



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: February 14, 2014 **REPORT NO.** PC-14-017

ATTENTION: Planning Commission, Agenda of February 20, 2014

SUBJECT: CAMPUS CENTER APARTMENTS - PROJECT NO. 320851
Process 4

REFERENCE: College Area Community Plan -
<http://www.sandiego.gov/planning/pdf/commpplans/collegearea/cacpfullversion.pdf>

College Community Redevelopment Project Master Project Plan -
<http://www.sandiego.gov/redevelopment-agency/pdf/masterprojectplan.pdf>

**OWNER/
APPLICANT:** Dale Marquardt, Campus Center Apartments, L.L.C.

SUMMARY

Issue(s): Should the Planning Commission approve the construction of a new four-story student apartment building over two levels of below grade parking on a 0.24-acre site located at 5716 Hardy Avenue within the College Area Community Plan?

Staff Recommendations:

1. Certify Mitigated Negative Declaration No. 320851 and Adopt Mitigation, Monitoring, and Reporting Program, and
2. Approve Planned Development Permit No. 1124253 and Neighborhood Development Permit No. 1214647

Community Planning Group Recommendation: On October 13, 2013, the College Area Community Planning Board voted 12-1-0, to recommend approval of the project with no conditions (Attachment 9).

Environmental Review: A Mitigated Negative Declaration No. 320851 has been prepared for the project in accordance with State of California Environmental Quality Act

Guidelines. A Mitigation, Monitoring and Reporting Program has been prepared and will be implemented which will reduce, to a level below significance, any potential impacts identified in the environmental review process.

Fiscal Impact Statement: None with this action. All costs associated with the processing of this project are paid by the applicant through a deposit account.

Code Enforcement Impact: None with this action.

Housing Impact Statement: The project proposes to demolish a commercial student service center and construct a new four-story, 17-unit student apartment building over two levels of underground parking on a 0.24-acre site. The College Area Community Plan and the Core Sub-Area of the College Area Redevelopment Project area both designate the site for Very High Residential (75-110 DU/NRA). The project site could accommodate between 17 and 25 dwelling units and the proposal to construct 17 units would not adversely impact the community plan or redevelopment plan.

The 17 units would consist of 14, four bedroom units and 3, three bedroom units, all with full kitchen, dual bathrooms, washer/dryer area, and living areas. The development's net housing impact will add 17 apartment units to the community and the applicant proposes to comply with the City's Affordable Housing Ordinance by providing in-lieu fees.

BACKGROUND

The 0.24-acre urban infill project site is located at 5716 Hardy Avenue, on the north side of Hardy Avenue between 55th Street and Campanile Drive within the College Area Community Plan, the College Area Redevelopment Project Plan Area and the Campus Parking Impact Overlay Zone. The site is zoned RM-4-10, which allows multi-family development at a rate of one unit per 400 square-feet of lot area, or 25 units allowed on this 10,500 square-foot site. The College Area Community Plan and the Core Sub-Area of the College Area Redevelopment Project area both designate the site for Very High Residential (75-110 DU/NRA). The project site could accommodate between 17 and 25 dwelling units.

The Community Plan also designates this site for mixed use commercial/residential which are intended to serve campus religious centers, open use, fraternities, sororities, mixed use (retail/office/residential) and high- and very high density residential development. In addition to the College Area Community Plan, applicable policy documents for this site include the College Community Redevelopment Master Project Plan and the Core Sub-Area Design Manual.

The project site is relatively flat and is currently developed with a religious based student center building that will be demolished. The site is bordered by San Diego State University (SDSU) recreational park area and "Aztec Walk" to the north and east, SDSU's four-story Gateway Center building to the south, and a two-story fraternity house to the west.

The College Area Community Plan (CACP) was last amended by the City Council on August 3, 2002, and reflects the long range goals of this site being devoted to greek system and multi-family residential uses. The CACP references the College Community Redevelopment Project

(CCRP), and requires the creation of a Master Project Plan to implement the College Area Community Plan and the College Community Redevelopment Project, as well as aid in the redevelopment of five subareas surrounding San Diego State University. The Master Project Plan (MPP) for the College Community Redevelopment Project was approved by the City Council on October 12, 1993. This project site is within the "Core Sub-Area" of the CCRP. The Core Sub-Area Design Manual was adopted by the City Council on August 12, 1997. Both the MPP and Core Sub-Area Design Manual contain guidelines and regulations regarding the development of this project site.

DISCUSSION

Project Description:

The applicant proposes to demolish the existing two-story, religious based student center building and to construct an approximately 28,644 square-foot, four-story student apartment building over two levels of basement parking. The student apartment complex will consist of 17 units comprised of 14, four bedroom units and 3, three bedroom units, all with full kitchen, dual bathrooms, washer/dryer area, and living areas. In addition to the residential units, the ground floor area will include a manager's office, community room, common kitchen area, meeting rooms, study rooms, and restroom facilities.

The project would provide 43 subterranean parking spaces (8 tandem spaces). The site is located within the Core Sub-Area portion of the MPP and within the Campus Parking Impact Area. Pursuant to Condition No. 32, the project is required to maintain and the applicant will provide a minimum of 43 automobile spaces (including 1 van accessible spaces), 2 motorcycle spaces, and 11 bicycle spaces with racks on the site as required by the MPP and Land Development Code.

Construction of the subterranean parking garage would require the excavation of approximately 7,300 cubic yards of earth material to be exported offsite. The maximum excavation depth would be approximately 22.75 feet.

The maximum height of the four-story structure over parking garage would be approximately 56 feet, which complies with the 56-foot maximum height allowance in the CCRP's Core Sub-Area Design Manual and is similar to the height of the three- to four-story development located west and south of the project site. With the exception of the requested yard setback, lot coverage, and exterior open space deviations the project meets all of the applicable development and design standards for the RM-4-10 Zone, the Community Plan and the MPP.

The building would feature a stucco finish and multiple offsetting planes to provide visual interest and reduce the bulk of the structure. The north and south elevations would include tiled roof areas. Also incorporated into the building design is the landscaping, which will continue to define the residential look of Hardy Avenue with a pattern of non-continuous sidewalks and a decorative tile parkway with grated street trees located within, as envisioned in the Community Plan.

Required Permits:

In order to allow the requested side yard, rear yard, lot coverage area, and private, exterior open space deviations, the approval of a Planned Development Permit is required as described in Section 143.0402 of the San Diego Municipal Code (SDMC), When Planned Development Permit Regulations Apply. The project would also require the approval of a Phased Project Redevelopment Permit (PPRP), as described in the MPP. Because the PPRP is not a defined permit within the SDMC, the Planned Development Permit included with this project functions to implement this requirement.

Finally, the applicant requests to incorporate tandem parking spaces in the development, although outside of the City's Tandem Parking Overlay Zone area. Pursuant to SDMC section 132.0905(a)(5), tandem parking may be allowed with a Neighborhood Development Permit to count tandem parking as two parking spaces toward the off-street parking requirement in any location not provided for in SDMC section 132.0905(a)(1) through (4).

Requested Deviations:

- Yard Setbacks - The project includes a request to deviate within the RM-4-10 Zone regulations with the side yard setback (east) of 5 feet where 15 feet is required in the RM-4-10 Zone pursuant to SDMC sec. 131.0443(g)(1); and rear yard setback of 10 feet where 15 feet is required in the RM-4-10 Zone pursuant to SDMC sec. 131.0443(g)(1).

Although the development's base zone regulations require a greater setback requirements than proposed, the development is consistent with the adopted MPP which states, in part, "Generally buildings are to be sited at or ten feet of the property line"... and "As main entry points into the College Community and the University area, 55th Street, Montezuma Road, and College Avenue should be developed to promote a strong visual image, with structures located close to the street and high pedestrian activity level"... The proposed project would meet the recommendations in the community plan, MPP, and the Core Sub-Area Design Manual's guidelines to create and locate additional student housing within close proximity to the San Diego State University campus and to develop strong pedestrian orientation between the university campus and new residential development. City staff is supportive of the requested setback deviations.

- Lot Coverage Area - The project includes a request to deviate within SDMC's Lot Coverage in Residential Zones regulations by proposing a lot coverage area of 6,849 square feet where the maximum lot coverage allowed for a corner lot is 60%, or 6,300 square feet pursuant to SDMC sec. 131.0445(c). However, the development is consistent with the Core Sub-Area Design Manual's guidelines.
- Exterior Open Space - The project includes a request to deviate within SDMC's Private Exterior Open Space in the RM Zones regulations by proposing to not provide private, exterior open space where at least 50 square feet of private, exterior open space is required for each dwelling unit pursuant to SDMC sec. 131.0455(d).

The Core Sub-Area Design Manual recommends a maximum lot coverage of 60% for this location within the "Residential District." However, because the proposed building is "sited" as recommended in the Core Sub-Area Design Manual, the development's orientation towards the adjacent park to the east, the design of the proposed building to integrate open or semi-open common areas of the building's ground floor area with the adjacent park, and because of the more traditional use of common open space area in student housing rather than private open space, City staff can support the requested deviations to coverage and private exterior open space.

- Tandem Parking - The project proposes tandem parking outside of the Tandem Parking Overlay Zone area. The project will provide 43 automobile spaces of which 8 of the automobile spaces will be tandem parking within the development's subterranean parking area. The practice of allowing tandem parking with conditions, specifically for student housing developments within the Core Sub-Area's Residential District of the MPP, has been successful and supported by the City of San Diego. Consistent with SDMC section 126.0402(n) and to count tandem parking spaces as two parking spaces towards the off-street parking requirement, the project's Neighborhood Development Permit contains a specific condition requiring the apartment manager to have key access to all garaged cars in order to facilitate any movement of cars related to the proposed tandem parking arrangement. Therefore and as conditioned, City staff supports the use of tandem parking at this location.

Community Plan Analysis:

The project site is located within the College Area Community Plan (CACP) and the Core Sub-Area of the College Area Redevelopment project area. The project site, with a net area of 10,080 square feet, is designated by both the CACP and Core Sub-Area for Very High Residential (75-110 DU/NRA). The project site could accommodate between 17 and 25 dwelling units and the proposal to construct 17 units would not adversely impact the community plan or Core Sub-Area redevelopment plan.

The proposed project helps to carry out the community plan's objectives to promote a "community campus" by increasing new student housing and providing strong pedestrian orientation between students' residences, the university, and existing retail uses. The proposed project is oriented along Hardy Avenue to encourage pedestrian access from the street. The pedestrian environment is enhanced through a well marked entrance with shade producing trees, a non-contiguous sidewalk and a shallow setback that locates the residence closer to the sidewalk. In addition, the proposed project provides a bicycle storage area in the underground parking structure to support bicycling as an alternative form of transportation. These elements and the project's convenient location should facilitate the reduction of vehicle trips and reduce local traffic congestion, fulfilling yet another community plan objective.

In addition, the project includes a community room and open patio area on the ground floor area which complies with the community plan recommendation to provide residents on-site recreational facilities. And as students of the university, future residents will also have the opportunity to use the various on-campus recreational facilities.

Conclusion:

In summary, City staff finds that the project is consistent with the recommended land use, design guidelines and development regulations in effect for this site per the adopted College Area Community Plan, MPP, Core Sub-Area Design Manual, and the RM-4-10 Zone. Staff is supportive of the requested deviations, which are allowed through the Planned Development Permit process, and allowing tandem parking outside of a Tandem Parking Overlay Zone area through the Neighborhood Development Permit process. Draft permit conditions have been prepared for this project and all of the findings required to approve the project can be made and are included in the draft resolution.

ALTERNATIVES

1. **Approve** Planned Development Permit No. 1124253 and Neighborhood Development Permit No. 1214647, with modifications.
2. **Deny** Planned Development Permit No. 1124253 and Neighborhood Development Permit No. 1214647, if the findings required to approve the project cannot be affirmed.

Respectfully submitted,

 for:

Mike Westlake
Assistant Deputy Director
Development Services Department

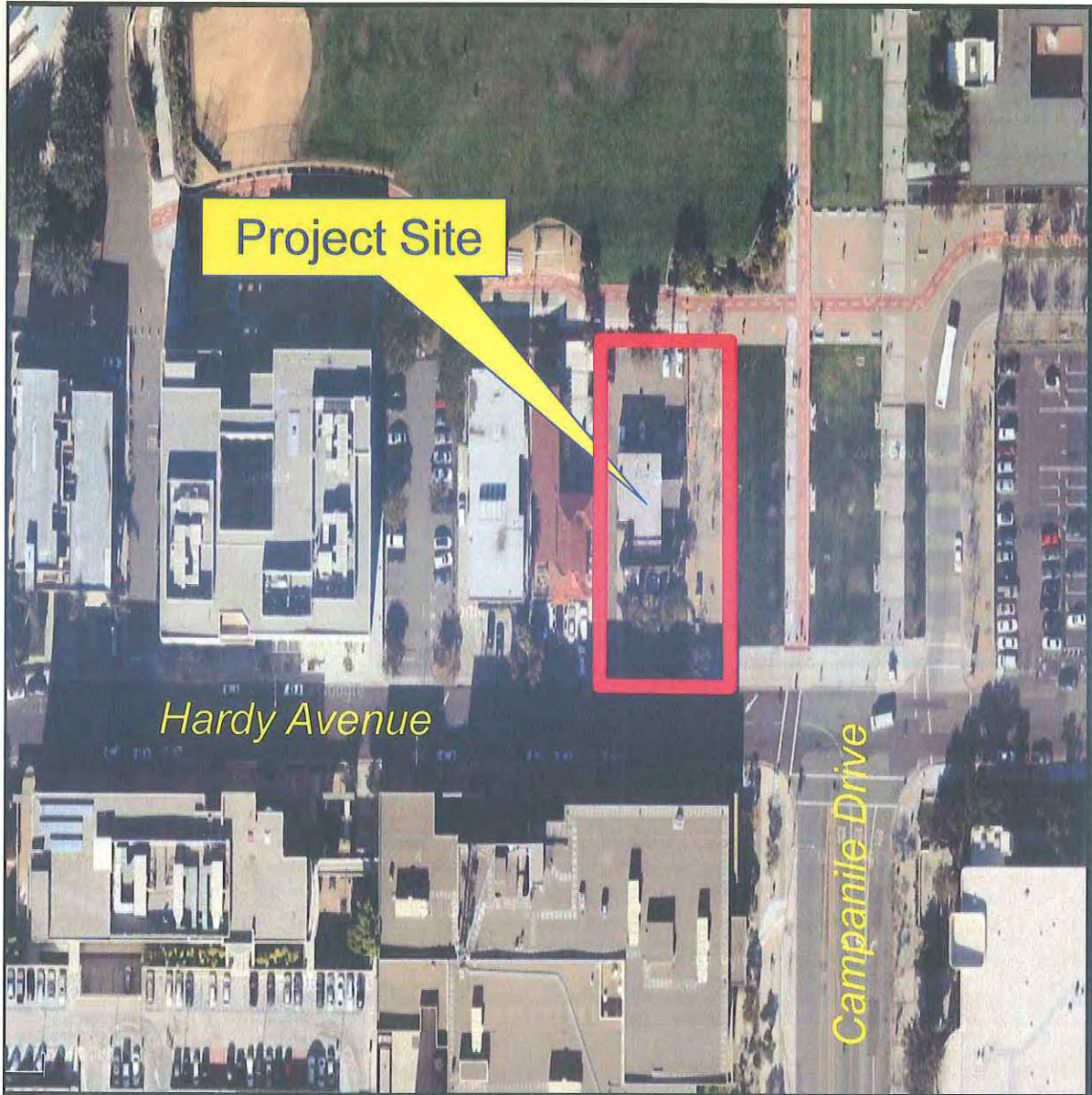


Tim Daly
Project Manager
Development Services Department

WESTLAKE/TPD

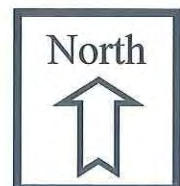
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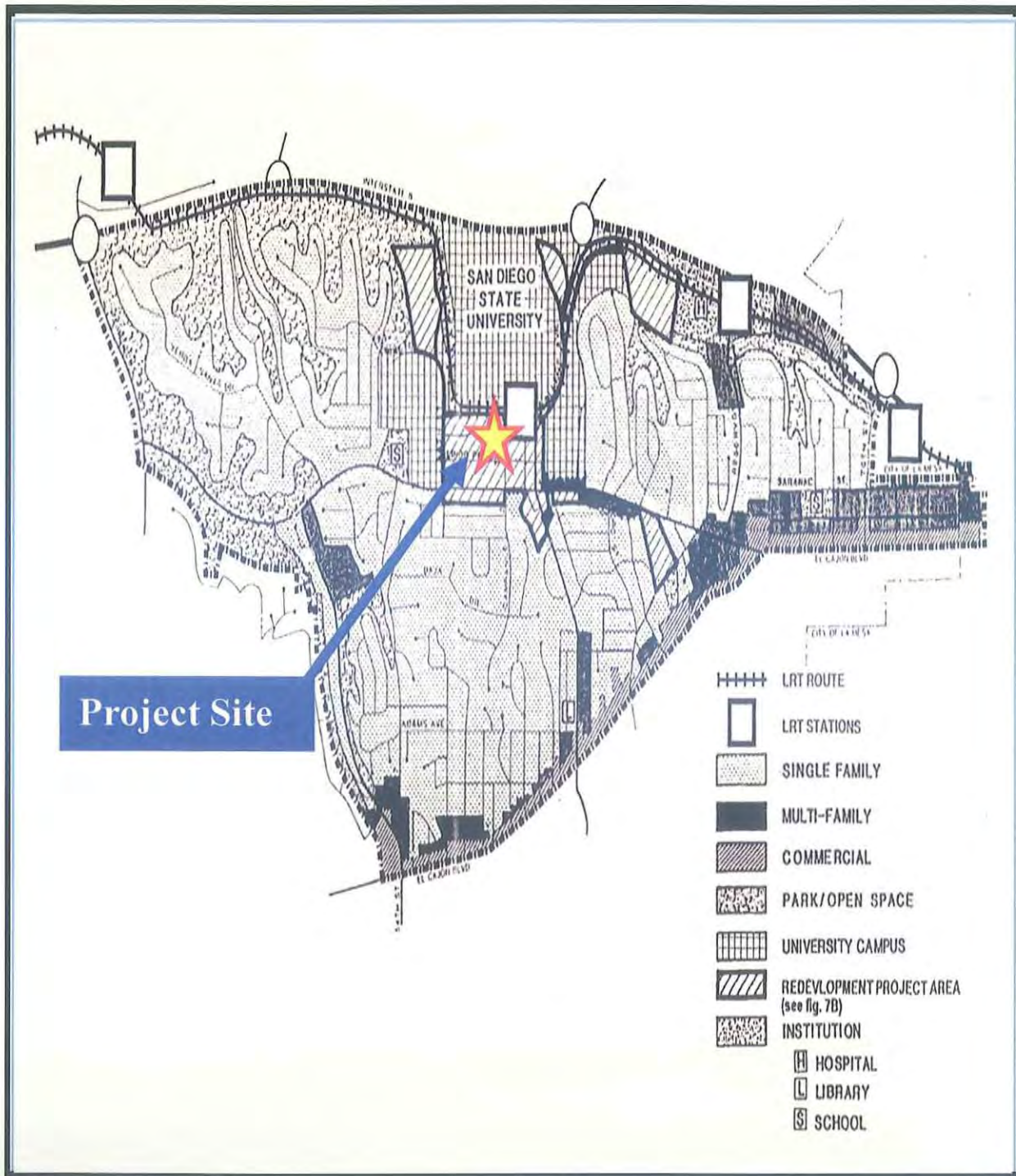
1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Environmental Resolution
6. Draft Permit Resolution with Findings
7. Draft Permit with Conditions
8. Project Plans
9. Community Planning Group Recommendation
10. Ownership Disclosure Statement
11. Project Chronology



Aerial Photo

**Campus Center Apartments, Project No. 320851
5716 Hardy Avenue**

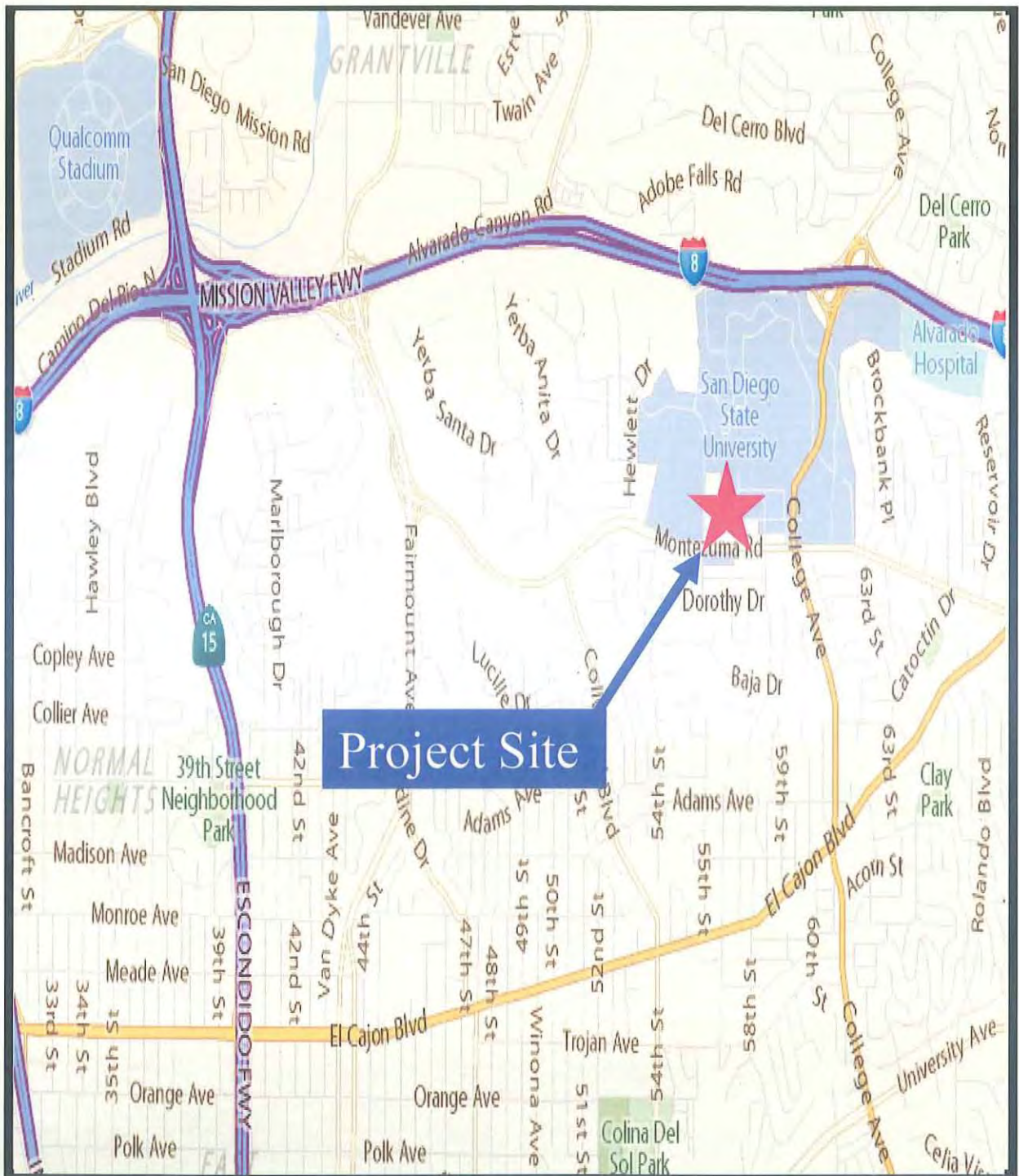




College Area Community Plan Map

Campus Center Apartments, Project No. 320851
5716 Hardy Avenue





Project Location

Campus Center Apartments, Project No. 320851
5716 Hardy Avenue



PROJECT DATA SHEET		
PROJECT NAME:	Campus Center Apartments	
PROJECT DESCRIPTION:	Demolish existing commercial student center and construct a new four-story over parking, 17-unit student apartment building at 5716 Hardy Avenue.	
COMMUNITY PLAN AREA:	College Area	
DISCRETIONARY ACTIONS:	Planned Development Permit and Neighborhood Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Mixed-use commercial/residential, Very High Residential development at a density of 75 to 110 dwelling units per net residential acre.	
ZONING:	RM-4-10 zone, the Core Subarea of the College Community Redevelopment Project Master Project Plan, and the Parking Impact Overlay Zone	
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Single Family Residential; RS-1-7.	SDSU Aztec Walk and recreational park
SOUTH:	Multi-Family Residential; RM-4-10	SDSU educational/office
EAST:	Multi-Family Residential; RM-4-10	SDSU Aztec Walk and recreational park
WEST:	Multi-Family Residential; RM-4-10	Fraternity House
DEVIATIONS REQUESTED:	Allow tandem parking outside a Tandem Parking Overlay Zone area; Side yard setback of 5 feet where 15 feet is required; Rear yard setback 10 feet where 15 feet is required; Lot Coverage over 60%, and, no private exterior open space where 50 S.F. required.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	October 13, 2013, the College Area Community Planning Board voted 12-1-0 to recommend approval of the project with no conditions.	

