

that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

9. The Owners/Permittees shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owners/Permittees of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owners/Permittees shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owners/Permittees shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owners/Permittees regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owners/Permittees shall not be required to pay or perform any settlement unless such settlement is approved by Owners/Permittees.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

10. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

11. The mitigation measures specified in the MMRP and outlined in Findings to Master Environmental Impact Report (MEIR), Project No. 317590, Master Environmental Impact Report No. 96-7918/SCH No. 97111077, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

12. Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the Owners/Permittees shall contribute to the City of San Diego Habitat Acquisition Fund (HAF) to mitigate for the loss of 1.3 acres of southern maritime chaparral (Tier I) and 0.8 acre of non-native grassland (Tier IIIB). This fee is based on mitigation ratios, per the City of San Diego Biology Guidelines, of 1:1 for southern maritime chaparral if mitigation would occur inside the Multiple Habitat Planning Area (MHPA) and of 0.5:1 for non-native grassland inside the MHPA. If mitigation were to occur outside of the MHPA, mitigation ratios would increase to 1.5:1 for southern maritime chaparral and 1:1 for native grassland. Therefore, the resulting total mitigation required for direct project impacts for a total of 2.1 acres inside the MHPA (or 2.72 acres outside the MHPA) equivalent contribution to the City's Habitat Acquisition Fund (HAF) plus a 10 percent administrative fee.

13. To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction (precon) survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the precon survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City DSD for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction. If nesting birds are not detected during the precon survey, no further mitigation is required.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this Permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on December 12, 2013 and Resolution No. XXXX-PC.

Site Development Permit No. 1218176
December 12, 2013

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Laura C. Black, AICP
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owners/Permittees, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owners/Permittees hereunder.

Village Triangle Partners, LLC
Owner/Permittee

By _____
John Finley

TryAngle Farm LTD
Owner/Permittee

By _____
L. Carolyn Beck
General Partner

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

PLANNING COMMISSION RESOLUTION NO. XXXX-PC
SITE DEVELOPMENT PERMIT NO. 1218176
THE VILLAGE AT PACIFIC HIGHLANDS RANCH
PROJECT NO. 317590 [MMRP]

WHEREAS, Village Triangle Partners, LLC and TryAngle Farm LTD, Owners/Permittees, filed an application with the City of San Diego for a permit to mass grade the site and provide dirt to the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1218176 on a 5.7 acre site;

WHEREAS, the project site is located at located at 6155 Carmel Valley Road in the AR-1-1 Zone in the Pacific Highlands Ranch Community Plan;

WHEREAS, the project site is legally described as: In the County of San Diego, State of California, a triangular parcel of land lying entirely south and east of the presently existing dirt road (being an extension of Fourth Street Extension and Black Mountain Road) and lying in the southeast quarter of the southeast quarter of Section 9, Township 14 South, Range 3 West;

WHEREAS, on December 12, 2013, the Planning Commission of the City of San Diego considered Site Development Permit No. 1218176, pursuant to the Land Development Code of the City of San Diego;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated December 12, 2013.

FINDINGS:

Site Development Permit - Section 126.0504

A. Findings for all Site Development Permits:

1. The proposed development will not adversely affect the applicable land use plan;

The proposed project is located within the area covered in the Pacific Highlands Ranch Subarea Plan, adopted in 1999, which is the applicable land use plan for the project area along with the City's General Plan, adopted in 2008. The proposed project site will be mass graded to provide dirt to the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. No other development is proposed on the project site. The proposed project is mass grading only. The proposed project is to mass grade the 5.7 acre site to provide dirt for the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. The site is located adjacent to and north of the proposed Village at Pacific Highlands Ranch Project. The ability to mass grade the site and utilize dirt in close proximity of the proposed development at the "Village" site reduces construction traffic, construction noise and is beneficial to both project sites and the Pacific Highlands Ranch Community. Therefore, the proposed project will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The proposed project will not be detrimental to the public health, safety, and welfare. The proposed project site will be mass graded to provide dirt to the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. No other development is proposed on the project site. The proposed project is mass grading only. The proposed project is to mass grade the 5.7 acre site to provide dirt for the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. The site is located adjacent to and north of the proposed Village at Pacific Highlands Ranch Project. The ability to mass grade the site and utilize dirt in close proximity of the proposed development at the "Village" site reduces construction traffic, construction noise and is beneficial to both project sites and the Pacific Highlands Ranch Community. Therefore, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

The proposed project complies with the applicable regulations of the Land Development Code. The proposed project site will be mass graded to provide dirt to the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. No over development is proposed on the project site. The proposed project is mass grading only. The proposed project is to mass grade the 5.7 acre site to provide dirt for the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. The site is located adjacent to and north of the proposed Village at Pacific Highlands Ranch Project. The ability to mass grade the site and utilize dirt in close proximity of the proposed development at the "Village" site reduces construction traffic, construction noise and is beneficial to both project sites and the Pacific Highlands Ranch Community. Therefore, the proposed project complies with the applicable regulations of the Land Development Code.

B. Supplemental Findings--Environmentally Sensitive Lands

1. The site is physically suitable for the design and siting of the proposed development and the development will result in minimum disturbance to environmentally sensitive lands;

The proposed project is to mass grade the 5.7 acre site to provide dirt for the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. The site is located adjacent to and north of the proposed Village at Pacific Highlands Ranch Project. The ability to mass grade the site and utilize dirt in close proximity of the proposed development at the "Village" site reduces construction traffic, construction noise and is beneficial to both project sites and the Pacific Highlands Ranch Community. Findings to Master Environmental Impact Report (MEIR), Project No. 317590, Master Environmental Impact Report No. 96-7918/SCH No. 97111077 have been prepared in accordance with the California Environmental Quality Act (CEQA). Additionally, a site specific Biological Resources Report was prepared by RECON Environmental, Inc, dated August 13, 2013.

The site specific biological resources report identified sensitive biological resources located on the site as southern maritime chaparral and non-native grasslands. Direct impacts will occur to these sensitive plant communities; therefore, mitigation will be required. Mitigation required shall be to contribute to the City of San Diego Habitat Acquisition Fund (HAF) to mitigate for the loss of 1.3 acres of southern maritime chaparral (Tier I) and 0.8 acre of non-native grassland (Tier IIIB). This fee is based on mitigation ratios, per the City of San Diego Biology Guidelines, of 1:1 for southern maritime chaparral if mitigation would occur inside the Multiple Habitat Planning Area (MHPA) and of 0.5:1 for non-native grassland inside the MHPA. If mitigation were to occur outside of the MHPA, mitigation ratios would increase to 1.5:1 for southern maritime chaparral and 1:1 for native grassland. Therefore, the resulting total mitigation required for direct project impacts for a total of 2.1 acres inside the MHPA (or 2.72 acres outside the MHPA) equivalent contribution to the City's Habitat Acquisition Fund (HAF) plus a 10 percent administrative fee.

2. The proposed development will minimize the alteration of natural land forms and will not result in undue risk from geologic and erosional forces, flood hazards, or fire hazards;

The proposed project is to mass grade the 5.7 acre site to provide dirt for the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. The site is located adjacent to and north of the proposed Village at Pacific Highlands Ranch Project. The ability to mass grade the site and utilize dirt in close proximity of the proposed development at the "Village" site reduces construction traffic, construction noise and is beneficial to both project sites and the Pacific Highlands Ranch Community. Findings to Master Environmental Impact Report (MEIR), Project No. 317590, Master Environmental Impact Report No. 96-7918/SCH No. 97111077 have been prepared in accordance with the California Environmental Quality Act (CEQA). The site is not located on a fault or near a fault, therefore, the proposed mass grading of the site will minimize the alteration of land forms and will not result in undue risk from geologic and erosional forces, flood hazards or fire hazards.

3. The proposed development will be sited and designed to prevent adverse impacts on any adjacent environmentally sensitive lands;

The proposed project is to mass grade the 5.7 acre site to provide dirt for the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. The site is located adjacent to and north of the proposed Village at Pacific Highlands Ranch Project. The ability to mass grade the site and utilize dirt in close proximity of the proposed development at the "Village" site reduces construction traffic, construction noise and is beneficial to both project sites and the Pacific Highlands Ranch Community. Findings to Master Environmental Impact Report (MEIR), Project No. 317590, Master Environmental Impact Report No. 96-7918/SCH No. 97111077 have been prepared in accordance with the California Environmental Quality Act (CEQA). Additionally, a site specific Biological Resources Report was prepared by RECON Environmental, Inc, dated August 13, 2013.

The site specific biological resources report identified sensitive biological resources located on the site as southern maritime chaparral and non-native grasslands. Direct impacts will occur to these sensitive plant communities; therefore, mitigation will be required. Mitigation required shall be to contribute to the City of San Diego Habitat Acquisition Fund (HAF) to mitigate for the loss of 1.3 acres of southern maritime chaparral (Tier I) and 0.8 acre of non-native grassland (Tier IIIB). This fee is based on mitigation ratios, per the City of San Diego Biology Guidelines, of 1:1

for southern maritime chaparral if mitigation would occur inside the Multiple Habitat Planning Area (MHPA) and of 0.5:1 for non-native grassland inside the MHPA. If mitigation were to occur outside of the MHPA, mitigation ratios would increase to 1.5:1 for southern maritime chaparral and 1:1 for native grassland. Therefore, the resulting total mitigation required for direct project impacts for a total of 2.1 acres inside the MHPA (or 2.72 acres outside the MHPA) equivalent contribution to the City's Habitat Acquisition Fund (HAF) plus a 10 percent administrative fee. The required site specific mitigation will prevent adverse impacts to any adjacent environmentally sensitive lands.

4. The proposed development will be consistent with the City of San Diego's Multiple Species Conservation Program (MSCP) Subarea Plan;

The proposed project is to mass grade the 5.7 acre site to provide dirt for the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. The project site is not located within or adjacent to the Multiple Species Conservation Program (MSCP) Multiple Habitat Planning Area (MHPA). Therefore, the proposed project is consistent with the City of San Diego MSCP.

5. The proposed development will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply; and

The proposed project is to mass grade the 5.7 acre site to provide dirt for the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. This site is not located within or adjacent to public beaches. Therefore, the project will not contribute to the erosion of public beaches or adversely impact local shoreline sand supply.

6. The nature and extent of mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

The proposed project is to mass grade the 5.7 acre site to provide dirt for the Village at Pacific Highlands Ranch, Project No. 317590, to assist that project's grading requirements. The site is located adjacent to and north of the proposed Village at Pacific Highlands Ranch Project. The ability to mass grade the site and utilize dirt in close proximity of the proposed development at the "Village" site reduces construction traffic, construction noise and is beneficial to both project sites and the Pacific Highlands Ranch Community. Findings to Master Environmental Impact Report (MEIR), Project No. 317590, Master Environmental Impact Report No. 96-7918/SCH No. 97111077 have been prepared in accordance with the California Environmental Quality Act (CEQA). Additionally, a site specific Biological Resources Report was prepared by RECON Environmental, Inc, dated August 13, 2013.

The site specific biological resources report identified sensitive biological resources located on the site as southern maritime chaparral and non-native grasslands. Direct impacts will occur to these sensitive plant communities; therefore, mitigation will be required. Mitigation required shall be to contribute to the City of San Diego Habitat Acquisition Fund (HAF) to mitigate for the loss of 1.3 acres of southern maritime chaparral (Tier I) and 0.8 acre of non-native grassland (Tier IIIB). This fee is based on mitigation ratios, per the City of San Diego Biology Guidelines, of 1:1 for southern maritime chaparral if mitigation would occur inside the Multiple Habitat Planning

Area (MHPA) and of 0.5:1 for non-native grassland inside the MHPA. If mitigation were to occur outside of the MHPA, mitigation ratios would increase to 1.5:1 for southern maritime chaparral and 1:1 for native grassland. Therefore, the resulting total mitigation required for direct project impacts for a total of 2.1 acres inside the MHPA (or 2.72 acres outside the MHPA) equivalent contribution to the City's Habitat Acquisition Fund (HAF) plus a 10 percent administrative fee.

Therefore, the mitigation required as a condition of the permit is reasonably related to, and calculated to alleviate, negative impacts created by the proposed development.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Site Development Permit No. 1218176 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Site Development Permit No. 1218176, a copy of which is attached hereto and made a part hereof.

Laura C. Black, AICP
Development Project Manager
Development Services

Adopted on: December 12, 2013

Job Order No. 24003650

PLANNING COMMISSION
RESOLUTION NUMBER XXX-PC

VESTING TENTATIVE MAP NO. 1113594
THE VILLAGE AT PACIFIC HIGHLANDS RANCH
PROJECT NO. 317590 [MMRP]

WHEREAS, PHR Village, LLC, a California Limited Liability Company, Subdivider, and Latitude 33, Engineer, submitted an application to the City of San Diego for a vesting tentative map for the Village at Pacific Highlands Ranch Project No. 317590 to construct a total of 331 residential units, 79 affordable housing units and 252 market rate housing units; 195,000 square feet commercial space, a library site and a civic use area. The project site is located at the northeast corner of Carmel Valley Road and Del Mar Heights Road in the CC-1-3 Zone within the Urban Village Overlay Zone and the Pacific Highlands Ranch Community Planning Area. The property is legally described as Parcel 1 of Parcel Map No. 20936, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, December 21, 2011, as File No. 2011-0622067 of Official Records; and

WHEREAS, the Map proposes the Subdivision of a 27.88 acre site into two (2) Final Maps for the Three (3) Phase Development, Phase One Final Map: Being a subdivision of Parcel 1 of Parcel Map No. 20936, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, December 21, 2011, as File No. 2011-0622067 of Official Records; Phase Two and Three Final Map: Being a subdivision of Parcel 1 of Parcel Map No. 20936, in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County, December 21, 2011, as File No. 2011-0622067 of Official Records; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, the subdivision is a condominium project as defined in California Civil Code section 1351 and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 252; and

WHEREAS, on December 12, 2013, the Planning Commission of the City of San Diego considered Vesting Tentative Map No. 1113594, an amendment to Vesting Tentative Map No. 433521, and pursuant to San Diego Municipal Code section 125.0440 and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the Planning Commission of the City of San Diego having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No. 1113594:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Action §§ 66473.5, 66474(a), and 66474(b)).

The proposed development is located within the area covered in the Pacific Highlands Ranch Subarea Plan, adopted in 1999, which is the applicable land use plan for the project area along with the City's General Plan, adopted in 2008. The proposed development implements the goals and policies of these documents by creating a multi-use urban village with 252 market rate residential condominiums and 79 affordable residential units, 195,000 square feet of commercial space, a library and a civic use area. The residential component of this proposed development provides a portion of the housing needs within the community with 331 multi-family units concentrated in the heart of the "Village" within the Town Center area identified in the Pacific Highlands Ranch Subarea Plan. These high density units are the residential core of the community, and combined with the commercial, retail, office, and civic uses, form a mixed-use and pedestrian-oriented development located along the regional transit system. The proposed

development utilizes design components that facilitate pedestrian orientation, such as a modified grid system, bulb-out sidewalks at intersections, diagonal and parallel street-side parking, a pedestrian village green and a town square gathering space.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed development complies with the relevant regulations of the Land Development Code. Conditions of approval require compliance with all relevant regulations of the City of San Diego effective for this site and incorporated into Site Development Permit No. 1113598, Planned Development Permit No. 1113595 and Vesting Tentative Map No. 1113594. The project proposes a total of seven (7) deviations from the Land Development Code. These deviations provide for a project that meets the purpose and intent of the Pacific Highlands Ranch Subarea Plan to create a high density, mixed-use, pedestrian friendly development.

A deviation is being requested for the required ground floor restriction. Building AH2 on Lot No. 16, Building AH1 on Lot No. 20, Building MR1 on Lots Nos. 21 and 23, and Building MR2 on Lots Nos. 27 and 29 will have residential uses on the ground floor when the zone prohibits residential uses in the front half of the lot on the ground floor. The purpose and intent of the Pacific Highlands Ranch Subarea Plan is to have a mixed-use, pedestrian friendly and higher density within the village area as a focal point within the community. The proposed development complies with this intent, by placing residential and commercial uses near to each other, and in some cases directly abutting each other. The proposed development functions as a whole as a mixed use development with a horizontal mixing of uses rather than vertical. The community is pedestrian oriented with commercial uses and outdoor public spaces within an easy walk as proposed within this development.

A deviation is being requested for the maximum building height of the proposed structures. The maximum height proposed within the project is 75 feet, where 45 feet is required. Building AH2 on Lot No. 16, Buildings M3 and R7 on Lot No. 17, Buildings R5, R6 and C1 on Lot No. 19, Building AH1 on Lot No. 20, Building MR1 on Lot Nos. 21 and 23, and Building MR2 on Lot Nos. 27 and 29 have proposed heights that vary between 48 feet and 75 feet. The proposed clock towers are proposed at 75 feet, proposed residential buildings at 60 feet and commercial/office buildings ranging in height from 48 feet to 58 feet maximum. The Commercial Retail/Service and Residential buildings comprise the core of the density component within the proposed development, which is the focal point within the community and complies with the purpose and intent of the Pacific Highlands Ranch Subarea Plan to create a high density, mixed-use, pedestrian friendly development. In order to incorporate the amount and variety of residential dwelling units called for in the Pacific Highlands Ranch Subarea Plan and to include the required amount of Affordable Housing units, the building height deviation is being requested.

A deviation is being requested for the required side setback and rear setback. Lots Nos. 4, 7, 8, 9, 12, 15, 17, 19, and 21 have proposed side setbacks that vary between 4.2 feet to 9.3 feet, where 10 feet is required, or building at the property line; Lots Nos. 4, 7, 8, 9, 12, 15, 17, 19, and 21 have proposed rear setbacks that vary between 2.9 feet to 5 feet where 10 feet is required, or building at the property line. The proposed development functions acts as a single project. Lot

lines have been drawn primarily for financing purposes and should not be viewed as discontinuous. This deviation request complies with the purpose and intent of the Pacific Highlands Ranch Subarea Plan to create a high density, mixed-use, pedestrian friendly development.

A deviation is being requested for the required lot width. Lot Nos. 1, 4, 10, 11 and 12 have proposed lot widths ranging from 55 feet to 95 feet, where 100 foot lot width is required. The proposed development functions as a single project. This deviation request complies with the purpose and intent of the Pacific Highlands Ranch Subarea Plan to create a high density, mixed-use, pedestrian friendly development.

A deviation is being requested for the required building articulation. Lot Nos. 2, 3, 4, 7, 8, 9, 12, 15, 16, 17, 19, 20, 21, 23, 27, and 29 have buildings with facades that do not conform to the mathematical standards for building articulation. The proposed buildings within this development are configured in the Early California style and comply with the Design Guidelines stated in the Pacific Highlands Ranch Subarea Plan.

A deviation is being requested for the required garage setback. Building AH2 on Lot No. 16, Building MR1 on Lot Nos. 21 and 23, Building MR2 on Lot Nos. 27 and 29 and Building AH1 on Lot No. 20, propose a 0 foot setback from the building façade, where a 5 foot setback is required. The proposed parking entries for Building AH1 on Lot No. 20 and Building AH2 on Lot No. 16 are designed to be located directly underneath the residential habitable area. The proposed parking entries for Building MR1 on Lot Nos. 21 and 23, Building MR2 on Lot Nos. 27 and 29 open up to the main portion of the proposed parking areas on Lot No. 22 and Lot No. 28 respectively at distances greater than the required 5 foot minimum. This deviation request complies with the purpose and intent of the Pacific Highlands Ranch Subarea Plan to create a high density, mixed-use, pedestrian friendly development.

A deviation is being requested for the required ground floor habitable area. Building AH1 on Lot No. 20 and Building AH2 on Lot No. 16, propose less than 50 percent of the ground floor as habitable area, where 50 percent of the buildings are required to have ground floor habitable area. Proposed parking for Building AH1 on Lot No. 20 and Building AH2 on Lot No. 16 are designed entirely on the ground floor. Habitable area comprises all upper stories of the buildings. Due to the layout and design of the proposed development, and with allowing for open space, this deviation request complies with the purpose and intent of the Pacific Highlands Ranch Subarea Plan to create a high density, mixed-use, pedestrian friendly development.

3. The site is physically suitable for the type and density of development (San Diego Municipal Code § 125.0440(c) and Subdivision Map Act §§ 66474(c) and 66474(d)).

The development is physically situated within the “Village” land use designation of the Pacific Highlands Ranch Subarea Plan. The “Village” calls for higher-density, transit-dependent housing mixed with commercial and civic uses. The development, through its general location and local site plan, encourages a higher degree of pedestrianism, and is located on the existing Carmel Valley Road and near to State Route 56 allowing for region-wide transit access. The site is currently a graded vacant lot and is at the center of the community of Pacific Highlands Ranch. The suitability of this site for the type and density of the proposed project was analyzed through

various technical studies including, geotechnical, traffic, water quality, and drainage. The technical studies concluded the site is physically suitable for the type and density of the proposed development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

The development was previously analyzed under Planned Development Permit No. 12852, Site Development Permit No. 433515, Conditional Use Permit No. 628324 and Vesting Tentative Map No. 435521 (Project No. 7029); approved by City Council in January 2010 and subsequently mass graded. The prior development contained a cinema which has been removed from the current development. All other uses are the same for the current development. The current development is moving some locations of buildings within the site from the prior development. There are no sensitive habitats, species or water courses located on the site. Additionally, the proposed development includes Findings to Master Environmental Impact Report (MEIR), Project No. 317590, Master Environmental Impact Report No. 96-7918/SCH No. 97111077, which properly analyzed potential impacts associated with the proposed development. No new mitigation will be required for the proposed development. Mitigation has been identified for impacts to biological resources located on the adjacent "borrow site" addressed as 6155 Carmel Valley Road, for the proposed mass grading of the site for use of the dirt on the proposed development site.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare (San Diego Municipal Code § 125.0440(e) and Subdivision Map Act § 66474(f)).

The development as currently designed will not be detrimental to the public health, safety, and welfare. The development, together with the existing surrounding development (grading design, provision of roadways, utilities, drainage infrastructure, preservation of open space, etc.) in the Pacific Highlands Ranch Subarea Plan has been designed to conform with the City of San Diego's codes, policies, and regulations whose primary focus is the protection of the public's health, safety, and welfare. The development will construct necessary sewer and water facilities to serve the residents and occupants. The development will enter into a Maintenance Agreement for the ongoing permanent Best Management Practices (BMPs) maintenance. The development will comply with all requirements of the State Water Resources Control Board and Municipal Storm Water Permit, Waste Discharge Requirements for Discharges of Storm Water Runoff Associate with Construction Activity. All structures constructed will be reviewed by City staff for compliance with all relevant and applicable building, electrical, mechanical, and fire codes to assure the structures will meet or exceed the current City regulations. The development has been reviewed by City staff and is consistent with the City's policies and requirements. Additionally, the permit controlling the development contains conditions addressing the project compliance with the City's regulations and policies, and other regional, state, and federal regulations to prevent detrimental impacts to the public health, safety, and welfare. Compliance with these regulations and project conditions would result in a proposed development which does not adversely affect the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)).

The design of the subdivision and the type of improvements are such that they will not conflict with any easements, acquired by the public at large, for access through or use of property within the proposed subdivision as demonstrated by the City Engineer. All easements granted to the City over the property have been left in place or have been relocated and improved in a manner that allows for public access that is better than access formerly provided by the unimproved easements, as reflected on the Vesting Tentative Map.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (San Diego Municipal Code § 125.0440(g) and Subdivision Map Act § 66473.1).

The design and proposed improvements for the subdivision are consistent with California Government Code Section 66473.1 and San Diego Municipal Code Section 125.0440(g) regarding the design of the subdivision for future passive or natural heating and cooling opportunities. Building MR1 on Lot Nos. 21 and 23 and Building MR2 on Lots Nos. 27 and 29 are the largest proposed buildings within the development as two, 5-story residential buildings. These proposed residential buildings are elongated in the east-west axis, thereby maximizing solar orientation. The proposed interior parking structures have trellises to shade the top level. With the proposed subdivision each structure will have the opportunity through building materials, site orientation, architectural treatments, placement and selection of plant materials to provide to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (San Diego Municipal Code § 125.0440(h) and Subdivision Map Act § 66412.3).

The development will construct a multi-use urban village with 252 market rate residential condominiums and 79 affordable residential units for a total of 331 residential dwelling units. These additional dwelling units provided by the proposed development will make a significant contribution towards fulfilling the City's Regional Housing Needs Assessment allocation found in the City's Housing Element adopted in March of 2013. The higher density of the proposed development means an increased supply of housing units without the same associated loss of land and environmental resources. The introduction of quality multifamily market-rate and affordable housing units in the Pacific Highlands Ranch Community brings diversity in housing options for the community and the City as a whole. The project implements the City's General Plan policies that encourage locating residential near transit and employment opportunities, thereby capturing automobile trips and allowing for increased pedestrian activity, bicycle and transit activity. All appropriate public services (including fire, police, medical, schools, public parks, and libraries) as well as necessary utilities such as electricity, water, and sewer, will be available to and adequate for the proposed development. The development is not expected to

have a net fiscal impact on the City, as any potential fiscal impact will be offset by additional revenues accruing to the City from increased property taxes.

The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of 331 residential units for private development is consistent with the housing needs anticipated for the Pacific Highlands Ranch Community Planning area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the Planning Commission, Vesting Tentative Map No. 1113594 is hereby granted to PHR Village, LLC, a California Limited Liability Company, subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: JAN I. GOLDSMITH, City Attorney

By

Laura C. Black, AICP
Development Project Manager
Development Services Department

ATTACHMENT: Tentative Map Conditions
Internal Order No. 24003650

PLANNING COMMISSION
CONDITIONS FOR VESTING TENTATIVE MAP NO. 1113594, THE VILLAGE AT
PACIFIC HIGHLANDS RANCH - PROJECT NO. 317590 [MMRP]

ADOPTED BY RESOLUTION NO. R-_____ ON _____

GENERAL

1. This Vesting Tentative Map will expire December 12, 2016.
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Maps, according to the Phasing of the Final Maps on Sheet 1 of Approved Exhibit "A", unless otherwise noted.
3. Prior to the recordation of the Final Map for Phase One (Lots 1-10, 20, 31), taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
4. Vesting Tentative Map No. 1113594 shall conform to the provisions of Planned Development Permit No. 1113595 and Site Development Permit No. 1113598.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.
6. A portion of this map is a subdivision condominium project as defined in section 1350 et. Seq. of the Civil Code of the State of California and is filed pursuant to

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VTM No. 1113594

the subdivision map act. This map permits up to 252 residential condominium units.

7. Lot 26 (a portion of the Library site) shall be maintained by the Subdivider, subsequent owners, or a Common Area Home Owners Association (HOA) (when established) until the City of San Diego takes ownership per the approved Purchase and Sales Agreement. If for any reason the City of San Diego does not purchase the library site (Lots 26 and 30), then the owner thereof can proceed to process a commercial development plan for Lot 30, consistent with the underlying CC-1-3 Zone, with Lot 26 remaining a civic use area.

AFFORDABLE HOUSING

8. Prior to the issuance of any residential building permit, the Subdivider shall enter into an affordable housing agreement with the San Diego Housing Commission to provide affordable housing units in compliance with the Pacific Highlands Ranch Subarea Plan for Affordable Housing.

ENGINEERING

9. Pursuant to City Council Policy 600-20, the Subdivider shall provide evidence to ensure that an affirmative marketing program is established prior to recording maps containing residential uses (Lots 16, 20, 21, 23, 27 and 29).
10. The Final Maps for all Three Phases of development shall comply with the provisions of Planned Development Permit No. 1113595 and Site Development Permit No. 1113598.
11. Prior to the issuance of grading permits, a geotechnical investigation report shall be required that specifically addresses the proposed grading plans and cites the City's Job Order No. and Drawing No. The geotechnical investigation shall provide specific geotechnical grading recommendations and include geotechnical maps, using the grading plan as a base, that depict recommended location of subdrains, location of outlet headwalls, anticipated removal depth, anticipated over-excavation depth, and limits of remedial grading.
12. A Final Map for Phase Three (Final Phase) of the proposed development, shall be recorded in the Office of the County Recorder, prior to the Vesting Tentative Map expiration date of December 12, 2016.
13. Compliance with all conditions shall be assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map unless otherwise noted. The Subdivider has requested the ability to file five phased Final Maps.

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14. The Subdivider shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, filed November 25, 2002) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-296141) satisfactory to the City Engineer for all private streets. This may require (but not be limited to) installation of new street light(s), upgrading light from low pressure to high pressure sodium vapor and/or upgrading wattage. Lighting on all public streets (Pacific Highlands Ranch Parkway, Village Way, and Highlands Place) shall be maintained by Pacific Highlands Ranch Maintenance Assessment District (MAD).
15. The Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
16. Whenever street rights-of-way are required to be dedicated, it is the responsibility of the Subdivider to provide the right-of-way free and clear of all encumbrances and prior easements. The Subdivider must secure "subordination agreements" for minor distribution facilities and/or "joint-use agreements" for major transmission facilities.
17. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
18. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Vesting Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

19. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
20. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The

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specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."

21. The Final Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of Third Order accuracy or better. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

PUBLIC UTILITIES DEPARTMENT

22. The Vesting Tentative Map No. 1113594 shall comply with all conditions of the Planned Development Permit No. 1113595 and Site Development Permit No. 1113598 for requirements of the Public Utilities Department.

GEOLOGY

23. Prior to the issuance of a grading permit for Phase One (Lots 1-10, 20, 31), the Subdivider shall submit a geotechnical report prepared in accordance with the City of San Diego's "Guidelines for Geotechnical Reports," satisfactory to the City Engineer.

LANDSCAPE

24. Prior to the recordation of the Final Map for each Phase of the project, the Subdivider shall submit complete landscape construction documents for that Phase, to include: plans, details, and specifications (including a permanent automatic irrigation system unless otherwise approved), for the required right-of-way and median improvements, and revegetation of all disturbed land in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. The landscape construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on

file in the Office of the Development Services Department. The Subdivider shall assure by permit and bond the installation of landscaping per landscape construction documents.

INFORMATION:

- The approval of this Tentative Map by the Planning Commission of the City of San Diego does not authorize the Subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto. Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.
- Subsequent applications related to this Vesting Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Vesting Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24003650

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RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

A RESOLUTION ADOPTING FINDINGS AND MITIGATION
MONITORING AND REPORTING PROGRAM FOR THE
VILLAGE AT PACIFIC HIGHLANDS RANCH PROJECT, PROJECT NO. 317590

WHEREAS, PHR Village, LLC, a California Limited Liability Company, by Coast PHR Village, LLC, a California Limited Liability Company, its manager, by Coast Income Properties, Inc., a California Corporation, its manager, Owner/Permittee, submitted an application to the Development Services Department for a Vesting Tentative Map, Planned Development Permit and Site Development Permit to construct a total of 331 residential units, 79 affordable housing units and 252 market rate housing units; 195,000 square feet commercial space, a library site and a civic use area (The Village at Pacific Highlands Ranch project) (Project No. 317590), an amendment to Planned Development Permit No. 12852, Site Development Permit No. 433515, Conditional Use Permit No. 628324 and Vesting Tentative Map No. 433521 (Project No. 7029); and

WHEREAS, the matter was set for a public hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the issue was heard by the Planning Commission on December 12, 2013; and

WHEREAS, the City of San Diego City Council had previously certified Master Environmental Impact Report (MEIR) No. 96-7918 / SCH No. 97111077 on July 28, 1998 for the Pacific Highlands Ranch (Subarea III) Subarea Plan; and

WHEREAS, The Village at Pacific Highlands Ranch project is within the Pacific Highlands Ranch (Subarea III) Subarea Plan and was analyzed within the scope of the MEIR; and

WHEREAS, in connection with the consideration of The Village at Pacific Highlands Ranch project, the Planning Commission considered MEIR No. 96-7918 / SCH No. 97111077, Findings to MEIR, Project No. 317590, and the Initial Study prepared for The Village at Pacific Highlands Ranch project; and

BE IT RESOLVED, by the Planning Commission of the City of San Diego, that it makes the following findings with respect to The Village at Pacific Highlands Ranch project in compliance with the California Environmental Quality Act of 1970 (CEQA) (California Public Resources Code section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, section 15000 et seq.), that the findings reflect the independent judgment of the City of San Diego as Lead Agency, and that the information contained in MEIR No. 96-7918 / SCH No. 97111077, the Findings to MEIR, Project No. 317590, the Initial Study prepared for The Village at Pacific Highlands Ranch project, and any comments received during the public review process, has been reviewed and considered by the Planning Commission:

- a) The proposed project will have no additional significant effect on the environment that was not identified in MEIR No. 96-7918 / SCH No. 97111077, no new or additional mitigation measures or alternatives may be required, and the project is within the scope of MEIR No. 96-7918 / SCH No. 97111077; and
- b) No substantial changes have occurred with respect to the circumstances under which MEIR No. 96-7918 / SCH No. 97111077 was certified and no new

information, which was not known and could not have been known at the time that the MEIR was certified, has become available.

BE IT FURTHER RESOLVED that, pursuant to State CEQA Guidelines Section 15177(d), the Planning Commission hereby adopts the project-specific Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the project as required by this Council in order to mitigate or avoid significant effects on the environment, a copy of which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the project.

Laura C. Black, AICP
Development Project Manager
Development Services Department

Adopted on: December 12, 2013

Job Order No. 24003650

EXHIBIT A

MITIGATION MONITORING AND REPORTING PROGRAM

VESTING TENTATIVE MAP NO. 1113594
PLANNED DEVELOPMENT PERMIT NO. 1113595
SITE DEVELOPMENT PERMIT NO. 1113598
SITE DEVELOPMENT PERMIT NO. 1218176 (BORROW SITE)

PROJECT NO. 317590

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Findings to Master Environmental Impact Report No. 96-7918, Project No. 317590, shall be made conditions of Vesting Tentative Map No. 1113594, Planned Development Permit No. 1113595, Site Development Permit No. 1113598 and Site Development Permit No. 1218176 (Borrow Site) as may be further described below.

A. GENERAL REQUIREMENTS – PART I Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction-related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "**ENVIRONMENTAL/MITIGATION REQUIREMENTS.**"
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>

4. The **TITLE INDEX SHEET** must also show on which pages the “Environmental/Mitigation Requirements” notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder’s Representative(s), Job Site Superintendent, and the following consultants: **Qualified biological monitor and Qualified paleontological monitor**

Note: Failure of all responsible Permit Holder’s representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the **RE** at the **Field Engineering Division – 858-627-3200**
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, applicant is also required to call **RE and MMC at 858-627-3360**

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) Number 317590 and/or Environmental Document Number 317590, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD’s Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e., to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc).

Note: Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution, or other documentation issued by the responsible agency: Not Applicable.

4. **MONITORING EXHIBITS:** All consultants are required to submit, to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE: Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long-term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. **OTHER SUBMITTALS AND INSPECTIONS:** The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

DOCUMENT SUBMITTAL/INSPECTION CHECKLIST

Issue Area	Document Submittal	Associated Inspection/Approvals/Notes
General	Consultant Qualification Letters	Prior to Preconstruction Meeting
General	Consultant Construction Monitoring Exhibits	Prior to or at Preconstruction Meeting
Paleontology	Paleontology Reports	Paleontology Site Observation
Waste Management	Waste Management Reports	Waste Management Inspections
Bond Release	Request for Bond Release Letter	Final MMRP Inspections Prior to Bond Release Letter

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTSBIOLOGICAL RESOURCES (HABITAT ACQUISITION FUND)

Prior to Notice to Proceed (NTP) for any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits, the owner/permittee shall contribute to the City of San Diego Habitat Acquisition Fund (HAF) to mitigate for the loss of 1.3 acres of southern maritime chaparral (Tier I) and 0.8 acre of non-native grassland (Tier IIIB). This fee is based on mitigation ratios, per the City of San Diego Biology Guidelines, of 1:1 for southern maritime chaparral if mitigation would occur inside the MHPA and of 0.5:1 for non-native grassland inside the MHPA. If mitigation were to occur outside of the MHPA, mitigation ratios would increase to 1.5:1 for southern maritime chaparral and 1:1 for native grassland. Therefore, the resulting total mitigation required for direct project impacts for a total of 2.1 acres inside the MHPA (or 2.72 acres outside the MHPA) equivalent contribution to the City's Habitat Acquisition Fund (HAF) plus a 10 percent administrative fee.

BIOLOGICAL RESOURCES (RAPTOR / GENERAL BIRD)

To avoid any direct impacts to raptors and/or any native/migratory birds, removal of habitat that supports active nests in the proposed area of disturbance should occur outside of the breeding season for these species (February 1 to September 15). If removal of habitat in the proposed area of disturbance must occur during the breeding season, the Qualified Biologist shall conduct a pre-construction survey to determine the presence or absence of nesting birds on the proposed area of disturbance. The pre-construction (precon) survey shall be conducted within 10 calendar days prior to the start of construction activities (including removal of vegetation). The applicant shall submit the results of the precon survey to City DSD for review and approval prior to initiating any construction activities. If nesting birds are detected, a letter report or mitigation plan in conformance with the City's Biology Guidelines and applicable State and Federal Law (i.e. appropriate follow up surveys, monitoring schedules, construction and noise

barriers/buffers, etc.) shall be prepared and include proposed measures to be implemented to ensure that take of birds or eggs or disturbance of breeding activities is avoided. The report or mitigation plan shall be submitted to the City DSD for review and approval and implemented to the satisfaction of the City. The City's MMC Section or RE, and Biologist shall verify and approve that all measures identified in the report or mitigation plan are in place prior to and/or during construction. If nesting birds are not detected during the precon survey, no further mitigation is required.

PALEONTOLOGICAL RESOURCES

I. Prior to Permit Issuance

- A. Entitlements Plan Check
 - 1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.
- B. Letters of Qualification have been submitted to ADD
 - 1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
 - 2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
 - 3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

- A. Verification of Records Search
 - 1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
 - 2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.
- B. PI Shall Attend Precon Meetings
 - 1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.
 - a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
 - 2. Identify Areas to be Monitored – Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
 - 3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence

or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

A. Monitor Shall be Present During Grading/Excavation / Trenching

1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
3. The monitor shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.

B. Discovery Notification Process

1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.

C. Determination of Significance

1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.
 - b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
 - c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
 - d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

- A. If night and/or weekend work is included in the contract
 1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
 2. The following procedures shall be followed.
 - a. No Discoveries – In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVN and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries – All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries – If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as

indicated in Section III-B, unless other specific arrangements have been made.

- B. If night work becomes necessary during the course of construction
 - 1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
 - 2. The RE, or BI, as appropriate, shall notify MMC immediately.
- C. All other procedures described above shall apply, as appropriate.

V. Post Construction

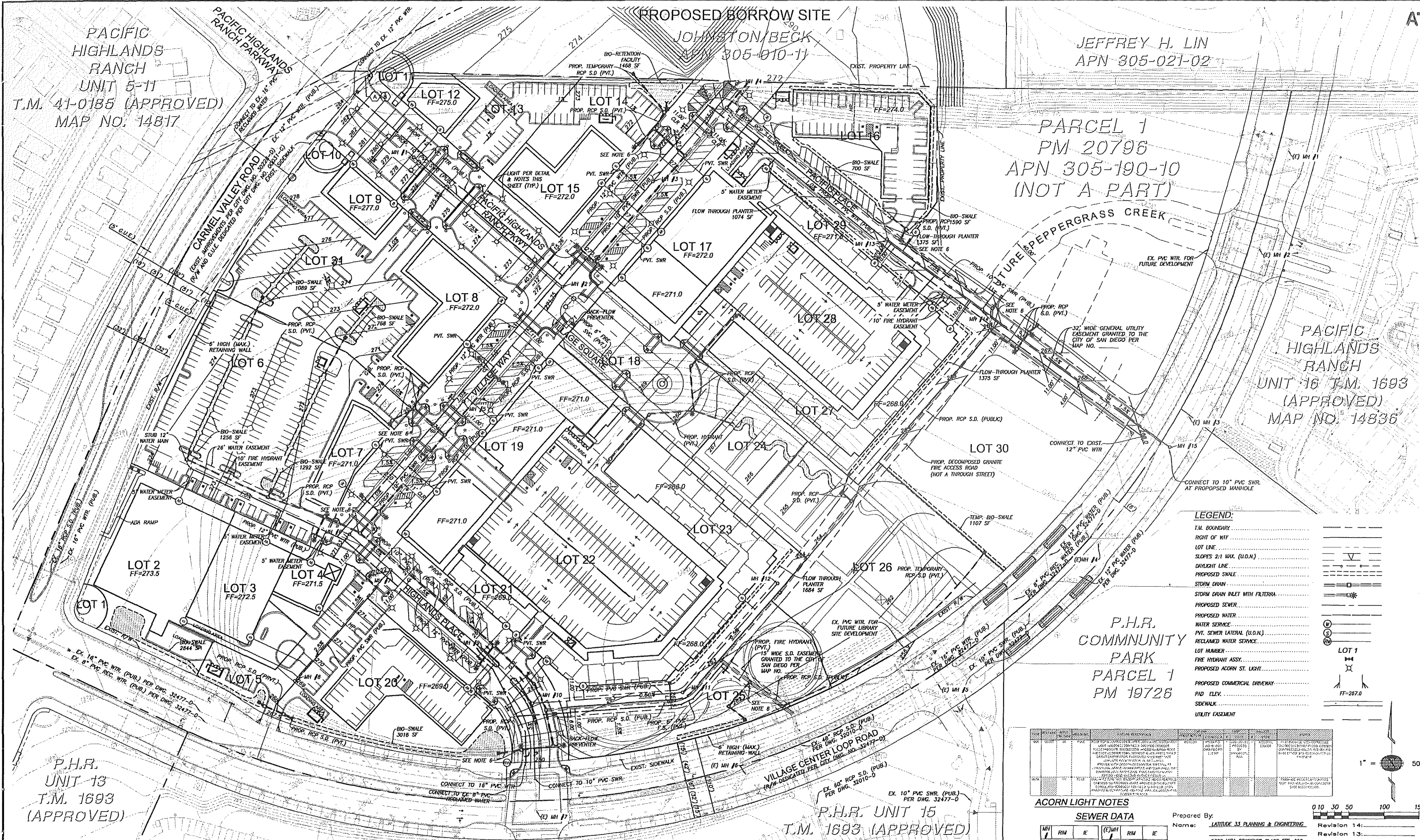
- A. Preparation and Submittal of Draft Monitoring Report
 - 1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring,
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
 - 2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 - 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 - 4. MMC shall provide written verification to the PI of the approved report.
 - 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
 - 1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 - 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal

material is identified as to species; and that specialty studies are completed, as appropriate

- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
 - 1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 - 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
 - 1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 - 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

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The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.



PACIFIC HIGHLANDS RANCH UNIT 5-11 T.M. 41-0185 (APPROVED) MAP NO. 14817

JEFFREY H. LIN APN 305-021-02

PARCEL 1 PM 20796 APN 305-190-10 (NOT A PART)

PACIFIC HIGHLANDS RANCH UNIT 16 T.M. 1693 (APPROVED) MAP NO. 14836

P.H.R. UNIT 13 T.M. 1693 (APPROVED)

P.H.R. UNIT 15 T.M. 1693 (APPROVED) PARCEL 1 PM 19841

P.H.R. COMMUNITY PARK PARCEL 1 PM 19726

LEGEND:

- T.M. BOUNDARY
- RIGHT OF WAY
- LOT LINE
- SLOPES 2:1 MAX. (U.O.N.)
- DAYLIGHT LINE
- PROPOSED SWALE
- STORM DRAIN
- STORM DRAIN BULLET WITH FILTERRA
- PROPOSED SEWER
- PROPOSED WATER
- WATER SERVICE
- PVT. SEWER LATERAL (L.O.N.)
- RECLAIMED WATER SERVICE
- LOT NUMBER
- FIRE HYDRANT ASSY.
- PROPOSED ACORN ST. LIGHT
- PROPOSED COMMERCIAL DRYWELL
- PID ELEV.
- SIDEWALK
- UTILITY EASEMENT

ACORN LIGHT NOTES

NO.	DESCRIPTION	DATE
1	INSTALL ACORN LIGHT AS SHOWN	03-25-2013
2	INSTALL ACORN LIGHT AS SHOWN	03-25-2013
3	INSTALL ACORN LIGHT AS SHOWN	03-25-2013
4	INSTALL ACORN LIGHT AS SHOWN	03-25-2013
5	INSTALL ACORN LIGHT AS SHOWN	03-25-2013
6	INSTALL ACORN LIGHT AS SHOWN	03-25-2013
7	INSTALL ACORN LIGHT AS SHOWN	03-25-2013

SEWER DATA

MI	RIM	IE	(F)MI	RIM	IE
1	271.31	266.23	1	281.73	271.85
2	271.61	261.88	2	275.22	267.01
3	271.73	264.19	3	269.00	255.76
4	273.55	266.07	4	263.73	250.02
5	270.59	259.94	5	256.49	242.84
6	271.57	256.76	6	253.98	246.38
7	270.91	255.90	7	259.63	251.41
8	270.62	257.95			
9	268.25	254.22			
10	263.85	253.14			
11	262.65	255.47			
12	263.70	257.59			
13	269.98	259.59			
14	267.58	257.86			
15	267.82	254.47			

Prepared By: LATITUDE 33 PLANNING & ENGINEERING
 Name: [REDACTED]
 Address: 5355 MIRA SORRENTO PLACE STE. 650 SAN DIEGO, CA 92121
 Phone #: (858) 751-0633
 Fax #: (858) 751-0634

Project Address: NORTHEAST CORNER OF CARNEL VALLEY ROAD & VILLAGE CENTER LOOP ROAD
 Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH
 Sheet Title: AMENDED VESTING TENTATIVE MAP GRADING & UTILITY PLAN
 Sheet 2 of 40
 Original Date: 03-25-2013
 Revision 14: [REDACTED]
 Revision 13: [REDACTED]
 Revision 12: [REDACTED]
 Revision 11: [REDACTED]
 Revision 10: [REDACTED]
 Revision 9: [REDACTED]
 Revision 8: [REDACTED]
 Revision 7: [REDACTED]
 Revision 6: [REDACTED]
 Revision 5: 10-14-2013
 Revision 4: 09-06-2013
 Revision 3: 08-05-2013
 Revision 2: 08-05-2013
 Revision 1: 08-03-2013

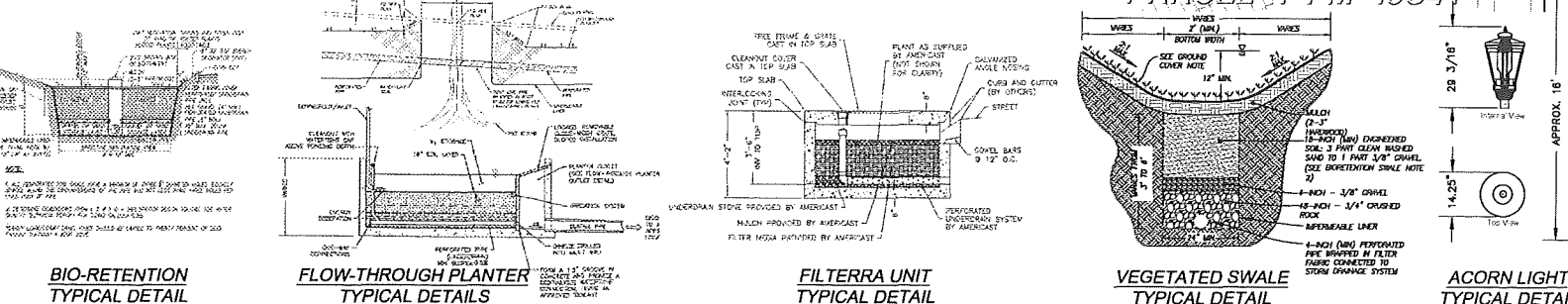
EXISTING EASEMENTS

- CENTERLINE OF WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO RECORDED JANUARY 7, 1972 AS FILE NO. 72-5264 OF OFFICIAL RECORDS.
- CENTERLINE OF 40' WATER EASEMENT GRANTED TO THE CITY OF SAN DIEGO RECORDED MARCH 17, 1971 AS FILE NOS. 50379 AND 50378 OF OFFICIAL RECORDS.

