



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED September 26, 2013 **REPORT NO. PC-13-113**

ATTENTION: Planning Commission, Agenda of October 3, 2013

SUBJECT: SANTA LUZ ASSISTED LIVING – PROJECT NO. 257983
PROCESS FIVE.

REFERENCE: Community Plan Amendment Initiation (Report No. P-12-087), Planning
Commission Agenda of August 23, 2012.

OWNER/

APPLICANT: Santa Luz, LLC

SUMMARY

Issue(s): Should the Planning Commission recommend approval to the City Council for the construction of a nursing facility for assisted living and memory care patients located within the Black Mountain Ranch Subarea Planning area?

Staff Recommendations:

1. RECOMMEND the City Council certify Addendum No. 257983 (Addendum to EIR Nos. 95-0173 and 96-7902 & Addendum Nos. 95-0173.1 and 99-1161);
2. RECOMMEND the City Council approve the Community Plan amendment to the Black Mountain Ranch Subarea Plan No. 95-0173;
3. RECOMMEND the City Council approve Conditional Use Permit No. 908816.

Community Planning Group Recommendation: The Rancho Penasquitos Planning Board voted 14-0-1 on September 7, 2011 to recommend approval of the proposed project with no conditions (Attachment 10 and 13).

Other Recommendations: None.

Environmental Review: Addendum No. 257983 (Addendum to EIR No. 95-0173 and 96-7902 & Addendums Nos. 95-0173.1/99-1161) was prepared to address the project's consistency with all applicable previously certified documents and incorporates monitoring requirements for paleontological resources consistent with those documents.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid by the applicant through a deposit account.

Code Enforcement Impact: None.

Housing Impact Statement: The project proposes to construct a new 71,630-square-foot nursing home facility for assisted living and memory care patients on a 3.28-acre site in the Black Mountain Ranch Subarea Plan. No residential units are anticipated or proposed. The Black Mountain Ranch Subarea Plan designates the site as Institutional Care-Senior Center/Recreation Center. The underlying zone is AR-1-1, which would allow for the development of up to two single-family dwelling units; one per lot. There are no existing units on site.

BACKGROUND

The project proposes a Community Plan Amendment and Conditional Use Permit to construct a 71,630-square-foot nursing care facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone within the Black Mountain Ranch Subarea. The project site consists of two vacant lots with the north parcel designated Institutional-Recreation Center and the south parcel designated Institutional-Senior Center. The proposed Community Plan Amendment would re-designate the parcels to Institutional-Nursing Facility which would allow for the development of a nursing facility providing assisted living and/or dementia care for seniors (See discussion below, Amendment to Black Mountain Ranch Subarea Plan).

The subject site is located within the non-phased shifted Proposition A lands and is further governed by Vesting Tentative Map/Planned Residential Development (VTM/PRD) 95-0173 and the Black Mountain Ranch Subarea Plan. Proposition A was the Managed Growth Initiative of 1985 which segregated portions of San Diego to be developed with very low density, residential, open space, natural resource based park or agricultural uses. In 1992, the City Council adopted the North City Future Urbanizing Area (NCFUA) framework plan, which provided a blue print for the development of Proposition A Lands. The project is located in Subarea 1 of the NCFUA. In October 1995, the City Council approved Black Mountain Ranch Vesting Tentative Map/Planned Residential Development (VTM/PRD) No. 95-0173 for the development of 942 single family lots, 179 multi-family units, and a series of subordinate uses including schools, churches, public facilities, and open space areas.

The site has been graded and is flat with an elevation differential of five feet. Surrounding the site is a day care center and single-family homes to the west, single-family and multi-family dwellings to the east, an elementary school and neighborhood park to the north, and multi-family residential to the south.

A Community Plan Amendment is required to re-designate Institutional-Recreation and Institutional-Senior Center to Institutional-Nursing Center land use designations. A Conditional Use Permit is required to operate a Nursing Facility within the AR-1-1 zone.

Planning Commission Hearings

The project was previously heard by the Planning Commission on January 31, 2013, and at that time public testimony included opposition as well as speakers in favor. The list of the concerns

presented at the hearing by opponents are identified in Attachment 12.

Below is a summary of the concerns presented at the hearing by project opponents:

1. The building height exceeds the allowable 30-foot height limit.
2. The building's bulk and scale are too massive for the area and too urban in nature.
3. Parking is located in front of building where the design guidelines require parking to be located in the rear.
4. Excessive curb cuts.
5. Traffic impacts for children attending adjacent schools.
6. Trash trucks and vendors utilizing the service area will be a danger to children as the trucks back out onto the main street.

A motion to deny the project was made, but failed due to a lack of a majority by a vote of 3-2. The project was trailed to February 14, 2013 for a second vote as two absent Commissions from the January 31, 2013 would be present. The item was not heard at that time because the applicant withdrew the item from the docket in order to address the opposition's concerns.

Revised Design

On May 3, 2013 the applicant resubmitted the project to the City with design changes intended to address the opponents concerns from the January 31, 2013 Planning Commission hearing. The following responses correlate to the above opponent's concerns:

1. Building Height: The project was redesigned to lower the height to below 30 feet, consistent with the height of other two-story residential homes in the area. A Plan Development Permit (PDP) will no longer be required.
2. Bulk and Scale: The design of the building continues to be consistent with the Black Mountain Ranch Design Guidelines ("Design Guidelines") for the site as well as the Tuscan Farmhouse architectural style for Santaluz Custom Homes. The building is located near or adjacent to two schools and a church that are of a similar size and urban scale, as well as within 300 feet of a 2 and 3-story multifamily condos and an affordable housing complex.
3. Parking: The project now relocates parking to the side and rear of buildings and within a walled enclosed area.
4. Curb Cuts: Only one curb cut is proposed on Via Fiesta and provides secondary access off the existing driveway on Via Inez, consistent with the Design Guidelines.
5. Traffic: KOA Corporation conducted a traffic study of the proposed facility and calculated 222 daily trips for the assisted living facility. This would be significantly less than the projected 3,195 daily trips allowed for the currently approved Recreation Facility and Senior Center use designations. Additionally the project proposes to limit staff shift

changes and deliveries to school off-hours and to limit conflicts with school drop off and pickup times (Attachment 5, conditions 31 and 32).

6. Trash trucks and venders: The service area has been relocated so that all delivery trucks and service vehicles enter and leave from the main entries. No delivery trucks or service vehicles will require backing up into the roadways.

Staff has reviewed the modified project and has determined the project is in conformance with adopted City Council policies and regulations of the Land Development code.

Community Planning Group

The Rancho Penasquitos Planning Board voted 14-0-1 on September 7, 2011 to recommend approval of the proposed project with no conditions. On June 26, 2013, the applicant presented the revised project to the Rancho Penasquitos Planning Board and Land Use Committee as an informational item. The group in general was pleased with the changes (See attachment 13, June 26, 2013 Rancho Penasquitos Planning Board minutes (draft)).

DISCUSSION

Project Description:

The project proposes a two-story, 71,630 square-foot assisted living facility to include 32-units for assisted living tenants and 32-units for memory care tenants. The facility would include staff care seven days a week 24 hours a day regulated by the California Department of Social Services. The nursing facility staff includes registered nurses, chefs, dietary staff, housekeepers, building engineer, activity coordinator, and a groundskeeper. The common areas would include congregate dining rooms, living rooms, activity, and recreation areas. Administrative offices as well as a medical records storage area would be included. Each unit includes a living area, sleeping area, private bathroom with a walk-in shower, a small counter top with sink, and microwave. The facility will provide 50,690 square feet of landscape area incorporating walking paths, turf areas, and patio seating with overhead shade structure.

The design of the facility will emulate a Tuscan farmhouse to minimize mass and create a residential scale (Attachment 16). The entire facility will provide one and two story sections and setbacks to offset expanded planes. The use of smaller scale shed roofs will bring the building down to a human scale. The roof has been designed to avoid continuous ridgelines and to screen mechanical equipment (Attachment 13). A total of 44 parking spaces will be provided where 18 of the 44 will be provided for staff and the remainder for residents and visitors.

Community Plan Amendment/Analysis:

The Black Mountain Ranch Subarea Plan includes institutional uses intended to provide public and quasi-public facilities that serve the adjacent residential neighborhoods. The Subarea Plan designates the northern parcel as Institutional-Recreation Center and the southern parcel is designated as Institutional-Seniors Center. The proposed amendment to redesignate the site to Institutional-Nursing Facility would help implement the Subarea Plan's goal of providing "senior housing, congregate care for the elderly ...and housing with supportive services," and would allow for the development of a nursing facility that would provide assisted living and/or dementia care for seniors.

The subject site is located within the non-phase shifted Proposition A lands and is further governed by the VTM/PRD 95-0173 and associated Design Review Guidelines. The VTM/PRD's Design Review Guidelines state that the day care and senior facilities would be developed and managed by the church, and the recreation center would be developed as a Property Owner Association facility. Subsequent to the adoption of the Subarea Plan, the Property Owners Association (POA) determined to not take title to the parcel designated for a recreation center. Instead, the POA opted to build recreational facilities at other locations within the Subarea Plan, including two 1- to 2-acre parks with playgrounds, one 3-acre enclosed dog park, additional areas improved for picnicking and parking, and walking trail enhancements; none of which were originally provided for in the Subarea Plan. The proposed amendment would not adversely affect the goals of the Subarea Plan as recreational facilities are provided throughout the community.

The proposed amendment is consistent with the General Plan Institutional Land Use Designation and would not adversely affect the objectives of Proposition A and the NCFUA Framework Plan. A Proposition A analysis took place of the site and surrounding area at the time of adoption of the VTM in 1995, and again with adoption of the Subarea Plan in 1998. The objectives of Proposition A can be generally summarized as follows:

- Preclude premature development and guide urbanization;
- Conserve agricultural land;
- Prevent loss of natural resources;
- Address threat to quality of life from continued urban sprawl.

These plans did not envision the site as being suitable for open space or agricultural land. The proposed nursing facility would be located on a site that is graded and surrounded by developed residential and institutional uses and would not result in an increase in residential density. Thus, the proposed project would not adversely affect Proposition A objectives.

The proposed amendment would provide a public benefit to the community by retaining the Institutional uses within the subarea plan. The Institutional land use designation is for public and quasi-public uses that offer public and semi-public services to the community. The Subarea Plan further defines the Institutional uses, and the amendment would change the designation to Institutional -Nursing Facility, retaining the intent of the Subarea Plan for any future development to provide public/semi-public uses on the site. The development of a nursing facility that serves community members would be consistent with the proposed designation.

Environmental Analysis:

An environmental analysis was conducted which determined that the proposed project could have a significant environmental effect to Paleontological Resources due to grading. The project proposes to excavate 3,750 cubic yards of soil triggering the City's significance threshold criteria of 2,000 cubic yards or more. Because of the quantity of grading, mitigation measures require paleontological monitoring during grading and excavation activities. The project now avoids or mitigates the potentially significant environmental effects to paleontological resources in accordance with the California Environmental Quality Act.

Project-Related Issues:

Reasonable Accommodations San Diego Municipal Code section 131.0466 Analysis

The proposed nursing facility is located in the AR-1-1 agricultural zone of the non-phase shifted portion of Black Mountain Ranch (Proposition A Lands). San Diego Municipal Code (SDMC) section 141.0413 (a) of the Land Development Code specifically prohibits nursing facilities within Proposition A Lands. Nursing facilities were a conditionally permitted use through the processing of a Conditional Use Permit (CUP) at the time of Proposition A passage (The Growth Management Initiative). The prohibition of nursing facilities within the AR-1-1 agriculture zone of Proposition A Lands was added to the Municipal Code after Proposition A was approved. However, in recent years the Federal Fair Housing Act and the California Fair Employment and Housing Act requires that jurisdictions make reasonable accommodations to afford disabled persons the equal opportunity to use and enjoy a dwelling. In November 2005 San Diego Municipal Code section 131.0466 was adopted by the City Council to implement the Federal Fair Housing Act and the California Fair Employment and Housing Act requirements through a Process 1 Reasonable Accommodation review. Staff consulted on the processing options and concluded the subject project use, nursing facility, qualifies for Reasonable Accommodations pursuant to SDMC section 131.0466.

The proposed nursing facility will serve as the residence of a senior population that requires 24 hour nursing care. The proposed residents will have limited physical abilities, and a refusal to provide a reasonable accommodation to those with handicaps is discrimination prohibited by the Fair Housing Amendments Act (FHAA).

Pursuant to the Reasonable Accommodations Regulations of SDMC section 131.0466, the applicant requested a waiver of the requirement to amend the Municipal Code to remove the prohibition of nursing facilities within Proposition A Lands. A request for Reasonable Accommodation may be approved at the staff level as a Process 1 provided certain findings can be made. Staff has reviewed the project and approved the Reasonable Accommodation request to allow the processing of a Conditional Use Permit for the proposed nursing facility without requiring a Municipal Code amendment. Please reference Attachment 10 for an analysis of the Reasonable Accommodation request.

Conclusion:

Staff has reviewed the proposed project and all issues identified through the review process have been resolved in conformance with adopted City Council policies and regulations of the Land Development code. Staff has provided draft findings to support approval of the proposed Community Plan Amendment and Conditional Use Permit (Attachment 5). Staff is recommending the Planning Commission recommend approval of the project as proposed.

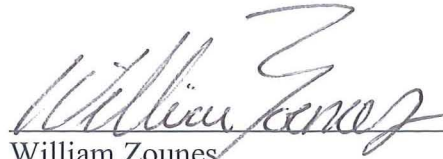
ALTERNATIVES

1. **Recommend Approval** to the City Council project for Community Plan Amendment and Conditional Use Permit No. 908816 with modifications.
2. **Recommend Denial** to the City Council of the Community Plan Amendment and Conditional Use Permit No. 908816 if the findings required approve the project cannot be affirmed.

Respectfully submitted,



Mike Westlake
Acting Deputy Director
Development Services Department



William Zounes
Development Project Manager
Development Services Department



Nancy Bragado
Interim Deputy Director
Planning and Neighborhood Restoration

TT/WZ

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Conditional Use Permit with Conditions
6. Draft Environmental Resolution with MMRP for Addendum
7. Community Plan Amendment Initiation Resolution
8. Community Planning Group Recommendation
9. Ownership Disclosure Statement
10. Reasonable Accommodation Application
11. Proposed Amendment Site
12. January 31, 2013 PC Hearing opposition concerns with responses
13. June 26, 2013 Rancho Penasquitos Planning Board minutes (DRAFT)
14. Project Chronology
15. Project Plan(s)
16. Project Rendering
17. Draft Ordinance with Findings



Aerial Photograph (Birds Eye)

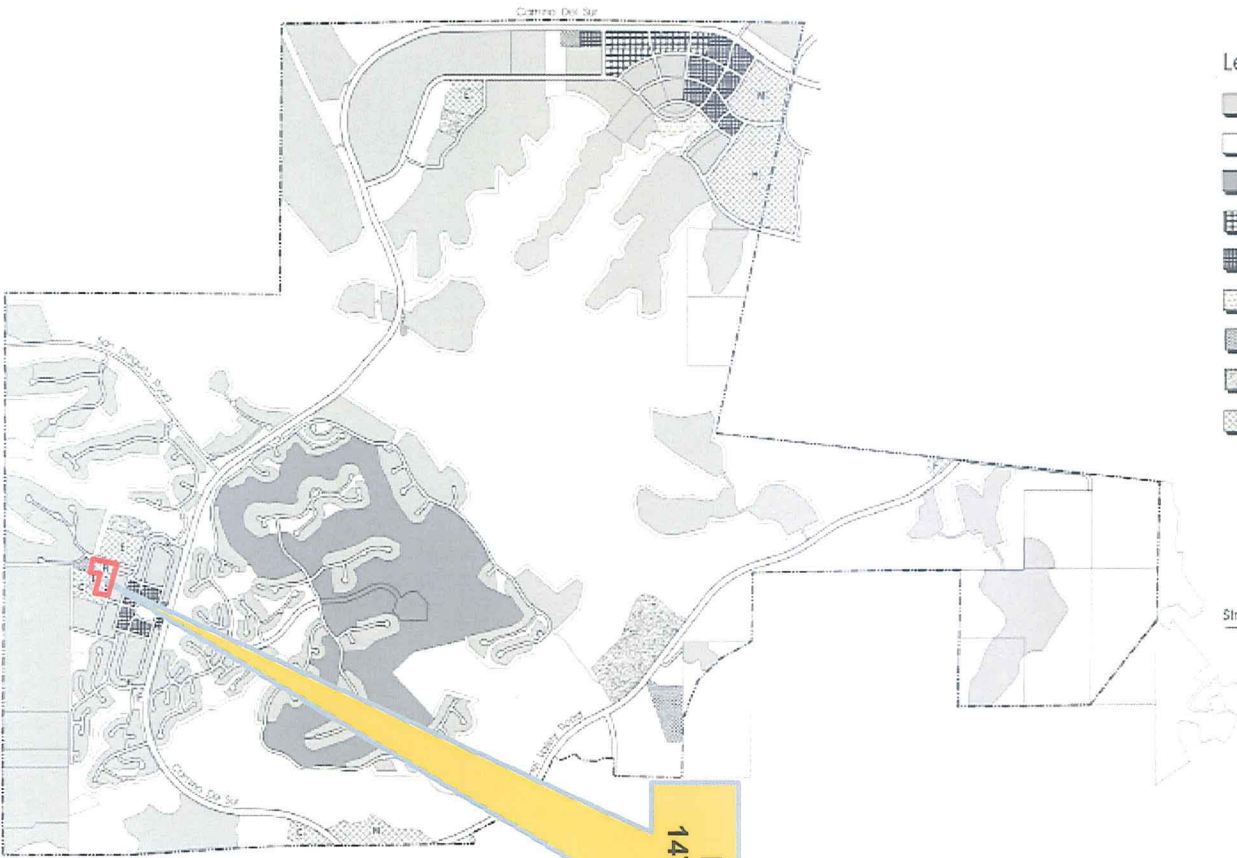


Santa Luz Assisted Living - Project No. 257983
14740 Via Fiesta





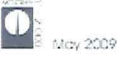
Land Use **2.3**
figure



Legend

	Residential (see figure 2.4)	1355 ac.
	Open Space (see figure 3.2)	2710 ac.
	Golf Course & Club House	320 ac.
	Employment	30 ac.
	Village Mixed Use Center	30 ac.
	Village Green	10 ac.
	Utilities	25 ac.
	Neighborhood/Community Parks	50 ac.
	Institutional	125 ac.
E	Elementary School	
M	Middle School	
H	High School	
F	Fire Station	
C	Church	
D	Day Care Center	
S	Seniors Center	
R	Recreation Center	
Streets		405 ac.
TOTAL:		5100 ac.

Note: Shaded areas represent Collector and above from village area



May 2009

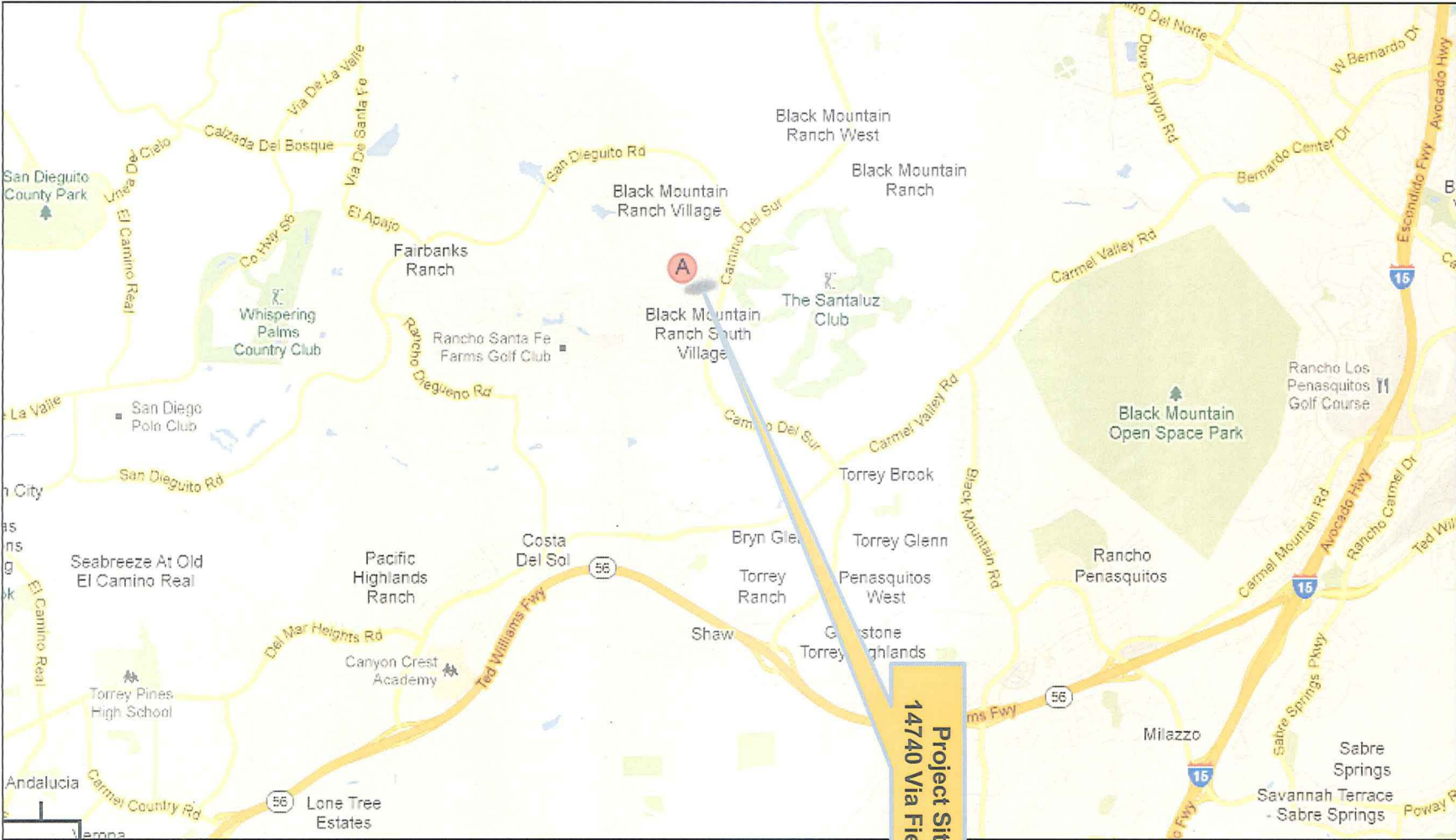
Project Site
14740 Via Fiesta

*Black Mountain Ranch
Subarea Plan*

Attachment 2
Black Mountain Ranch Subarea Plan

Land Use Plan
Santa Luz Assisted Living - Project No. 257983
14740 Via Fiesta





Attachment 3
Project Location Map



Project Location Map

Santa Luz Assisted Living - Project No. 257983
14740 Via Fiesta

PROJECT DATA SHEET		
PROJECT NAME:	Santa Luz Assisted Living – Project No. 257983	
PROJECT DESCRIPTION:	The project to construct a 71,584-square-foot nursing care facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone.	
COMMUNITY PLAN AREA:	Black Mountain Ranch Subarea Plan	
DISCRETIONARY ACTIONS:	Community Plan Amendment, Planned Development Permit, and Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Institutional-Recreation and Institutional-Senior Center	
ZONING INFORMATION: ZONE: AR-1-1 HEIGHT LIMIT: 30 feet LOT SIZE: 3.28-acres FLOOR AREA RATIO: applies FRONT SETBACK: 25 feet SIDE SETBACK: 20 feet STREETSIDE SETBACK: N/A REAR SETBACK: 25 feet PARKING: 43 spaces required		
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Institutional;AR-1-1	Elementary school.
SOUTH:	Residential;AR-1-1	Multi-family residential.
EAST:	Employment/Residential; AR-1-1	Single and multi-family homes.
WEST:	Institutional; AR-1-1	daycare, single family homes.
DEVIATIONS OR VARIANCES REQUESTED:	Height deviation.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	The Rancho Penasquitos Planning Board voted 14-0-1 on September 7, 2011 to recommend approval of the proposed project with no conditions	

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: **24002181**

CONDITIONAL USE PERMIT NO. 908816
SANTA LUZ - PROJECT NO. 257983
CITY COUNCIL

This Conditional Use Permit No. 908816 is granted by the City Council of the City of San Diego to SANTALUZ, LLC, Owner, and Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0413 and 126.0602 . The 3.28-acre site is located at 14740 Via Fiesta in the AR-1-1 zone of the Black Mountain Ranch Planning area. The project site is legally described as: Lots 4 and 6 of Black Mountain Ranch Unit 10A per Map No. 14497;

Subject to the terms and conditions set forth in this Permit, permission is granted to SANTALUZ, LLC Owner/Permittee to construct a 71,630 square-foot nursing facility designed for Assisted Living and Memory Care for senior citizens described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated xxxxxx, on file in the Development Services Department.

The project shall include:

- a. A 64-unit, 71,630 square-foot nursing facility specializing in assisted living and memory care for senior citizens;
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Recreation area, community garden, and common area;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality

Attachment 5
Draft Conditional Use Permit with Conditions

Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by xxxxxx
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

Attachment 5
Draft Conditional Use Permit with Conditions

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Addendum, No. 257983, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Addendum, NO. 257983, to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to

Attachment 5
Draft Conditional Use Permit with Conditions

the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for Paleontological Resources.

ENGINEERING REQUIREMENTS:

14. Prior to the issuance of a building permit, the Owner/Permittee shall obtain a grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

15. The drainage system proposed for this development and outside of the public right-of-way is private, shall be privately maintained and subject to approval by the City Engineer.

16. Prior to the issuance of any construction permits, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate and show the type and location of all post-construction Best Management Practices (BMP's) on the final construction drawings, in accordance with the approved Water Quality Technical Report, satisfactory to the City Engineer.

19. All driveways and curb openings shall comply with City Standard Drawings SDG-159, SDG-160, and G-15.

20. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 2009-009 DWQ and the Municipal Storm Water Permit, Order No. 2009-009(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 2009-009 DWQ, and any subsequent amendments thereto,

LANDSCAPE REQUIREMENTS:

Attachment 5
Draft Conditional Use Permit with Conditions

21. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.

22. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall provide a 40 sq-ft area around each tree that is unencumbered by hardscape and utilities unless otherwise approved per LDC 142.0403(b)5.

23. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

24. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree Permit shall be obtained for the installation, establishment, and on-going maintenance of all street trees.

25. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

26. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

27. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

28. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

Attachment 5
Draft Conditional Use Permit with Conditions

29. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

30. The assisted living units shall not contain a "kitchen", as defined in the San Diego Municipal Code.

31. On Monday, Tuesday, Wednesday, and Friday, no non-management employee shift changes for the project shall occur between the hours of 7:00 a.m. and 9:30 a.m. or 3:00 p.m. and 4:00 p.m. On Thursday, no non-management employee shift changes for the project shall occur between the hours of 7:00 a.m. and 9:30 a.m. and 1:00 p.m. and 2:30 p.m., provided, however, if Willowgrove Elementary School's schedule on Thursday were extended to be consistent with the other weekdays, the restriction in the afternoon shall change to 3:00 p.m. and 4:00 p.m.

32. On Monday, Tuesday, Wednesday, Friday, no food delivery trucks shall be scheduled to arrive or depart from the project between the hours of 7:00 a.m. and 9:30 a.m. or 3:00 p.m. and 4:00 p.m. On Thursday, no food delivery trucks shall be scheduled to arrive or depart from the project between the hours of 7:00 a.m. and 1:00 p.m. and 2:30 p.m., provided, however, if Willowgrove Elementary School's schedule on Thursday were extended to be consistent with the other weekdays, the restriction in the afternoon shall change to 3:00 p.m. and 4:00 p.m.

TRANSPORTATION REQUIREMENTS:

33. A minimum of 43 off-street parking spaces (with 44 off-street parking spaces provided) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A". Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the City Manager.

34. Prior to the first building permit, a signed Joint Use Driveway/Mutual Access Agreement between all affected properties shall be recorded on all affected properties for the access point at the cul da sac of Via Inez west of Via Fiesta, satisfactory to the City Engineer.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

35. The Owner/Permittee shall assure, by permit and bond the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection of the existing unused water and sewer service adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City.

36. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

Attachment 5
Draft Conditional Use Permit with Conditions

37. Prior to the issuance of any certificates of occupancy, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

38. Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

GEOLOGY REQUIREMENTS:

39. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of Development Services prior to the issuance of any construction permit.

40. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of Development Services prior to exoneration of the bond and grading permit close-out.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on xxxxxx.

Attachment 5
Draft Conditional Use Permit with Conditions

Permit Type/PTS Approval No.: CUP No. 908816

Date of Approval: xxxxxx

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

William Zounes
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
SANTALUZ, LLC,

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER XXXXXX

ADOPTED ON XXXXXX

WHEREAS, on XXXXX, SANTA LUZ, LLC submitted an application to Development Services Department for CONDITIONAL USE PERMIT NO. 908816 for a new 71,630-square -foot nursing home facility for assisted living and memory care patients for the Santa Luz Project; and

WHEREAS, the matter was set for a public hearing to be conducted by the Development Services Department of the City of San Diego; and

WHEREAS, the City Council considered the issues discussed in Addendum No. 257983 (Addendum to EIR No. 95-0173 and 96-7902 & Addendums Nos. 95-0173.1/99-1161 No. 257983) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the City Council that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Hearing Officer in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Development Services Department finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the City Council hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Development Services Department in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the DEVELOPMENT SERVICES DEPARTMENT, 1222 FIRST AVENUE, SAN DIEGO, CA 92101 or CITY CLERK, 202 C STREET, SAN DIEGO, CA 92101].