RESOLUTION NUMBER PC-XXXXXX

ADOPTED ON FEBRUARY 20, 2014

WHEREAS, on May 23, 2013, William Hedenkemp submitted an application to Development Services Department for a Planned Development Permit and Neighborhood Development Permit for the Campus Center Apartments Project; and

WHEREAS, the matter was set for a Public Hearing to be conducted by the Planning Commission of the City of San Diego; and

WHEREAS, the Planning Commission considered the issues discussed in Mitigation Negative Declaration No. 320851 (Declaration) prepared for this Project; NOW THEREFORE,

BE IT RESOLVED, by the Planning Commission that it is certified that the Declaration has been completed in compliance with the California Environmental Quality Act of 1970 (CEQA) (Public Resources Code Section 21000 et seq.), as amended, and the State CEQA Guidelines thereto (California Code of Regulations, Title 14, Chapter 3, Section 15000 et seq.), that the Declaration reflects the independent judgment of the City of San Diego as Lead Agency and that the information contained in said Declaration, together with any comments received during the public review process, has been reviewed and considered by the Planning Commission in connection with the approval of the Project.

BE IT FURTHER RESOLVED, that the Planning Commission finds on the basis of the entire record that project revisions now mitigate potentially significant effects on the environment previously identified in the Initial Study, that there is no substantial evidence that the Project will have a significant effect on the environment, and therefore, that said Declaration is hereby adopted.

BE IT FURTHER RESOLVED, that pursuant to CEQA Section 21081.6, the Planning Commission hereby adopts the Mitigation Monitoring and Reporting Program, or alterations to implement the changes to the Project as required by this Planning Commission in order to mitigate or avoid significant effects on the environment, which is attached hereto as Exhibit A.

BE IT FURTHER RESOLVED, that the Declaration and other documents constituting the record of proceedings upon which the approval is based are available to the public at the office of the Development Services Department, 1222 First Avenue, San Diego, CA 92101

BE IT FURTHER RESOLVED, that Development Services Staff is directed to file a Notice of Determination with the Clerk of the Board of Supervisors for the County of San Diego regarding the Project.

By: _____
Tim Daly, Development Project Manager

ATTACHMENT: Exhibit A, Mitigation Monitoring and Reporting Program

DRAFT

EXHIBIT A**MITIGATION MONITORING AND REPORTING PROGRAM**

Planned Development Permit and Neighborhood Development Permit

PROJECT NO. 320851

This Mitigation Monitoring and Reporting Program is designed to ensure compliance with Public Resources Code Section 21081.6 during implementation of mitigation measures. This program identifies at a minimum: the department responsible for the monitoring, what is to be monitored, how the monitoring shall be accomplished, the monitoring and reporting schedule, and completion requirements. A record of the Mitigation Monitoring and Reporting Program will be maintained at the offices of the Entitlements Division, 1222 First Avenue, Fifth Floor, San Diego, CA, 92101. All mitigation measures contained in the Mitigated Negative Declaration No. 320851 shall be made conditions of Planned Development Permit and Neighborhood Development Permit as may be further described below.

A. GENERAL REQUIREMENTS – PART I
Plan Check Phase (prior to permit issuance)

1. Prior to the issuance of a Notice To Proceed (NTP) for a subdivision, or any construction permits, such as Demolition, Grading or Building, or beginning any construction related activity on-site, the Development Services Department (DSD) Director's Environmental Designee (ED) shall review and approve all Construction Documents (CD), (plans, specification, details, etc.) to ensure the MMRP requirements are incorporated into the design.
2. In addition, the ED shall verify that the MMRP Conditions/Notes that apply ONLY to the construction phases of this project are included VERBATIM, under the heading, "ENVIRONMENTAL/MITIGATION REQUIREMENTS."
3. These notes must be shown within the first three (3) sheets of the construction documents in the format specified for engineering construction document templates as shown on the City website:

<http://www.sandiego.gov/development-services/industry/standtemp.shtml>
4. The **TITLE INDEX SHEET** must also show on which pages the "Environmental/Mitigation Requirements" notes are provided.
5. **SURETY AND COST RECOVERY** – The Development Services Director or City Manager may require appropriate surety instruments or bonds from private Permit Holders to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

B. GENERAL REQUIREMENTS – PART II
Post Plan Check (After permit issuance/Prior to start of construction)

1. **PRE CONSTRUCTION MEETING IS REQUIRED TEN (10) WORKING DAYS PRIOR TO BEGINNING ANY WORK ON THIS PROJECT.** The PERMIT HOLDER/OWNER is responsible to arrange and perform this meeting by contacting the CITY RESIDENT ENGINEER (RE) of the Field

Engineering Division and City staff from MITIGATION MONITORING COORDINATION (MMC). Attendees must also include the Permit holder's Representative(s), Job Site Superintendent and the following consultants:

Qualified Paleontologist

Note:

Failure of all responsible Permit Holder's representatives and consultants to attend shall require an additional meeting with all parties present.

CONTACT INFORMATION:

- a) The PRIMARY POINT OF CONTACT is the RE at the Field Engineering Division – 858-627-3200
- b) For Clarification of ENVIRONMENTAL REQUIREMENTS, it is also required to call RE and MMC at 858-627-3360

2. **MMRP COMPLIANCE:** This Project, Project Tracking System (PTS) #320851 and /or Environmental Document # 320851, shall conform to the mitigation requirements contained in the associated Environmental Document and implemented to the satisfaction of the DSD's Environmental Designee (MMC) and the City Engineer (RE). The requirements may not be reduced or changed but may be annotated (i.e. to explain when and how compliance is being met and location of verifying proof, etc.). Additional clarifying information may also be added to other relevant plan sheets and/or specifications as appropriate (i.e., specific locations, times of monitoring, methodology, etc

Note:

Permit Holder's Representatives must alert RE and MMC if there are any discrepancies in the plans or notes, or any changes due to field conditions. All conflicts must be approved by RE and MMC BEFORE the work is performed.

3. **OTHER AGENCY REQUIREMENTS:** Evidence of compliance with all other agency requirements or permits shall be submitted to the RE and MMC for review and acceptance prior to the beginning of work or within one week of the Permit Holder obtaining documentation of those permits or requirements. Evidence shall include copies of permits, letters of resolution or other documentation issued by the responsible agency.

None Required

4. MONITORING EXHIBITS

All consultants are required to submit , to RE and MMC, a monitoring exhibit on a 11x17 reduction of the appropriate construction plan, such as site plan, grading, landscape, etc., marked to clearly show the specific areas including the **LIMIT OF WORK**, scope of that discipline's work, and notes indicating when in the construction schedule that work will be performed. When necessary for clarification, a detailed methodology of how the work will be performed shall be included.

NOTE:

Surety and Cost Recovery – When deemed necessary by the Development Services Director or City Manager, additional surety instruments or bonds from the private Permit Holder may be required to ensure the long term performance or implementation of required mitigation measures or programs. The City is authorized to recover its cost to offset the salary, overhead, and expenses for City personnel and programs to monitor qualifying projects.

5. OTHER SUBMITTALS AND INSPECTIONS:

The Permit Holder/Owner's representative shall submit all required documentation, verification letters, and requests for all associated inspections to the RE and MMC for approval per the following schedule:

Document Submittal/Inspection Checklist

<u>Issue Area</u>	<u>Document submittal</u>	<u>Assoc.</u>
<u>Inspection/Approvals/Notes</u>		
General	Consultant Qualification Letters	Prior to Pre-construction Meeting
General	Consultant Const. Monitoring Exhibits	Prior to or at the Pre-Construction meeting
Paleontology	Paleontology Reports	Paleontology site observation
Waste Management	Waste Management Reports	Waste management inspections

C. SPECIFIC MMRP ISSUE AREA CONDITIONS/REQUIREMENTS

PALEONTOLOGICAL RESOURCES

I. Prior to Permit Issuance

A. Entitlements Plan Check

1. Prior to issuance of any construction permits, including but not limited to, the first Grading Permit, Demolition Plans/Permits and Building Plans/Permits or a Notice to Proceed for Subdivisions, but prior to the first preconstruction meeting, whichever is applicable, the Assistant Deputy Director (ADD) Environmental designee shall verify that the requirements for Paleontological Monitoring have been noted on the appropriate construction documents.

B. Letters of Qualification have been submitted to ADD

1. The applicant shall submit a letter of verification to Mitigation Monitoring Coordination (MMC) identifying the Principal Investigator (PI) for the project and the names of all persons involved in the paleontological monitoring program, as defined in the City of San Diego Paleontology Guidelines.
2. MMC will provide a letter to the applicant confirming the qualifications of the PI and all persons involved in the paleontological monitoring of the project.
3. Prior to the start of work, the applicant shall obtain approval from MMC for any personnel changes associated with the monitoring program.

II. Prior to Start of Construction

A. Verification of Records Search

1. The PI shall provide verification to MMC that a site specific records search has been completed. Verification includes, but is not limited to a copy of a confirmation letter from San Diego Natural History Museum, other institution or, if the search was in-house, a letter of verification from the PI stating that the search was completed.
2. The letter shall introduce any pertinent information concerning expectations and probabilities of discovery during trenching and/or grading activities.

B. PI Shall Attend Precon Meetings

1. Prior to beginning any work that requires monitoring; the Applicant shall arrange a Precon Meeting that shall include the PI, Construction Manager (CM) and/or Grading Contractor, Resident Engineer (RE), Building Inspector (BI), if appropriate, and MMC. The qualified paleontologist shall attend any grading/excavation related Precon Meetings

to make comments and/or suggestions concerning the Paleontological Monitoring program with the Construction Manager and/or Grading Contractor.

- a. If the PI is unable to attend the Precon Meeting, the Applicant shall schedule a focused Precon Meeting with MMC, the PI, RE, CM or BI, if appropriate, prior to the start of any work that requires monitoring.
2. Identify Areas to be Monitored
Prior to the start of any work that requires monitoring, the PI shall submit a Paleontological Monitoring Exhibit (PME) based on the appropriate construction documents (reduced to 11x17) to MMC identifying the areas to be monitored including the delineation of grading/excavation limits. The PME shall be based on the results of a site specific records search as well as information regarding existing known soil conditions (native or formation).
3. When Monitoring Will Occur
 - a. Prior to the start of any work, the PI shall also submit a construction schedule to MMC through the RE indicating when and where monitoring will occur.
 - b. The PI may submit a detailed letter to MMC prior to the start of work or during construction requesting a modification to the monitoring program. This request shall be based on relevant information such as review of final construction documents which indicate conditions such as depth of excavation and/or site graded to bedrock, presence or absence of fossil resources, etc., which may reduce or increase the potential for resources to be present.

III. During Construction

- A. Monitor Shall be Present During Grading/Excavation/Trenching
 1. The monitor shall be present full-time during grading/excavation/trenching activities as identified on the PME that could result in impacts to formations with high and moderate resource sensitivity. **The Construction Manager is responsible for notifying the RE, PI, and MMC of changes to any construction activities such as in the case of a potential safety concern within the area being monitored. In certain circumstances OSHA safety requirements may necessitate modification of the PME.**
 2. The PI may submit a detailed letter to MMC during construction requesting a modification to the monitoring program when a field condition such as trenching activities that do not encounter formational soils as previously assumed, and/or when unique/unusual fossils are encountered, which may reduce or increase the potential for resources to be present.
 3. The monitor shall document field activity via the Consultant Site Visit Record (CSVSR). The CSVSR's shall be faxed by the CM to the RE the first day of monitoring, the last day of monitoring, monthly (**Notification of Monitoring Completion**), and in the case of ANY discoveries. The RE shall forward copies to MMC.
- B. Discovery Notification Process
 1. In the event of a discovery, the Paleontological Monitor shall direct the contractor to temporarily divert trenching activities in the area of discovery and immediately notify the RE or BI, as appropriate.
 2. The Monitor shall immediately notify the PI (unless Monitor is the PI) of the discovery.
 3. The PI shall immediately notify MMC by phone of the discovery, and shall also submit written documentation to MMC within 24 hours by fax or email with photos of the resource in context, if possible.
- C. Determination of Significance
 1. The PI shall evaluate the significance of the resource.
 - a. The PI shall immediately notify MMC by phone to discuss significance determination and shall also submit a letter to MMC indicating whether additional

mitigation is required. The determination of significance for fossil discoveries shall be at the discretion of the PI.

- b. If the resource is significant, the PI shall submit a Paleontological Recovery Program (PRP) and obtain written approval from MMC. Impacts to significant resources must be mitigated before ground disturbing activities in the area of discovery will be allowed to resume.
- c. If resource is not significant (e.g., small pieces of broken common shell fragments or other scattered common fossils) the PI shall notify the RE, or BI as appropriate, that a non-significant discovery has been made. The Paleontologist shall continue to monitor the area without notification to MMC unless a significant resource is encountered.
- d. The PI shall submit a letter to MMC indicating that fossil resources will be collected, curated, and documented in the Final Monitoring Report. The letter shall also indicate that no further work is required.

IV. Night and/or Weekend Work

A. If night and/or weekend work is included in the contract

1. When night and/or weekend work is included in the contract package, the extent and timing shall be presented and discussed at the precon meeting.
2. The following procedures shall be followed.
 - a. No Discoveries
In the event that no discoveries were encountered during night and/or weekend work, The PI shall record the information on the CSVr and submit to MMC via fax by 8AM on the next business day.
 - b. Discoveries
All discoveries shall be processed and documented using the existing procedures detailed in Sections III - During Construction.
 - c. Potentially Significant Discoveries
If the PI determines that a potentially significant discovery has been made, the procedures detailed under Section III - During Construction shall be followed.
 - d. The PI shall immediately contact MMC, or by 8AM on the next business day to report and discuss the findings as indicated in Section III-B, unless other specific arrangements have been made.

B. If night work becomes necessary during the course of construction

1. The Construction Manager shall notify the RE, or BI, as appropriate, a minimum of 24 hours before the work is to begin.
2. The RE, or BI, as appropriate, shall notify MMC immediately.

C. All other procedures described above shall apply, as appropriate.

V. Post Construction

A. Preparation and Submittal of Draft Monitoring Report

1. The PI shall submit two copies of the Draft Monitoring Report (even if negative), prepared in accordance with the Paleontological Guidelines which describes the results, analysis, and conclusions of all phases of the Paleontological Monitoring Program (with appropriate graphics) to MMC for review and approval within 90 days following the completion of monitoring.
 - a. For significant paleontological resources encountered during monitoring, the Paleontological Recovery Program shall be included in the Draft Monitoring Report.
 - b. Recording Sites with the San Diego Natural History Museum
The PI shall be responsible for recording (on the appropriate forms) any significant or potentially significant fossil resources encountered during the Paleontological

- Monitoring Program in accordance with the City's Paleontological Guidelines, and submittal of such forms to the San Diego Natural History Museum with the Final Monitoring Report.
2. MMC shall return the Draft Monitoring Report to the PI for revision or, for preparation of the Final Report.
 3. The PI shall submit revised Draft Monitoring Report to MMC for approval.
 4. MMC shall provide written verification to the PI of the approved report.
 5. MMC shall notify the RE or BI, as appropriate, of receipt of all Draft Monitoring Report submittals and approvals.
- B. Handling of Fossil Remains
1. The PI shall be responsible for ensuring that all fossil remains collected are cleaned and catalogued.
 2. The PI shall be responsible for ensuring that all fossil remains are analyzed to identify function and chronology as they relate to the geologic history of the area; that faunal material is identified as to species; and that specialty studies are completed, as appropriate
- C. Curation of fossil remains: Deed of Gift and Acceptance Verification
1. The PI shall be responsible for ensuring that all fossil remains associated with the monitoring for this project are permanently curated with an appropriate institution.
 2. The PI shall include the Acceptance Verification from the curation institution in the Final Monitoring Report submitted to the RE or BI and MMC.
- D. Final Monitoring Report(s)
1. The PI shall submit two copies of the Final Monitoring Report to MMC (even if negative), within 90 days after notification from MMC that the draft report has been approved.
 2. The RE shall, in no case, issue the Notice of Completion until receiving a copy of the approved Final Monitoring Report from MMC which includes the Acceptance Verification from the curation institution.

The above mitigation monitoring and reporting program will require additional fees and/or deposits to be collected prior to the issuance of building permits, certificates of occupancy and/or final maps to ensure the successful completion of the monitoring program.

PLANNING COMMISSION RESOLUTION NO. XXXX-PC
PLANNED DEVELOPMENT PERMIT NO. 1124253
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1214647
CAMPUS CENTER APARTMENTS PROJECT NO. 320851

WHEREAS, CAMPUS CENTER APARTMENTS L.L.C., a California Limited Liability Corporation, Owner/Permittee, filed an application with the City of San Diego for a permit to demolish a existing two-story institutional building and construct a new 28,644 square foot, four-story, 17-unit apartment building over two-stories of basement parking (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit Nos. 1124253 and 1214647), on portions of a 0.24-acre site;

WHEREAS, the project site is located at 5716 Hardy Avenue in the RM-4-10 and Parking Impact Overlay Zones of the College Area Community Plan;

WHEREAS, the project site is legally described as Parcel 2 of Parcel Map No. 13633 in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County on January 11, 1985 as File No. 85-009924;

WHEREAS, on February 20, 2014 the Planning Commission of the City of San Diego considered Planned Development Permit No. 1124253 and Neighborhood Development Permit No. 1214647 pursuant to the Land Development Code of the City of San Diego; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated February 20, 2014.

FINDINGS:

Planned Development Permit - Section 126.0604

A. Findings for all Planned Development Permits

1. The proposed development will not adversely affect the applicable land use plan. The 0.24-acre project site is located at 5716 Hardy Avenue within the RM-4-10 Zone of College Area Community Plan area and proposes to demolish an existing two-story institutional building and construct a new 28,644 square foot, four-story, 17-unit apartment building over two-stories of basement parking. The College Area Community Plan designates the project site as Very High Residential (75-110 DU/NRA). The project site is also located in the Core Subarea of the College Community Redevelopment Project Master Project Plan (MPP). The Core Subarea identifies the site as Very High Density residential with a density range of 75-110 DU/NRA. The net 10,080 square-foot project site could accommodate between 17 and 25 dwelling units and the proposal to construct 17 units would not adversely impact the community plan or the MPP.

The MPP's specific recommendations for the project area state that the Core Subarea should redevelop with university-oriented housing and commercial facilities and the "Overall Objectives for the Core Redevelopment Subarea" state that the area should be redeveloped with a mixture of

uses that includes additional student housing close to the University campus that encourages a "community campus" with a pedestrian orientation to the campus facilities rather than a "commuter campus." Therefore, the proposed residential apartment development is consistent with the aforementioned recommended land uses and will not adversely affect the College Area Community Plan, the General Plan, or other applicable plans adopted by City Council.

2. The proposed development will not be detrimental to the public health, safety, and welfare. The 0.24-acre project site is located at 5716 Hardy Avenue within the RM-4-10 Zone of College Area Community Plan area and proposes to demolish an existing two-story institutional building and construct a new 28,644 square foot, four-story, 17-unit apartment building over two-stories of basement parking. The College Area Community Plan designates the project site as Very High Residential (75-110 DU/NRA). The project site is also located in the Core Subarea of the College Community Redevelopment Project Master Project Plan (MPP). The Core Subarea identifies the site as Very High Density residential with a density range of 75-110 DU/NRA. The net 10,080 square-foot project site could accommodate between 17 and 25 dwelling units and the proposal to construct 17 units is consistent with the community plan and MPP.

The permit prepared for this project includes various conditions and exhibits of approval relevant to achieving compliance with the regulations of the Land Development Code in effect for the project site; and such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety, and general welfare of the persons residing, working, or attending in the area. Therefore, the proposed fraternity housing development would not have a significant impact on public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code. The 0.24-acre project site is located at 5716 Hardy Avenue within the RM-4-10 Zone of College Area Community Plan area and proposes to demolish an existing two-story institutional building and construct a new 28,644 square foot, four-story, 17-unit apartment building over two-stories of basement parking. The College Area Community Plan designates the project site as Very High Residential (75-110 DU/NRA). The project site is also located in the Core Subarea of the College Community Redevelopment Project Master Project Plan (MPP). The Core Subarea identifies the site as Very High Density residential with a density range of 75-110 DU/NRA. The net 10,080 square-foot project site could accommodate between 17 and 25 dwelling units and the proposal to construct 17 units is consistent with the community plan and MPP.

The project proposes the following four deviations:

- Side yard setback (East) of 5 feet where 15 feet is required in the RM-4-10 Zone pursuant to SDMC sec. 131.0443(g)(1);
- Rear yard setback of 10 feet where 15 feet is required in the RM-4-10 Zone pursuant to SDMC sec. 131.0443(g)(1);

- Lot coverage area of 6,849 square feet where the maximum lot coverage allowed for a corner lot is 60% (6,300 square feet) pursuant to SDMC sec. 131.0445(c); and
- No private, exterior open space where at least 50 square feet of private, exterior open space is required for each dwelling unit pursuant to SDMC sec. 131.0455(d).

Although the development's base zone regulations require a greater setback requirements than proposed, the development is consistent with the adopted MPP which states, in part, (Item 3b) "Generally buildings are to be sited at or ten feet of the property line"... and (Item 3d) "As main entry points into the College Community and the University area, 55th Street, Montezuma Road, and College Avenue should be developed to promote a strong visual image, with structures located close to the street and high pedestrian activity level"... The proposed project would meet the recommendations in the community plan, MPP, and the Core Sub Area Design Guidelines to create and locate additional student housing within close proximity to the San Diego State University campus and to develop strong pedestrian orientation between the university campus and new residential development.

