



THE CITY OF SAN DIEGO

REPORT TO THE PLANNING COMMISSION

DATE ISSUED: April 3, 2014 **REPORT NO. PC-14-027**

ATTENTION: Planning Commission, Agenda of April 10, 2014

SUBJECT: APPEAL OF THE SUNROAD CENTRUM PHASES 4 & 5
SUBSTANTIAL CONFORMANCE REVIEW PROJECT NO. 347300,
PROCESS TWO

REFERENCE: Planning Commission Report No. PC-12-035 - *Sunroad Centrum Residential*, Phases 3-5, Project No. 257079. Available for viewing at:
<http://www.sandiego.gov/planning-commission/documents/pcreports/2012/may.shtml>

**OWNER/
APPLICANT:** Sunroad Enterprises (Attachment 10)

SUMMARY

Issue (s): Should the Planning Commission approve or deny an appeal of staff's decision to approve a Substantial Conformance Review to revise architectural plans and eliminate surplus parking for a 550 residential unit project located between Lightwave Avenue and Spectrum Center Boulevard, within the Kearny Mesa Community Planning area?

Staff Recommendation(s): Deny the appeal and Uphold the Staff decision to Approve Substantial Conformance Review Project No. 347300.

Community Planning Group Recommendation: The Kearny Mesa Community Planning Group voted 10-0-0 on December 19, 2013, to approve the project with no conditions (Attachment 11).

Environmental Review: The property is subject to Final Environmental Impact Report (FEIR) No. 96-0165, Addendum to FEIR No. 99-1269 and Mitigated Negative Declaration (MND) No. 41-0101, previously certified by the City Council and the Planning Commission. This Environmental Impact Report adequately describes the activity for the purposes of the California Environmental Quality Act. The project is subject to a Mitigation, Monitoring and Reporting Program and shall conform to the mitigation conditions as contained in EIR No. 96-0165, EIR Addendum LDR NO. 99-

1269 and MND LDR No. 41-0101. The revised project pursuant to the Substantial Conformance Review substantially conforms to the previously certified environmental documents. Reference the attached SCR memorandum dated April 10, 2014 (Attachment 12).

Fiscal Impact Statement: None with this action. The processing of the project is funded by a deposit account maintained by the applicant.

Code Enforcement Impact: None.

Housing Impact Statement: The revised project scope pursuant to the Substantial Conformance Review will not create a Housing Impact. The proposed 550 dwelling units approved by the Planning Commission on May 3, 2012 as identified in Planned Development Permit (PDP) No. 905832, Project No. 257079, will remain the same.

The 13.87-acre project site is designated as Mixed Use Commercial/Residential in the New Century Center Master Plan within the Kearny Mesa community. This land use designation would allow medium to high density residential development. The project is proposing to provide 550 dwelling units at a density of 89 units per acre on the 7.61-acre portion of the site proposed for the residential units. There are currently no housing units on site. As conditioned by the PDP (Condition No. 13), the applicant may either pay the inclusionary affordable housing in-lieu fee to the City of San Diego or, enter into an agreement with the San Diego Housing Commission to provide a minimum of 10 percent of the total units on site as affordable units to households earning at or below 100 percent of the area medium income in compliance with the Inclusionary Affordable Housing Regulations.

BACKGROUND

The proposed project is an appeal of the Process Two staff level decision dated January 30, 2014, to approve a Substantial Conformance Review (SCR) for *Sunroad Centrum Phases 3-5*, (original Project No. 257079), approved by the Planning Commission on May 3, 2012. Condition number 39 of the Permit requires an SCR for project changes. The SCR application proposes architectural modifications to Phases 4 and 5 of the approved development, including the addition of a podium level pedestrian walkway between Phase 4 and Phase 5 and elimination of one level of surplus parking under both buildings. Phase 3 of the original project consists of 127 units and is now under construction. As such, the SCR application pertains to Phases 4 and 5 only. Staff approved the SCR request on January 30, 2014. On January 30, 2014, Cory Briggs, Attorney for Briggs Law Corporation, filed an appeal on behalf of the San Diegans for Open Government & CREED-21. Reference Attachments 5-7 for the SCR application, the SCR Notice of Decision and the Appeal Application.

Site History: The project site is located on 13.87 acres of the former General Dynamics site. The original New Century Center Master Plan was approved by the City Council on November 18, 1997, allowing General Dynamics (the original owner) to develop a high-density, mixed use retail, commercial and industrial business park on 242-acres centrally located within the Kearny Mesa Community Plan area (Attachments 1-3). The original master development approvals

included the New Century Center Master Plan as part of the Kearny Mesa Community Plan, a Development Agreement between the City of San Diego and General Dynamics (Document No. 00-18448), and a Master Planned Industrial/Planned Commercial/Planned Residential Development Permit/ (PID/PCD/PRD) No. 96-0165. PRD No. 99-1269 dated 2000 and amended in 2002 (including Mitigated Negative Declaration No. 41-0101), amended the Master Plan to allow additional residential density.

This site is designated for Mixed Use Commercial and Residential development. The property is currently zoned CC-1-3 but is vested by the Development Agreement to the old CA zone. Developments must conform to the previously approved discretionary permits, the Master Plan and the CA zone. (Refer to the "Reference" materials on Page 1 of this report, and Attachment 8, the recorded Planned Development Permit Project No. 257079 which governs the site).

Attachment 4 contains a chronology of previous entitlements from the year 2000 through 2012. The majority of the Master Plan area has been developed; however, a few remaining vacant parcels have been approved for office buildings and parking structures. The subject parcels are currently improved with a temporary paved surface parking lot for an adjacent office building to the west ("Bridgepoint Office Building"). This parking would be relocated into an approved parking structure adjacent to the Bridgepoint building before construction of the proposed two residential buildings (Phases 4 and 5) commences. Just east of the subject property is the newly constructed 2.0 acre Centrum Park, Phase 3 of the previous approved project (PTS 257079) and Sunroad Centrum Phase 2. Both Phase 2 and 3 are currently under construction. The original project (No. 257079) approved by the Planning Commission on May 3, 2012, included 550 apartment units in two (2) seven story buildings over three (3) levels of parking with a maximum height of 83 feet. There are 245 attached units in Phase 4 and 305 units in Phase 5. Each building includes a recreation center, and street level retail/lease spaces.

Substantial Conformance Review Project No. 347300 Phases 4 and 5 (Attachments 13-15).

Attachment 13 contains comparison conceptual renderings/perspectives of the project as originally approved by the Planning Commission in 2012 and as proposed with the SCR. This attachment also includes a table which summarizes the proposed changes. The SCR proposes to maintain the existing unit count (550), and the same number of stories above grade (7) with a maximum height of 88 feet and the addition of a podium level pedestrian bridge. The new pedestrian bridge would connect the deck and pool areas of Phase 4 and 5 buildings. The complete set of the Exhibit A plans of the original approval and the SCR plans are included as Attachments 14 and 15. The key project modifications proposed by the SCR application include:

1. Revisions to the unit mix: 25 three bedroom units were added, (none were proposed with the original project); the number of two-bedroom units increased from 207 to 209; the one-bedroom unit count increased from 248 to 278; and the number of studio units decreased from 95 to 38 units.
2. Elimination of 704 parking spaces: one level of below grade as extra parking under Phases 4 and 5 would be eliminated. These spaces were originally planned by the applicant to be reserved for the adjacent office building and are not spaces required by the City's parking regulations for either the residential development or the adjacent office building.

3. The maximum building height on some architectural elements has increased from 83 feet to 88 feet. The applicant has obtained a No Hazard letter from the Federal Aviation Administration for the previous design and the current revised design as proposed with this SCR.

4. The addition of a pedestrian bridge connecting Phases 4 and 5 buildings at the pool deck level (3rd level).

5. The first floor retail area has decreased from 5,100 square feet to 3,000 square feet. The leasing area has been reduced from 8,700 square feet to 5,000 square feet. There is no minimum ground floor retail requirement for residential developments in the NCC Master Plan

The applicant has stated that these modifications are desirable due to several factors as restated below:

Refined market research of the project's identified target demographic has revealed that a three bedroom product would be a strong complement to the Studio, and the 1 and 2 bedroom units originally approved and that the Studio units are in less demand. The "extra" level of parking was originally requested to allow the commercial office project to be parked at about 50% above the level most often required by tenants. However, the extra cost associated with the increased parking ratio is not supported by demand from the existing market to warrant building it on a speculative basis.

Staff has reviewed the SCR and determined that the proposed modifications are consistent with all previously approved documents. The revisions are minor in scope given the size of the development, within the guidelines for the review of SCRs pursuant to Information Bulletin No. 500 (Attachment 9) San Diego Municipal Code sections 126.0112 and 113.0113, and the revised design continues to meet or exceeds all of the City's parking requirements.

DISCUSSION

As noted above, on January 30, 2014, the Development Services Department issued a Notice of Determination on the SCR and the item was subsequently appealed. Below is a summary of the appeal issues and with staff's response:

ITEM #1: The proposed revisions are inconsistent with factors and issues discussed at the public hearings and only minor changes such as to a project's parking and traffic circulation should be considered or approved under an SCR review.

Although the appeal application doesn't identify which factors or issues were discussed at public hearing, the issues discussed at the Planning Commission May 2012 hearing focused primarily on traffic, affordable housing, park requirements and urban design. The 704 parking spaces reserved for the adjacent office development were not required by the parking regulations and their removal does not change the physical appearance of the development. The addition of the pedestrian bridge will provide residents access to the amenities (pool and deck areas) between the two buildings which will potentially reduce the pedestrian versus vehicular traffic conflicts at the street level. The new connecting bridge is an improvement to the project in that it will

provide an additional access point for residents of both buildings. The bridge addition is a visual change to the approved elevations that has no affect upon any of the issues discussed at the public hearing.

Item #2: Removal of an entire level of parking and construction of a bridge is not a minor change.

Elimination of the surplus parking spaces has no impact on the traffic circulation nor does it modify ingress or egress to the proposed project. Additionally, please reference Item #1 concerning the addition of the bridge.

Item #3: Architectural changes resulting from the revisions are not “equal or better to” the conceptual plans that were approved.

The San Diego Municipal Code and Substantial Conformance Information Bulletin No. 500 provide regulations and guidelines for staff’s analysis of SCRs. The information bulletin states that an overriding goal is a design that is “better than or equal to” the conceptual plans that were originally approved. The revised building elevations and height are slightly different from the original approval however the bulk and scale, building façade materials and color scheme remain the same. These materials included brick/tile veneer for lower floors and plaster for upper levels. Staff’s analysis is that this guideline has been met.

Item #4: The proposed revisions are not in substantial conformance with the previous environmental documents.

The appeal application does not state how the SCR is not in conformance with the previous environmental documents. Staff has determined that the modifications substantially conform to Environmental Impact Report No. 96-0165, Addendum Environmental Impact Report No. 99-1269 and Mitigated Negative Declaration No. 41-0101. The SCR would not result in impacts that were not previously addressed.

Item #4: The revisions are inconsistent with permit conditions.

The appeal application does not identify how the revisions are inconsistent with permit conditions. The SCR is consistent with all applicable permit conditions and the final SCR Exhibit A drawings will reflect the project modifications.

Conclusion:

Staff has reviewed the application for the Substantial Conformance Review and has determined that the proposed revisions to the project substantially conform to the originally approved project. Staff recommends that the Planning Commission deny the appeal and approve the SCR as proposed.


ALTERNATIVES:

1. **Deny** the appeal and **Approve** the Substantial Conformance Review, with modifications.
2. **Approve** the appeal and **Deny the** Substantial Conformance Review No. 2360470.

Respectfully submitted,



Mike Westlake
Assistant Deputy Director
Development Services Department



Jeannette Temple Interim Deputy Director
Development Services Department

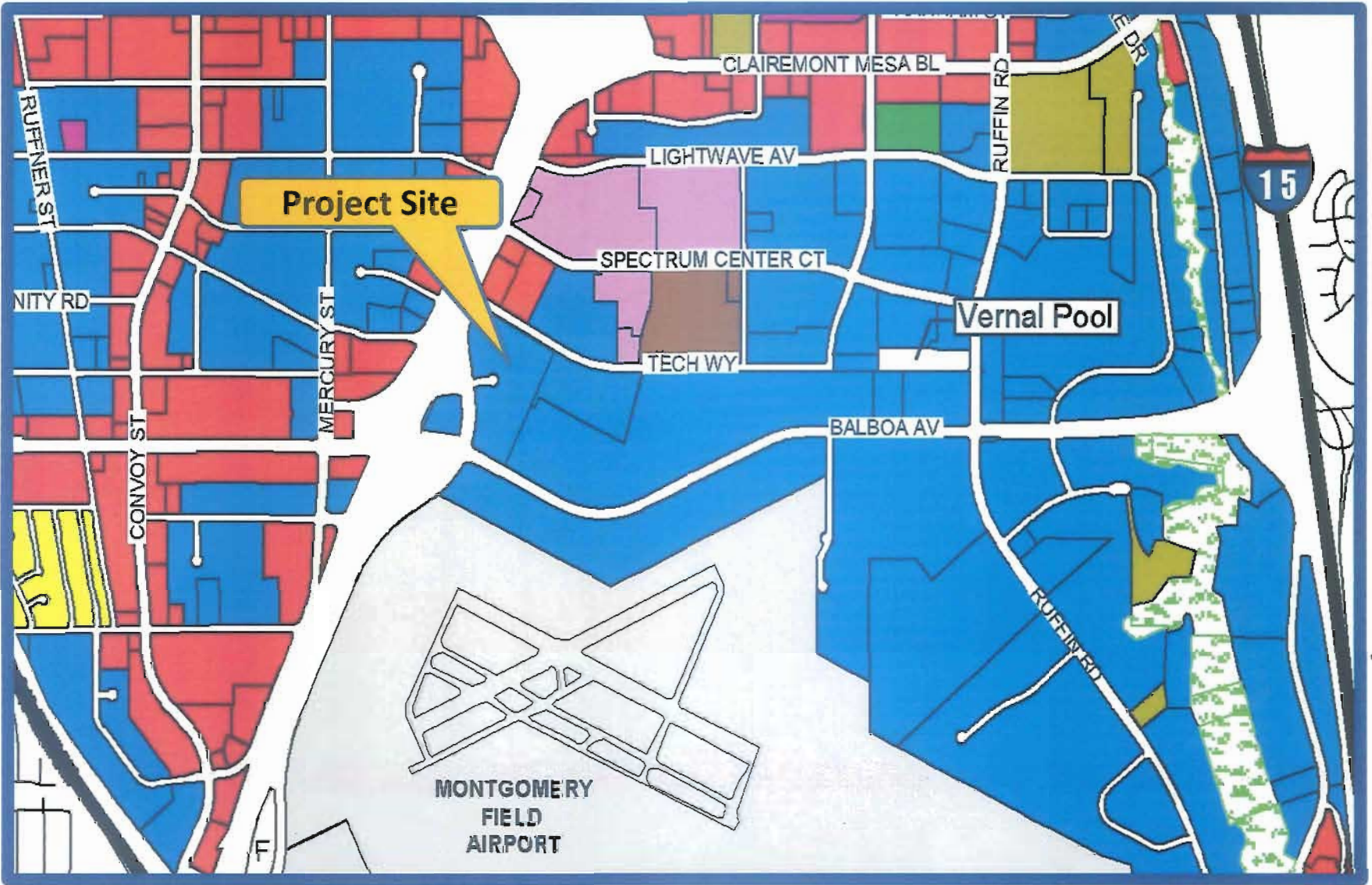
RAV/SMT

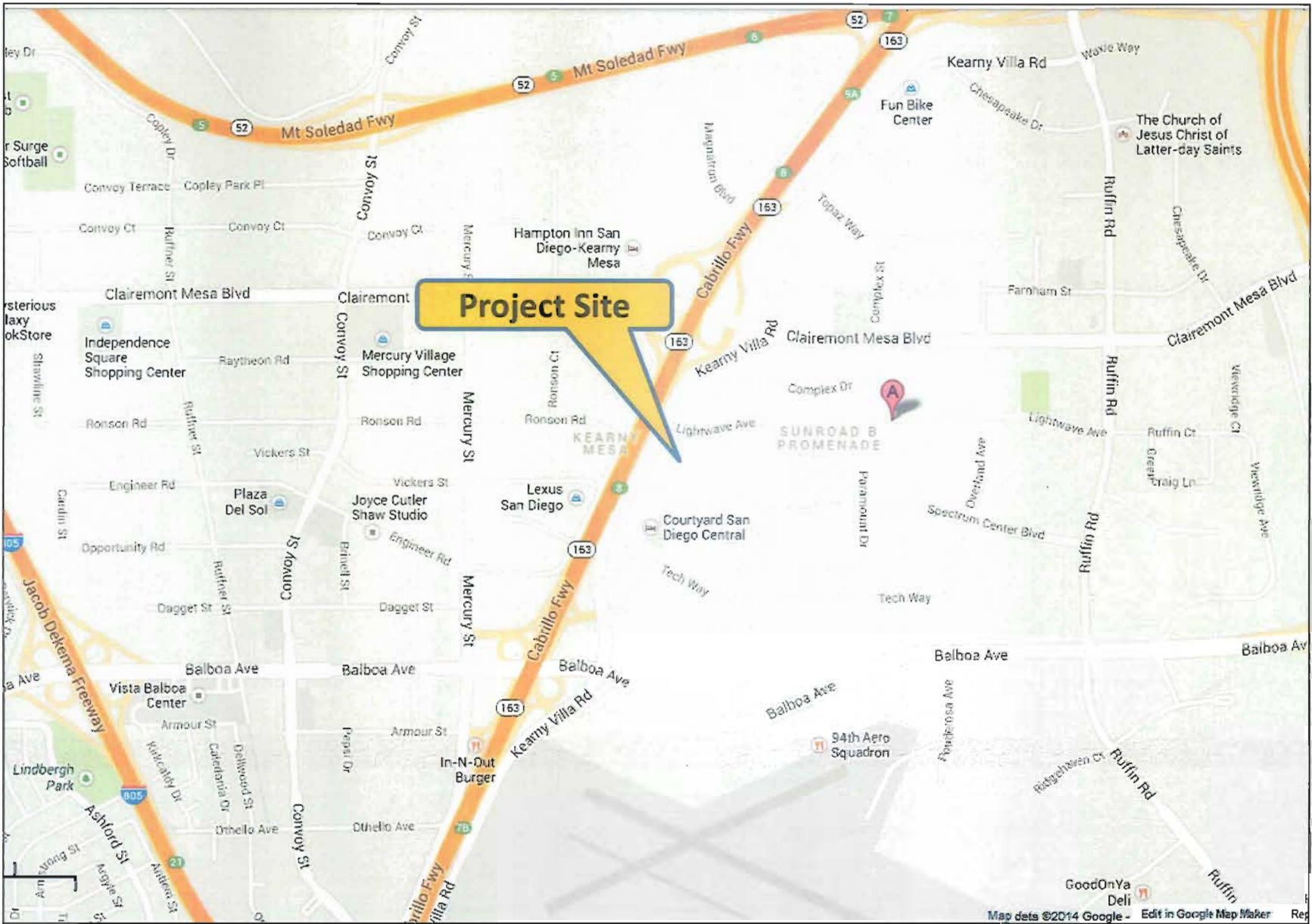
Attachments:

1. Aerial Photograph
2. Community Plan Land Use Map
3. Project Location Map
4. Background/Chronology Site Information
5. Substantial Conformance Review Application - November 7, 2013
6. Notice of Decision - January 30, 2014
7. Appeal Application - January 30, 2014
8. Recorded Permit and Approved Vesting Tentative Map, Project No. 257079
9. SCR Information Bulletin 500
10. Ownership Disclosure Statement
11. Community Planning Group Recommendation
12. SCR Memorandum from EAS Staff April 10, 2014
13. Renderings of Comparison Exhibits (Original Design/Proposed Design)/Table
14. Exhibit "A" Approved by the Planning Commission May 3, 2012, Project No. 257079
15. SCR Project Plans

Attachment 1 Master Plan/Aerial Photo







Attachment 3
Project Location Map

**NEW CENTURY MASTER PLAN CHRONOLOGY OF ENTITLEMENTS
2000 - 2012**

October 3, 2000: Planned Industrial Permit/Planned Commercial Development Permit No. 99-1269 amended the original approval, Permit No. 96-0165, to include residential use in the western portion of the property. Amendments to the New Century Center Master Plan were also approved in October of 2000, to allow 448 residential units in Planning Area 3B of the Master Plan and 550 dwelling units in the commercial mixed use area, part of which includes the subject site. The Development Agreement was amended on October 3, 2000, to address the addition of residential use.

November 12, 2002: Amendment to the Master Plan was approved to allow 570 additional residential units on the 33 acre commercial/mixed use area (Planning Areas “1A” “1B” and “2B”) and an eight acre industrial area (Planning Area “3A”)(Attachment 13). This approval brought the total permitted residential units in the Master Plan area to 1,568. Development of the additional 570 units required the provision of a minimum two-acre park on-site and a shuttle service to serve the residential uses. Per the City Council’s action, implementation of the park and shuttle service requirement will be triggered by the issuance of the 999th building permit.

April 17, 2003: The Planning Commission approved a Planned Development Permit and Tentative Map Waiver (PTS No. 5711), under a separate ownership, to construct 90 condominiums at the Sunroad A site. Also, on April 17, 2003, the Planning Commission approved a Planned Development Permit and Tentative Map Waiver (PTS No. 5715) to construct 168 condominiums at the Sunroad B property (also known as Promenade).

May 15, 2003: The Planning Commission approved a Planned Development Permit and Tentative Map Waiver (PTS No. 5611) for the Spectrum Townhomes project to allow development of thirteen buildings with a total of 148 townhome condominium units.

June 19, 2003: The Planning Commission approved a Planned Development Permit and Tentative Map Waiver (PTS No. 2552) to construct 120 condominium units.

April 28, 2008: The City Council approved the Sunroad Centrum Residential Project (on appeal) which proposed the construction of 508 dwelling units total in one (1), five-story residential building and two (2), four-story multi-family residential buildings with underground parking, and the creation of a 2-acre public park. Part of the project approval was the requirement to record a Covenant, Restriction and Negative Easement Prohibiting Development of Land signed by both SDG&E and Sunroad Enterprises that provided a method to satisfy the provision in the Master Plan with the City of San Diego as a third party. The agreement restricted development on and around the location of the potential relocation site of a SDG&E substation as identified in the New Century Center Master Plan. The Covenant, Restriction and Negative Easement Prohibiting Development of Land was released by SDG&E, and the Covenant terminated by recordation of a Quitclaim Deed on April 11, 2011.

May 3, 2012: The Planning Commission approved a Planned Development Permit and Vesting Tentative Map for the Sunroad Centrum Phases 3 – 5 for the construction of 677 residential condominium units and amenities, a 2-acre park site and eleven commercial condominium units.