BE IT FURTHER RESOLVED, that DEVELOPMENT SERVICES STAFF is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

APPROVED:

By: WILLIAM ZOUNES
DEVELOPMENT PROJECT MANAGER

ATTACHMENT(S): Exhibit A, Mitigation Monitoring and Reporting Program

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM
CONDITIONAL USE PERMIT NO. 908816
PROJECT NO. 257983

V. MITIGATION, MONITORING AND REPORTING PROGRAM:

No mitigation is required for any new issue areas associated with this project, in addition, all applicable mitigation measures were completely carried out in association with mass grading allowed by the approvals analyzed in EIR No. 95-0173 except for additional paleontological monitoring that is required for the proposed project. The current City MMRP paleontological mitigation measures required on-site are as follows:

PALEONTOLOGICAL RESOURCES

1. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

2. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.

2. Identify Areas to be Monitored
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
 3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.
- 3. During Construction**
- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
 - B. Discovery Notification Process
 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
 - C. Determination of Significance
 1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.

- d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

4. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVR and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Section 3 - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section 3 - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section 3-B, unless other specific arrangements have been made.
- B. If night work becomes necessary during the course of construction
 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

5. Post Construction

- A. Preparation and Submittal of Draft Monitoring Report
 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate

Attachment 6
Draft Environmental Resolution with MMRP for Addendum

- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
 - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

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PLANNING COMMISSION RESOLUTION NO. 4832-PC

INITIATING AN AMENDMENT TO THE Black Mountain Ranch Subarea Plan AND GENERAL PLAN TO REDESIGNATE TWO SITES - 1) an approximately 0.98-acre site designated Institutional - Seniors Center, and 2) an approximately 2.3-acre site designated Institutional - Recreation Center - to Institutional - Nursing Facility.

WHEREAS, on August 23, 2012, the Planning Commission of the City of San Diego held a public hearing to consider the initiation of an amendment to the Black Mountain Ranch Subarea Plan to redesignate two sites - 1) an approximately 0.98-acre site designated Institutional - Seniors Center, and 2) an approximately 2.3-acre site designated Institutional - Recreation Center - to Institutional - Nursing Facility; and

WHEREAS, the applicant is requesting a Subarea Plan Amendment in anticipation of future development that will allow the development of a nursing facility on the subject property; and

WHEREAS, the Planning Commission of the City of San Diego considered all maps, exhibits, evidence and testimony; NOW, THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby initiates the requested Community Plan Amendment; and

BE IT FURTHER RESOLVED that the Planning Commission directs staff to consider the following issue(s) in addition to all of the issues identified in Report No. PC-12-087:

- Appropriate land use designation and density range for the site;
- Site design considerations for new land use designation;
- Compatibility and integration of new development with adjacent development;
- Impact of potential development on public services and facilities;
- Pedestrian circulation and transit improvements;
- Limited ability of the POA to develop future community facilities and meeting spaces as envisioned in the VTM/PRD;
- Provision of additional benefit to the community;
- Consistency with Proposition A.

BE IT FURTHER RESOLVED, that this initiation does not constitute an endorsement of a project proposal. This action will allow staff analysis to proceed.



Staff
Development Services Department

Initiated: 8/23/2012

By a vote of: 5-0



Rancho Peñasquitos Planning Board Meeting Minutes

June 6, 2012

Attachment 8
Community Planning Group
Recommendation
Page 1 of 4

Attendees: Jon Becker, Suzanne Brooks, Thom Clark, Bill Diehl, Bill Dumka, Steve Gore, John Keating, Ruth Loucks, Darren Parker, Jeanine Politte, Keith Rhodes, Scot Sandstrom, Mike Shoecraft, Dennis Spurr, Ramesses Surban, David Wiesley

Absent: Joost Bende, Charles Sellers

Community Members & Guests (Voluntary Sign-in): Cynthia Macshane, Haven Buchmiller

-
1. The meeting was called to order at 7:38 pm at the Doubletree Golf Resort located at 14455 Peñasquitos Drive, San Diego, California 92129. A Quorum was present.
 2. Agenda Modifications: County Treasurer/Tax Collector, Dan McAllister canceled and Kilroy T-9 Bridge & Reimbursement agreement was removed from agenda.
 3. MINUTES:
Motion: To approve the May 2, 2012 Rancho Peñasquitos Planning Board Meeting minutes with corrections. M/S/C - Diehl/Clark/Approved, 11 in favor – 0 against – 2 abstentions (Loucks, Dumka).
 4. Guests: No fire/police agency representatives were present.
 5. NON-AGENDA, PUBLIC COMMENTS:
 - a. Sandstrom commented about SDG&E staging on Kilroy lot in Torrey Highlands.
 - b. Diehl reported that Flag Day would be celebrated at Hilltop Park on Sunday 6/10/12 from 2-3pm with flag raising and helicopter landing. Local Independence Day celebration and fireworks would be held at Westview High School on July 3rd put on by the Rec Council; gates open at 7pm and fireworks start at dusk.
 - c. Cynthia Macshane introduced herself; she is in process of being appointed to hold the Town Council seat on RPPB (note: appointment letter has not been received to-date from Andy Berg).
 6. ANNOUNCEMENTS & INFORMATION ITEMS:
 - a. San Diego City Development Services Dept. Report – Michael Prinz
 - Welcomed new RPPB members and introduced himself.
 - b. San Diego City Council District 1 Report – Stephen Heverly was not present
 - c. San Diego County Board of Supervisors, District 3 Report – Steve Hadley
 - Distributed BOS District newsletter and Live Well Summit flyer. He noted that 2-1-1 has emergency/fire info if not available via a news source; great resource.
 - d. Assembly Member Nathan Fletcher's Office Report – Sterling McHale was not present
 7. BUSINESS.
 - a. **City Council Candidate District 5 – Mark Kersey (Information Item)**
 - Becker introduced Mark Kersey; is running unchallenged for City Council District 5 seat which will cover Rancho Bernardo, San Pasqual, north and western portion of Rancho Peñasquitos, Black Mtn. Ranch, Torrey Highlands, Carmel Mtn. Ranch, Sabre Springs, Rancho Encantada and Miramar Ranch North.
 - Kersey, who lives in Rancho Bernardo, noted the water main break on Lomica Drive the previous day as an example of the infrastructure issues San Diego faces. He

intends to focus on fiscal reform to reinvest savings in City infrastructure.

- City of San Diego Council members are sworn into office in December when the new boundaries for City Council Districts take effect (Redistricting).
- Kersey noted that he would begin talking with potential staff in the next few months so that there is a smooth transition in December.
- Becker asked if there would be a concerted effort to eliminate any chance for Brown Outs via budgeting for services? Kersey stated he was in favor of investing in public safety; Fire Station 33 covers 27.5 sq. miles so he is looking at options, possibly adding another fire station.
- Rhodes noted that RPPB's planning area would be in 2 City Council Districts beginning in December and asked if there was going to be any changes in representative(s) attendance. Kersey stated that he and Council Member Zapf would work together on issues for the whole of Rancho Peñasquitos Planning Board's planning area.



b. **Santaluz Assisted Living/Memory Care Facility Update – Joe Taylor (Potential Action Item)**

Taylor discussed the status to-date and history of the Assisted Living Project. CUP was approved at RPPB & LUC last fall. The site is located in BMR South Village area (Subarea 1). These lots were originally designated to be used for recreation center and senior center. While in process to finalize the CUP, Long Range Planning Dept. was concerned that these sites were designated for specific uses and recommended that the requested changes go through a Community Plan amendment or could be considered without amendment via the support of RPPB. Santaluz, LLC is asking for RPPB support noting that the designated uses and the recreation facilities have been fulfilled through amenities already developed within the subarea by both private entities and the HOA.

- Taylor stated that the Assisted Living Facility would be an accepted use for the senior center component.
- The other components are now located at other sites through the development. HOA has lot for landscaping, staging and offices.
- POA(HOA) has added recreation facilities elsewhere in the subarea: 2 Neighborhood Parks with Tot-Lots, a Dog Park, picnic areas, parking and trails. These facilities are accessible to the public through membership in the Santaluz clubs or home ownership.
- Santaluz Club has a gymnasium, health and fitness component, tennis courts, pool, coffee shop overlooking a 10+ acre park.
- The subarea plan states that a number of the community facilities are to be privately developed, owned and maintained which is the case with the day care center (private school facility – Montessori) and church which has completed their first phase.
- Councilmember Lightner has asked Santaluz to get our formal support stating that the recreation amenities have been met before moving forward.
- Clark reported that the LUC felt Santaluz has met the obligations and voted to approve.
- Politte read the motion approved in LUC.
- Becker restated process for clarification, CUP within Process 4 becomes Process 5 due to the subarea petition.
 - Prinz stated the applicant requires a reasonable accommodations request in order to deviate from the underlying zone to allow for a residential care

facility or nursing facility which is not allowed on Prop A lands under the code. Because seniors that need this type of care are a protected class and the applicant can go through the process without amending the entire municipal code under the state's reasonable accommodations law. The issue was the language for the subarea plan and design guidelines designations; the proposed project was inconsistent with the subarea plan. Due to the inconsistencies, a subarea plan amendment would be needed, however if the applicant could meet specific criteria that shows the project benefits the community, that other recreational facilities have been installed in the subarea that meet the use originally designated for this parcel, the proposed could be allowed. If a Community Plan amendment is required, a City Councilmember could initiate to expedite the process allowing staff to do their analysis. The project would continue on its path and the amendment to the subarea plan would go to City Council for approval. The difference between the routes are the level of reporting and processing.

- Becker stated for clarification; the CUP would go to Planning Commission and then be bundled with the amendment for City Council approval.
- Prinz stated that is the case if the amendment is required. Staff feels they can make the findings to move forward.
- Becker asked about Community Plan update costs; Prinz stated the applicant would pay for expenses.
- Clark asked for clarification on the process moving forward.
 - Prinz stated that City Staff would provide the analysis demonstrating that the project could be approved and the criteria used to make that determination. At that point the Planning Commission could approve as presented or request the amendment to the Community Plan be done.
- Gore asked if the Assisted Living facility was public or private?
 - Taylor said that the parcel is designated as POA owned, Assisted Living Facility could fit the intended Senior Center designation in the Community Plan. He added that 20-25 years ago, churches provided childcare and senior care. The POA would need a parcel to operate. Santaluz LLC kept POA lot, did give the land to POA for rec center.
 - Gore asked if POA would have to maintain this property or if the Assisted Living facility would? Taylor stated the Assisted Living Facility would own and maintain.
- Brooks asked if the CUP would need to be amended also?
 - Prinz stated that if process is to go forward with amendment, the amendment would lead and show the new land use designation in the subarea plan; attached to the CUP. The facility needs CUP regardless of zone. Assisted Living facilities are not uses that can be developed by right.
- Parker asked if amendment would be the cleanest way or is it a timing issue.
- Surban asked for clarification that the original designation of this property was for Senior/Recreation Center? The applicant seeks to use as an Assisted Living Facility and residents pay for the services; was the previous designation a public one.
 - Taylor stated that originally the recreation components were to be developed and maintained by the POA(HOA) which is private.
- Prinz added that he agrees with Taylor's interpretation, staff looks at subarea plan to

make their determination of consistency with land use designation from a long term planning stand point. Because the subarea plan does not contain a lot of detail on this specific lot, staff used the adopted design guidelines make their determination. They can't restrict all use; not population based park.

- Becker stated for clarification, the Club has fulfilled some of those recreational components.

Motion: The recreation elements of the subarea plan have been fulfilled through other amenities including the Santaluz Club, Dog Park, 2 Neighborhood Parks with tot-lots, Trails, Swimming Facilities and a coffee shop so that the Santaluz Assisted Living/Memory Care Facility plan can go to the Planning Commission and if necessary to City Council for approval. M/S/C – Politte/Diehl/Approved, 15 in favor – 0 against – 0 recusals/abstentions.

- Becker asked Taylor about the timeline; Taylor stated they have been moving forward but that this hurdle holds everything up.

c. **Zaslavsky Place to Del Sur Ridge Road Name Change – Bill Dumka (Action Item)**
Dumka recused himself.

Clark reported that Black Mtn. Ranch and PUSD have requested a name change to an existing road between 2 schools (Del Norte High School and the proposed K-8 school) from Zaslavsky Place to Del Sur Ridge Road. Zaslavsky Place name will be retained and moved adjacent to the proposed K-8 school.

Motion: To approve the proposed name change and that Zaslavsky Place is being moved adjacent to the proposed K-8 school site. M/S/C – Sandstom/Surban/Approved, 13 in favor – 0 against – 0 abstentions – 1 Recusal (Dumka).

8. REPORTS.

a. Chair Report – Jon Becker

- Recycled water project through Peñasquitos Canyon's issues remain. The orange fencing which the community did not like became black fencing and now there is no fencing; CAC agreed to this change. The re-vegetation is still in place around where the fencing was and is now unprotected. There are also irrigation heads begin held in place with rebar which is dangerous. The engineering group is looking at options for the irrigation that would not be as dangerous and the construction company is looking at other options to cut costs.
 - Politte asked about the seed mix which was reported previously as unacceptable, non-natives and resulting fire load; Becker stated that because the mix is down, it is staying. Presently watering by hand as irrigation system isn't active yet.
 - There is ponding at the bridge culverts which are raised above the streambed; Keating added the design was poor and is working to get it resolved. Becker added that contractor is responsible for maintaining until turned over to City.
 - Diehl inquired if rails would be added to the bridge; Becker stated that the issue has not come up again and the CAC has not met to discuss yet.
- Keating reported that a resident is proposing to change Carmel Mtn. Rd. street name to Rancho Peñasquitos Blvd. from the corner where the two streets meet westward to provide consistency.
 - Becker added that 100% of the owners of properties on the road would need to agree to such a change. Future agenda item.
 - Brief discussion of the number of properties with Carmel Mtn. Rd. addresses

Ownership Disclosure Form

Project Title:

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? DE Corporate Identification No. 2863978
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
Santaluz, LLC

Owner Tenant/Lessee

Street Address:
8105 Irvine Center Drive, Suite 1450

City/State/Zip:
Irvine, CA 92618

Phone No: (949)341-1280 Fax No: (949)585-9278

Name of Corporate Officer/Partner (type or print):
Philip S. Bodem

Title (type or print):
Vice President, Taylor Morrison of California, LLC

Signature:  Date: 9/21/2011

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

Corporate/Partnership Name (type or print):

Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:

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Owner Tenant/Lessee

Street Address:

City/State/Zip:

Phone No: Fax No:

Name of Corporate Officer/Partner (type or print):

Title (type or print):

Signature : Date:



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Request for Re Accommodations

SEPTEMBER 2009

Application Date: May 21, 2012

Project No.: 257983

The City is required by the Federal Fair Housing Act and the California Fair Employment and Housing Act to provide a process for consideration of reasonable accommodation requests. A deviation process is available to applicants for circumstances where the existing zoning regulations would preclude residential development for persons with disabilities. All requests for accommodation are determined on a case-by-case basis. You will be contacted if additional information is required to determine the reasonableness of the accommodation requested.

Please print legibly or type.

1. Applicant Name:					E-mail:
Santaluz, LLC					taylorconsulting@cox.net
Address:		City:	State:	Zip Code:	Telephone:
8105 Irvine Center Dr., Ste 1450		Irvine	CA	92168	(619) 847-1536
2. Property Owner Name:					E-mail:
Santaluz, LLC					taylorconsulting@cox.net
Address:		City:	State:	Zip Code:	Telephone:
8105 Irvine Center Dr., Ste 1450		Irvine	CA	92168	(619) 847-1536
3. Site Address where accommodation is requested:					
Address:					Zip Code:
14740 & 14716 Via Flesta, San Diego/APN #'s 269-241-1100,269-241-1300					92127

- 4. Process One - Administrative Review**
Reasonable accommodations (including waiver of regulations, policies, or procedures) to afford persons with disabilities an equal opportunity to use and enjoy a dwelling may be approved through Process One subject to the following:
- (a) The development will be used by a person(s) with a disability;
 - (b) The deviation requested is necessary to make specific housing available to a person with a disability and complies with all applicable development regulations to the maximum extent feasible;
 - (c) The deviation request will not impose an undue financial or administrative burden on the City;
 - (d) The deviation request will not create a fundamental alteration in the implementation of the City's zoning regulations; and
 - (e) For coastal development in the Coastal Overlay Zone, that is not exempt from a Coastal Development Permit pursuant to Section 126.0704, there is no feasible alternative that provides greater consistency with the certified Local Coastal Program.
- 5. Identify the reasonable accommodations requested and the specific regulations, policy, or procedure from which the deviation or waiver is requested. If the City is unable to approve the specific accommodations requested. The City will work with you to find accommodations that are reasonable.**

The applicant requests reasonable accommodation to allow for the proposed Intermediate Care, Nursing Facility

within agriculturally-zoned Prop. A Land, as prohibited by Section 141.0413(a) of the Municipal Code. The relief of

the code will allow the applicant to pursue a Conditional Use Permit for this use.

- 6. Give the reason that the reasonable accommodations may be necessary, for you or for another individual(s) with disabilities seeking the specific housing, to use and enjoy the housing. You do not need to tell us the name or extent of your disability or that of the individual(s) seeking the housing:**

Attached is the project description detailing the age range and mental ability of residents, and the types of assistance and services required by these individuals.

7. Please attach any documents that you feel are necessary to support your request for reasonable accommodation and would assist us in considering your request, (e.g. medical documentation which supports the need for the accommodation as prescribed under disability law). Please note that all documents submitted will be kept as a record of the decision and will be made available to the public upon request.

8. Owner Declaration: I Joe Taylor, Agent _____, certify, under penalty of perjury under the laws of the State of California, that the information provided above is correct and is being submitted to facilitate a currently anticipated use of the development by a person with a disability.

Signature: Joe Taylor, agent for Sinitary, LLC Date: February 21, 2012

A person with disability pursuant the Fair Housing Amendments Act of 1988 means any person who has a physical or mental impairment that substantially limits one or more major life activities; anyone who is regarded as having such impairment; or anyone who has a record of such impairment.

FOR CITY USE ONLY

The following findings have been made to support the reasonable accommodation request:

Yes No

- The development will be used by a person with a disability.
The deviation request is necessary to make specific housing available to a person with disability and complies with all applicable development regulations to the maximum extent feasible.
The deviation request will not impose an undue financial or administrative burden on the City of San Diego.
The deviation request will not create a fundamental alteration in the implementation of the City's zoning regulations for the AR-1-1 zone.
For coastal development in the Coastal Overlay Zone, that is not exempt from a Coastal Development Permit pursuant to Section 126.0704, there is no feasible alternative that provides greater consistency with the certified Local Coastal Program.

Additional Information for the Administrative Record:

Approved Denied

If requested accommodation is denied provide reason(s) based on required findings:

Staff Name: DANIEL P. NORMANDIN
Signature: Daniel Normandin

Staff Title: Senior Planner
Date: 12.17.2012

SANTALUZ, LLC

Proposed Assisted Living/Memory Care Facility Description

May 21, 2012

Physical/Mental State of Residents

Most residents of the proposed project would be Seniors 80-90 years of age and will have become physically frail to the point where they will require assistance with at least two activities of daily living (ADLs). Examples of ADLs are bathing, toileting, dressing, eating and walking. Residents would have indications of varying levels of dementia, requiring assistance by staff specially trained in providing personal care and assistance for persons with this condition.

Physical Facilities Description

Approximately 64 Assisted Living/Memory Care units would be constructed in 2 story buildings, on a 3.29 acre site. All resident buildings and areas would be handicapped accessible – both indoor and outdoor and designed consistent with the Community Design Guidelines.

Units would include a small living area, a sleeping area, a very small counter/sink, a microwave and a refrigerator. Not included are kitchens (any cooking facilities-range top or oven). Units would be arranged to accommodate one or more related, or unrelated residents. A private bathroom would be included in each unit with a walk-in shower (without curbs), to enable those a) in wheelchairs, b) reliant upon walkers or c) unable to step over a curb, to easily access the showers.

Commons Areas would include resident congregate dining room(s), living room(s), activities and recreation areas. Food preparation equipment would be provided for use by staff in preparation of meals for residents. Back-of-house support areas would be provided for dry food storage, refrigerated food and frozen food. Laundry and housekeeping areas would be provided for staff use. An administrative area for business administration and admission activities will be required, as well as a reception area and restrooms for visitors. A medical records storage area, as well as a locked medications storage area would also be provided.

Recreation Areas would consist of exterior walking areas specifically designed for exercise in a looped system for maximizing interest and physical activity as well as seating and reading areas. The project also includes Community Gardening areas for residents to grow vegetables, flowers and plants for use within the community. Internally, the facility will include areas for physical and mental exercising, crafting, arts, cards, reading partnerships with adjacent elementary school, etc. Recreational facilities and opportunities are key features of the project and are intended to stimulate Seniors both physically and mentally.

Site Description

The site is 3.289 acres (Black Mountain Ranch Unit 10A Map No. 14497, Lots 4, 6) and is located adjacent to a recently opened Montessori School and also adjoins a newly constructed church. Across Via Inez is a recently opened elementary school. Immediately to the East is a major residential development of single family homes. Beyond, are golf course oriented homes.

The site is essentially flat and requires minimal grading for development. All utilities are available in the street adjacent to the site.

Zoning/Permitting

The property is located within the boundaries of the Black Mountain Ranch Subarea Plan and is zoned AR-1-1 agricultural zone of Proposition A Lands. The City has determined that the class of use falls within the Reasonable Accommodations Regulations of the Municipal Code (131.0466). The Reasonable Accommodations Regulations allow for the proposed project to be developed on the property even though the Subarea Plan and AR-1-1 agricultural zone do not specifically identify an Assisted Living/Memory Care facility (Intermediate care, Nursing facility) as an allowed use on the property. A Conditional Use Permit (CUP) for the proposed project will be processed along with the request for Reasonable Accommodation. Please note that several community meetings have been held and no substantive issues have been discovered which could impede development of the site with the proposed project and in fact was unanimously approved 14-0 by the Penasquitos Planning Board.

Operations/Services/Staffing

The California Department of Social Services is the regulatory agency having jurisdiction over the proposed project, which would be licensed as a Residential Care Facility for the Elderly (RCFE). Staff would be on duty 24 hours per day/7days per week. Staff provides supervision, personal care and oversight to residents, in a secured environment, including the preparation and serving of 3 meals per day, plus snacks, in a common dining area(s). Staff assists residents with their activities of daily living, including, but not limited to, bathing, toileting, dressing, eating and walking.

Staff includes registered nurses (RNs), certified nursing assistants (CNAs), chefs, dietary staff, housekeepers, building engineer, activities coordinator, van driver and groundskeepers. The approximate staffing by work shifts is indicated below.

7:00 AM – 3:00 PM	16-18 staff
3:00 PM – 11:00 PM	14-16 staff
11:00 PM – 7:00 AM	4-6 staff

FINDINGS FOR REASONABLE ACCOMMODATIONS

Reasonable accommodations (including waiver of regulations, policies, or procedures) to afford persons with disabilities an equal opportunity to use and enjoy a dwelling may be approved through a Process One subject to the following:

1. The development will be used by a disabled person.

The project proposes a 71,584 square-foot assisted living facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone within the Black Mountain Ranch Community Plan. The facility would consist of 64 assisted living units with 74 beds and 24 hour staffing. The nursing facility will accommodate elderly residents within an age range between 80-90 years requiring assistance with at least two activities of daily living. Many of the residents will require memory care as these residence will be treated for dementia.

2. The deviation request is necessary to make specific housing available to a disabled person and complies with all applicable development regulations to the maximum extent feasible.

The project proposes a 71,584 square-foot assisted living facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone within Proposition A Lands, within the Black Mountain Ranch Community Plan. The facility would consist of 64 assisted living units with 74 beds and 24 hour staffing. San Diego Municipal Code (SDMC) section 141.0413(a) of the Land Development Code specifically prohibits nursing facilities within Proposition A Lands. Nursing facilities are a conditionally permitted use through the processing of a Conditional Use Permit (CUP) outside of Proposition A Lands. The project meets all Land Development Code development regulations, however, a minor deviation for height is being requested through the processing of a Planned Development Permit in order to implement a superior design.

The objective of Proposition A Land was to prevent premature development and guide urbanization, conserve agricultural land, prevent loss of natural resources, and address threat to quality of life from continued urban sprawl. The site is governed by VTM 95-0173 which allowed the grading and development of portions of Proposition A Lands. The project is providing infill development on a remnant, irregularly shaped parcel in the community. The proposed nursing facility would be located on a previously graded site surrounded by development including a day care center and single-family homes to the west, single-family and multi-family residential to the east, an elementary school and neighborhood park to the north, and multi-family residential to the south. Therefore the project would not adversely affect the Proposition A objective and would comply with all applicable development regulations to the maximum extent feasible.

3. The deviation request will not impose an undue financial or administrative burden on the City;

The project proposes a 71,584 square-foot assisted living facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone within Proposition A Lands, within the Black Mountain Ranch Community Plan. The facility would consist of 64 assisted living units with 74 beds and 24 hour staffing. The proposed project is entirely funded by the owner/applicant and will not impose a financial or administrative burden on the City.

4. The deviation request will not create a fundamental alteration in the implementation of the City's zoning regulations.

The project proposes a 71,584 square-foot assisted living facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone within Proposition A Lands, within the Black Mountain Ranch Community Plan.

The facility would consist of 64 assisted living units with 74 beds and 24 hour staffing. San Diego Municipal Code (SDMC) section 141.0413(a) of the Land Development Code specifically prohibits nursing facilities within Proposition A Lands. Nursing facilities are generally a conditionally permitted use through the processing of a Conditional Use Permit (CUP) outside of Proposition A Lands. The project meets all Land Development Code development regulations, however, a minor deviation for height is being requested through the processing of a Planned Development Permit in order to implement a superior design. The intent of the Conditional Use Permit is to establish a review process for development of a use that may be desirable under appropriate circumstances, but are not permitted by right in the applicable zone. The intent of these procedures is to review these uses on a case-by-case basis to determine whether and under what conditions the use may be approved at a given site.

The objective of Proposition A Land was to Prevent premature development, conserve agricultural land, prevent loss of natural resources, and address the threat to quality of life from continued urban sprawl. The site is governed by VTM 95-0173 which allowed the grading of the site and development for portions of Proposition A Lands. Surrounding the graded site exist an elementary school, day care, single and multi-family residential, and a neighborhood park. The project is providing infill development on a remnant, irregularly shaped parcel in the community. The proposed nursing facility would be located on a previously graded site surrounded by development not suitable for open space land or agricultural land as requested in Proposition A land.

The project site is designated Institutional-Recreation Center and Institutional-Senior Center within the Black Mountain Ranch Subarea Plan. The project proposes to re-designate the site from Institutional-Recreation Center and Institutional-Senior Center to Institutional-Nursing Facility through a Community Plan Amendment (CPA). An analysis of the CPA has concluded that the re-designation amendment would be consistent with the goals and policies of the General Plan and Black Mountain Ranch Subarea plan and any community plan specific amendment criteria.

The Federal Fair Housing Act and the California Fair Employment and Housing Act require that jurisdictions make reasonable accommodations to afford disabled persons the equal opportunity to use and enjoy a dwelling. In consideration of the special need and the potential benefit that can be accomplished with a requested modification, deviations to development regulations and/or waivers to processing requirements necessary to provide housing for protected classes may be approved through a Process 1.

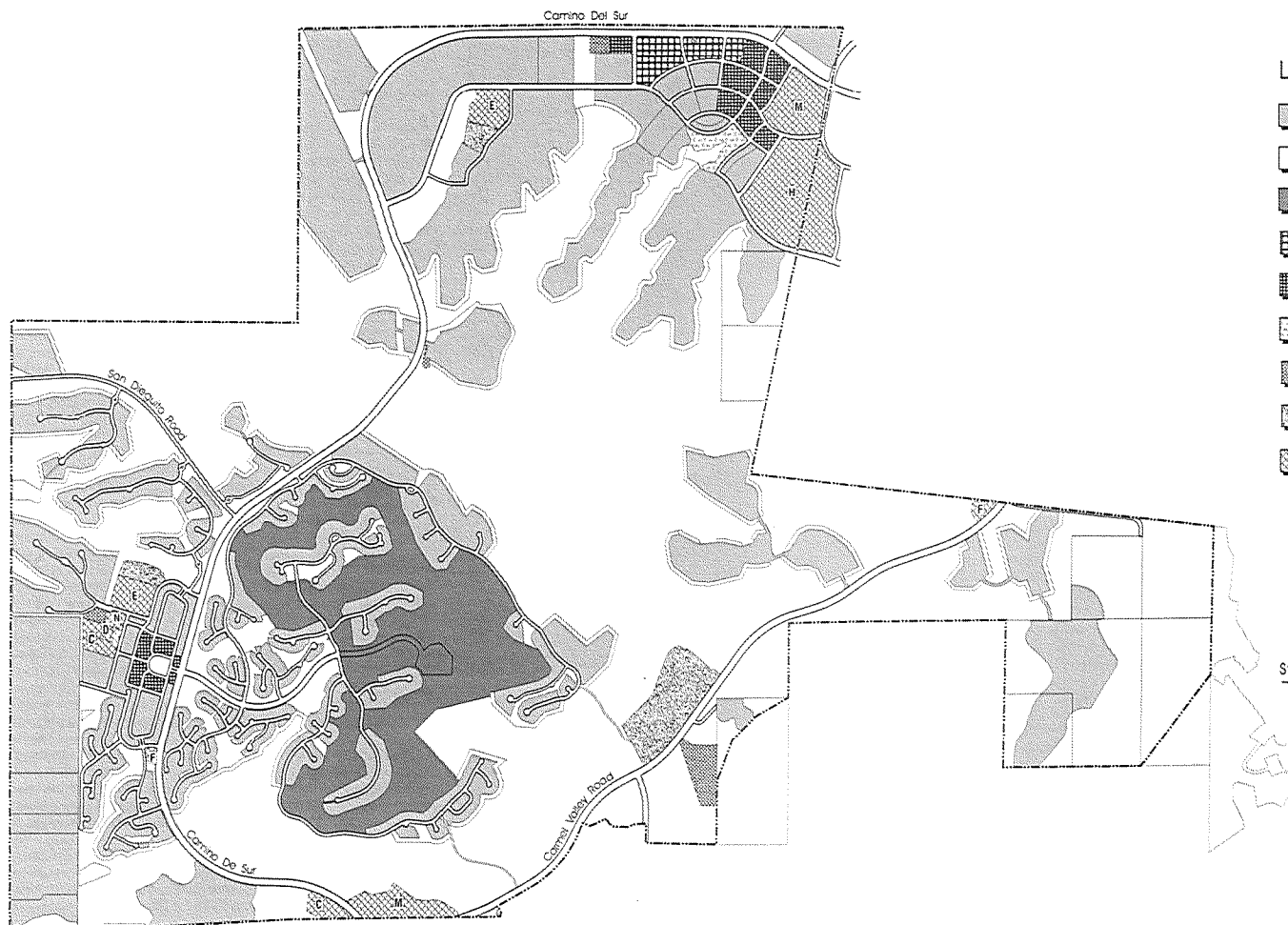
Additionally, the proposed nursing facility will serve as the residence of a senior population that requires 24 hour nursing care. The proposed residents have limited physical abilities and would be deemed as a protected class under the Fair Housing Amendments Act (FHAA). As such the applicant may request Reasonable Accommodations under SDMC 131.0466 in lieu of amending SDMC section 141.0413(a).

