



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: December 12, 2013 REPORT NO. PC-13-121

ATTENTION: Planning Commission, Agenda of December 19, 2013

SUBJECT: SPRINT SAN YSIDRO EAST LTE
PROJECT NO. 294037
PROCESS 4

OWNER/
APPLICANT: SAN YSIDRO SCHOOL DISTRICT
SPRINT PCS

SUMMARY

Issue(s): Should the Planning Commission approve a modification to a Wireless Communication Facility (WCF) at 4350 Otay Mesa Road in the San Ysidro Community Plan?

Staff Recommendation:

1. Approve Planned Development Permit (PDP) No. 1094664; and
2. Approve Neighborhood Use Permit (NUP) No. 1030826.

Community Planning Group Recommendation: On April 15, 2013, the project was presented to the San Ysidro Community Planning Group who voted to support the project with a vote of 10-1-0. (Attachment 11).

Environmental Review: This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 11, 2013 and the opportunity to appeal that determination ended October 25, 2013 (Attachment 7).

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: Not applicable.

BACKGROUND

The project site is located at 4350 Otay Mesa Road in the RS-1-7 zone of the San Ysidro Community Planning area. The original permit No. 55458 expires November 19, 2013 and a new application is required to modify and to extend the use of this WCF. Therefore, the project as a whole is reviewed in accordance with the current regulations in place. This WCF is located in the San Ysidro School District headquarters with Interstate-805 to the west, existing landscaping to the north and to the east and existing school buildings to the south. The primary intended coverage objective for the project is for the residential uses to the northeast and commuters traveling on Interstate 805.

DISCUSSION

Project Description: This WCF consists of a total of six antennas (three currently proposed and three for the future), three new Remote Radio Head units, and equipment installation within the existing Sprint compound. In an effort to improve the appearance of this first generation mono-elm, the mounting standoff arms will be reduced to 8-inches from 24-inches and the width of the mounting arms will be reduced to 36-inches from 60-inches. Additionally, the total amount antennas will also be reduced from nine to six. As a result of these modifications, the mono-elm's appearance will be significantly improved to represent a more realistic tree appearance.

The proposed equipment modification consists of the installation of one new junction box inside the enclosure and the installation of one hybriflex conduit to and from the mono-elm. No exterior changes are being proposed to the existing Sprint prefabricated enclosure. WCFs on premises containing a nonresidential use within a residential zone where the antennas are more than 100-feet away from residential uses, day cares, and elementary and middle school uses requires a Neighborhood Use Permit (NUP) pursuant to Land Development Code Section 141.0420(d)(2). However, as designed the mono-elm is above the required 30-foot height limit pursuant to the RS-1-7 zone and requires a height deviation that can be processed as a Planned Development Permit (PDP). Both the NUP and the PDP shall be processed as a consolidated Process 4, Planning Commission decision.

Community Plan Analysis: The project location has been designated for undeveloped, undevelopable natural areas in the San Ysidro Community Land Use Plan (Attachment 2). The San Ysidro Community Land Use Plan does not contain specific policies on wireless communication facility development.

General Plan: The General Plan, Section UD-A.15, states that WCF should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The proposed improvements to this existing mono-elm will be aesthetically pleasing and respectful of the neighborhood context. Measures have been taken to significantly improve the appearance of this first generation mono-elm design. For instance, the total number of antennas associated with this WCF will be reduced from the initial approval of nine to six. The configuration of the antennas was also adjusted so that they are mounted closer to the mono-elm. Finally, antenna socks will be installed on each antenna consistent with any new faux tree designs. Based on past experience, these proposed camouflaging techniques will help effectively screen the antennas and the associated mounting

brackets from public views. The equipment associated with this project will continue to operate inside the existing prefabricated enclosure and behind the existing chain link fence without any exterior changes. Therefore, staff has determined that the WCF as designed, integrates with the surrounding area and is respectful to the surrounding uses.

Conclusion: The proposed WCF has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the Wireless Communication Facilities Regulations Section 141.0420 and the RS-1-7 zone development regulations with the exception of the height limitation. Considering the current surrounding uses and the proposed improvements to the existing design to conceal the antennas, staff has determined that the project as designed is consistent with the General Plan and the San Ysidro Community Plan. Staff recommends that the Planning Commission approve PDP No. 1045959 and NUP No. 1030826.

ALTERNATIVE

1. **Approve** Planned Development Permit No. 1094664 and Neighborhood Use Permit No. 1030826 **with modifications.**
2. **Deny** Planned Development Permit No. 1094664 and Neighborhood Use Permit No. 1030826, **if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.**

Respectfully submitted,



Mike Westlake
Acting Deputy Director
Development Services Department



Simon Tse
Project Manager
Development Services Department

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Plans
9. Photosimulations
10. Photo Survey
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement

13. Project Chronology
14. Public Notice of Planning Commission Hearing
15. Justification Letter
16. Coverage Map

Rev 01-06/11 hmd



Aerial Photo

Sprint San Ysidro East LTE - Project No. 294037
4350 Otay Mesa Road, San Diego, CA 92173

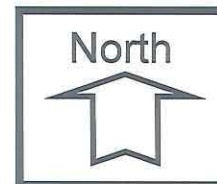


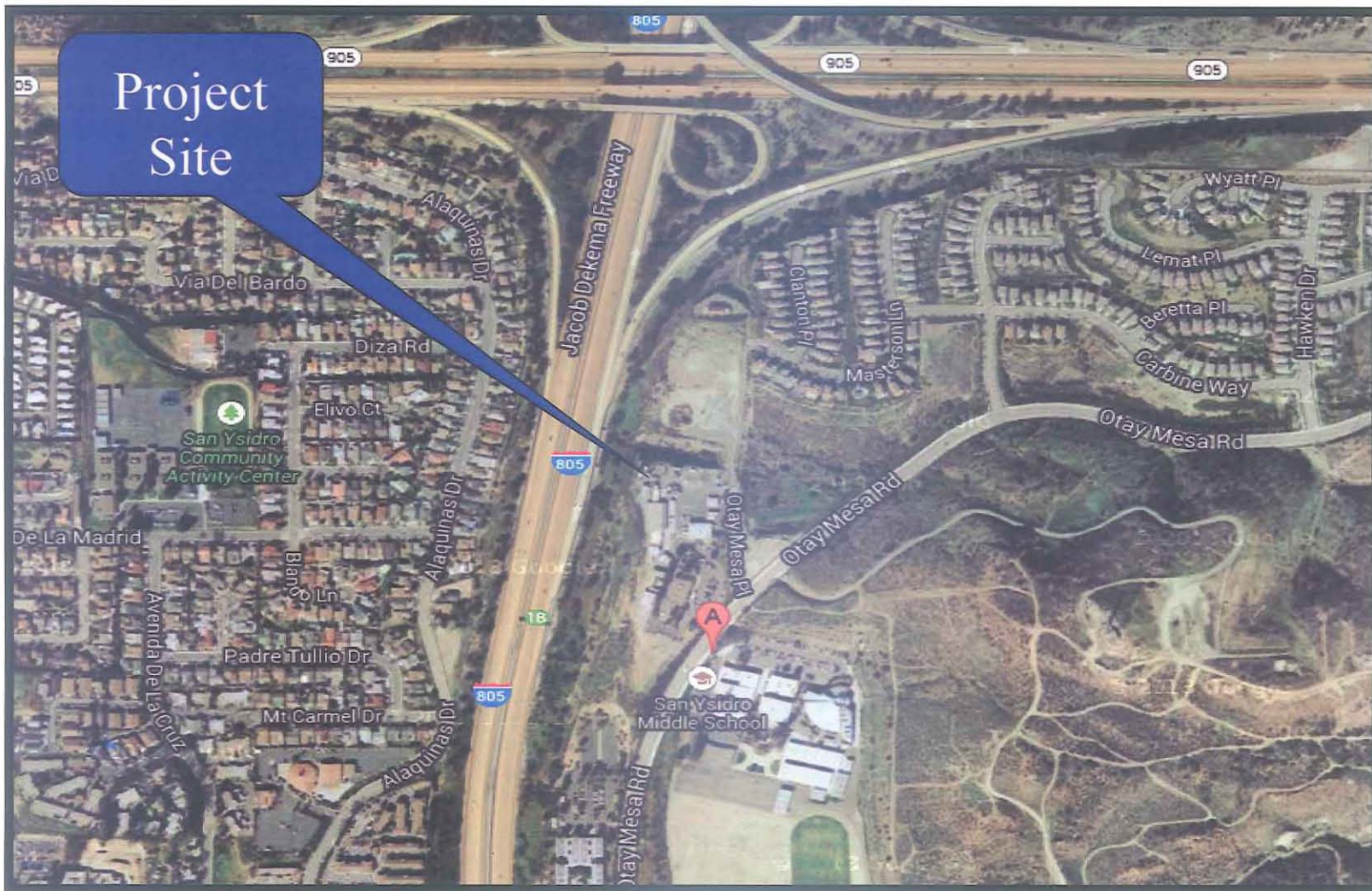
ATTACHMENT 1



Community Land Use Map (San Ysidro)

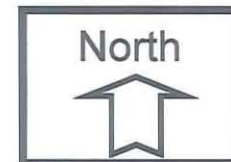
Sprint San Ysidro East LTE - Project No. 294037
4350 Otay Mesa Road, San Diego, CA 92173





Project Location Map

Sprint San Ysidro East LTE - Project No. 294037
4350 Olay Mesa Road, San Diego, CA 92173



PROJECT DATA SHEET				
PROJECT NAME:	Sprint San Ysidro East LTE			
PROJECT DESCRIPTION:	A modification to an existing Sprint Wireless Communication Facility located at 4350 Otay Mesa Road. This project consists of six antennas on an existing 35-foot tall mono-elm with modifications. The equipment associated with this project is located inside a 184-square foot prefabricated equipment enclosure. The project requires a Neighborhood Use Permit pursuant to Land Development Code Section 141.0420(d)(2). Additionally, a Planned Development Permit is required for the deviation to continue to operate above the RS-1-7 30-foot height limit. These permits shall be processed as a consolidated Process 4, Planning Commission decision.			
COMMUNITY PLAN AREA:	San Ysidro			
DISCRETIONARY ACTIONS:	Neighborhood Development Permit & Planned Development Permit			
COMMUNITY PLAN LAND USE DESIGNATION:	Undeveloped			
ZONE: RS-1-7				
<table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> Requirements: HEIGHT LIMIT: 30-feet FRONT SETBACK: 15-feet SIDE SETBACK: 25-feet REAR SETBACK: 13-feet </td> <td style="width: 50%; vertical-align: top;"> Existing: Height Limit: 35-feet FRONT SETBACK: No change SIDE SETBACK: No change REAR SETBACK: No change </td> </tr> </table>			Requirements: HEIGHT LIMIT: 30-feet FRONT SETBACK: 15-feet SIDE SETBACK: 25-feet REAR SETBACK: 13-feet	Existing: Height Limit: 35-feet FRONT SETBACK: No change SIDE SETBACK: No change REAR SETBACK: No change
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ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE		
NORTH:	RS-1-7	Undeveloped		
SOUTH:	RS-1-7	San Ysidro School District Headquarters		
EAST:	AR-1-1	San Ysidro Middle School		
WEST:	RS-1-7	Interstate-805		
DEVIATIONS OR VARIANCES REQUESTED:	Sprint is requesting a deviation to continue to operate above the 30-foot height limit within the RS-1-7 zone with an existing 35-foot tall mono-elm.			
COMMUNITY PLANNING GROUP RECOMMENDATION:	The project was presented to the San Ysidro Community Planning Group on April 16, 2013, who recommended approval of this project with a vote of 10-1-0.			

PLANNING COMMISSION
RESOLUTION NO.
PLANNED DEVELOPMENT PERMIT NO. 1094664
NEIGHBORHOOD USE PERMIT NO. 1030826
SPRINT SAN YSIDRO EAST LTE PROJECT NO. 294037

WHEREAS, San Ysidro School District, Owner and Sprint Permittee, filed an application with the City of San Diego to modify an existing Wireless Communication Facility (WCF) that consists of six antennas on a 35-foot tall mono-elm. The antennas associated with this modification will all be reconfigured and installed on shorter mounting arms with newly proposed antenna socks. The project also includes the installation of one junction box inside the prefabricated equipment enclosure and one hybridflex conduit routed to and from the mono-elm (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Planned Development Permit No. 1094664 and Neighborhood Use Permit No. 1030826).

WHEREAS, the project site is located at 4350 Otay Mesa Road in the RS-1-7 zone of the San Ysidro Community Planning area;

WHEREAS, the project site is legally described as that portion of Section 36, Township 18 South, Range 2 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to official plat thereof;

WHEREAS, on December 19, 2013, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1094664 and Neighborhood Use Permit No. 1030826 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 11, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15301 (Existing Facilities) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated December 19, 2013.

FINDINGS:

Findings for Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego General Plan recommends that all WCF minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these facilities be aesthetically pleasing and respectful to the neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The proposed modification to the existing Sprint WCF would result in

fewer antennas (from a total of nine to six) with the addition of antenna socks comparable to any new faux tree designs. The mounting brackets will also be reduced and will allow the existing branches on the mono-elm to effectively screen the antennas and the associated mounting brackets from public views. The equipment modification will occur within the existing Sprint compound with no exterior changes. The combination of using camouflaging and screening techniques to hide and blend the antennas and equipment into the surrounding area is consistent with the General Plan's recommendation pursuant to Section UD-A.15. Overall, the proposed modification is aesthetically pleasing and respectful of the neighborhood context. The project meets all applicable regulations and policy documents with the exception to the 30-foot height limitation for the RS-1-7 zone. The proposed 35-foot tall mono-elm is surrounded by other similar size trees and is consistent with the recommended land use, the purpose and intent of the design guidelines, and development standards in effect for this site per WCF regulations, the development regulations and the General Plan. Therefore, the proposed development would not adversely affect the applicable land use.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A statement has been included on the plans indicating that the WCF complies with federal standards for radio frequency in accordance with Telecommunication Act of 1996 and subsequent amendments and any other requirements imposed by state or federal regulatory agencies. The Permittee submitted a Radio Frequency Study to ensure that the FCC standards are being met.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The WCF has been designed to comply with the regulations of the Land Development Code Sections 131.0401 and 141.0420 with exception to the 30-foot height limit required by the RS-1-7 zone. Nevertheless, the proposed WCF modification would result in fewer antennas, going from nine to six with newly proposed antenna socks comparable to any new faux tree designs. The antennas will also be located on a new mounting arm which will be reduced to 8-inches from the face of the mono-elm. This will allow the existing and replacement branches to cover a greater portion of the antennas and therefore effectively concealing the antennas from the public views. These modifications would significantly improve the overall appearance of this first generation mono-elm and is the reason why staff can support the proposed height deviation. The deviation to continue to operate above the 30-foot height limit with a 35-foot tall mono-elm is appropriate considering the site is located within an area surrounded by other mature trees at a similar if not greater height. The associated prefabricated equipment enclosure is setback significantly from Otay Mesa Place and Otay Mesa Road. The enclosure is also screened by the existing landscaping from Interstate-805 and as designed complies with LDC 141.0420(g)(3). The current locations for the mono-elm and the associated equipment enclosure are considered to be well integrated with

the existing property with reductions to the current visual impacts from the proposed mono-elm modifications.

Findings for Neighborhood Use Permit - Section 126.0205

1. The proposed development will not adversely affect the applicable land use plan;

The City of San Diego General Plan recommends that all WCF minimize visual impacts by concealing wireless facilities in existing structures when possible. It also recommends that these facilities be aesthetically pleasing and respectful to the neighborhood context and to conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures. The proposed modification to the existing Sprint WCF would result in fewer antennas (from a total of nine to six) with the addition of antenna socks comparable to any new faux tree designs. The mounting brackets will also be reduced allowing the existing branches on the mono-elm to effectively screen the antennas and the associated mounting brackets from public views. The equipment modification will occur within the existing Sprint compound with no exterior changes. The combination of using camouflaging and screening techniques to hide and blend the antennas and equipment into the surrounding area is consistent with the General Plan's recommendation pursuant to Section UD-A.15. Overall, the proposed modification is aesthetically pleasing and respectful of the neighborhood context. The project meets all applicable regulations and policy documents with the exception to the 30-foot height limitation for the RS-1-7 zone. The proposed 35-foot tall mono-elm is surrounded by other similar size trees and is consistent with the recommended land use, the purpose and intent of the design guidelines, and development standards in effect for this site per WCF regulations, the development regulations and the General Plan. Therefore, the proposed development would not adversely affect the applicable land use.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A statement has been included on the plans indicating that the WCF complies with federal standards for radio frequency in accordance with Telecommunication Act of 1996 and subsequent amendments and any other requirements imposed by state or federal regulatory agencies. The Permittee submitted a Radio Frequency Study to ensure that the FCC standards are being met.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed modification to the existing first generation 35-foot tall mono-elm has been designed to comply with the applicable regulations of the Land Development Code Sections 131.0401 and 141.0420 with exception to the 30-foot height limit required by the RS-1-7 zone. Consistent with the LDC Section 141.0420(g)(2), the proposed mono-elm modifications will minimize the visual impacts of the wireless communication facilities through integration. This includes the reduction of antennas from nine to six, the installation of antenna socks and

replacement mounting brackets allowing the faux branches to extend and screen the antennas more effectively. Additionally, the existing landscaping has been determined by staff to an appropriate form of integration since the site is surrounded by other mature trees with a similar height. Overall, the proposed modification is aesthetically pleasing and respectful of the neighborhood context and complies with the Land Development Code to the extent possible. This determination is also consistent with the San Ysidro Community Planning Group, who recommended the approval of this project. The height deviation was supported and deemed appropriate in this situation to provide a more realistic tree appearance.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1094664 and Neighborhood Use Permit No. 1030826 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. 1094664 and Neighborhood Use Permit No. 1030826 copy of which is attached hereto and made a part hereof.

Simon Tse
Development Project Manager
Development Services

Adopted on: December 19, 2013

Internal Order No. 24003207

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003207

PLANNED DEVELOPMENT PERMIT NO. 1094664
NEIGHBORHOOD USE PERMIT NO. 1030826
SPRINT SAN YSIDRO EAST LTE PROJECT NO. 294037
PLANNING COMMISSION

This Planned Development Permit No. 1094664 and Neighborhood Use Permit No. 1030826 is granted by the Planning Commission of the City of San Diego to San Ysidro School District, Owner and Sprint, Permittee, pursuant to San Diego Municipal Code [SDMC] Sections 126.0601, 126.0201, 131.0401 and 141.0420. The site is located at 4350 Otay Mesa Road in the RS-1-7 zone of the San Ysidro Community Planning area. The project site is legally described as that portion of Section 36, Township 18 South, Range 2 West, San Bernardino Meridian, in the City of San Diego, County of San Diego, State of California, according to official plat thereof.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner(s) and Permittee for a modification to an existing Wireless Communication Facility (WCF) described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated December 19, 2013, on file in the Development Services Department.

The project shall include:

- a. A modification to an existing mono-elm with six antennas and three Remote Radio Head units, painted to match; and
- b. A deviation to continue to operate above the 30-foot height limit with a 35-foot tall mono-elm; and
- c. Three replacement mounting stand-off arms to extend a maximum of 8-inches and 36-inches in width, painted to match and;
- d. New antenna socks fully covering each antennas and;

- e. A new junction box within the existing 184-square foot prefabricated equipment enclosure and;
- f. Three new hybridflex conduits within the existing underground conduit and;
- g. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **January 4, 2017**.
2. This approval and corresponding use of this site shall **expire on December 19, 2023**. Upon expiration of this approval, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this permit unless the applicant of record files a new application for a facility which will be subject to compliance with all regulations in effect at the time.
3. No later than ninety (90) days prior to the expiration of this approval, the Owner/Permittee may submit a new application to the Development Services Department for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for WCF purposes beyond the permit expiration date. Use of this permit approval beyond the expiration date of this permit is prohibited.
5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.

6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision.

The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

LANDSCAPE REQUIREMENTS:

14. Prior to construction permit issuance, the Permittee shall submit complete landscape and irrigation construction documents, in substantial conformance with Exhibit "A, for approval.
15. All required landscape shall be maintained in a disease, weed, and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.
16. If any required landscape is damaged or removed during demolition or construction, the Permittee shall repair and/or replace in kind and equivalent size per the approved plans to the satisfaction of the Development Services Department within 30 days of damage or Final Landscape Inspection, whichever occurs earlier.
17. The Owner/Permittee shall replace any required planting that dies within 3 years of installation, within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan.

PLANNING/DESIGN REQUIREMENTS:

18. The Owner/Permittee shall not cause or allow the antennas located on the WCF to be different sizes (length, width, or height) than as shown on the stamped approved plans and as listed here: 72" by 11.8" by 7.9".
19. The replacement antennas shall be painted and covered with RF transparent screening leaves to match the mono-elm.
20. The WCF shall conform to the stamped approved plans and approved photosimulations prior to final Telecom Planning Inspection approval.
21. No exposed pipes or mounting apparatus absent antennas shall be present at any time. Mounting pipes shall not be longer than the antennas.