4445 Eastgate Mall
Suite 400
San Diego, California
92121
(858) 362-8500
Fax: (858) 362-8448

November 7, 2013

Jeanette Temple
Supervising Development Project Manager
Development Services Department
1222 First Av, MS 501
San Diego, CA 92101

Subject: Sunroad Centrum Phases 3-5 SCR

Dear Ms. Temple,

Attached is the application for SCR for the subject project. Because the Phase 3 portion of the original approval was permitted and is now under construction, this SCR application pertains to only Phases 4 and 5. Since the project SDP was approved in 2012, a number of changes have occurred in our design for Phases 4 and 5; first, the 'extra' parking originally planned under Phases 4 and 5 to support the adjacent office use will not be necessary. Second, we have hired KGT Architects to prepare the construction drawings and third, we have made a slight adjustment to the mix of units as depicted in the attached comparison with the approved Exhibit 'A'.

Most importantly, the number of stories above grade (7) and the total number of units (550) remain unchanged. The average unit size at 840 sf is 30-40 sf per unit smaller based on a slight change in the unit mix. The number of 2 bedroom units at 207 remains about the same (209 in Exhibit A) but in order to add 25 three bedroom units and to increase the number of 1 bedroom units from 248 to 278 we have reduced the number of studio units from 95 to 38.

The retail area has increased from 5,100 sf to 5,500 sf and the leasing area has been reduced from 8,700 sf to 8,000 sf for a net reduction of ground floor retail of 400 sf. While strongly encouraged by the NCC Master Plan, no minimum ground floor retail is required for residential development in the applicable CA zone.



The details of the architectural are slightly different but the materials, color scheme, and building articulation is essentially the same. There has been a 0-5 foot height increase and a new FAA No Hazard Determination (FAA Part 74-60) will be provided to the City as soon as we have received it.

Perhaps the most significant change is the proposed addition of a pedestrian bridge that will provide residents and guests direct access between the Phase 4 and Phase 5 buildings at the courtyard level where the pools and amenity spaces are located.

As established by the New Century Center Master Plan, (Vol. 1. Section II.A.1.d.), *'Residential development will be governed by the **lot area, building height, setback, and lot coverage requirements** (emphasis added) set forth in the Planned Development Permit (PRD) The PRD restrictions shall constitute the sole means to regulate the density of residential development proposal within the confines of the underlying zone.'* The four criteria for regulating density in the subject project are essentially the same between Exhibit 'A' and the proposed modifications. Although the proposed FAR of the modified project is essentially the same as the FAR approved with Exhibit 'A', the project's FAR is not a controlling criteria under the NCC Master Plan.

We look forward to the timely review and completion of this SCR.

Sincerely,

A handwritten signature in black ink, appearing to read "Tom Story".

Tom Story



THE CITY OF SAN DIEGO

Date of Notice: January 30, 2014

CORRECTED NOTICE OF DECISION

DEVELOPMENT SERVICES DEPARTMENT

Internal Order No. 24004211

APPROVAL TYPE(S):	Substantial Conformance Review
PROJECT NAME/NUMBER:	SUNROAD CENTRUM PHASES 4&5 SCR – PROJECT NO. 347300
APPLICANT:	Sunroad Enterprises
COMMUNITY PLAN AREA:	Keanry Mesa
COUNCIL DISTRICT:	6
CITY PROJECT MANAGER:	Jeannette Temple, Development Project Manager
MAILING ADDRESS:	1222 First Avenue, MS 501, San Diego, CA 92101-4153
PHONE NUMBER/E-MAIL:	(619) 557-7908

On January 15, 2014, Development Services for a Substantial Conformance Review (PROCESS 2) to PTS# 257079 to revise architectural plans for Phases 4 and 5 residential projects. Substantial Conformance Review will remove an excess parking level, planned as overflow employee parking for adjacent commercial office buildings (no longer needed), add a bridge to connect phases 4 & 5, raise underground parking with elevations remaining similar, and increase height slightly. The project is located between Lightwave Ave and Spectrum Center Boulevard in the CA zone (Old Code) within the NCCMP, Council District 6. This application was filed on November 12, 2013.

If you have any questions about this project, the decision, or wish to receive a copy of the resolution approving or denying the project, contact the City Project Manager above.

The decision by staff can be appealed to the **Planning Commission** no later than twelve (12) business days of the decision date. See Information Bulletin 505 "Appeal Procedure", available at www.sandiego.gov/development-services or in person at the Development Services Department, located at 1222 First Avenue, 3rd Floor, San Diego, CA 92101. Please do not e-mail your appeal as it will not be accepted. The decision of the Planning Commission is final.

This project is within the scope of Environmental Impact Report No. 96-0165, Addendum EIR No. 99-1269, and MND 41-0101. This Environmental Impact Report adequately describes the activity for the purposes of CEQA. The project is subject to a Mitigation, Monitoring and

Reporting Program (MMRP) and shall conform to the mitigation conditions as contained in the EIR No. 96-0166, EIR Addendum LDR No. 99-1269 and MND LDR No. 41-0101.

This information will be made available in alternative formats for persons with disabilities upon request.

cc: Jeffrey Sallen, Kearny Mesa Planning Group



City of San Diego
 Development Services
 1222 First Ave. 3rd Floor
 San Diego, CA 92101

Development Permit/ Environmental Determination Appeal Application

FORM
DS-3031
 OCTOBER 2012

See Information Bulletin 505, "Development Permits Appeal Procedure," for information on the appeal procedure.

1. Type of Appeal:

- Process Two Decision - Appeal to Planning Commission
- Process Three Decision - Appeal to Planning Commission
- Process Four Decision - Appeal to City Council
- Environmental Determination - Appeal to City Council
- Appeal of a Hearing Officer Decision to revoke a permit

2. Appellant Please check one Applicant Officially recognized Planning Committee "Interested Person" (Per M.C. Sec. 113.0103)

Name: San Diegans for Open Government & CREED-21 c/o Briggs Law Corp. E-mail Address: cory@briggslawcorp.com
 Address: 99 East "C" Street, Suite 111 City: Upland State: CA Zip Code: 91786 Telephone: (909) 949-7115

3. Appellant Name (As shown on the Permit/Approval being appealed). Complete if different from appellant.

Sunroad Enterprises

4. Project Information

Permit/Environmental Determination & Permit/Document No.:	Date of Decision/Determination:	City Project Manager:
Substantial Conformance Review- Project No. 347300	January 15, 2014	Jeannette Temple
Decision (describe the permit/approval decision): Approval of Substantial Conformance Review to PTS #257079		

5. Grounds for Appeal (Please check all that apply)

- Factual Error
- Conflict with other matters
- Findings Not Supported
- New Information
- City-wide Significance (Process Four decisions only)

Description of Grounds for Appeal (Please relate your description to the allowable reasons for appeal as more fully described in Chapter 11, Article 2, Division 5 of the San Diego Municipal Code. Attach additional sheets if necessary.)

City Staff incorrectly determined that revisions to Phase 4 and Phase 5 of the Sunroad Centrum Project substantially conform to previous approvals for this Project because the revisions are inconsistent with factors and issues that were specifically discussed and addressed by staff and the decision-maker at public hearings on the Project. As such, a finding of substantial conformity is not supported by any, let alone substantial, evidence. By way of example and without limitation, only minor changes to an approved project's parking and traffic circulation should be considered or approved under substantial conformity review. Removal of an entire level of parking and construction of a bridge do not qualify as a minor change. Furthermore, the architectural changes resulting from the revisions are not "better to or equal to" the conceptual plans that were approved. Furthermore, City Staff erroneously found that the revisions are in substantial conformance with the Project as previously approved even though the revisions exceed the elements described and analyzed in previous environmental documents. Furthermore, the revisions are inconsistent with permit conditions, even though such inconsistencies are not allowed.

The appeal fee is being paid under protest. The fee is not authorized under the San Diego Municipal Code. No resolution or ordinance purporting to authorize the appeal fee has been lawfully approved and signed.

6. Appellant's Signature: I certify under penalty of perjury that the foregoing, including all names and addresses, is true and correct. *TO THE BEST OF MY KNOWLEDGE.*

Signature: Date: January 29, 2014
 Cory Briggs, Attorney for Appellants

Note: Faxed appeals are not accepted. Appeal fees are non-refundable.

RECEIVED JAN 30 2014

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION 501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

THE ORIGINAL OF THIS DOCUMENT
WAS RECORDED ON MAY 25, 2012
DOCUMENT NUMBER 2012-0308429
Ernest J. Dronenburg, Jr., COUNTY RECORDER
SAN DIEGO COUNTY RECORDER'S OFFICE
TIME: 10:52 AM

SPACE ABOVE THIS LINE FOR RECORDER'S USE

INTERNAL ORDER NUMBER: 24002154

PLANNED DEVELOPMENT PERMIT NO. 905832
SUNROAD CENTRUM RESIDENTIAL PHASES 3-5 - PROJECT NO. 257079
PLANNING COMMISSION

This Planned Development Permit No. 905832 is granted by the Planning Commission of the City of San Diego to Sunroad Centrum, L.P., a California Limited Partnership, Owner and Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0604. The 7.61-acre site is located at between Lightwave Ave and Spectrum Center Blvd, west of Paramount Dr. in the CA zone of the New Century Center Master Plan (Currently CC-1-3) and Airport Influence Area within the Kearny Mesa Community Plan. The project site is legally described as Parcels 1, 2 and 4 of Parcel Map No. 20922, and a portion of Parcel 4 of Parcel Map No. 20847, Together with a portion of Parcel 6 of Parcel Map No. 18972.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct 677 residential condominium units (588 of those units through an average daily trip/square footage transfer within the New Century Center Master Plan Area PA-1A), eleven retail spaces, residential amenities and subterranean parking garages, described and identified by size, dimension, quantity, type, and location on the approved exhibits [Exhibit "A"] dated May 3, 2012, on file in the Development Services Department.

The project shall include:

- a. The construction of 677 residential condominium units in three buildings up to seven-stories in height, over three subterranean parking garages, totaling approximately 661,200 square feet of gross floor area including approximately 5,100 square feet of retail space;
- b. Residential amenities, recreation centers and leasing spaces;
- c. Landscaping (planting, irrigation and landscape related improvements);

ORIGINAL

- d. Off-street parking;
- e. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act [CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36 month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by May 17, 2015.
2. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
3. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
4. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
5. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
6. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
7. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may

be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

8. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

9. All of the conditions contained in this Permit have been considered and were determined-necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

10. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

11. This Permit may be developed in phases. Each phase shall be constructed prior to sale or lease to individual owners or tenants to ensure that all development is consistent with the conditions and exhibits approved for each respective phase per the approved Exhibit "A."

ENVIRONMENTAL/MITIGATION REQUIREMENTS:

12. Mitigation requirements in the Mitigation, Monitoring, and Reporting Program [MMRP] as contained in EIR No. 96-0166, EIR Addendum No. 99-1269, and MND 41-0101, shall apply to this Permit. These MMRP conditions are hereby incorporated into this Permit by reference.

AFFORDABLE HOUSING REQUIREMENTS:

13. Prior to receiving each residential building permit, the Owner/Permittee shall comply with the provisions of Chapter 14, Article 2, Division 13 of the San Diego Municipal Code ("Inclusionary Affordable Housing Regulations") by performing one of the following, at the Owner's/Permittee's sole election, as and to the extent permitted by applicable law.

a. Payment to the City of San Diego of the inclusionary affordable housing fee based upon the aggregate square footage of all residential units in the building permit, on terms set forth within the Inclusionary Affordable Housing Regulations; or

b. For new construction condominium development, the Owner/Permittee may enter into an agreement with the San Diego Housing Commission, secured by a performance deed of trust, to provide at least 10 percent of the total units as affordable to households earning at or below 100 percent of area median income in compliance with the Inclusionary Affordable Housing Regulations as referenced above. The agreement shall provide that the affordable units must be offered for sale within 12 months from issuance of the first residential building permit and that the Owner/Permittee shall diligently pursue the sale of such affordable units until all affordable units have been sold. If the affordable units are not offered for sale and/or sale is not diligently pursued by the Owner/Permittee, Owner/Permittee shall pay the inclusionary affordable housing fee for the entire project to the San Diego Housing Commission upon notice from the San Diego Housing Commission, based upon the fee in effect at the time of issuance of the first building permit, plus interest at the legal rate to date of payment. The Agreement, secured by a performance deed of trust, shall be executed before the issuance of the first residential building permit or the recordation of the final map, whichever shall first occur, in a form as approved by the San Diego Housing Commission and its General Counsel, and the Agreement shall provide that time is of the essence in marketing the affordable units.

AIRPORT REQUIREMENTS:

14. Prior to issuance of any building permit, the Owner/Permittee shall provide a valid "Determination of No Hazard to Air Navigation" issued by the Federal Aviation Administration [FAA].



ORIGINAL

ENGINEERING REQUIREMENTS:

15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the replacement of the existing curb ramp with a City standard curb ramp with truncated domes, at the southeast corner of Lightwave Avenue and Kearny Villa Road, satisfactory to the City Engineer.
16. Prior to the issuance of any construction permit, the Owner/Permittee shall enter into a Maintenance Agreement for the ongoing permanent BMP maintenance, satisfactory to the City Engineer.
17. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the Municipal Code, into the construction plans or specifications.
18. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate and show the type and location of all post construction Best Management Practices (BMP's) on the final construction drawings, consistent with the approved Water Quality Technical Report.
19. The drainage system for this project shall be private and will be subject to approval by the City Engineer.
20. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to requirements in accordance with the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
21. Development of this project shall comply with all storm water construction requirements of the State Construction General Permit, Order No. 2009-0009-DWQ and the Municipal Storm Water Permit, Order No. R9-2007-0001. In accordance with Order No. 2009-0009DWQ, a Risk Level Determination shall be calculated for the site and a Storm Water Pollution Prevention Plan (SWPPP) shall be implemented concurrently with the commencement of grading activities.
22. Prior to issuance of a grading or a construction permit, a copy of the Notice of Intent (NOI) with a valid Waste Discharge ID number (WDID#) shall be submitted to the City of San Diego as a proof of enrollment under the Construction General Permit. When ownership of the entire site or portions of the site changes prior to filing of the Notice of Termination (NOT), a revised NOI shall be submitted electronically to the State Water Resources Board in accordance with the provisions as set forth in Section II.C of Order No. 2009-0009-DWQ and a copy shall be submitted to the City.

LANDSCAPE REQUIREMENTS:

23. Prior to issuance of any construction permits for structures (including shell), complete landscape and irrigation construction documents consistent with the Landscape Standards shall be submitted to the Development Services Department for approval. The construction documents shall be in substantial conformance with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. Construction plans shall take into account a 40 sq-ft area


 ORIGINAL

around each tree which is unencumbered by hardscape and utilities as set forth under LDC 142.0403(b)(5).

24. In the event that a foundation only permit is requested by the Owner/Permittee, a site plan or staking layout plan shall be submitted identifying all landscape areas consistent with Exhibit 'A,' Landscape Development Plan, on file in the Office of the Development Services Department. These landscape areas shall be clearly identified with a distinct symbol, noted with dimensions and labeled as 'landscaping area.'

25. Prior to issuance of any Certificate of Occupancy, it shall be the responsibility of the Owner/Permittee to install all required landscape associated with the phased construction and obtain all required landscape inspections.

26. All required landscape shall be maintained in a disease, weed and litter free condition at all times. Severe pruning or "topping" of trees is not permitted unless specifically noted in this Permit.

27. The Owner/Permittee shall be responsible for the maintenance of all landscape improvements shown on the approved plans, including in the right-of-way, consistent with the Landscape Standards unless long-term maintenance of said landscaping will be the responsibility of a Landscape Maintenance District or other approved entity.

28. If any required landscape (including existing or new plantings, hardscape, landscape features, etc.) indicated on the approved construction document plans is damaged or removed during demolition or construction, it shall be repaired and/or replaced in kind and equivalent size per the approved documents to the satisfaction of the Development Services Department within 30 days of damage or Certificate of Occupancy.

PLANNING/DESIGN REQUIREMENTS:

29. Owner/Permittee shall maintain a minimum of 1,130 off-street vehicle parking spaces on the property at all times in the approximate locations shown on the approved Exhibit "A" (1,963 provided), as follows:

- a. Phase 3: A minimum of 216 off-street automobile parking spaces (with 277 off-street automobile parking spaces provided) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A." Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.
- b. Phases 4 & 5: A minimum of 915 off-street automobile parking spaces (with 1,686 off-street automobile parking spaces provided) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A." Further, all on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.



30. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

31. All signs associated with this development shall be consistent with sign criteria established by the New Century Center Master Plan Design Guidelines

32. The Owner/Permittee shall post a copy of each approved discretionary Permit or Tentative Map in its sales office for consideration by each prospective buyer.

33. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

PARKS & RECREATION REQUIREMENTS

34. The park requirement for 89 of the 677 residential units proposed by the project have previously been satisfied via the Sunroad Centrum Park Development Agreement (recorded document No. RR-303725). The balance of the proposed project's residential units (588 units) would create a requirement for 2.58 acres of population-based parks within the Kearny Mesa Community based on the General Plan population-based parks standards. The ad hoc fee for the 2.58 acres of park land required for the project's residents, based on the current fair market value of land and current design and construction costs and the project's proportional demand for a community and recreation center and aquatic complex shall be \$4,981,631. If the City has amended the Kearny Mesa Public Facilities Financing Plan prior to building permit issuance to include the project, then Owner/Permittee shall pay the applicable Kearny Mesa Development Impact Fee adopted by City Council resolution instead of the ad hoc fee.

35. Prior to issuance of the 90th residential building permit, the Owner/Permittee shall pay the ad hoc fee to fund acquisition, design and construction of the required park land, as well as a pro rata share of costs to provide for the project's demand for a community recreation center and aquatic complex based on General Plan population-based standards. The Owner/Permittee may make one payment of \$4,981,631, or may pay a pro-rated ad hoc fee of \$8,472.17 per residential unit for the last 588 residential units of the project prior to building permit issuance of each unit beginning with the building permit for the 90th residential unit of the project. The ad hoc fees will be placed into an interest bearing account (Fund #200636, Developers Contributions Fund) to be used for public park improvements to serve the increased population generated by the project within Hickman Field of the Kearny Mesa Community Plan area.

GEOLOGY REQUIREMENTS

36. The Owner/Permittee shall submit a geotechnical investigation report or update letter that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to issuance of any construction permits.

37. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to exoneration of the bond and grading permit close-out.

TRANSPORTATION REQUIREMENTS

38. A total of 5 on-site loading spaces (1 space - Phase 3, 2 spaces - Phase 4, & 2 spaces - Phase 5) shall be permanently maintained on the property within the approximate location shown on the project's Exhibit "A." Further, all loading space dimensions shall be in compliance with requirements of the City's Land Development Code, and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing by the Development Services Director.

39. Any changes in approved parking throughout the approved/constructed Spectrum project sites require an SCR process. At that time, if any of the multi-use parking governed by this permit (PTS #257079) are to be redistributed to support other sites(s) the following will need to be provided:

- a. A clear account of the minimum parking requirement for this project (PTS #257079).
- b. A clear account of the minimum parking requirement for the project requesting parking from this project site (PTS #257079).
- c. The number of spaces requested and distance between the requesting project site and the parking on this project site (PTS #257079).
- d. Plans clearly identifying how a physical separation/control between the minimum required residential parking spaces supporting this project (PTS #257079) and parking spaces that would be supporting other uses.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

40. Prior to the issuance of any building permits, the Owner/Permittee shall apply for a plumbing permit for the installation of appropriate private back flow prevention device(s), on each water service (domestic, fire and irrigation), in a manner satisfactory to the Director of Public Utilities and the City Engineer.

41. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public water facilities, including services and meters, in accordance with established criteria in the most current edition of the City of San Diego Water Facility Design Guidelines and City regulations, standards and practices pertaining thereto.

42. Prior to the issuance of any building permits, the Owner/Permittee shall assure, by permit and bond, the design and construction of all public sewer facilities are to be in accordance with established criteria in the most current City of San Diego sewer design guide.

43. All proposed private water and sewer facilities located within a single lot are to be designed to meet the requirements of the California Uniform Plumbing Code and will be reviewed as part of the building permit plan check.

44. No trees or shrubs exceeding three feet in height at maturity shall be installed within ten feet of any water and sewer facilities.

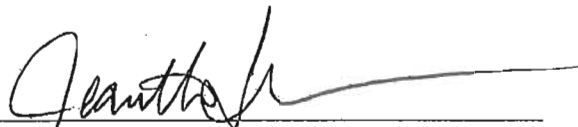
INFORMATION ONLY:

- The issuance of this discretionary use permit alone does not allow the immediate commencement or continued operation of the proposed use on site. The operation allowed by this discretionary use permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Planning Commission of the City of San Diego on May 3, 2012, and Resolution No. 4793-PC-2

Permit Type/PTS Approval No.: 257079
Date of Approval: 5/3/12

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES
DEPARTMENT



Jeannette Temple
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Sunroad Centrum, L.P.
Owner/Permittee

By 

Dan Feldman
President, Sunroad Enterprises

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

State of California

County of San Diego

On May 15, 2012 before me, Cindy Arreola, Notary Public

personally appeared Dan Feldman

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: Cindy Arreola

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document:

Document Date: Number of Pages:

Signer(s) Other Than Named Above:

Capacity(ies) Claimed by Signer(s)

Signer's Name: Signer's Name:

Corporate Officer --- Title(s): Corporate Officer --- Title(s):

Individual Individual

Partner --- Limited General Partner --- Limited General

Attorney in Fact Attorney in Fact

Trustee Trustee

Guardian or Conservator Guardian or Conservator

Other: Other:

Signer Is Representing: Signer Is Representing:

ORIGINAL

CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT

CIVIL CODE § 1189

State of California }
 County of San Diego }
 On May 21, 2012 before me, S. S. Wenceslao, Notary Public
Date Here insert Name and Title of the Officer
 personally appeared Jeannette Temple
Name(s) of Signer(s)



who proved to me on the basis of satisfactory evidence to be the person~~(s)~~ whose name~~(s)~~ ~~is/are~~ subscribed to the within instrument and acknowledged to me that ~~he/she/they~~ executed the same in ~~his/her/their~~ authorized capacity~~(ies)~~, and that by ~~his/her/their~~ signature~~(s)~~ on the instrument the person~~(s)~~, or the entity upon behalf of which the person~~(s)~~ acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: [Handwritten Signature]
Signature of Notary Public

Place Notary Seal Above

OPTIONAL

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

Description of Attached Document

Title or Type of Document: Sunroad Centrum Residential Phases 3-5 - PTS #257079

Document Date: _____ Number of Pages: _____

Signer(s) Other Than Named Above: _____

Capacity(ies) Claimed by Signer(s)

Signer's Name: _____ Signer's Name: _____

Corporate Officer — Title(s): _____ Corporate Officer — Title(s): _____

Individual Individual

Partner — Limited General Partner — Limited General

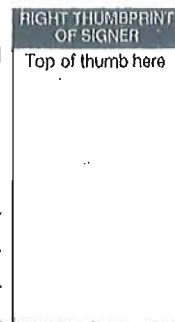
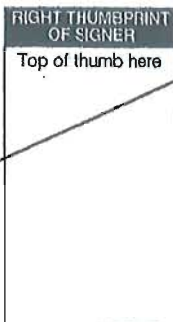
Attorney in Fact Attorney in Fact

Trustee Trustee

Guardian or Conservator Guardian or Conservator

Other: _____ Other: _____

Signer Is Representing: _____ Signer Is Representing: _____



ORIGINAL

PLANNING COMMISSION RESOLUTION NO. 4793-PC-2
 PLANNED DEVELOPMENT PERMIT NO. 905832
SUNROAD CENTRUM RESIDENTIAL PHASES 3-5 - PROJECT NO. 257079

WHEREAS, SUNROAD CENTRUM PARTNERS, L.P., a California Limited Partnership, Owner/Permittee, filed an application with the City of San Diego for a permit to construct 677 residential condominium units, 588 of those units through an average daily trip/square footage transfer within the New Century Center Master Plan Area PA-1A, eleven retail spaces, residential amenities and subterranean parking garages (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 905832);

WHEREAS, the project site is located on a 7.61-acre site is located at between Lightwave Ave and Spectrum Center Blvd in the CA zone of the New Century Center Master Plan (Currently CC-1-3) and Airport Influence Area within the Kearny Mesa Community Plan.;

WHEREAS, the project site is legally described as the project site is legally described as Parcels 1, 2 and 4 of Parcel Map No. 20922, and a portion of Parcel 4 of Parcel Map No. 20847, Together with a portion of Parcel 6 of Parcel Map No. 18972;

WHEREAS, on May 3, 2012, the Planning Commission of the City of San Diego considered Planned Development Permit No. 905832 pursuant to the Land Development Code of the City of San Diego;

WHEREAS, The project is subject to a Mitigation, Monitoring and Reporting Program (MMRP) and shall conform to the mitigation conditions as contained in the EIR No. 96-0165, EIR Addendum LDR No. 99-1269 and MND LDR No. 41-0101; NOW, THEREFORE,

BE IT RESOLVED by the Planning Commission of the City of San Diego as follows:

That the Planning Commission adopts the following written Findings, dated May 3, 2012.