Therefore, based on the purpose and intent of the Conditional Use Permit process, the surrounding built out environment, consistency with the Land Use Plan, the underlying AR-1-1 zone, the Federal Fair Housing Act and the California Fair Employment and Housing Act requirement that jurisdictions make reasonable accommodations to afford disabled persons the equal opportunity to use and enjoy a dwelling, the deviation request will not create a fundamental alteration in the implementation of the City's zoning regulations.

- 5. For coastal development in the coastal overlay zone, that is not exempt pursuant to Section 126.0704, there is no feasible alternative that provides greater consistency with the certified Local Coastal Program.**

The project is not located within the coastal overlay zone.

Land Use **2.3**
figure



Legend

	Residential (see figure 2.4)	1395 ac.
	Open Space (see figure 3.2)	2710 ac.
	Golf Course & Club House	320 ac.
	Employment	30 ac.
	Village Mixed Use Center	30 ac.
	Village Green	10 ac.
	Utilities	25 ac.
	Neighborhood/Community Parks	50 ac.
	Institutional	125 ac.
	E Elementary School	
	M Middle School	
	H High School	
	F Fire Station	
	C Church	
	D Day Care Center	
	S Seniors Center	
	R Recreation Center	
	N Nursing Facility	
Streets		405 ac.
TOTAL:		5100 ac.

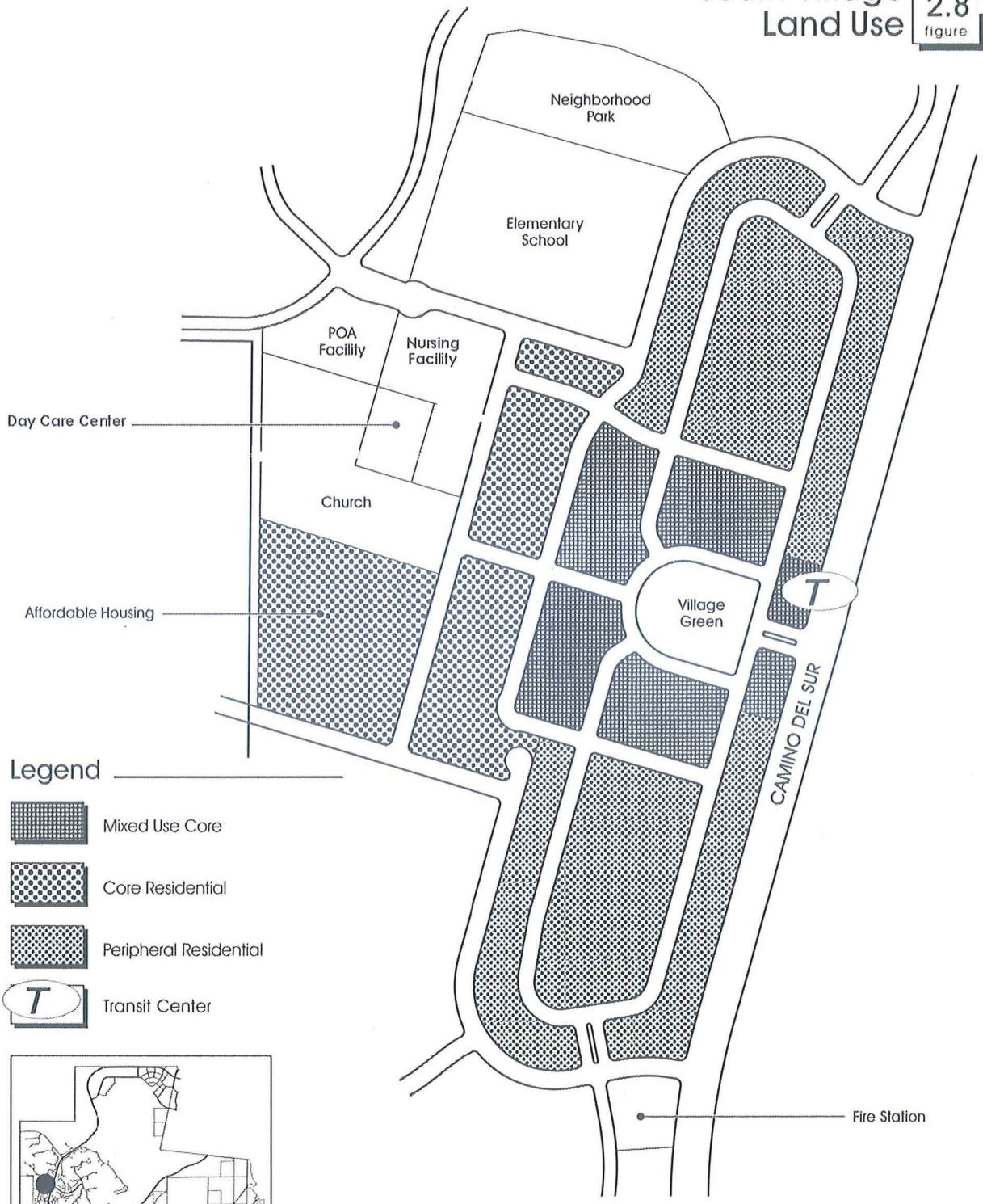
Note: Streets shown represent Collector and above (North Village area)







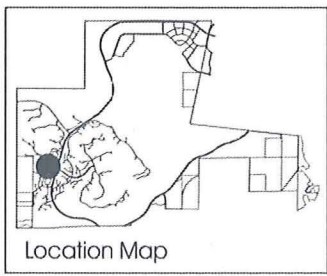
May 2009

Black Mountain Ranch
Subarea Plan

South Village
 Land Use **2.8**
 figure



- Legend**
-  Mixed Use Core
 -  Core Residential
 -  Peripheral Residential
 -  Transit Center



Black Mountain Ranch Subarea Plan

January 31, 2013 PC Hearing opposition concerns with responses

Summary of Opposition's Concerns from
January 31, 2013 Planning Commission Hearing
Santa Luz Assisted Living Facility

Below are the main points of concerns presented to Planning Commission from opponents of the project during the January 31, 2013 Public Hearing. Staff has included a short response to each.

1. The building exceeds 30 foot height limit.

Response: *Redesign of the proposed project lowered its height to below 30 feet.*

2. The buildings are too massive for the area and are too urban in nature.

Response: *The design of the buildings is consistent with the Black Mountain Ranch Design Guidelines ("Design Guidelines") for the site as well as the Tuscan Farmhouse architectural style for Santaluz Custom Homes, which assures compatibility with other buildings within the community.*

3. Parking is in front of the building, design guideline requires in back or within building envelope.

Response: *Redesign of the proposed project places parking to the side and rear of buildings and within a walled enclosed area*

4. There are 3 curb cuts, only two are allowed, third was for service area.

Response: *Redesign of the proposed project utilizes only one curb cut on Via Fiesta, the main road for the project, and provides secondary access off the existing driveway on Via Inez consistent with the Design Guidelines.*

5. Too much traffic, concerned about children's safety.

Response: *The Traffic Engineer's calculation of 222 daily trips is significantly less than the projected 3,195 daily trips allowed for the currently approved Recreation Facility and Senior Center uses. The project proposes to limit staff shift changes to the off-hours of the school and day care drop off and pickup times*

6. There will be too many emergency vehicles, concerned about noise and ambulances running over kids.

Response: *According to the applicant information from other assisted living facility operators indicate 1-2 emergency vehicles may come to the proposed project site each week.*

7. Too close to the elementary and Montessori schools.

Response: *There are no code requirements requiring a minimum distance between Residential Care Facilities and schools*

8. Should be used as for a Recreation Center and Senior Center as originally called out in the Subarea Plan, which Buyers relied upon when purchasing their homes.

Response: The subject site is located within the non-phase shifted Proposition A lands and is further governed by the VTM/PRD 95-0173 and associated Design Review Guidelines. The VTM/PRD's Design Review Guidelines state that the day care and senior facilities would be developed and managed by the church, and the recreation center would be developed as a Property Owner Association facility. Subsequent to the adoption of the Subarea Plan, the Property Owners Association (POA) determined to not take title to the parcel designated for a recreation center. Instead, the POA opted to build recreational facilities at other locations within the Subarea Plan, including two 1- to 2-acre parks with playgrounds, one 3-acre enclosed dog park, additional areas improved for picnicking and parking, and walking trail enhancements; none of which were originally provided for in the Subarea Plan. The proposed amendment would not adversely affect the goals of the Subarea Plan as recreational facilities are provided throughout the community.

9. Nursing facilities are to be avoided on residential roads.

Response: *Residential roads measure 32-34 feet curb to curb. Via Fiesta and Via Inez are designated as two lane collectors that are 40 feet wide curb to curb plus 10 feet of public right of way on each side, are designed for 30 mph speed limits, and can accommodate 5,000 traffic trips per day.*

10. Worried about memory care residents escaping and harming someone.

Response: *Based on information gathered from the applicant, this rarely happens because residents are monitored 24/7 with many safeguards to ensure they cannot leave the facilities without supervision.*

11. Why put it at this location since there is already an assisted living component a mile north in Del Sur's Residential Care area designated in a Community Plan Amendment in 2009?

Response: *According to the applicant, separate developers/land owners are re-planning most of their future development areas in the reference location and do not plan to include an assisted living component in their new plan. In addition, an assisted*

living facility is not included as a requirement in any of their existing development approvals.

12. **The Reasonable Accommodation was not publically noticed and is required to be approved by City Council along with the CUP, Planned Development Permit and Community Plan Amendment.**

Response: *As stated in the Addendum to the EIR dated November 7, 2012, and finalized December 17, 2012, the City approved the Reasonable Accommodation for this project as a process one/administrative approval and did not require City Council approval nor consolidation pursuant to Section 1, Page 4, #10 of the City of San Diego Land Development Manual.*

13. **We are under estimating the number of employees that will be working at the site at any given time.**

Response: *The applicant says 20-22 employees during the peak day shift.*

14. **Trash trucks and vendors utilizing the Service Area will be a danger to children as the trucks back out onto the main street.**

Response: *The service area has been relocated so that all delivery trucks and service vehicles enter and leave from the main entries. No delivery trucks or service vehicles will require backing up into the roadways.*

15. **We will not disclose who will be the buyer or operator.**

Response: *According to the applicant, the buyer wishes to remain out of the public eye until he closes escrow and we will continue to respect his privacy. As for the operator, the buyer has indicated a willingness to enter into an agreement with a major operator in the area and will have them available to help in future discussions and presentations.*



Rancho Peñasquitos Planning Board
Meeting Minutes

June 26, 2013

Attachment 13
6/25/13 Ranch Peñasquitos Planning
Board Minutes
Page 1 of 6

DRAFT

Attendees: Jon Becker, Joost Bende, Thom Clark, Bill Dumka, Steve Gore, John Keating, Mike Kenney, Jeanine Politte, Keith Rhodes, Mike Shoecraft, Dennis Spurr, Ramesses Surban, Zachary Tanton, Melinda Vasquez

Absent: Bill Diehl, Ruth Loucks, Cynthia Macshane, Darren Parker

Community Members & Guests (Voluntary Sign-in): John Leppert, Darshana Patel, Jacqui Higgs

-
1. The meeting was called to order at 7:39 pm at the Doubletree Golf Resort located at 14455 Peñasquitos Drive, San Diego, California 92129. A Quorum was present.
 2. Agenda Modifications: none
 3. Chairman Clark asked for volunteers to take the minutes; Shoecraft agreed.
 4. MINUTES:
Motion: To approve the June 5, 2013 Rancho Peñasquitos Planning Board Meeting minutes as presented. M/S/C - Dumka/Shoecraft/Approved, 8 in favor – 0 against – 3 abstentions (Bende (had not reviewed minutes), Becker and Spurr (absent)).
 5. Guests:
 - a. No Public Safety Agencies present.
 6. NON-AGENDA, PUBLIC COMMENTS: none
 7. ANNOUNCEMENTS & INFORMATION ITEMS:
 - a. San Diego City Development Services Dept. Report – Michael Prinz
 - Bill Fulton has been hired as the Director for the Dept. of Planning & Neighborhood Restoration (previously known as Development Services Division).
 - b. San Diego City Council Member Lorrie Zapf, District 6 Report – Conrad Wear
 - Budget related items – Mayor Filner’s veto of the City Attorney budget increase was not overturned by a City Council vote. The reduction will result in the loss of a neighborhood prosecution unit.
 - Managed Competition, approved by voters in 2006, has saved the City about \$10M this fiscal year. City employees have won every competition. The City Council reaffirmed their support for City projects.
 - Code Compliance Issues: Recycling signs (not necessary illegal, based on location), mobile vehicle with advertising on side.
 - Small storm water ground issue near Canyonside Park (actually a spring).
 - c. San Diego City Council Member Mark Kersey, District 5 Report – Lee Friedman
 - Mark Kersey's community event at Rancho Peñasquitos Library just completed.
 - Infrastructure: Getting condition assessments for City assets, that we still don't know what condition they are in. Sidewalk condition assessment will be completed this year.
 - Increase to Police Force staffing, retention has been an issue, we have seen a 6.8% increase in crime in past year. Considering bonuses and incentives to improve retention.
 - Budget: \$35M bond for infrastructure. \$10M for streets.

Rancho Peñasquitos Planning Board Meeting Minutes, June 26, 2013

- Question from Jon Becker: Is there an initiative to add a position for an Urban Forester? Lee will get back to us.
 - Public safety, disaster preparedness, fire safety event planned for near future. Will coordinate with Fire Safe Council.
 - Walk planned at end of Calderon Rd at 4PM tomorrow, 27 June with Lee and members of Planning Board.
- d. San Diego County Supervisor Dave Roberts, District 3 Report – Tighe Jaffe, not present
- e. 77th Assembly District, Member Brian Maienschein's Office Report – Michael Lieberman, not present
- f. 52nd District, U.S. Congressman Scott Peters' Office Report – Hugo Carmona, not present
8. BUSINESS.

a. **Proposed Community Plan Amendment Initiation for Torrey Highlands "Diocese property" (to change the land use designation of this property from Commercial Limited to Employment Center) – Robin Madaffer/Kilroy (Information Item)**

- Comments from Thom: Is the proposed change to the General Plan worthy of further analysis, using 3 criteria as provided by Michael Prinz:
 - 1) The amendment request is consistent with the goals and policies of the General Plan and Community Plan and any Community Plan Amendment criteria;
 - 2) The proposed amendment provides additional public benefit to the community, as compared to the existing land-use designation, density, intensity range, planned policy or site design;
 - 3) Public facilities appear to be available to serve the proposed increase in density/intensity or Their provision will be addressed as part of the amendment process. Denial is if it is consistent with the major goals and policies of the General Plan.
- Michael Prinz: Example: An applicant was proposing building residential housing in open space. Only looking at land-use designation, not looking at any site specific issues or project specific issues related to design. What is land-use today, what is the proposed land-use change, and what are the impacts to the plans and community of those changes, based on the land-use itself, as opposed to a specific development application.
- Robin Madaffer/Kilroy will be on the Sept. agenda.



b. **Santaluz Assisted Living Project Update – Joe Taylor/Taylor Consulting (Information Item)**

- Jon Becker: This project has been on the agenda previously, and it has gone through major changes. Jon asked Michael to clarify the role that the Board played in review of it previously, versus these changes when we looked at the Sub-area Plan.
- Michael Prinz: The application was provided to the Group, and the Group recommended approval of the assisted-living facility. Staff determined that a sub-area plan amendment was needed in order to complete the application, along with a conditional use permit process. At the most recent Planning Commission meeting, the applicant proposed a major re-design. Staff has reviewed this application and it has no change to the sub-area plan amendment component that is being processed.

- Joe Taylor: Approximately 2 years ago, most of the Board saw the plan with 80 units, we took everyone's recommendations and dropped this down to 64 units with 74 beds. We did come before the Board and did have 2 separate reviews and it was approved for recommendation to go forward to the Planning Commission. In 2012 we went before the Planning Commission and received permission to go forward and do further studies and finalize plans. Earlier this year we went to the Planning Commission 3 times: first time continued; second time there was a lot of community outpouring, we listened to them and the Planning Commission comments.

At the Feb. 14, 2013 meeting, we decided to take those comments and go back and do some redesign work to address those issues. The initial plan had 3 areas of access, which was a major concern with the steering committee (representatives from most local HOAs). The Steering Committee did not want to have 3 ingress and egress points, they wanted general parking, and were concerned with safety in the service area (trucks backing out into sidewalk and traffic).

We re-evaluated the entire site. This is not a substantial change, same number of units, same square footage, same parking area. The major change is positioning of building and access routes. We moved the building to allow only one point of access off Via Fiesta, with parking stalls. Access goes thru the project via existing private driveway, which currently serves the HOA, Church, and Montessori school. The property has a reciprocal agreement in place for private road access. The parking is now behind a wall and buildings. The memory-care facility has raised gardens for people to interact, this is a 2 story component (always was), also a 1 story component moved (has homes at a higher elevation, 1 story for lower visual impact). Very heavily landscaped. Another concern brought up was lower than 40 feet high (we were going to ask for height variance), we have modified elevation to less than 30 feet. We are retaining the Santaluz custom home design guidelines. We're still committed to project.

- Questions/Comments:

Becker: Landscape setback is 15 feet? Where are the walls?

Taylor: Yes, 15 feet, and pointed out 3 walls on drawing, they have not identified type and height yet. Solid walls with planting outside. Fence continues around the perimeter from the Montessori school. Fences are also internal so residents cannot wander out; memory care facility is enclosed.

Clark: Liked the way it steps up from 1 story at the street to 2 stories inside.

Keating: The driveway now circulates thru all the parking, which was a dead end before, and one had to back out. Circulation is way improved. From street, you're looking at buildings rather than parking, much more pleasing from street point of view.

Becker: Many different means to get out of the complex.

Clark: An earlier concern was service entry and trash, which is now internal.

Kenney: Do people want to go to an entrance in the back of the building?

Taylor: The operator and buyer are in-sink with this. Everyone who lives in this area is a potential resident. There will be address markers as we're expecting to pull from 3-5 mile radius.

Politte: I like the new flip, changes to building placement/layout. I have spent more time reading, watching Planning Commission video of this project, and with the letters we received; I was a little "ticked off" because this had been on the agenda, and Black Mtn. Ranch's planning seats were filled when we heard this project. Yet there are people in the neighborhood who did not have the information. I became very defensive based on what we had done, I can understand some of their points. We did our diligence, we posted it, there is nothing I can do to get them to sign up for our e-mail distribution list. But we did have a number of residents from Black Mtn. Ranch and Santaluz on our e-mail distribution list. They chose not to pay attention, not to forward to neighbors, or participate. I was disappointed that come January all of these residents were filling out and signing petitions, including their children. These were a few of the things that kind of "burned me" on this. I like the change. You've made a great project better. I'd like to see you come back after you've made changes with Staff.

Taylor: Were done with cycle issues, just wrapping up right now.

Politte: With the conflict that you've had, if you find more opposition, because they've had more time. I think we need to offer support or recommendations to help the project move forward. If neighbors don't want to come and voice their opinion at our meeting when we make that decision, that's not our problem. I feel this fits and I would vote for it. If we support this again, with the changes, I think we need to document that.

Clark: I hope everyone got the letter and e-mail I forwarded. This is information that the community has concerns, and they've expressed them. Sitting on the board for part of the time, we had dialog, you've made changes, I voted on it based on the information I had at the time.

Bende: No matter what, someone is not going to be satisfied one way or other. I echo what Jeanine said. If you feel you need support of the Planning Board at the Planning Commission meeting, schedule yourself as an action item. You had our support before and you've made the project better. Thank you for making changes, it is a substantially better project.

Clark: Asked if there were any comments from the public?

Lisa Gomez comments: Lisa Gomez, an area resident, who lives approximately 1 block from the proposed Assisted Living/Memory Care Facility and a member of the

Steering Committee, presented the objections of area residents to the facility and a request that RPPB continue the matter until its next meeting so that RPPB can further consider the community's position and revote on the matter.

(Secretary's note: Please see attached "**TALKING POINTS RPPB Meeting 6/25/2013**")

Public Comments/Questions:

Patricia (BMR): Noted that homebuyers were told by builders that these lots would be a senior center and a recreation center.

Becker: It's my understanding as this project moved through the process and you are over-recreated by additional facilities provided within the community.

Lisa Gomez: That was presented at an RPPB meeting, the applicants position is that the recreational need has been offset by recreational facilities put within Santaluz. Santaluz is a gated community, this recreational facility would serve Santaluz and all the related communities. It's outside the gates. We're not sure what offsets within the gates are being considered, and that is something we've asked for more information on.

Kenney: An example mentioned in all the reports and minutes, is referred to recreational facilities, tot lots, dog park. I live a block and half from the dog park and I cannot use it, it is on Santaluz HOA property. Even residents of Santaluz can't use it, without paying a special fee in order to use it. All the facilities referred to, the club house, coffee place, gym; in order to be a member of that, you have to own a property in Santaluz. Certain information which may have been presented, was miss-constructed by the board somehow and these facilities are not available to the general public.

Gore: Would we consider this as a change that would warrant the Board to re-evaluate and take action?

Becker: As chair at the time when this moved forward, we were presented and evaluated the same facts that we knew of, that the applicant had, that we had, with the BMR and Santaluz sub-area plan. I don't see anything new other than the site plan itself, but in response to pining on the sub-area plan, those have already been there, that is the same information.

Gore: With regard to what we would normally vote on, none of that has been changed? There hasn't been substantial changes in this plan that would warrant a re-visit?

Clark: Correct. And after listening to the Plan now, I have not seen that change.

Becker: To the neighbors, we're an advisory to the Planning Commission, and the Planning Commission can take its own course.

Lisa Gomez: Can I hand out to you the COW 2013 guideline, which talks about when a vote might be appropriate, and it's not just substantial changes, also new information?

Clark: Tonight's just for information only, I don't know that it's appropriate.

Motion: That this item be continued until our next meeting and that it be put on the agenda as an action item, mainly per COW 2013, page C55.
Kenney/ no second /Motion failed for lack of a second.

Clark: Joe, is this the plan that was presented to the Planning Commission?

Taylor: No. Two observations:

1) I think you have to take great care when a project goes through the process and comes before you multiple times, when you take an action. If somebody comes in with arguments that could have been made in that process, if you characterize that as new information that requires you to hold another hearing, it's going to be an endless circle, it's going to happen again, and again, and would encourage people not to participate the first time.

2) With respect to changes in the project, these are the sort of changes you want to have happen and if these kind of changes and responses to Planning Commission concerns, and we heard some things from the Planning Commission. For example, they were worried about the deviation finding, some expressed concern about the height. That's why we got rid of it, so they didn't have to worry about that issue. But, if you discourage people from making changes that are a direct response to a the Planning Commission or the community as they are going through the process, that would be a real travesty. You want to encourage this without the price of having to go back in front of the Planning Board. We think we did something really good here.

Clark: It sounds like you're going to present to the Planning Commission and get approval or denial. From my perspective, having voted on this several times, that I was acting on the best information that I had at the time. I think we asked you questions, you changed things, the dialogue was there, and with the information that we had from the city and from us, I acted in what I thought was in the best interest of this project in the community and how it related to the sub-area plan.

c. **Proposed Community Plan Amendment Initiation for 'Rhodes Crossing' – Keith Rhodes/Rhodes Crossing (Information Item)**

- I was not really ready to initiate a Plan Amendment, but when Kilroy came forward I thought it was important to look at everything that might be around Kilroy. Kilroy's project is in Torrey Highlands and anything I'm talking about is in Peñasquitos. This map shows the City directed density intensification. Leaving 209 units here, 242 units there, while this is 3 unit and 68 units area, and this is 342 units and down here are 40 units of garden style. This originally zoned single family area will remain single family, which has the area I'd like to look at. We originally see that 2 4-story wrap products here (wrap product meaning that the parking is inside and the apartments are build around that, so you can drive up to the foyer, park, and walk in). I would also be looking for a multiple family area. So, the two areas total 591 units of multi-family. This will now be 29 units of single-family on these 2 lots. There were 36, but when I went back to get my permits, it became 29 because of the enjoyment, due to the environmental permits adding 6 more lots to avoid a 4-story

**Project Chronology
Santaluz Assisted Living
Project No. 257983**

Date	Action	Description	City Review Time	Applicant Response
10/10/11	First Submittal	Project Deemed Complete and distributed		
11/29/11	First Submittal Assessment Letter out		50 days	
12/20/11	Second submittal In	Normal Submittal		21 days from First Assessment Letter
2/16/12	Second Submittal Assessment Letter out		58 days	
3/22/12	Third submittal in	Normal Submittal		35 Days from second assessment letter
4/25/12	Third Submittal Assessment Letter Out		34 days	
5/24/12	Fourth Submittal In	Normal Submittal		29 Days from 3 rd assessment letter
6/25/12	Fourth Submittal Letter Out		32 days	
1/17/13	Public Hearing	Planning Commission Hearing: Continued to January 31, 2013	206 Days from 4 th submittal	
1/31/13	Public Hearing	Planning Commission Hearing: Motion to deny failed 4-3, trailed to February 14, 2013 for another vote	14 Days from 1 st hearing	
2/14/13	Public Hearing	Planning Commission Hearing: At this third Planning Commission hearing the applicant withdraws the project in order to revise the project to address the neighbors' opposition.	14 Days from 2 nd hearing	
5/3/13	Fifth Submittal In	Applicant submits project addressing neighbor's concerns		78 Days from 3 rd hearing

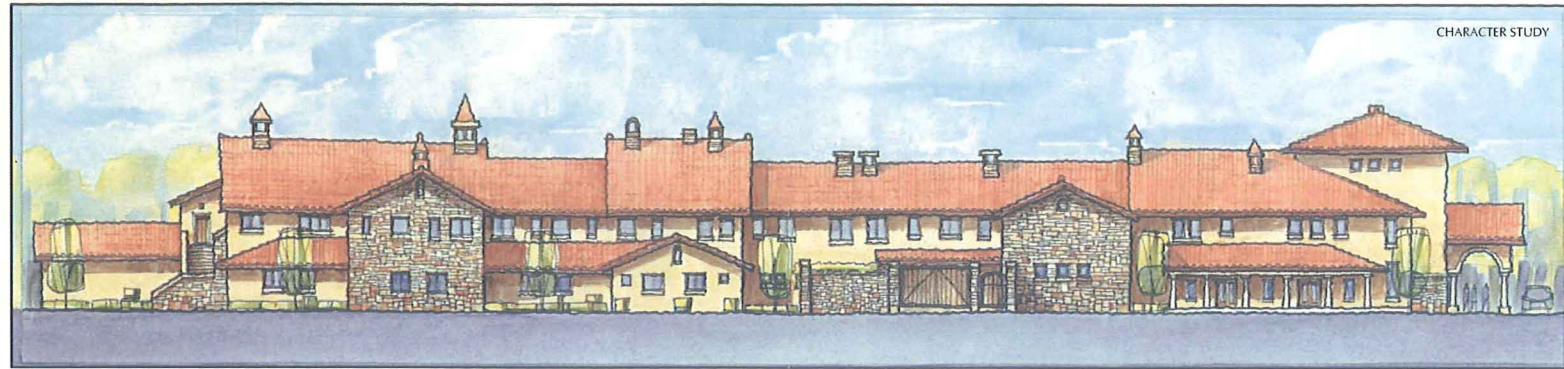
7/22/13	Fifth Submittal Letter Out		80 Days form 3 rd hearing	
10/3/13	Planning Commission Hearing		73 Days form 5 th submittal	
TOTAL STAFF TIME**			18 month 21 days	
TOTAL APPLICANT TIME**				5 months 12 days
TOTAL PROJECT RUNNING TIME**		From Deemed Complete to HO Hearing	24 months 3 days	

**Based on 30 days equals to one month.

ABBREVIATIONS

Table with two columns of abbreviations and their corresponding full names, organized in a grid-like fashion.