(SEE NORTHWEST CORNER OF PROJECT FOR LOCATION)

NOTES

- THE PROPOSED SEWER SYSTEM WILL BE PUBLIC UNLESS OTHERWISE NOTED.
- THE PROPOSED WATER/FIRE LOOP WILL BE PUBLIC UNLESS OTHERWISE NOTED.
- LOTS 21, 23, 27 & 29 ARE CONDOMINIUM PROJECTS AS DEFINED IN SECTION 1350 ET. SEQ. OF THE CIVIL CODE OF THE STATE OF CALIFORNIA AND FILED PURSUANT TO THE SUBDIVISION MAP ACT.
- LANDSCAPE RETAINING WALLS NOT TO EXCEED 3' IN HEIGHT.
- PUBLIC STORM DRAIN TO BE 18" MANHOLE RCP.
- WHERE PRIVATE STORM DRAIN CONNECTS TO PUBLIC STORM DRAIN, AN EXTRA MUST BE PROVIDED WITH CONSTRUCTION PERMITTING.



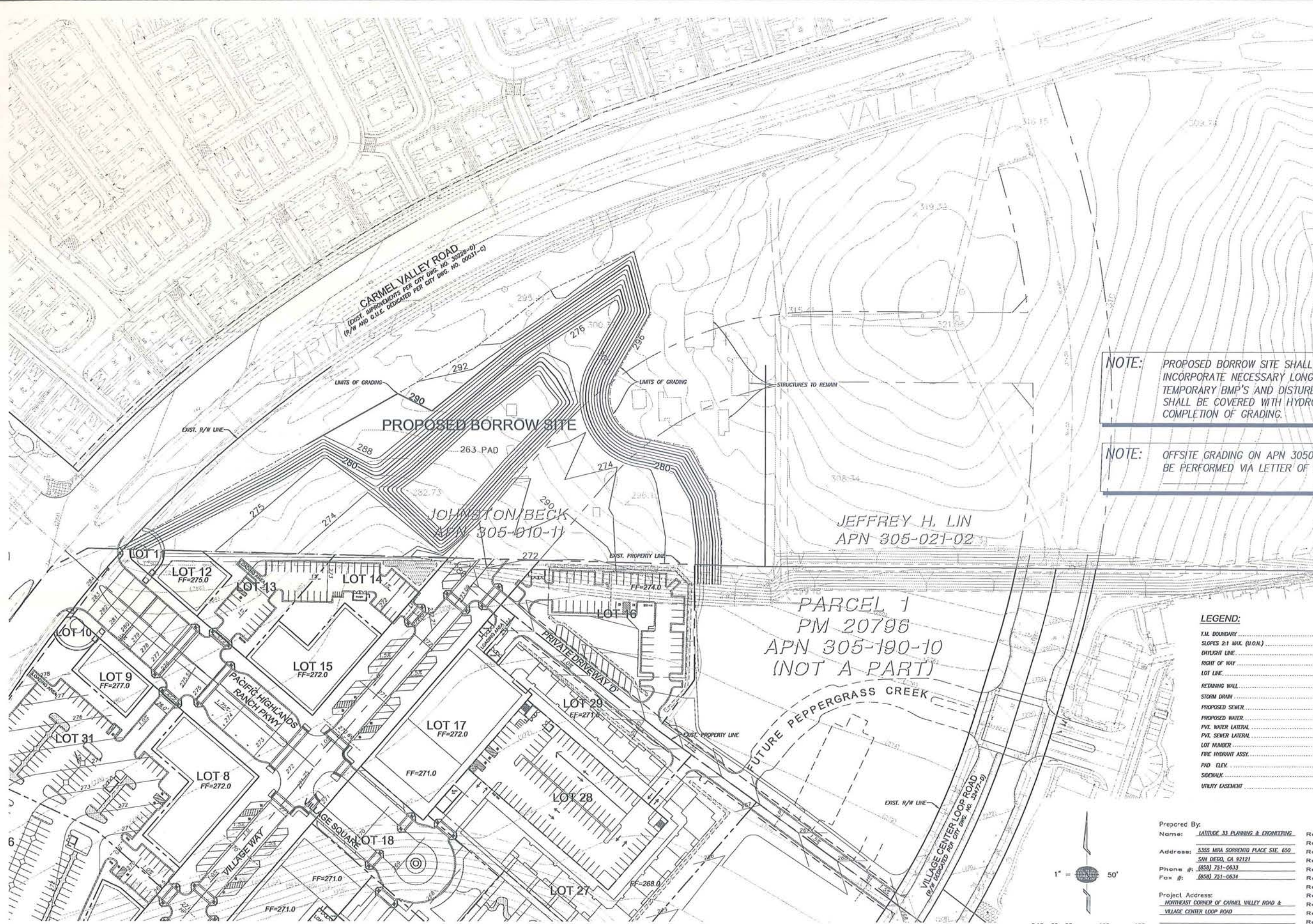
BIO-RETENTION TYPICAL DETAIL

FLOW-THROUGH PLANTER TYPICAL DETAIL

FILTERRA UNIT TYPICAL DETAIL

VEGETATED SWALE TYPICAL DETAIL

ACORN LIGHT TYPICAL DETAIL



NOTE: PROPOSED BORROW SITE SHALL INCORPORATE NECESSARY LONG TERM TEMPORARY BMP'S AND DISTURBED AREAS SHALL BE COVERED WITH HYDROSEED UPON COMPLETION OF GRADING.

NOTE: OFFSITE GRADING ON APN 305010-11 TO BE PERFORMED VIA LETTER OF PERMISSION

LEGEND:

TM. BOUNDARY	-----
SLOPES 2:1 MAX. (U.O.N.)	-----
DAYLIGHT LINE	-----
RIGHT OF WAY	-----
LOT LINE	-----
RETAINING WALL	-----
STORM DRAIN	-----
PROPOSED SEWER	-----
PROPOSED WATER	-----
PVT. WATER LATERAL	-----
PVT. SEWER LATERAL	-----
LOT NUMBER	-----
FIRE HYDRANT ASSY.	-----
PAD ELEV.	-----
SIDEWALK	-----
UTILITY EASEMENT	-----

Prepared By: **LATITUDE 33 PLANNING & ENGINEERING**

Name: **LATITUDE 33 PLANNING & ENGINEERING**

Address: **5355 MIYA SORRENTO PLACE STE. 650
SAN DIEGO, CA 92121**

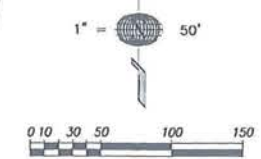
Phone #: **(650) 751-0633**

Fax #: **(650) 751-0634**

Project Address: **NORTHEAST CORNER OF CARMEL VALLEY ROAD & VILLAGE CENTER LOOP ROAD**

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	10-14-2013
Revision 3:	09-05-2013
Revision 2:	08-05-2013
Revision 1:	06-03-2013

Original Date: **03-25-2013**



Project Name: **THE VILLAGE AT PACIFIC HIGHLANDS RANCH**

Sheet Title: **AMENDED VESTING TENTATIVE MAP GRADING PLAN-BORROW SITE**

Sheet **3** of **40**

DEP# **7029**



PACIFIC HIGHLANDS RANCH UNIT 5-11 T.M. 41-0185 (APPROVED) MAP NO. 14817

JOHNSTON/BECK APN 305-010-11

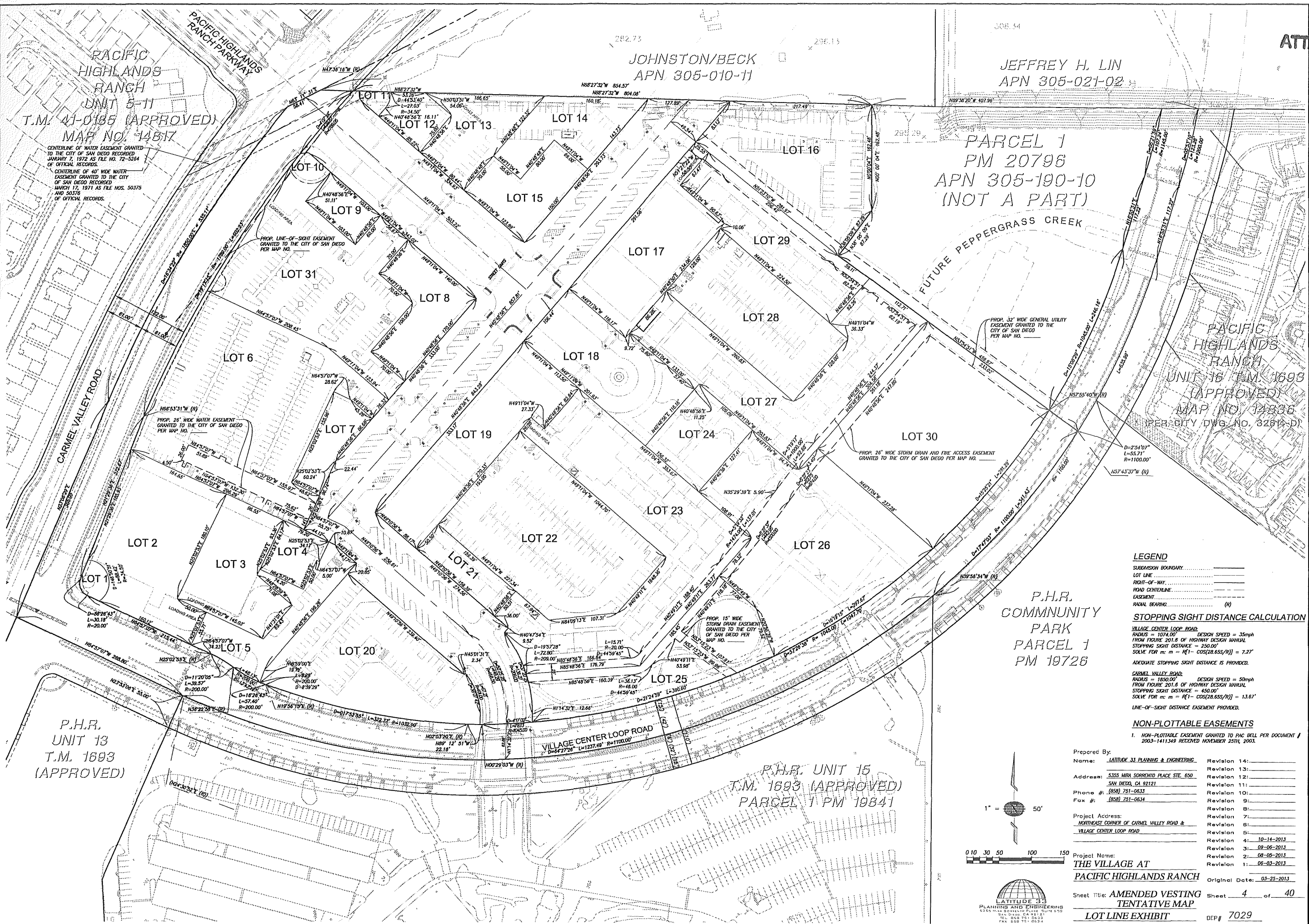
JEFFREY H. LIN APN 305-021-02

PARCEL 1 PM 20796 APN 305-190-10 (NOT A PART)

PACIFIC HIGHLANDS RANCH UNIT 16 T.M. 1693 (APPROVED) MAP NO. 14836 (PER CITY DWG. NO. 32614-D)

P.H.R. UNIT 13 T.M. 1693 (APPROVED)

P.H.R. UNIT 15 T.M. 1693 (APPROVED) PARCEL 1 PM 19841



LEGEND

- SUBDIVISION BOUNDARY
- LOT LINE
- RIGHT-OF-WAY
- ROAD CENTERLINE
- EASEMENT
- RADIAL BEARING (R)

STOPPING SIGHT DISTANCE CALCULATION

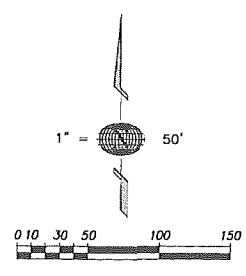
VILLAGE CENTER LOOP ROAD
 RADIUS = 1074.00' DESIGN SPEED = 35mph
 FROM FIGURE 201.6 OF HIGHWAY DESIGN MANUAL
 STOPPING SIGHT DISTANCE = 250.00'
 SOLVE FOR m: $m = R[1 - \cos(28.655/R)] = 7.27'$
 ADEQUATE STOPPING SIGHT DISTANCE IS PROVIDED.

CARMEL VALLEY ROAD
 RADIUS = 1850.00' DESIGN SPEED = 50mph
 FROM FIGURE 201.6 OF HIGHWAY DESIGN MANUAL
 STOPPING SIGHT DISTANCE = 450.00'
 SOLVE FOR m: $m = R[1 - \cos(28.655/R)] = 13.67'$
 LINE-OF-SIGHT DISTANCE EASEMENT PROVIDED.

NON-PLOTTABLE EASEMENTS

- NON-PLOTTABLE EASEMENT GRANTED TO PAC BELL PER DOCUMENT 1 2003-1411349 RECEIVED NOVEMBER 25TH, 2003.

Prepared By:	LATITUDE 33 PLANNING & ENGINEERING	Revision 14:	
Name:		Revision 13:	
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	SAN DIEGO, CA 92121	Revision 11:	
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Project Address:	NORTHEAST CORNER OF CARMEL VALLEY ROAD & VILLAGE CENTER LOOP ROAD	Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	10-14-2013
		Revision 4:	09-06-2013
		Revision 3:	08-08-2013
		Revision 2:	06-03-2013
		Revision 1:	



Project Name:
**THE VILLAGE AT
 PACIFIC HIGHLANDS RANCH**

Sheet Title:
**AMENDED VESTING
 TENTATIVE MAP
 LOT LINE EXHIBIT**

Original Date: 03-25-2013
 Sheet 4 of 40
 DEP# 7029

PACIFIC HIGHLANDS RANCH UNIT 5-11 M. 41-0185 (APPROVED) MAP NO. 14817

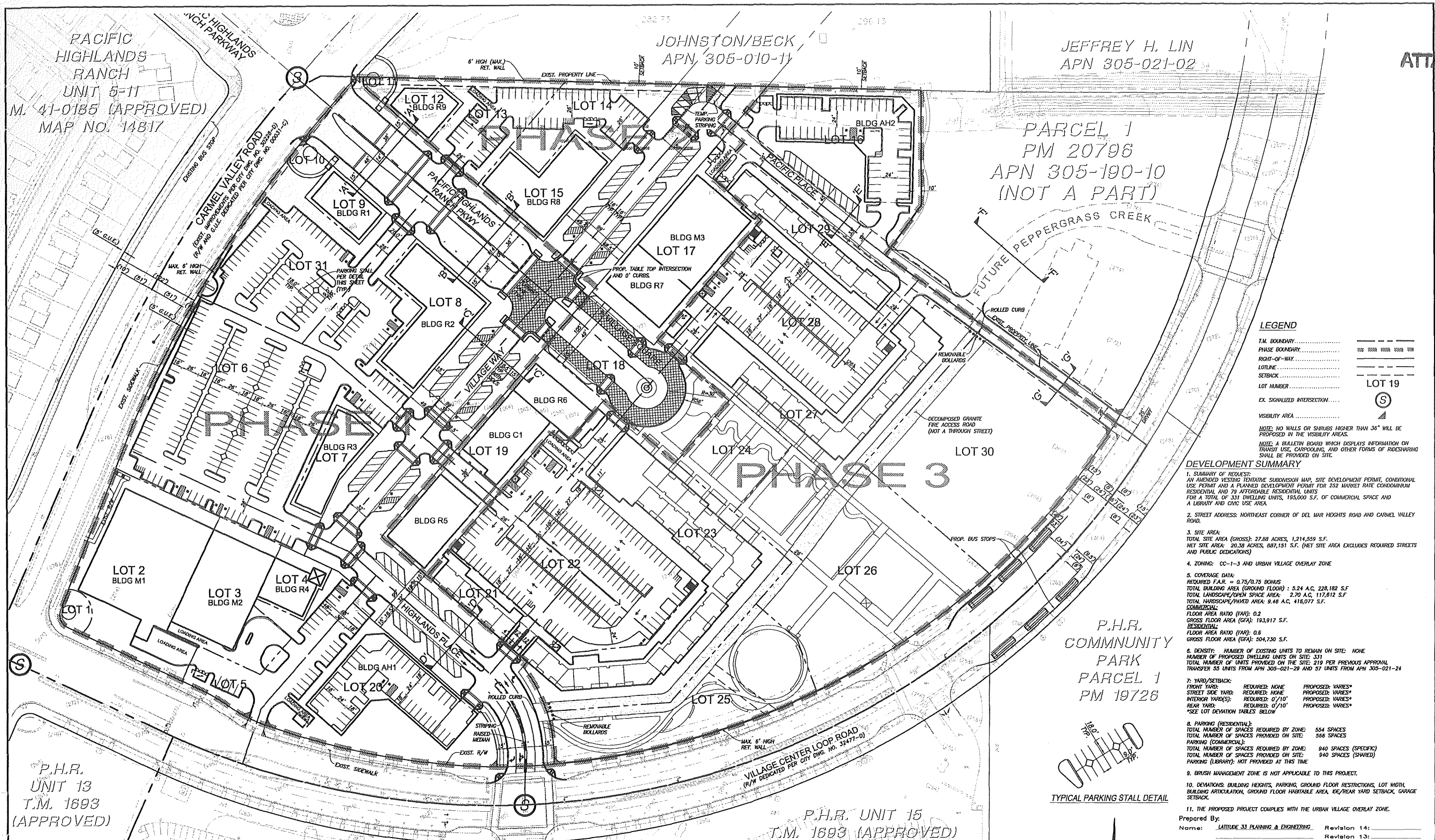
JOHNSTON/BECK APN 305-010-11

JEFFREY H. LIN APN 305-021-02

PARCEL 1 PM 20796 APN 305-190-10 (NOT A PART)

P.H.R. UNIT 13 T.M. 1693 (APPROVED)

P.H.R. UNIT 15 T.M. 1693 (APPROVED)



LEGEND

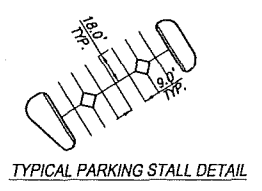
- T.M. BOUNDARY
- PHASE BOUNDARY
- RIGHT-OF-WAY
- LOTLINE
- SETBACK
- LOT NUMBER
- EX. SIGNALIZED INTERSECTION
- VISIBILITY AREA

NOTE: NO WALLS OR SHRUBS HIGHER THAN 36" WILL BE PROPOSED IN THE VISIBILITY AREAS.
NOTE: A BULLETIN BOARD WHICH DISPLAYS INFORMATION ON TRAVEL USE, CARPOOLING, AND OTHER FORMS OF RIDESHARING SHALL BE PROVIDED ON SITE.

DEVELOPMENT SUMMARY

1. SUMMARY OF REQUEST: AN AMENDED VESTING TENTATIVE SUBDIVISION MAP, SITE DEVELOPMENT PERMIT, CONDITIONAL USE PERMIT AND A PLANNED SUBDIVISION PERMIT FOR 252 MARKET RATE CONDOMINIUM RESIDENTIAL AND 79 AFFORDABLE RESIDENTIAL UNITS FOR A TOTAL OF 331 DWELLING UNITS, 155,000 S.F. OF COMMERCIAL SPACE AND A LIBRARY AND CIVIC USE AREA.
2. STREET ADDRESS: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD.
3. SITE AREA: TOTAL SITE AREA (GROSS): 27.88 ACRES, 1,214,559 S.F. NET SITE AREA: 20.38 ACRES, 897,151 S.F. (NET SITE AREA EXCLUDES REQUIRED STREETS AND PUBLIC DEDICATIONS)
4. ZONING: CC-1-3 AND URBAN VILLAGE OVERLAY ZONE
5. COVERAGE DATA: REQUIRED F.A.R. = 0.75/0.75 BONUS TOTAL BUILDING AREA (GROUND FLOOR): 5.24 A.C. 228,182 S.F. TOTAL LANDSCAPE/OPEN SPACE AREA: 2.70 A.C. 117,612 S.F. TOTAL HARDSCAPE/PAVED AREA: 9.48 A.C. 416,077 S.F. COMMERCIAL: FLOOR AREA RATIO (FAR): 0.2 GROSS FLOOR AREA (GFA): 193,917 S.F. RESIDENTIAL: FLOOR AREA RATIO (FAR): 0.6 GROSS FLOOR AREA (GFA): 504,730 S.F.
6. DENSITY: NUMBER OF EXISTING UNITS TO REMAIN ON SITE: NONE NUMBER OF PROPOSED DWELLING UNITS ON SITE: 331 TOTAL NUMBER OF UNITS PROVIDED ON THE SITE: 219 PER PREVIOUS APPROVAL TRANSFER 55 UNITS FROM APN 305-021-29 AND 57 UNITS FROM APN 305-021-24
7. YARD/SETBACK: FRONT YARD: REQUIRED: NONE PROPOSED: VARIES* STREET SIDE YARD: REQUIRED: NONE PROPOSED: VARIES* INTERIOR YARD(S): REQUIRED: 0'/10' PROPOSED: VARIES* REAR YARD: REQUIRED: 0'/10' PROPOSED: VARIES* *SEE LOT DEVIATION TABLES BELOW
8. PARKING (RESIDENTIAL): TOTAL NUMBER OF SPACES REQUIRED BY ZONE: 554 SPACES TOTAL NUMBER OF SPACES PROVIDED ON SITE: 566 SPACES PARKING (COMMERCIAL): TOTAL NUMBER OF SPACES REQUIRED BY ZONE: 940 SPACES (SPECIFIC) TOTAL NUMBER OF SPACES PROVIDED ON SITE: 940 SPACES (SHARED) PARKING (LIBRARY): NOT PROVIDED AT THIS TIME
9. BRUSH MANAGEMENT ZONE IS NOT APPLICABLE TO THIS PROJECT.
10. DEVIATIONS: BUILDING HEIGHTS, PARKING, GROUND FLOOR RESTRICTIONS, LOT WIDTH, BUILDING ARTICULATION, GROUND FLOOR HABITABLE AREA, DE/REAR YARD SETBACK, GARAGE SETBACK.
11. THE PROPOSED PROJECT COMPLIES WITH THE URBAN VILLAGE OVERLAY ZONE.

P.H.R. COMMUNITY PARK PARCEL 1 PM 19726



BUILDING HEIGHT DEVIATIONS

BLDG	LOT #	ALLOWED HEIGHT	PROPOSED HEIGHT
AH2	16	45'	50'
M3	17	45'	51'
M3 TOWER	17	45'	75'
R7	17	45'	58'
R7 TOWER	17	45'	50'
R8	19	45'	48'
C1	19	45'	75'
R5	19	45'	52'
AH1	20	45'	60'
MR1	21	45'	60'
MR1	23	45'	60'
MR2	27	45'	60'
MR2	29	45'	60'

SIDE/REAR YARD SETBACK DEVIATIONS

LOT #	REQUIRED*	PROPOSED SIDE	PROPOSED REAR
4	10', 0"	4.12'	0'
7	10', 0"	5'	5'
8	10', 0"	5'	5'
9	10', 0"	5'	5'
12	10', 0"	5'	5'
18	10', 0"	5'	5'
19	10', 0"	5.6'	10'
21	10', 0"	9.3'	2.9'

*OPTIONAL 0' SETBACK REQUIRES THAT THE BUILDING EITHER BE PLACED AT THE PROPERTY LINE OR SHALL BE SET BACK AT LEAST 10 FEET. (SDMC SECTION 131.0543 (b))

LOT WIDTH DEVIATIONS

LOT #	REQUIRED LOT WIDTH	PROPOSED LOT WIDTH
1	100'	66'
4	100'	84'
10	100'	65'
11	100'	90'
12	100'	95'

GROUND FLOOR RESTRICTION DEVIATIONS RESIDENTIAL USES: RESIDENTIAL PARKING

BLDG	LOT #
AH2	16
AH1	20
MR1	21
MR1	23
MR2	27
MR2	29

BUILDING ARTICULATION REQUIREMENT DEVIATIONS

LOT #'S
2, 3, 4, 7, 8, 9, 12, 15, 16, 17, 19, 20, 21, 23, 27, 29

GROUND FLOOR HABITABLE AREA REQUIREMENT DEVIATIONS

BLDG	LOT #	REQUIRED	PROPOSED
AH2	16	50%	OK
AH1	20	50%	OK

GARAGE SETBACK REQUIREMENT DEVIATIONS

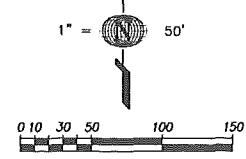
BLDG	LOT #	REQUIRED	PROPOSED
AH2	16	5'	0'
AH1	20	5'	0'

LOT SUMMARY

LAND USE	LOT #'S
RESIDENTIAL	16, 20, 21, 23, 27 AND 29
COMMERCIAL	2, 3, 4, 7, 8, 9, 12
MIXED USE	8, 15, 17, AND 19
H.Q.A.	1, 10, 11, 18, 24, 25, AND 28
LIBRARY	30
PARKING	5, 6, 13, 14, 22, 28 AND 31

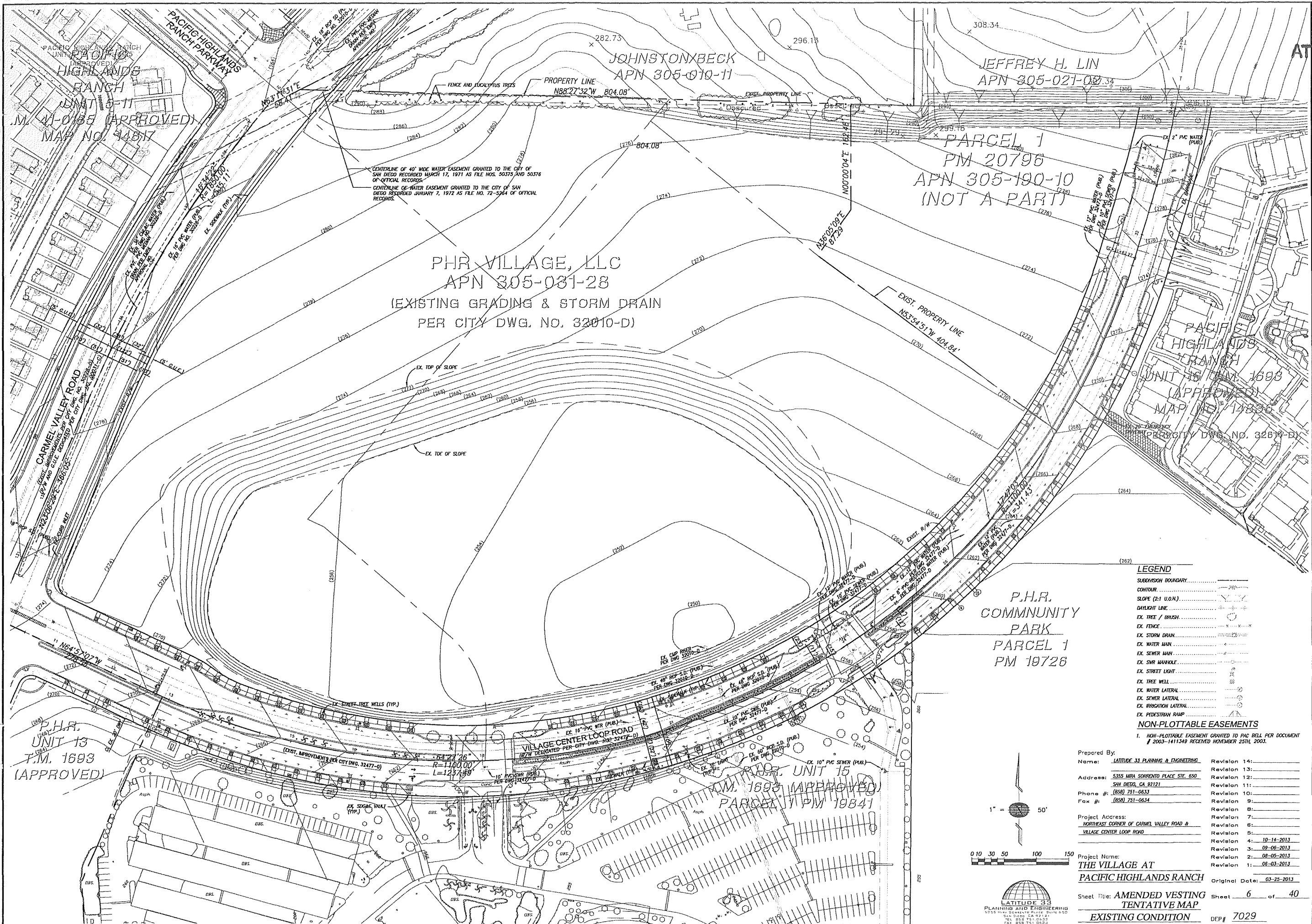
MAP PHASE SUMMARY

PHASE	LOTS
1	1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 20, & 31
2	11, 12, 13, 14, 15, 17, 18 & 19
3	16, 21, 22, 23, 24, 25, 26, 27, 28, 29 & 30



LATITUDE 33 PLANNING AND ENGINEERING 5256 MAR SERRANO PLACE SUITE 600 SAN DIEGO, CA 92121 TEL: 619 751 0633 FAX: 619 751 0634

Prepared By: LATITUDE 33 PLANNING & ENGINEERING
 Name: 5355 MAR SERRANO PLACE STE. 600 SAN DIEGO, CA 92121
 Address: (619) 751-0633
 Phone #: (619) 751-0634
 Fax #:
 Project Address: NORTHEAST CORNER OF CARMEL VALLEY ROAD & VILLAGE CENTER LOOP ROAD
 Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH
 Sheet Title: AMENDED VESTING TENTATIVE MAP SITE PLAN
 Sheet 5 of 40
 Original Date: 03-25-2013
 DEP# 7029



LEGEND

SUBDIVISION BOUNDARY	.....
CONTOUR	.....
SLOPE (2:1 U.O.H.)	.....
DAYLIGHT LINE	.....
EX. TREE / BRUSH	.....
EX. FENCE	.....
EX. STORM DRAIN	.....
EX. WATER MAIN	.....
EX. SEWER MAIN	.....
EX. SWR HOLE	.....
EX. STREET LIGHT	.....
EX. TREE WELL	.....
EX. WATER LATERAL	.....
EX. SEWER LATERAL	.....
EX. IRRIGATION LATERAL	.....
EX. PEDESTRIAN RAMP	.....

NON-PLOTTABLE EASEMENTS

- NON-PLOTTABLE EASEMENT GRANTED TO PAC BELL PER DOCUMENT 2003-1411349 RECEIVED NOVEMBER 25TH, 2003.

Prepared By:
 Name: LATITUDE 33 PLANNING & ENGINEERING
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 Phone #: (858) 751-0633
 Fax #: (858) 751-0634

Project Address:
NORTHEAST CORNER OF CARMEL VALLEY ROAD &
VILLAGE CENTER LOOP ROAD

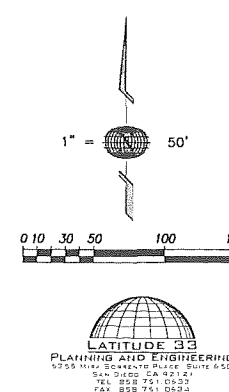
Project Name:
THE VILLAGE AT
PACIFIC HIGHLANDS RANCH

Sheet Title: **AMENDED VESTING**
TENTATIVE MAP
EXISTING CONDITION

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: 10-14-2013
 Revision 3: 09-06-2013
 Revision 2: 08-05-2013
 Revision 1: 06-03-2013

Original Date: 03-25-2013

Sheet 6 of 40
 DEP# 7029



BORROW SITE
CUT= 110,000 C.Y.

JOHNSTON/BECK
APN 305-010-11

JEFFREY H. LIN
APN 305-021-02

PACIFIC HIGHLANDS RANCH
UNIT 6-11
T.M. 47-0185 (APPROVED)
MAP NO. 14817






CARMEL VALLEY ROAD
(CONTR. IMPROVEMENTS PER CITY ENG. NO. 102208-D)
(P.W. AND G.U.L. DEDICATED PER CITY ENG. NO. 09031-D)

PARCEL 1
PM 20796
APN 305-190-10
(NOT A PART)

FUTURE PEPPERGRASS CREEK

PACIFIC HIGHLANDS RANCH
UNIT 16 T.M. 1693
(APPROVED)
MAP NO. 14836

LEGEND:

- EXCAVATION (CUT) 
- EMBANKMENT (FILL) 
- CUT/FILL LINE 
- TENTATIVE MAP BOUNDARY 
- LIMITS OF GRADING 

P.H.R.
COMMUNITY
PARK
PARCEL 1
PM 18726

EARTHWORK SUMMARY:

ONSITE

TOTAL CUT = 79,000 C.Y.
TOTAL FILL = 189,000 C.Y.
TOTAL IMPORT = 110,000 C.Y.
AREA BEING GRADED = 24.11 AC.
VOLUME PER GRADED AC = 4,562 C.Y./AC.

OFFSITE

TOTAL CUT = 110,000 C.Y.
TOTAL FILL = 0 C.Y.
TOTAL EXPORT = 110,000 C.Y.
AREA BEING GRADED = 4.17 AC.
VOLUME PER GRADED AC = 9,259 C.Y./AC.

P.H.R.
UNIT 13
T.M. 1693
(APPROVED)

VILLAGE CENTER LOOP ROAD
(P.W. DEDICATED PER CITY ENG. NO. 10477-D)

P.H.R. UNIT 15
T.M. 1693 (APPROVED)
PARCEL 1 PM 18841

1" = 50'

0 10 30 50 100 150



Prepared By:	LATTITUDE 33 PLANNING & ENGINEERING	Revision 14:	_____
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		Revision 9:	_____
		Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	10-14-2013
		Revision 3:	09-06-2013
		Revision 2:	08-05-2013
		Revision 1:	06-03-2013

Project Address:
NORTHEAST CORNER OF CARMEL VALLEY ROAD &
VILLAGE CENTER LOOP ROAD

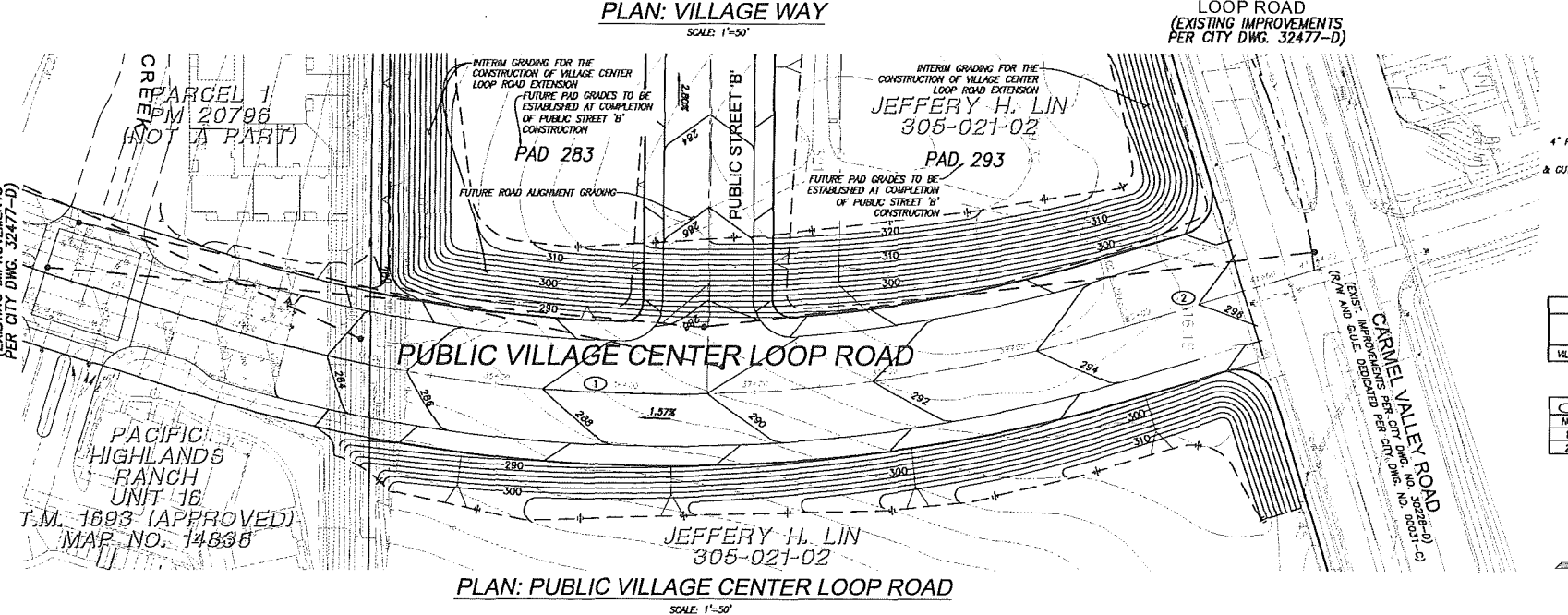
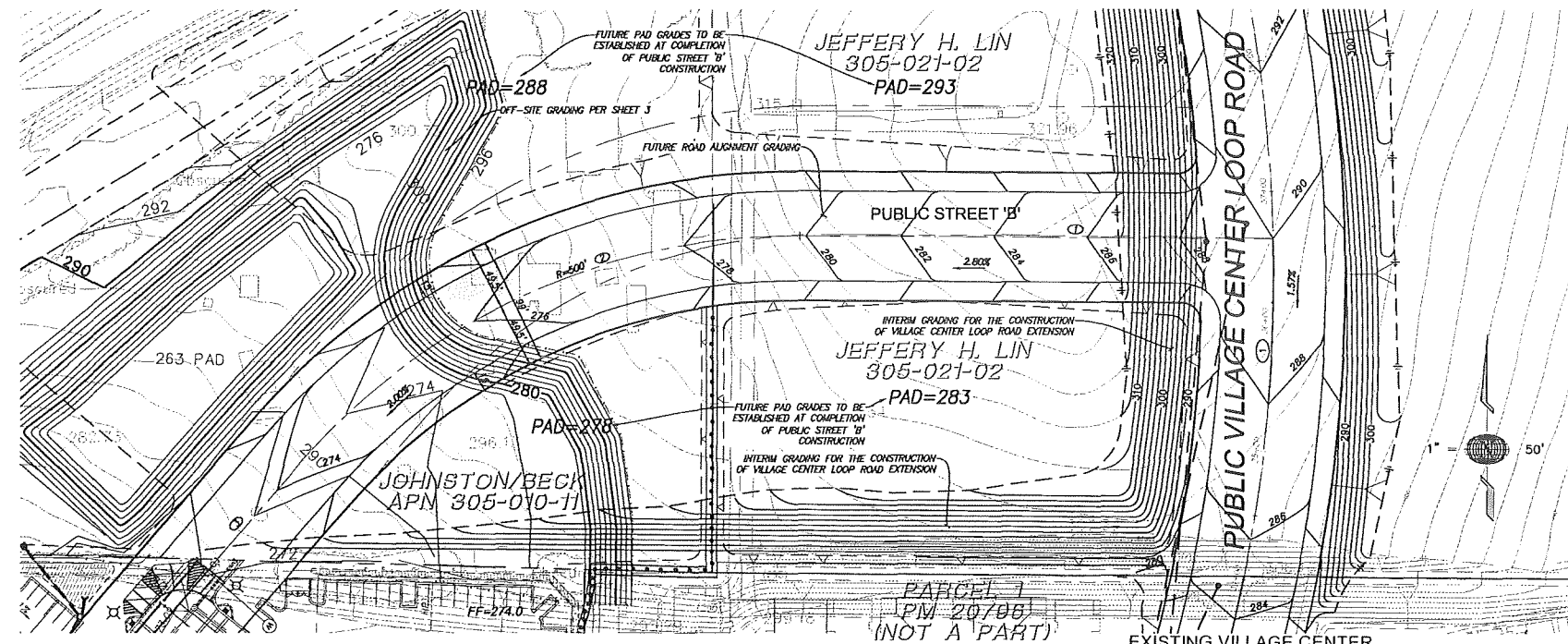
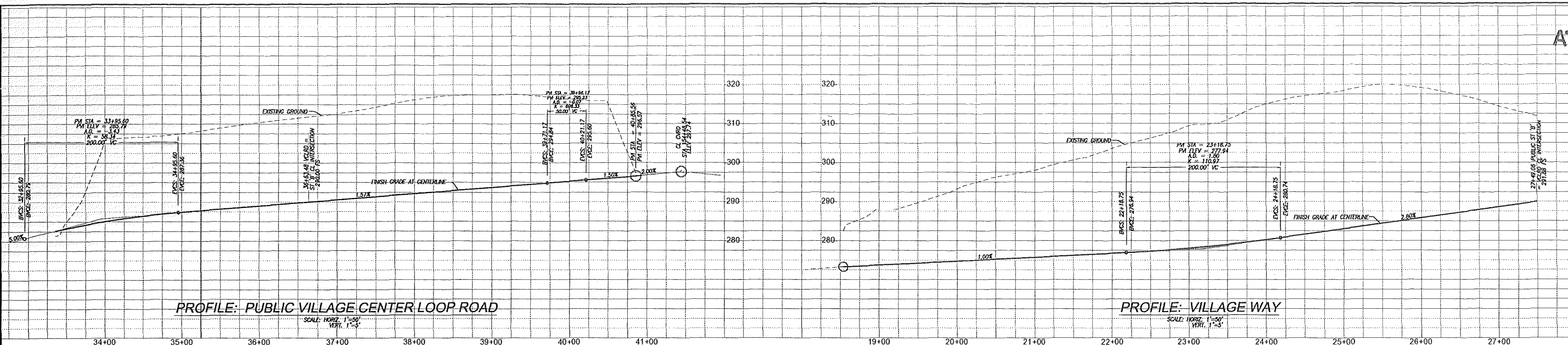
Project Name:
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

Sheet Title: **AMENDED VESTING
TENTATIVE MAP
EARTHWORK EXHIBIT**

Original Date: 03-25-2013

Sheet 7 of 40

DEP# 7029



LEGEND:

ITEM SYMBOL

T.M. BOUNDARY: - - - - -

RIGHT-OF-WAY: - - - - -

LOTLINE: - - - - -

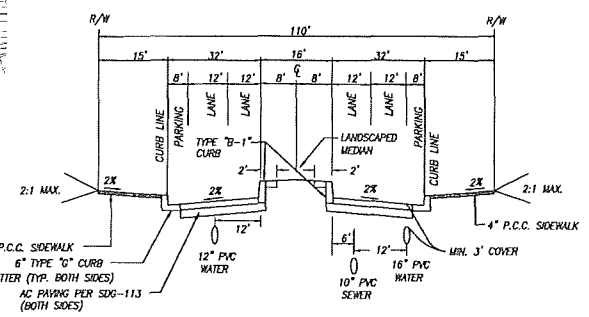
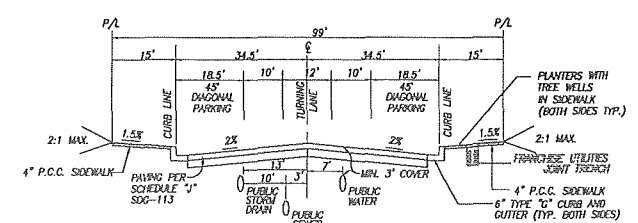
PEDESTRIAN ACCESS:

CENTERLINE DATA

NO.	DELTA/Bearing	RADIUS	LENGTH	REMARKS
1	N89°36'20"W	-	362.83'	CL PUBLIC STREET 'B'
2	49°32'44"	500.00'	432.37'	
3	N47°48'56"E	-	99.88'	

STREET DESIGN TABLE

STREET NAME	STREET CLASSIFICATION	R.O.W.
PUBLIC STREET 'B'	2-LANE URBAN COLLECTOR	99'

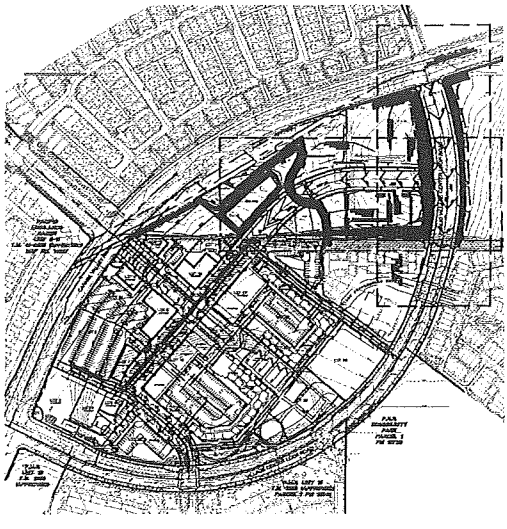


STREET DESIGN TABLE

STREET NAME	STREET CLASSIFICATION	FUTURE A.D.T.	DESIGN SPEED	R.O.W.
VILLAGE CENTER LOOP ROAD	MODIFIED 4-LANE URBAN COLLECTOR	20,000	45 MPH	110'

CENTERLINE DATA

NO.	DELTA/Bearing	RADIUS	LENGTH	REMARKS
1	S17°09'20"	1200.00'	652.52'	CL PUBLIC VILLAGE CENTER LOOP ROAD
2	N16°54'51"W	-	153.86'	



Prepared By: **LATITUDE 33 PLANNING & ENGINEERING**

Name: **LATITUDE 33 PLANNING & ENGINEERING**

Address: **5355 MIRA SORRENTO PLACE STE. 650 SAN DIEGO, CA 92121**

Phone #: **(619) 751-0633**

Fax #: **(619) 751-0634**

Project Address: **NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD**

Project Name: **THE VILLAGE AT PACIFIC HIGHLANDS RANCH**

Sheet Title: **AMENDED VESTING TENTATIVE MAP**

STUDY PLAN AND PROFILE

Revision 14: _____

Revision 13: _____

Revision 12: _____

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: **10-14-2013**

Revision 3: **09-06-2013**

Revision 2: **08-05-2013**

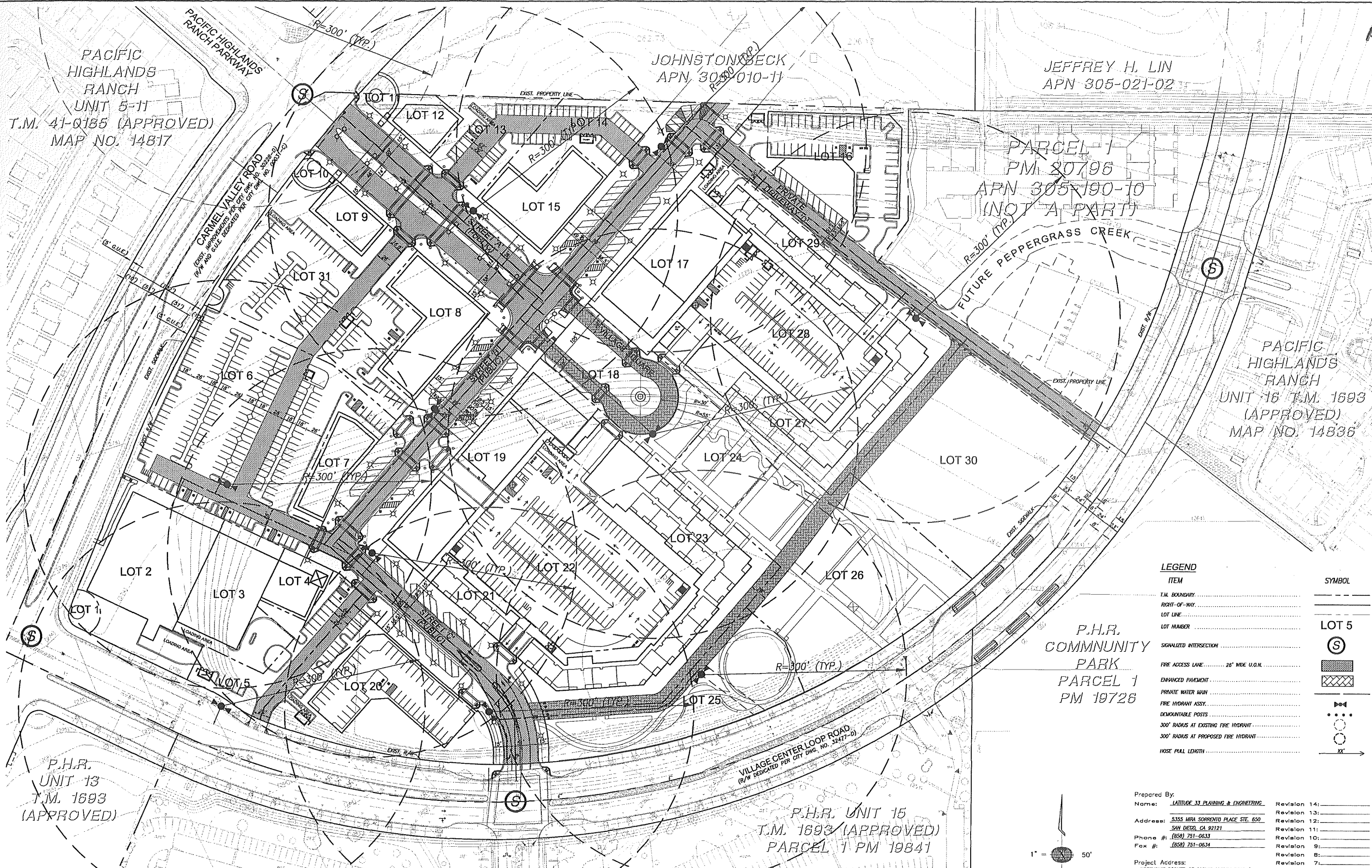
Revision 1: **06-03-2013**

Original Date: **03-29-2013**

Project No: **7029**

Sheet **8** of **40**

Scale: **1" = 50'**



PACIFIC HIGHLANDS RANCH UNIT 5-11 T.M. 41-0185 (APPROVED) MAP NO. 14817

JOHNSTON BECK APN 305-010-11

JEFFREY H. LIN APN 305-021-02

PARCEL 1 PM 80796 APN 305-190-10 (NOT A PART)