A. Planned Development Permit - Section 126.0604

1. The proposed development will not adversely affect the applicable land use plan.

The proposed site is located at between Lightwave Ave and Spectrum Center Blvd in the CA zone of the New Century Center Master Plan (Master Plan) within the Kearny Mesa Community Plan area. The site is designated in the plan for Mixed Use Commercial and Residential, and is subject to the development criteria of the Master Plan, Design Manual and Development Standards. The project proposes to construct 677 residential units with on-site recreational facilities, and 5,100 sq. ft. of ground floor retail.

The project will provide a residential use conforming to site planning and architectural design guidelines, while creating a landscaped featured locale.

The residential element of the community plan includes the policy of encouraging residential development on urban infill sites within mixed-use projects. The Master Plan is a mixed-use

project and the proposed project will provide 677 dwelling units in a residential development in Planning Area 1A. Eighty Nine (89) of the proposed units are envisioned directly in the Master Plan, with the remaining 588 being proposed through a transfer of vehicle trips from within the same planning area that were envisioned for commercial retail/office uses.

The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Kearny Mesa Community Plan, New Century Center Master Plan, Design Manual, and Development Standards.

2. The proposed development will not be detrimental to the public health, safety, and welfare.

The project proposes to construct one 4-story residential building with 127 units, two 5-story residential buildings with a total of 550 units, subterranean parking, three recreation centers, and 5,100 sq. ft. of ground floor retail. The property is immediately surrounded by industrial/business parks to the north and mixed use commercial and residential to the south, west, and east. The proposed development would occur on private property.

The permit for the project includes various conditions and referenced exhibits of approval relevant to achieving project compliance with the applicable regulations of the Land Development Code (LDC) in effect for this project. Such conditions have been determined by the decision-maker as necessary to avoid adverse impacts upon the health, safety and general welfare of persons residing or working in the surrounding area. The project will comply with the development conditions in effect for the subject property as described in Planned Development Permit No. 325462, and other regulations and guidelines pertaining to the subject property per the LDC.

This project was addressed in the three previous environmental documents for the graded site including the Addendum to EIR No. 99-1269, EIR No. 96-0165, and the Sunroad Centrum Mitigated Negative Declaration LDR No. 41-0101. The project site does not contain any vernal pools, sensitive resources, or unique archeological resources, and complies with FAA regulations. The project is consistent with what was envisioned in the previous environmental documents and does not exceed the approved number of residential units or the average daily trips (ADT's). No new mitigation would be required.

The project would be subject to the Mitigation, Monitoring and Reporting Program (MMRP) conditions required by the previously cited environmental documents including the requirement for paleontological monitoring, a waste management plan, and transportation improvements. Therefore, the proposed development will not be detrimental to the public health, safety, and welfare.

3. The proposed development will comply with the regulations of the Land Development Code including any proposed deviations pursuant to Section 126.0602(b)(1) that are appropriate for this location and will result in a more desirable project than would be achieved if designed in strict conformance with the development regulations of the applicable zone; and any allowable deviations that are otherwise authorized pursuant to the Land Development Code.

The proposed project is located between Lightwave Avenue and Spectrum Center Boulevard in the CA zone of the New Century Center Master Plan (Master Plan) within the Kearny Mesa Community Plan Area. The site is designated in both the community plan and the Master Plan for Mixed Use Commercial and Residential, and is subject to the development criteria of the Master Plan, Design Manual and Development Standards. The project proposes to construct 677 residential units with on-site recreational facilities, 5,100 sq. ft. of ground floor retail and other amenities.

The proposed project will occupy a portion of the former General Dynamics campus, and the community plan includes a number of objectives. Specifically, the plan recommends that the site be developed with a mixture of uses including residential on the western portion; establish site planning standards and architectural design guidelines that will further a sense of community identity; create a featured locale within a landscaped setting that will establish an important central focus for the site, which is open to the public and provides pedestrian non-vehicular linkages; and provide park facilities if more than 998 dwelling units are constructed.

The project will provide a residential use conforming to site planning and architectural design guidelines, while creating a landscaped featured locale, and paying park fees.

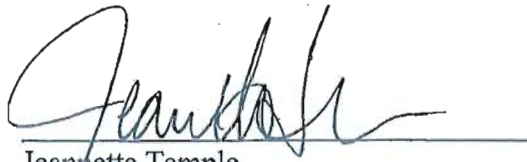
The residential element of the community plan includes the policy of encouraging residential development on urban infill sites within mixed-use projects. The Master Plan is a mixed-use project and the proposed project will provide 677 dwelling units and 5,100 sq. ft. of ground floor retail in a mixed use development.

This project is regulated by a preexisting Development Agreement (The New Century Center Master Plan) and is exempt from the Inclusionary Housing Ordinance.

The Development Standards (Volume 2) of the Master Plan require the inclusion of approximately 10% of the proposed units as affordable housing when more than 550 dwelling units have been constructed. Further, the Master Plan defines affordable housing as units for households earning no more than sixty-five percent (65%) of the median income, or an equally acceptable affordable housing program. Prior development rights have been approved for 526 residential units in these planning areas, leaving 24 units of the proposed project not subject to the affordable housing requirement. Therefore 484 residential units were subject to the affordable housing provision as stated in the Master Plan. Accordingly, prior City approvals required forty-eight (48) units of on-site affordable housing to be provided in Phases 1 and 2. The applicant has elected to pay the Affordable Housing in-lieu fee as calculated by the San Diego Housing Commission.

There are no proposed deviations. The project meets all applicable regulations and policy documents, and is consistent with the recommended land use, design guidelines, and development standards in effect for this site per the Kearny Mesa Community Plan, New Century Center Master Plan, Design Manual, and Development Standards, and the Land Development Code.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Planning Commission, Planned Development Permit No. 905832 is hereby GRANTED by the Planning Commission to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Permit No. 905832, a copy of which is attached hereto and made a part hereof.



Jeannette Temple
Development Project Manager
Development Services

Adopted on: May 3, 2012
Internal Order No. 24002154



THE CITY OF SAN DIEGO

MINIMUM STANDARDS FOR

Substantial Conformance Review

CITY OF SAN DIEGO DEVELOPMENT SERVICES
1222 FIRST AVENUE, MS 302, SAN DIEGO, CA 92101-4101

INFORMATION
BULLETIN

500

AUGUST 2013

The goal of Substantial Conformance Review (SCR) is to determine if the proposed project is consistent and in conformance with a previously approved permit. This includes a review of the revised project against the approved exhibits, permit conditions, environmental documentation, applicable land use policies and the public record for the prior permit. Staff will recommend approval of the modified project (utilizing the guidelines for measurement - see Attachment A) if the change falls within the parameters of the prior approval. A Substantial Conformance Review decision is either at staff-level (Process 1) or is a decision by staff that requires input from the Community Planning Group and is appealable to the Planning Commission (Process 2). (Please note that all Process 1 SCR applications are distributed to the affected community planning group as a courtesy notification). If the only prior discretionary action, however, was a tentative map or vesting tentative map and a final map for the project has been approved, then this service is not available.

For Wireless Communication Facility SCR's see information bulletin 536.

I. SUBSTANTIAL CONFORMANCE REVIEW -PROCESS 1

Unless otherwise stated as a permit condition or as required by the Municipal Code, Substantial Conformance Review is an optional service available to customers who are proposing to modify their project after a discretionary permit has been approved by the City. This optional service is offered to allow customers to provide only the information needed to make a conformance determination without having to go to the expense of preparing complete construction documents. The process does not include a review for conformance with other City regulations, which is performed when an application for a construction permit approval such as a building, grading, or public improvement permit is made.

Instead of a SCR, customers may choose to include their project changes as part of a complete construction permit application (building permit, grading permit, public improvement permit, etc.). Staff will review the project change for conformance with the prior permit as part of the process of checking the plans against applicable regulations. If the project changes are

Documents referenced in this Information Bulletin

- [Information Bulletin 512](#), How to Obtain Public Noticing Information
- [Information Bulletin 536](#), Submittal Requirements and Procedures for Wireless Communication Facilities
- [General Application, DS-3032](#)
- [General Application, DS-3035](#)
- [Deposit Account/Financially Responsible Party, DS-3242](#)

not deemed to be in conformance with the previously approved discretionary permit, minor to significant project redesign or an amendment to the previously approved permit may be required. The customer makes the choice to risk a full construction permit submittal or to opt for the more tailored SCR service.

II. SUBSTANTIAL CONFORMANCE REVIEW -PROCESS II

Some prior approvals require Substantial Conformance Review to go through a Noticed Decision process (Process 2). This higher decision process is either a condition within the development permit itself or is required by the Municipal Code (e.g., SCR's within the Coastal Overlay Zone).

III. SUBMITTAL REQUIREMENTS

Phone (619) 446-5300 to schedule a submittal appointment for SCR. At this appointment, provide the information in the quantities shown below. You may provide one copy of everything for a determination by staff of the final number of copies that would be required as the quantities may vary depending upon the magnitude of the change:

A. Provide ten (10) copies of the following:

1. A letter detailing the modifications being proposed to the project that was previously approved;
2. The final approved permit and resolution(s) of the subject permit; and the approved Exhibit A drawings and documents that are being affected by the proposed project modifications.

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
Upon request, this information is available in alternative formats for persons with disabilities.

Site Design – Site design changes can run the gamut from minor siting changes on a building to completely reorienting the footprint of one or more buildings or relocating parking, driveways, landscaping or some other approved element of a project.

This can be the most difficult of issues to evaluate. It could be possible to reverse the footprint of an entire shopping center and have no adverse results however doing the same for a single-family residence would adversely affect adjacent properties and be considered inappropriate without an amendment to the permit.

Site design changes proposed for an approved project should not significantly alter nor affect the other issues discussed here – Coordination of SCR review with other departments/divisions is generally necessary when there are site design changes proposed. Consultation with the Community Planning Group is critical in significant site design changes to ensure that the expectations of the Community during the original approval process are upheld. In many cases the modified site design is a result of more refined site studies, construction plans or specific tenant needs.

Parking/Circulation – Typically, minor changes to an approved project's parking and traffic circulation should be considered or approved under substantial conformity review.

Architecture – Review of proposed changes to the architectural style of an approved project should weigh the significance that the department and/or the decision-maker(s) placed on the appearance/architectural style of the project when it was approved. Where findings of neighborhood compatibility were required to be made, even minor changes to architectural elements or materials could be considered significant. Though the City does not regulate private views, increasing the height of a flat roof structure to a gabled roof could affect neighbors and lead to some controversy over why the design change occurs after the public hearing. The overriding goal should be that the modified plans result in a project that is "better than or equal to" the conceptual plans that were approved. This is an aesthetic determination, not an economic one.

Accessory Uses/Structures – Proposed Changes to a project's accessory uses or structures need to be reviewed within the context of the significance given to them in the course of the project review and approval process. Applicants cannot propose an Olympic size swimming pool and then convert the area to an open grassy space. However, substituting facilities of a similar nature and size may be acceptable. The addition of accessory uses/structures needs to consider whether the use or structure is truly accessory in nature to the approved use and project design and how it physically fits into the project.

Community Plan and Planning Group – No project can be found to be in substantial conformance if the proposed changes are inconsistent with any of the elements within the applicable community plan. For Process 1 SCR's, the relevant community planning group is provided with the SCR package as a courtesy notice only. However, if any input is provided by the planning group prior to the final staff decision, that input will be one of the factors considered by staff prior to a final decision.

Environmental Documents – No projects can be found to be in substantial conformance if it exceeds the elements described and analyzed in an environmental document. Increased density, grading, traffic, biological impacts, etc., needs to be closely scrutinized and evaluated.

Landscaping – The overriding principle is that wholesale modification in the overall amount of landscaping should not be approved. Minor changes may be appropriate but these must be viewed in the context of the full landscape program for the project. Eliminating significant amounts or types of landscape treatment only because of the cost is not substantial conformance. However, the replacement of landscape materials with drought tolerant plants may be allowed if the resulting landscape complies with the regulations of the San Diego Municipal Code.

Conditions – Conditions contained within a permit cannot be changed through substantial conformance review. Substantial conformance review can be used to make minor changes to an approved project or facility as described in a permit or shown on an Exhibit "A" as long as those changes comply with all conditions of the permit. Any changes that are inconsistent with permit conditions are not allowed.

NOTE: These items may be provided on one (1) CD-R with one (1) paper copy of permit and Exhibit A drawings.

3. Marked up Exhibit A drawings and documents or new drawings at the same scale as the approved exhibits that clearly show and highlight the proposed project modifications.
4. Plans with 6 sheets or less may be bound (stapled) and folded to 8 1/2" x 11" with the Title Block facing out. Plans with 7-19 sheets must be folded separately to 8 1/2" x 11" with the Title Block facing out. Plans with 20 or more sheets may be bound (stapled) and tri-folded.

B. General Application (DS-3032) Part I

C. Deposit Account / Financially Responsible Party (DS-3242)

D. Public Notice Package

Required for SCR's in the Coastal Zone or when a Process 2 SCR is required by a previously approved development permit. See Information Bulletin 512, "How to Obtain Public Noticing Information," for more details.

E. Supplemental Discretionary Project Application (DS-3035)

Provide when a Public Notice Package is required.

IV. FEES

The following fees and deposit are required at the time of project submittal or at issuance.

A. General Plan Maintenance Fee

This fee is charged at submittal for projects with plans and documents to be reviewed for compliance with the general plan or land development code provisions.

General Plan Maintenance Fee.....\$275

B. Mapping Fee

This fee is charged at submittal when there are plans, drawings, maps or other geographical documents utilized for project review.

Mapping Fee\$10

C. Discretionary Project Close Out Fee

This fee is charged at submittal to pay for plan processing, notarizing documents, permit recordation, and archiving the project file after final hearing or appeal is completed.

Discretionary Project Close Out Fee.....\$500

D. Records Fee

This fee is assessed at issuance for imaging and archiving the documents in records.

Records Fee-SCR (process 1).....\$45

Records Fee-SCR (process 2)

Less than 75 pages\$90

76 to 1,000 pages\$515

Each Additional 500 pages over 1,000.....\$250

E. Substantial Conformance Review Deposit

A Trust Fund account is established with an initial deposit. This initial deposit is drawn against to pay for the review of your project. During project review, the Financially Responsible Party (as identified on the Deposit Account / Financially Responsible Party form, DS-3242) will receive a monthly deposit statement reflecting the charges made against the account.

The Financially Responsible Party may receive invoices for additional deposits for subsequent reviews of the project in order to maintain the minimum balance as shown below. The payment of this invoice will be required in order to continue processing your project. At the end of the project, any remaining funds will be returned to the Financially Responsible Party.

Initial Deposit.....\$3,000

Subsequent

Review/Minimum Balance\$1,000

Project Title: Sunroad Centrum Apts. Phases 3-5 Proj. No. (For City Use Only)

Part II - To be completed when property is held by a corporation or partnership

Legal Status (please check):

Corporation Limited Liability -or- General) What State? _____ Corporate Identification No. _____
 Partnership

By signing the Ownership Disclosure Statement, the owner(s) acknowledge that an application for a permit, map or other matter, as identified above, will be filed with the City of San Diego on the subject property with the intent to record an encumbrance against the property. Please list below the names, titles and addresses of all persons who have an interest in the property, recorded or otherwise, and state the type of property interest (e.g., tenants who will benefit from the permit, all corporate officers, and all partners in a partnership who own the property). A signature is required of at least one of the corporate officers or partners who own the property. Attach additional pages if needed. **Note:** The applicant is responsible for notifying the Project Manager of any changes in ownership during the time the application is being processed or considered. Changes in ownership are to be given to the Project Manager at least thirty days prior to any public hearing on the subject property. Failure to provide accurate and current ownership information could result in a delay in the hearing process. **Additional pages attached** Yes No

Corporate/Partnership Name (type or print):
Sunroad Centrum Partners, L.P.

Owner Tenant/Lessee

Street Address:
4445 Eastgate Mall, Suite 400

City/State/Zip:
San Diego, CA 92121

Phone No: (858) 362-8500 Fax No: (858) 362-8448

Name of Corporate Officer/Partner (type or print):
Dan Feldman

Title (type or print):
President

Signature:  Date: 10/28/13

Corporate/Partnership Name (type or print):
Sunroad Holdings Corporation

Owner Tenant/Lessee

Street Address:
4445 Eastgate Mall, Suite 400

City/State/Zip:
San Diego, CA 92121

Phone No: (858) 362-8500 Fax No: (858) 362-8448

Name of Corporate Officer/Partner (type or print):
Dan Feldman

Title (type or print):
President

Signature:  Date: 10/28/13

Corporate/Partnership Name (type or print):
Sunroad GP, Inc.

Owner Tenant/Lessee

Street Address:
4445 Eastgate Mall, Suite 400

City/State/Zip:
San Diego, CA 92121

Phone No: (858) 362-8500 Fax No: (858) 362-8448

Name of Corporate Officer/Partner (type or print):
Dan Feldman

Title (type or print):
President

Signature:  Date: 10/28/13

Corporate/Partnership Name (type or print):
Sunroad 2011 Trust

Owner Tenant/Lessee

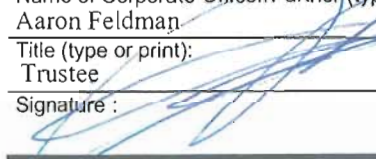
Street Address:
4445 Eastgate Mall, Suite 400

City/State/Zip:
San Diego, CA 92121

Phone No: (858) 362-8500 Fax No: (858) 362-8448

Name of Corporate Officer/Partner (type or print):
Aaron Feldman

Title (type or print):
Trustee

Signature:  Date: 10/28/13

Corporate/Partnership Name (type or print):
Sunroad Real Estate Holdings Corporation

Owner Tenant/Lessee

Street Address:
4445 Eastgate Mall, Suite 400

City/State/Zip:
San Diego, CA 92121

Phone No: (858) 362-8500 Fax No: (858) 362-8448

Name of Corporate Officer/Partner (type or print):
Dan Feldman

Title (type or print):
President

Signature:  Date: 10/28/13

Corporate/Partnership Name (type or print):
Aaron Feldman Family Trust

Owner Tenant/Lessee

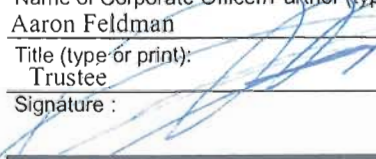
Street Address:
4445 Eastgate Mall, Suite 400

City/State/Zip:
San Diego, CA 92121

Phone No: (858) 362-8500 Fax No: (858) 362-8448

Name of Corporate Officer/Partner (type or print):
Aaron Feldman

Title (type or print):
Trustee

Signature:  Date: 10/28/13

OWNERSHIP DISCLOSURE STATEMENT**Project No. 347300**

Owner: Sunroad Centrum Partners, L.P., A
California Limited Partnership

General Partner: Sunroad GP, Inc., A California
Corporation

Officers:

Dan Feldman	President
Richard D. Vann	Executive Vice President
Wayne Meyer	Executive Vice President
Uri Feldman	Executive Vice President
James H. McLennan	Chief Financial Officer
F.O. Tronboll Senior	Vice President and Secretary
Abraham Sherman	Vice President and Assistant Secretary

4



City of San Diego
 Development Services
 1222 First Ave., MS-302
 San Diego, CA 92101

Community Planning Committee Distribution Form Part 2

Project Name: Sunroad Centrum Phases 4&5 SCR	Project Number: 347300	Distribution Date: 11/12/2013
--	----------------------------------	---

Project Scope/Location:
 KEARNY MESA SCR (PROCESS 2) to PTS# 257079 to revise architectural plans for Phases 4 and 5 residential project. Project will remove excess parking level, planned as overflow employee parking for adjacent commercial office buildings (no longer needed), add a bridge to connect phases 4 & 5, raise underground parking with elevations remaining similar, and increase height slightly. The project is located between Lightwave Av and Spectrum center blvd in the CA zone (Old Code) within the NCCMP.

Applicant Name: Story, Tom	Applicant Phone Number: (619) 286-1330
--------------------------------------	--

Project Manager: Temple, Jeannette	Phone Number: (619) 557-7908	Fax Number: (619) 446-5245	E-mail Address: JTemple@sandiego.gov
--	--	--------------------------------------	--

Committee Recommendations (To be completed for Initial Review):

	Members Yes	Members No	Members Abstain
<input checked="" type="checkbox"/> Vote to Approve	10	0	0
<input type="checkbox"/> Vote to Approve With Conditions Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Approve With Non-Binding Recommendations Listed Below	Members Yes	Members No	Members Abstain
<input type="checkbox"/> Vote to Deny	Members Yes	Members No	Members Abstain
<input type="checkbox"/> No Action (Please specify, e.g., Need further information, Split vote, Lack of quorum, etc.)	<input type="checkbox"/> Continued		

CONDITIONS: NONE

NAME: JEFFREY SALLEN	TITLE: KMP6 CHAIR
SIGNATURE:	DATE: 12.19.13

Attach Additional Pages If Necessary.

