



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: November 7, 2013 **REPORT NO.** PC-13-127

ATTENTION: Planning Commission, Agenda of November 14, 2013

SUBJECT: AT&T MOBILITY CROWN POINTE
PROJECT NO. 326246, PROCESS 4

OWNER: CONRAD PREBYS TRUST

APPLICANT: AT&T MOBILITY

SUMMARY

Issue(s): Should the Planning Commission approve a Wireless Communication Facility (WCF) located at 3866 Ingraham Street within the Pacific Beach Community Planning Area?

Staff Recommendation: APPROVE Conditional Use Permit No. 1201919.

Community Planning Group Recommendation: On September 25, 2013 the Pacific Beach Planning Group voted to recommend approval of this project (Attachment 11).

Environmental Review: The project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA State Guidelines, Section 15301, Existing Facilities. This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on October 11, 2013, and the opportunity to appeal that determination ended October 25, 2013.

Fiscal Impact Statement: None with this action. All cost associated with the processing of this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None with this action.

Housing Impact Statement: None with this action.



BACKGROUND

AT&T Mobility submitted an application to install a new Wireless Communication Facility (WCF) at 3866 Ingraham Street on top of an existing apartment complex behind the rooftop mechanical screen wall using Fiberglass Reinforced Panel (FRP) materials. This apartment building currently has one WCF, Sprint PCS behind the existing screen wall. Due to increased numbers of voice and data consumers, AT&T has designed a WCF that will meet the current demands while maintaining a stealth appearance. The project under the current regulations requires a Conditional Use Permit (CUP) Process Four, Planning Commission decision. The property is zoned RM-3-7 and is designated for multi-family residential use in the Pacific Beach Community Plan. The site is surrounded with multi-family residential uses.

DISCUSSION

Project Description – AT&T Mobility’s proposed WCF design includes twelve (12) antennas, twenty-four (24) Remote Radio Units (RRUs), and three surge suppressors completely concealed on the rooftop of the apartment building using replacement FRP materials. This project will not result in an net increase to the existing height of the building or an expansion to the building envelope. Instead, the associated antennas will all be concealed behind the rooftop element as illustrated in the photosimulations (Attachment 9). The equipment associated with this project is located inside the basement within a 240-square foot equipment room. The equipment enclosure cannot be seen from the public views and the rooftop WCF will also be hidden appropriately from the public right-of-way. The entire WCF design is consistent with the City of San Diego Municipal Code Section 141.0420 and the WCF Design Guidelines.

Community Plan Analysis - The project location has been designated for multi-family residential use in the Pacific Beach Community Plan (Attachment 2). The Pacific Beach Community Plan does not contain specific policies on wireless communication facility development.

Council Policy 600-43 - The guidelines establish a hierarchy from the most preferred location (Preference 1) to the least preferred location (Preference 4) for WCFs. The project is proposed in a Preference 4 location according to Council Policy 600-43, which categorizes WCF’s according to land use in which they are located. The project is located on a residential use and requires a CUP, Process 4 level decision. The applicant is required to submit a site justification explaining why a Preference 4 level site was selected over any lower Preference Level sites. For this project, AT&T Mobility selected this site based on the existing height of the building and the design opportunity to completely conceal the antennas from the public right-of-way. Additionally, other WCF carriers have identified similar issues in providing reliable coverage in this search ring before selecting this apartment complex. There are currently two WCFs located on this property and one other WCF across the street.

General Plan - The General Plan, Section UD-A.15, states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of the facility is to be aesthetically pleasing and respectful of the neighborhood context. The proposed twelve antennas, RRUs, and surge suppressors will be concealed behind the existing rooftop mechanical screen wall using

FRP materials, painted and textured to match the building. Additionally, the equipment is located inside a 240-square foot equipment room in the basement, not visible to the public. Consistent with the WCF Guidelines and the General Plan, this WCF has been designed to use all reasonable means to conceal or minimize the visual impacts of the wireless communication facilities through integration. Integration with existing structures or among other existing uses shall be accomplished through the use of architecture, landscape and siting solutions. Therefore, staff has determined that the proposed WCF has been designed to be integrated and respectful to the neighborhood context.

Conclusion - The project has been determined by staff to be consistent with the purpose and intent of the applicable development regulations of the San Diego Municipal Code, which includes the development regulations of the RM-3-7 zone and the Wireless Communication Facilities Regulations Section 141.0420. The proposed modification would result in a stealth WCF design and can be supported by staff. Therefore, staff recommends that the Planning Commission approve Conditional Use Permit No. 1201919.

ALTERNATIVE

1. **Approve Conditional Use Permit No. 1201919, with modifications.**
2. **Deny Conditional Use Permit No. 1201919, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.**

Respectfully submitted,



Mike Westlake
Acting Deputy Director
Development Services Department



Simon Tse
Development Project Manager
Development Services Department

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Project Site Plans
9. Photosimulations

10. Photosurvey
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Public Notice of Planning Commission
14. Project Chronology
15. Site Justification Letter
16. Coverage Maps
17. Draft Findings (Prepared by the applicant)



Aerial Photo

AT&T Mobility Crown Pointe - Project No. 326246
3866 Ingraham Street, San Diego, CA 92109



Project Site



Pacific Beach

Existing Conditions

Land Use

Legend

-  Single Family Residential
-  Multi-Family Residential
-  Group Quarters
-  Mobile Home Park
-  Commercial; Visitor Commercial
-  Industrial; Warehouse/Storage
-  Communication and Utilities; Transportation Related
-  Institutional
-  Schools
-  Park; Open Space; Beaches
-  Private Recreation
-  Undeveloped
-  Military Use



Community Land Use Map (Pacific Beach)

AT&T Mobility Crown Pointe - Project No. 326246
3866 Ingraham Street, San Diego, CA 92109





Project Location Map

AT&T Mobility Crown Pointe - Project No. 326246

3866 Ingraham Street, San Diego, CA 92109



PROJECT DATA SHEET

PROJECT NAME:	AT&T Mobility Crown Pointe	
PROJECT DESCRIPTION:	Wireless Communication Facility (WCF) consisting of twelve (12) antennas concealed behind the rooftop mechanical screen wall. The equipment associated with this project is located inside the basement level.	
COMMUNITY PLAN AREA:	Pacific Beach	
DISCRETIONARY ACTIONS:	Conditional Use Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Residential	
<u>(RM-3-7) ZONING INFORMATION:</u>		
CURRENT HEIGHT LIMIT:	30-feet	PROPOSED HEIGHT LIMIT: No change
CURRENT FRONT SETBACK:	20-feet	PROPOSED FRONT SETBACK: No change
CURRENT SIDE SETBACK:	5-feet	PROPOSED SIDE SETBACK: No change
CURRENT REAR SETBACK:	10-feet	PROPOSED REAR SETBACK: No change
ADJACENT PROPERTIES:	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential/RM-1-1	Residential
SOUTH:	Residential/RM-1-1	Residential
EAST:	Residential/RM-3-7	Residential
WEST:	Residential/RM-1-1	Residential
DEVIATIONS OR VARIANCES REQUESTED:	None.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On September 25, 2013 the Pacific Beach Planning Group voted to recommend approval of this project (Attachment 11).	

**PLANNING COMMISSION RESOLUTION NO.
CONDITIONAL USE PERMIT NO. 1201919
AT&T MOBILITY - CROWN POINTE PROJECT NO. 326246**

WHEREAS, CONRAD PREBYS TRUST, Owner, and AT&T MOBILITY, Permittee, filed an application with the City of San Diego for a permit to install a Wireless Communication Facility (WCF) that consists of twelve (12) antennas, twenty-four (24) Remote Radio Units (RRUs), two surge suppressors concealed behind the rooftop mechanical screen wall using Fiberglass Reinforced Panel (FRP) materials, painted and textured to match the existing building. The equipment associated with this project is located inside a 240-square foot equipment room located inside the basement, not visible to the public as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Conditional Use Permit No. 1201919;

WHEREAS, the project site is located at 3866 Ingraham Street, San Diego, CA 92109 in the RM-3-7 zone within the Pacific Beach Community Plan;

WHEREAS, the project site is legally described as Parcel 1: Lot 2 of South Bay Club Apartments – Mission Bay, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 5935, filed in the Office of the County Recorder of San Diego County, August 10, 1967. Parcel 2: Lot 1 South Bay Apartments – Mission Bay, Resubdivision No. 1, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 6237, filed in the Office of the County Recorder of San Diego County, November 26, 1968.

WHEREAS, on November 14, 2013, the Planning Commission of the City of San Diego considered Conditional Use Permit No. 1201919 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on October 11, 2013, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303 (New construction or conversion of small structures) and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

NOW, THEREFORE,

BE IT RESOLVED by the PLANNING COMMISSION of the City of San Diego as follows:

That the PLANNING COMMISSION adopts the following written Findings, dated November 14, 2013.

FINDINGS:

Findings for Conditional Use Permit Approval – Section §126.0305

- 1. The proposed development will not adversely affect the applicable land use plan;**

The Pacific Beach Community Plan does not address WCFs as a specific land use. Pursuant to the San Diego Land Development Code, WCFs are permitted in all zones citywide with the appropriate permit process. WCF's are separately regulated uses, which have limitations or require compliance with conditions in order to minimize potential impacts. The intent of the regulations is to camouflage facilities from public views. The proposed design to locate the antennas, RRUs, and surge suppressors on the rooftop behind the existing mechanical screen wall using FRP materials would result in a completely concealed design. This is consistent with the General Plan, Section UD-A.15, which states that WCFs should be concealed in existing structures when possible, or otherwise use camouflage and screening techniques to hide or blend the facilities into the surrounding area. The design of facilities is to be aesthetically pleasing and respectful of the neighborhood context. Additionally, the equipment associated with this project is located inside a new 240-square foot equipment room in the basement of the apartment building. AT&T's design would comply with the General Plan's recommendation since the antennas and the equipment are appropriately located away from the public views. As a whole, this project complies with the General Plan's requirements and will not adversely affect the applicable land use plan.

2. The proposed *development* will not be detrimental to the public health, safety, and welfare;

The Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emissions to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A statement has been included on the plans indicating that the WCF complies with federal standards for radio frequency in accordance with Telecommunication Act of 1996 and subsequent amendments and any other requirements imposed by state or federal regulatory agencies. The Permittee submitted a Radio Frequency Study concluding that the FCC standards are being met.

3. The proposed *development* will comply with the regulations of the Land Development Code including any allowable deviations pursuant to the Land Development Code; and

The WCF has been designed to have minimal visual impacts to the surrounding uses and complies with Municipal Code Section 141.0420 and the RM-3-7 zone. The proposed WCF to conceal the antennas, RRUs, and surge suppressors on the rooftop of the apartment building behind the existing mechanical screen wall using FRP materials will comply with the WCF Design Guidelines and the City of San Diego Municipal Code Section 141.0420. The equipment associated with this project is located inside the basement within a new 240-square foot equipment room. Neither the antennas nor the equipment room will be visible from public views. All future design changes may include, but not limited to the increase of antenna dimensions, will be thoroughly evaluated to ensure compatibility with the building's design and compliance with the WCF regulations. No future antennas and associated components will be allowed to extend above the height of the replacement FRP mechanical screen wall. No deviations are being requested with this project. As designed, the proposed modifications to the WCF will comply with the regulations of the Land Development Code.

4. The proposed use is appropriate at the proposed location.

The antennas are located on an apartment complex behind FRP screens and surrounded by other residential uses. AT&T's justification letter identifies this search ring as an area of concentration to

increase call reliability, reduce dropped calls and spotty coverage. This location selected would help provide data and voice communications along Ingraham Street and to the residential uses to the west. Due to the Coastal Height Limit Overlay Zone, AT&T's design and locations are limited. In this situation, this previously conforming structure provides the necessary height and design features to conceal AT&T's WCFs while effectively enhancing the wireless coverage to the surrounding community uses. Therefore, the proposed WCF is appropriate at the proposed location.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Conditional Use Permit No. 1201919 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Conditional Use Permit No. 1201919, a copy of which is attached hereto and made a part hereof.

Simon Tse
Development Project Manager
Development Services

Adopted on: November 14, 2013

Internal Order No. 24003813

RECORDING REQUESTED BY
 CITY OF SAN DIEGO
 DEVELOPMENT SERVICES
 PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003813

CONDITIONAL USE PERMIT NO. 1201919
AT&T MOBILITY – CROWN POINTE NO. 326246
 PLANNING COMMISSION

This Conditional Use Permit No. 1201919 is granted by the Planning Commission of the City of San Diego to **CONRAD PREBYS TRUST**, Owner, and **AT&T MOBILITY**, Permittee, pursuant to San Diego Municipal Code [SDMC] section Chapter 12, Article 6, Division 3 and Land Development Code Section 141.0420. The project is located at 3866 Ingraham Street in the RM-3-7 zone of the Pacific Beach Community Plan. The project site is legally described as Parcel 1: Lot 2 of South Bay Club Apartments - Mission Bay, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 5935, filed in the Office of the County Recorder of San Diego County, August 10, 1967. Parcel 2: Lot 1 South Bay Apartments - Mission Bay, Resubdivision No. 1, in the City of San Diego, County of San Diego, State of California, according to map thereof no. 6237, filed in the Office of the County Recorder of San Diego County, November 26, 1968.

Subject to the terms and conditions set forth in this Permit, permission is granted to the Owner and Permittee for a Wireless Communication Facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated November 14, 2013, on file in the Development Services Department.

The project shall include:

- a. A Wireless Communication Facility (WCF) that consists of twelve (12) antennas, twenty-four (24) Remote Radio Units (RRUs), and two surge suppressors concealed behind the existing rooftop mechanical screen wall using replacement Fiberglass Reinforced Panel (FRP) materials, painted and textured to match the existing apartment building; and

- b. The equipment associated with this project is located inside a 240-square foot equipment room in the basement with minimal visual impacts; and
- c. Two ground mounted air conditioning units; and
- d. Vertical cable tray, painted and textured to match the existing building; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **November 28, 2016**.
2. This Conditional Use Permit [CUP] and corresponding use of this site shall expire on **November 14, 2023**. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
4. Under no circumstances, does approval of this permit authorize the Owner/Permittee to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
5. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.
6. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

7. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

8. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

9. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

10. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

11. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision.

The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

PLANNING/DESIGN REQUIREMENTS:

14. The approved antenna dimensions are listed below and illustrated on the Exhibit "A" dated November 14, 2013. Replacement of the antennas may occur in the future, subject to the Owner/Permittee notifying the Development Services Department prior to the replacement of the antennas and subject to the provision of providing an updated Radio Frequency (RF) report demonstrating compliance with the Federal Communication Commission's regulations in accordance with SDMC Section 141.0420(b)(1)(A) to the satisfaction of the Development Services Department.

- a. Four (4) antennas with the following dimensions: 75.5" by 11.8" by 6"; and
- b. Eight (8) antennas with the following dimensions: 55.2" by 11.8" by 6".

15. The WCF shall conform to the stamped approved plans and approved photosimulations prior to final Telecom Planning Inspection approval.

16. Photosimulations in color for the WCF shall be printed (not stapled) on the construction plans. This helps ensure that the construction team building the project constructs the project in compliance with approved the Exhibit "A."

17. The Owner/Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department. The Owner/Permittee shall be responsible for complying with all State and Federal regulations, as applicable.

