



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: January 17, 2014 **REPORT NO. PC-14-006**

ATTENTION: Planning Commission, Agenda of January 23, 2014

SUBJECT: MEADOWOOD DEVELOPMENT - PROJECT NO. 317414.
PROCESS 5

**OWNER/
APPLICANT** Three Sided, L.P. – Property Owner (Attachment 13) / Marc Perlman
Permittee; and Mr. Dan Rehm, Hunsaker and Associates, Consultant and
Engineer

SUMMARY

Issue: Should the Planning Commission recommend approval of a thirteen lot subdivision for the construction of nine single family homes on a 2.2-acre site located within the Pacific Highlands Ranch Subarea Plan area?

Staff Recommendation:

1. Recommend the City Council **CERTIFY** Findings to Master Environmental Impact Report No. 96-7918, for Project No. 317414;
2. Recommend the City Council **APPROVE** Vesting Tentative Map No. 1213889 with Public Right-of-Way Vacation No. 1109121, and Planned Development Permit No. 1109069.

Community Planning Group Recommendation: On April 25, 2013, the Carmel Valley Community Planning Board voted 14-0-0 to recommend approval of the proposed project with conditions as discussed in this report (Attachment 12).

Environmental Review: Findings to Master Environmental Impact Report No. 96-7918, for Project No. 317414, have been prepared for the project in accordance with State of California Environmental Quality Act (CEQA) guidelines.

Fiscal Impact Statement: All costs associated with this project are paid from a deposit account maintained by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: The site is designated as Low Density Residential by the Pacific Highlands Ranch Subarea Plan which allows densities between 2-5 dwelling units per acre. Density is based upon net site area exclusive of major road dedications (e.g. Carmel Valley Road). The proposed nine residential lot subdivision is within the allowed density range. The North City Future Urbanizing Area (NCFUA) Framework Plan and the Pacific Highlands Ranch Subarea Plan requires new development to provide housing to accommodate the needs of low income households, as certified by the Housing Commission. The applicant has chosen the option of paying an in-lieu fee to the Housing Commission's NCFUA Affordable Housing Trust Account to meet their affordable housing requirement rather than provide the dwelling units on-site.

BACKGROUND

The Meadowood Development project site is a triangular shaped remnant lot located on the north side of Carmel Valley Road, approximately 750 feet east of Rancho Santa Fe Road within the Pacific Highlands Ranch Subarea Plan (PHRSP), Subarea III. Immediately to the north of the site is the Rancho Santa Fe community. The 2.2-acre property is currently addressed as 6850 1/3 Black Mountain Road, APN 305-021-07, and is flat and has been previously graded (Attachments 1-3).

The project site is designated Low Density Residential within the PHRSP and is zoned RS-1-14. The PHRSP density allows 2-5 units an acre and the nine unit subdivision is consistent with this designation. A Tentative Map is required by the Land Development Code (Section 125.0410), for the proposed division of the property into nine residential lots, three open space lots and one lot for a proposed private driveway. Also, in conjunction with the Vesting Tentative Map this project is proposing to vacate an excess unimproved portion of Carmel Valley Road, which requires the processing of a Public Right-of-Way Vacation, pursuant to the Land Development Code (Section 125.0941). The project proposes deviations to the minimum development standards of the RS-1-14 zone, which requires the processing of a Planned Development Permit, pursuant to the Land Development Code (Section 126.0602).

DISCUSSION

Project Description:

The Meadowood Development project proposes to subdivide the 2.2-acre site into nine residential lots, each a minimum of 5,000 square feet in area, three open space lots and one common driveway lot (Attachment 5). All nine residential lots would take access off the proposed common driveway serving the site in a T shaped pattern. The project proposes to construct nine, two-story, single family residences, each residence varying in size from approximately 3,201 to 3,660 square feet. Each home has a two car garage with an additional six guest parking spaces located within the private T-shaped driveway for a total of 24 parking spaces, which exceeds the eighteen space parking requirement. The proposed design includes two

turf park areas at the eastern and southern portions of the project site along with decorative paving, a landscaped hydro-basin adjacent to Carmel Valley Road, enhanced entry landscaping and sidewalks within the private T shaped driveway that serves the site. The subdivision design includes front porches with the homes orientated towards the T-shaped private driveway. These design features were done in an effort to increase pedestrian activity and link the overall pedestrian network internally and externally to achieve consistency with the Pacific Highlands Ranch Subarea Plan.

The site has previously been graded and contains no Environmentally Sensitive Lands. Approximately 2.2 acres or 100 percent of the site would be graded for the proposed development. Earthwork would consist of approximately 3.93 cubic yards of cut for utility trenching and remedial grading with 3.93 cubic yards of fill.

A portion of Carmel Valley Road is used to partially traverse the site however, with development in the area, Carmel Valley Road has been realigned to the south and the subject portion within the old alignment is no longer used as a public right-of-way. This portion of street does not contain underground franchise facilities or public water and sewer improvements. No public facilities would be affected by the proposed vacation (Attachments 6-7).

Planned Development Permit

One of the main goals of the Pacific Highlands Ranch Subarea Plan is the “linkage of local streets with adjacent neighborhoods, avoidance of closed loop subdivisions”, and to create a strong pedestrian network throughout the development. The overall development design should be comprehensive and should demonstrate the relationships of the proposed development on-site with existing development off-site. In order to meet this goal, the project has a temporary dead end at the terminus of the west portion of the driveway. This terminus will be required to connect to the subdivision to the west when it comes in for development. Both owners are aware of this requirement. It will be a condition of approval for that development, and is included in the conditions of the Planned Development Permit and Vesting Tentative Map for this project (Attachments 8-9).

Deviation

Meadowood Development is requesting a deviation to street frontage requirements for eight of the nine residential lots that have no frontage on a public right-of-way (PROW). The Subdivider will be required to relinquish rights of access to Carmel Valley Road for the only residential lot with PROW frontage. Therefore, once developed, all residential lots will take access from the private drive lot. The Subarea Plan states that a Planned Development Permit (PDP) is appropriate, provided it achieves the intended design objective and remains fundamentally consistent with the policies of the Subarea Plan.

Community Plan Analysis:

The project site is located within the Pacific Highlands Ranch Subarea Planning Area (Subarea III of the City’s former North City Future Urbanizing Area). The Pacific Highlands Ranch

Subarea Plan (PHRSP) was adopted in 1998 to guide development of Subarea III with the overall goal to refine and augment the NCFUA Framework Plan as it relates to Subarea III. The PHRSP also contains the more detailed area specific land use recommendations required by the citywide General Plan.

The site is designated “Low Density Residential” by the PHRSP and “Residential” by the General Plan. The “Low Density Residential” designation would allow a density range of 2 to 5 dwelling units per acre. The Subarea Plan states that these neighborhoods should be designed to preserve natural topography and features. The provision of pedestrian and open space linkages within and between neighborhoods is encouraged through the use of trails. Lot and street alignments should be adapted to the topography and other natural features of the area to create a sensitive and unique series of neighborhoods. This design approach, particularly with regard to the construction of streets and other built improvements, minimizes the need for extensive earthwork.

The proposed site design includes two passive open space lots at the project entrance and at the eastern portion of the project site along with decorative paving, enhanced entry landscaping, and seating areas. The design of the individual homes includes front porches with front entries that would be oriented towards the private driveway and Carmel Valley Road. Pedestrian connections from the internal private driveway to the sidewalks on Carmel Valley Road would link the overall pedestrian network internally and externally to achieve overall consistency with the design principles of the PHRSP.

One of the main design principles for Low Density Residential developments is “linking local streets with adjacent neighborhoods, avoidance of closed loop subdivisions”. The project would implement this principle through multiple pedestrian access points to the abutting public street. While automobile access is proposed at a single point via the private driveway, shared pedestrian access is proposed at two points, along the driveway at the passive open space lots.

General Plan Analysis

The Urban Design Element of the General Plan is based on the guiding principles of building upon our existing communities. The core values related to urban form include a compact, efficient, and environmentally sensitive pattern of development; and the physical, social, and cultural diversity of our City and its neighborhoods. The proposed project would build upon the existing community, and provide a compact, efficient and environmentally suitable pattern of development for this neighborhood.

The project would also implement the specific General Plan policy for *Residential Street Frontages* (UD-B.4) which recommends creating “street frontages with architectural and landscape interest for both pedestrian and neighborhood residents”. The project would provide a level of architectural articulation necessary to create a visually coherent design. It would also provide front porches, avoid multiple driveways along existing public streets, and provide landscaping that would include a variety of trees, shrubs and groundcovers in both the private front yards and the parkways along the abutting public streets and internal private driveway.

The purpose of the General Plan's Mobility Element is to improve mobility through development of a balanced, multi-modal transportation system. Goals of the Mobility Element include creating walkable communities with pedestrian-friendly street, site and building design, and a safe and comprehensive local and regional bikeway network. As previously discussed, the proposed project would increase pedestrian access and comfort by providing multiple points of pedestrian access within the small site and avoiding multiple driveway crossings of existing sidewalks adjacent to public streets.

Environmental Analysis:

In 1992, the San Diego City Council directed the City Manager to assume the lead in the preparation of the Pacific Highlands Ranch Subarea Plan (PHRSP) and accompanying Master Environmental Impact Report (MEIR). The PHRSP MEIR No. 96-7918 was prepared by the City of San Diego, as Lead Agency under the California Environmental Quality Act (CEQA), and finalized on June 11, 1998. On July 28, 1999, the San Diego City Council adopted the Subarea Plan for Pacific Highlands Ranch and certified the MEIR.

During the review of this project, Staff conducted an Initial Study to determine whether the Meadowood Development project would cause any significant impact that was not examined in the MEIR, and whether the project was described as being within the scope of the PHRSP. The proposed project has been determined to be within the scope of the MEIR and the implementation is not expected to result in any additional significant impacts beyond those identified in the MEIR and mitigated in the Mitigation, Monitoring, and Reporting Program for 96-7918 (Attachment 10).

Community Planning Group Recommendation:

On April 25, 2013, the Carmel Valley Community Planning Board voted 14-0-0 to recommend approval of the project with conditions (Attachment 12). The conditions and staff response in italics are discussed below.

1. The planting of mature 24" box trees along the northern boundary with Rancho Santa Fe Lakes Community.

Although this particular landscaping is not required, the applicant has agreed to this condition as indicated by the enhanced landscaping included on Exhibit A.

2. The housing pads will be graded so that the toe of the rear slope begins at the low point of the northern wall and that mature trees will be planted on this slope (see submitted grading plan).

As referenced in the recommendation, the applicant has incorporated this design feature on their plans which are Exhibit A.

3. The housing elevations that can be seen from the public view will have enhanced architectural views.

The condition is unclear on which views or elevations the group is referring to, as there is no identified public view on, or adjacent to this property. However, the final plans (Exhibit 'A') include architectural elevations for residential lots 8 and 9, that have been reviewed and accepted by the Board. The applicant will construct the project in accordance with Exhibit A.

4. Story poles will be erected for the tallest and lowest house plan so that the Rancho Santa Fe Lakes Community will be able to visualize the structure heights.

Staff will not require story poles, nor are they recommended. They do not accurately represent the visual plane of a development of pitched roofed, single-family homes. Staff recommends this condition not be included in the Planned Development Permit.

Conclusion:

A Vesting Tentative Map with a Public Right-of-Way Street Vacation and a Planned Development Permit are a Process Five, City Council decision pursuant to San Diego Municipal Code Section 143.0110(b). Staff has reviewed the proposed thirteen lot subdivision for the construction of a nine home neighborhood, and found it to be in conformance with the applicable sections of the San Diego Municipal Code regulating land use policies. The project conforms to the Pacific Highlands Ranch Subarea Plan with respect to maintaining the required residential character and design features established in the plan for Low Density Residential development. Staff has determined that the required findings can be made as the project meets the applicable San Diego Municipal Code regulations and requirements. Staff recommends approval of the project as proposed.

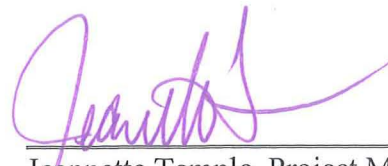
ALTERNATIVES:

1. Recommend to City Council **Certification** of Findings to Master Environmental Impact Report No. 96-7918, for Project No. 317414, and **Approval** of Vesting Tentative Map No. 1213889 with Public Right-of-Way Vacation No. 1109121, and Planned Development Permit No. 1109069, **with modifications.**
2. Recommend to City Council **Certification** of Findings to Master Environmental Impact Report No. 96-7918, for Project No. 317414, and **Denial** of Vesting Tentative Map No. 1213889 with Public Right-of-Way Vacation No. 1109121, and Planned Development Permit No. 1109069, **if the findings required to approve the project cannot be affirmed.**

Respectfully submitted,



Mike Westlake
Acting Deputy Director
Development Services Department



Jeannette Temple, Project Manager
Development Project Manager
Development Services Department

Attachments:

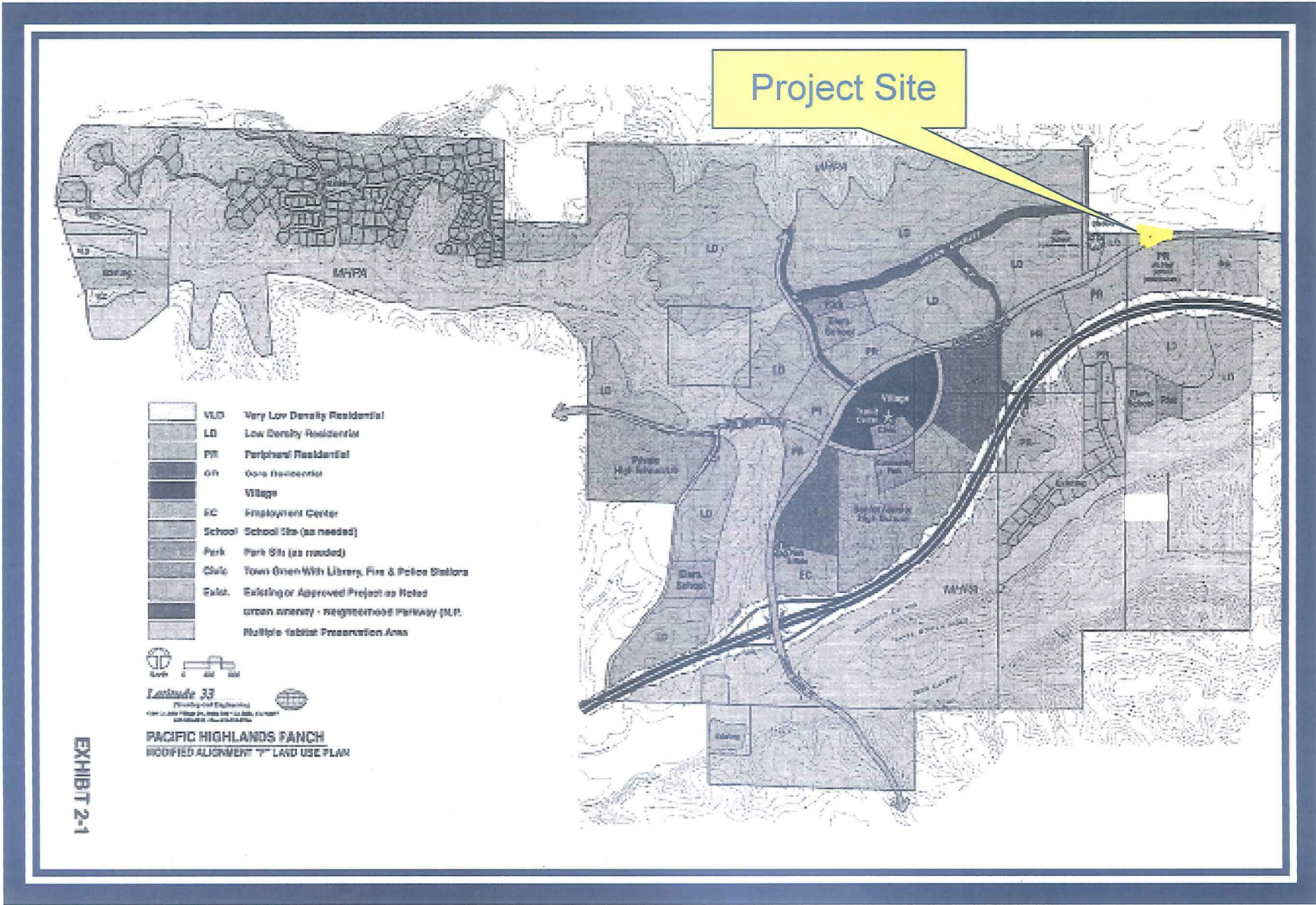
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Project Plans
6. Draft VTM Map Resolution with Findings
7. Draft VTM Map Conditions
8. Draft PDP Permit Resolution with Findings
9. Draft PDP Permit with Conditions
10. Draft Environmental Resolution
11. Draft Planning Commission Resolution
12. Community Planning Group Recommendation
13. Ownership Disclosure Statement
14. Project Chronology



Aerial Photo

MEADOWOOD DEVELOPMENT – APN 305-021-07, CARMEL VALLEY ROAD
PROJECT NO. 317414

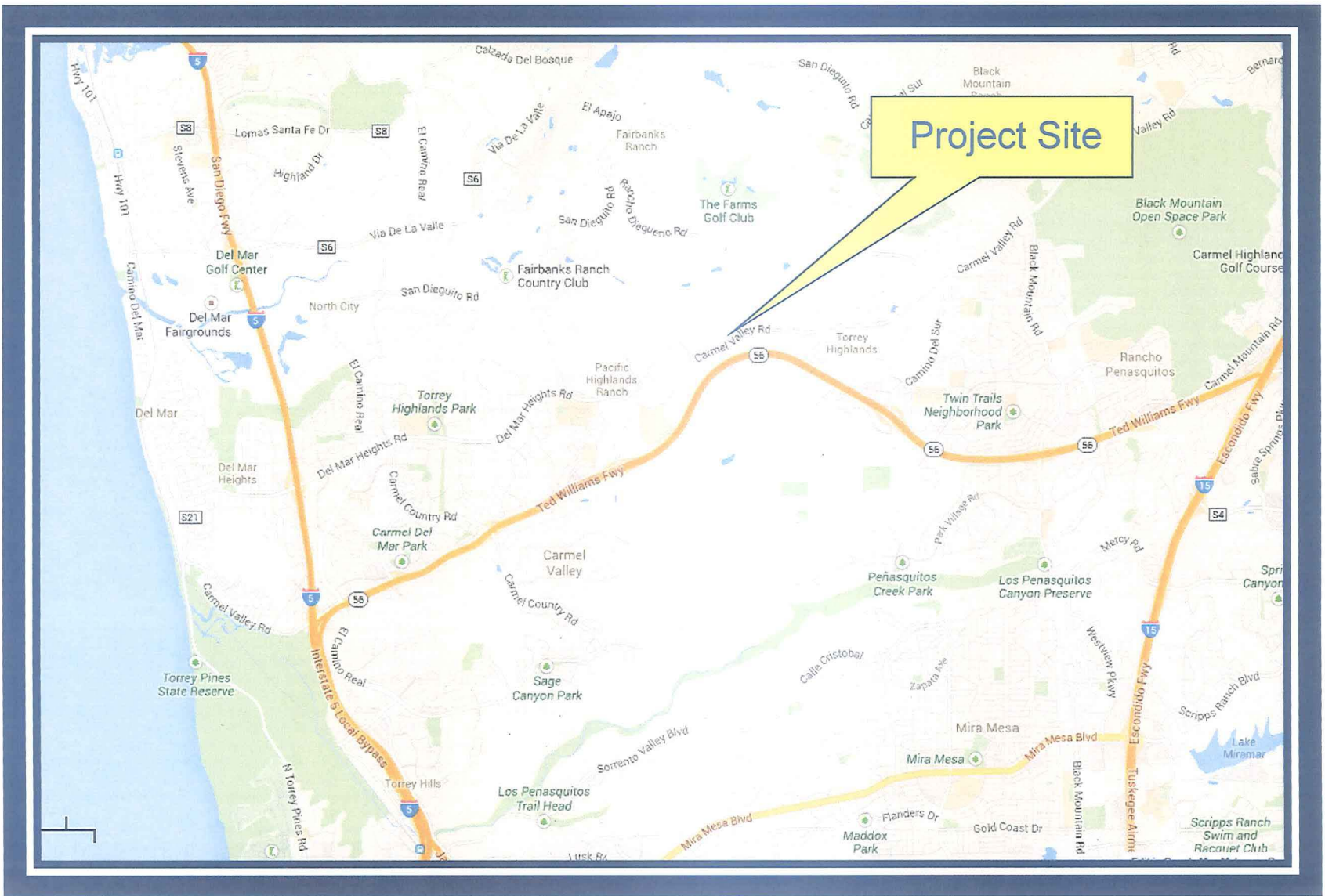




Land Use Map

**MEADOWOOD DEVELOPMENT – APN 305-021-07, CARMEL VALLEY ROAD
 PROJECT NO. 317414**





Project Location Map

MEADOWOOD DEVELOPMENT – APN 305-021-07, CARMEL VALLEY ROAD
PROJECT NO. 317414

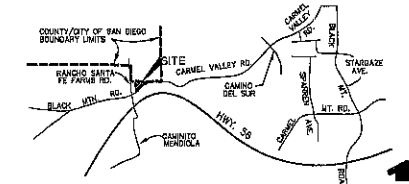


PROJECT DATA SHEET

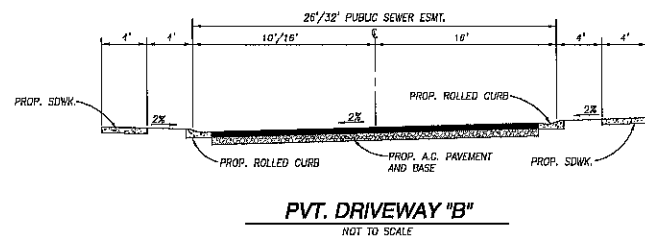
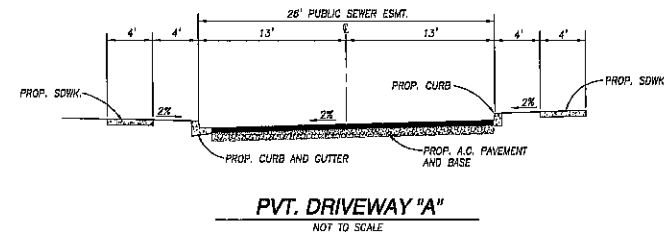
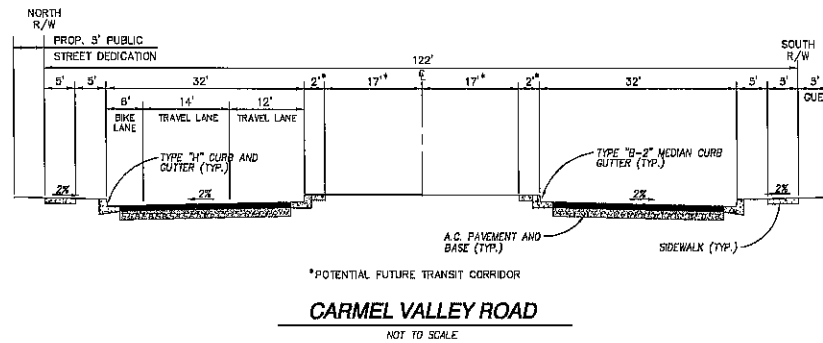
PROJECT NAME:	Meadowood Development	
PROJECT DESCRIPTION:	A proposed thirteen lot residential subdivision of a 2.2-acre site for nine new single family residences within the Pacific Highland Ranch Subarea Plan.	
COMMUNITY PLAN AREA:	Pacific Highland Ranch	
DISCRETIONARY ACTIONS:	Vesting Tentative Map with a Public Right-of-Way Vacation and Planned Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Low Density Residential (2.1-5 Dwelling Units per Acre)	
<u>ZONING INFORMATION:</u>		
ZONE: RS-1-14 Zone		
HEIGHT LIMIT: 35-Foot maximum height limit.		
LOT SIZE: 5,000 sq. ft. minimum.		
FLOOR AREA RATIO: 0.60 maximum.		
FRONT SETBACK: 15 feet.		
SIDE SETBACK: 4 feet.		
STREETSIDE SETBACK: 10 feet.		
REAR SETBACK: 10 feet.		
PARKING: 18 - 2 min. parking spaces required per dwelling unit		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Residential-Rancho Santa Fe	Residential
SOUTH:	Peripheral Residential /RT-1-2	Vacant
EAST:	Peripheral Residential /RT-1-2	Vacant
WEST:	Low-Density Residential/RS-1-14	Vacant
DEVIATIONS	Deviation to lot frontage	

<p>COMMUNITY PLANNING GROUP RECOMMENDATION:</p>	<p>On April 25, 2013, the Carmel Valley Community Planning Board voted 14-0-0 to recommend approval of the proposed project with conditions as discussed in the report</p>
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VESTING TENTATIVE MAP PLANNED DEVELOPMENT PERMIT MEADOWOOD CITY OF SAN DIEGO, CALIFORNIA