Please return to:
 Project Management Division
 City of San Diego
 Development Services Department
 1222 First Avenue, MS 302
 San Diego, CA 92101

Printed on recycled paper. Visit our web site at www.sandiego.gov/development-services.
 Upon request, this information is available in alternative formats for persons with disabilities.



THE CITY OF SAN DIEGO

M E M O R A N D U M

DATE: April 10, 2014

TO: City of San Diego Planning Commission

FROM: Jeffrey Szymanski, Senior Planner, Advanced Planning and Engineering Division,
Development Services Department

SUBJECT: Sunroad Centrum Phases 4 and 5, Substantial Conformance Review (SCR), Project
No. 347300

The Development Services Department has completed a SCR evaluation for the Sunroad Centrum Phases 4 and 5 project. The review was limited to consideration of California Environmental Quality Act issues associated with the SCR. It is the determination of the Development Services Department that the project is consistent with the previously certified Environmental Impact Report (EIR) No. 96-0165, Addendum EIR No. 99-1269, and Mitigated Negative Declaration (MND) 41-0101.

Taking into consideration the additional analysis conducted by Development Services Department along with review of the previously certified environmental documents, it was concluded that the project would not result in a substantially changed project. The project would not result in new impacts or changed circumstances that would require a new environmental document.

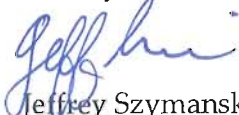
Section 15162 of the California Environmental Quality Act Guidelines states that when an EIR has been certified or a Negative Declaration adopted for a project, no subsequent or supplemental EIR or Negative Declaration shall be prepared for that project unless one or more of the following events occur:

1. Substantial changes are proposed to the project.
2. Substantial changes occur with respect to circumstances under which the project is being undertaken.

Page 2
City of San Diego Planning Commissioners
April 10, 2014

3. New information, which was not known or could not have been known at the time the Environmental Impact Report or Negative Declaration was certified as complete, becomes available.

Therefore, because none of the three above criteria have occurred, Development Services Department did not find the need to prepare a subsequent or supplemental environmental document for the Sunroad Centrum Phases 4 and 5 project. All project issues and mitigation for significant impacts have been adequately addressed pursuant to the California Environmental Quality Act for the project.


Jeffrey Szymanski
Senior Planner

JS/js

cc: Sandra Teasley, Development Services Department
Environmental File

Substantial Conformance Review Comparison		
Development standard	Aproved Exhibit A - 2012.03.20	Proposed Design - 2013.10.29
Height	82'/83'	82', 84' and 88'
Levels Above Grade	7	7
Unit Count	550 units	550 units
Average Unit Size	871 sf/910 sf	842 sf/856 sf
Unit Mix	95 studio/248 1-bd/207 2-bd	38 studio/278 1-bd/209 2-bd/25 3-bd
Retail Area	5100 sf	3000 sf
Leasing/Lobby Area	8700 sf	5000 sf
Parking Levels below grade	3	1
Parking Levels above grade	1	2
Pedestrian Bridge	none	Pedestrian bridge over private drive
Front Setback	0'	0'
Vehicular Parking Provided	1686	982
Motorcycle Parking Provided	56	74
Bicycle Parking Provided	291	226
Open Space Required	190 sf/unit=104,500 sf	190 sf/unit=104,500 sf
Min Open Space Provided	130,045 sf	116,296 sf
Gross Building Area	643,952 sf	660,415 sf
Garage Area	677,367 sf	387,877 sf



PREVIOUS APPROVAL



CURRENT DESIGN

BUILDING 4 WEST ELEVATIONS



PREVIOUS APPROVAL



CURRENT DESIGN

BUILDING 4 EAST ELEVATIONS



PREVIOUS APPROVAL



CURRENT DESIGN

BUILDING 4 NORTH ELEVATIONS



BUILDING 4 SOUTH ELEVATIONS

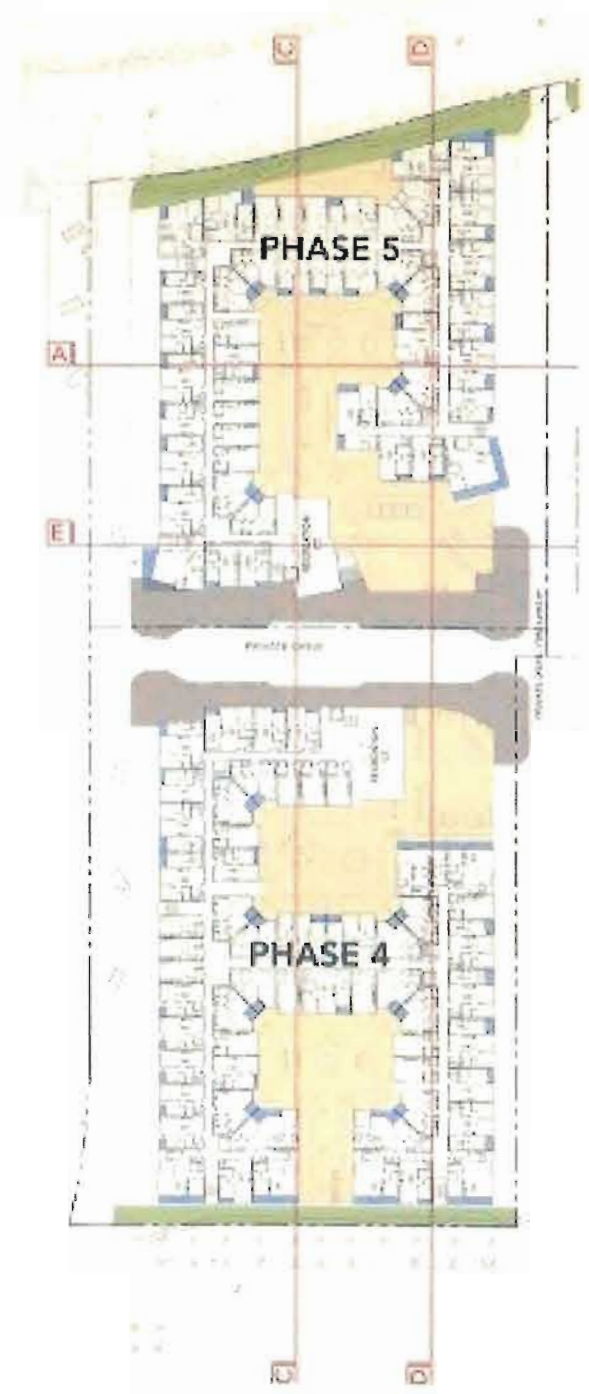


PREVIOUS APPROVAL

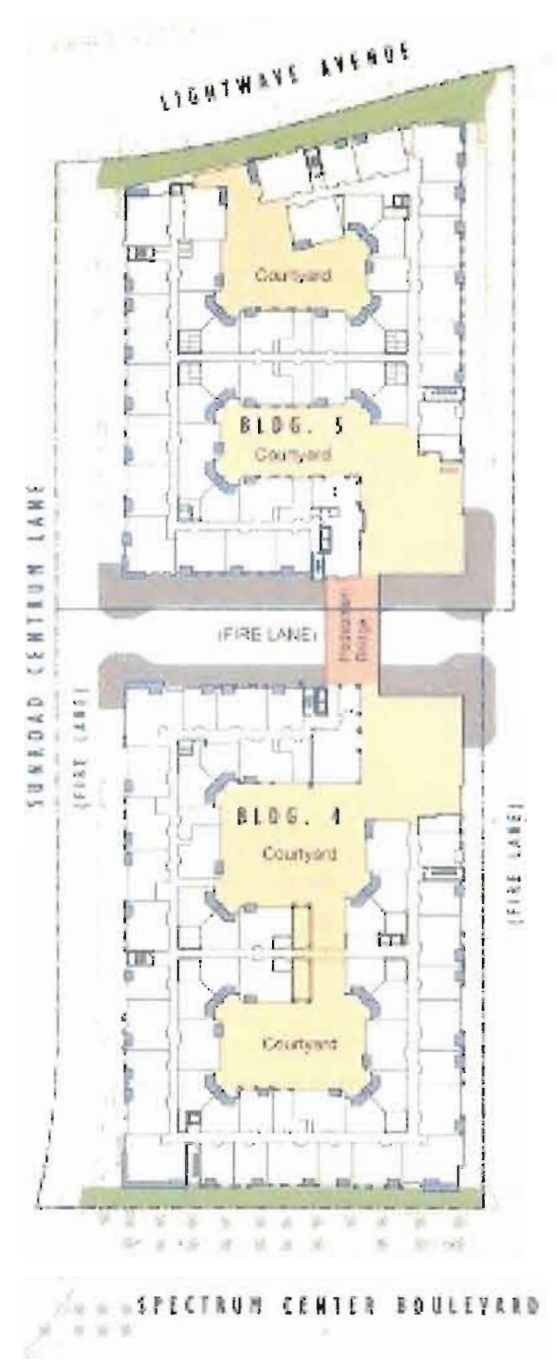


CURRENT DESIGN

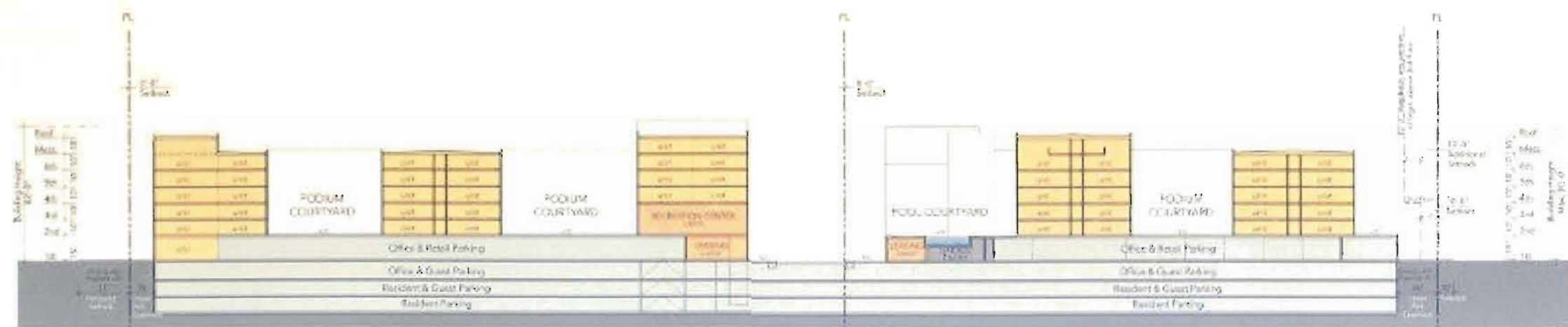
AERIAL LOOKING WEST



PREVIOUS APPROVAL

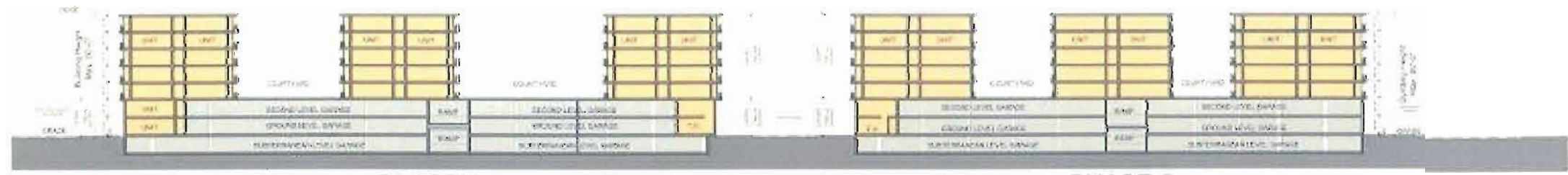


CURRENT DESIGN



PHASE 4
PREVIOUS APPROVED SECTION C

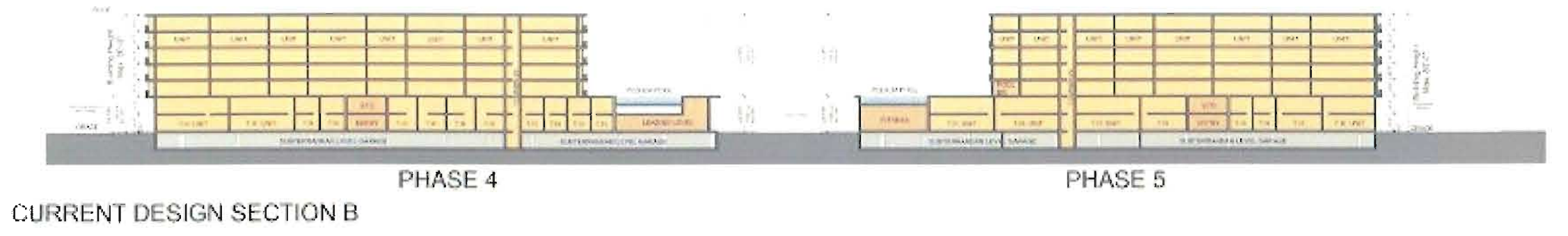
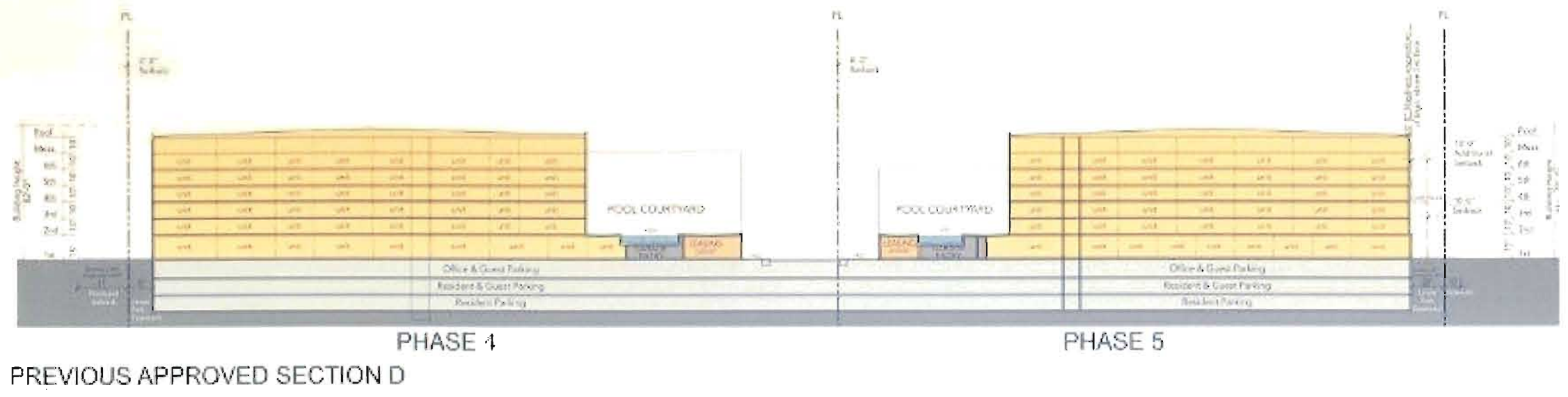
PHASE 5



PHASE 4
CURRENT DESIGN SECTION A

PHASE 5

SECTION A COMPARED TO SECTION C



SECTION B COMPARED TO SECTION D



Current Development Plan per the New Century Center Master Plan.
 Planning Areas 1A, 2B, and 3A allow mixed use (commercial office and multi-family residential)



1. Southwest Corner - Street View



2. Northwest Corner - Street View



3. Northeast Corner - Street View

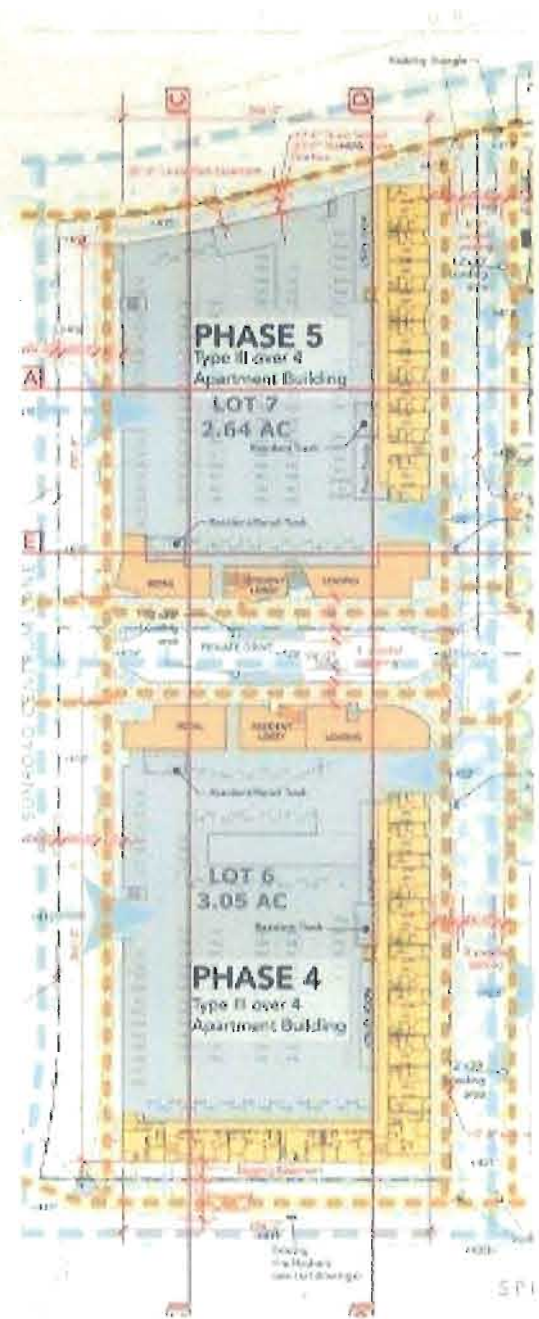
CURRENT DESIGN PERSPECTIVES



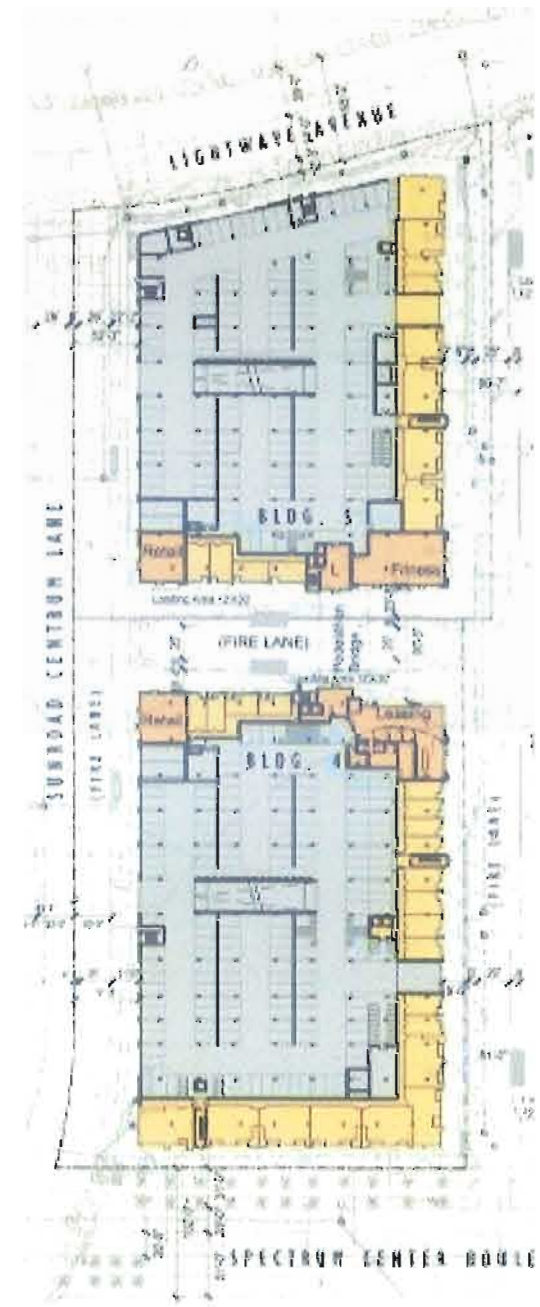
1. Southwest Corner - Street View



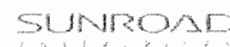
2. Leasing Office - Street View



PREVIOUS APPROVAL



CURRENT DESIGN



PLANNED DEVELOPMENT PERMIT

APPROVED
EXHIBIT

APPROVED BY THE CITY OF SAN DIEGO
 ORIGINAL SUBMITTAL DATE: 15 September 2011
 1st Revision Submittal: 8 December 2011
 2nd Revision Submittal: 2 February 2012
 3rd Revision Submittal: 20 March 2012

SUNROAD CENTRUM Residential
 San Diego, CA

PROJECT TEAM



Co-Developer:

Sunroad Enterprises
4445 Eastgate Mall, Ste. 400
San Diego, CA 92121
Contact: Dan Feldman

p. 858.362.8500
f. 858.362.8448



Co-Developer:

Wermers Properties
5120 Shoreham Place #150
San Diego, CA 92122
Contact: Thomas Wermers

p. 858.623.4969
f. 858.535.7109



Architect & Planner:

Thomas P. Cox Architects, Inc.
19782 MacArthur Boulevard, Ste. 300
Irvine, CA 92612
Contact: Eric Olsen

p. 949.862.0270
f. 949.862.0289

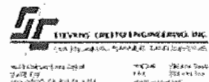
SCHMIDT DESIGN GROUP, INC.



Landscape Architect:

Schmidt Design Group, Inc.
2655 Fouth Avenue
San Diego, CA 92103
Contact: Glen Schmidt

p. 619.236.1462
f. 619.236.8792



Civil Engineer:

Stevens Cresto Engineering, Inc.
9665 Chesapeake Drive, Ste. 320
San Diego, CA 92123
Contact: Joe Cresto

p. 858.694.5660
f. 858.535.7109

PROJECT DATA

Project Address:
Keamy Mesa Community, CA
Lightwave Ave. and Spectrum Center Blvd.

Project Name:
SUNROAD CENTRUM APARTMENTS PHASES 3-5

Existing Use: Phase 3-Vacant, Phase 4 and 5- Temporary AC Surface Parking Lot.
Proposed Use: Multifamily Residential Units

Legal Description:

A portion of Parcel 6 and all of Parcel 7 of Parcel Map No. 18972 in the City of San Diego, County of San Diego, State of California, per map thereof recorded in the office of the County Recorder of San Diego County March 28, 2003 as File No. 2003-0354910.

Parcel 1, of Parcel Map No. 19193 in the City of San Diego, County of San Diego, State of California, per map thereof recorded in the office of the County Recorder of San Diego County March 28, 2003 as File No. 2003-0354910.