18. Antennas shall not exceed the height of any existing or proposed mechanical screen wall.

19. Use of or replacement of any mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building surfaces.

20. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise

ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

21. All facilities and related equipment shall be maintained in good working order and free from trash, debris, graffiti and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

22. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA to the satisfaction of the Development Services Department.

25. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

INFORMATION ONLY:

- Please note that a **Telecom Planning Inspection Issue** will be placed on the project prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at **(619) 687-5984** to schedule an inspection of the completed facility. Please schedule this administrative inspection at least five working days ahead of the requested Final Inspection date.
- Per LDC §59.5.0404 Construction Noise (a), It shall be unlawful for any person, between the hours of 7:00 p.m. of any day and 7:00 a.m. of the following day, or on legal holidays as specified in Section 21.04 of the San Diego Municipal Code, with exception of Columbus Day and Washington's Birthday, or on Sundays, to erect, construct, demolish, excavate for, alter or repair any building or structure in such a manner as to create disturbing, excessive or offensive noise unless a permit has been applied for and granted beforehand by the Noise Abatement and Control Administrator.
- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.

APPROVED by the Planning Commission of the City of San Diego on November 14, 2013 and by Resolution No PENDING.

Conditional Use Permit No. 1201919
November 14, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Simon Tse
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

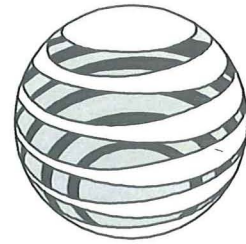
CONRAD PREBYS TRUST
Owner

By _____
NAME
TITLE

AT&T MOBILITY
Permittee

By _____
NAME
TITLE

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



at&t
Mobility - San Diego

APPROVAL	DATE	SIGNATURE
P.M.:		
C.M.:		
S.A.C.:		
R.F.:		
ZONING:		

SITE NUMBER: SD0232

SITE NAME: CROWN POINTE

DRAWING INDEX	REV.	DIRECTIONS	DEVELOPMENT SUMMARY																																
T01 TITLE SHEET A01 OVERALL SITE PLAN A02 ROOF PLAN A03 ANTENNA LAYOUT PLAN A04 EQUIPMENT LAYOUT PLAN A05 ELEVATIONS A06 ELEVATIONS A07 ANTENNA TABLE, RRU & ANTENNA SPECIFICATIONS A08 ANTENNA SPECIFICATIONS C-1 TOPOGRAPHIC SURVEY C-2 TOPOGRAPHIC SURVEY	2 2 2 2 2 2 2 2 2 2 2 2 1 1	<p style="text-align: center;"><u>DRIVING DIRECTIONS FROM AT&T WIRELESS, SAN DIEGO</u></p> 7337 TRADE STREET, 3EAST, ROOM 3684, SAN DIEGO, CA 92121-4202 1. HEAD WEST ON TRADE ST TOWARD CAMINO SANTA FE 2. TAKE THE 1ST LEFT ONTO CAMINO SANTA FE 3. TURN RIGHT ONTO MIRAMAR RD 4. CONTINUE ONTO LA JOLLA VILLAGE DR 5. SLIGHT LEFT TO STAY ON LA JOLLA VILLAGE DR 6. SLIGHT RIGHT TO MERGE ONTO I-5 S 7. TAKE EXIT 23 TOWARD BALBOA AVE/GARNET AVE 8. MERGE ONTO MISSION BAY DR 9. TURN RIGHT ONTO GARNET AVE 0.5 10. CONTINUE ONTO BALBOA AVE 0.5 11. CONTINUE ONTO GRAND AVE 0.4 MI 12. TURN LEFT ONTO INGRAHAM ST DESTINATION WILL BE ON THE RIGHT 3866 INGRAHAM ST SAN DIEGO, CA 92109	<p>PROJECT SCOPE OF WORK: THIS PROJECT ENTAILS THE INSTALLATION OF: 1. EQUIPMENT CABINETS INSIDE THE BUILDING AT BASEMENT LEVEL 2. (12) PANEL ANTENNAS, (24) RRU's AND (3) SURGE SUPPRESSORS BEHIND NEW RF TRANSPARENT SCREEN WALLS 3. (2) GPS ANTENNAS</p>																																
10 SHEETS TOTAL		<p style="text-align: center;">VICINITY MAP</p>	<p>BOXED BELOW IS A LIST OF DEVELOPMENT REGULATION DEVIATIONS, AND THE REQUIRED PERMITS/APPROVALS, N/A IF LEFT BLANK:</p> <div style="border: 1px solid black; height: 50px; width: 100%;"></div> <p>EXISTING WCFs ON SAME PROPERTY: SPRINT-NEXTEL</p> <p>OWNER: OWNER: PREBYS CONRAD TRUST 12-17-82 ADDRESS: 3866 INGRAHAM STREET, SAN DIEGO, CA 92109 CONTACT: ELAINE SILBERG - PROPERTY MANAGER PHONE:</p> <p>PROJECT TEAM: CONSTRUCTION: TIM HENION (503) 519-8591 PHONE: SITE ACQUISITION: DEBRA DEPRATTI GARDNER (619) 726-8110 PHONE: PLANNING: DEBRA DEPRATTI GARDNER (619) 726-8110 PHONE: ARCHITECT: D.K. DO, RA (949) 475-1000 PHONE:</p>																																
<p>CODE COMPLIANCE</p> <p>** NOTE: ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THESE CODES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p> <table border="0"> <tr> <td>1. 2010 CALIFORNIA ADMINISTRATIVE CODE (CAC)</td> <td>5. 2010 CALIFORNIA ENERGY CODE (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS)</td> </tr> <tr> <td>2. 2010 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2 (2009 EDITION INTERNATIONAL BUILDING CODE WITH 2010 CALIFORNIA AMENDMENTS)</td> <td>6. 2010 CALIFORNIA FIRE CODE (CFC) (2009 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)</td> </tr> <tr> <td>3. 2010 CALIFORNIA ELECTRICAL CODE (2008 EDITION NATIONAL ELECTRICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)</td> <td>7. 2010 CALIFORNIA GREEN CODE</td> </tr> <tr> <td>4. 2010 CALIFORNIA MECHANICAL CODE (CMC) (2009 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)</td> <td>8. 2010 CALIFORNIA REFERENCES STANDARDS CODE</td> </tr> </table>	1. 2010 CALIFORNIA ADMINISTRATIVE CODE (CAC)	5. 2010 CALIFORNIA ENERGY CODE (2008 EDITION CALIFORNIA ENERGY COMMISSION BUILDING ENERGY EFFICIENCY STANDARDS)	2. 2010 CALIFORNIA BUILDING CODE (CBC), VOLUMES 1, AND 2 (2009 EDITION INTERNATIONAL BUILDING CODE WITH 2010 CALIFORNIA AMENDMENTS)	6. 2010 CALIFORNIA FIRE CODE (CFC) (2009 EDITION OF INTERNATIONAL FIRE CODE WITH 2010 CALIFORNIA AMENDMENTS)	3. 2010 CALIFORNIA ELECTRICAL CODE (2008 EDITION NATIONAL ELECTRICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)	7. 2010 CALIFORNIA GREEN CODE	4. 2010 CALIFORNIA MECHANICAL CODE (CMC) (2009 EDITION IAPMO UNIFORM MECHANICAL CODE WITH 2010 CALIFORNIA AMENDMENTS)	8. 2010 CALIFORNIA REFERENCES STANDARDS CODE		<p>PROPERTY INFORMATION: LEGAL DESCRIPTION: (PENDING RECEIPT OF TITLE REPORT) LOT 2 OF SOUTH BAY CLUB APARTMENTS-MISSION BAY, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN ON SAID MAP, FILED AS MAP NO. 5935, IN THE OFFICE OF THE RECORDER OF SAID COUNTY. TOGETHER WITH LOT 1 OF SOUTH BAY CLUB APARTMENTS-MISSION BAY RESUB NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN ON SAID MAP, FILED AS MAP NO. 6237, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.</p> <p>ASSESSOR PARCEL NUMBER: 423-423-13 LEASE AREA: SQ. FT.</p> <p>BUILDING CODE INFORMATION: EXISTING BUILDING/STRUCTURE: OCCUPANCY = B CONSTRUCTION TYPE = V-B SPRINKLER SYSTEM = YES PROPOSED STRUCTURE: OCCUPANCY = S-2 CONSTRUCTION TYPE = V-B SPRINKLER SYSTEM = YES (EXISTING)</p> <p>ZONING INFORMATION: JURISDICTION: CITY OF SAN DIEGO ZONING DESIGNATION: RM-3-7 EXISTING ZONING NO.: LATITUDE: 32° 47' 25.36" N LONGITUDE: 117° 14' 18.06" W TOP OF (E) STRUCTURE: ± AGL BASE OF STRUCTURE: 55.5 FEET (A.M.S.L.)</p>																									
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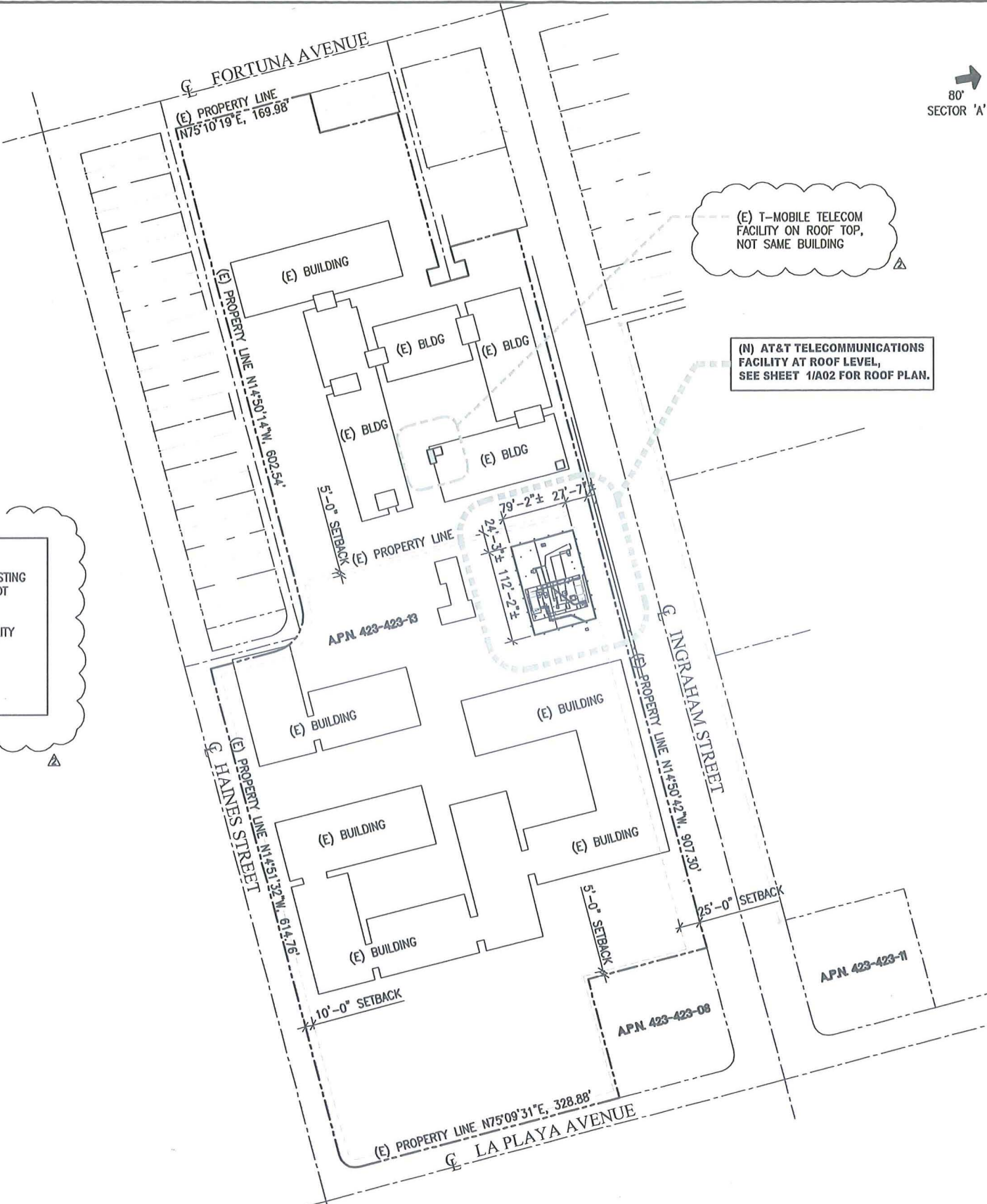
320'
SECTOR 'C'

80'
SECTOR 'A'

200'
SECTOR 'B'

NOTES:

1. THIS PROJECT PROPOSES NO DEVELOPMENT IMPROVEMENTS OUTSIDE THE EXISTING BUILDING FOOTPRINT FOR THIS DISCRETIONARY REVIEW AND THEREFORE DOES NOT REQUIRE ANY PERMANENT STORM WATER BEST MANAGEMENT
2. THIS IS A ROOF TOP A BASEMENT LEVEL INSTALLATION TO AN EXISTING FACILITY AND NO GROUND DISTURBANCE OR TRENCHING IS PROPOSED BY THIS PROJECT
3. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT
4. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT OF WAY



(E) T-MOBILE TELECOM FACILITY ON ROOF TOP, NOT SAME BUILDING

(N) AT&T TELECOMMUNICATIONS FACILITY AT ROOF LEVEL, SEE SHEET 1/A02 FOR ROOF PLAN.