SANTALUZ ASSISTED LIVING AND MEMORY CARE
SANTALUZ, LLC
14740 VIA FIESTA, SAN DIEGO, CA



CHARACTER STUDY

PROJECT NARRATIVE

This project is to construct a new 71,630 SF Senior Housing Community providing Assisted Living and Memory Care... The design is for a masonry project providing 32 units of Assisted Living and 32 units of Memory Care...

PROJECT INFORMATION

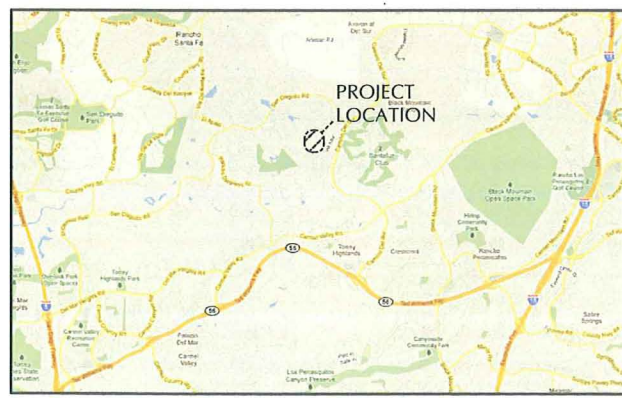
- Legal Description: Lots 4 and 6 of Black Mountain Ranch Unit 10A per Map No. 14197...
Construction Type: Type VA
Occupancy Classification: R-2.1, Typical
Gross Site Area: 143,269 SF
Floor Area Ratio: 1:50
Allowable Floor Area: 71,634 SF
Gross Floor Area: 71,630 SF
Geologic Hazard: Low to moderate risk with respect to seismic safety.
Zoning: AR-1
Landscape Area: 56,319 SF

GENERAL NOTES

1. THE BUILDING DESIGN AND ALL ELECTRICAL, MECHANICAL, INSULATION, AND GLAZING SYSTEMS SHALL MEET THE REQUIREMENTS OF THE 2010 CALIFORNIA BUILDING STANDARD CODE...
2010 CALIFORNIA RESIDENTIAL CODE (BASED ON 2009 IRC)
2010 CALIFORNIA BUILDING CODE (BASED ON 2009 IRC)
2010 CALIFORNIA ELECTRICAL CODE (BASED ON 2007 NEC)
2010 CALIFORNIA PLUMBING CODE (BASED ON THE 2008 UPC BY IAPMO)
2010 CALIFORNIA MECHANICAL CODE (BASED ON THE 2008 IMC BY IAPMO)
2010 CALIFORNIA GREEN BUILDING CODE
2010 CALIFORNIA FIRE CODE (BASED ON THE 2008 IFC)

DRAWING INDEX

Table with columns for SHEET #, SHEET TITLE, and ISSUE LOG. Includes entries like COVER SHEET, PHOTO SURVEY, PLAN - SITE, etc.



VICINITY MAP - San Diego, CA



SITE MAP

PROJECT TEAM

Table listing project team members under categories: OWNER, CIVIL ENGINEER, LAND USE ATTORNEY, DEVELOPMENT CONSULTANT, TRAFFIC ENGINEER, STRUCTURAL ENGINEER, ARCHITECT, LANDSCAPE, MECHANICAL & ELECTRICAL ENGINEER.

ANKROM MOISAN ARCHITECTURE INTERIORS PLANNING
SANTALUZ - MC AND ALF 14740 VIA FIESTA SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

Table with columns: DATE, DESCRIPTION, REVISIONS. Includes entries for 2013-07-09, 110176, CS, RR, JB.

COVER SHEET

CS

Table with columns: SITE/PROJECT DATA, DESIGN TEAM, ARCHITECT, LANDSCAPE, LEGAL DESCRIPTION, COORDINATES, ASSESSOR'S PARCEL NUMBERS, PREPARED BY, PROJECT ADDRESS, PROJECT NAME, CITY PROJECT NUMBER, SHEET TITLE, ZONING DESCRIPTION, EXISTING, PROPOSED, REVISIONS.

PLOT DATE XX-XX-11



14 VIEW 14



13 VIEW 13



12 VIEW 12



11 VIEW 11

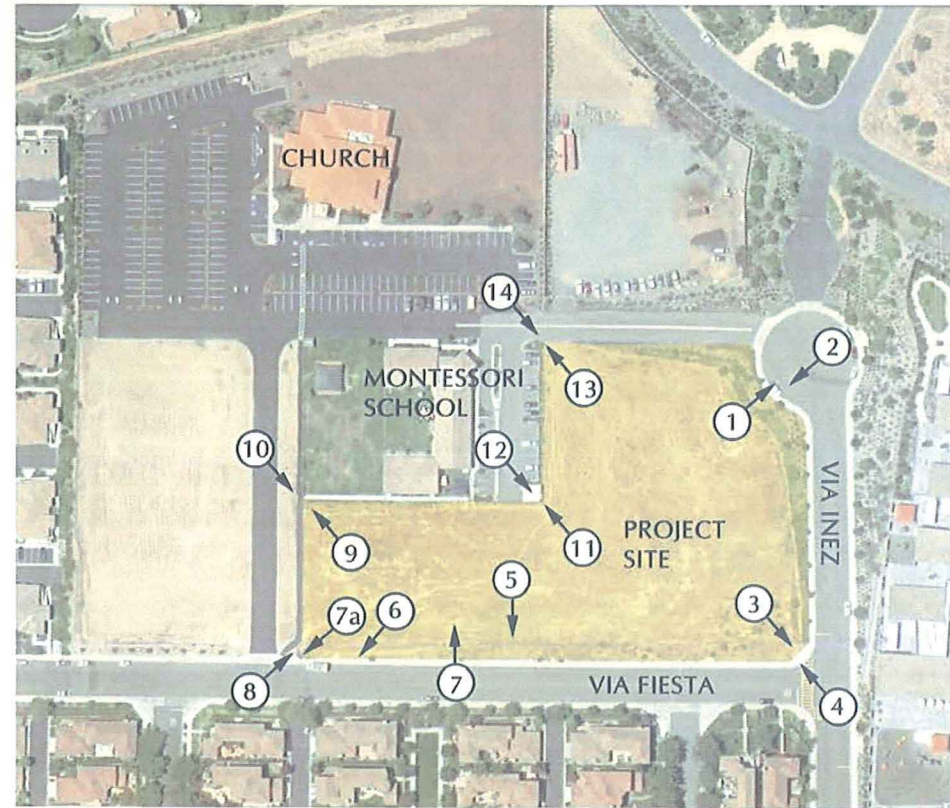


10 VIEW 10



9 VIEW 9

Note: These color photographs and a key map have also been provided separately in an envelope, along with a CD-R as per the submittal requirements.



PHOTOGRAPHIC SURVEY KEY MAP



7a VIEW 7a



7 VIEW 7



8 VIEW 8



5 VIEW 5



6 VIEW 6



1 VIEW 1



2 VIEW 2



3 VIEW 3



4 VIEW 4

ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
PORTLAND, OREGON
SAN DIEGO, CALIFORNIA

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

MARK	DATE	DESCRIPTION
7-09-13	REVISED	

DATE: 2013-07-09
JOB: 110176
FILE: Z1.00
DRAWN:
CHECKED:
COPYRIGHT ANKROM MOISAN ASSOCIATED ARCHITECTS 2013

PHOTO SURVEY

A1.00

SITE/PROJECT DATA:		SITE AND PROPOSED BUILDING DATA:	
DESIGN TEAM CVR. ENGINEERS: RICK ENGINEERING *TIM SOHEG (LOCAL CONTACT) (619) 291-0707 ARCHITECT: ANKROM MOISAN ARCHITECTS (503) 245-7100 LANDSCAPE: GILLESPIE WOODY PATTERSON, INC. MARC WOODY (858) 558-8977		EXISTING CONDITIONS THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS. PROPOSED USE A NEIGHBORHOOD SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE. (SEE FULL NARRATIVE) OWNER/DEVELOPER SANTALUZ, LLC C/O TAYLOR CONSULTING 4553 BEAUMONT DRIVE LA MESA, CA 91941 (619) 847-1536 JOE TAYLOR	
LEGAL DESCRIPTION LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497 COORDINATES LAMBERT COORDINATES: 552-1321 NAD83 COORDINATES: 1942-6201 ASSESSOR'S PARCEL NUMBERS 269-241-11 AND 269-241-13		ZONING DESIGNATION EXISTING: AR-1 PROPOSED: APPLICATION FOR CONVENTIONAL USE	
PREPARED BY: Name: ANKROM MOISAN ARCHITECTS Address: 8720 SW MACADAM AVE. PORTLAND, OR 97229 Phone no: 503-245-7100 www.amos.com		Revision 1: 12/09/11 Revision 2: 2/16/12 Revision 3: 4/30/12 Revision 4: 4/26/13 Revision 5: 7/19/13 Revision 6: Original Date: 09/23/11	
PROJECT ADDRESS: 14740 VIA FIESTA SAN DIEGO, CALIFORNIA 92130		Sheet 2 of 16	
PROJECT NAME: SANTALUZ ASSISTED LIVING AND MEMORY CARE		COPY	
QTY PROJECT NUMBER: XXX-XXX			
SHEET TITLE: A1.00 PHOTO SURVEY			

ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
PORTLAND: 6720 SW MACADAM AVE. PORTLAND, OR 97214 | 503.245.7100
SEATTLE: 117 5 MAIN STREET SUITE 400, SEATTLE, WA 98104 | 206.576.1000

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

MARK	DATE	DESCRIPTION
1	7-29-13	REV:05

DATE: 2013-07-09
JOB: 110176
FILE: 21.01
DRAWN:
CHECKED:
COPYRIGHT ANKROM MOISAN ASSOCIATED ARCHITECTS 2013

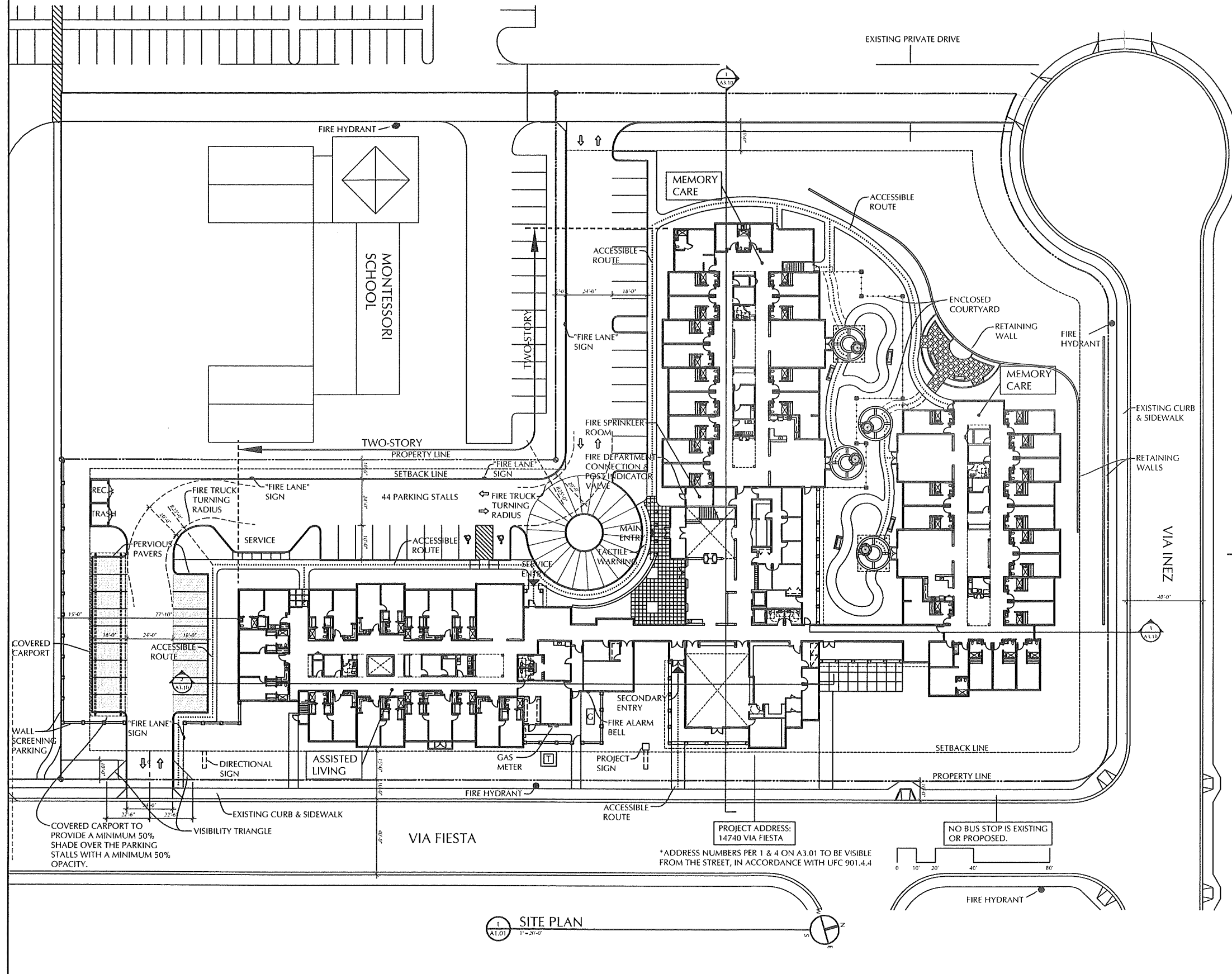
SITE PLAN

A1.01

FIRE DEPARTMENT NOTES:

- FIRE ACCESS ROADWAY SIGNS AND RED CURBS SHALL BE INSTALLED IN ACCORDANCE WITH FHPS POLICY A405-1.
- PUSH INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING PER UFC 1001.4.

SITE/PROJECT DATA:	EXISTING CONDITIONS:
DESIGN TEAM: CIVIL ENGINEERS: RICK ENGINEERING *TIM SCHEID (LOCAL CONTACT) (819) 291-0707 ARCHITECT: ANKROM MOISAN ARCHITECTS CHRIS DALENOS (503) 245-7100 LANDSCAPE: OLLESPIE MOODY PATTERSON, INC. MARC MOODY (858) 550-8977	THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.
LEGAL DESCRIPTION: LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497 COORDINATES: LANSBRY COORDINATES: 302-1721 NAD83 COORDINATES: 1942-6301 ASSESSOR'S PARCEL NUMBERS: 269-241-11 AND 269-241-13	PROPOSED USE: A NEW 17,830 SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE. (SEE FULL NARRATIVE)
PREPARED BY: Name: ANKROM MOISAN ARCHITECTS Address: 6720 SW MACADAM AVE. PORTLAND, OR 97219 Phone no.: 503-245-7100 www.amos.com	OWNER/DEVELOPER: SANTALUZ, LLC C/O TAYLOR CONSULTING 4653 BEACONHILL DRIVE LA MESA, CA 91941 (619) 847-1536 JAE TAYLOR
PROJECT ADDRESS: 14740 VIA FIESTA SAN DIEGO, CALIFORNIA 92130	ZONING DESIGNATION: DISTRICT: AR-1
PROJECT NAME: SANTALUZ ASSISTED LIVING AND MEMORY CARE	PROPOSED APPLICATION FOR CONVENTIONAL USE:
CITY PROJECT NUMBER: XXX-XXX	Revision 1: 12/09/11 Revision 2: 1/16/12 Revision 3: 4/30/12 Revision 4: 4/26/13 Revision 5: 7/09/13 Revision 6: Original Date: 09/23/11
SHEET TITLE: A1.01 COVER SHEET	Original Date: 09/23/11 Sheet 3 of 18 DEF:



SITE PLAN
A1.01
1"=20'-0"

LEGEND

EXISTING IMPROVEMENTS

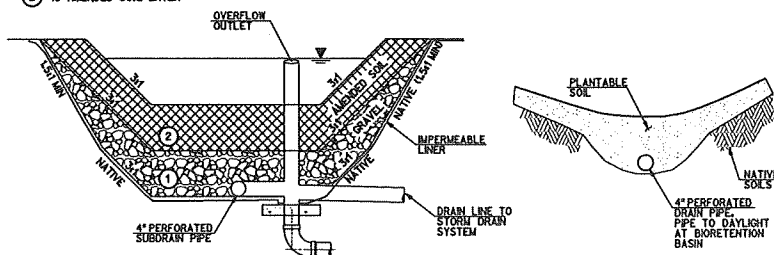
EXISTING IMPROVEMENTS	SYMBOL
EX RIGHT-OF-WAY	— 80 —
EXIST CONTOURS	— 80 —
EXIST SPOT ELEV	— 78.51 —
EXIST EASEMENT	— 78.51 —
EXIST CURB	— 78.51 —
EXIST 4" PCC SIDEWALK	— 78.51 —
EXIST CURB & GUTTER	— 78.51 —
EXIST SEWER MAIN	— 78.51 —
EXIST SEWER MANHOLE	— 78.51 —
EXIST SEWER CLEANOUT	— 78.51 —
EXIST WATER LINE	— 78.51 —
EXIST WATER VALVE	— 78.51 —
EXIST FIRE HYDRANT	— 78.51 —
EXIST POWER POLE	— 78.51 —
EXIST STREET LIGHT	— 78.51 —
EXIST TRAFFIC STRIPING	— 78.51 —
EXIST SIGN	— 78.51 —
LOT LINE	— 78.51 —

PROPOSED IMPROVEMENTS

PROPOSED IMPROVEMENTS	SYMBOL
FINISH FLOOR	FF 344.25
PROPOSED SPOT ELEV	FG 273.4
TYPE 1" CURB	— 78.51 —
TYPE 1" ROLLED CURB	— 78.51 —
TOP/TOE OF SLOPE	— 78.51 —
8" PVC FIRE SERVICE	— 78.51 —
DOMESTIC WATER SERVICE	— 78.51 —
6" PVC SEWER LATERAL	— 78.51 —
SEWER CLEANOUT	— 78.51 —
STORM DRAIN	— 78.51 —
DRAINAGE STRUCTURES	— 78.51 —
VEGETATED SWALE	— 78.51 —
AC PAVEMENT	— 78.51 —
RETAINING WALL	— 78.51 —
DRY UTILITY TRANSFORMER	— 78.51 —
SITE VISIBILITY TRIANGLE	— 78.51 —
PROPOSED WALKWAY	— 78.51 —
PROPOSED PERVIOUS PAVERS	— 78.51 —
CONCRETE PAVERS OR ENHANCED PAVING SURFACE FOR EMERGENCY VEHICLES	— 78.51 —

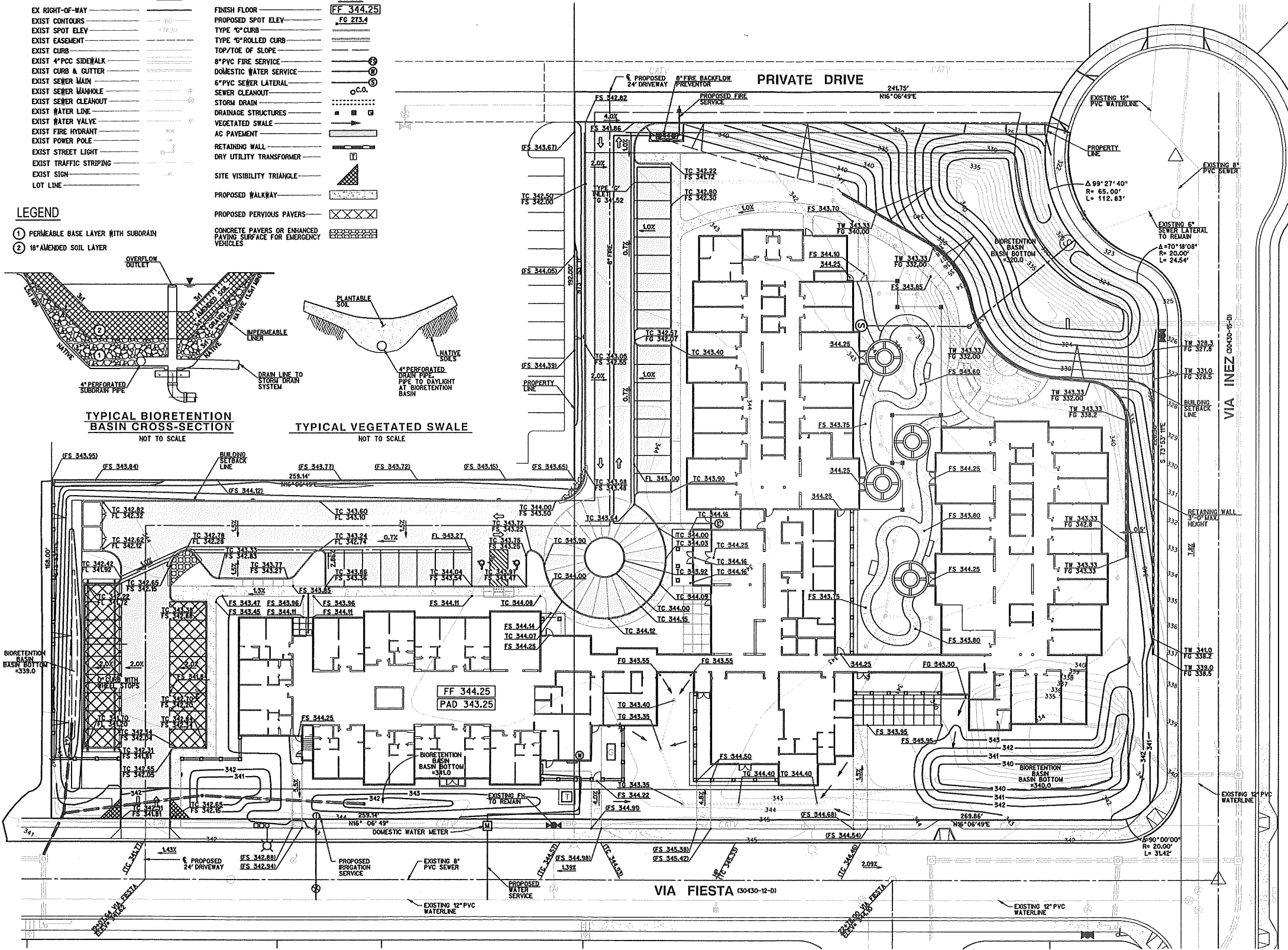
LEGEND

- 1 PERMEABLE BASE LAYER WITH SUBRAIN
- 2 18" AMENDED SOIL LAYER



TYPICAL BIORETENTION BASIN CROSS-SECTION
NOT TO SCALE

TYPICAL VEGETATED SWALE
NOT TO SCALE



GRADING DATA
TOTAL AMOUNT OF SITE TO BE GRADED:
AREA 3.0 AC.
% OF TOTAL SITE 90%
AMOUNT OF CUT: 3,750 CY
MAXIMUM DEPTH OF CUT: 4 FT
AMOUNT OF FILL: 3,750 CY
MAXIMUM DEPTH OF FILL: 9 FT
MAXIMUM HEIGHT OF FILL SLOPE: 4 FT
SLOPE RATIO 2:1
MAXIMUM HEIGHT OF CUT SLOPE: 4 FT
SLOPE RATIO 2:1
AMOUNT OF SOIL EXPORT: 0 CY
RETAINING WALL LENGTH: 160 FT
MAXIMUM HEIGHT EXPOSED FACE: 7 FT



ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
PORTLAND, OR 97219 | 503.245.7100
SEATTLE, WA 98104 | 206.516.1900

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

MARK	DATE	DESCRIPTION
7	7-13-13	REV-05

DATE: 2013-07-09
JOB: 16450
FILE: 16450_GRD_01
DRAWN:
CHECKED:
COPYRIGHT ANKROM MOISAN ASSOCIATED ARCHITECTS 2011

BENCH MARK
50302, STANDARDS DISK, STMP, S302, 1935 SET
TOP CONC. POST FRL INTERS, CARMEL VALLEY ROAD AND BLACK Mtn. RD, GO NE 2.2 MI. ALONG BLACK Mtn. RD. BM ON LT.
ELEV. 324.709 DATUM M.S.L.

REFERENCE DRAWINGS:
GRADING PLANS FOR BLACK MOUNTAIN RANCH UNITS 6 AND 10 (30325-D)
IMPROVEMENT PLANS FOR BLACK MOUNTAIN RANCH UNIT 10 (30450-D)
LANDSCAPE AND IRRIGATION PLANS FOR BLACK MOUNTAIN RANCH UNIT 10 (30922-D)

SITE/PROJECT DATA:
DESIGN TEAM:
CIVIL ENGINEERS: RICK ENGINEERING
7781 SOROK (LOCAL CONTACT)
(619) 291-0707
ARCHITECT: ANKROM MOISAN ARCHITECTS
CHRIS DALENAS
(503) 245-7100
LANDSCAPE: DILLESPIE WOODY PATTERSON, INC.
MARC WOODY
(800) 558-8977

LEGAL DESCRIPTION:
LOTS 4 AND 8 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497
COORDINATES:
LAMBERT COORDINATES: 302-1721
NAD83 COORDINATES: 1942-8281
ASSESSOR'S PARCEL NUMBERS:
209-241-11 AND 209-241-13

PREPARED BY:
Name: ANKROM MOISAN ARCHITECTS
Address: 8720 SW MACADAM AVE.
PORTLAND, OR 97219
Phone no.: 503-245-7100 www.amos.com

PROJECT ADDRESS:
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA 92130

PROJECT NAME:
SANTALUZ ASSISTED LIVING AND MEMORY CARE

CITY PROJECT NUMBER: XXX-XXX

SHEET TITLE:
GRADING AND DRAINAGE PLAN

EXISTING CONDITIONS:
THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.

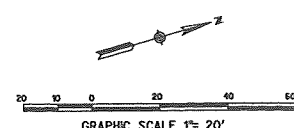
PROPOSED USE:
A NEW (7,830) SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE. (SEE FULL NARRATIVE)

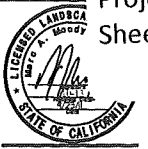
DRAWN/REVISED BY:
SANTALUZ, LLC
C/O TAYLOR CONSULTING
4633 BEAUMONT DRIVE
LA MESA, CA 91941
(619) 847-1536
JEE TAYLOR

ZONING DESIGNATION:
EXISTING: AR-1
PROPOSED: APPLICATION FOR CONDITIONAL USE

Revision 1:	12/09/2011
Revision 2:	3/15/2012
Revision 3:	4/09/2012
Revision 4:	4/26/2013
Revision 5:	7/19/2013
Original Date:	09/23/11

Sheet 4 of 16





gmp
LANDSCAPE ARCHITECTURE & PLANNING

www.gmplandarch.com
4125 Sorrento Valley Blvd.,
Suite D, San Diego,
California 92121
Tel: 619.558.8977
Fax: 619.558.9163

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

DATE	DESCRIPTION
2013-07-09	DATE
11-007	JOB:
11-007 CONCEPT	FILE:
	DRAWN:
	CHECKED:
COPYRIGHT ANTHON MOISAN ASSOCIATED ARCHITECTS 2011	
SHEET	

L-1

CONCEPT PLANTING LEGEND

NOTE: ALL PLANTS SHOWN ON LEGEND MAY ULTIMATELY NOT BE USED AND ADDITIONAL PLANTS MAY BE ADDED ON CONSTRUCTION DOCUMENTS.

TREES	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	MUCOPL
BTM	ARUNDO DONAX	REED	ROUNDED	SCREENING	24" BOX	MEDIUM
	JACARANDA MIMOSIFOLIA	JACARANDA	SPREADING	DECIDUOUS ACCENT TREE	24" BOX	MEDIUM
	OLEA EUROPAEA 'SIHAN HILL'	FRUITLESS OLIVE	ROUNDED	EVERGREEN SHADE TREE, LEAF COLOR	36" BOX	LGM
	PITOSPORUM T. 'SILVER SHEEN'	SILVER SHEEN PIT	UPRIGHT, COLUMNAR	ARCHITECTURAL ACCENT	18" GAL	MEDIUM
	PLATANUS RACEMOSA	CALIFORNIA SYCAMORE	OVAL, IRRREGULAR	SKYLINE, LARGE SCREENING	24" BOX	MEDIUM
	POPULUS NARA ITALICA	LOMBARDY POPLAR	UPRIGHT, COLUMNAR	ARCHITECTURAL ACCENT	24" BOX	MEDIUM
	QUERCUS AGROFOLIA (MULTI TRUNK COAST LIVE OAK)	MULTI TRUNK COAST LIVE OAK	SPREADING	EVERGREEN FOCAL SPECIMEN TREE	60" BOX	LGM
	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	ROUND, OVATE	EVERGREEN STREET TREE	24" BOX	MEDIUM
	QUERCUS LAEVIS	CALIFORNIA PEPPER	SPREADING	INFORMAL EVERGREEN CANOPY TREE	36" BOX AS NOTED	LGM
	EXISTING STREET TREE	EXISTING SOUTHERN LIVE OAK				

SHRUBS	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	MUCOPL	SPACING
SMALL	ANZOZANTHUS FLAVIDUS	RED KANGAROO PAM	ERECT, GRASS LIKE	ACCENT SHRUB	1.6AL	LGM	5' O.C.
1'-8"	BOUSANVILLEA ROSENKA	ROSENKA SHRUB BOUSANVILLEA	HORIZONTAL	FLOWERING GROUNDCOVER	5.6AL	LGM	4' O.C.
HEIGHT	ATLAS FESCUE	ATLAS FESCUE	ERECT, GRASS	DECORATIVE MASSING	1.6AL	LGM	2' O.C.
	LANTANA GOLD HOOP	GOLD SPREADING LANTANA	HORIZONTAL	FLOWERING GROUNDCOVER	1.6AL	LGM	4' O.C.
	LAVENDULA ANGUSTIFOLIA	ENGLISH LAVENDER	ROUNDED	ACCENT SHRUB	1.6AL	LGM	5' O.C.
	HALENBERGIA RADIS	DEER GRASS	ERECT, GRASS	DECORATIVE MASSING	5.6AL	LGM	5' O.C.
	SALVIA GRESEAE 'HOT LIPS'	HOT LIPS SALVIA	ROUNDED	ACCENT SHRUB	1.6AL	LGM	5' O.C.