A portion of Parcel 4 of Parcel Map No. 20847 in the City of San Diego, County of San Diego, State of California, per map thereof recorded in the office of the County Recorder of San Diego County December 17, 2010 as File No. 2010-0699822.

Lot 2 of Sunroad Centrum Residential, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 15737, filed in the office of the County Recorder of San Diego County December 24, 2008 as File No. 2008-0652761.

Assessor Parcel Number:
APN: 369-220-56(partion), 57, 73, 87 & 93 (portion)

Zoning: RM-2-5

Type of Construction:

Phase 3:
TYPE V (Residential)
TYPE I (Parking Garage)

Phase 4 and 5:
TYPE III (Residential)
TYPE I (Parking Garage)

Occupancy Classification:

Residential Units -- R1
Garage -- S3
Leasing Office -- B
Recreation -- A3
Retail -- M

Gross Site Area: 7.61 AC

Phase 3-Lot 8 : 1.92 AC
Gross Floor Area : 151,717 SF (per SD Municipal Code 113.0234)
FAR : 1.81

Gross Floor Area (construction)
Units : 146,074 SF
Common Areas : 20,710 SF
(includes corridor, vertical circulation, lobby and rec center)
Garage : 105,404 SF
TOTAL : 271,768 SF

Phase 4-Lot 6 : 3.05 AC
Gross Floor Area : 278,716 SF (per SD Municipal Code 113.0234)
FAR : 2.10

Gross Floor Area (construction)
Units : 286,966 SF
Common Areas : 64,490 SF
(includes corridor, vertical circulation, lobby and rec center)
Garage : 374,675 SF
TOTAL : 726,137 SF

Phase 5-Lot 7 : 2.64 AC
Gross Floor Area : 230,767 SF (per SD Municipal Code 113.0234)
FAR : 2.00

Gross Floor Area (construction)
Units : 242,476 SF
Common Areas : 50,014 SF
(includes corridor, vertical circulation, lobby and rec center)
Garage : 302,692 SF
TOTAL : 595,187 SF

SCOPE OF WORK

Purpose:

1. Planned Development Permit.
This project is a part of the New Century Center Master Plan. There is no proposed development regulation deviations.

2. Vesting Tentative Map Application.

Project Description

Currently there is no existing structure on the site. Lot 8 (Phase 3) is vacant and Lot 6 and 7 (Phase 4 and 5) are currently used as temporary AC surface parking lots.

The proposed project consists of three separate residential buildings (Building Phase 3, Building Phase 4, and Building Phase 5) on 7.61 acres of the previous General Dynamic site, located between Spectrum Center Boulevard, and Lightwave Avenue in Keamy Mesa, California:

Building Phase 3	: 127 Units	Avg. 940 SF
Building Phase 4	: 305 Units	Avg. 871 SF
Building Phase 5	: 245 Units	Avg. 910 SF
677 Units		

Building Phase 3 will be Type V construction: four floors of residential units over two levels of Type I parking garage. Proposed maximum height is 54 feet.

Building Phase 4 and 5 will be Type III construction: five floors of residential units over four levels of Type I parking garage. Proposed maximum height for both Phase 4 and 5 are 83 feet.

There is a recreation center in the Phase 3 building. The leasing center is shared with Phase 2 building (existing per PTS 119506)-(not part of this PDP process).

There are recreation centers and leasing centers in both the Phase 4 and 5 buildings. There are also corner retail spaces in both phase 4 and 5 buildings.

Building Phase 3 Recreation Center/ Lobby	: +/- 1100 SF
Building Phase 4 Leasing/Lobby	: +/- 4,800 SF
Building Phase 4 Recreation Center	: +/- 4,600 SF
Building Phase 4 Retail	: +/- 2,700 SF
Building Phase 5 Leasing/Lobby	: +/- 3,900 SF
Building Phase 5 Recreation Center	: +/- 3,500 SF
Building Phase 5 Retail	: +/- 2,400 SF

Within the project's boundary, we are also providing the continuation of the jogging path that loops around the centrum site.

The elaboration of the Landscape plan proposal is Sheet L-0.1

Phase 3 trash and recycling area for the project are located at the first level sub-terranean garage level.
Phase 4 and 5 trash and recycling area for the project are located at the first level garage which is on street level.

OPEN SPACE REQUIREMENTS

(per SD Municipal Code Table 143-043)
Zone: RM-2-5
Min Sq Ft. Usable per DU: 190SF/DU **
Min Total open space/DU: 190SF/DU *
*Total open space includes usable space plus any other areas to be left as open space.
**Usable Open Space includes private exterior open space and common space that is functional to residents.

PHASE 3

Total Min Open Space Required: 127 units x 190 SF = 24,130 SF

Private decks	: 12,247 SF
Podium Courtyard	: 11,003 SF
Jogging Trail/Linear park	: 15,833 SF
Total Provided Open Space	: 39,083 SF

PHASE 4

Total Min Open Space Required: 305 units x 190 SF = 57,950 SF

Private decks	: 10,500 SF
Podium Courtyard	: 24,606 SF
Jogging Trail/Linear park	: 4,244 SF
Street Level Plaza	: 7,579 SF
Total Provided Open Space	: 66,929 SF

PHASE 5

Total Min Open Space Required: 245 units x 190 SF = 46,550 SF

Private decks	: 24,500 SF
Podium Courtyard	: 22,470 SF
Jogging Trail/Linear park	: 6,253 SF
Street Level Plaza	: 9,193 SF
Total Provided Open Space	: 63,116 SF

DIRECTORY

(sheet 1 of 44)	A-0	Cover sheet
(sheet 2 of 44)	A-1.0	Development Summary & Project Team
(sheet 3 of 44)	A-2.0	Vicinity plan
(sheet 4 of 44)	A-3.1	Master site plan
(sheet 5 of 44)	A-3.2	Open Space Exhibit
(sheet 6 of 44)	A-4.0	Rendering
(sheet 7 of 44)	A-5.1	Phase 3- Elevations
(sheet 8 of 44)	A-6.1	Phase 4- Elevations
(sheet 9 of 44)	A-6.2	Phase 4- Elevations
(sheet 10 of 44)	A-7.1	Phase 5- Elevations
(sheet 11 of 44)	A-7.2	Phase 5- Elevations
(sheet 12 of 44)	A-8.1	Phase 3- Building Plans
(sheet 13 of 44)	A-8.2	Phase 4- Building Plans
(sheet 14 of 44)	A-8.3	Phase 5- Building Plans
(sheet 15 of 44)	A-9.0	Garage Plans
(sheet 16 of 44)	A-10.1	Site Section
(sheet 17 of 44)	A-10.2	Site Section
(sheet 18 of 44)	A-10.3	Site Section
(sheet 19 of 44)	A-11.0	Roof Plan
(sheet 20 of 44)	A-12.1	Unit Plans (Studio and 1 Bedroom)
(sheet 21 of 44)	A-12.2	Unit Plans (Two Bedroom)
(sheet 22 of 44)	A-12.3	Unit Plans (Two Bedroom)
(sheet 23 of 44)	A-12.4	Unit Plans (Two Bedroom)
(sheet 24 of 44)	A-12.5	Unit Plans (Two Bedroom)
(sheet 25 of 44)	L-0.1	Landscape Site Plan For Phase 3, 4, And 5
(sheet 26 of 44)	L-1.0	Landscape Concept Legend And Notes
(sheet 27 of 44)	L-1.1	Landscape Concept Plan For Phase 5
(sheet 28 of 44)	L-1.2	Landscape Concept Plan For Phase 5
(sheet 29 of 44)	L-1.3	Landscape Concept Plan For Street Plaza
(sheet 30 of 44)	L-1.4	Landscape Concept Plan For Phase 4
(sheet 31 of 44)	L-1.5	Landscape Concept Plan For Phase 4
(sheet 32 of 44)	L-1.6	Landscape Concept Plan For Phase 3
(sheet 33 of 44)	L-1.7	Landscape Concept Plan For Phase 3
(sheet 34 of 44)	L-2.1	Landscape Calculation Plan For Phase 5
(sheet 35 of 44)	L-2.2	Landscape Calculation Plan For Phase 4
(sheet 36 of 44)	L-2.3	Landscape Calculation Plan For Phase 3
(sheet 37 of 44)	L-3.1	Hydrozone Diagram & Water Use Calculations For Phase 5
(sheet 38 of 44)	L-3.2	Hydrozone Diagram & Water Use Calculations For Phase 4
(sheet 39 of 44)	L-3.3	Hydrozone Diagram & Water Use Calculations For Phase 3
(sheet 40 of 44)	L-4.1	Landscape Site Sections / Renderings
(sheet 41 of 44)	L-4.2	Landscape Site Sections / Renderings
(sheet 42 of 44)	C-1.0	VTM/PDP Notes & Details
(sheet 43 of 44)	C-2.0	VTM/PDP Existing Conditions
(sheet 44 of 44)	C-3.0	VTM/PDP Concept Grading and Utility Plan



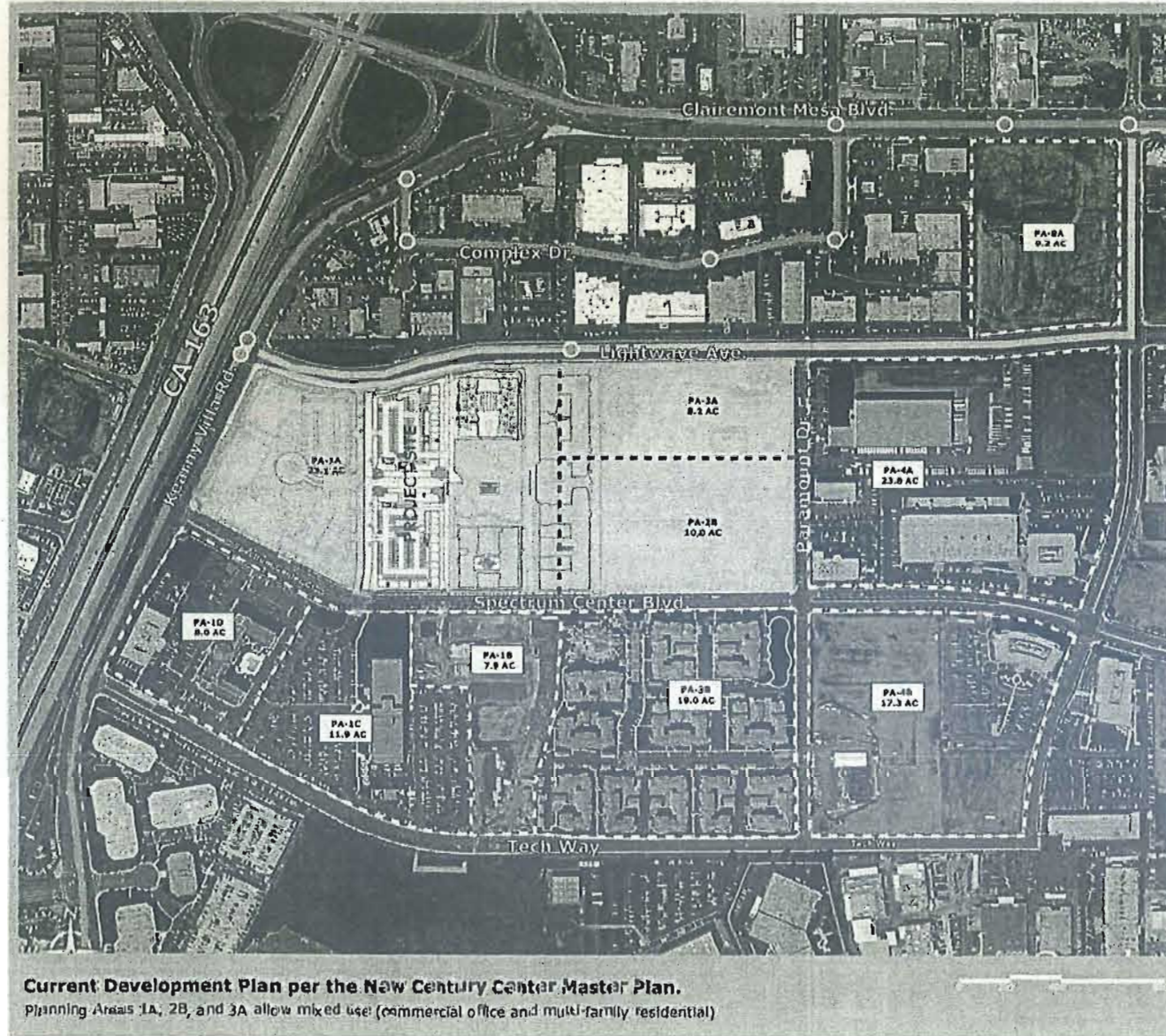
PLANNED DEVELOPMENT PERMIT- Sheet 2 of 44
Original Submittal Date: 15 September 2011
1st Revision Submittal: 8 December 2011

A-1.0

DEVELOPMENT SUMMARY & PROJECT DATA



SUNROAD CENTRUM Residential San Diego, CA



Current Development Plan per the New Century Center Master Plan.
 Planning Areas 1A, 2B, and 3A allow mixed use (commercial office and multi-family residential)

Transit Routes

- Local Bus
- Express Bus
- Bike Route



Development Regulations of RM-2-5 Zone

Max. Permitted Residential Density	N/A
Setback requirements:	
Min. Front Setback	---
Min. Side Setback	10 ft.
Min. Street Side Setback	---
Max. Street Side Setback	---
Min. Rear Setback	10 ft.
Max. Structure Height	45 ft. (total only) Phase 3 only, per CBC; max. story height 60 ft. Phase 4 and 5 only, per CBC; max. story height 85 ft.
Max. Floor Area Ratio	.75

Development Standard per Century Center Master Plan Volume 2 page IV-5

Planning Area 1A

Front Street Setback	31'-0"***
Side Setback	0'-0"
Side Street Setback	10'-0" for the first three stories, plus additional building step-back of 10 feet for any floor above the third floor
Rear Setback	0'-0"
Rear Street Setback	10'-0" for the first three stories, plus additional building step-back of 10 feet for any floor above the third floor**

* Parking allowed in rear street setbacks up to a minimum of 5 feet from the right of way.
 ** Measure from the face of the curb, no additional setback from property line is required, for both sides of Spectrum Center Boulevard, only.

Proposed

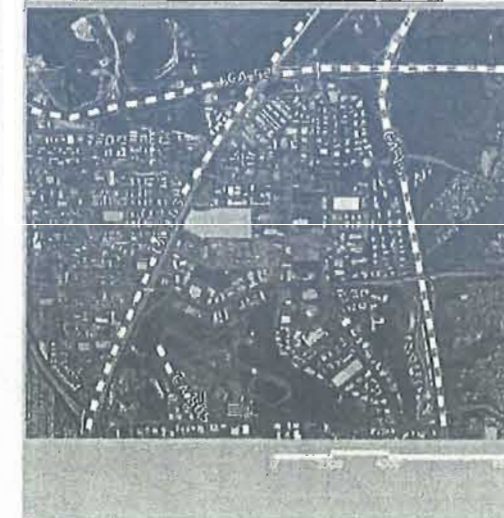
The Proposed Project is subject to the development standards of the New Century Center Master Plan, Volume I-III. Height is regulated by the RM2-5.

Residential Density in Lot 6, 7, and 8 677 units -- approx. 89 Dwelling Unit per Acre.

Setback:
 Front Setback (Spectrum Center Blvd & Lightwave Ave.) Complies with both RM2-5 and Century Center Master Plan
 Side Setback (Planning Area 1A) Complies with both RM2-5 and Century Center Master Plan
 Rear Setback N/A

Structure Height
 Building Phase 3 54 ft.
 Building Phase 4 and 5 83 ft.

Floor Area Ratio (combined) 1.99



APPROVED EXHIBIT "A"

Approved this 8th day of December 2011
 Permit No. 107-138-1-1-11

PLANNED DEVELOPMENT PERMIT - SHEET 3 of 44
 Original Submitted Date: 13 September 2011
 1st Revision Submitted: 8 December 2011

A-2.0
 VICINITY PLAN

N

SUNROAD CENTRUM Residential
 San Diego, CA

**SUNROAD CENTRUM APARTMENTS
PHASES 3-5**
Keamy Mesa, California
Sunroad Enterprise.

Purpose:
1. **Planned Development Permit.**
This project is a part of the New Century Center Master Plan. There is no proposed development regulation deviations.

2. **Vesting Tentative Map Application.**

Project Description

- Currently there is no existing structure on the site; lot 8 (Phase 3) is vacant and lot 6 and 7 (Phase 4 and 5) are currently used as temporary AC surface parking lot.
- The proposed project consists of three separate residential buildings (Building Phase 3, Building Phase 4, and Building Phase 5) on 7.61 acres of the previous General Dynamic site, located between Spectrum Center Boulevard, and Lightwave Avenue in Keamy Mesa, California;

Building Phase 3	: 127 Units	Avg. 940 SF
Building Phase 4	: 305 Units	Avg. 871 SF
Building Phase 5	: 245 Units	Avg. 910 SF
Total	677 Units	

- Building Phase 3 will be Type V construction: four floors of residential units over two levels of Type I parking garage. Proposed maximum height is 54 feet.
 - Building Phase 4 and 5 will be Type III construction: five floors of residential units over four levels of Type I parking garage. Proposed maximum height for both Phase 4 and 5 are 83 feet.
 - There is a recreation center in the Phase 3 building. The leasing center is shared with the Phase 2 building (not part of this PDP process). There are recreation centers and leasing centers in both the Phase 4 and 5 buildings. There are also some corner retail space in both phase 4 and 5 buildings.
- | | |
|---|----------------|
| Building Phase 3 Recreation Center/ Lobby | : +/- 3100 SF |
| Building Phase 4 Leasing/Lobby | : +/- 4,800 SF |
| Building Phase 4 Recreation Center | : +/- 4,600 SF |
| Building Phase 4 Retail | : +/- 2,700 SF |
| Building Phase 5 Leasing/Lobby | : +/- 3,900 SF |
| Building Phase 5 Recreation Center | : +/- 3,500 SF |
| Building Phase 5 Retail | : +/- 2,400 SF |
- Within the project's boundary, we are also providing the continuation of the jogging path that loops around the centrum site.
 - The elaboration of the Landscape plan proposal is Sheet L-0.1
 - Phase 3 trash and recycling area for the project are located at the first level sub-terranean garage level. Phase 4 and 5 trash and recycling area for the project are located at the first level garage which is on street level.

PHASE 5
Lot 7: 2.64 AC
5 Floors of TYPE III residential Units
over 3 floors of TYPE I parking garage
Unit Avg. SF: 907 SF

Gross Floor Area : 230,767 SF
F.A.R. : 2.0

Unit Mix

Studio	26 units	18.7%
One Bedroom	116 units	46.3%
Two Bedroom	78 units	35.0%
Total	245 units	100%

Density: 92.8 DU/AC

* For square footage of each residential units please refer to sheets A12

PHASE 4
Lot 6: 3.05 AC
5 Floors of TYPE III residential Units
over 3 floors of TYPE I parking garage
Unit Avg. SF: 871 SF

Gross Floor Area : 278,715 SF
F.A.R. : 2.1

Unit Mix

Studio	89 units	19.3%
One Bedroom	122 units	43.3%
Two Bedroom	118 units	37.4%
Total	329 units	100%

Density: 100 DU/AC

* For square footage of each residential units please refer to sheets A12

PHASE 3
Lot 8: 1.92 AC
4 Floors of TYPE V residential Units
over 2 floors of TYPE I parking garage
Unit Avg. SF: 940 SF

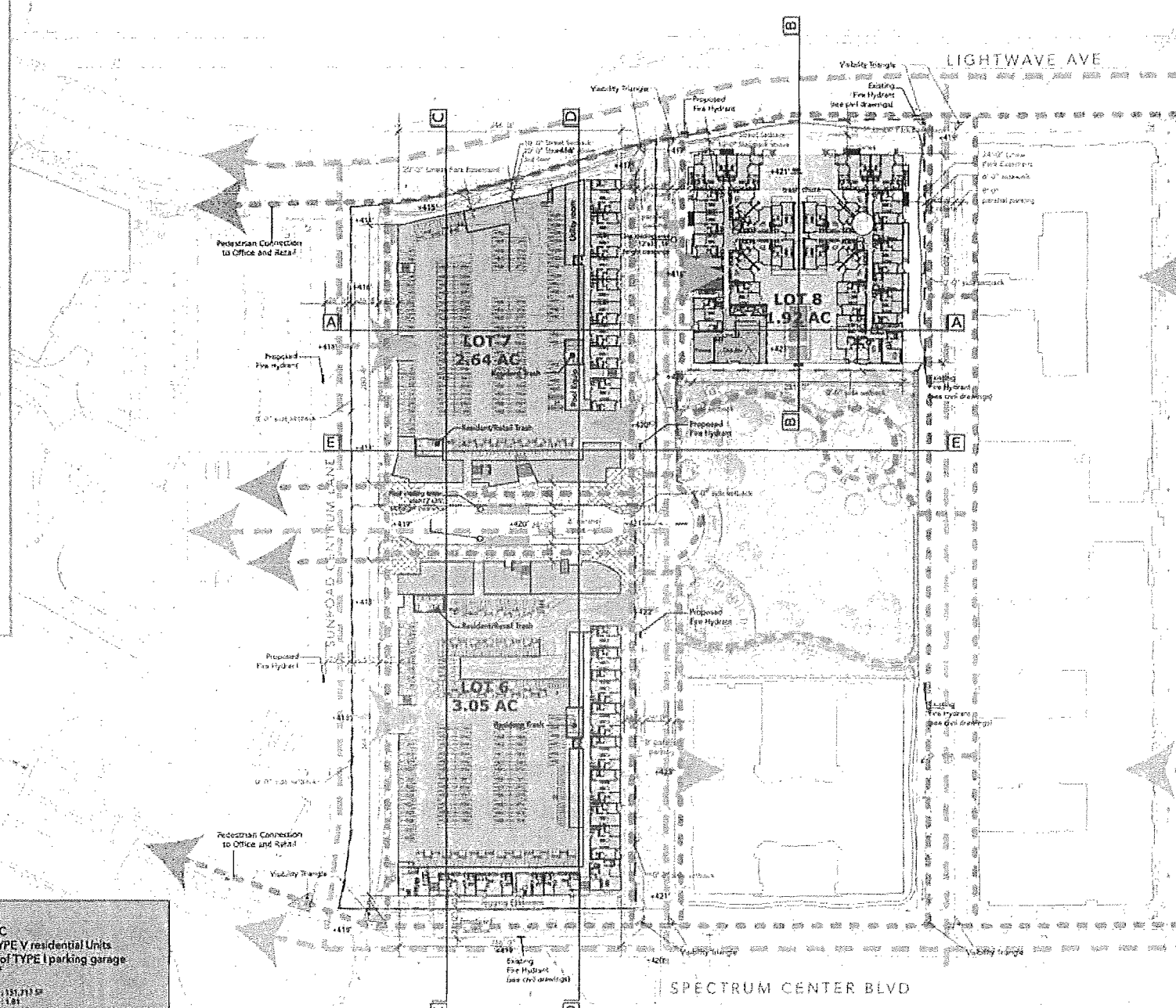
Gross Floor Area : 151,713 SF
F.A.R. : 1.81