Lessee's Certificate
Standard Wireless Facility Project
for Post-construction BMP's

I / we the undersigned, as lessee of a portion of the property described as
3866 INGRAHAM STREET SAN DIEGO, CA 92109
(Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMPs.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediments
- Nutrients
- Trash & debris
- Oxygen Demanding Substance
- Oil & Grease
- Bacteria & Viruses
- Pesticides

I/We will incorporate the following into the site design:

- Maintain pre-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to lined swales or underground drainage systems
- Drain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee Kevin C. Becker Company Name: AT&T Mobility
(print name)

Lessee KCB Date: 07-29-2013
(signature)

OVERALL SITE PLAN

SCALE: 1"=80'-0" 0 20' 40' 80' 1



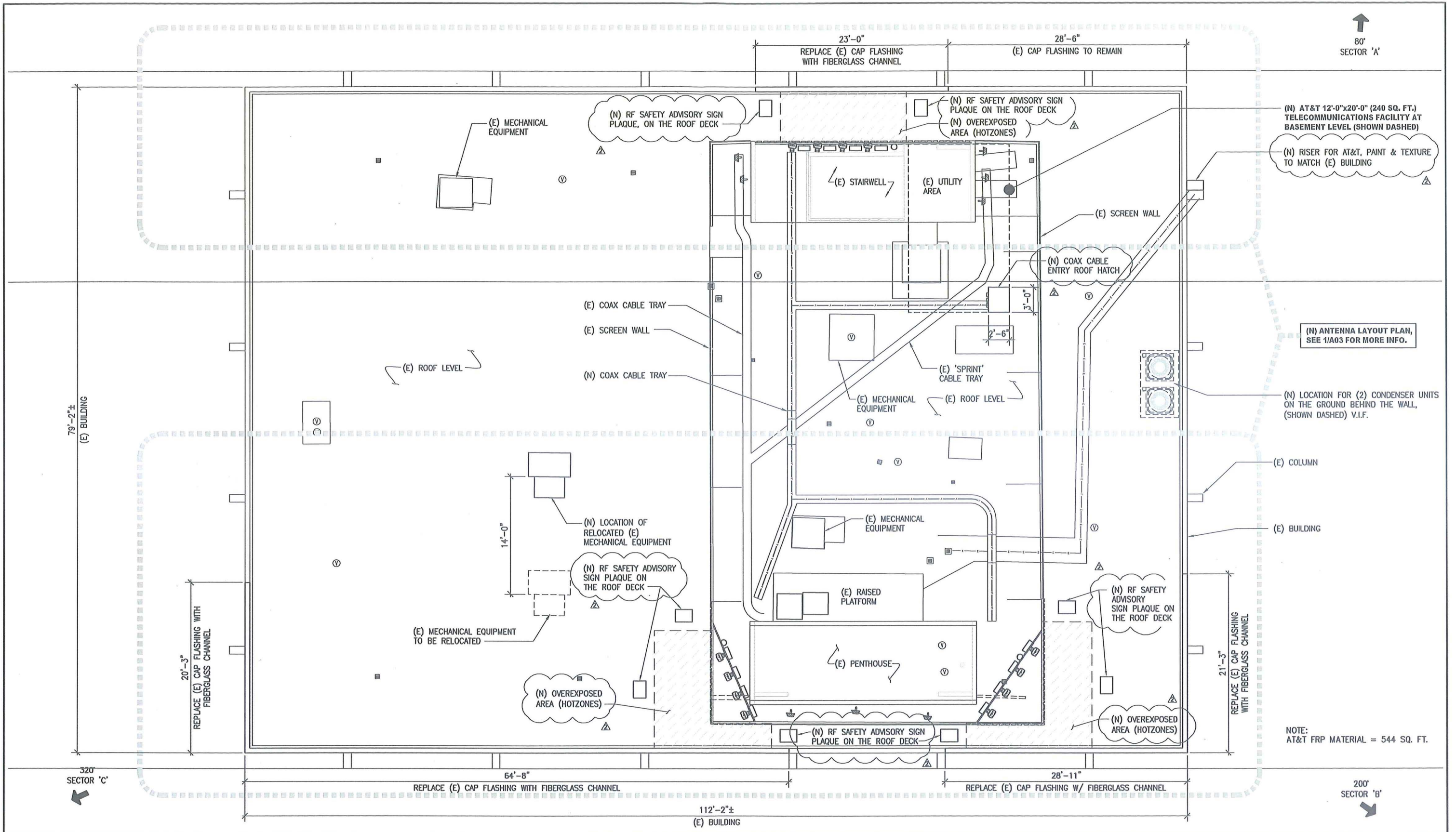
CROWN POINTE
SD0232
3866 INGRAHAM STREET,
SAN DIEGO, CA 92109

DCI PACIFIC
A|E|C WORKS
ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
T 949 475.1000 | 949 475.1001 F

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0	05/10/13	ISSUED FOR ZONING APPROVAL	IP	BOK	DKD
A	05/02/13	ISSUED FOR ZD REVIEW AND COMMENT	IP	BOK	DKD

SHEET TITLE: OVERALL SITE PLAN
SHEET NUMBER: A01

REDUCED PLOT: DO NOT SCALE THIS DRAWING



ROOF PLAN

SCALE: 3/16"=1'-0"
 0 2' 4' 8'
 SHEET TITLE SHEET NUMBER



CROWN POINTE
 SD0232
 3866 INGRAHAM STREET,
 SAN DIEGO, CA 92109

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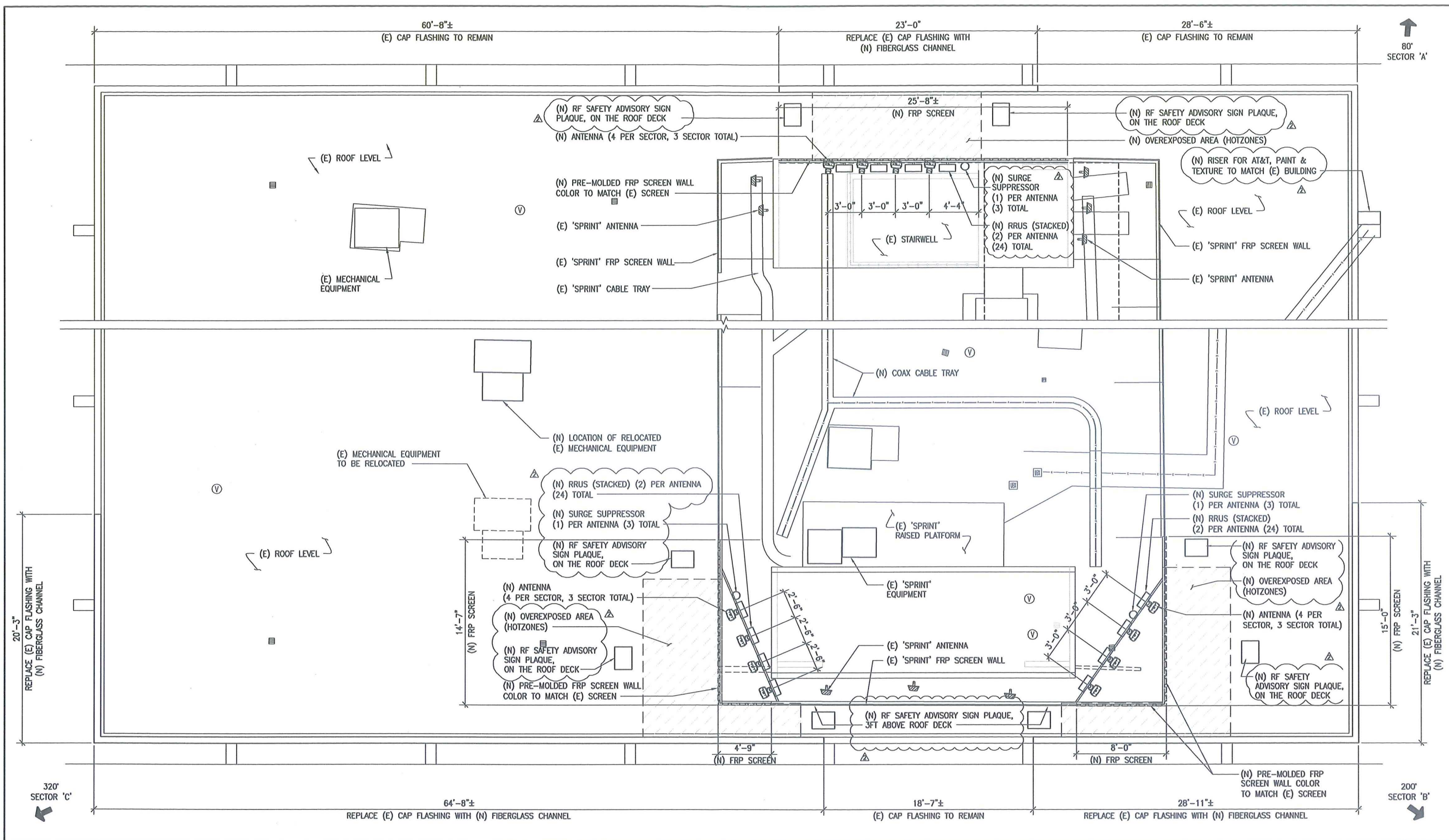
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A	05/02/13	ISSUED FOR 2D REVIEW AND COMMENT	IP	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

ROOF PLAN

A02

REDUCED PLOT: DO NOT SCALE THIS DRAWING



ANTENNA LAYOUT PLAN

SCALE: 1/4"=1'-0" 0 1' 2' 4' 1



CROWN POINTE
SD0232
3866 INGRAHAM STREET,
SAN DIEGO, CA 92109

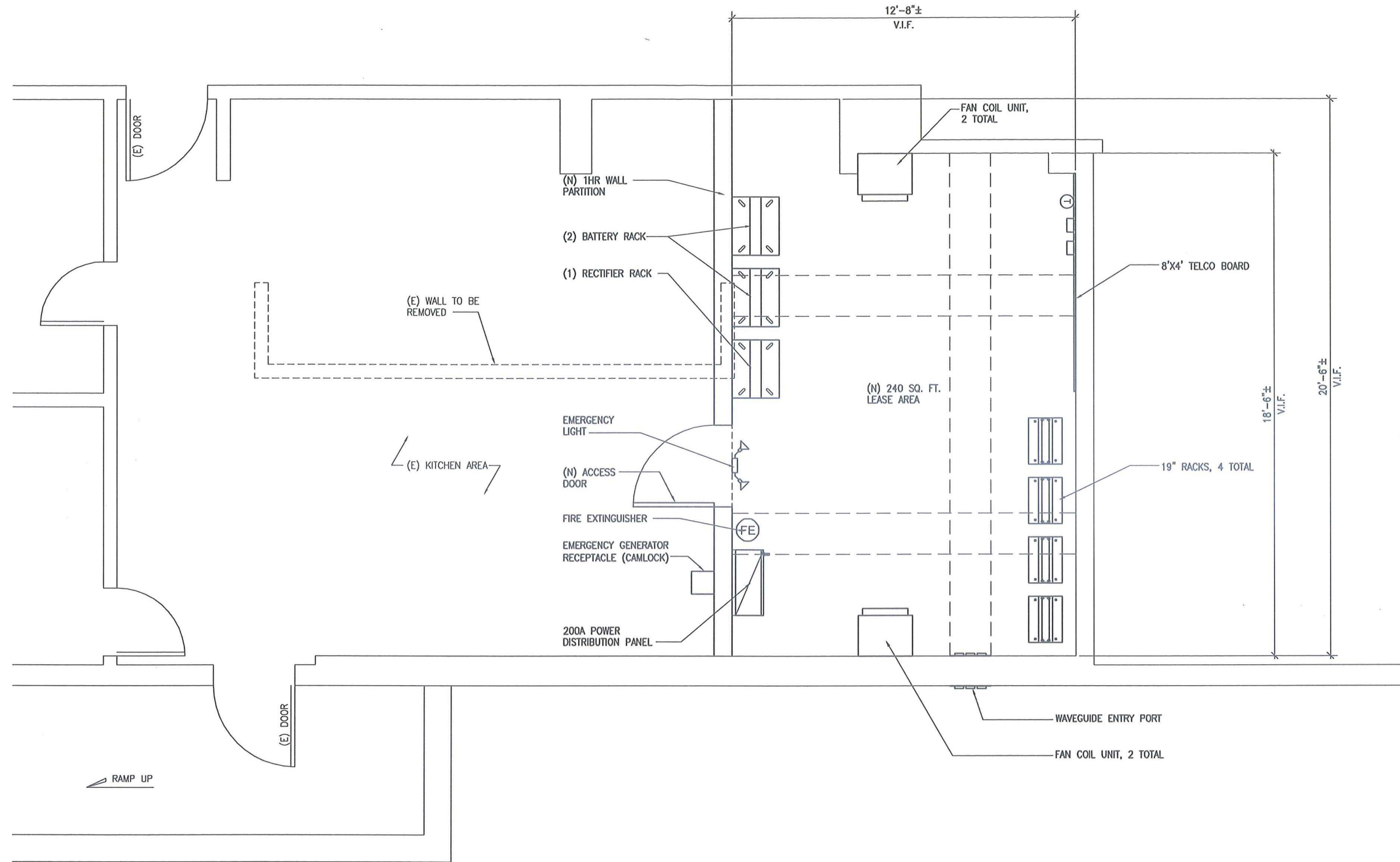
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A	05/02/13	ISSUED FOR ZD REVIEW AND COMMENT	IP	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE: ANTENNA LAYOUT PLAN
SHEET NUMBER: A03

REDUCED PLOT: DO NOT SCALE THIS DRAWING



EQUIPMENT LAYOUT PLAN @ BASEMENT LEVEL (E) KITCHEN AREA

SCALE: 1/2"=1'-0"
 NORTH
 0 1' 2'
 SHEET TITLE SHEET NUMBER 1



CROWN POINTE
 SD0232
 3866 INGRAHAM STREET,
 SAN DIEGO, CA 92109

DCI PACIFIC
 A|E|C WORKS

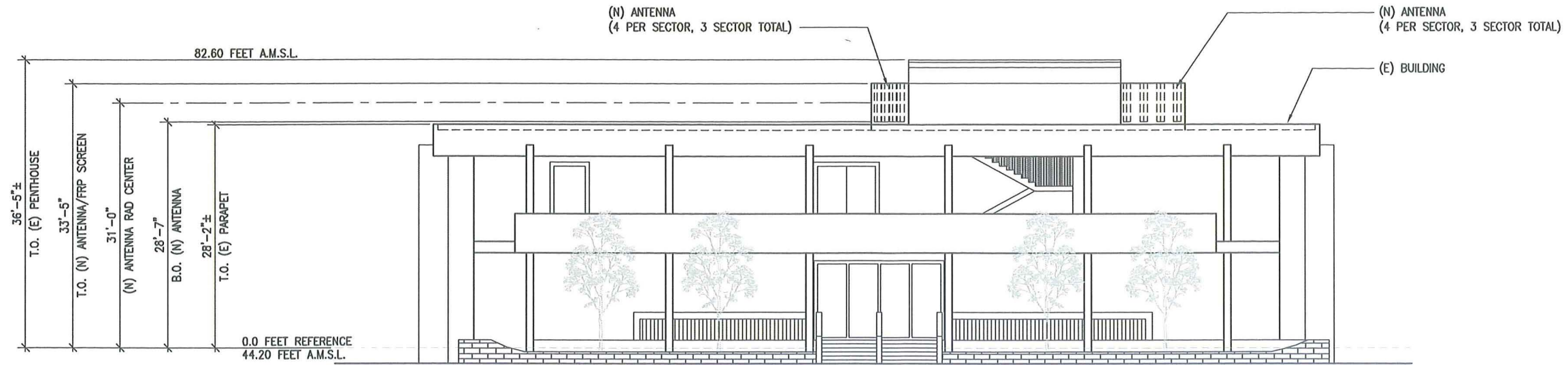
ARCHITECTURE | ENGINEERING | CONSULTING
 32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
 T 949 475.1000 | 949 475.1001 F

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SCALE AS SHOWN DESIGNED DRAWN

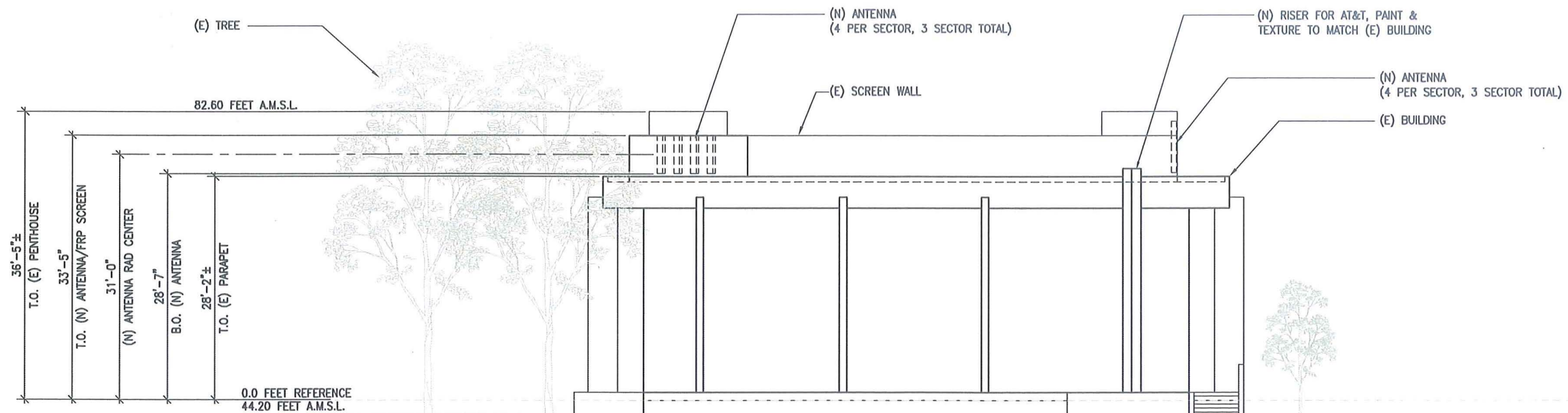
EQUIPMENT LAYOUT PLAN

A04



WEST ELEVATION

SCALE: 1/8"=1'-0" 0 2' 4' 8' 2



SOUTH ELEVATION

SCALE: 1/8"=1'-0" 0 2' 4' 8' 1



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SAN DIEGO, CA 92109

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SCALE AS SHOWN DESIGNED DRAWN