The Core Sub-Area Design Manual recommends a maximum lot coverage of 60% for this location within the "Residential District." However, because the proposed building is "sited" as recommended in the Core Sub-Area Design Manual, the development's orientation towards the adjacent park to the east, the design of the proposed building to integrate open or semi-open common areas within the building's ground floor area with the adjacent park, and because of the more traditional use of common open space area in student housing rather than private open space, the requested deviations to coverage and private exterior open space are offset by providing larger community open spaces within the development and encourage interaction among the residents, student activities, study enclaves, project activities, and recreation.

Therefore, the proposed reduced setbacks, minor lot coverage increase, and larger common areas in lieu of individual private exterior open spaces are consistent with the adopted Plan and will provide a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone.

Neighborhood Development Permit - Section 126.0404

A. Findings for all Neighborhood Development Permits

1. The proposed development will not adversely affect the applicable land use plan. The 0.24-acre project site is located at 5716 Hardy Avenue within the RM-4-10 Zone of College Area Community Plan area and proposes to demolish an existing two-story institutional building and construct a new 28,644 square foot, four-story, 17-unit apartment building over two-stories of basement parking. The College Area Community Plan designates the project site as Very High Residential (75-110 DU/NRA). The project site is also located in the Core Subarea of the College Community Redevelopment Project Master Project Plan (MPP). The Core Subarea identifies the site as Very High Density residential with a density range of 75-110 DU/NRA. The net 10,080 square-foot project site could accommodate between 17 and 25 dwelling units and the proposal to construct 17 units is consistent with the community plan and MPP.

The MPP's specific recommendations for the project area state that the Core Subarea should redevelop with university-oriented housing and commercial facilities and the "Overall Objectives for the Core Redevelopment Subarea" state that the area should be redeveloped with a mixture of uses that includes additional student housing close to the University campus that encourages a "community campus" with a pedestrian orientation to the campus facilities rather than a "commuter campus." Therefore, the proposed fraternity housing development is consistent with the aforementioned recommended land uses and will not adversely affect the College Area Community Plan, the General Plan, or other applicable plans adopted by City Council.

2. The proposed development will not be detrimental to the public health, safety and welfare. The 0.24-acre project site is located at 5716 Hardy Avenue within the RM-4-10 Zone of College Area Community Plan area and proposes to demolish an existing two-story institutional building and construct a new 28,644 square foot, four-story, 17-unit apartment building over two-stories of basement parking. The College Area Community Plan designates the project site as Very High Residential (75-110 DU/NRA). The project site is also located in the Core Subarea of the College Community Redevelopment Project Master Project Plan (MPP). The Core Subarea identifies the site as Very High Density residential with a density range of 75-110 DU/NRA. The net 10,080 square-foot project site could accommodate between 17 and 25 dwelling units and the proposal to construct 17 units is consistent with the community plan and MPP.

The permit prepared for this project includes various conditions and exhibits of approval relevant to achieving compliance with the regulations of the Land Development Code in effect for the project site; and such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety, and general welfare of the persons residing, working, or attending in the area. Therefore, the proposed fraternity housing use would not have a significant impact on public health, safety, and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code. The 0.24-acre project site is located at 5716 Hardy Avenue within the RM-4-10 Zone of College Area Community Plan area and proposes to demolish an existing two-story institutional building and construct a new 28,644 square foot, four-story, 17-unit apartment building over two-stories of basement parking. The College Area Community Plan designates the project site as Very High Residential (75-110 DU/NRA). The project site is also located in the Core Subarea of the College Community Redevelopment Project Master Project Plan (MPP). The Core Subarea identifies the site as Very High Density residential with a density range of 75-110 DU/NRA. The net 10,080 square-foot project site could accommodate between 17 and 25 dwelling units and the proposal to construct 17 units is consistent with the community plan and MPP.

The project proposes tandem parking outside of the Tandem Parking Overlay Zone area. The apartment development with a maximum of 17 units requires 43 automobile spaces, 2 motorcycle spaces, and 11 bicycle spaces. The project will provide 43 automobile spaces of which 8 of the automobile spaces will be tandem parking within the development's subterranean parking area. The practice of allowing tandem parking with conditions, specifically for housing developments within the Core Subarea's Residential District of the College Community Redevelopment Project Master Project Plan (MPP), has been successful and supported by the City of San Diego. Consistent with SDMC sec. 126.0402(n) and to count tandem parking spaces as two parking spaces towards the off-street parking requirement, the project's Neighborhood

Development Permit contains a specific condition requiring the apartment manager to have key access to all garaged cars in order to facilitate any movement of cars related to the proposed tandem parking arrangement. Therefore, the project as proposed with the implementing conditions will comply with the applicable regulations of the Land Development Code, including allowing tandem parking pursuant to the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1124253 and Neighborhood Development Permit No. 1214647 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Planned Development Permit No. 1124253 and Neighborhood Development Permit No. 1214647, a copy of which is attached hereto and made a part hereof.

Tim Daly
Development Project Manager
Development Services

Adopted on: February 20, 2014

Job Order No. 24003710

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24003710

PLANNED DEVELOPMENT PERMIT NO. 1124253
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1214647
CAMPUS CENTER APARTMENTS PROJECT NO. 320851 [MMRP]
Planning Commission

This Planned Development Permit No. 1124253 and Neighborhood Development Permit No. 1214647 is granted by the Planning Commission of the City of San Diego to Campus Center Apartments L.L.C., a California Limited Liability Corporation, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] sections 126.0404 and 126.0604. The 0.24-acre site is located at 5716 Hardy Avenue in the RM-4-10 and Parking Impact Overlay Zones of the College Area Community Plan. The project site is legally described as Parcel 2 of Parcel Map No. 13633 in the City of San Diego, County of San Diego, State of California, filed in the Office of the County Recorder of San Diego County on January 11, 1985 as File No. 85-009924.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner and Permittee to demolish the existing two-story institutional building and construct a 28,644 square foot, four-story, 17-unit apartment building over two-stories of basement parking described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated February 20, 2014, on file in the Development Services Department.

The project shall include:

- a. Demolish the existing two-story institutional building and construct a 28,644 square foot, four-story, 17-unit apartment building over two-stories of basement parking with 43 automobile spaces;
- b. Allowed project deviations to include:
 - Eight (8) Tandem Parking spaces allowed outside a Tandem Parking Overlay Zone area;

- Lot coverage area of 6,849 square feet where the maximum lot coverage allowed for a corner lot is 60% (6,300 square feet) pursuant to SDMC sec. 131.0445(c);
 - Side yard setback (East) of 5 feet where 15 feet is required in the RM-4-10 Zone pursuant to SDMC sec. 131.0443(g)(1);
 - Rear yard setback of 10 feet where 15 feet is required in the RM-4-10 Zone pursuant to SDMC sec. 131.0443(g)(1); and
 - No private, exterior open space where at least 50 square feet of private, exterior open space is required for each dwelling unit pursuant to SDMC sec. 131.0455(d).
- c. Landscaping (planting, irrigation and landscape related improvements);
- d. Off-street parking; and
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by March XX, 2017.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.

4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or

obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

11. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

12. The mitigation measures specified in the MMRP and outlined in Mitigated Negative Declaration No. 320851, shall be noted on the construction plans and specifications under the heading ENVIRONMENTAL MITIGATION REQUIREMENTS.

13. The Owner/Permittee shall comply with the MMRP as specified in Mitigated Negative Declaration No. 320851 to the satisfaction of the Development Services Department and the City Engineer. Prior to issuance of any construction permit, all conditions of the MMRP shall be adhered to, to the satisfaction of the City Engineer. All mitigation measures described in the MMRP shall be implemented for the following issue areas:

- Paleontological Resources

AFFORDABLE HOUSING REQUIREMENTS:

14. Prior to the issuance of any construction permits, the Owner/Permittee shall comply with the affordable housing requirements of the City's Inclusionary Affordable Housing Regulations (SDMC § 142.1301 et seq.).

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any construction permit for a building, the Owner/Permittee shall assure by permit and bond the replacement of the existing rolled curb with City standard curb and gutter with offsite transition, along the project frontage on Hardy Avenue, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit for a building, the Owner/Permittee shall assure by permit and bond the installation of a 20-foot wide City standard driveway, on Hardy Drive, satisfactory to the City Engineer.

17. Prior to the issuance of any construction permit for a building, the Owner/Permittee shall obtain an Encroachment Maintenance and Removal Agreement for the bench and enhanced pavings locate within Hardy Avenue right-of-way, satisfactory to the City Engineer.

18. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

19. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.

20. Prior to the issuance of any construction permit, the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

21. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post construction Best Management Practices (BMP's) on the final construction drawings, consistent with the Water Quality Technical Report, satisfactory to the City Engineer.

GEOLOGY REQUIREMENTS:

22. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

23. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

LANDSCAPE REQUIREMENTS:

24. Prior to issuance of any construction permit for grading, landscape construction documents shall be submitted in accordance with the Landscape Standards and to the satisfaction of the Development Services Department. All plans shall be in substantial conformance to this permit (including Environmental conditions) and Exhibit "A" on file in the Office of the Development Services Department. Construction plans shall take into account a 40 square-foot area around each tree to be unencumbered by hardscape and utilities as set forth under SDMC sec. 142.0403(b)5.

25. Prior to issuance of any construction permit for right-of-way improvements, complete landscape construction documents for right-of-way improvements shall be submitted to the Development Services Department for approval. Improvement plans shall take into account a 40 square-foot area around each tree which is unencumbered by utilities. Driveways, utilities,

drains, water and sewer laterals shall be designed so as not to prohibit the placement of street trees.

26. Prior to any Final Inspection, it shall be the responsibility of the Owner/Permittee to install all required landscape and obtain all required landscape inspections.

27. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

28. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

29. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

30. Any required planting that dies within 3 years of installation shall be replaced within 30 calendar days of plant death with the same size and species of plant material shown on the approved plan. Required shrubs or trees that die 3 years or more after installation shall be replaced with 15 gallon size or 60-inch box size material, respectively. Development Services may authorize adjustment of the size and quantity of replacement material where material replacement would occur in inaccessible areas or where the existing plant being replaced is larger than a 15 gallon shrub or 60-inch box tree.

31. Prior to issuance of any construction permit for parking structures, the Owner/Permittee shall submit on the planting and irrigation plans a signed statement by a Registered Structural Engineer indicating that supporting structures are designed to accommodate the necessary structural loads and associated planting and irrigation.

PLANNING/DESIGN REQUIREMENTS:

32. Owner/Permittee shall maintain a minimum of 43 automobile including 1 van accessible space, 2 motorcycle, and 11 bicycle parking spaces shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A". All parking spaces shall be assigned. Further, all parking stalls and aisle widths shall be in compliance with requirements of the SDMC, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Director of Development Services Department.

33. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

34. All signs associated with this development shall be consistent with sign criteria established by either the approved Exhibit "A" or City-wide sign regulations.

35. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

TRANSPORTATION REQUIREMENTS

36. The Owner/Permittee shall close all non-utilized driveways, remove all curbs and gutters on the site frontage and replace them with a 6-inch curb and gutter pursuant to City Standard Drawing SDG-151, satisfactory to the City Engineer.

37. The Owner/Permittee shall install a 20-foot wide driveway on Hardy Avenue pursuant to City Standard Drawing SDG-159, satisfactory to the City Engineer.

38. The Owner/Permittee shall maintain an Apartment Manager at all times who will have access to all garaged cars in order to facilitate any movement of cars related to the proposed tandem parking arrangement.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

39. Prior to the issuance of any construction permits for building, the Owner/Permittee shall assure, by permit and bond, the design and construction of any new water and sewer service(s) outside of any driveway, and the disconnection of the existing unused water and sewer service adjacent to the project site, in a manner satisfactory to the Director of Public Utilities and the City Engineer.

40. Prior to the issuance of any construction permits for building, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer. BFPDs shall be located above ground on private property, in line with the service and immediately adjacent to the right-of-way.

41. Prior to any Final Inspection, all public water and sewer facilities shall be complete and operational in a manner satisfactory to the Director of Public Utilities and the City Engineer.

42. The Owner/Permittee shall design and construct all proposed public water and sewer facilities, in accordance with established criteria in the current edition of the City of San Diego Water and Sewer Facility Design Guidelines and City regulations, standards and practices.

SOLID WASTE REQUIREMENTS:

43. The project shall comply with the City of San Diego's Construction and Demolition (C&D) Debris Recycling Ordinance, Storage Ordinance, and Mandatory Recycling Ordinance, satisfactory to the Director of Environmental Services and the City Engineer.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on February 20, 2014 and Resolution PC-XXXX.

Permit Type/PTS Approval No.: Planned Development Permit No. 1124253
Neighborhood Development Permit No. 1214647
Date of Approval: February 20, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Tim Daly
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Campus Center Apartments L.L.C.
Owner/Permittee

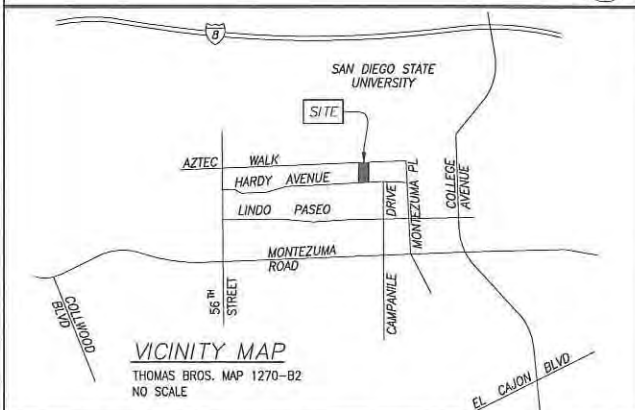
By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

LOCATION MAP



VICINITY MAP



THE WESLEY - APARTMENT AND RESIDENT SERVICES DEVELOPMENT
5716 HARDY AVENUE, SAN DIEGO, CALIFORNIA

DESCRIPTION:
THE WESLEY IS A 17 UNIT HOUSING COMMUNITY AND RESIDENT SERVICE CENTER WITH EMPHASIS ON SAN DIEGO STATE STUDENTS. THE BUILDING WILL BE A FOUR STORY APARTMENT BUILDING OVER TWO LEVELS OF BELOW GRADE PARKING. IN ADDITION TO THE APARTMENT UNITS THERE IS A MANAGER'S OFFICE, COMMUNITY ROOM, KITCHEN AREA, MEETING ROOMS, STUDY ROOMS AND RESTROOM FACILITIES ON THE GROUND FLOOR FOR THOSE USING THESE FACILITIES. THE DESIGN IS INTENDED TO ENCOURAGE INTERACTION AMONG RESIDENTS, STUDENT ACTIVITIES, STUDY, PROJECT ACTIVITIES AND RECREATION THAT GO BEYOND JUST A PLACE TO LIVE. THE LOCATION OF THE WESLEY IS AT ONE OF THE PRIMARY ENTRANCES TO THE SAN DIEGO STATE CAMPUS AND WILL BE BOTH AN IMPORTANT VISUAL STATEMENT AND A SOCIAL ACTIVITY CENTER FOR THE RESIDENTS. ONE OF THE GOALS OF THE CONCEPT IS TO BENEFIT FROM INCORPORATING, BOTH VISUALLY AND PHYSICALLY, THE LOCATION ADJACENT TO CAMPANILE DRIVE AND THE SMALL PARK LIKE OPEN SPACE ADJACENT TO THE EAST BOUNDARY. THIS PARK LIKE OPEN SPACE IS HEAVILY USED BY STUDENTS COMING AND GOING FROM CLASSES AND OTHER CAMPUS ACTIVITIES. ORIENTING THE GROUND FLOOR COMMON AREAS TO THE PARK WILL PROVIDE FOCUS AND PEDESTRIAN INTERACTIONS VISUALIZE IN THE CAMPUS PLAN. TO HELP ACHIEVE THIS GOAL OF PROVIDING A LARGER COMMUNITY OPEN SPACE THE PROJECT PROPOSES TO MINIMIZE SMALL PRIVATE OUTDOOR SPACES AND INCORPORATE THEM INTO LARGER COMMUNITY SERVING SPACES AND FACILITIES. THE COMMUNITY ROOM, KITCHEN AND STUDY/BREAKOUT ROOMS FOR THE STUDENTS WILL MORE EFFICIENTLY SERVE THEIR NEEDS. THIS WILL FACILITATE INDIVIDUAL STUDY, GROUP PROJECTS, CLUB MEETINGS AND OPPORTUNITIES FOR COMMUNITY INTERACTION CLOSE TO RESIDENCES AND THE CAMPUS.

THE SITE:
THE SITE IS LOCATED AT THE NORTHWEST CORNER OF CAMPANILE DRIVE AND HARDY AVENUE. THE SITE IS CURRENTLY OCCUPIED BY THE WESLEY FOUNDATION A RELIGIOUS BASED STUDENT CENTER. IT IS ONE OF THE SMALLER SIZED PARCELS IN THE AREA AND A PRIME EXAMPLE OF ONE IN WHICH "...A FLEXIBLE DEVELOPMENT APPROACH IS WARRANTED..." PER THE COLLEGE COMMUNITY REDEVELOPMENT PROJECT CORE SUB-AREA DESIGN MANUAL. THE NARROW WIDTH OF THE SITE, THE NEED FOR A BELOW GRADE PARKING STRUCTURE AND THE NEED FOR SHORING OF THE EXCAVATION NECESSITATE A FULL EXCAVATION OF THE SITE TO WITHIN APPROXIMATELY 2' OF THE SURROUNDING PROPERTY LINES. THIS RESULTS IN NEARLY 100% OF THE SITE UNDER EXCAVATION AND ULTIMATELY VERY LITTLE NATIVE GROUND FOR LANDSCAPING. SEE ACCOMPANYING SKETCH TO CONFIRM SITE WIDTH NEEDED FOR PARKING, AISLES AND STRUCTURE IS 68.5 FEET MINIMUM.

THE WESLEY - APARTMENT AND RESIDENT SERVICES DEVELOPMENT CONT.

LOT COVERAGE AS PROPOSED IS EXCEEDING THE PERMITTED IN THE CORE AREA BY APPROXIMATELY 549 SQUARE FEET AND IS NECESSARY TO PROVIDE THE ADDITIONAL AMENITIES AND MAINTAIN THE DESIGN CHARACTER AS ENVISIONED IN THE CAMPUS AREA PLAN. IF THE ADDITIONAL INTERIOR SPACE WERE COUNTED AS USEABLE OPEN SPACE IT WOULD RESULT IN THE ADDITION OF 715 SQUARE FEET OF SPACE IF IT WAS CONSIDERED "OPEN". PROVISION OF A FULLY OPENABLE GLASS WALL TO THE EAST PATIO WILL INTEGRATE THIS INTERIOR SPACE WITH THE EXTERIOR PATIO AND ADJACENT PARK AND WOULD OFFSET THE "OPEN SPACE DEFICIT". THIS WILL RESULT IN A DESIGN THAT INCORPORATES AND ENHANCES THE LOCATION NEXT TO PERMANENT OPEN SPACE AND THE INDOOR/OUTDOOR NATURE OF THE SAN DIEGO CLIMATE WHILE PROVIDING MANY ADDED RESIDENT SERVICES.

THE SITE SIZE AND NARROW WIDTH PRESENT A NUMBER OF DIFFICULTIES IN ADDITION TO CHALLENGES WITH RESPECT TO MEETING THE PARKING AND RAMP ACCESS REQUIREMENTS. HOWEVER, BY UTILIZING THE FLEXIBILITY OF THE SUB-CORE AREA DESIGN GUIDELINES FOR SETBACKS AND LOT COVERAGE THESE CAN BE EFFECTIVELY MITIGATED. THE DIFFICULTY IS THAT TO ACHIEVE A PROPER PARKING AND RAMP PLAN FOR THE BELOW GRADE PARKING THAT FITS WITHIN THE SEVENTY FOOT SITE WIDTH AND ALLOWS FOR SHORING OF THE EXCAVATION, PROPER PARKING STALL AND DRIVE AISLES. TO ACHIEVE THIS IT IS NECESSARY TO UTILIZE THE ENTIRE SITE WIDTH FOR THE BELOW GRADE STRUCTURE.

EVERY EFFORT IS BEING MADE TO ASSURE THAT THE HIGHEST STANDARDS ARE ATTAINED IN THE DESIGN, CONSTRUCTION, QUALITY AND MAINTAINABILITY OF THE PROJECT. THESE EFFORTS WILL RESULT IN LONG-TERM SUSTAINABILITY OF THE PROPERTY, RETENTION OF TENANTS AND EFFICIENT OPERATING AND MANAGEMENT COSTS. FOLLOWING IS A BRIEF SUMMARY OF SOME OF THE ENHANCEMENTS INCORPORATED IN THE DEVELOPMENT:

ENERGY EFFICIENT
THE WESLEY WILL PROVIDE EFFICIENT USE OF RESOURCES AND FUNDS BY USING THE LATEST TECHNOLOGIES IN THE DESIGN AND CONSTRUCTION OF A RESOURCE AND ENERGY EFFICIENT DEVELOPMENT. THE FOLLOWING WILL BE INCORPORATED INTO THE DEVELOPMENT:

- BUILDING ENVELOPE WILL BE DESIGNED WITH HIGHLY EFFICIENT COMPONENTS INCLUDING 2X6 EXTERIOR WOOD STUDS WITH R-19 THERMAL INSULATION, RADIANT BARRIER ROOF SHEATHING, R-30 ROOF INSULATION, AND DUAL GLAZED VINYL WINDOWS WITH LOW-E GLAZING.
- ROOFING WILL BE TPO (ALBEDO) HIGHLY REFLECTIVE TO REDUCE HEAT ISLAND EFFECT.
- LIGHTING WILL BE HIGH EFFICACY WITH ALL INTERIOR LIGHTING TO BE COMPACT FLUORESCENT WITH ELECTRONIC BALLASTS.
- MECHANICAL EQUIPMENT WILL BE HIGH SEER AND EER RATED HEAT PUMPS.
- ENERGY STAR APPLIANCES WILL BE FURNISHED IN ALL UNITS AND COMMON AREAS.
- CENTRAL BOILERS WILL BE PROVIDED FOR MAXIMUM EFFICIENCY.
- LANDSCAPE MATERIALS WILL BE SELECTED FOR MAXIMUM PASSIVE BENEFIT AND LOW WATER USE.
- SHADING OF LARGE WINDOW AND DOOR OPENINGS WILL BE ENHANCED WITH ROOF OVERHANGS AND PATIO OR BALCONY DECKS.
- BATHROOM FANS AND LIGHTING HAVE TIMERS OR OCCUPANCY SENSORS TO INSURE AIR CIRCULATION, PREVENT MOLD GROWTH AND SAVE ENERGY.
- WHILE WE INCORPORATE MANY OF THE CRITERIA NECESSARY FOR LEED CERTIFICATION WE DO NOT FIND THE COST WHICH CAN RUN FROM \$75,000 TO \$150,000.00 FOR SOFT COSTS (DESIGN, COMMISSIONING, DOCUMENTATION AND ENERGY MODELING) IS JUSTIFIED.
- UTILIZATION OF A HERS RATER (HOME ENERGY RATING SYSTEM) IS PART OF THE CONSTRUCTION PROCESS TO INSURE PROPER EQUIPMENT AND INSTALLATION STANDARDS ARE APPLIED TO INSULATION INSTALLATION AND MECHANICAL SYSTEMS.