Unit Mix

Studio	8 units	6.3%
One Bedroom	39 units	45.5%
Two Bedroom	60 units	72.2%
Total	127 units	100%

Density: 66 DU/AC

* For square footage of each residential units please refer to sheets A12



PROJECT DATA

Project Address:
Keamy Mesa Community, CA
Lightwave Ave. and Spectrum Center Blvd

Project Name:
SUNROAD CENTRUM APARTMENTS PHASES 3-5

Existing Uses: Phase 3 vacant, Phase 4 and 5 Temporary AC Surface Parking Lot.
Proposed Use: Multifamily Residential Units

Legal Description:
A portion of Parcel 6 and all of Parcel 7 of Parcel Map No. 18932 of the City of San Diego, County of San Diego, State of California, per map thereof recorded in the office of the County Recorder of San Diego County May 24, 2002 as File No. 2002-044194
Parcel 1, of Parcel Map No. 18113 of the City of San Diego, County of San Diego, State of California, per map thereof recorded in the office of the County Recorder of San Diego County March 28, 2001 as File No. 2001-034512
A portion of Parcel 6 of Parcel Map No. 20947 of the City of San Diego, County of San Diego, State of California, per map thereof recorded in the office of the County Recorder of San Diego County December 17, 2019 as File No. 2019-0659822
Lot 2 of Sunroad Centrum Residential, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 12713, filed in the office of the County Recorder of San Diego County December 21, 2008 as File No. 1008-0613194

Assessor Parcel Number:
APNs: 329-320-563 (portion), 54, 71, 87 & 91 (portion)

Zoning: RM-2.5

Type of Construction:
Phase 3
TYPE V (Residential)
TYPE I (Parking Garage)
Phase 4 and 5
Type III (Residential)
TYPE I (Parking Garage)

Occupancy Classification:
Residential Units : -R1
Garage : -G1
Leasing Office : -L1
Recreation : -R2
Retail : -R3

Gross Site Area (7.61 AC)

Phase 3-Lot 8
Gross Floor Area : 151,713 SF (per SD Municipal Code 113.0254)
F.A.R. : 1.81

Gross Floor Area (construction)
Units : 116,814 SF
Common Areas : 28,215 SF
Inclusive of: parking, mechanical, utility and fire control
Garage : 100,484 SF
TOTAL : 245,513 SF

Phase 4-Lot 6
Gross Floor Area : 278,715 SF (per SD Municipal Code 113.0254)
F.A.R. : 2.10

Gross Floor Area (construction)
Units : 248,968 SF
Common Areas : 88,198 SF
Inclusive of: parking, mechanical, utility and fire control
Garage : 114,975 SF
TOTAL : 452,141 SF

Phase 5-Lot 7
Gross Floor Area : 230,767 SF (per SD Municipal Code 113.0254)
F.A.R. : 2.00

Gross Floor Area (construction)
Units : 242,475 SF
Common Areas : 50,014 SF
Inclusive of: parking, mechanical, utility and fire control
Garage : 218,218 SF
TOTAL : 510,707 SF

DP# 257079
APPROVE
EXHIBIT "A"
Approved Date: 5/11/12
Permit No. VTY-12-124
PDP-108-12-1

PLANNED DEVELOPMENT PERMIT- Sheet 4 of 44
Original Submittal Date: 15 September 2011
1st Revision Submittal: 8 December 2011
2nd Revision Submittal: 7 February 2012
3rd Revision Submittal: 20 March 2012

A-3.1
MASTER SITE PLAN

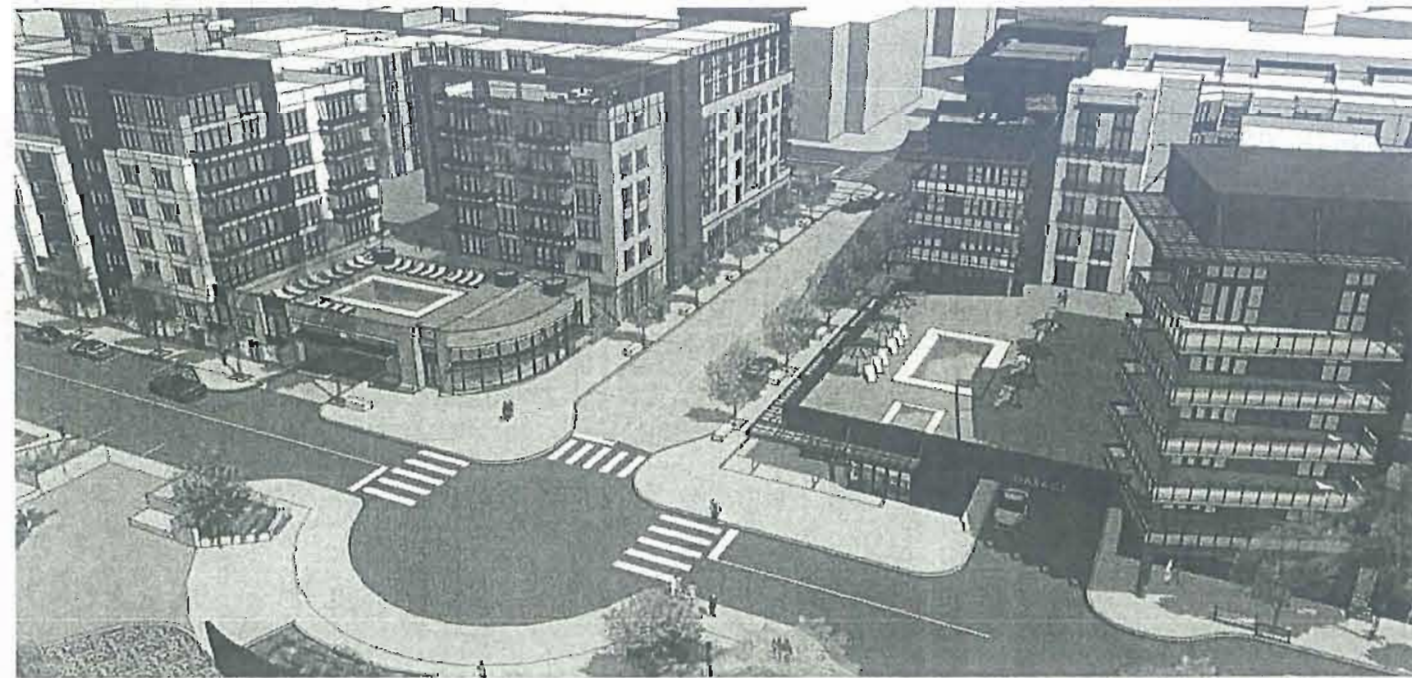


- LEGEND**
- Pedestrian connectivity/ Accessible Route
 - Vehicular access
 - Lot Line
 - Property Line
 - Visibility Triangle: No objects higher than 16' within this area
- PIPE APPROPRIATIONS**
- Building address numbers, visible and legible from the street or road fronting the property will be provided per FHPS Policy P-00-6 (UFC 901.4-4)
 - Provide fire access roadway signs or red curbs in accordance with FHPS policy A-001
 - Post indicator valves, fire department connection, and alarm bell are to be located on the address/access side of structure. UFC 1001.4
 - An illuminated directory, in accordance with FHPS Policy P-006, shall be provided
 - Building Phase 3, 4, and 5 will be equipped with fire alarm system and fire sprinkler system

SUNROAD CENTRUM Residential San Diego, CA



AERIAL of Phase 4 and 5 Building - looking East



AERIAL of Phase 4 and 5 Building - looking West



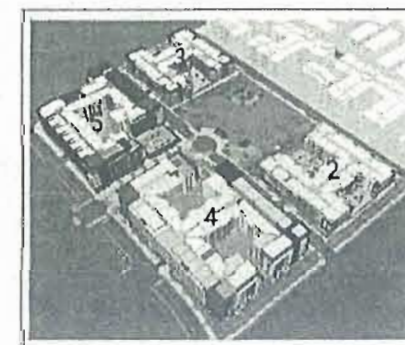
Phase 3



Phase 4



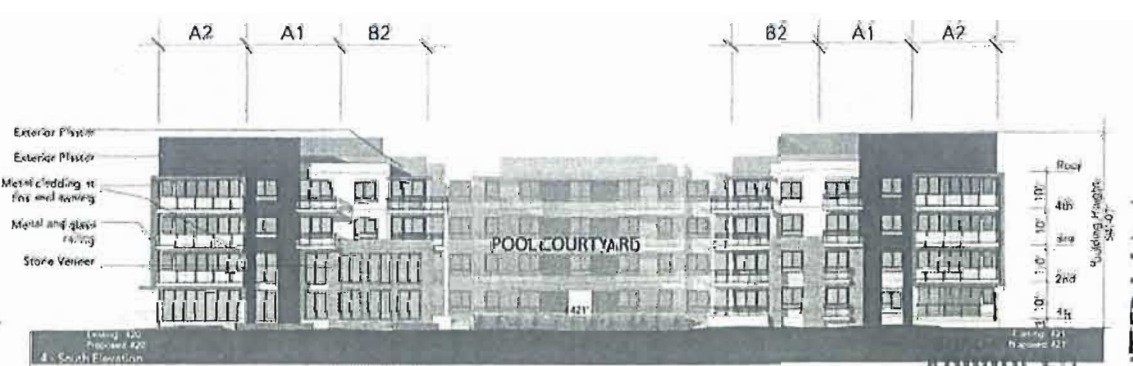
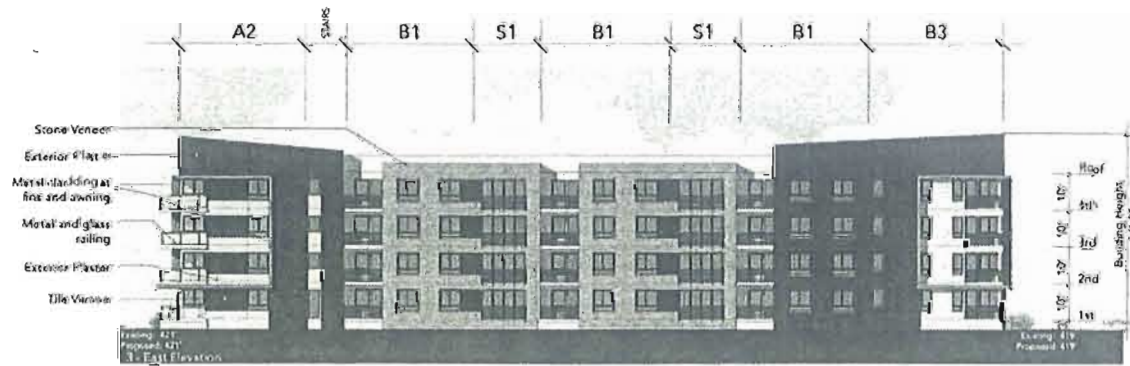
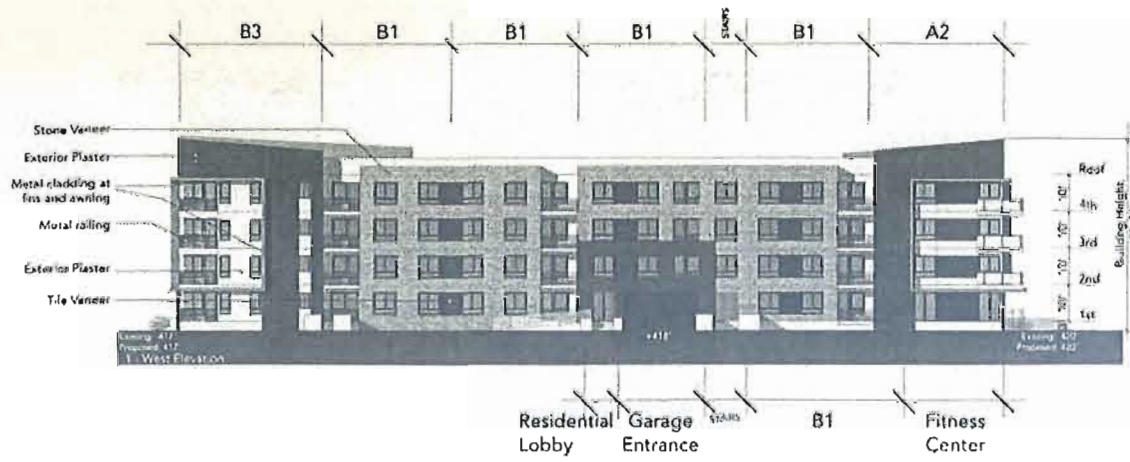
Phase 5



DISP 257079
APPROVED EXHIBIT "A"
 Approved Date: 03/12/11
 Approved By: [Signature]
 Title: [Signature]

PLANNED DEVELOPMENT PERMIT: 50061 6 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 8 December 2011

A-4.0
 RENDERING

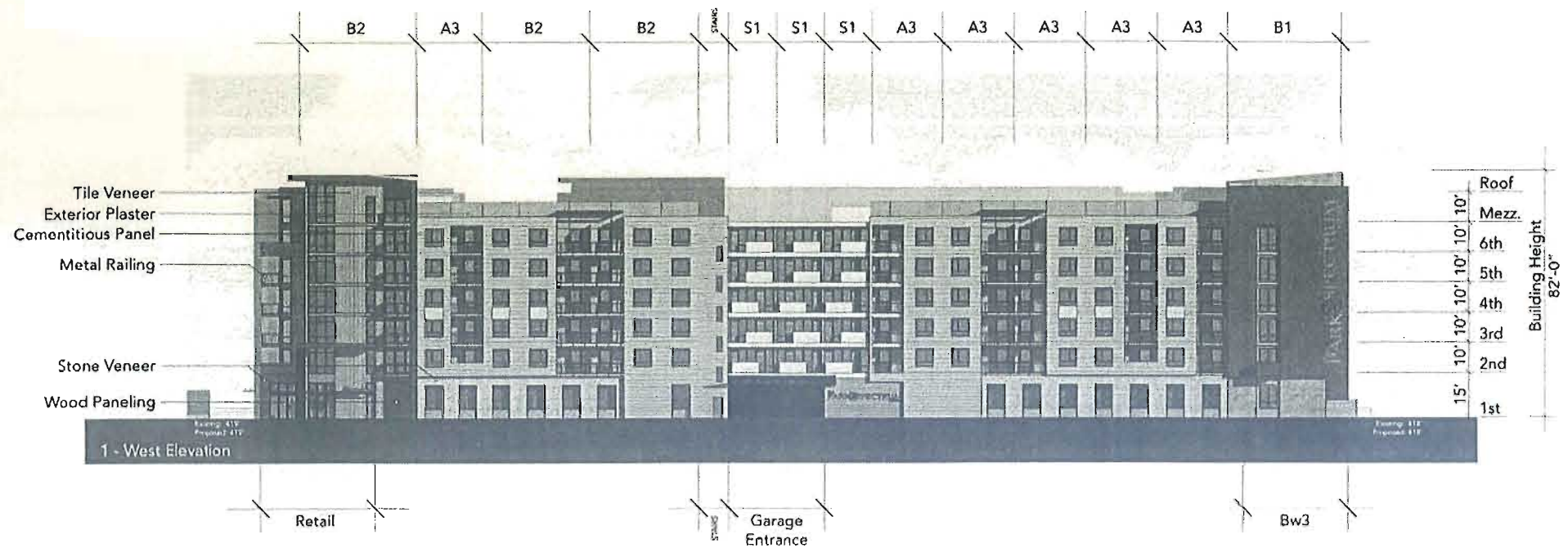


APPROVED EXHIBIT "A"
 Approved Date: 08/11/11
 Approved By: [Signature]
 PLANNED DEVELOPMENT PERMIT SHEET 7 of 44
 Original permit only - see September 2011
 1st Revision Sun 10/18/11

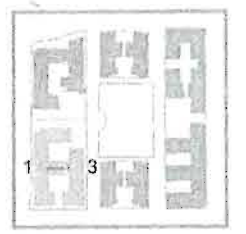
A-5.1
 PHASE 3
 ELEVATIONS



SUNROAD CENTRUM Residential
 San Diego, CA



APPROVED
EXHIBIT "A"



PLANNED DEVELOPMENT PERMIT - Sheet B of 44
Original Submittal Date: 15 September 2011
1st Revision Submittal: 8 December 2011

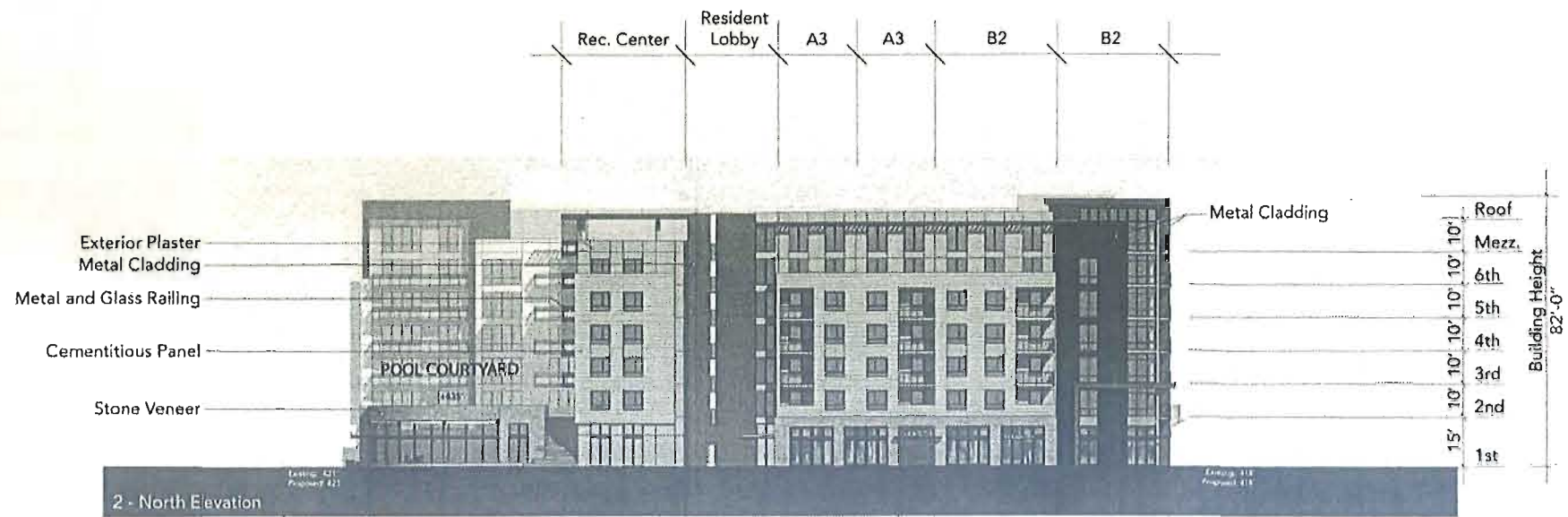
A-6.1
PHASE 4
EAST ELEVATION &
WEST ELEVATION

THOMAS P. COOK ARCHITECTS, INC. **TPC**
SCHMIDT GROUP, INC.
SR STEVENS CRESTO ENGINEERING, INC.
WERMERS PROPERTIES
SUNROAD ENTERPRISES