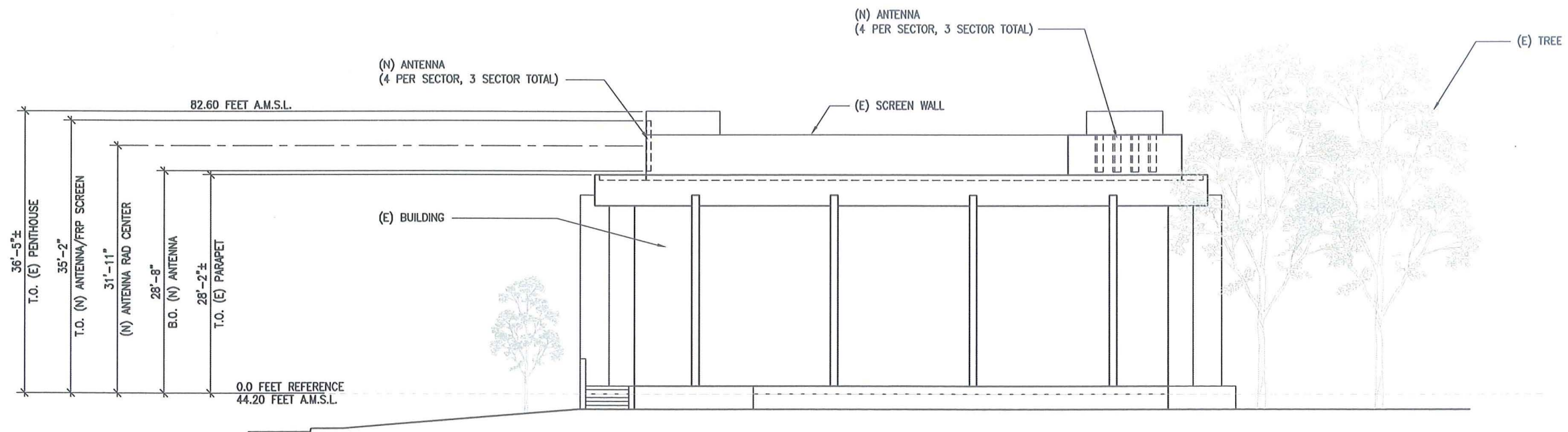
SHEET TITLE	SHEET NUMBER
ELEVATIONS	A05

REDUCED PLOT: DO NOT SCALE THIS DRAWING



EAST ELEVATION

SCALE: 1/8"=1'-0" 0 2' 4' 8' 2



NORTH ELEVATION

SCALE: 1/8"=1'-0" 0 2' 4' 8' 1



CROWN POINTE
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3866 INGRAHAM STREET,
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SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	SHEET NUMBER
ELEVATIONS	A06

REDUCED PLOT: DO NOT SCALE THIS DRAWING



800 10764 K
700 MHz Dual Band 4', 65 Degree Antenna
RET

- Kathrein's X-polarized antennas are designed for use in digital polarization diversity systems.
- X-polarized (+45° and -45°).
 - UV resistant fiberglass radomes.
 - Wideband vector dipole technology.
 - DC Grounded metallic parts for impulse suppression.
 - RET motor housed inside the radome and field replaceable.

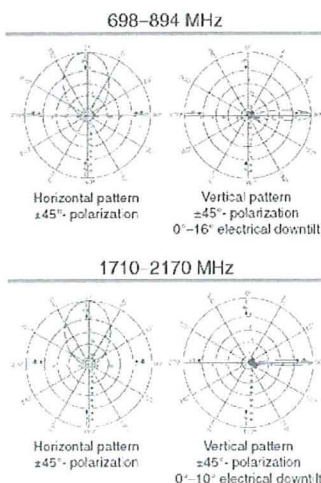
General specifications:

Frequency range	698-894 MHz // 1710-2170 MHz
Impedance	50 ohms
VSWR	<1.5:1
Intermodulation (2x20w)	IM3<-150 dBc
Polarization	+45° and -45°
Connector	4 x 7-16 DIN female (long neck)
Isolation	Intrasytem >30 dB // Intersystem >40 dB

See reverse for order information.

IRT specifications:

Logical interface ex factory ¹⁾	AISG 1.1
Protocols	AISG 1.1 and 3GPP/AISG 2.0 compliant
Hardware interface ²⁾	2 x 8pin connector acc. IEC 60130-9, according to AISG: - IRTin (male): Control / Daisy chain in - IRTout (female): Daisy chain out
Power supply	10-30 V
Power Consumption	<1 W (standby); <8.5 W (motor activated)
Adjustment time (full range)	40 seconds
Adjustment cycles	>50,000
Certification	FCC 15.107 Class B Computing Devices



¹⁾ The protocol of the logical interface can be switched from AISG 1.1 to 3GPP/AISG 2.0 and vice versa with a vendor specific command.
Please note: If the Primary of the RET system doesn't support the standard of the logical interface ex factory, the RCU must be switched to the appropriate standard of the Primary before installation. Please contact Kathrein for further information.
²⁾ The lightning torque for fixing the connector must be 0.5 - 1.0 Nm (hand-tightened). The connector should be tightened by hand only!

Specifications:	698-806 MHz	824-894 MHz	1710-1755 MHz	1850-1990 MHz	2110-2170 MHz
Gain	14.5 dBi	15 dBi	17.3 dBi	17.5 dBi	17.3 dBi
Front-to-back ratio	>30 dB (co-polar) 32 dB (average)	>30 dB (co-polar) 32 dB (average)	>30 dB (co-polar) 34 dB (average)	>30 dB (co-polar) 34 dB (average)	>30 dB (co-polar) 34 dB (average)
Maximum input power per input	500 watts (at 50°C)	500 watts (at 50°C)	300 watts (at 50°C)	300 watts (at 50°C)	300 watts (at 50°C)
+45° and -45° polarization horizontal beamwidth	68° (half power)	65° (half power)	61° (half power)	60° (half power)	61° (half power)
+45° and -45° polarization vertical beamwidth	15° (half-power)	13.5° (half-power)	7.5° (half-power)	7.5° (half-power)	7.5° (half-power)
Electrical downtilt continuously adjustable	0°-16°	0°-16°	0°-10°	0°-10°	0°-10°
Min sidelobe suppression for first sidelobe above main beam average	0° 17 16 16 dB 8° 16 16 16 dB 16° 16 16 16 dB	0° 18 16 16 dB 8° 16 16 16 dB 16° 16 16 16 dB	0° 18 18 17 dB 5° 18 17 dB 10° 20 20 20 dB	0° 18 18 17 dB 5° 18 17 dB 10° 20 20 20 dB	0° 18 18 17 dB 5° 18 17 dB 10° 20 20 20 dB
Cross polar ratio Main direction	0°	25 dB (typical)	25 dB (typical)	25 dB (typical)	25 dB (typical)
Sector	±50°	>10 dB, 15 dB (avg)	>8 dB, 14 dB (avg)	>10 dB, 16 dB (avg)	>8 dB, 14 dB (avg)



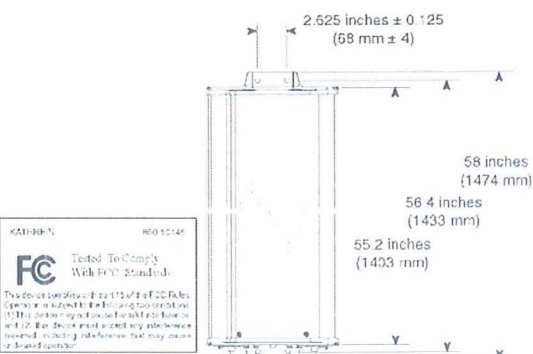
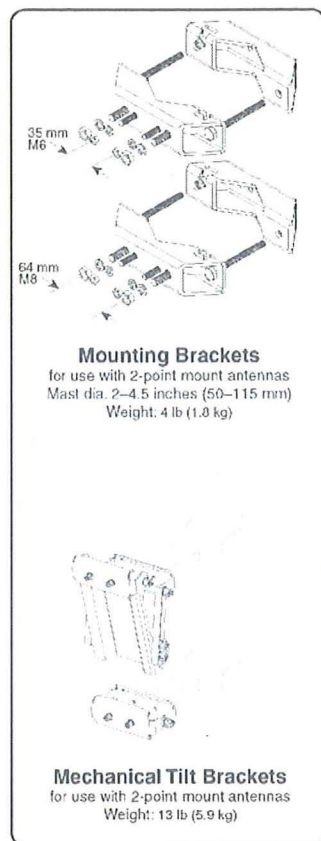
11150-FROb
936.A2688'e
Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991
Email: communications@kathrein.com Internet: www.kathrein-scala.com



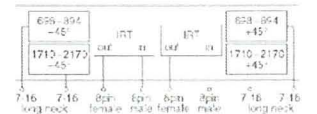
800 10764 K
700 MHz Dual Band 4', 65 Degree Antenna
RET

Mechanical specifications:

Weight	40.8 lb (18.5 kg)
Dimensions	55.2 x 11.8 x 6 inches (1403 x 300 x 152 mm)
Wind survival rating*	150 mph (240 kph)
Shipping dimensions	64.8 x 12.6 x 7.5 inches (1646 x 322 x 190 mm)
Shipping weight	47.4 lb (21.5 kg)
Mounting	Mounting hardware included for 2 to 4.6 inch (50 to 115 mm) O.D. masts



Note: Refer to part number 860 10145 for the specifications of the remote control actuator.



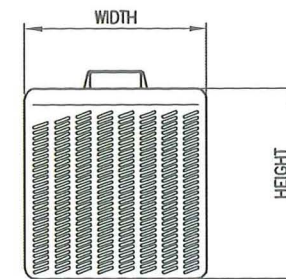
Order Information:

Model	Description
800 10764 K	Dualband antenna with mounting bracket and mechanical tilt bracket 0°-16° / 0°-10° electrical downtilt

* Mechanical design is based on environmental conditions as set placed in EIA-222-F (June 1996) and/or ETS 300 019-1-4 which include the static mechanical load imposed on an antenna by wind at maximum velocity. See the Engineering Section of the catalog for further details

All specifications are subject to change without notice. The latest specifications are available at www.kathrein-scala.com.

Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991
Email: communications@kathrein.com Internet: www.kathrein-scala.com



RRU MODEL	RRUS-11
DIMENSIONS INC. SUN SHIELD	17.8" x 17.3" x 7.2"
DIMENSIONS EXCL. SUN SHIELD	15.9" x 16.3" x 5.8"
INPUT VOLTAGE	-48VDC OR AC (INDOOR)
FUSE SIZE	13 - 32A (RECOMMENDED 25A)
BAND 12 FREQUENCY	LOWER 700 MHz
BAND 12 WEIGHT	50 LBS
BAND 4 FREQUENCY	AWS, 17/2100 MHz
BAND 4 WEIGHT	44 LBS
MIN. CLEARANCE ABOVE	16"
MIN. CLEARANCE BELOW	8"
MIN. CLEARANCE SIDE	0"

REMOTE RADIO UNIT SPECIFICATIONS

2

ANTENNA SECTOR	ANTENNA					RRU AT ANTENNA LEVEL		CABLE LENGTH (SEE FIBER AND DC INFORMATION BELOW)
	AZIMUTH	MODEL	RAD CENTER	DOWNTILT	SKEW	MODEL	QTY	
ALPHA	A1	KATHREIN 800 10765 K (6)	31°-11"	0	5 deg	RRUS-11	2	60 FT +/-
	A2	KATHREIN 800 10765 K (6)	31°-11"	0	5 deg	RRUS-11	2	
	A3	KATHREIN 800 10765 K (6)	31°-11"	0	5 deg	RRUS-11	2	
	A4	KATHREIN 800 10765 K (6)	31°-11"	0	5 deg	RRUS-11	2	
BETA	B1	KATHREIN 800 10764 K (4)	31°-0"	0	0 deg	RRUS-11	2	170 FT +/-
	B2	KATHREIN 800 10764 K (4)	31°-0"	0	0 deg	RRUS-11	2	
	B3	KATHREIN 800 10764 K (4)	31°-0"	0	0 deg	RRUS-11	2	
	B4	KATHREIN 800 10764 K (4)	31°-0"	0	0 deg	RRUS-11	2	
GAMMA	C1	KATHREIN 800 10764 K (4)	31°-0"	0	0 deg	RRUS-11	2	150 FT +/-
	C2	KATHREIN 800 10764 K (4)	31°-0"	0	0 deg	RRUS-11	2	
	C3	KATHREIN 800 10764 K (4)	31°-0"	0	0 deg	RRUS-11	2	
	C4	KATHREIN 800 10764 K (4)	31°-0"	0	0 deg	RRUS-11	2	
DELTA	D1	-	-	-	-	-	0	-
	D2	-	-	-	-	-	0	
	D3	-	-	-	-	-	0	
	D4	-	-	-	-	-	0	
GPS	GPS #1	N/A	KATHREIN OG-860/1920/GPS-A	INSTALL (2) 3/2" COAX PER GPS, L =	20'	24		
	GPS #2	N/A	KATHREIN OG-860/1920/GPS-A	INSTALL (2) 3/2" COAX PER GPS, L =	20'			

FIBER AND DC INFORMATION:

TOTAL FIBER INNERDUCTS FROM LEASE AREA TO EACH SECTOR =	1	2" DIAMETER INNERDUCT (STANDARD)
TOTAL DC-6 (DC6-48-60-0-1B-01), (1) PER SECTOR =	3	PCS (STANDARD)
TOTAL DC-2, (1) PER SECTOR =	3	PCS (STANDARD)
TOTAL NUMBER OF CONDUIT FOR DC, (1) PER SECTOR =	3	2" DIAMETER INNERDUCT (STANDARD)
TOTAL REQUIRED FIBER RIBBONS FROM SURGE SUPPRESSOR TO RRUS =	48	RIBBONS
TOTAL DC LINES FROM SURGE SUPPRESSOR TO RRUS =	18	PAIRS

EACH FIBER INNERDUCT CONTAINS 24 FIBER RIBBONS, MAXIMUM RIBBONS =

24	RIBBONS AVAILABLE
48	RIBBONS REQUIRED
-24	RIBBONS SPARE

EACH CONDUIT FOR DC CABLES CONTAINS 8 PAIRS DC LINES, MAXIMUM DC LINES =

24	PAIRS AVAILABLE
24	PAIRS REQUIRED
0	PAIRS SPARE

ANTENNA SPECIFICATIONS

3 ANTENNA TABLE

1



CROWN POINTE
SD0232
3866 INGRAHAM STREET,
SAN DIEGO, CA 92109

DCI PACIFIC
A/E/C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
T 949 475.1000 | 949 475.1001 F

NO.	DATE	REVISIONS	BY	CHK	APP'D
Δ	08/12/13	REVISED PER CITY COMMENTS 7-12-13	HH	BOK	DKD
1	05/20/13	REVISED PER DRM COMMENTS 5-17-13	IP	BOK	DKD
0	05/10/13	ISSUED FOR ZONING APPROVAL	IP	BOK	DKD
A	05/02/13	ISSUED FOR 2D REVIEW AND COMMENT	IP	BOK	DKD

SCALE AS SHOWN DESIGNED DRAWN

SHEET TITLE	ANTENNA TABLE, RRU & ANTENNA SPECIFICATIONS
SHEET NUMBER	A07



800 10765 K
Dual Band Broadband 6', 65 Degree Antenna
RET

Kathrein's X-polarized antennas are designed for use in digital polarization diversity systems.