VICINITY MAP
NOT TO SCALE



DEVELOPMENT SUMMARY

<p>SCOPE OF WORK THE PROJECT CONSISTS OF A 2.2 ACRE SITE LOCATED WITHIN THE PACIFIC HIGHLANDS RANCH SUBAREA PLAN. THE PROPOSED SUBDIVISION WILL REQUIRE APPROVAL OF A VESTING TENTATIVE MAP, PLANNED DEVELOPMENT PERMIT AND PUBLIC RIGHT-OF-WAY VACATION. THE PROJECT HAS COMPLETED A PRE-APP REVIEW PROJECT NO. 257122. DEVIATIONS REQUESTED: NONE</p> <p>PROJECT TEAM ENGINEER: HUNSAKER & ASSOC. SAN DIEGO, INC. 6707 MAPLES STREET SAN DIEGO, CA 92121 (619) 558-4500 LANDSCAPE ARCHITECT: GILLESPIE MOODY PATTERSON, INC. 4125 SORRENTO VALLEY BLVD., SUITE D SAN DIEGO, CA 92121 (619) 558-6877 ARCHITECT: THE MCKINLEY ASSOCIATES, INC. 1318 FIRST AVENUE SAN DIEGO, CA 92101 (619) 238-1134</p> <p>LEGAL DESCRIPTION THE EAST HALF OF THE WEST HALF OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 14 SOUTH, RANGE 3 WEST, SAN BERNARDINO BASE AND MERIDIAN, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF. EXCEPTING THEREFROM THAT PORTION LYING NORTHERLY OF THE CENTER LINE OF THAT DIRT ROAD (KNOWN AS BLACK MOUNTAIN ROAD OR FOURTH STREET EXTENSION) RUNNING IN A GENERALLY EAST-WEST DIRECTION THROUGH THE SOUTH HALF OF SECTION 10, AS SAID ROAD EXISTING AND WAS LOCATED ON AUGUST 31, 1956. ALSO EXCEPTING THEREFROM THAT PORTION THEREOF THAT PORTION THEREOF LYING SOUTHEASTERLY OF THE CENTER LINE OF THE 60 FOOT EASEMENT TO THE CITY OF SAN DIEGO, RECORDED SEPTEMBER 1, 1982 AS FILE NO. 92-271465 OF OFFICIAL RECORDS. TOGETHER WITH PARCEL A IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA ACCORDING TO PARCEL MAP 21048 FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY MAY 15, 2013.</p> <p>EXISTING EASEMENTS SEE SHEET C2 AND C3</p> <p>ASSESSOR PARCEL NUMBERS APN 305-021-07</p> <p>OWNER THREE SIDED, LP 427 SOUTH GEORGE AVENUE, SUITE 201 SOLANA BEACH, CA 92075 (650) 755-3350</p> <p>APPLICANT DDBT LLC 427 SOUTH GEORGE AVENUE, SUITE 201 SOLANA BEACH, CA 92075 (650) 755-3350</p>	<p>TYPE OF CONSTRUCTION TYPE FIVE NON RATED (VB) WITH NFPA 13D SPRINKLERS</p> <p>OCCUPANCY CLASSIFICATION R-3</p> <p>ZONING DESIGNATION RS-1-14 PER PACIFIC HIGHLANDS RANCH SUBAREA PLAN</p> <p>GROSS SITE AREA 2.23 ACRES</p> <p>TOTAL FLOOR AREA 30,866 SF</p> <p>FAR MAXIMUM 0.8</p> <p>FAR PROPOSED SEE TABLE THIS SHEET</p> <p>EXISTING AND PROPOSED USES EXIST USE: VACANT LAND / PROPOSED USE: SINGLE FAMILY</p> <p>EXISTING STRUCTURES NONE VACANT LAND</p> <p>GEOLOGIC HAZARD CATEGORY 53</p> <p>LANDSCAPE AREA 20,067 SF (PRIVATE OPEN SPACE LOTS A, B & C)</p> <p>USEABLE OPEN SPACE REQUIRED 6,750 SF (9 LOTS x 750 SF = 6,750 SF)</p> <p>USEABLE OPEN SPACE PROVIDED 10,330 SF (SEE SHEET 2 OF 18 FOR LOCATION)</p> <p>PUBLIC UTILITIES/DISTRICTS WATER CITY OF SAN DIEGO SEWER CITY OF SAN DIEGO FIRE AND POLICE CITY OF SAN DIEGO GAS & ELECTRICITY SDG&E SCHOOL DISTRICTS SAN DIEGO UNION HIGH SCHOOL DISTRICT SOLANA BEACH ELEMENTARY SCHOOL DISTRICT</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="2">PARKING REQUIRED</th> <th colspan="2">PARKING PROVIDED</th> </tr> <tr> <th>TYPE</th> <th>NO. UNITS MULTIPLIER SPACES REQ.</th> <th>TYPE</th> <th>SPACES</th> </tr> </thead> <tbody> <tr> <td>4 DD/RW</td> <td>9 2.0 18</td> <td>GARAGE</td> <td>18</td> </tr> <tr> <td>TOTAL</td> <td>18</td> <td>PARALLEL</td> <td>6</td> </tr> <tr> <td>PER TABLE 142-05B</td> <td></td> <td>TOTAL</td> <td>24</td> </tr> </tbody> </table>	PARKING REQUIRED		PARKING PROVIDED		TYPE	NO. UNITS MULTIPLIER SPACES REQ.	TYPE	SPACES	4 DD/RW	9 2.0 18	GARAGE	18	TOTAL	18	PARALLEL	6	PER TABLE 142-05B		TOTAL	24
PARKING REQUIRED		PARKING PROVIDED																			
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TOTAL	18	PARALLEL	6																		
PER TABLE 142-05B		TOTAL	24																		

LEGEND

<p>SUBDIVISION BOUNDARY: ---</p> <p>TOPO CONTOUR: -520-</p> <p>LOT NUMBER: (1)</p> <p>OPEN SPACE LOT: (B)</p> <p>BLDG. PLAN TYPE: (P21)</p> <p>PAD ELEV.: P=321.5</p> <p>FINISHED FLOOR ELEV.: FF=321.5</p> <p>SLOPE (2:1 MAX): 2% (downward arrow)</p> <p>PERCENT OF GRADE: 2%</p> <p>STREET ELEVATION: 318.0</p> <p>PUBLIC SEWER MAIN W/ MANHOLE: (circle with S)</p> <p>PRIVATE SEWER MAIN W/ CLEAROUT: (circle with S)</p> <p>PRIVATE SEWER LATERAL: (circle with S)</p> <p>INVERT ELEVATION: 312.6</p> <p>WATER MAIN: W</p> <p>WATER LATERAL: (circle with W)</p>	<p>FIRE HYDRANT: (circle with H)</p> <p>RECLAIMED WATER: RW</p> <p>STORM DRAIN: (circle with S)</p> <p>RETAINING WALL: (line with cross-hatch)</p> <p>TOP OF WALL ELEV.: TW</p> <p>FINISHED SURFACE ELEV.: FS</p> <p>STREET LIGHT: (circle with S)</p> <p>EASEMENT LINE: (dashed line)</p> <p>DISABLED ROUTE: (dotted line)</p> <p>ADD BROW DITCH: (arrow pointing to ditch)</p> <p>OFF-STREET PARKING: P1</p> <p>USEABLE OPEN SPACE: (stippled area)</p> <p>ACCESS RIGHTS RELINQUISHED: (line with diagonal dashes)</p>
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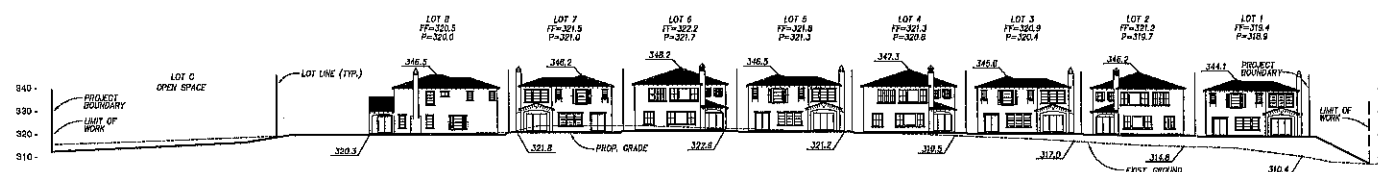
FLOOR AREA RATIO SUMMARY

LOT	PLAN	PLAN FLOOR AREA*	LOT AREA	FAR
1	2	3,001	6,088	.49
2	3	3,260	5,884	.55
3	2	3,001	5,670	.53
4	3	3,260	5,460	.59
5	2	3,001	3,349	.90
6	3	3,260	5,400	.60
7	2	3,001	5,788	.52
8	1	2,801	11,053	.25
9	1	2,801	6,490	.43

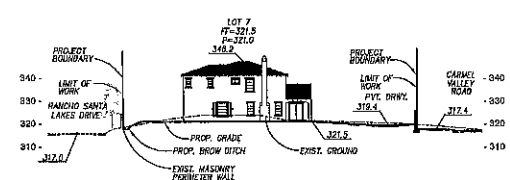
*PLAN FLOOR AREA EXCLUDES 400 SF OF GARAGE AREA

SHEET INDEX

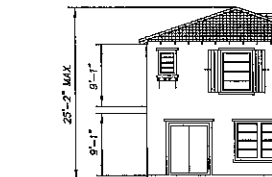
1	TITLE SHEET
2	SITE PLAN
3	TENTATIVE MAP
4	RIGHT-OF-WAY STREET VACATION
5	FIRE PLAN
6	LANDSCAPE CONCEPT PLAN
7	LANDSCAPE CONCEPT PLAN
8	PLAN 1 FLOOR PLAN
9	PLAN 1 ELEVATIONS
10	PLAN 1 ROOF PLAN
11	PLAN 2 FLOOR PLAN
12	PLAN 2 ELEVATIONS
13	PLAN 2 ELEVATIONS
14	PLAN 2 ROOF PLANS
15	PLAN 3 FLOOR PLAN
16	PLAN 3 ELEVATIONS
17	PLAN 3 ELEVATIONS
18	PLAN 3 ROOF PLANS



SECTION "A" - "A"
SCALE: HORIZ/VERT 1"=30'



SECTION "B" - "B"
SCALE: HORIZ/VERT 1"=30'



BLDG. / CEILING HEIGHT
NOT TO SCALE

<p>PREPARED BY: HUNSAKER & ASSOCIATES SAN DIEGO, CA</p> <p>PLANNING: 6707 Maple Street, San Diego, CA 92121 ENGINEERING: 6707 Maple Street, San Diego, CA 92121 SURVEYING: 6707 Maple Street, San Diego, CA 92121</p>	<p>TITLE SHEET / SITE PLAN SITE SECTIONS MEADOWOOD CITY OF SAN DIEGO, CALIFORNIA</p>	<p>SHEET 1 OF 18</p>																								
<p>REVISION</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>ORIGINAL</td> <td>03-21-13</td> <td>HBA</td> </tr> <tr> <td>02</td> <td>REV. PER COMPLETENESS COMMENTS</td> <td>04-08-13</td> <td>HBA</td> </tr> <tr> <td>03</td> <td>REV. PER CITY COMMENTS</td> <td>07-02-13</td> <td>HBA</td> </tr> <tr> <td>04</td> <td>REV. PER CITY COMMENTS</td> <td>09-30-13</td> <td>HBA</td> </tr> <tr> <td>05</td> <td>REV. PER CITY COMMENTS</td> <td>11-18-13</td> <td>HBA</td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	BY	01	ORIGINAL	03-21-13	HBA	02	REV. PER COMPLETENESS COMMENTS	04-08-13	HBA	03	REV. PER CITY COMMENTS	07-02-13	HBA	04	REV. PER CITY COMMENTS	09-30-13	HBA	05	REV. PER CITY COMMENTS	11-18-13	HBA		
NO.	DESCRIPTION	DATE	BY																							
01	ORIGINAL	03-21-13	HBA																							
02	REV. PER COMPLETENESS COMMENTS	04-08-13	HBA																							
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04	REV. PER CITY COMMENTS	09-30-13	HBA																							
05	REV. PER CITY COMMENTS	11-18-13	HBA																							

APN 305-090-18
LOT 18 MAP 13326

APN 305-090-19
LOT 19 MAP 13326

APN 305-090-19
LOT 20 MAP 13326

APN 305-090-29
OPEN SPACE
LOT 48 MAP 13326

APN 305-090-28
OPEN SPACE
LOT 42 MAP 13326

RANCHO SANTA FE LAKES DR. (PVT.)

CARMEL VALLEY ROAD

APN 305-021-28
PCL 1 PCL MAP

DESIGN NOTES

- 1 PROP. PRIVATE 4" PVC DOM WATER MAIN
- 2 PROP. PRIVATE BACKFLOW PREVENTER
- 3 PROP. WATER METER
- 4 PROP. PRIVATE 10" STORM DRAIN
- 5 PROP. PUBLIC 8" PVC SEWER
- 6 VISIBILITY AREA NO STRUCTURES ALLOWED
- 7 PROP. CURB OUTLET TYPE A RSD 0-25
- 8 PROP. PASSENGER VEHICLE HANDBRAKE TURNAROUND NO PARKING ALLOWED
- 9 PROP. BRON DITCH SPLASH WALL
- 10 PROP. 0-75 BRON DITCH TYPE "B" SEE DETAIL SHEET 2 OF 18
- 11 PROP. MOD. SPILLWAY 3" VERT. X 24" HORIZ.
- 12 PROP. MOD. SPILLWAY 6" VERT. X 24" HORIZ.
- 13 PROP. MOD. SPILLWAY 9" VERT. X 24" HORIZ.
- 14 PROP. TEMP. AC. BECM

AREA OF PERMISSION TO GRADE PER SDC, NO. 2012-0443373 (NON-EASEMENT)

PROP. SIDEWALK UNDERDRAIN

SUBDIVISION BOUNDARY

PROP. WATER QUALITY AND HYDRO-MOD BASIN

AREA OF PERMISSION TO GRADE PER SDC, NO. 2012-0443373 (NON-EASEMENT)

PROP. SIDEWALK UNDERDRAIN

SUBDIVISION BOUNDARY

PROP. WATER QUALITY AND HYDRO-MOD BASIN

AREA OF PERMISSION TO GRADE PER SDC, NO. 2012-0443373 (NON-EASEMENT)

PROP. SIDEWALK UNDERDRAIN

SUBDIVISION BOUNDARY

PROP. WATER QUALITY AND HYDRO-MOD BASIN

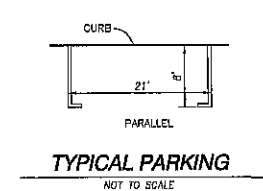
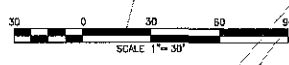
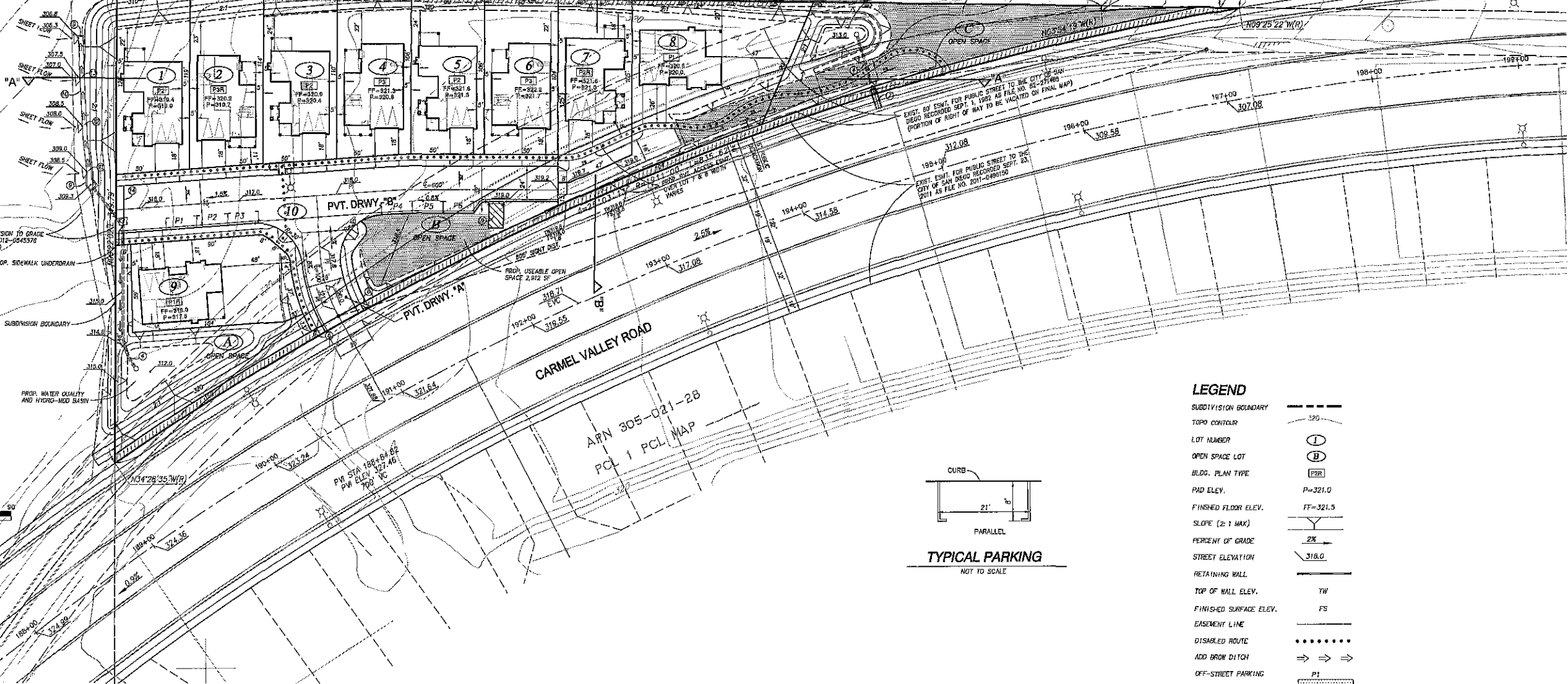
AREA OF PERMISSION TO GRADE PER SDC, NO. 2012-0443373 (NON-EASEMENT)

PROP. SIDEWALK UNDERDRAIN

SUBDIVISION BOUNDARY

PROP. WATER QUALITY AND HYDRO-MOD BASIN

APN 305-021-05
"A"

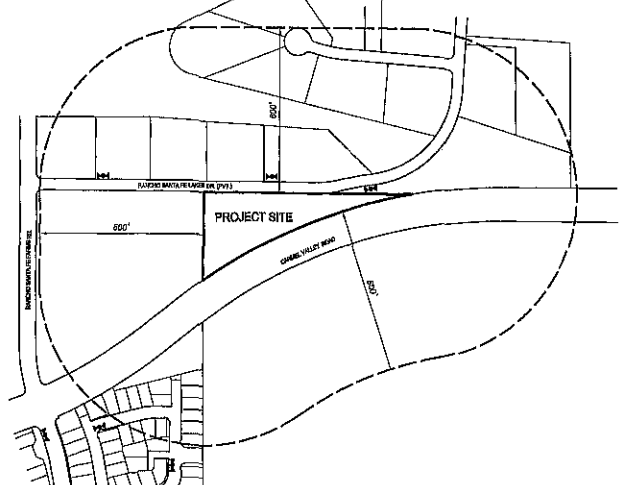


LEGEND

- SUBDIVISION BOUNDARY - - - - -
- TOPO CONTOUR - - - - -
- LOT NUMBER (1) (2) (3) (4) (5) (6) (7) (8) (9) (10)
- OPEN SPACE LOT (B)
- BLDG. PLAN TYPE (PBR)
- PAD ELEV. P=321.0
- FINISHED FLOOR ELEV. FF=321.5
- SLOPE (2:1 MAX) 2% ↘
- PERCENT OF GRADE 2%
- STREET ELEVATION 318.0
- RETAINING WALL TW
- TOP OF WALL ELEV. TW
- FINISHED SURFACE ELEV. FS
- EASEMENT LINE - - - - -
- DISABLED ROUTE
- ADD BRON DITCH => => =>
- OFF-STREET PARKING P1
- USEABLE OPEN SPACE [stippled box]
- ACCESS RIGHTS RELINQUISHED / - - - - -

NOTES

1. NO BUS STOPS ARE ADJACENT TO PROJECT.
2. THIS PROJECT SHALL PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-3 (LFD 807, 4.4).
3. THE PROJECT SHALL PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-08-1.
4. NO ENVIRONMENTALLY SENSITIVE LANDS ARE LOCATED ON-SITE OR ADJACENT TO THIS SUBDIVISION.
5. ZONING SETBACKS FOR RS-1-14: FRONT 15 FEET, REAR 10 FEET, SIDE 4 FEET, STREET SIDE 10 FEET.
6. ALL PROPOSED BUILDINGS ARE TWO STORY.
7. IF A 1/2" INCH OR LARGER METER IS REQUIRED THE OWNER/PERMITEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON-SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.
8. THE PROPOSED PACTIC HIGHLANDS TANK UNIT 23 SEWER SYSTEM SHALL BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO CONNECTION.



FIRE HYDRANT LOCATIONS
NOT TO SCALE

PREPARED BY:
HUNSAKER & ASSOCIATES
SAN DIEGO, CA

PLANNING: [Signature]
ENGINEERING: [Signature]
SURVEYING: [Signature]

SITE PLAN
DISABLED ACCESSIBILITY PLAN
MEADOWOOD
CITY OF SAN DIEGO, CALIFORNIA

SHEET
2
OF
18

WD 2471-2

APN 305-090-18
LOT 18 MAP 13326

APN 305-090-19
LOT 19 MAP 13326

APN 305-090-19
LOT 20 MAP 13326

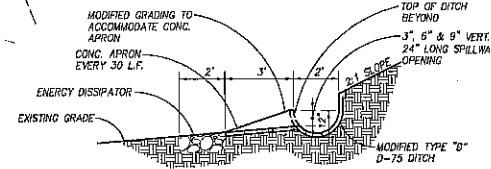
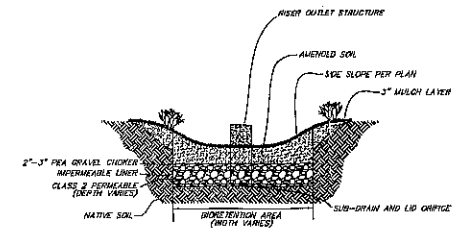
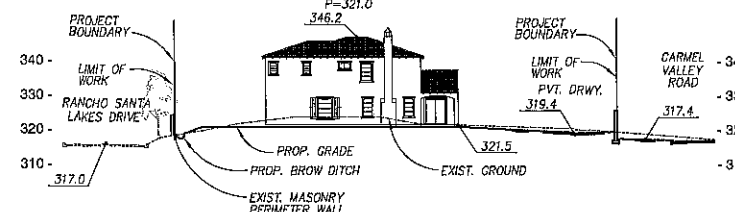
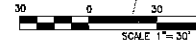
APN 305-090-29
OPEN SPACE
LOT 43 MAP 13326

APN 305-090-28
OPEN SPACE
LOT 42 MAP 13326

RANCHO SANTA FE LAKES DR. (PVT.)

DESIGN NOTES

- 1. PROP. PRIVATE 4" PVC DOM. WATER MAIN
- 2. PROP. PRIVATE BACKFLOW PREVENTER
- 3. PROP. WATER METER
- 4. PROP. PRIVATE 18" STORM DRAIN
- 5. PROP. PUBLIC 8" PVC SEWER
- 6. VISIBILITY AREA NO STRUCTURES ALLOWED
- 7. PROP. CURB OUTLET TYPE A RSD D-25
- 8. PROP. PASSENGER VEHICLE HAMMERHEAD TURNAROUND NO PARKING ALLOWED
- 9. PROP. BROW DITCH SPLASH WALL
- 10. PROP. D-75 BROW DITCH TYPE "D" SEE DETAIL SHEET 3 OF 3
- 11. PROP. MOD. SPILLWAY 3" VERT. X 24" HORIZ.
- 12. PROP. MOD. SPILLWAY 6" VERT. X 24" HORIZ.
- 13. PROP. MOD. SPILLWAY 8" VERT. X 24" HORIZ.
- 14. PROP. TEMP. AC. BEAM
- 15. PROP. CONCRETE PRIVATE SEWER MARK
- 16. ENDOCHARGEMENT MAINTENANCE & REMEDIAL ASSESSMENT REQUIRED FOR ANY ENHANCED PAVING WITHIN THE PUBLIC RIGHT-OF-WAY



LEGEND

SUBDIVISION BOUNDARY	---	FIRE HYDRANT	⊕
TOP CONTOUR	---	RECLAIMED WATER	---RW---
LOT NUMBER	(1)	STORM DRAIN	---SD---
OPEN SPACE LOT	(R)	RETAINING WALL	---RW---
BLDG. PLAN TYPE	(PBR)	TOP OF WALL ELEV.	TW
PAID ELEV.	P=321.0	FINISHED SURFACE ELEV.	FS
FINISHED FLOOR ELEV.	FF=321.5	STREET LIGHT	(L)
SLOPE (2:1 MAX)	2%	EASEMENT LINE	---
PERCENT OF GRADE	2%	DISABLED ROUTE
STREET ELEVATION	318.0	ADD BROW DITCH	⇒ ⇒
PUBLIC SEWER MAIN W/ MANHOLE	—○—	OFF-STREET PARKING	P1
PRIVATE SEWER MAIN W/ CLEANOUT	—○—	USEABLE OPEN SPACE	▨
PRIVATE SEWER LATERAL	—○—	ACCESS RIGHTS RELINQUISHED	
INVERT ELEVATION	318.0		
WATER MAIN	—W—		
WATER LATERAL	—W—		

GRADING TABULATIONS

- 1. TOTAL AMOUNT OF SITE TO BE GRADED: 2.2 ACRES 100% OF SITE
- 2. AMOUNT OF CUT: 3,930 CY
- 3. MAXIMUM DEPTH OF CUT: 2 FEET
- 4. AMOUNT OF FILL: 3,930 CY
- 5. MAXIMUM DEPTH OF FILL: 11 FEET
- 6. MAXIMUM HEIGHT OF FILL SLOPES: 12 FEET, 2:1 MAX.
- 7. MAXIMUM HEIGHT OF CUT SLOPE: 12 FEET, 2:1 MAX.
- 8. AMOUNT OF IMPORT/EXPORT: 0 CY
- 9. RETAINING/DRAIN WALLS LENGTH: 105 FEET
- 10. RETAINING/DRAIN WALL HEIGHT: 2.2 FEET

TOPOGRAPHIC SOURCE/DATUM

TOPO PROVIDED BY LATITUDE 33 PLANNING AND ENGINEERING DATE OF FLIGHT 15 NOVEMBER, BENCHMARK MAD 83, CALIFORNIA COORDINATE SYSTEM CITY OF SAN DIEGO GPS PT. NO. 542 FOUND LEAD & BRASS TAG IN CONCRETE RAMP. ZONE 9 COORDINATES PER RDS 14492 @ THE FOLLOWING STATION: MARKED "SIDE 21425", CITY OF SAN DIEGO GPS PT. NO. 542 ELEVATION= 190.83 (N.G.V.D. 20)

COORDINATE INDEX

CCS '83: 1932-6273
MAD '27: 293-1716

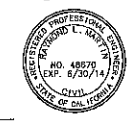
NOTES

- 1. NO BUS STOPS ARE ADJACENT TO PROJECT
- 2. TRANSPORTATION SERVICE IS INDIVIDUAL PICK-UP, NO TRASH BINS ARE PROPOSED
- 3. THIS PROJECT SHALL PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FIPS POLICY 4-20-3 (AFC 801.4.3)
- 4. SLOPE ANALYSIS: ENTIRE SITE IS 0-25% SLOPE
- 5. NO OVERHEAD ELECTRICAL UTILITIES ARE ON-SITE OR ADJACENT TO SUBDIVISION FRONTAGE
- 6. A FINAL MAP SHALL BE FILED AT THE COUNTY RECORDER'S OFFICE PRIOR TO THE EXPIRATION OF THE TENTATIVE MAP, IF APPROVED, WITH A DETAILED PROCEDURE OF SURVEY SHOWN AND PROPERTY CORNERS MARKED WITH DURABLE MONUMENTS.
- 7. TOTAL PROPOSED LOTS: 13 (9 RESIDENTIAL, 1 PVT. STREET & 3 PVT. OPEN SPACE)
- 8. LOTS 1-9 SHALL BE MAINTAINED BY HOMEOWNER, LOT 10 AND LOTS A-C SHALL BE MAINTAINED BY THE HOA
- 9. IF A 3 INCH OR LARGER METER IS REQUIRED THE OWNER/PERMITTEE SHALL CONSTRUCT THE NEW METER AND PRIVATE BACKFLOW DEVICE ON-SITE, ABOVE GROUND, WITHIN AN ADEQUATELY SIZED WATER EASEMENT, IN A MANNER SATISFACTORY TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER
- 10. THE PROPOSED PACIFIC HIGHLANDS RANCH UNIT 23 SEWER SYSTEM SHALL BE COMPLETED AND ACCEPTED BY THE CITY PRIOR TO CONNECTION.
- 11. PRECISE SEWER PROFILE AND INVERT ELEVATIONS TO BE PROVIDED AT FINAL ENGINEERING.
- 12. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL RECORD A NON-MOTORIZED ACCESS EASEMENT OVER THE PROPOSED SIDEWALKS AND TRAILS WITHIN THE PROJECT SATISFACTORY TO THE CITY ENGINEER.
- 13. ENDOCHARGEMENT MAINTENANCE & REMEDIAL ASSESSMENT REQUIRED FOR ANY ENHANCED PAVING WITHIN THE PUBLIC RIGHT-OF-WAY.
- 14. NO TREES OR SHRUBS EXCEEDING 3" IN HEIGHT AT MATURITY SHALL BE INSTALLED WITHIN 10' OF ANY SEWER FACILITIES AND 5' OF ANY WATER FACILITIES.