- WATER CONSERVATION**
- LOW FLOW SHOWER HEADS
 - LOW FLOW (1.3 GALLON PER FLUSH) DUAL FLUSH TOILETS
 - NATIVE AND DROUGHT TOLERANT PLANT MATERIALS WILL BE USED.
 - IRRIGATION CONTROL WILL BE COMPUTERIZED AND INTEGRATED WITH SATELLITE AND WEATHER REPORTING.

- OPEN SPACE, SITE AMENITIES & LANDSCAPING**
- GAS BBQ PROVIDED FOR TENANT USE.
 - COVERED PARKING WILL HELP REDUCE HEAT ISLAND EFFECT
 - BICYCLE RACKS AND STORAGE WILL BE PROVIDED.
 - RECYCLE PROGRAM AND CONTAINERS ARE PROVIDED AT THE TRASH ENCLOSURE.
 - PROXIMITY TO THE UNIVERSITY WILL REDUCE VEHICULAR TRIPS AND MILEAGE.

- COMMUNITY SERVICES:**
- COMMUNITY COMPUTER FACILITIES WILL BE PROVIDED TO INCLUDE COMPUTER ACCESS AND INTERNET ACCESS.
 - VIDEO SECURITY AND SURVEILLANCE.
 - ON-SITE MANAGEMENT
 - MAINTENANCE AND REPAIR PROGRAMS
 - RECYCLE PROGRAMS AND EDUCATION WILL BE PROVIDED.
 - ON SITE RELIGIOUS CENTER OFFICES.

- GREEN MEASURES**
- LOW VOC PAINTS AND ADHESIVES
 - RECYCLE CONSTRUCTION DEBRIS
 - USE OF RECYCLED MATERIALS
 - LOW WATER USAGE PLANT PALETTE
 - MANAGEMENT AND MAINTENANCE GUIDE INCORPORATES GREEN PRINCIPALS

PROJECT INFORMATION

ZONING

LEGAL DISCRPTION	PARCEL 2 OF PARCEL MAP NO. 13633, IN THE CITY OF SAN DIEGO, COUNTY OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, JANUARY 11, 1985 AS FILE NO. 85-009924 OF OFFICIAL RECORDS
APN	466-050-58-00 (ACCESSORS PARCEL NUMBER)
CURRENT ZONING	RM-4-10 PARKING IMPACT OVERLAY ZONE COMMUNITY PLAN - COLLEGE AREA REDEVELOPMENT PROJECT AREA PER CORE SUBAREA DESIGN MANUAL. COLLEGE AREA COMMUNITY PLAN

GEOLOGIC HAZARD CATEGORY

GEOLOGIC HAZARD CATEGORY 53

PROPERTY HISTORY

THE ORIGINAL STRUCTURE WAS BUILT IN 1946. IN 1963 AN ADDITION WAS BUILT. FURTHER INFORMATION IS INCLUDED IN THE HISTORICAL REVIEW. THE EXISTING BUILDING HOSTS THE WESLEY FOUNDATION UNITED METHODIST CHURCH CAMPUS MINISTRY CENTER.

BUILDING CODE DATA

OCCUPANCY	S-2, R-2
CONSTRUCTION	TYPE 1 (S-2), TYPE VA-SPRINKLERED (R-2)
STORIES	4 STORIES OVER 2 STORIES OF BASEMENT LEVEL PARKING
HEIGHT	MAXIMUM FOUR STORIES ALONG STREET FRONTAGES PER DESIGN MANUAL HEIGHT EQUIVALENT MAXIMUM IS 20' + 12X3= 36' FOR A TOTAL OF 56' MAXIMUM PERMITTED.
GOVERNING CODES	2010 CALIFORNIA BUILDING CODE

PLANNED DEVELOPMENT PERMIT

THIS PROJECT IS WITHIN THE COLLEGE AREA REDEVELOPMENT PROJECT AREA WHICH PROVIDES FOR DEVIATIONS FROM THE UNDERLYING R-4-10 ZONING. THESE DOCUMENTS IDENTIFY AND PROVIDE A DESIGN SOLUTION FOR THOSE AREAS NEEDING CLARIFICATION OR EQUIVALENT SOLUTIONS. THE FOLLOWING DEVIATIONS REQUIRE APPROVAL UNDER THE PDP:

- LOT COVERAGE - COMMON AREA PROVIDED IN LIEU.
- PRIVATE OPEN SPACE COMMON AREA PROVIDED IN LIEU PER CADP.
- ALLOW THE USE OF 8 TANDEM PARKING SPACES. SEE SHEET SA-1 FOR SUMMARY OF PARKING REQUIREMENTS AND JUSTIFICATION. PER ATTACHED DS-266.

AREAS ALLOWED/ PROPOSED TABLE

	ZONE RM-4-10 (TABLE 131-04G)	COLLEGE AREA PROJECT CORE DESIGN MANUAL	PROPOSED
FRONT YARD SETBACK - SOUTH	0'	0'	0'
SIDE YARD SETBACK - WEST	0'	5'	5'
SIDE YARD SETBACK - EAST	15'	5'	5'
REAR YARD SETBACK - NORTH	15'	10', NOTE: THERE IS A 6' WIDE PUBLIC USE EASEMENT ALONG NORTH BOUNDARY	10'
GROSS SITE AREA	7,000 S.F. MIN.	-	10,500 S.F. (0.24 ACRES)
TOTAL BLDG FLOOR AREA		N/A	28,644 S.F.
1ST FLOOR	N/A	N/A	6,849 S.F.
2ND FLOOR	N/A	N/A	7,267 S.F.
3RD FLOOR	N/A	N/A	7,265 S.F.
4TH FLOOR	N/A	N/A	7,265 S.F.
TOTAL PARKING AREA		ALL PKG	22,660 S.F.
BASEMENT PARKING BELOW GRADE	N/A	ALL PKG	9,860 S.F.
LOWER LEVEL PARKING	N/A		12,800 S.F.
PERMITTED LOT COVERAGE	CORNER LOT 60%= 6,300 S.F.		6,849 S.F. > 6,300 S.F. : 549 S.F. OVER
FAR	3.6 10,500 X 3.6 = 37,800	N.A.	28,644 S.F. PROPOSED SMALLER 37,800 S.F. THEREFORE OK!
USEABLE OPEN AREAS	7 UNITS X 25 S.F. = 425 S.F.	4,200 S.F.	3,551 S.F.
DENSITY DESIGNATION / UNITS	RM-4-10 1 DWELLING UNIT/400 S.F. OF LOT AREA 10,500/400=26.2	75-110 DWELLING UNITS/ACRE = 18 TO 26 UNITS	70.5 DWELLING UNITS/ ACRE
BLDG HT	NO LIMIT	56'-0"	56' MAX
PRIVATE OPEN SPACE	50 S.F. X 17 = 850 S.F.	NONE	COMMUNITY ROOM IN LIEU

PROJECT TEAM

OWNER

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C/O SOUTHDAL, INC.
P.O. BOX 1343
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ahlesland@sbcglobal.net

DRAWING INDEX

GENERAL

TS1 TITLE SHEET, PROJECT INFORMATION

CIVIL

C.1 TOPO
C.2 GRADING AND DRAINAGE

LANDSCAPE

L.1 LANDSCAPE DEVELOPMENT PLAN

ARCHITECTURAL

SA1 SITE PLAN
SA2 VICINITY PLAN
PS PHOTOGRAPHIC SURVEY
A1.1 UNIT TYPE A, B, C, D
A2.1 GARAGE FLOOR PLAN, UPPER AND LOWER LEVEL
A2.2 BUILDING FLOOR PLAN LEVEL 1, 2
A2.3 BUILDING FLOOR PLAN LEVEL 3, 4
A2.4 ROOF PLAN
A3.1 BUILDING SECTION A-A
A3.2 BUILDING SECTION B-B
A3.3 BUILDING SECTION C-C
A4.1 BUILDING ELEVATIONS SOUTH AND EAST
A4.2 BUILDING ELEVATIONS NORTH AND WEST

REVISED	BY



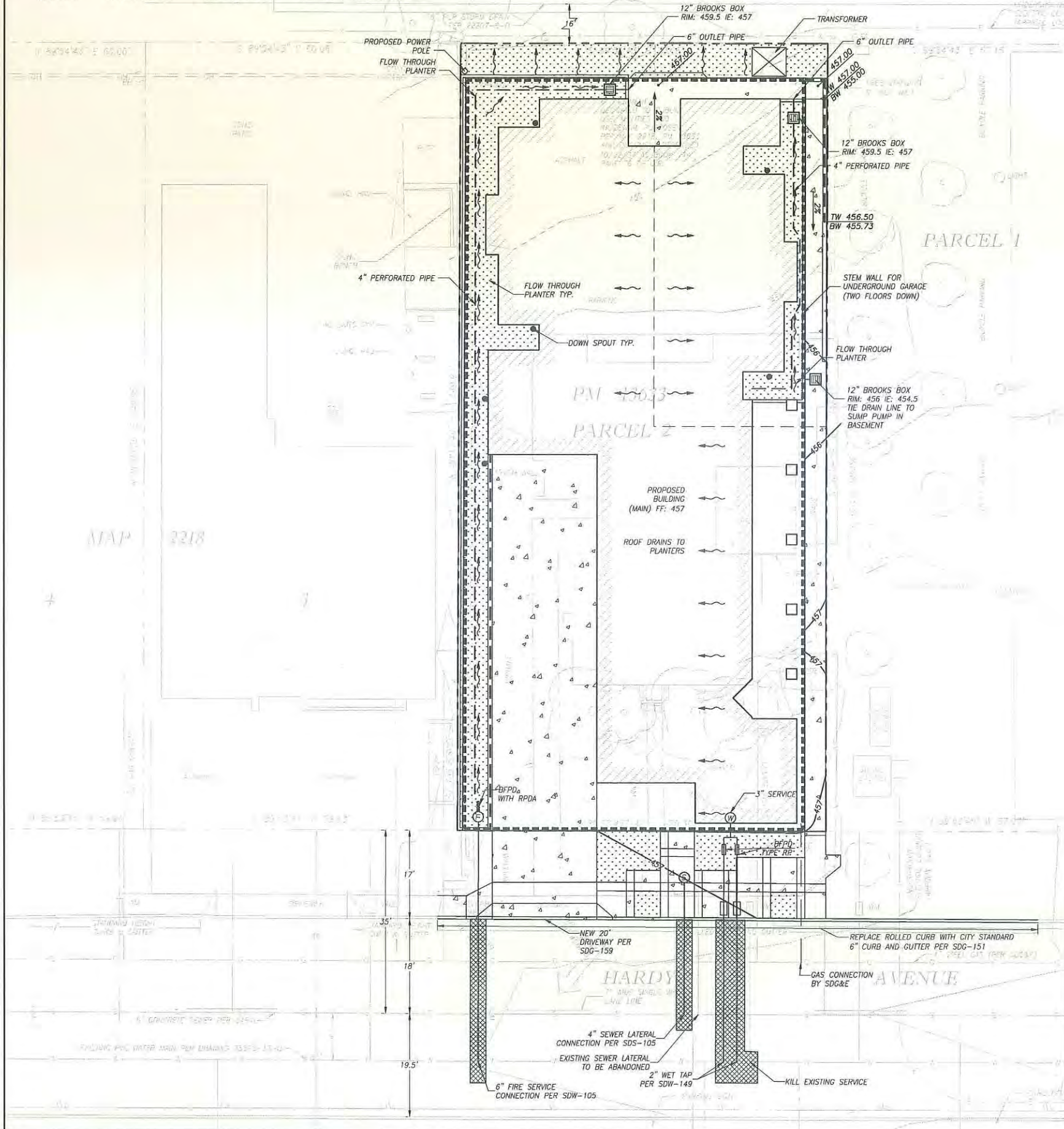
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CAMPUS CENTER APARTMENTS
CITY OF SAN DIEGO, CALIFORNIA

TS
SHEETS



LEGEND

DESCRIPTION	STD DWG	SYMBOL
RIGHT-OF-WAY LINE		— R/W —
ROW CENTERLINE		— C —
EXISTING SPOT ELEVATION		— 100.00 —
PROPOSED SPOT ELEVATION		— 100.00 —
CMU RETAINING WALL (PVT)	C-1	— [Symbol] —
BUILDING STEM WALL		— [Symbol] —

EXISTING IMPROVEMENTS

ITEM	SYMBOL
EXIST. WATER	— W —
EXIST. SEWER	— S —
EXIST. CURB & GUTTER, SIDEWALK AND DRIVEWAY	— [Symbol] —

ABBREVIATIONS

AC	ASPHALTIC CONCRETE
FF	FINISH FLOOR
FH	FIRE HYDRANT
FL	FLOWLINE
FG	FINISH GRADE
(E)	EXISTING
HP	HIGH POINT
IE	INVERT ELEVATION
PA	PLANTER AREA
BRW	(AT GRADE) BOTTOM OF RETAINING WALL
TRW	(GRADE AT) TOP OF RETAINING WALL
DS	DOWNSPOUT

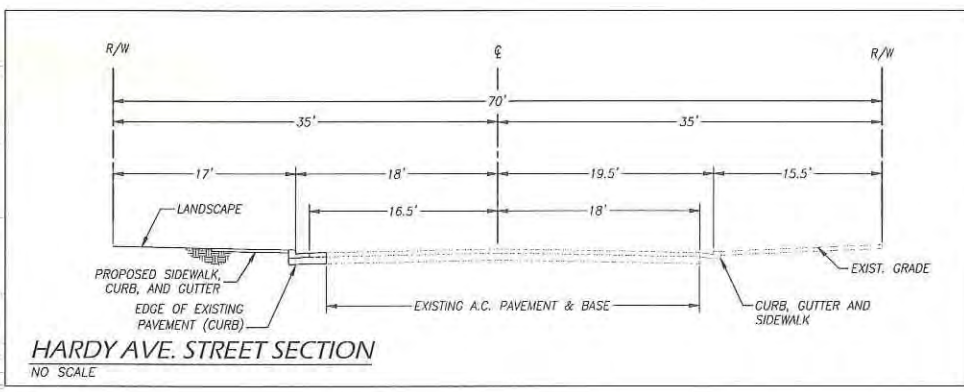
GRADING TABULATIONS

TOTAL AMOUNT OF SITE TO BE GRADED:	0.24 ACRES	% OF TOTAL SITE:	100%
AMOUNT OF CUT:	0 ⁺ CUBIC YARDS	MAXIMUM DEPTH OF CUT:	22.8 FEET
AMOUNT OF FILL:	30 CUBIC YARDS	MAXIMUM DEPTH OF FILL:	2.4 FEET
MAXIMUM HEIGHT OF FILL SLOPE(S):	2.4 FEET	SLOPE RATIO:	2:1
MAXIMUM HEIGHT OF CUT SLOPE(S):	0 FEET	SLOPE RATIO:	N/A
AMOUNT OF IMPORT/EXPORT SOIL:	7,300 CUBIC YARDS		
RETAINING/ CRIB WALLS:	LENGTH 39.7 FEET	MAXIMUM HEIGHT:	2.0 FEET

*BASEMENT EXCAVATIONS HAVE BEEN EXCLUDED FROM GRADING TABULATIONS.
THE BASEMENT EXCAVATION TOTALS APPROXIMATELY 7,330 CUBIC YARDS AT 22' 8".

NOTES

- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.



HARDY AVE. STREET SECTION
NO SCALE

COFFEY ENGINEERING, INC.
10665 SCRIPPS RANCH BLVD, SUITE 102, SAN DIEGO, CA 92131 PH: (619) 591-0111 FAX: (619) 591-0179



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5716 Hardy Avenue
San Diego, CA 92115

DRAWN BY: MK
CHECKED BY: JC
ORIGINAL: 04/16/13
REVISION 1
REVISION 2
REVISION 3
REVISION 4
REVISION 5

GRADING, DRAINAGE & IMP. PLAN
SCALE: 1" = 10'

C.2

CITY STANDARDS NOTES

ALL LANDSCAPE AND IRRIGATION SHALL CONFORM TO THE CITY ORDINANCE LANDSCAPE ARTICLES AND LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.

LANDSCAPE REGULATION CONFORMANCE
LANDSCAPE IS PROPOSED IN CONFORMANCE WITH THE COLLEGE COMMUNITY REDEVELOPMENT PROJECT, CORE SUB-AREA DESIGN MANUAL.

CITY INSPECTION
OBTAIN A FINAL INSPECTION OF THE COMPLETED LANDSCAPE PLANTING AND IRRIGATION INSTALLATION BY CITY LANDSCAPE INSPECTOR. SCHEDULE INSPECTOR AND LANDSCAPE ARCHITECT AT LEAST ONE WEEK IN ADVANCE OF INSPECTION. CITY FEES PROVIDE FOR ONLY ONE INSPECTION, ADDITIONAL INSPECTIONS WILL REQUIRE ADDITIONAL FEES.

EXISTING LANDSCAPE NOTE
NEW LANDSCAPING IS PROPOSED FOR ALL SITE AREAS NOT OTHERWISE DEVELOPED. NO EXISTING TREES OR OTHER VEGETATION WILL REMAIN.

CURB NOTE:
ALL LANDSCAPE AREAS ARE SEPARATED FROM VEHICULAR DRIVES AND PARKING BY 6" N. CONCRETE CURBS- CONSTRUCTED PER SITE IMPROVEMENT PLANS ALL PARKING SPACES FACING LANDSCAPE AREAS 5 FT. OR LESS IN WIDTH SHALL HAVE WHEEL STOPS PROVIDED AT LEAST TWO FEET FROM THE LANDSCAPE AREA.

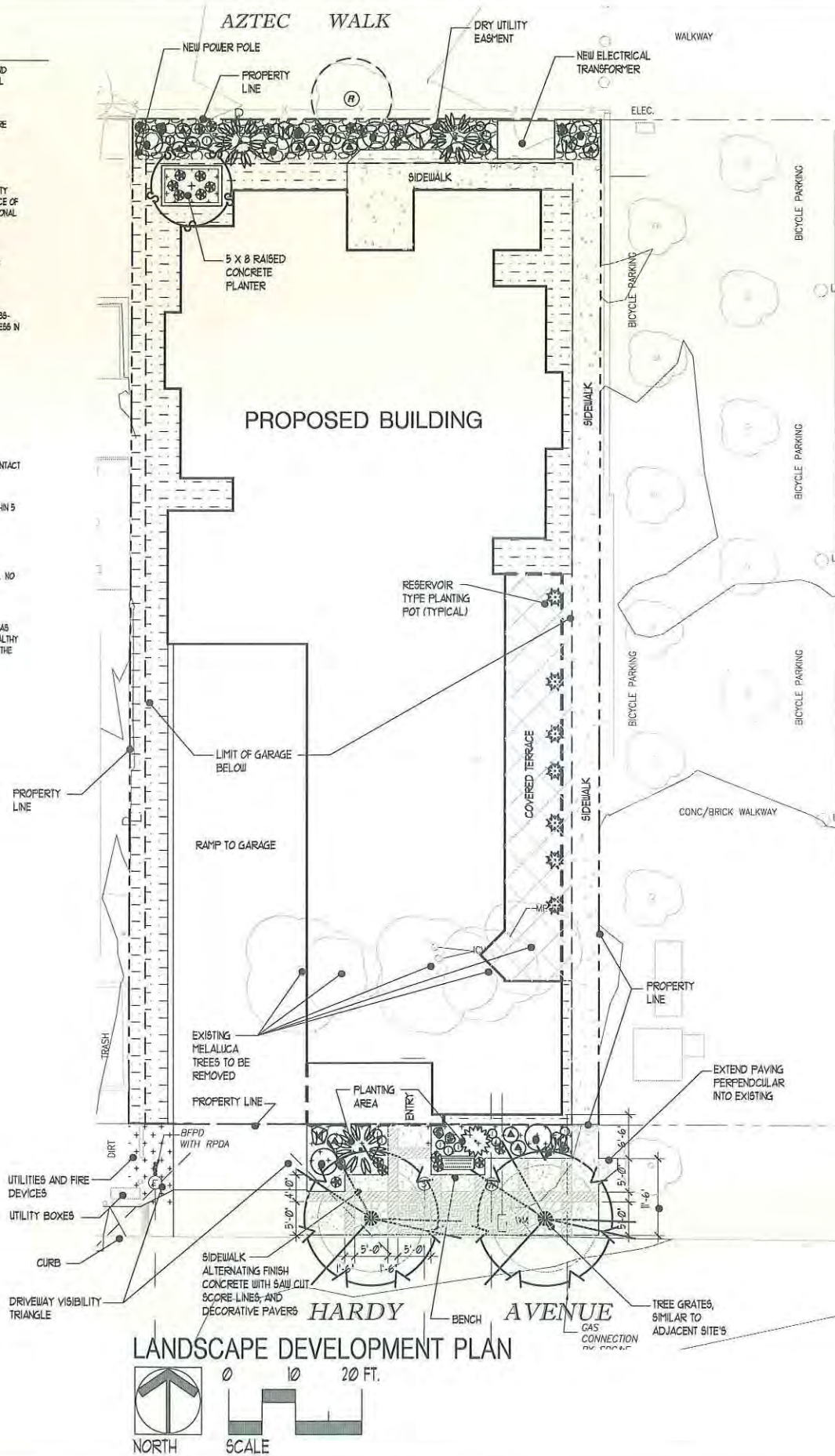
MINIMUM TREE SEPARATION DISTANCE
IMPROVEMENT / MINIMUM DISTANCE TO STREET TREE:
TRAFFIC SIGNALS (STOP SIGNS)- 20 FEET
UNDERGROUND UTILITY LINES- 5 FEET
UNDERGROUND SEWER LATERALS- 10 FEET
ABOVE GROUND UTILITY STRUCTURES- 10 FEET
DRIVEWAY (ENTRIES)- 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS)- 75 FEET

VERIFY MINIMUM SEPARATION DISTANCE IN FIELD PRIOR TO PLANTING. UPON IDENTIFICATION OF CONFLICT, CONTACT LANDSCAPE ARCHITECT AND ADJUST TREE LOCATION AS DIRECTED.

ROOT BARRIER
NON-BIODEGRADABLE ROOT BARRIERS SHALL BE INSTALLED BETWEEN ALL NEW STREET TREES PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS OR STREET PAVEMENT OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED WITHIN 10 FEET OF THE PROPERTY LINE ALONG THAT STREET FRONTAGE (SDMC 14.04.02(A)(1)).

DRAINAGE BEST MANAGEMENT PRACTICES
NO IRRIGATION RUN OFF SHALL DRAIN OFF SITE INTO THE PUBLIC RIGHT OF WAY, STREETS, DRIVES OR ALLEYS. NO CONNECTION SHALL BE MADE TO ANY STORM WATER SEWER SYSTEM WITHOUT PROPER PMP'S. ALL ROOF DISCHARGE TO BE TO SURFACE DRAINAGE. REFER TO STORM WATER POLLUTION PREVENTION PLAN.

MAINTENANCE NOTE
ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN HEALTHY CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.