- X-polarized (+45° and -45°).
- UV resistant fiberglass radomes.
- Wideband vector dipole technology.
- DC Grounded metallic parts for impulse suppression.
- RET motor housed inside the radome and field replaceable.

General specifications:

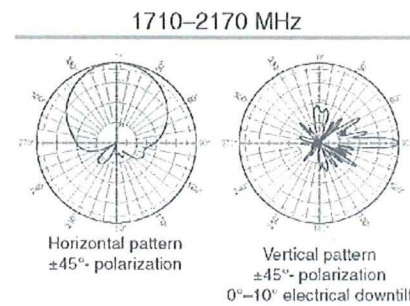
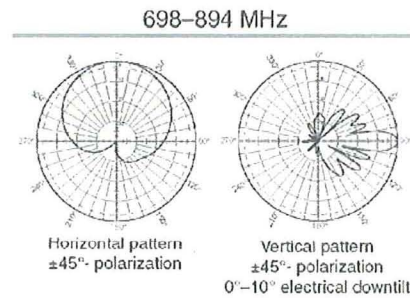
Frequency range	698-894 MHz // 1710-2170 MHz
Impedance	50 ohms
VSWR	<1.5:1
Intermodulation (2x20w)	IM3: < -150 dBc
Polarization	+45° and -45°
Connector	4 x 7-16 DIN female (long neck)
Isolation	intrasystem >30 dB // intersystem >40 dB

See reverse for order information.

IRT specifications:

Logical interface ex factory ¹⁾	AISG 1.1
Protocols	AISG 1.1 and 3GPP/AISG 2.0 compliant
Hardware interface ²⁾	2 x 8pin connector acc. IEC 60130-9; according to AISG: - IRTin (male): Control / Daisy chain in - IRTout (female): Daisy chain out
Power supply	10-30 V
Power Consumption	<1 W (standby); <8.5 W (motor activated)
Adjustment time (full range)	40 seconds
Adjustment cycles	>50,000
Certification	FCC 15.107 Class B Computing Devices

Specifications:	698-806 MHz	824-894 MHz	1710-1755 MHz	1850-1990 MHz	2110-2170 MHz
Gain	15.3 dBi	15.8 dBi	18 dBi	18.5 dBi	18 dBi
Front-to-back ratio	>30 dB (co-polar) 34 dB (average)	>30 dB (co-polar) 34 dB (average)	>27 dB (co-polar) 34 dB (average)	>27 dB (co-polar) 34 dB (average)	>27 dB (co-polar) 34 dB (average)
Maximum input power per input	500 watts (at 50°C)	500 watts (at 50°C)	300 watts (at 50°C)	300 watts (at 50°C)	300 watts (at 50°C)
+45° and -45° polarization horizontal beamwidth	68° (half-power)	65° (half-power)	63° (half-power)	62° (half-power)	63° (half-power)
+45° and -45° polarization vertical beamwidth	11.8° (half-power)	10.8° (half-power)	5.8° (half-power)	5.8° (half-power)	5.8° (half-power)
Electrical downtilt continuously adjustable	0°-10°	0°-10°	0°-10°	0°-10°	0°-10°
Min sidelobe suppression for first sidelobe above main beam average	0° 5° 10° T 16 16 18 dB 18 20 20 dB	0° 5° 10° T 18 18 16 dB 20 22 20 dB	0° 5° 10° T 18 18 18 dB 20 22 20 dB	0° 5° 10° T 18 18 18 dB 20 22 20 dB	0° 5° 10° T 18 18 18 dB 20 22 20 dB
Cross polar ratio					
Main direction	0°	25 dB (typical)	20 dB (typical)	25 dB (typical)	25 dB (typical)
Sector	±80°	>10 dB, 16 dB (avg)	>10 dB, 14 dB (avg)	>8 dB, 15 dB (avg)	>8 dB, 15 dB (avg)



¹⁾ The protocol of the logical interface can be switched from AISG 1.1 to 3GPP/AISG 2.0 and vice versa with a vendor specific command.

Please note: If the Primary of the RET system doesn't support the standard of the 'logical interface ex factory', the RCU must be switched to the appropriate standard of the Primary before installation. Please contact Kathrein for further information.

²⁾ The tightening torque for fixing the connector must be 0.5 - 1.0 Nm ('hand-tightened'). The connector should be tightened by hand only!



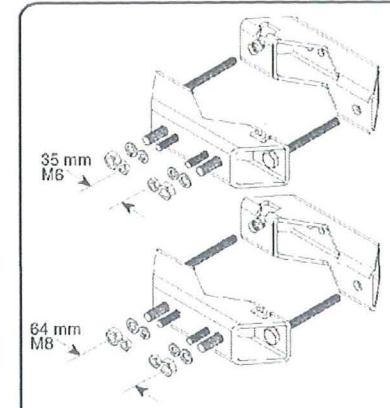
Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991
Email: communications@kathrein.com Internet: www.kathrein-scala.com



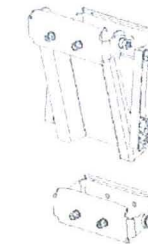
Preliminary 800 10765 K
Dual Band Broadband 6', 65 Degree Antenna
RET

Mechanical specifications:

Weight	51.8 lb (23.5 kg)
Dimensions	75.5 x 11.8 x 6 inches (1918 x 300 x 152 mm)
Wind load	at 93 mph (150kph)
Front/Side/Rear	221 lbf / 81 lbf / 230 lbf (980 N / 360 N / 1020 N)
Wind survival rating	150 mph (240 kph)
Shipping dimensions	85.1 x 12.7 x 7.5 inches (2161 x 322 x 190 mm)
Shipping weight	62.8 lb (28.5 kg)
Mounting	Mounting hardware included for 2 to 4.6 inch (50 to 115 mm) OD masts.



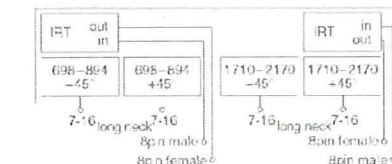
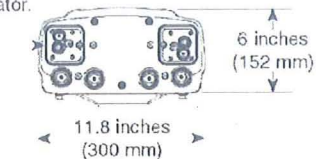
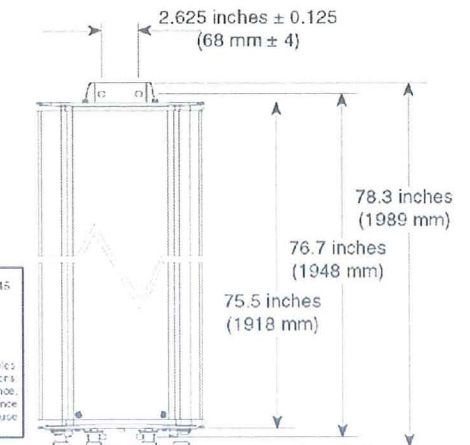
Mounting Brackets
for use with 2-point mount antennas
Mast dia. 2-4.5 inches (50-115 mm)
Weight: 4 lb (1.8 kg)



Mechanical Tilt Brackets
for use with 2-point mount antennas
Weight: 13 lb (5.9 kg)
(Model 850 10007)



Note: Refer to part number 860 10145 for the specifications of the remote control actuator.



Order Information:

Model	Description
800 10765	Dualband antenna with mounting bracket 0°-10° // 0°-10° electrical downtilt
800 10765 K	Dualband antenna with mounting bracket and mechanical tilt bracket 0°-10° // 0°-10° electrical downtilt

* Mechanical design is based on environmental conditions as stipulated in TIA-222-G-2 (December 2009) and/or ETS 300 019-1-4 which include the static mechanical load imposed on an antenna by wind at maximum velocity. See the Engineering Section of the catalog for further details.

All specifications are subject to change without notice. The latest specifications are available at www.kathrein-scala.com.

Kathrein Inc., Scala Division Post Office Box 4580 Medford, OR 97501 (USA) Phone: (541) 779-6500 Fax: (541) 779-3991
Email: communications@kathrein.com Internet: www.kathrein-scala.com

ANTENNA SPECIFICATIONS

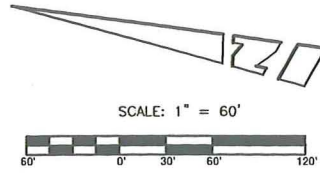


CROWN POINTE
SD0232
3866 INGRAHAM STREET,
SAN DIEGO, CA 92109

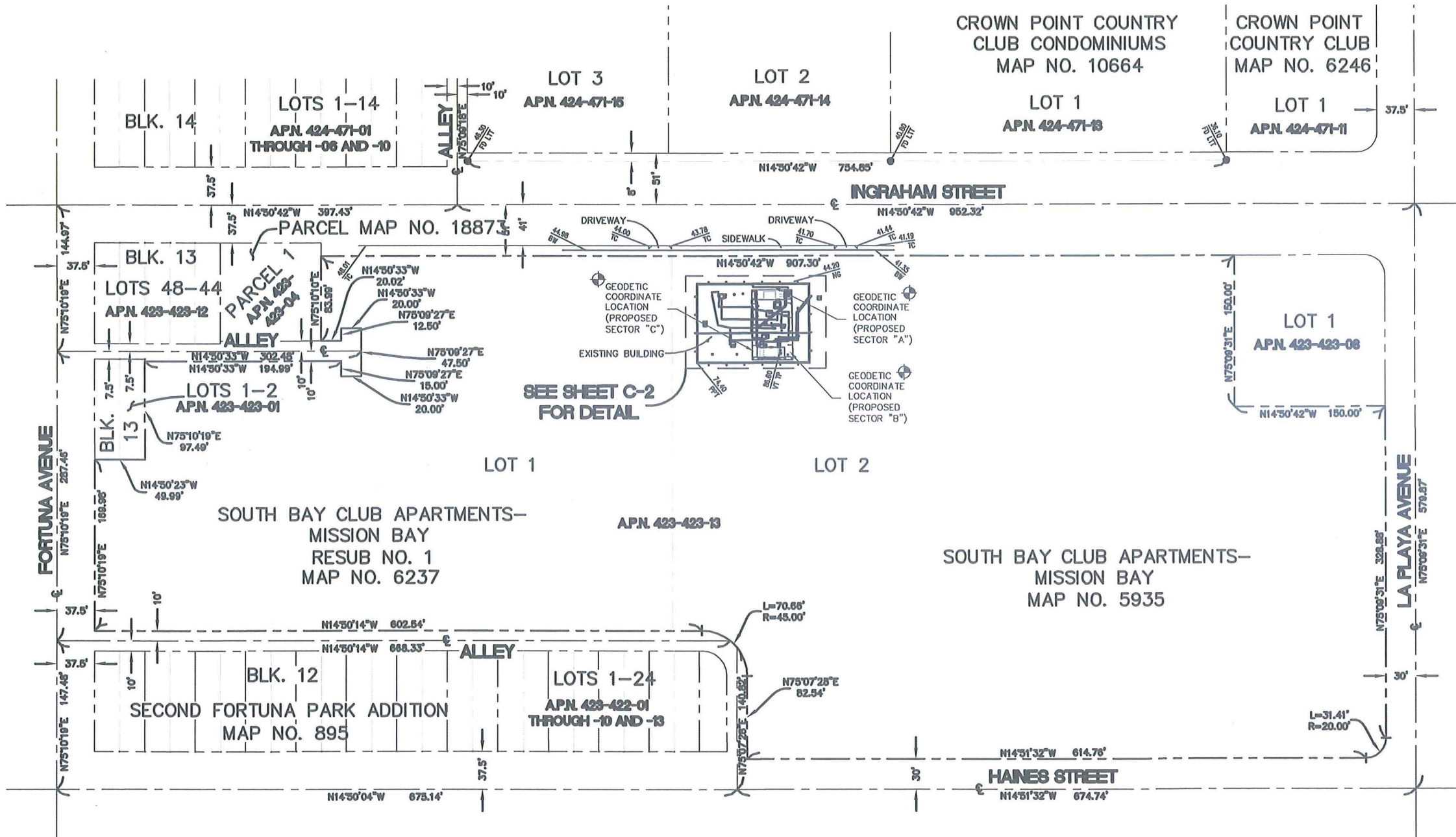
DCI PACIFIC
A|E|C WORKS

ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
T 949 475.1000 | 949 475.1001 F

NO.		DATE	REVISIONS	BY	CHK	APP'D	SHEET TITLE	SHEET NUMBER
Δ	08/12/13		REVISED PER CITY COMMENTS 7-12-13	HH	BOK	DKD	ANTENNA SPECIFICATIONS	A08
1	05/20/13		REVISED PER DRM COMMENTS 5-17-13	IP	BOK	DKD		
0	05/10/13		ISSUED FOR ZONING APPROVAL	IP	BOK	DKD		
A	05/02/13		ISSUED FOR 2D REVIEW AND COMMENT	IP	BOK	DKD		
SCALE		AS SHOWN	DESIGNED	DRAWN				



LEGEND:
SEE SHEET C-2 FOR LEGEND



COORDINATES: \odot

PROPOSED SECTOR "A" LATITUDE 32°47'25.47" N LONGITUDE 117°14'17.82" W	PROPOSED SECTOR "B" LATITUDE 32°47'25.14" N LONGITUDE 117°14'18.50" W
PROPOSED SECTOR "C" LATITUDE 32°47'25.47" N LONGITUDE 117°14'18.00" W	

NAD 1983 GEODETIC COORDINATES AND ELEVATIONS WERE ESTABLISHED USING SURVEY GRADE "ASITECH" G.P.S. RECEIVERS AND ASITECH SURVEY GRADE PRECISION SOFTWARE FOR POST-PROCESSING.

BASIS OF BEARINGS:
THE SOUTHWESTERLY 8' 0/S LINE OF LOTS 1 THROUGH 3 BEING NORTH 14°50'42" WEST PER CROWN POINT COUNTRY CLUB CONDOMINIUMS MAP NO. 10664, RECORDS OF SAN DIEGO COUNTY.