ENGINEER OF WORK

HUNSAKER & ASSOCIATES SAN DIEGO, INC.
3707 MAPLES STREET
SAN DIEGO, CA 92121
(619) 538-4500

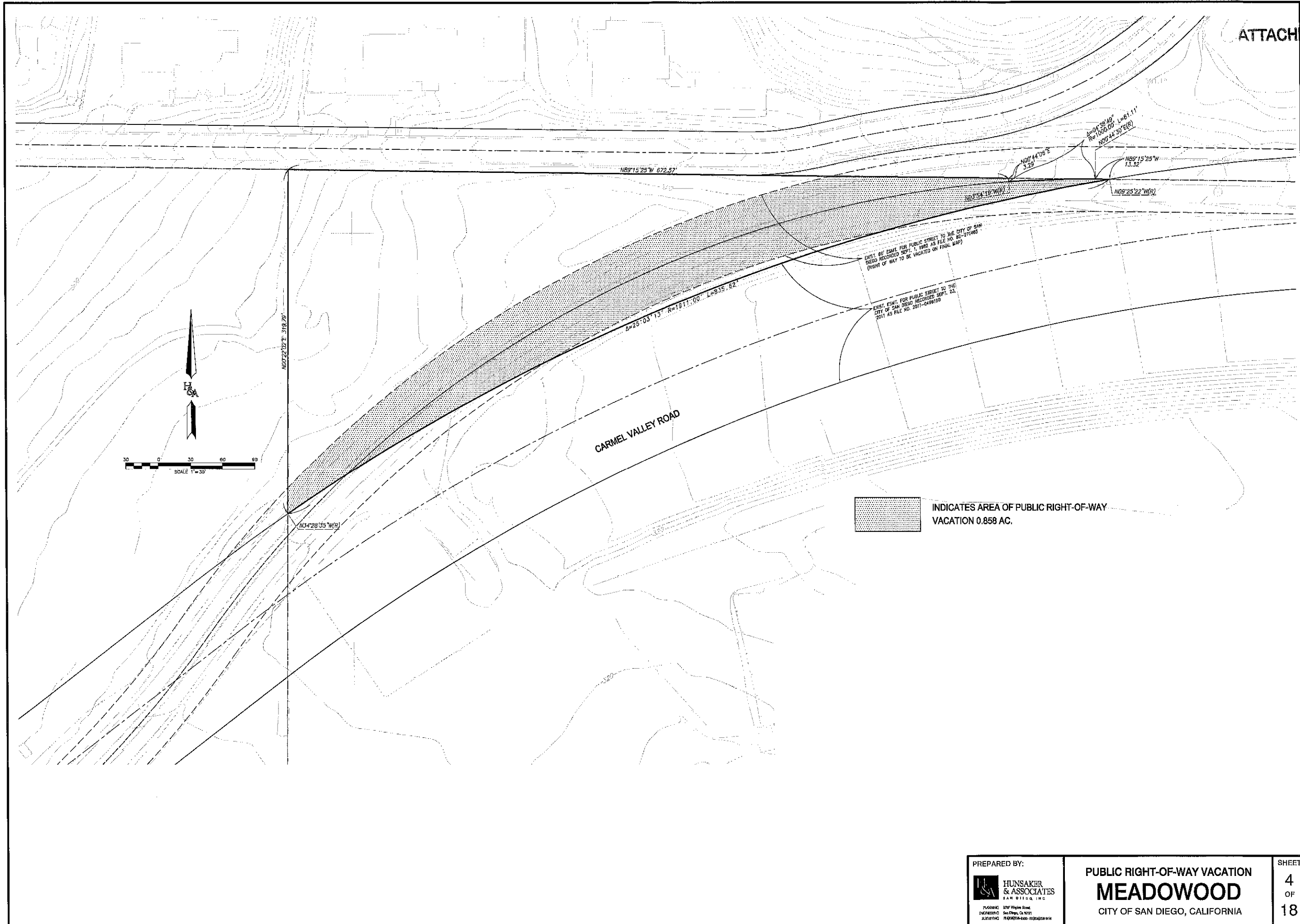
Raymond L. Martin
RAYMOND L. MARTIN
DATE: 1/24/13



PREPARED BY:
HUNSAKER & ASSOCIATES
SAN DIEGO, CA
PLANNING: 3707 Maples Street
ENGINEERING: 3400 La Jolla Village Drive
SURVEYING: 11600 San Diego Avenue

VESTING TENTATIVE MAP
TOPOGRAPHIC MAP
GRADING AND DRAINAGE
MEADOWOOD
CITY OF SAN DIEGO, CALIFORNIA

SHEET
3
OF
18



<p>PREPARED BY:</p>  <p>HUNSAKER & ASSOCIATES SAN DIEGO, INC.</p> <p>PLANNING: 5070 Village Road DESIGNING: San Diego, CA 92121 SURVEYING: 116000154-4000-1120000208114</p>	<p>PUBLIC RIGHT-OF-WAY VACATION</p> <p>MEADOWOOD</p> <p>CITY OF SAN DIEGO, CALIFORNIA</p>	<p>SHEET</p> <p>4</p> <p>OF</p> <p>18</p> <p>WD 2441-1-31</p>
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APN 305-090-18
LOT 18 MAP 13326

APN 305-090-19
LOT 19 MAP 13326

APN 305-090-19
LOT 20 MAP 13326

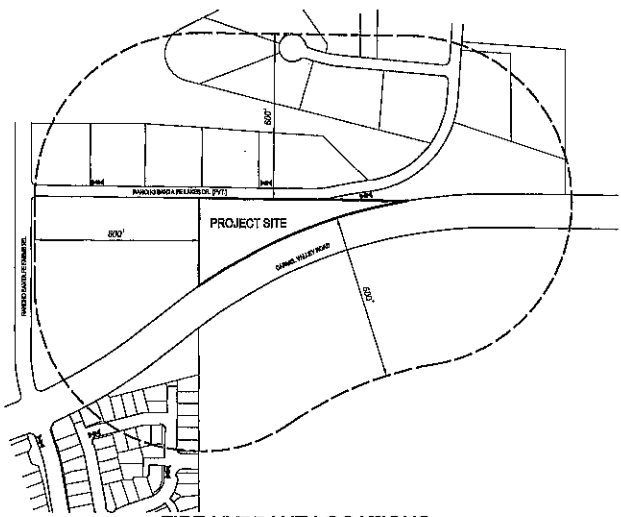
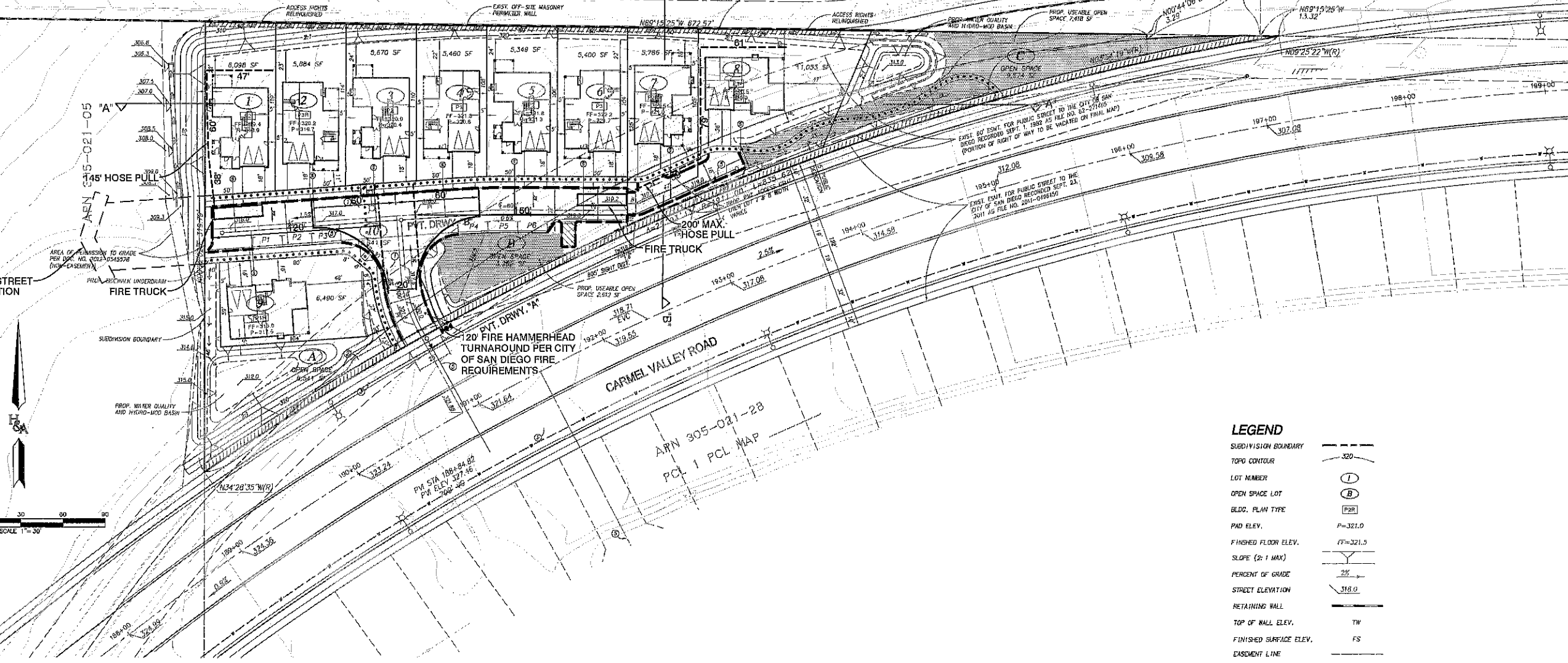
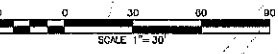
APN 305-090-29
OPEN SPACE
LOT 43 MAP 13326

APN 305-090-28
OPEN SPACE
LOT 42 MAP 13326

RANCHO SANTA FE LAKES DR. (PVT.)

CARMEL VALLEY ROAD

APN 305-021-28
PCL 1 PCL MAP



LEGEND

SUBDIVISION BOUNDARY	---
TOPO CONTOUR	320
LOT NUMBER	(1)
OPEN SPACE LOT	(B)
BLDG. PLAN TYPE	[PBR]
PAD ELEV.	P=321.0
FINISHED FLOOR ELEV.	FF=321.5
SLOPE (2:1 MAX)	2:1
PERCENT OF GRADE	2%
STREET ELEVATION	318.0
RETAINING WALL	---
TOP OF WALL ELEV.	TW
FINISHED SURFACE ELEV.	FS
EASEMENT LINE	---
DISABLED ROUTE
ADD BRON DITCH	⇒ ⇒ ⇒
OFF-STREET PARKING	P1
RED CURB	---

NOTES

1. THIS PROJECT SHALL PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER FIRE POLICY P-00-3 (UPC 901.4.4)
2. ALL PROPOSED BUILDINGS ARE TWO STORY
3. FIRE ACCESS ROADWAYS SHALL COMPLY WITH FIRE POLICY A-08-1

PREPARED BY:

HUNSAKER & ASSOCIATES
 FIRM # 11124 INC
PLANNING 1000 Village Drive
 ENCINITAS, CA 92025
 SURVEYING 11600 San Diego Ave
 SAN DIEGO, CA 92121

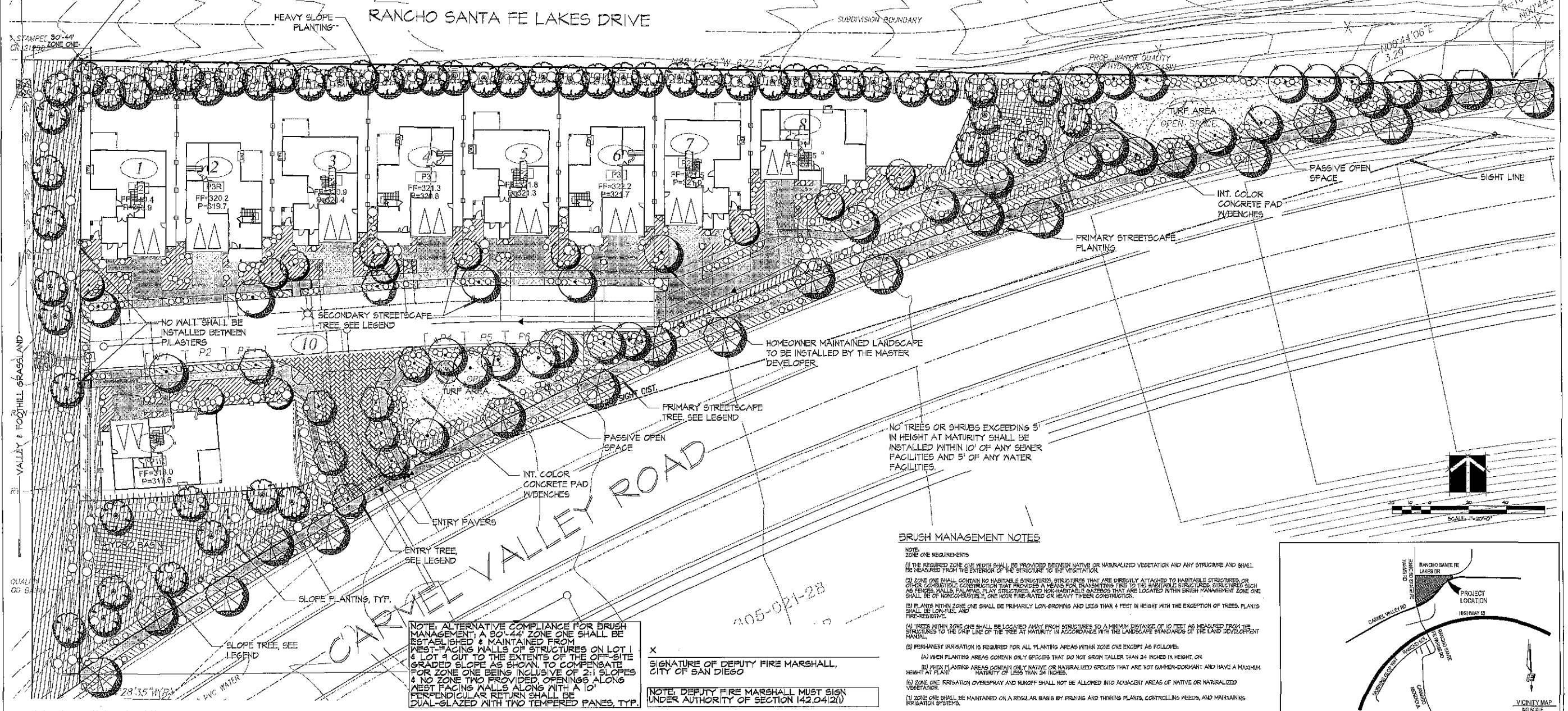
FIRE PLAN
MEADOWOOD
 CITY OF SAN DIEGO, CALIFORNIA

SHEET
5
 OF
18

APN 305-080-10
LOT 20 MAP 13328

THIS AREA IS PER THE
"PERMISSION TO GRADE"
AGREEMENT.
SEE DOC. NO. 2012-0545516
(NON-EASEMENT)

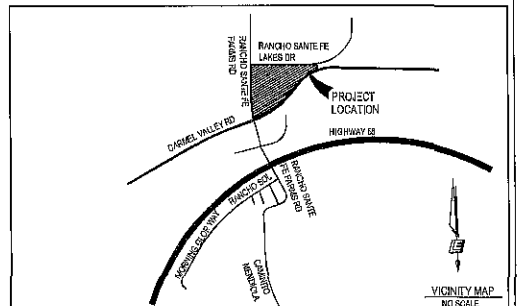
NOTE: ALTERNATIVE COMPLIANCE FOR BRUSH
MANAGEMENT: A 30'-44" ZONE ONE SHALL BE
ESTABLISHED & MAINTAINED FROM
WEST-FACING WALLS OF STRUCTURES ON LOT 1
& LOT 4 OUT TO THE EXTENTS OF THE OFF-SITE
GRADED SLOPE AS SHOWN, TO COMPENSATE
FOR ZONE ONE BEING INCLUSIVE OF 2:1 SLOPES
& NO ZONE TWO PROVIDED OPENINGS ALONG
WEST-FACING WALLS ALONG WITH A 10'
PERPENDICULAR RETURN SHALL BE
DUAL-GLAZED WITH TWO TEMPERED PANES, TYP.



BRUSH MANAGEMENT NOTES

- NOTE: ZONE ONE REQUIREMENTS
(1) THE REQUIRED ZONE ONE WIDTH SHALL BE PROVIDED BETWEEN NATIVE OR NATURALIZED VEGETATION AND ANY STRUCTURE AND SHALL BE MEASURED FROM THE EXTERIOR OF THE STRUCTURE TO THE VEGETATION.
(2) ZONE ONE SHALL CONTAIN NO HABITABLE STRUCTURED STRUCTURES THAT ARE DIRECTLY ATTACHED TO HABITABLE STRUCTURES OR OTHER CONCRETE CONSTRUCTION THAT PROVIDES A MEANS FOR TRANSMITTING FIRE TO THE HABITABLE STRUCTURES. STRUCTURES SUCH AS FENCES, WALLS, FULCRUMS, PLAY STRUCTURES, AND NON-HABITABLE GARAGES THAT ARE LOCATED WITHIN BRUSH MANAGEMENT ZONE ONE SHALL BE OF NON-COMBUSTIBLE ONE HOUR TREATED OR HEAVY TREATED CONSTRUCTION.
(3) PLANTS WITHIN ZONE ONE SHALL BE PRIMARILY LOW-GROWING AND LESS THAN 4 FEET IN HEIGHT WITH THE EXCEPTION OF TREES. PLANTS SHALL BE LOW-LIGNED AND FIRE-RESISTANT.
(4) TREES WITHIN ZONE ONE SHALL BE LOCATED AWAY FROM STRUCTURES TO A MINIMUM DISTANCE OF 10 FEET AS MEASURED FROM THE STRUCTURES TO THE SHIP LINE OF THE TREE AT MATURITY IN ACCORDANCE WITH THE LANDSCAPE STANDARDS OF THE LAND DEVELOPMENT MANUAL.
(5) PERMANENT IRRIGATION IS REQUIRED FOR ALL PLANTING AREAS WITHIN ZONE ONE EXCEPT AS FOLLOWS:
(A) WHEN PLANTING AREAS CONTAIN ONLY SPECIES THAT DO NOT GROW TALLER THAN 24 INCHES IN HEIGHT, OR
(B) WHEN PLANTING AREAS CONTAIN ONLY NATIVE OR NATURALIZED SPECIES THAT ARE NOT SUMMER-DORMANT AND HAVE A MAXIMUM HEIGHT AT MATURITY OF LESS THAN 24 INCHES.
(6) ZONE ONE IRRIGATION OVERSPRAY AND RUNOFF SHALL NOT BE ALLOWED INTO ADJACENT AREAS OF NATIVE OR NATURALIZED VEGETATION.
(7) ZONE ONE SHALL BE MAINTAINED ON A REGULAR BASIS BY PRUNING AND THINNING PLANTS, CONTROLLING WEEDS, AND MAINTAINING IRRIGATION SYSTEMS.

X
SIGNATURE OF DEPUTY FIRE MARSHALL,
CITY OF SAN DIEGO
NOTE: DEPUTY FIRE MARSHALL MUST SIGN
UNDER AUTHORITY OF SECTION 42.0412(i)



PLANTING CONCEPT LEGEND
TREES (INTERNAL STREETSCAPE)
SYMBOL BOTANICAL NAME COMMON NAME SIZE
LIPOTHYDUM CONFERTUM BRISBANE BOX 30" - 54" BOX
PLATANUS ACERIFOLIA LONDON PLANE TREE 20" - 15 GAL.

SHRUBS (INTERNAL STREETSCAPE)
SYMBOL BOTANICAL NAME COMMON NAME SIZE
ASAVE ATTENUATA ASAVE 10" - 5 GAL.
ASAVE VILMORINIANA ASAVE 10" - 5 GAL.

SHRUBS (EXTERNAL STREETSCAPE)
SYMBOL BOTANICAL NAME COMMON NAME SIZE
ASAVE ATTENUATA ASAVE 10" - 5 GAL.
ASAVE VILMORINIANA ASAVE 10" - 5 GAL.

PLANTING NOTES
NOTE: NO STRUCTURES OR LANDSCAPING THAT WOULD INHIBIT VEHICULAR ACCESS SHALL BE INSTALLED IN OR OVER ANY SENIOR ACCESS EASEMENT.
MULCH: ALL REQUIRED PLANTING AREAS SHALL BE COVERED WITH MULCH TO A MINIMUM DEPTH OF 2 INCHES, EXCLUDING SLOPES REQUIRING RETENTION AND AREAS PLANTED WITH GRASS COVER. ALL EXPOSED SOIL AREAS WITHOUT VEGETATION SHALL ALSO BE MULCHED TO THIS MINIMUM DEPTH.
NOTE: TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENTS OR OTHER PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT WRAP AROUND THE ROOT BALL.