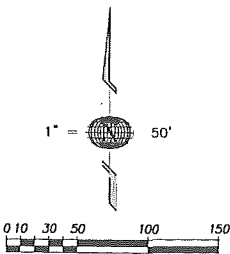
PACIFIC HIGHLANDS RANCH UNIT 16 T.M. 1693 (APPROVED) MAP NO. 14836

P.H.R. UNIT 13 T.M. 1693 (APPROVED)

P.H.R. UNIT 15 T.M. 1693 (APPROVED) PARCEL 1 PM 19841

P.H.R. COMMUNITY PARK PARCEL 1 PM 19726

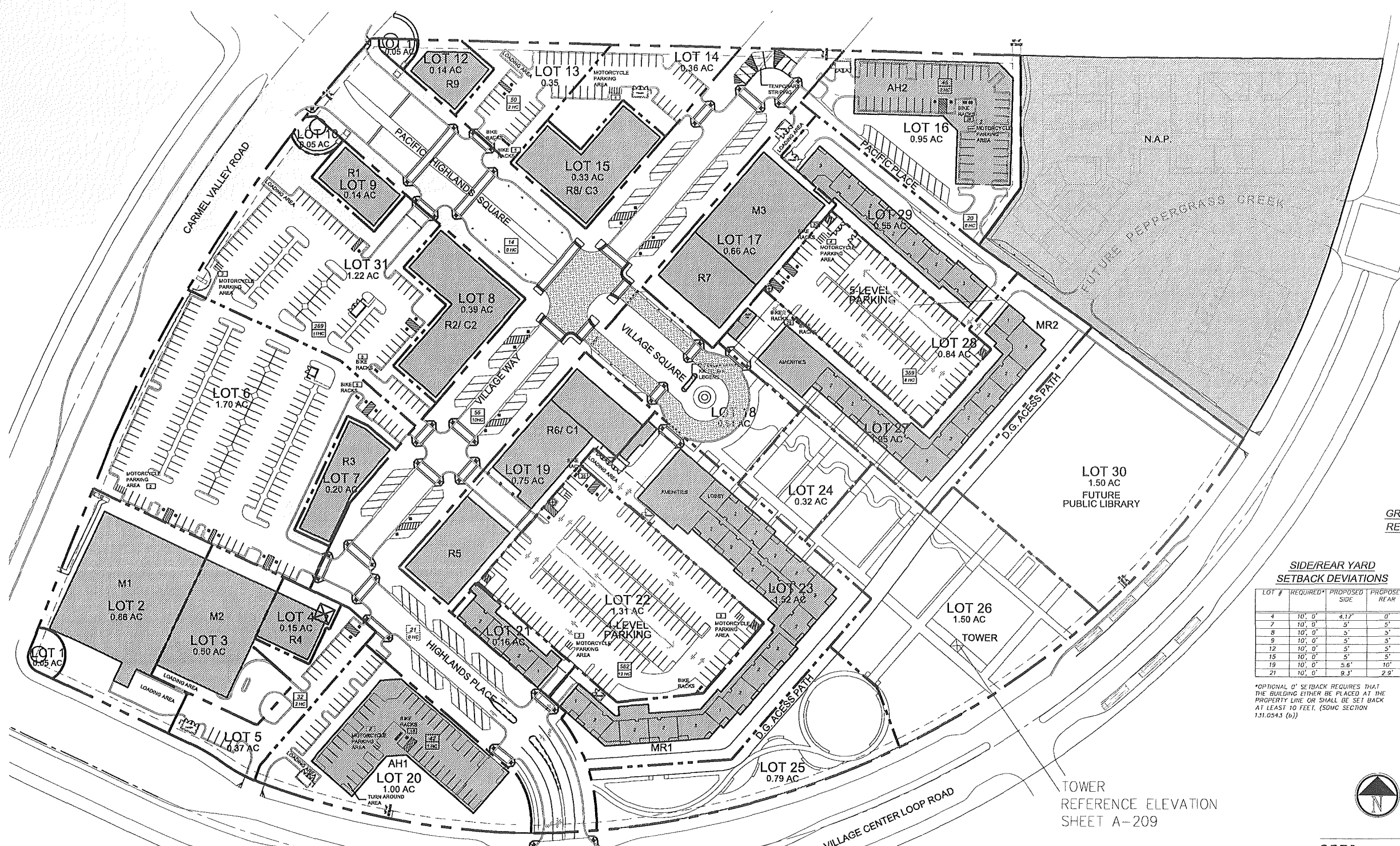
ITEM	SYMBOL
T.M. BOUNDARY	---
RIGHT-OF-WAY	---
LOT LINE	---
LOT NUMBER	LOT 5
SIGNALIZED INTERSECTION	Ⓢ
FIRE ACCESS LANE - 26' WIDE U.O.M.	[Hatched Box]
ENHANCED PAVEMENT	[Cross-hatched Box]
PRIVATE WATER MAIN	---
FIRE HYDRANT ASSY.	⦿
DEMOUNTABLE POSTS	⋯
300' RADIUS AT EXISTING FIRE HYDRANT	○
300' RADIUS AT PROPOSED FIRE HYDRANT	○
HOSE PULL LENGTH	10'



Prepared By:	Latitude 33 Planning & Engineering	Revision 14:	
Name:	Latitude 33 Planning & Engineering	Revision 13:	
Address:	5355 MIHA SORRENTO PLACE STE. 650	Revision 12:	
	SAN DIEGO, CA 92121	Revision 11:	
Phone #:	(658) 751-0633	Revision 10:	
Fax #:	(658) 751-0634	Revision 9:	
		Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	
		Revision 4:	10-14-2013
		Revision 3:	09-06-2013
		Revision 2:	08-05-2013
		Revision 1:	06-03-2013

Project Address: NORTHEAST CORNER OF CARMEL VALLEY ROAD & VILLAGE CENTER LOOP ROAD
 Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH
 Sheet Title: AMENDED VESTING TENTATIVE MAP FIRE ACCESS PLAN
 Sheet 9 of 40
 Original Date: 03-25-2013
 DEP# 7029

- NOTES:**
- 1) FIRE ACCESS ROADWAYS SHALL NOT BE LESS THAN 20' OF UNCONSTRICTED WIDTH, SHALL HAVE AN ADEQUATE ROADWAY TURNING RADIUS AND SHALL HAVE A MINIMUM VERTICAL CLEARANCE OF 15' - 6".
 - 2) WHEN ADJACENT TO BUILDINGS THAT ARE GREATER THAN 35 FEET IN HEIGHT ABOVE NATURAL GRADE, THE ACCESS ROADWAY SHALL HAVE A MINIMUM WIDTH OF 26 FEET, THE LOCATION SHALL BE 15 - 25 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING.
 - 3) FIRE ACCESS ROADWAY SURFACES OTHER THAN CONCRETE OR ASPHALT SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH FHPS POLICY A-96-9.
 - 4) WHEN ADJACENT TO A FIRE HYDRANT, ACCESS ROADWAYS SHALL BE A MINIMUM OF 26 FEET IN WIDTH FOR 20 FEET IN EITHER DIRECTION FROM THE FIRE HYDRANT.
 - 5) FIRE HYDRANTS SHALL BE LOCATED NO FURTHER APART THAN 600 FEET, MEASURED ON CENTER. IN ADDITION, FIRE ENGINE SHALL TRAVEL NO FURTHER THAN 300 FEET IN ANY DIRECTION TO REACH A HYDRANT.
 - 6) WHEN THREE (3) OR MORE HYDRANTS ARE REQUIRED, SUPPLY TO THE HYDRANTS SHALL BE LOOPED WITH TWO (2) SEPARATE CONNECTIONS TO THE PUBLIC WATER SUPPLY.
 - 7) FOR ADDITIONAL REQUIREMENTS SEE POLICIES FS-0210, A-00-1 & A-69-9.
 - 8) ALL PROPOSED BUILDINGS SHOWN HEREON, SHALL BE FIRE SPRINKLER EQUIPPED.
 - 9) SEE ROOF ACCESS SHEET 17 OF 25 FOR GENERAL CONCEPT OF ROOF MASSING, PROPOSED ROOF ACCESSIBILITY CORRIDORS FOR BUILDINGS GREATER THAN 35', IS IS BASED UPON REQUIREMENT OF CONTINUOUS ACCESS ACROSS ROOF TO THE SATISFACTION OF THE FIRE DEPARTMENT. IF FIRE DEPARTMENT ROOF ACCESSIBILITY CRITERIA IS NOT MET, THEN MODIFICATIONS TO ROADWAY LAYOUT MAY OCCUR IN-ORDER TO SATISFY THE FIRE DEPARTMENT'S REQUIREMENTS.
 - 10) PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (LFC 901.4.4).
 - 11) PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-00-1.
 - 12) POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE (LFC 1001.4).
 - 13) BOLLARDS SHALL COMPLY WITH CITY OF SAN DIEGO STANDARD DRAWING M-16.



BUILDING HEIGHT DEVIATIONS

BLDG	LOT #	ALLOWED HEIGHT	PROPOSED HEIGHT
AH2	16	45'	60'
M3	17	45'	51'
M3 TOWER	17	45'	75'
R7	17	45'	58'
R7 TOWER	17	45'	50'
H6	19	45'	48'
C1	19	45'	75'
R5	19	45'	52'
AH1	20	45'	60'
MR1	21	45'	60'
MR1	23	45'	60'
MR2	27	45'	60'
MR2	29	45'	60'

BUILDING ARTICULATION REQUIREMENT DEVIATIONS

LOT #'S
2, 3, 4, 7, 8, 9, 12, 15, 16, 17, 19, 20, 21, 23, 27, 29

GARAGE SETBACK REQUIREMENT DEVIATIONS

BLDG	LOT #	REQUIRED	PROPOSED
AH2	16	5'	0'
AH1	20	5'	0'

GARAGE WIDTH REQUIREMENT DEVIATIONS

BLDG	LOT #	REQUIRED	PROPOSED
AH2	16	16'	22'
AH1	20	16'	22'
MR1	21	16'	36'
MR1	23	16'	36'
MR2	27	16'	36'
MR2	29	16'	36'

GROUND FLOOR HABITABLE AREA REQUIREMENT DEVIATIONS

BLDG	LOT #	REQUIRED	PROPOSED
AH2	16	50%	0%
AH1	20	50%	0%

GROUND FLOOR RESTRICTION DEVIATIONS RESIDENTIAL USES: RESIDENTIAL PARKING

BLDG	LOT #
AH2	16
AH1	20
MR1	21
MR1	23
MR2	27
MR2	29

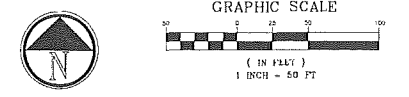
SIDE/REAR YARD SETBACK DEVIATIONS

LOT #	REQUIRED*	PROPOSED SIDE	PROPOSED REAR
4	10', 0"	4.17'	0'
7	10', 0"	5'	5'
8	10', 0"	5'	5'
9	10', 0"	5'	5'
12	10', 0"	5'	5'
15	10', 0"	5'	5'
19	10', 0"	5.6'	10'
21	10', 0"	9.3'	2.9'

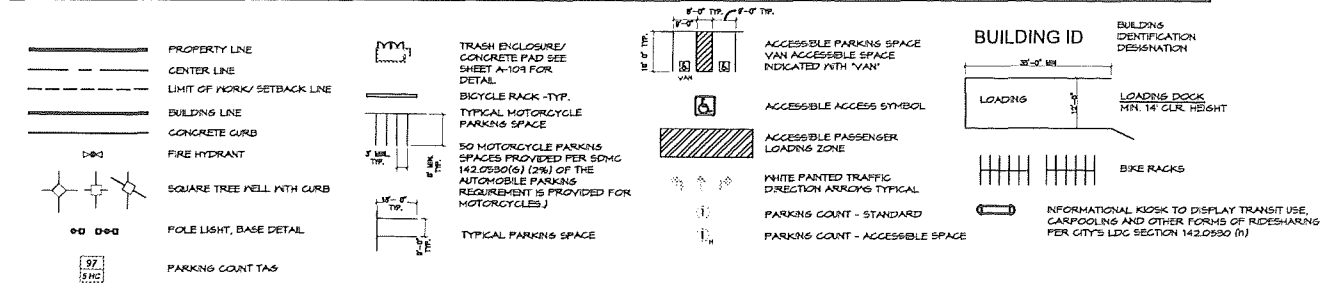
*OPTIONAL 0' SETBACK REQUIRES THAT THE BUILDING EITHER BE PLACED AT THE PROPERTY LINE OR SHALL BE SET BACK AT LEAST 10 FEET. (SDMC SECTION 131.0543 (b))

LOT WIDTH DEVIATIONS

LOT #	REQUIRED	PROPOSED	LOT WIDTH
1	100'	56'	
4	100'	84'	
10	100'	83'	
11	100'	50'	
12	100'	95'	



LEGEND



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO

PROJECT NO. 21210-P02 COPYRIGHT SGPA 2013

Prepared By: SGPA ARCHITECTURE & PLANNING
 Name: 1545 HOTEL CIRCLE SOUTH STE 200
 Address: SAN DIEGO, CA 92108
 Phone #: (619) 297-0131
 Fax #: (619) 294-9534

Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD

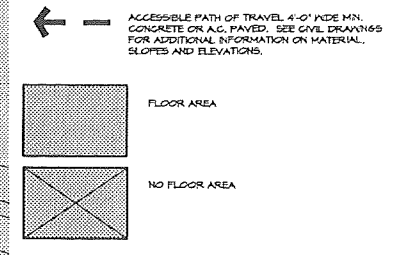
Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH

Sheet Title: ARCHITECTURAL SITE PLAN
 Original Date: 03/25/13
 Sheet 11 of 40
 DEP# 7029 A-101

- Revision 14: _____
- Revision 13: _____
- Revision 12: _____
- Revision 11: _____
- Revision 10: _____
- Revision 9: _____
- Revision 8: _____
- Revision 7: _____
- Revision 6: _____
- Revision 5: _____
- Revision 4: 10/14/13
- Revision 3: 09/04/13
- Revision 2: 08/05/13
- Revision 1: 08/03/13

1. PATH OF TRAVEL (P.O.T.) AS INDICATED IS A BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, EXCEPT THAT LEVEL CHANGES DO NOT EXCEED 1/4" VERTICAL AND IS AT LEAST 48" WIDE. SURFACE IS SLIP RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. (P.O.T.) SHALL MAINTAIN FREE OF OVERHANGS OBSTRUCTIONS TO 80" MINIMUM (1193B.2) AND PROTRUDING OBJECTS GREATER THAN 4" PROJECTION FROM THE WALL AND ABOVE 27" AND LESS THAN 80" (1193B.2.4). CONTRACTOR TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER THIS PROJECT, AND PATH OF TRAVEL COMPLETES WITH G.S. 1193B.
2. PROVIDE SITE DIRECTIONAL ACCESSIBLE ROUTE SIGNAGE (SDS-1) AT ALL MAJOR JUNCTIONS PER CBC SEC. 1127B.5.

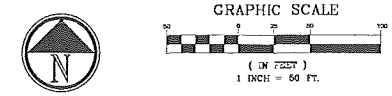
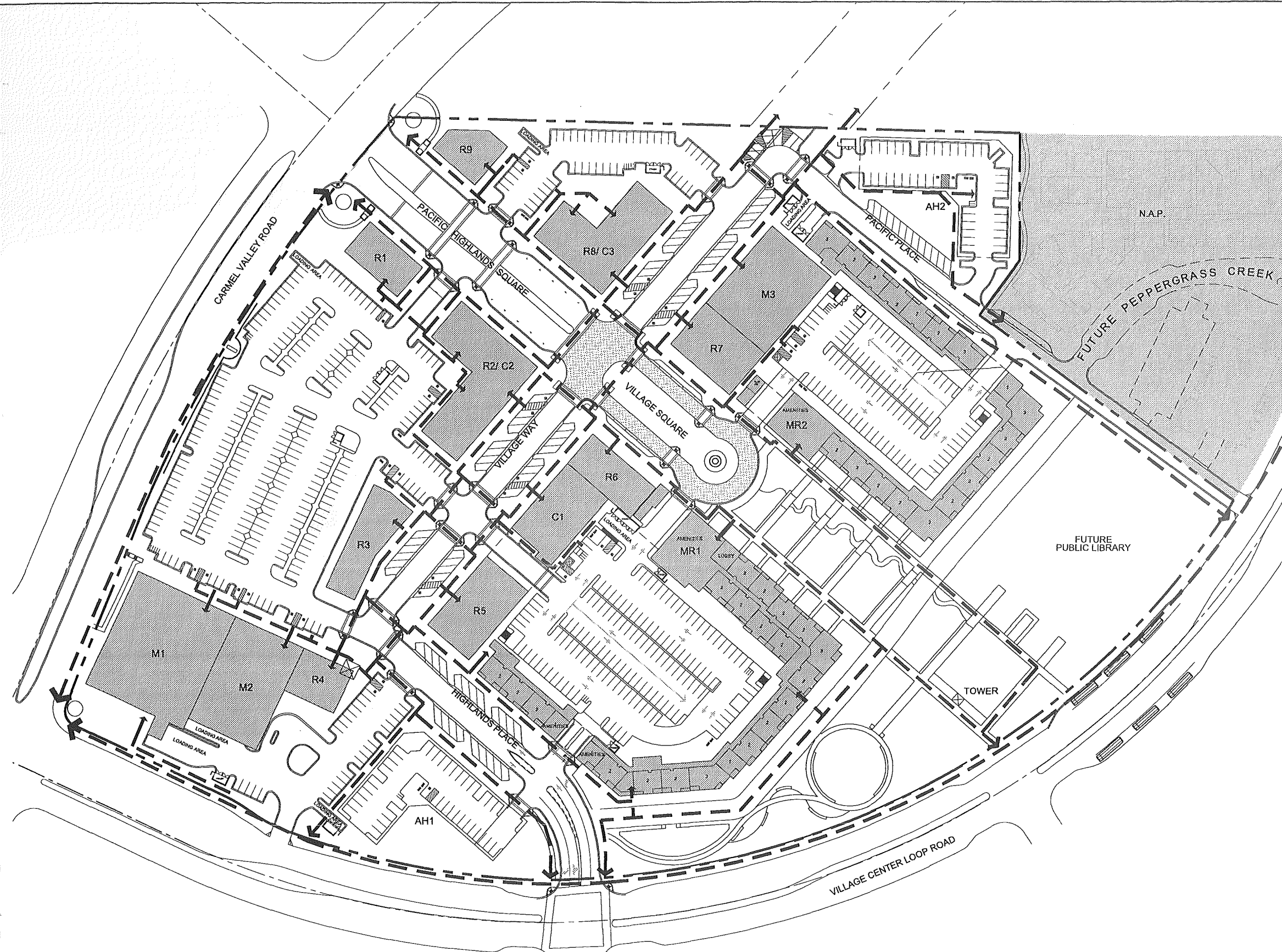
ACCESSIBILITY NOTES



LEGEND

BUILDING USE SUMMARY

BUILDING NO.	USE	BUILDING AREA (SF)
AH1	HOUSING	70,480
AH2	HOUSING	89,050
MR1	HOUSING	198,800
MR2	HOUSING	155,400
R1	RETAIL	4,500
R2/C2	RETAIL/SERVICE COMMERCIAL/RESTAURANT	28,350
R3	RETAIL	6,440
M1	MARKET	23,000
M2	DRUG	14,000
R4	RETAIL	4,200
R5	RETAIL	8,190
R6/C1	RETAIL/SERVICE COMMERCIAL/RESTAURANT	37,783
R7	RESTAURANT	7,000
M3	SERVICE COMMERCIAL	33,000
R8/C3	RETAIL/SERVICE COMMERCIAL	23,454
R9	RETAIL	4,000



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO



PROJECT NO. 21210-702 CONTROL SHEET 2013

Prepared By: SGPA ARCHITECTURE & PLANNING	Revision 14: _____
Name: _____	Revision 13: _____
Address: 1545 HOTEL CIRCLE SOUTH STE 200	Revision 12: _____
SAN DIEGO, CA 92108	Revision 11: _____
Phone #: (619) 297-0131	Revision 10: _____
Fax #: (619) 294-5524	Revision 9: _____
Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD	Revision 8: _____
	Revision 7: _____
	Revision 6: _____
	Revision 5: _____
	Revision 4: 10/14/13
	Revision 3: 09/04/13
	Revision 2: 09/05/13
	Revision 1: 06/03/13

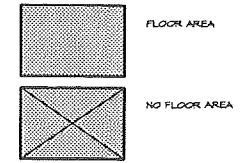
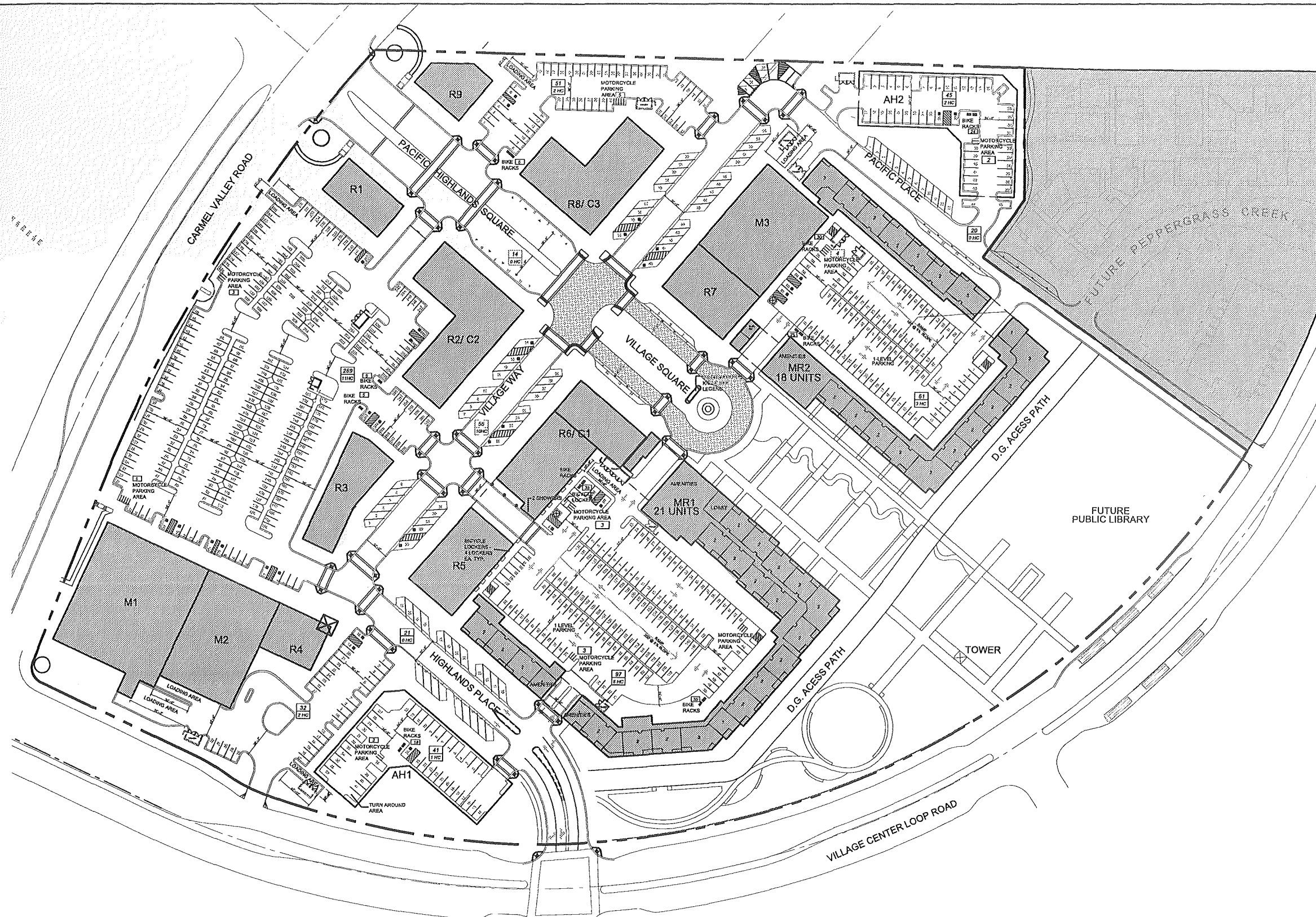
Project Name: **THE VILLAGE AT PACIFIC HIGHLANDS RANCH**

Sheet Title: **ACCESSIBILITY SITE PLAN**

Original Date: 09/25/13

Sheet 12 of 40

DEP# 7029 A-102



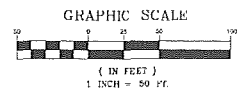
FLOOR AREA LEGEND

BUILDING USE SUMMARY

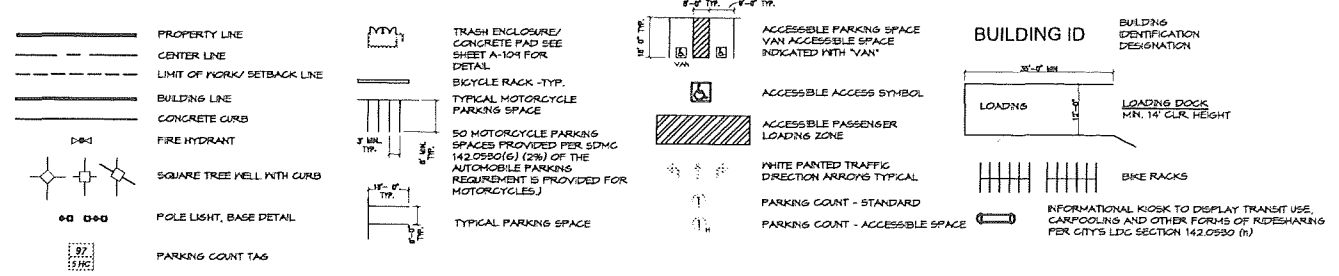
BUILDING NO.	USE	BUILDING AREA (SF)
AH1	HOUSING	70,480
AH2	HOUSING	89,050
MR1	HOUSING	158,800
MR2	HOUSING	155,400
R1	RETAIL	4,500
R2/C2	RETAIL/SERVICE COMMERCIAL/ RESTAURANT	28,350
R3	RETAIL	6,440
M1	MARKET	23,000
M2	DRUG	14,000
R4	RETAIL	4,200
R5	RETAIL	8,190
R6/C1	RETAIL/SERVICE COMMERCIAL/ RESTAURANT	37,783
R7	RESTAURANT	7,000
M3	SERVICE COMMERCIAL	33,000
R8/C3	RETAIL/SERVICE COMMERCIAL	23,454
R9	RETAIL	4,000

1. FOR UNIT PLANS SEE SHEET A-101

GENERAL NOTE



LEGEND



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SAN DIEGO, SAN FRANCISCO



PROJECT NO. 21210-P02 COPYRIGHT SGPA 2013

Prepared By: SGPA ARCHITECTURE & PLANNING
 Name: 1545 HOTEL CIRCLE SOUTH, SUITE 200
 Address: SAN DIEGO, CA 92108
 Phone #: (619) 297-9131
 Fax #: (619) 274-9334

Project Address:
 NORTHEAST CORNER OF DEL MAR HEIGHTS
 ROAD AND CARMEL VALLEY ROAD

Project Name:
**THE VILLAGE AT
 PACIFIC HIGHLANDS RANCH**

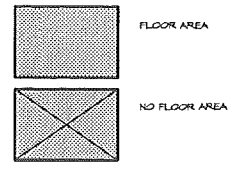
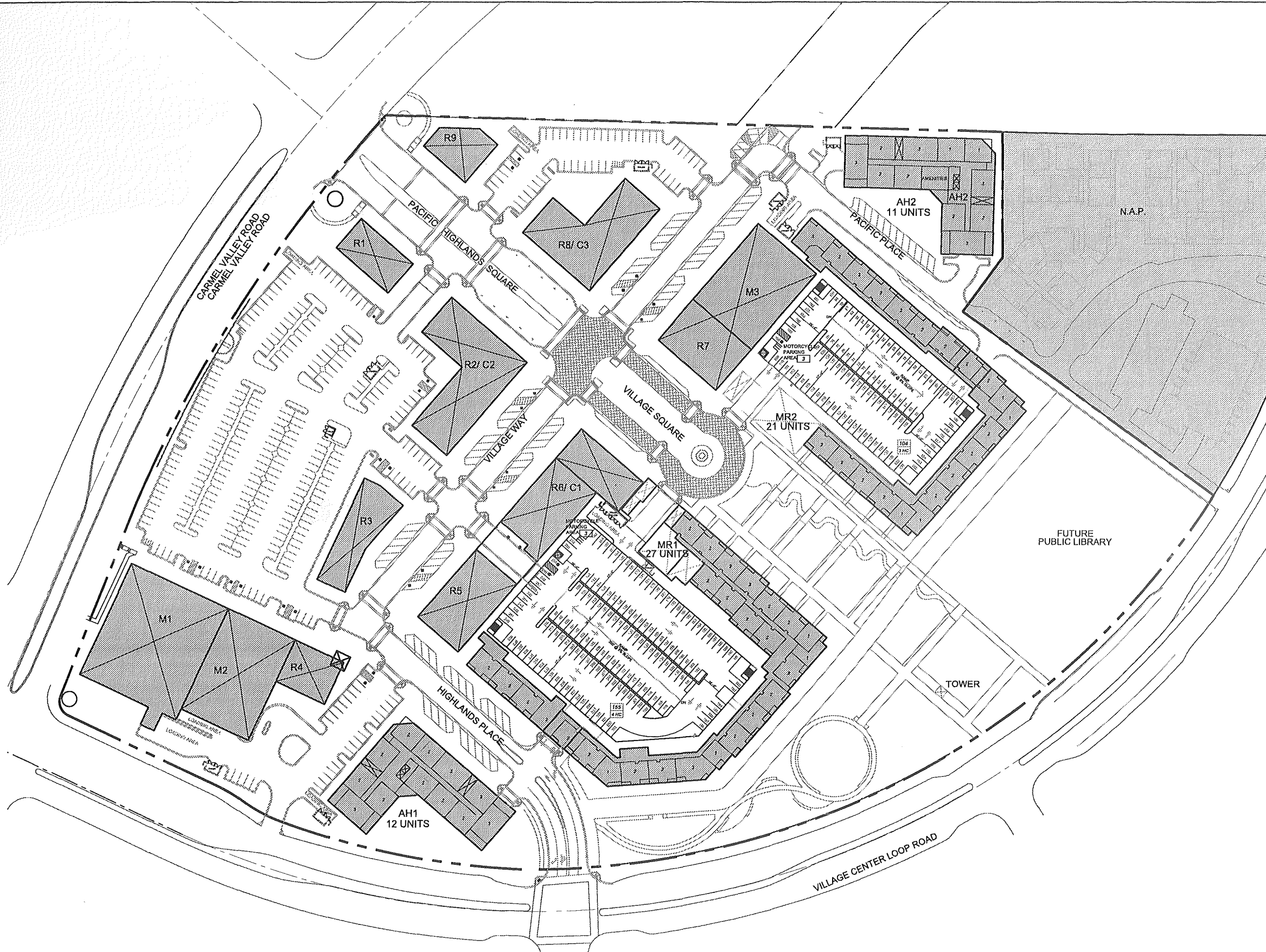
Sheet Title:
STREET LEVEL

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	4.10/14/13
Revision 3:	3.09/04/13
Revision 2:	2.08/05/13
Revision 1:	1.08/03/13

Original Date: 01/29/13

Sheet 13 of 40

DEP# 7029 A-103



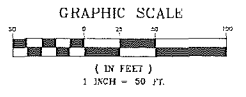
FLOOR AREA LEGEND

BUILDING USE SUMMARY

BUILDING NO.	USE	BUILDING AREA (SF)
AH1	HOUSING	70,480
AH2	HOUSING	89,050
MR1	HOUSING	198,800
MR2	HOUSING	155,400
R1	RETAIL	4,500
R2/C2	RETAIL/SERVICE COMMERCIAL/ RESTAURANT	28,350
R3	RETAIL	6,440
M1	MARKET	23,000
M2	DRUG	14,000
R4	RETAIL	4,200
R5	RETAIL	8,190
R6/C1	RETAIL/SERVICE COMMERCIAL/ RESTAURANT	37,783
R7	RESTAURANT	7,000
M3	SERVICE COMMERCIAL	33,000
R8/C3	RETAIL/SERVICE COMMERCIAL	23,454
R9	RETAIL	4,000

1. FOR UNIT PLANS SEE SHEET A-104

GENERAL NOTE



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO



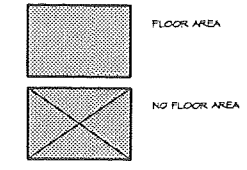
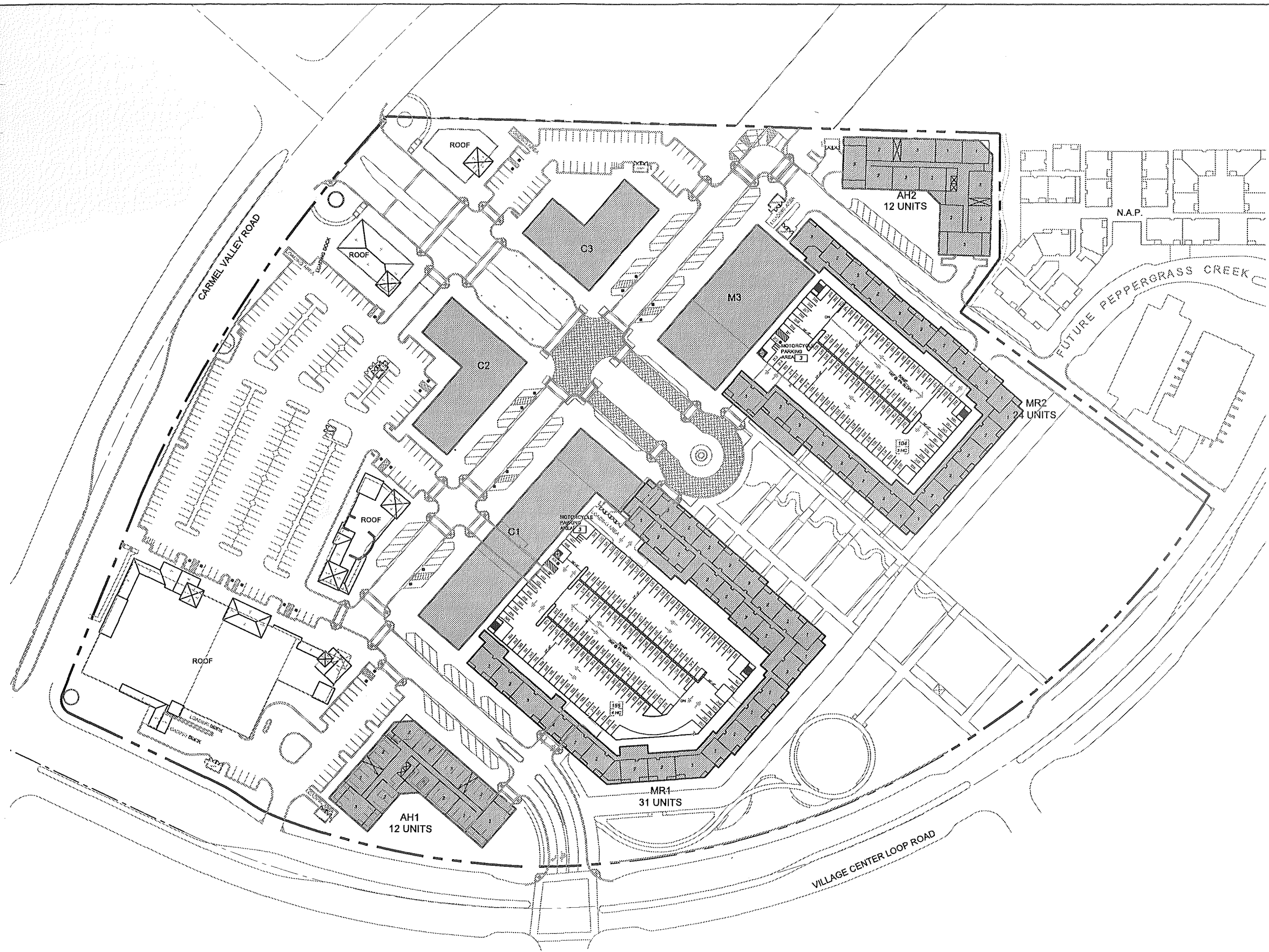
PROJECT NO. 21210-P02 COPYRIGHT SGPA 2013

Prepared By:	SGPA ARCHITECTURE & PLANNING	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	1545 HOTEL CIRCLE SOUTH, STE 200 SAN DIEGO, CA 92108	Revision 12:	_____
Phone #:	(619) 297-0131	Revision 11:	_____
Fax #:	(619) 294-9324	Revision 10:	_____
		Revision 9:	_____
		Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	10/14/13
		Revision 3:	09/04/13
		Revision 2:	08/05/13
		Revision 1:	08/03/13

Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD
Original Date: 03/23/13

Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH
Sheet Title: RESIDENTIAL 2nd LEVEL
Sheet 14 of 40

RETAIL 1st LEVEL
DEF# 7029 A-104



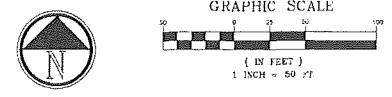
FLOOR AREA LEGEND

BUILDING USE SUMMARY

BUILDING NO.	USE	BUILDING AREA (SF)
AH1	HOUSING	70,480
AH2	HOUSING	89,050
MR1	HOUSING	198,800
MR2	HOUSING	155,400
R1	RETAIL	4,500
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M1	MARKET	23,000
M2	DRUG	14,000
R4	RETAIL	4,200
R5	RETAIL	8,190
R6/C1	RETAIL/SERVICE COMMERCIAL/RESTAURANT	37,783
R7	RESTAURANT	7,000
M3	SERVICE COMMERCIAL	33,000
RR/C3	RETAIL/SERVICE COMMERCIAL	23,454
R9	RETAIL	4,000

1. FOR UNIT PLANS SEE SHEET A-104

GENERAL NOTE



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO



PROJECT NO. 21210-F02

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Prepared By: SGPA ARCHITECTURE & PLANNING
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 SAN DIEGO, CA 92108
 Phone #: (619) 297-0131
 Fax #: (619) 294-9524

- Revision 14: _____
- Revision 13: _____
- Revision 12: _____
- Revision 11: _____
- Revision 10: _____
- Revision 9: _____
- Revision 8: _____
- Revision 7: _____
- Revision 6: _____
- Revision 5: _____
- Revision 4: 10/14/13
- Revision 3: 08/04/13
- Revision 2: 08/05/13
- Revision 1: 08/03/13

Project Address:
 NORTHEAST CORNER OF DEL MAR HEIGHTS
 ROAD AND CARMEL VALLEY ROAD

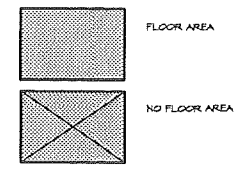
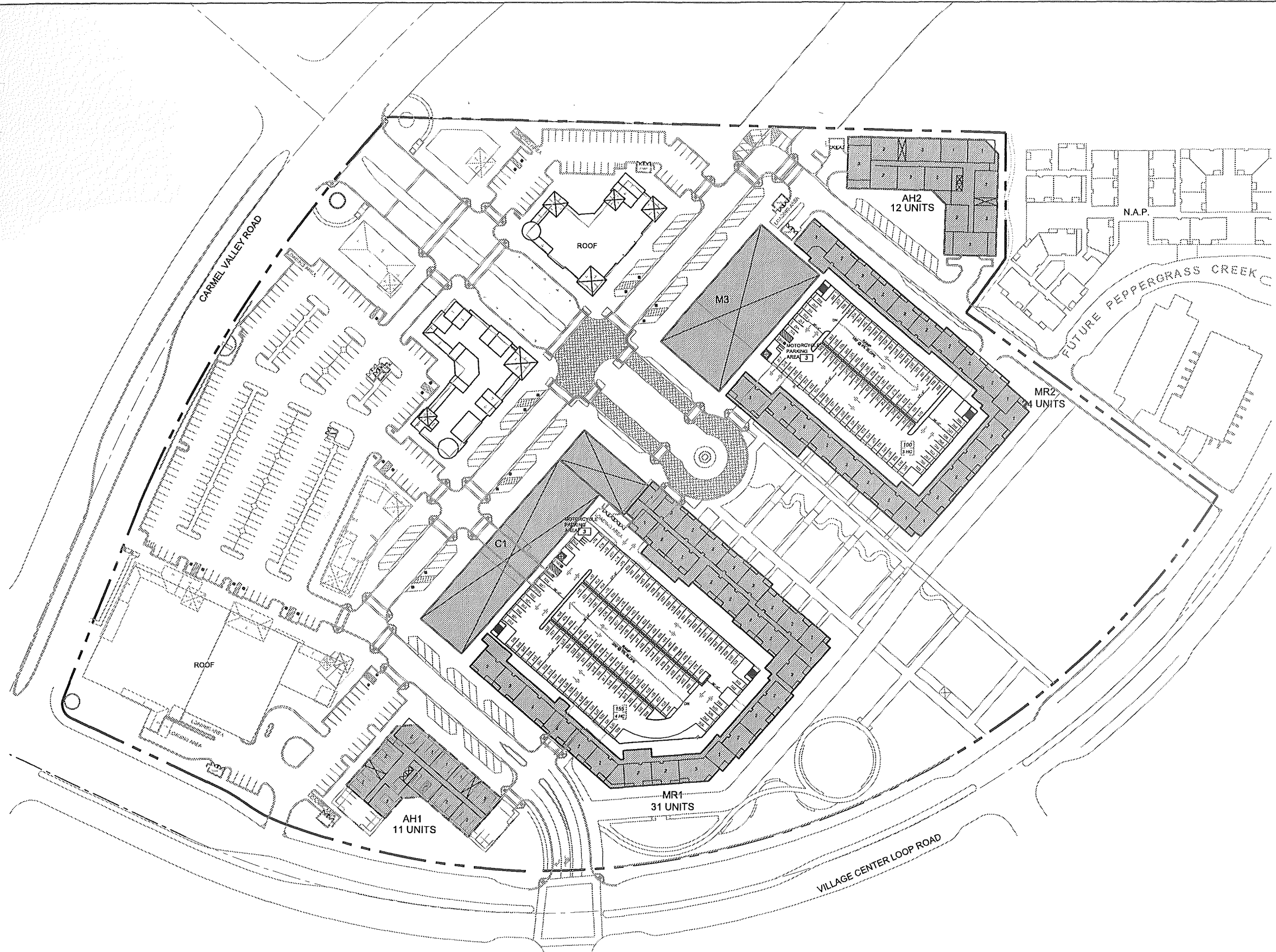
Project Name:
**THE VILLAGE AT
 PACIFIC HIGHLANDS RANCH**

Original Date: 02/28/13

Sheet Title:
**RESIDENTIAL 3rd LEVEL
 RETAIL 2nd LEVEL**

Sheet 15 of 40

DEP# 7029 A-105



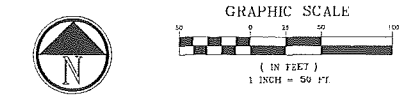
FLOOR AREA LEGEND

BUILDING USE SUMMARY

BUILDING NO.	USE	BUILDING AREA (SF)
AH1	HOUSING	70,480
AH2	HOUSING	89,050
MR1	HOUSING	198,800
MR2	HOUSING	155,400
R1	RETAIL	4,500
R2/C2	RETAIL/SERVICE COMMERCIAL/ RESTAURANT	28,350
R3	RETAIL	6,440
M1	MARKET	23,000
M2	DRUG	14,000
R4	RETAIL	4,200
R5	RETAIL	8,190
R6/C1	RETAIL/SERVICE COMMERCIAL/ RESTAURANT	37,783
R7	RESTAURANT	7,000
M3	SERVICE COMMERCIAL	33,000
R8/C3	RETAIL/SERVICE COMMERCIAL	23,454
R9	RETAIL	4,000

1. FOR UNIT PLANS SEE SHEET A-101

GENERAL NOTE



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO



PROJECT NO. 21210-P02

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Prepared By:	SGPA ARCHITECTURE & PLANNING	Revision 14:	_____
Name:	1545 HOTEL CIRCLE SOUTH STE 200	Revision 13:	_____
Address:	SAN DIEGO, CA 92108	Revision 12:	_____
Phone #:	(619) 297-0131	Revision 11:	_____
Fax #:	(619) 294-9334	Revision 10:	_____
		Revision 9:	_____
		Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	4/10/11/13
		Revision 3:	3/08/04/13
		Revision 2:	08/05/13
		Revision 1:	08/03/13