ASSESSOR'S IDENTIFICATION:
SAN DIEGO COUNTY A.P.N. 423-423-13

AREA:
11.60± ACRES PER SAN DIEGO COUNTY ASSESSOR

BENCH MARK REFERENCE:
U.S.G.S. BENCH MARK "BM 53"
UNITED STATES GEOLOGICAL SURVEY BENCH MARK "BM 53" AS SHOWN ON THE "LA JOLLA" 7.5 MINUTE QUADRANGLE MAP.

ELEVATION: 55.5 FEET A.M.S.L. (NAVD88) (DATUM VERIFIED IN FIELD TO BE WITHIN 1-A ACCURACY STANDARDS)

TITLE REPORT IDENTIFICATION:
(PENDING RECEIPT OF TITLE REPORT)

EASEMENT NOTES:
(PENDING RECEIPT OF TITLE REPORT)

LEGAL DESCRIPTION:
(PENDING RECEIPT OF TITLE REPORT)

LOT 2 OF SOUTH BAY CLUB APARTMENTS-MISSION BAY, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN ON SAID MAP, FILED AS MAP NO. 5935, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.

TOGETHER WITH LOT 1 OF SOUTH BAY CLUB APARTMENTS-MISSION BAY RESUB NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, AS SHOWN ON SAID MAP, FILED AS MAP NO. 6237, IN THE OFFICE OF THE RECORDER OF SAID COUNTY.

DATE OF SURVEY:
APRIL 05, 2013

SURVEYORS NOTE:
THE BOUNDARY LINES AND THEIR DIMENSIONS SHOWN HEREON ARE PER RECORD INFORMATION AND THEIR LOCATIONS ARE APPROXIMATE, PENDING RECEIPT OF TITLE REPORT.

LIVING PLANTS STATEMENT:
THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY VALID FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.

SEE SHEET C-2 FOR SITE DETAILS

DCI PACIFIC
A/E/C WORKS
ARCHITECTURE | ENGINEERING | CONSULTING
32 EXECUTIVE PARK | SUITE 110 | IRVINE | CA 92614
T 949 475.1000 | 949 475.1001 F

BERT HAZE
AND ASSOCIATES, INC.
LAND SURVEYING & MAPPING
3188 AIRWAY AVENUE, SUITE K1
COSTA MESA, CALIFORNIA 92626
714 557-1567 OFFICE
714 557-1568 FAX
JN. 741.039

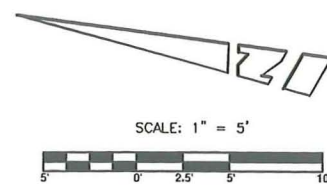
SD0232
CROWN POINTE
3866 INGRAHAM ST.
SAN DIEGO, CA 92109

at&t
Mobility
12900 PARK PLAZA DRIVE
CERRITOS, CA 90703

1	04/10/13	ISSUED FOR REVIEW	RF	CWW	BH
NO. DATE REVISIONS					
SCALE	AS SHOWN	DESIGNED	DRAWN		

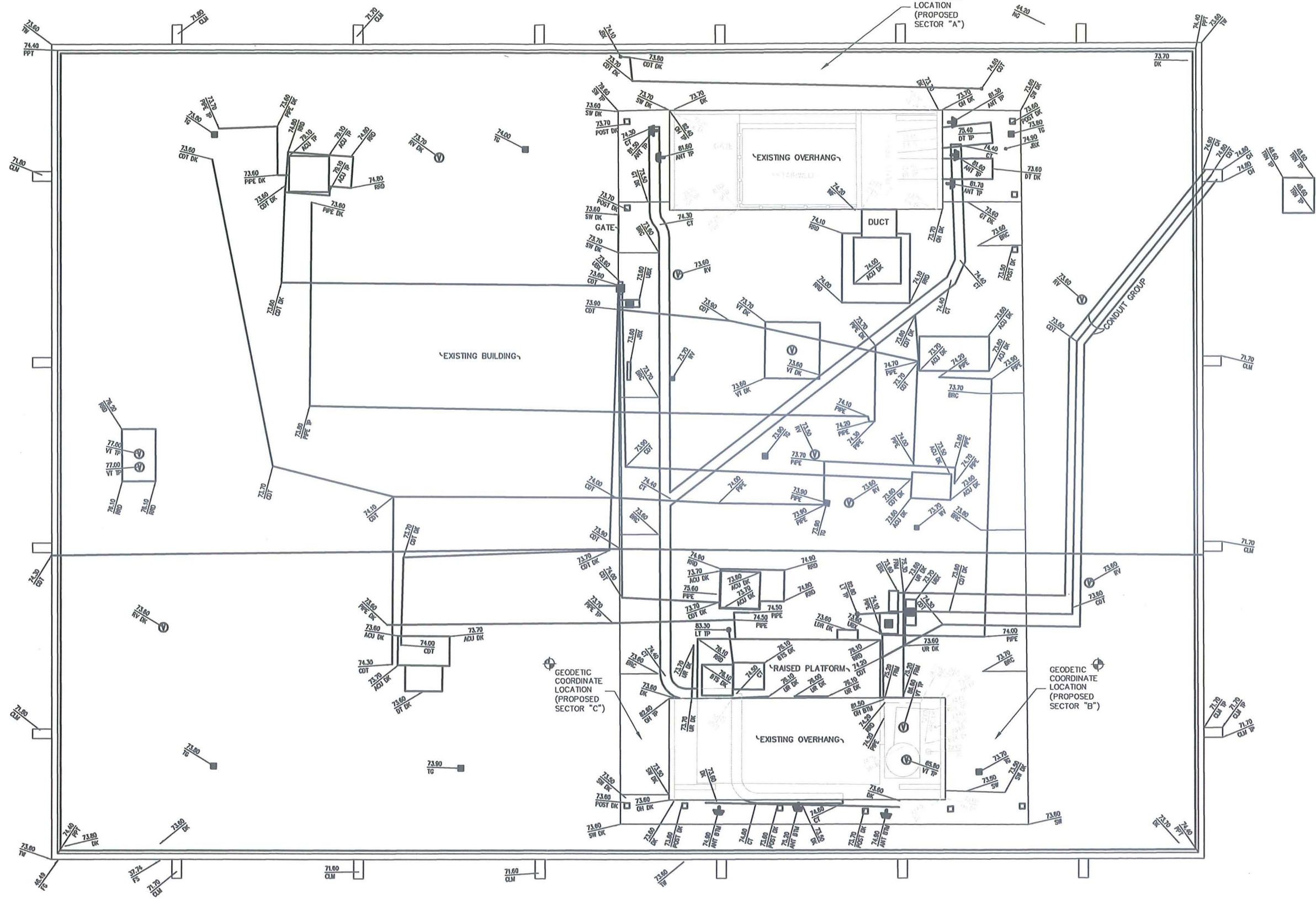


SHEET TITLE	SHEET NUMBER
TOPOGRAPHIC SURVEY	C-1



LEGEND:

- ACU AIR CONDITIONING UNIT
- ANT ANTENNA
- BRC BRACE
- BTM BOTTOM
- BTS BITS UNIT
- BW BACK OF WALK
- CDT CONDUIT
- CH CABLE HOUSING
- CLM COLUMN
- CT CABLE TRAY
- DK DECK
- DT DUCT
- EBX ELECTRICAL BOX
- FD FOUND
- FG FINISHED GRADE
- FRM FRAME
- FS FINISHED SURFACE
- GT GATE
- JBX JUNCTION BOX
- LDR LADDER
- LT LIGHT
- LTT LEAD, TACK, AND TAG
- NG NATURAL GROUND
- OH OVERHANG
- PPT PARAPET
- RRD RAISED ROOF DECK
- RV ROOF VENT
- SW SCREEN WALL
- TC TOP OF CURB
- TG TOP OF GRATE
- TP TOP
- TRN TRANSFORMER
- TW TOP OF WALL
- UA UTILITY AREA
- UBX UTILITY BOX
- UR UTILITY RACK
- VT VENT
- WHTR WATER HEATER
- WF WROUGHT IRON FENCE
- WV WATER VALVE
- ⊕ ANTENNA
- █ BLOCK WALL
- ⊙ CENTERLINE
- FOUND MONUMENT
- ⊖ GRATE
- ⊕ ROOF VENT
- UTILITY BOX
- ⊕ VENT
- ⊕ WATER VALVE
- o-o- WROUGHT IRON FENCE



SEE SHEET C-1 FOR BOUNDARY AND TITLE INFO.

DCI PACIFIC A/E/C WORKS <small>ARCHITECTURE ENGINEERING CONSULTING 32 EXECUTIVE PARK SUITE 110 IRVINE CA 92614 T 949 475.1000 949 475.1001 F</small>	BERT HAZE AND ASSOCIATES, INC. LAND SURVEYING & MAPPING <small>3188 AIRWAY AVENUE, SUITE K1 COSTA MESA, CALIFORNIA 92626 714 557-1567 OFFICE 714 557-1568 FAX JN. 741.039</small>	SD0232 CROWN POINTE 3866 INGRAHAM ST. SAN DIEGO, CA 92109	 <small>12900 PARK PLAZA DRIVE CERRITOS, CA 90703</small>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 5%;">NO.</td> <td style="width: 15%;">DATE</td> <td style="width: 50%;">REVISIONS</td> <td style="width: 10%;">BY</td> <td style="width: 10%;">CHK</td> <td style="width: 10%;">APP'D</td> </tr> <tr> <td>1</td> <td>04/10/13</td> <td>ISSUED FOR REVIEW</td> <td>RF</td> <td>CWV</td> <td>BH</td> </tr> <tr> <td colspan="2">SCALE AS SHOWN</td> <td>DESIGNED</td> <td colspan="3">DRAWN</td> </tr> </table>	NO.	DATE	REVISIONS	BY	CHK	APP'D	1	04/10/13	ISSUED FOR REVIEW	RF	CWV	BH	SCALE AS SHOWN		DESIGNED	DRAWN				SHEET TITLE TOPOGRAPHIC SURVEY	SHEET NUMBER C-2
NO.	DATE	REVISIONS	BY	CHK	APP'D																				
1	04/10/13	ISSUED FOR REVIEW	RF	CWV	BH																				
SCALE AS SHOWN		DESIGNED	DRAWN																						