PLANT LEGEND

PLANT SYMBOL	FUNCTION	BOTANICAL NAME	COMMON NAME	PLANT FORM	QUANTITY	SIZE
(Tree symbol)	TREES	PODOCARPUS GRACILOR	YEW PINE	FORM- CANOPY BROAD SPREADING OVAL	1	48" BOX- HIGH BRANCHED
(Tree symbol)		MAGNOLIA LITTLE GEM	LITTLE GEM MAGNOLIA	FORM- VERTICAL ACCENT	1	48" BOX IN PLANTER
(Tree symbol)		RHUS LANCEA	AFRICAN BUMIAC	FORM- VERTICAL ACCENT	1	36" BOX
(Tree symbol)		CYPRIPEDUS S. TINY TOWERS	DIWARF ITALIAN CYPRESS	FORM- SPREADING GROUND COVER	1	36" BOX
(Ground cover symbol)	FUNCTION: GROUND COVER	DECOMPOSED GRANITE- 3/8 MINUS, DESERT GOLD COLOR, COMPACTED AND STABILIZED	ALT. BARK MULCH			
(Ground cover symbol)		CAREX TINIFOLIA (OVER BUILDING PODIUM)	BERKELEY SEDGE	100%		LINESS
(Ground cover symbol)		2-4 IN. RIF RUBBLE				
(Shrub symbol)	FUNCTION: EVERGREEN ACCENT SHRUBS- 30 IN. MIN. TALL X 30 IN. WIDTH	AGAVE GEMIFLORA	TWIN FLOWERED AGAVE	FORM- ROUND SHRUB	100%	5 GALLON
(Shrub symbol)		CALLISTEMON LITTLE JOHN	DIWARF BOTTLE BRUSH			
(Shrub symbol)		PHORIM DAZZLER	NZ FLAX			
(Shrub symbol)	FUNCTION: SUCCULENT ACCENT PLANTS- 12 IN. MIN. TALL X 12 IN. WIDTH	ALOE STRIATA	CORAL ALOE	FORM- ACCENT	100%	1 GALLON
(Shrub symbol)		HESPERALOE PARVIFOLIA	ALOE			
(Shrub symbol)		EUPHORBIA 'STICKS ON FIRE'	EUPHORBIA			
(Shrub symbol)		EUPHORBIA X MARTINI 'RED CHEROKEE'	CROWN OF THORNS			
(Shrub symbol)	FUNCTION: RESERVOIR TYPE PLANTING POT W/ SUCCULENTS	AECONIUM 'ZWARTRON'	AECONIUM	FORM- ACCENT	100%	4 IN. POTS
(Shrub symbol)		KALANCHOE THYRSIFLORA	PADDLE PLANT			
(Shrub symbol)		SEDUM SPURMUM 'BURGANDY CARPET'	SEDUM			
(Shrub symbol)		EUPHORBIA 'STICKS ON FIRE'	EUPHORBIA			
(Vine symbol)	FUNCTION: VINES	BOUGAINVILLEA 'SD RED'	BOUGAINVILLEA	ATTACHED TO WALL	100%	4 IN. POTS
(Vine symbol)		PARTHENOCISSUS TRICUSPIDATA	BOSTON IVY			
(Vine symbol)		DICTYOCUS RIVERSII	ROYAL TRUMPET VINE			
(Boulder symbol)	LANDSCAPE BOULDER	5 TOTAL				
(Boulder symbol)		8 AT 18" X 18" X 18", 1/4 TON				
(Boulder symbol)		5 AT 12" X 24" X 2 FT, 1/2 TON				
(Boulder symbol)		2 AT 24" X 36" X 3, 1 TON				
(Boulder symbol)	NOTES ON LANDSCAPE BOULDERS					
(Boulder symbol)		PROVIDE IN QUANTITY AND SIZE INDICATED TO LEFT.				
(Boulder symbol)		LOCAL BOULDERS FOUND ON SITE MAY BE UTILIZED IN LIEU				
(Boulder symbol)		OF IMPORTED, IF NONE PRESENT, BOULDERS TO BE DESERT				
(Boulder symbol)		SAND COLOR (BY SOUTHWEST BOULDER)				

WATER EFFICIENT LANDSCAPE WORKSHEET

HYDRO ZONE INFORMATION TABLE

CONTROLLER #	HYDROZONE #	DESCRIPTION	VALVE CIRCUIT #	IRRIGATION METHOD (CODE)	PLANT FACTOR (AVERAGE/PP)	HYDROZONE AREA (SQ FT)	% OF TOTAL LANDSCAPE AREA	FF X HA	E	FF X H/AE
1	1	DRIP	-	DRIP	05	233	546	0.0		6875
1	2	PODIUM	-	NON	05	152	606	0.0		1093

MAXIMUM APPLIED WATER ALLOWANCE CALCULATIONS

ETA	EFF	ALLOWANCE	GALLONS/YEAR
0.8	0.1	63,000	63,000
0.8	0.1	63,000	63,000
0.8	0.1	63,000	63,000

ESTIMATED TOTAL WATER USE

ESTIMATED TOTAL WATER USE	GALLONS/YEAR
56,911	56,911

PERCENTAGE ALLOWANCE USED

89.3

CITY OF SAN DIEGO AREA AND POINT CALCULATIONS

STREET YARD AREA

AREA	REQUIRED LANDSCAPE AREA	POINTS
TOTAL STREET YARD AREA	0	0
REQUIRED LANDSCAPE AREA	50.0%	0
REQUIRED POINTS	0	0
REQUIRED TREE POINTS	0	0
PROVIDED TREE POINTS	0	0

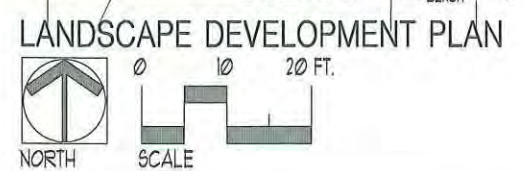
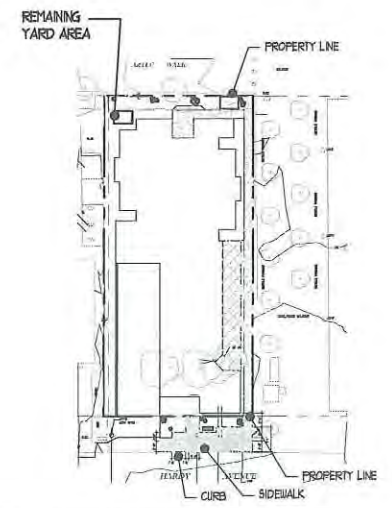
REMAINING YARD AREA

AREA	REQUIRED LANDSCAPE AREA	POINTS
TOTAL YARD AREA	604	0
REQUIRED LANDSCAPE AREA	0	0
REQUIRED LANDSCAPE POINTS	60 PTS PER BUILDING	0
PROVIDED LANDSCAPE POINTS (TREES ONLY)	100	0

VEHICULAR USE AREAS (NONE)

STREET TREES- HARDY STREET

QUANTITY	REQUIRED	PROVIDED
10 FT. x 130	2	2
(LIMITED BY DRIVEWAY AND UTILITY IMPROVEMENTS)		



AHLES
LANDSCAPE
ARCHITECTURE INC.
P.O. Box 1503
Rancho Santa Fe, California 92067
858.756.8963

CA# 2539
PROJECT NO: 1325

CAMPUS CNETER APARTMENTS, LLC

SAN DIEGO STATE UNIVERSITY
5716 HARDY AVENUE
SAN DIEGO, CALIFORNIA 92115

Issue Dates
INITIAL 15 APR 2013
5 NOV 2013

Revisions

LANDSCAPE
DEVELOPMENT PLAN

L-1

Sheet | of |

FLOOR AREA ANALYSIS

LOT AREA	10,500 S.F. (0.24 ACRES)	TOTAL AREA	10,500 S.F. (0.24 ACRES)
PERMITTED LOT COVERAGE	CORNER LOT 60% = 6,300 S.F.	6,849 S.F. (284 S.F.) 2ND FLR. PATIO	6,849 S.F.
FLOOR AREA RATIO (FAR)	3.60 10,500 x 3.60 = 37,800 S.F.	28,644 S.F. PROPOSED THEREFORE OK!	
GROSS FLOOR AREA	4th FLOOR 3rd FLOOR 2nd FLOOR 1st FLOOR TOTAL FLOOR AREA	7,265 S.F. 7,265 S.F. 7,267 S.F. 6,849 S.F. 28,644 S.F. PROPOSED	
DENSITY	RM-4-10 1 DWELLING UNIT/400 S.F. OF LOT AREA 10,500 / 400 =	26.2	17 UNITS PROPOSED
	BASEMENT PARKING BELOW GRADE LOWER LEVEL BASEMENT PARKING TOTAL PARKING AREA	9,860 12,800 22,660 S.F. PROPOSED	

PARKING ANALYSIS

CAMPUS PARKING IMPACT ZONE RATIO	BOTH TO BE APPLIED, RESULTING IN USE OF BASIC RATIO (MEDIAN)	
REQUIRED: AUTOMOBILE	REQUIRED:	PROPOSED:
(14) 4 - BEDROOM UNITS x 2.5 SPACES PER UNIT	35.0	20 BASEMENT
(3) 3 - BEDROOM UNITS x 2.5 SPACES PER UNIT	7.5	23 LOWER L
(17) TOTAL UNITS	43 SPACES	43 SPACES
MOTORCYCLE		
(14) 4 - BEDROOM UNITS x 0.1 SPACES PER UNIT	1.4	
(3) 3 - BEDROOM UNITS x 0.1 SPACES PER UNIT	0.3	
TOTAL	2 SPACES	2 SPACES
BICYCLE		
(14) 4 - BEDROOM UNITS x 0.6 SPACES PER UNIT	8.4	
(3) 3 - BEDROOM UNITS x 0.6 SPACES PER UNIT	1.8	
TOTAL	11 SPACES	11 SPACES

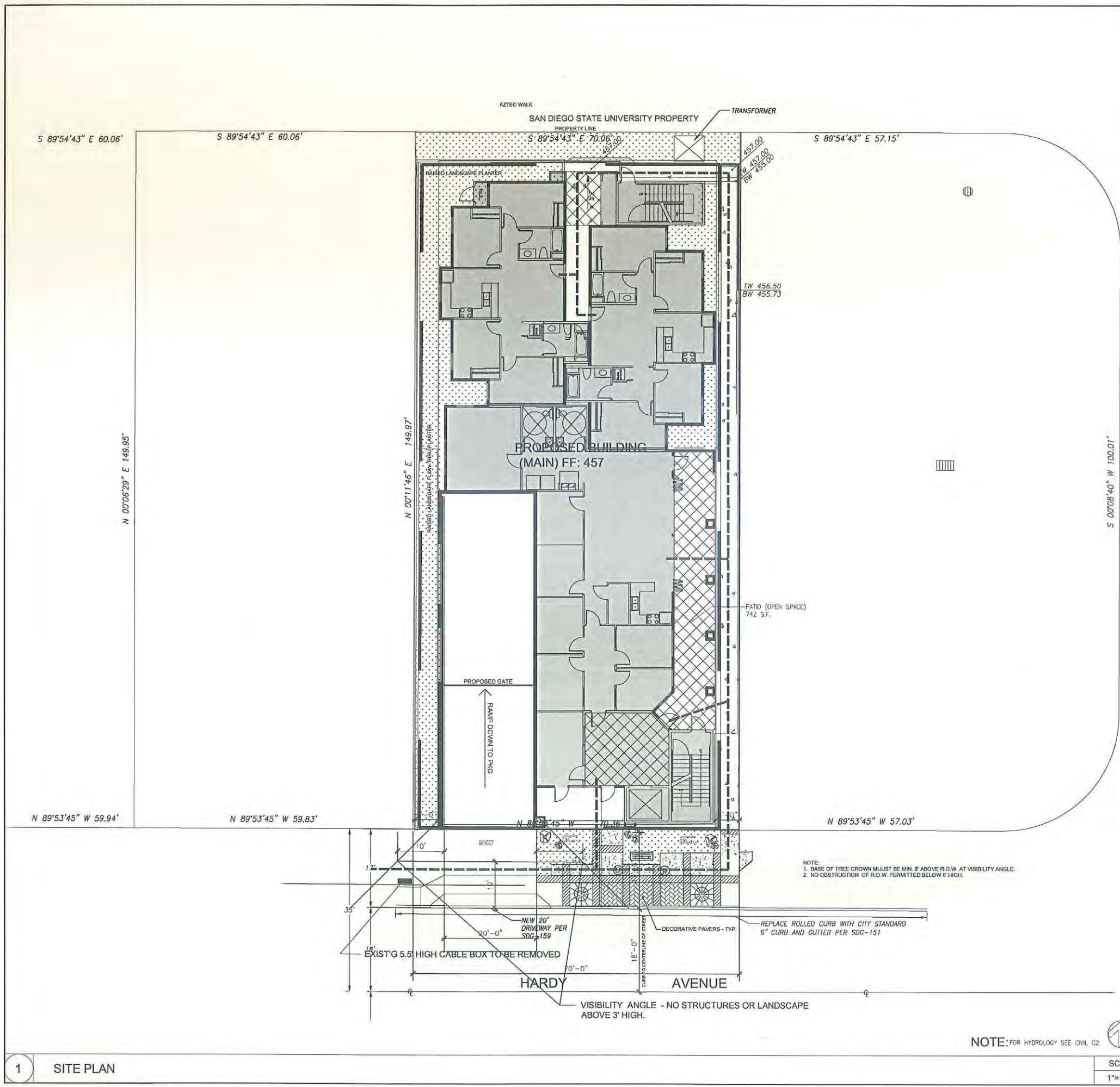
- IMPORTANT NOTE:**
- 8 (19%) OF THE REQUIRED PARKING SPACES ARE TANDEM SPACES.
 - A DEVIATION IS REQUESTED TO ALLOW COUNTING THESE TANDEM SPACES TO BE INCLUDED IN THE OVERALL PARKING COUNT.
 - IF THE TRANSIT AREA PLAN HAD BEEN UPDATED THE REQUIRE SPACES WOULD BE 38 WHICH IS JUST 3 ABOVE THE NUMBER OF NON-TANDEM SPACES PROVIDED. THIS SITE IS VERY CLOSE TO THE CAMPUS TROLLEY STOP WHICH SHOULD QUALIFY IT FOR INCLUSION IN AN UPDATED TAP.
 - THE INCLUSION OF 8 TANDEM SPACES WILL RESULT IN THE REQUIRED NUMBER OF SPACES OF 43 UNDER THE CURRENT NON-TRANSIT AREA REQ'NT.
 - ALL PARKING IS ASSIGNED
 - SIMILAR APPROVALS FOR TANDEM SPACES HAVE BEEN GRANTED IN CAMPUS AREA PARKING GARAGES. PROJECTS INCLUDE THE FOLLOWING:
 - a. PIEDRA DEL SOL-----80 OF 168 SPACES OR 48% ARE TANDEM 5600 HARDY AVE. S.D., 92115. PARCEL NO. 466-031-05-00
 - b. FRATERNITY ROW-----51 OF 175 SPACES OR 29% ARE TANDEM 5255 55TH STREET, S.D., 92115 PARCEL NO. 466-031-13-00
 - c. GRANADA-----61 OF 126 SPACES OR 48% ARE TANDEM 5525 HARDY AVE., S.D., 92115. PARCEL NO. 466-032-28-00 PDP NO. 700701
 - A TRAFFIC CONTROL PERMIT IS REQUIRED PRIOR TO ANY WORK IN THE PUBLIC R.O.W.

- NOTES:**
- PROVIDE BUILDING ADDRESS NUMBERS, VISIBLE AND LEGIBLE FROM THE STREET ROAD FRONTING THE PROPERTY PER FHPS POLICY P-00-6 (JFC 901.4.4)
 - POST INDICATOR VALVES, FIRE DEPARTMENT CONNECTIONS, AND ALARM BELL ARE TO BE LOCATED ON THE ADDRESS/ACCESS SIDE OF THE STRUCTURE.
 - PROVIDE FIRE ACCESS ROADWAY SIGNS OR RED CURBS IN ACCORDANCE WITH FHPS POLICY A-08-1
 - PARKING GARAGE RAMP: MAXIMUM RAMP SLOPE 20% WITH A MIN. 8' LONG 10% TRANSITION AT THE TOP AND BOTTOM OF EACH RAMP.
 - PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.

LEGEND:

--- PATH OF ACCESSIBILITY

TOTAL NUMBER OF DWELLING UNITS = 17



NOTE:
1. BASE OF TREE CROWN MUST BE MIN. 8' ABOVE R.O.W. AT VISIBILITY ANGLE.
2. NO OBSTRUCTION OF R.O.W. PERMITTED BELOW 6' HIGH.

