



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: April 3, 2014 **REPORT NO. PC-14-026**

ATTENTION: Planning Commission, Agenda of April 10, 2014

SUBJECT: VERIZON – BERNARDO PLAZA - PROJECT NO. 342291
PROCESS 4

**OWNER/
APPLICANT:** Rancho Bernardo Plaza, LLC
Verizon Wireless

SUMMARY

Issue(s): Should the Planning Commission approve a Wireless Communication Facility (WCF) located at 16771 Bernardo Center Drive within the Rancho Bernardo Community planning area?

Staff Recommendation(s): Approve Planned Development Permit No. 1256390 and Neighborhood Development Permit No. 1207543 (Attachment 6).

Community Planning Group Recommendation: On February 20, 2014, the Rancho Bernardo Community Planning Group voted unanimously to recommend approval of the Verizon – Bernardo Plaza project (Attachment 11).

Environmental Review: The project was determined to be exempt pursuant to California Environmental Quality Act (CEQA) Guidelines, Section 15303 (New Construction or Conversion of Small Structures). This project is not pending an appeal of the environmental determination. The environmental exemption determination for this project was made on January 22, 2014, and the opportunity to appeal that determination ended February 7, 2014 (Attachment 7).

Fiscal Impact Statement: Verizon Wireless is the Financially Responsible Party responsible for costs associated with the processing of this application.

Code Enforcement Impact: Not applicable.

Housing Impact Statement: Not applicable.

BACKGROUND

Verizon – Bernardo Plaza is an application for a Planned Development Permit (PDP) and a Neighborhood Development Permit (NDP), Process 4, for a Wireless Communication Facility (WCF). The project consists of twelve panel antennas and a 4-foot diameter microwave dish concealed within a new architecturally integrated tower with associated equipment and a generator located within an enclosure behind the retail center. The project is located at 16771 Bernardo Center Drive, within the CC-2-3 zone of the Rancho Bernardo community plan area (Attachments 1, 2 and 3).

WCF's are permitted in commercial zones as a Limited Use pursuant to compliance with Land Development Code (LDC) Section 141.0420 (Wireless Communication Facilities). An NDP is required because the equipment enclosure exceeds the maximum size limit of 250-square feet permitted by the WCF regulations and a PDP is required because the new tower will exceed the 45-foot height limit by 4-feet, 5-inches.

DISCUSSION

Project Description:

The WCF Design Requirements, LDC Section 141.0420, identify that applicants “shall use all reasonable means to conceal or minimize the visual impacts of WCFs through integration.”

The project is proposed within an existing retail center, The Plaza, located on Bernardo Center Drive between Lomica Drive and Rancho Bernardo Road. The center consists of a mixture of one and two story commercial buildings (Attachment 10). The building where the new tower is proposed within the retail center is two-stories (approximately 34-feet tall). The property is zoned CC-2-3 and has a height limit of 45-feet (Attachment 3).

The proposed tower was designed similarly to the existing elevator tower on the same building. Twelve Verizon panel antennas and a 4-foot diameter microwave dish will be concealed within the tower (Attachment 8). The associated equipment and generator will be located behind the retail building within a concrete block enclosure, textured and painted to match the retail building. The overall height of the new tower element would be 49-feet, 5-inches, which would result in additional height to the building of approximately 15-feet. With this design, the applicant has been able to conceal and minimize the visual impacts of the WCF through integration with the existing buildings and structures on site (Attachment 8).

A PDP is required for the height deviation. All of the findings for the PDP must be made in the affirmative. PDP finding no. 3 specifically addresses the deviation request stating that, “The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code” (Attachment 5).

Council Policy 600-43, Wireless Communication Facilities, categorizes land uses into locational preferences for WCFs, strongly encouraging applicants to locate these facilities in commercial and industrial zones. Within Verizon's targeted search ring, this site was selected as a top candidate for its location in a commercial center and the ability to effectively conceal the antennas (Attachment 9). The challenge was to design something that would comply with the WCF regulations for architectural integration, while maintaining the lowest height possible. Verizon replicated the existing elevator tower that is approximately 145-feet to the south on the same building, standing at approximately 42-feet in height. The Verizon tower would be approximately 7-feet taller and due to its location at the end of the two story portion of the building, the tower will serve as a focal point for that portion of the center (Attachment 15). This WCF will provide more coverage and capacity for customers in and around the area. The deviation requested is appropriate for this location and would result in a more desirable project than would be achieved if the project was designed in strict conformance with the WCF Design Requirements.

An NDP is required because the equipment enclosure and generator, together at 416-square feet, exceeds the 250 square feet permitted by LDC Section 141.0420(g)(3).

Community Plan Analysis:

While the Rancho Bernardo Community Plan does not specifically address WCFs, the City's General Plan addresses WCFs in UD-A.15 as follows:

Minimize the visual impact of wireless facilities.

- a) Conceal wireless facilities in existing structures when possible, otherwise use camouflage and screening techniques to hide or blend them into the surrounding area.
- b) Design facilities to be aesthetically pleasing and respectful of the neighborhood context.
- c) Conceal mechanical equipment and devices associated with wireless facilities in underground vaults or unobtrusive structures.

This project complies with the General Plan recommendations by locating the antennas in an architectural tower designed to integrate with the existing commercial complex, resulting in a design that is respectful of the neighborhood context. The equipment associated with the antennas is located in the rear of the two story commercial building and is designed to blend in with the building materials. Additional landscape is proposed to help improve views of the equipment. The design of this WCF will not adversely impact the General Plan (Attachment 15).

Conclusion:

With the exception of the height and size of the equipment enclosure, this project complies with the applicable regulations of the Land Development Code and the City's General Plan and draft findings (Attachment 5) have been made in the affirmative. Therefore, staff recommends

approval of NDP No. 1207543 and PDP No. 1256390.

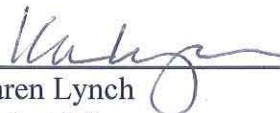
ALTERNATIVES

1. Approve NDP No. 1207543 and PDP No. 1256390, with modifications.
2. Deny NDP No. 1207543 and PDP No. 1256390, if the Planning Commission makes written findings based on substantial evidence that the approval is not authorized by state or local zoning law.

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



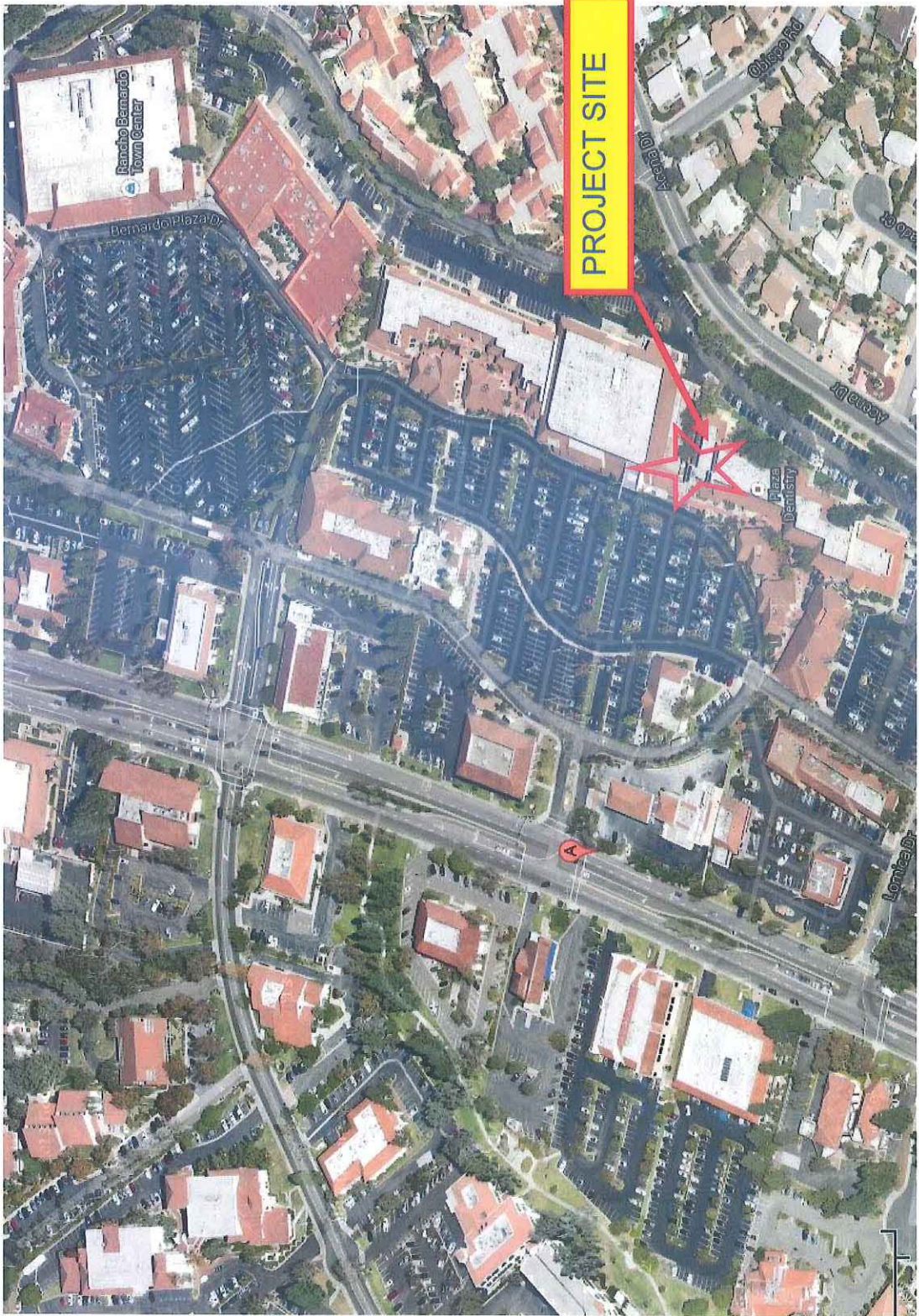
Karen Lynch
Project Manager
Development Services Department

VACCHI/KAL

Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Project Data Sheet
5. Draft Permit Resolution with Findings
6. Draft Permit with Conditions
7. Environmental Exemption
8. Photosimulations
9. Coverage Maps
10. Photo Survey
11. Community Planning Group Recommendation
12. Ownership Disclosure Statement
13. Project Chronology
14. Notice of Public Hearing
15. Project Plans

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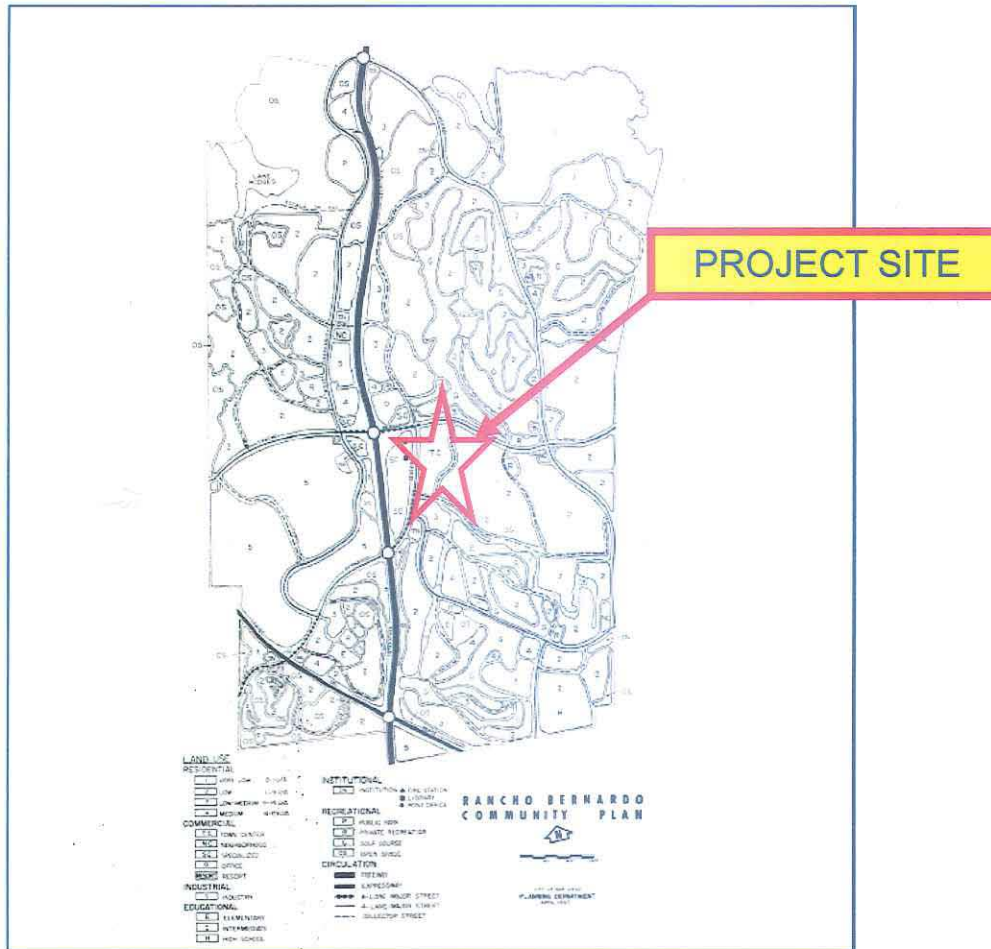


Aerial Photo

VERIZON- BERNARDO PLAZA PROJECT NUMBER 342291

16771 BERNARDO CENTER DRIVE





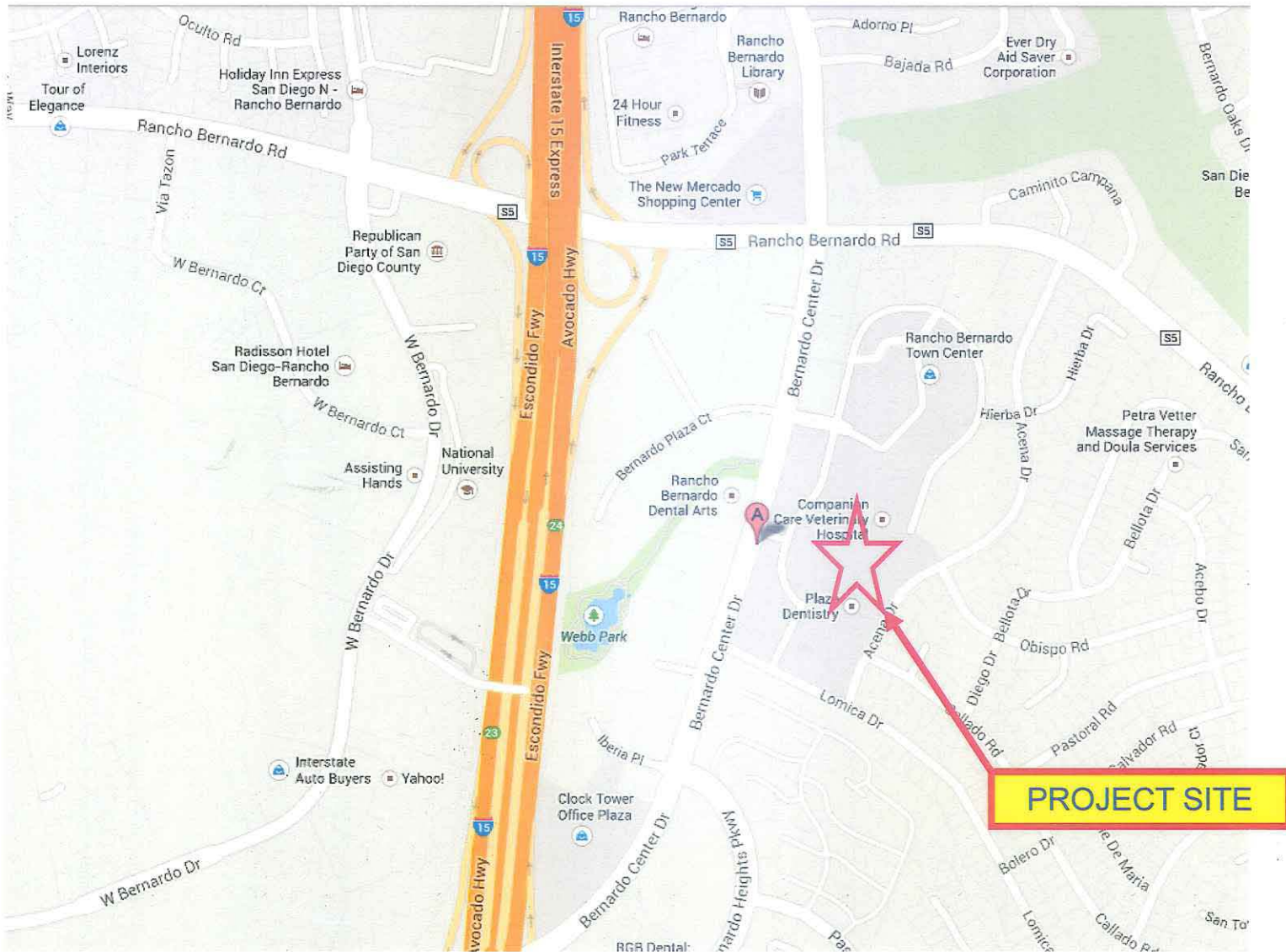
RANCHO BERNARDO COMMUNITY PLAN MAP



VERIZON- BERNARDO PLAZA PROJECT NUMBER 342291

16771 BERNARDO CENTER DRIVE





PROJECT SITE



Project Location Map

VERIZON- BERNARDO PLAZA PROJECT NUMBER 342291

16771 BERNARDO CENTER DRIVE



PROJECT DATA SHEET

PROJECT NAME:	Verizon – Bernardo Plaza	
PROJECT DESCRIPTION:	A wireless communication facility consisting of a total of 12 panel antennas and a microwave dish in a new tower extension and a 416-sq ft equipment enclosure.	
COMMUNITY PLAN AREA:	Rancho Bernardo	
DISCRETIONARY ACTIONS:	Planned Development Permit/Neighborhood Development Permit	
COMMUNITY PLAN LAND USE DESIGNATION:	Town Center	
<u>ZONING INFORMATION:</u>		
ZONE: CC-2-3		
HEIGHT LIMIT: 45-feet		
<u>ADJACENT PROPERTIES:</u>	LAND USE DESIGNATION & ZONE	EXISTING LAND USE
NORTH:	Town Center; CC-2-3.	Commercial
SOUTH:	Town Center; CC-2-3.	Commercial
EAST:	Low Density Residential; RS-1-14.	Residential
WEST:	Specialized Commercial; CC-2-3.	Commercial
DEVIATIONS OR VARIANCES REQUESTED:	Request to exceed the 45' height limit by 4' 5" and exceed the maximum equipment size enclosure by 166-square feet.	
COMMUNITY PLANNING GROUP RECOMMENDATION:	On February 20, 2014, the Rancho Bernardo Community Planning Group voted X to X to recommend approval of the Verizon – Bernardo Plaza project.	