22. All hand-holes shall be covered with bark material to match the monopalm trunk to the satisfaction of the Development Services Department.
23. The branches shall extend a minimum of 24-inches beyond the replacement antennas to the satisfaction of the Development Services Department.
24. All exposed cables, brackets and supports shall be painted to match the faux tree foliage to the satisfaction of the Development Services Department.
25. Faux trees rely on existing and/or proposed trees to integrate with the surroundings. Additional trees may be required, to effectively integrate the faux tree, to the satisfaction of the Development Services Department.
26. Photosimulations for the WCF shall be printed (not stapled) on the construction plans. This helps ensure that the construction team building the project constructs the project in compliance with approved the Exhibit "A."
27. The Owner/Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department. The Owner/Permittee shall be responsible for complying with all State and Federal regulations, as applicable.

INFORMATION ONLY:

- Please note that a **Telecom Planning Inspection Issue** will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at **(619) 687-5984** to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- Per LDC §59.5.0404 Construction Noise (a), It shall be unlawful for any person, between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal holidays as specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington's Birthday, or on Sundays, to erect, construct, demolish, excavate for, alter or repair any building or structure in such a manner as to create disturbing, excessive or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator.
- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on December 19, 2013 and Resolution Number PENDING.

Planned Development Permit No. 1094664
Neighborhood Use Permit No. 1030826
December 19, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

SAN YSIDRO SCHOOL DISTRICT
Permittee

By _____
NAME
TITLE

SPRINT PCS
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

(Check one or both)

TO: RECORDER/COUNTY CLERK
 P.O. Box 1750, MS A-33
 1600 PACIFIC HWY, ROOM 260
 SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
 DEVELOPMENT SERVICES DEPARTMENT
 1222 FIRST AVENUE, MS 501
 SAN DIEGO, CA 92101

____ OFFICE OF PLANNING AND RESEARCH
 1400 TENTH STREET, ROOM 121
 SACRAMENTO, CA 95814

PROJECT NO.: 294037PROJECT TITLE: Sprint San Ysidro East

PROJECT LOCATION-SPECIFIC: The project is located at 4350 Otay Mesa Road San Diego CA, 92173 within the Otay Mesa Community Plan.

PROJECT LOCATION-CITY/COUNTY: San Diego/San Diego

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: A Planned Development Permit and a Neighborhood, Use Permit to modify an existing Wireless Communication Facility (WCF). The project would remove and replace six existing antennas with three proposed antennas and install three RRH units. Modification would be made to an existing 35 foot high mono-elm tree.

NAME OF PUBLIC AGENCY APPROVING PROJECT: City of San Diego

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: Alcatel-Lucent 1815 Central Park, PMB 343 Steamboat Springs, CO 80477.

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
 DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
 EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
 CATEGORICAL EXEMPTIONS: 15301 (EXISTING FACILITY)
 STATUTORY EXEMPTION:

REASONS WHY PROJECT IS EXEMPT: The City of San Diego has determined the project meets the categorical exemption criteria set forth in the CEQA State Guidelines, Sections 15301(b) (existing facilities, public or private utilities), which allows for the licensing and permitting of existing facilities. Since the project would result in minimal changes to remove and replace existing antennas and is consistent with Section 21080.21 the exemption does apply.

LEAD AGENCY CONTACT PERSON: JEFF SZYMANSKI

TELEPHONE: (619) 446-5324

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA

 / SENIOR PLANNER

SIGNATURE/TITLE

CHECK ONE:

SIGNED BY LEAD AGENCY

SIGNED BY APPLICANT

September 25, 2013

DATE

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



NETWORK VISION MMBTS LAUNCH SAN YSIDRO EAST

SD54XC933
MONO-ELM TREE

4350 OTAY MESA ROAD
SAN DIEGO, CA 92173
SAN DIEGO COUNTY
LATITUDE: 32° 33' 49.032" N (32.56362000)
LONGITUDE: 117° 2' 26.159" W (-117.04060000)
SAN DIEGO MARKET

SHEET	DESCRIPTION
T-1	TITLE SHEET
G-1	GENERAL NOTES & SYMBOLS
C-2	SIGNAGE AND NOTES
A-1	SITE PLAN
A-2	ENLARGED SITE PLAN
A-3	EXISTING ENLARGED EQUIPMENT & ANTENNA PLAN
A-4	PROPOSED ENLARGED EQUIPMENT & ANTENNA PLAN
A-5	PROPOSED SOUTH AND EAST ELEVATION
A-6	PROPOSED NORTH AND WEST ELEVATION
A-7	EQUIPMENT & CONSTRUCTION DETAILS
F-1	FIBER PLAN
E-1	SCHEMATIC GROUNDING PLAN
E-2	GROUNDING DETAILS

SHEET INDEX



PROJECT INFORMATION:

NETWORK VISION MMBTS LAUNCH
SAN YSIDRO EAST
SD54XC933
4350 OTAY MESA ROAD
SAN DIEGO, CA 92173
SAN DIEGO COUNTY

ISSUE DATE:

08/20/13

ISSUED FOR:

100% CONSTRUCTION

REVISIONS

REV.	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% CD REVIEW	RLD
0	05/24/12	ISSUED FOR FINAL 90% CD REVIEW	RLD
1	08/27/12	ISSUED FOR 100% CONSTRUCTION	RLD
2	01/24/13	REVISED 100% CONSTRUCTION DRAWINGS	LB
3	05/23/13	REVISED 100% CONSTRUCTION DRAWINGS	RSL
4	08/20/13	REVISED 100% CONSTRUCTION DRAWINGS	LEB

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

LICENSURE:



SHEET TITLE:

TITLE SHEET

SHEET NUMBER:

T-1

REVISION:

4

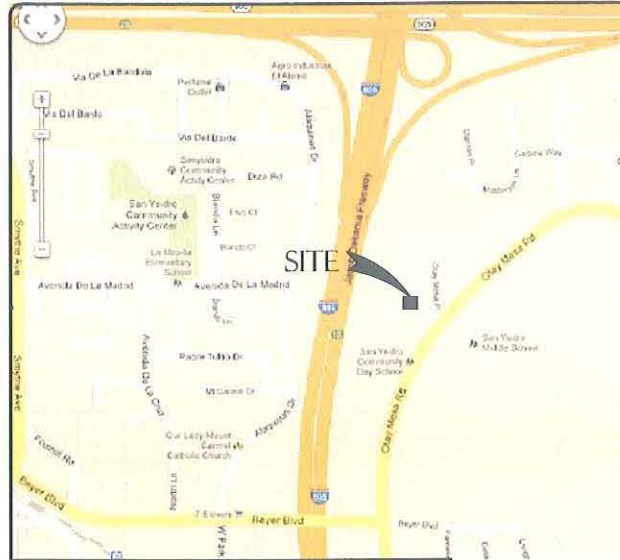
CALIFORNIA STATE CODE COMPLIANCE:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- CALIFORNIA ADMINISTRATIVE CODE (INCL TITLE 24 & 25)
- 2010 CALIFORNIA BUILDING CODE
- CITY/COUNTY ORDINANCES
- BUILDING OFFICIALS & CODE ADMINISTRATORS (BOCA)
- 2010 MECHANICAL CALIFORNIA CODE
- ANSI/EIA-222-F LIFE SAFETY CODE NFPA-101
- 2010 CALIFORNIA PLUMBING CODE
- 2010 CALIFORNIA ELECTRICAL CODE
- 2010 LOCAL BUILDING CODE

ACCESSIBILITY REQUIREMENTS:

FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2010 CALIFORNIA BUILDING CODE.



VICINITY MAP

SPRINT PROPOSES TO MODIFY AN EXISTING UNMANNED TELECOMMUNICATIONS FACILITY

- REMOVE AND REPLACE (6) EXISTING ANTENNAS WITH (3) PROPOSED ANTENNAS.
- INSTALL (3) RRH UNITS.
- EXISTING T-ARMS WILL BE REDUCED TO 3'-0" LONG WITH MOUNTING BRACKETS NO MORE THAN 8" HORIZONTALLY FROM POLE

TOTAL OF (6) ANTENNAS FOR ENTITLEMENT: (3) PROPOSED AND (3) FUTURE ANTENNAS

SEE LEGAL DESCRIPTION ON A-1

PROJECT DESCRIPTION

APPLICANT:

SPRINT PCS
310 COMMERCE
IRVINE, CA 92602

PROPERTY INFORMATION:

LANDLORD: SAN YSIDRO SCHOOL DISTRICT
ADDRESS: 4350 OTAY MESA ROAD
SAN YSIDRO, CA 92173
CONTACT: ASSISTANT SUPERINTENDENT OF BUSINESS
PH: (619) 428-4476

ZONING CLASSIFICATION: RS-1-7

BUILDING CODE: 2010 CBC

CONSTRUCTION TYPE: IIB

OCCUPANCY: S-2

JURISDICTION: CITY OF SAN DIEGO

CURRENT USE: TELECOMMUNICATIONS FACILITY

PROPOSED USE: TELECOMMUNICATIONS FACILITY

PARCEL NUMBER(S):

638-070-69

LEASE AREA:

160 SQ FT.

TYPE OF PERMIT:

PLANNED DEVELOPMENT PERMIT
AND NEIGHBORHOOD USE PERMIT

PROJECT SUMMARY

CODE BLOCK

APPROVAL	SIGNATURE	DATE
PROJECT MANAGER		
CONSTRUCTION MANAGER		
RF ENGINEER		
SITE ACQUISITION		
PLANNING CONSULTANT		
PROPERTY OWNER		
SPRINT REPRESENTATIVE		

SIGNATURE BLOCK

FROM SAN DIEGO INTERNATIONAL AIRPORT:

HEAD WEST ON AIRPORT TERMINAL RD 371 FT
SLIGHT LEFT TO STAY ON AIRPORT TERMINAL RD 0.3 MI
KEEP RIGHT AT THE FORK 443 FT
TURN LEFT ONTO N HARBOR DR 1.4 MI
TURN LEFT ONTO W GRAPE ST 0.4 MI
TAKE THE INTERSTATE 5 S SLIP ROAD 0.2 MI
MERGE ONTO I-5 S 13.1 MI
TAKE EXIT 3 FOR CALIFORNIA 905 E/TOCAYO AVE 0.2 MI
KEEP LEFT AT THE FORK, FOLLOW SIGNS FOR
CA-905 E AND MERGE ONTO CA-905 E
TAKE EXIT 1 FOR BEYER BLVD 0.8 MI
TURN LEFT ONTO BEYER BLVD 0.2 MI
TURN LEFT ONTO OTAY MESA RD 1.5 MI
DESTINATION WILL BE ON THE LEFT 0.2 MI

4350 OTAY MESA RD SAN DIEGO, CA 92173, USA

DRIVING DIRECTIONS

GENERAL NOTES:









































- THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND NETWORK CARRIER OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES AS THEY MAY BE DISCOVERED IN PLANS, DOCUMENTS, NOTES, OR SPECIFICATIONS, PRIOR TO STARTING CONSTRUCTION INCLUDING, BUT NOT LIMITED BY, DEMOLITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY ERROR, OMISSION, OR INCONSISTENCY AT THE START OF CONSTRUCTION WHICH HAS NOT BEEN BROUGHT TO THE ATTENTION OF ARCHITECT AND NETWORK CARRIER CONSTRUCTION PROJECT MANAGER AND SHALL INCUR ANY EXPENSES TO RECTIFY THE SITUATION. THE MEANS OF CORRECTING ANY ERROR SHALL FIRST BE APPROVED BY NETWORK CARRIER CONSTRUCTION PROJECT MANAGER.
- PRIOR TO THE SUBMISSION OF BIDS, CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE TO FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT. CONTRACTORS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, AND THE CONTRACTOR HAVING BEEN AWARDED THIS PROJECT, SHALL VISIT THE CONSTRUCTION SITE WITH THE CONSTRUCTION CONTRACT DOCUMENTS TO VERIFY FIELD CONDITIONS AND CONFIRM THAT THE PROJECT WILL BE ACCOMPLISHED AS SHOWN. PRIOR TO PROCEEDING WITH CONSTRUCTION, ANY ERRORS, OMISSIONS, OR DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER VERBALLY AND IN WRITING.
- THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE NETWORK CARRIER PROJECT SCOPE AND THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.
- 11X17 COPIES OF DRAWINGS ARE NOT TO BE SCALED DUE TO DISTORTIONS RESULTING FROM MULTIPLE REPROGRAPHIC COPIES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALES SHOWN ON PLANS.
- OWNER, CONTRACTOR, AND NETWORK CARRIER REPRESENTATIVE SHALL REVIEW AND CONFIRM THAT PROJECT SCOPE, DESIGN INTENT AND UTILITY COORDINATION ITEMS ARE INCLUDED IN THE DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION FROM NETWORK CARRIER REPRESENTATIVE TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL PERFORM WORK DURING OWNER'S PREFERRED HOURS TO AVOID DISTURBING NORMAL BUSINESS OR TENANTS.
- THE CONTRACTOR SHALL PROVIDE NETWORK CARRIER PROPER INSURANCE CERTIFICATES NAMING NETWORK CARRIER AS ADDITIONAL INSURED, AND PROVIDE NETWORK CARRIER PROOF OF LICENSE(S) INCLUDING PE & PD INSURANCE.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
- ALL WORK PERFORMED ON THE PROJECT ALONG WITH ALL MATERIALS INSTALLED, SHALL COMPLY IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL LIKEWISE ISSUE NOTICE TO ALL SUB-CONTRACTORS THAT THEY SHALL COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPALITY, UTILITY COMPANY AND LOCAL/STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.
- A COPY OF THE GOVERNING AGENCY ISSUED AND APPROVED PLANS SHALL BE KEPT IN A PLACE SPECIFIED BY THE GOVERNING AGENCY, AND BY LAW, SHALL BE AVAILABLE AT THE JOB SITE FOR INSPECTION AT ALL TIMES. THE ORIGINAL PERMIT SET PLANS ARE NOT TO BE USED BY THE WORKMEN. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION AS GOVERNING AGENCY APPROVED PLANS. THE CONTRACTOR SHALL ALSO MAINTAIN ONE SET OF PLANS, IN GOOD CONDITION, COMPLETE WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES UNDER THE DIRECT CARE OF THE SUPERINTENDENT. THE CONTRACTOR SHALL SUPPLY THE NETWORK CARRIER CONSTRUCTION PROJECT MANAGER WITH A COPY OF ALL REVISIONS, ADDENDA, AND/OR CHANGE ORDERS AT THE CONCLUSION OF THE WORK AS A PART OF THE AS-BUILT DRAWING RECORDS.
- THE STRUCTURAL COMPONENTS OF ADJACENT CONSTRUCTION OR FACILITIES ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL STUDY THE STRUCTURAL, ELECTRICAL, MECHANICAL, AND PLUMBING PLANS AND CROSS CHECK THEIR DETAILS, NOTES, DIMENSIONS, AND ALL REQUIREMENTS PRIOR TO THE START OF ANY WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE JOB SITE WHILE WORK IS IN PROGRESS UNTIL THE JOB IS COMPLETE.
- THE CONTRACTOR HAS THE RESPONSIBILITY OF LOCATING ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THE PLANS, ALONG WITH PROTECTING THEM FROM DAMAGE. THE CONTRACTOR AND SUBCONTRACTOR SHALL BEAR THE EXPENSES OF REPAIR AND/OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGE RESULTING FROM OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF THE WORK.
- ALL EXISTING CONSTRUCTION, EQUIPMENT, AND FINISHES NOTED TO BE REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND WILL BE REMOVED FROM THE SITE WITH THE FOLLOWING EXCEPTIONS:
 - PROPERTY NOTED TO BE RETURNED TO THE OWNER.
 - PROPERTY NOTED TO BE REMOVED BY THE OWNER.
- THE GOVERNING AGENCIES, CODE AUTHORITIES, AND BUILDING INSPECTORS SHALL PROVIDE MINIMUM STANDARDS FOR CONSTRUCTION TECHNIQUES, MATERIALS, AND FINISHES USED THROUGHOUT THE PROJECT. TRADE STANDARDS AND/OR PUBLISHED MANUFACTURERS SPECIFICATIONS MEETING OR EXCEEDING DESIGN REQUIREMENTS SHALL BE USED FOR INSTALLATION.
- WHEN ROOF TOP OR TOP FLOOR DECK TEMPORARY STAGING OF IS REQUIRED, MATERIALS SHALL BE EVENLY DISTRIBUTED OVER ROUGH FRAMED FLOORS OR ROOFS SO AS NOT TO EXCEED THE DESIGNED LIVE LOADS FOR THE STRUCTURE. TEMPORARY SHORING AND/OR BRACING IS TO BE PROVIDED WHERE THE STRUCTURE DOESN'T HAVE THE DESIGN STRENGTH FOR ADDITIONAL LOADING.
- SEAL ALL PENETRATIONS WITHIN FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THE SUBJECT FACILITY AND OR PROJECT SITE.
- BUILDING INSPECTORS AND/OR OTHER BUILDING OFFICIALS ARE TO BE NOTIFIED PRIOR TO ANY GROUND DISTURBANCE, CONSTRUCTION, AND ANY OTHER PROJECT EFFORT AS MANDATED BY THE GOVERNING AGENCY.
- CONTRACTOR TO PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF PROJECT AREA DURING CONSTRUCTION.
- CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, AND CURBING, DURING CONSTRUCTION. UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ADJACENT TO THE PROPERTY.

