVENT:**  
-Vicki Touchstone commented on a survey asking about the top three planning issues affecting RB. Rankings went in order of importance (ie: most important/second most/third most):  
-future development of PUSD site (park, housing, mix of park and housing): 13/7/6  
-implementing local transit plan to connect the transit center to various areas in RB: 14/4/4  
-traffic congestion relief/transportation improvements within RB: 5/8/6  
-identifying additional park land for sports fields: 5/8/6  
-improving accessibility and safety for bikes and pedestrians in RB: 6/4/9  
-redevelopment of commercial areas: 2/4/8  
-updating the RB Community Plan: 3/6/6

**ITEM #13** **REQUEST FOR COPIES OF PRIOR COMMUNICATIONS FROM PAST CHAIR:**  
- Teri Denlinger, immediate past chair, was allotted time to speak on the matter of relinquishing all board related documents. Teri commented she does not have any documents other members do not already have in their possession. She commented she would be more than happy to provide a copy of any specific items anyone requests. To expedite the meeting, Richard House ended the discussion and moved on to the next topic.

**ITEM #14** **PROPOSED PROJECT RANKINGS FOR THE REVISED RB PUBLIC FACILITIES FINANCING PLAN:**  
-Vicki Touchstone reviewed the immediate needs and rankings of projects that need to be addressed. Motion made Vicki Touchstone/Robin Kaufman to approve the traffic ranking listing recommended. Motion passed unanimously.  
-Motion made Vicki Touchstone/Richard House to accept the park project rankings recommended. Motion passed unanimously.  
-Motion made Wolfie Pores/Vicki Touchstone to accept the rest of the recommendations. Motion passed unanimously.  
-Vicki Touchstone will send these recommended rankings to Oscar Vasquez to place in the proposed new Facility Finance Plan, which the Regional Issues Committee will review prior to bringing it to the full board.

**DUE TO TIME CONSTRAINTS, COMMITTEE AND LIAISON REPORTS WERE DEFERRED TO NEXT MEETING.**

**ITEM #15** **COMMITTEE REPORTS**  
Bylaws Ad-Hoc.....Richard House  
Development Review.....Lou Dell Angela



Regional Issues.....Vicki Touchstone  
Traffic & Transportation..... Robin Kaufman  
Publicity/Elections/Nominating.....Kim Coutts  
Web-Site..... JC Cochran

**ITEM #16**      **LIAISON REPORTS**  
Community Council/MAD..... Robin Kaufman  
Community Planners Committee (CPC)..... Richard House  
SANDAG.....Richard House

**ITEM #17**      **OLD BUSINESS:** None.

**ITEM #18**      **NEW BUSINESS:** Richard House announced the bylaws adhoc committee will meet the second week in July.

**ADJOURMENT:** Motion made Fred Gahm/Richard House to adjourn at 8:47 pm. Motion passed unanimously.  
Respectfully submitted by Robin Kaufman, Secretary.

**NEXT BOARD MEETING:**  
Thursday July 18, 2013 @ 7:00 PM  
RB Swim & Tennis Club – Club 21 Room

**STANDING SUB-COMMITTEE MEETINGS**

**ADMINISTRATIVE COMMITTEE**  
6:00 PM - Monday, 10 days prior to Board meeting  
Swim & Tennis Club

**PUBLICITY/ELECTIONS/NOM**  
... location time TBA

**Development Review Committee**  
5:30 PM - First Tuesday of month  
RB Swim & Tennis Club – Club 21

**Regional Issues Committee**  
7:00 PM – Tuesday prior to Admin meeting.  
RB Swim & Tennis Club – Club 21

**Traffic & Transportation Committee**  
6:00 PM – 4th Monday of month  
RB Swim & Tennis Club – Club 21

**Web Site Update Committee**  
-time and location TBA

**OAKS NORTH COMMUNITY CENTER – Proposed Verizon Cell Site****Current Position and Preferences of ONCC**

June 19, 2013

- ◆ While the Oaks North Board of Directors still supports the original concept plan and terms between us and Verizon, until the contract issues between ATC and ONCC are resolved we are not in a position to support this project as it stands.
- ◆ Speaking on behalf of the Oaks North Board of Directors we ask that, pending the resolution of these issues through legal determination, all approvals and recommendations related to this project be temporarily withheld.

**May – October 2012**

1. Plancom approached Oaks North with a proposal to construct a new cell site for VERIZON, and provide a monthly lease income.
2. The ONCC BOD agreed 'in concept', pending design plans and lease terms.
3. Plancom/Verizon begins study on site feasibility and design planning.
4. "Concept" plans call for a 30'-40' monopole pine tree with antenna arrays and an enclosed electronic equipment pad about 20'x 40'. These are to be located to the west and north of our main clubhouse building, on a back slope and adjacent to an existing storage shed.

**October – January 2012**

1. Plancom and ONCC discovered that an existing, different, "Lease Sales Agreement" between Oaks North CC and T8 UNISON (signed in June 2011); and agreed that it should be considered because of the location of the Verizon site relative to the UNISON antennas. ATC was contacted and informed.
2. Extended correspondence with continued through the fall of 2012 and into 2013.
3. In the mean-time, Verizon did provide ONCC with a (draft) Lease Agreement which our attorneys reviewed and commented on.
4. ONCC directors also received a copy of this proposal but have not yet commented on it. Based on our attorney's recommendations, this lease agreement will need some amendments. For now, this lease agreement is on the back-burner. (on hold).
5. Detailed architectural drawings were issued between Nov. 2012 and Jan. 2013.

**Recent (March - June 2013)**

1. After many communications between American Tower Corp. (new owners of the easement at ONCC), Plancom and ONCC, ATC issued a 'position' letter (April 2013) describing their rights under that June 2011 contract.
2. ONCC attorneys prepared a response to the ATC letter (June 2013). (Reviewed by BOD - status?).
3. This created contention between ONCC and ATC relative to the terms & rights under this contract.
4. Simply put, the question is ... Does ONCC have the legal right to negotiate directly with VERIZON/Plancom? **OR**, Does ATC have sole negotiating rights to negotiate with VERIZON?
5. Depending on the final answer we can then address questions regarding the agreement terms with Verizon, approval processes by ONCC for the cell site, final design and construction plans, etc.