**PLANNING COMMISSION
RESOLUTION NO. XXXX
PLANNED DEVELOPMENT PERMIT NO. 1256390
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1207543
VERIZON – BERNARDO PLAZA
PROJECT NO. 342291
DRAFT**

WHEREAS, Rancho Bernardo Plaza, LLC., Owner and Verizon Wireless, Permittee, filed an application with the City of San Diego for a Wireless Communication Facility (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 1207543/1256390 on portions of a 15-acre property;

WHEREAS, the project site is located at 16771 Bernardo Center Drive in the CC-2-3 zone of the Rancho Bernardo Community planning area;

WHEREAS, the project site is legally described as Lot 11 of Bernardo Town Center Unit No. 3, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 7376, filed in the Office of the County Recorder of San Diego County on July 21, 1972;

WHEREAS, on April 10, 2014, the Planning Commission of the City of San Diego considered Planned Development Permit No. 1256390 and Neighborhood Development Permit No. 1207543 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, on January 22, 2014 the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code section 21000 et. seq.) under CEQA Guideline Section 15303, New Construction and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated April 10, 2014.

FINDINGS:

Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan;

Although the Rancho Bernardo Community Plan does not address Wireless Communication Facilities (WCF), the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context.

Furthermore, the plan states that equipment associated with wireless facilities should be concealed from view. In this case, the project consists of the addition of an architectural tower concealing 12 panel antennas and a 4-foot diameter microwave dish. The design of the tower structure will incorporate elements of the existing building architecture and will resemble another tower structure on site. The equipment and proposed generator are proposed in the back of the retail center, tucked into a corner, and located within a concrete block enclosure, textured and painted to match the retail center.

The location of the WCF, in a commercial center, complies with Council Policy 600-43 as a preferred location and the design of the facility architecturally integrates within the context of the retail center. Therefore, the WCF will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare;

The project consists of a new architectural tower concealing 12 panel antennas and a 4-foot diameter microwave dish with associated equipment and generator located within a concrete block enclosure in the rear of the retail center. The project is located in the Rancho Bernardo Community planning area in the CC-2-3 zone

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Electromagnetic Fields Exposure Report was submitted with the project demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

WCFs are permitted in commercial zones as a Limited Use pursuant to compliance with the Wireless Communication Facility regulations, LDC Section 141.0420. Subsection (g)(3) permits equipment enclosures up to 250-square feet, however this project proposes a 416-square foot

enclosure, necessitating a Neighborhood Development Permit. The WCF equipment is proposed to be housed within a 260-square foot and immediately adjacent to the equipment enclosure is a separate 156-square foot enclosure housing a 30kw emergency generator. Trellis roof tops are proposed on the enclosures to match the trellis accents in the center. The enclosures are tucked back in a corner of the rear of the retail center in an existing grassy area. Shrubs will be added around the enclosures to provide screening. WCFs require much more equipment to support facilities than what was required ten years ago, when the regulations were originally adopted. Additionally, in order to maintain services as much as is possible during emergencies, generators are being included as part of the project and because they have a negative visual impact, they too, are being housed similar to the equipment enclosures.

The CC-2-3 zone has a maximum height limit of 45-feet. The proposed architectural tower is proposed to be 49-feet, five-inches prompting the need for a PDP. LDC Section 41.0420(g)(2) states that WCFs "shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." The architectural tower will house all of the associated antennas and will be designed to replicate the elevator tower to the south on the same building. The existing two story building where the tower is proposed is approximately 34-feet tall. The location of the proposed tower is at the northern end of the two story portion of the building where it meets with the one story portion. The tower provides a smooth transition and focal point for the center and because it will be constructed of the same materials as the existing elevator tower, it will integrate seamlessly into the center. If the tower were reduced to 45-feet in height, additional WCFs may be necessary to provide the intended coverage to the residential areas to the north, south and east. As Council Policy 600-43 recommends, the proposed commercial use is preferential for locating WCFs and the increased height, which results in an architectural tower that is well integrated into the retail center, is appropriately located and will reduce the likelihood of another WCF being proposed in the adjacent residential areas.

Neighborhood Development Permit - Section 126.0404

1. The proposed development will not adversely affect the applicable land use plan;

Although the Rancho Bernardo Community Plan does not address Wireless Communication Facilities (WCF), the City's General Plan (UD-15) requires that the visual impact of wireless facilities be minimized by concealing wireless facilities in existing structures or using screening techniques to hide or blend them into the surrounding area. The plan also calls for these facilities to be designed to be aesthetically pleasing and respectful of the neighborhood context. Furthermore, the plan states that equipment associated with wireless facilities should be concealed from view. In this case, the project consists of the addition of an architectural tower concealing 12 panel antennas and a 4-foot diameter microwave dish. The design of the tower structure will incorporate elements of the existing building architecture and will resemble another tower structure on site. The equipment and proposed generator are proposed in the back of the retail center, tucked into a corner, and located within a concrete block enclosure, textured and painted to match the retail center.

The location of the WCF, in a commercial center, complies with Council Policy 600-43 as a preferred location and the design of the facility architecturally integrates within the context of the retail center. Therefore, the WCF will not adversely affect the applicable land use plans.

2. The proposed development will not be detrimental to the public health, safety, and welfare; and

The project consists of a new architectural tower concealing 12 panel antennas and a 4-foot diameter microwave dish with associated equipment and generator located within a concrete block enclosure in the rear of the retail center. The project is located in the Rancho Bernardo Community planning area in the CC-2-3 zone

The project was determined to be exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303 (New Construction). The conditions of approval for the project will require compliance with several operational constraints and development controls intended to assure the continued public health, safety and welfare. All proposed improvement plans associated with the project will be reviewed prior to issuance of construction permits and inspected during construction to assure the project will meet or exceed all relevant and applicable building, electrical, mechanical, plumbing and fire codes.

Additionally, the Telecommunication Act of 1996 preempts local governments from regulating the "placement, construction and modification of wireless communication facilities on the basis of the environmental effects of Radio Frequency (RF) emission to the extent that such facilities comply with the Federal Communication Commission's (FCC) standards for such emissions." A Radio Frequency Electromagnetic Fields Exposure Report was submitted with the project demonstrating that the proposed project would be consistent with the FCC's regulations for wireless facilities. Therefore, the project would not result in any significant health or safety risks to the surrounding area within matters of the City's jurisdiction. In conclusion, the proposed project will not be detrimental to the public health, safety and welfare.

3. The proposed development will comply with the applicable regulations of the Land Development Code, including any allowable deviations pursuant to the Land Development Code.

WCFs are permitted in commercial zones as a Limited Use pursuant to compliance with the Wireless Communication Facility regulations, LDC Section 141.0420. Subsection (g)(3) permits equipment enclosures up to 250-square feet, however this project proposes a 416-square foot enclosure, necessitating a Neighborhood Development Permit. The WCF equipment is proposed to be housed within a 260-square foot and immediately adjacent to the equipment enclosure is a separate 156-square foot enclosure housing a 30kw emergency generator. Trellis roof tops are proposed on the enclosures to match the trellis accents in the center. The enclosures are tucked back in a corner of the rear of the retail center in an existing grassy area. Shrubs will be added around the enclosures to provide screening. WCFs require much more equipment to support facilities than what was required ten years ago, when the regulations were originally adopted. Additionally, in order to maintain services as much as is possible during emergencies, generators are being included as part of the project and because they have a negative visual impact, they too, are being housed similar to the equipment enclosures.

ATTACHMENT 5

The CC-2-3 zone has a maximum height limit of 45-feet. The proposed architectural tower is proposed to be 49-feet, five-inches prompting the need for a PDP. LDC Section 41.0420(g)(2) states that WCFs "shall utilize all reasonable means to conceal or minimize the visual impacts of the WCF through integration. Integration with existing structures or with existing uses shall be accomplished through the use of architecture, landscape, and siting solutions." The architectural tower will house all of the associated antennas and will be designed to replicate the elevator tower to the south on the same building. The existing two story building where the tower is proposed is approximately 34-feet tall. The location of the proposed tower is at the northern end of the two story portion of the building where it meets with the one story portion. The tower provides a smooth transition and focal point for the center and because it will be constructed of the same materials as the existing elevator tower, it will integrate seamlessly into the center. If the tower were reduced to 45-feet in height, additional WCFs may be necessary to provide the intended coverage to the residential areas to the north, south and east. As Council Policy 600-43 recommends, the proposed commercial use is preferential for locating WCFs and the increased height, which results in an architectural tower that is well integrated into the retail center, is appropriately located and will reduce the likelihood of another WCF being proposed in the adjacent residential areas.

Based on this analysis, the project design, and permits required for the requested deviations, this project complies with the applicable regulations of the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 1256390 and Neighborhood Development Permit No. 1207543 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 1207543/1256390, a copy of which is attached hereto and made a part hereof.

Karen Lynch
Development Project Manager
Development Services

Adopted on: April 10, 2014

Job Order No. 24004117

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24004117

PLANNED DEVELOPMENT PERMIT NO. 1256390
NEIGHBORHOOD DEVELOPMENT PERMIT NO. 1207543
VERIZON – BERNARDO PLAZA
PROJECT NO. 342291
PLANNING COMMISSION
DRAFT

This Planned Development Permit No 1256390 and Neighborhood Development Permit No. 1207543 is granted by the Planning Commission of the City of San Diego to Rancho Bernardo Plaza, LLC., Owner, and Verizon Wireless, Permittee, pursuant to San Diego Municipal Code [SDMC] section 141.0420 and Chapter 12, Article 6, Division 4. The 15-acre site is located at 16771 Bernardo Center Drive in the CC-2-3 zone of the Rancho Bernardo Community planning area. The project site is legally described as: Lot 11 of Bernardo Town Center Unit No. 3, in the City of San Diego, County of San Diego, State of California, according to map thereof No. 7376, filed in the Office of the County Recorder of San Diego County on July 21, 1972.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee for a Wireless Communication Facility described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated April 10, 2014, on file in the Development Services Department.

The project shall include:

- a. A total of 12 panel antennas and a 4-foot diameter microwave dish concealed within a new architectural tower element (49-feet, 5-inches overall height) on the roof of the commercial center;
- b. The associated equipment and generator will be located in a 416-square foot enclosure, where 250-square feet is the maximum size permissible;

- c. Landscaping (planting, irrigation and landscape related improvements);
- d. This architectural tower addition is for the primary purpose of providing an architectural feature to the building, but may have the secondary purpose of accommodating Permittee's Operations on the Premises.
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

- 1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by April 24, 2017.
- 2. This Neighborhood Development Permit (NDP) and corresponding use of this site shall expire on April 10, 2024. Upon expiration of this Permit, the facilities and improvements described herein shall be removed from this site and the property shall be restored to its original condition preceding approval of this Permit.
- 3. No later than ninety (90) days prior to the expiration of this permit, the Owner/Permittee may submit a new application to the City Manager for consideration with review and a decision by the appropriate decision maker at that time. Failure to submit prior to the deadline will be cause for enforcement for noncompliance, which may include penalties and fines.
- 4. Under no circumstances, does approval of this permit authorize Verizon to utilize this site for wireless communication purposes beyond the permit expiration date. Use of this permit beyond the expiration date of this permit is prohibited.
- 5. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.

6. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
 7. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
 8. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
 9. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
 10. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.
 11. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.
 12. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.
- If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.
13. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the

City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

ENGINEERING REQUIREMENTS:

14. The project proposes to export 28 cubic yards of material from the project site. All excavated material listed to be exported, shall be exported to a legal disposal site in accordance with the Standard Specifications for Public Works Construction (the "Green Book"), 2003 edition and Regional Supplement Amendments adopted by Regional Standards Committee.

15. Prior to the issuance of any construction permit, the Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.

16. Prior to the issuance of any construction permit, the Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the San Diego Municipal Code, into the construction plans or specifications.

17. Prior to the issuance of any construction permit the Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Appendix E of the City's Storm Water Standards.

LANDSCAPE REQUIREMENTS:

18. Prior to issuance of any construction permits for the installation of wireless telecommunications equipment or antennae, Landscape Construction Documents shall be submitted with the construction permit package showing the existing and proposed landscaping on the property in substantial conformance with Exhibit 'A.'

19. The Permittee or Subsequent Owner shall maintain all landscape in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted. The trees shall be maintained in a safe manner to allow each tree to grow to its mature height and spread.

PLANNING/DESIGN REQUIREMENTS:

20. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

21. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

22. All facilities and related equipment shall be: maintained in good working order; free from trash, debris, graffiti; and designed to discourage vandalism. Any damaged equipment shall be repaired or replaced within thirty (30) calendar days of notification by the City of San Diego.

23. The Owner/Permittee shall notify the City within 30 days of the sale or transfer of this site to any other provider or if the site is no longer operational requiring the removal and the restoration of this site to its original condition.

24. The photosimulation(s) for the proposed project shall be printed (not stapled) on the building plans. This is to ensure the construction team building the project is in compliance with approved the Exhibit "A."

25. The approved panel antenna dimensions are 78" x 15" x 9.5" as illustrated on the Exhibit "A" dated April 10, 2014. Replacement of the antennas may occur in the future, subject to the Owner/Permittee notifying the Development Services Department prior to the replacement of the antennas and subject to the provision of providing an updated Radio Frequency (RF) report demonstrating compliance with the Federal Communication Commission's regulations in accordance with SDMC Section 141.0420(b)(1)(A) to the satisfaction of the Development Services Department.

26. The WCF shall conform to Exhibit "A" (consisting of the stamped approved plans and approved photosimulations) prior to receiving final inspection approval.

27. All equipment, including transformers, emergency generators and air conditioners belonging to the Permittee shall be designed and operated consistent with the City noise ordinance. Ventilation openings shall be baffled and directed away from residential areas. Vibration resonance of operating equipment in the equipment enclosures shall be eliminated.

28. The Permittee shall place appropriate signage on the WCF as required by CAL-OSHA/FCC to the satisfaction of the Development Services Department.

29. Use of or replacement of any building façade or mechanical screen with FRP material for purposes of concealing antennas shall not result in any noticeable lines or edges in the transition to the original building. All FRP shall be painted and textured to match the original building.

INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed

by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.

- A "Telecom Planning Inspection" will be required prior to Final Clearance from the City's Building Inspector to ensure compliance with the approved plans, exhibits, and associated conditions. Prior to calling for your Final Inspection from your building inspection official, please contact the Project Manager listed below at (619) 446-5351 to schedule an inspection of the completed WCF. Please request the telecom inspection at least five working days ahead of the requested Final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on April 10, 2014 by Resolution No. XXXXXX.

Permit Type/PTS Approval No.: PDP No. 1256390/NDP. No. 1207543

Date of Approval: April 10, 2014

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT

Karen Lynch
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

**The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of
this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.**

Rancho Bernardo Plaza, LLC.
Owner

By _____
NAME:
TITLE:

Verizon Wireless
Permittee

By _____
NAME:
TITLE:

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

NOTICE OF EXEMPTION

ATTACHMENT 7

TO: X RECORDER/COUNTY CLERK
P.O. BOX 1750, MS A-33
1600 PACIFIC HWY, ROOM 260
SAN DIEGO, CA 92101-2422

FROM: CITY OF SAN DIEGO
DEVELOPMENT SERVICES DEPARTMENT
1222 FIRST AVENUE, MS 501
SAN DIEGO, CA 92101

OFFICE OF PLANNING AND RESEARCH
1400 TENTH STREET, ROOM 121
SACRAMENTO, CA 95814

PROJECT No.: 342291 PROJECT TITLE: **VERIZON BERNARDO PLAZA**

PROJECT LOCATION-SPECIFIC: **16771 BERNARDO CENTER DRIVE, SAN DIEGO, CA 92127**
PROJECT LOCATION-CITY/COUNTY: **SAN DIEGO/SAN DIEGO**

DESCRIPTION OF NATURE AND PURPOSE OF THE PROJECT: NEIGHBORHOOD DEVELOPMENT PERMIT (NDP) for a new Wireless Communication Facility (WCF) consisting of 12 panel antennas, 12 RRU units, and a 4'-0" diameter microwave dish antenna to be mounted within a proposed architectural tower element to be constructed on the roof top of an existing commercial building. Associated equipment, including 2 GPS antennas and a 30 kW emergency generator, are proposed to be located in a 416-square-foot concrete block equipment enclosure to be constructed to the east of the existing commercial building (rear). In addition, the project proposes the installation of new electrical service and telecommunications service connection. The facility is proposed to be located in the southeastern portion of the property located at 16771 Bernardo Center Drive. The project site is zoned CC-2-3, within the Rancho Bernardo Community Plan area, and Council District 5.

NAME OF PUBLIC AGENCY APPROVING PROJECT: **CITY OF SAN DIEGO**

NAME OF PERSON OR AGENCY CARRYING OUT PROJECT: **KERRIGAN DIEHL, PLANCOM, INC., 302 STATE PLACE, ESCONDIDO, 2ND FLOOR, CA 92029; 760-587-3003.**

EXEMPT STATUS: (CHECK ONE)

- MINISTERIAL (SEC. 21080(b)(1); 15268);
- DECLARED EMERGENCY (SEC. 21080(b)(3); 15269(a));
- EMERGENCY PROJECT (SEC. 21080(b)(4); 15269 (b)(c))
- CATEGORICAL EXEMPTION: *SECTION 15303 (NEW CONSTRUCTION)*

REASONS WHY PROJECT IS EXEMPT: The project has been determined to be exempt from CEQA pursuant to Section 15303. Section 15303 allows for the construction and location of limited numbers of new, small facilities or structures, and the installation of small, new equipment and facilities including, but not limited to, accessory structures. None of the exceptions listed in CEQA Guidelines Section 15300.2 apply, therefore this exemption is applicable to the proposed project.

LEAD AGENCY CONTACT PERSON: ELIZABETH OCAMPO VIVERO TELEPHONE: (619) 236-5993

IF FILED BY APPLICANT:

1. ATTACH CERTIFIED DOCUMENT OF EXEMPTION FINDING.
2. HAS A NOTICE OF EXEMPTION BEEN FILED BY THE PUBLIC AGENCY APPROVING THE PROJECT?
 YES NO

IT IS HEREBY CERTIFIED THAT THE CITY OF SAN DIEGO HAS DETERMINED THE ABOVE ACTIVITY TO BE EXEMPT FROM CEQA.