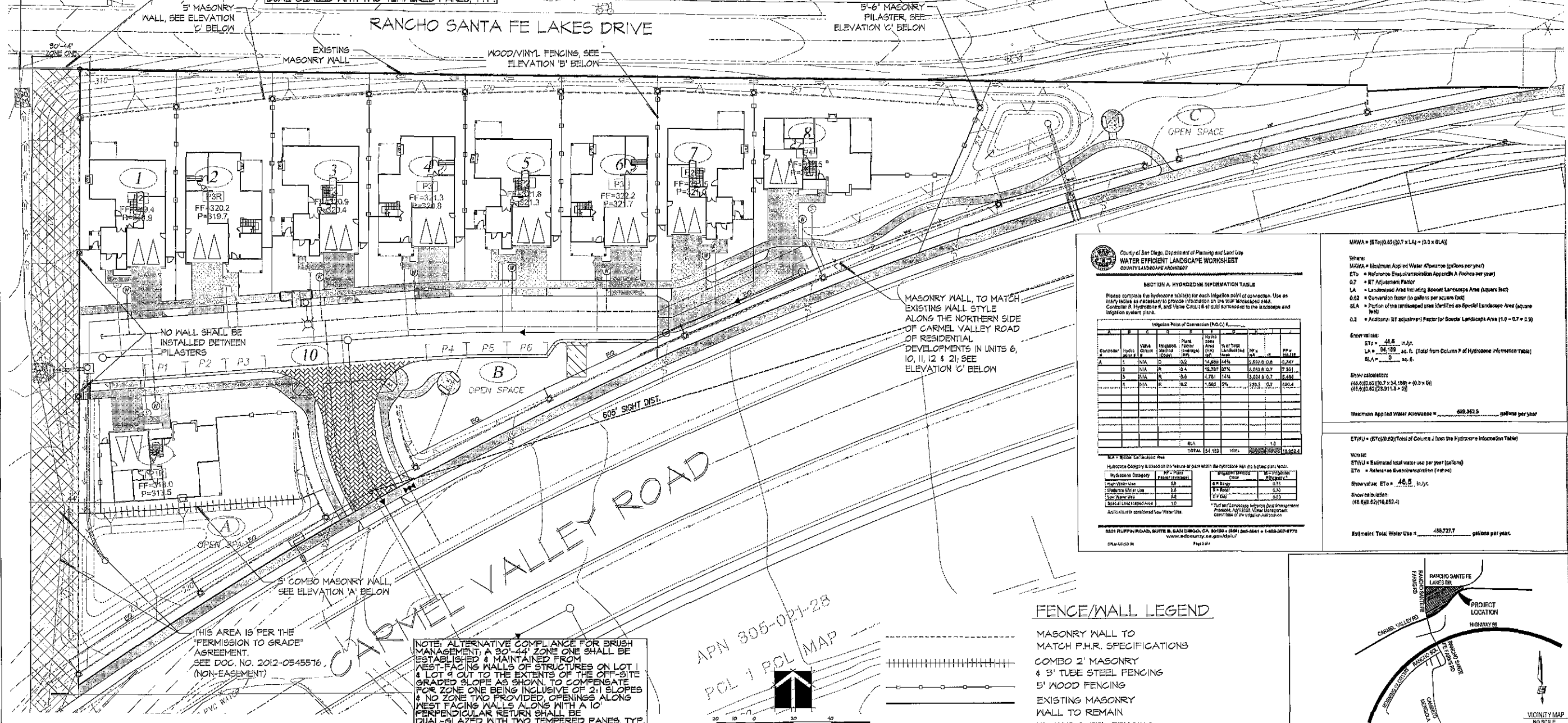
gmp Gilispie Moody Patterton, Inc. LANDSCAPE ARCHITECTURE & PLANNING
4425 Sorrento Valley Blvd., Suite D, San Diego, CA 92121
Tel: 619 558 9877, Fax: 619 558 9188

L-01
Prepared By: GILLESPIE MOODY PATTERTON
Address: 4125 SORRENTO VALLEY BLVD., SUITE D, SAN DIEGO, CA 92121
Phone #: (619) 558-9877
Project Address: 4125 SORRENTO VALLEY BLVD., SUITE D, SAN DIEGO, CA 92121
Project Name: MEADOWOOD
Sheet Title: LANDSCAPE DEVELOPMENT PLAN

APN 305-021-28
LOT 20 MAP 13328

THIS AREA IS PER THE 'PERMISSION TO GRADE' AGREEMENT. SEE DOC. NO. 2012-0545576 (NON-EASEMENT)

NOTE: ALTERNATIVE COMPLIANCE FOR BRUSH MANAGEMENT: A 30'-44" ZONE ONE SHALL BE ESTABLISHED & MAINTAINED FROM WEST-FACING WALLS OF STRUCTURES ON LOT 1 & LOT 4 OUT TO THE EXTENTS OF THE OFF-SITE GRADED SLOPE AS SHOWN TO COMPENSATE FOR ZONE ONE BEING INCLUSIVE OF 2:1 SLOPES & NO ZONE TWO PROVIDED. OPENINGS ALONG WEST-FACING WALLS WITH A 10' PERPENDICULAR RETURN SHALL BE DUAL-GLAZED WITH TWO TEMPERED PANES, TYP.



County of San Diego, Department of Planning and Land Use
WATER EFFICIENT LANDSCAPE WORKSHEET
COUNTY LANDSCAPE APPLICANT

SECTION A: HYDROZONE INFORMATION TABLE

Please complete the Hydrozone table for each irrigation unit of construction. Use an entry table as necessary to provide information on the total landscape area. Columns H, Hydrozone #, and Valve Circuit # should correspond to the landscape and irrigation system plan.

Hydrozone	Hydrozone #	Valve Circuit	Irrigation System	Plant Species	Plant Factor	Area (sq ft)	% of Total Landscape Area	ET ₀ (inches/year)	ET ₁ (inches/year)	ET ₂ (inches/year)	
1	1	1	1	1	1	1	1	1	1	1	
2	2	2	2	2	2	2	2	2	2	2	
3	3	3	3	3	3	3	3	3	3	3	
4	4	4	4	4	4	4	4	4	4	4	
5	5	5	5	5	5	5	5	5	5	5	
6	6	6	6	6	6	6	6	6	6	6	
7	7	7	7	7	7	7	7	7	7	7	
8	8	8	8	8	8	8	8	8	8	8	
9	9	9	9	9	9	9	9	9	9	9	
10	10	10	10	10	10	10	10	10	10	10	
11	11	11	11	11	11	11	11	11	11	11	
12	12	12	12	12	12	12	12	12	12	12	
TOTAL							34,133	100%	3,000	1,500	1,500

ET₀ = 34.133 in./yr.
ET₁ = 15.000 in./yr.
ET₂ = 15.000 in./yr.

Maximum Applied Water Allowance = 600,363.6 gallons per year

ET_{WU} = (ET₀)(0.62)(Total of Column 7 from the Hydrozone Information Table)
ET_{WU} = 1,125.000 gallons per year

Water: ET_{WU} = Estimated total water use per year (gallons)
ET₀ = Reference Evapotranspiration (inches)

Show values: ET₀ = 46.5 in./yr.
Show calculation: (16.6)(28)(0.7) + (24.1)(9) = (43)(9)

Estimated Total Water Use = 488,737.7 gallons per year

County of San Diego, Department of Planning and Land Use
WATER EFFICIENT LANDSCAPE WORKSHEET
COUNTY LANDSCAPE APPLICANT

SECTION B: FENCE/WALL LEGEND

MASONRY WALL TO MATCH P.H.R. SPECIFICATIONS

COMBO 2' MASONRY & 5' TUBE STEEL FENCING

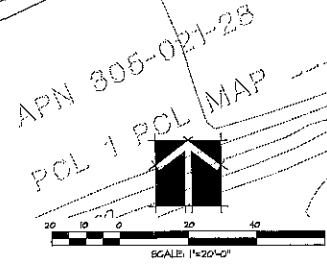
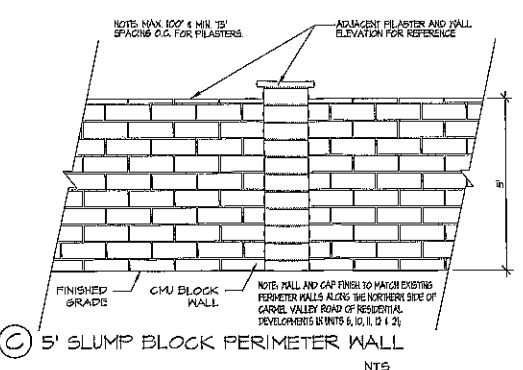
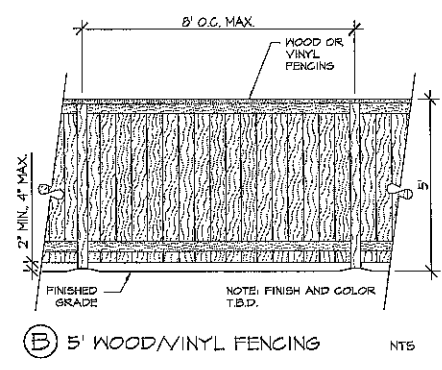
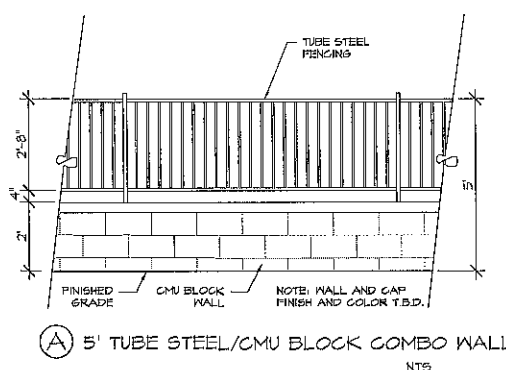
5' WOOD FENCING

EXISTING MASONRY WALL TO REMAIN

5' TUBE STEEL FENCING

5' GATE

5'-6" MASONRY PILASTER



gmp
Gillespie Moody Patterson, Inc.
LANDSCAPE ARCHITECTURE & PLANNING

4125 Sorrento Valley Blvd.
Suite D San Diego
California 92121
Tel 658 688 8977
Fax 658 698 9108

www.gmpandarch.com

L-02

Prepared By: GILLESPIE MOODY PATTERSON

Name: 4125 SORRENTO VALLEY BLVD.

Address: SUITE D

Phone #: (658) 658-8977

Project Address: CARMEL VALLEY RD.

Project Name: MEADOWOOD

Sheet Title: LANDSCAPE DEVELOPMENT PLAN

Revision 11: _____

Revision 10: _____

Revision 9: _____

Revision 8: _____

Revision 7: _____

Revision 6: _____

Revision 5: _____

Revision 4: _____

Revision 3: _____

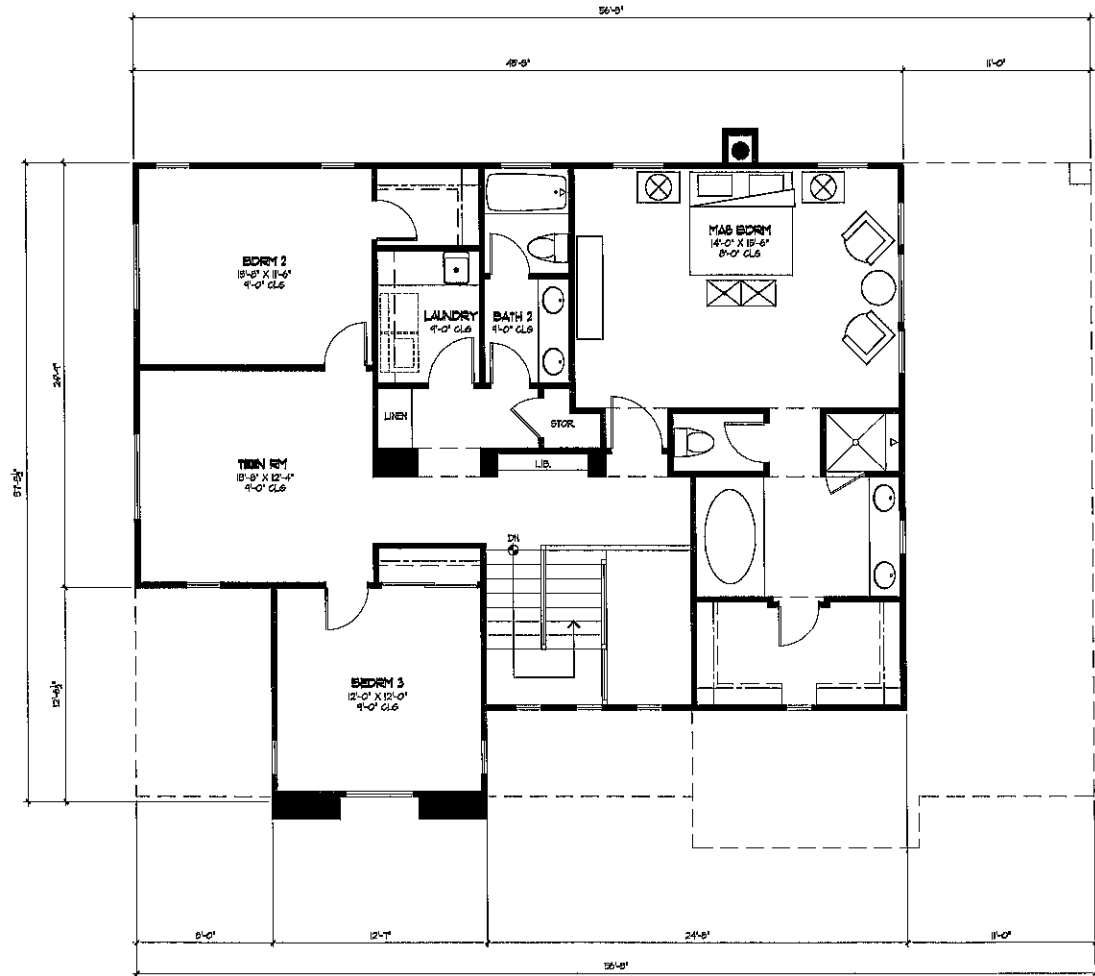
Revision 2: 09-23-13

Revision 1: 07-02-13

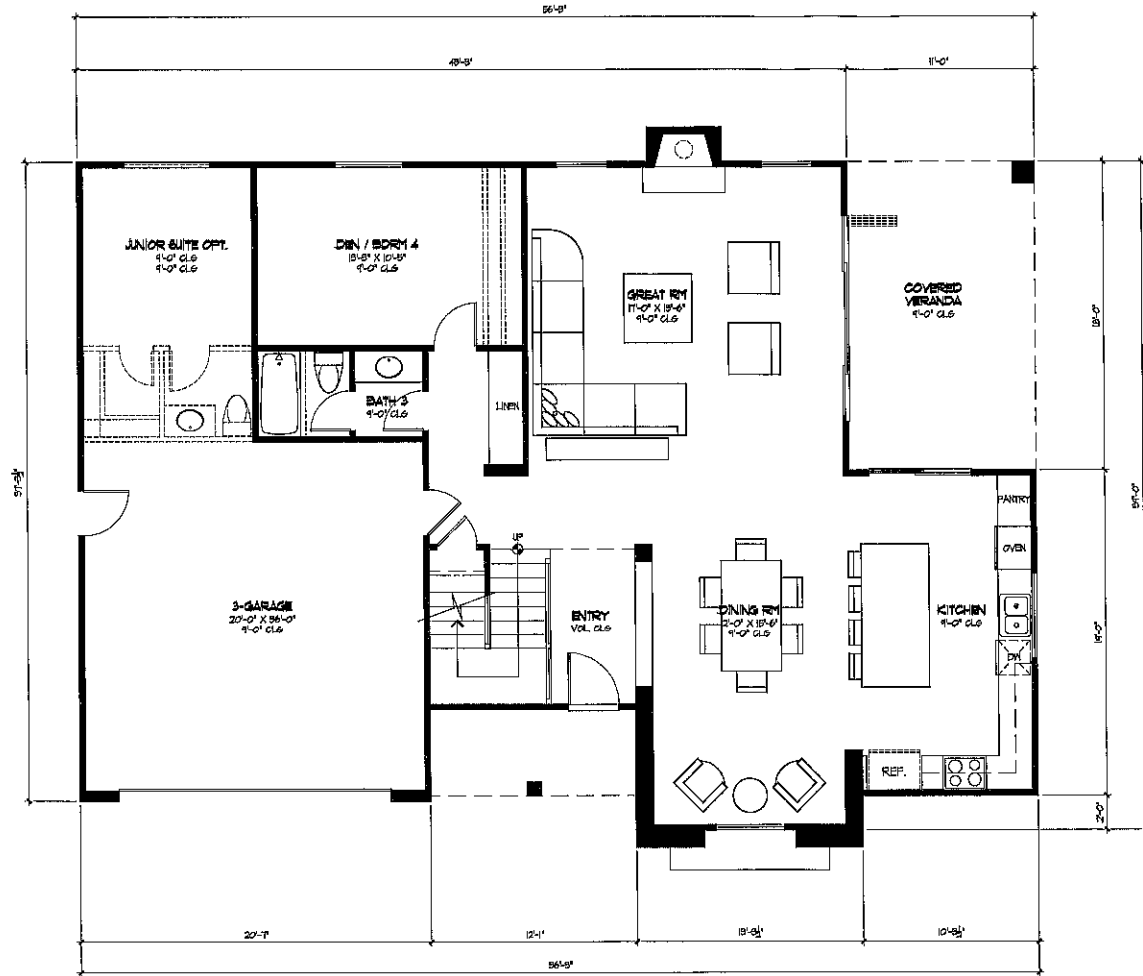
Original Date: 04-08-13 Full Submittal

Sheet: 7 OF 16

DEP # _____



SECOND FLOOR
SCALE: 1/4" = 1'-0"



FIRST FLOOR
SCALE: 1/4" = 1'-0"

FIRST FLOOR: 1,266 SQ. FT.
SECOND FLOOR: 1,346 SQ. FT.
TOTAL: 2,612 SQ. FT.
GARAGE: 589 SQ. FT.

PLAN 1
MEADOWOOD
DCBT, LLC

SCALE: 1/4" = 1'-0"



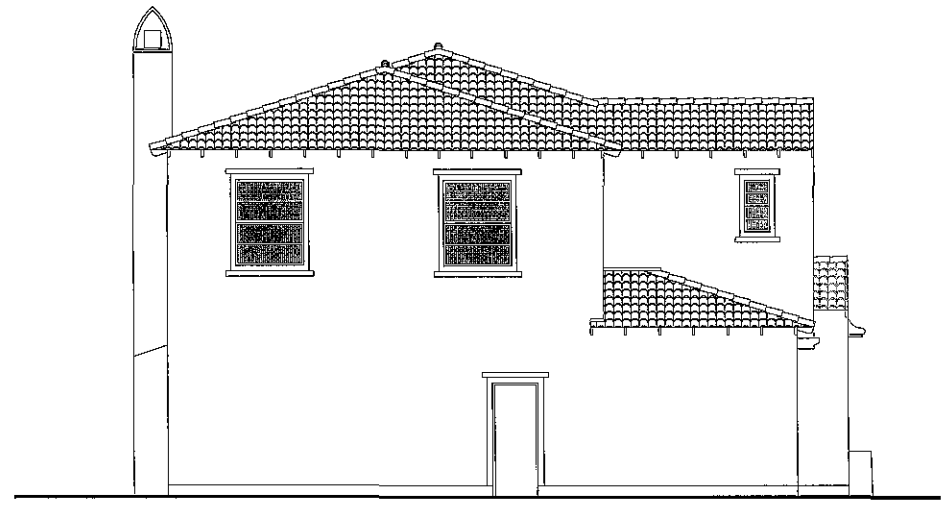
Prepared By:
Name: The McKinley Associates, Inc.
Address: 1818 First Avenue
San Diego, California 92101
Phone #: (619) 235-1134
Project Address:
xxxx
San Diego, CA xxxxx
Project Name:
MEADOWOOD

Revision 14:	
Revision 13:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	April 8, 2013 Full submittal

Sheet Title: 1/4" Floor Plans

Original Date: March 20, 2013
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DEP#:

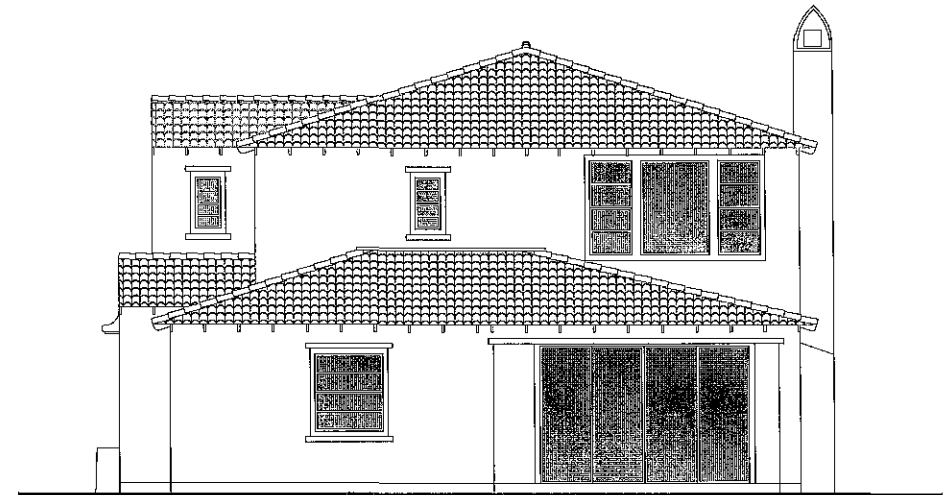




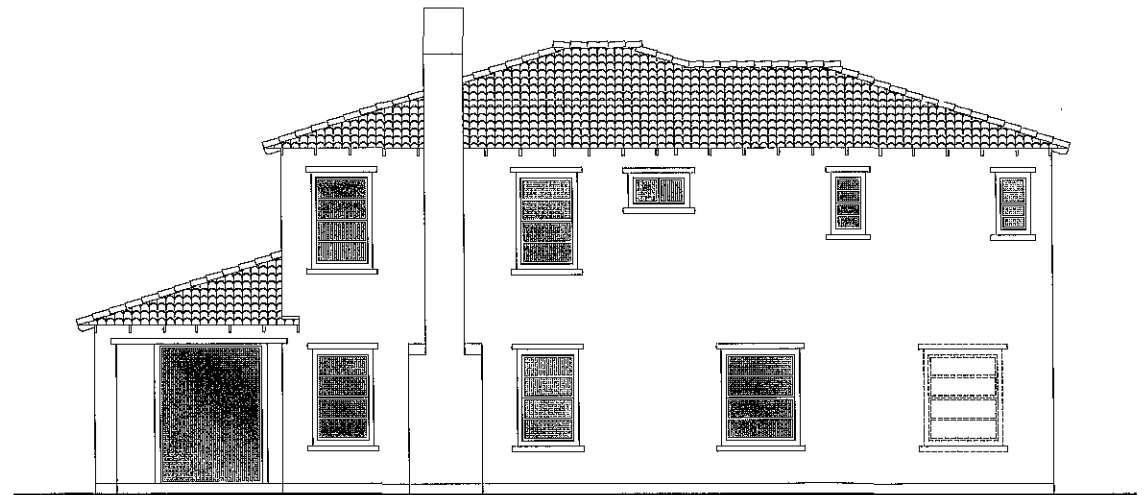
**RICHARD REGUA SPANISH REVIVAL
LEFT SIDE ELEVATION - ELEVATION 'A'**
SCALE: 1/4" = 1'-0"



**RICHARD REGUA SPANISH REVIVAL
FRONT ELEVATION - ELEVATION 'A'**
SCALE: 1/4" = 1'-0"

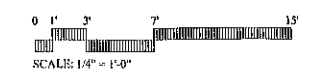


**RICHARD REGUA SPANISH REVIVAL
RIGHT SIDE ELEVATION - ELEVATION 'A'**
SCALE: 1/4" = 1'-0"



**RICHARD REGUA SPANISH REVIVAL
REAR ELEVATION - ELEVATION 'A'**
SCALE: 1/4" = 1'-0"

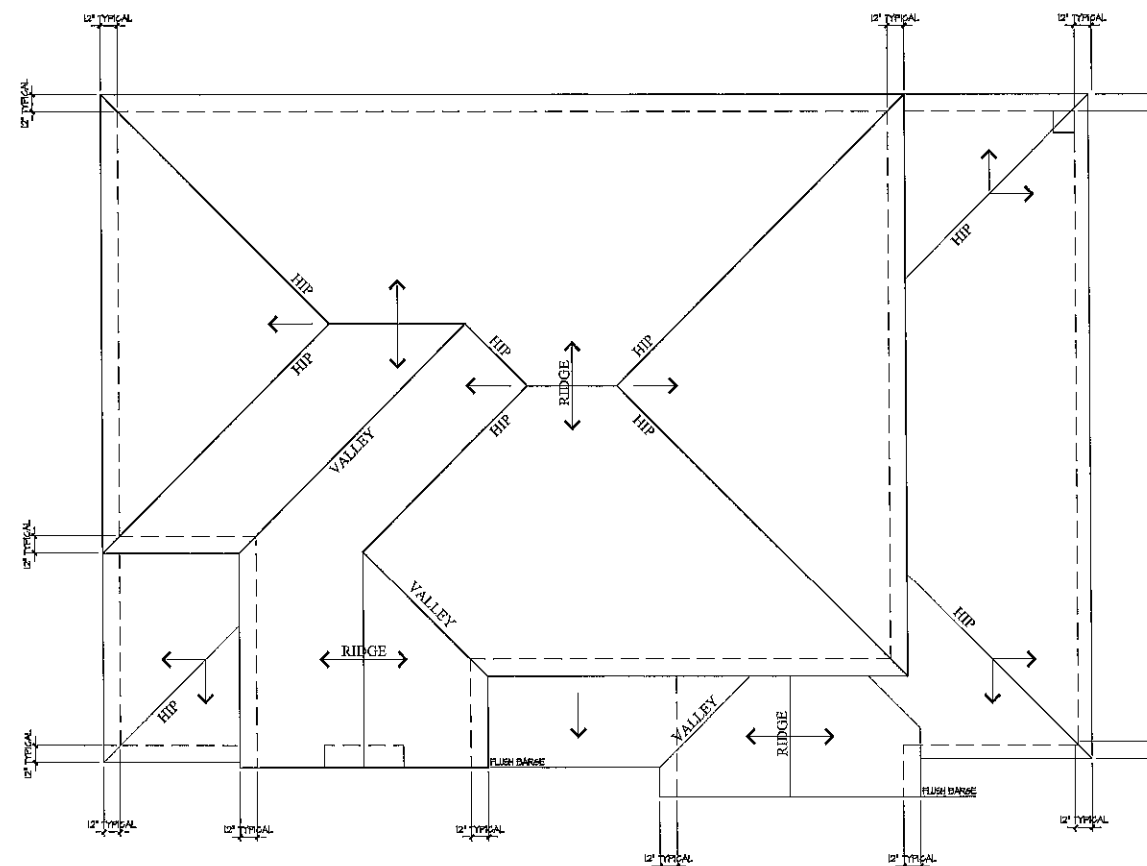
PLAN 1
MEADOWOOD
DCBT, LLC
SCALE: 1/4" = 1'-0"



Prepared By:
Name: The McKinley Associates, Inc.
Address: 1018 First Avenue
San Diego, California 92101
Phone #: (619) 238-1134
Project Address:
xxxx
San Diego, CA xxxx
Project Name:
MEADOWOOD
Sheet Title:
1/4" Elevations

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	June 26, 2013
Revision 1:	April 8, 2013 Full submittal

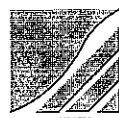
Original Date: March 20, 2013
Sheet 9 of 18
DEP#:



RICHARD REQUA SPANISH REVIVAL
 ROOF PLAN - ELEVATION A
 SCALE: 1/4" = 1'-0"

PLAN 1
MEADOWOOD
 DCBT, LLC

SCALE: 1/4" = 1'-0"



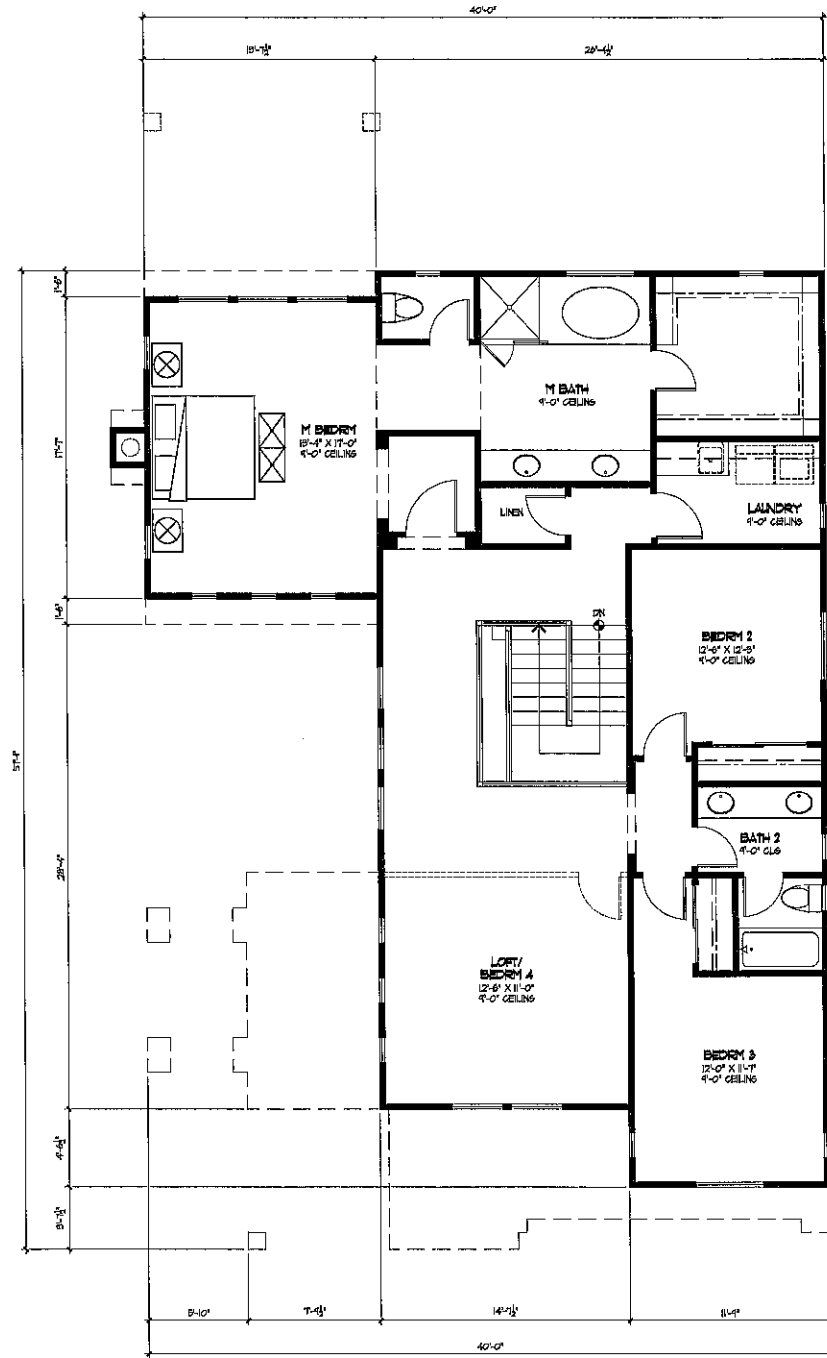
THE MCKINLEY ASSOC., INC.
 ARCHITECTURE & PLANNING
 MARCH 20, 2013



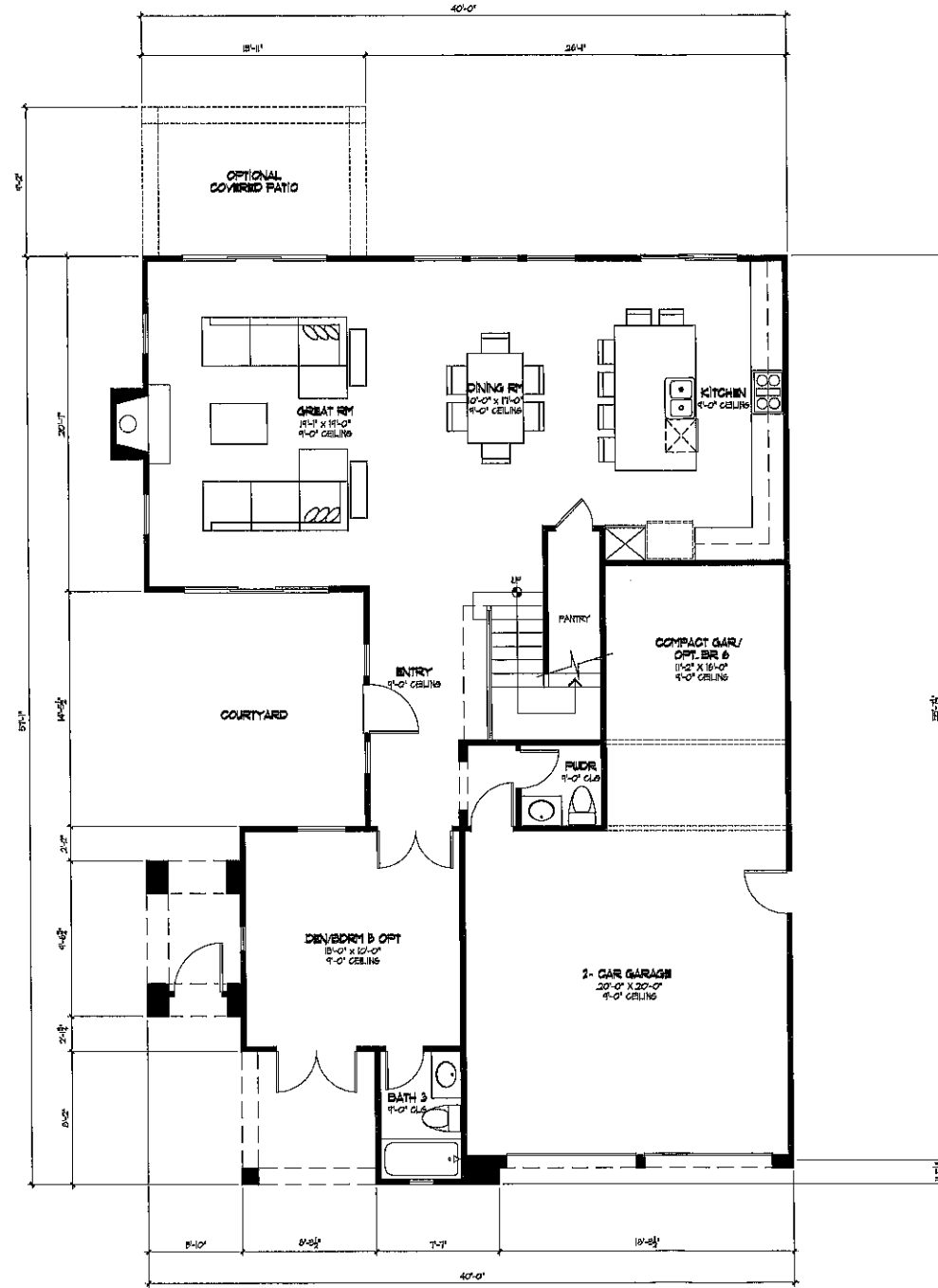
Prepared By:
 Name: The McKinley Associates, Inc.
 Address: 1818 First Avenue
 San Diego, California 92101
 Phone #: (619) 238-1134
 Project Address:
 xxxxx
 San Diego, CA xxxxx
 Project Name:
 MEADOWOOD
 Sheet Title:
 1/4" Roof Plans

Revision 14:	_____
Revision 13:	_____
Revision 12:	_____
Revision 11:	_____
Revision 10:	_____
Revision 9:	_____
Revision 8:	_____
Revision 7:	_____
Revision 6:	_____
Revision 5:	_____
Revision 4:	_____
Revision 3:	_____
Revision 2:	_____
Revision 1:	_____

Original Date: March 20, 2013
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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FIRST FLOOR: 1,315 SQ. FT.
SECOND FLOOR: 1,466 SQ. FT.
TOTAL: 2,801 SQ. FT.
GARAGE: 600 SQ. FT.

PLAN 2
MEADOWOOD
DCBT, LLC

SCALE: 1/4" = 1'-0"

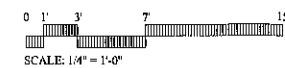


Prepared By:
Name: The McKinley Associates, Inc.
Address: 1010 First Avenue
San Diego, California 92101
Phone #: (619) 238-1134
Project Address:
xxxx
San Diego, CA xxxx
Project Name:
MEADOWOOD

Sheet Title:
1/4" Floor Plans

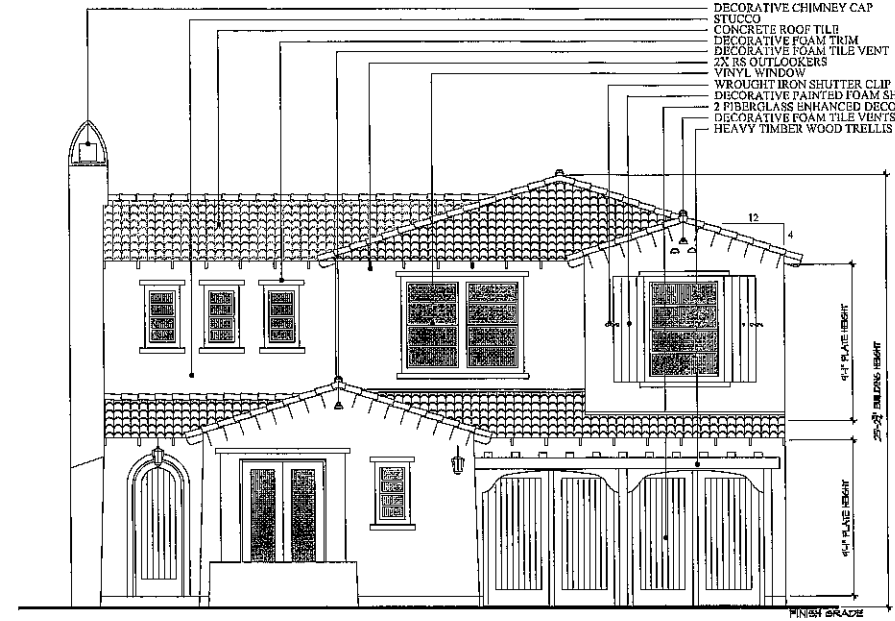
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Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
Revision 5:	
Revision 4:	
Revision 3:	
Revision 2:	June 26, 2013
Revision 1:	April 6, 2013 Full submittal

Original Date: March 20, 2013
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DEP#:



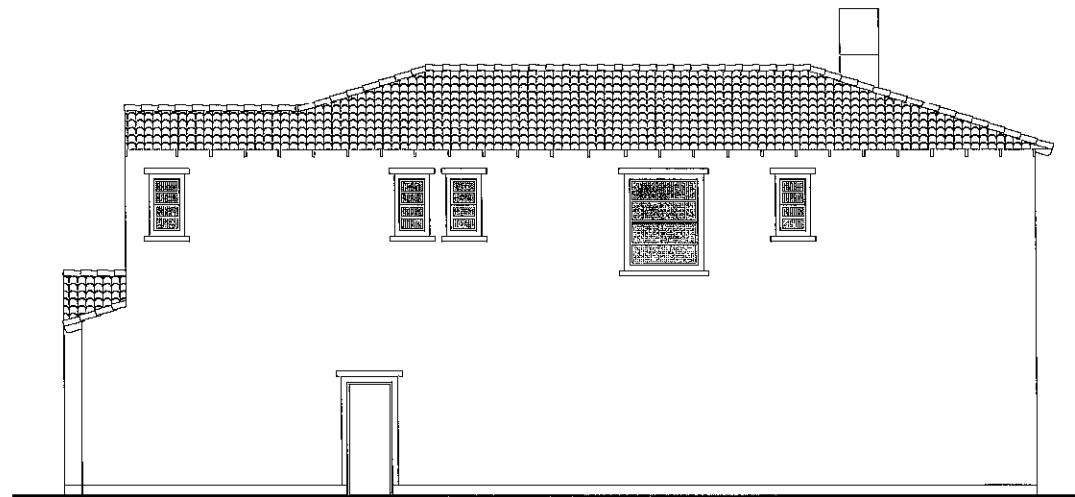


**RICHARD REGUA SPANISH REVIVAL
LEFT SIDE ELEVATION - ELEVATION 'A'**
SCALE: 1/4" = 1'-0"

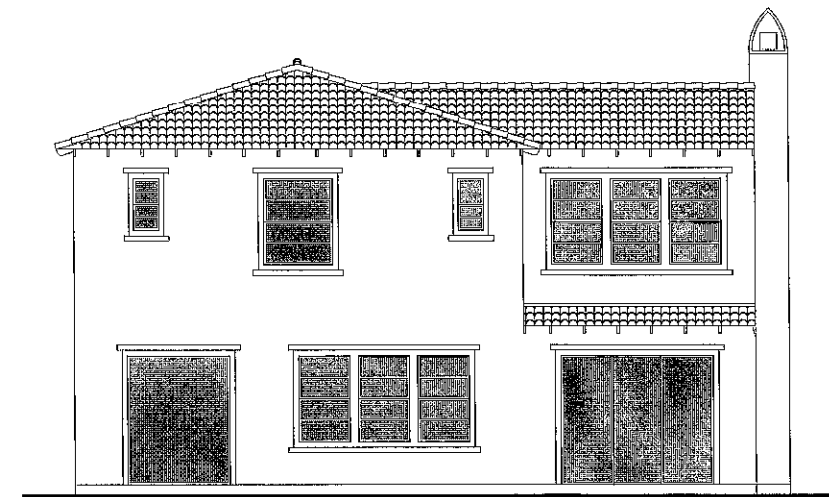


- DECORATIVE CHIMNEY CAP
- STUCCO
- CONCRETE ROOF TILE
- DECORATIVE FOAM TRIM
- DECORATIVE FOAM TILE VENT
- 2X 35 OUTLOOKERS
- VINYL WINDOW
- WROUGHT IRON SHUTTER CLIP
- DECORATIVE PAINTED FOAM SHUTTER
- 2 FIBERGLASS ENHANCED DECORATIVE ROLL UP GARAGE DOORS
- DECORATIVE FOAM TILE VENTS
- HEAVY TIMBER WOOD TRELLIS OVERHANG


**RICHARD REGUA SPANISH REVIVAL
FRONT ELEVATION - ELEVATION 'A'**
SCALE: 1/4" = 1'-0"

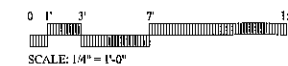


**RICHARD REGUA SPANISH REVIVAL
RIGHT SIDE ELEVATION - ELEVATION 'A'**
SCALE: 1/4" = 1'-0"



**RICHARD REGUA SPANISH REVIVAL
REAR ELEVATION - ELEVATION 'A'**
SCALE: 1/4" = 1'-0"

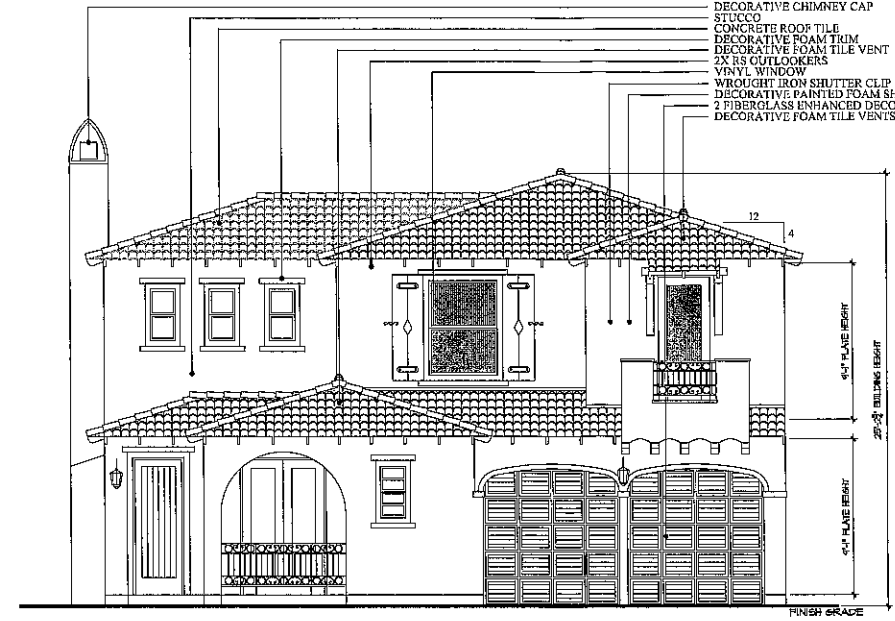
PLAN 2
MEADOWOOD
DCBT, LLC
SCALE: 1/4" = 1'-0"

THE MCKINLEY ASSOC., INC.
ARCHITECTURE & PLANNING
MARCH 20, 2013



Prepared By:	Revision 14:
Name: The McKinley Associates, Inc.	Revision 13:
Address: 1318 First Avenue	Revision 12:
San Diego, California 92101	Revision 11:
Phone #: (619) 238-1134	Revision 10:
Project Address:	Revision 9:
xxxx	Revision 8:
San Diego, CA xxxx	Revision 7:
Project Name:	Revision 6:
MEADOWOOD	Revision 5:
Sheet Title:	Revision 4:
1/4" Elevations	Revision 3:
	Revision 2:
	Revision 1: June 26, 2013
	April 8, 2013 full submittal
Original Date: March 20, 2013	
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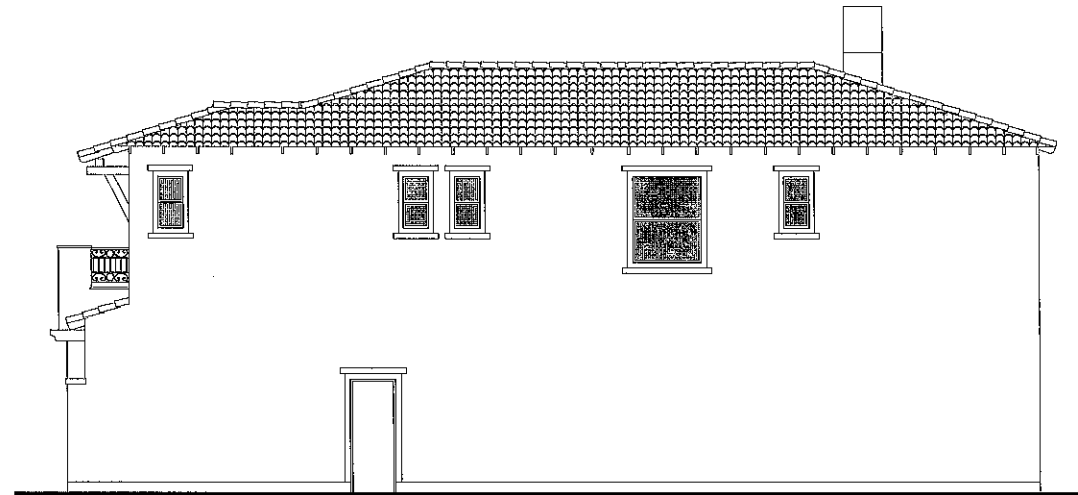


**WALLACE NEFF MISSION
LEFT SIDE ELEVATION - ELEVATION 'B'**
SCALE: 1/4" = 1'-0"

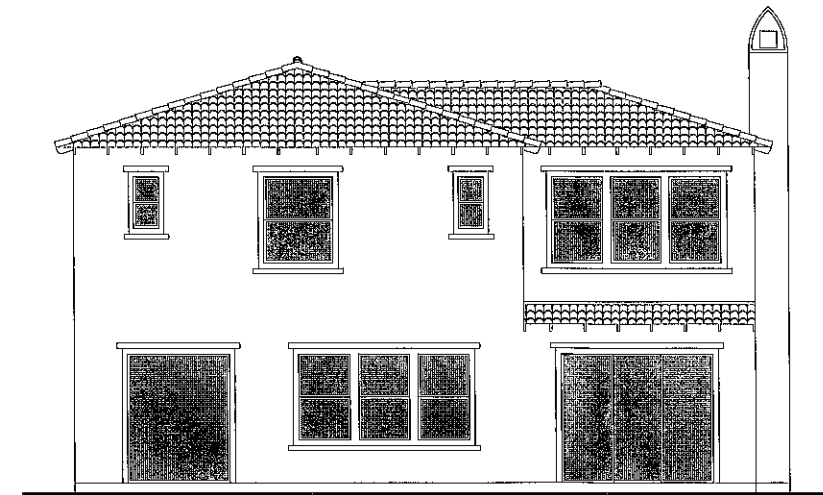


- DECORATIVE CHIMNEY CAP
- STUCCO
- CONCRETE ROOF TILE
- DECORATIVE FOAM TRIM
- DECORATIVE FOAM TILE VENT
- 2X RS OUTLOOKERS
- VINYL WINDOW
- WROUGHT IRON SHUTTER CLIP
- DECORATIVE PAINTED FOAM SHUTTER
- 2 FIBERGLASS ENHANCED DECORATIVE ROLL UP GARAGE DOORS
- DECORATIVE FOAM TILE VENIS

**WALLACE NEFF MISSION
FRONT ELEVATION - ELEVATION 'B'**
SCALE: 1/4" = 1'-0"



**WALLACE NEFF MISSION
RIGHT SIDE ELEVATION - ELEVATION 'B'**
SCALE: 1/4" = 1'-0"



**WALLACE NEFF MISSION
REAR ELEVATION - ELEVATION 'B'**
SCALE: 1/4" = 1'-0"

PLAN 2
MEADOWOOD
DCBT, LLC

SCALE: 1/4" = 1'-0"

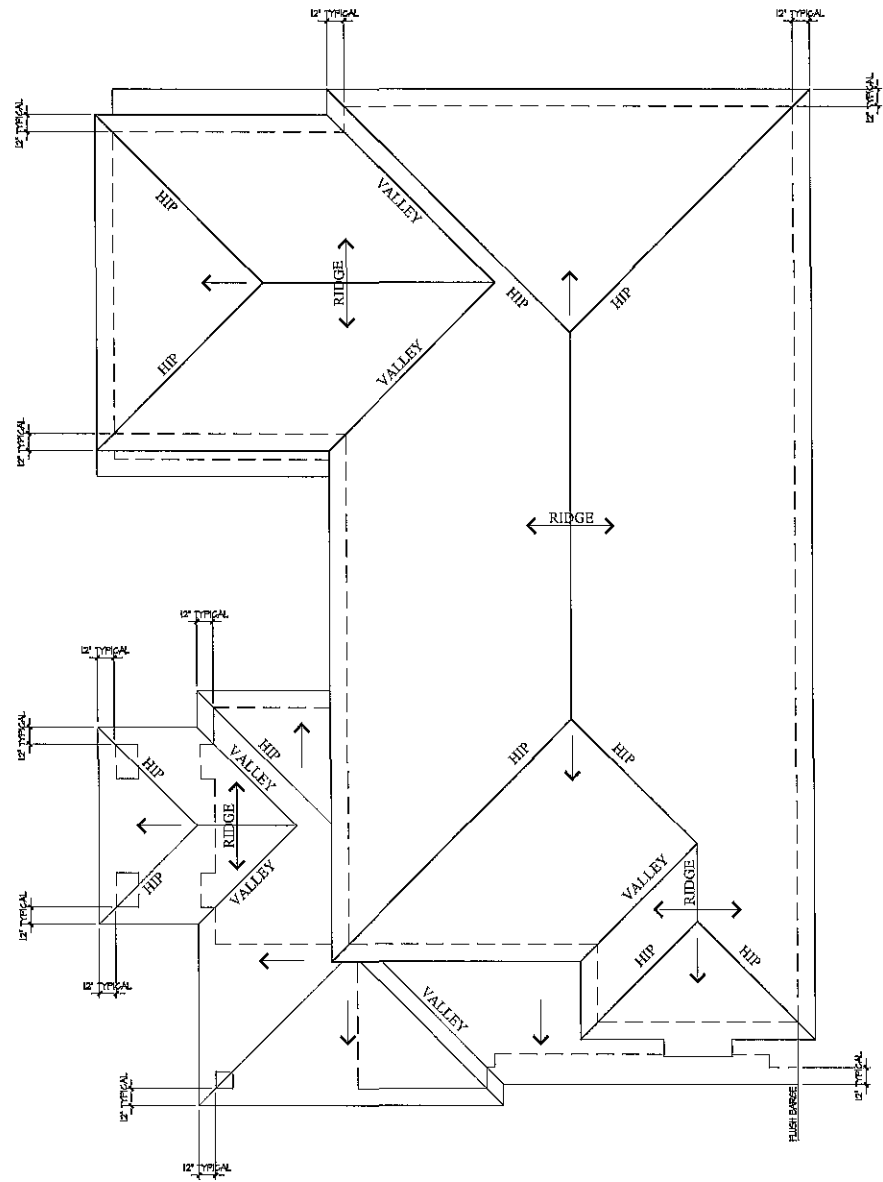


Prepared By:
Name: The McKinley Associates, Inc.
Address: 1818 First Avenue
San Diego, California 92101
Phone #: (619) 238-1134
Project Address:
xxxx
San Diego, CA xxxx
Project Name:
MEADOWOOD
Sheet Title:
1/4" Elevations