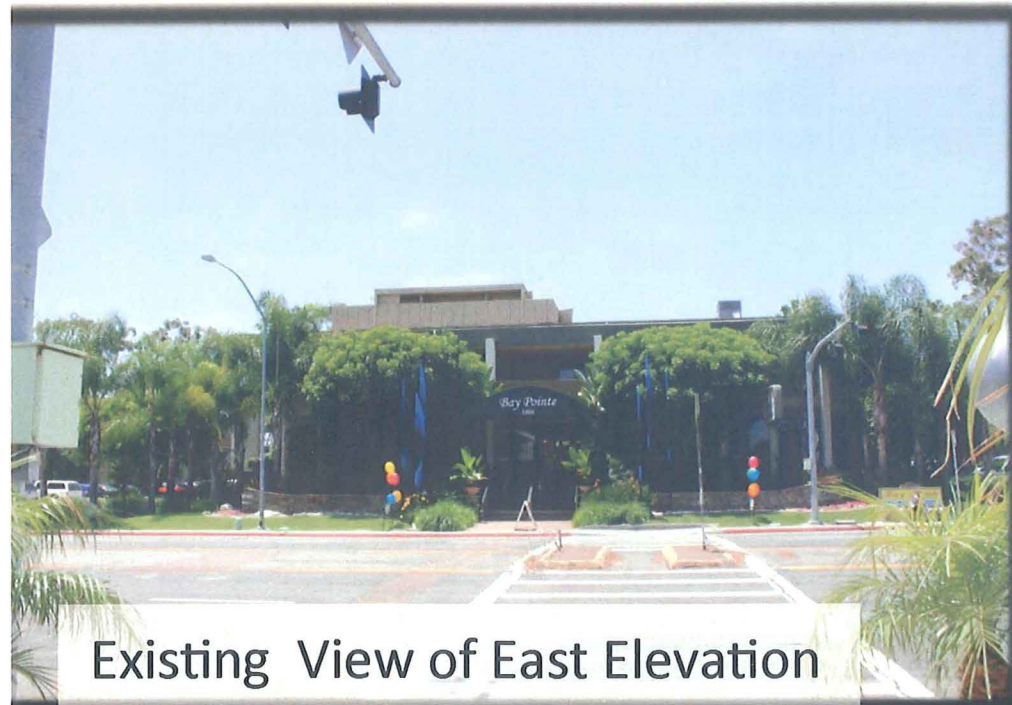
AT&T Mobility Bay Pointe SD0232

Photo Simulations

3866 Ingraham Street, San Diego, CA 92109



Attachment 9



Existing View of East Elevation

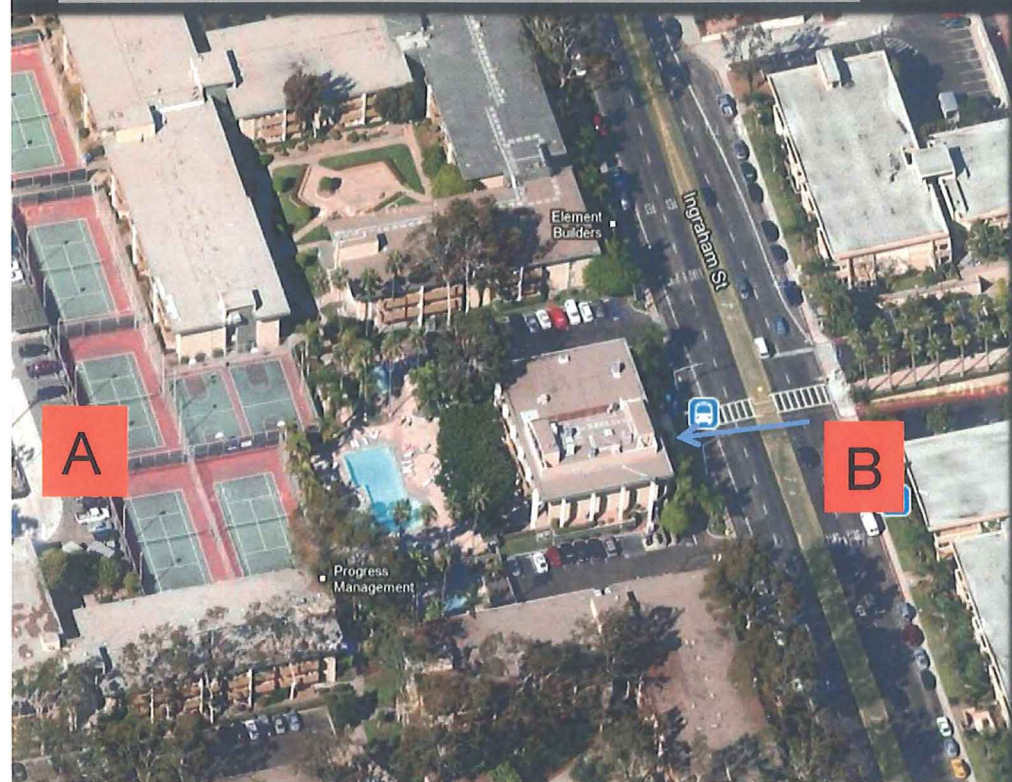
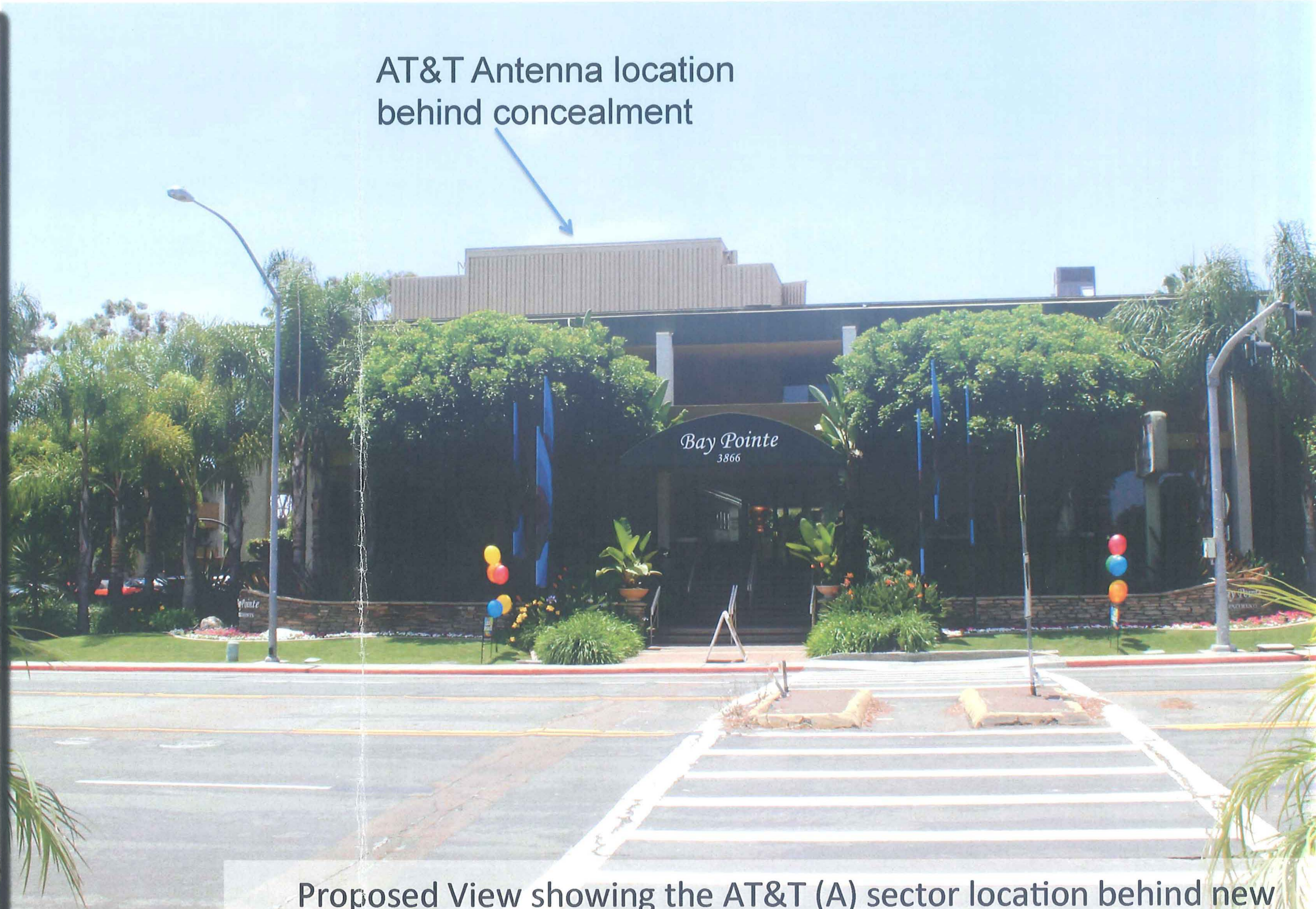


Photo taken from across Ingraham



AT&T Antenna location behind concealment

View B

Proposed View showing the AT&T (A) sector location behind new concealment on east facing stairwell wall

AT&T Mobility Bay Pointe SD0232

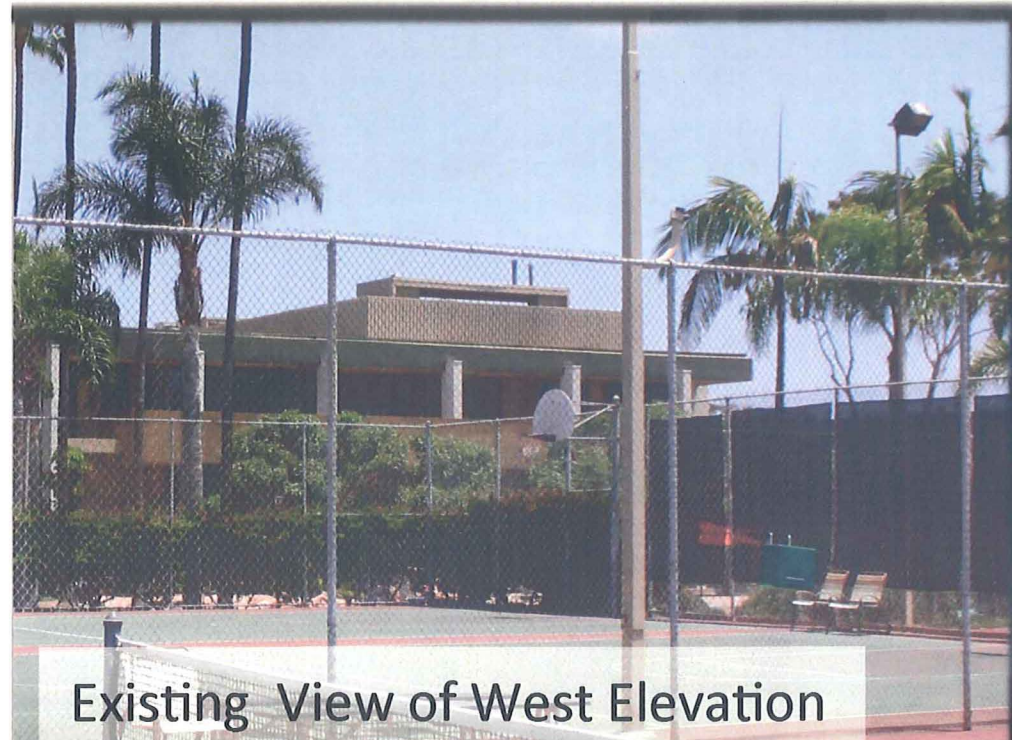
Photo Simulations

3866 Ingraham Street, San Diego, CA 92109



at&t
Mobility

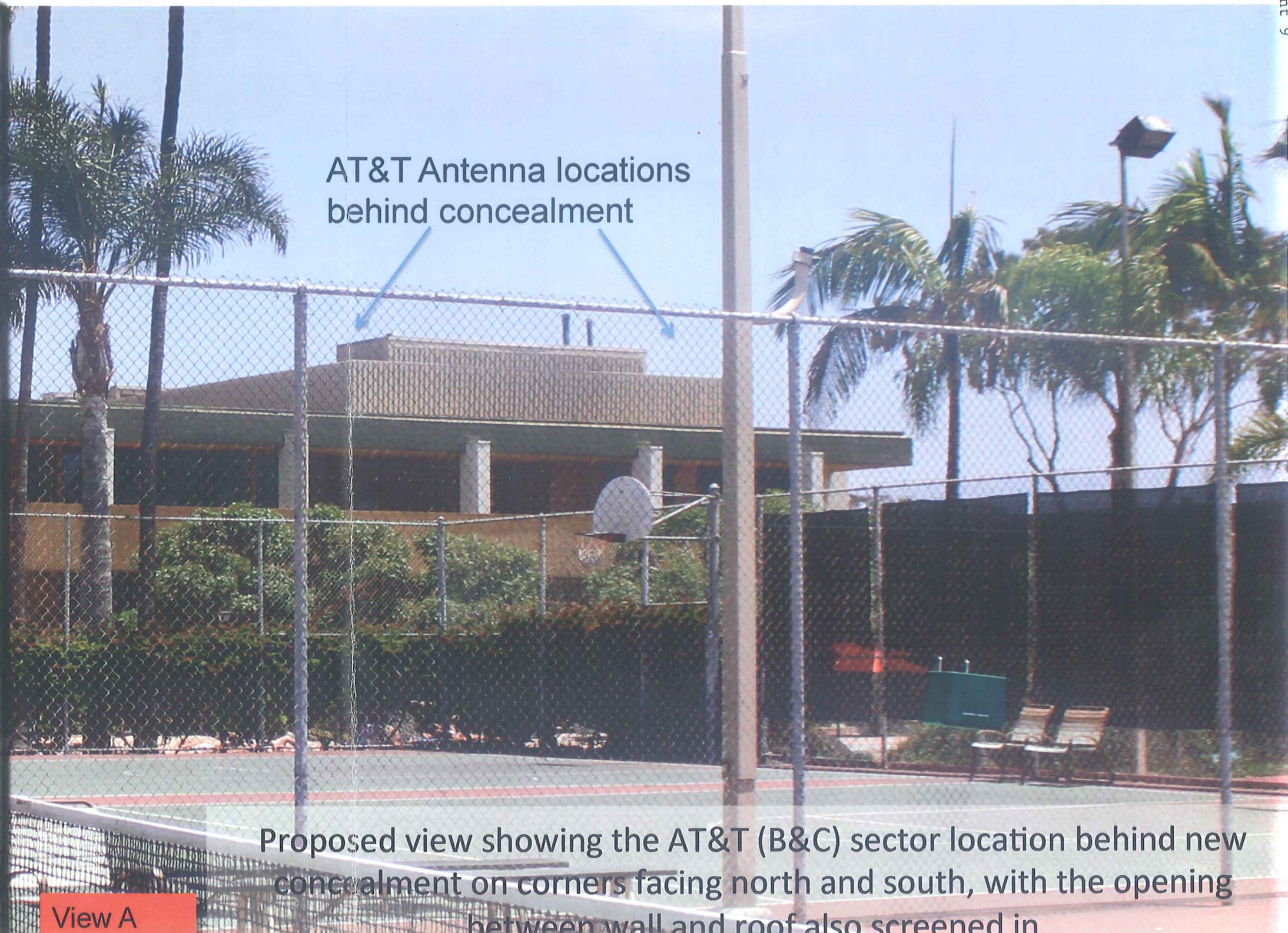
Attachment 9



Existing View of West Elevation



View photo taken from tennis courts



AT&T Antenna locations
behind concealment

View A

Proposed view showing the AT&T (B&C) sector location behind new concealment on corners facing north and south, with the opening between wall and roof also screened in

AT&T BAY POINTE Photo Survey Key Map





1. View of Site location looking south
2. View of Site location looking West



AT&T BAY POINTE PHOTO
SURVEY



3 View of Site location looking North.
4 View of Site location looking East





5 Looking South from Site
6 Looking West from Site



AT&T BAY POINTE PHOTO
SURVEY



7 View Looking North from site
8. View Looking East from site.





THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: AT&T Mobility Crown Pointe		Project Number: 326246	Distribution Date: 9/19/2013
Project Scope/Location: A Conditional Use Permit application for a new Wireless Communication Facility (WCF) located at 3866 Ingraham Street in the RM-3-7 zone of the Pacific Beach Community Plan. The project consists of twelve (12) antennas behind the existing apartment rooftop mechanical screen wall. The equipment associated with this project is located in the basement, not visible to the public. Coastal Height Limit Overlay Zone, Council District 2. Planning Commission decision, Process 4.			
Applicant Name: Tim Henion		Applicant Phone Number: 503-519-8591	
Project Manager: Simon Tse	Phone Number: (619) 687-5984	Fax Number: (619) 321-3200	E-mail Address: Stse@sandiego.gov
Committee Recommendations (To be completed for Initial Review):			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes 15	Members No 1	Members Abstain
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS:			
NAME: Brian J. Curry		TITLE: Chair	
SIGNATURE:		DATE: 9-25-13	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			

Project Title: AT&T Crown Pointe	Project No. (For City Use Only) 326246
-------------------------------------	--

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: 3866 INGRAM ST.

City/State/Zip: SAN DIEGO CA 92109

Phone No: 858-273-0733 Fax No: 116

Name of Corporate Officer/Partner (type or print): CONRAD PRESYS

Title (type or print): PRESIDENT

Signature: *Conrad Presys* Date: 5/31/2013

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____

Corporate/Partnership Name (type or print): _____

Owner Tenant/Lessee

Street Address: _____

City/State/Zip: _____

Phone No: _____ Fax No: _____

Name of Corporate Officer/Partner (type or print): _____

Title (type or print): _____

Signature : _____ Date: _____



THE CITY OF SAN DIEGO

DATE OF NOTICE: October 22, 2013

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING: November 14, 2013
TIME OF HEARING: 9:00 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
202 C Street, San Diego, California 92101

PROJECT TYPE: CONDITIONAL USE PERMIT, PROCESS 4
PROJECT NUMBER: 326246
PROJECT NAME: AT&T MOBILITY CROWN POINTE
APPLICANT: Tim Henion

COMMUNITY PLAN AREA: Pacific Beach
COUNCIL DISTRICT: 2

CITY PROJECT MANAGER: Simon Tse
PHONE NUMBER/E-MAIL: (619) 687-5984/stse@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a new Wireless Communication Facility (WCF) located at 3866 Ingraham Street, in the RM-3-7 zone within the Pacific Beach Community Planning area, Council District 2. This WCF consists of twelve antennas, twenty-four Remote Radio Units (RRUs) and two surge suppressors concealed behind the rooftop mechanical screen wall. The equipment associated with this project is located inside the basement. The project requires a Conditional Use Permit, Process 4, Planning Commission decision.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on October 11, 2013 and the opportunity to appeal that determination ended October 25, 2013.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24003813

Revised 8/4/2011

AT&T Mobility Crown Pointe
PROJECT CHRONOLOGY
PTS #326246 INT #24003813

Date	Action	Description	City Review	Applicant Response
5.31.2013	First Submittal	Project Deemed Complete		
7.12.2013	First Assessment Letter		42 days	
9.14.2013	Second Submittal			63 days
9.24.2013	Second Assessment Letter		10 days	
10.10.2013	All issues resolved	CPG Minutes received		26 days
11.14.2013	Planning Commission Hearing		35 days	
Total Staff Time:		Including City Holidays and Furlough	87 days	
Total Applicant Time:		Including City Holidays and Furlough		89 days
Total Project Running Time:		From Deemed Complete to PC Hearing	176 days	

**SD0232
TELECOM SITE JUSTIFICATION LETTER**

1. **Description of the location, type, capacity, field strength or power density, and calculated geographic service area of the proposed antenna or antenna array.**

LOCATION AND TYPE

AT&T Mobility is requesting to construct a communications facility at 3866 Ingraham Street. The project consists of 12 antennas mounted on the roof behind replacement FRP panels and a 240 sf interior equipment space. This proposed facility is unmanned, operating 24 hours a day. The only visits to the site will consist of any emergency calls as well as regular maintenance visits once every four to six weeks.

FREQUENCY AND POWER SPECIFICATIONS

AT&T Mobility Frequencies / San Diego Market

Transmitting Frequencies

GSM

869 - 874.6 MHz, 890 - 891.4 MHz, 1950 - 1952.8 MHz, 1970 - 1980 MHz

UMTS

874.6 - 879.6 MHz, 1945 - 1950 MHz

LTE

704.0 - 716.0 MHz

Receiving Frequencies

GSM

824 - 829.4 MHz, 845 - 846.4 MHz, 1870 - 1872.8 MHz, 1890 - 1900 MHz

UMTS

829.6 - 834.4 MHz, 1865 - 1869.8 MHz

LTE

734.0 - 746.0 MHz

Power Output

MAX ERP:

850 MHz: 54 WATTS

1900 MHz: 54.5 WATTS

LTE: 500 WATTS

SD0232
Telecom Site Justification

COVERAGE AND CAPACITY

This site provides AT&T Mobility coverage within the residential area and roadways to the North, South, East and West. Please refer to the coverage map that illustrates the coverage that this site provides and the coverage gap closed by constructing this site. This site is required to close a coverage gap and to provide expanded and enhanced coverage in this area.