MARTHA BLAKE/ SENIOR PLANNER

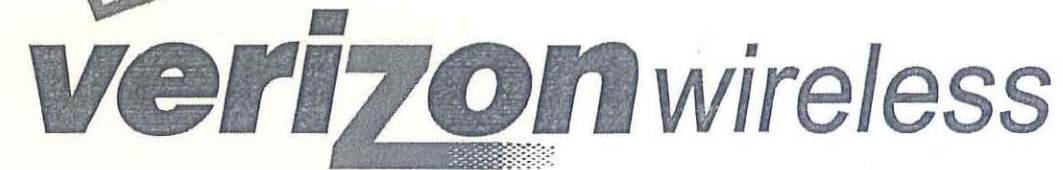
JANUARY 22, 2014

DATE

CHECK ONE:

- SIGNED BY LEAD AGENCY
- SIGNED BY APPLICANT

DATE RECEIVED FOR FILING WITH COUNTY CLERK OR OPR:



BERNARDO PLAZA
16771 BERNARDO CENTER DRIVE
SAN DIEGO, CA 92128

VICINITY MAP



THOMAS GUIDE PAGE: 1169 - J1



ADDRESS

16771 BERNARDO CENTER DRIVE
SAN DIEGO, CA 92128

DIRECTIONS:

(FROM VW'S OFFICES IN IRVINE): SOUTH ON I-5 TO SR-78 EAST, CONTINUE ON SR-78 EAST TO I-15 SOUTH. PROCEED SOUTH AND EXIT BERNARDO CENTER DR., TURN LEFT ONTO BERNARDO CENTER DR., TURN RIGHT ON LOMICA DR. TURN LEFT ONTO THE SHOPPING CENTER REAR PARKING LOT. SITE WILL BE IN THE REAR PARKING LOT

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN A 24" x 36" FORMAT. IF THIS DRAWING SET IS NOT 24" x 36", THIS SET IS NOT TO SCALE. ALL DRAWINGS ARE SCHEMATIC. DO NOT SCALE DRAWINGS TO DETERMINE OR VERIFY ANY DIMENSIONS. DRAWINGS OF ANY SIZE SHALL NEVER BE SCALED FOR ANYTHING OTHER THAN GENERAL REFERENCE.

CONSULTANT TEAM

ARCHITECT:
BOOTH & SUAREZ ARCHITECTURE, INC.
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008
(760) 434-8474
(760) 434-8596 (FAX)

SURVEYOR:
JRN CIVIL ENGINEERS
232 AVENIDA FABRICANTE, SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4685

LEASING/PLANNING:
PLANCOM, INC.
JILL CLEVELAND
302 STATE PLACE
ESCONDIDO, CA 92029
(760) 420-4833

LEGAL DESCRIPTION

ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL A: (274-780-31, 37, 38 & 41)
LOT 11 OF BERNARDO TOWN CENTER UNIT NO. 3, IN THE CITY OF SAN DIEGO,
COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7376, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JULY 21, 1972.

PROJECT SUMMARY

APPLICANT: VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CA 92618
CONTACT: BRENT HELMING
PHONE: (760) 533-8065

OWNER: RANCHO BERNARDO PLAZA LLC
4365 EXECUTIVE DRIVE, SUITE 1600
SAN DIEGO, CA 92121
SITE CONTACT: PETER ORTH, CBRE
PHONE: (858) 546-4523

PROJECT DESCRIPTION:

- INSTALLATION OF VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW 13'-0" x 20'-0" CONCRETE BLOCK WALL EQUIPMENT BUILDING ON A CONCRETE PAD
- INSTALLATION OF THREE (3) VERIZON WIRELESS ANTENNA SECTORS, OF FOUR (4) ANTENNAS EACH (TOTAL OF TWELVE (12) ANTENNAS) MOUNTED INSIDE A NEW TOWER BEHIND RF TRANSPARENT SCREENS
- INSTALLATION OF FOUR (4) VERIZON WIRELESS RRU UNITS PER SECTOR (TOTAL OF TWELVE (12) RRU'S) MOUNTED BEHIND ANTENNAS INSIDE A NEW TOWER BEHIND RF TRANSPARENT SCREENS
- INSTALLATION OF ONE (1) VERIZON WIRELESS 4'-0" MICROWAVE DISH ANTENNA (FOR TELCO SERVICE FEED) MOUNTED INSIDE A NEW TOWER BEHIND RF TRANSPARENT SCREENS
- INSTALLATION OF (2) TWO VERIZON WIRELESS E/911 GPS ANTENNAS
- INSTALLATION OF A 30kW ENCLOSED EMERGENCY GENERATOR WITH A 210 GALLON DIESEL TANK ON A CONCRETE PAD WITH A CONTAINMENT CURB INSIDE A CONCRETE BLOCK WALL ENCLOSURE.
- INSTALLATION OF A NEW 200 AMP ELECTRICAL SERVICE FROM EXISTING SDG&E SWITCHGEAR IN EXISTING UTILITY ROOM
- INSTALLATION OF A NEW TELCO SERVICE CONNECTION FROM AN EXISTING UTILITY ROOM
- MINOR LANDSCAPE & IRRIGATION IS PLANNED FOR THIS PROJECT

PROJECT ADDRESS: 16771 BERNARDO CENTER ROAD
SAN DIEGO, CA 92128

ASSESSORS PARCEL NUMBER: 274-78-41-00
EXISTING ZONING: CC 2-3

TOTAL SITE AREA: 856,284.47 S.F.
= 15.0 ACRES

PROPOSED PROJECT AREA:
EQUIPMENT BUILDING: 250 SF
CONCRETE BLOCK ENCLOSURE: 200 SF

PROPOSED TYPE OF CONSTRUCTION: TYPE VB

PROPOSED OCCUPANCY: U

NOTE: THERE IS NO EXISTING TELECOMMUNICATION FACILITY ON THIS PROPERTY

SHEET SCHEDULE

T-1	TITLE SHEET AND PROJECT DATA
A-0	SITE PLAN
A-1	ENLARGED SITE PLAN
A-2	EQUIPMENT FLOOR PLAN
A-3	EQUIPMENT ROOF PLAN & CHAIN-LINK LID PLAN
A-4	ROOF PLAN
A-5	ANTENNA PLAN
A-6	EXTERIOR ELEVATIONS
L-1	LANDSCAPE DEVELOPMENT PLAN
C-1	TOPOGRAPHIC SURVEY

ACCESSIBILITY DISCLAIMER

THIS PROJECT IS AN UNOCCUPIED WIRELESS PCS TELECOMMUNICATIONS FACILITY AND, ACCORDING TO WRITTEN INTERPRETATION FROM THE CALIFORNIA DEPARTMENT OF THE STATE ARCHITECT, IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:
CALIFORNIA STATE BUILDING CODE, TITLE 24, 2010 EDITION
CALIFORNIA PLUMBING CODE, 2010 EDITION
CALIFORNIA MECHANICAL CODE, 2010 EDITION
CALIFORNIA ELECTRICAL CODE, 2010 EDITION
CALIFORNIA FIRE CODE, 2010 EDITION
CALIFORNIA ENERGY CODE, 2010 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

BOOTH & SUAREZ
ARCHITECTURE INCORPORATED
325 CARLSBAD VILLAGE DRIVE, SUITE D2
CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR



P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

**BERNARDO
PLAZA**

16771 BERNARDO CENTER DRIVE
SAN DIEGO, CA 92128
SAN DIEGO COUNTY

DRAWING DATES

DATE	DESCRIPTION
09/16/13	90% ZD (eb)
09/20/13	100% ZD (ic)
10/02/13	100% ZD REVISION 1 (rd)
10/22/13	100% ZD REVISION 2 (rd)
10/23/13	100% ZD REVISION 3 (ic)
10/24/13	100% ZD REVISION 4 (ic)
12/19/13	100% ZD REVISION 5 (ic)

SHEET TITLE

**TITLE SHEET
&
PROJECT DATA**

PROJECTS\VERIZON\13263

T-1

Booth & Suarez
 ARCHITECTURE INCORPORATED
 395 CARLSBAD VILLAGE DRIVE SUITE D7
 CARLSBAD, CA 92008 (760) 434-8474



PREPARED FOR

 P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
BERNARDO PLAZA
 16771 BERNARDO CENTER DRIVE
 SAN DIEGO, CA 92128
 SAN DIEGO COUNTY

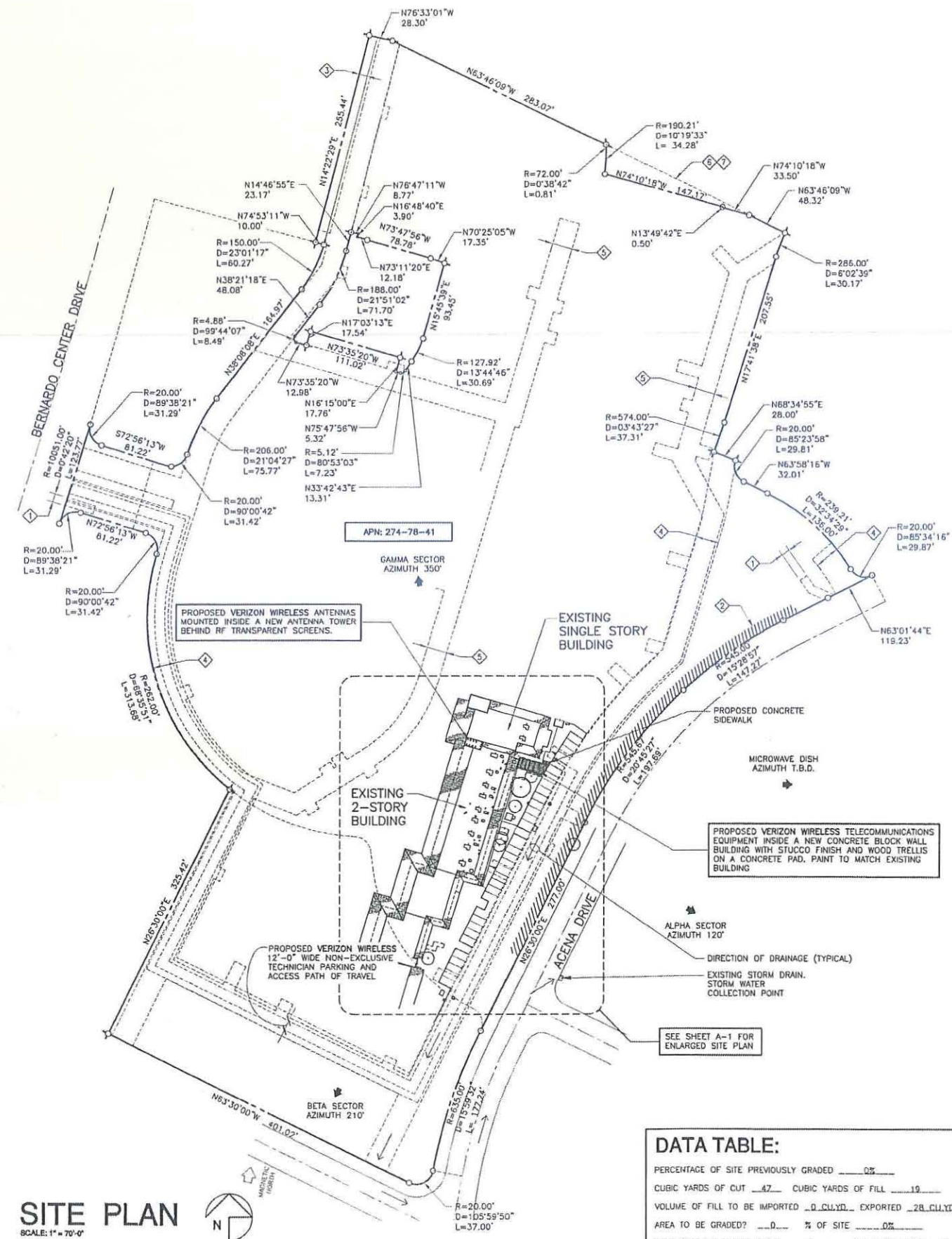
DRAWING DATES

09/16/13	90% ZD (cib)
09/20/13	100% ZD (ic)
10/02/13	100% ZD REVISION 1 (rd)
10/23/13	100% ZD REVISION 2 (rd)
10/23/13	100% ZD REVISION 3 (ic)
10/24/13	100% ZD REVISION 4 (ic)
12/19/13	100% ZD REVISION 5 (ic)

SHEET TITLE
SITE PLAN

PROJECTS\VERIZON\13263

A-0



EASEMENT NOTES:

- 1 EXISTING EASEMENT FOR DRAINAGE TOGETHER WITH ACCESS
- 2 THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ABUTTING SAID LAND
- 3 EXISTING EASEMENT FOR ACCESS AND LANDSCAPING AND RIGHT INCIDENTAL
- 4 EXISTING EASEMENT FOR ACCESS AND REPAIR AND RIGHT INCIDENTAL
- 5 EXISTING EASEMENT FOR SEWER, WATER, TRAFFIC SIGNAL AND STREET LIGHTING AND RIGHT INCIDENTAL
- 6 THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "RECIPROCAL GRANT OF EASEMENT"
- 7 EXISTING EASEMENT FOR PERMITTING THE ERECTION OF A BUILDING PARTLY ON THE SERVICENT, TENEMENT TOGETHER WITH ACCESS AND THE RIGHT TO ERECT AND MAINTAIN, SIDEWALKS, AND UTILITIES AND RIGHT INCIDENTAL.

Lessee's Certificate
 Standard Wireless Facility Project
 For Post-construction BMP's
 I/we the undersigned, as lessee of a portion of the property described as
 16771 BERNARDO CENTER DRIVE, SAN DIEGO, CA 92128
 (Address or legal description)

understand that, in accordance with the San Diego Municipal Code, Land Development Manual - Storm Water Standards, this project is required to "Identify Pollutants from the Project Area" and incorporate "Site Design" and "Source Control" BMP's.

I certify to the best of my knowledge, that the pollutants anticipated by the proposed land use are as follows:

- Sediment
- Nutrients
- Turbidity
- Oil & Grease
- Trace Metals
- Pesticides

I/we will incorporate the following into the site design:

- Minimize post-development runoff characteristics
- Minimize impervious foot print by constructing walkways, patios and driveways with permeable surfaces.
- Conserve natural areas
- Use natural drainage systems as opposed to flood drains or underground drainage systems
- Detain roof tops, walkways, patios and driveways into adjacent landscaping prior to discharging to the public drainage system.
- Preserve existing native trees and shrubs
- Protect all slopes from erosion

Additionally, I/we will:

- Minimize the use of pesticides
- Use efficient irrigation systems and landscape design, incorporating rain shutoff devices and flow reducers as needed.

I/we will maintain the above Standard Permanent BMP's for the duration of the lease.

Lessee: Dwight Woods Company Name: Verizon Wireless
 Date: 1-9-2008

ENGINEERING NOTES:

1. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL ENTER INTO A MAINTENANCE AGREEMENT FOR THE ONGOING PERMANENT BMP MAINTENANCE, SATISFACTORY TO THE CITY ENGINEER.
2. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT THE PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCCP). THE WPCCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN APPENDIX E OF THE CITY'S STORM WATER STANDARDS.
3. PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
4. NO EXISTING PARKING SPACE WILL BE USED OR REMOVED BY THIS PROJECT.
5. THIS PROJECT PROPOSES NO WORK WITHIN THE PUBLIC RIGHT-OF-WAY.

EASEMENTS:

PLOTTABLE EASEMENTS SHOWN REFLECT PRELIMINARY RECORDS RESEARCH OF RECORDED PARCEL MAPS & PRELIMINARY TITLE REPORT. EASEMENTS ARE SUBJECT TO REVIEW OF FINAL TITLE REPORT. SEE SHEET C-1 FOR ADDITIONAL INFORMATION ON EASEMENTS

BOUNDARY NOTE:

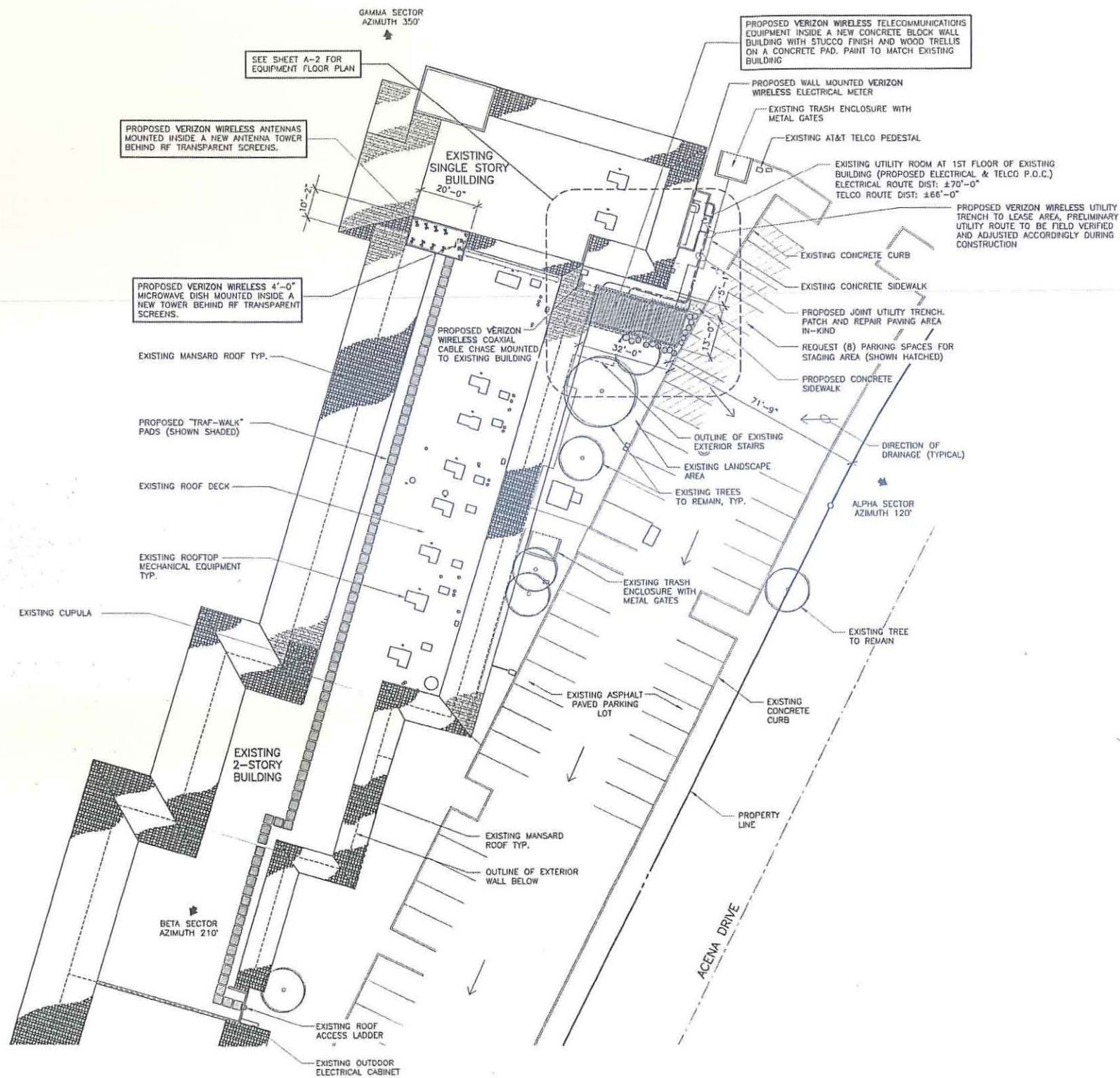
THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE FOR REFERENCE ONLY. A TITLE REPORT WAS NOT PROVIDED AND A BOUNDARY SURVEY WAS NOT PERFORMED