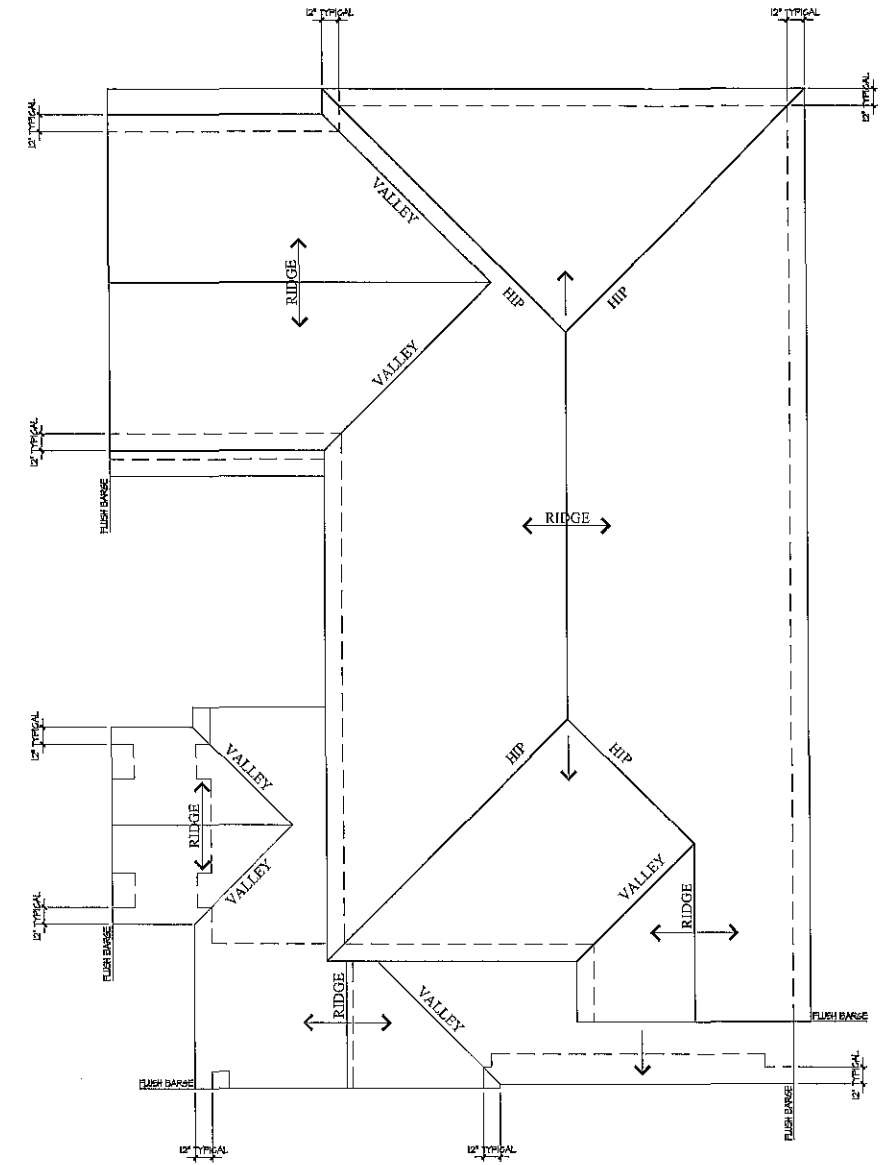
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Revision 12:	
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Revision 6:	
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Revision 3:	
Revision 2:	June 26, 2013
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Original Date: March 20, 2013
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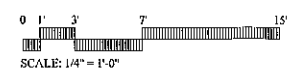
WALLACE NEFF MISSION
ROOF PLAN - ELEVATION B
SCALE 1/4" = 1'-0"



RICHARD REQUA SPANISH REVIVAL
ROOF PLAN - ELEVATION A
SCALE 1/4" = 1'-0"

PLAN 2
MEADOWOOD
DCBT, LLC
SCALE: 1/4" = 1'-0"

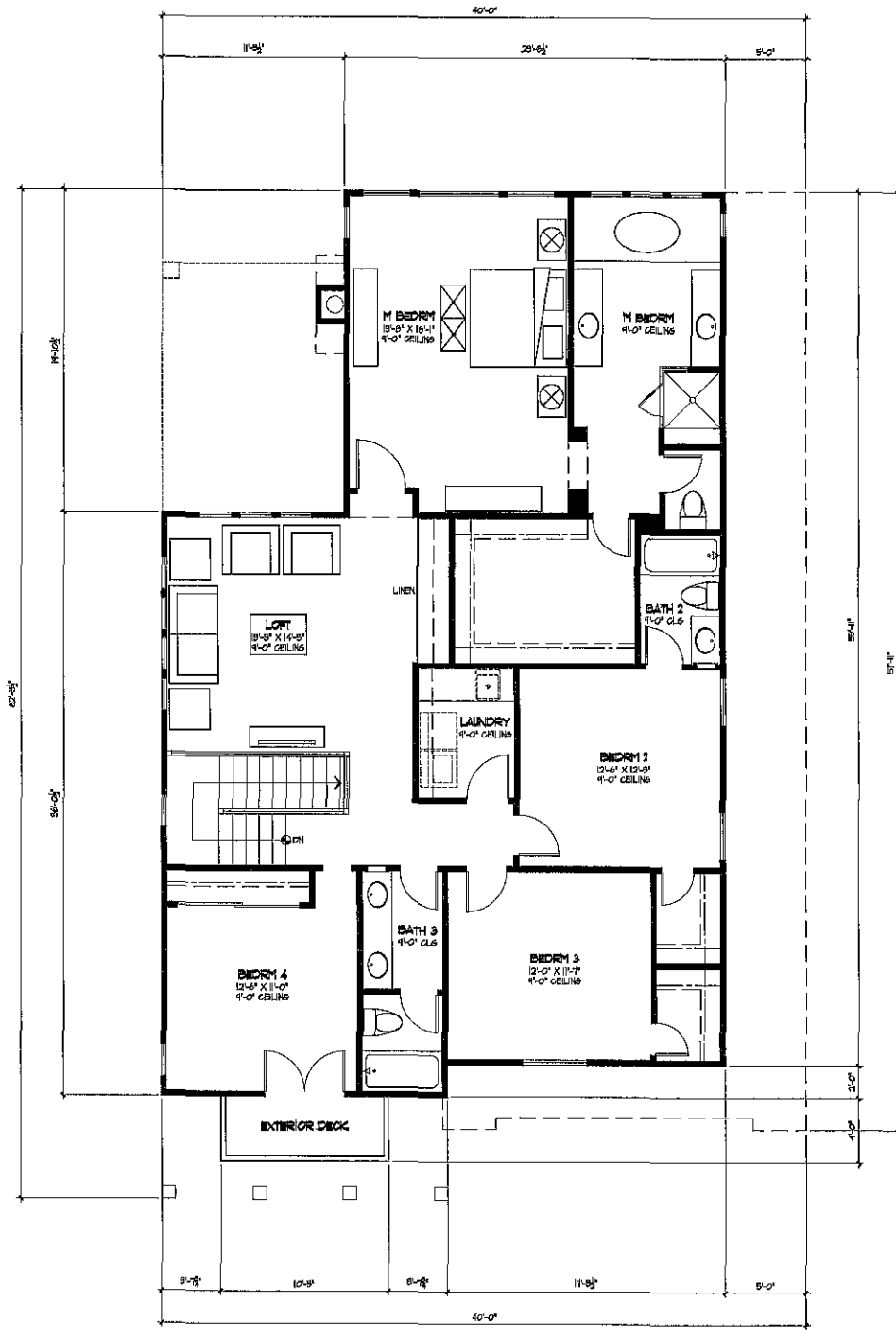
THE MCKINLEY ASSOC., INC.
ARCHITECTURE & PLANNING
MARCH 20, 2013



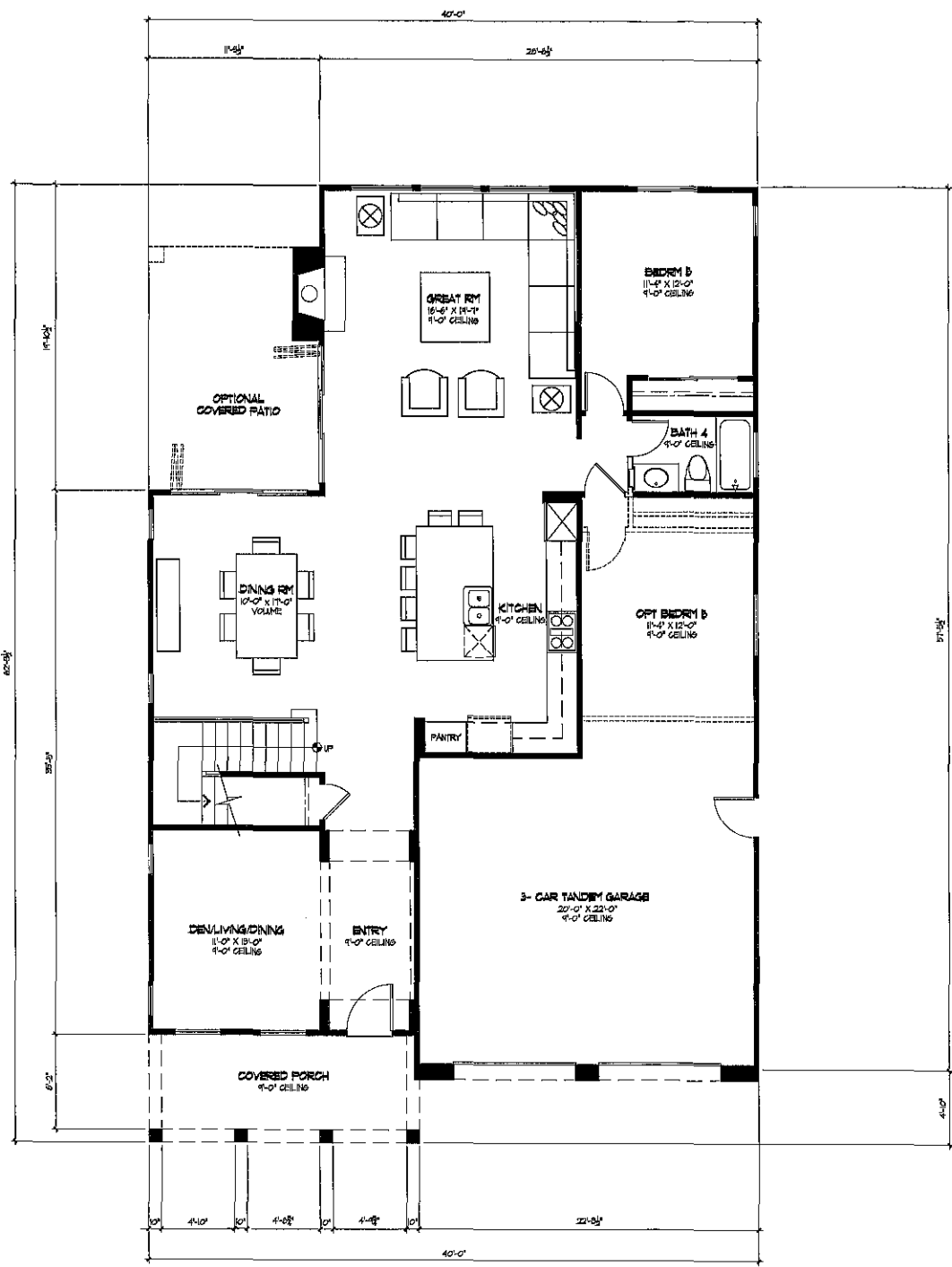
Prepared By:
Name: The McKinley Associates, Inc.
Address: 1818 First Avenue
San Diego, California 92101
Phone #: (619) 238-1134
Project Address:
xxxx
San Diego, CA xxxx
Project Name:
MEADOWOOD
Sheet Title:
1/4" Roof Plans

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
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Original Date: March 20, 2013
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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

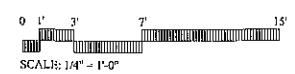
FIRST FLOOR: 1,392 SQ. FT.
SECOND FLOOR: 1,617 SQ. FT.
TOTAL: 3,009 SQ. FT.
GARAGE: 651 SQ. FT.

PLAN 3
MEADOWOOD
DCBT, LLC
SCALE: 1/4" = 1'-0"

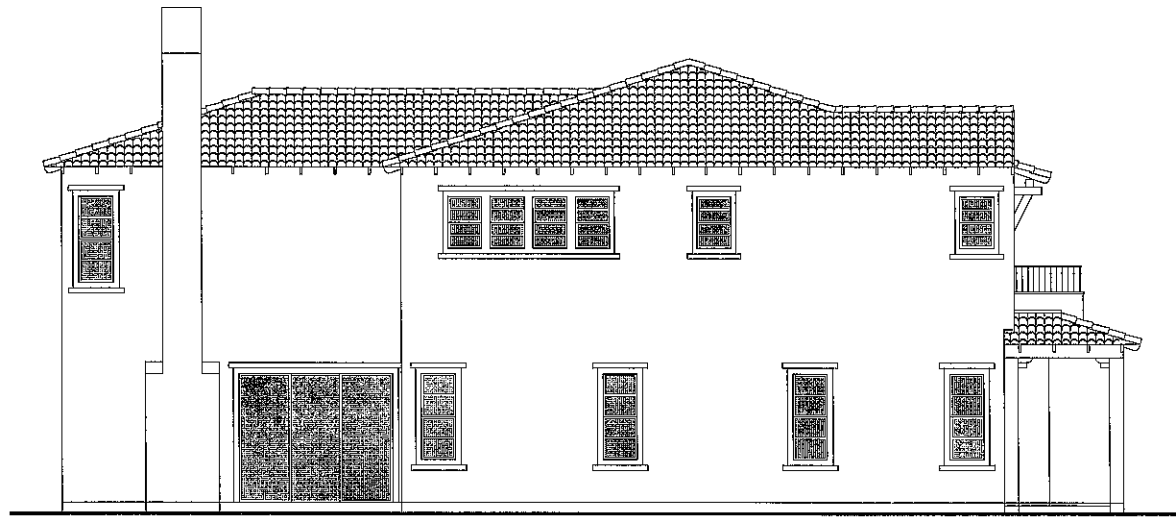
THE MCKINLEY ASSOC., INC.
ARCHITECTURE & PLANNING
MARCH 20, 2013

Prepared By:
Name: The McKinley Associates, Inc.
Address: 1818 First Avenue
San Diego, California 92101
Phone #: (619) 238-1134
Project Address:
xxxxx
San Diego, CA xxxxx
Project Name:
MEADOWOOD
Sheet Title:
1/4" Floor Plans

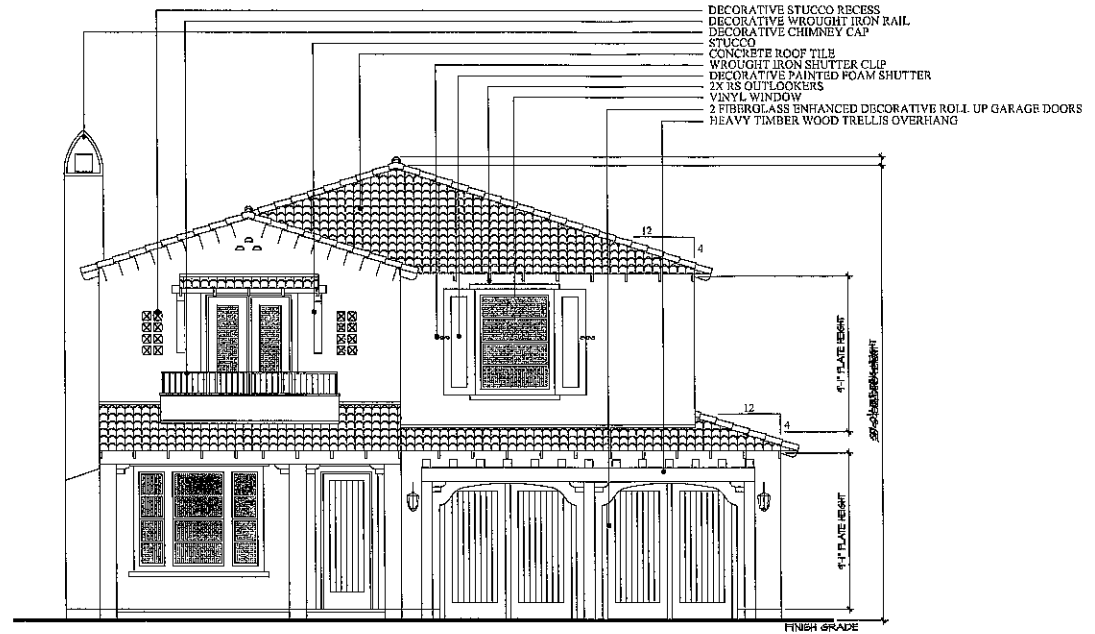
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Revision 12:	
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Revision 3:	
Revision 2:	June 28, 2013
Revision 1:	April 8, 2013 Full submittal



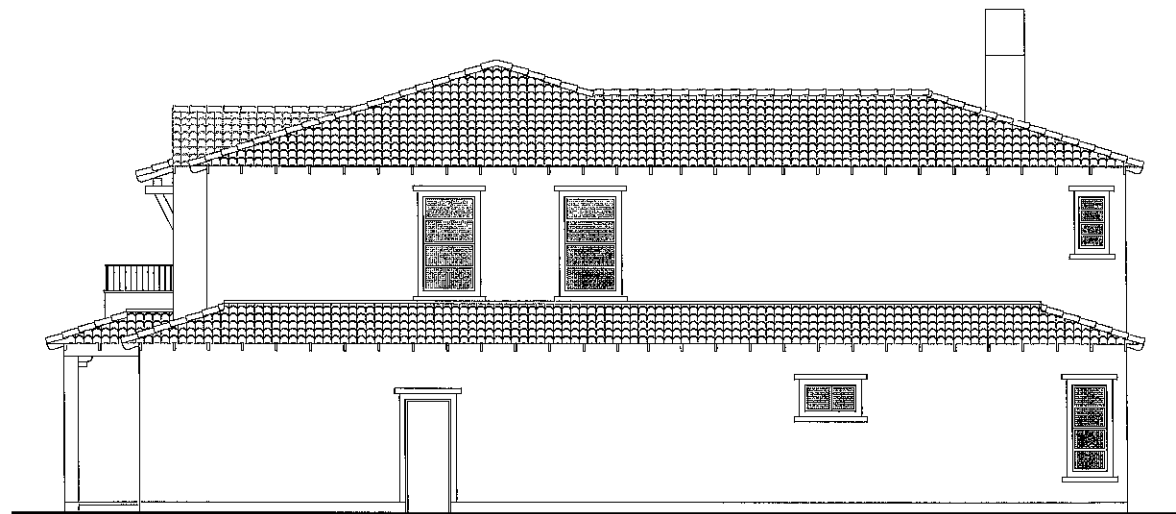
Original Date: March 20, 2013
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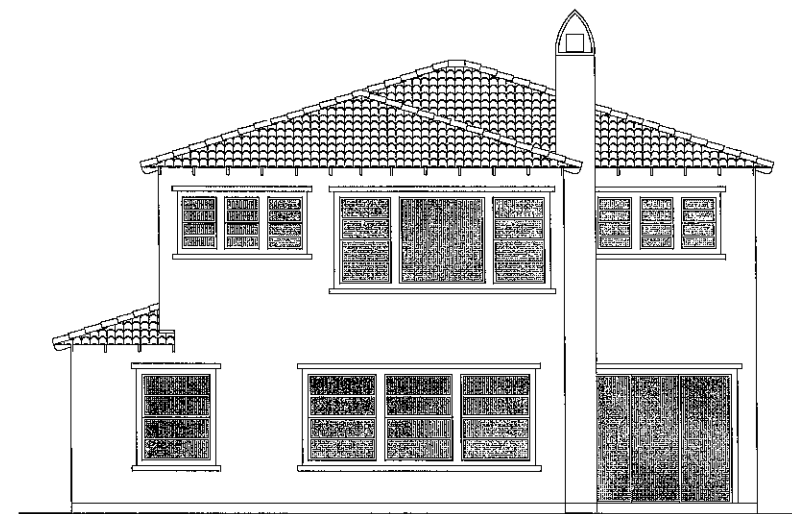
RICHARD REGUA SPANISH REVIVAL - LEFT SIDE ELEVATION - ELEVATION 'A'
SCALE: 1/4" = 1'-0"



RICHARD REGUA SPANISH REVIVAL - FRONT ELEVATION - ELEVATION 'A'
SCALE: 1/4" = 1'-0"



RICHARD REGUA SPANISH REVIVAL - RIGHT SIDE ELEVATION - ELEVATION 'A'
SCALE: 1/4" = 1'-0"



RICHARD REGUA SPANISH REVIVAL - REAR ELEVATION - ELEVATION 'A'
SCALE: 1/4" = 1'-0"

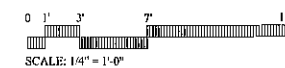
PLAN 3
MEADOWOOD
DCBT, LLC

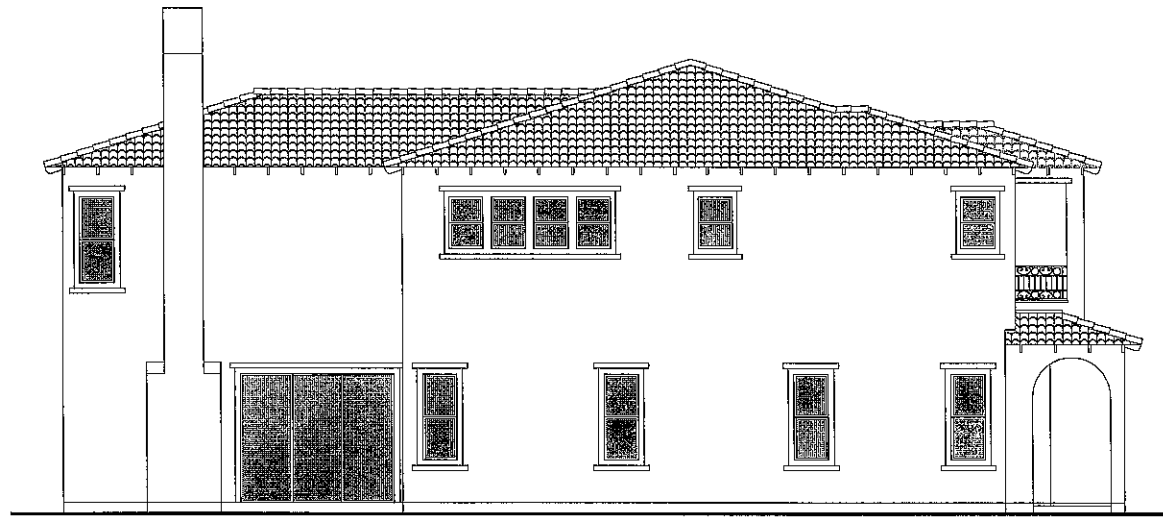
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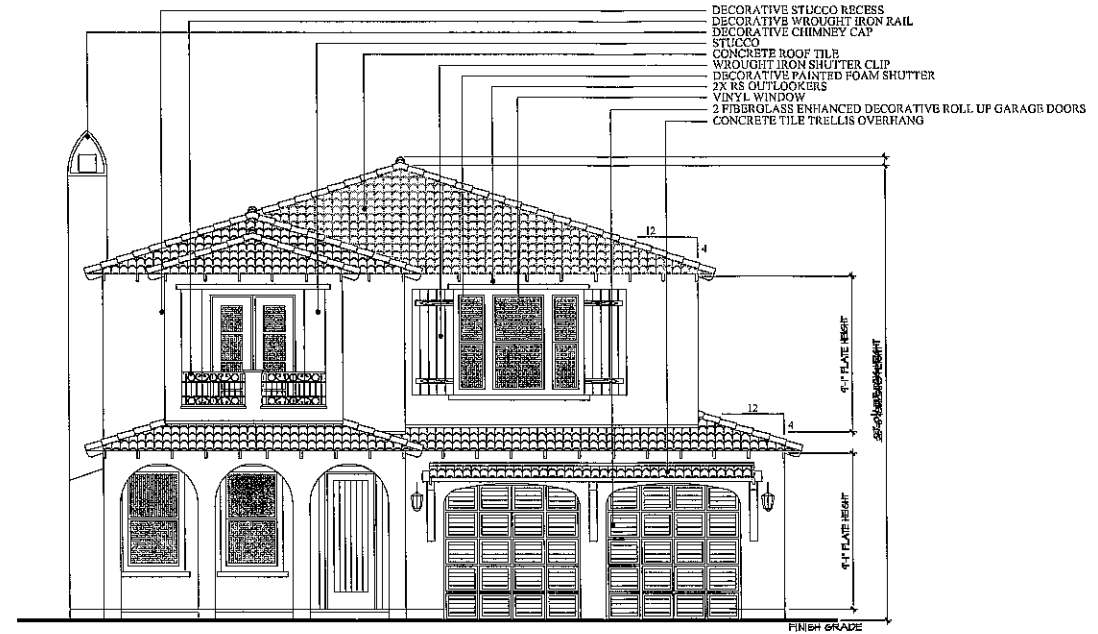
Prepared By:
Name: The McKinley Associates, Inc.
Address: 1818 First Avenue
San Diego, California 92101
Phone #: (619) 238-1134
Project Address:
xxxx
San Diego, CA xxxxx
Project Name:
MEADOWOOD
Sheet Title:
1/4" Elevations