- CONTRACTOR SHALL KEEP GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION, DISPOSING OF ALL DIRT, DEBRIS, AND RUBBISH. CONTRACTOR SHALL REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OR PREMISES. SITE SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
- NEW CONSTRUCTION INSTALLED ADJACENT EXISTING BUILDINGS OR CONSTRUCTION SHALL ARCHITECTURALLY MATCH THE EXISTING IN TERMS OF COLOR, TEXTURE, FINISH MATERIALS, ETC., EXCEPT AS NOTED IN THE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BACKING, BLOCKING, AND/OR OTHER ANCHORAGE DEVICES REQUIRED FOR THE INSTALLATION OF FIXTURES, MECHANICAL EQUIPMENT, PLUMBING, HARDWARE, AND FINISH ITEMS TO INSURE A PROPER AND CODE COMPLIANT INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING INSTALLATIONS THAT ARE CONSTRUCTED LEVEL, ERRECT, EVENLY ALIGNED, PLUMB AND TRUE BASED ON THE CONSTRUCTION DRAWINGS. THE CONTRACTOR SHALL COMPARE EXISTING CONDITIONS WITH THE PROPOSED DESIGN PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES OR INCONSISTENCIES TO THE NETWORK CARRIER'S REPRESENTATIVE AND FURTHER TO THE A&E SUCH THAT THE NEW INSTALLATION WILL LIKEWISE BE LEVEL, ERRECT, EVENLY ALIGNED, PLUMB AND TRUE. NETWORK CARRIER SHALL BE NOTIFIED OF ANY ERRORS, OMISSIONS, OR INCONSISTENCIES PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR IS TO PROVIDE PROTECTION FOR ADJOINING PROPERTIES FROM PHYSICAL HARM, NOISE, DUST, DIRT, AND FIRE AS REQUIRED BY THE GOVERNING AGENCIES.
- WHERE SPECIFIED, MATERIALS TESTING SHALL BE TO THE LATEST STANDARDS AND/OR REVISIONS AVAILABLE AS REQUIRED BY THE GOVERNING AGENCY RESPONSIBLE FOR RECORDING THE RESULTS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE STORAGE OF ALL MATERIALS AND SHALL NOT STORE OR STAGE MATERIALS ON PUBLIC PROPERTY WITHOUT A PERMIT TO DO SO FROM THE GOVERNING AGENCIES FOR THIS PURPOSE.
- GENERAL NOTES AND STANDARD DETAILS ARE THE MINIMUM REQUIREMENTS TO BE USED IN ALL CONDITIONS UNLESS ILLUSTRATED AND NOTED OTHERWISE.
- TRADES INVOLVED IN THE PROJECT SHALL BE RESPONSIBLE FOR THEIR OWN CUTTING, FITTING, PATCHING, ETC., SO AS TO BE PREPARED PROPERLY BY THE WORK OF OTHER TRADES.
- ALL DEBRIS AND REFUSE SHALL BE REMOVED FROM THE PROJECT PREMISES AND LEFT IN A CLEAN SWEEP CONDITION AT ALL TIMES BY EACH TRADE AS THEY PERFORM THEIR OWN PORTION OF THE WORK.
- NETWORK CARRIER DOES NOT GUARANTEE ANY PRODUCTS, FIXTURES, AND/OR ANY EQUIPMENT NAMED BY A TRADE OR MANUFACTURER. GUARANTEE OR WARRANTY THAT MAY BE IN EFFECT IS DONE THROUGH THE COMPANY OR MANUFACTURER PROVIDING THE PRODUCT, FIXTURE, AND/OR EQUIPMENT UNLESS SPECIFIC RESPONSIBILITY IS ALSO PROVIDED BY THE CONTRACTOR/SUBCONTRACTOR IN WRITTEN FORM.
- CAUTION! CALL BEFORE YOU DIG! BURIED UTILITIES EXIST IN THE AREA AND UTILITY INFORMATION SHOWN MAY NOT BE COMPLETE. CONTACT THE ONE-CALL UTILITY LOCATE SERVICE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION.
- WHEN APPLICABLE, CONTRACTOR IS RESPONSIBLE TO CALL, COORDINATE AND MAKE ARRANGEMENTS FOR R.O.W. AND/OR PRIVATE PROPERTY LOCATES BASED ON SPECIFIC SITE REQUIREMENTS.
- SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION.
- CONTRACTORS TO DOCUMENT ALL WORK PERFORMED WITH PHOTOGRAPHS AND SUBMIT TO NETWORK CARRIER'S REPRESENTATIVE ALONG WITH REDLINED CONSTRUCTION SET.
- CONTRACTOR SHALL DOCUMENT ALL CHANGES MADE IN THE FIELD BY MARKING UP (REDLINING) THE APPROVED CONSTRUCTION SET AND SUBMITTING THE REDLINED ALONG WITH PHOTOGRAPHS PER NETWORK CARRIER REQUIREMENTS.
- GENERAL CONTRACTOR SHALL COORDINATE AND SEEK APPROVAL OF ALL POWER DRAW, INSTALLATION AND/OR MODIFICATIONS WITH POWER COMPANY, OWNER AND JURISDICTION AS REQUIRED. CONTRACTOR SHALL REPORT POWER INSTALLATION SOLUTION(S) TO NETWORK CARRIER REPRESENTATIVE, PROJECT CONSTRUCTION MANAGER AND ARCHITECT.
- ANY SUBSTITUTIONS OF MATERIALS AND/OR EQUIPMENT, MUST BE APPROVED BY NETWORK CARRIER CONSTRUCTION MANAGER.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REMEDY ALL FAULTY, INFERIOR, AND/OR IMPROPER MATERIALS, DAMAGED GOODS, AND/OR FAULTY WORKMANSHIP FOR ONE (1) YEAR AFTER THE PROJECT IS COMPLETE ACCEPTING UNDER THIS CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR. EXCEPTION: THE ROOFING SUBCONTRACTOR SHALL FURNISH A MAINTENANCE AGREEMENT FOR ALL WORK DONE, COSIGNED BY THE GENERAL CONTRACTOR, TO MAINTAIN THE ROOFING IN A WATERTIGHT CONDITION FOR A PERIOD OF TWO (2) YEARS STARTING AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE PROJECT, UNLESS OTHERWISE WRITTEN IN THE CONTRACT BETWEEN THE OWNER AND THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION FOR THE SAFETY OF THE OWNER'S EMPLOYEES, AND WORKMEN, AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT.
- THE CONTRACTOR SHALL BE REQUIRED TO PAY FOR ALL NECESSARY PERMITS AND/OR FEES WITH RESPECT TO THE WORK TO COMPLETE THE PROJECT. BUILDING PERMIT APPLICATIONS SHALL BE FILED BY THE OWNER OR HIS REPRESENTATIVE. CONTRACTOR SHALL OBTAIN PERMIT (UNLESS OTHER ARRANGEMENTS HAVE BEEN MADE) AND MAKE FINAL PAYMENT FOR SAID DOCUMENT(S).
- NETWORK CARRIER'S REPRESENTATIVE SHALL REVIEW AND APPROVE SHOP DRAWINGS AND SAMPLES FOR CONFORMANCE WITH DESIGN CONCEPT. NETWORK CARRIER'S REPRESENTATIVE PROJECT APPROVAL OF A SEPARATE ITEM SHALL NOT INCLUDE APPROVAL OF AN ASSEMBLY IN WHICH THE ITEM FUNCTIONS.
- ALL ANTENNAS MOUNTED ON ROOF SUPPORT FRAMES TO BE PROVIDED BY NETWORK CARRIER.
- CONTRACTOR SHALL PROVIDE HEAVY STEEL PLATES AT OPEN TRENCHES FOR SAFETY AND TO PROTECT EXISTING GROUND SURFACES FROM HEAVY EQUIPMENT UTILIZED DURING CONSTRUCTION.
- CONTRACTOR SHALL PATCH AND REPAIR ALL GROUND SURFACES WITHIN THE CONSTRUCTION AREA AS NECESSARY TO PROVIDE A UNIFORM SURFACE AND MAINTAIN EXISTING SURFACE DRAINAGE SLOPES.
- CONTRACTOR SHALL REPLACE EXISTING LANDSCAPE VEGETATION DAMAGED DUE TO CONSTRUCTION ACTIVITIES, AND REPAIR, RESTORE AND MODIFY EXISTING IRRIGATION LINES IF NECESSARY, TO OPERATING CONDITION, PROVIDING FULL COVERAGE TO IMPACTED AREAS.
- IN THE CASE OF ROOFTOP SOLUTIONS FOR EQUIPMENT AND/OR ANTENNA FRAMES WHERE PENETRATION OF EXISTING ROOFING MATERIALS OCCURS, GENERAL CONTRACTOR SHALL COORDINATE WITH BUILDING OWNER TO OBTAIN CONTACT INFORMATION AND UTILIZE THE EXISTING ROOFING CONTRACTOR OF RECORD FOR INSTALLATION, PATCH, REPAIR OR ANY AUGMENTATION TO THE ROOF, AND HAVE THE WORK GUARANTEED UNDER THE ROOFING CONTRACTOR'S EXISTING WARRANTY ENSURING 100% MOISTURE PROTECTION.

CALIFORNIA SPECIFIC CODE COMPLIANCE NOTES:

- WHEN COMPLETED, THE SUBJECT PROJECT SHALL COMPLY WITH LOCAL SECURITY CODES.
- WHEN COMPLETED, THE SUBJECT PROJECT SHALL COMPLY WITH THE CALIFORNIA ENERGY CODE TITLE-24 ENERGY CONSERVATION REQUIREMENTS.
- WHEN GLASS OR GLAZING REPLACEMENT IS A PART OF THE SCOPE OF THE PROJECT, GLASS AND GLAZING SHALL COMPLY WITH CHAPTER 54 OF THE U.S. CONSUMER SAFETY COMMISSION STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS (PER 42 FR 1428, CFR PART 1201 & LOCAL SECURITY REQUIREMENTS).

SYMBOLS:

-  GRID REFERENCE
-  DETAIL REFERENCE
-  ELEVATION REFERENCE
-  SECTION REFERENCE
-  CENTERLINE
-  PROPERTY/LEASE LINE
-  MATCH LINE
-  WORK POINT
-  GROUND CONDUCTOR
-  TELEPHONE CONDUIT
-  ELECTRICAL CONDUIT
-  COAXIAL CABLE
-  OVERHEAD SERVICE CONDUCTORS
-  GROUT OR PLASTER
-  (E) BRICK
-  (E) MASONRY
-  CONCRETE
-  EARTH
-  GRAVEL
-  PLYWOOD
-  SAND
-  WOOD CONTINUOUS
-  WOOD BLOCKING
-  STEEL
-  NEW
-  EXISTING
-  NEW ANTENNA
-  EXISTING ANTENNA
-  GROUND ROD
-  GROUND BUS BAR
-  MECHANICAL GRND. CONN.
-  CADWELD
-  GROUND ACCESS WELL
-  ELECTRIC BOX
-  TELEPHONE BOX
-  LIGHT POLE
-  FND. MONUMENT
-  SPOT ELEVATION
-  SET POINT
-  REVISION



PROJECT INFORMATION:

NETWORK VISION MMBTS LAUNCH I

SAN YSIDRO EAST

SD54XC933

4350 OTAY MESA ROAD
SAN DIEGO, CA 92173
SAN DIEGO COUNTY

ISSUE DATE:

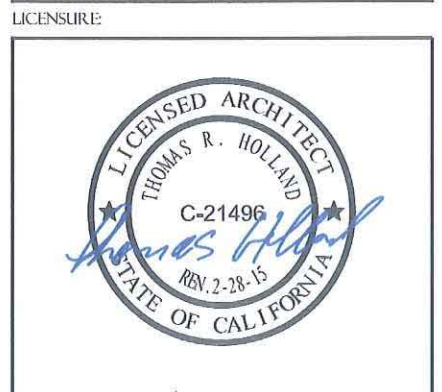
08/20/13

ISSUED FOR:

100% CONSTRUCTION

REVISIONS				
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A	04/13/12	ISSUED FOR 90% CD REVIEW	RLD	
0	05/24/12	ISSUED FOR FINAL 90% CD REVIEW	RLD	
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2	01/24/13	REVISED 100% CONSTRUCTION DRAWINGS	LB	
3	05/23/13	REVISED 100% CONSTRUCTION DRAWINGS	RSL	
4	08/20/13	REVISED 100% CONSTRUCTION DRAWINGS	LEB	

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET



SHEET TITLE:

GENERAL NOTES & SYMBOLS

SHEET NUMBER: G-1

REVISION: 4

BATTERY INFORMATION /NOTES:

BATTERY MFG.: EAST PENN MANUFACTURING
 MODEL No.: 12AVR-145L
 ELECTROLYTE CONTENT PER BATTERY: 2.17 GALLONS
 ELECTROLYTE HAZARD CLASSIFICATION PER '07 C.F.C. (8.7% SULFURIC ACID): CORROSIVE
 No. OF BATTERIES TO BE INSTALLED: 20 MAX.
 TOTAL ELECTROLYTE CONTAINED ON SITE (2.17 x 20 = 43.4): 43.4 GALLONS MAX.

FIRE DEPARTMENT NOTES:

- A. FIRE DEPARTMENT FINAL INSPECTION REQUIRED, SCHEDULE INSPECTION 2 DAYS IN ADVANCE.
- B. A CFC PERMIT TO OPERATE BATTERY SYSTEMS WITH STATIONARY LEAD-ACID BATTERIES IS NOT REQUIRED FOR THE QUANTITIES ON SITE.
- C. A CFC PERMIT MAY BE REQUIRED FOR THE HAZARDOUS MATERIALS ON SITE.
- D. A HAZARDOUS MATERIALS IDENTIFICATION SIGN IS REQUIRED FOR ALL ENTRANCES INTO BATTERY STORAGE AREAS. LETTERS MUST BE AT LEAST 1" IN HEIGHT AND IN A COLOR WHICH CONTRASTS TO THE BACKGROUND OF THE SIGN AND LIST THE FOLLOWING:

CLASS 1 WATER REACTIVE LIQUID
 TOXIC LIQUID
 CORROSIVE LIQUID
 OTHER HEALTH HAZARD LIQUID

- E. AN APPROVED METHOD TO NEUTRALIZE SPILLED ELECTROLYTE SHALL BE PROVIDED IN THE BATTERY ROOM.
- F. BATTERIES SHALL BE PROVIDED WITH SAFETY VENTING CAPS.
- G. LOCATIONS AND CLASSIFICATIONS OF EXTINGUISHERS SHALL BE IN ACCORDANCE WITH THE 2010 CFC AND PLACEMENT IS SUBJECT TO APPROVAL OF THE FIRE INSPECTOR.
- H. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE AND COMPRESSED GASES, AND OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH 2010 CFC REGULATIONS.
- I. EXIT DOORS SHALL BE ABLE TO OPEN FROM THE INSIDE WITHOUT THE USE OF KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- J. ADDRESS NUMBERS SHALL BE A MINIMUM 6 INCHES HIGH AND PLAINLY VISIBLE FROM ROADWAY BUILDING IS ADDRESSED ON.
- K. REQUIRED SIGNAGE SHALL INCLUDE LETTERING HEIGHT OF AT LEAST ONE INCH, IN A COLOR THAT CONTRASTS TO THE SIGN BACKGROUND, AND SHALL BE PROMINENTLY DISPLAYED.
- L. REQUIRED SIGNAGE SHALL INCLUDE, BUT MAY NOT BE LIMITED TO, APPLICABLE TYPES FROM EXAMPLES SHOWN HEREIN (SEE SIGNAGE).

STATIONARY STORAGE BATTERY SYSTEMS CODE COMPLIANCE:

APPLICABLE CODES:
 2010 CFC & 2010 CBC

- A. STATIONARY STORAGE BATTERY SYSTEMS HAVING A LIQUID ELECTROLYTE CAPACITY OF LESS THAN 50 GALLONS, OR A LITHIUM-ION CAPACITY OF 1,000 POUNDS USED FOR FACILITY STANDBY POWER, EMERGENCY POWER OR UNINTERRUPTED POWER SUPPLIES, ARE EXEMPT FROM CONDITIONS OUTLINED PER SEPARATION AND/OR PROTECTION UNDER INCIDENTAL ACCESSORY OCCUPANCIES TABLE 508.2.5 2010 CBC.
- B. STATIONARY STORAGE BATTERY SYSTEMS HAVING AN ELECTROLYTE CAPACITY OF LESS THAN 50 GALLONS (189 L) FOR FLOODED LEAD-ACID, NICKEL CADMIUM (Ni-Cd) AND VALVE-REGULATED LEAD-ACID (VRLA), OR 1,000 POUNDS (454 kg) FOR LITHIUM-ION AND LITHIUM METAL POLYMER, USED FOR FACILITY STANDBY POWER, EMERGENCY POWER OR UNINTERRUPTED POWER SUPPLIES, ARE NOT REQUIRED TO COMPLY TO THE CONDITIONS OUTLINED UNDER BATTERY REQUIREMENTS TABLE 608.1 2010 CFC CHAPTER 6 - BUILDING SERVICES & SYSTEMS SECTION 608 STATIONARY STORAGE BATTERY SYSTEMS.
- C. GC SHALL COMPLY WITH 2010 CFC STATIONARY STORAGE BATTERY SYSTEM SPECIFIC CHAPTER 27 REQUIREMENTS INCLUDING SPILL CONTAINMENT OR MEANS TO RENDER A SPILL HARMLESS TO PEOPLE OR PROPERTY SHALL BE PROVIDED WITH IMPLEMENTATION OF APPROVED SPILL CONTAINMENT SHELVES WITHIN EACH CABINET BATTERY STRING TRAY SYSTEM OR EQUAL SYSTEM.
- D. GC SHALL COMPLY WITH 2010 CFC STATIONARY STORAGE BATTERY SYSTEM SPECIFIC CHAPTER 27 REQUIREMENTS INCLUDING SAFEGUARDS BEING PROVIDED TO MINIMIZE THE RISK OF AND LIMIT DAMAGE FROM A FIRE OR EXPLOSION INVOLVING HAZARDOUS MATERIALS WITH BATTERY SYSTEMS BEING SECURED WITHIN VENTILATED PROTECTIVE STEEL CABINETS WITH FIRMLY SECURED LOCKING ACCESS DOORS.
- E. GC SHALL COMPLY WITH 2010 CFC STATIONARY STORAGE BATTERY SYSTEM SPECIFIC CHAPTER 27 REQUIREMENTS INCLUDING HAZARDOUS MATERIALS WARNING SIGNS REQUIRED FOR LEAD-ACID BATTERY SYSTEMS WITH QUANTITIES OF ELECTROLYTE EXCEEDING THE MINIMUM PERMIT AMOUNT OF 10 GALLONS INCLUDING ELECTROLYTE PERCENTAGE OF OVER 12% OF SULFURIC ACID WITH SIGNAGE PER CFC 608.7.1 & 2703.5 (SEE FIRE DEPARTMENT NOTES).
- F. GC SHALL COMPLY WITH 2010 CFC STATIONARY STORAGE BATTERY SYSTEM SPECIFIC CHAPTER 27 REQUIREMENTS INCLUDING ELECTRICAL WIRING AND EQUIPMENT BEING INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CALIFORNIA ELECTRIC CODE PER CFC 2703.9.4.

BATTERY INFO & FIRE DEPT NOTES 5



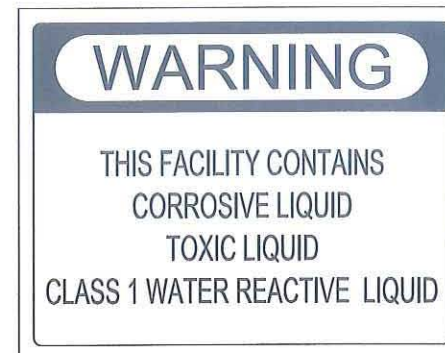
REQUIRED NFPA SIGNAGE

IN CASE OF EMERGENCY
CALL
NOC #1-866-400-6040
SITE NUMBER: SD54XC933
SITE NAME: SAN YSIDRO EAST

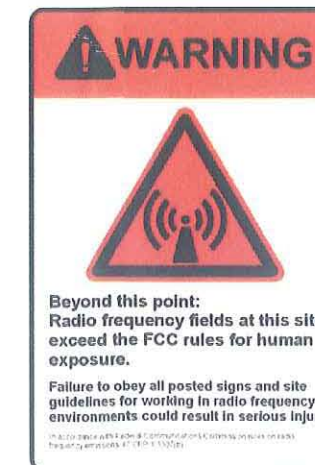
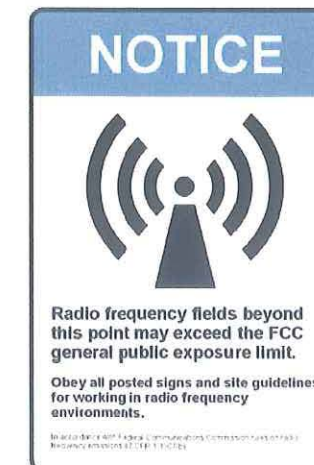
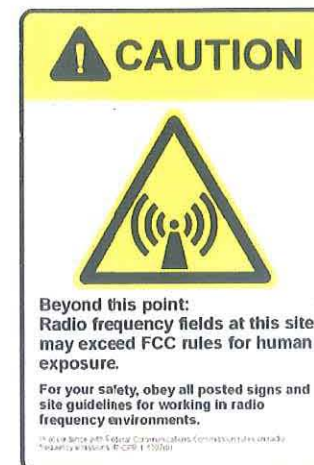
EMERGENCY CONTACT SIGNAGE

SITE IDENTIFICATION SIGNAGE 4

NOT USED 3



HAZARDOUS MATERIAL SIGNAGE 2



RF SIGNAGE 1



PROJECT INFORMATION:

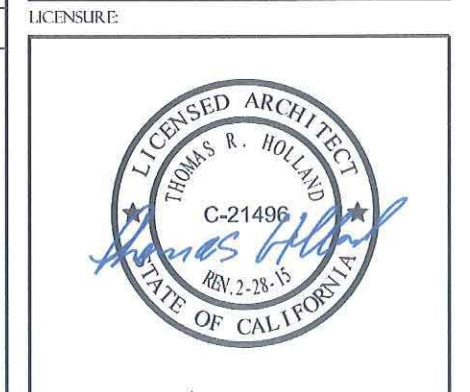
NETWORK VISION MMBITS LAUNCH
SAN YSIDRO EAST
 SD54XC933
 4350 OTAY MESA ROAD
 SAN DIEGO, CA 92173
 SAN DIEGO COUNTY

ISSUE DATE:
 08/20/13

ISSUED FOR:
 100% CONSTRUCTION

REVISIONS			
REV.	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% CD REVIEW	RLD
0	05/24/12	ISSUED FOR FINAL 90% CD REVIEW	RLD
1	08/27/12	ISSUED FOR 100% CONSTRUCTION	RLD
2	01/24/13	REVISED 100% CONSTRUCTION DRAWINGS	LB
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4	08/20/13	REVISED 100% CONSTRUCTION DRAWINGS	LEB

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET



SHEET TITLE:
 SIGNAGE AND NOTES

SHEET NUMBER: G-2 REVISION: 4

NOTES TO CONTRACTOR:

1. REMOVE ALL EXISTING SPRINT COAX AND ANTENNAS FROM SITE.
2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS AND FULLY CONCEALED WITH LEAFY ANTENNA SOCKS.
3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.
4. NO EXPOSED MOUNTING APPARATUS SHALL REMAIN ON A FACADE WITHOUT THE ASSOCIATED ANTENNA.
5. NO GRADING/EXCAVATION IS PROPOSED OR REQUIRED FOR THIS MODIFICATION.
6. STRUCTURAL ANALYSIS TO VERIFY THAT THE EXISTING POLE AND MOUNTS CAN SUPPORT THE PROPOSED ANTENNA LOADING SHALL BE PERFORMED BY OTHERS

GENERAL NOTES:

1. THIS PROJECT IS ON SAN YSIDRO SCHOOL DISTRICT PROPERTY. REVIEW AND APPROVAL OF PLANS PROPOSED IMPROVEMENTS, INCLUDING STORM WATER BMP REQUIREMENTS ARE UNDER THE JURISDICTION OF THE DIVISION OF THE STATE ARCHITECT.
2. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
3. THIS PROJECT PROPOSED NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