DATA TABLE:

PERCENTAGE OF SITE PREVIOUSLY GRADED	0%
CUBIC YARDS OF CUT	47
CUBIC YARDS OF FILL	19
VOLUME OF FILL TO BE IMPORTED	0 CU.YD.
EXPORTED	28 CU.YD.
AREA TO BE GRADED?	0% OF SITE
PROPOSED CUT SLOPE RATIO:	0
FILL SLOPE RATIO:	0
MAXIMUM HEIGHT OF: CUT SLOPE	0 FEET
FILL SLOPE	0 FEET

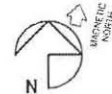
SITE PLAN
 SCALE: 1" = 70'-0"





ENLARGED SITE PLAN

SCALE: 1" = 20'-0"



Booth & Suarez
 ARCHITECTURE INCORPORATED
 195 CARLESDALE VILLAGE DRIVE SUITE D9
 CARLSBAD, CA 92008 (760) 434-8474

PREPARED FOR


P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
BERNARDO PLAZA
 16771 BERNARDO CENTER DRIVE
 SAN DIEGO, CA 92128
 SAN DIEGO COUNTY

DRAWING DATES

09/16/13	90% ZD (clb)
09/20/13	100% ZD (lc)
10/02/13	100% ZD REVISION 1 (rd)
10/22/13	100% ZD REVISION 2 (rd)
10/23/13	100% ZD REVISION 3 (lc)
10/24/13	100% ZD REVISION 4 (lc)
12/19/13	100% ZD REVISION 5 (lc)

SHEET TITLE
ENLARGED SITE PLAN

PROJECTS\VERIZON\13263

A-1

BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 395 CARLSBAD VILLAGE DRIVE SUITE 09
 CARLSBAD CA 92008 (760) 434-8474

PREPARED FOR

 P.O. BOX 19707
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APPROVALS

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PROJECT NAME
BERNARDO PLAZA
 16771 BERNARDO CENTER DRIVE
 SAN DIEGO, CA 92128
 SAN DIEGO COUNTY

DRAWING DATES

DATE	DESCRIPTION
09/16/13	90% ZD (clb)
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10/23/13	100% ZD REVISION 3 (lc)
10/24/13	100% ZD REVISION 4 (lc)
12/19/13	100% ZD REVISION 5 (lc)

SHEET TITLE
EQUIPMENT FLOOR PLAN

PROJECTS\VERIZON\13263

A-2

EQUIPMENT FLOOR PLAN NOTES:

- 1 PROPOSED VERIZON WIRELESS TELECOMMUNICATIONS EQUIPMENT INSIDE A NEW CONCRETE BLOCK WALL EQUIPMENT BUILDING ON A CONCRETE PAD WITH STUCCO FINISH
- 2 PROPOSED VERIZON WIRELESS NORTEL CDMA RBS EQUIPMENT RADIO RACK (RR) 29" WIDE x 84" HIGH x 25" DEEP, WEIGHT: 1200 LBS.
- 3 PROPOSED VERIZON WIRELESS NORTEL CDMA RBS EQUIPMENT RACK (DR) 29" WIDE x 84" HIGH x 25" DEEP, WEIGHT: 1000 LBS.
- 4 PROPOSED VERIZON WIRELESS RBS EQUIPMENT RACK (R202) 22" WIDE x 84" HIGH x 19-3/4" DEEP, WEIGHT: 654 LBS.
- 5 PROPOSED VERIZON WIRELESS 2V BATTERY RACK, 37" WIDE x 37.66" HIGH x 27.88" DEEP, WEIGHT: 2860 LBS.
- 6 PROPOSED VERIZON WIRELESS HETSURE 701 POWER PLANT (701) 26" WIDE x 84" HIGH x 21.3" DEEP, WEIGHT: 548 LBS.
- 7 PROPOSED AIR HANDLERS (TYPICAL OF 2)
- 8 PROPOSED FUSED DISCONNECT SWITCH MOUNTED TO WALL
- 9 PROPOSED AUTOMATIC TRANSFER SWITCH MOUNTED TO WALL
- 10 PROPOSED MANUAL TRANSFER SWITCH MOUNTED TO WALL
- 11 PROPOSED 200 AMP ELECTRICAL PANEL MOUNTED TO WALL
- 12 PROPOSED CHAINLINK LID
- 13 PROPOSED MAIN GROUND BUS BAR TO BE MOUNTED TO WALL
- 14 PROPOSED 3'-0" WIDE STEEL DOOR AND FRAME & VERIZON WIRELESS SIGNAGE
- 15 PROVIDE WALL MOUNTED EXTERIOR LIGHT FIXTURE MOUNTED TO BUILDING
- 16 PROPOSED OVERHEAD 18" CABLE LADDER @ +8'-0" (SHOWN DASHED)
- 17 PROPOSED SURFACE MOUNTED FLORESCENT LIGHT FIXTURES (TYPICAL OF 3)
- 18 PROPOSED (10) 4" COAX CABLE CONDUITS & 1-1/2" CONDUIT FOR GROUNDING
- 19 PROPOSED WALL MOUNTED TELCO BOARD
- 20 PROPOSED 12" x 12" x 1/8" VINYL FLOOR TILES, EXCELON #51973 MONO WHITE WITH 4" COVER BASE
- 21 PROVIDE AND INSTALL (1) WALL MOUNTED CLASS "ABC" FIRE EXTINGUISHER
- 22 PROPOSED ALUMINUM THRESHOLD
- 23 PROPOSED (2) OUTDOOR CONDENSER UNITS (CARRIER 38HDRO60) MOUNTED ON STACKING RACK
- 24 PROPOSED CONDENSATE DRAIN LINE ROUTING
- 25 PROPOSED CONCRETE SIDEWALK
- 26 PROPOSED PAIR OF 3'-2" WIDE STEEL GATES & FRAME, GATES SHALL BE PAINTED TO MATCH PROPOSED EQUIPMENT BUILDING.
- 27 PROPOSED RAYCAP DC SURGE PROTECTION UNITS UNISTRUT MOUNTED TO WALL ABOVE (SHOWN DASHED)(TYPICAL OF 2)
- 28 INSTALL 3" LAYER OF 3/4" CRUSHED GRAVEL OVER FIBER GROWTH BARRIER WITHIN ENTIRE EQUIPMENT COMPOUND
- 29 PROPOSED VERIZON WIRELESS 30kw ENCLOSED EMERGENCY GENERATOR WITH A 210 GALLON DOUBLE WALL SUBBASE FUEL TANK ON A POURED-IN-PLACE CONCRETE PAD, "GENERAC" SDD30 GENERATOR UNIT OR EQUIVALENT SIZED UNIT WITH A SINGLE UNIT SOUND PRESSURE LEVEL OF 64 dBA AT A REFERENCE DISTANCE OF 23 FEET.
- 30 PROPOSED VERIZON WIRELESS REVERSE GENERATOR RECEPTACLE FOR EMERGENCY GENERATOR CONNECTION MOUNTED TO WALL
- 31 PROPOSED UNDERGROUND COAX CABLE TRENCH (SHOWN DASHED)
- 32 PROPOSED 4" TELCO CONDUIT IN AN UNDERGROUND TRENCH
- 33 PROPOSED ELECTRICAL CONDUIT IN AN UNDERGROUND TRENCH
- 34 PROPOSED GENERATOR SIGN ON STEEL GATE.
- 35 PROPOSED WOOD TRELLIS
- 36 PROPOSED BATTERY "CAUTION" SIGN ON DOOR.
- 37 EXISTING ASPHALT PAVED PARKING LOT
- 38 PROPOSED MOTORIZED EXHAUST FAN
- 39 PROPOSED CONCRETE BLOCK ENCLOSURE WALL WITH STUCCO FINISH
- 40 PROPOSED SHRUBS
- 41 PROPOSED SMOKE DETECTOR ON CEILING ABOVE
- 42 PROPOSED HYDROGEN SENSOR ON CEILING ABOVE
- 43 EXISTING IRRIGATION CONTROL BOX
- 44 EXISTING MAILBOX
- 45 OUTLINE OF EXISTING STAIRWELL
- 46 EXISTING CONCRETE SIDEWALK
- 47 EXISTING CONCRETE CURB
- 48 EXISTING TREE
- 49 EXISTING LANDSCAPE AREA
- 50 EXISTING BUILDING WALL
- 51 OUTLINE OF 2ND FLOOR BALCONY DECK
- 52 EXISTING 12x12 COLUMN
- 53 PROPOSED VERIZON WIRELESS COAXIAL CABLE CHASE MOUNTED TO EXISTING BUILDING
- 54 EXISTING WALL MOUNTED WATER HEATER
- 55 EXISTING WALL MOUNTED EXHAUST VENT
- 56 EXISTING DOOR
- 57 PROVIDE AND INSTALL (1) BATTERY ACID SPILL KIT
- 58 PROPOSED DRYWELL
- 59 PROPOSED CONCRETE CONTAINMENT CURB
- 60 PROPOSED ROOF DRAIN AND OVERFLOW DRAIN
- 61 PROPOSED ROOF DRAIN DISCHARGE POINT



EQUIPMENT FLOOR PLAN

SCALE: 1/4" = 1'-0"



BOOTH & SUAREZ
 ARCHITECTURE INCORPORATED
 395 CARLSBAD VILLAGE DRIVE SUITE 09
 CARLSBAD CA 92008 (760) 434-8474



PREPARED FOR



P.O. BOX 19707
 IRVINE, CA 92623-9707
 (949) 286-7000

APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME

BERNARDO PLAZA

16771 BERNARDO CENTER DRIVE
 SAN DIEGO, CA 92128
 SAN DIEGO COUNTY

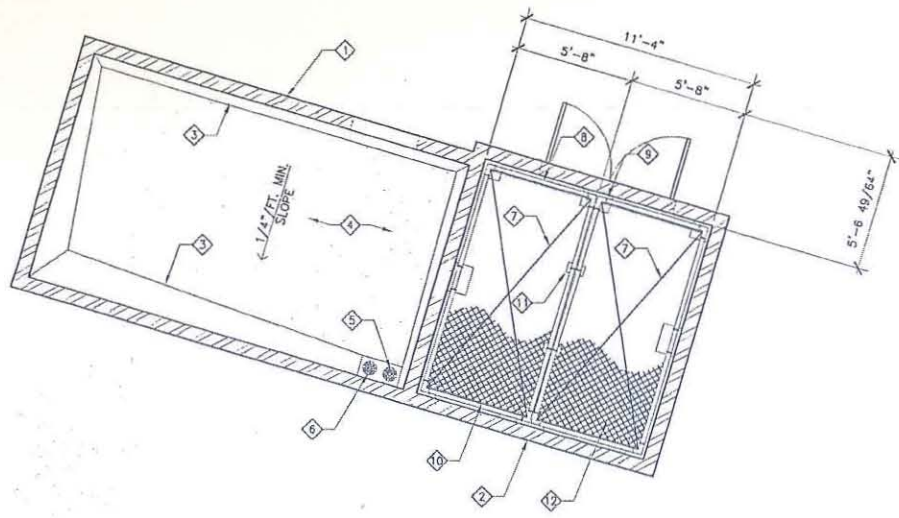
DRAWING DATES

09/16/13	90% ZD (clb)
09/20/13	100% ZD (lc)
10/02/13	100% ZD REVISION 1 (rd)
10/22/13	100% ZD REVISION 2 (rd)
10/23/13	100% ZD REVISION 3 (lc)
10/24/13	100% ZD REVISION 4 (lc)
12/18/13	100% ZD REVISION 5 (lc)

SHEET TITLE

ROOF PLAN, CHAINLINK LID PLAN & TRELLIS PLAN

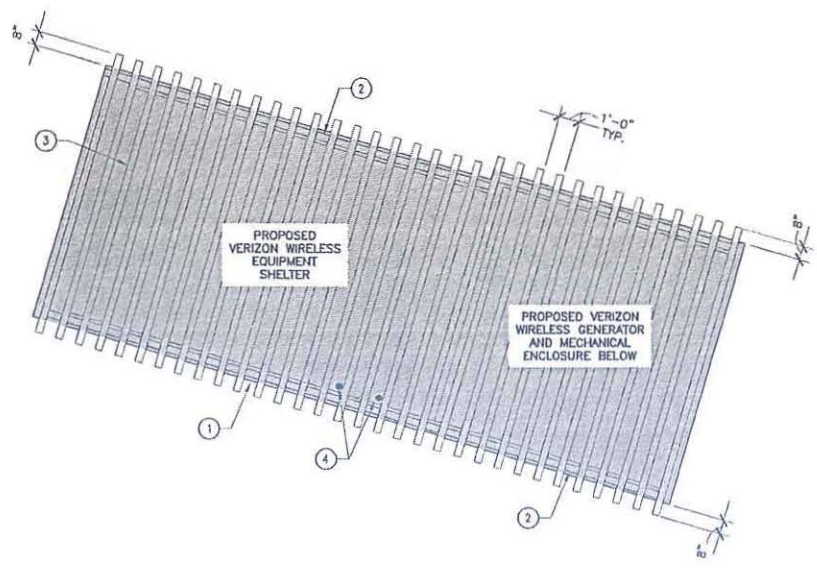
PROJECTS\VERIZON\13263



EQUIPMENT ROOF PLAN
 SCALE: 1/4" = 1'-0"

ROOF PLAN NOTES:

- 1 PROPOSED PARAPET WALL
- 2 PROPOSED CONCRETE BLOCK WALL
- 3 PROPOSED ROOF CRICKET
- 4 BUILT-UP ROOFING
- 5 PROPOSED ROOF OVERFLOW
- 6 PROPOSED ROOF DRAIN
- 7 "X" INDICATES A SINGLE PANEL OF THE CHAINLINK LID
- 8 PROPOSED 3" SCHEDULE 40 GALVANIZED STANDARD PIPE FRAME (TYPICAL)
- 9 PROPOSED GALVANIZED STEEL PIPE CLAMPS FOR CHAINLINK TENSIONER STRIP
- 10 PROPOSED GALVANIZED TENSIONER STRIP (TYPICAL)
- 11 PROPOSED BRACKET SUPPORT CLAMP FOR CHAINLINK LID AT 4'-0" O.C.
- 12 PROPOSED GALVANIZED CHAINLINK MESH PARTIALLY REMOVED FOR CLARITY. PROVIDE STANDARD WIRE TIES TO FRAME @ 12" O.C. WITH DOUBLE KNOTS ON BOTTOM SIDE OF FRAME. SEE SPECIFICATION THIS SHEET



TRELLIS PLAN
 SCALE: 1/4" = 1'-0"

TRELLIS & ROOF PLAN NOTES:

- 1 PROPOSED VERIZON WIRELESS EQUIPMENT BUILDING
- 2 PROPOSED ROUGH SAWN 4 x 8 BEAM (TYPICAL)
- 3 PROPOSED ROUGH SAWN 4 x 4 PURLINS @ 12" O.C. (TYPICAL)
- 4 PROPOSED (2) E/911 GPS ANTENNAS TO BE MOUNTED TO TRELLIS

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APPROVALS

A&C	DATE
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EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
BERNARDO PLAZA
 16771 BERNARDO CENTER DRIVE
 SAN DIEGO, CA 92128
 SAN DIEGO COUNTY

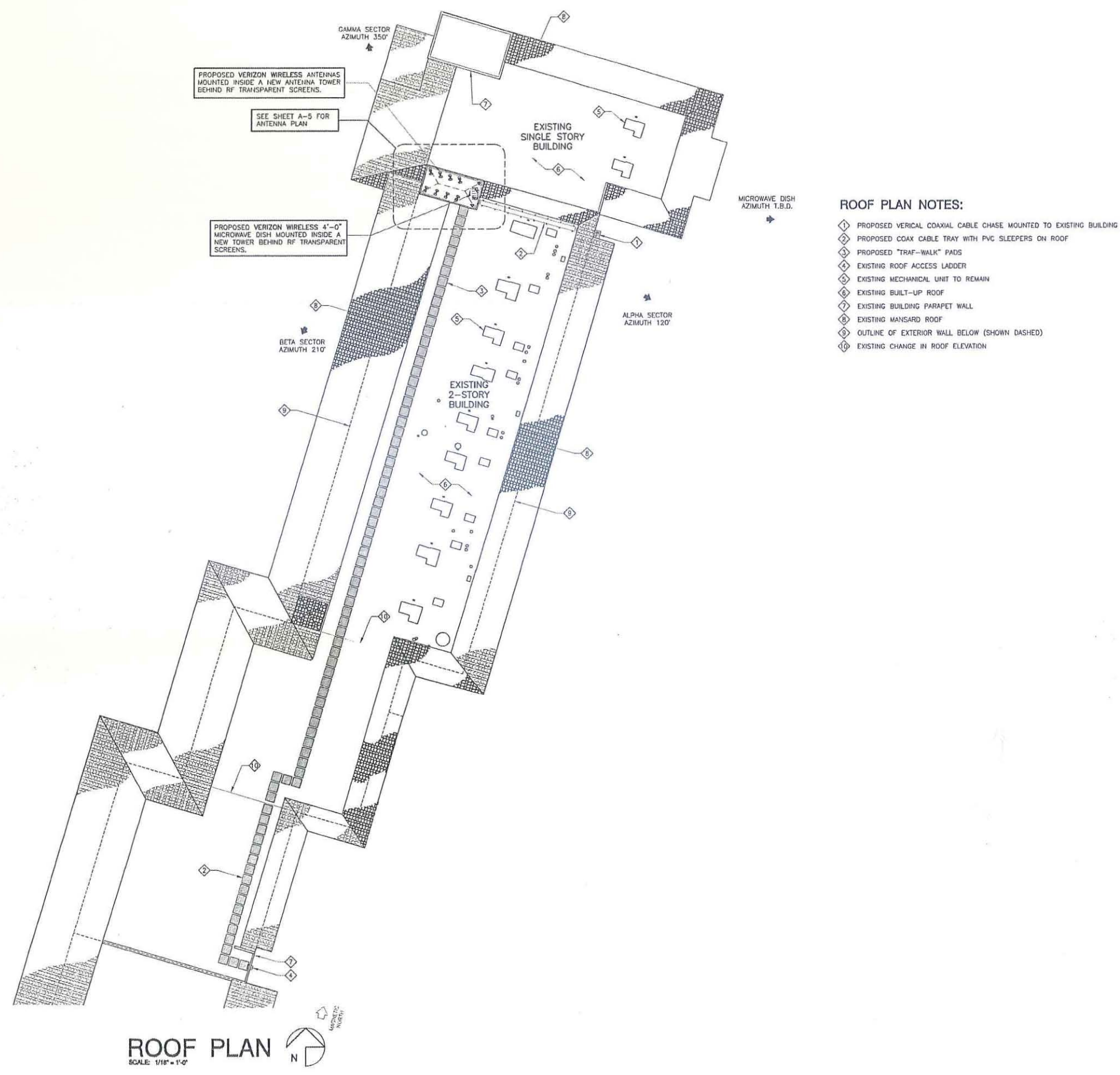
DRAWING DATES

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10/02/13	100% ZD REVISION 1 (rd)
10/22/13	100% ZD REVISION 2 (rd)
10/23/13	100% ZD REVISION 3 (lc)
10/24/13	100% ZD REVISION 4 (lc)
12/19/13	100% ZD REVISION 5 (lc)