Project Address:
NORTHEAST CORNER OF DEL MAR HEIGHTS
ROAD AND CARMEL VALLEY ROAD

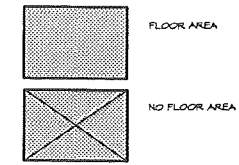
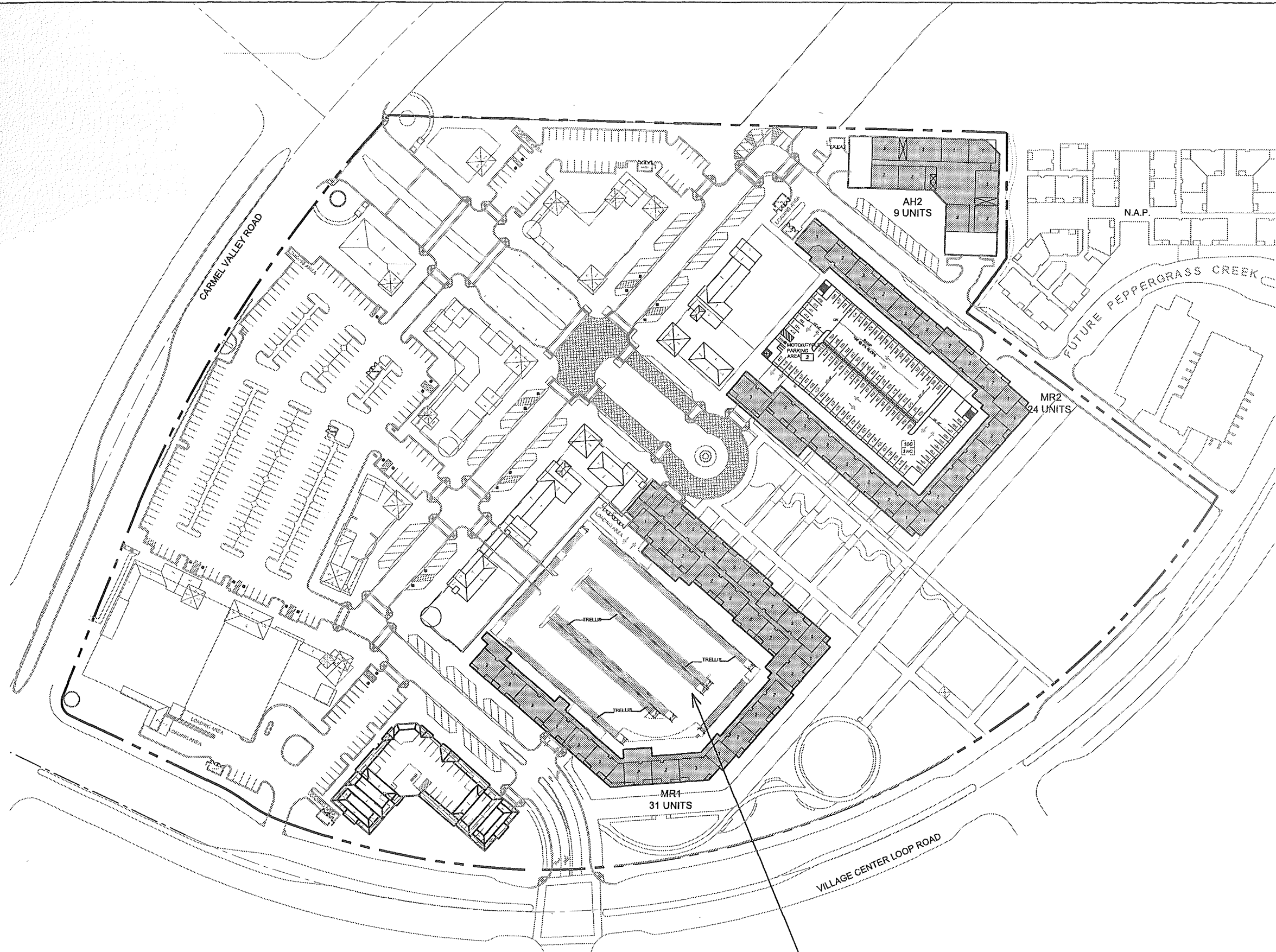
Project Name:
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

Original Date: 03/23/13

Sheet Title:
**RESIDENTIAL 4th LEVEL
RETAIL 3rd LEVEL**

Sheet 16 of 40

DFP # 7029 A-106



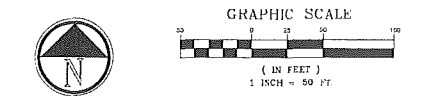
FLOOR AREA LEGEND

BUILDING USE SUMMARY

BUILDING NO.	USE	BUILDING AREA (SF)
AH1	HOUSING	70,480
AH2	HOUSING	89,050
MR1	HOUSING	198,800
MR2	HOUSING	155,400
R1	RETAIL	4,500
R2/C2	RETAIL/SERVICE COMMERCIAL/ RESTAURANT	28,350
R3	RETAIL	6,440
M1	MARKET	23,000
M2	DRUG	14,000
R4	RETAIL	4,200
R5	RETAIL	8,150
R6/C1	RETAIL/SERVICE COMMERCIAL/ RESTAURANT	37,783
R7	RESTAURANT	7,000
M3	SERVICE COMMERCIAL	33,000
R8/C3	RETAIL/SERVICE COMMERCIAL	23,454
R9	RETAIL	4,000

1. FOR UNIT PLANS SEE SHEET A-104

GENERAL NOTE



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO - SAN FRANCISCO



PROJECT NO. 21210-P02

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Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD

Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: 4/10/14/13
 Revision 4: 3/09/04/13
 Revision 3: 2/08/05/13
 Revision 1: 08/03/13

Project Name: **THE VILLAGE AT**
PACIFIC HIGHLANDS RANCH

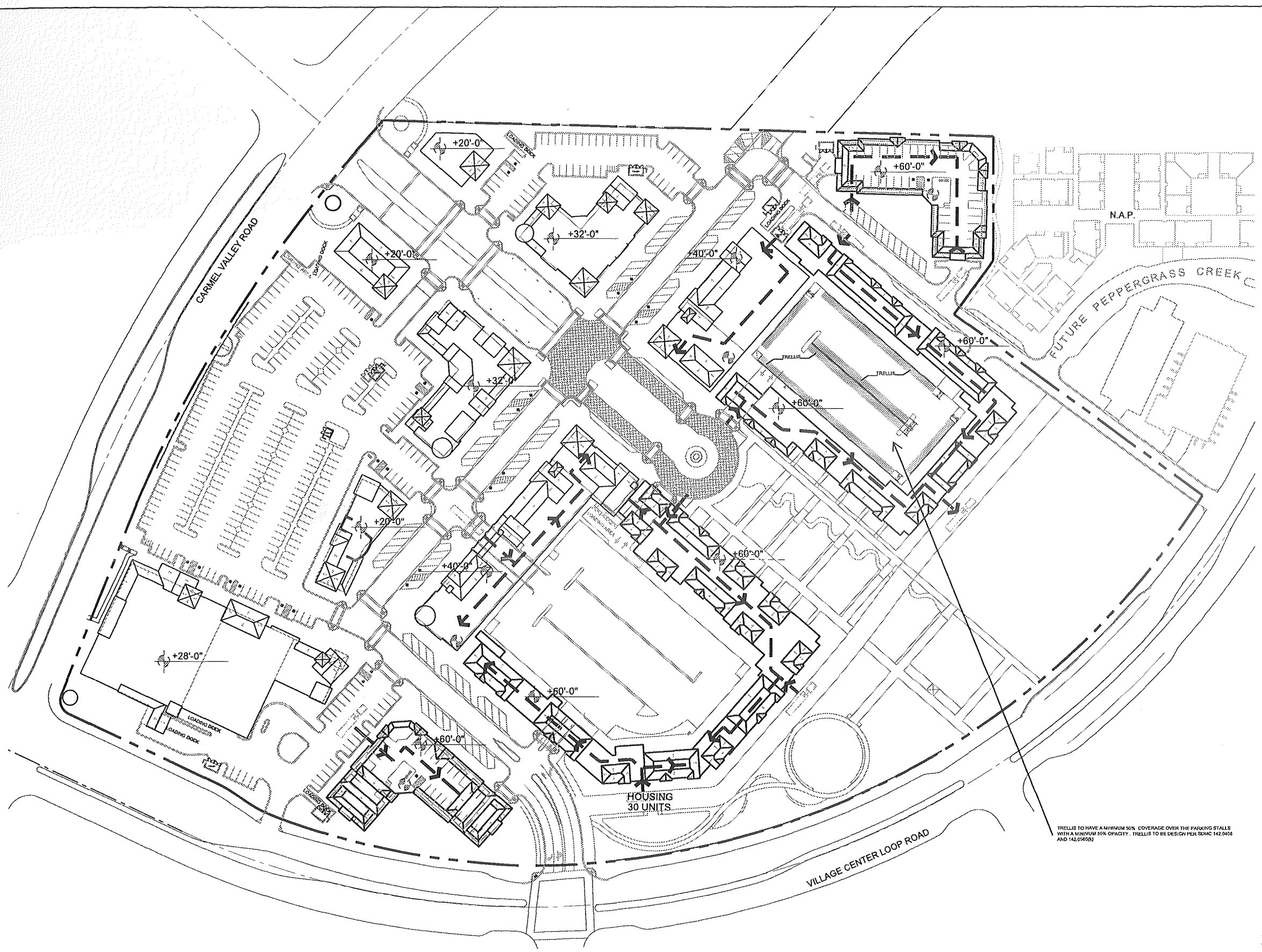
Original Date: 03/25/13

Sheet Title: **5th LEVEL**

Sheet 17 of 40

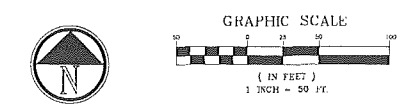
DEP# 7029 A-107

TRELLIS TO HAVE A MINIMUM 50% COVERAGE OVER THE PARKING STALLS WITH A MINIMUM 50% OPACITY. TRELLIS TO BE DESIGN PER SDMC 142.04(6) AND 142.06(6)(3)



1. ALL PROPOSED BUILDINGS SHOWN HEREON, SHALL BE FIRE SPRINKLER EQUIPPED.
2. ROOF ACCESS IS BASED UPON REQUIREMENT OF CONTINUOUS ACCESS ACROSS ROOF TO THE SATISFACTION OF THE FIRE DEPARTMENT. IF FIRE DEPARTMENT ROOF ACCESSIBILITY CRITERIA IS NOT MET, THEN MODIFICATIONS TO ROADWAY LAYOUT MAY OCCUR IN ORDER TO SATISFY THE FIRE DEPARTMENT'S REQUIREMENTS.
3. PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHP'S POLICY P-00-2 (FPC 101.4.4).
4. PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHP'S POLICY A-00-1.
5. POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ ACCESS SIDE OF THE STRUCTURE (FPC 1001.4).

ACCESSIBILITY NOTES



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO



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Name:	1545 HOTEL CIRCLE SOUTH, STE 200	Revision 13:	_____
Address:	SAN DIEGO, CA 92108	Revision 12:	_____
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Fax #:	(619) 294-5524	Revision 10:	_____
		Revision 9:	_____
		Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	_____
		Revision 3:	09/04/13
		Revision 2:	08/05/13
		Revision 1:	08/03/13

Project Address:
NORTHEAST CORNER OF DEL MAR HEIGHTS
ROAD AND CARMEL VALLEY ROAD

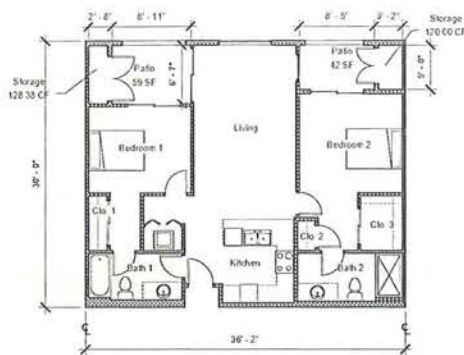
Project Name:
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

Original Date: 02/25/13

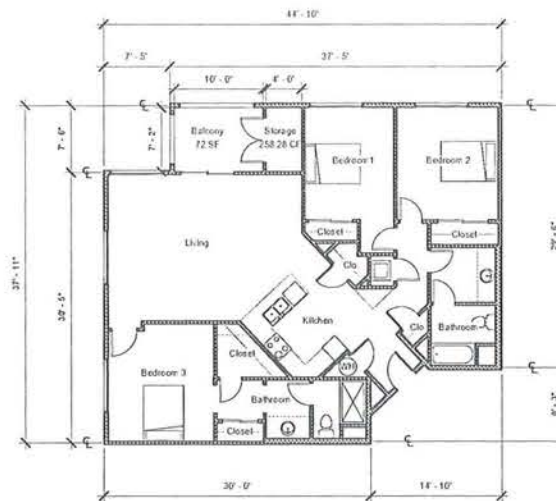
Sheet Title: **ROOF PLAN** Sheet 18 of 40



UNIT A - 1 BED. / 1 STORY 1/8" = 1'-0" ①



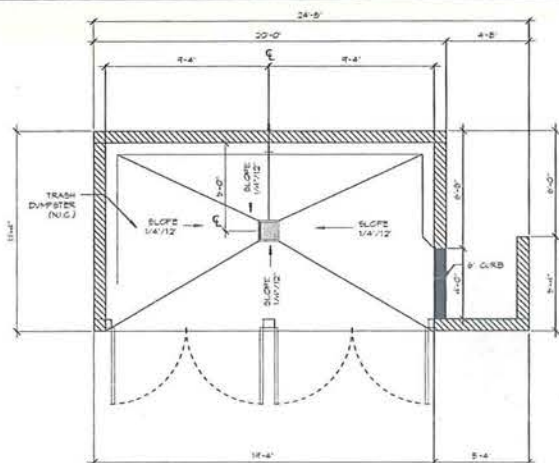
UNIT B - 2 BED. / 1 STORY 1/8" = 1'-0" ⑤



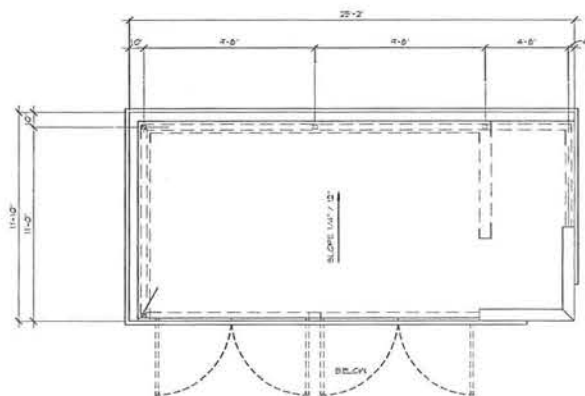
UNIT C - 3 BED. / 1 STORY 1/8" = 1'-0" ②

1. ALL UNITS TO HAVE A 40 SF MIN. OF OPEN PRIVATE EXTERIOR SPACE
2. ALL UNITS TO HAVE A MIN 240 CU. FT. PERSONAL STORAGE UNIT
3. PERSONAL STORAGE UNITS TO HAVE A 4'-0" CEILING HEIGHT

GENERAL NOTES

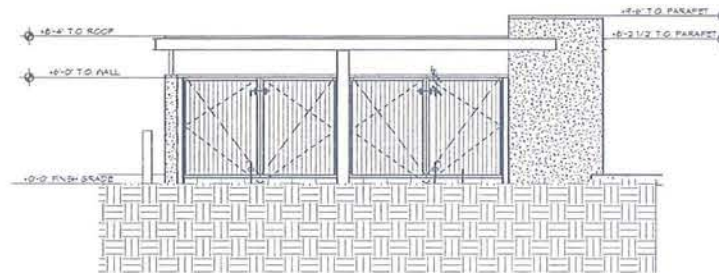


FLOOR PLAN

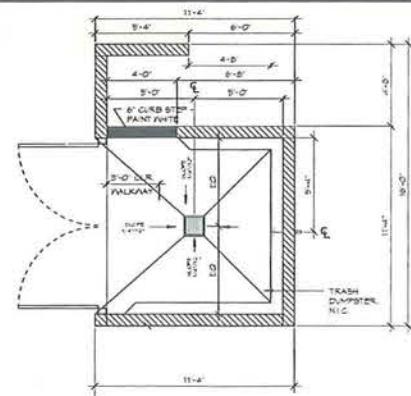


ROOF PLAN

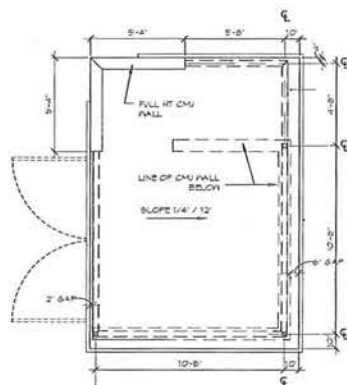
TRASH ENCLOSURE DOUBLE 1/4" = 1'-0" ⑦



FRONT ELEVATION - DOUBLE 1/4" = 1'-0" ⑩

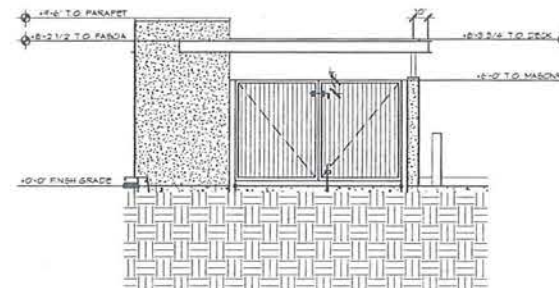


FLOOR PLAN

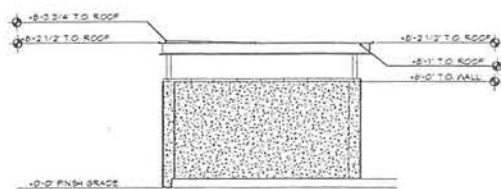


ROOF PLAN

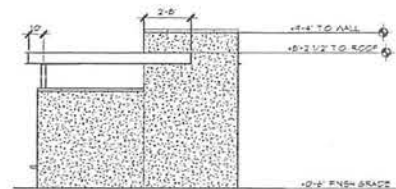
TRASH ENCLOSURE SINGLE - FLOOR PLAN 1/4" = 1'-0" ⑧



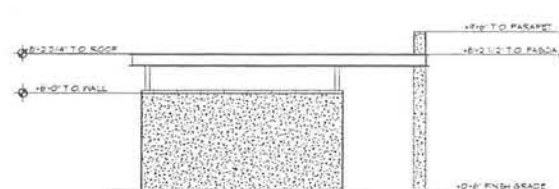
FRONT ELEVATION - SINGLE 1/4" = 1'-0" ⑫



SIDE ELEVATION - SINGLE 1/4" = 1'-0" ⑭



SIDE ELEVATION 2 - SINGLE 1/4" = 1'-0" ⑬



REAR ELEVATION - SINGLE 1/4" = 1'-0" ⑪

RECYCLING AND REFUSE STORAGE SUMMARY

ENCLOSURE UNIT	MIN. REFUSE STORAGE AREA FOR DEVELOPMENT (SQUARE FEET)	MIN. RECYCLABLE MATERIAL STORAGE AREA FOR DEVELOPMENT (SQUARE FEET)	TOTAL STORAGE REQUIRED (SQUARE FEET)	TOTAL STORAGE PROVIDED (SQUARE FEET)
224	624	624	1,248	1,400
CONCRETE CROSS FLOOR AREA	MIN. REFUSE STORAGE AREA FOR DEVELOPMENT (SQUARE FEET)	MIN. RECYCLABLE MATERIAL STORAGE AREA FOR DEVELOPMENT (SQUARE FEET)	TOTAL STORAGE REQUIRED (SQUARE FEET)	TOTAL STORAGE PROVIDED (SQUARE FEET)
148 RT	374	374	748	1,100

NOTE: REFER TO ARCHITECTURAL SITE PLAN FOR LOCATION OF TRASH ENCLOSURES.

SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO



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Prepared By: SGPA ARCHITECTURE & PLANNING
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SAN DIEGO, CA 92108
Phone #: (619) 297-0131
Fax #: (619) 294-9534

Project Address: URBAN EAST CORNER OF ELLIOTT HEIGHTS
RIMM ROAD CORNER OF ELLIOTT HEIGHTS

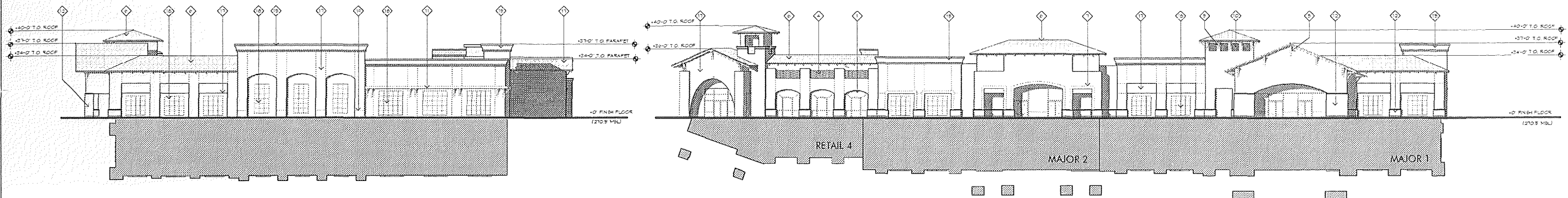
Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH

Sheet Title: UNIT FLOOR PLANS & TRASH ENCLOSURE DET.

Revision 14	
Revision 13	
Revision 12	
Revision 11	
Revision 10	
Revision 9	
Revision 8	
Revision 7	
Revision 6	
Revision 5	
Revision 4	11/16/11
Revision 3	09/04/11
Revision 2	01/25/11
Revision 1	05/11/11

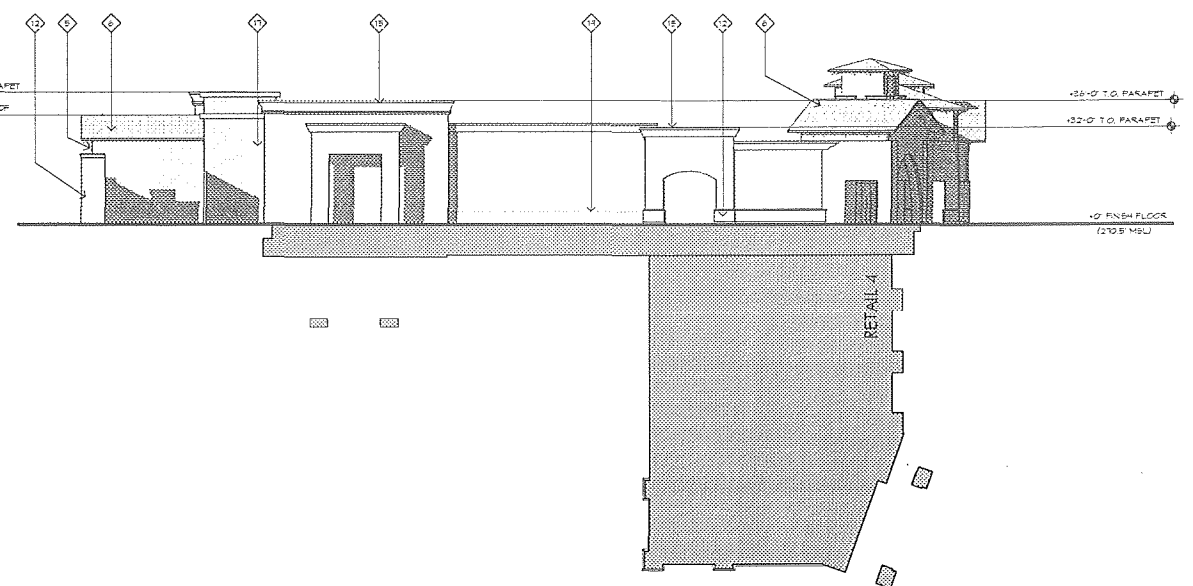
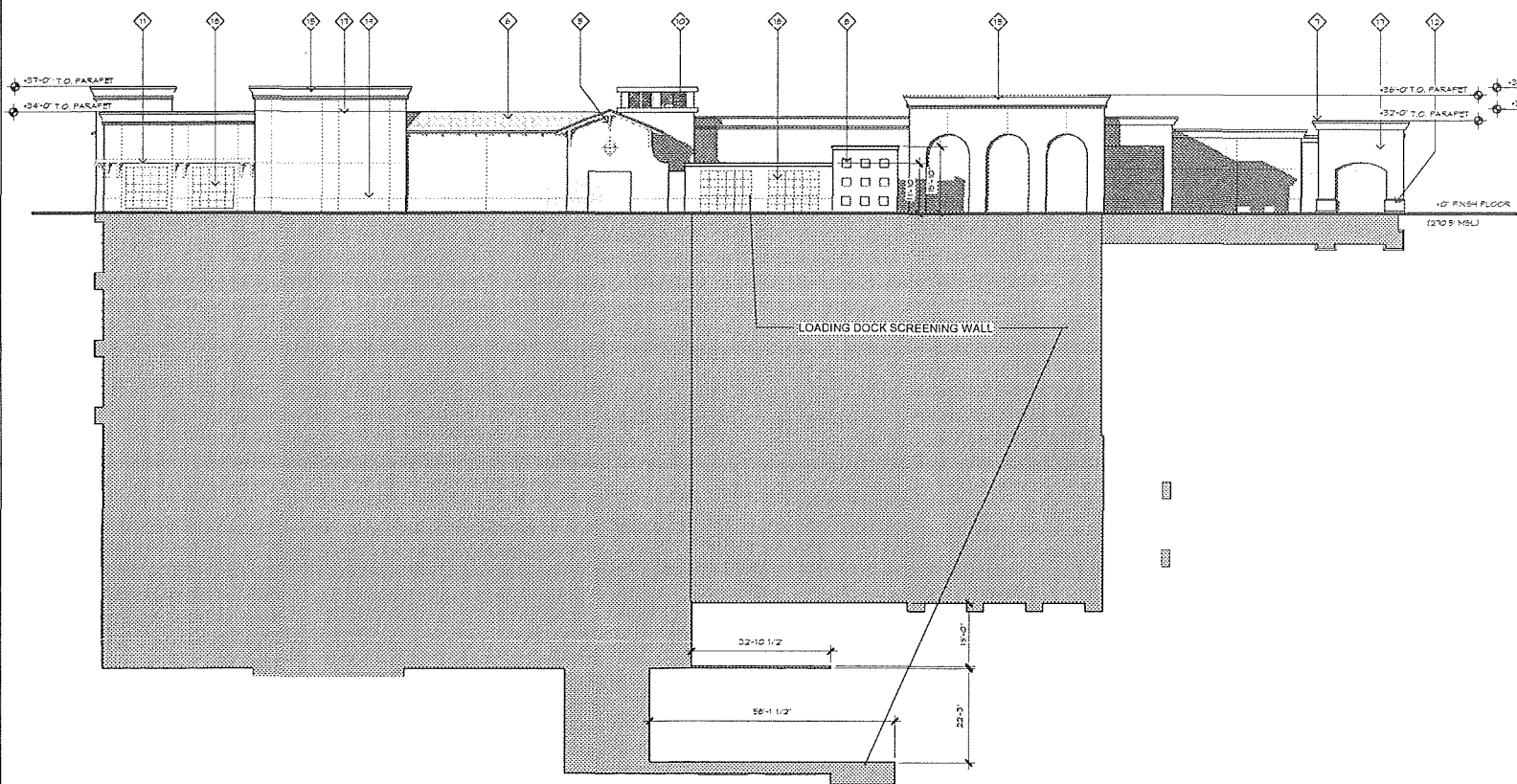
Original Date: 05/11/11

Sheet 19 of 40



BUILDINGS M1, M2 & R4 - WEST ELEVATION

BUILDINGS M1, M2 & R4 - NORTH ELEVATION



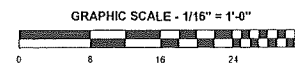
BUILDINGS M1, M2 & R4 - EAST ELEVATION

BUILDINGS M1, M2 & R4 - SOUTH ELEVATION

NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.

- | | |
|---------------------------------|--------------------------------|
| 1 Aluminum Storefront | 10 Decorative Vent |
| 2 Metal Awning | 11 Wood Trellis |
| 3 Fabric Awning | 12 Stone Veneer |
| 4 Metal Railing | 13 Pre-Cast Concrete Column |
| 5 Wood Truss/Trellis | 14 Standing Seam Metal Roof |
| 6 Clay Tile Roof | 15 Cornice |
| 7 Pre-Cast Concrete Column/Trim | 16 Pre-Cast Concrete Base/Trim |
| 8 Wall Recess Panel | 17 Plaster Finish |
| | 18 Vertical Trellis |
| | 19 Reveal |

KEYNOTES



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO



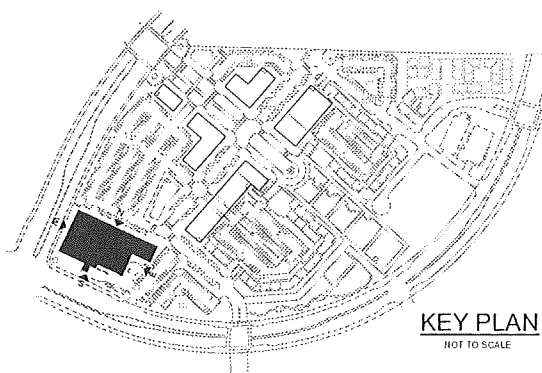
PROJECT NO. 70210 COPYRIGHT SGPA 2013

Prepared By: SGPA ARCHITECTURE & PLANNING	Revision 14: _____
Name: _____	Revision 13: _____
Address: 1545 HOBEL CIRCLE SOUTH STE 700	Revision 12: _____
SAN DIEGO, CA 92108	Revision 11: _____
Phone #: (619) 297-0131	Revision 10: _____
Fax #: (619) 294-9334	Revision 9: _____
Project Address: _____	Revision 8: _____
NORTHEAST CORNER OF DEL MAR HIGHWAY	Revision 7: _____
ROAD AND CARPUS DRIVE ROAD	Revision 6: _____
	Revision 5: _____
	Revision 4: 03/14/11
	Revision 3: 02/24/11
	Revision 2: 02/05/11
	Revision 1: 06/01/11

Project Name:
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

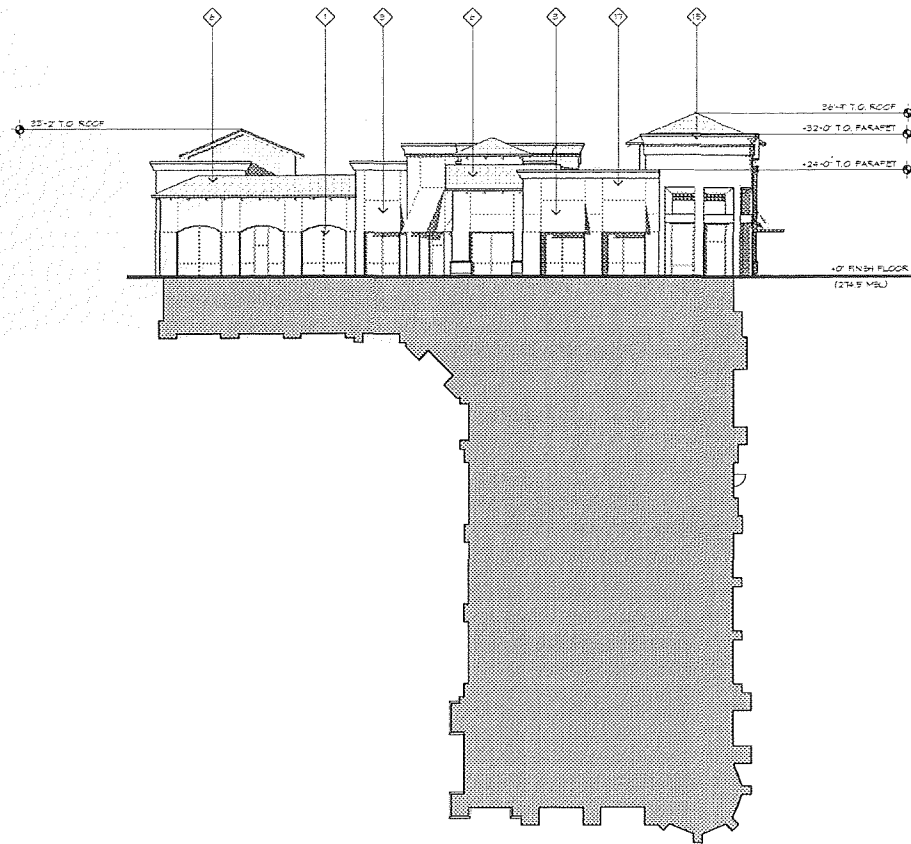
Sheet Title: ELEVATIONS - BUILDINGS M1, M2 & R4
Sheet: 20 of 40

Original Date: 01/25/11
DFF# 7029 A-201

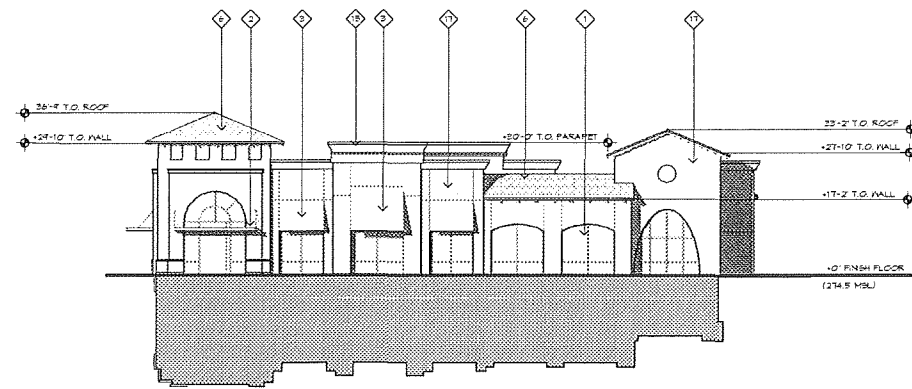


KEY PLAN
NOT TO SCALE

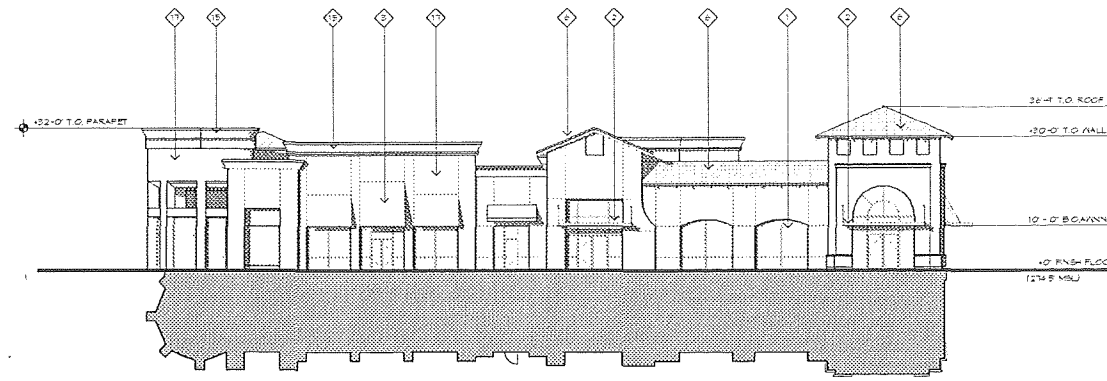




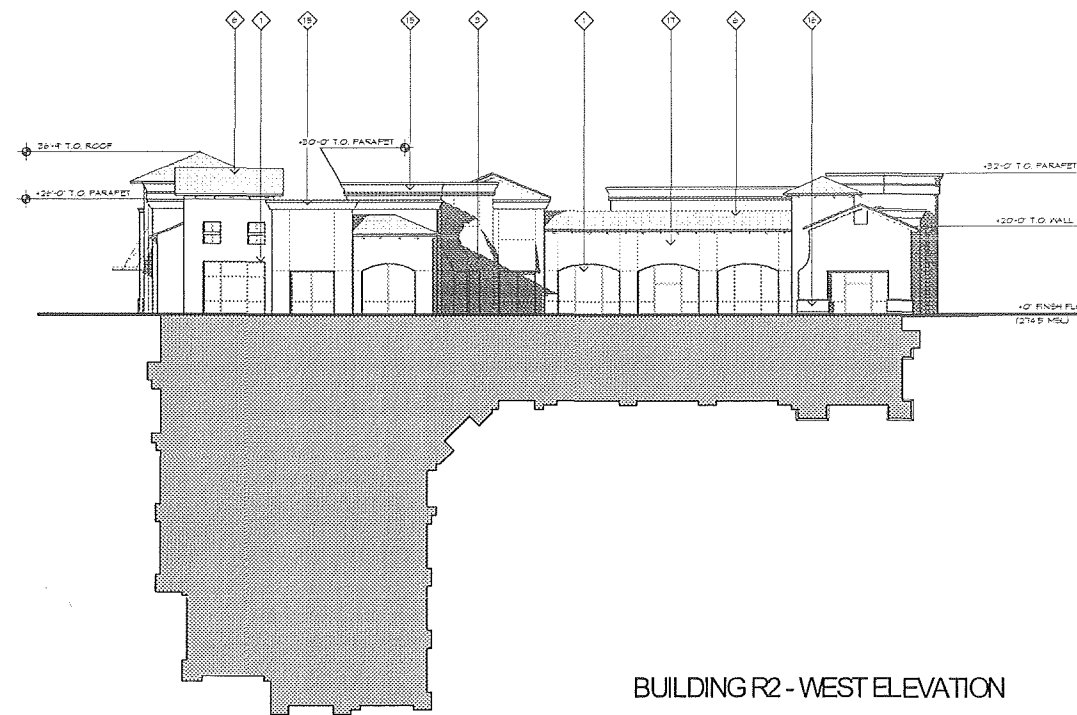
BUILDING R2 - SOUTH ELEVATION



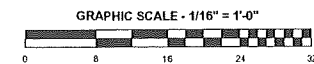
BUILDING R2 - NORTH ELEVATION



BUILDING R2 - EAST ELEVATION



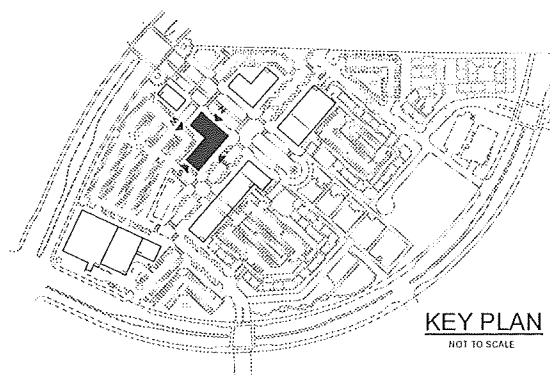
BUILDING R2 - WEST ELEVATION



NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.

- | | | | |
|---|-------------------------------|----|-----------------------------|
| 1 | Aluminum StoreFront | 10 | Decorative Vent |
| 2 | Metal Awning | 11 | Wood Trellis |
| 3 | Fabric Awning | 12 | Stone Veneer |
| 4 | Metal Railing | 13 | Pre-Cast Concrete Column |
| 5 | Wood Truss/Trellis | 14 | Standing Seam Metal Roof |
| 6 | Clay Tile Roof | 15 | Cornice |
| 7 | Pre-Cast Concrete Column/Trim | 16 | Pre-Cast Concrete Base/Trim |
| 8 | Wall Recess Panel | 17 | Plaster Finish |
| | | 18 | Vertical Trellis |
| | | 19 | Reveal |

KEYNOTES



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO . SAN FRANCISCO



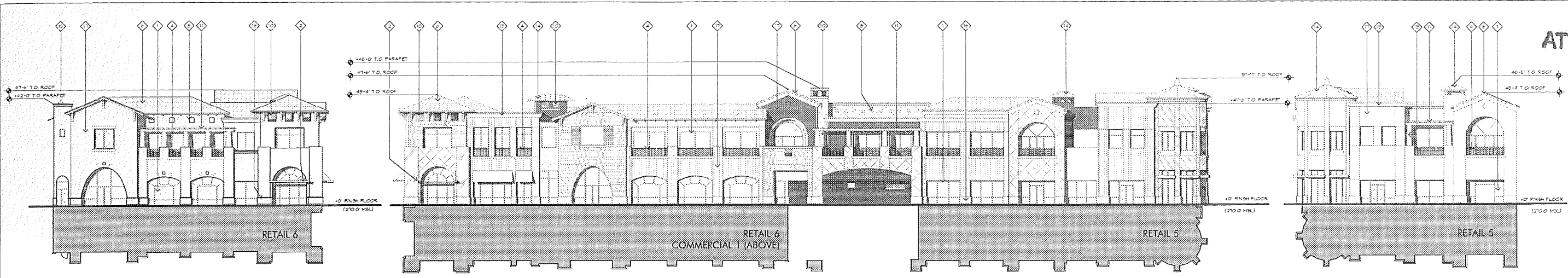
PROJECT NO. 2010 COPYRIGHT SGPA 2013

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 Name: _____
 Address: 1545 HOTEL CIRCLE SOUTH STE 200
 SAN DIEGO, CA 92108
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 Fax #: (619) 294-9334

Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS
 ROAD AND CARPENTER VALLEY ROAD
 Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: 05/14/11
 Revision 4: 03/24/11
 Revision 3: 03/25/11
 Revision 2: 03/25/11
 Revision 1: 06/23/11

Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH

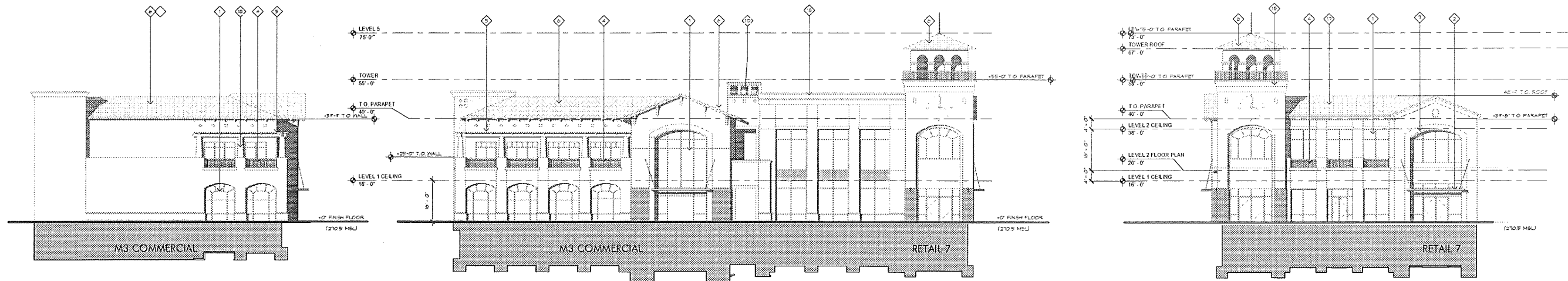
Sheet Title: ELEVATIONS - BUILDING R2
 Sheet: 21 of 40



BUILDINGS R5, C1, R6 - NORTH ELEVATION

BUILDINGS R5, C1, R6 - WEST ELEVATION

BUILDINGS R5, C1, R6 - SOUTH ELEVATION



BUILDINGS M3 & R7 - NORTH ELEVATION

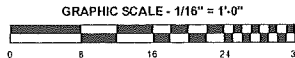
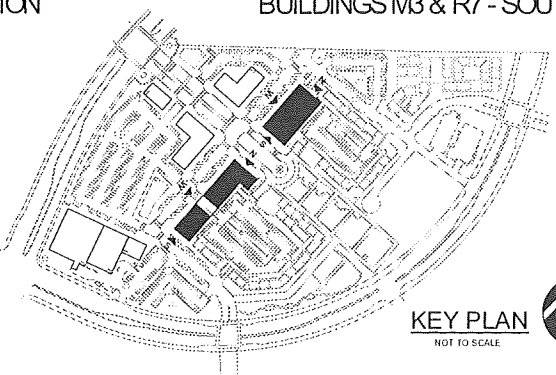
BUILDINGS M3 & R7 - WEST ELEVATION

BUILDINGS M3 & R7 - SOUTH ELEVATION

NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.

- | | | | |
|---|-------------------------------|----|-----------------------------|
| 1 | Aluminum Storefront | 10 | Decorative Vent |
| 2 | Metal Awning | 11 | Wood Trellis |
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| 5 | Wood Truss/Trellis | 14 | Standing Seam Metal Roof |
| 6 | Clay Tile Roof | 15 | Cornice |
| 7 | Pre-Cast Concrete Column/Trim | 16 | Pre-Cast Concrete Base/Trim |
| 8 | Wall Recess Panel | 17 | Plaster Finish |
| | | 18 | Vertical Trellis |
| | | 19 | Reveal |

KEYNOTES



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO

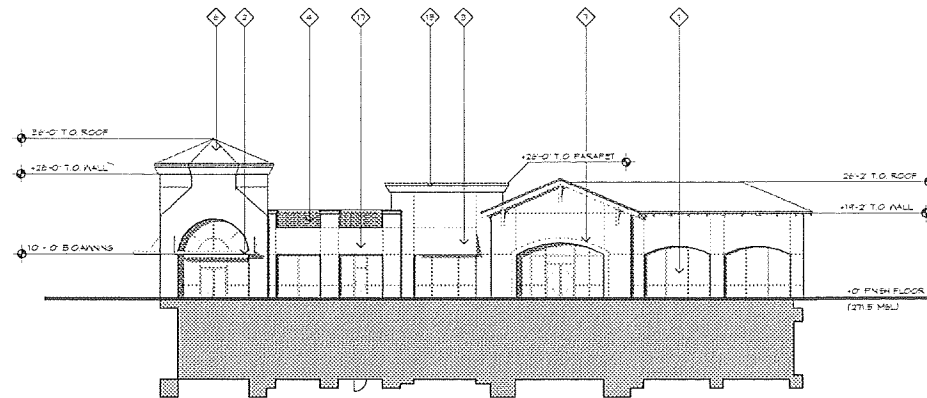
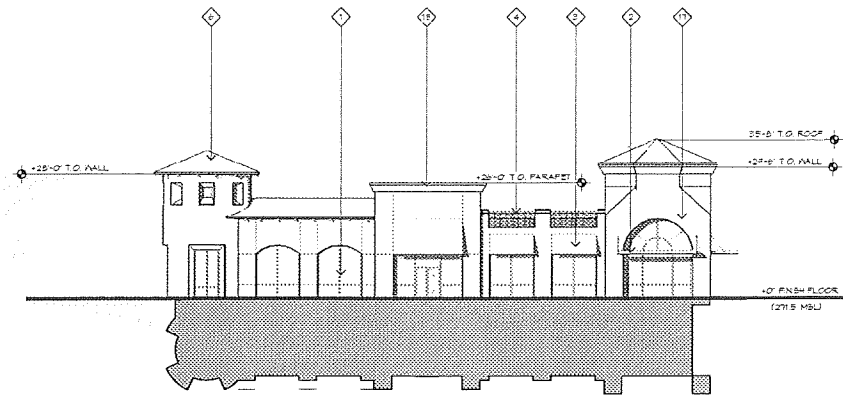


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Prepared By	SGPA ARCHITECTURE & PLANNING	Revision 14:	
Name:		Revision 13:	
Address:	1549 HOTEL CIRCLE SOUTH STE 200 SAN DIEGO, CA 92108	Revision 12:	
Phone #:	(619) 297-0131	Revision 11:	
Fax #:	(619) 294-9334	Revision 10:	
Project Address:	NORTHEAST CORNER 16 001 MAR HEIGHTS ROAD AND CAROL STREET ROAD	Revision 9:	
		Revision 8:	
		Revision 7:	
		Revision 6:	
		Revision 5:	01/14/13
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		Revision 3:	01/15/13
		Revision 2:	01/15/13
		Revision 1:	01/15/13

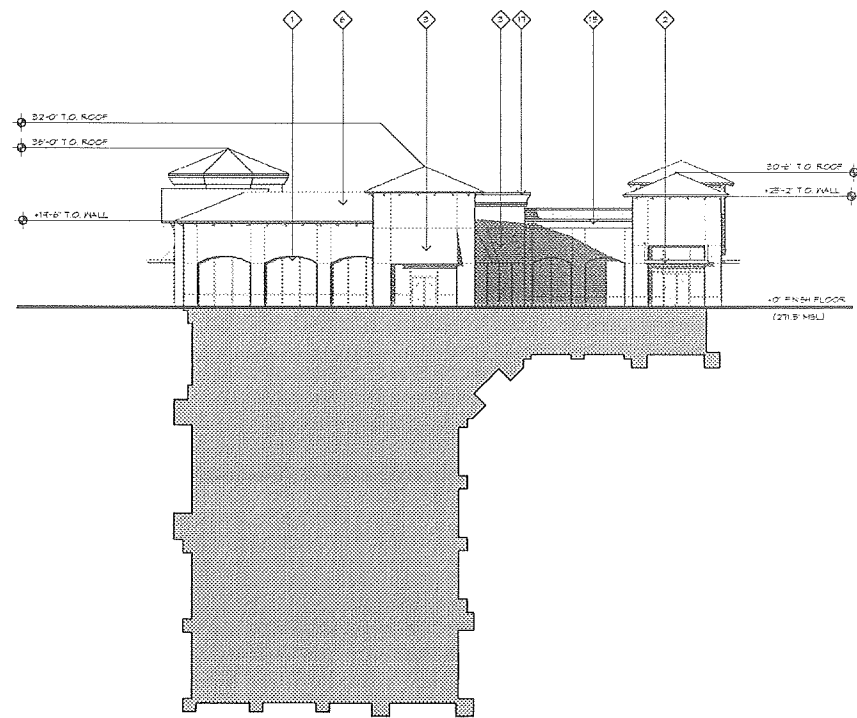
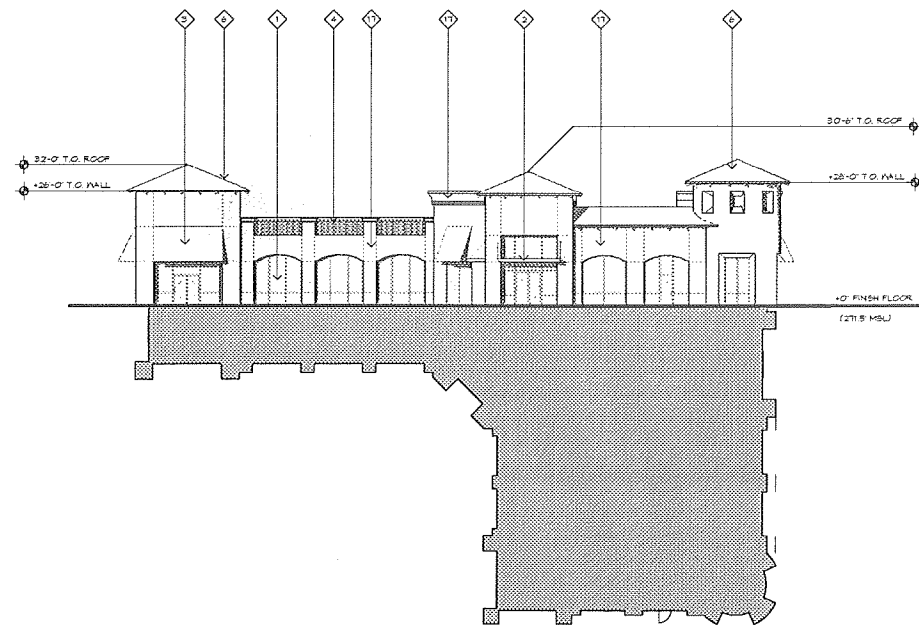
Project Name
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

Sheet Title
ELEVATIONS - BUILDINGS R5, R6, R7, C1 & M3



BUILDING R8 - SOUTH ELEVATION

BUILDING R8 - EAST ELEVATION

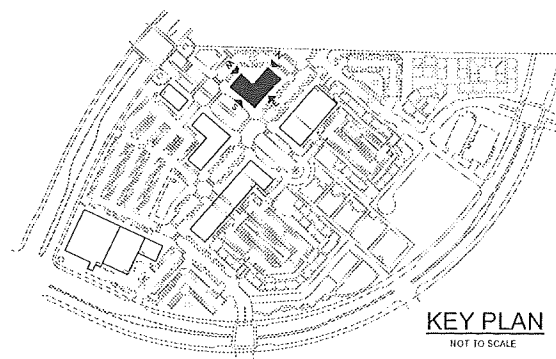


BUILDING R8 - WEST ELEVATION

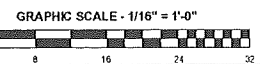
BUILDING R8 - NORTH ELEVATION

NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.