ABBREVIATIONS

A/C	AIR CONDITIONING	LBS	POUNDS
AGL	ABOVE GROUND LEVEL	MAX	MAXIMUM
APPROX	APPROXIMATELY	MECH	MECHANICAL
BLDG	BUILDING	MTL	METAL
BLK	BLOCKING	MFR	MANUFACTURE
		MGR	MANAGER
CLG	CEILING	MIN	MINIMUM
CLR	CLEAR	MISC	MISCELLANEOUS
CONC	CONCRETE	NA	NOT APPLICABLE
CONST	CONSTRUCTION	NIC	NOT IN CONTRACT
CONT	CONTINUOUS	NTS	NOT TO SCALE
DBL	DOUBLE	OC	ON CENTER
DIA	DIAMETER	OD	OUTSIDE DIAMETER
DIAG	DIAGONAL	PLYWD	PLYWOOD
DN	DOWN	PROJ	PROJECT
DET	DETAIL	PROP	PROPERTY
DWG	DRAWING	PT	PRESSURE TREATED
EA	EACH	REQ	REQUIRED
ELEV	ELEVATION	RM	ROOM
ELEC	ELECTRICAL	RO	ROUGH OPENING
EQ	EQUAL	RRH	RADIO REMOTE HEAD
EQUIP	EQUIPMENT		
EXT	EXTERIOR	SHT	SHEET
		SIM	SIMILAR
FIN	FINISH	SPEC	SPECIFICATION
FLUR	FLOURESCENT	SF	SQUARE FOOT
FLR	FLOOR	SS	STAINLESS STEEL
FT	FOOT	STL	STEEL
		STRUC	STRUCTURAL
GA	GAUGE	STD	STUD
GALV	GALVANIZED	SUSP	SUSPENDED
GC	GENERAL CONTRACTOR		
GRND	GROUND	THRU	THROUGH
GYP	GYP SUM WALL BOARD	TMA	TOWER MOUNT
		AMP	AMPLIFIER
HORZ	HORIZONTAL	TNG	TINNED
HR	HOUR	TYP	TYPICAL
HT	HEIGHT		
HWAC	HEATING VENTILATION AIR CONDITIONING	UNO	UNLESS NOTED OTHERWISE
		VERT	VERTICAL
ID	INSIDE DIAMETER	VIF	VERIFY IN FIELD
IN	INCH		
INFO	INFORMATION	W/	WITH
INSUL	INSULATION	W/O	WITHOUT
INT	INTERIOR	WP	WATER PROOF
IBC	INTERNATIONAL BUILDING CODE		

LEGEND

---	SUBJECT BOUNDARY LINE	⊗	FIRE HYDRANT
---	RIGHT-OF-WAY CENTERLINE	⊕	GATE VALVE
---	RIGHT-OF-WAY LINE	⊖	WATER METER
---	ADJACENT BOUNDARY LINE	⊙	FIRE STAND PIPE
---	SECTIONAL BREAKDOWN LINE	⊠	CATCH BASIN, TYPE I
---	OVERHEAD POWER LINE	⊡	CATCH BASIN, TYPE II
---	BURIED POWER LINE	⊞	SIGN
---	COAX LINE	⊟	BOLLARD
---	FIBER LINE	⊠	MAIL BOX
---	BURIED GAS LINE	⊡	SPOT ELEVATION
---	OVERHEAD TELEPHONE LINE		
---	BURIED TELEPHONE LINE		
---	BURIED WATER LINE		
---	BURIED SANITARY SEWER		
---	BURIED STORM DRAIN		
---	DITCH LINE/FLOW LINE		
---	ROCK RETAINING WALL		
---	VEGETATION LINE		
---	CHAIN LINK FENCE		
---	WOOD FENCE		
---	BARBED WIRE/WIRE FENCE		
⊠	TRANSFORMER		
⊕	LIGHT STANDARD		
⊖	POWER VAULT		
⊙	UTILITY BOX		
⊠	UTILITY POLE		
⊡	POLE GUY WIRE		
⊞	GAS VALVE		
⊟	GAS METER		
⊠	TELEPHONE VAULT		
⊡	TELEPHONE RISER		

LEGAL DESCRIPTION

ALL THAT CERTAIN PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

THAT PORTION OF SECTION 36, TOWNSHIP 18 SOUTH, RANGE 2 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:

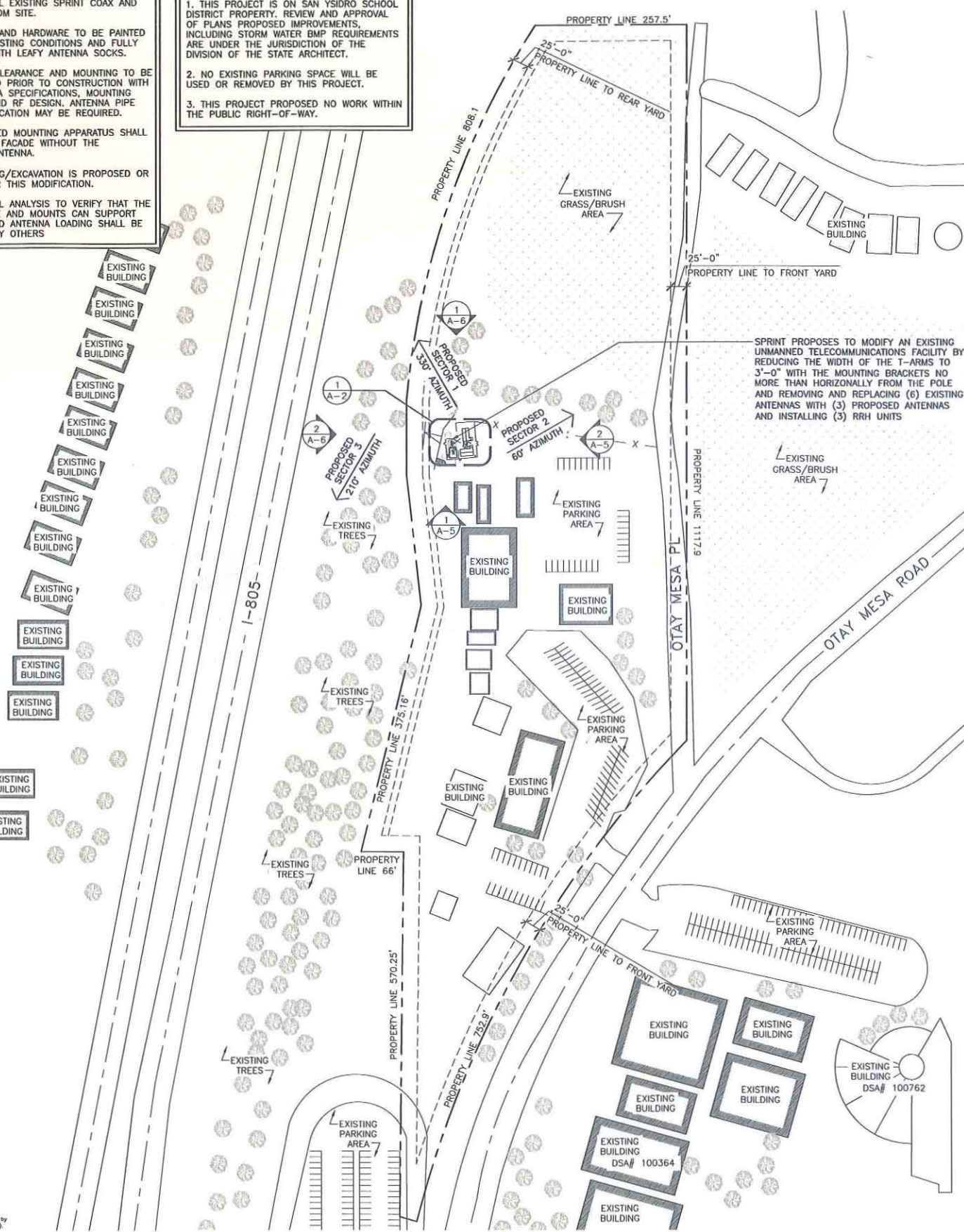
BEGINNING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 36, THENCE ALONG THE NORTH-SOUTH CENTER LINE OF SAID SECTION 36, NORTH 00°42'06" EAST 757.44 FEET TO THE TRUE POINT OF BEGINNING, BEING THE MOST NORTHWESTERLY CORNER OF LAND DESCRIBED IN PARCEL 4 OF A DEED TO THE STATE OF CALIFORNIA, RECORDED JUNE 26, 1972 AS FILE/PAGE NO. 162207 OF OFFICIAL RECORDS, THENCE ALONG THE BOUNDARY OF SAID STATE LAND, ALONG THE NORTHWESTERLY PROLONGATION OF A RADIAL LINE SOUTH 74°35'52" EAST 27.00 FEET TO A POINT ON THE ARC OF A 1830.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY AND NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 27°21'54" A DISTANCE OF 874.02 FEET TO A POINT ON THE EASTERLY LINE OF THE WESTERLY 13 ACRES OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 36, A RADIAL TO SAID POINT BEARS NORTH 47°13'58" WEST, THENCE ALONG SAID EASTERLY LINE, NORTH 00°42'06" EAST 1114.29 FEET TO THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 36, THENCE ALONG SAID NORTH LINE, SOUTH 89°28'55" WEST 246.76 FEET TO A POINT ON THE ARC OF A 1200.00 FOOT RADIUS CURVE, CONCAVE SOUTHEASTERLY, A RADIAL TO SAID POINT BEARS NORTH 56°32'11" WEST, SAID POINT BEING THE NORTHEASTERLY CORNER OF LAND DESCRIBED IN PARCEL 3 OF SAID DEED TO THE STATE OF CALIFORNIA, THENCE ALONG THE ARC OF SAID CURVE AND THE EASTERLY LINE OF SAID PARCEL 3, SOUTHWESTERLY THROUGH A CENTRAL ANGLE OF 32°45'43" A DISTANCE OF 686.16 FEET TO AN INTERSECTION WITH THE NORTH-SOUTH CENTER LINE OF SAID SECTION 36, THENCE ALONG SAID NORTH-SOUTH CENTER LINE, SOUTH 00°42'06" WEST 57.34 FEET TO THE MOST NORTHERLY CORNER OF PARCEL 1 OF SAID STATE DEED, THENCE ALONG THE EASTERLY LINE OF SAID PARCEL 1, SOUTH 05°36'27" EAST, 203.78 FEET AND SOUTH 13°34'22" WEST 48.01 FEET TO THE NORTHERLY CORNER OF OTAY MESA ROAD, (ROAD SURVEY NO. 351), ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR OF SAN DIEGO COUNTY, THENCE ALONG SAID NORTHERLY LINE, SOUTH 87°40'19" WEST 11.60 FEET TO THE NORTH-SOUTH CENTER LINE OF SAID SECTION 36, THENCE ALONG SAID NORTH-SOUTH CENTER LINE, SOUTH 00°42'06" WEST 50.07 FEET TO THE SOUTHERLY LINE OF SAID ROAD SURVEY NO. 351, BEING THE MOST NORTHERLY CORNER OF LAND DESCRIBED IN A DIRECTORS DEED TO EGGER AND OHIO CO., INC., RECORDED OCTOBER 5, 1973 AS FILE/PAGE NO. 73-281939 OF OFFICIAL RECORDS, THENCE ALONG THE WESTERLY LINE OF SAID LAND, SOUTH 13°34'22" WEST 297.36 FEET TO A POINT ON THE SOUTH LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 36, THENCE ALONG SAID SOUTH LINE, SOUTH 89°51'27" EAST 66.24 FEET TO THE CENTER OF SAID SECTION 36, THENCE ALONG THE NORTH-SOUTH CENTER LINE OF SAID SECTION 36, SOUTH 00°42'06" WEST 572.31 FEET TO THE TRUE POINT OF BEGINNING.

EXCEPT THEREFROM THOSE PORTIONS DESCRIBED IN PARCELS 3 AND 5 OF THE ABOVE DESCRIBED DEED TO THE STATE OF CALIFORNIA AND BEING MORE PARTICULARLY DESCRIBED IN PARCELS "A" AND "B":

PARCEL "A": COMMENCING AT THE INTERSECTION OF THE NORTHERLY LINE OF OTAY MESA ROAD, HEREINBEFORE DESCRIBED WITH THE NORTH-SOUTH CENTER LINE OF SAID SECTION 36, THENCE ALONG SAID NORTHERLY LINE NORTH 87°40'00" EAST, 14.40 FEET TO THE TRUE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTHERLY LINE, NORTH 87°40'00" EAST, 80.21 FEET, THENCE LEAVING SAID NORTHERLY LINE, FROM A TANGENT WHICH BEARS SOUTH 87°40'00" WEST, ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 30.00 FEET THROUGH AN ANGLE OF 40°11'32" A DISTANCE OF 21.05 FEET TO A POINT OF REVERSE CURVATURE, THENCE ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 42.00 FEET, THROUGH AN ANGLE OF 93°39'47", A DISTANCE OF 68.66 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL "B": COMMENCING AT THE INTERSECTION OF THE SOUTHERLY RIGHT OF WAY OF OTAY MESA ROAD, HEREINBEFORE DESCRIBED WITH THE NORTH-SOUTH CENTER LINE OF SAID SECTION 36, THENCE ALONG SAID SOUTHERLY RIGHT OF WAY LINE NORTH 87°40'00" EAST, 17.04 FEET TO THE TRUE POINT OF BEGINNING, THENCE CONTINUING ALONG SAID RIGHT OF WAY LINE, NORTH 87°40'00" EAST, 80.21 FEET, THENCE LEAVING SAID RIGHT OF WAY LINE, FROM A TANGENT WHICH BEARS SOUTH 87°40'00" WEST, ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 30.00 FEET, THROUGH AN ANGLE OF 40°11'30" A DISTANCE OF 21.04 FEET TO A POINT OF REVERSE CURVATURE, THENCE ALONG SAID REVERSE CURVE TO THE RIGHT, HAVING A RADIUS OF 42.00 FEET THROUGH AN ANGLE OF 93°39'47", A DISTANCE OF 68.66 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPT THEREFROM THAT PORTION OF THE LANDS FIRST ABOVE DESCRIBED WHICH LIE EASTERLY OF THE NORTH-SOUTH CENTER LINE OF SAID SECTION 36, AN UNDIVIDED ONE-HALF INTEREST IN AND TO ALL OIL, GAS, MINERAL AND HYDROCARBON RIGHTS AND SUBSTANCES IN AND UNDER THE LAND, BUT BENEATH A PLANE 500 FEET BELOW THE SURFACE OF THE LAND, BUT WITHOUT RIGHT OF SURFACE ENTRY AS SET FORTH IN A DEED TO EGGER & OHIO COMPANY, INC., AND RECORDED APRIL 13, 1960 AS FILE/PAGE NO. 76616 AND APRIL 13, 1960 AS FILE/PAGE NO. 76615 BOTH OF OFFICIAL RECORDS.



PROJECT INFORMATION:

NETWORK VISION MMBITS LAUNCH

SAN YSIDRO EAST

SD54XC933

4350 OTAY MESA ROAD
SAN DIEGO, CA 92173
SAN DIEGO COUNTY

ISSUE DATE:

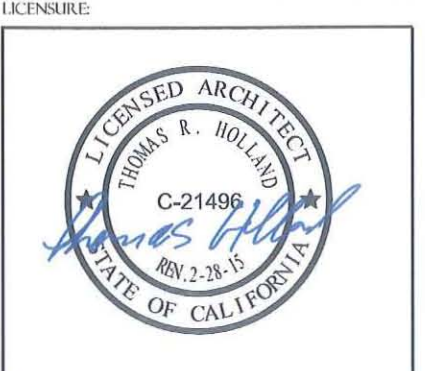
08/20/13

ISSUED FOR:

100% CONSTRUCTION

REVISIONS			
REV.	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% CD REVIEW	RLD
0	05/24/12	ISSUED FOR FINAL 90% CD REVIEW	RLD
1	08/27/12	ISSUED FOR 100% CONSTRUCTION	RLD
2	01/24/13	REVISED 100% CONSTRUCTION DRAWINGS	LB
3	05/23/13	REVISED 100% CONSTRUCTION DRAWINGS	RSL
Δ	08/20/13	REVISED 100% CONSTRUCTION DRAWINGS	LEB

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET



SHEET TITLE:

SITE PLAN

SHEET NUMBER: A-1

REVISION: 4

24"x36" SCALE: 1" = 100'-0"
11"x17" SCALE: 1" = 200'-0"

SITE PLAN | 1



PROJECT INFORMATION:

NETWORK VISION MMBT5 LAUNCH II
SAN YSIDRO EAST
 SD54XC933
 4350 OTAY MESA ROAD
 SAN DIEGO, CA 92173
 SAN DIEGO COUNTY

ISSUE DATE:

08/20/13

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REVISIONS

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4	08/20/13	REVISED 100% CONSTRUCTION DRAWINGS	LEB

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

LICENSURE



SHEET TITLE

ENLARGED SITE PLAN

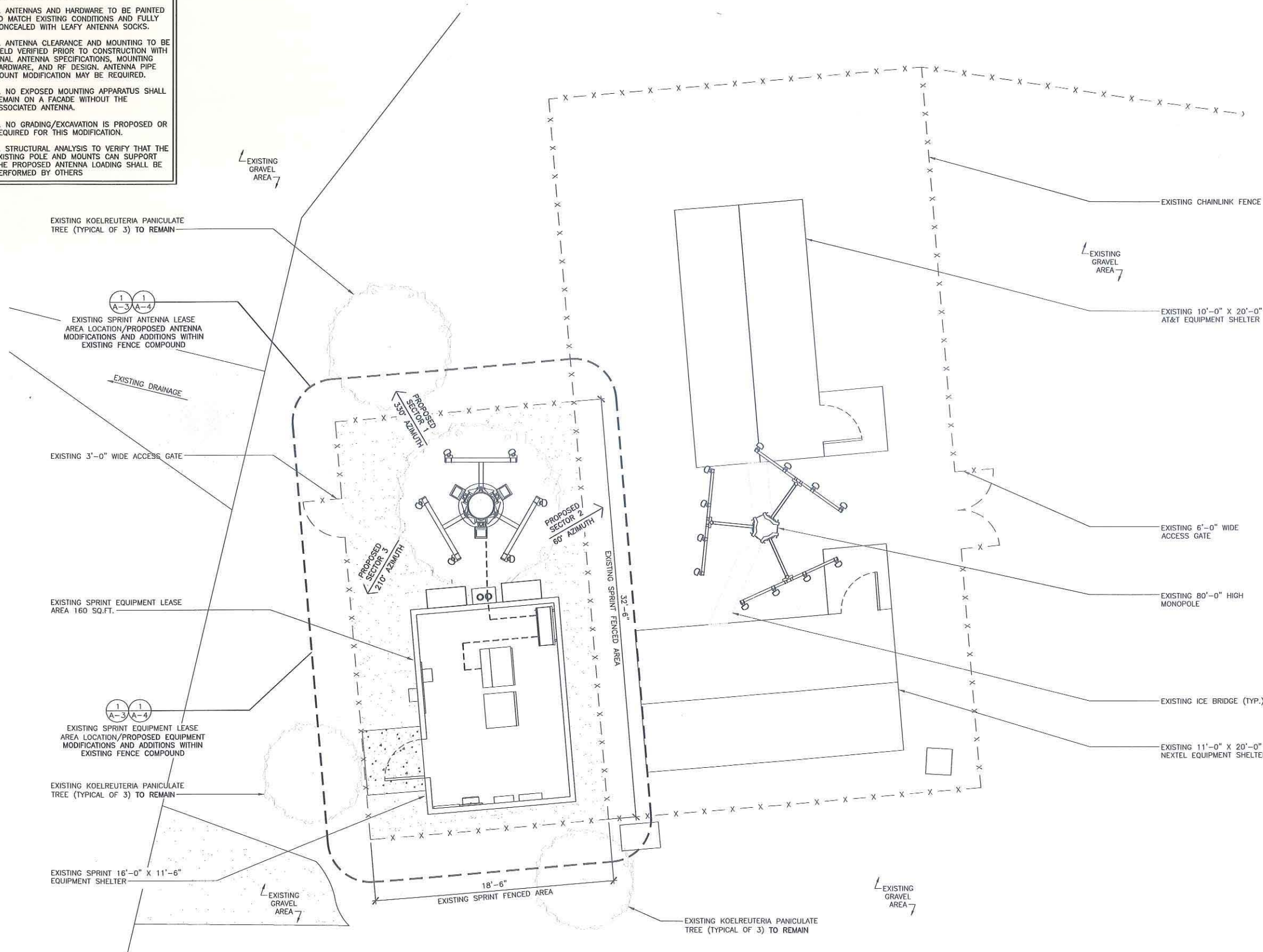
SHEET NUMBER:

A-2

REVISION:

4

- NOTES TO CONTRACTOR:**
1. REMOVE ALL EXISTING SPRINT COAX AND ANTENNAS FROM SITE.
 2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS AND FULLY CONCEALED WITH LEAFY ANTENNA SOCKS.
 3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.
 4. NO EXPOSED MOUNTING APPARATUS SHALL REMAIN ON A FACADE WITHOUT THE ASSOCIATED ANTENNA.
 5. NO GRADING/EXCAVATION IS PROPOSED OR REQUIRED FOR THIS MODIFICATION.
 6. STRUCTURAL ANALYSIS TO VERIFY THAT THE EXISTING POLE AND MOUNTS CAN SUPPORT THE PROPOSED ANTENNA LOADING SHALL BE PERFORMED BY OTHERS



24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"
 4' 3' 2' 1' 0' 4'

ENLARGED SITE PLAN | 1



PROJECT INFORMATION:

NETWORK VISION MMBITS LAUNCH
SAN YSIDRO EAST
 SD54XC933
 4350 OTAY MESA ROAD
 SAN DIEGO, CA 92173
 SAN DIEGO COUNTY

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Δ	08/20/13	REVISED 100% CONSTRUCTION DRAWINGS	LEB

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LICENSURE:



SHEET TITLE:

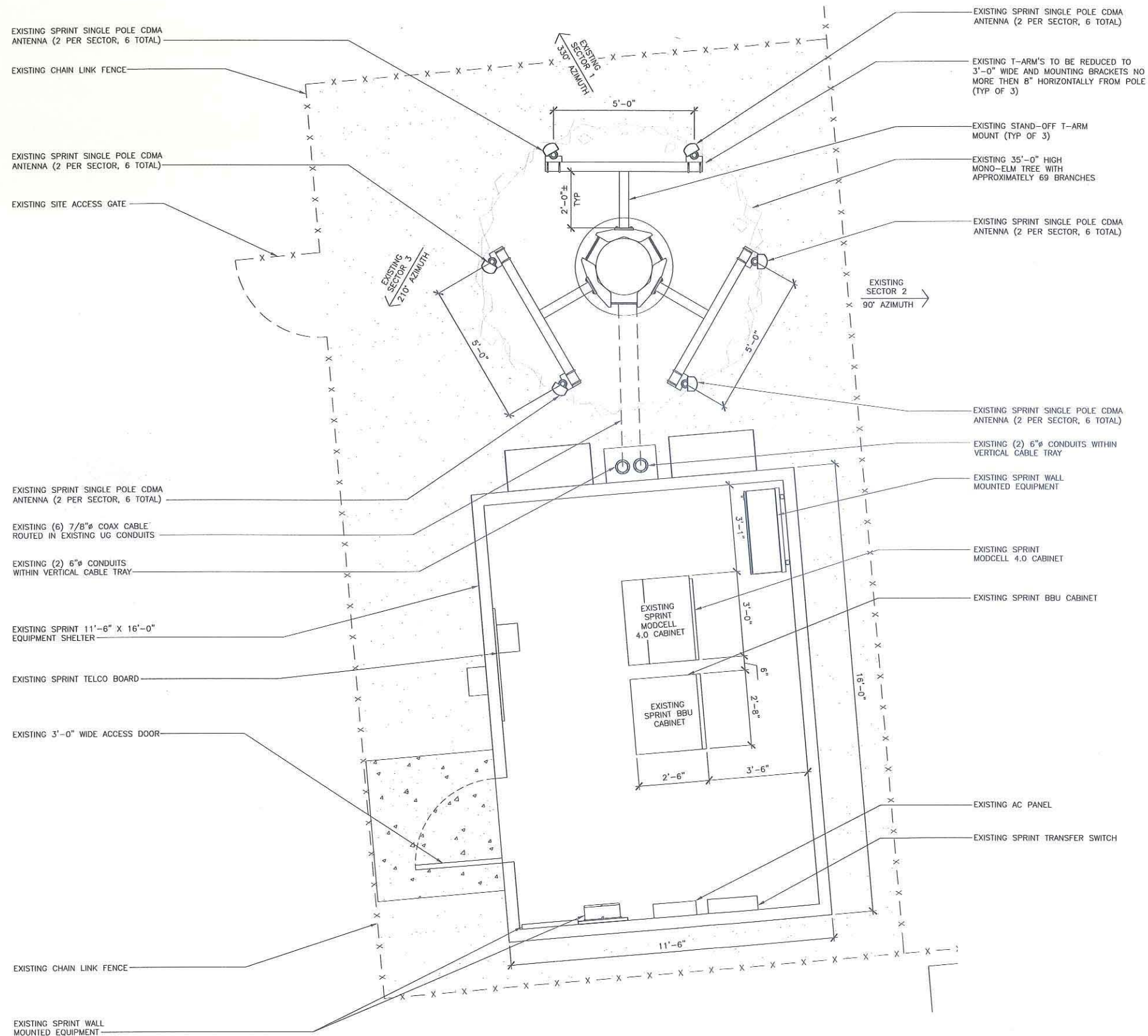
EXISTING ENLARGED EQUIPMENT AND ANTENNA PLAN

SHEET NUMBER:

A-3

REVISION:

4



24"x36" SCALE: 1/2" = 1'-0"
 11"x17" SCALE: 1/4" = 1'-0"

EXISTING ENLARGED EQUIPMENT & ANTENNA PLAN

North to be determined by site survey (if possible).



PROJECT INFORMATION:

NETWORK VISION MMBTS LAUNCH

SAN YSIDRO EAST

SD54XC933

4350 OTAY MESA ROAD
SAN DIEGO, CA 92173
SAN DIEGO COUNTY

ISSUE DATE:

08/20/13

ISSUED FOR:

100% CONSTRUCTION

REVISIONS

REV.	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% CD REVIEW	RLD
0	05/24/12	ISSUED FOR FINAL 90% CD REVIEW	RLD
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Δ	08/20/13	REVISED 100% CONSTRUCTION DRAWINGS	LEB

NOT FOR CONSTRUCTION UNLESS
LABELED AS CONSTRUCTION SET

LICENSURE:



SHEET TITLE:

PROPOSED ENLARGED EQUIPMENT
AND ANTENNA PLAN

SHEET NUMBER:

A-4

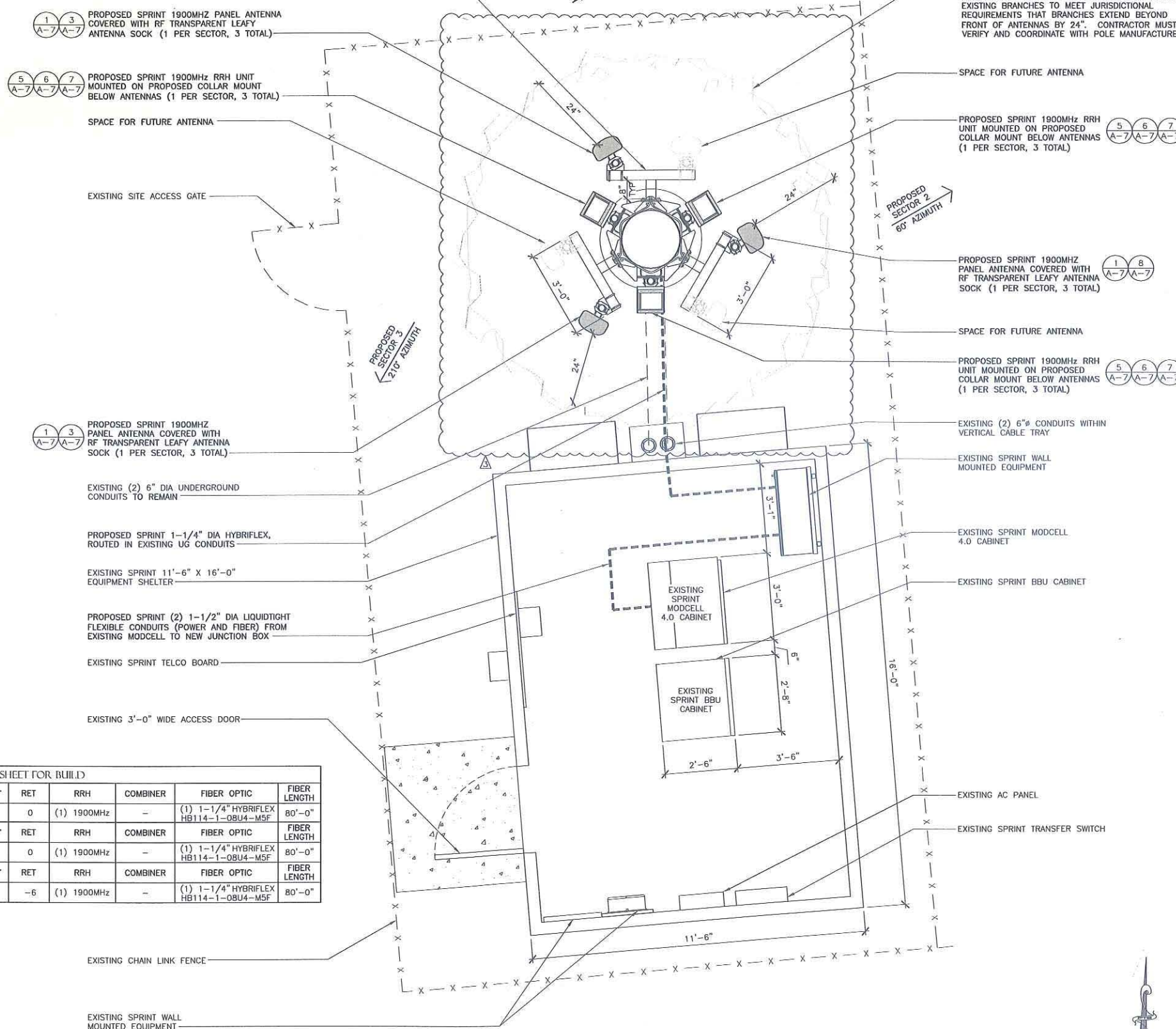
REVISION:

4

NOTES TO CONTRACTOR:

- REMOVE ALL EXISTING SPRINT COAX AND ANTENNAS FROM SITE.
- ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS AND FULLY CONCEALED WITH LEAFY ANTENNA SOCKS.
- ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.
- NO EXPOSED MOUNTING APPARATUS SHALL REMAIN ON A FACADE WITHOUT THE ASSOCIATED ANTENNA.
- NO GRADING/EXCAVATION IS PROPOSED OR REQUIRED FOR THIS MODIFICATION.
- STRUCTURAL ANALYSIS TO VERIFY THAT THE EXISTING POLE AND MOUNTS CAN SUPPORT THE PROPOSED ANTENNA LOADING SHALL BE PERFORMED BY OTHERS

EXISTING STAND-OFF T-ARM MOUNT (TYP OF 3)
NOTE: CONTRACTOR TO REDUCE ANTENNA
STAND-OFF DISTANCE BY REPLACING OR
MODIFYING EXISTING STAND-OFF ARM.



CONTRACTOR TO SEE FINAL EBIT SHEET FOR BUILD

SECTOR 1	AZIMUTH	RADCENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	EFFECTIVE TILT	MECH. TILT	RET	RRH	COMBINER	FIBER OPTIC	FIBER LENGTH
1900MHz	330°	25'-0"	1	RFS	APXVSP18-C-A20	0	0	0	(1) 1900MHz	-	(1) 1-1/4" HYBRIFLEX HB114-1-0BU4-M5F	80'-0"
SECTOR 2	AZIMUTH	RADCENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	EFFECTIVE TILT	MECH. TILT	RET	RRH	COMBINER	FIBER OPTIC	FIBER LENGTH
1900MHz	60°	25'-0"	1	RFS	APXVSP18-C-A20	0	0	0	(1) 1900MHz	-	(1) 1-1/4" HYBRIFLEX HB114-1-0BU4-M5F	80'-0"
SECTOR 3	AZIMUTH	RADCENTER	NUMBER OF ANTENNAS	VENDOR	MODEL	EFFECTIVE TILT	MECH. TILT	RET	RRH	COMBINER	FIBER OPTIC	FIBER LENGTH
1900MHz	210°	25'-0"	1	RFS	APXVSP18-C-A20	-6	0	-6	(1) 1900MHz	-	(1) 1-1/4" HYBRIFLEX HB114-1-0BU4-M5F	80'-0"

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"

PROPOSED ENLARGED EQUIPMENT & ANTENNA PLAN



PROJECT INFORMATION:

NETWORK VISION MMBTS LAUNCH I
SAN YSIDRO EAST
 SD54XC933
 4350 OTAY MESA ROAD
 SAN DIEGO, CA 92173
 SAN DIEGO COUNTY

ISSUE DATE:

08/20/13

ISSUED FOR:

100% CONSTRUCTION

REVISIONS

REV.	DATE	DESCRIPTION	INITIALS
A	04/13/12	ISSUED FOR 90% CD REVIEW	RLD
0	05/24/12	ISSUED FOR FINAL 90% CD REVIEW	RLD
1	08/27/12	ISSUED FOR 100% CONSTRUCTION	RLD
2	01/24/13	REVISED 100% CONSTRUCTION DRAWINGS	LB
3	05/23/13	REVISED 100% CONSTRUCTION DRAWINGS	RSL
Δ	08/20/13	REVISED 100% CONSTRUCTION DRAWINGS	LEB

NOT FOR CONSTRUCTION UNLESS LABELED AS CONSTRUCTION SET

LICENSURE:



SHEET TITLE:

PROPOSED SOUTH AND EAST ELEVATIONS

SHEET NUMBER:

A-5

REVISION:

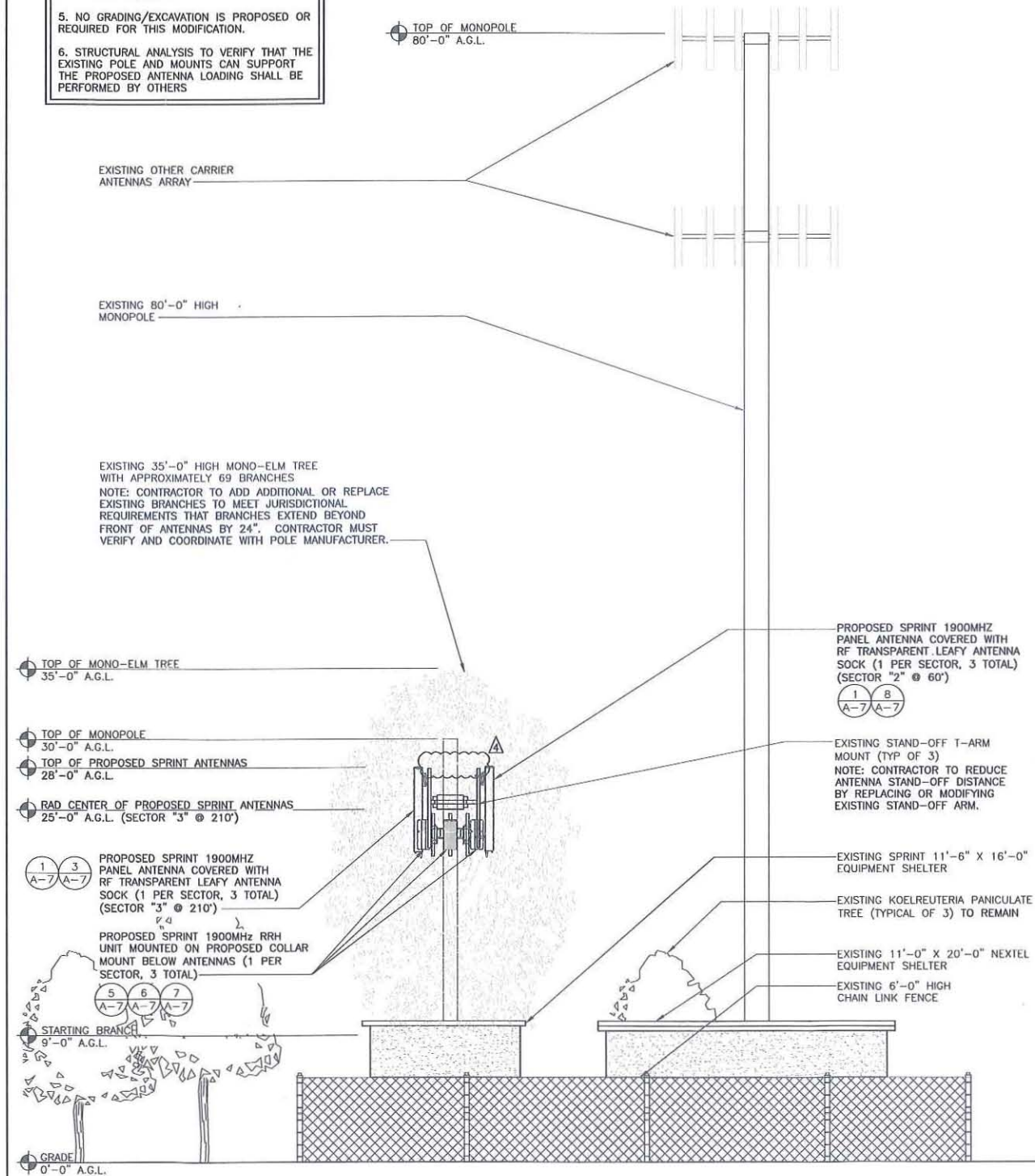
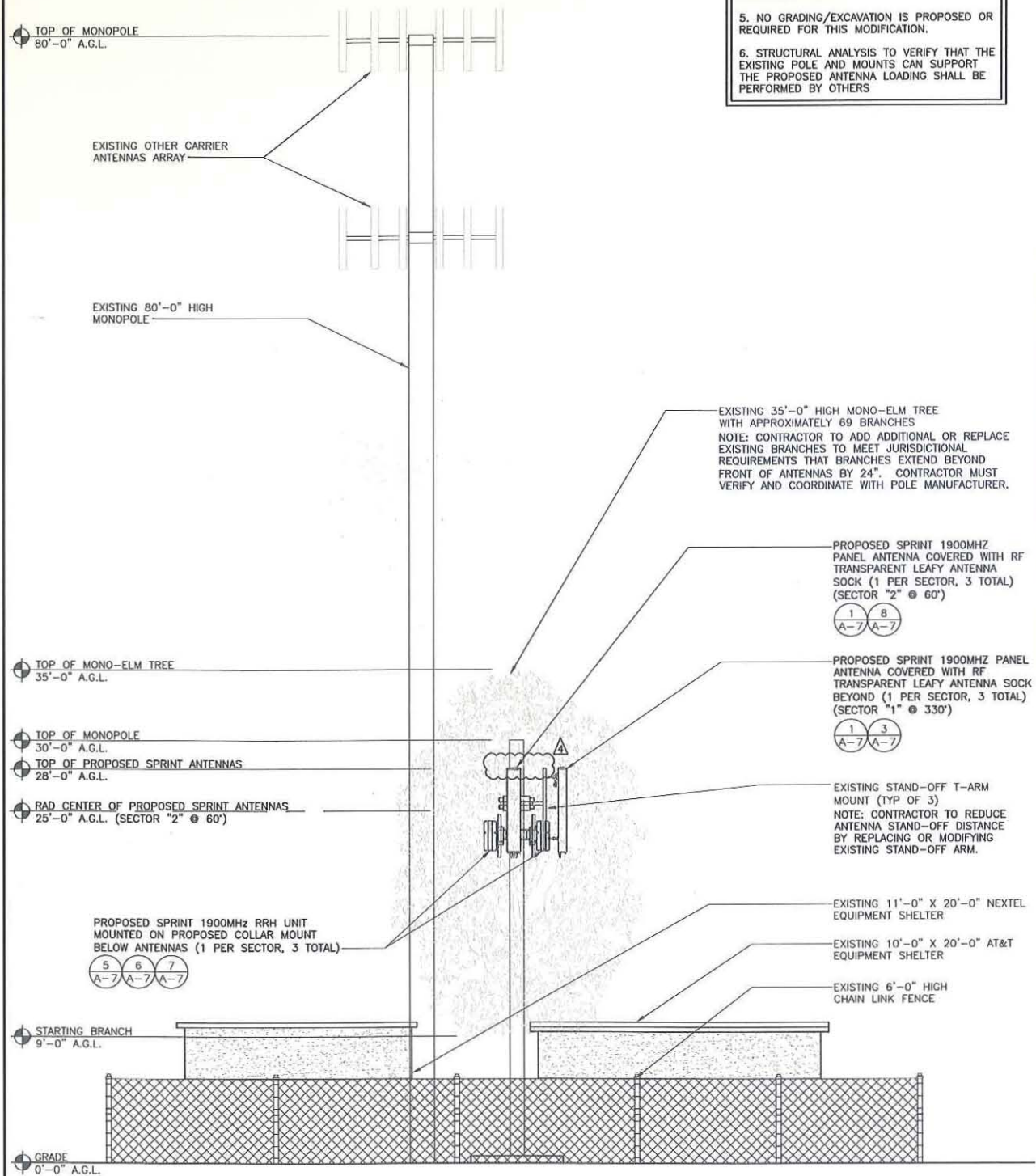
4

NOTES TO CONTRACTOR:

1. REMOVE ALL EXISTING SPRINT COAX AND ANTENNAS FROM SITE.
2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS AND FULLY CONCEALED WITH LEAFY ANTENNA SOCKS.
3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.
4. NO EXPOSED MOUNTING APPARATUS SHALL REMAIN ON A FACADE WITHOUT THE ASSOCIATED ANTENNA.
5. NO GRADING/EXCAVATION IS PROPOSED OR REQUIRED FOR THIS MODIFICATION.
6. STRUCTURAL ANALYSIS TO VERIFY THAT THE EXISTING POLE AND MOUNTS CAN SUPPORT THE PROPOSED ANTENNA LOADING SHALL BE PERFORMED BY OTHERS

NOTES TO CONTRACTOR:

1. REMOVE ALL EXISTING SPRINT COAX AND ANTENNAS FROM SITE.
2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS AND FULLY CONCEALED WITH LEAFY ANTENNA SOCKS.
3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.
4. NO EXPOSED MOUNTING APPARATUS SHALL REMAIN ON A FACADE WITHOUT THE ASSOCIATED ANTENNA.
5. NO GRADING/EXCAVATION IS PROPOSED OR REQUIRED FOR THIS MODIFICATION.
6. STRUCTURAL ANALYSIS TO VERIFY THAT THE EXISTING POLE AND MOUNTS CAN SUPPORT THE PROPOSED ANTENNA LOADING SHALL BE PERFORMED BY OTHERS



24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"

PROPOSED EAST ELEVATION 2

24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"

PROPOSED SOUTH ELEVATION 1



PROJECT INFORMATION:

NETWORK VISION MMBTS LAUNCH
SAN YSIDRO EAST
 SD54XC933
 4350 OTAY MESA ROAD
 SAN DIEGO, CA 92173
 SAN DIEGO COUNTY

ISSUE DATE:

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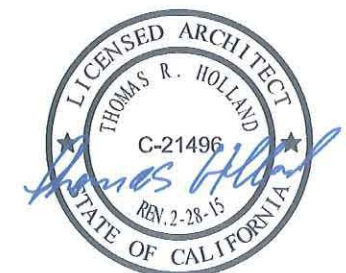
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LICENSURE:



SHEET TITLE:

PROPOSED NORTH AND WEST ELEVATIONS

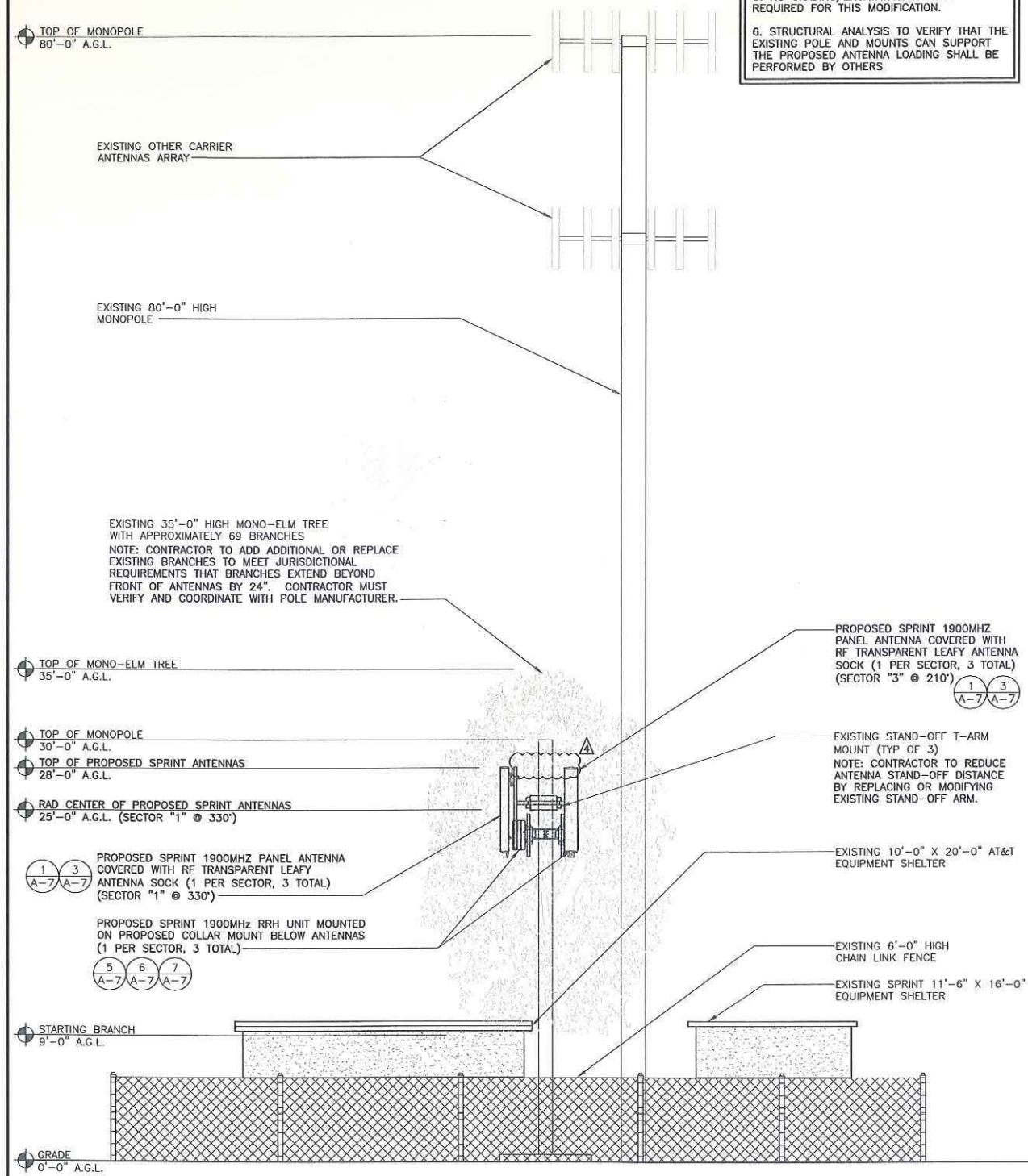
SHEET NUMBER:

A-6

REVISION:

4

- NOTES TO CONTRACTOR:**
1. REMOVE ALL EXISTING SPRINT COAX AND ANTENNAS FROM SITE.
 2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS AND FULLY CONCEALED WITH LEAFY ANTENNA SOCKS.
 3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.
 4. NO EXPOSED MOUNTING APPARATUS SHALL REMAIN ON A FACADE WITHOUT THE ASSOCIATED ANTENNA.
 5. NO GRADING/EXCAVATION IS PROPOSED OR REQUIRED FOR THIS MODIFICATION.
 6. STRUCTURAL ANALYSIS TO VERIFY THAT THE EXISTING POLE AND MOUNTS CAN SUPPORT THE PROPOSED ANTENNA LOADING SHALL BE PERFORMED BY OTHERS

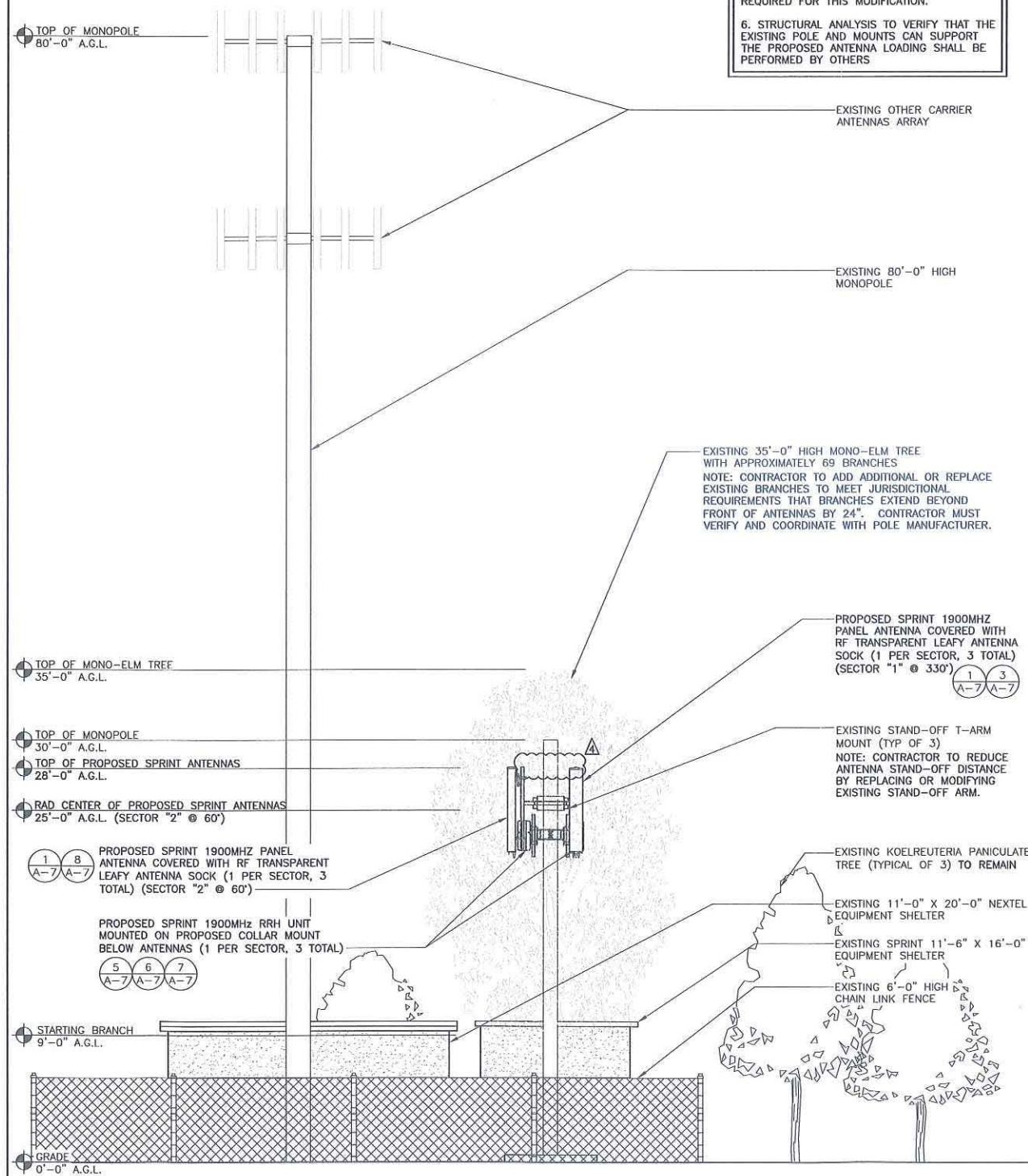


24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"

PROPOSED WEST ELEVATION 2

THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY PROHIBITED.

- NOTES TO CONTRACTOR:**
1. REMOVE ALL EXISTING SPRINT COAX AND ANTENNAS FROM SITE.
 2. ANTENNAS AND HARDWARE TO BE PAINTED TO MATCH EXISTING CONDITIONS AND FULLY CONCEALED WITH LEAFY ANTENNA SOCKS.
 3. ANTENNA CLEARANCE AND MOUNTING TO BE FIELD VERIFIED PRIOR TO CONSTRUCTION WITH FINAL ANTENNA SPECIFICATIONS, MOUNTING HARDWARE, AND RF DESIGN. ANTENNA PIPE MOUNT MODIFICATION MAY BE REQUIRED.
 4. NO EXPOSED MOUNTING APPARATUS SHALL REMAIN ON A FACADE WITHOUT THE ASSOCIATED ANTENNA.
 5. NO GRADING/EXCAVATION IS PROPOSED OR REQUIRED FOR THIS MODIFICATION.
 6. STRUCTURAL ANALYSIS TO VERIFY THAT THE EXISTING POLE AND MOUNTS CAN SUPPORT THE PROPOSED ANTENNA LOADING SHALL BE PERFORMED BY OTHERS



24"x36" SCALE: 3/16" = 1'-0"
 11"x17" SCALE: 3/32" = 1'-0"

PROPOSED NORTH ELEVATION 1



PROJECT INFORMATION:

NETWORK VISION MMBT'S LAUNCH
SAN YSIDRO EAST
 SD54XC933
 4350 OTAY MESA ROAD
 SAN DIEGO, CA 92173
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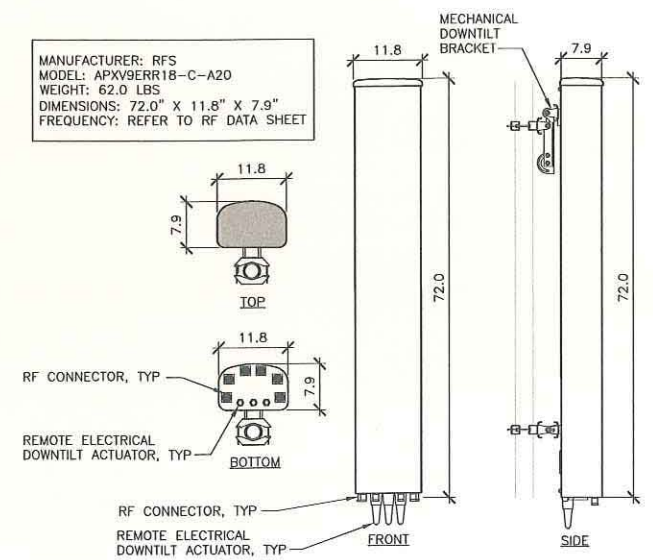
SHEET TITLE:

EQUIPMENT AND CONSTRUCTION DETAILS

SHEET NUMBER: REVISION:

A-7

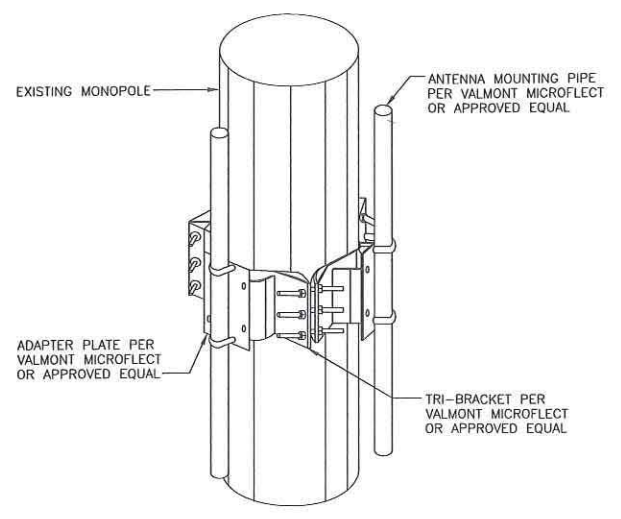
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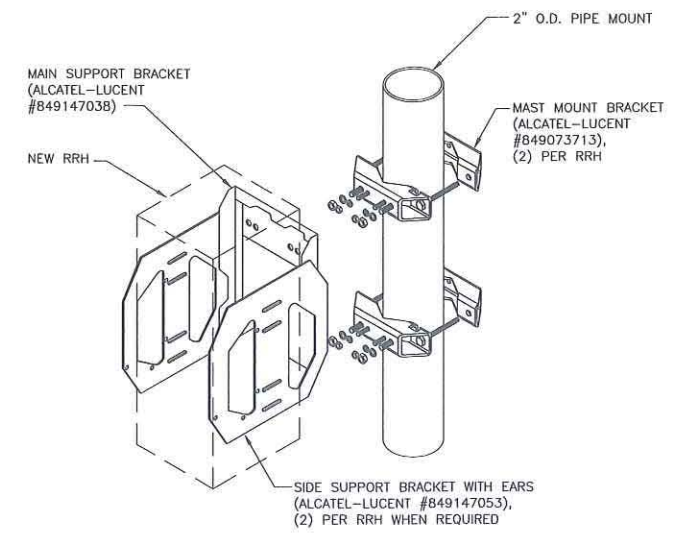
MANUFACTURER: RFS
 MODEL: APXV9ERR18-C-A20
 WEIGHT: 62.0 LBS
 DIMENSIONS: 72.0" X 11.8" X 7.9"
 FREQUENCY: REFER TO RF DATA SHEET

ANTENNA INFORMATION
 PULLED FROM PRELIMINARY
 PRODUCT DATA SHEET

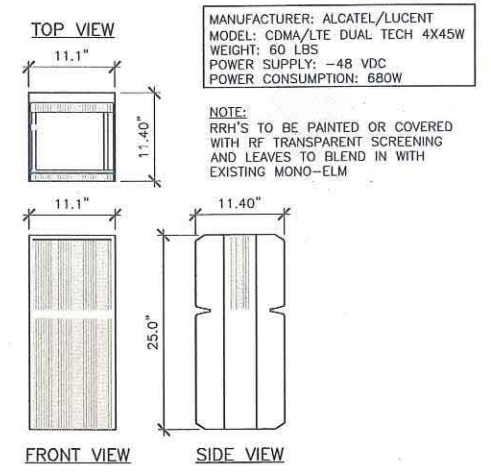
RFS ANTENNA SPECIFICATIONS 8
 24"x36" SCALE: 3/4" = 1'-0"
 11"x17" SCALE: 3/8" = 1'-0"



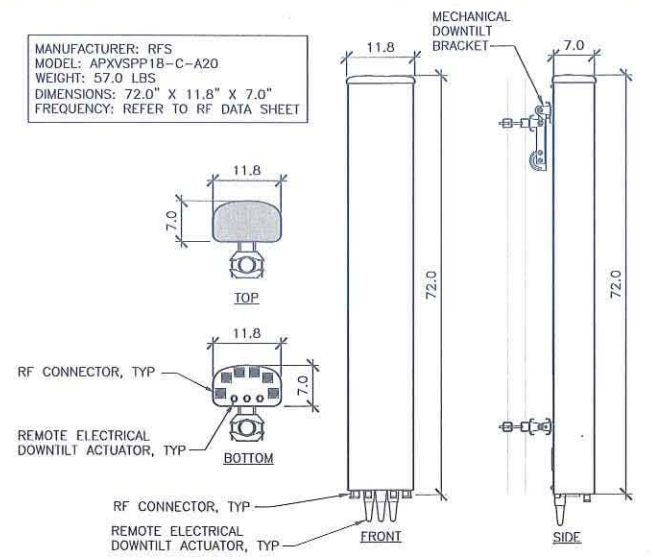
COLLAR MOUNTED DETAIL 7
 24"x36" SCALE: NOT TO SCALE
 11"x17" SCALE: NOT TO SCALE



RRH MOUNTING DETAIL 6
 24"x36" SCALE: NOT TO SCALE
 11"x17" SCALE: NOT TO SCALE



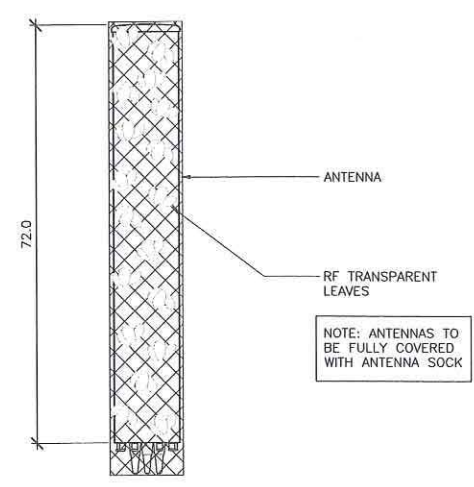
1900MHz RRH SPECIFICATION 5
 24"x36" SCALE: 1/2" = 1'-0"
 11"x17" SCALE: 1/2" = 1'-0"



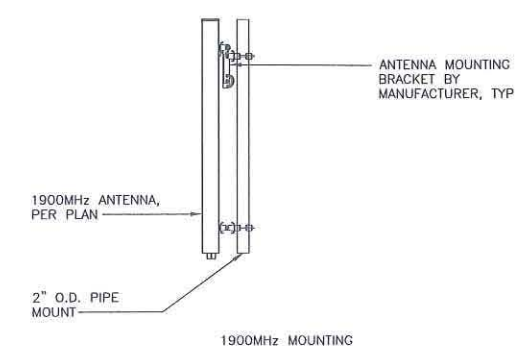
MANUFACTURER: RFS
 MODEL: APXVSP18-C-A20
 WEIGHT: 57.0 LBS
 DIMENSIONS: 72.0" X 11.8" X 7.0"
 FREQUENCY: REFER TO RF DATA SHEET

ANTENNA INFORMATION
 PULLED FROM PRELIMINARY
 PRODUCT DATA SHEET

RFS ANTENNA SPECIFICATIONS 3
 24"x36" SCALE: 3/4" = 1'-0"
 11"x17" SCALE: 3/8" = 1'-0"



ANTENNA SOCK DETAIL 2
 24"x36" SCALE: 3/4" = 1'-0"
 11"x17" SCALE: 3/8" = 1'-0"



ANTENNA MOUNTING 1
 24"x36" SCALE: 1/2" = 1'-0"
 11"x17" SCALE: 1/4" = 1'-0"



PROJECT INFORMATION:

NETWORK VISION MMBTBS LAUNCH II
SAN YSIDRO EAST
 SD54XC933
 4350 OTAY MESA ROAD
 SAN DIEGO, CA 92173
 SAN DIEGO COUNTY

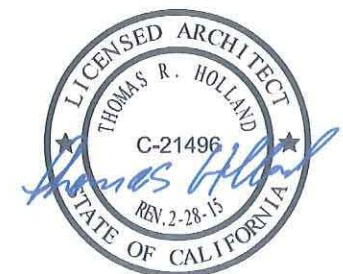
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 LABELED AS CONSTRUCTION SET

LICENSURE:



SHEET TITLE:
 FIBER PLAN

SHEET NUMBER: **F-1** REVISION: **4**

SCOPE OF WORK:

ACCESS NOTE: TRACCESS VAULT LOCATED BEFORE GATE ENTERING PROPERTY HOLDS THE KEY TO GET INTO THE SITE. GATE TO CELL COMPOUND COMBO LOCK 9283.

AAV HOP/FIBER PATH: THE HOP IS THE (E) TELCO BACKBOARD IN SPRINT EQUIPMENT SHELTER. SPRINT GC TO ROD AND ROPE IN (E) TELCO CONDUIT FROM (E) FIBER ACCESS POINT IN (E) VAULT TO (E) TELCO BOARD INSIDE SHELTER AND REPLACE (E) LB AT SHELTER EXTERIOR WITH NEW 12"x12"x8" PULL BOX (APPROX. 45'). SPRINT GC TO PROVIDE AND INSTALL (1) 3/4" INNERDUCT W/ MULE TAPE, ZIP TIED TO (E) CABLE LADDER FROM TELCO BACKBOARD TO FBT (APPROX. 25') AND FROM FBT TO CIENA/UAM (APPROX. 5').

FBT LOCATION: AT&T TO PLACE FBT ON SPRINT GC PROVIDED AND INSTALLED 24"x24" PLYWOOD BACKBOARD WITH GROUND BAR AND 5' COIL OF # 6 AWG GREEN SOLID GROUND WIRE ON WALL NEXT TO CIENA/UAM.

EQUIPMENT: SPRINT GC TO PROVIDE AND INSTALL THE PROPOSED WALL MOUNTED UNISTRUT. SPRINT GC TO INSTALL THE AT&T SUPPLIED UAM AND BRACKET ON (P) UNISTRUT. AT&T TO PROVIDE AND INSTALL CIENA BOX ON SPRINT GC PROVIDED AND INSTALLED WALL MOUNTED UNISTRUT.