SHEET TITLE
ROOF PLAN

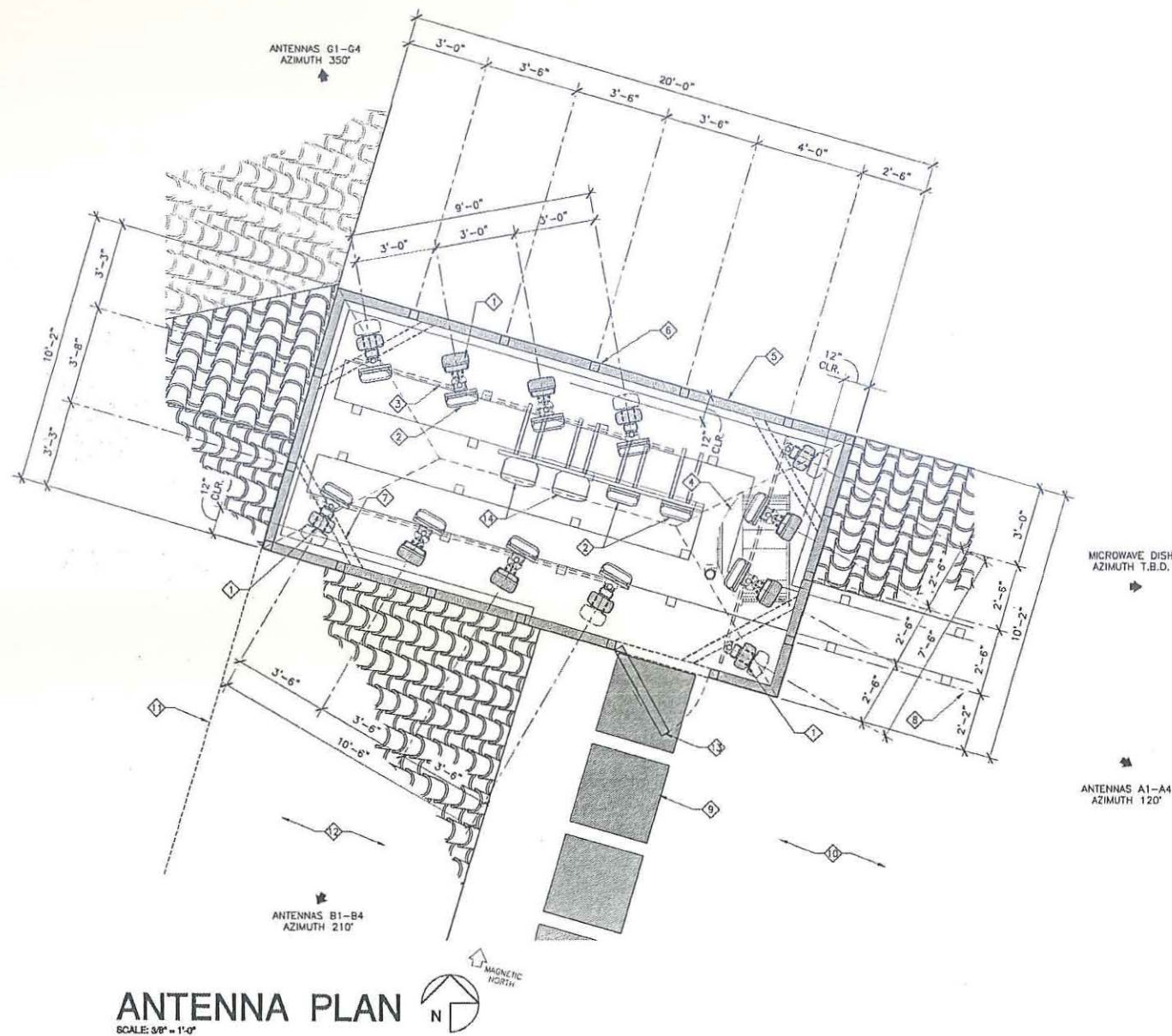
PROJECTS\VERIZON\13263

A-4



ROOF PLAN
 SCALE: 1/16" = 1'-0"


ANTENNA AND COAXIAL CABLE SCHEDULE									
SECTOR ANTENNA	DIRECTION	AZIMUTH	DOWNTILT	SKEW ANGLE	SIZE	NUMBER OF CABLES PER SECTOR	COAX CABLE LENGTH (+ / - 0") (+ / - 3")	JUMPER LENGTH (+ / - 3")	COAX SIZE
ALPHA1	EAST	120°	0°	N/A	78" L x 15" W x 9.5" D	6 COAX + 2 HYBRID	88'-0"	6'-0"	7/8"
ALPHA2					78" L x 15" W x 9.5" D				
ALPHA3					78" L x 15" W x 9.5" D				
ALPHA4					78" L x 15" W x 9.5" D				
BETA1	SOUTHWEST	210°	0°	N/A	78" L x 15" W x 9.5" D	6 COAX + 2 HYBRID	88'-0"	6'-0"	7/8"
BETA2					78" L x 15" W x 9.5" D				
BETA3					78" L x 15" W x 9.5" D				
BETA4					78" L x 15" W x 9.5" D				
GAMMA1	NORTHWEST	350°	0°	N/A	78" L x 15" W x 9.5" D	6 COAX + 2 HYBRID	88'-0"	6'-0"	7/8"
GAMMA2					78" L x 15" W x 9.5" D				
GAMMA3					78" L x 15" W x 9.5" D				
GAMMA4					78" L x 15" W x 9.5" D				
MICROWAVE DISH	T.B.D.	-	-	-	4'-0" DIAMETER	1	84'-0"	-	1 1/4"



ANTENNA PLAN NOTES:

- 1 PROPOSED VERIZON WIRELESS ANTENNAS MOUNTED INSIDE NEW ANTENNA TOWER BEHIND RF TRANSPARENT SCREENS
- 2 PROPOSED VERIZON WIRELESS RRU (TYPICAL OF 4 PER SECTOR)
- 3 PROPOSED UNISTRUT
- 4 PROPOSED VERIZON WIRELESS 4'-0" MICROWAVE DISH ANTENNA MOUNTED INSIDE NEW ANTENNA TOWER BEHIND RF TRANSPARENT SCREENS.
- 5 PROPOSED RF TRANSPARENT SCREEN
- 6 4 x 4 RF TRANSPARENT FIBERGLASS TUBE FRAMING
- 7 4 x 4 RF TRANSPARENT DIAGONAL BRACE
- 8 PROPOSED COAX CABLE TRAY ON 4 x 4 PVC SLEEPERS
- 9 PROPOSED "TRAF-WALK" PADS
- 10 EXISTING BUILT-UP ROOF
- 11 OUTLINE OF EXTERIOR WALL BELOW
- 12 EXISTING MANSARD ROOF
- 13 PROPOSED RF TRANSPARENT TOWER ACCESS PANEL
- 14 PROPOSED RAYCAP DC SURGE PROTECTION UNIT (TYPICAL OF 2)

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(949) 286-7000

APPROVALS

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OPS	DATE
EE/OUT	DATE

PROJECT NAME

BERNARDO PLAZA

16771 BERNARDO CENTER DRIVE
SAN DIEGO, CA 92128
SAN DIEGO COUNTY

DRAWING DATES

05/16/13	90% ZD (etb)
05/20/13	100% ZD (tc)
10/02/13	100% ZD REVISION 1 (rd)
10/22/13	100% ZD REVISION 2 (rd)
10/23/13	100% ZD REVISION 3 (tc)
10/24/13	100% ZD REVISION 4 (tc)
12/19/13	100% ZD REVISION 5 (tc)

SHEET TITLE

ANTENNA PLAN

PROJECTS\VERIZON\13263

A-5

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 ARCHITECTURE INCORPORATED
 395 CALLEBARD VILLAGE DRIVE SUITE 89
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APPROVALS

A&C	DATE
RE	DATE
RF	DATE
INT	DATE
EE/IN	DATE
OPS	DATE
EE/OUT	DATE

PROJECT NAME
BERNARDO PLAZA
 16771 BERNARDO CENTER DRIVE
 SAN DIEGO, CA 92128
 SAN DIEGO COUNTY

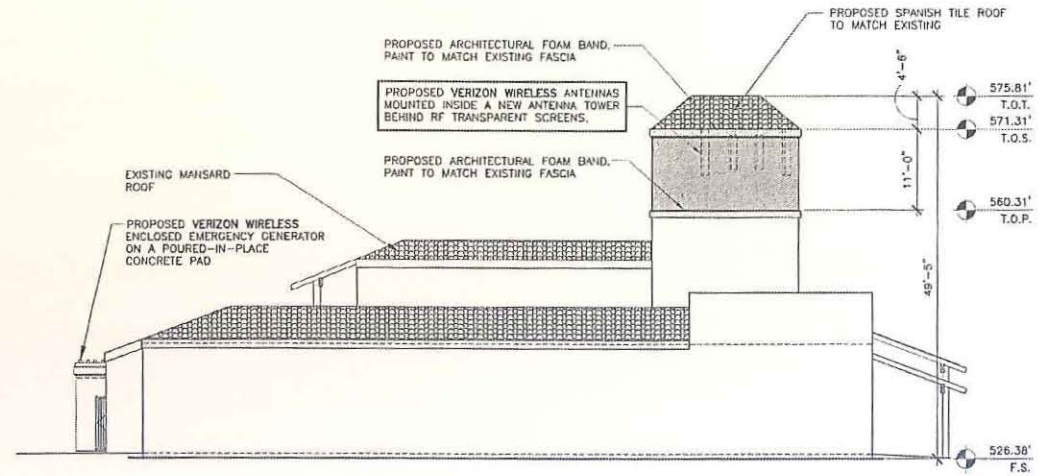
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10/24/13	100% 2D REVISION 4 (ic)
12/19/13	100% 2D REVISION 5 (ic)

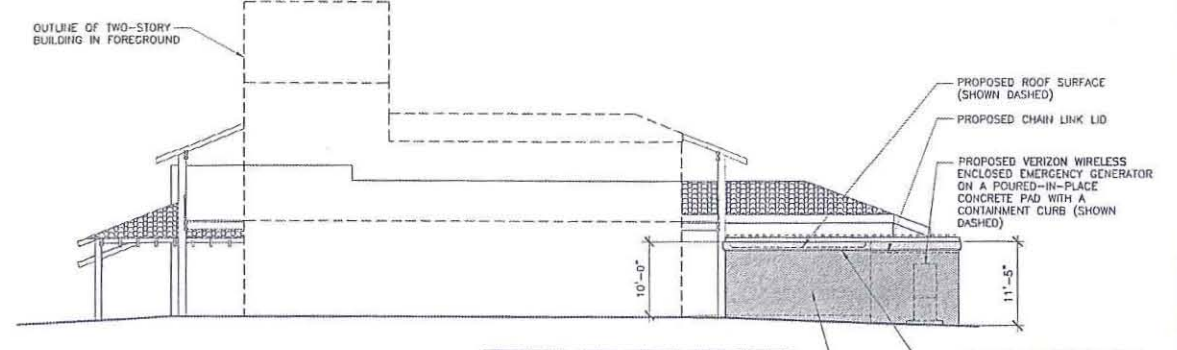
SHEET TITLE
EXTERIOR ELEVATIONS

PROJECTS\VERIZON\13263

A-6



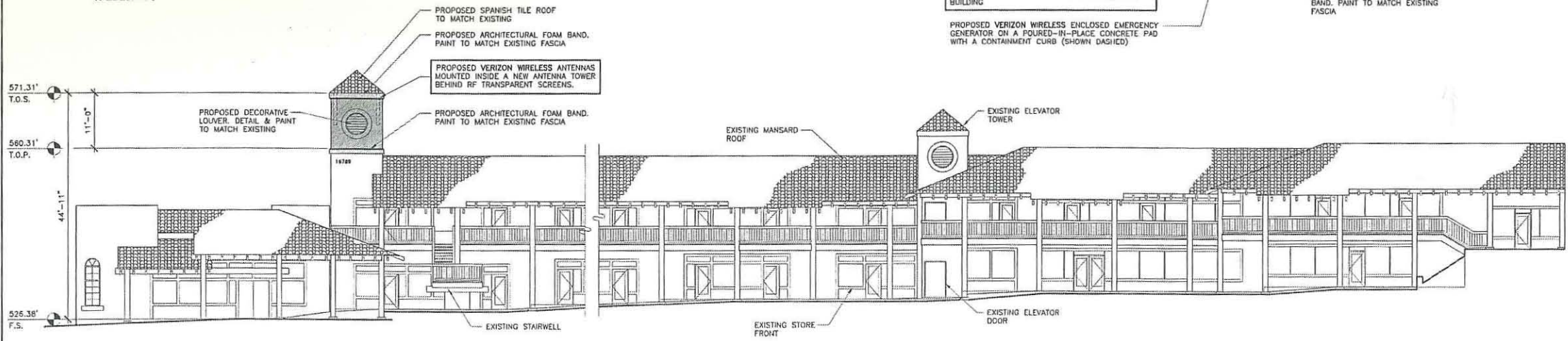
NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



EAST ELEVATION
 SCALE: 3/32" = 1'-0"



WEST ELEVATION
 SCALE: 3/32" = 1'-0"

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PROJECT NAME

BERNARDO PLAZA

16771 BERNARDO CENTER DRIVE
 SAN DIEGO, CA 92128
 SAN DIEGO COUNTY

DRAWING DATES

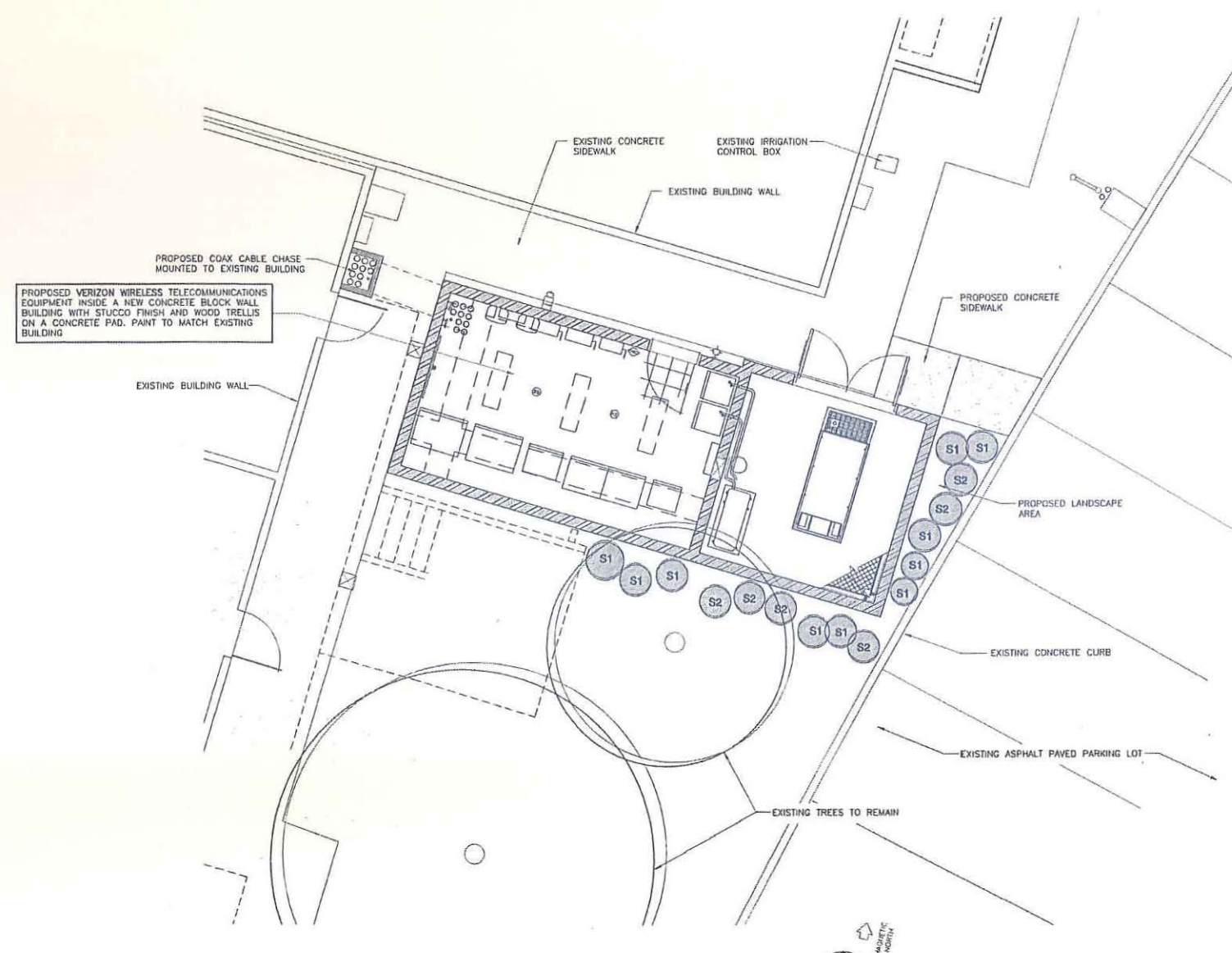
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10/22/13	100% ZD REVISION 2 (rd)
10/23/13	100% ZD REVISION 3 (lc)
10/24/13	100% ZD REVISION 4 (lc)
12/12/13	100% ZD REVISION 5 (lc)

SHEET TITLE

LANDSCAPE DEVELOPMENT PLAN

PROJECTS\VERIZON\13263

L-1



LANDSCAPE DEVELOPMENT PLAN
 SCALE: 1/8" = 1'-0"

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	QUANTITY	EXISTING HEIGHT & SPREAD	MATURE HEIGHT & SPREAD
S1	CALLISTEMON "LITTLE JOHN"	DWARF CALUSTEMON	PROPOSED 5 GAL.	9	-	3' HEIGHT 3' SPREAD
S2	PENNISETUM MESSIACUM	FOUNTAIN GRASS "BUNNY TAILS"	PROPOSED 5 GAL.	6	-	-