NOTE: FOR HYDROLOGY SEE CIVL C2

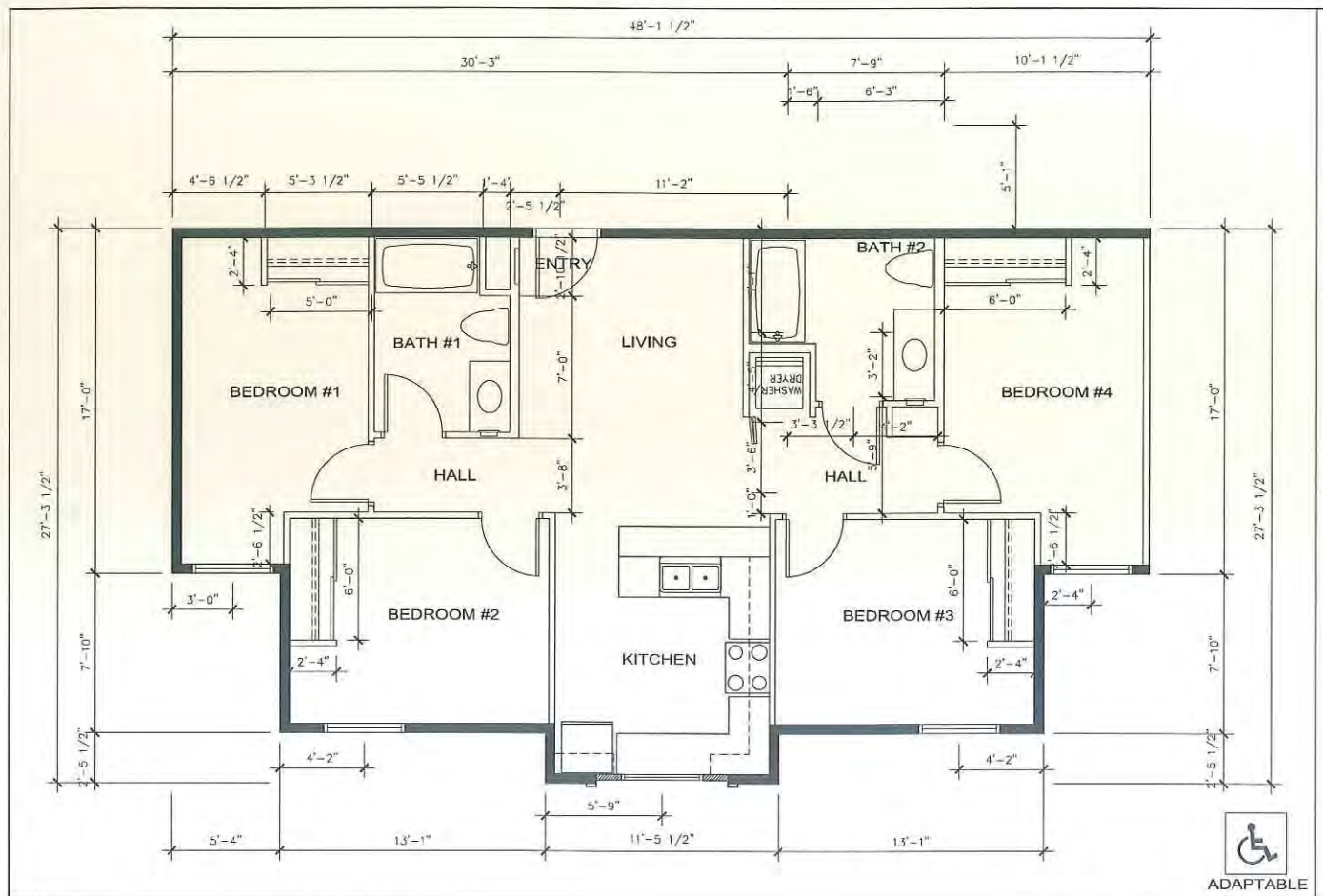
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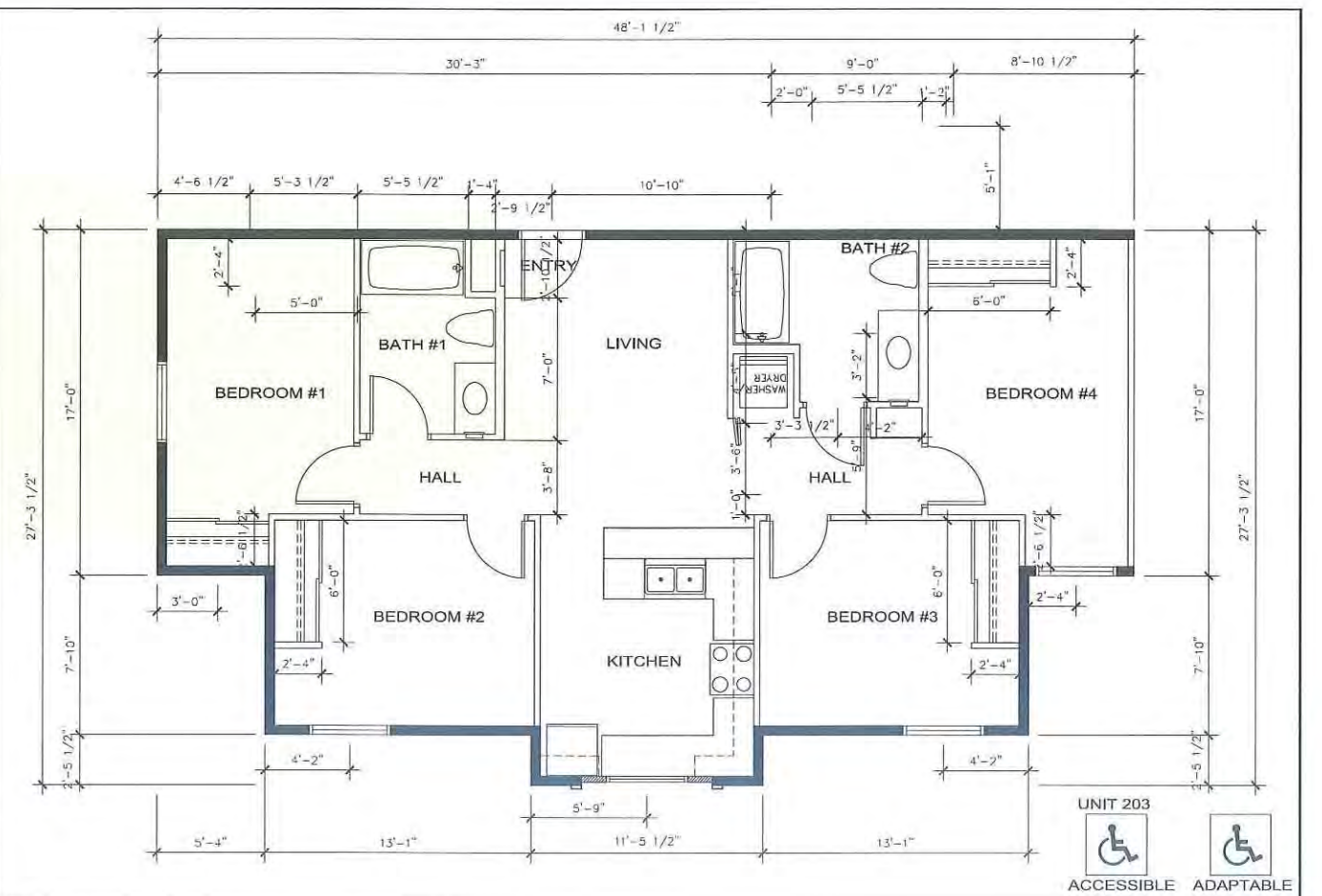
WILLIAM HEDENKAMP ARCHITECT
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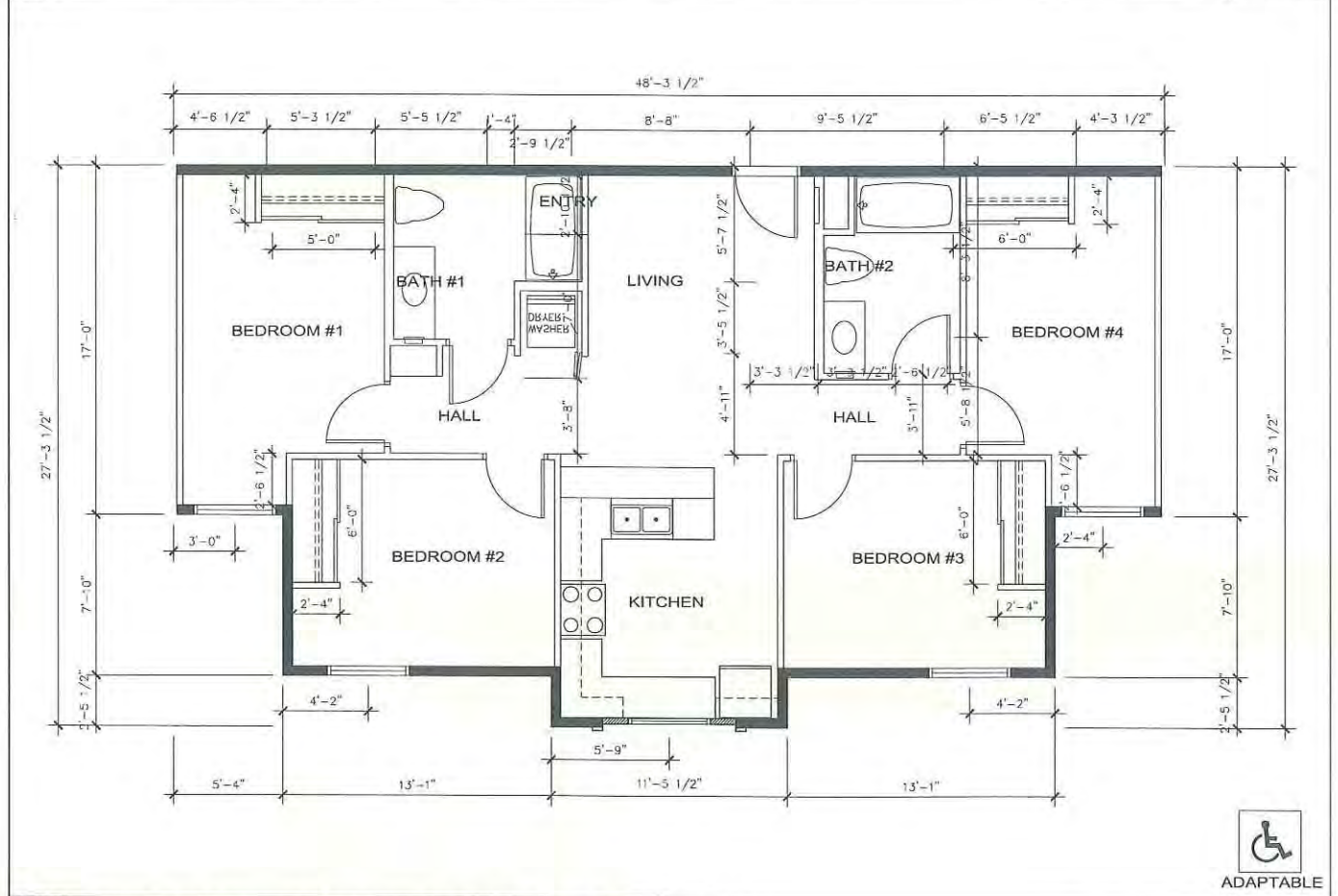
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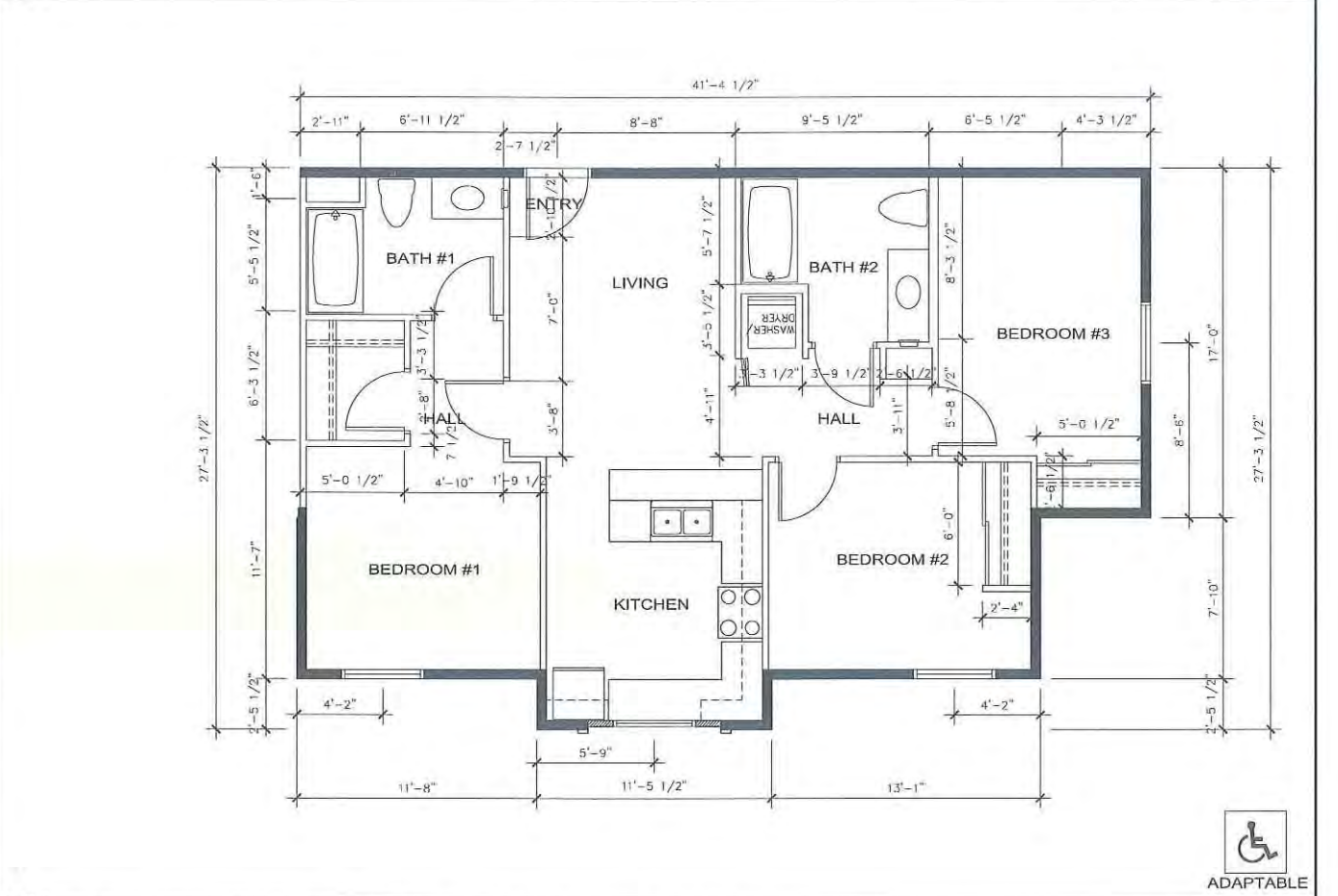
1 UNIT "A" 4 BEDROOM FIRST FLOOR
 UNIT AREA: 1,183 S.F. SCALE: 1/4"=1'-0"



2 UNIT "B" 4 BEDROOM FIRST FLOOR
 UNIT AREA: 1,190 S.F. SCALE: 1/4"=1'-0"



3 UNIT "C" 4 BEDROOM SECOND, THIRD AND FOURTH FLOOR
 UNIT AREA: 1,144 S.F. SCALE: 1/4"=1'-0"



4 UNIT "D" 3 BEDROOM SECOND, THIRD AND FOURTH FLOOR
 UNIT AREA: 1,015 S.F. SCALE: 1/4"=1'-0"

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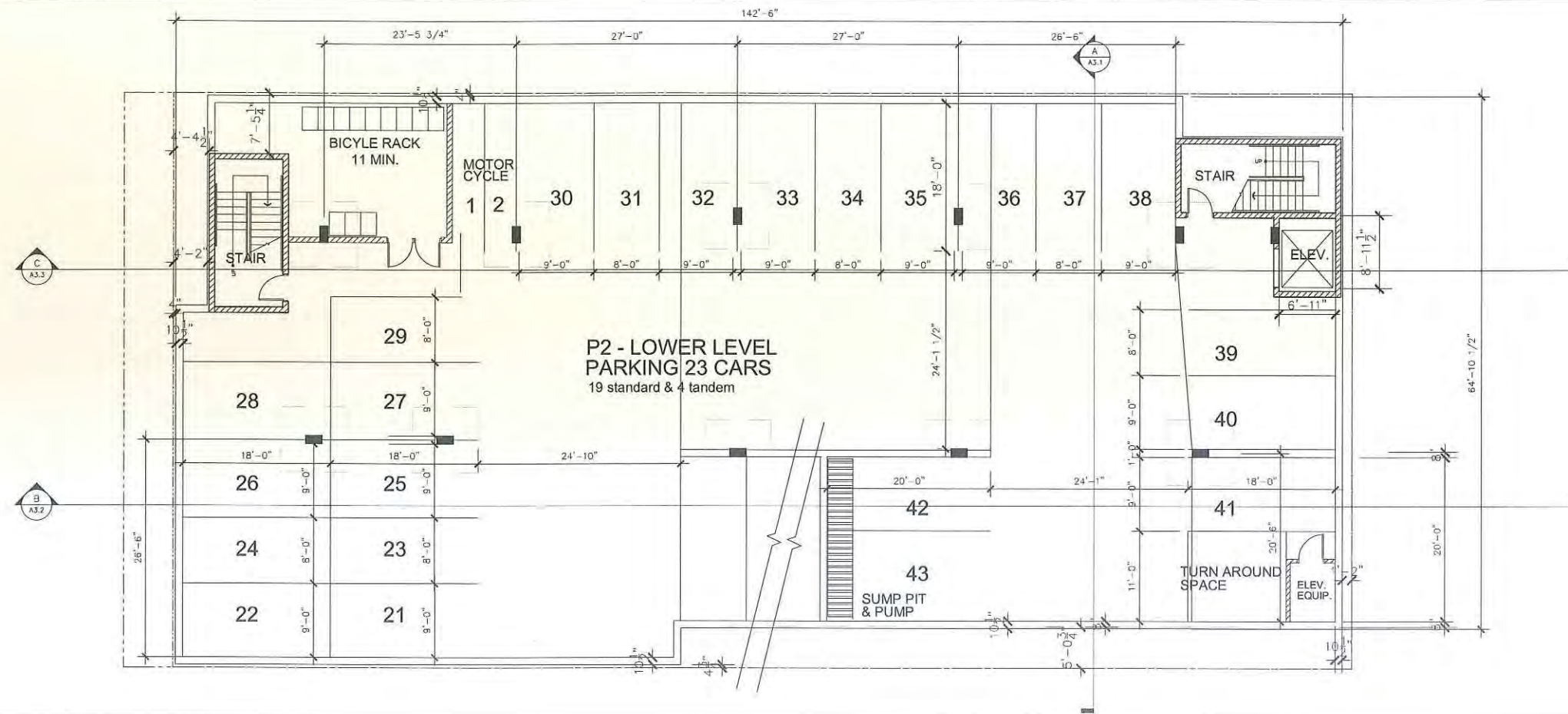


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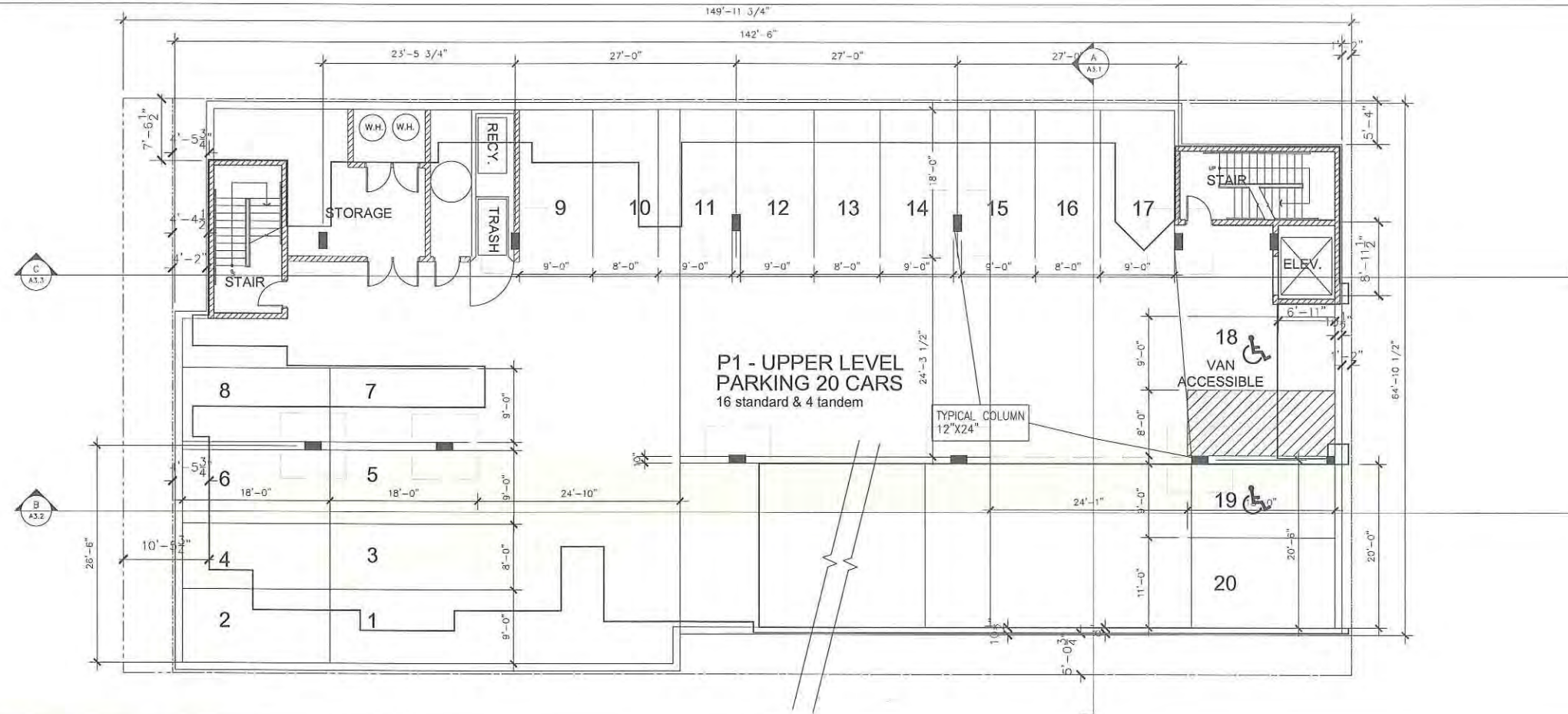
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 DRAWING NAME: 2013-02-01-LUNAR-FP1
 SHEET NO: 2013-02
 SHEET: A1.1
 SHEETS



1 BUILDING GARAGE - P2 - LOWER LEVEL

TOTAL BLDG FLOOR AREA: 9,593 S.F.

SCALE:
1/8"=1'-0"



2 BUILDING GARAGE - P1 - UPPER LEVEL

TOTAL BLDG FLOOR AREA: 9,593 S.F.

SCALE:
1/8"=1'-0"

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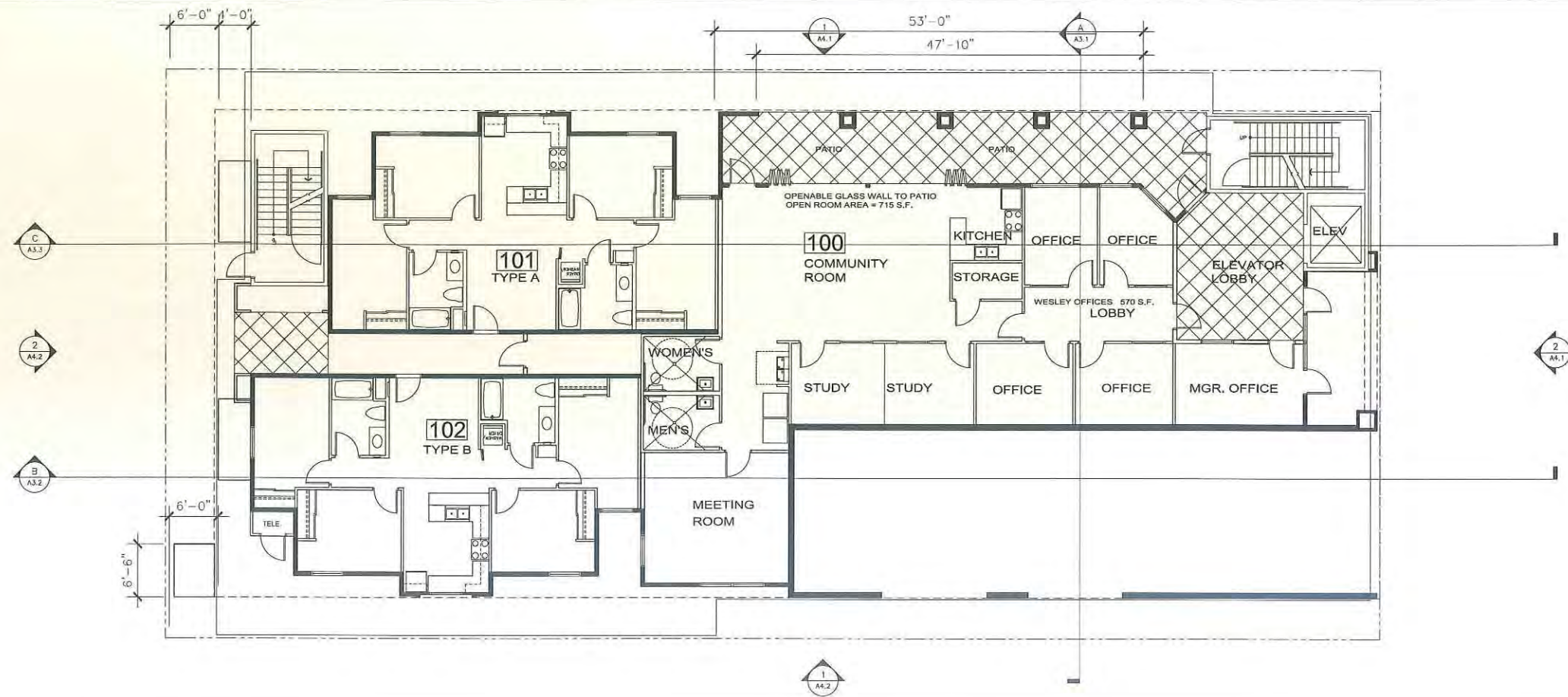


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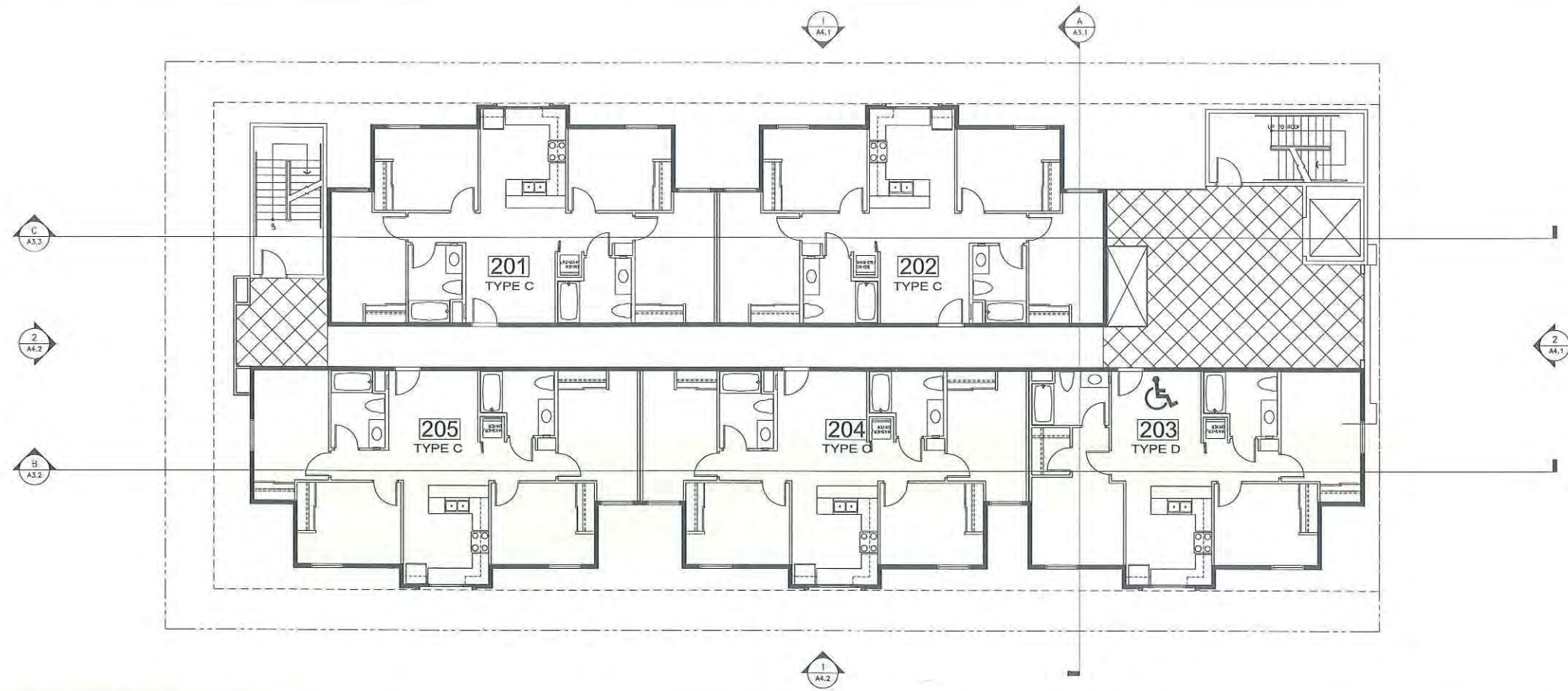
A2.1
 10 SHEETS



1 BUILDING - FIRST FLOOR

TOTAL BLDG FLOOR AREA: 6,849 S.F.