- | | |
|---------------------------------|--------------------------------|
| 1 Aluminum StoreFront | 10 Decorative Vent |
| 2 Metal Awning | 11 Wood Trellis |
| 3 Fabric Awning | 12 Stone Veneer |
| 4 Metal Railing | 13 Pre-Cast Concrete Column |
| 5 Wood Truss/Trellis | 14 Standing Seam Metal Roof |
| 6 Clay Tile Roof | 15 Cornice |
| 7 Pre-Cast Concrete Column/Trim | 16 Pre-Cast Concrete Base/Trim |
| 8 Wall Recess Panel | 17 Plaster Finish |
| | 18 Vertical Trellis |
| | 19 Reveal |
- KEYNOTES



KEY PLAN
NOT TO SCALE



SGPA ARCHITECTURE AND PLANNING
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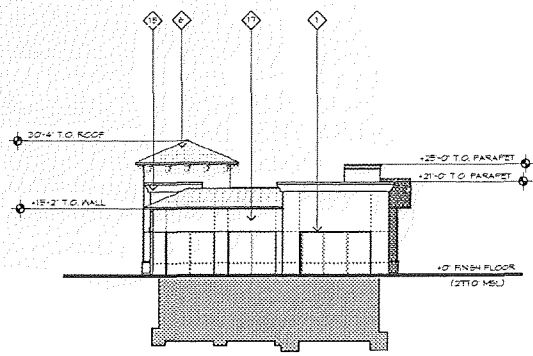
Prepared By: SGPA ARCHITECTURE & PLANNING	Revision 14: _____
Name: _____	Revision 13: _____
Address: 1545 HOTEL CIRCLE SOUTH STE 200	Revision 12: _____
SAN DIEGO, CA 92108	Revision 11: _____
Phone #: (619) 297-0131	Revision 10: _____
Fax #: (619) 294-2534	Revision 9: _____
Project Address: _____	Revision 8: _____
NORTHEAST CORNER OF DEL MAR HEIGHTS	Revision 7: _____
ROAD AND CORNEL VILLY ROAD	Revision 6: _____
Revision 4: 03/14/13	Revision 5: _____
Revision 3: 03/14/13	Revision 4: _____
Revision 2: 08/25/11	Revision 3: _____
Revision 1: 06/01/11	Revision 2: _____
Original Date: 01/25/11	Revision 1: _____

Project Name:
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

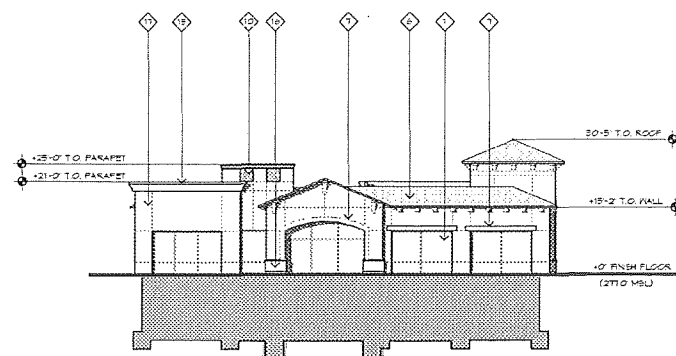
Sheet Title:
ELEVATIONS - BUILDING R8

Sheet 23 of 40

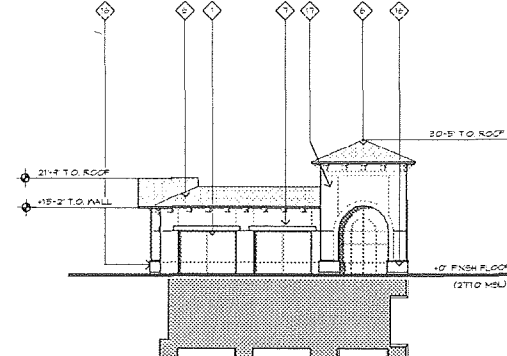
DFP# 7029 A-204



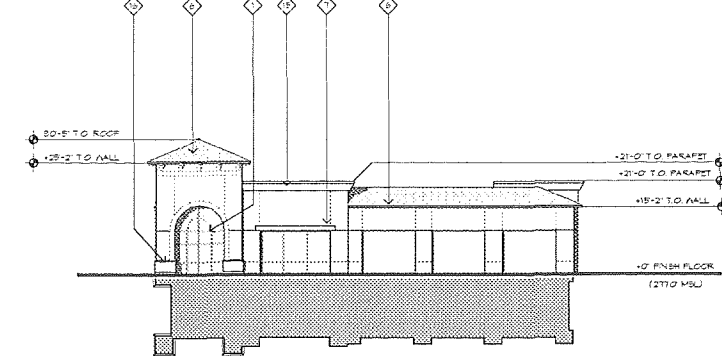
BUILDING R1 (R9 SIM.) - WEST ELEVATION



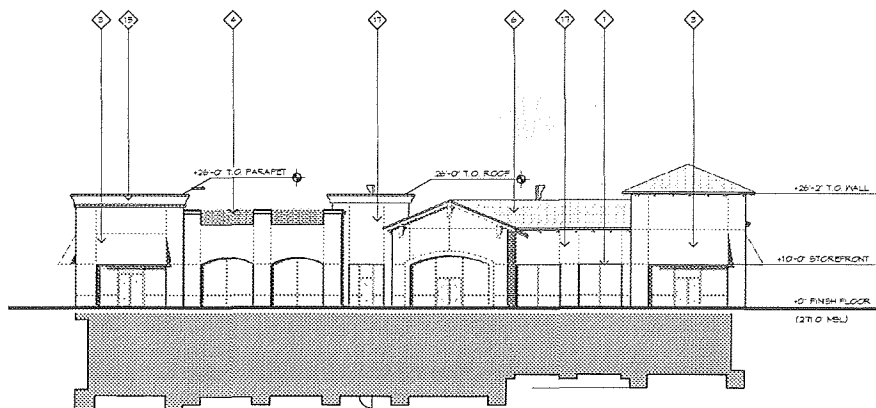
BUILDING R1 (R9 SIM.) - SOUTH ELEVATION



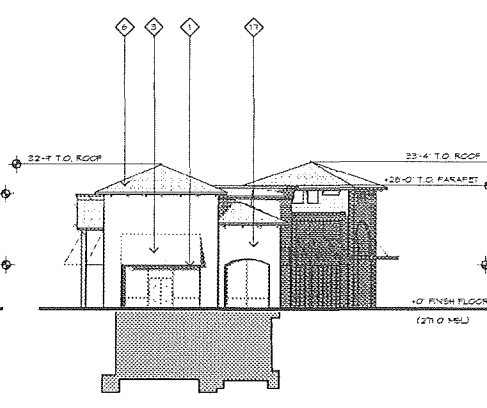
BUILDING R1 (R9 SIM.) - EAST ELEVATION



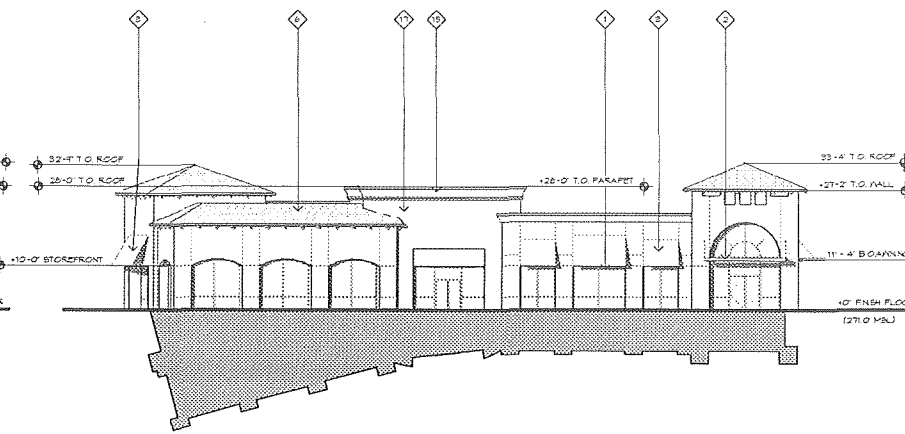
BUILDING R1 (R9 SIM.) - NORTH ELEVATION



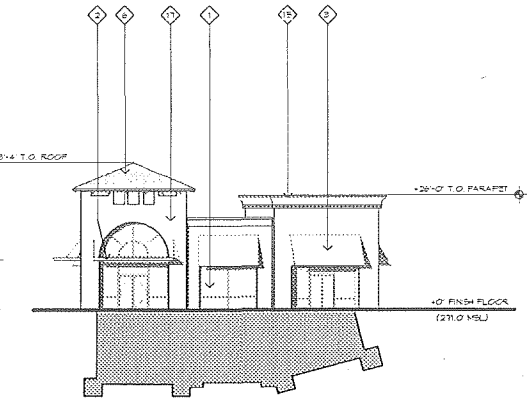
BUILDING R3 - WEST ELEVATION



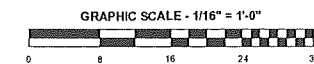
BUILDING R3 - SOUTH ELEVATION



BUILDING R3 - EAST ELEVATION



BUILDING R3 - NORTH ELEVATION



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SAN DIEGO, SAN FRANCISCO



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Prepared By: SGPA ARCHITECTURE & PLANNING
Name: _____
Address: 1545 HOTEL CIRCLE SOUTH STE 200
SAN DIEGO, CA 92108
Phone #: (619) 297-0131
Fax #: (619) 294-9534

Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARNEGIE WALKWAY
Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: 10/14/11
Revision 3: 09/04/11
Revision 2: 05/05/11
Revision 1: 05/01/11

Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH

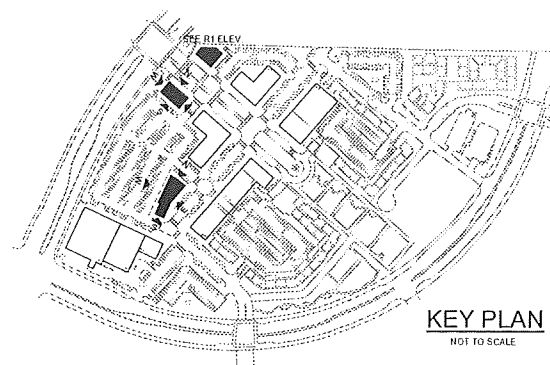
Sheet Title: ELEVATIONS - BUILDINGS R1 AND R3
Sheet: 24 of 40

NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.

- 1 Aluminum Storefront
- 2 Metal Awning
- 3 Fabric Awning
- 4 Metal Railing
- 5 Wood Truss/Trellis
- 6 Clay Tile Roof
- 7 Pre-Cast Concrete Column/Trim
- 8 Wall Recess Panel

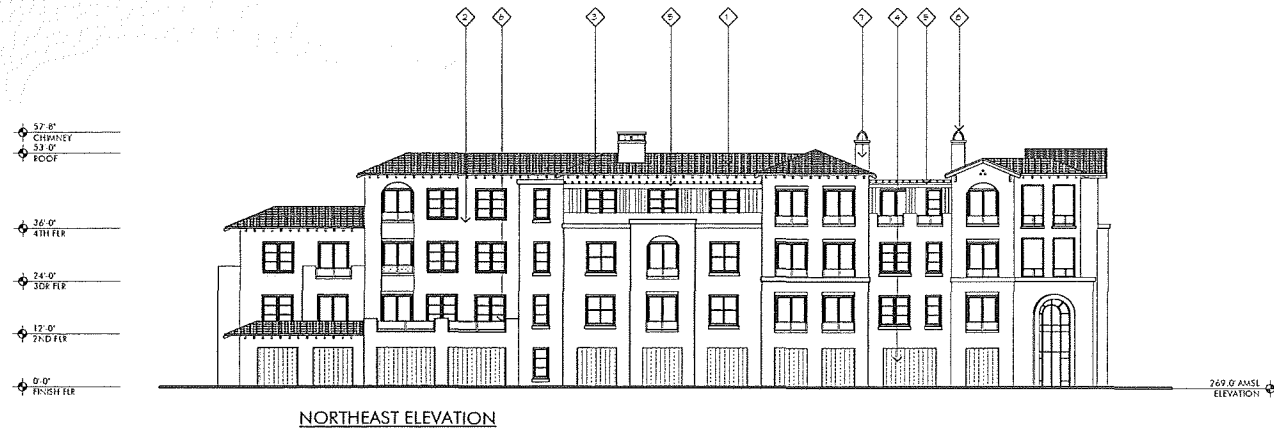
- 10 Decorative Vent
- 11 Wood Trellis
- 12 Stone Veneer
- 13 Pre-Cast Concrete Column
- 14 Standing Seam Metal Roof
- 15 Cornice
- 16 Pre-Cast Concrete Base/Trim
- 17 Plaster Finish
- 18 Vertical Trellis
- 19 Reveal

KEYNOTES



KEY PLAN
NOT TO SCALE

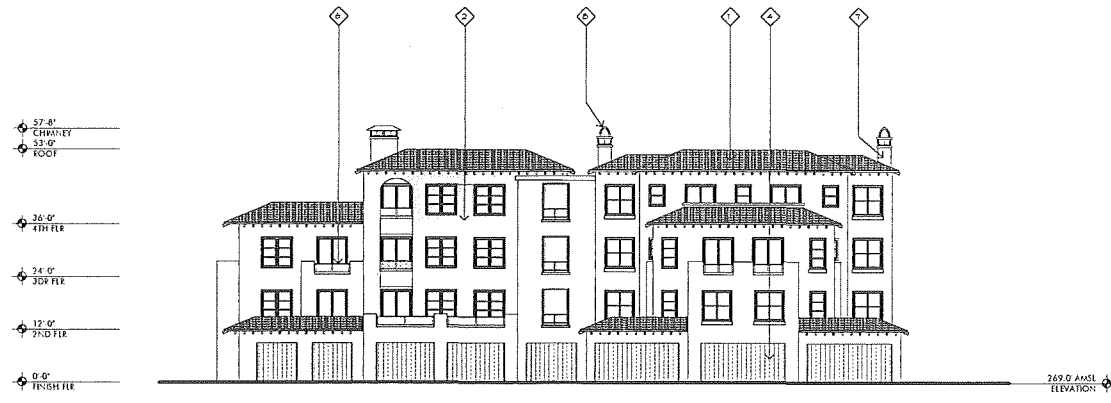




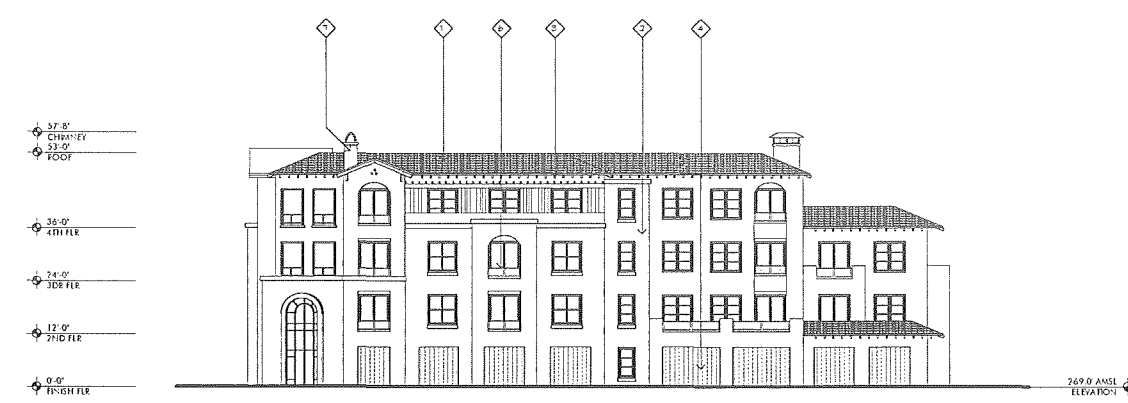
NORTHEAST ELEVATION



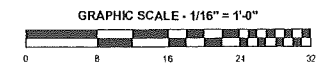
SOUTHWEST ELEVATION



SOUTHEAST ELEVATION



NORTHWEST ELEVATION



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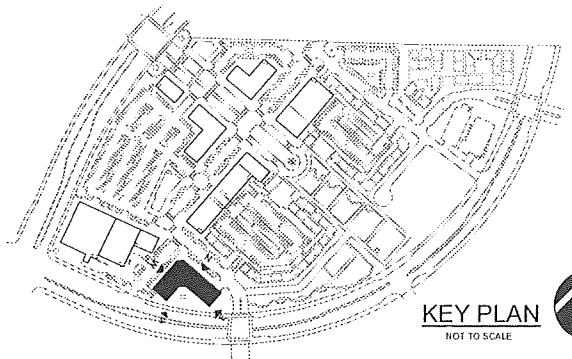


Prepared By:	SGPA ARCHITECTURE & PLANNING	Revision 14:	_____
Name:	1545 HOLL CIRCLE SOUTH STE 200	Revision 13:	_____
Address:	SAN DIEGO, CA 92108	Revision 12:	_____
Phone #:	(619) 297-0131	Revision 11:	_____
Fax #:	(619) 294-9334	Revision 10:	_____
Project Address:	NORTHEAST CORNER OF DEL MAR HEIGHTS	Revision 9:	_____
	ROAD AND HENDRICKS ROAD	Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
		Revision 5:	10/14/11
		Revision 4:	09/24/11
		Revision 3:	05/05/11
		Revision 2:	05/03/11
		Revision 1:	05/03/11
Project Name:	THE VILLAGE AT	Original Date:	01/25/11
	PACIFIC HIGHLANDS RANCH	Sheet	25 of 40

NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.

- 1 Clay Tile Roof
- 2 Plaster Wall Finish
- 3 Wood Truss
- 4 Vertical Metal Louver
- 5 Wood Trellis
- 6 Metal Railing
- 7 Chimney
- 8 Metal Chimney Cap

KEYNOTES



KEY PLAN
 NOT TO SCALE



SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION

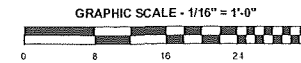


WEST ELEVATION

NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.

- 1 Clay Tile Roof
- 2 Plaster Wall Finish
- 3 Wood Truss
- 4 Vertical Metal Louver
- 5 Wood Trellis
- 6 Metal Railing
- 7 Chimney
- 8 Metal Chimney Cap

KEYNOTES



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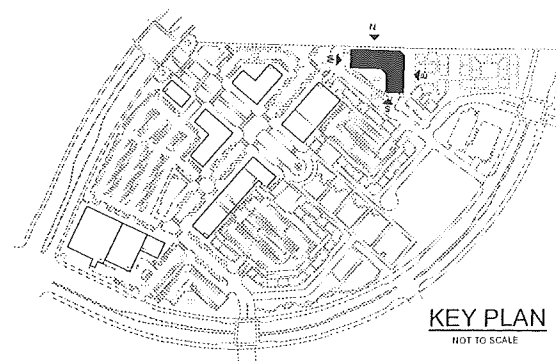
Prepared By:	SGPA ARCHITECTURE & PLANNING	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	1543 HOTEL CIRCLE SOUTH STE 200 SAN DIEGO, CA 92108	Revision 12:	_____
Phone #:	(619) 297-0131	Revision 11:	_____
Fax #:	(619) 294-9334	Revision 10:	_____
		Revision 9:	_____
		Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
Project Address:	426 WEST CORNER OF DEL MAR HEIGHTS 8040 AND CAROL VALLEY ROAD	Revision 5:	_____
		Revision 4:	11/14/11
		Revision 3:	09/24/11
		Revision 2:	02/05/11
		Revision 1:	02/05/11

Project Name
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

Sheet Title
ELEVATIONS - BUILDING AH-2

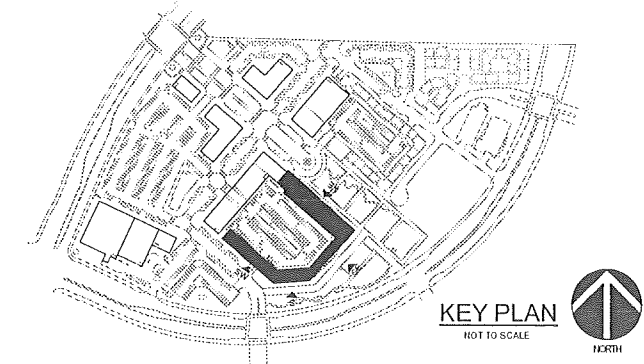
Original Date: 01/25/11
Sheet 26 of 40

DFF# 7029 A-207



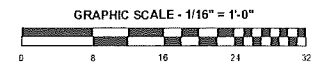
KEY PLAN
NOT TO SCALE





- 1 Clay Tile Roof
- 2 Plaster Wall Finish
- 3 Wood Truss
- 4 Vertical Metal Louver
- 5 Wood Trellis
- 6 Metal Railing
- 7 Chimney
- 8 Metal Chimney Cap

KEYNOTES



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Prepared By:	SGPA ARCHITECTURE & PLANNING	Revision 14:	_____
Name:	_____	Revision 13:	_____
Address:	1545 HOTEL CIRCLE SOUTH STE 200 SAN DIEGO, CA 92108	Revision 12:	_____
Phone #:	(619) 292-0131	Revision 11:	_____
Fax #:	(619) 294-9334	Revision 10:	_____
Project Address:	_____	Revision 9:	_____
_____	_____	Revision 8:	_____
_____	_____	Revision 7:	_____
_____	_____	Revision 6:	_____
_____	_____	Revision 5:	_____
_____	_____	Revision 4:	02/12/11
_____	_____	Revision 3:	09/04/11
_____	_____	Revision 2:	01/05/11
_____	_____	Revision 1:	05/21/11

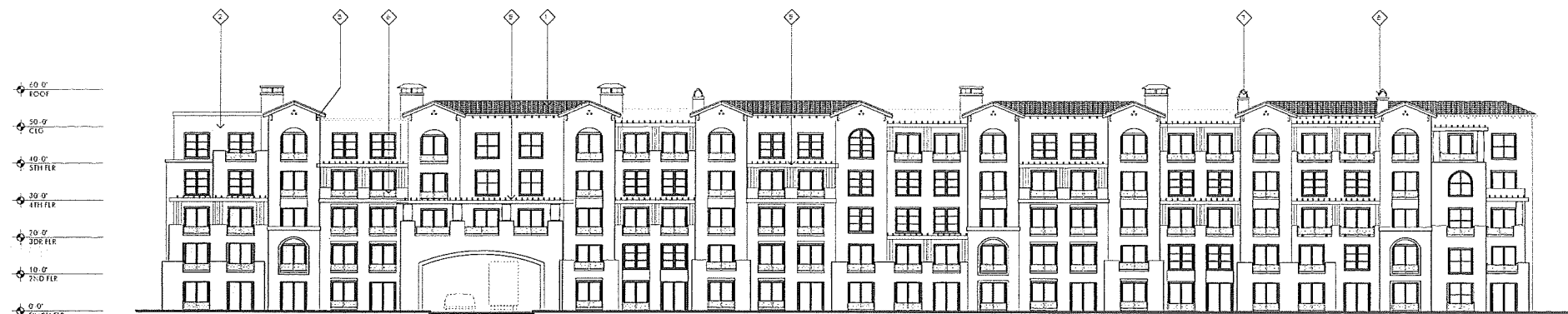
Project Name:
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

Sheet Title:
ELEVATIONS - BUILDING #R1

Original Date: 05/25/11
Sheet 27 of 40

DFF# 7029 A-208

NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a Four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.



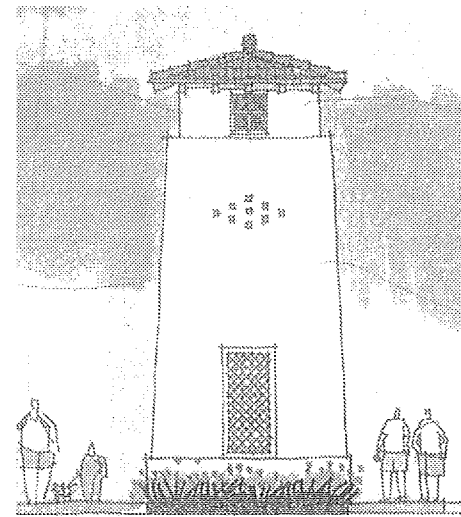
NORTHEAST ELEVATION



SOUTHEAST ELEVATION

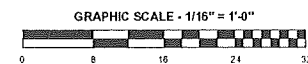


SOUTHWEST ELEVATION



TOWER STUDY ELEVATION

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 Name: _____
 Address: 1545 HOTEL CIRCLE SOUTH STE 200
 SAN DIEGO, CA 92108
 Phone #: (619) 297-0131
 Fax #: (619) 294-9324

Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CAMP VALLEY ROAD
 Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
 Revision 6: _____
 Revision 5: _____
 Revision 4: 10/14/11
 Revision 3: 01/14/11
 Revision 2: 03/25/11
 Revision 1: 06/21/11

Project Name: **THE VILLAGE AT PACIFIC HIGHLANDS RANCH**

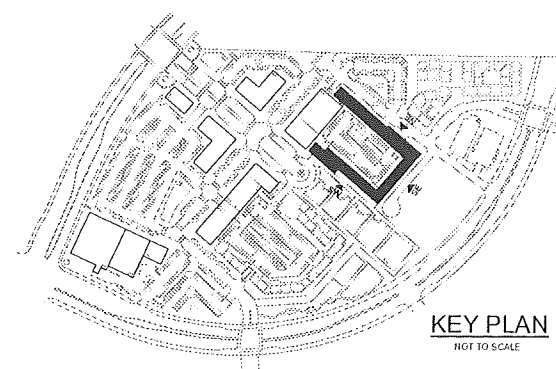
Sheet Title: ELEVATIONS - BUILDING MR2
 Original Date: 01/25/11
 Sheet: 28 of 40

IFPP# 7029 A-209

NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.

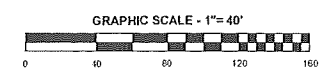
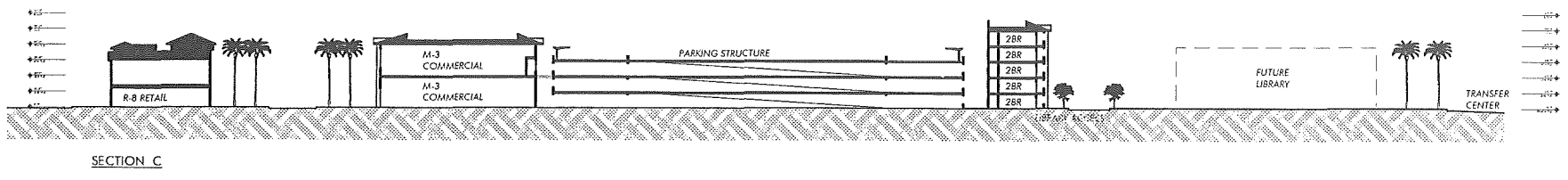
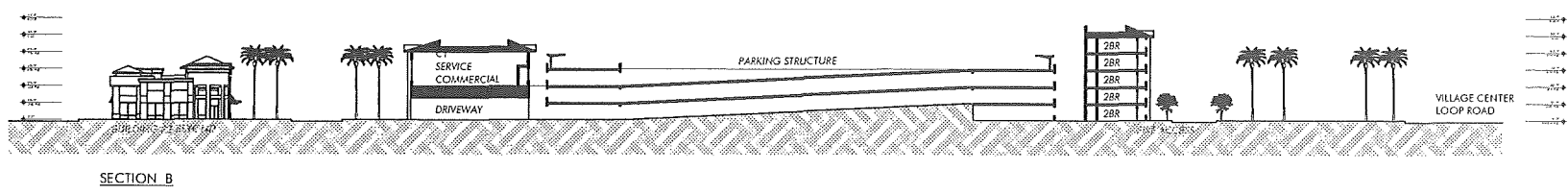
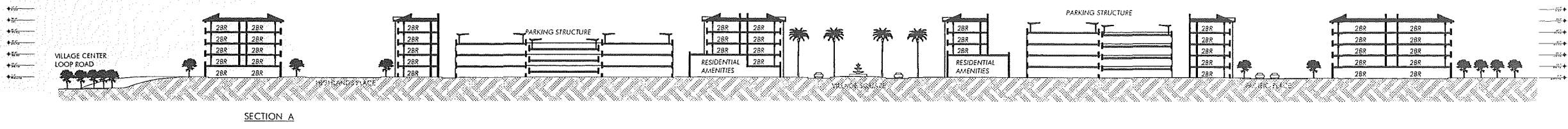
- 1 Clay Tile Roof
- 2 Plaster Wall Finish
- 3 Wood Truss
- 4 Vertical Metal Louver
- 5 Wood Trellis
- 6 Metal Railing
- 7 Chimney
- 8 Metal Chimney Cap

KEYNOTES



KEY PLAN
NOT TO SCALE





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Prepared By:	SGPA ARCHITECTURE & PLANNING	Revision 14:	_____
Name:	1545 HOTEL CIRCLE SOUTH STE 200	Revision 13:	_____
Address:	SAN DIEGO, CA 92108	Revision 12:	_____
Phone #:	(619) 297-0131	Revision 11:	_____
Fax #:	(619) 294-9334	Revision 10:	_____
		Revision 9:	_____
		Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	10/14/11
		Revision 3:	03/04/11
		Revision 2:	05/15/11
		Revision 1:	06/25/11

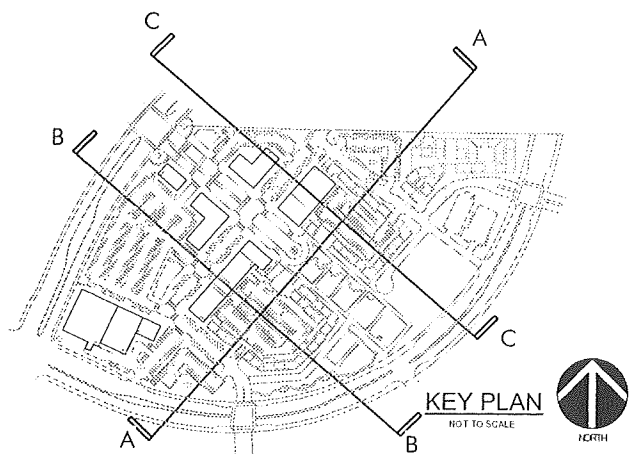
Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH

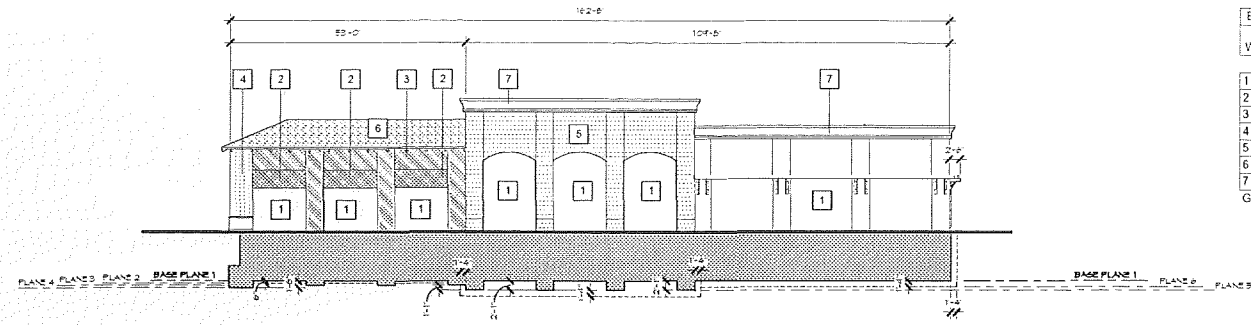
Original Date: 01/25/11

Sheet Title: SITE SECTIONS

Sheet 29 of 40

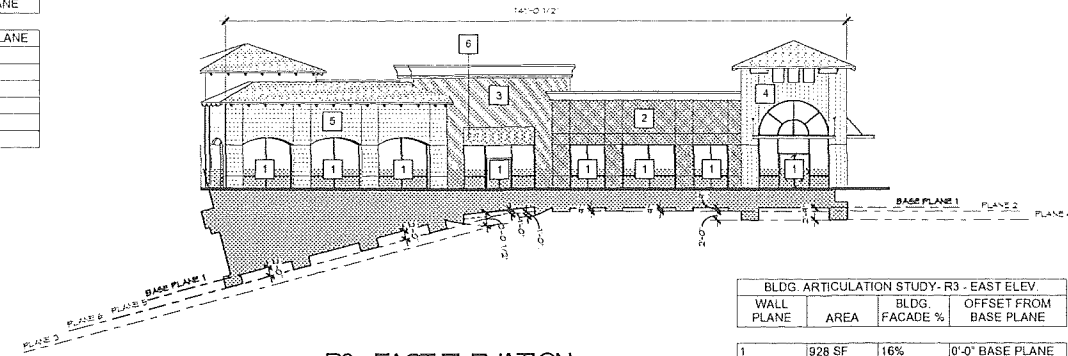
APP# 7029 A-210





M1, M2 & R4 - WEST ELEVATION

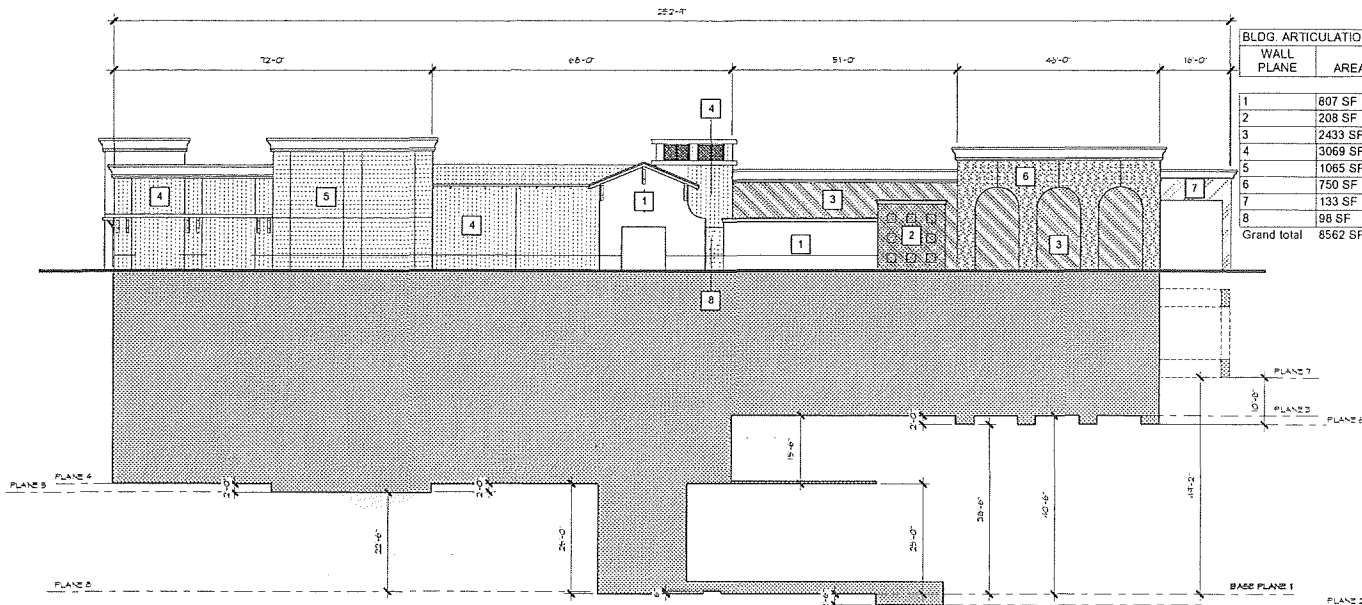
BLDG. ARTICULATION STUDY- M1, M2 & R4 - WEST ELEV.			
WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLANE
1	3424 SF	59%	0'-0" BASE PLANE
2	144 SF	2%	0'-6"
3	395 SF	7%	1'-0"
4	88 SF	2%	1'-6"
5	920 SF	16%	2'-1"
6	529 SF	9%	ROOF
7	298 SF	5%	1'-4"
Grand total	5799 SF	100%	



R3 - EAST ELEVATION

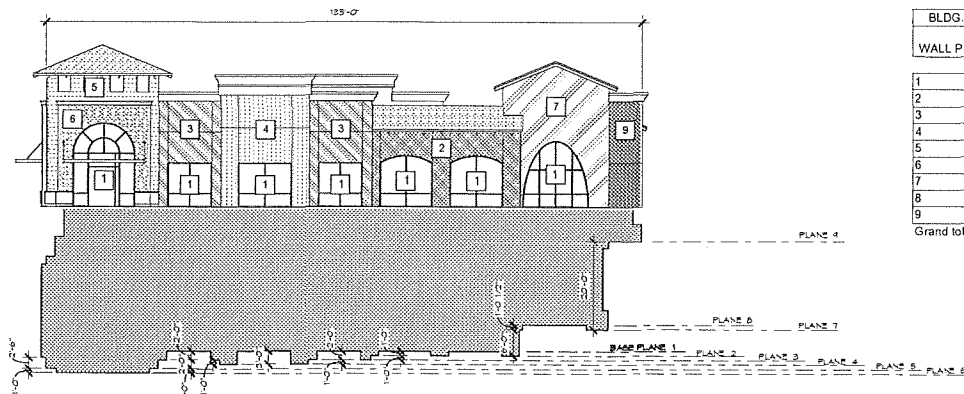
BLDG. ARTICULATION STUDY- R3 - EAST ELEV.			
WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLANE
1	928 SF	16%	0'-0" BASE PLANE
2	436 SF	8%	1'-6"
3	334 SF	6%	2'-0"
4	330 SF	6%	3'-6"
1	1085 SF	19%	0'-0" - BASE PLANE
2	666 SF	12%	0'-9"
3	631 SF	11%	3'-0 1/2"
4	335 SF	6%	2'-9"
5	844 SF	15%	1'-0"
6	65 SF	1%	1'-0"
Grand total	5653 SF	100%	

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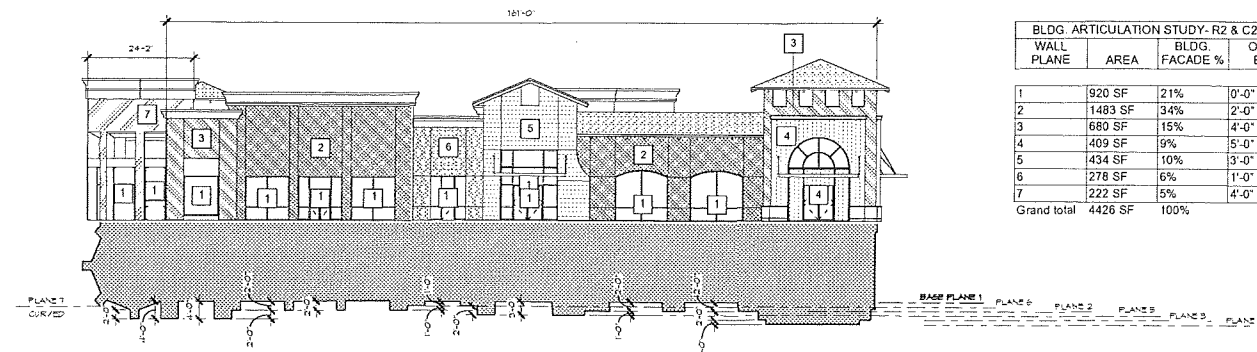
M1, M2 & R4 - SOUTH ELEVATION

BLDG. ARTICULATION STUDY - M1, M2 & R4 - SOUTH ELEV.			
WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLANE
1	807 SF	9%	0'-0" BASE PLANE
2	208 SF	2%	2'-6"
3	2433 SF	28%	40'-6"
4	3069 SF	36%	25'-0"
5	1065 SF	12%	22'-6"
6	750 SF	9%	38'-6"
7	133 SF	2%	49'-2"
8	98 SF	1%	0'-6"
Grand total	8562 SF	100%	



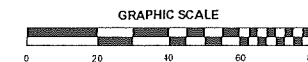
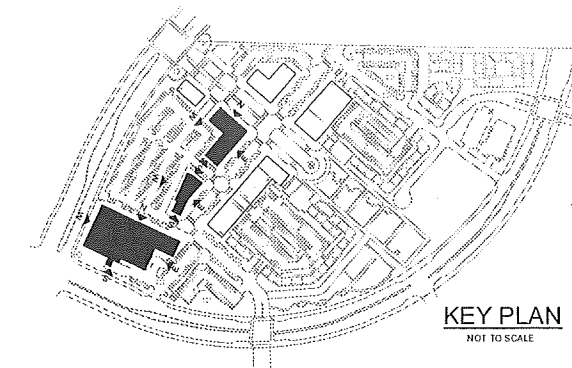
R2 & C2 - NORTH ELEVATION

BLDG. ARTICULATION STUDY- R2 & C2 - NORTH ELEV.			
WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLANE
1	528 SF	15%	0'-0" - BASE PLANE
2	347 SF	10%	1'-0"
3	535 SF	15%	2'-0"
4	480 SF	13%	3'-0"
5	381 SF	11%	4'-0"
6	403 SF	11%	5'-0"
7	538 SF	15%	5'-0"
8	177 SF	5%	6'-1/2"
9	182 SF	5%	25'-0"
Grand total	3570 SF	100%	



R2 & C2 - EAST ELEVATION

BLDG. ARTICULATION STUDY- R2 & C2 - EAST ELEV.			
WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLANE
1	920 SF	21%	0'-0" - BASE PLANE
2	1483 SF	34%	2'-0"
3	680 SF	15%	4'-0"
4	409 SF	9%	5'-0"
5	434 SF	10%	3'-0"
6	278 SF	6%	1'-0"
7	222 SF	5%	4'-0"
Grand total	4426 SF	100%	



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SAN DIEGO, SAN FRANCISCO

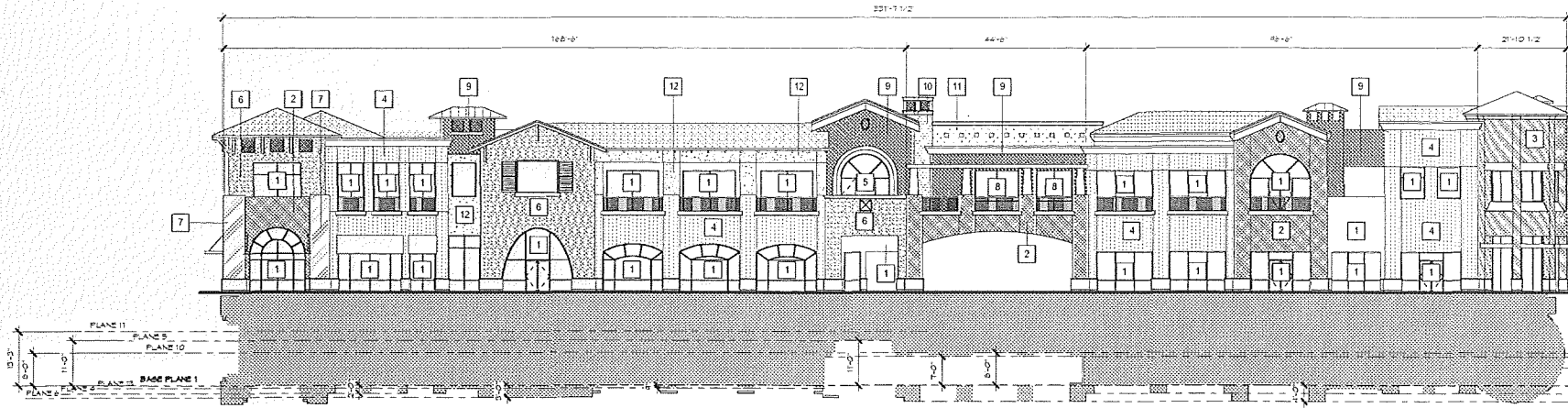


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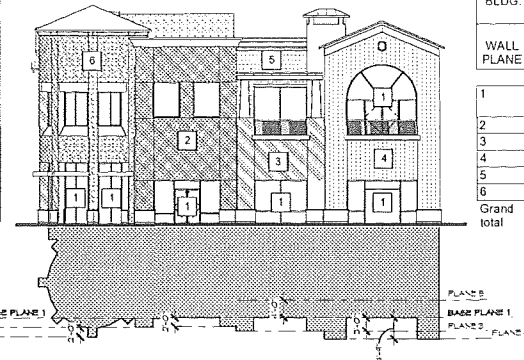
Prepared By: SGPA ARCHITECTURE & PLANNING
 Address: 1545 HOTEL CIRCLE SOUTH STE 700
 SAN DIEGO, CA 92108
 Phone #: 619 292-0131
 Fax #: 619 294-9334

Project Address: 1360 EAST CENTER OF THE MAP, BEVERLY HILLS
 ROAD AND CARPENTER VALLEY ROAD
 Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH

Sheet Title: BUILDING ARTICULATION STUDY
 Date: 3/1/13
 Sheet: 30 of 40

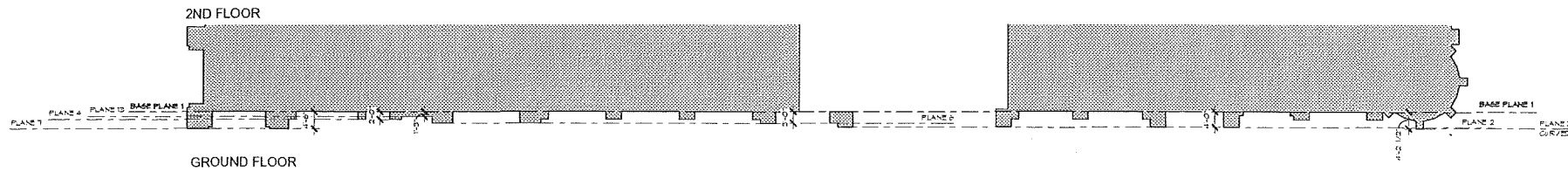


WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLAN
1	993 SF	31%	0'-0" - BASE PLAN
2	710 SF	22%	2'-0"
3	249 SF	8%	3'-0"
4	702 SF	22%	4'-8"
5	182 SF	6%	4'-0"
6	419 SF	13%	2'-0"
Grand total	3254 SF	100%	