POWER: SPRINT GC TO PROVIDE & INSTALL (1) 1/2" EMT CONDUIT FROM (E) MM-BTS CABINET TO (P) UAM/CIENA, SPRINT GC TO USE (E) OR PROVIDE (1) 10 AMP -48 VDC CIRCUIT USING # 12 AWG THHN STRANDED CONDUCTORS BLACK AND RED COLORED. (APPROX. 20')

GROUNDING: SPRINT GC TO PROVIDE AND INSTALL (1) NEW #6 AWG GREEN SOLID WIRE FROM THE NEAREST (E) MAIN GROUND BAR TO THE (P) FBT (APPROX. 25'). SPRINT GC TO PLACE 2ND (1) NEW #6 AWG GREEN SOLID WIRE FROM FBT TO UAM/CIENA BOX (APPROX. 5').

CUSTOMER FIBER PATH: SPRINT GC TO PROVIDE AND INSTALL (1) 3/4" INNERDUCT W/ MULE TAPE FROM (P) AT&T UAM/CIENA BOX LOCATION TO THE (E) SPRINT MMBTBS CABINET. (APPROX. 20').

At all new services & grounding trenches, provide "WARNING" tape at 12" below grade.



SPRINT GC TO PROVIDE AND INSTALL (1) NEW #6 AWG GREEN SOLID WIRE FROM THE NEAREST (E) MAIN GROUND BAR TO THE (P) FBT (APPROX. 25'). SPRINT GC TO PLACE 2ND (1) NEW #6 AWG GREEN SOLID WIRE FROM FBT TO UAM/CIENA BOX (APPROX. 5')

SPRINT GC TO PROVIDE AND INSTALL (1) 3/4" INNERDUCT W/ MULE TAPE FROM (P) AT&T UAM/CIENA BOX LOCATION TO THE (E) SPRINT MMBTBS CABINET (APPROX. 20')

EXISTING TELCO BACKBOARD/MPOE

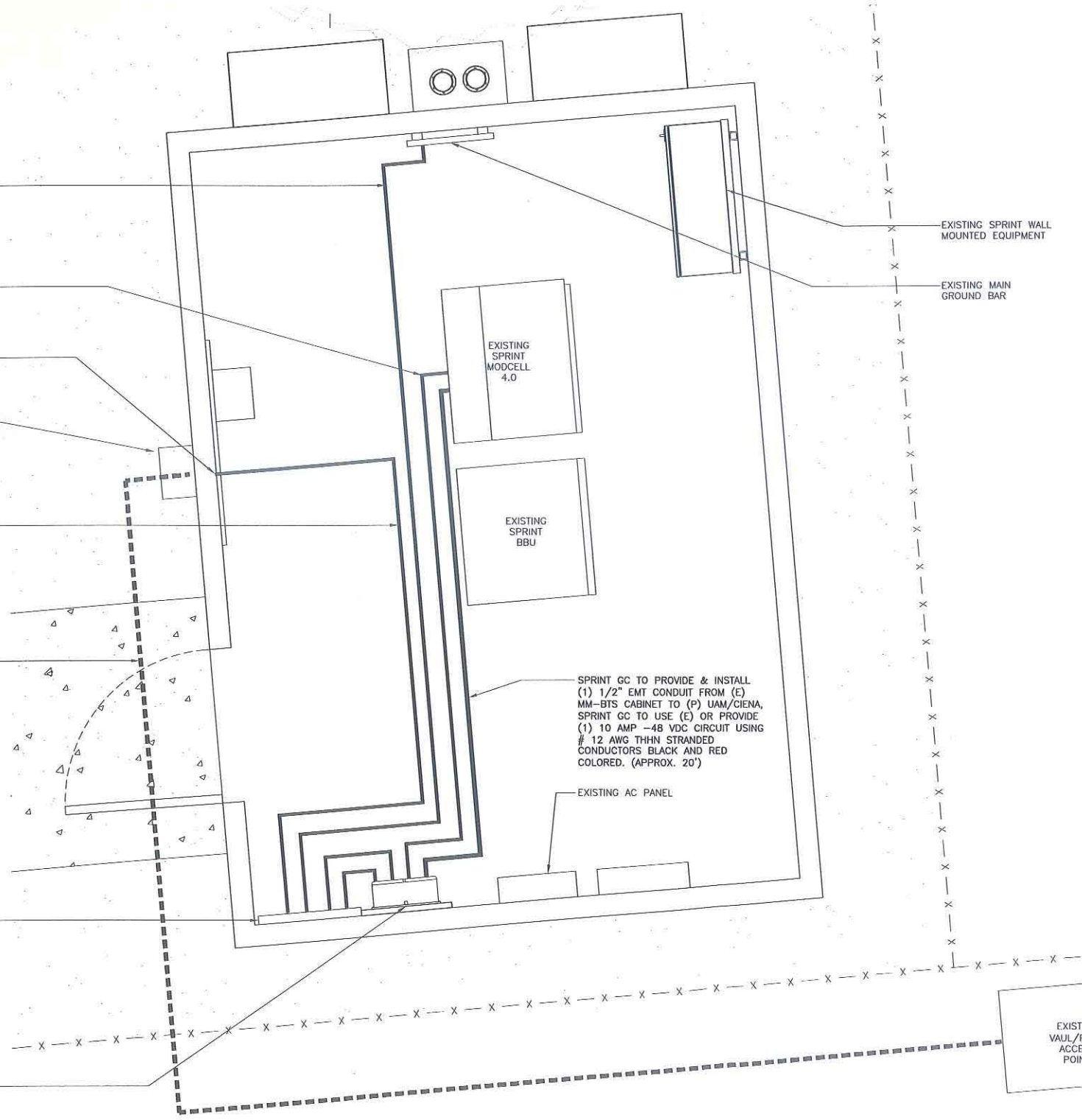
SPRINT GC TO REPLACE EXISTING LB WITH NEW 12"x12"x8" PULL BOX

SPRINT GC TO PROVIDE AND INSTALL (1) 3/4" INNERDUCT W/ MULE TAPE, ZIP TIED TO (E) CABLE LADDER FROM TELCO BACKBOARD TO FBT (APPROX. 25') AND FROM FBT TO CIENA/UAM (APPROX. 5')

THE HOP IS THE (E) TELCO BACKBOARD IN SPRINT EQUIPMENT SHELTER. SPRINT GC TO ROD AND ROPE IN (E) TELCO CONDUIT FROM (E) FIBER ACCESS POINT IN (E) VAULT TO (E) TELCO BOARD INSIDE SHELTER

AT&T TO PLACE FBT ON SPRINT GC PROVIDED AND INSTALLED 24"x24" PLYWOOD BACKBOARD WITH GROUND BAR AND 5' COIL OF # 6 AWG GREEN SOLID GROUND WIRE ON WALL NEXT TO CIENA/UAM

SPRINT GC TO PROVIDE AND INSTALL THE PROPOSED WALL MOUNTED UNISTRUT. SPRINT GC TO INSTALL THE AT&T SUPPLIED UAM AND BRACKET ON (P) UNISTRUT. AT&T TO PROVIDE AND INSTALL CIENA BOX ON SPRINT GC PROVIDED AND INSTALLED WALL MOUNTED UNISTRUT



24"x36" SCALE: 1/2" = 1'-0"
 11"x17" SCALE: 1/4" = 1'-0"

FIBER PLAN | 1



PROJECT INFORMATION:

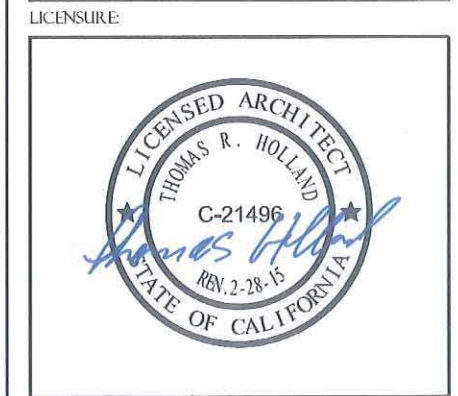
NETWORK VISION MMBIS LAUNCH
SAN YSIDRO EAST
 SD54XC933
 4350 OTAY MESA ROAD
 SAN DIEGO, CA 92173
 SAN DIEGO COUNTY

ISSUE DATE:
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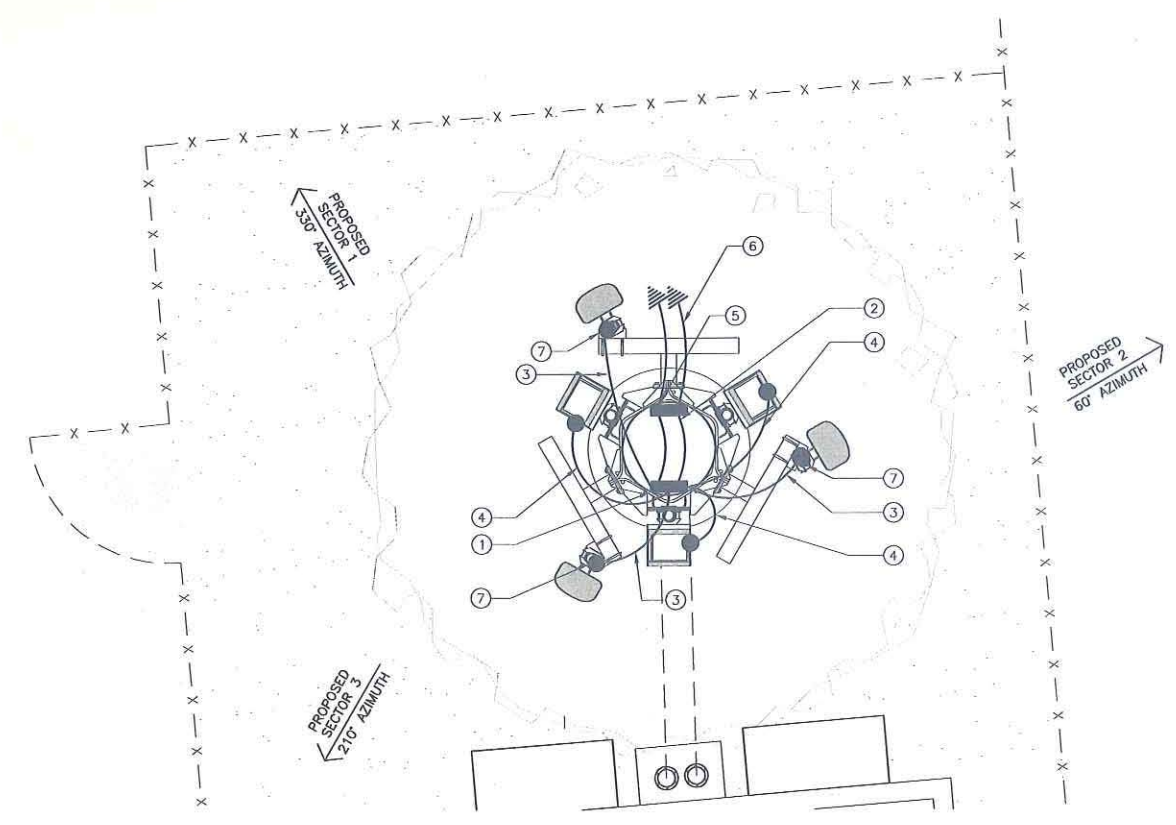
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SHEET TITLE:
 SCHEMATIC GROUNDING PLAN

SHEET NUMBER: **E-1** REVISION: **4**

- GROUNDING KEYED NOTES:**
- ANTENNA GROUND BUS BAR NEAR ANTENNA MOUNTS. SEE DETAIL 9/E-2 FOR GROUND BAR CONSTRUCTION, SEE DETAIL 2/E-2 FOR GROUND WIRE CONNECTIONS.
 - #6 AWG GROUND FROM ANTENNA GROUND BUS BAR TO EXISTING GROUND BUS BAR NEAR BASE OF POLE (TYP OF 2 PLACES)
 - #6 AWG ANTENNA MOUNT GROUND TO ANTENNA GROUND BUS BAR. SEE DETAIL 2/E-2
 - #6 AWG GROUND FROM RRH UNITS TO ANTENNA GROUND BUS BAR. SEE DETAIL 2/E-2
 - EXISTING POLE GROUND BUS BAR AT BASE OF POLE, SEE 9/E-2 FOR GROUND BAR CONSTRUCTION, SEE DETAIL 2/E-2 FOR GROUND WIRE INSTALLATION
 - #6 AWG GROUND FROM EXISTING GROUND BUS BAR TO TIE INTO EXISTING GROUNDING SYSTEM (TYP OF 2 PLACES)
 - CAD WELD (TYP), SEE DETAIL 1/E-2



GROUNDING NOTES & LEGEND

- GENERAL GROUNDING NOTES**
- ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
 - GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING GROUND WIRES AND CONNECT TO SURFACE MOUNTED BUS BARS. FOLLOW ANTENNA AND BTS MANUFACTURERS PRACTICES FOR GROUNDING REQUIREMENTS. GROUND COAX SHIELD AT BOTH ENDS AND EXIT FROM TOWER OR POLE USING MFR'S PRACTICES.
 - SOME GROUND CONNECTIONS SHALL BE CADWELDED. ALL WIRES SHALL BE COPPER THHN/THWN. ALL GROUND WIRE SHALL BE GREEN INSULATED WIRE ABOVE GROUND.
 - CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE. GROUNDING AND OTHER OPERATIONAL TESTING WILL BE WITNESSED BY SPRINT WIRELESS, LLC REPRESENTATIVE.
 - REFER TO DIVISION 16 GENERAL ELECTRIC; GENERAL ELECTRICAL PROVISION AND COMPLY WITH ALL REQUIREMENTS OF GROUNDING STANDARDS. ELECTRICAL CONTRACTOR SHALL OBTAIN, REVIEW, PROVIDE TRAINING AND FULLY IMPLEMENT ALL GUIDELINES & REQUIREMENTS ASSOCIATED WITH SPRINT STANDARD GROUNDING METHODS FOR ROOF TOP INSTALLATIONS; INCLUDING METHOD FOR CONNECTIVITY FROM ROOF TOP MGB TO BUILDING GROUND SYSTEM (SPRINT STANDARD GROUNDING METHODS MOST RECENT REVISIONS SHALL BE REFERENCED)
 - ELECTRICAL CONTRACTOR TO PROVIDE DETAILED DESIGN OF GROUNDING SYSTEM, AND RECEIVE APPROVAL OF DESIGN BY AUTHORIZED SPRINT MOBILITY REPRESENTATIVE, PRIOR TO INSTALLATION OF GROUNDING SYSTEM. PHOTO DOCUMENT ALL CADWELDS AND GROUND RING
 - NOTIFY CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE CONDITIONS.



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
⊗	COPPER GROUND ROD	⊗	TEST WELL
●	CADWELD CONNECTION	■	GROUND BAR
■	SIDE SPLICE CADWELD	—○—	FIELD VERIFY & TIE INTO EXISTING GROUNDING SYSTEM

- GROUNDING ROD NOTES**
 (WHERE APPLICABLE)
- ELECTRICAL CONTRACTOR SHALL ORDER GROUND RESISTANCE TESTING ONCE THE GROUND SYSTEM HAS BEEN INSTALLED; A QUALIFIED INDIVIDUAL, UTILIZING THE FALL OF POTENTIAL METHOD, SHOULD PERFORM THE TEST. THE REPORT WILL SHOW THE LOCATION OF THE TEST AND CONTAIN NO LESS THAN 9 TEST POINTS ALONG THE TESTING LINE, GRAPHED OUT TO SHOW THE PLATEAU.
 - POINT GROUND TEST OR 3 POINT 62% TESTS WILL NOT BE ACCEPTED AS ALTERNATIVES TO THE AFORE MENTIONED GROUND TESTS. TEST SHALL BE PERFORMED WHILE THE COUNTERPOISE IS ISOLATED FROM THE A/C SYSTEM GRIDS AND EXISTING COMMUNICATIONS FACILITY.



PROJECT INFORMATION:

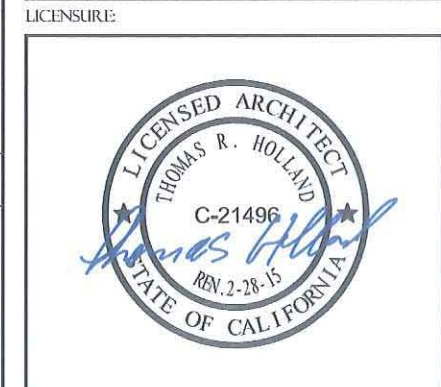
NETWORK VISION MMBTS LAUNCH
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SAN DIEGO, CA 92173
SAN DIEGO COUNTY

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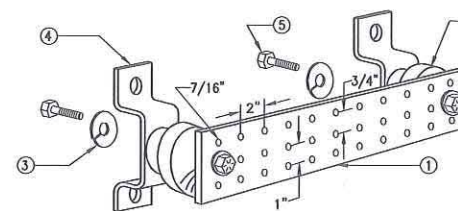
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SHEET TITLE:
GROUNDING DETAILS

SHEET NUMBER: E-2
REVISION: 4



NOTE:
GALVANIZED STEEL GROUND BAR, HOLE CENTERS TO MATCH NEMA DOUBLE LUG CONFIGURATION. (ACTUAL GROUND BAR SIZE WILL VARY BASED ON NUMBER OF GROUND CONNECTIONS)

INSULATORS, NEWTON INSTRUMENT CAT. NO. 3061-4 OR APPROVED EQUAL

5/8" LOCK WASHERS, NEWTON INSTRUMENT CO., CAT. NO. 3015-8 OR APPROVED EQUAL

WALL MOUNTING BRACKET, NEWTON INSTRUMENT CO., CAT NO. A-6056 OR APPROVED EQUAL

5/8-11 X 1" HHCS BOLTS, NEWTON INSTRUMENT CO., CAT NO. 3012-1 OR APPROVED EQUAL

INSULATORS SHALL BE ELIMINATED WHEN BONDING DIRECTLY TO TOWER/LIGHT POLE STRUCTURE. CONNECTION TO TOWER/LIGHT POLE STRUCTURE SHALL BE PER MANUFACTURERS RECOMMENDATIONS.

NOT USED 10
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

GROUND BAR (IF REQUIRED) 9
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

ELECTRICAL NOTES:

1. EXISTING SINGLE PHASE, 120/240 VAC, 60HZ SERVICE WILL PROVIDE SUFFICIENT POWER REQUIREMENTS FOR NEW PROPOSED SPRINT EQUIPMENT, CABLING & ANTENNA UPGRADES.