0' 8' 16' 24' 32' N

SUNROAD CENTRUM Residential San Diego, CA

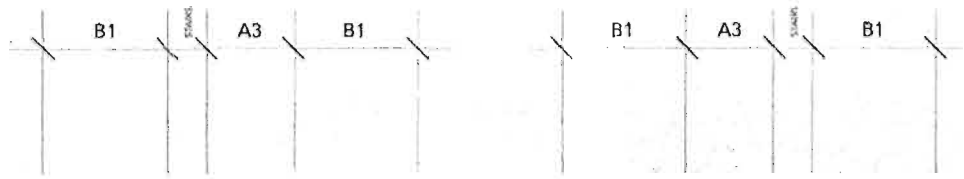
2011.039



2 - North Elevation

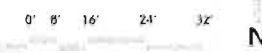
Leasing Resident Lobby Retail

PEDESTRIAN ACCESS TO GARAGE

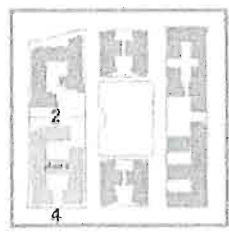


4 - South Elevation

Bw3 Bw1 Bw1 Aw1 Bw1 B1



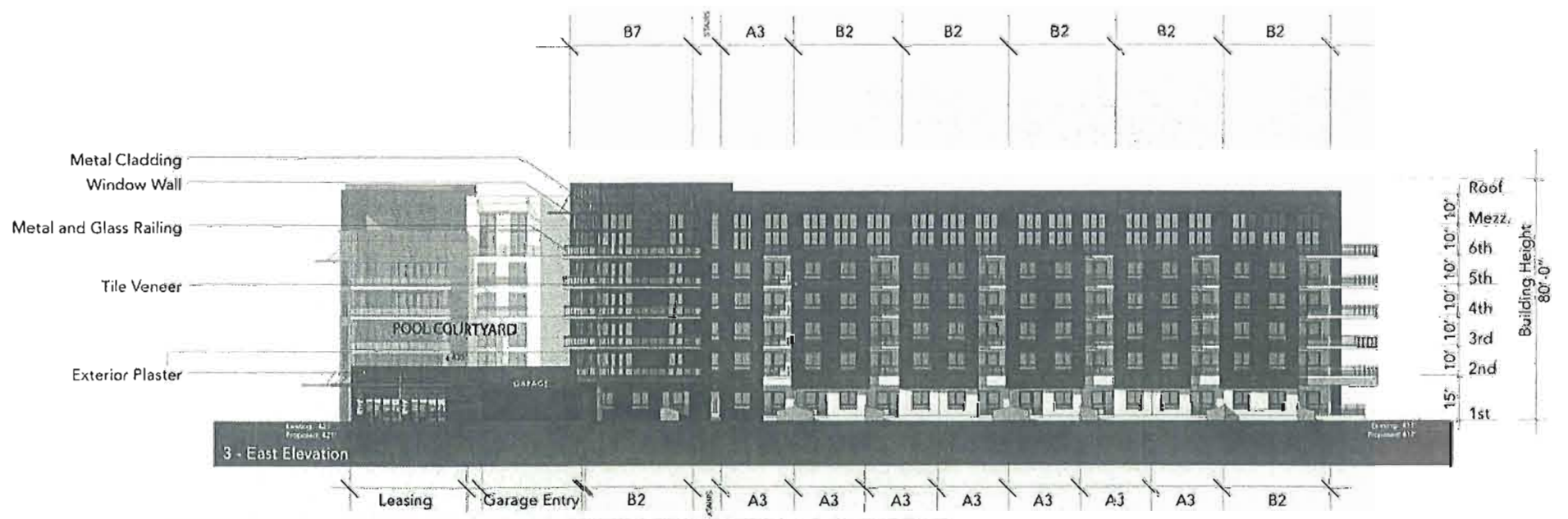
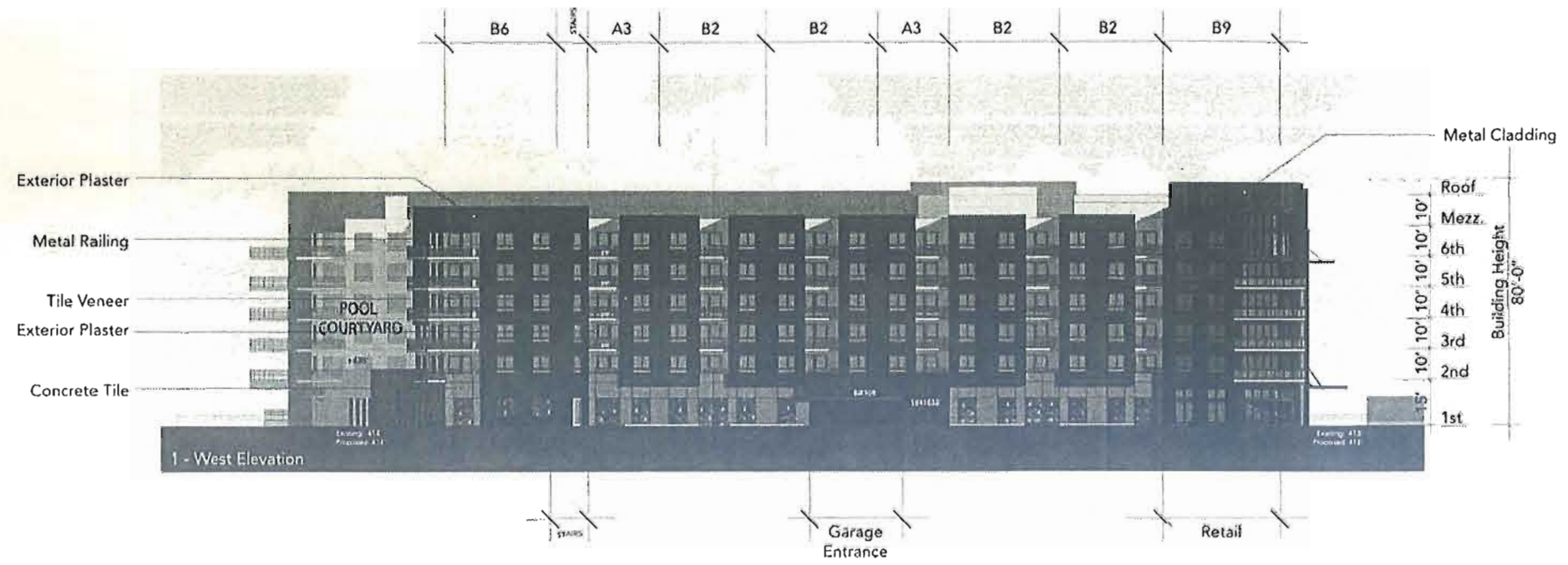
Plan # 257074
APPROVED
EXHIBIT 'A'
 Approval Date: 5/3/12
 Permit No.: SDP-12-0000
 SDP-12-0000



PLANNED DEVELOPMENT PERMIT - Sheet 9 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 8 December 2011

A-6.2
 PHASE 4
 NORTH ELEVATION &
 SOUTH ELEVATION

SUNROAD CENTRUM Residential
 San Diego, CA



0' 8' 16' 24' 32' N

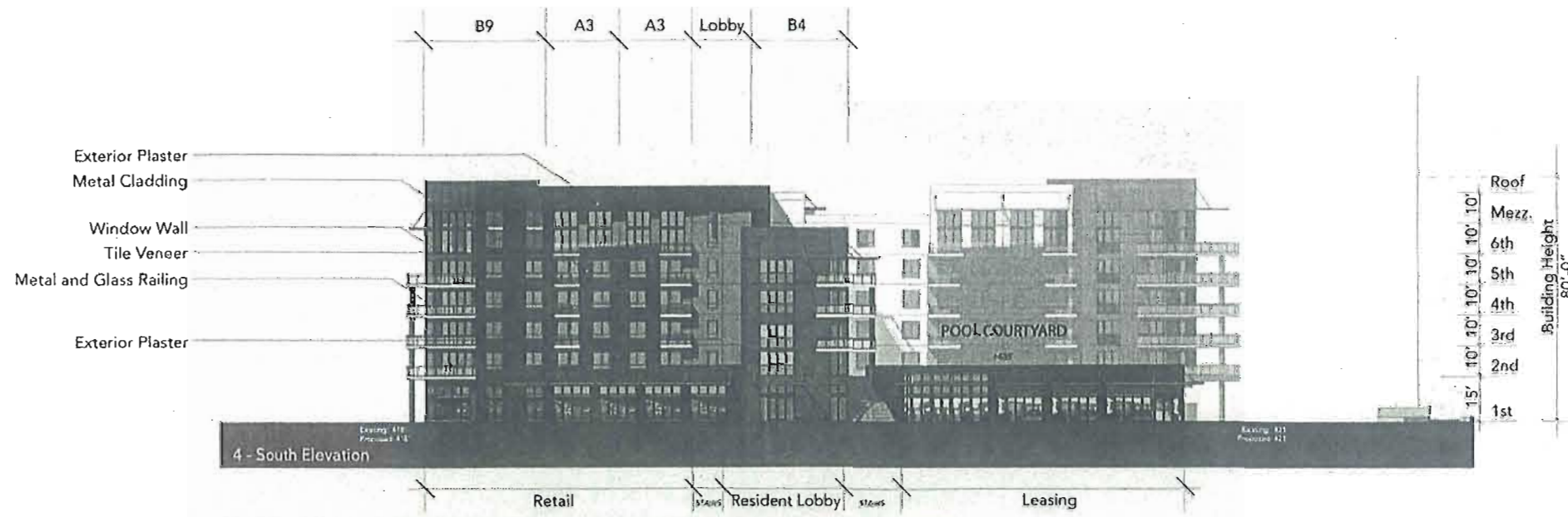
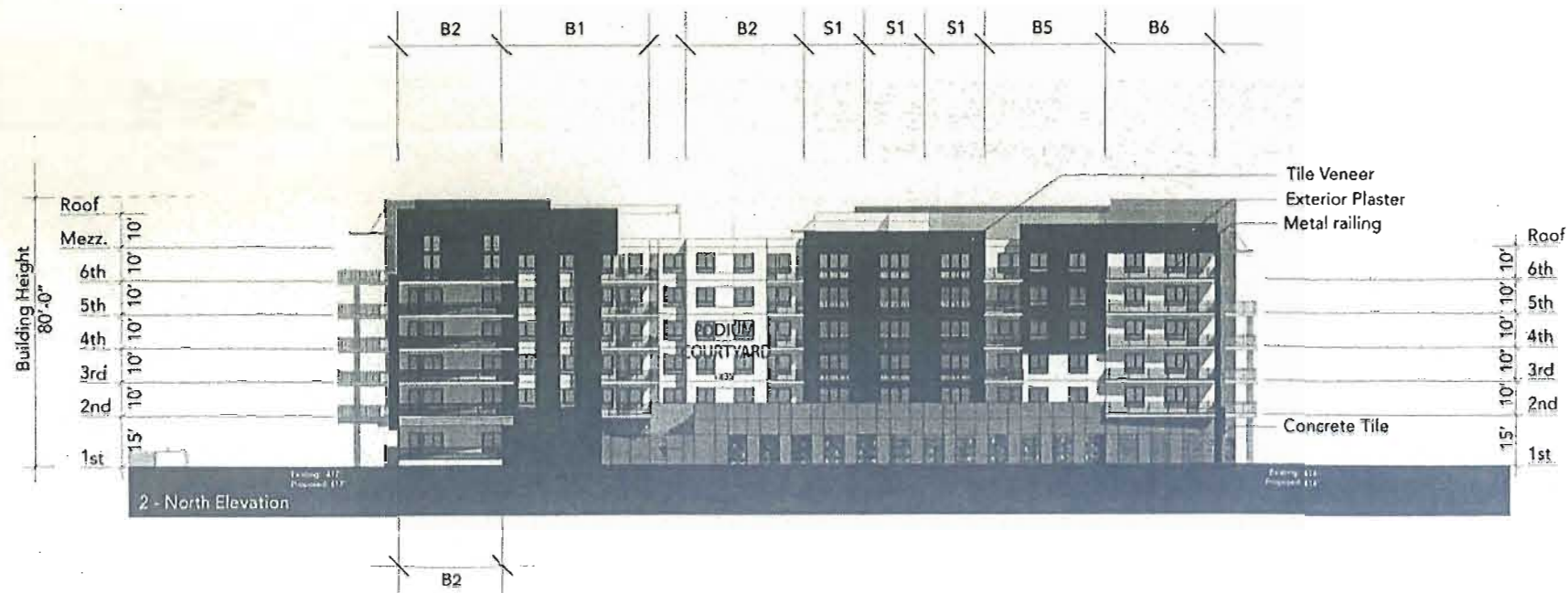
APPROVE
 EXHIBIT
 Approved by: [Signature]
 Permit No. [Number]
 [Date]



PLANNED DEVELOPMENT PERMIT - S1501 10 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 5 October 2011

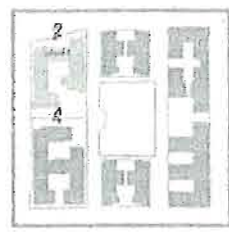
A-7.1
 PHASE 5
 EAST ELEVATION &
 WEST ELEVATION

SUNROAD CENTRUM Residential
 San Diego, CA



0' 8' 16' 24' 32' N

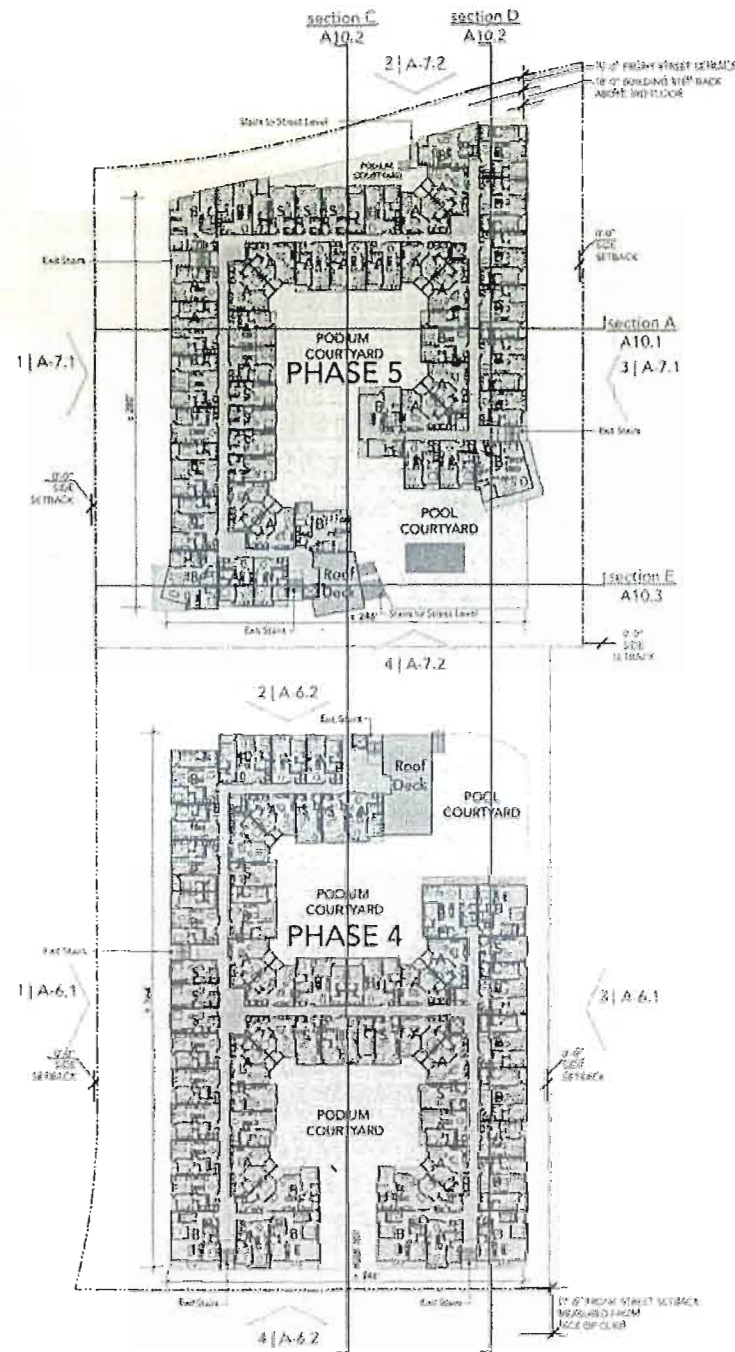
715# 257019
APPROVED
EXHIBIT "A"
 Approved On: 5/11/11
 Project No: 2011-001-001-001-001-001



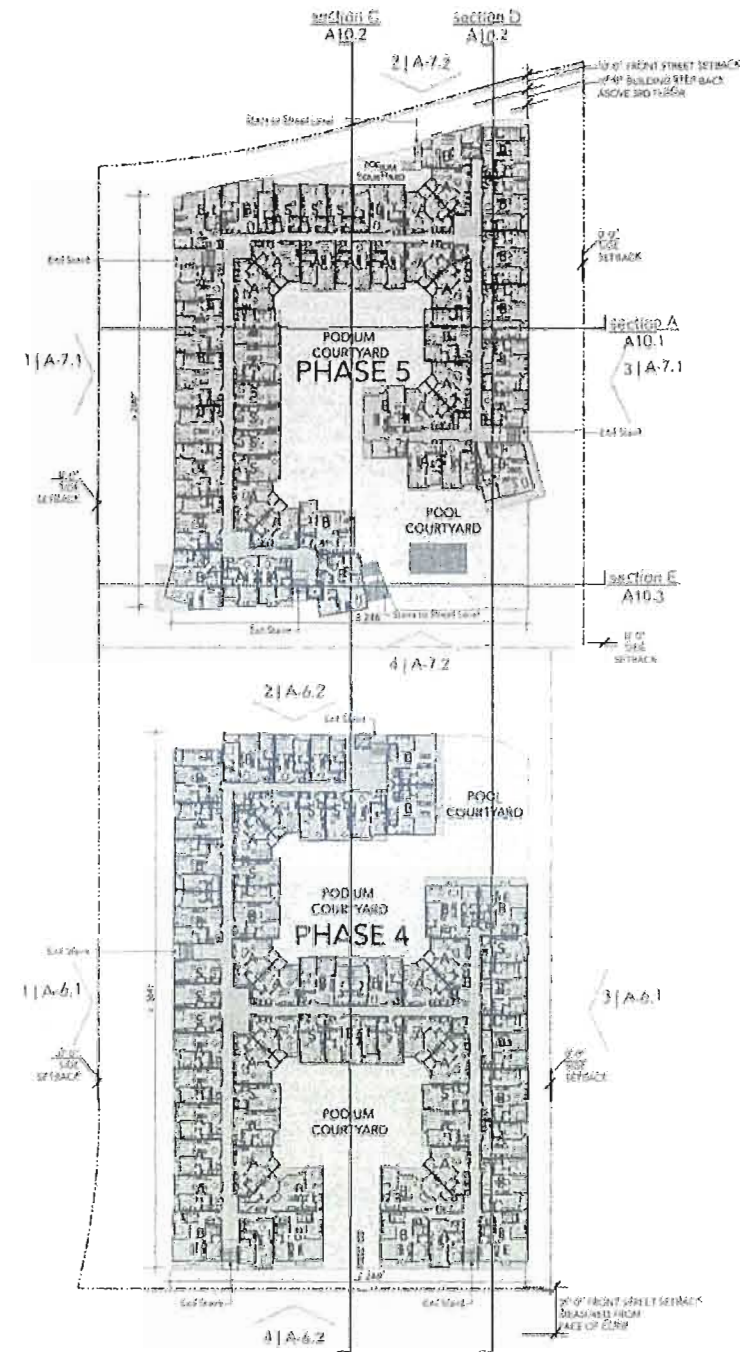
PLANNED DEVELOPMENT PERMIT - Sheet 11 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 8 December 2011

A-7.2
 PHASE 5
 NORTH ELEVATION &
 SOUTH ELEVATION

SUNROAD CENTRUM Residential
 San Diego, CA



LEVEL 5



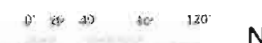
LEVELS 2-4



APPROVED
EXHIBIT 17
Permitted Designation
Project No. 2011-00139-0000-0000

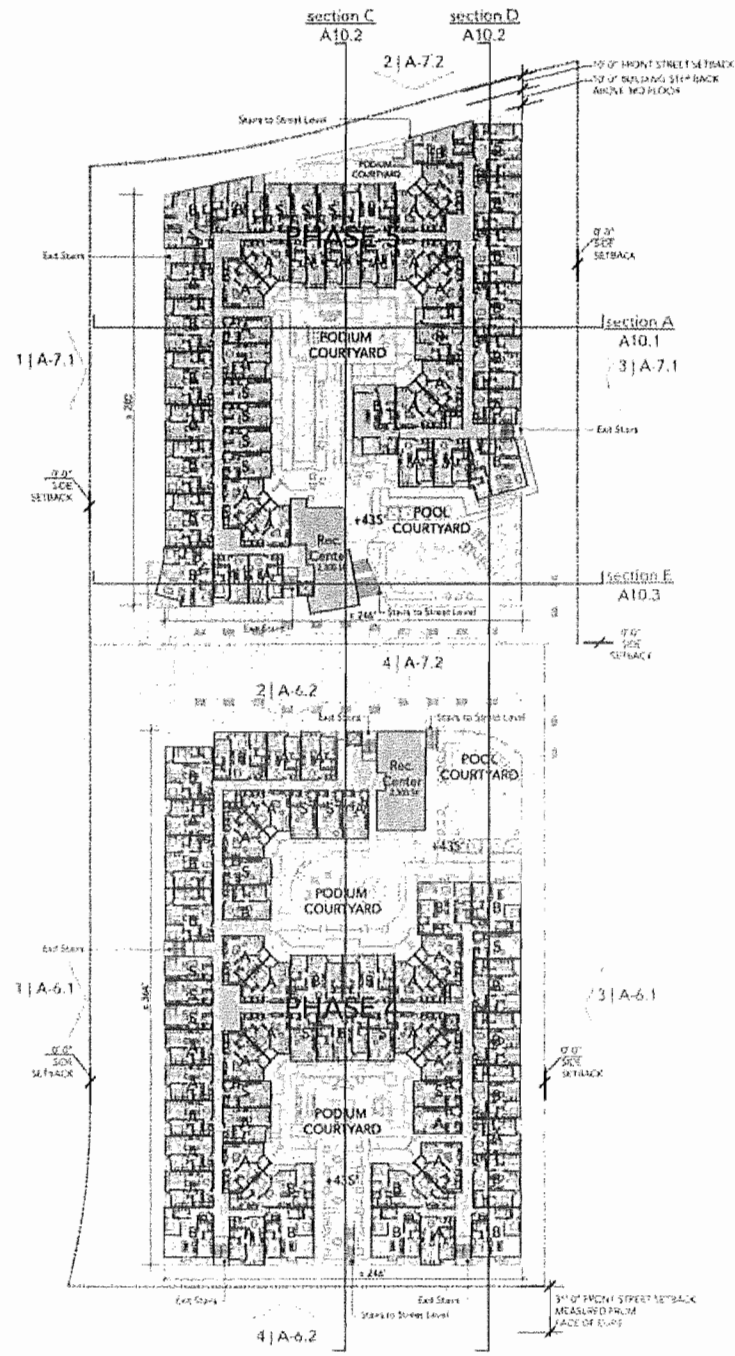
PLANNED DEVELOPMENT PERMIT - Sheet 13 of 44
Original Submitted Date: 10 September 2011
1st Revision Submitted: 8 December 2011

A-8.2
PHASE 4 & 5
BUILDING PLANS

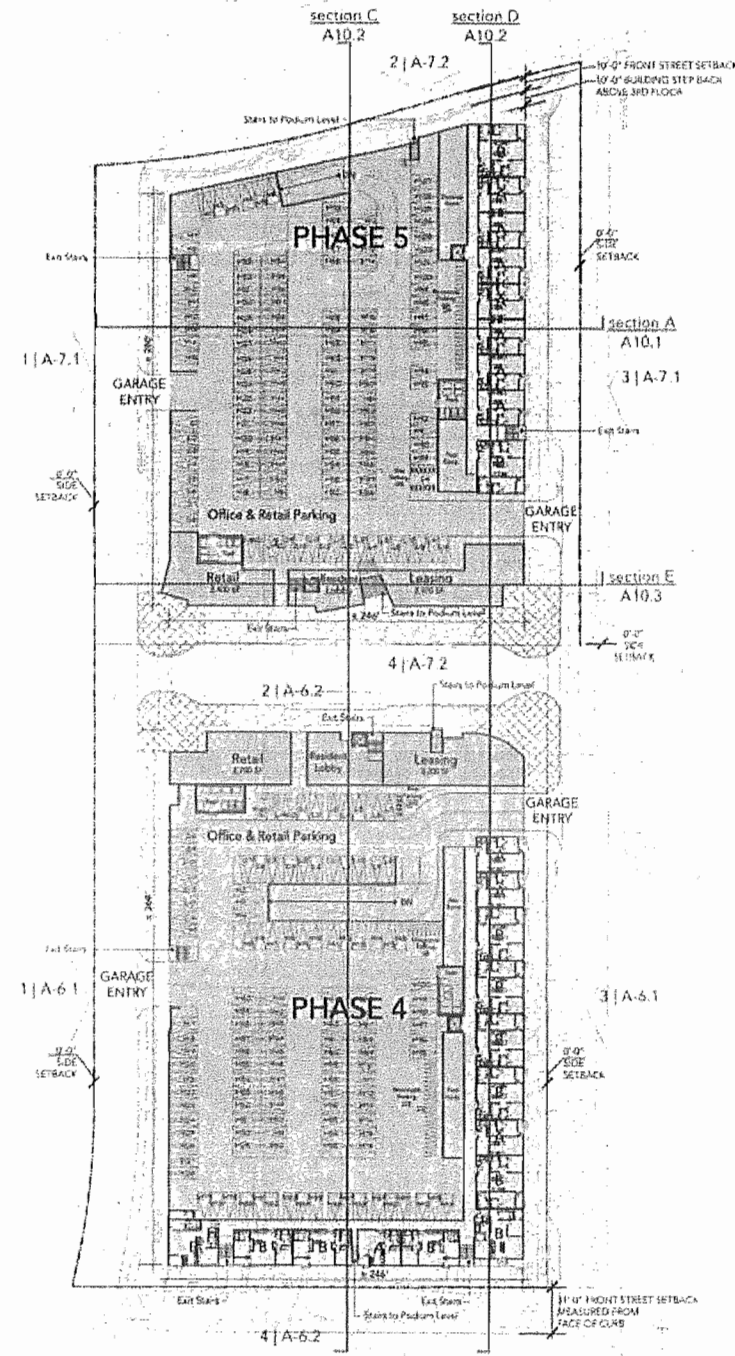


N

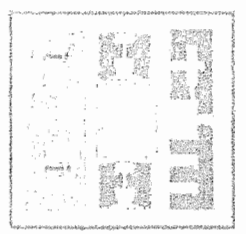
SUNROAD CENTRUM Residential
 San Diego, CA