SHRUBS	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	MUCOPL	SPACING
LARGE	BUDLEIA DAVIDI	BUTTERFLY BUSH	UMBRELLA	FLOWERS, BUTTERFLIES	5.6AL	MEDIUM	SPECIES IN COURT YARDS
SHRUBS	CEANOTHUS CONCHA	CONCHA MOUNTAIN LILAC	ROUNDED	ACCENT SHRUB	5.6AL	LGM	8' O.C.
4'-8"	ROSA PURPUREA	ROSA PURPUREA	ROUNDED	ACCENT SHRUB	5.6AL	LGM	8' O.C.
HEIGHT	LEPTOSPERMUM 'APPLE BLOSSOM'	APPLE BLOSSOM TEA TREE	UMBRELLA	FOUNDATION SCREENING	5.6AL	LGM	4' O.C.
	PITOSPORUM T. 'VAREGATA'	VAREGATED HOOK GRASS	ROUNDED	FOUNDATION PLANTING	5.6AL	LGM	4' O.C.
	ROSA 'KEENBOLD'	KEENBOLD WHITE ROSE	ROUNDED	ACCENT SHRUB	5.6AL	MEDIUM	MEDIUM
	ROSA 'TRUMPETER'	TRUMPETER RED ROSE	ROUNDED	ACCENT SHRUB	5.6AL	MEDIUM	SPECIES IN COURT YARDS
	ROSEMARINUS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	ERECT, OVAL	FOUNDATION PLANTING	5.6AL	LGM	4' O.C.
	SALVIA LEBGANITA	SANTA BARBARA SAGE	ROUNDED	ACCENT SHRUB	5.6AL	LGM	8' O.C.
	SALVIA CLEVELANDII	CLEVELAND SAGE	ERECT, OVAL	DECORATIVE MASSING	5.6AL	LGM	8' O.C.
	WESTRINGIA F. 'SHAKERT'	COAST ROSEMARY	ROUNDED, OVAL	FOUNDATION PLANTING	5.6AL	LGM	4' O.C.

SUCCULENTS	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	MUCOPL	SPACING
	AEONUM 'PINK SALKER'	GREEN Aeonium	IRREGULAR	ACCENT SHRUB	5.6AL	LGM	2' O.C.
	ASAVE ATTENUATA 'NOVA'	BLUE FOX TAL ASAVE	ROUNDED	ACCENT SHRUB	5.6AL	LGM	5' O.C.
	ASAVE FRANGOSINI	FRANGOSINI ASAVE	ERECT	SPECIES SHRUB	15.6AL	LGM	SPECIES
	ALOE VERA	VERA ALOE	PATIO TREE	SPECIES TREE	24" BOX	LGM	SPECIES
	ALOE AFRICANUM	AFRICAN ALOE	ROUNDED	ACCENT SHRUB	5.6AL	LGM	SPECIES
	ECHINOPSYA 'BIG PINK'	BIG PINK HENS N CHICKS	ROUNDED	ACCENT GROUNDCOVER	1.6AL	LGM	2' O.C.

VINES	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	MUCOPL
	BOUSANVILLEA ROSENKA	ROSENKA	VINE	SCREENING ACCENT	18" GAL	LGM
	DIPISTIS RIVERS	VALET TRUMPET VINE	VINE	SCREENING ACCENT	18" GAL	MEDIUM
	TRACHELOPERMUM JAGHODOS	STAR JAGHORE	VINE	SCREENING ACCENT	18" GAL	MEDIUM

GROUND COVERS	BOTANICAL NAME	COMMON NAME	FORM	FUNCTION	SIZE	MUCOPL
	CAHEX TALLUCOLA	CALIFORNIA HEADQUARTER	CLUMP GRASS	WATER QUALITY MASSING	FLATS 8" O.C.	MEDIUM
	BAGHARS P. 'THIN FRANK'	CHRYSEY COYOTE BUSH	SPREADING	GROUNDCOVER, EROSION CONTROL, ACCENT	FLATS 8" O.C.	LGM
	SEBEGO MONTEVERDE	BLUE FENCE PLANT	SPREADING	GROUNDCOVER	FLATS 8" O.C.	MEDIUM
	TRACHELOPERMUM JAGHODOS	STAR JAGHORE	CLUMP GRASS	GROUNDCOVER	FLATS 8" O.C.	MEDIUM
	HAWORTHIA III	TURF	LGM GRASS	MLT-USE TURF	500	HIGH

NOTES

1. ALL TREES WITHIN 10' OF ANY Hardscape ELEMENT, SHALL RECEIVE ROOT BARRIERS.
2. ALL SHRUB AREAS SHALL RECEIVE A 3" LAYER OF SHREDDED BARK MULCH.
3. THERE ARE TWO HYDROZONES FOR THIS PROJECT: HIGH HYDROZONE FOR TURF AREAS, AND LOW HYDROZONE FOR SHRUB AREAS. SEE SHEET L-3 FOR WATER CALCULATIONS.

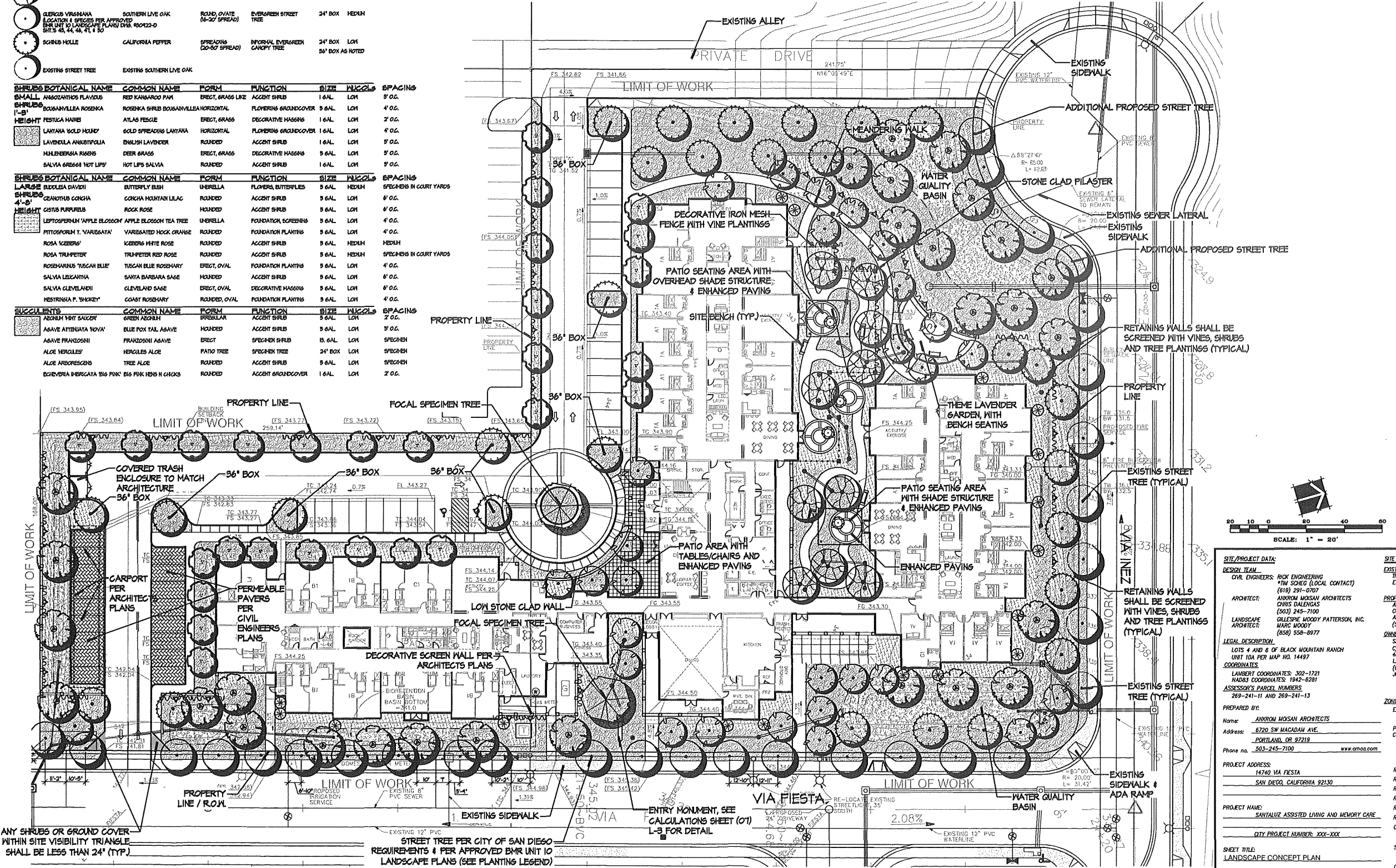
MINIMUM TREE SEPARATION DISTANCE (SECTION 142-04E) IMPROVEMENT/ MINIMUM DISTANCE TO STREET TREE

- TRAFFIC SIGNALS (STOP SIGN) - 20 FEET
- UNDERGROUND UTILITIES INCLUDING WATER LINES - 5 FEET
- SEWER LINES - 10 FEET
- ABOVE GROUND UTILITY STRUCTURES - 10 FEET (TRANSFORMERS, HYDRANTS, UTILITY POLES ETC.)
- DRIVEWAY (ENTRIES) - 10 FEET
- INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

STREET TREE NOTE:
IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS, AND WATER AND SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT

REFERENCE DRAWINGS NOTE:
SEE CITY OF SAN DIEGO DRAWING # SD422-D FOR EXISTING GRADING AND RIGHT OF WAY IMPROVEMENTS. SEE SHEETS 49,44,46 & 47 FOR PLANTING PLANS AND SHEET 50 FOR PLANTING LEGEND.

NOTE:
SEE ENLARGEMENT SHEET (L-2) FOR ADDITIONAL COURTYARD INFORMATION



SITE/PROJECT DATA:

DESIGN TEAM
CIVIL ENGINEERS: RICK ENGINEERING
ARCHITECT: ANTHON MOISAN ARCHITECTS
LANDSCAPE ARCHITECT: GILLESPIE MOODY PATTERSON, INC.

SITE AND PROPOSED BUILDING DATA:

EXISTING CONDITIONS
PROPOSED USE: SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE.

LEGAL DESCRIPTION:
LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14487

PREPARED BY:
Name: ANTHON MOISAN ARCHITECTS
Address: 6720 SW MACADAM AVE, PORTLAND, OR 97219
Phone no: 503-245-7100

PROJECT ADDRESS:
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA 92130

PROJECT NAME:
SANTALUZ ASSISTED LIVING AND MEMORY CARE

REVISIONS:

Revision 1:	12/09/11
Revision 2:	03/19/12
Revision 3:	05/03/12
Revision 4:	05/01/13
Revision 5:	07/09/13
Original Date:	09/23/11

DEFINITIONS:
SHEET TITLE: LANDSCAPE CONCEPT PLAN
Sheet 5 of 16
PLOT DATE 07-11-13

SANTALUZ MEMORY CARE & ASSISTED LIVING LANDSCAPE DEVELOPMENT CONCEPT NOTES

GENERAL NOTES:

- MECHANICAL EQUIPMENT LOCATED WITHIN LANDSCAPED AREAS SHALL BE SCREENED BY PLANT MATERIAL AND/OR SCREENWALLS WHERE APPROPRIATE.
- SCREENING WILL BE PROVIDED FOR ALL UTILITIES, INCLUDING TRANSFORMERS AND TELEPHONE BOXES.
- IF ANY EXISTING LANDSCAPE LOCATED IN THE RIGHT-OF-WAY ON THE APPROVED LANDSCAPE PLAN IS DAMAGED OR REMOVED DURING CONSTRUCTION IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED PLANS WITHIN 90 DAYS OF COMPLETION OF CONSTRUCTION BY THE PERMITEE. THE REPLACEMENT PLANT MATERIAL SHALL BE THE EQUIVALENT SIZE OF THAT PLANT AT THE TIME OF REMOVAL (THE LARGEST SIZE COMMERCIALY AVAILABLE AND/OR AN INCREASED NUMBER) TO THE SATISFACTION OF THE CITY MANAGER.
- IMPROVEMENTS SUCH AS DRIVEWAYS, UTILITIES, DRAINS AND WATER AND SEWER LATERALS SHALL BE DESIGNED SO AS NOT TO PROHIBIT THE PLACEMENT OF STREET TREES, ALL TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT.
- INSTALL ALL APPROVED LANDSCAPE AND OBTAIN ALL REQUIRED LANDSCAPE INSPECTIONS FROM THE DEVELOPMENT SERVICES DEPARTMENT. OBTAIN A NO FEE STREET TREE PERMIT FOR ALL STREET TREE, AND NOTIFY AND OBTAIN SIGNATURES FROM ANY SUBSEQUENT PROPERTY OWNER, ON A NO FEE STREET TREE PERMIT FORM PRIOR TO ANY TRANSFER OF OWNERSHIP OF THE PROPERTY. COPIES OF THESE APPROVED DOCUMENTS MUST BE SUBMITTED TO THE DEVELOPMENT SERVICES DEPARTMENT.
- ALL LANDSCAPE & IRRIGATION AREAS IN THE PUBLIC RIGHT OF WAY SHALL BE MAINTAINED BY THE PROPERTY OWNER.

PLANTING CONCEPT:

- ALL LANDSCAPING AND IRRIGATION SHALL CONFORM TO THE STANDARDS OF THE CITY-WIDE LANDSCAPE REGULATIONS AND THE CITY OF SAN DIEGO'S LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS, LANDSCAPE REGULATIONS, THE LAND DEVELOPMENT MANUAL, LANDSCAPE STANDARDS AND ALL OTHER CITY AND REGIONAL STANDARDS.
- EXISTING QUALITY TREES SHALL BE SALVAGED AND PROTECTED IN PLACE WHENEVER FEASIBLE.
- ALL STREET TREES SHALL BE LOCATED OUTSIDE ALL UTILITY, GAS, AND WATER EASEMENTS, UNLESS OTHERWISE APPROVED BY A SAN DIEGO UTILITY AGENCY.
- TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 8 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER SHALL NOT WRAP AROUND THE ROOT BALL.
- ALL CUT SLOPES GREATER THAN 3' AND FILL SLOPES GREATER THAN 3' SHALL BE PLANTED WITH SHRUBS AND FLATTED GROUNDCOVER. ANY SMALLER SLOPES SHALL BE TREATED WITH A STABILIZING HYDROSEED MIX.
- ALL PLANT MATERIAL SELECTED FOR USE WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
- COLOR FROM PLANT FOLIAGE, BARK AND FLOWERS WILL BE UTILIZED IN DEVELOPING A WARM, FRIENDLY AND VISUALLY APPEALING PROJECT IDENTITY.
- PRIMARY VEHICULAR ENTRANCES WILL BE IDENTIFIED AND ACCENTED WITH SPECIAL GROUPINGS OF TREES, FLOWERING SHRUBS, GROUNDCOVERS, SIGNAGE, LIGHTING, AND DECORATIVE PAVING.
- LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS AND "HARDSCAPE" AWAY FROM ALL STRUCTURES.
- ALL SOILS WILL BE AMENDED AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOILS TESTING LABORATORY TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
- ALL PLANTING AREAS WILL BE MAINTAINED IN A NEED FREE CONDITION.
- ALL AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED WITHIN 30 DAYS WITH MATERIAL OF EQUAL KIND AND SIZE.
- ALL SHRUB AREAS SHALL RECEIVE 3" FIREBARK MULCH.
- ALL TREES SHALL BE STAKED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE.
- PLANT MATERIAL AFFINITY GROUPS SHALL BE DROUGHT TOLERANT 'SANTALUZ' APPROPRIATE PLANTINGS WITH CHARACTERISTICS SUITABLE TO THE CLIMATIC CONDITIONS OF BLACK MOUNTAIN RANCH.
- ALL GRADED, DISTURBED OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED OR COVERED BY STRUCTURES SHALL BE PERMANENTLY REVEGETATED AND IRRIGATED AS SHOWN ON TABLE 142-04F AND IN ACCORDANCE WITH THE STANDARDS IN THE LAND DEVELOPMENT MANUAL (142.041(A)).

IRRIGATION CONCEPT:

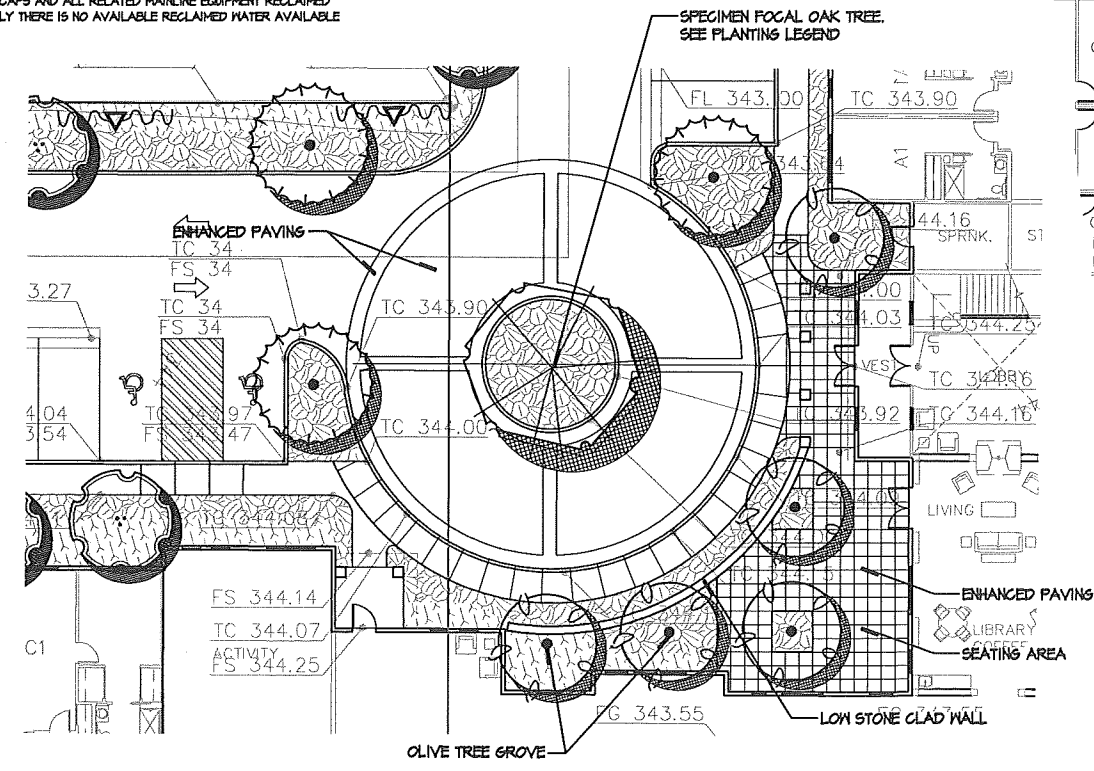
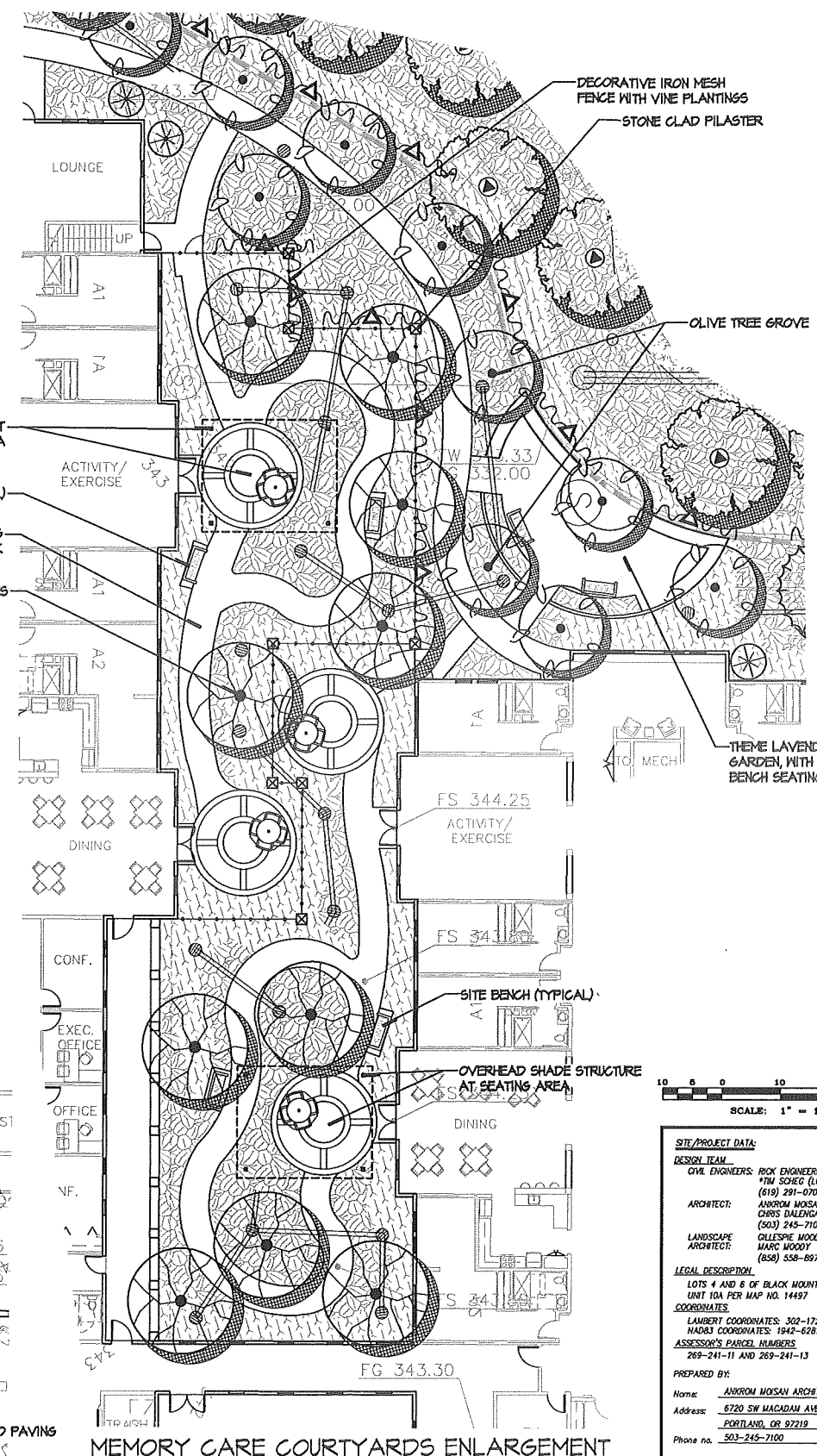
- ALL IRRIGATION SHALL BE A BELOW GRADE, PERMANENT, AUTOMATIC LOW PRECIPITATION RATE SPRAY SYSTEM AND LOW FLOW DRIP IRRIGATION. ALL LANDSCAPE AND IRRIGATION SHALL BE PER THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE AND THE CITY OF SAN DIEGO LANDSCAPE ORDINANCE AND OTHER APPLICABLE GUIDELINES.
- IRRIGATION CIRCUITS SHALL BE ORGANIZED INTO HYDROZONES BASED ON PLANT MATERIAL WATER NEEDS.
- ALL IRRIGATION SYSTEMS WILL BE PERMANENT AND SHALL UTILIZE SPRINKLER/ROTOR HEADS ON SLOPES, AND LOW PRECIPITATION RATE SPRAY HEADS ON GROUNDCOVER AREAS AND SOME SHRUB AREAS. DRIP IRRIGATION WILL BE UTILIZED WHERE APPROPRIATE.
- CONTROLLER SHALL BE CAPABLE OF MULTIPLE PROGRAMMING AND SHALL BE CONNECTED TO A RAIN SHUT-OFF DEVICE.
- THE OVERALL IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER EFFICIENCY AND CONSERVATION IN MIND, THROUGH GOOD DESIGN, SPECIFICATION OF EFFICIENT MATERIALS, AND PROPER LANDSCAPE MAINTENANCE AND MANAGEMENT.
- IRRIGATION EQUIPMENT SHALL BE OF THE SPECIFICATION AND MATERIALS REQUIRED TO ACCEPT A FUTURE RECLAIMED IRRIGATION POINT OF CONNECTION. ALL PIPING AND VALVES SHALL BE INSTALLED WITH PURPLE PIPE. IF RECLAIMED WATER BECOMES AVAILABLE IT WILL BE THE RESPONSIBILITY OF THE LOT OWNERS AND OR LOT OWNERS MAINTENANCE ORGANIZATION TO ADD RECLAIMED VALVE TAGGING SPRAY AND ROTOR HEAD PURPLE CAPS AND ALL RELATED MAINLINE EQUIPMENT RECLAIMED WATER AFFURTANCES INCLUDING PURPLE VALVE COVERS. CURRENTLY THERE IS NO AVAILABLE RECLAIMED WATER AVAILABLE AT VIA FIESTA OR VIA INEZ.

PRINCIPLES OF "XERISCAPE" DESIGN

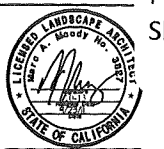
- GOOD DESIGN
- THOROUGH SOIL PREPARATION
- CAREFUL PLANNED USE OF SHRUB AND LAWN AREAS
- ADAPTED, LOW WATER DEMAND PLANTS
- EFFECTIVE AND EFFICIENT WATERING METHODS
- MULCHED FLOWER AND SHRUB BEDS
- PROPER LANDSCAPE MAINTENANCE & MANAGEMENT

HOW THE SANTALUZ MC AND ALF SITE UTILIZES THESE PRINCIPLES

- THE DESIGN UTILIZES A LOW WATER USE PLANTING PALLET ON ALL SLOPES, PARKWAYS AND DEVELOPED OPEN SPACE.
- SOIL AMENDMENTS AND PREPARATION WILL BE INCLUDED IN PLANTING SPECIFICATIONS.
- LAWN IS USED ONLY IN RECREATION AREAS.
- NATIVE OR DROUGHT TOLERANT PLANTS HAVE BEEN USED FOR ALL SHRUB AREAS. SEE PLANT LEGEND.
- IRRIGATION WILL BE ON AN AUTOMATIC TIMER AND BE FURNISHED WITH A RAIN SENSOR.
- ALL SHRUB BEDS SHALL BE MULCHED PER PLANTING SPECIFICATIONS.
- LANDSCAPE SHALL BE MAINTAINED BY THE OWNER.