NOT USED 8
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

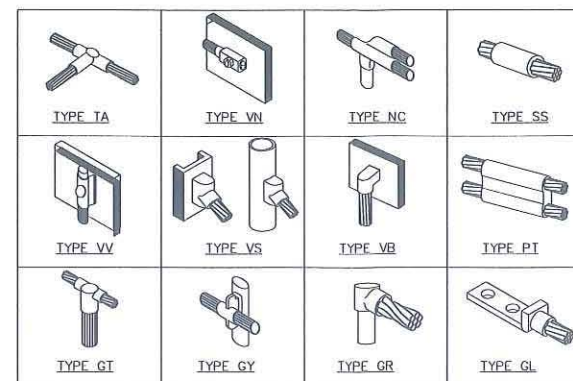
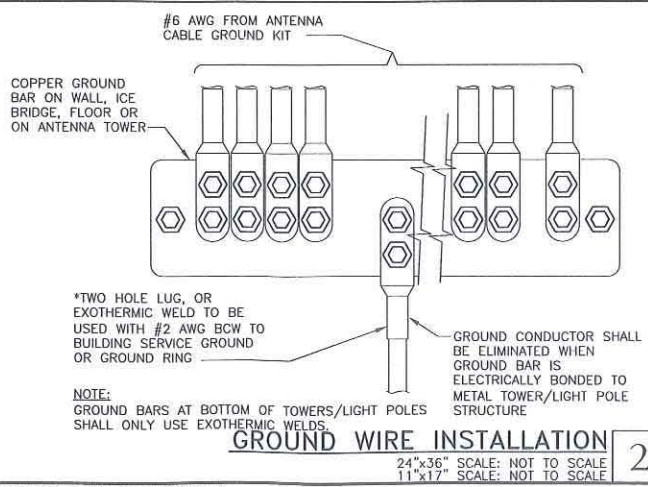
NOT USED 7
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

NOT USED 6
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

ELECTRICAL NOTES 5
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

NOT USED 4
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE

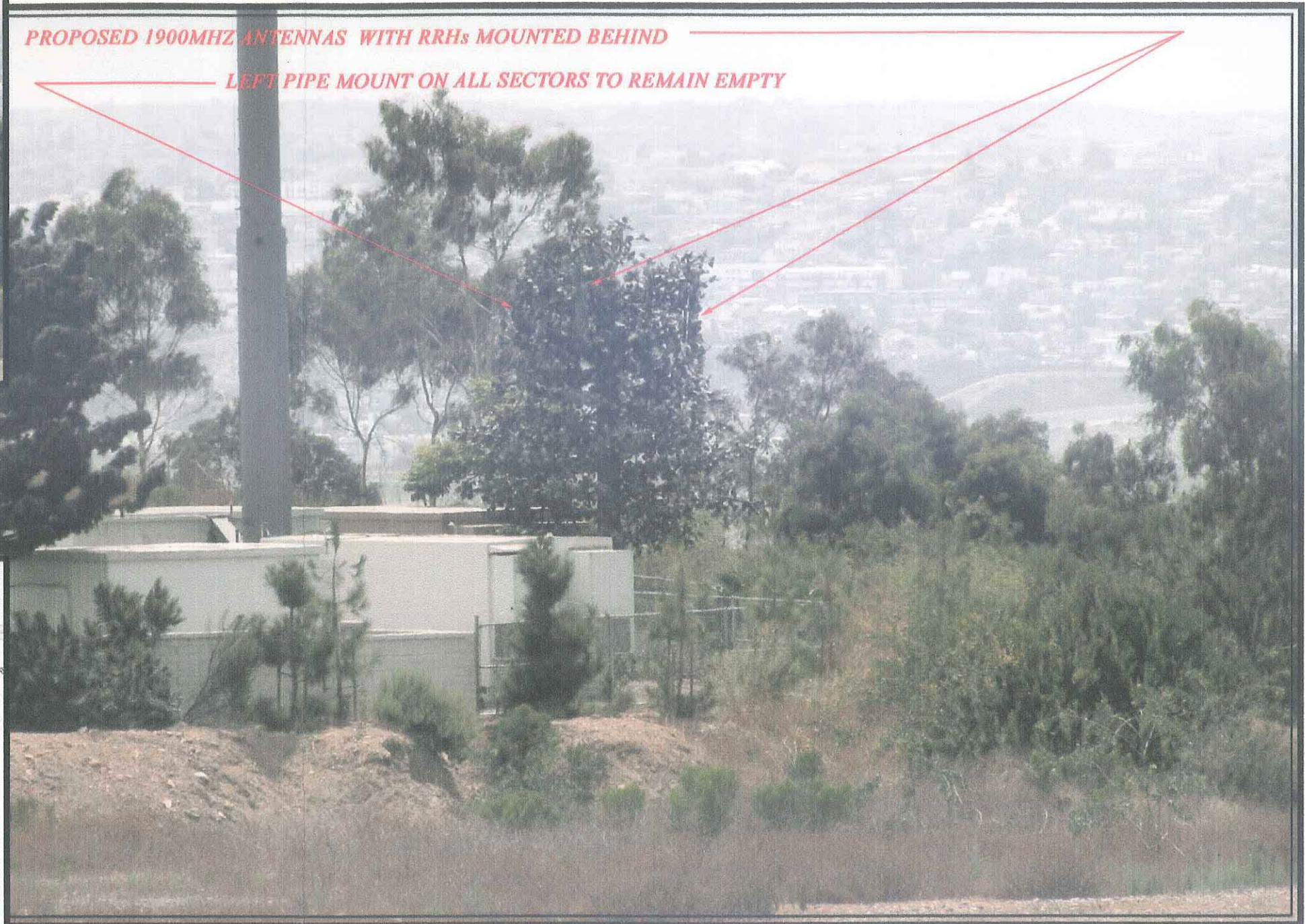
NOT USED 3
24"x36" SCALE: NOT TO SCALE
11"x17" SCALE: NOT TO SCALE



LOOKING SOUTH TOWARD SUBJECT SITE



SITE PRIOR TO INSTALLATION

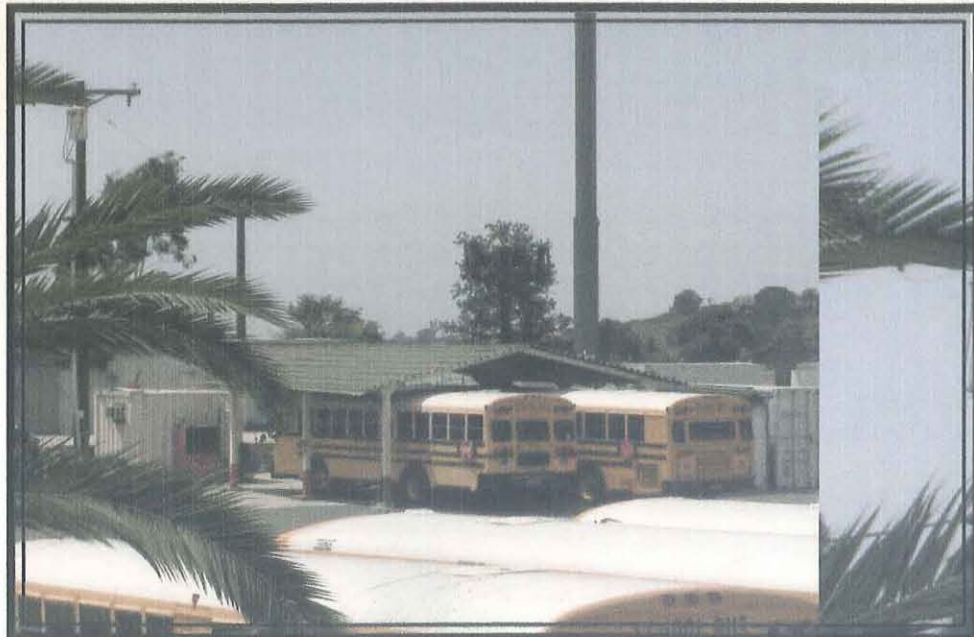


SITE AFTER INSTALLATION

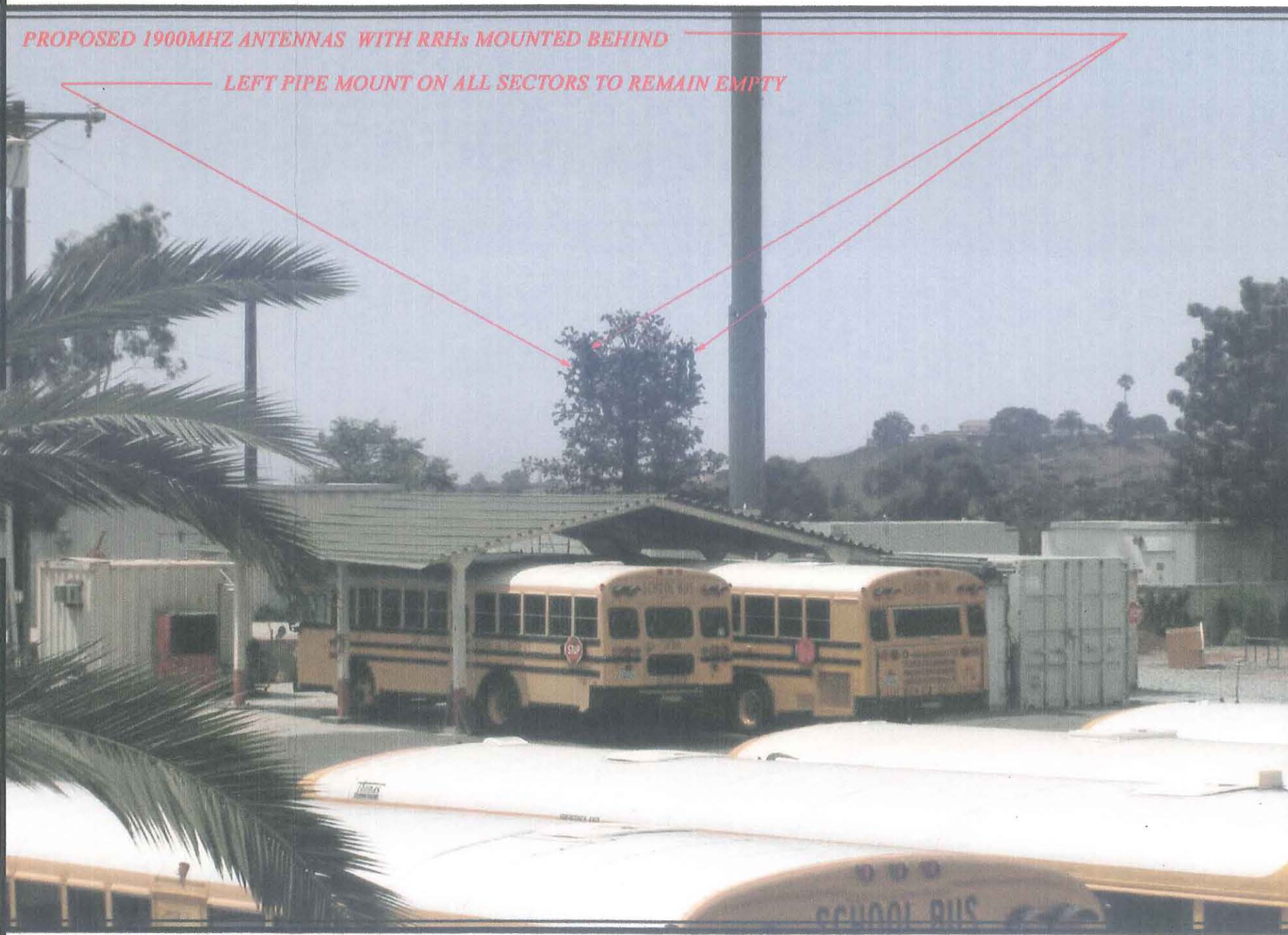


VICINITY MAP

LOOKING WEST TOWARD SUBJECT SITE



SITE PRIOR TO INSTALLATION



PROPOSED 1900MHZ ANTENNAS WITH RRHs MOUNTED BEHIND

LEFT PIPE MOUNT ON ALL SECTORS TO REMAIN EMPTY



VICINITY MAP

SITE AFTER INSTALLATION



1.
View from the south



2.
View from the east



3.

View FROM THE NORTH



4.

View FROM THE SOUTH



5.

View to SOUTH
FROM ENTRY



6.

View to WEST
FROM ENTRY



7

View to north



8-



9.



10.



09.23.2011 14:01

12. (zoom)





City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 1

Project Name: Sprint San Ysidro East		Project Number: 294037		Distribution Date: 4/16/2013	
Project Scope/Location: A Planned Development Permit and a Neighborhood Use Permit, consolidated Process 4 application to modify an existing Wireless Communication Facility (WCF) located at 4350 Otay Mesa Road. This WCF is in the RS-1-7 zone of the Otay Mesa Community Planning area. The modifications consists of three (3) replacement antennas and the installation of three (3) Remote Radio Heads (RRHs) to support 4G LTE Technology. The equipment associated with this project will continue to operate without any exterior					
Applicant Name: Mark Berlin			Applicant Phone Number: 858-922-0237		
Project Manager: Simon Tse		Phone Number: (619) 687-5984	Fax Number: (619) 321-3200	E-mail Address: stse@sandiego.gov	
Project Issues (To be completed by Community Planning Committee for initial review): <i>NO ISSUES</i>					
<i>Attach Additional Pages If Necessary.</i>			Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.					



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Sprint San Ysidro East		Project Number: 294037	Distribution Date: 4/16/2013
Project Scope/Location: A Planned Development Permit and a Neighborhood Use Permit, consolidated Process 4 application to modify an existing Wireless Communication Facility (WCF) located at 4350 Otay Mesa Road. This WCF is in the RS-1-7 zone of the Otay Mesa Community Planning area. The modifications consists of three (3) replacement antennas and the installation of three (3) Remote Radio Heads (RRHs) to support 4G LTE Technology. The equipment associated with this project will continue to operate without any exterior			
Applicant Name: Mark Berlin		Applicant Phone Number: 858-922-0237	
Project Manager: Simon Tse	Phone Number: (619) 687-5984	Fax Number: (619) 321-3200	E-mail Address: stse@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 10	Members No 1	Members Abstain 0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: MICHAEL R. FREEDMAN		TITLE: CHAIRMAN	
SIGNATURE: <i>Michael R. Freedman</i>		DATE: 4/16/2013	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101
(619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other NUP

Project Title: SPRINT Modification SD54XC933 San Ysidro East (mono-clm) Project No. For City Use Only

Project Address:
4350 Otay Mesa Road, San Ysidro, CA 92173

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
San Ysidro School District
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
4350 Otay Mesa Road
City/State/Zip:
San Ysidro, CA 92173
Phone No: (619) 428-4476 x3004 Fax No:
Signature: [Signature] Date:

Name of Individual (type or print):
[Redacted]
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature: Date:

Name of Individual (type or print):
[Redacted]
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature: Date:

Name of Individual (type or print):
[Redacted]
 Owner Tenant/Lessee Redevelopment Agency
Street Address:
City/State/Zip:
Phone No: Fax No:
Signature: Date:

Project Title: SD54XC933 San Ysidro East - (Mono-clm)	Project No. (For City Use Only)
-----------------------------------------------------------------	----------------------------------------

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation
 Limited Liability -or-
 General) What State? CA Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

06/29/2012 10:53 8587209630

HAMILTON

PAGE 02/02

Date: 7/13/12

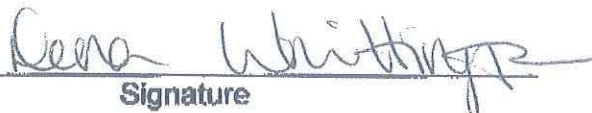
Sprint Site Name: SD54XC933

RE: Letter of Authorization to Pursue a Wireless Communication Facility

To Whom It May Concern,

As owner/agent of the property referenced below, I hereby appoint SAC Wireless, my agent for the purpose of consummating any application necessary to ensure their ability to use the property for which Sprint is negotiating a lease for the purpose of modifying an existing wireless communication facility. I understand this application may be denied, modified, or approved with conditions and that such conditions or modifications must be complied with prior to issuance of building permits.

Property Address: 4350 Otay Mesa Road, San Diego, CA 92154

By: 
Signature

Date: July 24, 2012

Print Name & Title: Dena Whittington, Assistant Superintendent Business

Sprint San Ysidro East LTE
PROJECT CHRONOLOGY
PTS #294037 INT #24003207

Date	Action	Description	City Review	Applicant Response
08.30.2012	First Submittal	Project Deemed Complete		
10.02.2012	First Assessment Letter		33 days	
02.12.2013	Second Submittal			133 days
04.16.2013	Second Assessment Letter		62 days	
06.05.2013	Third Submittal			60 days
07.18.2013	Third Assessment Letter		43 days	
08.21.2013	Fourth Submittal			34 days
10.11.2013	All issues resolved		51 days	
12.19.2013	Scheduled for Planning Commission		80 days	
Total Staff Time:		Including City Holidays and Furlough	258days	
Total Applicant Time:		Including City Holidays and Furlough		227 days
Total Project Running Time:		From Deemed Complete to PC Hearing	485 days	



THE CITY OF SAN DIEGO

DATE OF NOTICE: December 12, 2013

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING: December 19, 2013
TIME OF HEARING: 9:00 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
202 C Street, San Diego, California 92101

PROJECT TYPE: PLANNED DEVELOPMENT PERMIT &
NEIGHBORHOOD USE PERMIT
ENVIRONMENTAL EXEMPTION/PROCESS 4

PROJECT NUMBER: 294037
PROJECT NAME: SPRINT SAN YSIDRO EAST LTE
APPLICANT: Mark Berlin

COMMUNITY PLAN AREA: San Ysidro
COUNCIL DISTRICT: District 8

CITY PROJECT MANAGER: SIMON TSE, Development Project Manager
PHONE NUMBER/E-MAIL: (619) 687-5984, Stse@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application to modify an existing Wireless Communication Facility (WCF) located at 4350 Otay Mesa Road. This WCF is in the RS-1-7 zone of the San Ysidro Community Planning area. The modifications consists of three (3) replacement antennas and the installation of three (3) Remote Radio Heads to support 4G LTE Technology on an existing faux tree. The equipment associated with this project will continue to operate without any exterior changes.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at

www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on September 25, 2013 and the opportunity to appeal that determination ended October 10, 2013.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24003207

Revised 10-4-12 HMD-



Date: 8-29-12

Re: SITE JUSTIFICATION REPORT – RADIO FREQUENCIES & SITE MAP LOCATION

Sprint presently operates a wireless communications facility at 4350 Otay Lakes Road. The subject property is in the AR-1-1 zone, on the east side of the I-805 Freeway. The property is occupied by multiple San Ysidro School District Buildings, existing Sprint 35'-0" mono-elm faux tree and other 80'-0" monopole. Due to the high volume of commercial traffic in and around the District property and especially the adjacent I-805 Freeway, Otay Mesa Road, and Beyer Boulevard, optimum capacity and coverage at the subject Sprint facility is crucial.

The site at 4350 Otay Lakes Road is completely insufficient in both capacity and coverage to meet growing demand of existing and new Sprint customers. Sprint is in the process of deploying "Network Vision" capacity upgrades across the network. The purpose of the proposed modifications is to add bandwidth in order to service more customers and to increase speed for the faster transmission data.

As part of these network upgrades, Sprint now proposes to modify the existing facility at 4350 Otay Lakes Road. Modifications of this facility entails the installation of panel antennas on the faux broad leaf tree (swapping antennas), and adding 3 new RRH (radio units) within the scope of the original approved NUP. Proposed modifications conform to the original Neighborhood Use Permit. A new NUP is being filed for proposed upgrades as described above.

Feel free to contact me with any questions or concerns regarding Sprint's coverage objectives for the site,

Thank you.

Regards,

A handwritten signature in black ink that reads "Mark Berlin".

Mark Berlin
Planning Manager
On behalf of Alcatel-Lucent for Sprint PCS
858.922.0237
mark.berlin@sacw.com

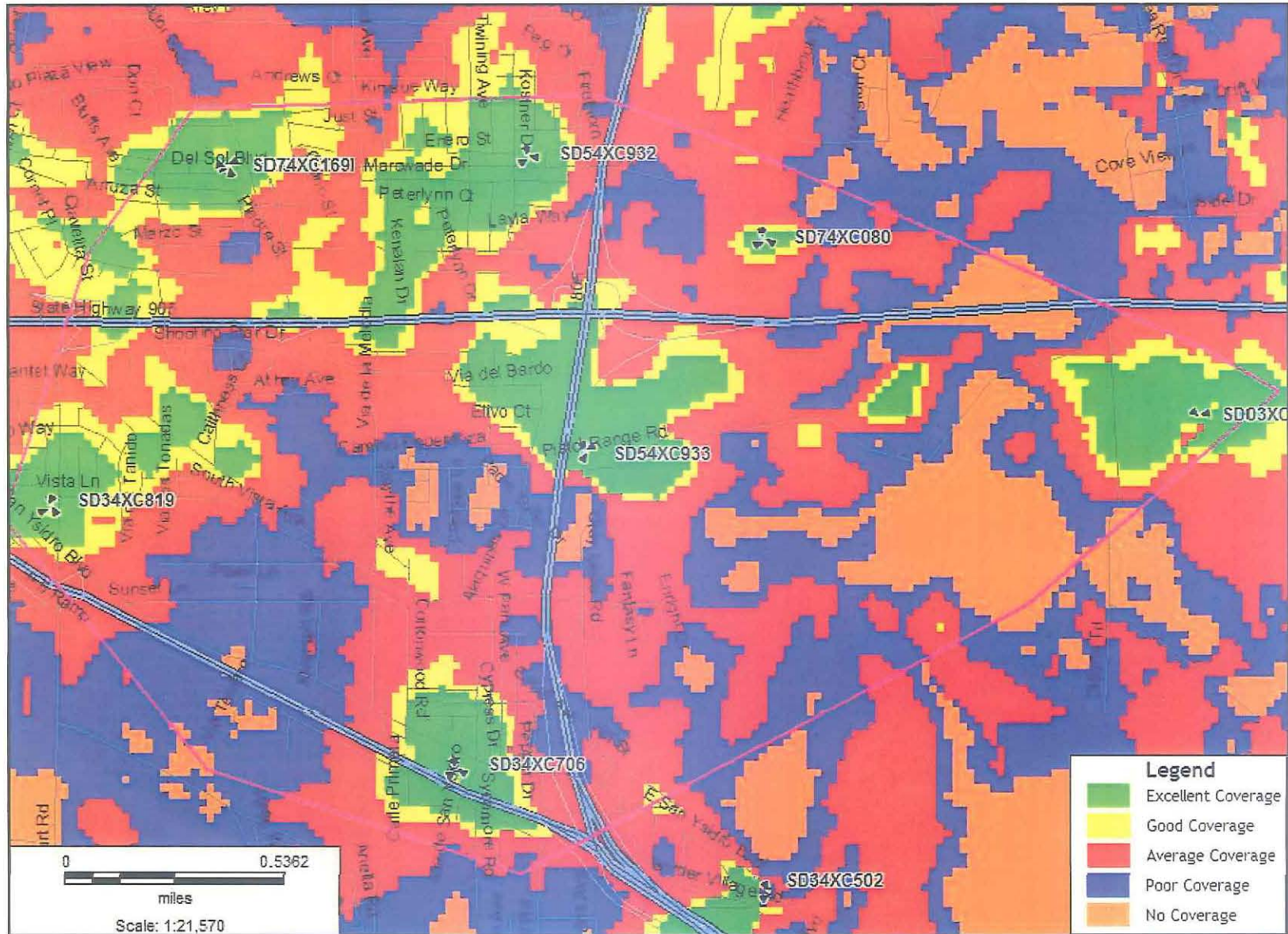
SITE JUSTIFICATION REPORT – RADIO FREQUENCY AND MAP LOCATION

**For existing Sprint site # [SD54XC933](#) San Ysidro East Mono-Elm tree
at 4350 Otay Mesa Road, San Diego, CA 92173**

prepared by SAC Wireless

SD54XC933 Coverage with neighboring sites : Current Design

Attachment 16



SD54XC933 neighboring sites Coverage: Proposed Configuration

Attachment 16