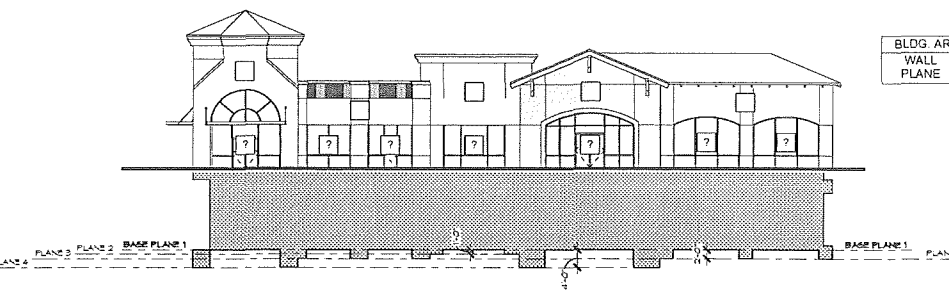


WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLAN
1	993 SF	31%	0'-0" - BASE PLAN
2	710 SF	22%	2'-0"
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5	182 SF	6%	4'-0"
6	419 SF	13%	2'-0"
Grand total	3254 SF	100%	

R5, R6, C1 - SOUTH ELEVATION

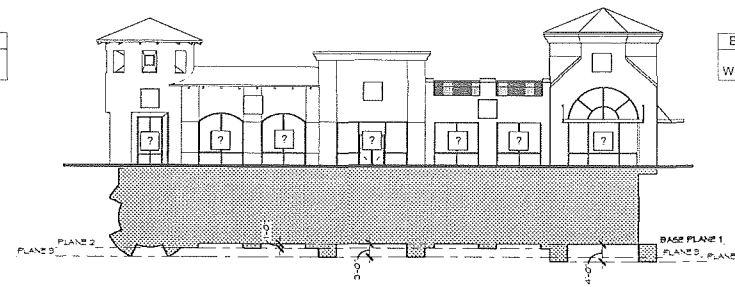


R5, R6, C1 - WEST ELEVATION



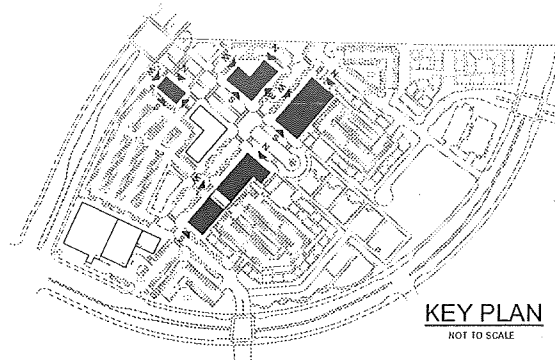
WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLAN
1	928 SF	46%	0'-0" BASE PLANE
2	436 SF	22%	1'-6"
3	334 SF	16%	2'-0"
4	330 SF	16%	3'-6"
Grand total	2027 SF	100%	

R8 & C3 - EAST ELEVATION

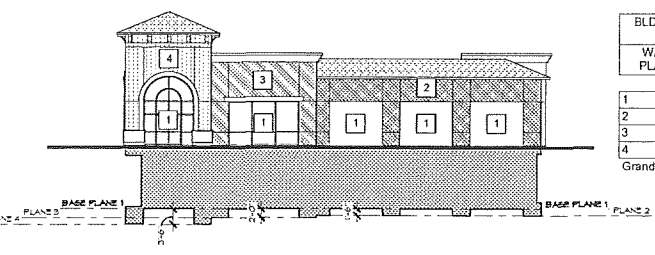


WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLAN
1	3541 SF	29%	0'-0" BASE PLANE
2	5383 SF	44%	2'-0"
3	1013 SF	8%	4'-0"
4	1023 SF	8%	6'-0"
5	1369 SF	11%	2'-0"
Grand total	12330 SF	100%	

R8 & C3 - SOUTH ELEVATION

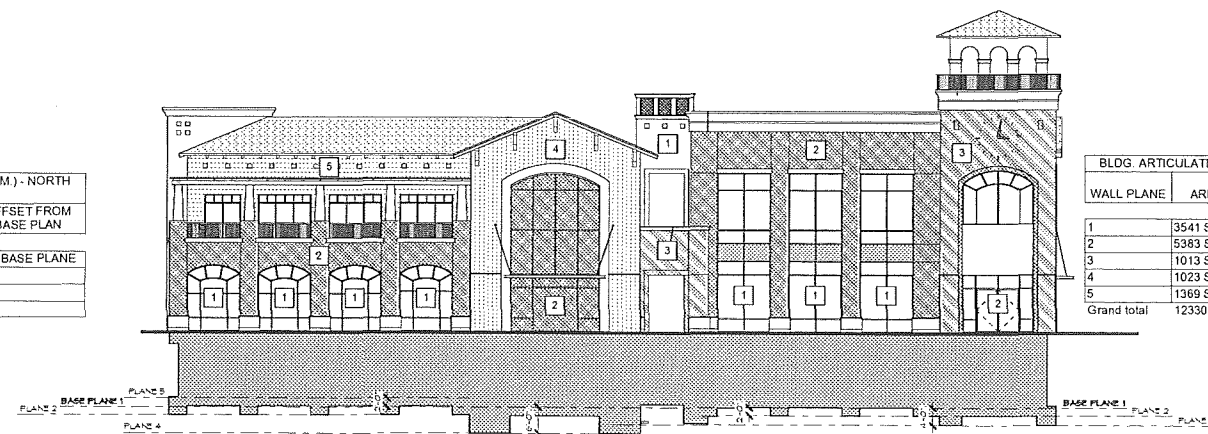


KEY PLAN
NOT TO SCALE
NORTH



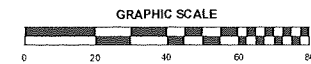
WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLAN
1	928 SF	46%	0'-0" BASE PLANE
2	436 SF	22%	1'-6"
3	334 SF	16%	2'-0"
4	330 SF	16%	3'-6"
Grand total	2027 SF	100%	

R1 (R9 SIM) - NORTH ELEVATION



WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLAN
1	3541 SF	29%	0'-0" BASE PLANE
2	5383 SF	44%	2'-0"
3	1013 SF	8%	4'-0"
4	1023 SF	8%	6'-0"
5	1369 SF	11%	2'-0"
Grand total	12330 SF	100%	

M3 & R7 - WEST ELEVATION



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO



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Phone #:	(619) 297-0131	Revision 11:	_____
Fax #:	(619) 294-9534	Revision 10:	_____
Project Address:	NORTHEAST CORNER OF ELLIOTT BLVD. ROAD AND CAROL STREET ROAD	Revision 9:	_____
		Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	10/14/11
		Revision 3:	01/04/11
		Revision 2:	03/05/11
		Revision 1:	06/01/11

Project Name:
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

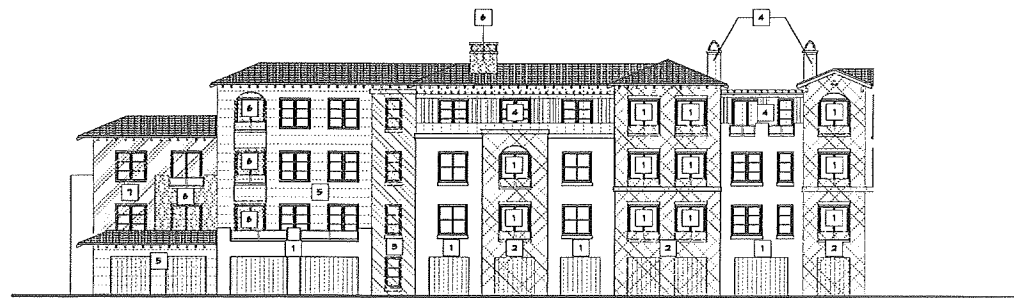
Sheet Title: BUILDING ARTICULATION STUDY
Sheet: 31 of 40

Original Date: 01/04/11
DFP# 7029 A-212



BLDG. ARTICULATION STUDY - MR1 - SOUTHWEST ELEV			
WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLANE
MR1 - SOUTHWEST ELEVATION			
1	2708 SF	21%	0'-0" BASE PLANE
2	3960 SF	32%	4'-0"
3	3596 SF	29%	6'-0"
4	523 SF	4%	8'-0"
5	1743 SF	14%	9'-0"
Grand total	12,530 SF	100%	

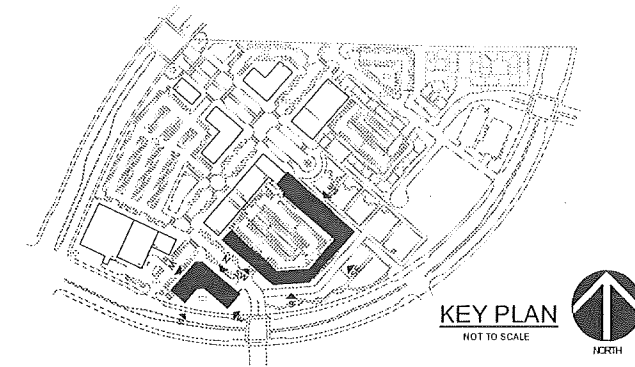
MR1- SOUTHWEST ELEVATION



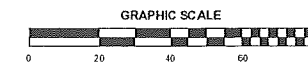
BLDG. ARTICULATION STUDY - AH1 - NORTHEAST ELEV			
WALL PLANE	AREA	BLDG. FACADE %	OFFSET FROM BASE PLANE
AH1 - NORTHEAST ELEVATION			
1	2830 SF	36%	0'-0" BASE PLANE
2	1863 SF	24%	4'-0"
3	470 SF	6%	1'-0"
4	672 SF	8%	4'-0"
5	1358 SF	17%	6'-0"
6	330 SF	4%	8'-0"
7	420 SF	5%	11'-0"
Grand total	7,943 SF	100%	

AH1 - NORTHEAST ELEVATION

NOTE: No portion of the building, within the first 8 vertical feet, may encroach into the public right-of-way. Above 8 feet encroachment may occur at a 1 to 1 ratio not to exceed a Four foot horizontal encroachment into the public right-of-way. Any such encroachments are subject to review and if approved, will require the applicant to obtain an Encroachment Maintenance Agreement.



KEY PLAN
NOT TO SCALE



SGPA ARCHITECTURE AND PLANNING
SAN DIEGO, SAN FRANCISCO

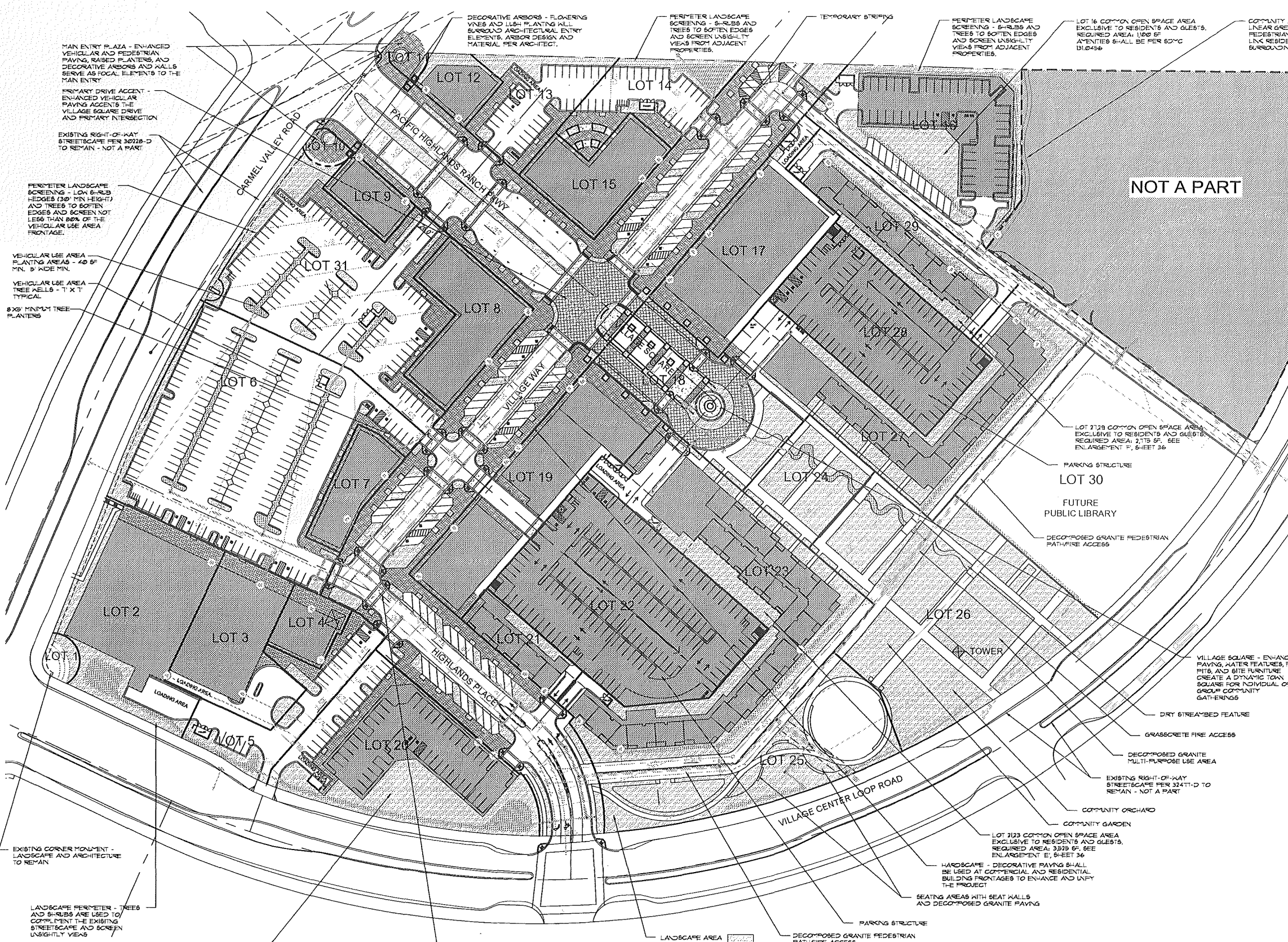


PROJECT NO. 20210 COPYRIGHT SGPA 2013

Prepared By:	SGPA ARCHITECTURE & PLANNING	Revision 14:	_____
Name:	1545 HOTEL CIRCLE SOUTH STE 200	Revision 13:	_____
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Phone #:	619.292.0131	Revision 11:	_____
Fax #:	619.294.9534	Revision 10:	_____
Project Address:	NORTHEAST CORNER OF DEL MAR HEIGHTS	Revision 9:	_____
	ROAD AND CAMP VILLY ROAD	Revision 8:	_____
		Revision 7:	_____
		Revision 6:	_____
		Revision 5:	_____
		Revision 4:	11/14/11
		Revision 3:	09/04/11
		Revision 2:	03/25/11
		Revision 1:	06/03/11

Project Name:
**THE VILLAGE AT
PACIFIC HIGHLANDS RANCH**

Original Date: 03/25/11
Sheet Title: BUILDING ARTICULATION STUDY
Sheet 32 of 40



LANDSCAPE DESIGN SUMMARY

IN COMPLIANCE AND CONSISTENCY WITH THE PACIFIC HIGHLANDS RANCH SUBAREA PLAN, THE LANDSCAPE DESIGN WITHIN THE VILLAGE CREATES QUALITY OPEN SPACE, IN CONJUNCTION WITH HIGH QUALITY STREETSCAPE, TO ENHANCE PEDESTRIAN ACTIVITY. THE PEDESTRIAN-ORIENTED COMMUNITY BLENDS COMMERCIAL AND RESIDENTIAL DEVELOPMENT. THIS MIXED-USE ARRANGEMENT REQUIRES A LANDSCAPE THAT ADDRESSES THE NEEDS OF BOTH TYPES OF DEVELOPMENT, YET COMBINES THEM IN A COHESIVE VIBRANT COMMUNITY.

WITHIN LOTS 24, 25 AND 26, THE OVERALL THEME AND CHARACTER OF THE LANDSCAPE DESIGN HEARKENS TO THE HERITAGE OF THE RANCHO SANTA FE AND EARLY CALIFORNIA RANCH COMMUNITY. BROAD IDEA ELEMENTS OF COMMUNITY, PASTURE, AND ORCHARD HAVE BEEN CONCEPTUALIZED AND IMPLEMENTED INTO THE OVERALL DESIGN AND LAYOUT. HARDSCAPE AND PLANTING MATERIALS WILL BE USED, AND ARCHITECTURAL FEATURES DESIGNED, TO REINFORCE THE CHARACTER AND THEME.

DUE TO THE RETAIL AND COMMERCIAL ASPECT OF THE STREETS WITHIN THE VILLAGE, THE STREETSCAPE CANNOT BE TREATED AS A TYPICAL ARTERIAL ROAD IN THE COMMUNITY. ENHANCED HARDSCAPE AND WIDENED SIDEWALKS ARE USED THROUGHOUT THE VILLAGE IN LIEU OF STANDARD CONCRETE SIDEWALKS. SITE FURNISHINGS ARE MUCH MORE PREVALENT AND BUILDING FACADES MUCH MORE PEDESTRIAN ORIENTED AS RETAILERS ATTEMPT TO APPEAL TO CUSTOMERS. AS TYPICAL OF ALL RETAIL SITUATIONS, VISIBILITY TO THE STOREFRONT AND SIGNAGE IS PREFERENTIAL. FOR THIS REASON, A COMBINATION OF PALM TREES AND SHADE TREES WERE SELECTED FOR THE STREETS FRONTING RETAIL USES. THE USE OF PALMS ALLOWS VISIBILITY TO RETAIL SIGNAGE WHILE OFFERING AN EXCITING AND VIBRANT FORM TO THE STREETSCAPE. INTERMITTENT SHADE TREES PROVIDE SHADE AND PEDESTRIAN SCALE TO THE SIDEWALKS. THE PALMS OFFER ADDITIONAL BENEFITS SUCH AS CREATING A VISUAL IDENTITY TO THE RETAIL AREA AND ALSO SOFTENING THE SKYLINE WHEN COMBINED WITH THE TALLER RESIDENTIAL BUILDINGS BEHIND. IN PARKING LOTS, DRIVE ACCESS, AND AREAS RELATING TO RESIDENTIAL OR PARK AREAS, PALMS GIVE WAY TO LARGER CANOPY TREES TO PROVIDE SHADE AND PROVIDE MORE OVER-HEAD PLANE.

LOTS 24, 25, AND 26 COLLECTIVELY ARE DESIGNED TO SERVE BOTH THE LOCAL RESIDENTS OF THE VILLAGE AS WELL AS THE COMMUNITY AT LARGE. AMENITIES PROVIDED TO THE LOCAL RESIDENTS INCLUDE A DOG PARK, GARDEN BRIDGE, A COMMUNITY ORCHARD, DECOMPOSED GRANITE MULTIPLE-USE AREA, AND OPEN LAWN AREAS FOR MULTIPLE ACTIVITIES AND USES. THE VILLAGE GREEN IS DESIGNED TO BE FLEXIBLE AND OFFER SPACE FOR COMMUNITY EVENTS SUCH AS CONCERTS, FESTIVALS, AND A FARMER'S MARKET SHOULD THEY BE DESIRED.

MAIN ENTRY PLAZA - ENHANCED VEHICULAR AND PEDESTRIAN PAVING, RAISED PLANTERS, AND DECORATIVE ARBORS AND WALLS SERVE AS FOCAL ELEMENTS TO THE MAIN ENTRY.

PRIMARY DRIVE ACCENT - ENHANCED VEHICULAR PAVING ACCENTS THE VILLAGE SQUARE DRIVE AND PRIMARY INTERSECTION.

EXISTING RIGHT-OF-WAY STREETSCAPE PER 32728-D TO REMAIN - NOT A PART.

PERIMETER LANDSCAPE SCREENING - LOW 6-10' HEDGES (30" MIN HEIGHT) AND TREES TO SOFTEN EDGES AND SCREEN NOT LESS THAN 80% OF THE VEHICULAR USE AREA FRONTAGE.

VEHICULAR USE AREA PLANTING AREAS - 40' BY 40' MIN. 3' WIDE MIN.

VEHICULAR USE AREA TREE CELLS - 1' X 1' TYPICAL.

8' X 6' MINIMUM TREE PLANTERS.

EXISTING CORNER MONUMENT - LANDSCAPE AND ARCHITECTURE TO REMAIN.

LANDSCAPE PERIMETER - TREES AND 6-10' HEDGES ARE USED TO COMPLEMENT THE EXISTING STREETSCAPE AND SCREEN UNSIGHTLY VIEWS.

LOT 30 COMMON OPEN SPACE AREA EXCLUSIVE TO RESIDENTS AND GUESTS. REQUIRED AREA: 819 SF. AMENITIES SHALL BE PER 80% C 01.0456.

PEDESTRIAN CROSSWALK - PEDESTRIAN CIRCULATION ACROSS ROADWAYS SHALL BE DESIGNATED WITH ENHANCED PAVING CROSSWALKS.

- GENERAL LANDSCAPE NOTES**
1. ALL PLANTING, IRRIGATION, AND LANDSCAPE-RELATED IMPROVEMENTS WITHIN THE PROJECT LIMITS OF WORK SHALL COMPLY WITH THE PACIFIC HIGHLANDS RANCH SUBAREA PLAN, THE SAN DIEGO MUNICIPAL CODE, AND WITH THE LANDSCAPE STANDARDS IN THE LAND DEVELOPMENT MANUAL.
 2. ALL REQUIRED PLANT MATERIAL WITHIN THE PROJECT LIMITS OF WORK SHALL BE AUTOMATIC ELECTRICAL CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE-RESISTANT CONDITION.
 3. ALL REQUIRED IRRIGATION SYSTEMS WITHIN THE PROJECT LIMITS OF WORK SHALL BE AUTOMATIC ELECTRICAL CONTROLLED, AND DESIGNED TO PROVIDE WATER TO ALL REQUIRED PLANTINGS TO MAINTAIN THEM IN A HEALTHY, DISEASE-RESISTANT CONDITION.

LANDSCAPE MAINTENANCE NOTE

RESPONSIBILITY FOR LONG TERM MAINTENANCE OF THE PROJECT SHALL BE AS FOLLOWS:

RIGHT-OF-WAYS OF CARMEL VALLEY ROAD (DVG # 32728-D) AND VILLAGE LOOP ROAD (DVG # 32471-D) - CURRENTLY MAINTAINED AND TO CONTINUE TO BE MAINTAINED BY LANDSCAPE MAINTENANCE ASSOCIATION DISTRICT (L-MAD).

INTERIOR RIGHT-OF-WAYS - OWNER (PACIFIC VILLAGE LLC) (PACIFIC HIGHLANDS RANCH FARMWAY, VILLAGE WAY, HIGHLANDS PLACE)

INTERIOR STREETSCAPE - COMMON AREA ASSOCIATION (PACIFIC PLACE)

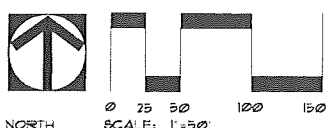
VILLAGE SQUARE (LOT 18) - OWNER (PACIFIC VILLAGE LLC)

LOTS 24, 25 - COMMON AREA ASSOCIATION

LOT 26 - OWNER (PACIFIC VILLAGE LLC) AND/OR COMMON AREA ASSOCIATION

STORMWATER POLLUTION PREVENTION PLAN (SWPPP)

REFER TO PACIFIC HIGHLANDS RANCH RAINOFF MAINTENANCE PLAN PREPARED BY RSP CONSULTING (APRIL 2008)



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Fax #: 858.481.6808

Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD

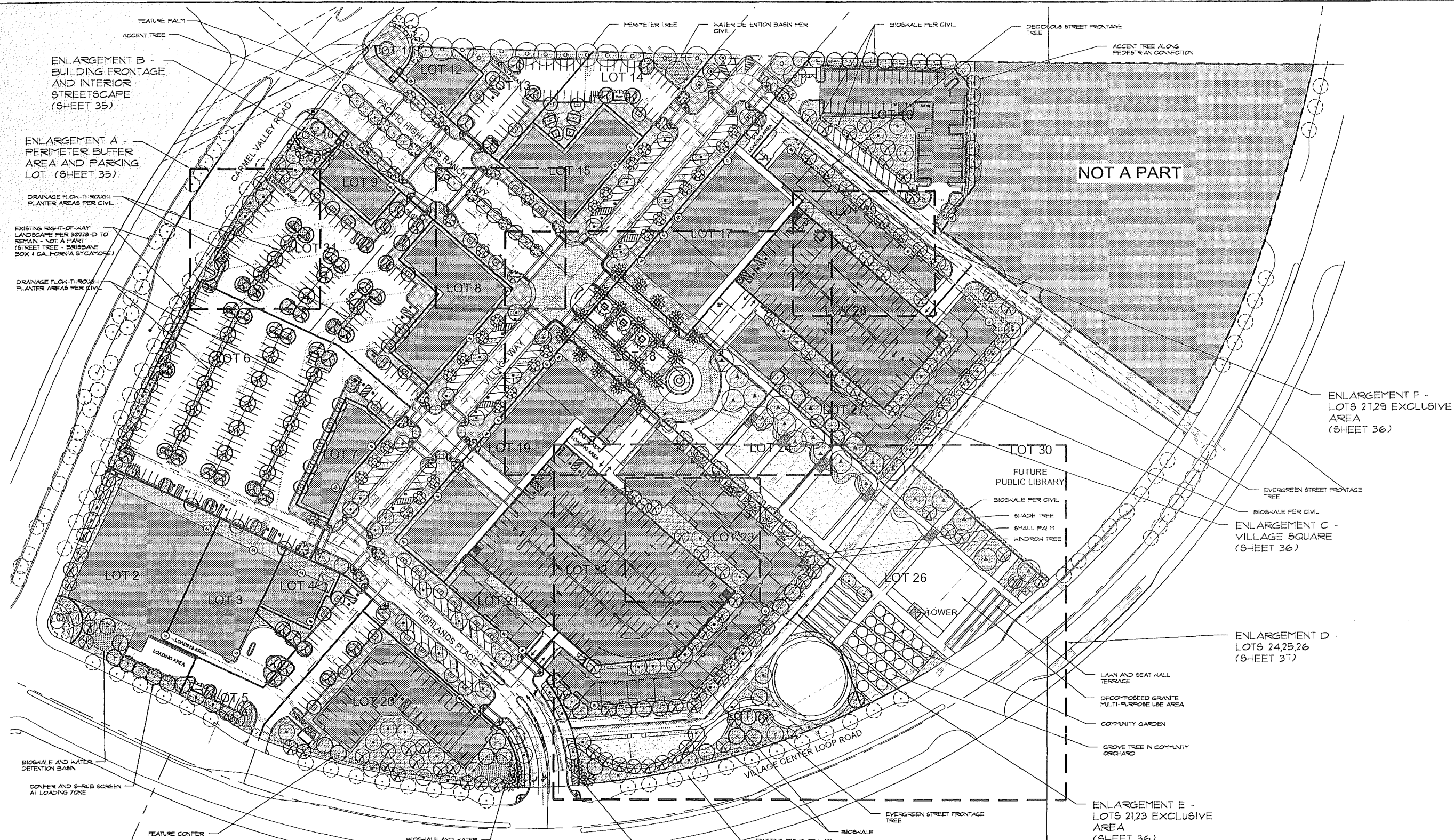
Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH

Sheet Title: LANDSCAPE DEVELOPMENT PLAN OVERALL LANDSCAPE PLAN DEP# 7029

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	OCTOBER 14, 2013
Revision 3:	SEPTEMBER 4, 2013
Revision 2:	AUGUST 5, 2013
Revision 1:	JUNE 3, 2013

Original Date: MARCH 25, 2013

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ENLARGEMENT B - BUILDING FRONTAGE AND INTERIOR STREETSCAPE (SHEET 35)

ENLARGEMENT A - PERIMETER BUFFER AREA AND PARKING LOT (SHEET 35)

NOT A PART

ENLARGEMENT F - LOTS 21,29 EXCLUSIVE AREA (SHEET 36)

ENLARGEMENT C - VILLAGE SQUARE (SHEET 36)

ENLARGEMENT D - LOTS 24,25,26 (SHEET 37)

ENLARGEMENT E - LOTS 21,23 EXCLUSIVE AREA (SHEET 36)

PROPOSED PLANT PALETTE - TREES

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD
⊗	FEATURED PALM - 100% 20' BTH WASHINGTONIA FILIFERA	CALIFORNIA DATE PALM	60'	20'
⊗	ACCENT PALM - 100% 20' BTH PHOENIX DACTYLIFERA ARCHONTOPHOENIX GUINEANSIS	DATE PALM KING PALM	80' 50'	30' 15'
⊗	SMALL PALM - 100% 24' BOX PHOENIX ROSELENI CHAMBERSOPHILUM TRACHYCARPUS FORTUAEI	PYGMY DATE PALM MEDITERRANEAN FAN PALM WINDMILL PALM	10' 20' 30'	6' 20' 10'
⊗	FEATURED CONIFER - 100% 24' BOX PINUS ELDARICA PINUS HALEPENSIS PINUS PINEA	AFGHAN PINE ALEPPO PINE ITALIAN STONE PINE	60' 60' 80'	25' 40' 60'
⊗	EVERGREEN STREET FRONTAGE TREE - 60% 36' BOX, 40% 24' BOX RODOCARPUS GRACILIOR ARJUNIA INDICA MAGNOLIA G. D.D. BLANCHARD	FERN PINE STRAWBERRY TREE SOUTHERN MAGNOLIA	60' 75' 50'	20' 25' 35'
⊗	DECIDUOUS STREET FRONTAGE TREE - 50% 36' BOX, 50% 24' BOX LIQUIDAMBAR STRACIFLIA JACARANDA MIMOSIFOLIA FISTACIA CHENSIS	AMERICAN SWEET GUM JACARANDA CHINESE PISTACHE	60' 40' 60'	25' 30' 30'
⊗	ACCENT TREE - 100% 24' BOX PYRUS CALLERYANA BRADFORD OLEA EUROPAEA SWAN HILL GEORGIA SPECIOSA	BRADFORD PEAR FRUITLESS OLIVE FLOSS SILK TREE	50' 30' 25'	30' 20' 25'

⊗	WINDROW TREE - 100% 24' BOX POPULUS NIGRA ITALICA PLATANUS ACERIFOLIA BLOODGOOD BRACHYTHON POPULNEUS	LOMBARDY POPULAR LONDON PLANE TREE BOTTLE TREE	100' 80' 50'	30' 40' 30'
⊗	'STREET' TREE - SHADE TREE - 50% 36' BOX, 50% 24' BOX PLATANUS RACEYOSA BETULA NIGRA ALNUS ROXBURGII	CALIFORNIA SYCAMORE RIVER BIRCH WHITE ALDER	80' 60' 40'	50' 60' 40'
⊗	GROVE TREE - 100% 36' BOX CITRUS VALENCIA CITRUS LANE LATE CITRUS NAVEL	VALENCIA ORANGE LANE LATE ORANGE CARA CARA ORANGE	20' 20' 20'	20' 20' 20'
⊗	PARKING LOT TREE - 100% 24' BOX LOPHOSTYCHIS CONFERTUS TIPIANA TIPU RUBUS LANCEA	BRISBANE BOX TIPIU TREE AFRICAN BUCK	45' 40' 30'	25' 60' 35'
⊗	PATIO TREE - 100% 24' BOX OLEA EUROPAEA SWAN HILL FRAXINUS CALIFORNICA KOEHLERIA BIPLANATA	FRUITLESS OLIVE TANIAN FLOWERING CHERRY CHINESE PLATE TREE	45' 75' 40'	25' 25' 40'
⊗	PERIMETER TREE - 100% 24' BOX PLATANUS RACEYOSA ALNUS ROXBURGII CINNAMOMUM CAMPHORA	CALIFORNIA SYCAMORE WHITE ALDER CAMPHOR TREE	80' 50' 50'	50' 40' 60'

MINIMUM TREE SEPARATION DISTANCE TABLE

IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE

TRAFFIC SIGNALS (STOP SIGNS) - 20 FEET

UNDERGROUND UTILITY LINES (EXCEPT SEWER) - 5 FEET

SEWER - 10 FEET

ABOVE GROUND UTILITY STRUCTURES - 10 FEET

DRIVEWAYS - 10 FEET

INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET

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NORTHEAST CORNER OF DEL MAR HEIGHTS
ROAD AND CARMEL VALLEY ROAD

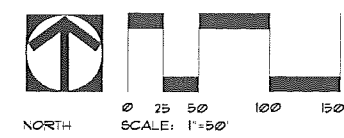
Project Name:
THE VILLAGE AT
PACIFIC HIGHLANDS RANCH

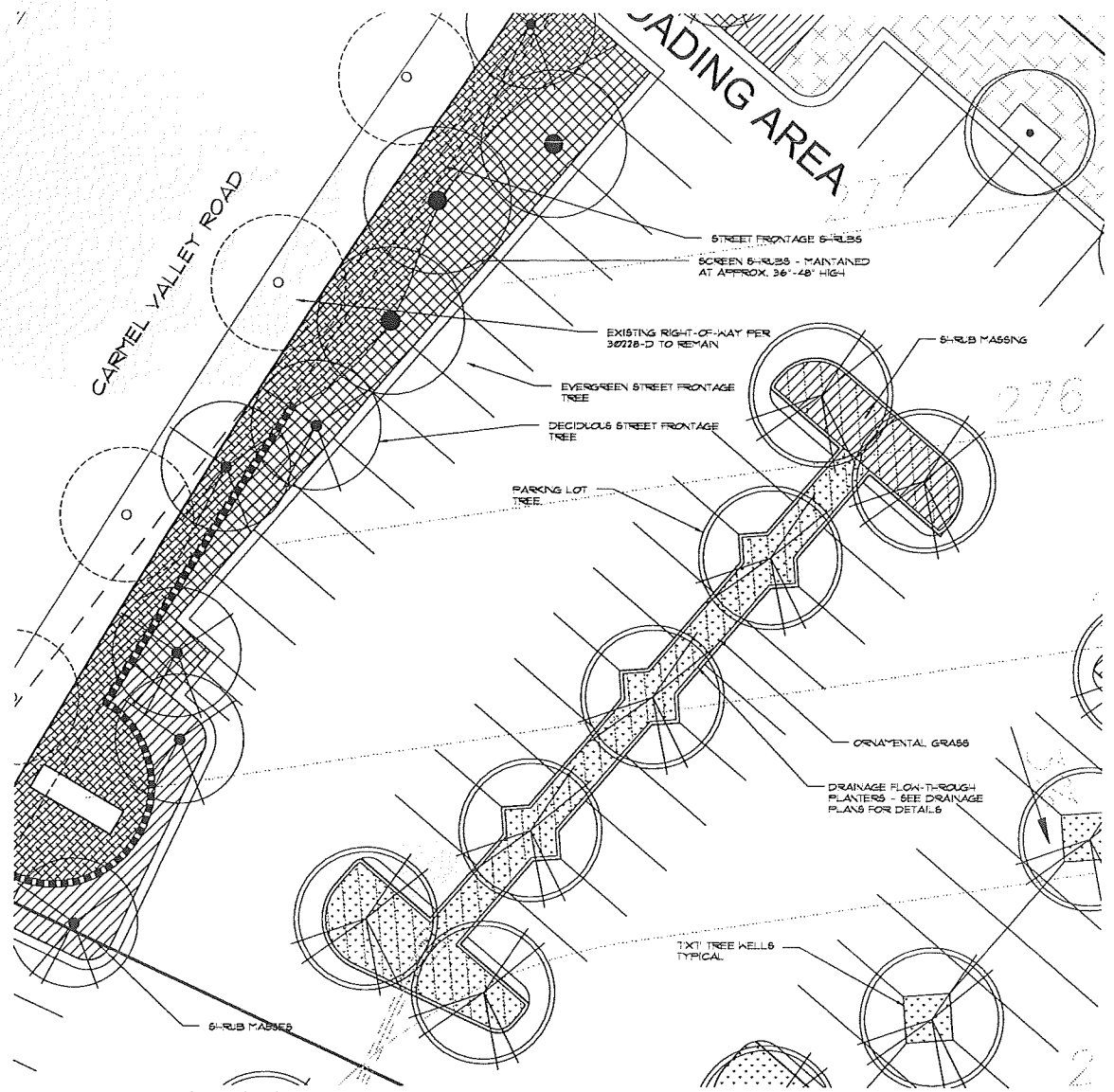
Sheet Title:
LANDSCAPE DEVELOPMENT PLAN
LANDSCAPE PLANTING PLAN DEP # 7029

Revision 14: _____
Revision 13: _____
Revision 12: _____
Revision 11: _____
Revision 10: _____
Revision 9: _____
Revision 8: _____
Revision 7: _____
Revision 6: _____
Revision 5: _____
Revision 4: OCTOBER 14, 2013
Revision 3: SEPTEMBER 4, 2013
Revision 2: AUGUST 5, 2013
Revision 1: JUNE 3, 2013

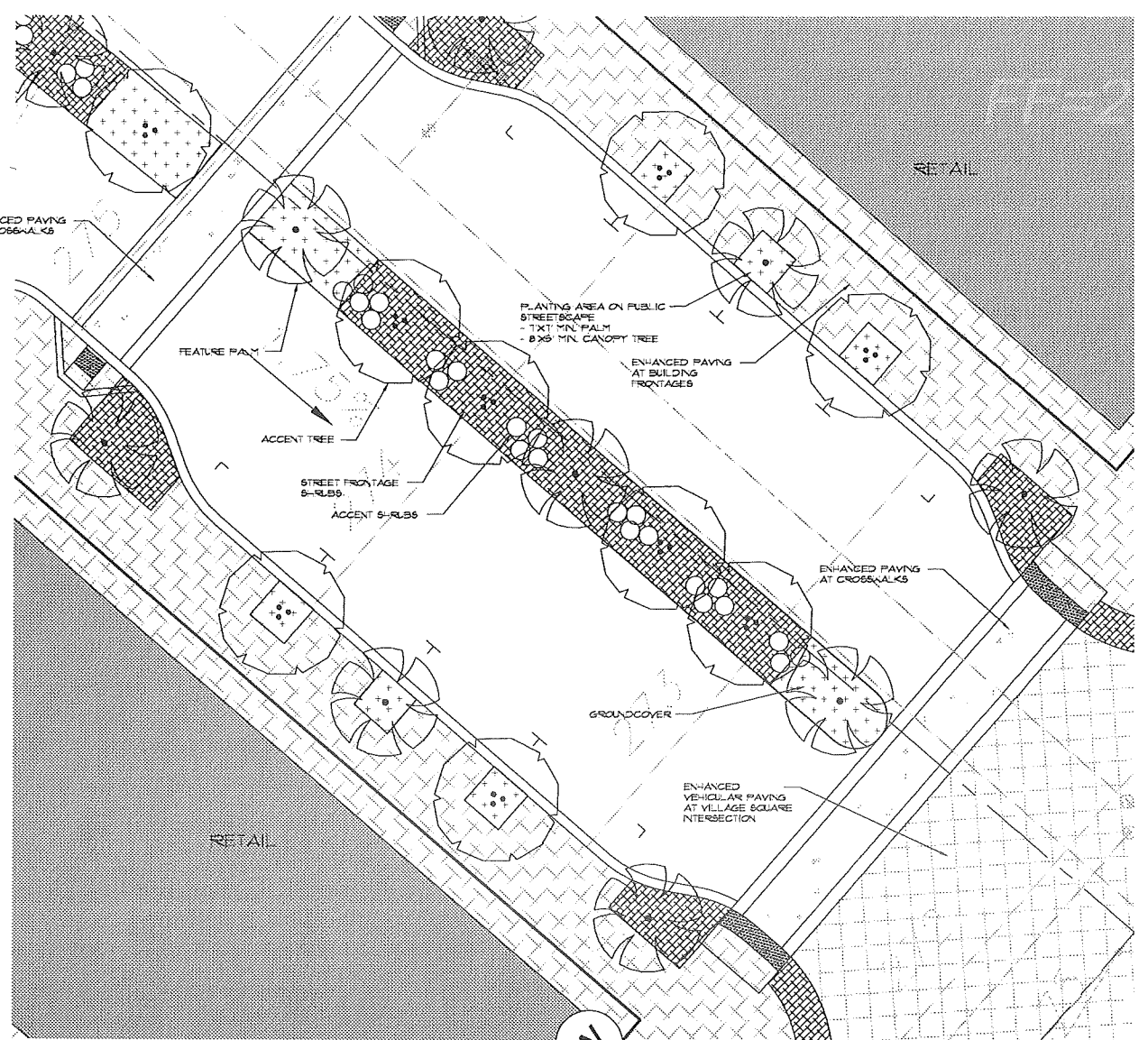
Original Date: MARCH 25, 2013

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A - PERIMETER PLANTING BUFFER AND PARKING LOT SCALE: 1"=10'



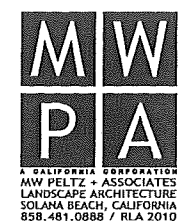
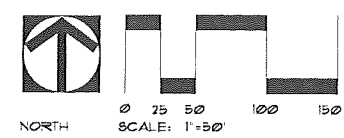
B - BUILDING FRONTAGE AND INTERIOR STREETSCAPE SCALE: 1"=10'

SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD
⊗	FEATHERED PALM - 100% 20' BOX WASHINGTONIA FILIFERA	CALIFORNIA DATE PALM	60'	20'
⊗	ACCENT PALM - 100% 20' BOX PHOENIX DACTYLIFERA ARCHONTOPHENIX CUANINGHAMIANA	DATE PALM KING PALM	80' 50'	30' 15'
⊗	SMALL PALM - 100% 24" BOX PHOENIX ROEBELENI CHAMAEOPHYS HUMILIS TRACHYCARPUS FORTUNEI	PIGGY DATE PALM MEDITERRANEAN FAN PALM WINDMILL PALM	10' 20' 30'	6' 20' 18'
⊗	FEATHERED CONIFER - 100% 24" BOX PINUS ELDARICA PINUS HALEPENSIS PINUS PINEA	AFGHAN PINE ALEPPO PINE ITALIAN STONE PINE	60' 60' 80'	25' 40' 60'
⊗	EVERGREEN STREET FRONTAGE TREE - 60% 36" BOX 50% 24" BOX PODOCARPUS GRACILIOR ARENULUS MARINA MAGNOLIA G. D.D. BLANCHARD	FERN PINE STRAWBERRY TREE SOUTH-EERN MAGNOLIA	60' 75' 50'	30' 25' 35'
⊗	DECIDUOUS STREET FRONTAGE TREE - 50% 36" BOX 50% 24" BOX LIQUIDAMBAR STRYACIFLUA JACARANDA MIMOSIFOLIA PISTACIA GINENSIS	AMERICAN SWEET GUM JACARANDA CHINESE PISTACHE	60' 40' 60'	25' 30' 50'
⊗	ACCENT TREE - 100% 24" BOX PYRUS CALLERYANA BRADFORD OLEA EUROPAEA SWAN HILL C-ORUBIA SPECIOSA	BRADFORD PEAR FRUITLESS OLIVE FLOSS SILK TREE	50' 30' 60'	30' 30' 25'
⊗	KINDRED TREE - 100% 24" BOX POPULUS NIGRA ITALICA PLATANUS ACERIFOLIA BLOODGOOD BRACHYDICTYON POPULNEUS	LOMBARDY POPULAR LONDON PLANE TREE BOTTLE TREE	100' 80' 50'	30' 40' 30'
⊗	'STREAN' BED' SHADE TREE - 50% 36" BOX 50% 24" BOX PLATANUS RACEYOSA BETULA NIGRA ALNUS R-OFFIFOLIA	CALIFORNIA BYCAMORE RIVER BIRCH WHITE ALDER	80' 90' 90'	50' 60' 40'
⊗	SHRUB TREE - 100% 36" BOX CITRUS VALENCIA CITRUS LANE LATE CITRUS NAVAL	VALENCIA ORANGE LANE LATE ORANGE CARA CARA ORANGE	20' 20' 20'	20' 20' 20'
⊗	PARKING LOT TREE - 100% 24" BOX LOR-OBTUMON CONFERTUS TRIFLAVA TRIFLORUS RUS LANCEA	BRISBANE BOX TRIFLORA TREE AFRICAN BLYMAC	45' 40' 30'	25' 60' 35'
⊗	RATIO TREE - 100% 24" BOX OLEA EUROPAEA SWAN HILL PRUNUS CAMPANULATA KOELTRETHERIA BIPINNATA	FRUITLESS OLIVE TAIWAN FLOWERING C-ERRY CHINESE FLAME TREE	45' 25' 40'	25' 25' 40'
⊗	PERMIETEE TREE - 100% 24" BOX PLATANUS RACEYOSA ALNUS R-OFFIFOLIA CINNAMOMUM CASSIA-ORRA	CALIFORNIA BYCAMORE WHITE ALDER CASSIA TREE	80' 90' 50'	50' 40' 60'

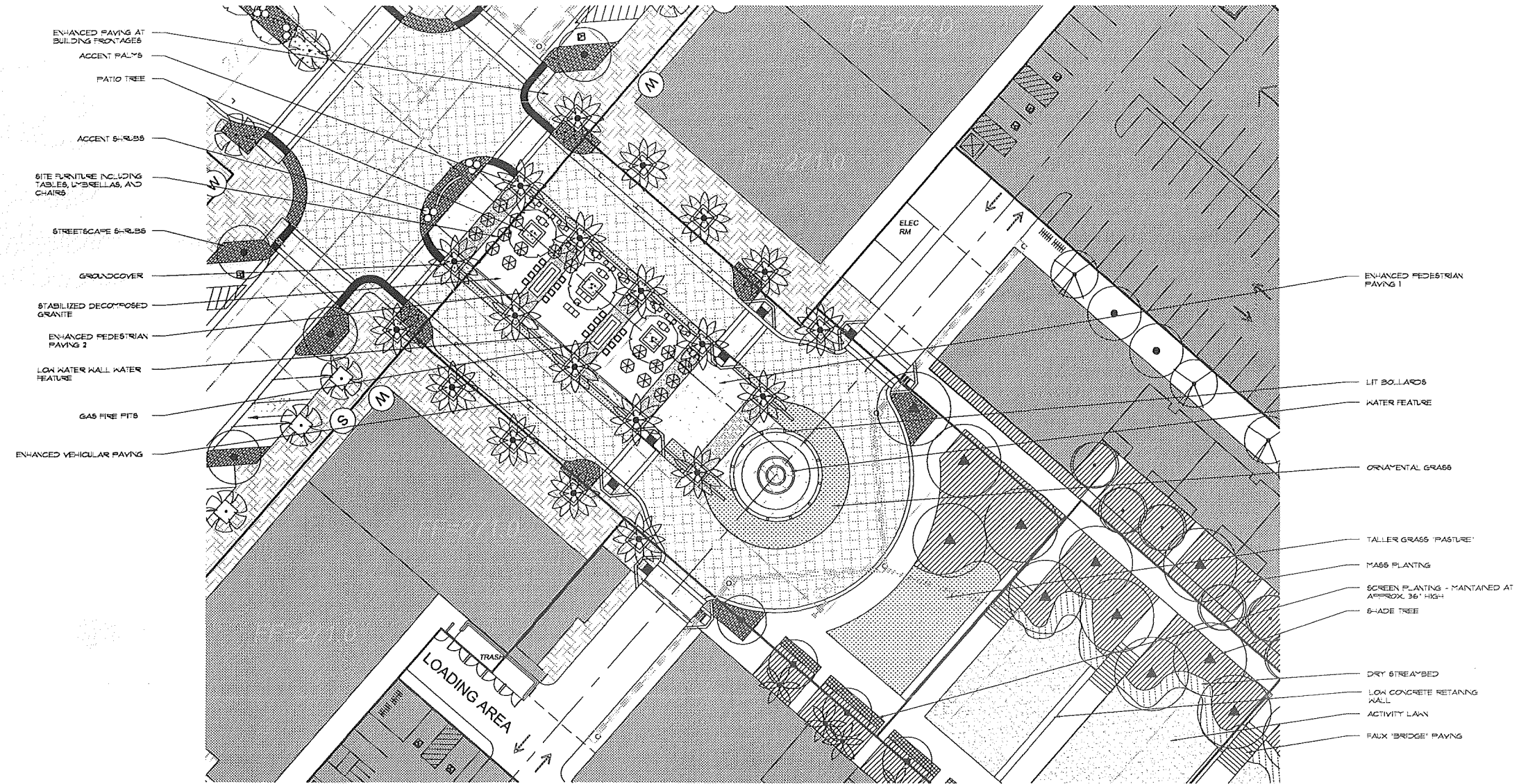
SYMBOL	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD
⊗	SCREEN 5-RUBS - 100% 5 GAL LIGULSTRUM JAPONICUM TEXANUM PITTOSPORUM TOBIIRA PRUNUS CAROLINIANA RHAPHIOLEPIS INDICA	TEXAS PRIVET TOBIIRA CAROLINA CHERRY INDIAN HAWTHORN		
⊗	STREET FRONTAGE 5-RUBS - 100% 1 GAL BUXUS MICROPHYLLA JAPONICA CALLISTEMON LITTLE JOHN SALVIA SPECIES PHYRORUM SPECIES ROSMARINUS SPECIES PITTOSPORUM SPECIES ROMNEYA COULTERI PHILODENDRON XANADU	APPROX 36" O.C. SPACING JAPANESE BOXWOOD LITTLE JOHN BOTTLEBRUSH SAGE FLAX ROSEMARY TOBIIRA MATELIA POPPY DWARF PHLODENDRON		
⊗	ACCENT 5-RUBS - 100% 5 GAL AGAVE SPECIES ALOE SPECIES ECHIN FASITIGIUM ANGONANTHOS SPECIES ROSA SPECIES	APPROX 36" O.C. SPACING AGAVE ALOE PRIDE OF MADIRA KANGAROO PAX ROSE		
⊗	ORIENTAL GRASSES - 100% 1 GAL MULLENBERGIA SPECIES CALYAGROSTIS ACUTIFLORA CAREX SPECIES JUNCUS SPECIES FESTUCA SPECIES	APPROX 36" O.C. SPACING DEER GRASS KARE FOENSTER SEDGE RUSH FESCUE		
⊗	5-RUB MASSES - 100% 5 GAL CEANTHUS SPECIES CIBTUS FLURIFERA SALVIA SPECIES PENICA GRANATUM NANA STREPTILITIA SPECIES TECOMARIA CAPENSIS FLORIBAGO ALSCULLATA BUDDLEIA DAVIDII	APPROX 36" O.C. SPACING CALIFORNIA LILAC ORCID ROCKROSE SAGE DWARF PROTEGRANATE BIRD-OF-PARADISE CAPE HONEYBUCKLE CAPE PUL-BAGO BUTTERFLY BUSH		
⊗	GROUND COVER - 100% 1 GAL GONOT-ERA BER-ANDIERI ROSEMARY SPECIES LANTANA SPECIES ACHILLEA SPECIES MYRORUM SPECIES BACCHARIS SPECIES EUC-SC-OLZIA CALIFORNICA LITHUNUS SPECIES LITHUNUS SPECIES PROTANTHERA CUNEATA GAURA SPECIES SENGIO TALINUS GRASSULA SPECIES	APPROX 18" O.C. SPACING MEXICAN PERIMROSE ROSEMARY LANTANA YARROW MYRORUM COYOTE BRUSH CALIFORNIA POPPY LUPINE LITMEE MINT GAURA BLUE CHALK STICKS DWARF JADE		