ENTRY DROP OFF COURTYARD ENLARGEMENT



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Landscape Architecture & Planning
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4125 Sorrento Valley Blvd., Suite D San Diego, California 92121
Tel 658 558 6977
Fax 658 558 9168

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

DATE	DESCRIPTION
07-09-13	REV 5

DATE: 2013-07-09
JOB: 11-007
FILE: 11-007 CONCEPT
DRAWN:
CHECKED:
COPYRIGHT ANKROM MOSEMAN ASSOCIATED ARCHITECTS 2011
SHEET

L-2

<p>SITE/PROJECT DATA: DESIGN TEAM: CIVIL ENGINEERS: ROCK ENGINEERING 77M SORES (LOCAL CONTACT) (619) 291-0707 ARCHITECT: ANKROM MOSEMAN ARCHITECTS CHRIS DALENAS (602) 245-7100 LANDSCAPE ARCHITECT: OLLESPIE MOODY PATTERSON, INC. MARC WOODY (858) 558-8977</p> <p>LEGAL DESCRIPTION: LOTS 4 AND 8 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497 COORDINATES: LAMBERT COORDINATES: 302-1721 NAD83 COORDINATES: 1942-6281 ASSESSOR'S PARCEL NUMBERS: 269-241-11 AND 269-241-13</p> <p>PREPARED BY: Name: ANKROM MOSEMAN ARCHITECTS Address: 6720 SW MACADAM AVE. PORTLAND, OR 97219 Phone no: 503-245-7100 www.omos.com</p> <p>PROJECT ADDRESS: 14740 VIA FIESTA SAN DIEGO, CALIFORNIA 92130</p> <p>PROJECT NAME: SANTALUZ ASSISTED LIVING AND MEMORY CARE CITY PROJECT NUMBER: XXX-XXX</p> <p>SHEET TITLE: LANDSCAPE CONCEPT ENLARGEMENTS & NOTES</p>	<p>SITE AND PROPOSED BUILDING DATA: EXISTING CONDITIONS: THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.</p> <p>PROPOSED USE: A NEW 71,630 SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE (SEE FULL NARRATIVE)</p> <p>OWNER/DEVELOPER: SANTALUZ, LLC C/O TAYLOR CONSULTING 4633 BEAUMONT DRIVE LA MESA, CA 91941 (619) 947-1536 JOE TAYLOR</p> <p>ZONING DESIGNATION: EXISTING: AR-1 PROPOSED: APPLICATION FOR CONDITIONAL USE.</p> <p>Revision 1: 12/09/11 Revision 2: 03/19/12 Revision 3: 05/03/12 Revision 4: 05/01/13 Revision 5: 07/09/13 Revision 6: 09/23/11</p> <p>Sheet 6 of 16</p>
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California 92121
Tel 658 558 9977
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SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

DATE	DESCRIPTION
07-09-13	REV 5
2013-07-09	JOB: 11-007
	FILE: 11-007 CALCULATIONS
	DRAWN: [Redacted]
	CHECKED: [Redacted]
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	SHEET

L-3

CITY OF SAN DIEGO WATER USE CALCULATIONS

Project Name: **SANTALUZ MC AND ASSISTED LIVING** Project #: **27708**
Project Address: **14740 VIA FIESTA SAN DIEGO CALIFORNIA, 92130**
Individual Business Completing the Worksheet: **ANKROM MOISAN ARCHITECTS**
Phone Number: **619-291-0707**

In the information below, provide the values for the water budget calculations used for the proposed project. The ETc for the calculations may be based on the precise location of the project using the ETc Map or based on the ETc for the Community Planning Area in Table 4 of the Landscape Standards, each of which follows:

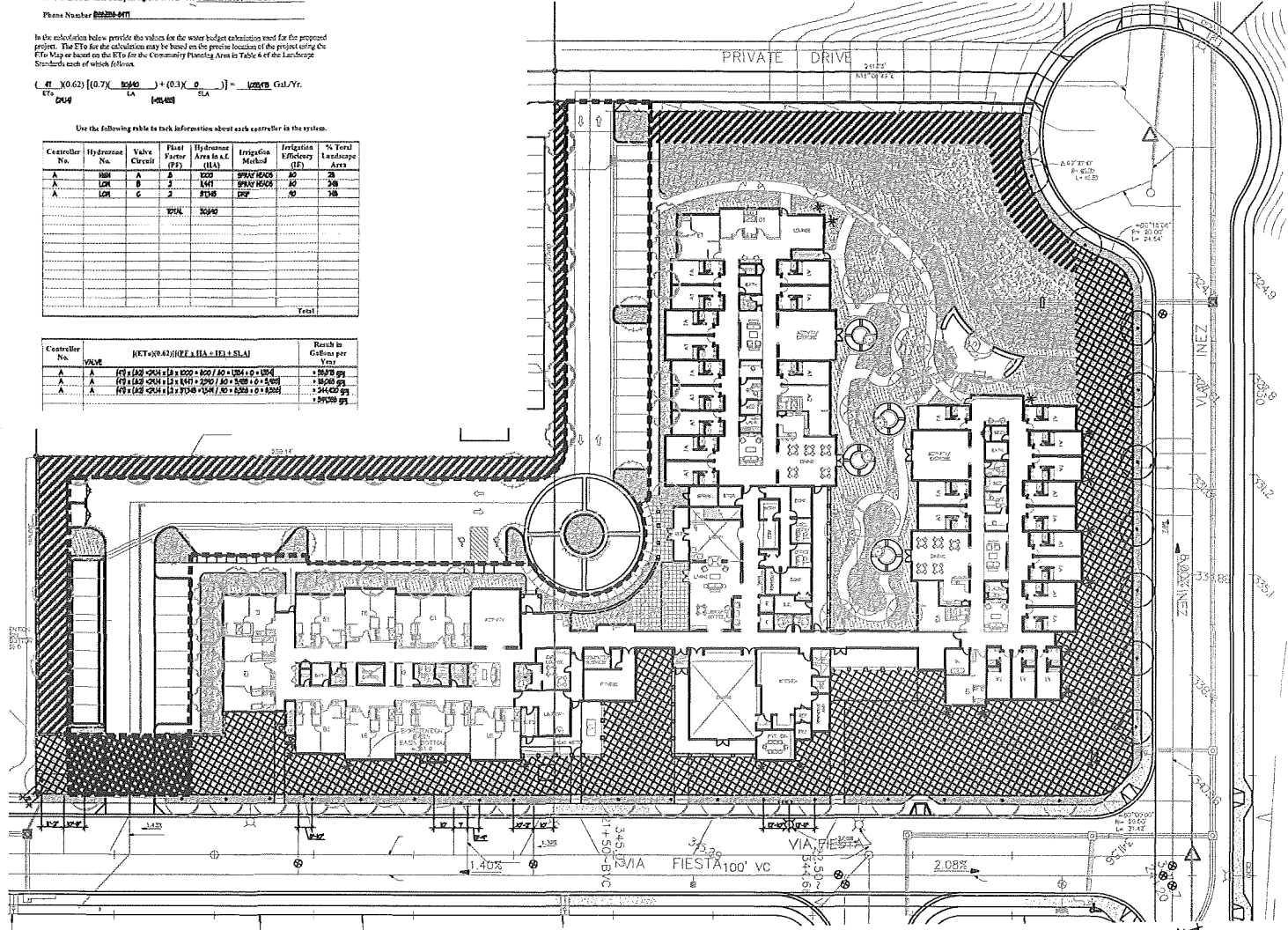
$$\left(\frac{ET_c}{100} \times 0.62 \right) \left[(0.7 \times \frac{R_{SOD}}{100}) + (0.3 \times \frac{R_{SOD}}{100}) \right] = \text{Water Gal./Yr.}$$

Use the following table to track information about each controller in the system.

Controller No.	Hydronic No.	Valve Circuit	Plant Factor (PF)	Hydronic Area in A.C. (HA)	Irrigation Method	Irrigation Efficiency (IE)	% Total Landscape Area
A	A	A	2	500	SPRINKLER	80	25
A	A	B	2	1401	SPRINKLER	80	58
A	A	C	2	2108	SPRINKLER	80	73
Total							

Controller No.	VALVE	Plant Factor (PF)	Hydronic Area in A.C. (HA)	Water Use per Year
A	A	2	500	19,470 gals
A	A	2	1401	51,600 gals
A	A	2	2108	74,400 gals
Total				

LANDSCAPE CALCULATIONS EXHIBIT



SUMMARY OF LANDSCAPE CALCULATIONS

COMMERCIAL DEVELOPMENT, OR INDUSTRIAL DEVELOPMENT IN COMMERCIAL ZONES

STREET YARD:
(24,930 SQUARE FEET)

STREET YARD PLANTING:
(22,340 SQUARE FEET)

REMAINING YARD:
(9,200 SQUARE FEET)

REMAINING YARD PLANTING:
(9,120 SQUARE FEET)

VEHICULAR USE AREA IN STREET YARD:
(1,745 SQUARE FEET)

V.U.A. IN STREET YARD PLANTING:
(895 SQUARE FEET)

VEHICULAR USE AREA (6,000 S.F. OR GREATER):
(25,730 SQUARE FEET)

VEHICULAR USE AREA PLANTING:
(1,858 SQUARE FEET)

STREET YARD CALCULATION NOTE:
A POINT SCORE IN EXCESS OF THAT REQUIRED FOR A YARD AREA MAY BE USED TO REDUCE THE PLANTING REQUIRED FOR THAT YARD AT A RATE OF ONE SQUARE FOOT OF AREA REDUCTION FOR EACH EXCESS POINT PROVIDED. THE MAXIMUM PLANTING AREA REDUCTION ALLOWED BY THIS SECTION IS 25 PERCENT OF THAT TOTAL YARD AREA REQUIRED.

VEHICLE USE AREA CALCULATION NOTE:
IF PLANTS AND PLANTING AREA PROVIDED WITHIN A STREET YARD OR REMAINING YARD TO MEET OTHER REQUIREMENT OF THIS DIVISION, INCLUDING VEHICULAR USE AREA AND VEGETATION REQUIREMENT, THEY MAY BE USED TO SATISFY THE PLANTING AREA AND PLANT POINTS REQUIRED BY TABLE 142.04G.

CITY OF SAN DIEGO LANDSCAPE CALCULATIONS WORKSHEET

City of San Diego
Department of Public Works
Landscape Division
1225 F ST., 100-50
SAN DIEGO, CA 92161-1502

Landscape Calculations Worksheet
Multiple Dwelling Unit Development in All Zones

Provide the following information on the Landscape Plan. The Landscape Calculations Worksheet provides the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch dbh) is required every 300 sq. ft. of each planting area of each tree area used. The minimum dbh of trees must be at least 24 inches (6.1 cm dbh).

Planting Area	Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area	2400 sq. ft. ± 50%	2400 sq. ft.	0 sq. ft.
Planting Points Required	1440 points	2400 points	960 points

Points Achieved with Trees (at least 24"): 100 points

Points Achieved with Planting Area (at least 24"): 0 points

Total Points: 100 points

Points Achieved with Trees (at least 24"): 100 points

Points Achieved with Planting Area (at least 24"): 0 points

Total Points: 100 points

Points Achieved with Trees (at least 24"): 100 points

Points Achieved with Planting Area (at least 24"): 0 points

Total Points: 100 points

City of San Diego
Department of Public Works
Landscape Division
1225 F ST., 100-50
SAN DIEGO, CA 92161-1502

Landscape Calculations Worksheet
Vehicular Use Areas (VUA)

Provide the following information on the Landscape Plan. The Landscape Calculations Worksheet provides the planting area and points required by the Landscape Regulations, Chapter 14, Article 2, Division 4 of the Land Development Code.

One tree (minimum 24-inch dbh) is required every 300 sq. ft. of each planting area of each tree area used. The minimum dbh of trees must be at least 24 inches (6.1 cm dbh).

Planting Area	Planting Area Required	Planting Area Provided	Excess Area Provided
Total Area	2400 sq. ft. ± 50%	2400 sq. ft.	0 sq. ft.
Planting Points Required	1440 points	2400 points	960 points

Points Achieved with Trees (at least 24"): 100 points

Points Achieved with Planting Area (at least 24"): 0 points

Total Points: 100 points

Points Achieved with Trees (at least 24"): 100 points

Points Achieved with Planting Area (at least 24"): 0 points

Total Points: 100 points

Points Achieved with Trees (at least 24"): 100 points

Points Achieved with Planting Area (at least 24"): 0 points

Total Points: 100 points

SITE/PROJECT DATA:
DESIGN TEAM: ANKROM MOISAN ARCHITECTS
ARCHITECT: ANKROM MOISAN ARCHITECTS
LANDSCAPE ARCHITECT: ANKROM MOISAN ARCHITECTS

SITE AND PROPOSED BUILDING DATA:
EXISTING CONDITIONS: THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.
PROPOSED USE: A NEW 24-UNIT SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE. (SEE FULL NARRATIVE)

LEGAL DESCRIPTION:
LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497

COORDINATES:
LAMBERT COORDINATES: 302-1721
NAD83 COORDINATES: 1942-6281

ASSESSOR'S PARCEL NUMBER:
269-241-11 AND 269-241-13

PREPARED BY:
Name: ANKROM MOISAN ARCHITECTS
Address: 6720 SW MACADAM AVE. PORTLAND, OR 97219
Phone no.: 503-245-7100 www.omos.com

PROJECT ADDRESS:
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA 92130

PROJECT NAME:
SANTALUZ ASSISTED LIVING AND MEMORY CARE

QTY PROJECT NUMBER: XXX-XXX

SHEET TITLE:
LANDSCAPE CALCULATIONS

REVISIONS:
Revision 1: 12/09/11
Revision 2: 03/18/12
Revision 3: 05/03/12
Revision 4: 05/01/13
Revision 5: 07/09/13
Original Date: 09/23/11

EXISTING DESIGNATION:
EXISTING: AR-1
PROPOSED: APPLICATION FOR CONDITIONAL USE

Scale: 1" = 80'

Plot Date: 07-11-13



ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
PORTLAND: 6720 SW MACADAM, PORTLAND, OR 97219 | 503-245-7100
SEATTLE: 117 5th AVE, SUITE 400, SEATTLE, WA 98104 | 206-276-1000

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

MARK	DATE	DESCRIPTION
△	7-09-13	REV. 01

DATE: 2013-07-09
JOB: 110176
FILE: 21.01
DRAWN:
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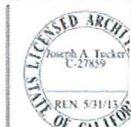
PLAN - FIRST FLOOR
A2.01

BUILDING AREA		UNIT MIX	
FIRST FLOOR	46,572 SF	MEMORY CARE	PRIVATE
SECOND FLOOR	25,058 SF	32 UNITS	27 A1
TOTAL -	71,630 SF		2 A2
PARKING		SEMI-PRIVATE	
44 PARKING SPACES		1 D1	
		1 E1	
		1 G1	
		ASSISTED LIVING	ONE BED
		32 UNITS	21 B1
			2 B2
			1 F1
			1 H1
		TWO BED	
		7 C1	
		TOTAL -	64 UNITS



PLAN - FIRST FLOOR
A2.01 1/8"=1'
0 8' 16' 32' 64'

SITE / PROJECT DATA:		EXISTING AND PROPOSED BUILDING DATA:	
DESIGN TEAM		EXISTING CONDITIONS	
CIVIL ENGINEERS: RICK ENGINEERING +TIM SOEGE (LOCAL CONTACT) (619) 291-0707		THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.	
ARCHITECT: ANKROM MOISAN ARCHITECTS CHRIS DALENGAS (503) 245-7100		PROPOSED USE	
LANDSCAPE: GILLESPIE WOODY PATTERSON, INC. MARK WOODY (856) 558-8977		A NEW 71,630 SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE. (SEE FULL NARRATIVE)	
LEGAL DESCRIPTION		OWNER/DEVELOPER	
LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497		SANTALUZ, LLC C/O TAYLOR CONSULTING 4533 BEARHUNT DRIVE LA MESA, CA 91941 (619) 847-1536 JAE TAYLOR	
COORDINATES		ZONING DESCRIPTION	
LAMBERT COORDINATES: 502-1721 NAD83 COORDINATES: 1842-6261		EXISTING: AR-1	
ASSessor'S PARCEL NUMBERS		PROPOSED: APPLICATION FOR CONDITIONAL USE	
269-241-11 AND 269-241-13			
PREPARED BY:			
Name: ANKROM MOISAN ARCHITECTS		Revision 1: 12/09/11	
Address: 6720 SW MACADAM AVE.		Revision 2: 3/16/12	
PORTLAND, OR 97219		Revision 3: 4/20/12	
Phone no: 503-245-7100 www.amos.com		Revision 4: 4/26/13	
		Revision 5: 7/09/13	
PROJECT ADDRESS:		Revision 6: 09/23/11	
14740 VIA FIESTA		Original Date: 09/23/11	
SAN DIEGO, CALIFORNIA 92130		Sheet 8 of 16	
PROJECT NAME:		DEFY	
SANTALUZ ASSISTED LIVING AND MEMORY CARE			
CITY PROJECT NUMBER: xxx-xxx			
SHEET TITLE:			
A2.01 - FIRST FLOOR PLAN			



ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
PORTLAND: 6220 SW MACADAM, PORTLAND, OR 97219 | 503-245-7100
SANTALUZ: 117 S MAIN STREET, SUITE 400, SATELLI, WA 98104 | 206-576-1600

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

MARK	DATE	DESCRIPTION
△	7-09-13	REV. 01

DATE: 2013-07-09
JOB: 110176
FILE: 21.02
DRAWN:
CHECKED:

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PLAN - SECOND FLOOR
A2.02



1 PLAN - SECOND FLOOR
A2.02 1/16"=1"



SITE/PROJECT DATA		SITE AND PROPOSED BUILDING DATA	
DESIGN TEAM		EXISTING CONDITIONS	
CIVIL ENGINEERS: RPK ENGINEERING 41M SOEG (LOCAL CONTACT) (619) 291-0707		THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.	
ARCHITECT: ANKROM MOISAN ARCHITECTS CHRIS DALENGAS (503) 245-7100		PROPOSED USE	
LANDSCAPE: GILLESPIE WOODY PATTERSON, INC. MARK WOODY (858) 558-8977		A NEW TRUSS OF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE (SEE FULL NARRATIVE)	
LEGAL DESCRIPTION		OWNER/DEVELOPER	
LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497		SANTALUZ, LLC C/O TAYLOR CONSULTING 4653 BEAUMONT DRIVE LA MESA, CA 91941 (619) 847-1536 JOE TAYLOR	
COORDINATES		ZONING DESIGNATION	
LAMBERT COORDINATES: 302-1721 NAD83 COORDINATES: 1942-6281		EXISTING: AR-1	
ASSESSOR'S PARCEL NUMBERS		PROPOSED: APPLICATION FOR CONDITIONAL USE	
269-241-11 AND 269-241-13			
PREPARED BY:			
Name: ANKROM MOISAN ARCHITECTS			
Address: 6720 SW MACADAM AVE.			
PORTLAND, OR 97219			
Phone no: 503-245-7100 www.ankmo.com			
PROJECT ADDRESS:		REVISIONS:	
14740 VIA FIESTA		Revision 1: 12/02/11	
SAN DIEGO, CALIFORNIA 92130		Revision 2: 3/16/12	
		Revision 3: 4/20/12	
		Revision 4: 4/26/13	
		Revision 5: 7/09/13	
		Revision 6:	
PROJECT NAME:		Original Date: 09/23/11	
SANTALUZ ASSISTED LIVING AND MEMORY CARE			
CITY PROJECT NUMBER: XXX-XXX			
SHEET TITLE:		Sheet 9 of 16	
A2.02 SECOND FLOOR PLAN		DATE	



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PORTLAND: 6720 SW MACADAM, PORTLAND, OR 97219 | 503-245-7100
SEATTLE: 117 5 MAIN STREET, SUITE 400, SEATTLE, WA 98104 | 206-576-1600

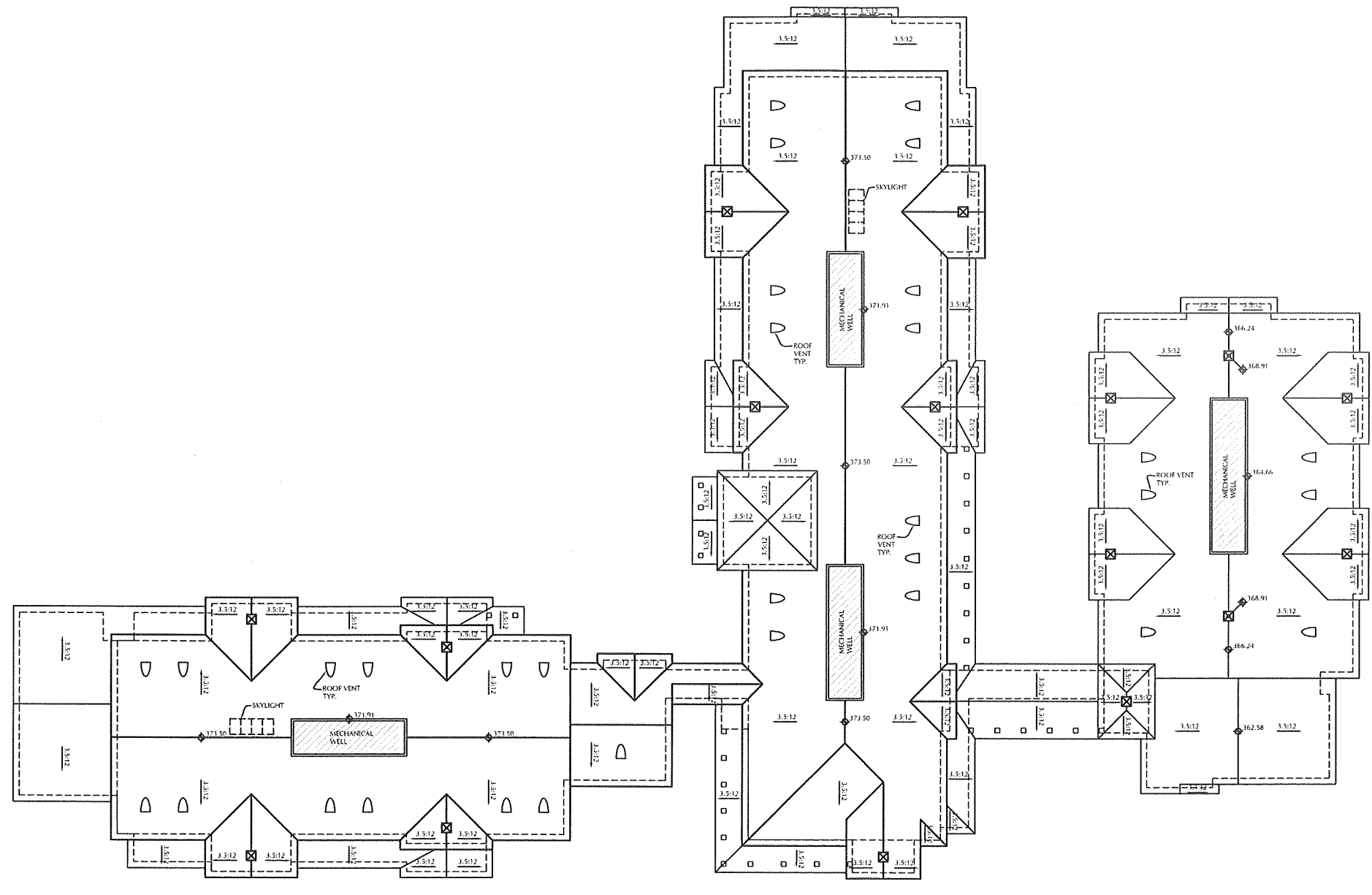
SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

MARK	DATE	DESCRIPTION
Δ	7-29-13	REV-01

DATE: 2013-07-09
JOB: 110176
FILE: 22.03
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PLAN - ROOF

A2.03



1 PLAN - ROOF
A2.03 1/16" = 1'

SITE/PROJECT DATA:	EXISTING CONDITIONS:
DESIGN TEAM: CIVIL ENGINEERS: RICK ENGINEERING *TIM SOHIG (LOCAL CONTACT) (818) 291-0707 ARCHITECT: ANKROM MOISAN ARCHITECTS CHRIS DALENGAS (503) 245-7100 LANDSCAPE: GILLESPIE MOODY PATTERSON, INC. MARC MOODY (858) 559-8977	THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.
LEGAL DESCRIPTION: LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497	PROPOSED USE: A NEW 71,630 SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE. (SEE FULL NARRATIVE)
COORDINATES: LABERTY COORDINATES: 302-1721 NAD83 COORDINATES: 1942-6201	OWNER/DEVELOPER: SANTALUZ, LLC C/O TAYLOR CONSULTING 4653 BEAUMONT DRIVE LA MESA, CA 91941 (619) 847-1538 JOE TAYLOR
ASSESSOR'S PARCEL NUMBERS: 289-241-11 AND 289-241-13	ZONING DESIGNATION: EXISTING: AH-1
PREPARED BY: Name: ANKROM MOISAN ARCHITECTS Address: 6720 SW MACADAM AVE. PORTLAND, OR 97219 Phone no.: 503-245-7100 www.amos.com	PROPOSED APPLICATION FOR CONVENTIONAL USE:
PROJECT ADDRESS: 14740 VIA FIESTA SAN DIEGO, CALIFORNIA 92130	Revision 1: 12/09/11 Revision 2: 1/18/12 Revision 3: 4/30/12 Revision 4: 4/28/13 Revision 5: 7/09/13 Revision 6: Original Date: 09/23/11
PROJECT NAME: SANTALUZ ASSISTED LIVING AND MEMORY CARE	Sheet 10 of 16
CITY PROJECT NUMBER: XXX-XXX	DEF
SHEET TITLE: A2.03 ROOF PLAN	PLOT DATE XX-XX-11



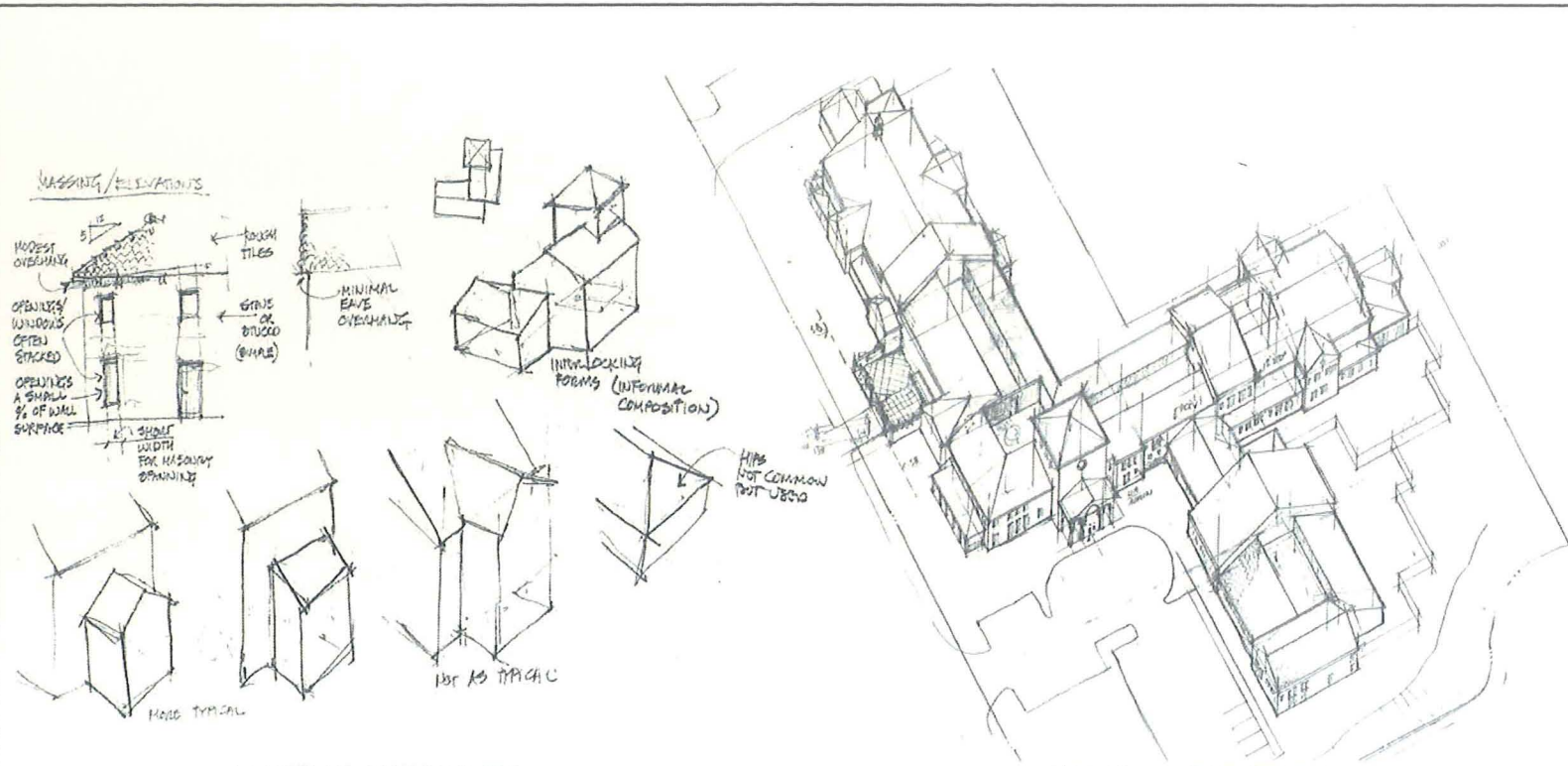
ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
PORTLAND: 6720 SW MACADAM, PORTLAND, OR 97219 | 503-245-7100
SEATTLE: 117 5th Avenue, Suite 400, Seattle, WA 98104 | 206-276-1000

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

MARK	DATE	DESCRIPTION
△	7-09-13	REV-03
DATE:	2013-07-09	
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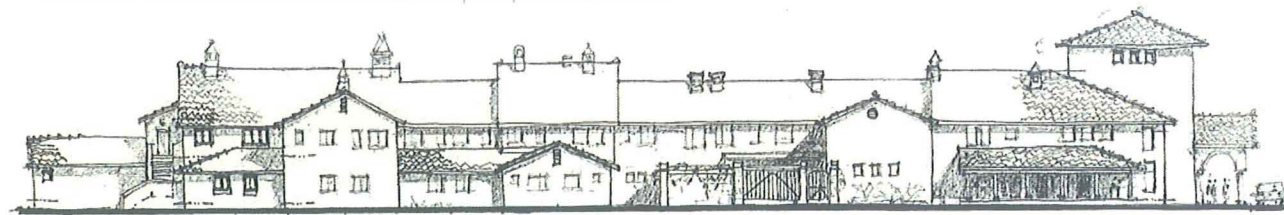
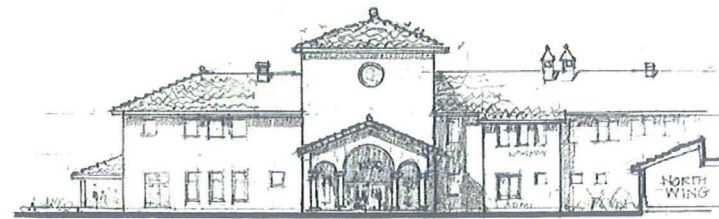
DESIGN
PROCESS