PLANTING NOTES

1. DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO THE INITIATION OF ANY WORK. ALL WORK SHALL BE PERFORMED IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE TO UTILITIES. HAND EXCAVATE AS REQUIRED.
2. TREES SHALL BE LOCATED A MINIMUM OF FIVE FEET FROM ANY DRAINAGE FLOW LINE, SEWER LINE, WATER LINE, GAS LINE, OR ELECTRICAL CONDUIT.
3. ROOT BARRIERS SHALL BE INSTALLED ADJACENT TO ALL PAVING SURFACES, WHERE A PAVING SURFACE IS LOCATED WITHIN 5' OF A TREE'S TRUNK. ROOT BARRIERS SHALL EXTEND FOUR FEET IN EACH DIRECTION FROM THE CENTER LINE OF THE TRUNK FOR A TOTAL DISTANCE OF 8 FEET. INSTALLING ROOT BARRIERS AROUND THE ROOT BALL IS UNACCEPTABLE.
4. TREES WILL BE LOCATED A MINIMUM DISTANCE OF 3 FEET FROM ANY PAVING SURFACE, CURB, WALL, OR CONCRETE MOW STRIP.
5. ALL PLANTING AREAS, SHALL RECEIVE A 3" LAYER OF MULCH.
6. PLANTING INSTALLATION CRITERIA:
 ALL PROPOSED TREES SHALL BE SELF-SUPPORTING, WOODY PLANTS WITH AT LEAST ONE WELL DEFINED TRUNK AND SHALL NORMALLY ATTAIN A MATURE HEIGHT AND SPREAD OF AT LEAST 15 FEET.
7. PLANTING MAINTENANCE CRITERIA:
 ALL LANDSCAPE INSTALLATION SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
8. MINIMUM TREE SEPARATION DISTANCE
 IMPROVEMENT/MINIMUM DISTANCE TO STREET TREE:
 TRAFFIC SIGNALS (STOP SIGN) - 20 FEET ABOVE GROUND UTILITY STRUCTURES - 10 FEET
 UNDERGROUND UTILITY LINES - 5 FEET DRIVEWAY (ENTRIES) - 10 FEET
 INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS) - 25 FEET
9. IRRIGATION: AN IRRIGATION SYSTEM SHALL BE PROVIDED AS REQUIRED FOR PROPER IRRIGATION, DEVELOPMENT AND MAINTENANCE OF THE VEGETATION. THE DESIGN OF THE SYSTEM SHALL PROVIDE ADEQUATE SUPPORT FOR THE VEGETATION SELECTED.
10. OWNER IS RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF THE PROJECT AREA.
11. MAINTENANCE: ALL REQUIRED LANDSCAPE AREAS SHALL BE MAINTAINED BY THE OWNER. THE LANDSCAPE AREAS SHALL BE MAINTAINED IN A FREE OF DEBRIS AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.
12. IF ANY REQUIRED LANDSCAPE (INCLUDING NEW OR EXISTING PLANTINGS, HARDSCAPE, LANDSCAPE FEATURES, ETC.) INDICATED ON THE APPROVED CONSTRUCTION DOCUMENT PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND AND EQUIVALENT SIZE PER THE APPROVED DOCUMENTS TO THE SATISFACTION OF THE DEVELOPMENT SERVICES DEPARTMENT WITHIN 30 DAYS OF DAMAGE OR A FINAL LANDSCAPE INSPECTION.
13. IF TREES WITH A TRUNK WIDTH OF 4 INCHES OR MORE (MEASURED BY CALIPER, 4 FEET ABOVE GRADE) ARE REMOVED OR SIGNIFICANTLY TRIMMED FOR THE INSTALLATION OR OPERATION OF THE WIRELESS COMMUNICATION FACILITY, THEN REPLACEMENT TREES OF SIMILAR SIZE SHALL BE PLANTED TO THE SATISFACTION OF THE CITY MANAGER.
14. ALL PRUNING SHALL COMPLY WITH THE NATIONAL ARBORIST ASSOCIATION. NO TOPPING OR PRUNING OF VEHICULAR USE AREA TREES INTO TOPIARY/HEDGE FORMS IS ALLOWED. TREES SHALL BE ALLOWED TO GROW TO THEIR FULL HEIGHT AND WIDTH TO PROVIDE THE INTENDED SHADE OVER PAVED PARKING SURFACES.

WATER CONSERVATION NOTES

1. ALL LANDSCAPE AND IRRIGATION DESIGN, INSTALLATION AND MAINTENANCE, SHALL CONFORM TO CITY OF SAN DIEGO LANDSCAPE REGULATIONS AND STANDARDS AND ALL OTHER APPLICABLE REGIONAL STANDARDS FOR LANDSCAPE INSTALLATION AND MAINTENANCE.
2. PLANT MATERIAL SELECTED FOR THIS PROJECT WILL BE OF A TYPE KNOWN TO BE SUCCESSFUL IN THE AREA OR IN SIMILAR CLIMATIC AND SOIL CONDITIONS.
3. LANDSCAPE FINISH GRADING OBJECTIVES WILL INCLUDE POSITIVE SURFACE DRAINAGE OF PLANTED AREAS THROUGHOUT THE PROJECT AREA.
4. ALL PERMANENTLY LANDSCAPED AREAS WILL BE SERVED BY PERMANENT, AUTOMATIC, UNDERGROUND, IRRIGATION SYSTEMS USING LOW PRECIPITATION FIXED AND POP UP SPRAY HEADS.
5. ALL SOILS WILL BE FERTILIZED, AMENDED, AND TILLED TO CONFORM TO RECOMMENDATIONS MADE BY A SOIL TESTING LABORATORY AND/OR LANDSCAPE ARCHITECT IN ORDER TO PROMOTE HEALTHY AND VIGOROUS PLANT GROWTH.
6. ALL PLANTING AREAS WILL BE MAINTAINED IN A WEED AND DEBRIS FREE CONDITION.
7. ALL ON-SITE IRRIGATION IMPROVEMENTS SHALL BE PART OF THE EXISTING POTABLE WATER DISTRIBUTION SYSTEM FOR THE EXISTING SITE.
8. SPRINKLER HEADS SHALL BE ADJUSTED FOR OPTIMUM PERFORMANCE. THIS SHALL INCLUDE THROTTLING THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM. CONDITIONS THAT CAUSE OVER-SPRAY, PONDING, OR RUN-OFF SHALL BE ELIMINATED. ADJUST SYSTEM TO AVOID THESE CONDITIONS.
9. BEST IRRIGATION MANAGEMENT PRACTICES SHALL BE USED TO ELIMINATE OR CONTROL TO THE BEST EXTENT POSSIBLE PONDING, RUN-OFF, OVER-SPRAY AND MISTING.
10. IRRIGATION HEADS SHALL BE LOCATED OR ADJUSTED TO MINIMIZE OR ELIMINATE OVER-SPRAYING ON SIDEWALKS, STREETS AND NON-DESIGNATED USE AREAS.
11. NEW IRRIGATION SYSTEM TO BE CONNECTED TO THE CLOSEST EXISTING IRRIGATION VALVE BOX.
12. AUTOMATIC IRRIGATION SYSTEM SHALL HAVE A RAIN SENSOR.

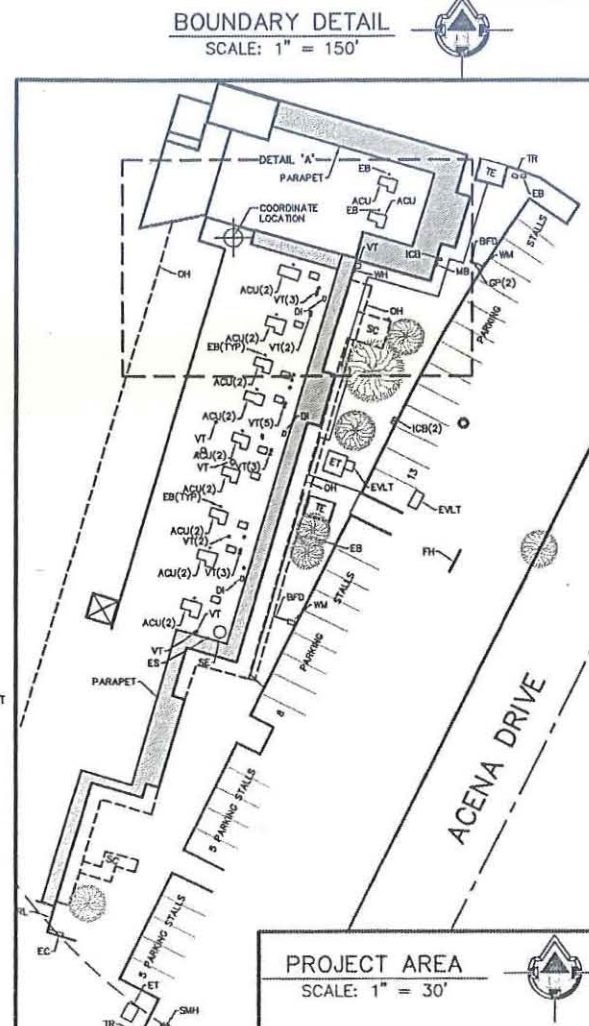
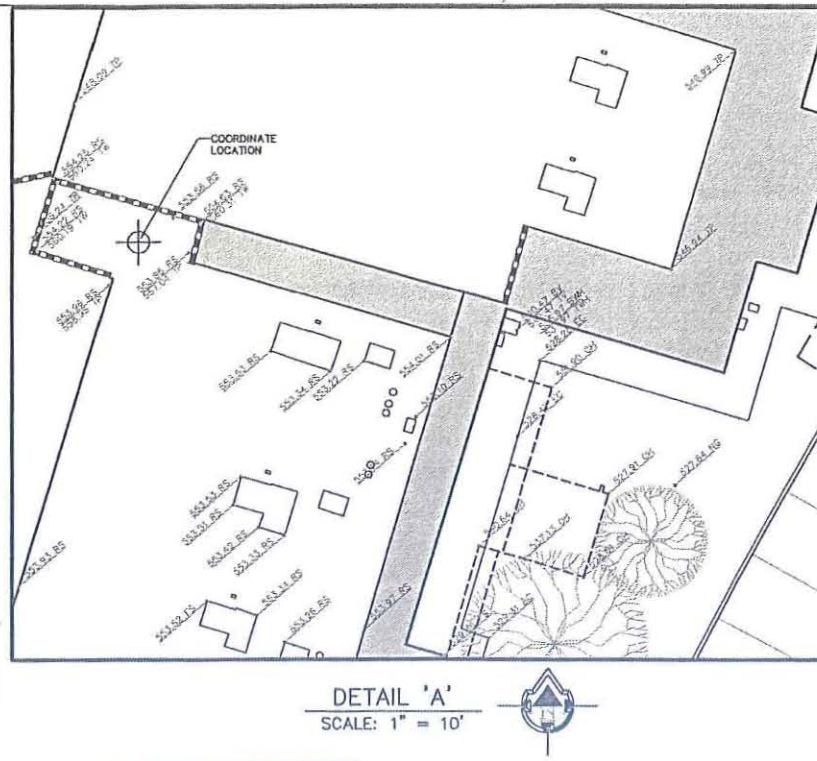
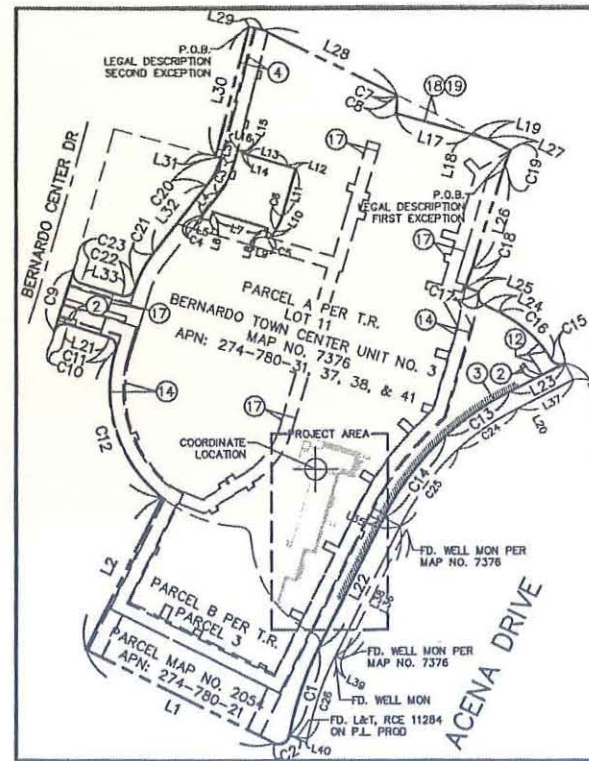
ITEMS CORRESPONDING TO SCHEDULE "B":

BY: COMMONWEALTH LAND TITLE COMPANY COMMITMENT NO.: 08020167
 4100 NEWPORT PLACE DR., SUITE 120 TITLE OFFICER: CHRIS MAZAR
 NEWPORT BEACH, CA 92660 DATED: AUGUST 8, 2013
 (949) 724-0708

THE FOLLOWING ITEMS WERE FOUND IN SAID COMMITMENT AND ARE REFERENCED ON THIS MAP. COVENANTS AND AGREEMENTS LISTED HEREON CONTAIN NUMEROUS ITEMS THAT AFFECT THE SUBJECT PROPERTY, CONTENTS SHOULD BE REVIEWED TO DISCOVER SPECIFICS.

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER, WHETHER OR NOT DISCLOSED BY THE PUBLIC RECORDS. THE EXTENT TO WHICH THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT CANNOT BE DETERMINED FROM THE TITLE REPORT OR DOCUMENTS PROVIDED AND IS NOT PLOTTED HEREON.
2. EASEMENT(S) FOR DRAINAGE TOGETHER WITH ACCESS AND RIGHTS INCIDENTAL, AS DELINEATED ON OR AS OFFERED FOR DEDICATION ON MAP NO. 7376. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
3. THE OWNERSHIP OF SAID LAND DOES NOT INCLUDE RIGHTS OF ACCESS TO OR FROM THE STREET, HIGHWAY, OR FREEWAY ADJUTING SAID LAND, SUCH RIGHTS HAVING BEEN RELINQUISHED BY SAID MAP NO. 7376. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
4. EASEMENT(S) FOR ACCESS AND LANDSCAPING AND RIGHTS INCIDENTAL, RECORDED NOVEMBER 4, 1974 AS INSTRUMENT NO. 74-292141 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
5. DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDED FEBRUARY 10, 1978 AS INSTRUMENT NO. 78-02772 OF OFFICIAL RECORDS, AND MODIFIED JUNE 3, 1976 AS INSTRUMENT NO. 76-170427 OF OFFICIAL RECORDS, OCTOBER 30, 1978 AS INSTRUMENT NO. 78-468490 OF OFFICIAL RECORDS, AND FEBRUARY 18, 1982 AS INSTRUMENT NO. 82-044651 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
6. COVENANTS, CONDITIONS AND RESTRICTIONS, RECORDED NOVEMBER 3, 1978 AS INSTRUMENT NO. 78-476755 OF OFFICIAL RECORDS, AND SEPTEMBER 21, 1981 AS INSTRUMENT NO. 81-299465 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
7. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "A PLANNED COMMERCIAL DEVELOPMENT PERMIT NO. 81" RECORDED NOVEMBER 21, 1978 AS INSTRUMENT NO. 78-503902 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
8. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "A PLANNED COMMERCIAL DEVELOPMENT PERMIT NO. 81" RECORDED JULY 29, 1980 AS INSTRUMENT NO. 80-236566 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
9. AN INSTRUMENT ENTITLED AGREEMENT, RECORDED AUGUST 14, 1981, AS INSTRUMENT NO. 81-259755 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IT CONTAINS AN ENCROACHMENT REMOVAL AGREEMENT FOR AN 18" STORM DRAIN, THE EXACT LOCATION IS NOT DISCLOSED BY RECORD AND IS NOT PLOTTED HEREON.
10. AN INSTRUMENT ENTITLED AGREEMENT, RECORDED NOVEMBER 6, 1981, AS INSTRUMENT NO. 81-33124 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IT CONTAINS AN ENCROACHMENT REMOVAL AGREEMENT FOR A PRIVATE 18" AND 12" STORM DRAINS, THE EXACT LOCATION IS NOT DISCLOSED BY RECORD AND IS NOT PLOTTED HEREON.
11. AN INSTRUMENT ENTITLED AGREEMENT, RECORDED NOVEMBER 6, 1981, AS INSTRUMENT NO. 81-33124 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IT CONTAINS AN ENCROACHMENT REMOVAL AGREEMENT FOR A PRIVATE 18" AND 12" STORM DRAINS, THE EXACT LOCATION IS NOT DISCLOSED BY RECORD AND IS NOT PLOTTED HEREON.
12. EASEMENT(S) FOR ACCESS AND REPAIR AND RIGHTS INCIDENTAL, DECEMBER 21, 1981, AS INSTRUMENT NO. 81-398340 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
13. EASEMENT(S) FOR ACCESS AND UTILITIES AND RIGHTS INCIDENTAL, JANUARY 21, 1982, AS INSTRUMENT NO. 82-070102 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, THE EXACT LOCATION IS NOT DISCLOSED BY RECORD AND IS NOT PLOTTED HEREON.
14. EASEMENT(S) FOR ACCESS AND REPAIR AND RIGHTS INCIDENTAL, MARCH 22, 1982, AS INSTRUMENT NO. 82-077123 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
15. AN UNRECORDED LEASE WITH CERTAIN TERMS, COVENANTS, CONDITIONS AND PROVISIONS, JUNE 18, 1982, AS INSTRUMENT NO. 82-188774 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
16. EASEMENT(S) FOR ACCESS AND UTILITIES AND RIGHTS INCIDENTAL THERETO, AUGUST 11, 1982, AS INSTRUMENT NO. 82-246642 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION COULD NOT BE DETERMINED FROM RECORD AND IS NOT PLOTTED HEREON.
17. EASEMENT(S) FOR SEWER, WATER, TRAFFIC SIGNALS AND STREET LIGHTING AND RIGHTS INCIDENTAL THERETO, DECEMBER 3, 1982, AS INSTRUMENT NO. 82-371622 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
18. THE MATTERS CONTAINED IN A DOCUMENT ENTITLED "RECIPROCAL GRANT OF EASEMENT" RECORDED APRIL 19, 1984 AS INSTRUMENT NO. 84-144712 AND APRIL 19, 1984 AS INSTRUMENT NO. 84-144713 BOTH OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
19. EASEMENT(S) FOR PERMITTING THE ERECTION OF A BUILDING PARTLY ON THE SERVIENT, TENEMENT TOGETHER WITH ACCESS AND THE RIGHT TO ERECT AND MAINTAIN, SIDEWALKS AND UTILITIES AND RIGHTS INCIDENTAL THERETO, APRIL 19, 1984, AS INSTRUMENT NO. 84-144714 OF OFFICIAL RECORDS, AMENDED MARCH 28, 1988 AS INSTRUMENT NO. 88-140241 OF OFFICIAL RECORDS, AND SEPTEMBER 13, 1991 AS INSTRUMENT NO. 1891-0471647 OF OFFICIAL RECORDS, AND JUNE 14, 1998 AS INSTRUMENT NO. 1998-0299388 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
20. MATTERS CONTAINED IN THAT CERTAIN DOCUMENT ENTITLED "EASEMENT AGREEMENT" JUNE 18, 1984, AS INSTRUMENT NO. 84-226623 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, IS BLANKET IN NATURE AND IS NOT PLOTTED HEREON.
21. EASEMENT(S) FOR UTILITIES AND RIGHTS INCIDENTAL THERETO, SEPTEMBER 8, 2005, AS INSTRUMENT NO. 2005-0778169 OF OFFICIAL RECORDS. THIS ITEM AFFECTS THE SUBJECT PROPERTY, BUT THE EXACT LOCATION COULD NOT BE DETERMINED FROM RECORD AND IS NOT PLOTTED HEREON.