SCALE:
1/8"=1'-0"



2 BUILDING - SECOND FLOOR

TOTAL BLDG FLOOR AREA: 7,265 S.F.

SCALE:
1/8"=1'-0"

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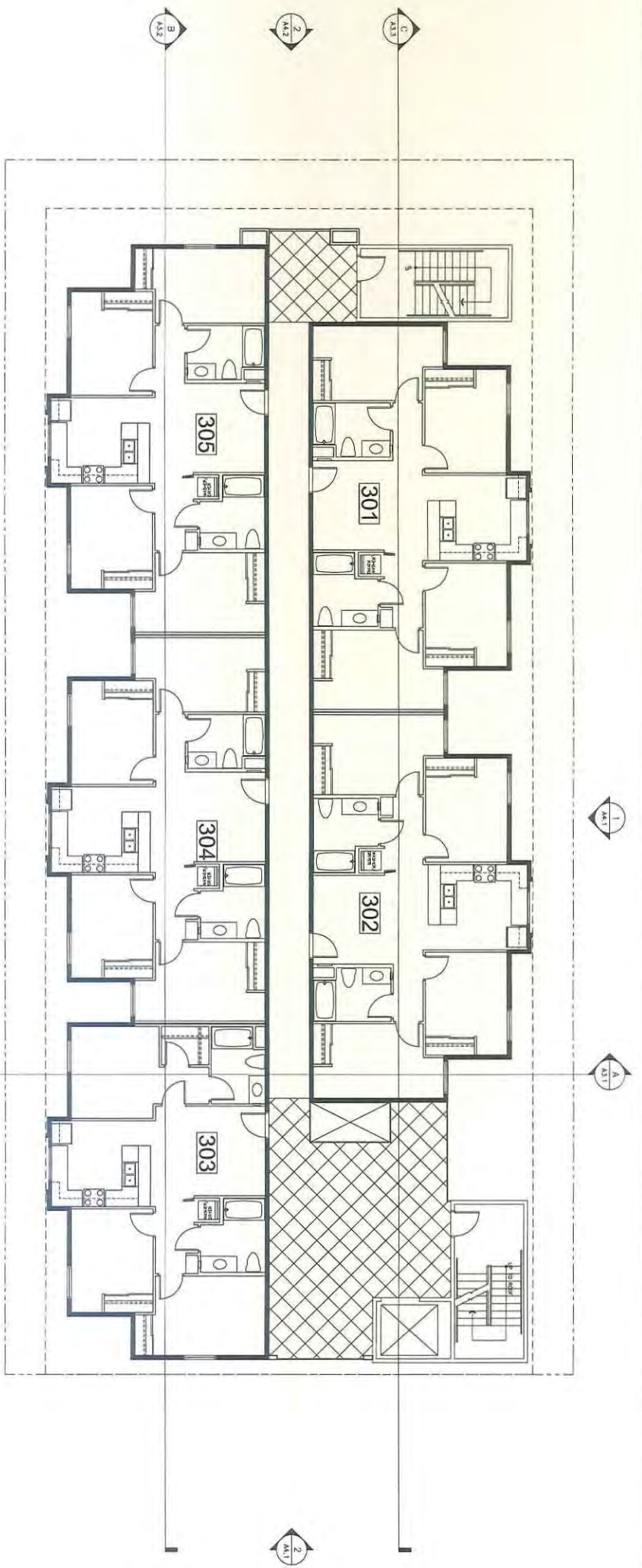


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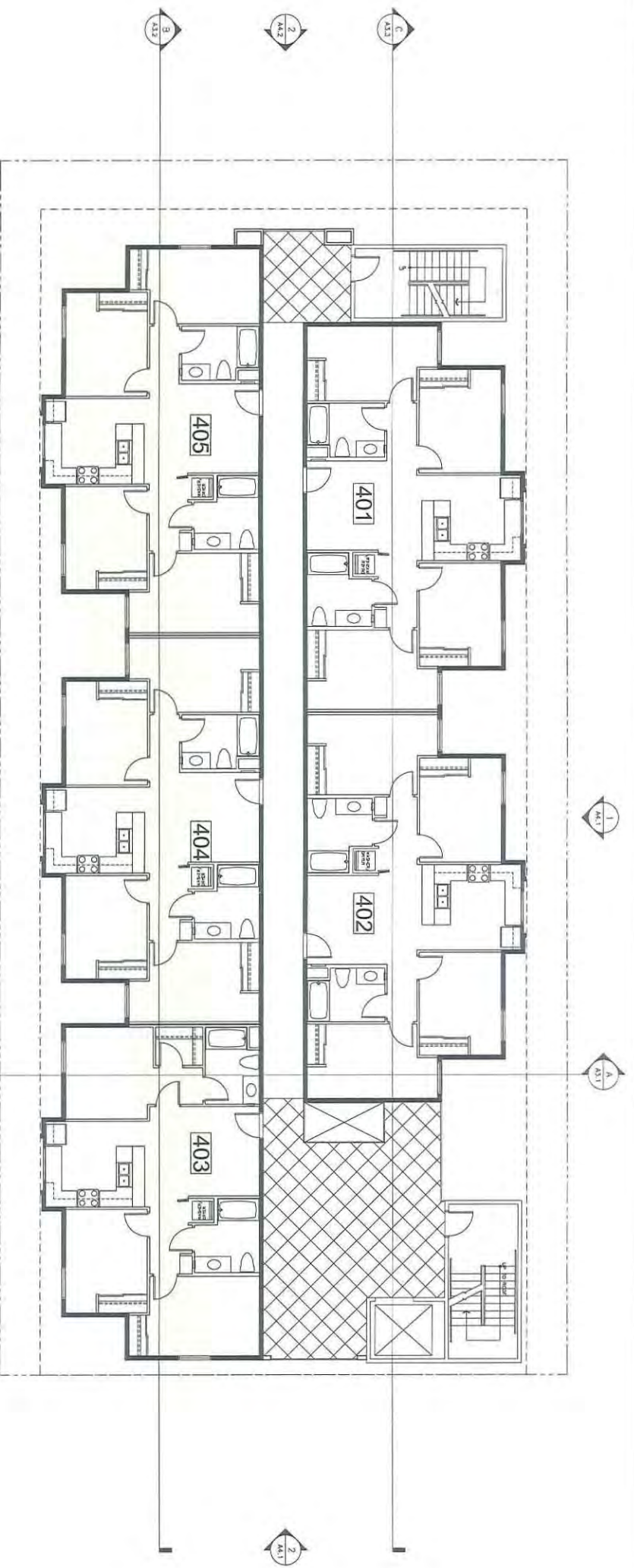
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1 BUILDING - THIRD FLOOR

TOTAL BLDG FLOOR AREA: 7,266 S.F.

SCALE: 1/8"=1'-0"



2 BUILDING - FOURTH FLOOR

TOTAL BLDG FLOOR AREA: 7,266 S.F.

SCALE: 1/8"=1'-0"

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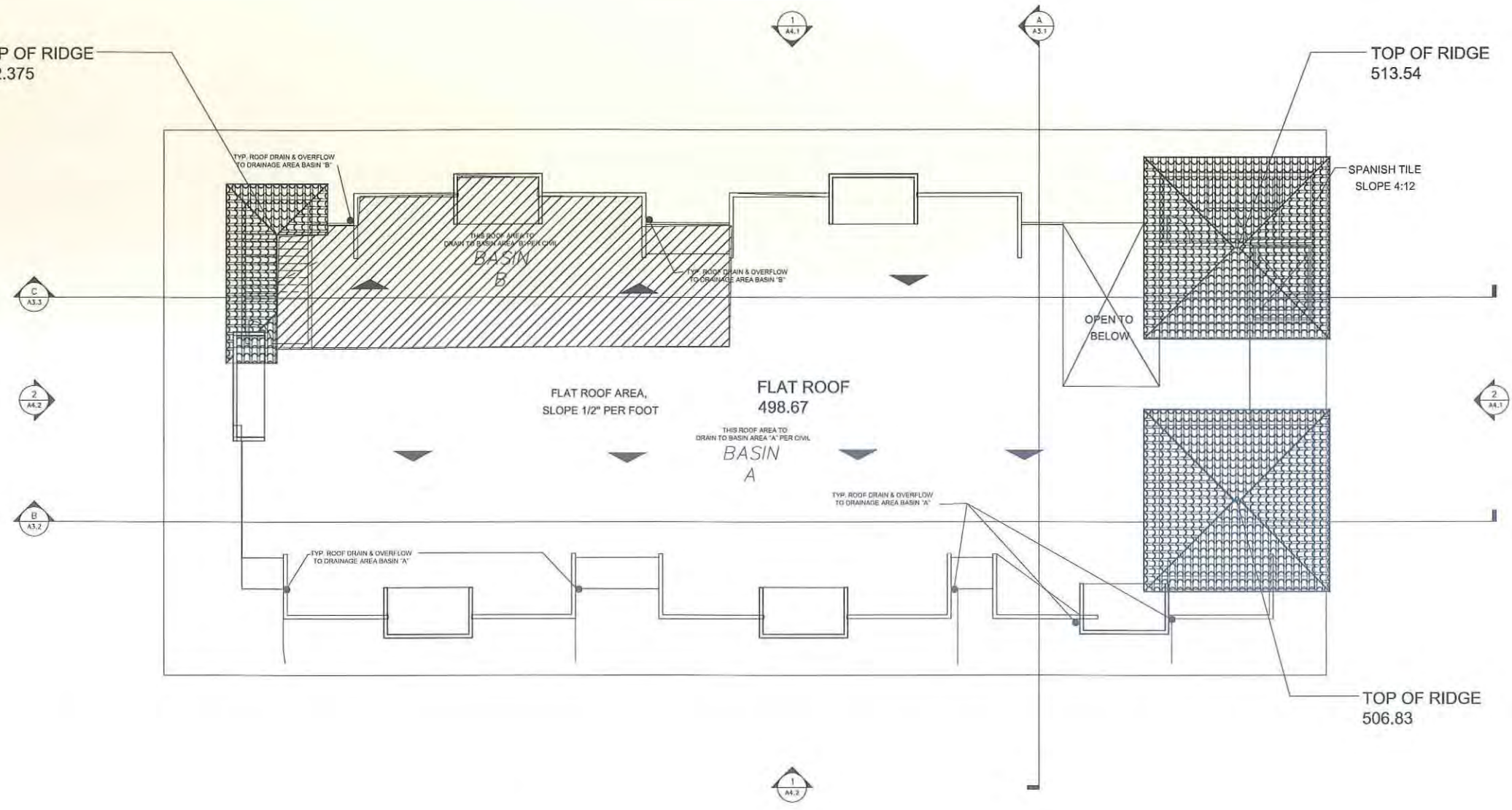


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A2.3
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 DATE REVISION
 2013-02
 2013-02
 2013-02

TOP OF RIDGE
502.375

TOP OF RIDGE
513.54



1 BUILDING - ROOF PLAN

SCALE:
1/8"=1'-0"

ROOF PLAN NOTES:

- ▲ INDICATES ROOF SLOPE AND DIRECTION OF DRAINAGE
PROVISIONS SHALL BE MADE FOR THE CONTROL AND DRAINAGE OF SURFACE WATER AROUND BUILDINGS
- SLOPING ROOF SPECIFICATION:
TERRACOTTA SPANISH TILE ROOFING:
I.B.D.
"CLASS A" ROOF IN ACCORDANCE WITH C.B.C. SECTION 1505.2 - 30 LB.FELT UNDER MINIMUM 1/2" NOMINAL OSB ROOF SHEATHING WITH EXT.GLUE.
- FLAT ROOF SPECIFICATION: ICC-ESR#1463
"CARLISLE'S" POLYVINYL CHLORIDE (PVC) / SURE-FLEX 80 ML / WHITE

- TYPICAL FLAT ROOF SLOPE:
1/2":12 - TYPICAL
- TYPICAL SLOPING ROOF SLOPE:
4:12 - TYPICAL
- TYPICAL ROOF EAVE OVERHANG:
24" UNLESS OTHERWISE NOTED
- ATTIC DRAFT STOPS:
PROVIDE 1/2" GYP. BD. DRAFT STOP CONTINUOUS TO ROOF SHEATHING AND CONTINUOUS ALONG & IN LINE WITH THE DWELLING UNIT PARTY WALL BELOW AS INDICATED ON THE ROOF PLAN
- ATTIC VENTILATION:
EACH ATTIC SPACE CREATED BY THE DRAFT STOPS OR CAULF, FILL SHALL BE VENTILATED INDEPENDENTLY - SEE ATTIC VENTILATION SCHEDULE
- VAPOR RETARDER:
THE MIN. REQUIRED NET FREE VENTILATING AREA SHALL BE 1/5 OF THE AREA OF THE SPACE VENTILATED, PROVIDED A VAPOR RETARDER HAVING A TRANSMISSION RATE NOT EXCEEDING 1 PERM IN ACCORDANCE WITH ASTM E 96 IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION AND PROVIDED 50PERCENT OF THE REQUIRED VENTILATING AREA PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE EAVE OR CORNICE VENTS, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. CBC 1203.2

- GUTTERS:
GUTTERS SHALL BE SEAMLESS GALVALUM 5-1/2" GOLF STYLE FACTORY FINISH TO MATCH ADJACENT SURFACE.
- DOWN SPOUTS:
II DOWN SPOUTS SHALL BE ALUMINUM - PAINT TO MATCH ADJACENT SURFACE - REFER TO CIVIL DRAWINGS FOR CONNECTIONS TO UNDERGROUND DRAINAGE SYSTEM
- INDICATED DRAFT STOPS SEE ROOF NOTES.
DRAFT STOPS SHALL BE INSTALLED IN FLOOR-CEILINGS, ATTICS, MANSARDS AND SIMILAR CONCEALED SPACES AND SHALL BE ABOVE IN LINE WITH WALLS SEPARATING UNITS FROM EACH OTHER USES. CBC SECTION 717.3 & 717.4
- TRUSSES:
PROVIDE FOR GABLE END, VENTS AS SHOWN.
- VALLEY:
EXPOSED VALLEY FLASHINGS SHALL BE AT LEAST NO. 26-GAUGE CORROSION-RESISTANT METAL INSTALLED OVER A MIN. 36" WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CA SHEET RUNNING THE FULL LENGTH OF THE VALLEY.
- RADIANT BARRIER:
PROVIDE FOR ALL ROOFS @ LIVING SPACES
- VENTS: ALL VENTS SHALL BE PROTECTED BY LOUVERS AND 1/4" NON-COMBUSTIBLE, CORROSION-RESISTANT MESH.

REVISIONS	BY

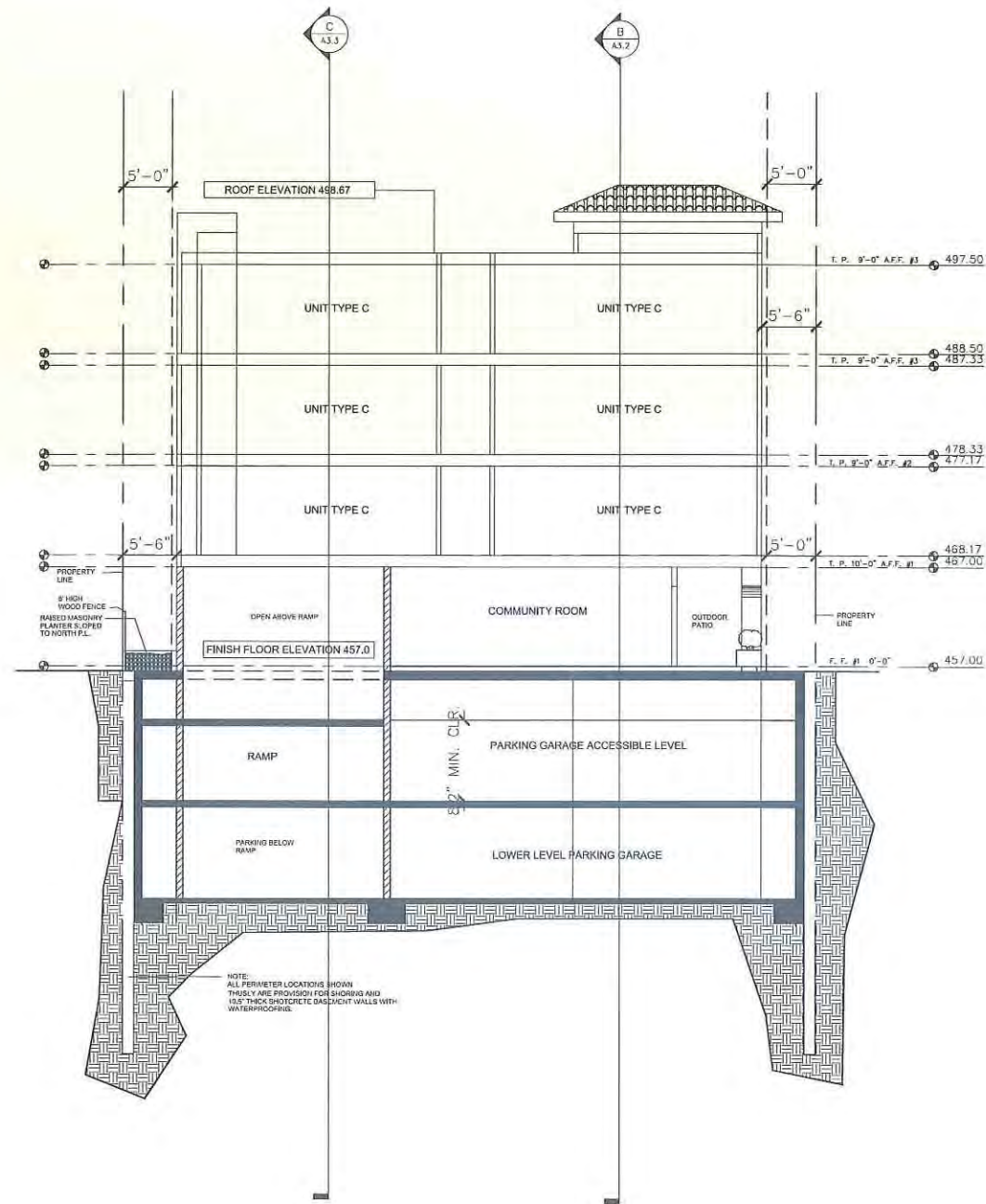


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 DRAWING NAME: 2013-02-42-4-RLD01.RP
 DATE: 11/05/2013
2013-02
 SHEET
A2.4
 SHEETS



A BUILDING SECTION A-A

SCALE:
1/8"=1'-0"

SECTION KEYNOTES

NOTE	COMPONENT	NOTE	COMPONENT	NOTE	COMPONENT
1	SPANISH TILE ROOFING OVER RADIANT BARRIER	12	POST TENSION SLAB ON GRADE - SEE P.T. DRAWINGS	23	5/8" TYPE "X" GYP OVER MTL. STUDS SOFFIT
2	PRE-FAB ROOF TRUSSES	13	VINYL WINDOW - DOUBLE GLAZED	24	5/8" TYPE "X" GYP, BD. @ GABLE END TYPICAL
3	STUCCO FASCIA TYP.	14	2 LAYERS 5/8" TYPE "X" GYP, BD.	25	G.I. CUTTER & DOWNSPOUT
4	EXTERIOR STUCCO W/RAPID SET OVER 1" EPS FOAM	15	METAL RAILING 42" HIGH, PAINT FINISH.	26	WROUGHT IRON RAILING - PAINTED, 42" HIGH
5	R-38 ROOF INSULATION	16	7/8" CEM PLAS W/METAL LATH	27	1 1/2" SQ. RAILING - PAINTED, 27" HIGH
6	R-21 WALL INSULATION	17	FLOOR JOIST SEE STRUCT.	28	5/8" TYPE "X" GYP, BD. @ RIM JOIST TYPICAL
7	R-13 FLOOR INSULATION	18	CUT OUT ROOF SHEATHING IN 2' SQUARE AREA FOR VENTILATION OF OVER-BUILD AREA	29	14" X 12" ATTIC ROOF VENT SEE ROOF PLANS FOR LOCATION.
8	1 1/2" LIGHT WEIGHT CONC. OVER PLYWOOD OR OSB FLOOR SHTG.	19	DRAFTSTOP CONT. TO ROOF SHTG. CDNT ALONG & IN LINE W/ DWELLING UNIT SEPARATION WALL	30	PATIO WALL - 42" HIGH W/RAIL ON TOP
9	TRUSS FLOOR SYSTEM	20	3 1/2" SOUND INSULATION	31	ASTM D3273 SCORE OF 10 GYP BOARD THROUGHOUT BATHROOMS.
10	5/8" TYPE "X" GYP, BD. OVL'R RESILIENT CHANNELS	21	GALV. SHEET METAL FLASHING		
11	1" GYPCREED OVER 1/4" ACOUSTI-MAT II OVER X-GRADE PLYWOOD.	22	METAL STAIRS W/ PRECAST CONC. IRLAUS.		