- 2. Location of all existing, proposed and anticipated wireless communications facilities in the Applicant/Permittee's network located within a 1 mile radius from proposed site.**

Please see refer to justification map and to coverage maps. Due to the close proximity of buildings being of the same use and lower height the proposed location was selected because it was at the center of the coverage objective. The justification maps show two existing AT&T sites to the west and north and south, the proposed location will provide seamless coverage. Moving the location further any direction would cause a coverage gap to one of these neighboring sites.

- 3. A description of how the proposed facility fits into, and is a necessary part of, the Applicant/Permittee's network.**

This site provides AT&T Mobility coverage within the residential area and roadways to the North, South, East and West. Please refer to the coverage map that illustrates the coverage that this site provides and the coverage gap closed by constructing this site. This site is required to close a coverage gap and to provide expanded and enhanced coverage in this area.

- 4. If the proposal does not include co-location, written documentation of all efforts made to co-locate at another site, and a justification for the decision not to co-locate.**

T-Mobile and Sprint both have facilities at the property with a Verizon site directly across the street. AT&T should be allowed to match the coverage of their competitors and this location will provide that.

- 5. Discuss Alternative Sites and why they were not selected.**

Alternative sites were not evaluated. This site was selected because of its height above the coverage area and ability to fill the coverage gap and connect to surrounding sites. Due to the existing surrounding sites this location with its existing building envelope will allow AT&T to install a site with no increase to the building envelope. The other surrounding buildings in the area do not have adequate architectural features to match that.

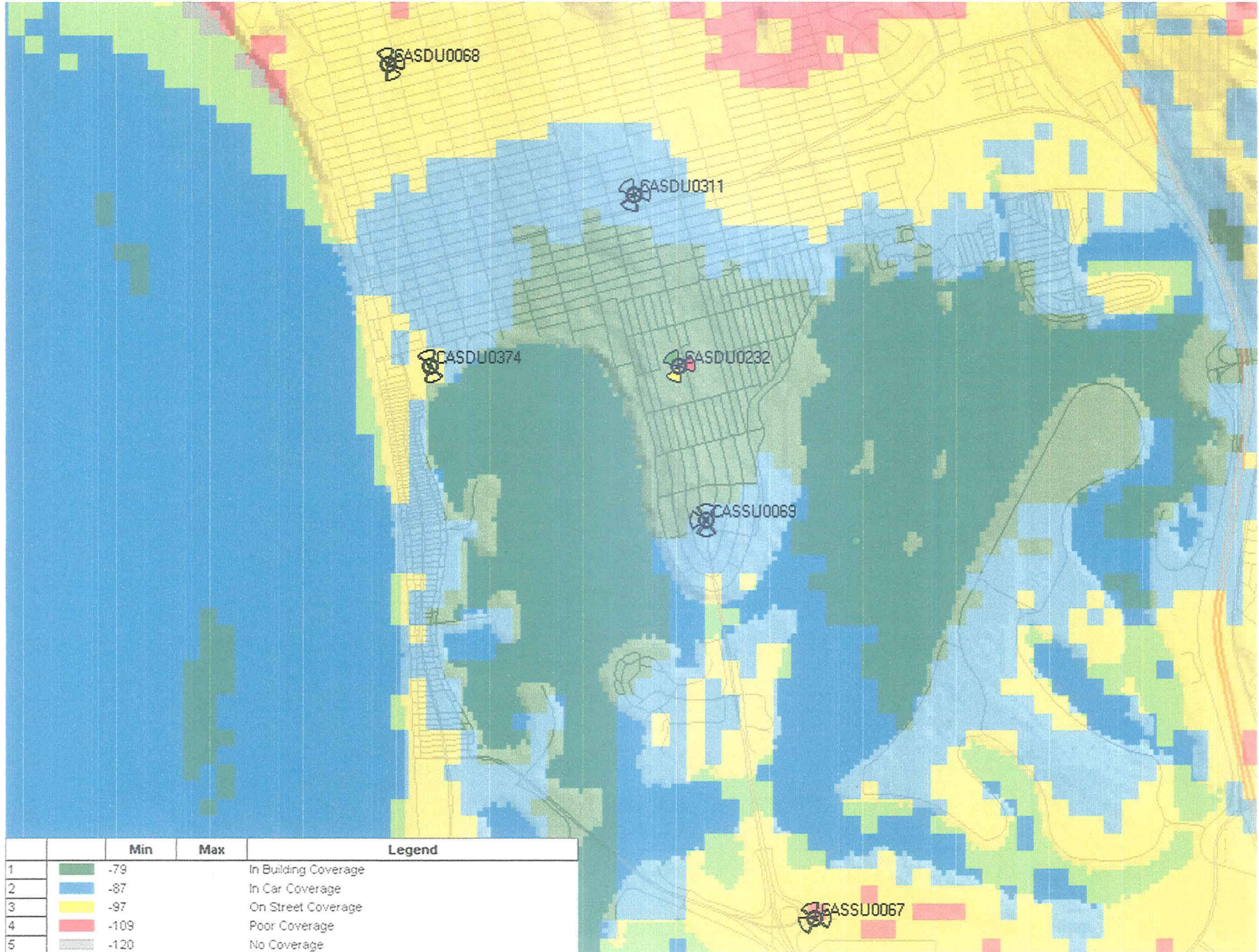
- 6. Noise Information for sites located near residential**

SD0232

Telecom Site Justification

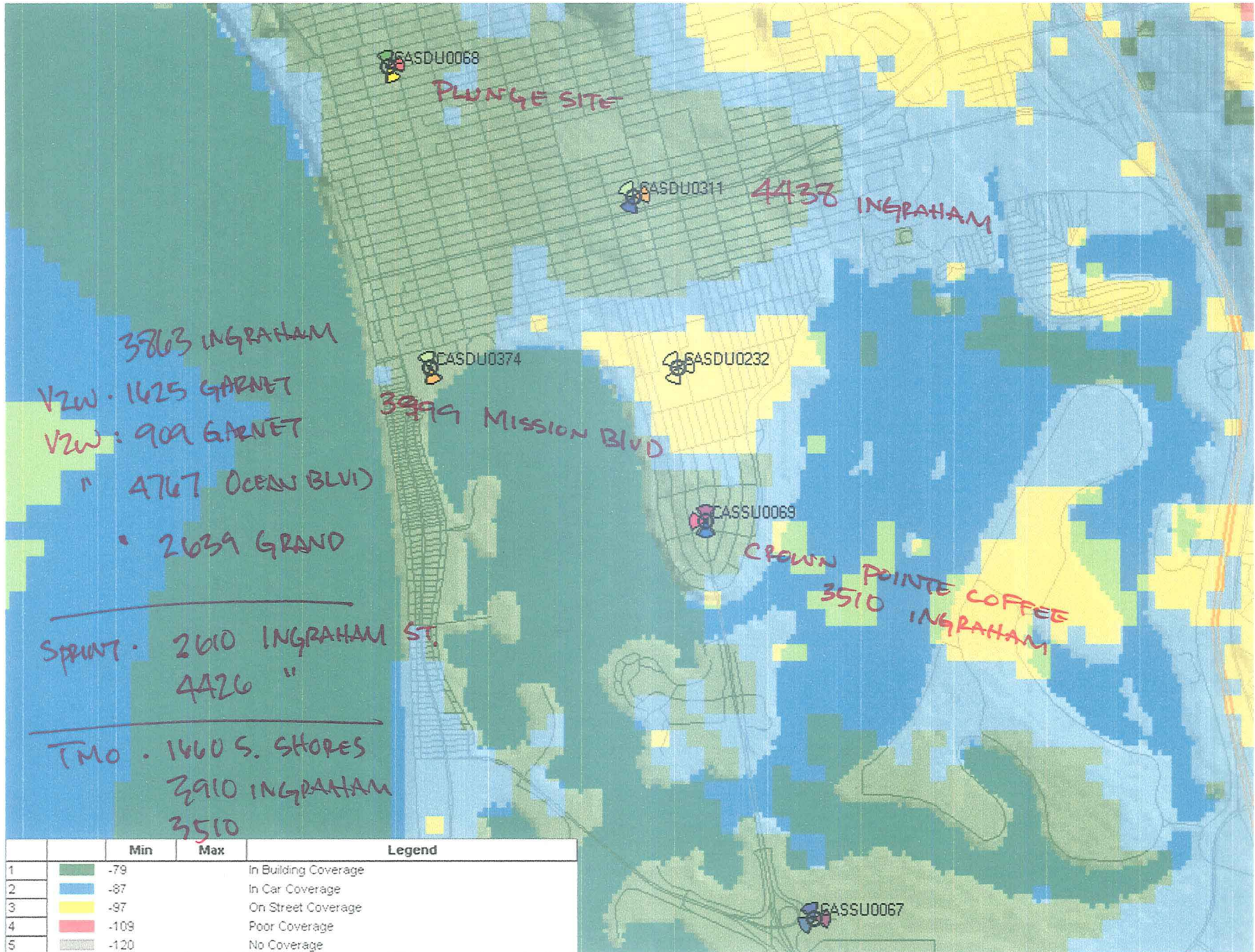
This site is a residential complex, but located on the management building where there are no residences. The HVAC system will be installed next to the existing buildings systems on the south side of the building and behind a planter row. There will be no increase in sound levels due to the distance from the units to the closest apartments and also the traffic on Ingraham Street directly to the east.

SD0232 COVERAGE ONLY



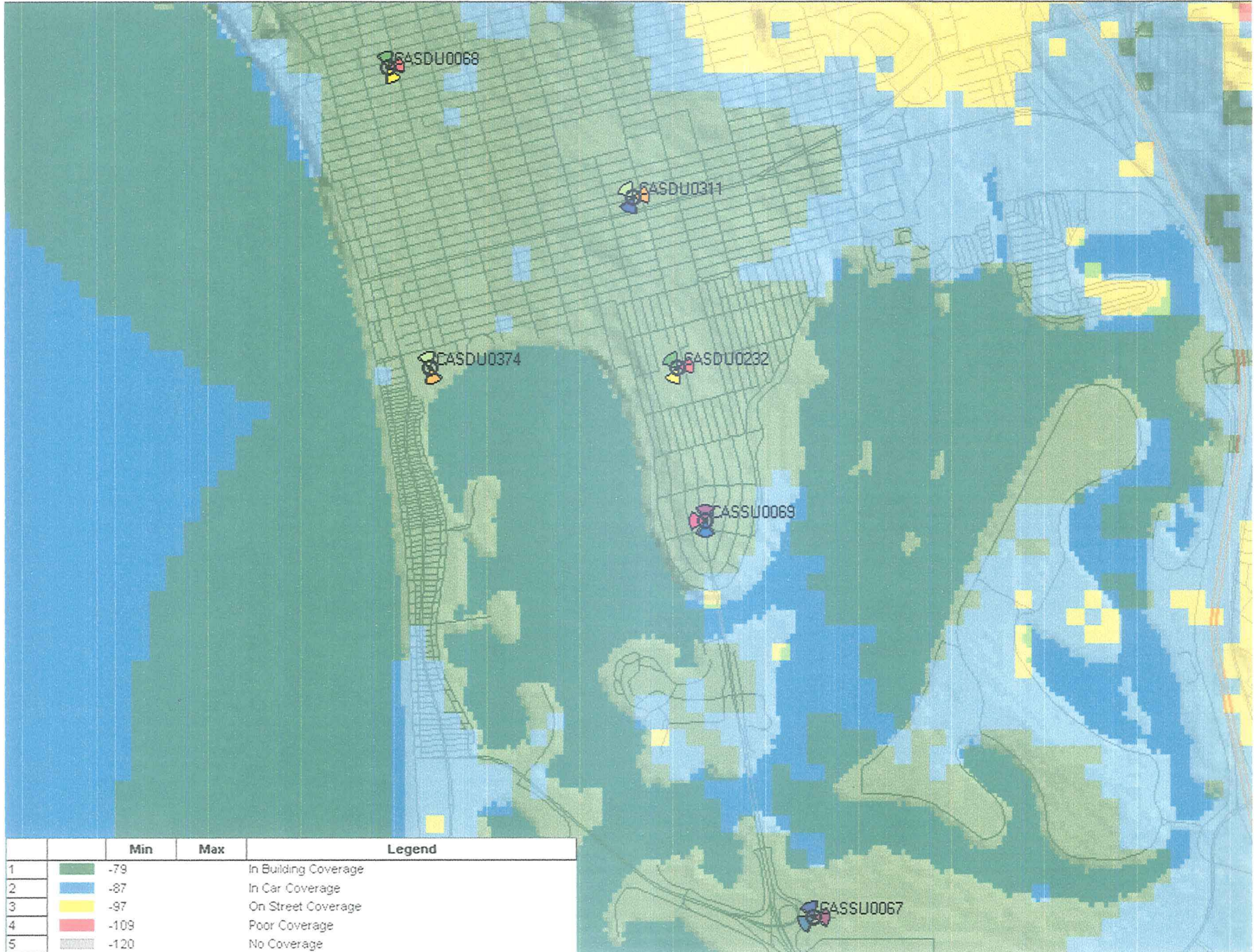
	Min	Max	Legend
1	-79		In Building Coverage
2	-87		In Car Coverage
3	-97		On Street Coverage
4	-109		Poor Coverage
5	-120		No Coverage

COVERAGE WITHOUT SD0232



	Min	Max	Legend
1	-79		In Building Coverage
2	-87		In Car Coverage
3	-97		On Street Coverage
4	-109		Poor Coverage
5	-120		No Coverage

COVERAGE WITH SD0232



**SD0232 AT&T Mobility Crown Point
Conditional Use Permit Findings**

Conditional Use Permit Findings:

1. **The proposed development will not adversely affect the applicable land use plan**
AT&T Mobility requests a new conditional use permit for a new wireless facility at 3866 Ingraham Street. The proposed installation has antenna screened from view behind concealment walls already in place on the roof on the roof, with equipment inside the building. The project was been designed to integrate well with the existing shopping center and the surrounding neighborhood.

This permit will not adversely affect the City of San Diego Municipal Code or General Plan.

2. **The proposed development will not be detrimental to the public health, safety and welfare**
AT&T Mobility has been authorized by the Federal Communications Commission (FCC) to construct and operate telecommunication system in the United States. The proposed use of this project will not be detrimental to the health, safety and general welfare of persons residing or working in the area and will not adversely affect other property in the vicinity. The FCC has established safety standards for wireless communication facilities. Wireless telecommunication facilities by their design and operation are low power devices.

An EMF Report demonstrating compliance is included in this CUP submittal, the guidelines noted in the report has been incorporated into the design and shown on the plans

The requested permit will not be detrimental to the public health, safety and welfare of the site.

3. **The proposed development will comply with the applicable regulations of the Land Development Code.**
The project was been designed to integrate well with the existing building and the surrounding neighborhood its use will not have an adverse effect upon either adjacent or abutting properties and the site will comply with all city codes and regulations.