A3.01A

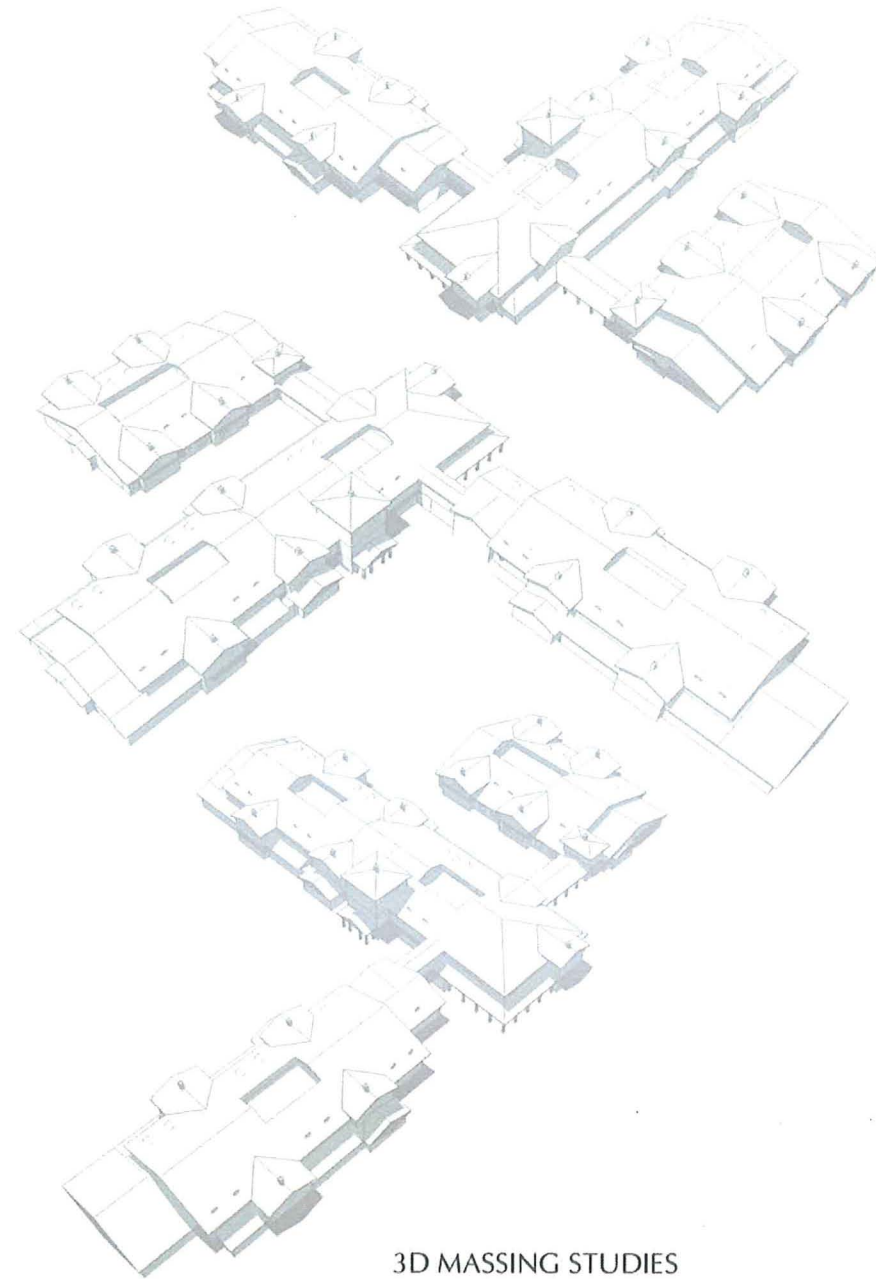


MASSING THOUGHTS

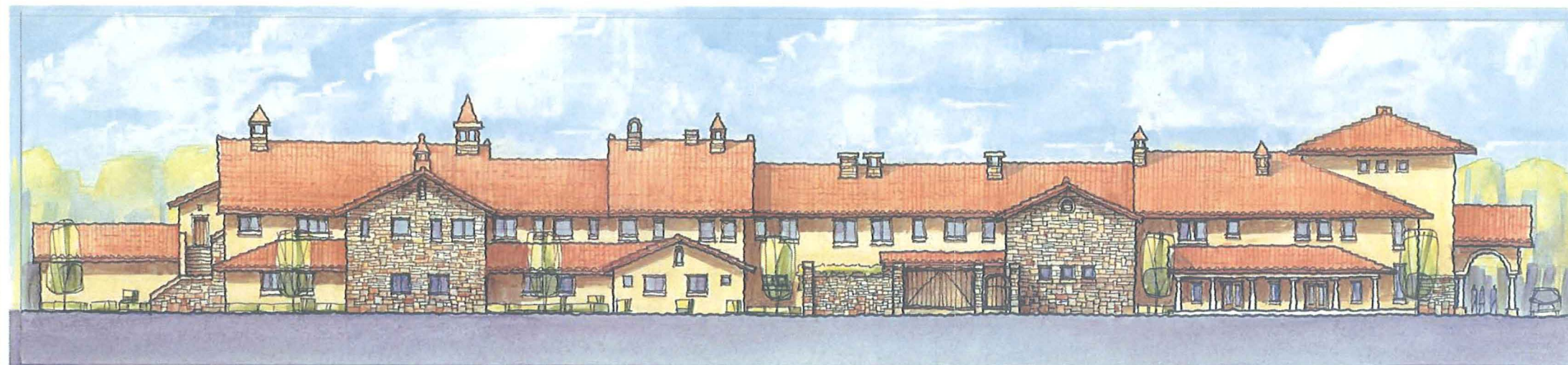
AXONOMETRIC STUDY



ELEVATION STUDIES



3D MASSING STUDIES



CHARACTER ELEVATIONS

SITE/PROJECT DATA		SITE AND PROPOSED BUILDING DATA	
DESIGN TEAM		EXISTING CONDITIONS	
CIVIL ENGINEERS: RIK ENGINEERING *TIM SORIEG (LOCAL CONTACT) (619) 291-9707		THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.	
ARCHITECT: ANKROM MOISAN ARCHITECTS CHRIS DALENGAS (503) 245-7100		PROPOSED USE	
LANDSCAPE: GILLESPIE WOODY PATTERSON, INC. MARC WOODY (856) 558-8977		A NEW 27,630 SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE. (SEE FULL NARRATIVE)	
LEGAL DESCRIPTION		OWNER/DEVELOPER	
LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497		SANTALUZ, LLC C/O TAYLOR CONSULTING 4553 BEAUMONT DRIVE LA MESA, CA 91941 (619) 847-1538 JOE TAYLOR	
COORDINATES		ZONING DESIGNATION	
LAMBERT COORDINATES: 532-1721 NAD83 COORDINATES: 1842-6281		EXISTING: AR-1	
ASSESSOR'S PARCEL NUMBERS		PROPOSED APPLICATION FOR	
269-241-11 AND 269-241-13		CONDITIONAL USE	
PREPARED BY:		PROJECT ADDRESS:	
Name: ANKROM MOISAN ARCHITECTS		14740 VIA FIESTA	
Address: 6720 SW MACADAM AVE.		SAN DIEGO, CALIFORNIA 92130	
Portland, OR 97219			
Phone no: 503-245-7100 www.amos.com			
PROJECT NAME:		REVISIONS:	
SANTALUZ ASSISTED LIVING AND MEMORY CARE		Revision 1: 12/09/11	
CITY PROJECT NUMBER: xxx-xxx		Revision 2: 3/16/12	
		Revision 3: 4/30/12	
		Revision 4: 4/26/13	
		Revision 5: 7/09/13	
		Revision 6: 09/23/13	
		Original Date: 09/23/11	
SHEET TITLE:		Sheet 11 of 16	
A3.01A DESIGN PROCESS		REP#	



ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
ARCHITECTURE INTERIORS PLANNING
8720 SW MACADAM AVE. PORTLAND, OR 97219 | 503-245-7100
SEATTLE 117 5 MAIN STREET, SUITE 400, SEATTLE, WA 98101 | 206-267-1600

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

MARK	DATE	DESCRIPTION
△	7/20/13	REV. 03

DATE: 2013-07-09
JOB: 110176
FILE: 22.01
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BUILDING ELEVATIONS
A3.01B



KEYNOTES

- TYPICAL FINISHS:**
- 1 TRU ROOF
 - 2 STUCCO EXTERIOR WALLS
 - 3 STONE VENER EXTERIOR WALLS
- ARCHITECTURAL DETAILS:**
- 4 JUARTE BALCONY
 - 5 SPECIAL WROUGHT IRON DETAIL AT WINDOWS
 - 6 BARREL ROOF VENTS
 - 7 EXHAUST VENTS
 - 8 SKYLIGHT

NOTE:
PLEASE REFER TO COLORED ELEVATIONS FOR ADDITIONAL DETAILS.

SITE/PROJECT DATA		SITE AND PROPOSED BUILDING DATA	
DESIGN TEAM		EXISTING CONDITIONS	
CIVIL ENGINEERS: RICK ENGINEERING (619) 291-9100		THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.	
ARCHITECT: ANKROM MOISAN ARCHITECTS CHRIS DALENS (503) 245-7100		PROPOSED USE	
LANDSCAPE: GILLESPIE WOODY PATTERSON, INC. MARG WOODY (858) 558-8977		A NEW 176,330 SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE. (SEE FULL NARRATIVE)	
LEGAL DESCRIPTION		OWNER/DEVELOPER	
LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497		SANTALUZ, LLC	
COORDINATES		C/O TAYLOR CONSULTING 4553 BEASLEY DRIVE LA MESA, CA 91941 (619) 647-1536 JAE TAYLOR	
LAMBERT COORDINATES: 502-1721		ZONING DESIGNATION	
NAD83 COORDINATES: 1942-6201		EXISTING: AR-1	
ASSESSOR'S PARCEL NUMBERS		PROPOSED APPLICATION FOR CONDITIONAL USE	
269-241-11 AND 269-241-13		Revision 1: 12/02/11	
PREPARED BY:		Revision 2: 3/16/12	
Name: ANKROM MOISAN ARCHITECTS		Revision 3: 4/20/12	
Address: 8720 SW MACADAM AVE. PORTLAND, OR 97219		Revision 4: 4/26/13	
Phone No: 503-245-7100 www.amos.com		Revision 5: 7/09/13	
PROJECT ADDRESS:		Revision 6: 09/23/11	
14740 VIA FIESTA		Original Date: 09/23/11	
SAN DIEGO, CALIFORNIA 92130		Sheet 12 of 16	
PROJECT NAME:		SANTALUZ ASSISTED LIVING AND MEMORY CARE	
CITY PROJECT NUMBER: XXX-XXX		SHEET TITLE: A3.01 BUILDING ELEVATIONS	



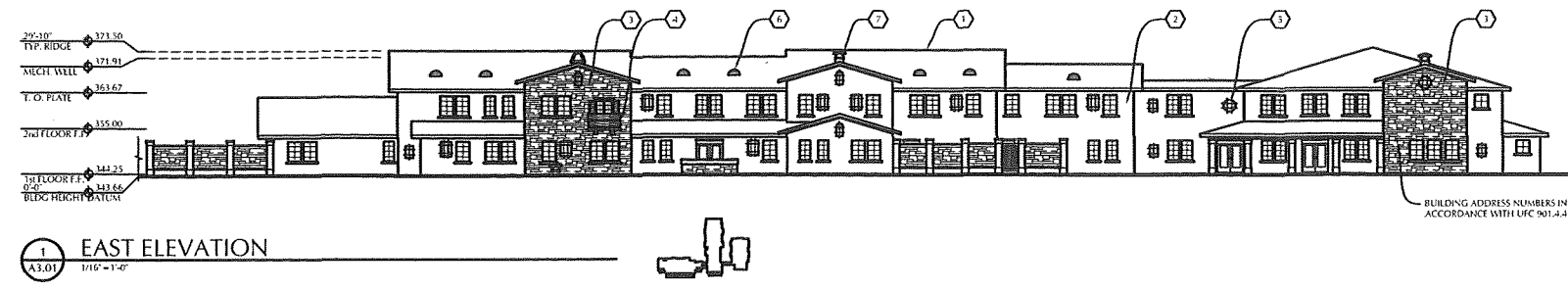
ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
PORTLAND: 6720 SW MACADAM, PORTLAND, OR 97219 | 503.243.7100
SEATTLE: 217 S MAIN STREET, SUITE 400, SEATTLE, WA 98104 | 206.296.0600

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

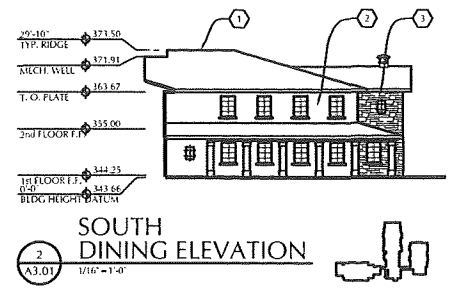
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110176	JOB
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BUILDING ELEVATIONS

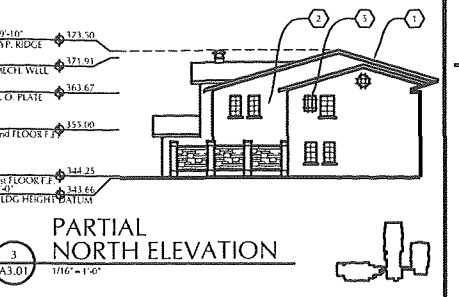
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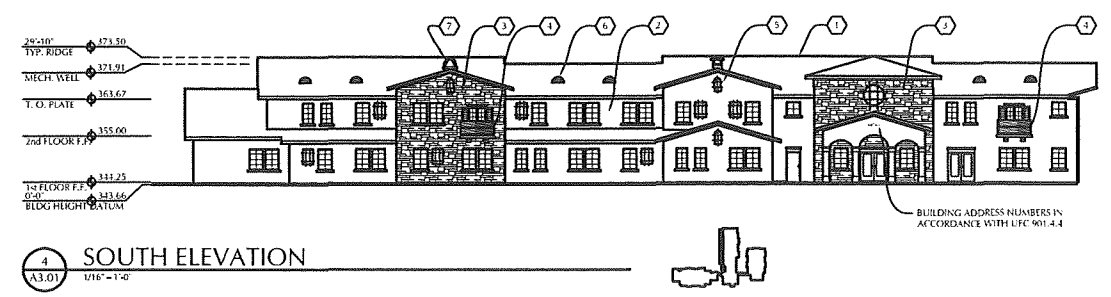
1 EAST ELEVATION
A3.01 1/16" = 1'-0"



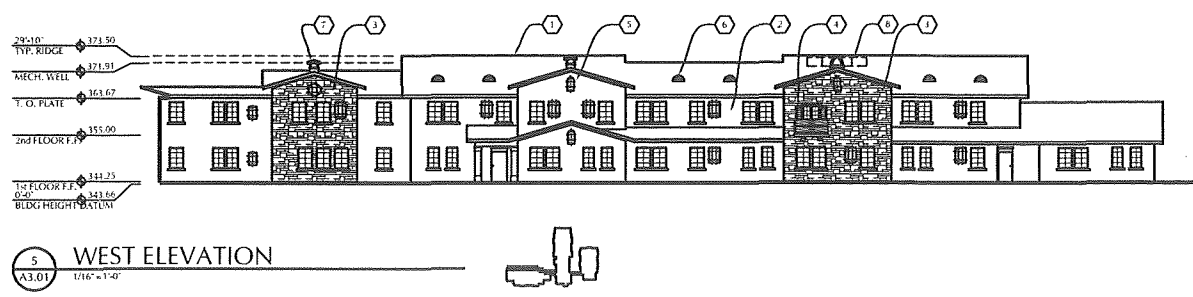
2 SOUTH DINING ELEVATION
A3.01 1/16" = 1'-0"



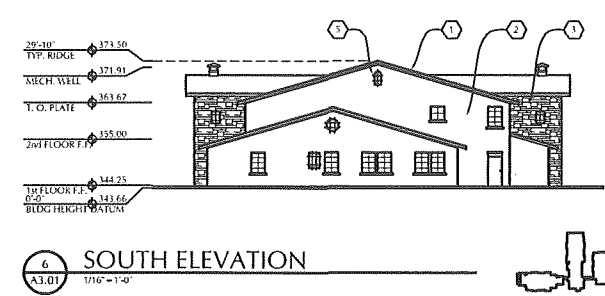
3 PARTIAL NORTH ELEVATION
A3.01 1/16" = 1'-0"



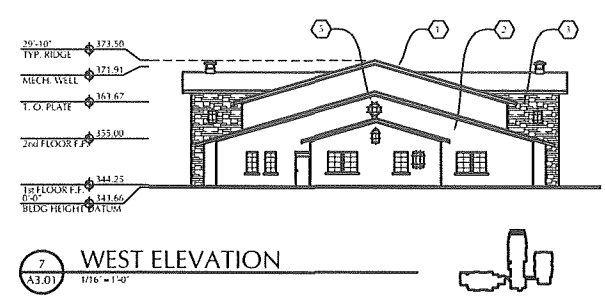
4 SOUTH ELEVATION
A3.01 1/16" = 1'-0"



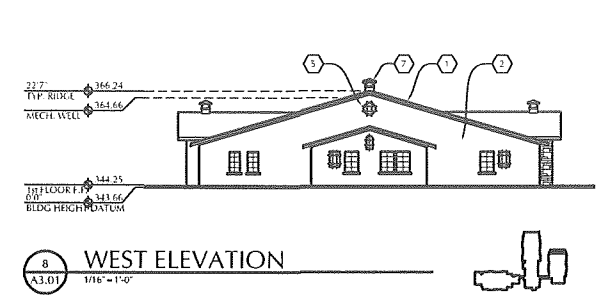
5 WEST ELEVATION
A3.01 1/16" = 1'-0"



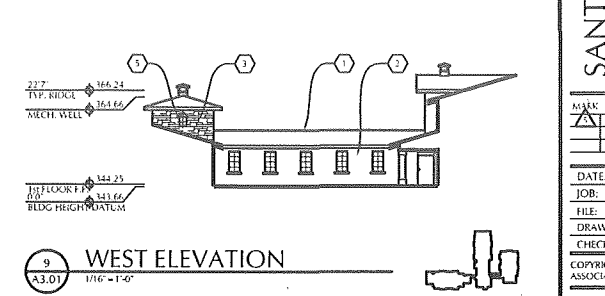
6 SOUTH ELEVATION
A3.01 1/16" = 1'-0"



7 WEST ELEVATION
A3.01 1/16" = 1'-0"



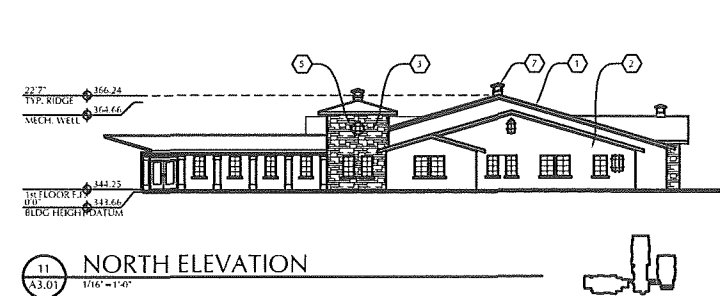
8 WEST ELEVATION
A3.01 1/16" = 1'-0"



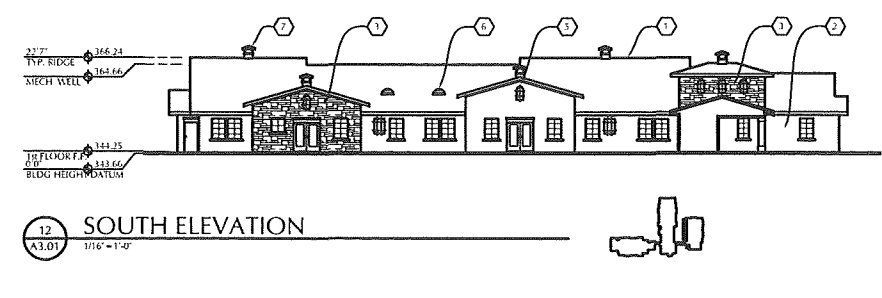
9 WEST ELEVATION
A3.01 1/16" = 1'-0"



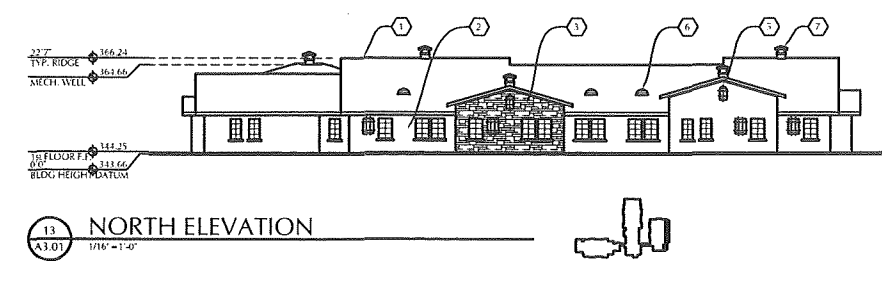
10 NORTH ELEVATION
A3.01 1/16" = 1'-0"



11 NORTH ELEVATION
A3.01 1/16" = 1'-0"



12 SOUTH ELEVATION
A3.01 1/16" = 1'-0"



13 NORTH ELEVATION
A3.01 1/16" = 1'-0"

KEYNOTES

- TYPICAL FINISHES:**
- 1 TILE ROOF
 - 2 STUCCO EXTERIOR WALLS
 - 3 STONE VENER EXTERIOR WALLS
- ARCHITECTURAL DETAILS:**
- 4 JALUETTE BALCONY
 - 5 SPECIAL WROUGHT IRON DETAIL AT WINDOWS
 - 6 BARREL ROOF VENTS
 - 7 EXHAUST VENTS
 - 8 SKYLIGHT

NOTE:
PLEASE REFER TO COLORED ELEVATIONS FOR ADDITIONAL DETAILS.

SITE/PROJECT DATA:		EXISTING AND PROPOSED BUILDING DATA:	
DESIGN TEAM		EXISTING CONDITIONS	
CIVIL ENGINEERS: RICK ENGINEERING *TIM SCHLEG (LOCAL CONTACT) (818) 291-0707		THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.	
ARCHITECT: ANKROM MOISAN ARCHITECTS ORIS DALENGAS (503) 243-7100		PROPOSED USE	
LANDSCAPE: GILLESPIE MOODY PATTERSON, INC. MARC MOODY (858) 558-8977		A NEW 17,630 SF SENIOR HOUSING COMBINED WITH ASSISTED LIVING AND MEMORY CARE (SEE FULL NARRATIVE)	
LEGAL DESCRIPTION		OWNER/DEVELOPER	
LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497		SANTALUZ, LLC C/O TAYLOR CONSULTING 4553 BEAUMONT DRIVE LA MESA, CA 91941 (619) 847-1538 JAE TAYLOR	
COORDINATES:		ZONING DESIGNATION	
LAMBERT COORDINATES: 302-1721 NAD83 COORDINATES: 1942-6201		EXISTING: AR-1	
ASSESSOR'S PARCEL NUMBERS:		PROPOSED APPLICATION FOR	
208-241-11 AND 208-241-13		CONVENTIONAL USE	
PREPARED BY:		Revision 1: 12/09/11	
Name: ANKROM MOISAN ARCHITECTS		Revision 2: 1/16/12	
Address: 6720 SW MACADAM AVE.		Revision 3: 4/30/12	
Portland, OR 97219		Revision 4: 4/26/13	
Phone no. 503-243-7100 www.amosa.com		Revision 5: 7/10/13	
PROJECT ADDRESS:		Revision 6: 09/23/11	
14740 VIA FIESTA		Original Date: 09/23/11	
SAN DIEGO, CALIFORNIA 92130		Sheet 13 of 15	
PROJECT NAME:		SHEET TITLE:	
SANTALUZ ASSISTED LIVING AND MEMORY CARE		A3.01 BUILDING ELEVATIONS	
CITY PROJECT NUMBER: XXX-XXX		DEF	



ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
PORTLAND: 6726 SW MACADAM, PORTLAND, OR 97219 | 503-245-7100
SEATTLE: 117 5 MAIN STREET, SUITE 400, SEATTLE, WA 98104 | 206-276-1000

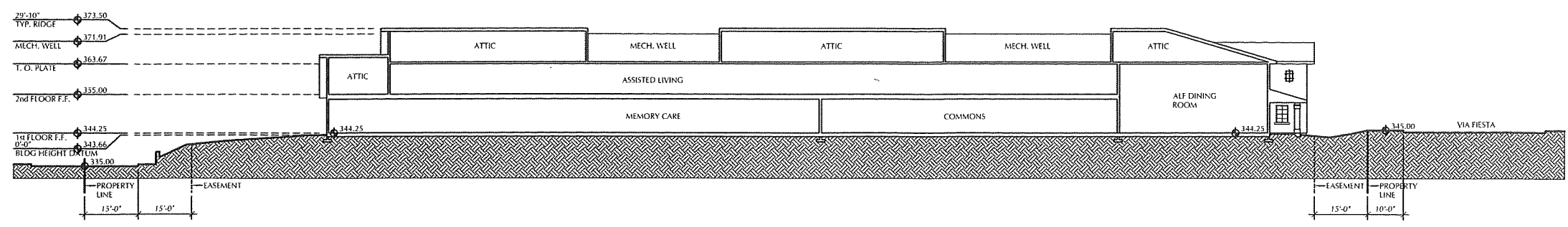
SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

DATE	DESCRIPTION
2013-11	REV05
DATE:	2013-07-09
JOB:	110176
FILE:	23.10
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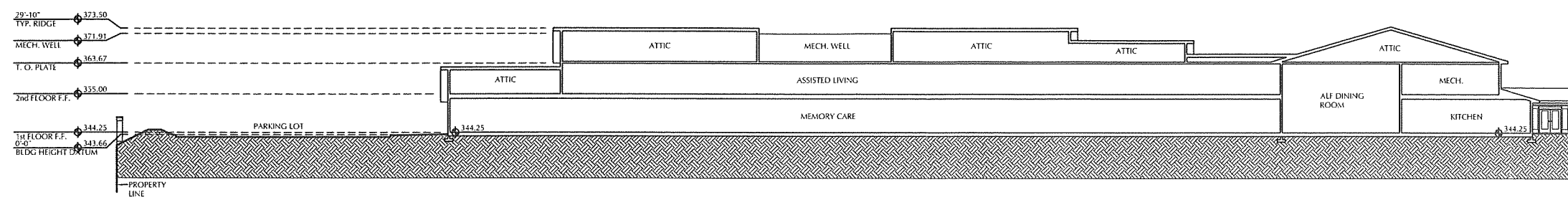
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SITE SECTIONS

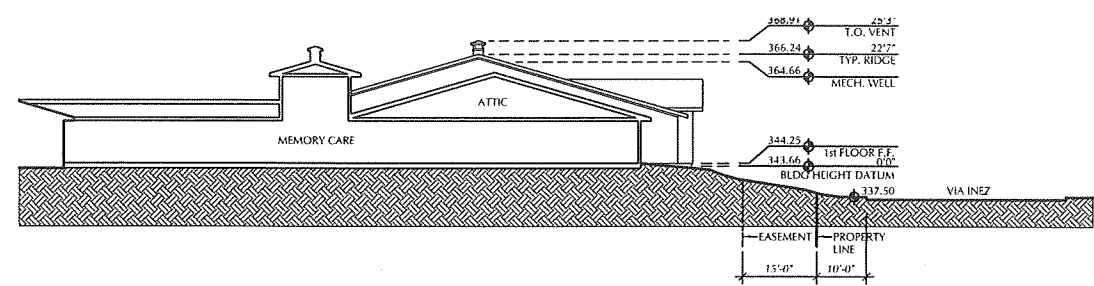
A3.10



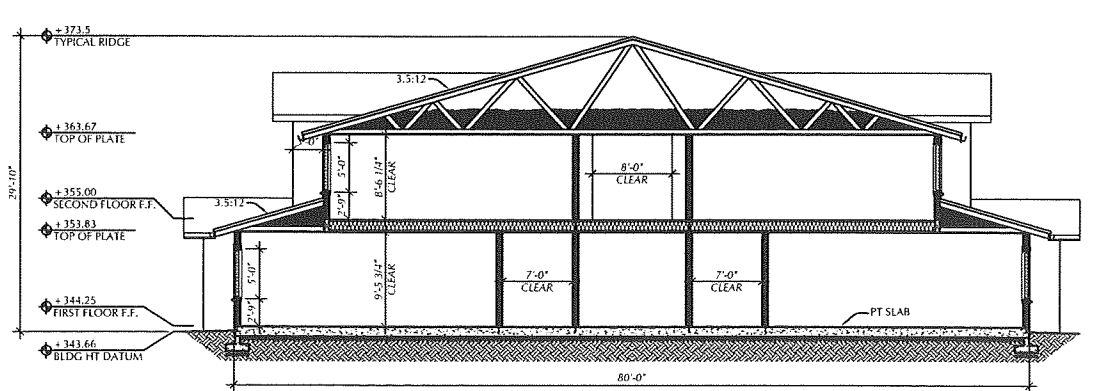
1 SITE SECTION - LOOKING NORTH
A3.10 1/16"=1'-0"



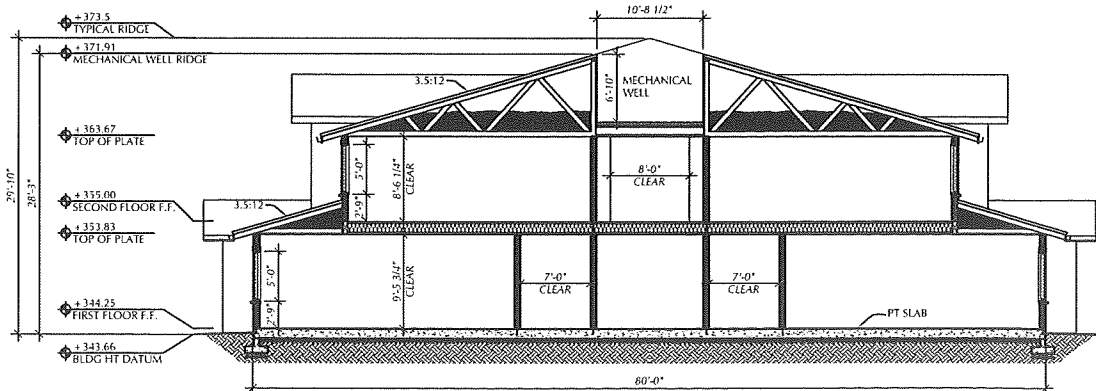
2 SITE SECTION - LOOKING WEST
A3.10 1/16"=1'-0"