SYMBOL	YINES - 100% 5 GAL	APPROX. 8" O.C. SPACING
⊗	BOUGANVILLEA SPECIES MACADRYENA UNGIS-CATI DISTICHLIS SUCUNATORIA TRACHELOPERIUM JASMINOIDEUS FICUS REPENS	BOUGANVILLEA CAT'S CLAW VINE SLUG RED TRUFFET VINE STAR JASMINE CREEPING FIG
⊗	ESPALETS - 100% 5 GAL BOUGANVILLEA SPECIES CALLIANDRA HAEMATOCER-EIA GRENA CAFFRA ROSA SPECIES	PLACED AS APPROPRIATE BOUGANVILLEA PINK POWDER PUFF LAVENDER STARFLOWER ROSE
⊗	LANE - 100% SEED FESTUCA SPECIES BERMUDA HYBRID	TURF TYPE TALL FESCUE BERMUDA FIELD MIX

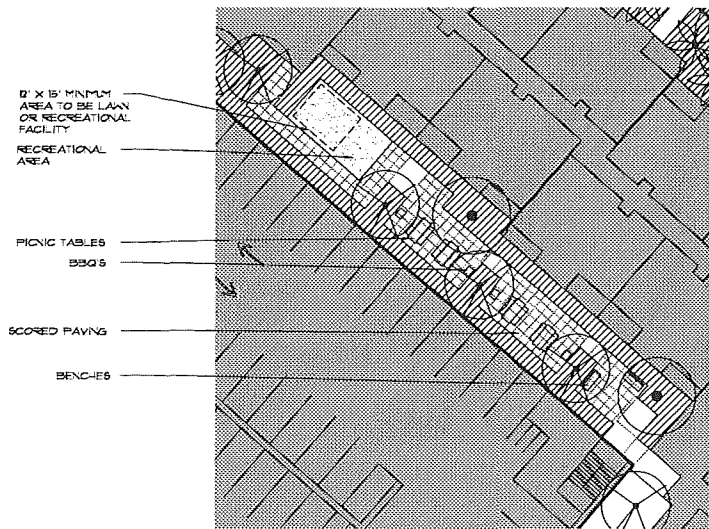
NOTE: PLANT SPECIES MAY BE ADDED DURING THE CREATION OF CONSTRUCTION DOCUMENTS SUBJECT TO REVIEW AND APPROVAL BY THE CITY OF SAN DIEGO



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 Fax #: 858.481.6808
 Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD
 Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH
 Sheet Title: LANDSCAPE DEVELOPMENT PLAN LANDSCAPE ENLARGEMENTS DEP# 7029
 Revision 14: _____
 Revision 13: _____
 Revision 12: _____
 Revision 11: _____
 Revision 10: _____
 Revision 9: _____
 Revision 8: _____
 Revision 7: _____
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 Revision 5: _____
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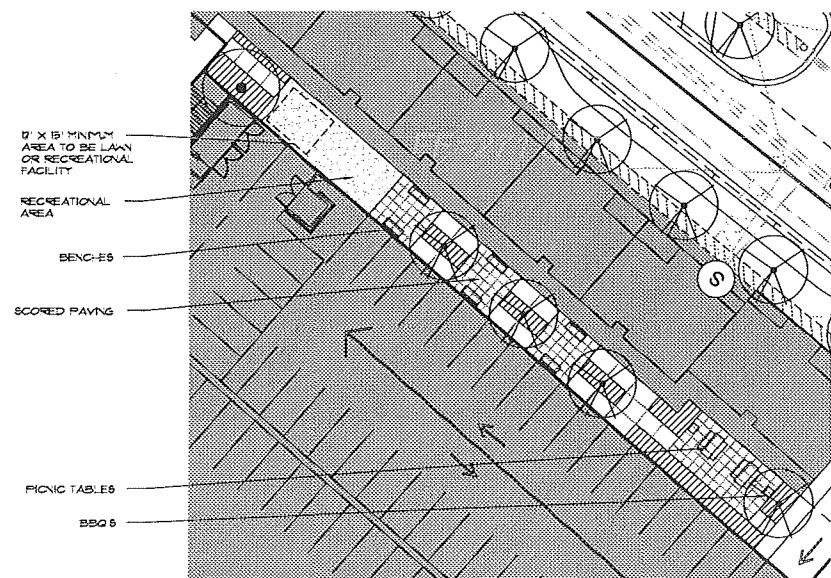


C - VILLAGE SQUARE AND PARTIAL LOT 24 SCALE: 1"=20'



E - EXAMPLE EXCLUSIVE AREA, LOTS 21 & 23 SCALE: 1"=20'

EXAMPLE SHOWN IS CONCEPTUAL. DESIGN MAY CHANGE SUBJECT TO CITY OF SAN DIEGO APPROVAL.



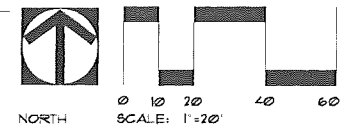
F - EXAMPLE EXCLUSIVE AREA, LOTS 27 & 29 SCALE: 1"=20'

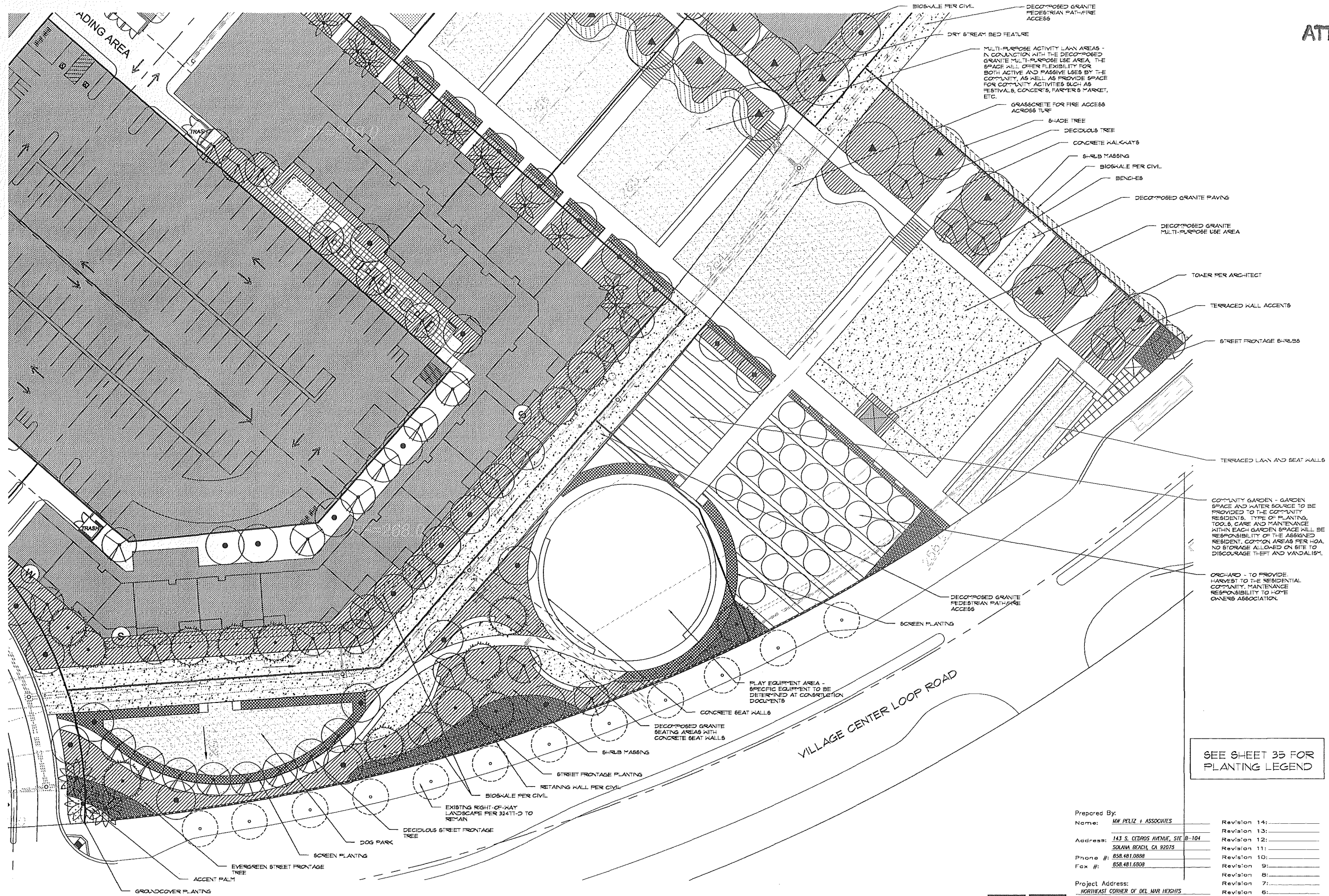
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SEE SHEET 35 FOR PLANTING LEGEND

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Original Date: MARCH 25, 2013
 Sheet 36 of 40
 MW PELTZ + ASSOCIATES LANDSCAPE ARCHITECTURE SOLANA BEACH, CALIFORNIA 858.481.0888 / RLA 2010
 LANDSCAPE DEVELOPMENT PLAN
 LANDSCAPE ENLARGEMENTS DEP# 7029





- BIOSWALE PER CIVIL
- DECOMPOSED GRANITE PEDESTRIAN PATH-FIRE ACCESS
- DRY STREAM BED FEATURE
- MULTI-PURPOSE ACTIVITY LAWN AREAS - IN CONNECTION WITH THE DECOMPOSED GRANITE MULTI-PURPOSE USE AREA, THE SPACE WILL OFFER FLEXIBILITY FOR BOTH ACTIVE AND PASSIVE USES BY THE COMMUNITY, AS WELL AS PROVIDE SPACE FOR COMMUNITY ACTIVITIES SUCH AS FESTIVALS, CONCERTS, FARMER'S MARKET, ETC.
- GRASSCOTE FOR FIRE ACCESS ACROSS TURF
- SHADE TREE
- DECIDUOUS TREE
- CONCRETE WALKWAYS
- SHRUB MASSING
- BIOSWALE PER CIVIL
- BENCHES
- DECOMPOSED GRANITE PAVING
- DECOMPOSED GRANITE MULTI-PURPOSE USE AREA
- TOWER PER ARCHITECT
- TERRACED WALL ACCENTS
- STREET FRONTAGE SHRUBS
- TERRACED LAWN AND SEAT WALLS
- COMMUNITY GARDEN - GARDEN SPACE AND WATER SOURCE TO BE PROVIDED TO THE COMMUNITY RESIDENTS. TYPE OF PLANTING, TOOLS, CARE AND MAINTENANCE WITHIN EACH GARDEN SPACE WILL BE RESPONSIBILITY OF THE ASSIGNED RESIDENT. COMMON AREAS PER HOA. NO STORAGE ALLOWED ON SITE TO DISCOURAGE THEFT AND VANDALISM.
- ORCHARD - TO PROVIDE HARVEST TO THE RESIDENTIAL COMMUNITY. MAINTENANCE RESPONSIBILITY TO HOME OWNERS ASSOCIATION.
- DECOMPOSED GRANITE PEDESTRIAN PATH-FIRE ACCESS
- SCREEN PLANTING
- PLAY EQUIPMENT AREA - SPECIFIC EQUIPMENT TO BE DETERMINED AT CONSTRUCTION DOCUMENTS
- CONCRETE SEAT WALLS
- DECOMPOSED GRANITE SEATING AREAS WITH CONCRETE SEAT WALLS
- SHRUB MASSING
- STREET FRONTAGE PLANTING
- RETAINING WALL PER CIVIL
- BIOSWALE PER CIVIL
- EXISTING RIGHT-OF-WAY LANDSCAPE PER 32411-D TO REMAIN
- DECIDUOUS STREET FRONTAGE TREE
- DOG PARK
- SCREEN PLANTING
- EVERGREEN STREET FRONTAGE TREE
- ACCENT PALM
- GROUNDCOVER PLANTING

D - LOTS 24, 25, 26
SCALE: 1"=20'



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Project Address:
NORTHEAST CORNER OF DEL MAR HEIGHTS
ROAD AND CARMEL VALLEY ROAD

Project Name:
THE VILLAGE AT
PACIFIC HIGHLANDS RANCH

Sheet Title:
LANDSCAPE DEVELOPMENT PLAN
LANDSCAPE ENLARGEMENTS DEP# 7029

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STREET YARD		VEHICULAR USE AREAS		REMAINING YARD	
REQUIRED PLANTING AREA	PLANTING AREA PROVIDED	REQUIRED PLANTING AREA	PLANTING AREA PROVIDED	REQUIRED PLANTING AREA	PLANTING AREA PROVIDED
COMMERCIAL 132,089 SF X 25% = 47,522 SF (TOTAL AREA)	PLANTING AREA AS DEFINED BY 142.0403(DX1) PLANTING (36,321 SF) + HARDSCAPE (DEF. 113.0103) (31,161 SF) = 67,482 SF (36% OF TOTAL AREA)	VIA INSIDE STREET YARD 125,911 SF X .05 = 6,293 SF	PLANTING AREA AS DEFINED BY 142.0403(DX1) 11,335 SF (5,296 SF EXCESS)	REMAINING YARD 27,313 SF X 30% = 8,194 SF (TOTAL AREA)	18,122 SF (9,928 SF EXCESS)
RESIDENTIAL 119,218 SF X 50% = 59,509 SF (TOTAL AREA)	PLANTING (12,296 SF) + HARDSCAPE (DEF. 113.0103) (2,171 SF) = 14,467 SF (62% OF TOTAL AREA)	VIA OUTSIDE STREET YARD 62,814 SF X .03 = 1,884 SF	2,293 SF (369 SF EXCESS)		
REQUIRED PLANTING POINTS	PLANTING POINTS PROVIDED - TREES ONLY	REQUIRED PLANTING POINTS	PLANTING POINTS PROVIDED - TREES ONLY	REQUIRED PLANTING POINTS	PLANTING POINTS PROVIDED
COMMERCIAL 132,089 SF X .05 = 9504 (TOTAL AREA)	9520 - 25 TREES X 100' (48' BOX) / 114 TREES X 50' (36' BOX) / 14 PALMS X 60' (20' BTH) / 3 EX PALMS X 60' (20' BTH) / 3 EX TREES X 100' (3' CAL)	VIA INSIDE STREET YARD 125,911 SF X .05 = 6,293 PTS	3,170 (50%) - 5 TREES X 100' (48' BOX) / 51 TREES X 50' (36' BOX) / 2 PALMS X 60' (20' BTH) REMAINDER OF POINTS TO BE MADE UP THROUGH SHRUBS	REMAINING YARD 27,313 X .05 = 1366 (TOTAL AREA)	1320 - 5 TREES X 50' (36' BOX) / 51 TREES X 10' (24' BOX)
RESIDENTIAL 119,218 SF X .03 = 3,550 (TOTAL AREA)	6180 - 120 TREES X 50' (36' BOX) / 3 PALMS X 60' (20' BTH)	VIA OUTSIDE STREET YARD 62,814 SF X .03 = 1,884 PTS	1000 (53%) - 10 TREES X 100' (48' BOX) (20') REMAINDER OF POINTS TO BE MADE UP THROUGH SHRUBS		

NOTES:
- THE MINIMUM SIZE FOR CANOPY TREES TO BE INSTALLED WITHIN THE RIGHT-OF-WAY OR WITHIN VEHICULAR USE AREAS IS 24" BOX.

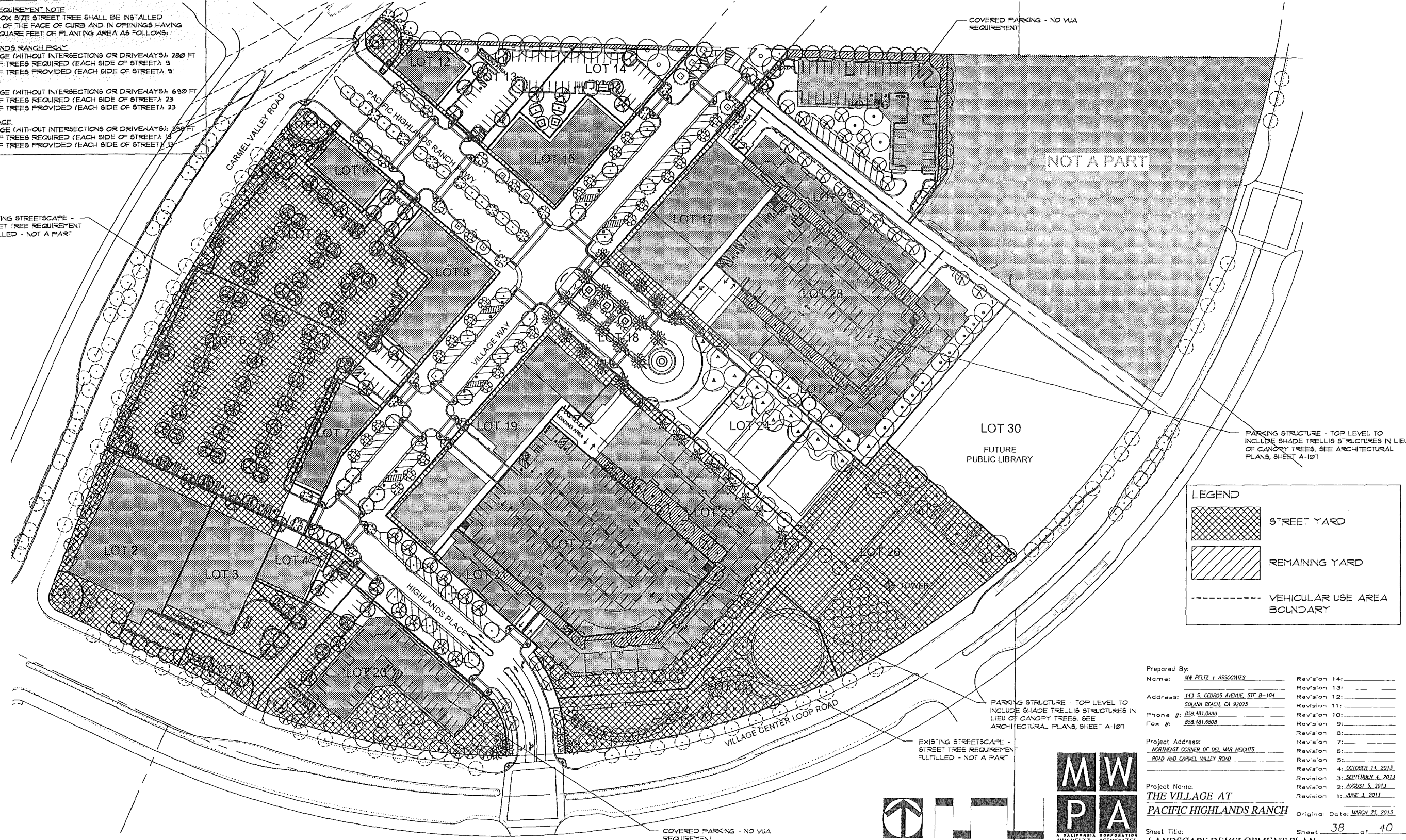
STREET TREE REQUIREMENT NOTE
A MINIMUM 24" BOX SIZE STREET TREE SHALL BE INSTALLED WITHIN TEN FEET OF THE FACE OF CURB AND IN OPENINGS HAVING A MINIMUM 40 SQUARE FEET OF PLANTING AREA AS FOLLOWS:

PACIFIC HIGHLANDS RANCH PKWY
STREET FRONTAGE (WITHOUT INTERSECTIONS OR DRIVEWAYS): 280 FT
- NUMBER OF TREES REQUIRED (EACH SIDE OF STREET): 9
- NUMBER OF TREES PROVIDED (EACH SIDE OF STREET): 9

VILLAGE WAY
STREET FRONTAGE (WITHOUT INTERSECTIONS OR DRIVEWAYS): 630 FT
- NUMBER OF TREES REQUIRED (EACH SIDE OF STREET): 23
- NUMBER OF TREES PROVIDED (EACH SIDE OF STREET): 23

HIGHLANDS PLACE
STREET FRONTAGE (WITHOUT INTERSECTIONS OR DRIVEWAYS): 390 FT
- NUMBER OF TREES REQUIRED (EACH SIDE OF STREET): 13
- NUMBER OF TREES PROVIDED (EACH SIDE OF STREET): 13

EXISTING STREETSCAPE - STREET TREE REQUIREMENT FULFILLED - NOT A PART



LEGEND

- [Cross-hatched box] STREET YARD
- [Diagonal lines box] REMAINING YARD
- [Dashed line] VEHICULAR USE AREA BOUNDARY

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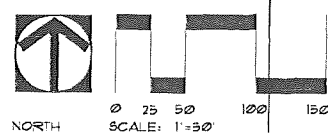
Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD

Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH

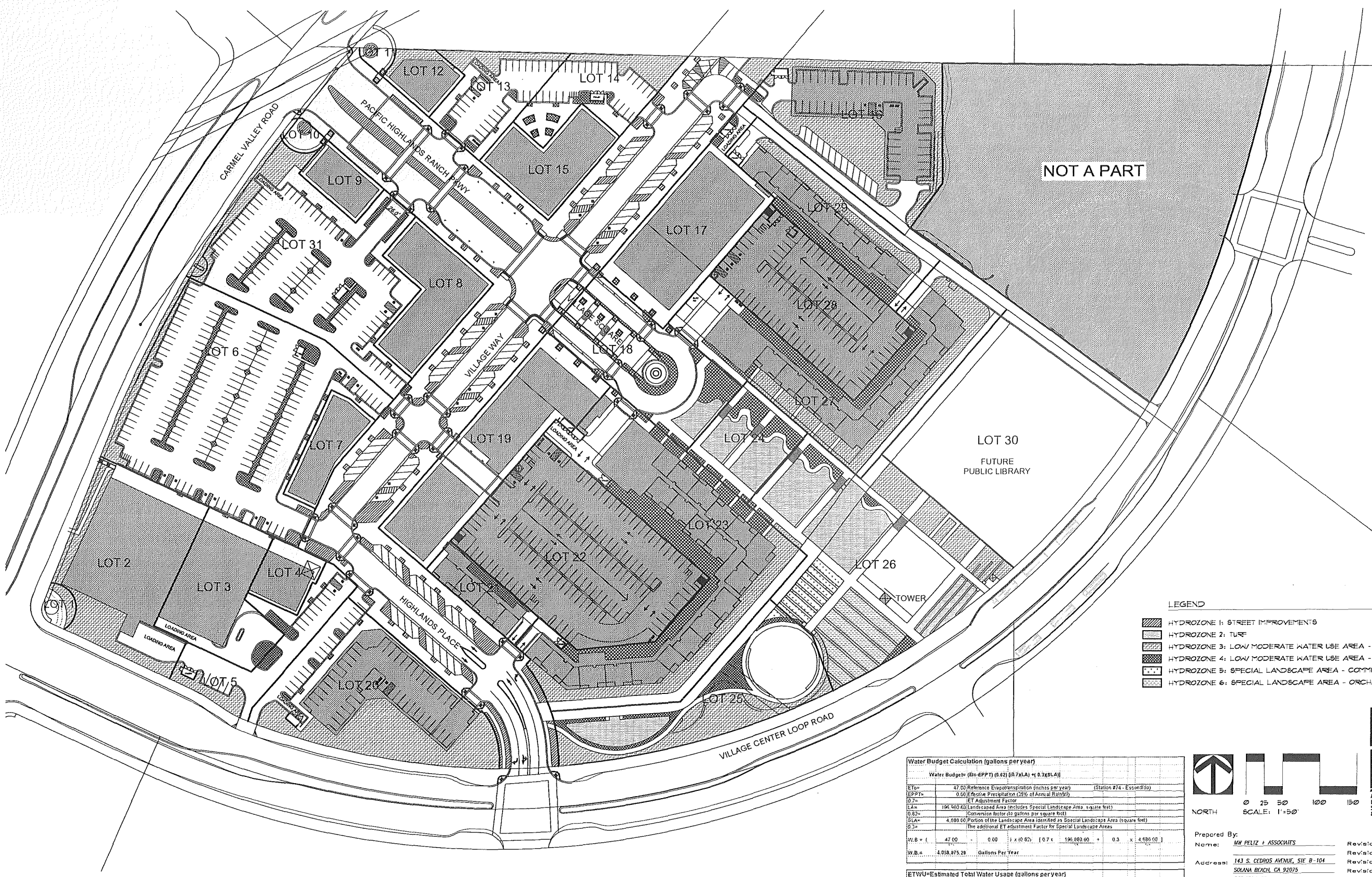
Sheet Title: LANDSCAPE DEVELOPMENT PLAN LANDSCAPE CALCULATIONS

Revision 14: _____
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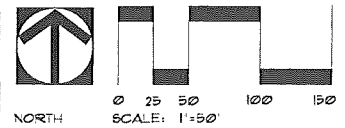


MW P A
 A CALIFORNIA CORPORATION
 MW PELTZ + ASSOCIATES
 LANDSCAPE ARCHITECTURE
 SOLANA BEACH, CALIFORNIA
 858.481.0888 / RLA 2010



LEGEND

- HYDROZONE 1: STREET IMPROVEMENTS
- HYDROZONE 2: TURF
- HYDROZONE 3: LOW/MODERATE WATER USE AREA - OVER-HEAD SPRAY
- HYDROZONE 4: LOW/MODERATE WATER USE AREA - DRIP
- HYDROZONE 5: SPECIAL LANDSCAPE AREA - COMMUNITY GARDEN
- HYDROZONE 6: SPECIAL LANDSCAPE AREA - ORCHARD



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NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD

Project Name:
THE VILLAGE AT PACIFIC HIGHLANDS RANCH

Sheet Title:
LANDSCAPE DEVELOPMENT PLAN IRRIGATION CONCEPT PLAN

- Revision 14: _____
- Revision 13: _____
- Revision 12: _____
- Revision 11: _____
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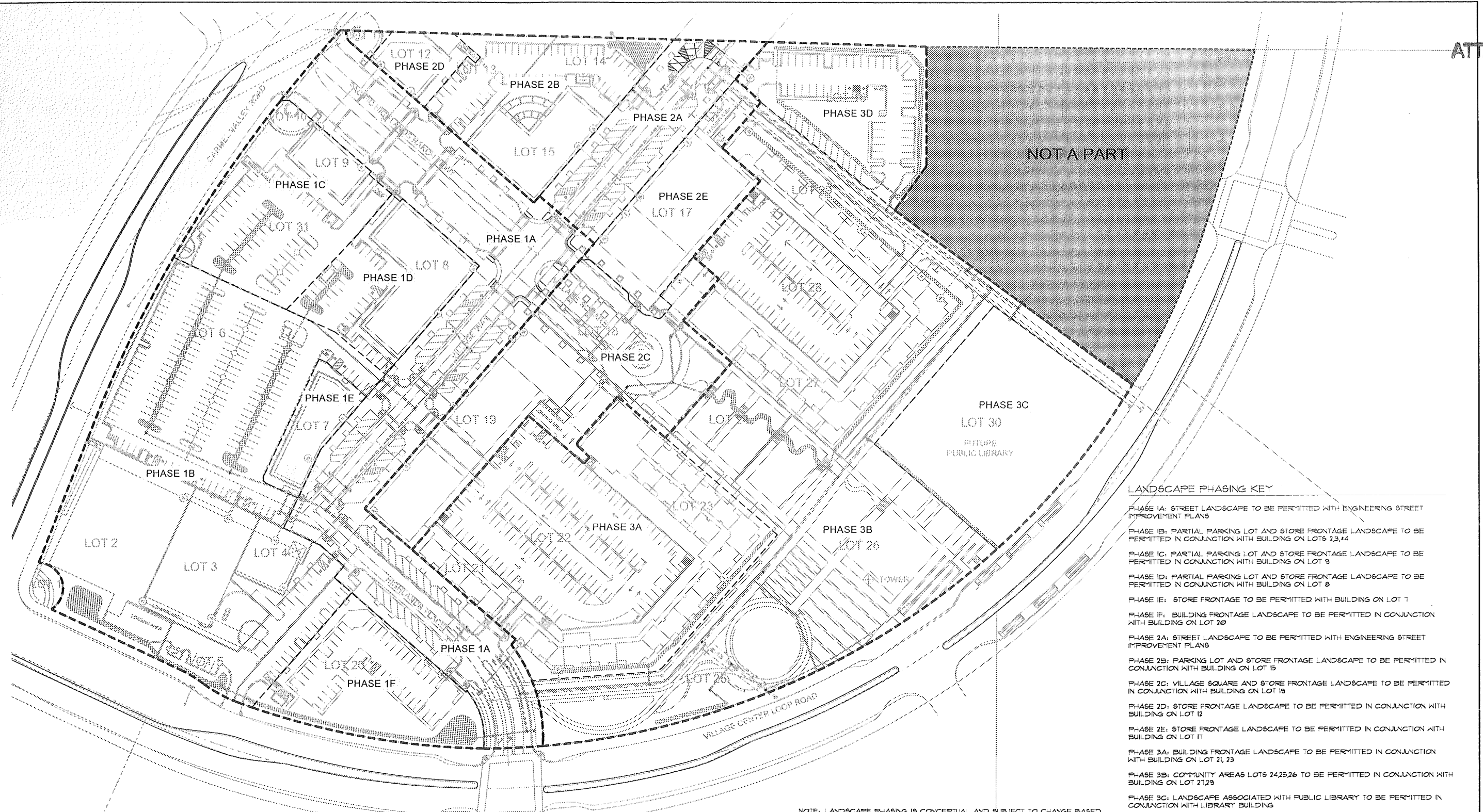
Sheet **39** of **40**

Water Budget Calculation (gallons per year)	
Water Budgets (Bio-EPP) (0.62) (0.7xLA) + (0.3xSLA)	
ET ₀	47.00 Reference Evapotranspiration (inches per year) (Station #74 - Escondido)
EPP%	0.60 Effective Precipitation (25% of Annual Rainfall)
ET _a	0.7x ET Adjustment Factor
LA	186,960 Landscape Area (square feet)
SLA	4,680 CC Special Landscape Area (square feet)
ET _{WU}	3,416,888.15 Gallons Per Year

ETWU=Estimated Total Water Usage (gallons per year)	
ETWU	3,416,888.15 Gallons Per Year

Summary	
MAWA=Maximum Applied Water Allowance (gallons per year)	4,688,975.28
ETWU=Estimated Total Water Usage (gallons per year)	3,416,888.15
ETWU - P.O.C. *A*	1,272,087.13
Estimated water use is	642,889.14 gallons per year less than the Maximum Applied Water Allowance

The Villages at Pacific Highlands Ranch - Hydrozone Table									
Control #	Hydrozone #	Value	Hydrozone	Plant Factor	Hydrozone	% of Total	PF x HA	IE	PF x HA / IE
#			Area (HA)	(Pop. NPP)	Area (HA)	Area (%)			
A	Street Improvements	0.4	21,970	0.8	17,576	9.37%	8,788.00	0.9	9,766.4
A	Turf	0.4	26,960	0.8	108,480	58.11%	30,752.00	0.75	27,312.0
A	Low Mod. water use	0.4	123,768	0.8	49,502.40	26.53%	49,502.40	0.75	66,003.2
A	Local Mod. water use	0.4	20,907	0.8	8,362.80	4.48%	8,362.80	0.9	9,292.0
A	Special Landscape area-Community Garden	0.8	4,350	0.8	18,396	9.84%	3,460	0.75	4,613.3
A	Special Landscape area-Orchard	0.4	338	0.8	1,352	0.72%	134	0.85	158.1
					TOTAL	186,960	100%		117,229

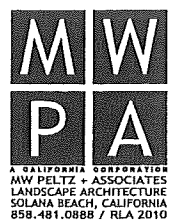
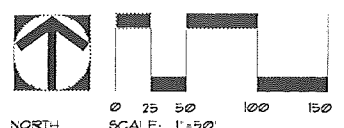


LANDSCAPE PHASING KEY

- PHASE 1A: STREET LANDSCAPE TO BE PERMITTED WITH ENGINEERING STREET IMPROVEMENT PLANS
- PHASE 1B: PARTIAL PARKING LOT AND STORE FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOTS 2,3,4
- PHASE 1C: PARTIAL PARKING LOT AND STORE FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 9
- PHASE 1D: PARTIAL PARKING LOT AND STORE FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 8
- PHASE 1E: STORE FRONTAGE TO BE PERMITTED WITH BUILDING ON LOT 7
- PHASE 1F: BUILDING FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 20
- PHASE 2A: STREET LANDSCAPE TO BE PERMITTED WITH ENGINEERING STREET IMPROVEMENT PLANS
- PHASE 2B: PARKING LOT AND STORE FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 15
- PHASE 2C: VILLAGE SQUARE AND STORE FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 19
- PHASE 2D: STORE FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 12
- PHASE 2E: STORE FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 17
- PHASE 3A: BUILDING FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 21, 23
- PHASE 3B: COMMUNITY AREAS LOTS 24,25,26 TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 27,29
- PHASE 3C: LANDSCAPE ASSOCIATED WITH PUBLIC LIBRARY TO BE PERMITTED IN CONJUNCTION WITH LIBRARY BUILDING
- PHASE 3D: BUILDING FRONTAGE LANDSCAPE TO BE PERMITTED IN CONJUNCTION WITH BUILDING ON LOT 16

NOTE: LANDSCAPE PHASING IS CONCEPTUAL AND SUBJECT TO CHANGE BASED UPON FUTURE LEASING, PERMITTING, CONSTRUCTION SCHEDULES AND OTHER UNFORESEEN CIRCUMSTANCES.

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Fax #: 858.481.6808	Project Address: NORTHEAST CORNER OF DEL MAR HEIGHTS ROAD AND CARMEL VALLEY ROAD	Revision 12: _____
Project Name: THE VILLAGE AT PACIFIC HIGHLANDS RANCH	Sheet Title: LANDSCAPE DEVELOPMENT PLAN LANDSCAPE PHASING PLAN	Revision 11: _____
Original Date: MARCH 25, 2013	Sheet 40 of 40	Revision 10: _____
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LANDSCAPE PHASING PLAN
SEP# 7029

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DOCUMENT NUMBER 2010-0321256
DAVID L. BUTLER, COUNTY RECORDER
SAN DIEGO COUNTY RECORDER'S OFFICE
TIME: 9:37 AM

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 42-1524

PLANNED DEVELOPMENT PERMIT NO. 12852
SITE DEVELOPMENT PERMIT NO. 433515 and
CONDITIONAL USE PERMIT NO. 628324
PACIFIC HIGHLANDS RANCH VILLAGE-PROJECT NO. 7029
CITY COUNCIL

This Planned Development Permit [PDP] No. 12852, Site Development Permit [SDP] No. 433515 and Conditional Use Permit [CUP] No. 628324 is granted by the Council of the City of San Diego to Pardee Homes, a California Corporation, and Pacific Carmel AFG, LLC, a California limited liability company, Pacific Carmel MAG, LLC, a California limited liability company, Pico Madeira RWJ, LLC, a California limited liability company, and Pico Madeira TMJ, LLC, a California limited liability company, collectively known as the Gonsalves Ownership, Owner/Permittee pursuant to San Diego Municipal Code [SDMC] Sections 126.0604(a), 126.0504 and 126.0305. The 27.67-acre site is located at the northeast corner of Carmel Valley Road and Del Mar Heights Road in the CC-1-3 and Urban Village Overlay Zones of the Pacific Highlands Ranch Subarea Plan. The project site is legally described as being a subdivision of Parcel 2 of Parcel Map No. 18971, filed May 23, 2002, as File No. 2002-0439514 of Official Records together with a portion of the west half of the northwest quarter of section 15, township 14 south, range 3 west, San Bernardino Meridian, according to official plat thereof, all lying northerly and westerly of the San Diego Freeway 56, as described in deed recorded December 28, 2001, as File No. 2001-0965036 and February 26, 2002, as File No. 2002-0161208 of Official Records.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to subdivide and develop a project with 294 residential units, 195,000 square-foot of commercial retail space, 20,000 square-foot of commercial office space, a proposed parcel for a future public library and a civic use area, with specific deviations to the requirements of the Land Development Code, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated January 26, 2010, on file in the Development Services Department. Of the 294 residential units seventy-five units, as shown on Lot 14 of Vesting Tentative Map No. 433521, shall accrue to the Gonsalves Ownership,

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collectively, and 219 units shall accrue to Pardee Homes. All of the 195,000 square-feet of commercial retail space shall accrue to Pardee Homes. All of the 20,000 square-feet of commercial office space, as shown on Lot 2 of Vesting Tentative Map No. 433521, shall accrue to the Gonsalves Ownership, collectively.

The project shall include:

- a. Subdivide and develop a project with 294 multi-family residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area, with specific deviations to the requirements of the Land Development Code;
- b. Five general deviations are granted throughout the project include: 1. Allow a deviation to LDC Section 131.0540(c) for ground floor use restrictions, 2 through 5. Allow deviations to LDC Section 131.0531, Table 131-05E for minimum lot width; minimum lot street frontage; minimum front yard setback; minimum rear yard setback; and maximum building height. For a full and complete list of locations, refer to Exhibit "A," sheet 3 of 34.
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and
- e. Accessory improvements determined by the Development Services Department to be consistent with the land use and development standards in effect for this site per the adopted community plan, California Environmental Quality Act Guidelines, public and private improvement requirements of the City Engineer, the underlying zone(s), conditions of this Permit, and any other applicable regulations of the SDMC in effect for this site.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC with the thirty-six month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker.

2. No permit for the construction, occupancy or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:

- a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
- b. The Permit is recorded in the Office of the San Diego County Recorder.

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3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

Non compliance with the terms of this Permit by one of the Owner/Permittee entities, Pardee Homes or the Gonzalves Ownership, shall not place the other Owner/Permittee into non-compliance under the terms of this Permit. The complying Owner/Permittee shall be allowed to proceed with its development under this Permit notwithstanding the non-compliance or continual non-compliance by the other Owner/Permittee.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.

5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.

6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

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10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

11. The Property that is subject to the terms of this Permit may be developed in phases.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in the Pacific Highlands Ranch Village Project Findings to the Pacific Highlands Ranch Subarea III Plan Master EIR (LDR No. 96-7918), No. 7029 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

14. The Owner/Permittee shall comply with the MMRP as specified in the Pacific Highlands Ranch Village Project Findings to the Pacific Highlands Ranch Subarea III Plan Master EIR (LDR No. 96-7918), No. 7029, satisfactory to the Development Services Department and the City Engineer. Prior to issuance of the first grading permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures as specifically outlined in the MMRP shall be implemented for the following issue areas:

- Transportation/Traffic Circulation
- Biological Resources
- Hydrology/Water Quality
- Land Form Alteration/Visual Quality
- Geology/Soils
- Paleontological Resources
- Noise
- Public Services/Facilities
- Water Conservation

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Public Safety

15. Prior to issuance of any construction permit, the Owner/Permittee shall pay the Long Term Monitoring Fee in accordance with the Development Services Fee Schedule to cover the City's costs associated with implementation of permit compliance monitoring.

HOUSING COMMISSION REQUIREMENTS:

16. Prior to issuance of the first residential building permit, the Owner/Permittee shall enter into an Affordable Housing Agreement with the Housing Commission to ensure compliance with the Declaration of Covenants, Conditions and Restrictions Regarding Affordable Housing Program for Pacific Highlands Ranch (NCFUA Subarea III), including the set-aside of no less than 20 percent of the pre-density bonus units as affordable housing.

ENGINEERING REQUIREMENTS:

17. Prior to issuance of any occupancy permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent Best Management Practice [BMP] maintenance.

18. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate any construction BMPs necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.

19. Prior to the issuance of any construction permits, the Owner/Permittee shall incorporate and show the type and location of all post-construction BMPs on the final construction drawings, in accordance with the approved Water Quality Technical Report.

20. The Planned Development Permit No. 12852, Site Development Permit No. 433515 and Conditional Use Permit No. 628324 shall comply with the conditions of the Pacific Highlands Ranch Village Vesting Tentative Map No. 433521.

21. The drainage system proposed for this development and outside of the public right-of-way is private and subject to approval by the City Engineer.

22. All driveways and curb openings shall comply with City Standard Drawings G-14A, G-14B, G-16 and SDG-100.

23. Prior to the issuance of a building permit the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.

24. Development of this project shall comply with all requirements of State Water Resources Control Board [SWRCB] Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge

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Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan [SWPPP] and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent [NOI] shall be filed with the SWRCB.

25. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99-08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 99-08 DWQ.

26. Prior to issuance of an occupancy permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for a portion of the private 48 inch RCP drainage pipe within the public right-of-way, satisfactory to the City Engineer.

LANDSCAPE REQUIREMENTS:

27. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydro-seeding of all disturbed land shall be submitted in accordance with the Landscape Standards, to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit and Exhibit "A."

28. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall take into account a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

29. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit "A." These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as "landscaping area."

30. Prior to issuance of any construction permits for any structures, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the City Manager for approval. The construction documents shall be in substantial conformance with Exhibit "A." Construction plans shall provide for a 40 square-foot area around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)5.

31. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections. A "No Fee" Street Tree permit shall be obtained for the installation, establishment, and on-going maintenance of all proposed street trees.

ORIGINAL

32. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

33. The Owner/Permittee shall be responsible for the installation and maintenance of all landscape improvements consistent with the Land Development Code: Landscape Regulations and the Land Development Manual: Landscape Standards. Invasive species are prohibited from being planted adjacent to any canyon, water course, wet land or native habitats within the city limits of San Diego. Invasive plants are those which rapidly self propagate by air born seeds or trailing as noted in section 1.3 of the Landscape Standards.

34. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements in the right-of-way consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity. In this case, a Landscape Maintenance Agreement shall be submitted for review by a Landscape Planner.

35. If any required landscape, including existing or new plantings, hardscape, landscape features, et cetera, indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within thirty days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

36. Owner/Permittee shall maintain a minimum of no fewer than 2,189 parking spaces (2,055 on site and 134 on local internal streets) on the property at all times in the approximate locations shown on the approved Exhibit "A," which includes 91 disabled accessible spaces per CBC Chapter 11A, Section 1118A. Additionally, a minimum of 59 motorcycle, 167 bicycle and 8 off-street loading spaces shall be provided on site. Parking spaces shall comply at all times with the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

37. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

38. All signs associated with this development shall be consistent with sign criteria established by City-wide sign regulations or a subsequently approved Comprehensive Sign Plan.

39. The Owner/Permittee shall post a copy of this Permit and the Vesting Tentative Map in the sales office for consideration by each prospective buyer.

40. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

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41. The cinema theater shall be limited in its hours of operation. The cinema theater shall close at midnight Sunday through Thursday and shall close no later than 1:00 a.m. on Friday and Saturday.

42. The Owner/Permittee shall develop a 2-acre privately owned and maintained Civic Use area (Vesting Tentative Map Lots 20 and 22) and 1.5 acre portion of Lot 21 as a Civic Use Area with the development of Unit 2 or Unit 3. The Civic Use area shall be available for use by the public.

43. The Owner/Permittee shall make available to prospective buyers of all residential units information on energy efficient appliances and technology in its marketing materials and within its sales office and shall either provide, or offer as an option, alternative energy technologies to be incorporated into the residences during construction.

44. The public library shall be designed in conformance with the Pacific Highlands Ranch Subarea Plan design guidelines for Village development contained in yet not limited to Section 5.4. The library building and site shall be designed with a pedestrian emphasis on all four sides of the site, with particular emphasis along that side of the building fronting the Village Square, in substantial conformance with the approved Exhibit "A." Development of the library site shall require a Process Two Substantial Conformance Review application and decision.

TRANSPORTATION REQUIREMENTS

45. Prior to issuance of any building permit, the project shall conform to the Subarea III/Pacific Highlands Ranch Transportation Phasing Plan and the approved Traffic Study/final EIR.

WASTEWATER REQUIREMENTS:

46. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public sewer facilities necessary to serve this development.

47. The Owner/Permittee shall design and construct all proposed public sewer facilities to the most current edition of the City of San Diego's sewer design guide. Proposed facilities that do not meet the current standards shall be re-designed.

48. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check. Improvement drawings are required for private sewer facilities serving more than one lot.

49. The Owner/Permittee shall provide evidence, satisfactory to the Public Utilities Director, indicating that each building/dwelling unit will have its own sewer lateral or provide CC&R's for the operation and maintenance of on-site private sewer mains that serve more than one ownership.

ORIGINAL

50. The Owner/Permittee shall provide an Encroachment Removal Agreement for and prior to proposed improvements of any kind, including utilities, landscaping, enriched paving, and electrical conduits to be installed within the public right-of-way or public easement.

51. No structures or landscaping that would inhibit vehicular access will be installed in or over any sewer easement. No shrubs more than 2 feet in height at maturity are allowed within any sewer easements. No trees are allowed within 10 feet of any Public Sewer Mains or Sewer Laterals. No pressurized landscape irrigation mains or electrical facilities are allowed within any Sewer Easements.

WATER REQUIREMENTS:

52. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water service(s) outside of any driveway, and the disconnection at the water main of the existing unused water service adjacent to the project site, in a manner satisfactory to the Public Utilities Director and the City Engineer.

53. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device, on irrigation water service, in a manner satisfactory to the Public Utilities Director and the City Engineer.