REVISIONS	BY



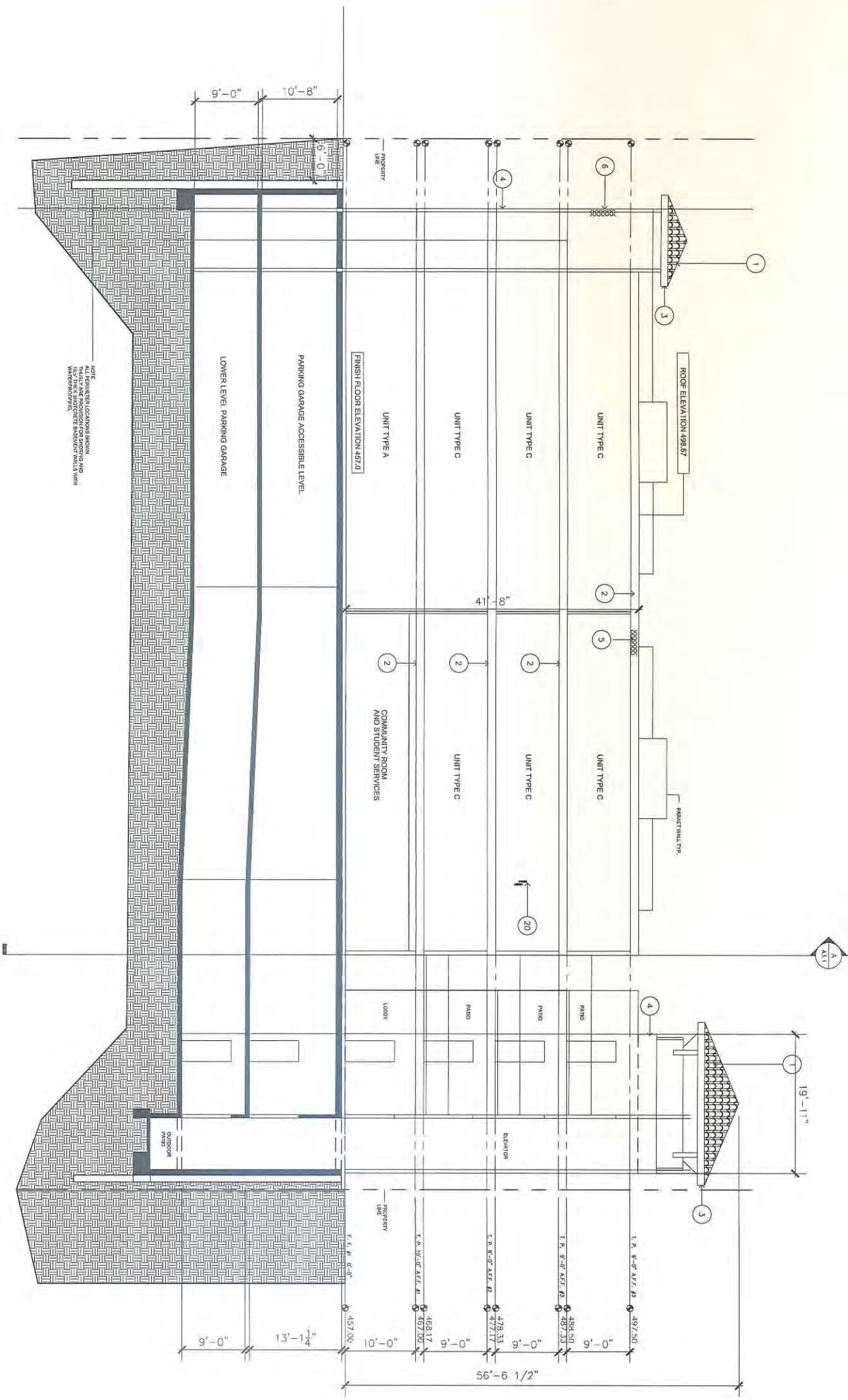
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 JOB NO: 2013-02
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C BUILDING SECTION C-C



SECTION KEYNOTES

NOTE	COMPONENT	NOTE	COMPONENT	NOTE	COMPONENT
1	SPANISH TILE ROOFING OVER RADIANT BARRIER	12	POST TENSION SLAB ON GRADE - SEE P.T. DRAWINGS	23	5/8" TYPE "X" GYP. BD. OVER MTL. STUDS SHEFFT TYPICAL
2	PRE-FAB ROOF TRUSSELS	13	VINYL WINDOW - DOUBLE GLAZED	24	5/8" TYPE "X" GYP. BD. @ GABLE END
3	STUCCO FASCIA TYP.	14	2 LAYERS 5/8" TYPE "X" GYP. BD.	25	G.I. GUTTER & DOWNSPOUT
4	EXTERIOR STUCCO W/RANDI SET OVER 1" EPS FOAM	15	METAL RAILING 42" HIGH, PAINT FINISH	26	WROUGHT IRON RAILING - PAINTED, 42" HIGH
5	R-38 ROOF INSULATION 8000005	16	7/8" CEM. PLAS W/METAL LATH	27	1 1/2" SQ. RAILING - PAINTED, 27" HIGH
6	R-21 WALL INSULATION 8000005	17	FLOOR JOIST SEE STRUCT.	28	5/8" TYPE "X" GYP. BD. @ BAL. JOIST TYPICAL
7	R-13 FLOOR INSULATION 8000005	18	CUT OUT ROOF SHEATHING IN 2' SQUARE AREA FOR VENTILATION OF OVER-BUILD AREA	29	14" X 12" ATTIC ROOF VENT TYPICAL
8	1 1/2" LIGHT WEIGHT CONC. OVER PLYWOOD OR OSB FLOOR SHIG.	19	DRAFTSTOP CONT. TO ROOF SHIG. CONT. ALONG & IN LINE W/ DWELLING UNIT SEPARATION WALL	30	SEE ROOF PLANS FOR LOCATION.
9	TRUSS FLOOR SYSTEM	20	3 1/2" SOUND INSULATION 8000	31	451N D3273 SCORE OF 10 GYP BOARD THROUGHOUT BATHROOMS.
10	5/8" TYPE "X" GYP. BD. OVER RESILIENT CHANNELS	21	CALV. SHEET METAL FLASHING		
11	1" GYPCREED OVER 1/4" ACQUISTI-MAT II OVER K-GRADE PLYWOOD.	22	METAL STAIRS W/ PRECAST CONC. TREADS.		

SCALE: 1/8"=1'-0"

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CITY OF SAN DIEGO, CALIFORNIA



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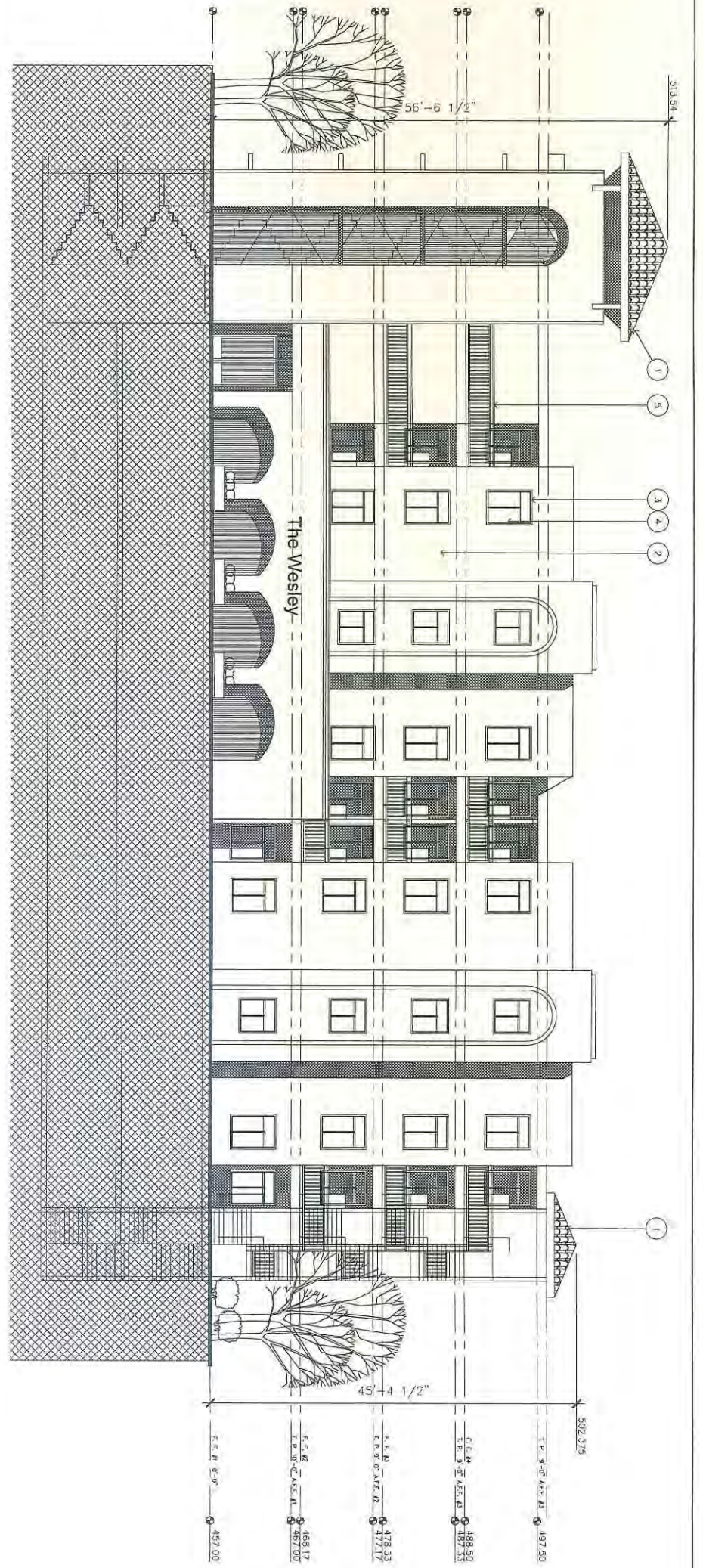


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DATE: 2013-10-22
SCALE: 1/8"=1'-0"

1 EAST ELEVATION

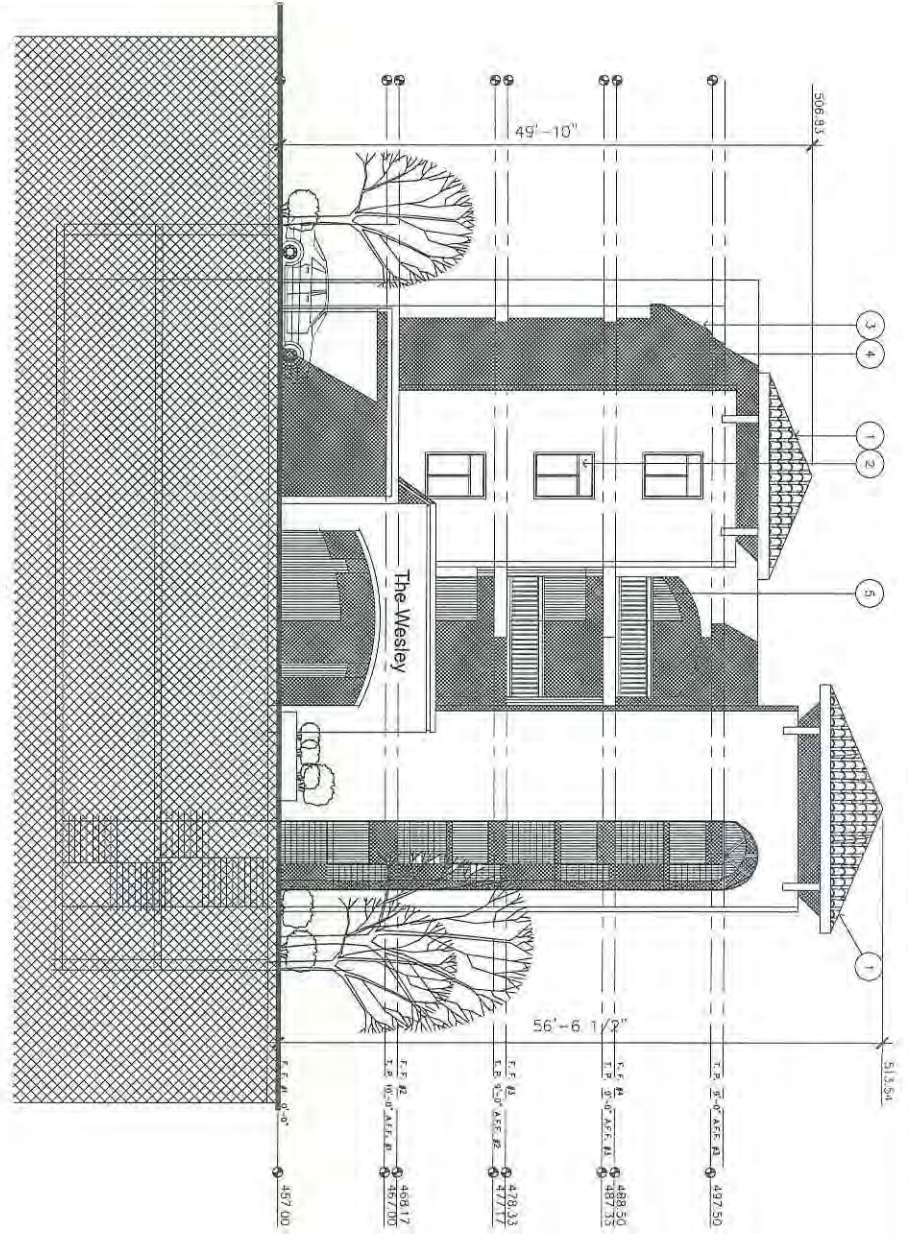


SCALE: 1/8"=1'-0"

MATERIALS

1	SPANISH TILE ROOFING
2	EXTERIOR STUCCO
3	VINYL WINDOWS
4	LOW-E GLAZING
5	TUBULAR STEEL RAILING

2 SOUTH ELEVATION



SCALE: 1/8"=1'-0"

REVISIONS	DATE



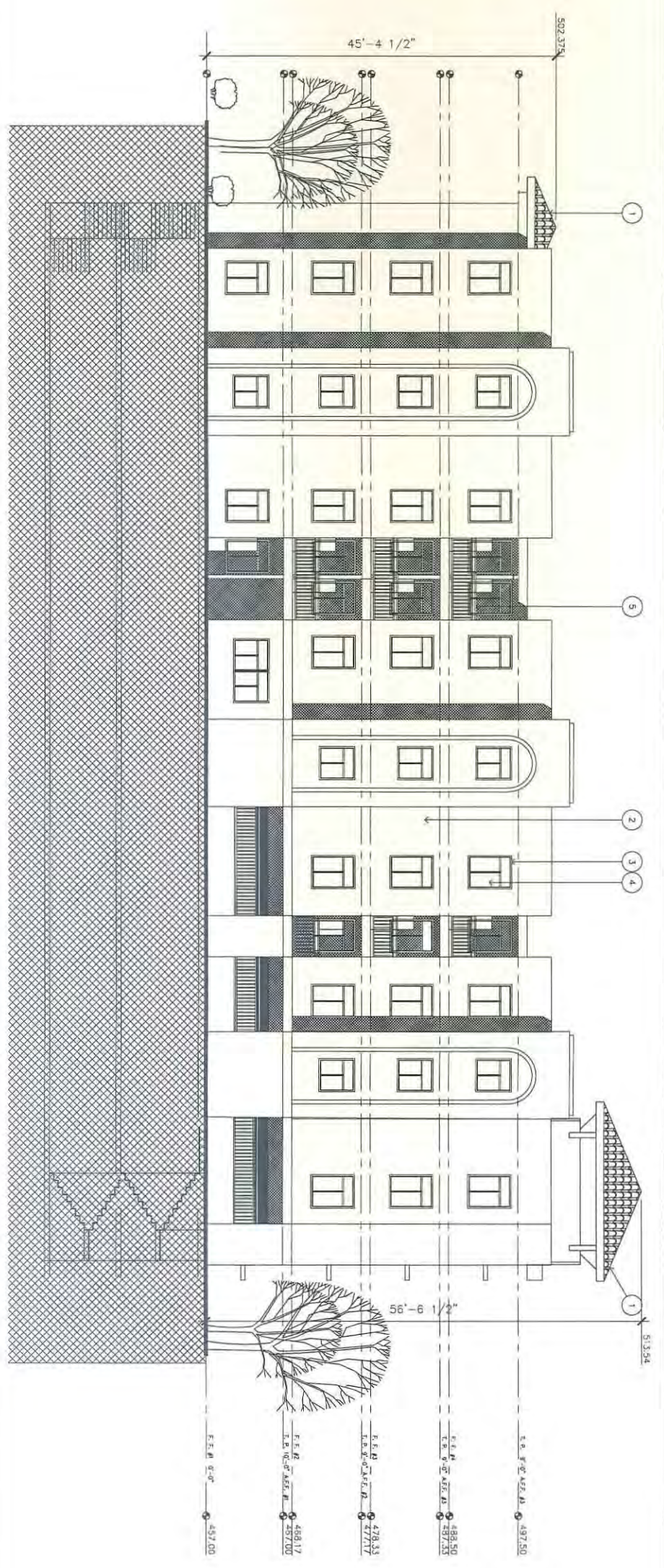
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1 WEST ELEVATION

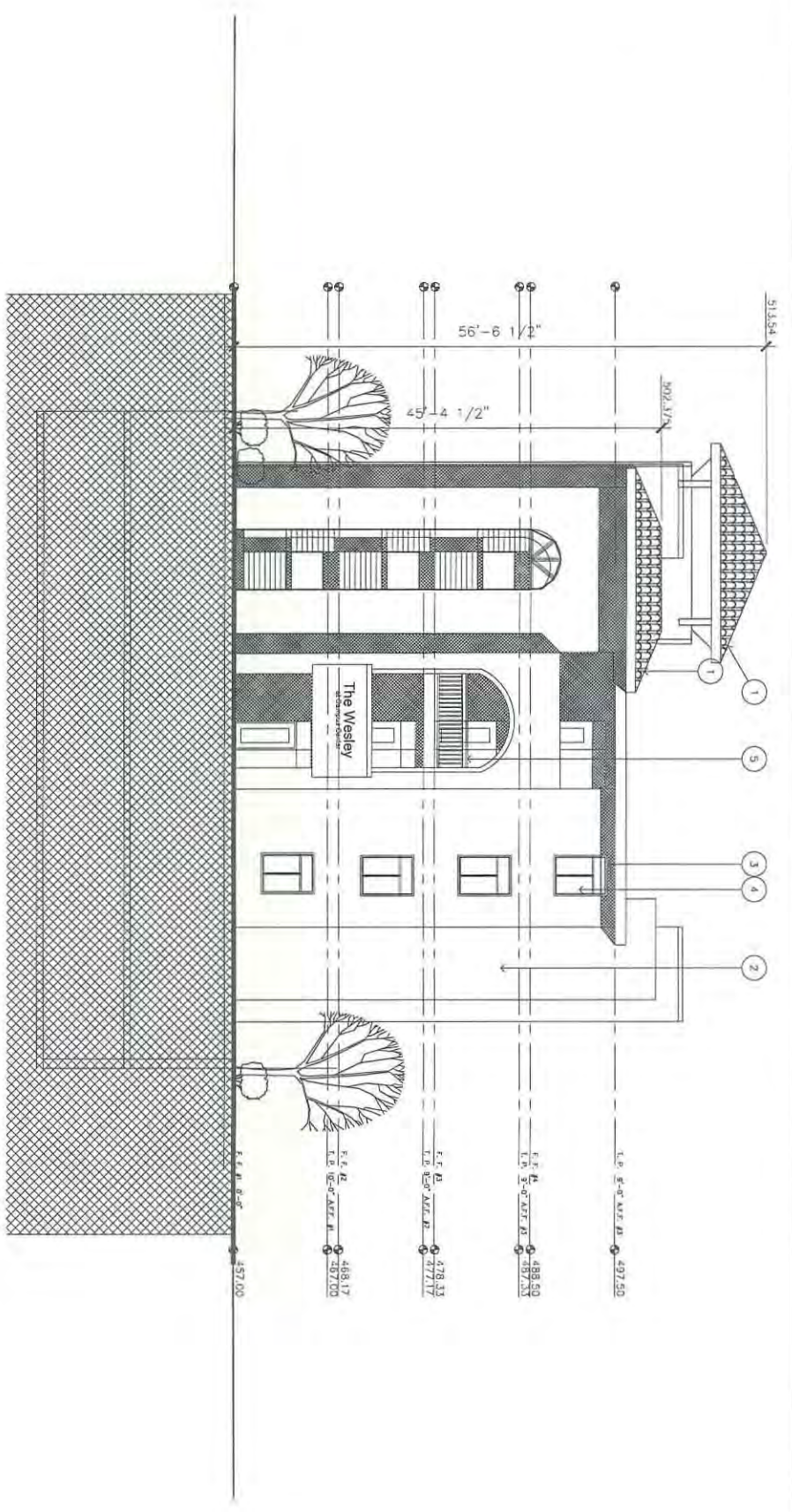


SCALE:
1/8"=1'-0"

MATERIALS

- 1 SPANISH TILE ROOFING
- 2 EXTERIOR STUCCO
- 3 VINYL WINDOWS
- 4 LOW-E GLAZING
- 5 TUBULAR STEEL RAILING

2 NORTH ELEVATION



SCALE:
1/8"=1'-0"

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 SHEETS
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 DRAWING DATE: 2/13/02
 PROJECT: CAMPUS CENTER APARTMENTS
 ARCHITECT: WILLIAM HEDENKAMP ARCHITECT



THE CITY OF SAN DIEGO

City of San Diego
Development Services
1222 First Ave., MS-302
San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Campus Center Apts		Project Number: 320851	Distribution Date: 5/23/2013
Project Scope/Location: COLLEGE AREA Planned Development Permit (Process 4) to construct a 28,644 square foot, 4-story, 17 student apartment building over 2-stories of basement parking on a 0.24-acre site located at 5716 Hardy Ave. The project is requesting deviations from lot coverage, landscaping & private open space. The site is in the RM-4-10 zone and within the Parking Impact Overlay. Council District 9. Notice Card=2.			
Applicant Name: Schleenbaecker, Kirsten		Applicant Phone Number: (858) 483-4483	
Project Manager: Sokolowski, Michelle	Phone Number: (619) 446-5278	Fax Number: (619) 446-5245	E-mail Address: MSokolowski@sandiego.gov
Committee Recommendations (To be completed for Initial Review): <i>Approve</i>			
<input checked="" type="checkbox"/> Vote to Approve	Members Yes <i>12</i>	Members No <i>1</i>	Members Abstain <i>0</i>
<input checked="" type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes <i>12</i>	Members No <i>1</i>	Members Abstain <i>0</i>
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)			<input type="checkbox"/> Continued
CONDITIONS: <i>Approval is conditional on resolution of all issues raised by City and compliance with CEQA</i>			
NAME: <i>Rhea Kuhlman</i>		TITLE: <i>Chair, College Area Community Planning Bd.</i>	
SIGNATURE: <i>Rhea Kuhlman</i>		DATE: <i>5/13/13</i>	
<i>Attach Additional Pages If Necessary.</i>		Please return to: Project Management Division City of San Diego Development Services Department 1222 First Avenue, MS 302 San Diego, CA 92101	
Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services . Upon request, this information is available in alternative formats for persons with disabilities.			



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 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment • Other

Project Title Campus Center Apartments **Project No. For City Use Only** 320851

Project Address: 5716 HARDY AVE SAN DIEGO, CA 92115

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property, with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
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 Street Address: _____
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 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Name of Individual (type or print): _____
 Owner Tenant/Lessee Redevelopment Agency
 Street Address: _____
 City/State/Zip: _____
 Phone No: _____ Fax No: _____
 Signature : _____ Date: _____

Project Title: CAMPUS CENTER APARTMENTS	Project No. (For City Use Only) 320151
Part II - To be completed when property is held by a corporation or partnership	
Legal Status (please check): <input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General) What State? _____ Corporate Identification No. _____ <input type="checkbox"/> Partnership	
By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached <input type="checkbox"/> Yes <input type="checkbox"/> No	
Corporate/Partnership Name (type or print): WESLEY HOUSE STUDENT RESIDENCE <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: 5716 HARDY AVE City/State/Zip: SAN DIEGO CA 92115 Phone No: (619) 582-0773 Fax No: Name of Corporate Officer/Partner (type or print): Charles Kishpaugh Title (type or print): Chair person Signature: <i>Charles Kishpaugh</i> Date: 17 April 2013	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee Street Address: City/State/Zip: Phone No: Fax No: Name of Corporate Officer/Partner (type or print): Title (type or print): Signature : Date:

DEVELOPMENT SERVICES
Project Chronology
 CAMPUS CENTER APARTMENTS - PROJECT NO. 320851

Date	Action	Description	City Review Time	Applicant Response
5/23/13	First Submittal	Project Deemed Complete	--	--
7/25/13	First Assessment Letter	First assessment letter sent to applicant	63 days	
8/12/13	Second submittal	Applicant's response to first assessment letter		18 days
9/25/13	Second review complete	Second assessment letter sent to applicant	43 days	
10/1/13	Third submittal	Applicant's response to second assessment letter		7 days
11/1/13	Third review complete	Third assessment letter sent to applicant	32 days	
12/19/13	Draft Mitigated Negative Declaration	Distributed	49 days	
1/16/14	Final Mitigated Negative Declaration	Completed	28 days	
2/20/14	Public Hearing-Planning Commission	Planning Commission Hearing	35 days	
TOTAL STAFF TIME			250 days	
TOTAL APPLICANT TIME				25 days
TOTAL PROJECT RUNNING TIME		From Deemed Complete to PC Hearing	8 months 28 days	