3 SITE SECTION - LOOKING WEST
A3.10 1/16"=1'-0"



4 TYPICAL BUILDING SECTION
A3.10 1/8"=1'-0"



5 TYPICAL BUILDING SECTION
A3.10 1/8"=1'-0"

DATE	DESCRIPTION
2013-11	REV05
DATE:	2013-07-09
JOB:	110176
FILE:	23.10
DRAWN:	
CHECKED:	

DATE	DESCRIPTION
12/09/11	Revision 1
1/16/12	Revision 2
4/20/12	Revision 3
4/26/11	Revision 4
7/09/11	Revision 5
09/23/11	Revision 6

<p>SITE/PROJECT DATA: DESIGN TEAM CIVIL ENGINEERS: RICK ENGINEERING (619) 291-0707 ARCHITECT: ANKROM MOISAN ARCHITECTS (503) 245-7100 LANDSCAPE: GILLESPIE WOODY PATTERSON, INC. (858) 558-8977</p> <p>LEGAL DESCRIPTION: LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497</p> <p>COORDINATES: LABERT COORDINATES: 302-1221 NAD83 COORDINATES: 1942-6201</p> <p>ASSESSOR'S PARCEL NUMBERS: 289-241-11 AND 289-241-13</p> <p>PREPARED BY: Name: ANKROM MOISAN ARCHITECTS Address: 8720 SW MACADAM AVE. PORTLAND, OR 97219 Phone no.: 503-245-7100 www.amaa.com</p> <p>PROJECT ADDRESS: 14740 VIA FIESTA SAN DIEGO, CALIFORNIA 92130</p> <p>PROJECT NAME: SANTALUZ ASSISTED LIVING AND MEMORY CARE</p> <p>CITY PROJECT NUMBER: XXX-XXX</p> <p>SHEET TITLE: A3.10 BUILDING AND SITE SECTIONS</p>	<p>SITE AND PROPOSED BUILDING DATA: EXISTING CONDITIONS: THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.</p> <p>PROPOSED USE: A NEW 71,630 SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE (SEE FULL NARRATIVE)</p> <p>OWNER/DEVELOPER: SANTALUZ, LLC C/O TAYLOR CONSULTING 4653 BEAUMONT DRIVE LA MESA, CA 91941 (619) 847-1538 JOE TAYLOR</p> <p>ZONING DESCRIPTION: EXISTING: AR-1 PROPOSED: APPLICATION FOR CONVEYORAL USE.</p>
---	--

SANTALUZ CUSTOM HOME DESIGN GUIDELINES - TUSCANY FARMHOUSE



ANKROM MOISAN
ARCHITECTURE INTERIORS PLANNING
PORTLAND: 8220 SW MACADAM, PORTLAND, OR 97219 | 503-245-7100
SEATTLE: 117 S MAIN STREET, SUITE 400, SEATTLE, WA 98104 | 206-276-1600

SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

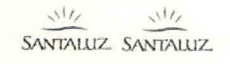
MARK	DATE	DESCRIPTION
△	7-09-13	REV-03

DATE: 2013-07-09
JOB: 110176
FILE: DG
DRAWN:
CHECKED:
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DESIGN GUIDELINES
DG

SITE/PROJECT DATA		SITE AND PROPOSED BUILDING DATA	
DESIGN TEAM	CIVIL ENGINEERS: TRM ENGINEERING (619) 291-9707	EXISTING CONDITIONS	THE SITE IS A VACANT LOT WITH NO EXISTING TREES OR BUILDINGS.
ARCHITECT:	ANKROM MOISAN ARCHITECTS (503) 245-7100	PROPOSED USE	A NEW 17,630 SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE (SEE FULL NARRATIVE)
LANDSCAPE:	GILLISPE MOODY PATTERSON, INC. MARC MOODY (858) 558-8977	OWNER/DEVELOPER	SANTALUZ, LLC C/O RAISER CONSULTING 455 S BROADWAY DRIVE LA MESA, CA 91941 (619) 847-1536 JOE RAISER
LEGAL DESCRIPTION	LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10A PER MAP NO. 14497	COORDINATES	UNIVERSITY COORDINATES: 302-1271 NAD83 COORDINATES: 1942-6281
ASSESSOR'S PARCEL NUMBERS	269-241-11 AND 269-241-13	PREPARED BY:	ANKROM MOISAN ARCHITECTS
Address:	8720 SW MACADAM AVE. PORTLAND, OR 97219 Phone no. 503-245-7100 www.amos.com	PROPOSED APPLICATION FOR CONDITIONAL USE	Revision 1: 12/09/11 Revision 2: 1/16/12 Revision 3: Revision 4: 4/26/13 Revision 5: 7/09/13 Original Date: 09/23/11
PROJECT ADDRESS:	14740 VIA FIESTA SAN DIEGO, CALIFORNIA 92130	SHEET TITLE:	DG DESIGN GUIDELINES
PROJECT NAME:	SANTALUZ ASSISTED LIVING AND MEMORY CARE	CITY PROJECT NUMBER:	XXX-XXX
SHEET TITLE:	DG DESIGN GUIDELINES	PLOT DATE:	XX-XX-11

Architecture Tuscany Farmhouse



3.111 Tuscany Farmhouse
3.111.1 Context
Tuscany farmhouses are scattered throughout central Italy. Many are historic buildings that were once public buildings, such as churches and public squares. They generally contain multiple levels of masonry, stone, brick, and plaster. In some instances, they were converted into residential structures.

3.112 Form, Massing and Hierarchy
1. The house establishes a hierarchy of forms about a single dominant cubic or rectangular masonry volume. One story is taller than the other two-story volumes in order to create a sense of scale.
2. The overall massing shall emphasize the horizontal plane as viewed from the street.
3. Massing may be defined and articulated through large building volumes that are not true and adjacent to the existing lot lines.
4. Building volumes shall be 30 degrees above building corners and not permitted. Change building corners may be approved on a case-by-case basis.
5. Towers shall be rectangular in plan. Towers may be located on the building perimeter or in a central location in the "casa colona" houses of Chianti.
6. Exterior walls shall have solid painted red walls or wrought iron grilles.



3.113 Roof Design
1. Single gable roofs are the primary roof form. Secondary roofs include hip roofs and shed roofs. Hip roofs may be used on towers and on a few major volumes.
2. Roof slopes are low.
3. Roof valleys are unornamented.
4. Roofed passages, loggias, terraces, and decks shall expose heavy timber framing.
5. Roof ridges shall not exceed 10 feet in height. Vertical steps in ridges shall be a maximum of 12 inches. Ridge eaves 50 feet or longer may be supported on a case-by-case basis.
6. Flat roofs are not permitted.

3.114 Elevations
1. Exterior walls shall be stone or masonry. Brick may be used in combination with masonry walls. Brick was often used for window openings.
2. Transoms between stone and masonry volumes of a house shall occur at locations that appear to be the logical result of additions over time. The use of stone or masonry shall not appear to be applied materials that simply cover walls or otherwise decrease the building.
3. The primary wall opening shape shall be rectangular. Roman half-round arches may be used sparingly to frame doors and windows. The coverage of half-round arches shall diminish their visual impact. Fluted arches and half-round arches shall be avoided. They however may be used over garage door openings.
4. Loggias and decks may have stone walls with Roman half-round arches. Flat roof loggias, covered porches, and half-round arches shall not be used in windows.
5. Openings shall be deeply recessed. All openings shall be recessed a minimum of 12 inches on four sides and a minimum of 8 inches on all other elevations. Recessed openings shall be recessed from the exterior face of stone or masonry to the outside finished face of the exterior wall opening. Recessed openings shall be a minimum of 12 inches deep and shall be recessed 6 inches.
6. Openings shall be held a significant distance from building corners. The depth to corner distance shall be at least 24 inches. Smaller distances may be approved on a case-by-case basis.
7. Wood plank or board shutters may be used as necessary. They shall be held a significant distance from the edge of a building corner shall be approved on a case-by-case basis.



10. Joint locations shall be visible on a few locations. The balcony deck shall be cast in stone with wrought iron railing.
11. Cast-in-place decks and second floors are not permitted.
12. Recessed corners or quoins are not permitted. Corner quoins may be used however they must be rectangular in shape and not cut on a diagonal to the corner.
13. Windows shall be placed to reveal the half-round arches on the facade. Second story openings shall not be placed below the first story.

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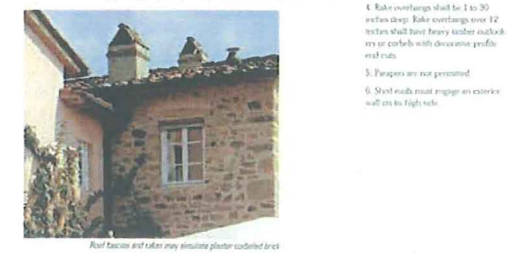
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Architecture Tuscany Farmhouse



3.115 Roof Details
1. Roofing materials shall be terracotta Roman pan or barrel tiles or of approved, 18" x 24" tiles.
2. Eave overhang shall be:
• 12 to 30 inches deep for roofs with exposed rafters.
• 6 to 16 inches deep for roofs with concealed or hidden rafters.
3. Eaves types include:
• Roman style exposed heavy timber rafters with exposed rafters that have decorative Italian style low-pitch filigree roof.
• Eaves with simple concealed rafters. These rafters shall consist of a concealed stone casing or simple concealed stone housing.



3.116 Entrance Details
1. Flat or half-round arch openings may contain the primary entrance. Entry materials may be framed to simple and stone masonry or deeply recessed into stone walls. Entry materials shall have a rustic quality and not reflect an imposing or high Renaissance style.
2. Entry porches may be arched, gabled, or flat. They shall be approved on a case-by-case basis. Design that does not feature stone or appear to be stone will not be approved.
3. Entry doors shall be wood plank, cast-iron, or stone and shall have hand forged decorative hardware.

3.117 Window and Door Details
1. Windows shall be windows or door sets with wood or metal divided light panes. Openings with single paneled windows shall be limited to a few locations.
2. Windows with wood window frames may be used. Windows shall be placed to reveal the half-round arches on the facade. Second story openings shall not be placed below the first story.
3. The use of heavy timber over openings shall be limited to garage door openings in stone walls.



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SANTALUZ - MC AND ALF
14740 VIA FIESTA
SAN DIEGO, CALIFORNIA, 92130
Santaluz, LLC

MARK	DATE	DESCRIPTION
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		DRAWN
		CHECKED
COPYRIGHT ANKRUM MOISAN ASSOCIATED ARCHITECTS 2011		

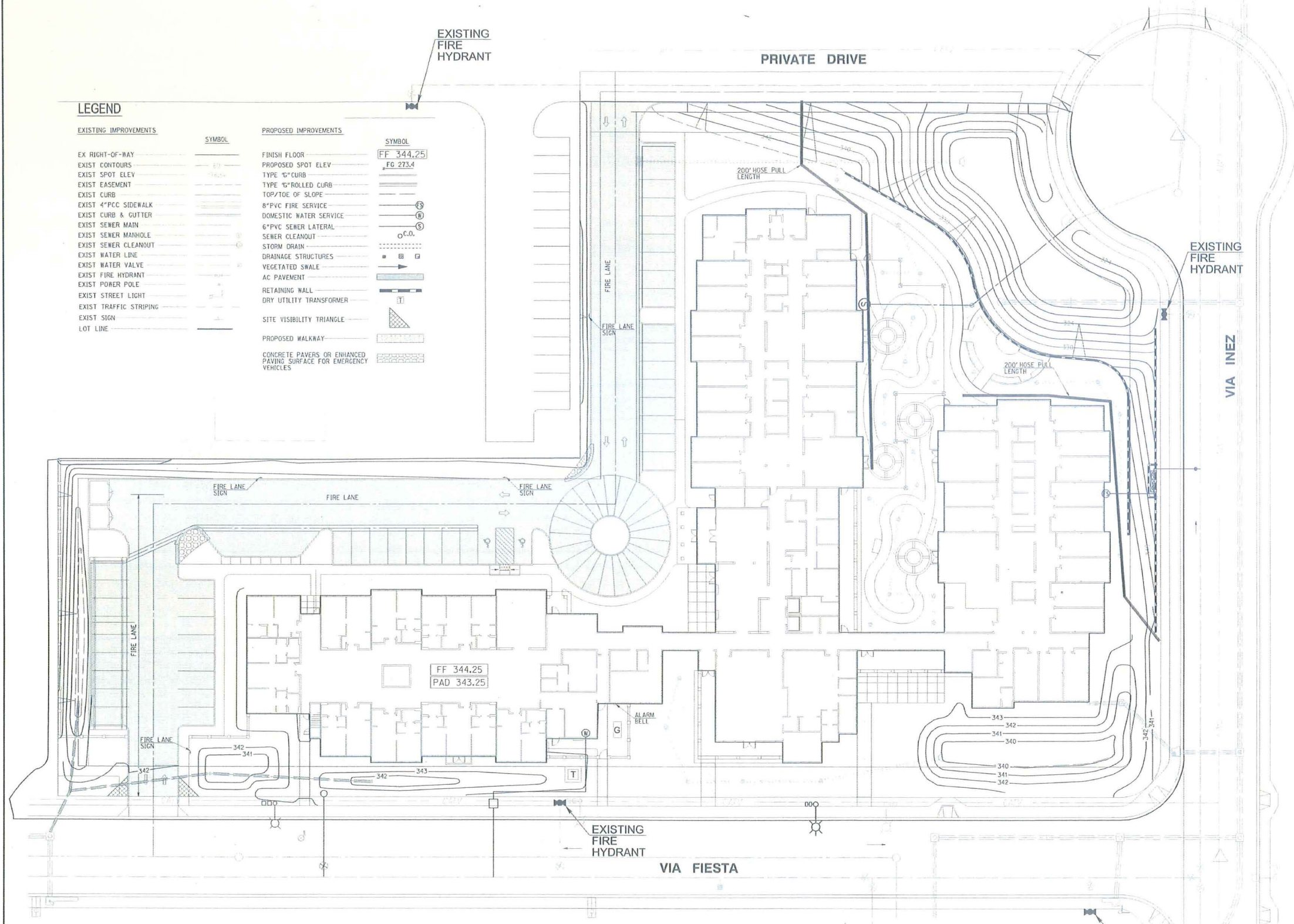
BENCH MARK
S0302, STANDARDS DISK, STMP, S302, 1935 SET
TOP CONC. POST FIRM, INTERS, CARMEL VALLEY ROAD AND BLACK Mtn. RD, GO NE 2.2 MI. ALONG BLACK Mtn. RD, BM ON LT, ELEV. 321.679 DATUM M.S.L.

REFERENCE DRAWINGS:
GRADING PLANS FOR BLACK MOUNTAIN RANCH UNITS 6 AND 10 (C0325-D)
IMPROVEMENT PLANS FOR BLACK MOUNTAIN RANCH UNIT 10 (C0330-D)
LANDSCAPE AND FRIGATION PLANS FOR BLACK MOUNTAIN RANCH UNIT 10 (C0322-D)

RICK ENGINEERING COMPANY
5620 FRANKS ROAD
SAN DIEGO, CA 92110
619-291-0022
FAX: 619-291-4165
Irvine - Sacramento - San Luis Obispo
Chicago - San Rafael - Tucson - Phoenix
rickengr.com

LEGEND

EXISTING IMPROVEMENTS	SYMBOL	PROPOSED IMPROVEMENTS	SYMBOL
EX RIGHT-OF-WAY	---	FINISH FLOOR	FF 344.25
EXIST CONTOURS	~	PROPOSED SPOT ELEV	FG 273.4
EXIST SPOT ELEV	▲	TYPE "G" CURB	---
EXIST EASEMENT	---	TYPE "G" ROLLED CURB	---
EXIST CURB	---	TOP/TOE OF SLOPE	---
EXIST 4" PCC SIDEWALK	---	8" PVC FIRE SERVICE	---
EXIST CURB & GUTTER	---	DOMESTIC WATER SERVICE	---
EXIST SEWER MAIN	---	6" PVC SEWER LATERAL	---
EXIST SEWER MANHOLE	---	SEWER CLEANOUT	C.C.O.
EXIST SEWER CLEANOUT	---	STORM DRAIN	---
EXIST WATER LINE	---	DRAINAGE STRUCTURES	---
EXIST WATER VALVE	---	VEGETATED SWALE	---
EXIST FIRE HYDRANT	---	AC PAVEMENT	---
EXIST POWER POLE	---	RETAINING WALL	---
EXIST STREET LIGHT	---	DRY UTILITY TRANSFORMER	---
EXIST TRAFFIC STRIPING	---	SITE VISIBILITY TRIANGLE	---
EXIST SIGN	---	PROPOSED WALKWAY	---
LOT LINE	---	CONCRETE PAVERS OR ENHANCED PAVING SURFACE FOR EMERGENCY VEHICLES	---



FIRE DEPARTMENT NOTES:

1. FIRE ACCESS ROADWAY SIGNS AND RED CURBS SHALL BE INSTALLED IN ACCORDANCE WITH FHP'S POLICY A-00-1
2. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE BUILDING PER UFC 1001.4
3. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-00-6.

Development Services
Plan Review & Inspection
Ron Carter Date 6/27/13

Inspections Required
See these items on
Inspection Record Card
Fire Access/ hydrants
Call (619) 446-6420 to
schedule inspection
Conceptual



SITE / PROJECT DATA		SITE AND PROPOSED BUILDING DATA	
DESIGN TEAM CIVIL ENGINEERS: RICK ENGINEERING *TIM SCHOE (LOCAL CONTACT) (619) 291-0022 ARCHITECT: ANKRUM MOISAN ARCHITECTS CHRIS DALENGAS (619) 245-7100 LANDSCAPE: GLEESIE MACOY PATTERSON, INC MARC MOODY (619) 558-8977		EXISTING CONDITIONS THE SITE IS A VACANT LOT WITH 10% EXISTING TREES OR BULBUSES. PROPOSED USE A NEW 71,354 SF SENIOR HOUSING COMMUNITY PROVIDING ASSISTED LIVING AND MEMORY CARE (SEE FULL NARRATIVE) OWNER/DEVELOPER SANTALUZ LLC C/O TAILOR CONSTRUCTION 4553 BEAUCHAMPT DRIVE LA MESA, CA 91941 (615) 247-1536 JIM TAILOR	
LEGAL DESCRIPTION LOTS 4 AND 6 OF BLACK MOUNTAIN RANCH UNIT 10 PER MAP NO. 14437 COORDINATES LAMBERT COORDINATES: 302-1721 NAD83 COORDINATES: 1942-6281 ASSESSOR'S PARCEL NUMBERS 769-741-11 AND 269-741-13		ZONING DESIGNATION EXISTING: IR-1 PROPOSED: APPLICATION FOR CONDITIONAL USE	
PREPARED BY: Name: ANKRUM MOISAN ARCHITECTS Address: 6720 SW MACADAM AVE PORTLAND, OR 97209 Phone no: 503-245-7100 www.ankrum.com		Project Address: 14740 VIA FIESTA SAN DIEGO, CALIFORNIA 92130	
PROJECT NAME: SANTALUZ ASSISTED LIVING AND MEMORY CARE CITY PROJECT NUMBER: 207283		Revision 1: 02/09/2011 Revision 2: 3/16/2012 Revision 3: 4/20/2012 Revision 4: 4/26/2013 Revision 5: Revision 6: Original Date: 03/13/12	
SHEET TITLE: FIRE ACCESS PLAN		Sheet 16 of 16 DEP#	

**Attachment 16
Project Rendering**



Ordinance

(O-1078804)

ORDINANCE NUMBER O-_____ (NEW SERIES)

ADOPTED ON _____

AN ORDINANCE OF THE COUNCIL OF THE CITY OF SAN
DIEGO APPROVING CONDITIONAL USE PERMIT 998816
FOR THE SANTA LUZ PROJECT, PROJECT NUMBER
257983.

WHEREAS, under Charter section 280(a)(2) this ordinance is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on evidence presented;

WHEREAS, SANTALUZ, LLC, Owner/Permittee, filed an application with the City of San Diego for a Community Plan Amendment and Conditional Use Permit to construct a 71,630 square-foot nursing facility designed for Assisted Living and Memory Care for senior citizens known as the Santa Luz Assisted Living project, located at 14740 Via Fiesta, and legally described as Lots 4 and 6 of Black Mountain Ranch Unit 10A per Map No. 14497, in the Black Mountain Ranch Subarea Plan area, in the AR-1-1 zone;

WHEREAS, on October 3, 2013, the Planning Commission of the City of San Diego considered Community Plan Amendment (CPA) No. 1074589 and Conditional Use Permit (CUP) No. 908816, and pursuant to Resolution No. xxxxxx-PC voted to recommend approval of CPA No. 1074589 and CUP No. 908816; NOW, THEREFORE,

BE IT ORDAINED, by the Council of the City of San Diego, that it adopts the following findings with respect to Community Plan Amendment No. 1074589 and Conditional Use Permit No. 908816:

A. Findings for Conditional Use Permit Approval – Section §126.0305

1. The proposed development will not adversely affect the applicable land use plan.

The project proposes a 71,630 square-foot nursing facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone within the Black Mountain Ranch Subarea Plan (Subarea Plan) Proposition A Lands. The facility would consist of 64 assisted living units with 74 beds and 24 hour staffing. The project requires a Community Plan Amendment (CPA) to re-designate the site from Institutional-Recreation Center and Institutional-Senior Center to Institutional-Nursing Facility.

The project site is comprised of two parcels where the northern parcel is designated Institutional-Recreation Center and the Southern parcel is designated Institutional-Senior Center. The project is governed by Vesting Tentative Map/Planned Residential Development No. 95-0173 (VTM/PRD) and the Subarea Plan land use document. The Subarea Plan envisions a range and mix of institutional and employment uses that foster appealing and enjoyable neighborhoods and business districts. Institutional uses are intended to provide public and quasi-public facilities that serve the adjacent residential neighborhoods. The plan also calls for a mix of uses and intensity of development to reduce the dependency on private automobiles. The proposed amendment would help implement these goals while providing "senior housing, congregate care for the elderly ...and housing with supportive services."

The project is located on non-phased shift Proposition A land. The objectives of Proposition A can be generally summarized as follows:

- Preclude premature development and guide urbanization;
- Conserve agricultural land;
- Prevent loss of natural resources;
- Address threat to quality of life from continued urban sprawl.

A Proposition "A" analysis took place of the site and surrounding area at the time of adoption of the VTM in 1995, and again with adoption of the Subarea Plan in 1998. These plans did not envision the site as being suitable for open space or agricultural land. The proposed nursing facility would be located on a site that is graded and surrounded by developed uses and would not result in an increase in residential density.

As mentioned above, the proposed amendment site is governed by a previously approved VTM/PRD and associated Design Review Guidelines. The Guidelines state that "community

facilities within the Village include uses which, in scale and character, service the needs of the Black Mountain Ranch residents. Specific sites have been identified in the Village for an elementary school, neighborhood park, church, day care center, senior center, recreation center and fire station. It is expected that the day care and senior facilities will be developed and managed by the church. The recreation center is expected to be developed as a Property Owner Association facility.

Subsequent to the adoption of the Subarea Plan, the decision was made by the Property Owners Association (POA) not to take title to the project's parcel designated for a recreation center. Instead, the POA opted to build recreational facilities at other locations within the Subarea Plan, including two 1- to 2-acre parks with playgrounds, one 3-acre enclosed dog park, additional areas improved for picnicking and parking, and walking trail enhancements; none of which were originally provided for in the Subarea Plan. The proposed amendment would not adversely affect the goals of the Subarea Plan as recreational facilities are provided throughout the community. While the Subarea Plan does not provide detailed criteria for the development of a Senior Center, amenities such as a fitness center, assembly room, or similar uses are common within the community. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes a 71,630 square-foot nursing facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone within the Subarea Plan Proposition A Lands. The facility would consist of 64 assisted living units with 74 beds and 24 hour staffing. The project requires a CPA to re-designate the site from Institutional-Recreation Center and Institutional-Senior Center to Institutional-Nursing Facility.

Addendum No. 287983 (Addendum to Environmental Impact Report (EIR) Nos. 95-0173 and 96-7902 & Addendums Nos. 95-0173.1 and 99-1161) was prepared from the project as it was determined that the proposed development could have a significant impact to Paleontological resources. Because mitigation measures are required to be applied to the project in accordance with Section V of the associated Mitigation, Monitoring, and Reporting Program (MMRP), the project now avoids or mitigates any potentially significant environmental impacts to paleontological resources in accordance with the California Environmental Quality Act. The permit prepared for this project includes various conditions and corresponding exhibits of approvals relevant to achieving compliance with the regulations of the Municipal Code and California Building Codes for minor grading and construction. Conditions required for the project include but are not limited to storm water and general runoff requirements, landscaping, public improvements, private sewer facilities, signage, lighting, and parking. Therefore, the proposed project will not be detrimental to the health, safety and general welfare of persons residing or working in the area.

3. The proposed development will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code.

Attachment 17
Draft Ordinance with Findings

The project proposes a 71,630 square-foot nursing facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone within the Subarea Plan Proposition A Lands. The facility would consist of 64 assisted living units with 74 beds and 24 hour staffing.

The permit prepared for this project includes various conditions and corresponding exhibits of approvals relevant to achieving compliance with the regulations of the Land Development Code and California Building Codes for grading and construction. Conditions required for the project include but are not limited to storm water and general runoff requirements, landscaping, public improvements, private sewer facilities, signage, lighting, and parking. Additionally, the proposed use must meet all Building, Fire, Plumbing, Electrical and Mechanical Code regulations when submitting for construction permits.

The proposed nursing facility is located in the AR-1-1 agricultural zone of the non-phase shifted portion of Black Mountain Ranch (Proposition "A" Lands). San Diego Municipal Code (SDMC) section 141.0413(a) of the Land Development Code specifically prohibits nursing facilities within Proposition "A" Lands. Nursing facilities were a conditionally permitted use through the processing of a Conditional Use Permit (CUP) at the time of Proposition "A" passage (The Growth Management Initiative). The prohibition of nursing facilities within the AR-1-1 agriculture zone of Proposition "A" Lands was added to the Municipal Code after Proposition "A" was approved.

The proposed nursing facility will serve as the residence of a senior population that requires 24 hour nursing care. The proposed residents have limited physical abilities and would be deemed as a protected class under the Fair Housing Amendments Act (FHAA).

The Federal Fair Housing Act (FHAA) and the California Fair Employment and Housing Act (CFEHA) require that jurisdictions make reasonable accommodations to afford disabled persons the equal opportunity to use and enjoy a dwelling. In consideration of the special need and the potential benefit that can be accomplished with a requested modification, deviations to development regulations and/or waivers to processing requirements necessary to provide housing for protected classes may be approved through a Process 1 Reasonable Accommodation request. The applicant for the project has submitted a Reasonable Accommodation request in accordance with SDMC section 131.0466 asking the City allow the proposed nursing facilities use on the subject site. City Staff has determined special needs and a potential benefit can be accomplished with the request as the use would afford disabled persons an equal opportunity to use and live on the site. Therefore staff has approved the Reasonable Accommodation request allowing a nursing facility on the subject site.

Therefore, the proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The project proposes a 71,630 square-foot nursing facility on a vacant 3.28-acre site located at 14740 Via Fiesta in the AR-1-1 Zone within the Subarea Plan Proposition A Lands. The facility would consist of 64 assisted living units with 74 beds and 24 hour staffing.

Attachment 17
Draft Ordinance with Findings

The Subarea Plan envisions a range and mix of institutional and employment uses that foster appealing and enjoyable neighborhoods and business districts. Institutional uses are intended to provide public and quasi-public facilities that serve the adjacent residential neighborhoods. The plan also calls for a mix of uses and intensity of development to reduce the dependency on private automobiles. The proposed amendment would help implement these goals while providing "senior housing, congregate care for the elderly ...and housing with supportive services." Subsequent to the adoption of the Subarea Plan, the decision was made by the Property Owners Association (POA) of the site not to take title to the parcel designated for a recreation center. Instead, the POA opted to build recreational facilities at other locations within the Subarea Plan, including two 1- to 2-acre parks with playgrounds, one 3-acre enclosed dog park, additional areas improved for picnicking and parking, and walking trail enhancements; none of which were originally provided for in the Subarea Plan. The proposed amendment would not adversely affect the goals of the Subarea Plan as recreational facilities are provided throughout the community. While the Subarea Plan does not provide detailed criteria for the development of a Seniors Center, it included amenities such as a fitness center, assembly room, or similar uses. The site will continue to be designated for Institutional use which includes nursing facilities.

The proposed nursing facility will serve as the residence of a senior population that requires 24 hour nursing care. The proposed residents have limited physical abilities and would be deemed as a protected class under the Fair Housing Amendments Act (FHAA). Surrounding the site is a day care center and single-family homes to the west, single-family and multi-family residential to the east, an elementary school and neighborhood park to the north, and multi-family residential to the south. A nursing facility to address the residence of the existing population in the immediate community is compatible with mix of uses within the community. Additionally, the project is proposing an infill design that will incorporate architectural elements that were carefully designed to add a human scale to the nursing facility and not conflict with the surrounding neighbors. Therefore, the proposed use is appropriate at the proposed location.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

Section 2. CUP No. 908816 is granted to SANTALUZ, LLC, Owner/Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

Section 3. That a full reading of this ordinance is dispensed with prior to its final passage, a written or printed copy having been available to the City Council and the public a day prior to its final passage.

Section 4. This ordinance shall take effect and be in force on the thirtieth day from and after its passage, and no building permits for development inconsistent with the provisions of this

**Attachment 17
Draft Ordinance with Findings**

ordinance shall be issued unless application therefore was made prior to the date of adoption of this ordinance.

APPROVED: JAN GOLDSMITH, City Attorney

By _____

Attorney name

Deputy City Attorney

Initials~

Date~

Or.Dept: INSERT~

Case No.INSERT PROJECT NUMBER~

O-INSERT~

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