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
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Revision 2:	June 26, 2013
Revision 1:	April 5, 2013 Full submittal
Original Date:	March 20, 2013
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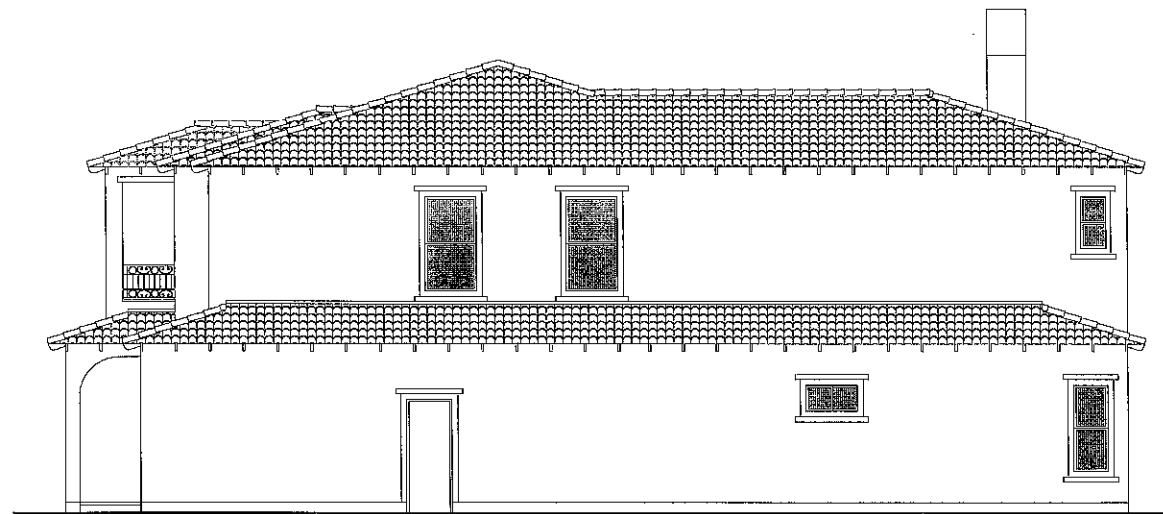




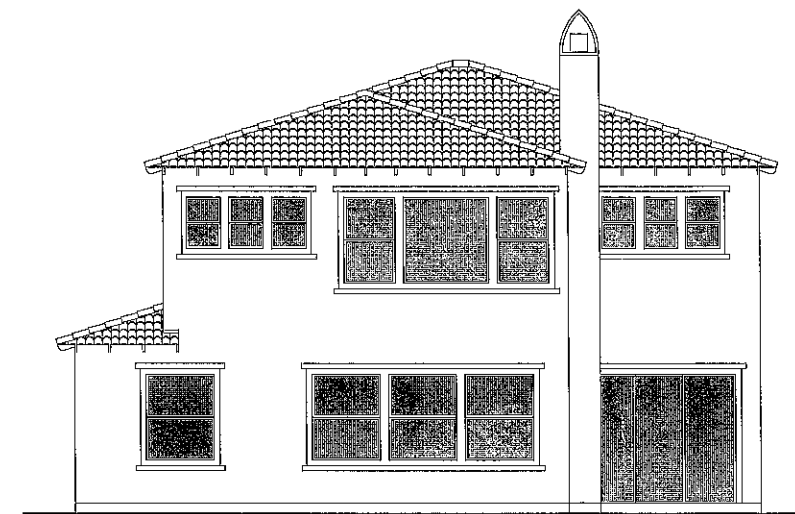
WALLACE NEFF MISSION
LEFT SIDE ELEVATION - ELEVATION 'B'
SCALE: 1/4" = 1'-0"



WALLACE NEFF MISSION
FRONT ELEVATION - ELEVATION 'B'
SCALE: 1/4" = 1'-0"



WALLACE NEFF MISSION
RIGHT SIDE ELEVATION - ELEVATION 'B'
SCALE: 1/4" = 1'-0"



WALLACE NEFF MISSION
REAR ELEVATION - ELEVATION 'B'
SCALE: 1/4" = 1'-0"

PLAN 3
MEADOWOOD
DCBT, LLC

SCALE: 1/4" = 1'-0"

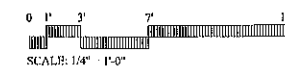


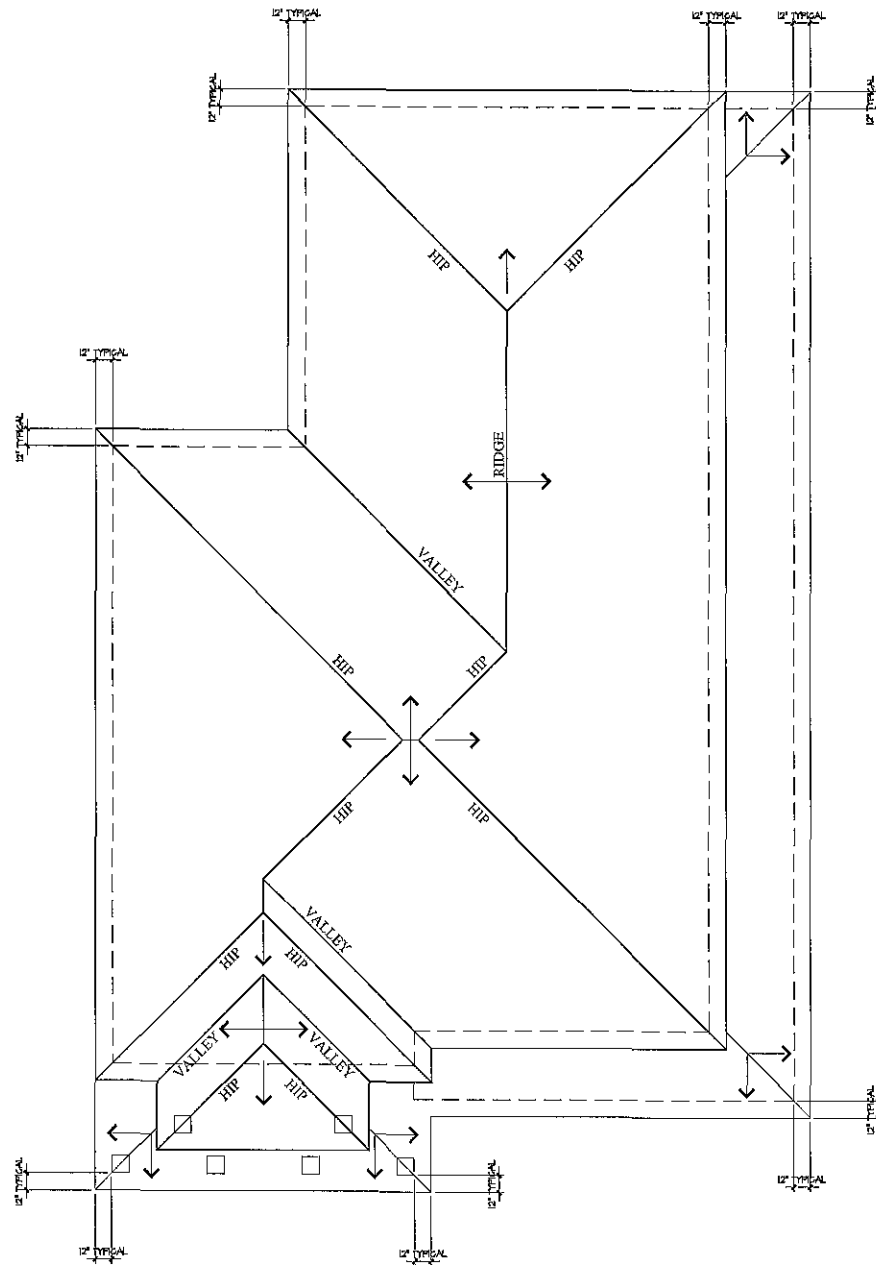
Prepared By:
Norac: The McKinley Associates, Inc.
Address: 1818 First Avenue
San Diego, California 92101
Phone #: (619) 238-1134
Project Address:
xxxx
San Diego, CA xxxxx
Project Name:
MEADOWOOD

Revision 14:	
Revision 13:	
Revision 12:	
Revision 11:	
Revision 10:	
Revision 9:	
Revision 8:	
Revision 7:	
Revision 6:	
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Revision 4:	
Revision 3:	
Revision 2:	
Revision 1:	April 8, 2013 Full submittal

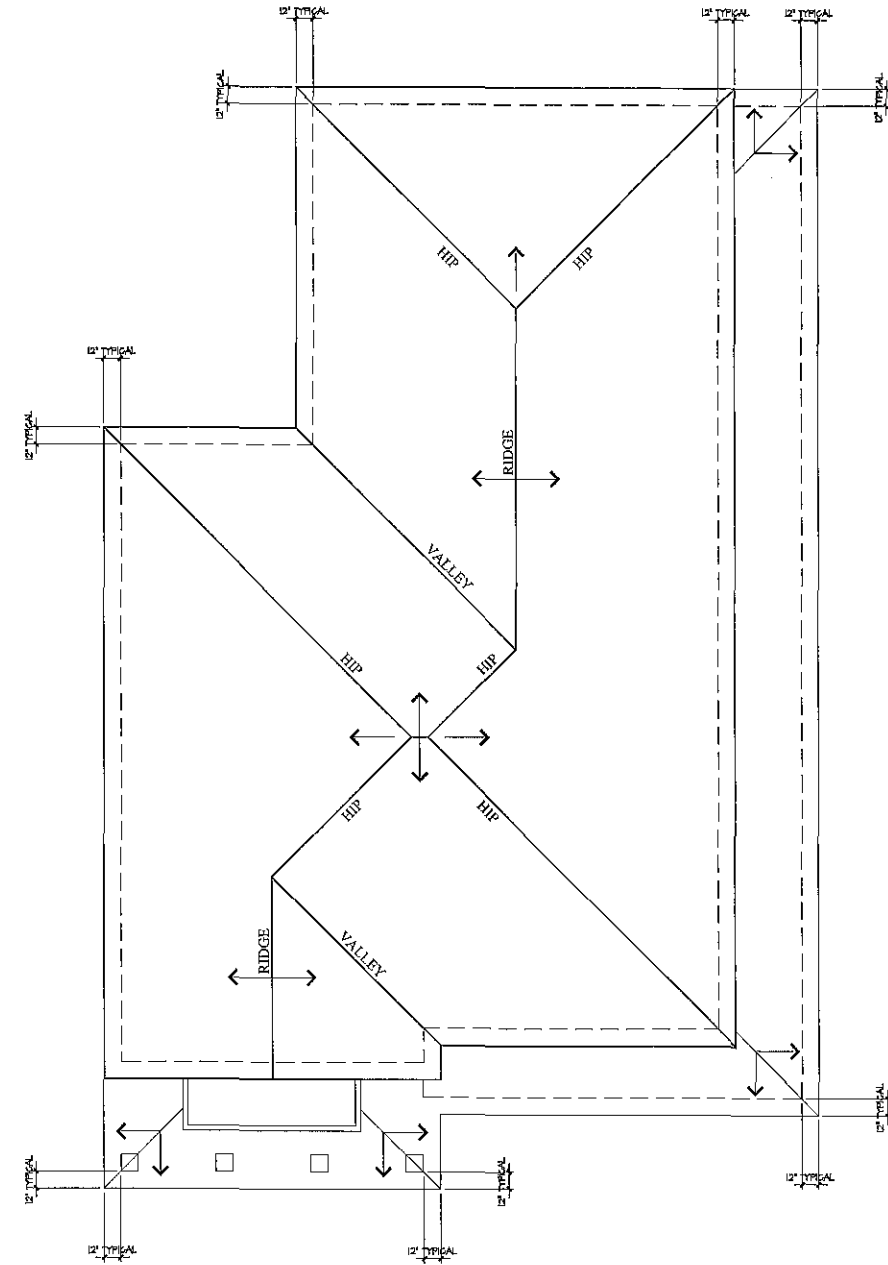
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Original Date: March 20, 2013
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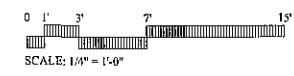
WALLACE NEFF MISSION
ROOF PLAN - ELEVATION B
SCALE: 1/4" = 1'-0"



RICHARD REQUA SPANISH REVIVAL
ROOF PLAN - ELEVATION A
SCALE: 1/4" = 1'-0"

PLAN 3
MEADOWOOD
DCBT, LLC
SCALE: 1/4" = 1'-0"

THE MCKINLEY ASSOC., INC.
ARCHITECTURE & PLANNING
MARCH 20, 2013



Prepared By:
Name: The McKinley Associates, Inc.
Address: 1818 First Avenue
San Diego, California 92101
Phone #: (619) 238-1134
Project Address:
xxxx
San Diego, CA xxxx
Project Name:
MEADOWOOD
Sheet Title:
1/4" Roof Plans

Revision 14:	
Revision 13:	
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Revision 10:	
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Revision 2:	June 26, 2013
Revision 1:	April 8, 2013 Full submittal

Original Date: March 20, 2013
Sheet 18 of 18
DEP#:

CITY COUNCIL RESOLUTION NUMBER R-_____
VESTING TENTATIVE MAP NO.1213889,
MEADOWOOD DEVELOPMENT - PROJECT NO. 317414 [MMRP]

WHEREAS, Three Sided, L.P., Subdivider, and Dan Rehm, Engineer, submitted an application to the City of San Diego for a vesting tentative map (Vesting Tentative Map No. 1213889), and public right-of-way vacation for the subdivision of a 2.2-acre site into thirteen lots for the construction of nine single-family residential units. The project site is located on the north side of Carmel Valley Road, approximately 750 feet from Rancho Santa Fe Farms Road, APN No. 305-021-07. The property is legally described as the East half of the West half of the Southeast quarter of Section 10, Township 14 South, Range 3, excepting therefrom that portion lying northerly from the center line of that dirt road (known as Black Mountain Road or Fourth Street Extension) running in a generally East-West direction through the south half of Section 10; and also excepting therefrom that portion thereof lying Southeasterly of the center line of the 60-foot easement to the City of San Diego; and

WHEREAS, the Map proposes the Subdivision of a 2.2-acre-site into thirteen (13) lots for residential units, private open space, and a private driveway. Lots 1 through 9 are for residential development, Lot 10 is a private driveway and Lots A, B and C are for private open spaces; and

WHEREAS, in connection with the consideration of the Meadowood Development project, Project No. 317414, the City Council considered MEIR No. 96-7918, Findings to EIR No. 96-7918, and the Initial Study prepared for the Meadowood Development project; and

WHEREAS, the project complies with the requirements of a preliminary soils and/or geological reconnaissance report pursuant to Subdivision Map Act sections 66490 and 66491(b)-(f) and San Diego Municipal Code section 144.0220; and

WHEREAS, on January 23, 2014, the Planning Commission of the City of San Diego considered Vesting Tentative Map No. 1213889 and Public Right-of-Way Vacation No. 1109121, and pursuant to Resolution No. PC-XXXX, the Planning Commission voted to recommend City Council approval of the map; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, on _____, the City Council of the City of San Diego considered Vesting Tentative Map No.1213889, and Public Right-of-Way and/or Easement Vacation No. 1109121, and pursuant to San Diego Municipal Code sections 125.0440, 125.0430, 125.0941, and Subdivision Map Act section 66428, received for its consideration written and oral presentations, evidence having been submitted, and testimony having been heard from all interested parties at the public hearing, and the City Council having fully considered the matter and being fully advised concerning the same; NOW THEREFORE,

BE IT RESOLVED by the City Council of the City of San Diego, that it adopts the following findings with respect to Vesting Tentative Map No.1213889:

1. The proposed subdivision and its design or improvement are consistent with the policies, goals, and objectives of the applicable land use plan (San Diego Municipal Code § 125.0440(a) and Subdivision Map Action §§ 66473.5, 66474(a), and 66474(b)).

The proposed thirteen lot subdivision of a 2.2-acre property for a nine unit residential development will provide for a balanced community and equitable development within the community through the provision of housing that provides varying architectural styles, size and affordability. The proposed subdivision is consistent with the recommended residential land use and density prescribed in the Pacific Highlands Ranch Subarea Plan. Therefore the proposed subdivision and its design and improvement will be consistent with policies, goals, and objectives of the applicable land use plan.

2. The proposed subdivision complies with the applicable zoning and development regulations of the Land Development Code, including any allowable deviations pursuant to the land development code.

The proposed thirteen lot subdivision of a 2.2-acre property for a nine unit residential development will comply with the development regulations of the underlying RS-1-14 zone and all of the applicable development regulations of the Land Development Code. This application includes a request to deviate from the required minimum street frontage, as eight of the nine residential lots have no frontage on a public right-of-way. Deviations to the applicable development regulations of the Land Development Code are permitted with a Planned Development Permit. The deviations are considered minor and determined to be consistent with the purpose and intent of the RS-1-14 zone together with the purpose and intent of the Pacific Highlands Ranch Subarea Plan.

3. The site is physically suitable for the type and density of development (San Diego Municipal Code § 125.0440(c) and Subdivision Map Act §§ 66474(c) and 66474(d)).

The proposed thirteen lot subdivision of a 2.2-acre property for a nine unit residential development is consistent with the recommended residential land use and density range of the Pacific Highlands Ranch Subarea Plan and will comply with the applicable development of the underlying RS-1-14 zone and the design goals and recommendations of the Pacific Highland Ranch Subarea Plan. The bulk, scale and siting of the proposed development is compatible with the existing and future surrounding land uses. Therefore, the site is physically suitable for the type and density of the proposed development.

4. The design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat (San Diego Municipal Code § 125.0440(d) and Subdivision Map Act § 66474(e)).

The proposed thirteen lot subdivision of a 2.2-acre property for a nine unit residential development was reviewed and found to be within the scope of Master Environmental Impact Report No. 96-7918, certified on July 28, 1998. This Master Environmental

Impact Report adequately describes the activity for the purposes of CEQA. The subsequent environmental review determined that the project will have no impact on biological resources. Therefore, the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

5. The design of the subdivision or the type of improvement will not be detrimental to the public health, safety, and welfare (San Diego Municipal Code § 125.0440(e) and Subdivision Map Act § 66474(f)).

The proposed subdivision and improvements have been designed to comply with all applicable Federal, State and local and use policies including the California State Map Act and the City of San Diego Land Development Code. Further, the proposed subdivision and improvements will be permitted, constructed, and inspected in accordance with the California Building Code. Therefore, the design of the subdivision or the proposed improvements will not be detrimental to the public health, safety, and welfare.

6. The design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision (San Diego Municipal Code § 125.0440(f) and Subdivision Map Act § 66474(g)).

The proposed subdivision will maintain and, as required, improve the existing public rights-of-ways and general utility easements. Therefore, the design of the subdivision and the associated improvements will not conflict with the easements acquired by the public at large for access through or use of property within the proposed subdivision.

7. The design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating and cooling opportunities (San Diego Municipal Code § 125.0440(g) and Subdivision Map Act § 66473.1).

The design of the proposed thirteen lot subdivision of a 2.2-acre property for a nine unit residential development, through building materials, site orientation, architectural treatments, and the placement and selection of plant materials, provides, to the extent feasible, for future passive or natural heating and cooling opportunities.

8. The decision maker has considered the effects of the proposed subdivision on the housing needs of the region and that those needs are balanced against the needs for public services and the available fiscal and environmental resources (San Diego Municipal Code § 125.0440(h) and Subdivision Map Act § 66412.3).

The site is designated as Low Density Residential by the Pacific Highlands Ranch Subarea Plan which allows densities between 2-5 dwelling units per acre. Density is based upon net site area exclusive of major road dedications (e.g. Carmel Valley Road). The proposed nine residential lot subdivision is within the allowed density range. The North City Future Urbanizing Area (NCFUA) Framework Plan and the Pacific Highlands

Ranch Subarea Plan requires new development to provide housing to accommodate the needs of low income households, as certified by the Housing Commission. The applicant has chosen the option of paying an in-lieu fee to the Housing Commission's NCFUA Affordable Housing Trust Account to meet their affordable housing requirement rather than provide the dwelling units on-site.

Balanced needs for public facilities were taken into consideration with the development of the Pacific Highlands Ranch Subarea Plan and the projected build-out with the applied zone designations. The subdivision of this parcel into nine residential lots is consistent with what was anticipated in the community plan. Environmentally Sensitive Lands are not present on the site. The project design has taken into account the best use of the land to minimize grading. The decision maker has reviewed the administrative record including the project plans, technical studies, environmental documentation and heard public testimony to determine the effects of the proposed subdivision on the housing needs of the region and; that those needs are balanced against the needs for public services and the available fiscal and environmental resources and found that the addition of nine residential lots for private development is consistent with the housing needs anticipated for the Pacific Highlands Ranch area.

The above findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference.

BE IT FURTHER RESOLVED, that portions of Carmel Valley Road, located within the project boundaries as shown in Vesting Tentative Map No. 1213889, shall be vacated, contingent upon the recordation of the approved Final Map for the project, and that the following findings are supported by the minutes, maps, and exhibits, all of which are herein incorporated by reference:

9. There is no present or prospective use for the easement, either for the facility or purpose for which it was originally acquired, or for any other public use of a like nature that can be anticipated. (San Diego Municipal Code § 125.1040(a))

There is no present or prospective public use for this former alignment portion of Carmel Valley Road, 750-feet east of Rancho Santa Fe Farms Road. This portion of Carmel Valley Farms Road was previously an active portion of public right-of-way; however, with development in the area, Carmel Valley Road has been realigned farther to the south and the subject portion within the old alignment is no longer used as a public right-of-way. This portion of street does not contain underground franchise facilities or public

water and sewer improvements. No public facilities would be affected by the proposed vacation.

10. The public will benefit from the abandonment through improved utilization of the land made available by the abandonment. (San Diego Municipal Code § 125.1040(b))

Ownership of the unimproved portion of Carmel Valley Road would revert to the underlying adjacent property owners. This proposed vacated portion of Carmel Valley Road would become part of a proposed 13-lot subdivision, including nine residential lots, a private driveway lot, and three open space lots in compliance with the Pacific Highlands Ranch Subarea Plan. The public would benefit by the stated improvements of this property through improved utilization of the land.

11. The abandonment is consistent with any applicable land use plan. (San Diego Municipal Code § 125.1040(c))

The proposed area to be vacated is zoned RS-1-14, a Residential Zone, and the Pacific Highlands Ranch Subarea Plan designates this area for Low-Density Residential land use at 2-5 dwelling units per net acre. This proposed street vacation was reviewed by City Staff and determined to be consistent with the Pacific Highlands Community Plan. This vacation, if approved, will allow this property to be further developed for Low-Density Residential use allowed by the underlying RS-1-14 Zone. Therefore the proposed vacation does not adversely affect the applicable land use plan.

12. The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by this abandonment or the purpose for which the easement was acquired no longer exists. (San Diego Municipal Code § 125.1040(d))

The area of the proposed vacation is currently excess right-of-way in an old or previously used alignment of Carmel Valley Road. It is currently vacant and has no prospective public use. The unimproved street does not contain underground franchise facilities or public water or sewer improvements. Public facilities would be not be affected by the proposed vacation.

BE IT FURTHER RESOLVED, that based on the Findings hereinbefore adopted by the City Council, Vesting Tentative Map No. 1213889, and Public Right-of-Way Vacation No. 1109121 is hereby granted to Three Sided, L.P., subject to the attached conditions which are made a part of this resolution by this reference.

APPROVED: JAN I. GOLDSMITH, City Attorney

By _____
[Attorney]
Deputy City Attorney

[Initials]:[Initials]
[Month]/[Day]/[Year]
Or.Dept:DSD
R-R-[Reso Code]

ATTACHMENT: Tentative Map Conditions

Internal Order No. 24003648

CITY COUNCIL
CONDITIONS FOR VESTING TENTATIVE MAP NO. 1213889
WITH PUBLIC RIGHT-OF-WAY VACATION NO. 1109121
MEADOWOOD DEVELOPMENT - PROJECT NO. 317414
ADOPTED BY RESOLUTION NO. R- _____ ON _____

GENERAL

1. This Vesting Tentative Map will expire _____ (Three years after approval date).
2. Compliance with all of the following conditions shall be completed and/or assured, to the satisfaction of the City Engineer, prior to the recordation of the Final Map, unless otherwise noted.
3. Prior to the Vesting Tentative Map expiration date, a Final Map shall be recorded in the Office of the San Diego County Recorder.
4. Prior to the recordation of the Final Map, taxes must be paid on this property pursuant to Subdivision Map Act section 66492. To satisfy this condition, a tax certificate stating that there are no unpaid lien conditions against the subdivision must be recorded in the Office of the San Diego County Recorder.
5. The Final Map shall conform to the provisions of Planned Development Permit.
6. The Subdivider shall defend, indemnify, and hold the City (including its agents, officers, and employees [together, "Indemnified Parties"]) harmless from any claim, action, or proceeding, against the City and/or any Indemnified Parties to attack, set aside, void, or annul City's approval of this project, which action is brought within the time period provided for in Government Code section 66499.37. City shall promptly notify Subdivider of any claim, action, or proceeding and shall cooperate fully in the defense. If City fails to promptly notify Subdivider of any claim, action, or proceeding, or if City fails to cooperate fully in the defense, Subdivider shall not thereafter be responsible to defend, indemnify, or hold City and/or any Indemnified Parties harmless. City may participate in the defense of any claim, action, or proceeding if City both bears its own attorney's fees and costs, City defends the action in good faith, and Subdivider is not required to pay or perform any settlement unless such settlement is approved by the Subdivider.

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ENGINEERING

7. Prior to the recordation of the final map, a private drainage easement for proposed drainage system shall be obtained, satisfactory to the City Engineer.
8. The Final Map shall comply with the provisions of PDP No. 1109069.
9. Prior to recordation of the Final Map, the Subdivider shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
10. Prior to recordation of the Final Map, the Subdivider shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications, satisfactory to the City Engineer.
11. Development of this project shall comply with all requirements of State Water Resources Control Board (SWRCB) Order No. 2009-009 DWQ and the Municipal Storm Water Permit, Order No. 2009-009(NPDES General Permit No. CAS000002 and CAS0108758), Waste Discharge Requirements for Discharges of Storm Water Runoff Associated With Construction Activity. In accordance with said permit, a Storm Water Pollution Prevention Plan (SWPPP) and a Monitoring Program Plan shall be implemented concurrently with the commencement of grading activities, and a Notice of Intent (NOI) shall be filed with the SWRCB.
12. A copy of the acknowledgment from the SWRCB that an NOI has been received for this project shall be filed with the City of San Diego when received; further, a copy of the completed NOI from the SWRCB showing the permit number for this project shall be filed with the City of San Diego when received. In addition, the owner(s) and subsequent owner(s) of any portion of the property covered by this grading permit and by SWRCB Order No. 2009-009 DWQ, and any subsequent amendments thereto, shall comply with special provisions as set forth in SWRCB Order No. 2009-009 DWQ.
13. Prior to recordation of the Final Map, the Subdivider shall submit a letter of permission for the proposed offsite grading, satisfactory to the City Engineer. Prior to the issuance of any grading permit, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement, for the sidewalk underdrain at Carmel Valley Road, satisfactory to the City Engineer.