ITEMS IF SHOWN HEREON ARE STATED AS EXCEPTIONS ON ABOVE REFERENCED COMMITMENT. NO RESPONSIBILITY FOR THE COMPLETENESS, ACCURACY, OR CONTENT OF SAID REPORT IS ASSUMED BY THIS MAP.



LINE	BEARING	LENGTH
L1	N63°30'00"W	401.02'
L2	N26°30'00"E	325.42'
L3	N14°48'50"E	23.17'
L4	N38°21'18"E	48.04'
L5	N73°35'20"W	12.96'
L6	N17°03'13"E	17.54'
L7	N73°35'20"W	111.02'
L8	N16°15'00"E	12.76'
L9	N75°47'58"W	5.32'
L10	N33°42'43"E	13.31'
L11	N18°45'30"E	93.45'
L12	N70°25'05"W	17.35'
L13	N73°47'56"W	70.78'
L14	N73°11'20"W	12.18'
L15	N18°48'40"E	3.90'
L16	N78°42'11"W	8.77'
L17	N74°10'18"W	14.17'
L18	N13°48'42"E	8.92'
L19	N74°10'18"W	33.50'
L20	N26°58'18"W	35.00'
L21	N72°56'13"W	81.22'
L22	N26°30'00"E	272.00'
L23	N63°30'44"E	119.23'
L24	N83°58'16"W	32.01'
L25	N88°34'55"W	28.00'
L26	N174°38'E	207.55'
L27	N83°48'09"W	48.32'
L28	N83°48'09"W	283.07'
L29	N78°33'01"W	28.30'
L30	N14°22'27"E	245.44'
L31	N74°53'11"W	10.00'
L32	N38°08'08"E	164.97'
L33	N72°56'13"W	81.22'
L34	N26°58'18"W	35.00'
L35	N63°27'04"W	35.00'
L36	N26°30'00"E	276.97'
L37	N63°30'44"E	119.23'
L38	N26°30'00"E	276.97'
L39	N63°27'34"W	13.05'
L40	N78°29'32"W	35.00'

CURVE	RADIUS	DELTA	LENGTH
C1	638.00'	15°58'32"	177.24'
C2	20.00'	105°59'50"	37.00'
C3	188.00'	21°31'02"	71.70'
C4	4.89'	99°44'07"	8.49'
C5	5.12'	80°53'03"	7.23'
C6	127.92'	134°44'	30.69'
C7	71.00'	92°34'	9.81'
C8	189.21'	10°18'33"	34.28'
C9	10051.00'	0°42'20"	123.77'
C10	20.00'	89°38'21"	31.29'
C11	20.00'	90°00'42"	31.42'
C12	262.00'	68°35'51"	313.88'
C13	548.00'	15°28'37"	147.22'
C14	548.67'	20°45'27"	187.65'
C15	20.00'	85°34'16"	28.87'
C16	239.21'	32°34'28"	136.00'
C17	20.00'	85°23'58"	29.81'
C18	574.00'	34°3'27"	37.31'
C19	288.00'	6°02'39"	30.17'
C20	150.00'	23°01'17"	60.27'
C21	208.00'	21°04'22"	75.77'
C22	20.00'	90°00'42"	31.42'
C23	20.00'	89°38'21"	31.29'
C24	510.00'	15°28'21"	137.72'
C25	510.67'	20°45'04"	184.95'
C26	600.00'	15°59'32"	187.47'

DATE OF SURVEY:
SEPTEMBER 12, 2013

ASSESSOR'S PARCEL NUMBER
274-780-21, 31, 37, 38, & 41

DATUM STATEMENT:
ELEVATIONS SHOWN HEREON ARE BASED ON ORTHOMETRIC ELEVATIONS DERIVED BY GPS OBSERVATIONS USING THE CGO0124 MODELING CONVERSION AS PUBLISHED BY THE NATIONAL GEODETIC SURVEY.

BASIS OF BEARINGS:
THE BEARING OF N 26°30'00" E ALONG THE CENTERLINE OF ACENA DRIVE PER MAP NO. 7376 IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

- LEGEND:**
- ACU - AIR CONDITIONING UNIT
 - BFD - BACK FLOW DEVICE
 - BV - BOTTOM OF VENT
 - BWH - BOTTOM OF WATER HEATER
 - DI - DRAIN INLET
 - EB - ELECTRIC BOX
 - EC - ELECTRIC CABINET
 - ES - ELECTRIC SWITCH
 - EVLT - ELECTRIC VAULT FOUND
 - FD - FIRE HYDRANT
 - GP - GUARD POST
 - IGB - IRRIGATION CONTROL BOX
 - MB - MAILBOX
 - NG - NATURAL GRADE
 - OH - OVERHANG
 - RL - ROOF LADDER
 - RS - ROOF SURFACE
 - SC - STAIRCASE
 - SE - SLOVE EXHAUST
 - SMH - SEWER MANHOLE
 - TE - TRASH ENCLOSURE
 - TP - TOP OF PARAPET
 - TR - TELEPHONE RISER
 - TV - TOP OF VENT
 - TW - TOP OF WALL
 - TWH - TOP OF WATER HEATER
 - VT - VENT
 - WM - WATER METER

COORDINATES:
LATITUDE: 33°01'03.723" N
LONGITUDE: 117°04'25.267" W
DATUM: NAD83



LEGAL DESCRIPTION:
ALL THAT CERTAIN REAL PROPERTY SITUATED IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
PARCEL A: (274-780-31, 37, 38, & 41)
LOT 11 OF BERNARDO TOWN CENTER UNIT NO. 3, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7376, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY ON JULY 21, 1972.

EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:
COMMENCING AT A FOUND 2" X 24" IRON PIPE MONUMENT ON THE MOST NORTHEASTERLY CORNER OF SAID LOT 11; THENCE NORTHWESTERLY ALONG THE BOUNDARY OF SAID LOT 11, NORTH 63° 46' 09" WEST 48.32 FEET TO THE INTERSECTION WITH THE SOUTHEASTERLY PROLONGATION OF THE EXTERIOR FACE OF AN EXISTING BUILDING, SAID POINT ALSO BEING THE TRUE POINT OF BEGINNING; THENCE ALONG SAID LINE NORTH 74° 10' 18" WEST 33.50 FEET; THENCE NORTH 13° 49' 42" EAST 0.50 FEET; THENCE NORTH 74° 10' 18" WEST 147.17 FEET TO THE POINT OF INTERSECTION WITH THE ARC OF A NON-TANGENT REVERSE CURVE HAVING A RADIUS OF 72.00 FEET, A RADIAL TO SAID CURVE BEARS NORTH 82° 08' 40" WEST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 10° 19' 36" A DISTANCE OF 34.28 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENT REVERSE CURVE HAVING A RADIUS OF 72.00 FEET, A RADIAL TO SAID CURVE BEARS SOUTH 89° 28' 07" EAST; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 0° 30' 51" A DISTANCE OF 0.81 FEET TO A POINT OF INTERSECTION WITH THE NORTHWESTERLY BOUNDARY OF SAID LOT 11; THENCE ALONG SAID NORTHWESTERLY BOUNDARY SOUTH 63° 48' 09" EAST 101.79 FEET TO THE TRUE POINT OF BEGINNING.

ALSO EXCEPTING THEREFROM THAT PORTION DESCRIBED AS FOLLOWS:
BEGINNING AT A 2" X 24" IRON PIPE MONUMENT AT THE MOST NORTHWESTERLY CORNER OF LOT NO. 11 AS SHOWN ON SAID MAP NO. 7376;
THENCE SOUTH 14° 22' 28" WEST, 255.89 FEET TO A FOUND 2" X 24" IRON PIPE MONUMENT STAMPED H.C.E. 10284 ALSO BE SHOWN ON SAID MAP NO. 7376; THENCE NORTH 73° 29' 30" EAST 43.80 FEET TO THE TRUE POINT OF BEGINNING; THENCE FROM SAID TRUE POINT OF BEGINNING SOUTH 70° 47' 11" EAST 8.77 FEET; THENCE SOUTH 16° 46' 40" WEST 3.90 FEET; THENCE SOUTH 73° 11' 20" EAST 12.18 FEET; THENCE SOUTH 73° 47' 56" EAST, 78.78 FEET; THENCE SOUTHWEST 25° 05' EAST 17.35 FEET; THENCE SOUTH 18° 45' 39" WEST 93.45 FEET TO THE BEGINNING OF A 127.82 FOOT RADIUS CURVE, CONCAVE NORTHWESTERLY A RADIAL TO THE CENTER LINE OF WHICH BEARS NORTH 70° 52' 23" WEST; THENCE SOUTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 13° 28' 08" A DISTANCE OF 30.69 FEET TO A POINT OF TANGENCY; THENCE ALONG THE TANGENT BEARING SOUTH 33° 42' 43" WEST 13.31 FEET TO THE BEGINNING OF A TANGENT 5.12 FOOT RADIUS CURVE NORTHERLY A RADIAL TO THE CENTER OF WHICH BEARS NORTH 64° 48' 52" WEST; THENCE WESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 80° 53' 03" A DISTANCE OF 7.21 FEET TO A POINT OF TANGENCY; THENCE ALONG THE TANGENT BEARING NORTH 31° 24' 13" EAST, THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 99° 44' 07" A DISTANCE OF 8.50 FEET TO A POINT OF TANGENCY; THENCE ALONG THE TANGENT BEARING NORTH 38° 21' 18" EAST 48.04 FEET TO THE BEGINNING OF A TANGENT 188 FOOT RADIUS CURVE CONCAVE NORTHWESTERLY A RADIAL TO WHICH BEARS NORTH 53° 04' 18" WEST; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 21° 51' 02" A DISTANCE OF 71.89 FEET TO A POINT OF TANGENCY; THENCE NORTH 14° 46' 55" EAST 22.49 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL B: (274-780-21)
PARCEL 3 OF PARCEL MAP NO. 2054, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF ON FILE IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AND AS CORRECTED IN A CERTIFICATE OF CORRECTION RECORDED AUGUST 15, 1974 AS INSTRUMENT NO. 74-221934 OF OFFICIAL RECORDS OF SAID COUNTY, BEING A DIVISION OF LOT 13 OF BERNARDO TOWN CENTER UNIT NO. 4 IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 7485, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 14, 1972.

ASSESSOR'S PARCEL NUMBER: 274-780-41,31,37,38 & 21

JOHN R. McDONALD
L.S. NO. 6728
EX. 09/30/14

Booth Suarez &
ARCHITECTURE :: PLANNING
WILLIAM R. BOOTH ARCHITECT ROBERT J. SUAREZ ARCHITECT
P.O. BOX 4481, CARLSBAD, CA 92018 (760) 434-4474