54. Prior to the issuance of any certificates of occupancy, all public water facilities shall be complete and operational in a manner satisfactory to the Public Utilities Director and the City Engineer.

PLANNING COMMISSION REQUIREMENTS:

55. Prior to the issuance of any building permit for the parking structure identified on Exhibit "A" as Building Five within Lot 8, the Owner/Permittee shall indicate on the construction plans photovoltaic panels for the generation of electricity on the trellises on the roof deck of the parking structure, in a manner satisfactory to the Development Services Department.

CITY COUNCIL REQUIREMENTS:

56. Use of all loading docks shall be prohibited between the hours of 12:00 a.m. and 6:00 a.m.

57. Deliveries to the commercial areas shall be prohibited between the hours of 12:00 a.m. and 6:00 a.m.

58. A tot-lot shall be provided in proximity to the residential units within the village.

59. The civic space shall be retained as a public use civic space with no private development allowed within the civic space area.

60. The right turn-in and right turn-out driveway on Carmel Valley Road shall be eliminated.

ORIGINAL

61. Sub-metering shall be provided to all residential units.

INFORMATION ONLY:

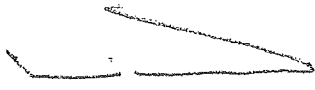
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this development permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on January 26, 2010, Resolution
No. R- 305580

ORIGINAL

Permit Type/PTS Approval No.:
Planned Development Permit No. 12852,
Site Development Permit No. No. 433515
Conditional Use Permit No. 628324
Date of Approval: January 26, 2010

AUTHENTICATED BY THE DEVELOPMENT SERVICES DEPARTMENT




Mike Westlake
Program Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, except as they related to lots 2 and 14 of Vesting Tentative Map No. 433521, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Pardee Homes, a California Corporation
Owner/Permittee

By 

Beth Fischer
Vice President

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

ORIGINAL

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit, as they related to lots 2 and 14 of Vesting Tentative Map No. 433521, and promises to perform each and every obligation of Owner/Permittee hereunder.

Pacific Carmel AFG, LLC, a California limited liability company
Owner/Permittee

By: [Signature]
Its: mgr
Dated: 6/3/10

Pacific Carmel MAG, LLC, a California limited liability company
Owner/Permittee

By: [Signature]
Its: mgr
Dated: 6/3/10

Pico Madeira RWJ, LLC, a California limited liability company
Owner/Permittee

By: Richard W. Joseph III
Its: mgr
Dated: 6/11/10

Pico Madeira TMJ, LLC, a California limited liability company
Owner/Permittee

By: Juan Manuel Joseph
Its: mgr
Dated: 6/7/2010

NOTE: Notary acknowledgments must be attached per Civil Code section 1189 et seq.

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R: 305580

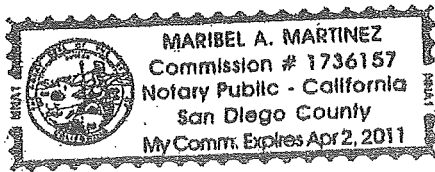
CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

State of California

County of San Diego

On June 22, 2010 before me, Maribel A. Martinez, Notary Public
Date Here Insert Name and Title of the Officer

personally appeared Mike Wutlake
Name(s) of Signer(s)



who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature Maribel Martinez
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Pacific Highlands Ranch Village Plot # 7029

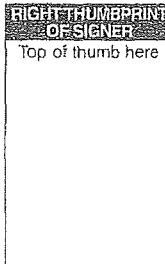
Document Date: January 26, 2010 Number of Pages: 11

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____

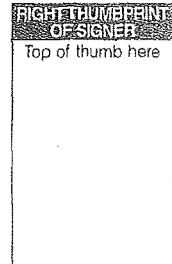
- Individual
- Corporate Officer — Title(s): _____
- Partner — Limited General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: _____



Signer Is Representing: _____

Signer's Name: _____

- Individual
- Corporate Officer — Title(s): _____
- Partner — Limited General
- Attorney in Fact
- Trustee
- Guardian or Conservator
- Other: _____



Signer Is Representing: _____

STATE OF CALIFORNIA }
 }
COUNTY OF SAN DIEGO }

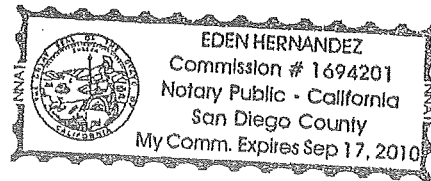
SS

On June 1, 2010 before me, Eden Hernandez, Notary Public, personally appeared Beth Fischer, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her authorized capacity, and that by her signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature:  (Seal)



CALIFORNIA ALL-PURPOSE ATTACHMENT 1 3 CERTIFICATE OF ACKNOWLEDGMENT

State of California

County of SAN DIEGO

On 06/11/2010 before me, R. C. KOTHARI, Notary Public
(Here insert name and title of the officer)

personally appeared RICHARD WILSON JOHN III

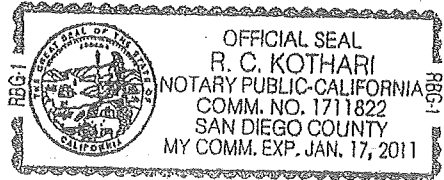
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

R. C. Kothari
Signature of Notary Public

(Notary Seal)



ADDITIONAL OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT

Resolution # 305580
(Title or description of attached document)

(Title or description of attached document continued)

Number of Pages _____ Document Date _____

(Additional information)

CAPACITY CLAIMED BY THE SIGNER

- Individual (s)
 Corporate Officer

(Title)

- Partner(s)
 Attorney-in-Fact
 Trustee(s)
 Other _____

INSTRUCTIONS FOR COMPLETING THIS FORM

Any acknowledgment completed in California must contain verbiage exactly as appears above in the notary section or a separate acknowledgment form must be properly completed and attached to that document. The only exception is if a document is to be recorded outside of California. In such instances, any alternative acknowledgment verbiage as may be printed on such a document so long as the verbiage does not require the notary to do something that is illegal for a notary in California (i.e. certifying the authorized capacity of the signer). Please check the document carefully for proper notarial wording and attach this form if required.

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. he/she/they, is /are) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
- Signature of the notary public must match the signature on file with the office of the county clerk.
 - ❖ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
 - ❖ Indicate title or type of attached document, number of pages and date.
 - ❖ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).
- Securely attach this document to the signed document

CALIFORNIA ALL-PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

State of California

County of San Diego

On June 3, 2010 before me, Erin T. Stafford a Notary Public
(Here insert name and title of the officer)

personally appeared Mary Alice Gonsalves owner and mg. of Pacific Highlands Ranch

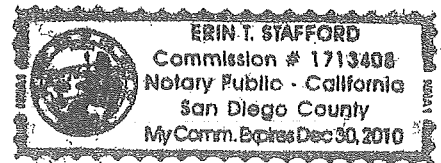
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Erin T. Stafford
Signature of Notary Public

(Notary Seal)



ADDITIONAL OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT

Pacific Highlands Ranch, Inc.
(Title or description of attached document)

(Title or description of attached document continued)

Number of Pages 12 Document Date 6/3/10

(Additional information)

CAPACITY CLAIMED BY THE SIGNER

- Individual (s)
- Corporate Officer

(Title)

- Partner(s)
- Attorney-in-Fact
- Trustee(s)
- Other owner/manager

INSTRUCTIONS FOR COMPLETING THIS FORM

Any acknowledgment completed in California must contain verbiage exactly as appears above in the notary section or a separate acknowledgment form must be properly completed and attached to that document. The only exception is if a document is to be recorded outside of California. In such instances, any alternative acknowledgment verbiage as may be printed on such a document so long as the verbiage does not require the notary to do something that is illegal for a notary in California (i.e. certifying the authorized capacity of the signer). Please check the document carefully for proper notarial wording and attach this form if required.

- State and County information must be the State and County where the document signer(s) personally appeared before the notary public for acknowledgment.
- Date of notarization must be the date that the signer(s) personally appeared which must also be the same date the acknowledgment is completed.
- The notary public must print his or her name as it appears within his or her commission followed by a comma and then your title (notary public).
- Print the name(s) of document signer(s) who personally appear at the time of notarization.
- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. he/she/they, is /are) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
- The notary seal impression must be clear and photographically reproducible. Impression must not cover text or lines. If seal impression smudges, re-seal if a sufficient area permits, otherwise complete a different acknowledgment form.
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- Securely attach this document to the signed document

CALIFORNIA ALL-PURPOSE
CERTIFICATE OF ACKNOWLEDGMENT

State of California

County of San Diego

On June 3, 2010 before me, Erin T. Stafford a notary public
(Here insert name and title of the officer)

personally appeared Mrs. Alice Gonzalez owner and manager of Pacific Highlands

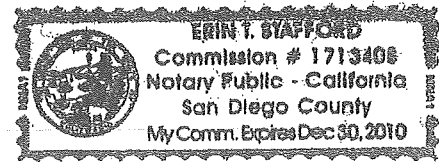
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) ~~is~~ are subscribed to the within instrument and acknowledged to me that ~~he/she/they~~ executed the same in ~~his/her/their~~ authorized capacity(ies), and that by ~~his/her/their~~ signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Erin T. Stafford
Signature of Notary Public

(Notary Seal)



ADDITIONAL OPTIONAL INFORMATION

DESCRIPTION OF THE ATTACHED DOCUMENT

Pacific Highlands Ranch Village
(Title or description of attached document)

(Title or description of attached document continued)

Number of Pages 12 Document Date 6/3/10

(Additional information)

INSTRUCTIONS FOR COMPLETING THIS FORM

Any acknowledgment completed in California must contain verbiage exactly as appears above in the notary section or a separate acknowledgment form must be properly completed and attached to that document. The only exception is if a document is to be recorded outside of California. In such instances, any alternative acknowledgment verbiage as may be printed on such a document so long as the verbiage does not require the notary to do something that is illegal for a notary in California (i.e. certifying the authorized capacity of the signer). Please check the document carefully for proper notarial wording and attach this form if required.

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- Indicate the correct singular or plural forms by crossing off incorrect forms (i.e. he/she/they-, is /are) or circling the correct forms. Failure to correctly indicate this information may lead to rejection of document recording.
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 - ❖ Additional information is not required but could help to ensure this acknowledgment is not misused or attached to a different document.
 - ❖ Indicate title or type of attached document, number of pages and date.
 - ❖ Indicate the capacity claimed by the signer. If the claimed capacity is a corporate officer, indicate the title (i.e. CEO, CFO, Secretary).
- Securely attach this document to the signed document

CAPACITY CLAIMED BY THE SIGNER

Individual (s)

Corporate Officer

(Title)

Partner(s)

Attorney-in-Fact

Trustee(s)

Other owner/manager

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

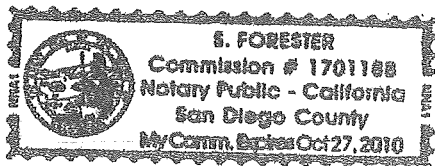
State of California

County of San Diego

On June 7, 2010 before me, S. Forester Notary Public

personally appeared Travis Martin Joseph

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: [Handwritten Signature] Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Pacific Highlands Ranch Village

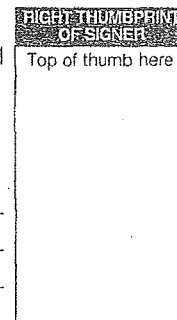
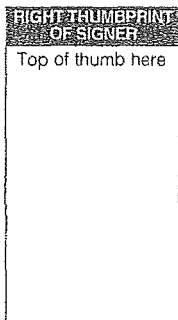
Document Date: 6.3.10 Number of Pages: 12

Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name:

- Corporate Officer, Individual, Partner, Attorney in Fact, Trustee, Guardian or Conservator, Other



Signer Is Representing:

Signer Is Representing:

RESOLUTION NUMBER R- 305580

DATE OF FINAL PASSAGE JAN 26 2010

RESOLUTION DENYING THE APPEAL, AND APPROVING
PLANNED DEVELOPMENT PERMIT NO. 12852/SITE
DEVELOPMENT PERMIT NO. 433515/CONDITIONAL USE
PERMIT NO. 628324, WITH CONDITIONS, FOR THE
PACIFIC HIGHLANDS RANCH VILLAGE PROJECT -
PROJECT NO. 7029.

WHEREAS, Pardee Homes, a California Corporation, and Pacific Carmel AFG, LLC, a California limited liability company, Pacific Carmel MAG, LLC, a California limited liability company, Pico Madeira RWJ, LLC, a California limited liability company and Pico Madeira TMJ, LLC, a California limited liability company, collectively known as the Gonsalves Ownership as Owners/Applicant, filed an application with the City of San Diego for a permit to subdivide and develop a project with 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a transit center, community library site and a civic use area (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Planned Development Permit No. 12852, Site Development Permit No. 433515 and Conditional Use Permit No. 628324), on portions of a 27.67-acre site; and

WHEREAS, the project site is located at the northeast corner of Carmel Valley Road and Del Mar Heights Road in the CC-1-3 and Urban Village Overlay Zones of the Pacific Highlands Ranch Subarea Plan; and

WHEREAS, the project site is legally described as being a subdivision of Parcel 2 of Parcel Map No. 18971, filed May 23, 2002, as File No. 2002-0439514 of Official Records together with a portion of the west half of the northwest quarter of section 15, township 14 south,

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range 3 west, San Bernardino Meridian, according to official plat thereof, all lying northerly and westerly of the San Diego Freeway 56, as described in deed recorded December 28, 2001 as File No. 2001-0965036 and February 26, 2002 as File No. 2002-0161208 of Official Records; and

WHEREAS, on October 15, 2009, the Planning Commission of the City of San Diego considered Planned Development Permit No. 12852, Site Development Permit No. 433515 and Conditional Use Permit No. 628324 pursuant to the Land Development Code of the City of San Diego; and

WHEREAS, under Charter section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council of the City of San Diego to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the City Council of the City of San Diego was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on January 26, 2010, testimony having been heard, evidence having been submitted, and the City Council of the City of San Diego having fully considered the matter and being fully advised concerning the same; NOW,

THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Planned Development Permit No. 12852/Site Development Permit No. 433515/Conditional Use Permit No. 628324:

A. PLANNED DEVELOPMENT PERMIT – SAN DIEGO MUNICIPAL CODE
[SBMC] SECTION 126.0604(a)

1. The proposed development will not adversely affect the applicable land use plan. The proposed development of 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area is consistent with the Pacific Highlands Ranch Subarea Plan. The Pacific Highlands Ranch Subarea Plan envisions the proposed project area as a high density,

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(R-2010-535)

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pedestrian-oriented community with residential, commercial office, retail, and a civic-use area. The compact mixed-use development creates an interactive neighborhood, and draw residents to the focal point of the community, the Village Square. Therefore, the proposed development implements the Pacific Highlands Ranch community design guidelines, as well as goals and objectives of the Subarea Plan, and will not adversely affect the applicable land use plan.

The project was deemed complete on May 14, 2003, prior to the update of the General Plan in March 2008. Therefore, the project was reviewed with consideration of the policies of the previous General Plan. The project is consistent with the broader goals and objectives of updated General Plan of 2008 and the specific land use deviations. The project will incorporate many sustainable features into the project.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The development will provide 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area. The proposed project will support the provision of public services; such as, police, fire, medical, schools, public parks and libraries through the payment of Facilities Benefit Assessment fees due prior to the issuance of building permits. The proposed project will provide the necessary sewer and water facilities to serve the residents and businesses within the development. Pacific Highlands Ranch is served by Police and Fire services with response times consistent with the City's General Plan Standards.

The 294 multi-family dwelling units will contribute to the alleviating the housing shortage with the City of San Diego and provide affordable units in accordance with the Pacific Highlands Ranch Master Affordable Housing Program. The proposed project will incorporate energy and water efficient materials and efficiency strategies, and has been planned and designed to conform with the wide variety of the City of San Diego's codes, policies, and regulations, whose primary focus is the protection of the public's health, safety, and welfare. The proposed project is sensitive to the natural open space and view opportunities surrounding the project and is designed to provide a quality development that will not be detrimental to the public health, safety, and welfare.

The proposed development will provide public benefits which would not have occurred otherwise. The proposed project will provide all necessary sewer and water facilities to serve the residents and businesses within the development; will enter into a Maintenance Agreement for the ongoing permanent Best Management Practices [BMP's] maintenance; will comply with all requirements of State Water Resources Control Board [SWRCB] Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare. The development will also provide for the health, safety, and welfare of the residents by constructing all buildings in accordance with current construction standards and codes. All structures constructed will be reviewed by professional staff for compliance with all relevant and applicable building, electrical, mechanical and fire codes to assure the structures will meet or exceed the current regulations.

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The residential component of the project, 294 multi-family dwelling units, will decrease the existing City-wide housing shortage and will provide 72 or 80 affordable units in accordance with the Pacific Highlands Ranch Master Affordable Housing Program. As such the proposed development will not be detrimental to the public health, safety, and welfare.

3. **The proposed development will comply with the regulations of the Land Development Code.** The development will provide 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area. The proposed development complies with the regulations of the CC-1-3 zone and site-specific development regulations for the property, as allowed with the approval of a Planned Development Permit. In order to create a more desirable project, implement the goals of the Pacific Highlands Ranch Subarea Plan and comply with the Urban Village Overlay Zone, the deviations requested are appropriate for the location and for this development. The requested deviations are necessary for building height, lot width, frontage, setbacks, and residential ground floor parking restrictions. The proposed development will comply with all other applicable requirements, including density, floor area ratio, street design, grading and landscaping, of the CC-1-3 zone, as allowed through a Planned Development Permit, reflecting the desired objectives and goals for the site as described in the Pacific Highlands Ranch Subarea Plan. The proposed project has been determined to not interfere with the airspace regulated by the Federal Aviation Administration and Marine Corps Air Station Miramar or local airport land use regulations.

4. **The proposed development, when considered as a whole, will be beneficial to the community.** The development will provide 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area. Many amenities will be available to the surrounding Pacific Highlands Ranch residents, such as, groceries, restaurants, shopping, entertainment, employment, and civic-use gathering areas/public open space. The development will contribute needed market rate housing and affordable housing for people earning sixty-five percent of the area median income, commercial space for retail business, retail space for a theater entertainment complex, commercial office space and a legal parcel for the development of a public library. The proposed design is consistent with the objectives and goals described and identified in the Pacific Highlands Ranch Subarea Plan for this site. When considered as a whole, the proposed development with all the opportunities and services it will bring to the community will be beneficial to the community.

5. **Any proposed deviations pursuant to Section 126.0602(b)(1) are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.** The development will provide 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area. In order to create a more desirable project, implement the goals of the Pacific Highlands Ranch Subarea Plan and comply with the Urban Village Overlay Zone, the deviations requested are appropriate for this location and for the proposed development. The requested deviations necessary for the project address building height, minimum lot width, minimum lot frontage, yard setbacks, residential ground floor parking restrictions and parking lot

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trees on the roof deck of parking structures. Deviations, as allowed by the approval of a Planned Development Permit, are required to approve the proposed project. The project will include six deviations:

a. LDC Section 131.0531, Table 131-05E, Maximum Building Height

As required by the CC-1-3 zone, the maximum building height limit is 45 feet. The Pacific Highlands Ranch Village theme and design will provide architectural elements to enhance the buildings and the overall aesthetic appearance of the project. A building height deviation is necessary to implement the concepts envisioned in the community design element of the Pacific Highlands Ranch Subarea Plan for the proposed project. Consistent with the Pacific Highlands Ranch Subarea Plan, the proposed project focuses the composition of land uses in a compact development to reduce the dependency on automobile, improve air quality and promote high quality, interactive neighborhoods.

b. LDC Section 131.0531, Table 131-05E; Minimum Lot Width, Minimum Street Frontage, and Minimum Yard Setbacks

Three sets of deviations relate to the minimum lot standards of lot width, street frontage, and setbacks. Given that the property is unique in shape, and is within the Urban Village Overlay Zone, there are twenty-two differing lot configurations and sizes for each specific land use. Several lots have unique configurations and/or lack public street frontage. The lots that deviate from the underlying zone based on the minimum 100-foot lot width are Lots 5, 9, 11, 12, 13, 16 and 19. These lots widths range from 61 feet to 87 feet. The lots that deviate from the minimum 100 foot public street frontage requirement are Lots 8, 11, 12, 13, 15, 16, 17, 19 and 20. These lots frontages range from zero to 82 feet. The CC-1-3 zone requires zero or 10 foot front and rear setbacks, however Lot 14 is situated as such that the rear setback is less than 10 feet. Consistent with the Pacific Highlands Ranch Subarea Plan, the proposed project focuses the composition of land uses in a compact development to reduce the dependency on automobile, improve air quality and promote high quality, interactive neighborhoods.

c. LDC Section 131.0540(c); Ground Floor Restriction

The fifth deviation is the residential ground floor parking restriction. The ground floor parking occurs on land locked parcels, away from the streets 'A' and 'B'. Consistent with the Pacific Highlands Ranch Subarea Plan, the proposed project focuses the composition of land uses in a compact development to reduce the dependency on automobile, improve air quality and promote high quality, interactive neighborhoods.

d. LDC Section 131.0540(c) and Table 142-04D Vehicle Use Area Requirements; One tree within 30 feet of each parking space

The sixth deviation is to allow an alternative to providing trees in containers on the roof deck of a parking structure. The purpose of trees in parking lots is to create shading of the pavement to reduce the heat island effect and improve the appearance of large expansive parking areas. The proposed trellis structures would provide a quality and quantity of shading on the

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parking deck of Lot 8/Building 5 superior to trees living in containers. The shade created by trellis structures would be immediate and permanent upon completion of the project. Trees installed in containers on the top deck of the parking structure would experience a shorter life cycle than if planted in the ground and never attain the amount of shade as would be permanently provided by the trellis structures. The regulation requires approximately twenty trees on the roof of proposed Lot 8/Building 5 parking structure. In lieu of trees in containers the proposal is to provide approximately 11,680 square-feet of permanent trellis structure over eighty-nine percent of the parking spaces on the roof deck of the parking structure. Upon completion of construction the trellis structures would provide instantaneous shading of the covered area on the roof while reducing the reflected heat from the parking structure.

As the project implements a unique design, many of the lots relate to the proposed uses rather than strict compliance with the CC-1-3 zone regulations. To implement the design goals of the Subarea Plan and the Urban Village Overlay Zone, these deviation requests are necessary. Consistent with the Pacific Highlands Ranch Subarea Plan, the proposed project focuses the composition of land uses in a compact development to reduce the dependency on automobile, improve air quality and promote high quality, interactive neighborhoods.

B. SITE DEVELOPMENT PERMIT – SDMC SECTION 126.0504

1. Findings for all Site Development Permits SDMC section 126.0504(a)

a. The proposed development will not adversely affect the applicable land use plan. The proposed development of 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area is consistent with the Pacific Highlands Ranch Subarea Plan. The Pacific Highlands Ranch Subarea Plan envisions the proposed project area as a high density, pedestrian-oriented community with residential, commercial office, retail, and a civic-use area. For additional information, see Planned Development Permit Finding No. 1 above.

b. The proposed development will not be detrimental to the public health, safety, and welfare. The proposed development of 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area is consistent with the Pacific Highlands Ranch Subarea Plan. The Pacific Highlands Ranch Subarea Plan envisions the proposed project area as a high density, pedestrian-oriented community with residential, commercial office, retail, and a civic-use area. For additional information, see Planned Development Permit Finding No. 2 above.

c. The proposed development will comply with the applicable regulations of the Land Development Code. The proposed development of 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area is consistent with the Pacific Highlands Ranch Subarea Plan. The Pacific Highlands Ranch Subarea Plan envisions the proposed project area as a high density, pedestrian-oriented community with residential,

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commercial office, retail, and a civic-use area. For additional information, see Planned Development Permit Finding No. 3 above.

C. CONDITIONAL USE PERMIT – SDMC SECTION 126.0305

1. **The proposed development will not adversely affect the applicable land use Plan.** The proposed development of 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area is consistent with the Pacific Highlands Ranch Subarea Plan. Consistent with the Pacific Highlands Ranch Subarea Plan, the proposed project will be a high density, mixed-use, pedestrian-oriented core of the community. Within the compact mixed-use development the cinema will be an amenity enhancing the interaction of the neighborhood as it attracts residents and visitors to the Village Square as the focal point of the community. The cinema is consistent with the overall theme and plan for the proposed project and implements the design guidelines and criteria of the Pacific Highlands Ranch Subarea Plan. Consistent with the Pacific Highlands Ranch Subarea Plan, the proposed project focuses the composition of land uses in a compact development to reduce the dependency on automobile, improve air quality and promote high quality, interactive neighborhoods. Therefore, the proposed development implements the goals and objectives of the Pacific Highlands Ranch Subarea Plan and will not adversely affect the applicable land use plan.

2. **The proposed development will not be detrimental to the public health, safety, and welfare.** The proposed development of 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area is consistent with the Pacific Highlands Ranch Subarea Plan. The Pacific Highlands Ranch Subarea Plan envisions the proposed project area as a high density, pedestrian-oriented community with residential, commercial office, retail, and a civic-use area. The proposed project will support the provision of public services; such as, police, fire, medical, schools, public parks, and libraries through the payment of Facilities Benefit Assessment fees due prior to the issuance of building permits. The proposed project will provide the necessary sewer and water facilities to serve the residents and businesses within the development. Pacific Highlands Ranch is served by Police and Fire services with response times consistent with the City's General Plan Standards.

The 294 multi-family dwelling units will contribute dwelling units to alleviate the current housing shortage and provide affordable units in accordance with the Master Affordable Housing Program. The proposed project will incorporate energy and water efficient materials and techniques and has been planned and designed to conform with the wide variety of the City of San Diego's codes, policies, and regulations the primary focus of which is the protection of the public's health, safety, and welfare. The proposed project is sensitive to the natural open space and view opportunities surrounding the project, and has been tailored to provide a quality development promoting pedestrian street-level activity. Within the focal point of the community, the cinema will attract residents and visitors while enhancing the interaction of people in the neighborhood. The cinema is consistent with the overall theme and plan for the proposed project and implements the design guidelines and criteria of the Pacific Highlands Ranch Subarea.

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The conditions of approval for the proposed project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety, and welfare. All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code, and the Municipal Code regulations governing the construction of buildings and the continued operation of the site will preclude adverse effects to persons or other properties in the vicinity. Compliance with these regulations will preclude detrimental effects to the public health, safety, and welfare. Consistent with the Pacific Highlands Ranch Subarea Plan, the proposed project focuses the composition of land uses in a compact development to reduce the dependency on automobile, improve air quality and promote high quality, interactive neighborhoods.

3. **The proposed development will comply to the maximum extent feasible with the regulations of the Land Development Code.** The proposed development of 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area is consistent with the Pacific Highlands Ranch Subarea Plan. The Pacific Highlands Ranch Subarea Plan envisions the proposed project area as a high density, pedestrian-oriented community with residential, commercial office, retail, and a civic-use area. For additional information, see Planned Development Permit Finding No. 3 above.

4. **The proposed use is appropriate at the proposed location.** The proposed development of 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area is consistent with the Pacific Highlands Ranch Subarea Plan. The cinema is located in the commercial core of the community and will contribute to the well being of the public and provide an opportunity for social interaction. Consistent with the Pacific Highlands Ranch Subarea Plan, the proposed project focuses the composition of land uses in a compact development to reduce the dependency on automobile, improve air quality and promote high quality, interactive neighborhoods. As defined in the Pacific Highlands Ranch Subarea Plan, the proposed project is intended to be commercial and social core of the community and the location of the cinema, fronting the Village Square, civic use area, and library, creates a dynamic and active focal point.

The above findings are supported by the minutes, maps and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that the appeal filed by Dean and Karen Dubey, is denied, the decision of the Planning Commission is upheld, and the Permit is granted by the City Council of the City of San Diego to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. 12852/Site Development Permit

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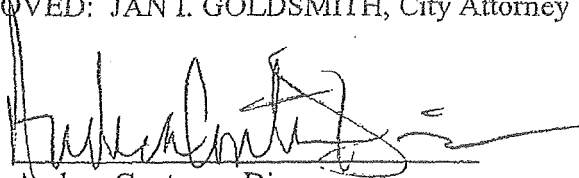
(R-2010-535)
REV2.

No. 433515/Conditional Use Permit No. 628324, a copy of which is attached hereto and made a part hereof.

BE IT FURTHER RESOLVED, the City Attorney is directed to prepare the appropriate resolutions(s) according to Section 40 of the City Charter.

APPROVED: JAN I. GOLDSMITH, City Attorney

By



Andrea Contreras Dixon
Deputy City Attorney

ACD:cw
01/29/10
03/04/10 REV.COPY
04/30/10 REV2.
Or.Dept:DSD
R-2010-535
MMS #11175

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RESOLUTION NUMBER R-305579

DATE OF FINAL PASSAGE C JAN 26 2010

A RESOLUTION DENYING THE APPEAL AND APPROVING VESTING TENTATIVE MAP NO. 433521, FOR THE PACIFIC HIGHLANDS RANCH VILLAGE PROJECT – PROJECT NO. 7029.

WHEREAS, Pardee Homes, a California Corporation, and Pacific Carmel AFG, LLC, a California limited liability company, Pacific Carmel MAG, LLC, a California limited liability company, Pacific Carmel RWJ, LLC, a California limited liability company and Pacific Carmel TMJ, LLC, a California limited liability company, collectively known as the Gonsalves Ownership as Subdivider/Applicant, and John Eardensohn, Engineer, submitted an application with the City of San Diego for a vesting tentative map, (Vesting Tentative Map [VTM] No. 433521, for the subdivision and development of a project with 294 residential units, 195,000 square-feet of commercial retail space, 20,000 square-feet of commercial office space, a proposed parcel for a future public library and a civic use area, with specific deviations to the requirements of the Land Development Code [LDC]. The project site is located at the northeast corner of Carmel Valley Road and Del Mar Heights Road in the CC-1-3 and Urban Village Overlay Zones of the Pacific Highlands Ranch Subarea Plan; and

WHEREAS, the Map proposes the subdivision of a 27.67-acre site into twenty-two lots: lots 1, 11 and 12 for commercial use; lot 8 for parking; lots 2, 3 and 4 for commercial use and parking; lots 6, 7, 14, 15 and 16 for residential use; lots 5, 9, 10, 13, 18 and 19 for mixed use; lot 17 for cinemas and commercial use; lot 20 for main street, village square and HOA; lot 21 for public library site and parking; and lot 22 for HOA; and

WHEREAS, a portion of the map is a subdivision condominium project as defined in section 1350 et. seq. of the Civil Code of the State of California and is filed pursuant to the Subdivision Map Act. The number of residential condominium units in lot 5 and 6 is 67, in lot 7, 9, and 10 is 63, in lot 13 is 1, in lot 14 is 75, in lot 15 is 41, in lot 16 is 26, in lot 18 is 14 and in lot 19 is 7. The total number of residential condominium dwelling units is 294; and

WHEREAS, the conclusions of the Findings to Master Environmental Impact Report [MEIR] No. 96-7918 included specific mitigation for the potential impacts resulting from the implementation of the project at the site, as also included in the MEIR No. 96-7918. The MEIR No. 96-7918 addressed impacts to biological resources and instituted the appropriate mitigation. Therefore, the potential impacts associated with the proposed project would be adequately addressed. No new mitigation set will be required for the proposed project and the mitigation in the MEIR No. 96-7918 will mitigate all impacts to below a level of significance; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to the Subdivision Map Act and Section 144.0220 of the Municipal Code of the City of San Diego; and

WHEREAS, the subdivision is a condominium project as defined in Section 1350 et seq. of the Civil Code of the State of California and filed pursuant to the Subdivision Map Act. The total number of condominium dwelling units is 294; and

WHEREAS, the Subdivider will continue to be required to underground any new service run to the proposed structures within the subdivision; and

WHEREAS, on October 15, 2009, the Planning Commission of the City of San Diego considered VTM No. 433521 and pursuant to Section 125.0440 of the Municipal Code of the City of San Diego and Subdivision Map Act Section 66428, received for its consideration written

and oral presentations, evidence having been submitted, and heard testimony from all interested parties at the public hearing, and the Planning Commission having fully considered the matter and being fully advised concerning the same; and

WHEREAS, under Charter Section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council of the City of San Diego to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the City Council of the City of San Diego was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on January 26, 2010, testimony having been heard, evidence having been submitted, and the City Council of the City of San Diego having fully considered the matter and being fully advised concerning the same; NOW,

THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego, that it adopts the following findings with respect to VTM No. 433521:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (Land Development Code Section 125.0440.a and State Map Action Sections 66473.5, 66474(a), and 66474(b)). The proposed uses of the lots shown on the VTM are consistent with the Pacific Highlands Ranch Subarea Plan which identifies these sites for a mixed-use development combining residential single family and multi-family market-rate housing and affordable housing, community serving commercial and retail space in a mixed-use village core with a retail/employment/office center; a library, transit center; a village urban core, civic activities such as community meeting rooms, pedestrian plaza and town green and other on- and off-site infrastructure improvements. The project site is situated within the master planned community of Pacific Highlands Ranch. The proposed project is a master planned, mixed use residential/commercial development on a 27.67-acre site designated for Mixed-Use Community Commercial uses in the Pacific Highlands Ranch Subarea Plan. Further the design and implementation of the proposed project will achieve the goal, policies and objectives of the Pacific Highlands Ranch Subarea Plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code (Land Development Code Section 125.0440.b). The proposed development complies with the regulations of the CC-1-3 and Urban

Village Overlay Zones and site-specific development regulations for the property, as allowed through the approval of a Planned Development Permit. Five deviations are approved with the project and are described as follows: 1) Minimum side and rear yard setback; 2) Rear yard setback; 3) Ground floor use restrictions affecting parking and residential uses; 4) Building Height, and 5) Minimum lot width and street frontage. The proposed development complies with all relevant regulations of the LDC, as allowed through the approval of a Planned Development Permit. Specific conditions of approval require the continued compliance with all relevant regulations of the City of San Diego effective for this site and have been written as such into Planned Development Permit No. 12852, Site Development Permit No. 433515 and Conditional Use Permit No. 628324. Development of the property will meet all requirements of these regulations. Concept plans for the project identify all other development criteria in effect for the site. All relevant regulations shall be complied with at all times for the life of the project. In these ways the proposed development will comply with the applicable and relevant regulations of the LDC.

3. The site is physically suitable for the type and density of development (Land Development Code Section 125.0440.c and State Map Act Sections 66474(c) and 66474(d)). The conclusions of several technical and scientific reports specifically concerned with determining the suitability of the site for the type and density of the proposed development concluded that in fact the site is suitable for both the type and density of the proposed project. The results of water and wastewater analysis, geotechnical, traffic analysis, water quality technical report and drainage and hydrology, and biology studies concluded individually the physical suitability of the site for the type and density of the proposed development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidable injure fish or wildlife or their habitat (Land Development Code Section 125.0440.d and State Map Act Section 66474(e)). The conclusions of several technical and scientific reports specifically concerned with determining the suitability of the site for the type and density of the proposed development concluded that in fact the site is suitable for both the type and density of the proposed project. The results of water and wastewater analysis, geotechnical, traffic analysis, water quality technical report and drainage and hydrology, and biology studies concluded individually the physical suitability of the site for the type and density of the proposed development. In addition and more specifically the conclusions of the Findings to MEIR No. 96-7918 included specific mitigation for the potential impacts resulting from the implementation of the project at the site, as also included in the MEIR No. 96-7918. The MEIR No. 96-7918 addressed impacts to biological resources and instituted the appropriate mitigation. Therefore, the potential impacts associated with the proposed project would be adequately addressed. No new mitigation set will be required for the proposed project and the mitigation in the MEIR No. 96-7918 will mitigate all impacts to below a level of significance. Therefore, the subdivision or the proposed improvements will not likely cause substantial environmental damage or substantially and avoidable injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvements will not be detrimental to the public health, safety, and welfare (Land Development Code Section 125.0440.e and State Map Act Section 66474(f)). The proposed subdivision will construct

necessary sewer and water facilities to serve the residents and occupants of the development; will enter into a Maintenance Agreement for the ongoing permanent Best Management Practices [BMP's] maintenance; will comply with all requirements of State Water Resources Control Board [SWRCB] Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No 2001-01 (NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. The subdivision will also provide for the health, safety, and welfare of the residents and occupants by constructing all buildings in accordance with current construction standards and codes. All structures constructed will be reviewed by professional staff for compliance with all relevant and applicable building, electrical, mechanical and fire codes to assure the structures will meet or exceed the current regulations. As such the proposed subdivision will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (Land Development Code Section 125.0440.f and State Map Act Section 66474(g)). There are no existing easements acquired by the public at large for access through or use of property within the subdivision, therefore there will be no affects to the public with regard to any rights to pass across or for use of the property within the subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (Land Development Code Section 125.0440.g and State Map Act Section 66473.1). The design of the proposed subdivision will provide, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision. Examples of passive or natural heating opportunities in the subdivision design, include the design of lot size and configuration to permit orientation of a structure in an east-west alignment for southern exposure. Examples of passive or natural cooling opportunities in subdivision design include design of lot size and configuration to permit orientation of a structure to take advantage of shade or prevailing breezes. In providing for future passive or natural heating or cooling opportunities in the design of the proposed subdivision, consideration will be given to the local climate, to landform contours, to the configuration of the parcels to be divided, and to other design and improvement requirements, and such provisions will not result in reducing allowable densities or the percentage of a lot which may be occupied by a building or structure under applicable planning and zoning in force at the time the tentative map is filed. For the purposes of this section, "feasible" means capable of being accomplished in a successful manner within a reasonable period of time, taking into account economic, and technological, environmental and social factors.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (Land Development Code Section 125.0440.h and State Map Act Section 66412.3). The proposed subdivision will provide 294 dwelling units. These dwelling units will assist the City in meeting the housing needs of the City, and region, which has determined to be experiencing a housing crisis. Additionally, the development of these 294 dwelling units will be balanced against their need for public services and available fiscal and environmental resources through the payment of property

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taxes, utility charges, economic stimulus effects, and diversity of contributions. Further, the Subdivider has entered into a Master Affordable Housing Agreement with the San Diego Housing Commission which addresses the Pacific Highlands Ranch Subarea and will enter into a subsequent agreement specifically for the proposed project, thus affordable housing will continue to be provided by the development of new housing in the subarea and will further the goals of providing housing to a wide spectrum of citizens to enhance and further the goals of the city of San Diego. All necessary public facilities within the subarea will be provided as planned in the public facilities financing plan. The decision maker has determined the proposed subdivision and resulting development will balance the needs of the region with the fiscal and environmental resources of the City, region, state, and country.

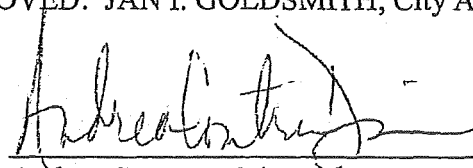
9. That said Findings are supported by the minutes, map(s), and exhibits, all of which are herein incorporated by reference. The said findings stated above are supported by the drawings, design guidelines, subarea plan, and all other relevant documents and reports used in the review process for evaluating the proposed subdivision and are a part of the official record for these decisions.

BE IT FURTHER RESOLVED, that the appeal filed by Dean and Karen Dubey, is denied, the decision of the Planning Commission is upheld, and the Vesting Tentative Map is granted by the City Council of the City of San Diego.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council of the City of San Diego, Vesting Tentative Map No. 433521, is hereby granted to Pardee Homes, a California Corporation, Subdivider/Applicant, subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: JAN I. GOLDSMITH, City Attorney

By



Andrea Contreras Dixon
Deputy City Attorney

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CONDITIONS FOR TENTATIVE MAP NO. 433521

PACIFIC HIGHLANDS RANCH VILLAGE PROJECT NO. 7029

ADOPTED BY RESOLUTION NO R-305579 ON JANUARY 26, 2010

GENERAL

1. This Vesting Tentative Map will expire January 26, 2013.
2. Compliance with all of the following conditions shall be assured, to the satisfaction of the City Engineer, prior to recording the Final Map, unless otherwise noted.
3. Prior to recording the Final Map taxes must be paid on this property pursuant to section 66492 of the Subdivision Map Act. A tax certificate, recorded in the office of the County Recorder, must be provided to satisfy this condition.
4. The Final Map shall conform to the provisions of Planned Development Permit No. 12852, Site Development Permit No. 433515 and Conditional Use Permit No. 628324.
5. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against any Indemnified Party to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, and defends the action in good faith. The Subdivider shall not be required to pay or perform any settlement unless such settlement is approved by the Subdivider.

PLANNING

6. The Subdivider shall record a public access easement over all of Lots 20, 21 and 22.

ENGINEERING

7. Pursuant to City Council Policy 600-20, the Subdivider shall provide evidence to ensure that an affirmative marketing program is established.

8. The drainage system proposed for this subdivision, as shown on the approved Vesting Tentative Map, is private and subject to approval by the City Engineer.
9. The Subdivider shall obtain an Encroachment Maintenance and Removal Agreement, for a portion of the private drainage system within the public right of way that connects to the existing 60 inch RCP pipe.
10. This subdivision is in a community plan area designated in the General Plan as "Planned Urbanizing". As such, special financing plans have been, or will be, established to finance the public facilities required for the community plan area. Therefore, in connection with Council approval of the final map, the Subdivider shall comply with the provisions of the financing plan then in effect for this community plan area, in a manner satisfactory to the Development Services Manager. This compliance shall be achieved by entering into an agreement for the payment of the assessment, paying a Facilities Benefit Assessment [FBA] or such other means as may have been established by the City Council.
11. Prior to the issuance of grading permits, a geotechnical investigation report shall be required that specifically addresses the proposed grading plans and cites the City's Job Order number and Drawing number. The geotechnical investigation shall provide specific geotechnical grading recommendations and include geotechnical maps, using the grading plan as a base, that depict recommended location of sub-drains, location of outlet headwalls, anticipated removal depth, anticipated over-excavation depth, and limits of remedial grading.
12. The Subdivider shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
13. Compliance with all conditions shall be assured, to the satisfaction of the City Engineer, prior to recording the Final Map, unless otherwise noted.
14. The Subdivider is permitted to file up to five final maps. The Subdivider has requested approval to file final maps out of numerical sequence. This request is approved, subject to the provision that the City Engineer can review the off-site improvements in connection with each unit.
15. The Subdivider has reserved the right to record multiple final maps over the area shown on the approved Vesting Tentative Map. In accordance with Article 66456.1 of the Subdivision Map Act, the City Engineer shall retain the authority to review the areas of the Vesting Tentative Map the Subdivider is including in each final map. The City Engineer may impose reasonable conditions relating to the filing of multiple final maps, in order to provide for orderly development, such as off-site public improvements, that shall become requirements of final map approval for a particular unit.

16. Development of this project shall comply with all requirements of State Water Resources Control Board [SWRCB] Order No. 99-08 DWQ and the Municipal Storm Water Permit, Order No. 2001-01 (NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan [SWPPP] and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent [NOI] shall be filed with the SWRCB.
17. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 99 08 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 99 08 DWQ.
18. The Subdivider shall comply with all current street lighting standards according to the City of San Diego Street Design Manual, known as Document No. 297376, filed November 25, 2002, and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 by Resolution R-296141, satisfactory to the City Engineer. This may require, but not be limited to, installation of new street light(s), upgrading light from low pressure to high pressure sodium vapor and/or upgrading wattage.
19. The Subdivider shall underground existing and/or proposed public utility systems and service facilities within the subdivision in accordance with the San Diego Municipal Code.
20. The Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
21. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the tentative map and covered in these special conditions will be authorized.

All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

22. "Basis of Bearings" means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source will be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
23. "California Coordinate System" means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is "Zone 6," and the official datum is the "North American Datum of 1983."
24. The Final Map shall:
 - a. Use the California Coordinate System for its "Basis of Bearing" and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of Third Order accuracy or better. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

WASTEWATER

25. Prior to issuance of an engineering permit for public improvements, the Subdivider shall provide an acceptable sewer study, satisfactory to the Director of Public Utilities, for all proposed public sewer facilities in accordance with the City of San Diego's current sewer design guide to determine appropriate sewer facilities needed to serve this development and for the drainage basin in which it lies, and to show that the proposed public sewer facilities will have adequate capacity and cleansing velocities.
26. All proposed public sewer facilities are to be designed and constructed in accordance with established criteria in the most current City of San Diego sewer design guide. Proposed facilities that do not meet the current standards shall be private or re-designed.

27. The Subdivider shall install all sewer facilities required by the accepted sewer study, necessary to serve this development. Sewer facilities as shown on the approved tentative map will require modification based on the accepted sewer study.
28. The Subdivider shall design and construct all proposed private sewer facilities serving more than one lot to the most current edition of the City of San Diego's sewer design guide. Improvement drawings are required for private sewer facilities serving more than one lot.
29. The Subdivider shall provide evidence, satisfactory to the Director of Public Utilities, indicating that each building/dwelling unit will have its own sewer lateral or provide CC&R's for the operation and maintenance of on-site private sewer facilities that serve more than one unit.
30. Proposed private underground sewer facilities located within a single lot shall be designed to meet the requirements of the California Uniform Plumbing Code and shall be reviewed as part of the building permit plan check.
31. Provide an Encroachment Removal Agreement for and prior to proposed improvements of any kind, including utilities, landscaping, enriched paving, and electrical conduits to be installed within the public right-of-way or public easement.
32. No structures or landscaping that would inhibit vehicular access will be installed in or over any sewer easement. No shrubs more than 2 feet in height at maturity are allowed within any sewer easements. No trees are allowed within 10 feet of any Public Sewer Mains or Sewer Laterals. No pressurized landscape irrigation mains or electrical facilities are allowed within any Sewer Easements.
33. No other utilities, including gas, electric, telephone and fiber optic cable, shall be located within 10 feet of any public sewer main when these utilities are installed parallel to the sewer main. General Utility Easements in private roads and driveways shall be sized with sufficient width to provide for other agencies facilities. In side yards or other non street areas, a General Utility Easement must be dedicated for the exclusive use of the City of San Diego or the Public Utilities Department. Other agencies will require separate easements.

WATER

34. The Subdivider shall design and construct all public water facilities as required in the accepted water study for this project, necessary to serve this development in a manner satisfactory to the Director of Public Utilities and the City Engineer. Water facilities, as shown on the approved vesting tentative map, will require modification based on the accepted water study and final engineering.

35. The Subdivider agrees to design and construct all proposed public water facilities, including services and meters, in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto. Public water facilities and associated easements, as shown on the approved vesting tentative map Exhibit "A", shall be modified at final engineering to comply with standards. Proposed facilities that do not meet the current standards shall be private.
36. The Subdivider shall install fire hydrants at locations satisfactory to the Fire Marshal, the Director of Public Utilities and the City Engineer. If more than two fire hydrants or thirty dwelling units are located on a dead-end water main then the Subdivider shall install a redundant water system satisfactory to the Director of Public Utilities.
37. The Subdivider shall grant adequate water easements, including vehicular access to each appurtenances, meters; blow offs; valves; fire hydrants; et cetera, for all public water facilities that are not located within fully improved public right-of-ways, satisfactory to the Director of Public Utilities. Easements shall be located within singles lots, when possible, and not split longitudinally. Vehicular access roadbeds shall be a minimum of 20-feet wide and surfaced with suitable approved material satisfactory to the Director of Public Utilities and the City Engineer.
38. Grants of water easements shall have a the following minimum widths: water mains with no appurtenances including valves shall be 15 feet-wide; water mains with services or fire hydrants shall have 24 feet of paving and full height curbs. Fire hydrants within easements having no curbs or rolled curbs shall have protective posts. Easements, as shown on the approved vesting tentative map, will require modification based on standards and final engineering.
39. The Subdivider shall process encroachment maintenance and removal agreements, for all acceptable encroachments into the water easement, including but not limited to structures, enhanced paving, or landscaping. No structures or landscaping of any kind shall be installed in or over any vehicular access roadway.
40. The Subdivider shall provide CC&Rs for the operation and maintenance of any on-site private water facilities that serve or traverse more than a single dwelling unit or common area.
41. For any portion of the subdivision which will have gated access, then the Subdivider shall provide keyed access to the Water Operations Division of the Water Department in a manner satisfactory to the Director of Public Utilities. The City will not be responsible for any issues that may arise relative to the availability of keys.