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14. The proposed driveways at Carmel Valley Road shall comply with City Standard Drawings SDG-160 and SDG-164.
15. Prior to recordation of the Final Map, the Subdivider shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.
16. The Subdivider shall comply with all current street lighting standards according to the City of San Diego Street Design Manual (Document No. 297376, filed November 25, 2002) and the amendment to Council Policy 200-18 approved by City Council on February 26, 2002 (Resolution R-296141) satisfactory to the City Engineer. This may require (but not be limited to) installation of new street light(s), upgrading light from low pressure to high pressure sodium vapor and/or upgrading wattage.
17. Prior to recordation of the Final Map, the Subdivider shall underground existing and/or proposed public utility systems and service facilities in accordance with the San Diego Municipal Code.
18. Prior to recordation of the Final Map, the Subdivider shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance.
19. Prior to recordation of the Final Map, the Subdivider shall underground any new service run to any new or proposed structures within the subdivision.
20. Prior to recordation of the Final Map, the Subdivider shall ensure that all existing onsite utilities serving the subdivision shall be undergrounded with the appropriate permits. The Subdivider shall provide written confirmation from applicable utilities that the conversion has taken place, or provide other means to assure the undergrounding, satisfactory to the City Engineer.
21. Conformance with the "General Conditions for Tentative Subdivision Maps," filed in the Office of the City Clerk under Document No. 767688 on May 7, 1980, is required. Only those exceptions to the General Conditions which are shown on the Vesting Tentative Map and covered in these special conditions will be authorized. All public improvements and incidental facilities shall be designed in accordance with criteria established in the Street Design Manual, filed with the City Clerk as Document No. RR-297376.

MAPPING

22. “Basis of Bearings” means the source of uniform orientation of all measured bearings shown on the map. Unless otherwise approved, this source shall be the California Coordinate System, Zone 6, North American Datum of 1983 [NAD 83].
23. “California Coordinate System” means the coordinate system as defined in Section 8801 through 8819 of the California Public Resources Code. The specified zone for San Diego County is “Zone 6,” and the official datum is the “North American Datum of 1983.”
24. The Final Map shall:
 - a. Use the California Coordinate System for its “Basis of Bearing” and express all measured and calculated bearing values in terms of said system. The angle of grid divergence from a true median (theta or mapping angle) and the north point of said map shall appear on each sheet thereof. Establishment of said Basis of Bearings may be by use of existing Horizontal Control stations or astronomic observations.
 - b. Show two measured ties from the boundary of the map to existing Horizontal Control stations having California Coordinate values of First Order accuracy. These tie lines to the existing control shall be shown in relation to the California Coordinate System (i.e., grid bearings and grid distances). All other distances shown on the map are to be shown as ground distances. A combined factor for conversion of grid-to-ground distances shall be shown on the map.

INFORMATION:

- The approval of this Tentative Map by the City Council of the City of San Diego does not authorize the subdivider to violate any Federal, State, or City laws, ordinances, regulations, or policies including but not limited to, the Federal Endangered Species Act of 1973 and any amendments thereto (16 USC § 1531 et seq.).
- If the Subdivider makes any request for new water and sewer facilities (including services, fire hydrants, and laterals), the Subdivider shall design and construct such facilities in accordance with established criteria in the most current editions of the City of San Diego water and sewer design guides and City regulations, standards and practices pertaining thereto.

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TM No. 1213889

Off-site improvements may be required to provide adequate and acceptable levels of service and will be determined at final engineering.

- Subsequent applications related to this Vesting Tentative Map will be subject to fees and charges based on the rate and calculation method in effect at the time of payment.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of the Vesting Tentative Map, may protest the imposition within ninety days of the approval of this Vesting Tentative Map by filing a written protest with the San Diego City Clerk pursuant to Government Code sections 66020 and/or 66021.
- Where in the course of development of private property, public facilities are damaged or removed, the Subdivider shall at no cost to the City, obtain the required permits for work in the public right-of-way, and repair or replace the public facility to the satisfaction of the City Engineer (San Diego Municipal Code § 142.0607).

Internal Order No. 24003648

WHEREAS, Three Sided, a Limited Partnership, Owner and Permittee, filed an application with the City of San Diego for a Planned Development Permit to construct a nine (9) single dwelling unit development, known as the Meadowood Development project, located on the north side of Carmel Valley Road, approximately 750 feet from Rancho Santa Fe Farms Road, APN No. 305-021-07, and legally described as the East half of the West half of the Southeast quarter of Section 10, Township 14 South, Range 3, excepting therefrom that portion lying northerly from the center line of that dirt road (known as Black Mountain Road or Fourth Street Extension) running in a generally East-West direction through the south half of Section 10; and also excepting therefrom that portion thereof lying Southeasterly of the center line of the 60-foot easement to the City of San Diego, in the Pacific Highlands Ranch Community Plan area, in the RS-1-14 zone; and

WHEREAS, on January 23, 2014, the Planning Commission of the City of San Diego considered Planned Development Permit (PDP) Permit No.1109069, and pursuant to Resolution No. XXXX-PC voted to recommend approval of the Permit; and

WHEREAS, under Charter section 280(a)(2) this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body and where a public hearing was required by law implicating due process rights of individuals affected by the decision and where the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; and

WHEREAS, the matter was set for public hearing on

_____, testimony having been heard, evidence having been

submitted, and the City Council having fully considered the matter and being fully advised concerning the same; NOW, THEREFORE,

BE IT RESOLVED, by the Council of the City of San Diego, that it adopts the following findings with respect to PDP Permit No.1109069:

A. PLANNED DEVELOPMENT PERMIT – SDMC Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan.

The property is located in the 6800 block of Carmel Valley Road in the RS-1-14 Zone, in the Pacific Highlands Ranch Subarea Plan area. The approximately 2.2-acre site is vacant in an area of mixed residential development and other vacant parcels. The project proposes a Planned Development Permit and Vesting Tentative Map with a Public Right-of-Way Vacation to subdivide the 2.2-acre property into 13 lots, including nine residential lots and to construct nine single-family residences. The project site is designated “Low-Density Residential” in the Pacific Highlands Ranch Subarea Plan, which specifies a density range of 2-5 dwelling units per acre for this land use designation, which would allow up to 11 units on this site of this size. The project is consistent in character, density, scale and intensity with the established residential development of adjacent projects. The project would implement the goals of the Plan by providing a residential development that is compatible with the surrounding residential uses and consistent with the Plan’s community design standards. Therefore, the proposed development will not adversely affect the applicable land use plan.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The property is located in the 6800 block of Carmel Valley Road in the RS-1-14 Zone, the Pacific Highlands Ranch Subarea Plan. The approximately 2.2-acre site is currently vacant and is located within in area of mixed residential development and other residentially zoned vacant properties. The project proposes a Planned Development Permit and Vesting Tentative Map with a Public Right-of-Way Vacation to subdivide the 2.2-acre property into 13 lots, including nine residential lots, each containing a minimum of 5,000 square feet, and to construct nine single-family residences.

The Pacific Highlands Ranch Subarea Plan (PHRSP) and accompanying Master Environmental Impact Report (MEIR) No. 96-7918 were prepared by the City of San Diego as Lead Agency under the California Environmental Quality Act, and certified on July 28, 1998 by the San Diego Council. The PHRSP and MEIR

analyzed the impacts that would potentially result from the development described in the Subarea Plan.

The proposed project was described by type, use, intensity, and location in the MEIR and is within the scope of the MEIR, Project implementation will not result in any additional impacts beyond those identified in the MEIR. All applicable mitigation measures set forth in the MEIR have been incorporated into the proposed project and no project-specific Mitigation, Monitoring and Reporting Program (MMRP) is required.

All Uniform Building, Fire, Plumbing, Electrical, Mechanical Code and City regulations governing the construction and continued operation of the development apply to this project to prevent adverse effects to those persons or properties in the vicinity of the project.

Therefore, the project will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The property is located in the 6800 block of Carmel Valley Road in the RS-1-14 Zone, and the Pacific Highlands Ranch Subarea Plan. The approximately 2.2-acre site is currently vacant and is located within an area of mixed vacant land and residentially developed multi-family development and single-family residences on similarly sized lots. The project proposes a Planned Development Permit and Vesting Tentative Map with a Public Right-of-Way Vacation to subdivide the property into 13 lots, including nine residential lots, each containing a minimum of 5,000 square feet, and to construct nine single-family residences. The project proposes one deviation as allowed through a Planned Development Permit (PDP) per section 126.0602(b), for the creation of legal lots with no frontage on a Public Right-of-Way. The deviation is appropriate at this location as the private lots will have frontage on the private drive, which allows access from Carmel Valley Road. The Subarea Plan states that a Planned Development Permit (PDP) is an appropriate, provided it achieves the intended design objective and remains fundamentally consistent with the policies of the Subarea Plan.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED, that Planned Development Permit No. 1109069, is granted to Three Sided, L.P., Owner/Permittee, under the terms and conditions set forth in the attached permit which is made a part of this resolution.

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
CITY CLERK
MAIL STATION 2A

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003648

PLANNED DEVELOPMENT PERMIT NO. 1109069
MEADOWOOD DEVELOPMENT - PROJECT NO. 317414[MMRP]
CITY COUNCIL

This Planned Development Permit No. 1109069 is granted by the City Council of the City of San Diego to Three Sided, a Limited Partnership, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0603. The 2.2-acre site is located on the north side of Carmel Valley Road, approximately 750 feet from Rancho Santa Fe Farms Road, APN No. 305-021-07, in the RS-1-14 zone within the Pacific Highlands Ranch Plan area. The project site is legally described as: the East half of the West half of the Southeast quarter of Section 10, Township 14 South, Range 3, excepting therefrom that portion lying northerly from the center line of that dirt road (known as Black Mountain Road or Fourth Street Extension) running in a generally East-West direction through the south half of Section 10; and also excepting therefrom that portion thereof lying Southeasterly of the center line of the 60-foot easement to the City of San Diego.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a nine (9) single dwelling unit development, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated _____, on file in the Development Services Department.

The project shall include:

- a. The subdivision of one lot to thirteen (13) lots for nine single-family residential housing development. The proposed homes are two-story in height and range between 3,201 to 3,660 square feet, inclusive of garage space;
- b. A deviation to street frontage requirements for eight of the nine residential lots that have no frontage on a public right-of-way;

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking;
- e. Three open space lots; and
- f. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by _____ [36 months after approval date].
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies

including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).

7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

11. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] for MEIR No. 96-7918 shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

13. The mitigation measures specified in the MMRP and outlined in Master Environmental Impact Report, No. 96-7918 shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

The Owner/Permittee shall comply with the MMRP as specified in Master Environmental Impact Report, No. 96-7918 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer.

AFFORDABLE HOUSING REQUIREMENTS:

14. Prior to the issuance of the first building permit, the Owner/Permittee shall pay an in-lieu fee for all units in the development to the San Diego Housing Commission in conformance with the NCFUA Framework Plan requirements for affordable housing. The current rate of the fee is equal to \$4,840 per unit, and is subject to change.

ENGINEERING REQUIREMENTS:

15. Construction permits shall be in conformance to Vesting Tentative Map No. 1213889.

GEOLOGY REQUIREMENTS:

16. Prior to issuance of a construction permit, the Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department.

17. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any engineering permits for grading, construction documents for the revegetation and hydroseeding of all disturbed land shall be submitted in accordance with the Landscape Standards, the San Diego Low Impact Development Design Manual, and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit 'A,' on file in the Office of the Development Services Department.
19. Prior to issuance of any engineering permits for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall take into account a 40 sq-ft area around each tree which is unencumbered by utilities. Smaller root zones may be considered as per LDC 142.0403(b)5, subject to a site-specific Soils Report accompanied by a written professional opinion rendered by a Certified Consulting Arborist. Driveways, utilities, drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.
20. Prior to issuance of any construction permits for structures, complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department.
21. Prior to issuance of any Final Inspection, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.
22. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.
23. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Home Owners' Association or other approved entity.
24. If any required landscape indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Final Inspection.

PLANNING/DESIGN REQUIREMENTS:

25. Owner/Permittee shall maintain a minimum of eighteen (18) off-street parking spaces (twenty-four are provided on-site) on the property at all times in the approximate garage locations as shown on the approved Exhibit "A." Parking spaces shall comply at all times with

the SDMC and shall not be converted for any other use unless otherwise authorized by the appropriate City decision maker in accordance with the SDMC.

26. This Planned Development Permit includes a deviation for required street frontage regulations for eight of the nine residential lots without frontage to a public right-of-way.
27. Prior to the issuance of any construction permit, the Owner/Permittee shall provide written verification from the County of San Diego, Department of Environmental Health (DEH), that any pesticide contaminated soil on site has been remediated, per letter of approval by County DEH and to the satisfaction of the Development Services Director.
28. Prior to the occupancy of the first residential unit, a five-foot high noise barrier shall be constructed along Carmel Valley Road and along the west property line of the project site, with the exception of the portion along the western edge of the private road, satisfactory to the Development Services Director.
29. Prior to the issuance of the first building permit, a final noise study shall be submitted demonstrating that interior noise levels of the proposed single family dwellings will not exceed 45 dBA CNEL, satisfactory to the development Services Director.
30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.
31. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.
32. The Owner/Permittee shall post a copy of both the approved Planned Development Permit and Vesting Tentative Map in its sales office for consideration by each prospective buyer.
33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

34. Prior to the issuance of any construction permit, the Owner/Permittee shall provide a recorded Shared Access Agreement in favor of all parcels within the project site as well as the parcel to the west of the project site, identified as APN 305-021-05, satisfactory to the City Engineer. Said Agreement shall be disclosed to all potential home buyers informing them that Private Driveway B will be extended to serve the parcel to the west when developed and Private Driveways A & B will be used for access by the adjoining development.
35. Prior to the issuance of any construction permit, the Owner/Permittee shall record a non-motorized access easement over the proposed sidewalks and trails within the project site satisfactory to the City Engineer. Said Easement shall be disclosed to all potential home buyers.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

36. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.
37. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water and sewer facilities are to be in accordance with established criteria in the most current City of San Diego Water and Sewer Design Guides.
38. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.
39. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any sewer facilities and five feet of any water facilities.
40. Prior to issuance of any building permits, the Owner/Permittee shall obtain Encroachment Maintenance and Removal Agreement (EMRA) for proposed improvements of any kind, including utilities, medians, landscaping, enriched paving, curb, gutter and sidewalk, and electrical conduits to be installed within the public right-of-way.
41. The Meadowood Development proposes to connect to an offsite sewer system downstream proposed by Pacific Highland Ranch Unit 23. The proposed sewer system by Pacific Highland Ranch Unit 23 should be completed and accepted by the City prior to connecting to it.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the City Council of the City of San Diego on _____ and
Resolution No. _____.

Permit Type/PTS Approval No.: PDP No. 1109069
Date of Approval: _____

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Jeannette Temple
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

Three Sided, LP
Owner/Permittee

By _____
Kevin McNamara
Manager

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

RESOLUTION NUMBER R-_____

DATE OF FINAL PASSAGE _____

A RESOLUTION ADOPTING FINDINGS FOR THE
MEADOWOOD PROJECT, PROJECT NO. 317414.

WHEREAS, Three Sided, LP, Owner and Permittee, submitted an application to the Development Services Department for a Planned Development Permit, Vesting Tentative Map, and Public Right-of-Way Vacation to subdivide a 2.23-acre property in the Pacific Highlands Ranch Community Plan Area into 13 lots, including nine residential lots, a common driveway lot, three open space lots, and to construct nine single family residences (the Meadowood project) (Project No. 317414); and

WHEREAS, the matter was set for a public hearing to be conducted by the City Council of the City of San Diego; and

WHEREAS, the issue was heard by the City Council on _____, 2014; and

WHEREAS, the City Council had previously certified Master Environmental Impact Report (MEIR) No. 96-7918 on July 28, 1998 for the Pacific Highlands Ranch (Subarea III) Subarea Plan; and

WHEREAS, the Meadowood project site is within the Pacific Highlands Ranch Subarea Plan (Subarea III); and

WHEREAS, in connection with the consideration of the Meadowood project, the City Council considered MEIR No. 96-7918, Findings to EIR No. 96-7918, and the Initial Study prepared for the Meadowood project; and

WHEREAS, under Charter section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; NOW, THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego, that it makes the following findings with respect to the Meadowood project in compliance with the California Environmental Quality Act of 1970 (CEQA) (California Public Resources Code section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, section 15000 et seq.), that the findings reflect the independent judgment of the City of San Diego as Lead Agency, and that the information contained in MEIR No. 96-7918, the Findings to EIR No. 96-7918, the Initial Study prepared for the Meadowood project, and any comments received during the public review process, has been reviewed and considered by the Council:

- a) The proposed project will have no additional significant effect on the environment that was not identified in MEIR No. 96-7918, no new or additional mitigation measures or alternatives may be required, and the project is within the scope of MEIR No. 96-7918; and
- b) No substantial changes have occurred with respect to the circumstances under which MEIR No. 96-7918 was certified and no new information, which was not known and could not have been known at the time that the MEIR was certified, has become available.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of

Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the project.

APPROVED: JAN I. GOLDSMITH, City Attorney

By _____
Shannon Thomas
Deputy City Attorney

[XXX]:[xxx]
xx/xx/xx
Or. Dept: DSD
Doc. No. [XXXXXX]

RESOLUTION NUMBER R- _____

DATE OF FINAL PASSAGE _____

A RESOLUTION ADOPTING FINDINGS FOR THE
MEADOWOOD PROJECT, PROJECT NO. 317414.

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WHEREAS, the issue was heard by the City Council on _____, 2014; and

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WHEREAS, the Meadowood project site is within the Pacific Highlands Ranch Subarea Plan (Subarea III); and

WHEREAS, in connection with the consideration of the Meadowood project, the City Council considered MEIR No. 96-7918, Findings to EIR No. 96-7918, and the Initial Study prepared for the Meadowood project; and

WHEREAS, under Charter section 280(a)(2), this resolution is not subject to veto by the Mayor because this matter requires the City Council to act as a quasi-judicial body, a public hearing was required by law implicating due process rights of individuals affected by the decision, and the Council was required by law to consider evidence at the hearing and to make legal findings based on the evidence presented; NOW, THEREFORE,

BE IT RESOLVED, by the City Council of the City of San Diego, that it makes the following findings with respect to the Meadowood project in compliance with the California Environmental Quality Act of 1970 (CEQA) (California Public Resources Code section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, section 15000 et seq.), that the findings reflect the independent judgment of the City of San Diego as Lead Agency, and that the information contained in MEIR No. 96-7918, the Findings to EIR No. 96-7918, the Initial Study prepared for the Meadowood project, and any comments received during the public review process, has been reviewed and considered by the Council:

- a) The proposed project will have no additional significant effect on the environment that was not identified in MEIR No. 96-7918, no new or additional mitigation measures or alternatives may be required, and the project is within the scope of MEIR No. 96-7918; and
- b) No substantial changes have occurred with respect to the circumstances under which MEIR No. 96-7918 was certified and no new information, which was not known and could not have been known at the time that the MEIR was certified, has become available.

BE IT FURTHER RESOLVED, that the City Clerk is directed to file a Notice of

Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the project.

APPROVED: JAN I. GOLDSMITH, City Attorney

By _____
Shannon Thomas
Deputy City Attorney

[XXX]:[xxx]
xx/xx/xx
Or. Dept: DSD
Doc. No. [XXXXXX]

PLANNING COMMISSION RESOLUTION NO. XXXX-PC

RECOMMENDING TO THE CITY COUNCIL CERTIFICATION OF FINDINGS TO
MASTER ENVIRONMENTAL IMPACT REPORT 96-7918 AND APPROVAL OF
PLANNED DEVELOPMENT PERMIT NO. 1109069 AND VESTING TENTATIVE MAP
NO. 1213889 WITH PUBLIC RIGHT-OF-WAY VACATION NO. 1109121
MEADOWOOD DEVELOPMENT - PROJECT NO. 317414

WHEREAS, on xxxx, the Planning Commission of the City of San Diego held a public hearing for the purpose of considering and recommending to the Council of The City of San Diego approval of Planned Development Permit No. 1109069, Vesting Tentative Map No. 1213889 with Public Right-of-Way Vacation No. 1109121; and

WHEREAS, Three Sided, LP, Owner/Permittee, requested Planned Development Permit No. 1109069, Vesting Tentative Map No. 1213889 with Public Right-of-Way Vacation No. 1109121, for the purpose of subdividing and developing 2.2 vacant acres located off Carmel Valley Road, 750 feet east of Rancho Santa Fe Farms Road for the construction of nine (9) single family residences with proposed deviations to development regulations; and

WHEREAS, the Planning Commission of the City of San Diego has considered all maps, exhibits, and written documents contained in the file for this project on record in the City of San Diego, and has considered the oral presentations given at the public hearing; NOW
THEREFORE,

BE IT RESOLVED, by the Planning Commission of the City of San Diego that it hereby recommends to the Council of the City of San Diego certification of findings to Master Environmental Impact Report No. 96-7918, and approval of Planned Development Permit No. 1109069, Vesting Tentative Map No. 1213889 with Public Right-of-Way Vacation No. 1109121.

Jeannette Temple
Development Project Manager
Development Services

Dated XXXXX
By a vote of: x-x-x

CARMEL VALLEY COMMUNITY PLANNING BOARD

**Attn: Allen Kashani, CVCPB Secretary
6025 Edgewood Bend Court
San Diego, CA 92130
858-794-2571 / Fax: 858-794-2599**

April 26, 2013

Marc R. Perlman
MARKER COMPANY INC
427 S. Cedros Ave., Ste. 201
Solana Beach, CA 92075

Re: Meadowood

Dear Marc:

The Carmel Valley Community Planning Board considered the abovementioned project on April 25, 2013 and supported the project by a vote of 14-0-0 with the following conditions:

1. The planting of mature 24" box trees along the northern boundary with Rancho Santa Fe Lakes Community.
2. The housing pads will be graded so that the toe of the rear slope begins at the low point of the northern wall and that mature trees will be planted on this slope (see submitted grading plan).
3. The housing elevations that can be seen from the public view will have enhanced architectural elevations.
4. Story poles will be erected for the tallest and lowest house plan so that the Rancho Santa Fe Lakes Community will be able to visualize the structure heights.

Thank you for having worked with the RSF Lakes residents to reach a solution that would benefit their community and Meadowood.

Please keep in mind that if new information were made available that would have impacted our decision; we will reconsider the action taken.

Sincerely,
Carmel Valley Community Planning Board



Frisco White, AIA
Chair

OWNERSHIP DISCLOSURE

Three Sided, L.P.

Partners: James Zimsky
Jay Alexander
Gunder Creager
Kevin McNamara
Tom Mercer
Kevin Craven
Marc Perlman
David Santistevan

Address: 427 S. Cedros Avenue, Suite 201
Solana Beach, CA 92075



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other _____

Project Title **Project No. For City Use Only**
 Meadowood (Pacific Highlands Ranch) 317414

Project Address:
 Carmel Valley Rd. 750' east of Rancho Santa Fe Farms Road

Part I - To be completed when property is held by Individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print):
 Kevin McNamara, Three Sided, L.P., Manager
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 14031 Midland Road
 City/State/Zip:
 Poway CA 92064
 Phone No: (858) 513-3999 Fax No: (858) 513-4999
 Signature: *[Signature]* Date: 3-19-13

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Name of Individual (type or print):
 Owner Tenant/Lessee Redevelopment Agency
 Street Address:
 City/State/Zip:
 Phone No: Fax No:
 Signature: Date:

Project Title: Meadowood (Pacific Highlands Ranch) Project No. (For City Use Only) 317414

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached Yes No

Corporate/Partnership Name (type or print):
 Three Sided L.P.
 Owner Tenant/Lessee
 Street Address:
 14031 Midland Road
 City/State/Zip:
 Poway, CA 92064
 Phone No: (858) 513-3999 Fax No: (858) 513-4999
 Name of Corporate Officer/Partner (type or print):
 Kevin Mcnamara
 Title (type or print):
 Manager
 Signature :  Date: 3-19-13

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

Corporate/Partnership Name (type or print):

 Owner Tenant/Lessee
 Street Address:

 City/State/Zip:

 Phone No: _____ Fax No: _____
 Name of Corporate Officer/Partner (type or print):

 Title (type or print):

 Signature : _____ Date: _____

MEADOWOOD DEVELOPMENT – PROJECT NO. 317414

PROJECT CHRONOLOGY

PTS # 317414 JO# 24003648

Date	Action	Description	City Review Time	Applicant Response
4/11/2013	Customer Submits First Cycle			
5/29/2013	Initial Assessment Letter Sent		1 month, 18 days	
7/14/2013	Customer submits 2 nd Cycle			1 month, 16 days
8/15/2013	2 nd Assessment Letter Sent		1 month, 1 day	
10/2/2013	Customer submits 3 rd Cycle			1 month, 18 days
10/31/2013	3 rd Assessment Letter Sent		29 days	
11/19/2013	Customer submits 4 th Cycle			20 days
11/26/2013	Final Conditions		5 days	
XX/XX/2013	MEIR Findings distributed			
1/23/2014	Planning Commission Recommendation Hearing		1 month, 28 days	

<i>Total Staff Time (Average at 30 days per month):</i>	<i>Approximately 5 months, 21 days</i>
<i>Total Applicant Time (Average at 30 days per month):</i>	<i>Approximately 3 months, 24 days</i>
<i>Total Project Running Time (Years/Months/Days):</i>	<i>9 months and 12 days</i>