PREPARED FOR
verizon wireless

P.O. BOX 19707
IRVINE, CA 92623-9707
(949) 222-7000

CONSULTANT
JRN CIVIL ENGINEERS
232 AVENIDA FABRICANTE, SUITE 107
SAN CLEMENTE, CA 92672
(949) 248-4685

PROJECT NAME
VERIZON BERNARDO PLAZA
16771 BERNARDO CENTER DRIVE
SAN DIEGO, CA

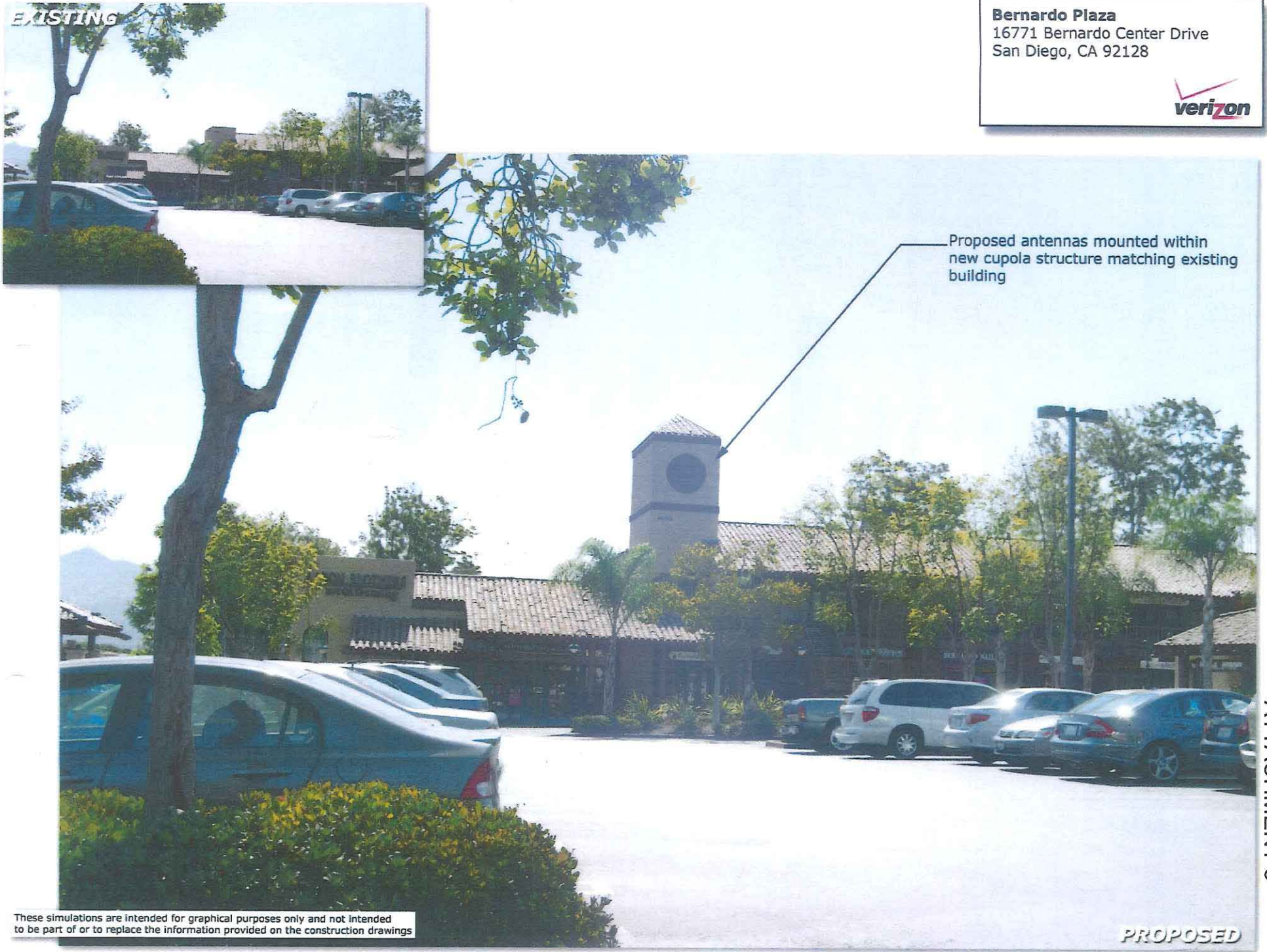
DRAWING DATES
9/12/2013

SHEET TITLE
TOPOGRAPHIC SURVEY

C1

EXISTING

Bernardo Plaza
16771 Bernardo Center Drive
San Diego, CA 92128



Proposed antennas mounted within new cupola structure matching existing building

ATTACHMENT 8

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

PROPOSED

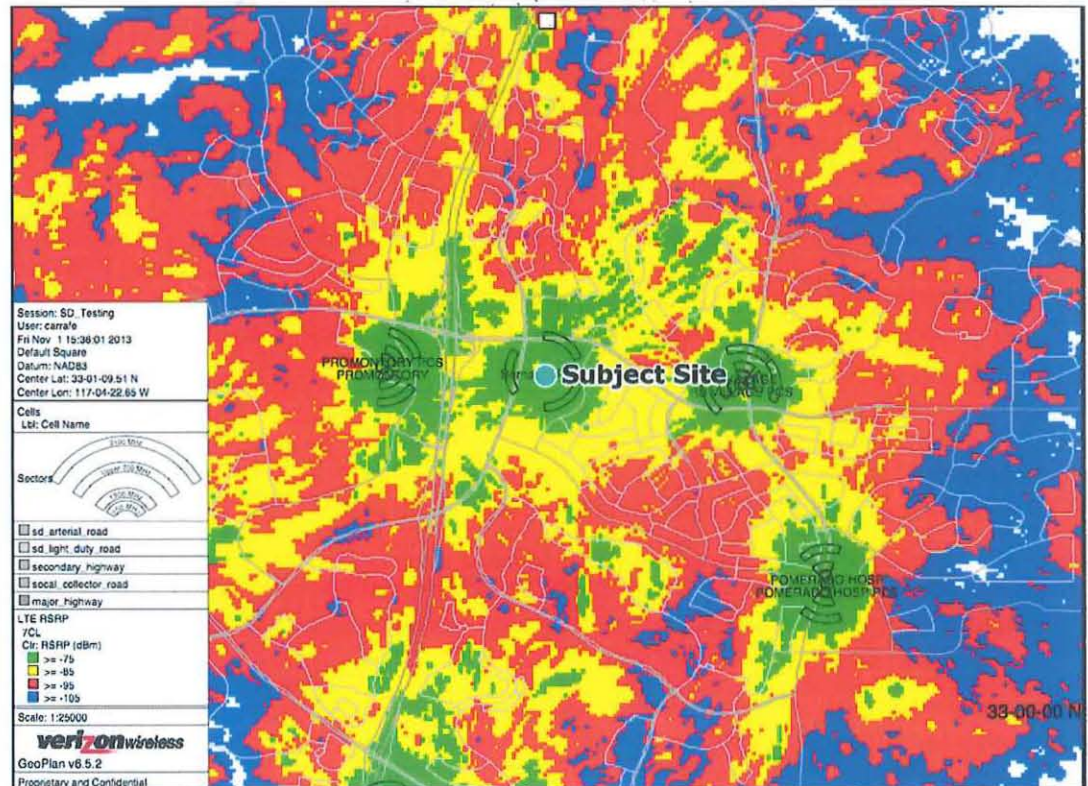
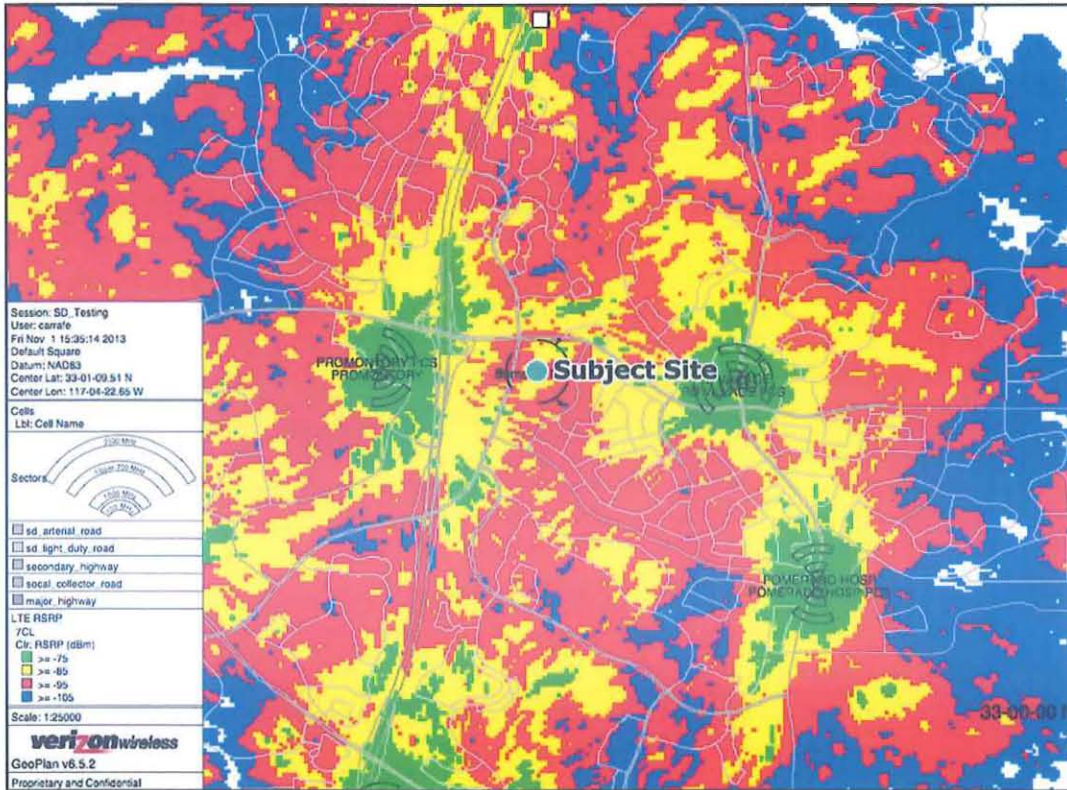
10/31/2013

Photosimulation of proposed telecommunications site

Bernardo Plaza
 16771 Bernardo Center Drive
 San Diego, CA 92128



Existing coverage

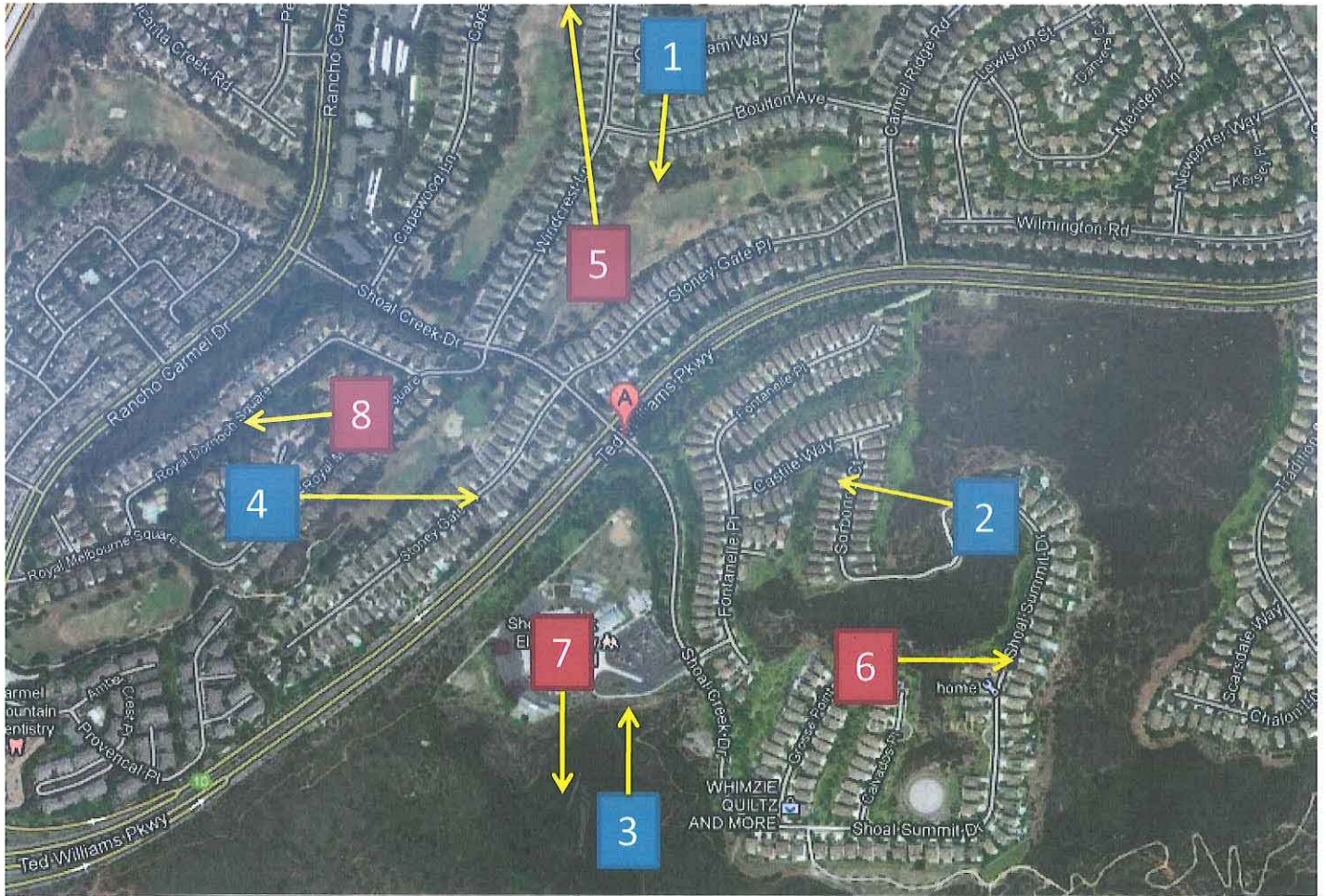


Coverage Levels:

- Excellent
- Good/Variable
- Poor

Proposed coverage

SD54XC925 TED WILLIAMS EAST Photo Survey Key Map



SD54XC925 TED WILLIAMS EAST ATTACHMENT 10
Photo Survey



1. View looking south at North Elevation .
2. View looking west at East Elevation .





- 3. View looking north at South Elevation .
- 4. View looking east at West Elevation.



SD54XC925 TED WILLIAMS EAST Photo Survey APPENDMENT 10



- 5. View looking north from site.
- 6. View looking east from site.



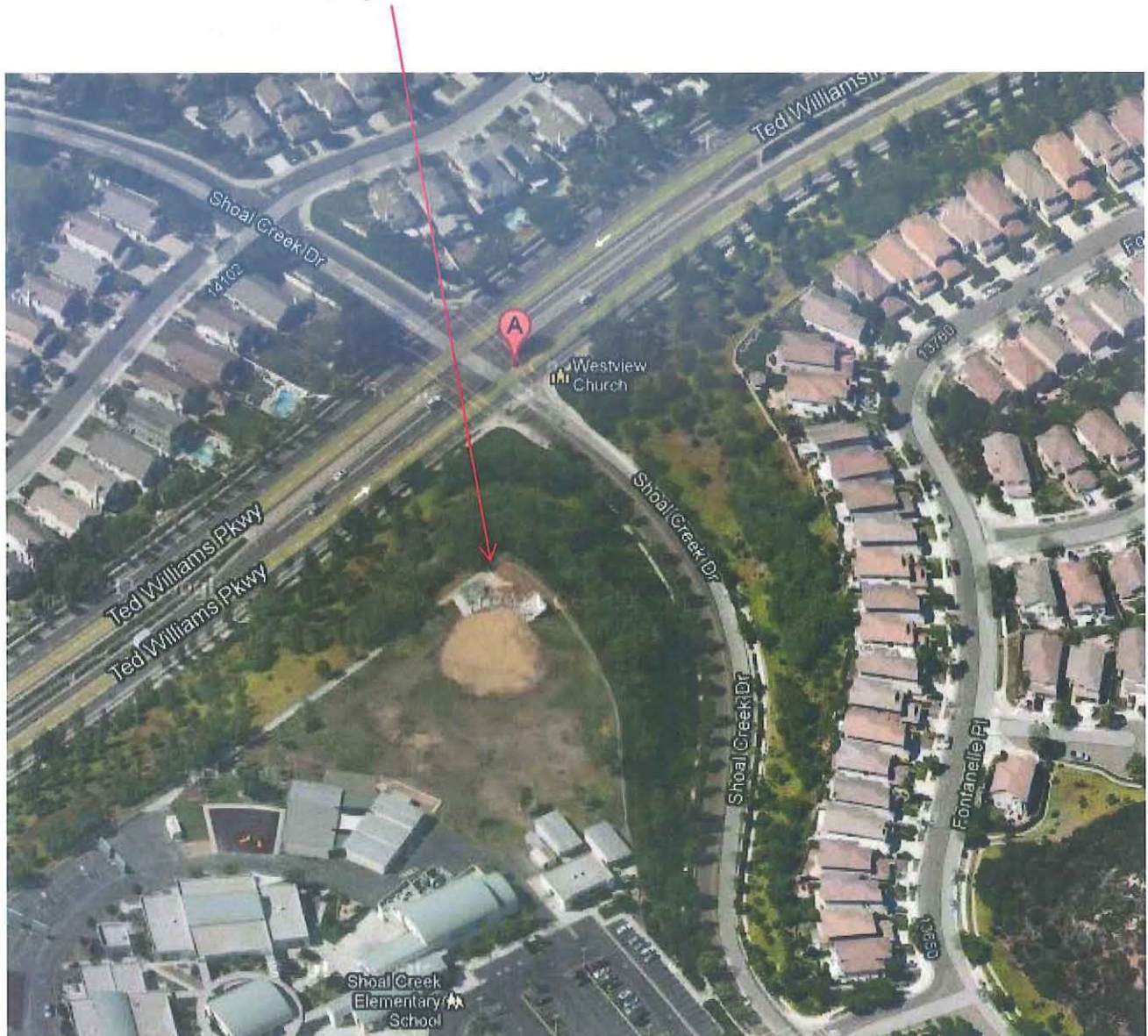


7. View looking south from site.
8. View looking west from site.



SD54XC925
TED WILLIAMS EAST - Photo Survey

Telecom Facility is within the baseball field surrounded by trees and a field.



From: R [mailto:rh@outthair.com]
Sent: Thursday, February 27, 2014 11:26 AM
To: Lynch, Karen
Subject: Re: PTS 342291 Verizon - Bernardo Plaza

Hi Karen,

You are not a bother. Our minutes for our most recent meeting will not be approved until our March meeting. I can say, as you know, that this application was unanimously approved by our board... 2-20-2014.

If you have anything else you want to email me, please advise.

Regards,

Richard House

Chair/RBCommPlanningBoard

619-222-9248



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101
 (619) 446-5000

Ownership Disclosure Statement

Approval Type: Check appropriate box for type of approval (s) requested: Neighborhood Use Permit Coastal Development Permit
 Neighborhood Development Permit Site Development Permit Planned Development Permit Conditional Use Permit
 Variance Tentative Map Vesting Tentative Map Map Waiver Land Use Plan Amendment Other

Project Title: VZW Bernardo Plaza **Project No. For City Use Only:**
342291

Project Address:
16771 Bernardo Center Drive

Part I - To be completed when property is held by individual(s)

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the owner(s) and tenant(s) (if applicable) of the above referenced property. The list must include the names and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all individuals who own the property). A signature is required of at least one of the property owners. Attach additional pages if needed. A signature from the Assistant Executive Director of the San Diego Redevelopment Agency shall be required for all project parcels for which a Disposition and Development Agreement (DDA) has been approved / executed by the City Council. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process.

Additional pages attached Yes No

<p>Name of Individual (type or print):</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address:</p> <p>City/State/Zip:</p> <p>Phone No: Fax No:</p> <p>Signature: Date:</p>	<p>Name of Individual (type or print):</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address:</p> <p>City/State/Zip:</p> <p>Phone No: Fax No:</p> <p>Signature: Date:</p>
<p>Name of Individual (type or print):</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address:</p> <p>City/State/Zip:</p> <p>Phone No: Fax No:</p> <p>Signature: Date:</p>	<p>Name of Individual (type or print):</p> <p><input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee <input type="checkbox"/> Redevelopment Agency</p> <p>Street Address:</p> <p>City/State/Zip:</p> <p>Phone No: Fax No:</p> <p>Signature: Date:</p>

Project Title: VZW Bernardo Plaza	Project No. (For City Use Only)
Part II - To be completed when property is held by a corporation or partnership	
Legal Status (please check): <input type="checkbox"/> Corporation <input checked="" type="checkbox"/> Limited Liability -or- <input type="checkbox"/> General) What State? _____ Corporate Identification No. <u>77-0460496</u> <input type="checkbox"/> Partnership	
By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. Note: The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. Additional pages attached <input type="checkbox"/> Yes <input type="checkbox"/> No	
Corporate/Partnership Name (type or print): <u>Banana Bernardo Plaza, LLC</u> <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: <u>1120 SILVERADO ST.</u>	Street Address:
City/State/Zip: <u>LA JOLLA CA. 92037</u>	City/State/Zip:
Phone No: <u>858-454-8857</u> Fax No: _____	Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): <u>Jana Michaelson</u>	Name of Corporate Officer/Partner (type or print):
Title (type or print): <u>V.P.</u>	Title (type or print):
Signature: <u>Jana Michaelson</u> Date: <u>10/2/13</u>	Signature: _____ Date: _____
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: 	Street Address:
City/State/Zip: 	City/State/Zip:
Phone No: _____ Fax No: _____	Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): 	Name of Corporate Officer/Partner (type or print):
Title (type or print): 	Title (type or print):
Signature: _____ Date: _____	Signature: _____ Date: _____
Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee	Corporate/Partnership Name (type or print): <input type="checkbox"/> Owner <input type="checkbox"/> Tenant/Lessee
Street Address: 	Street Address:
City/State/Zip: 	City/State/Zip:
Phone No: _____ Fax No: _____	Phone No: _____ Fax No: _____
Name of Corporate Officer/Partner (type or print): 	Name of Corporate Officer/Partner (type or print):
Title (type or print): 	Title (type or print):
Signature: _____ Date: _____	Signature: _____ Date: _____

**Project Chronology
Verizon – Bernardo Plaza
PTS No. 342291**

Date	Action	Description	City Review Time	Applicant Response
10/7/2013	Submittal for Completeness Check			
10/25/2013	Completeness Review Assessment		18 days	
11/19/2013	First Full Submittal	Deemed Complete		1 month, 6 days
12/20/2013	First Assessment		1 month, 1 days	
12/20/2013	Second Submittal			
1/22/2014	Second Assessment		1 month, 2 day	
1/22/2014	Notice of Exemption			
1/22/2014	Issues Resolved			
4/10/2014	Planning Commission Hearing		2 month, 19 days	
TOTAL STAFF TIME**			5 months 10 days	
TOTAL APPLICANT TIME**				1 month, 6 days
TOTAL PROJECT RUNNING TIME**			6 months, 3 days	

**Based on 30 days equals to one month.



THE CITY OF SAN DIEGO

DATE OF NOTICE: March 27, 2014

NOTICE OF PUBLIC HEARING PLANNING COMMISSION

DATE OF HEARING: April 10, 2014
TIME OF HEARING: 9:00 A.M.
LOCATION OF HEARING: Council Chambers, 12th Floor, City Administration Building,
202 C Street, San Diego, California 92101

PROJECT TYPE: PLANNED DEVELOPMENT PERMIT/NEIGHBORHOOD
DEVELOPMENT PERMIT, EXEMPT FROM THE
CALIFORNIA ENVIRONMENTAL QUALITY ACT
(CEQA), PROCESS 4

PROJECT NUMBER: 342291
PROJECT NAME: VERIZON – BERNARDO PLAZA
APPLICANT: Kerrigan Diehl, PlanCom, Inc.

COMMUNITY PLAN AREA: Rancho Bernardo
COUNCIL DISTRICT: 5

CITY PROJECT MANAGER: Karen Lynch, Development Project Manager
PHONE NUMBER/E-MAIL: (619) 446-5351 / klynchash@sandiego.gov

As a property owner, tenant or person who has requested notice, you should know that the Planning Commission will hold a public hearing to approve, conditionally approve, or deny an application for a Wireless Communication Facility consisting of 12 panel antennas, 12 Remote Radio Units and a 4-foot diameter microwave dish located within a decorative tower element on the building roof top of a commercial building located at 16771 Bernardo Center Drive. The associated equipment and a generator will be located in a 416-square foot enclosure at the rear of the shopping center. The project site is zoned CC-2-3.

The decision of the Planning Commission is final unless the project is appealed to the City Council. In order to appeal the decision of the Planning Commission you must be present at the public hearing and file a speaker slip concerning the application or have expressed interest by writing to the Planning Commission before the close of the public hearing. Please do not e-mail appeals as they will not be

accepted. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the office of the City Clerk, 202 "C" Street, Second Floor. The appeal must be made within 10 working days of the Planning Commission decision. If you wish to challenge the City's action on the above proceedings in court, you may be limited to addressing only those issues you or someone else have raised at the public hearing described in this notice, or written in correspondence to the City at or before the public hearing.

This project was determined to be categorically exempt from the California Environmental Quality Act on January 22, 2014 and the opportunity to appeal that determination ended February 7, 2014.

If you have any questions after reviewing this information, you can contact the City Project Manager listed above.

This information will be made available in alternative formats upon request. To request an agenda in alternative format or to request a sign language or oral interpreter for the meeting, call Support Services at (619) 321-3208 at least five working days prior to the meeting to insure availability. Assistive Listening Devices (ALD's) are also available for the meeting upon request.

Internal Order Number: 24004117

Revised 10-4-12 HMD-