LEVEL 1 PODIUM



STREET LEVEL



PH257077
APPROVED
EXHIBIT '9'
 Approved Date: 3/9/11
 Permit No. L201-38387-2-421-577

PLANNED DEVELOPMENT PERMIT- Sheet 14 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 8 December 2011

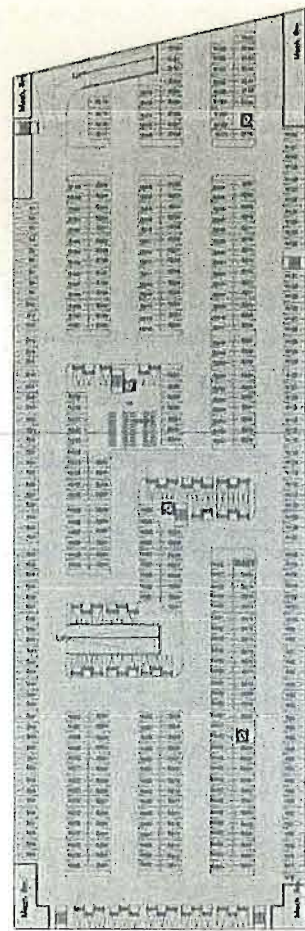
A-8.3
PHASE 4 & 5
BUILDING PLANS



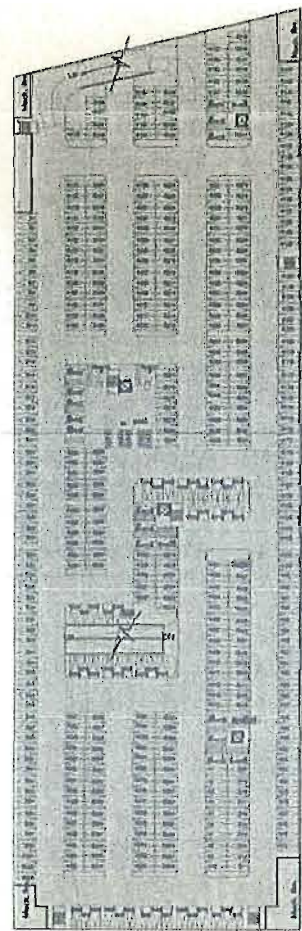




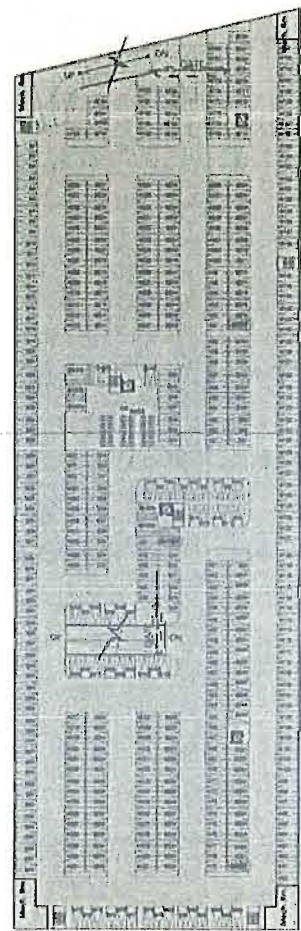

SUNROAD CENTRUM Residential
 San Diego, CA



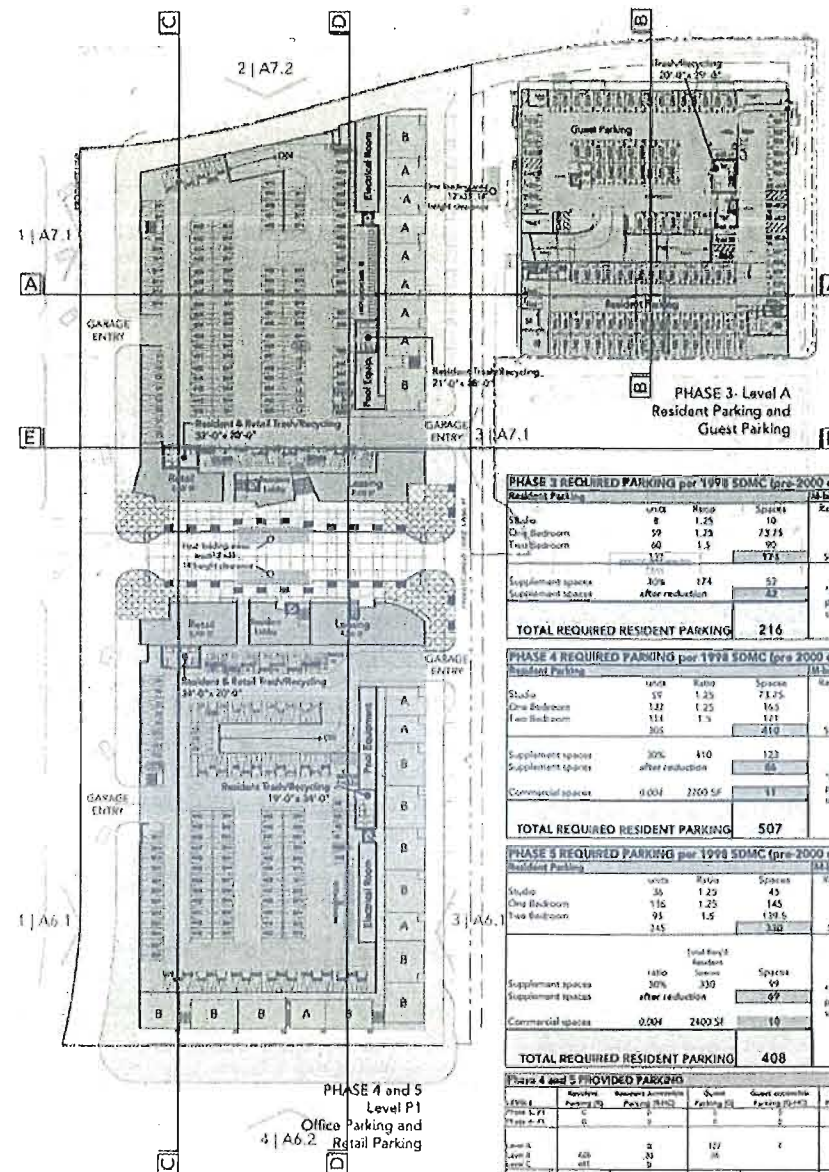
PHASE 4 and 5 Level C Resident Parking Only



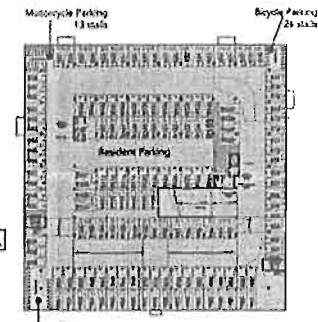
PHASE 4 and 5 Level B Resident Parking and Guest Parking



PHASE 4 and 5 Level A Guest Parking and Multi-use Parking



PHASE 3 Level A Resident Parking and Guest Parking



PHASE 3 Level B Resident Parking

PHASE 3 REQUIRED PARKING per 1998 SDMC (pre-2000 code)

Room	Units	Ratio	Spaces	M Stalls	Bicycle Parking	M Stalls
Studio	8	1.25	10			
One Bedroom	59	1.25	73.75			
Two Bedroom	60	1.5	90			
Total	127		173.75	5%	11	30%
Supplemental spaces after reduction			52			
TOTAL REQUIRED RESIDENT PARKING			216			

PHASE 3 PROVIDED PARKING

Room	Level A	Level B	Total	%
Prime Residential	47	130	177	82%
Prime Accessible	18	29	47	22%
Guest	48		48	22%
Accessible Guest	3		3	1%
Multi-use	1		1	0%
Total	127	159	277	128%

PHASE 4 REQUIRED PARKING per 1998 SDMC (pre-2000 code)

Room	Units	Ratio	Spaces	M Stalls	Bicycle Parking	M Stalls
Studio	57	1.25	71.25			
One Bedroom	122	1.25	152.5			
Two Bedroom	114	1.5	171			
Total	293		395	5%	27	30%
Supplemental spaces after reduction			123			
TOTAL REQUIRED RESIDENT PARKING			507			

PHASE 4 PROVIDED PARKING

Room	Level A	Level B	Total	%
Prime Residential	47	130	177	82%
Prime Accessible	18	29	47	22%
Guest	48		48	22%
Accessible Guest	3		3	1%
Multi-use	1		1	0%
Total	127	159	277	128%

PHASE 5 REQUIRED PARKING per 1998 SDMC (pre-2000 code)

Room	Units	Ratio	Spaces	M Stalls	Bicycle Parking	M Stalls
Studio	36	1.25	45			
One Bedroom	115	1.25	143.75			
Two Bedroom	93	1.5	139.5			
Total	244		328.25	5%	27	30%
Supplemental spaces after reduction			99			
TOTAL REQUIRED RESIDENT PARKING			408			

PHASE 5 PROVIDED PARKING

Room	Level A	Level B	Total	%
Prime Residential	47	130	177	82%
Prime Accessible	18	29	47	22%
Guest	48		48	22%
Accessible Guest	3		3	1%
Multi-use	1		1	0%
Total	127	159	277	128%

Phase 4 and 5 PROVIDED PARKING

Room	Level A	Level B	Level C	Total	%
Prime Residential	47	130		177	82%
Prime Accessible	18	29		47	22%
Guest	48			48	22%
Accessible Guest	3			3	1%
Multi-use	1			1	0%
Total	127	159	0	277	128%

Per 1998 SDMC PHASE 3, 4, and 5 Combined

Room	Level A	Level B	Level C	Total	%
Prime Residential	47	130		177	82%
Prime Accessible	18	29		47	22%
Guest	48			48	22%
Accessible Guest	3			3	1%
Multi-use	1			1	0%
Total	127	159	0	277	128%

PLANNED DEVELOPMENT PERMIT - Sheet 15 of 44
 Original Submitted Date: 15 September 2011
 1st Revision Submitted: 8 October 2011
 2nd Revision Submitted: 2 February 2012
 3rd Revision Submitted: 20 March 2012
 See the attached 5411 compliance sheet for compliance to 1998 San Diego Municipal Code and Current San Diego Municipal Code

A-9.0
SUBTERRANEAN GARAGE PLANS



PHASE 3- RECYCLE MATERIAL STORAGE AREAS FOR RESIDENTIAL DEVELOPMENT

Number of Dwelling Units per Development	Min. Recycle Storage Area Per Development	Min. Recycle Storage Area Per Development	Total Min. Storage Area Per Development
204-48 SF for every 25 dwelling units above 250	204-48 SF for every 25 dwelling units above 250	364-64 SF for every 25 dwelling units above 250	764-64 SF for every 25 dwelling units above 250
204	364	364	728

PHASE 4- RECYCLE MATERIAL STORAGE AREAS FOR RESIDENTIAL DEVELOPMENT

Number of Dwelling Units per Development	Min. Recycle Storage Area Per Development	Min. Recycle Storage Area Per Development	Total Min. Storage Area Per Development
293	364	364	728
293	364	364	728

PHASE 5- RECYCLE MATERIAL STORAGE AREAS FOR RESIDENTIAL DEVELOPMENT

Number of Dwelling Units per Development	Min. Recycle Storage Area Per Development	Min. Recycle Storage Area Per Development	Total Min. Storage Area Per Development
244	364	364	728
244	364	364	728

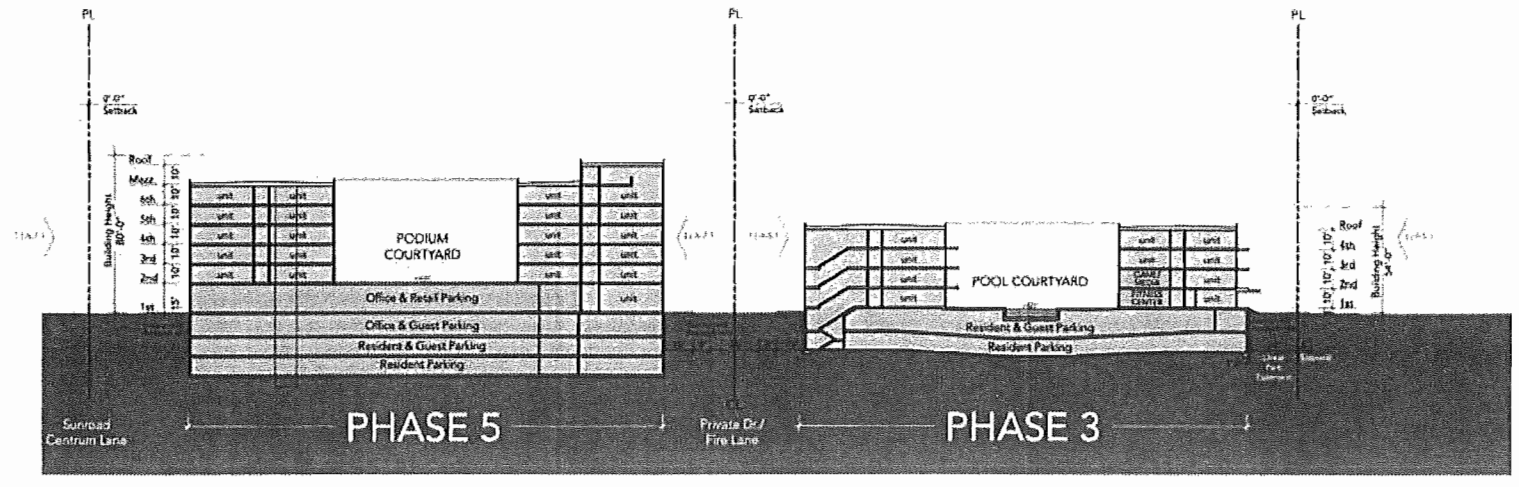
PHASE 4- RECYCLE MATERIAL STORAGE AREAS FOR NONRESIDENTIAL DEVELOPMENT

Gross Floor Area Per Development (SQ FT)	Min. Recycle Storage Area Per Development	Min. Recycle Storage Area Per Development	Total Min. Storage Area Per Development
1,666,171	1,666,171	1,666,171	3,332,342
1,666,171	1,666,171	1,666,171	3,332,342

PHASE 5- RECYCLE MATERIAL STORAGE AREAS FOR NONRESIDENTIAL DEVELOPMENT

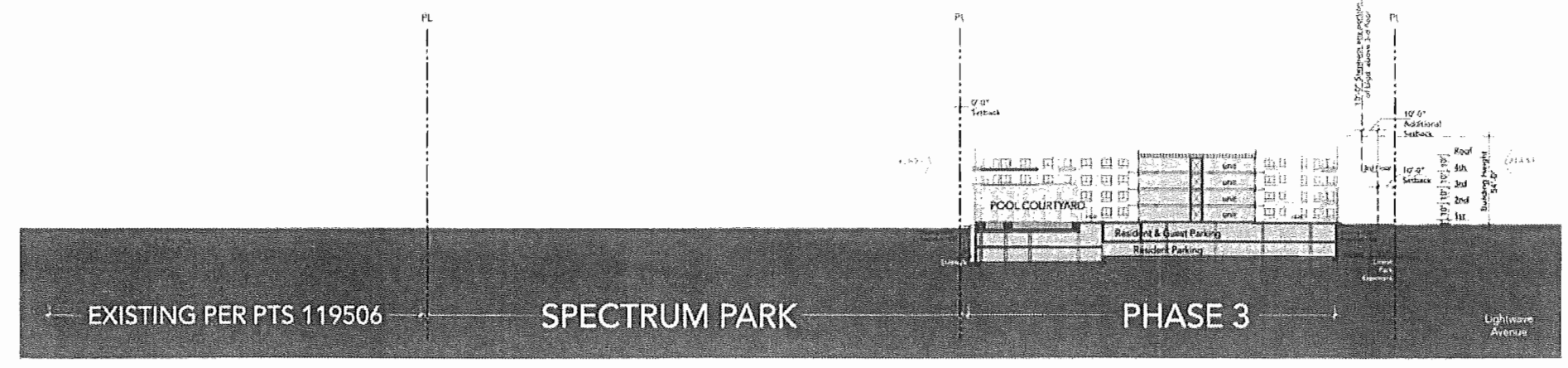
Gross Floor Area Per Development (SQ FT)	Min. Recycle Storage Area Per Development	Min. Recycle Storage Area Per Development	Total Min. Storage Area Per Development
1,666,171	1,666,171	1,666,171	3,332,342
1,666,171	1,666,171	1,666,171	3,332,342





Please refer to Sheet A-5.1, A-7.1, and A-11.0 for structure height variation

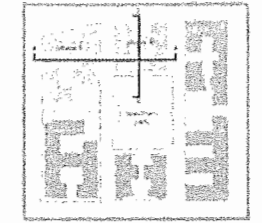
section A



Please refer to Sheet A-5.1 and A-11.0 for structure height variation

section B

115-251079
APPROVED EXHIBIT 'I'
 APPROVED DATE 9/26
 PROJECT NO. 115-251079/0901832
[Signature]

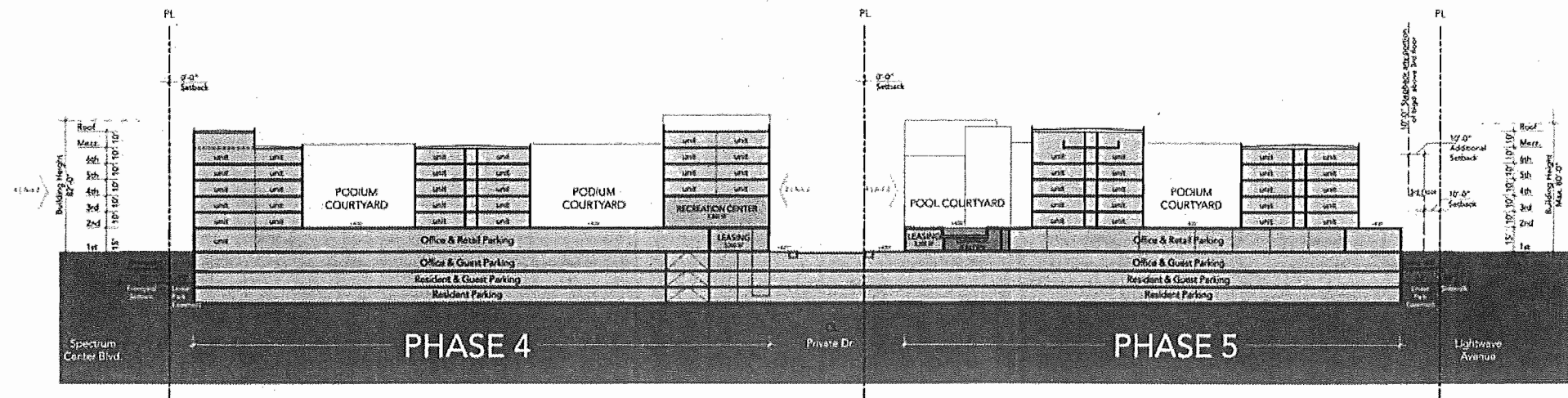


0' 15' 30' 60' 90'

PLANNED DEVELOPMENT PERMIT- Sheet 16 of 44
 Original Submittal Date: 13 September 2011
 1st Revision Submittal: 8 December 2011

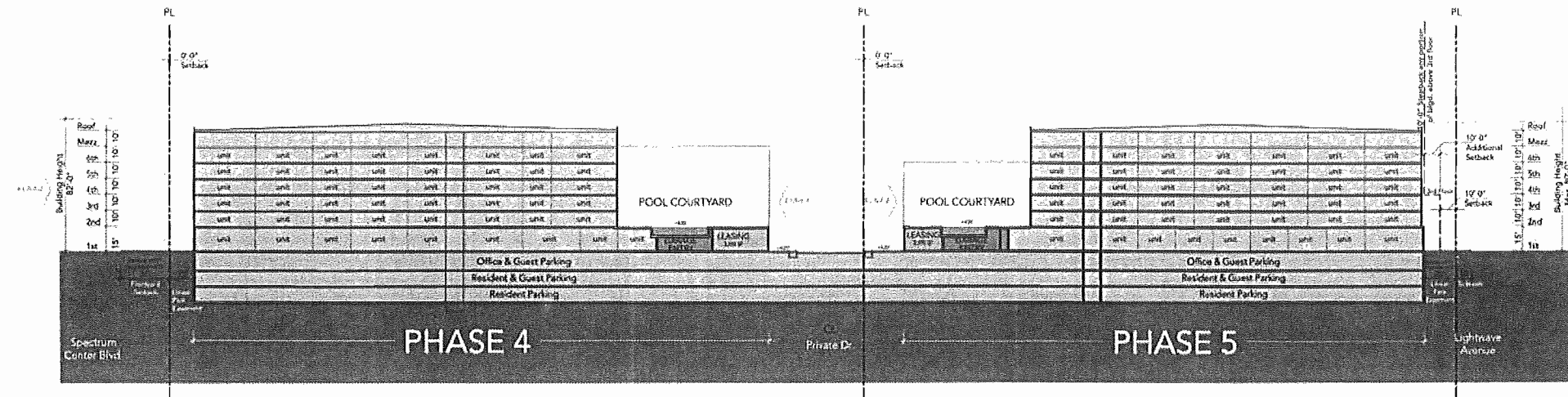
A-10.1
 PHASE 3 & 5
 SITE SECTIONS

SUNROAD CENTRUM Residential
 San Diego, CA
 2011.039



Please refer to Sheet A-6.2, A-7.2, and A-11.0 for structure height variation.

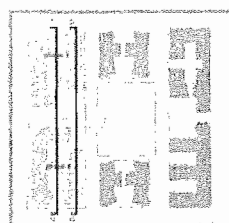
section C



PRJ# 257079
APPROVED EXHIBIT "1"
 Approved Date: 8/31/12
 Project No: 120-15007-1-10-000000

Please refer to Sheet A-6.2, A-7.2, and A-11.0 for structure height variation.

section D

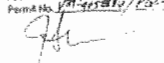


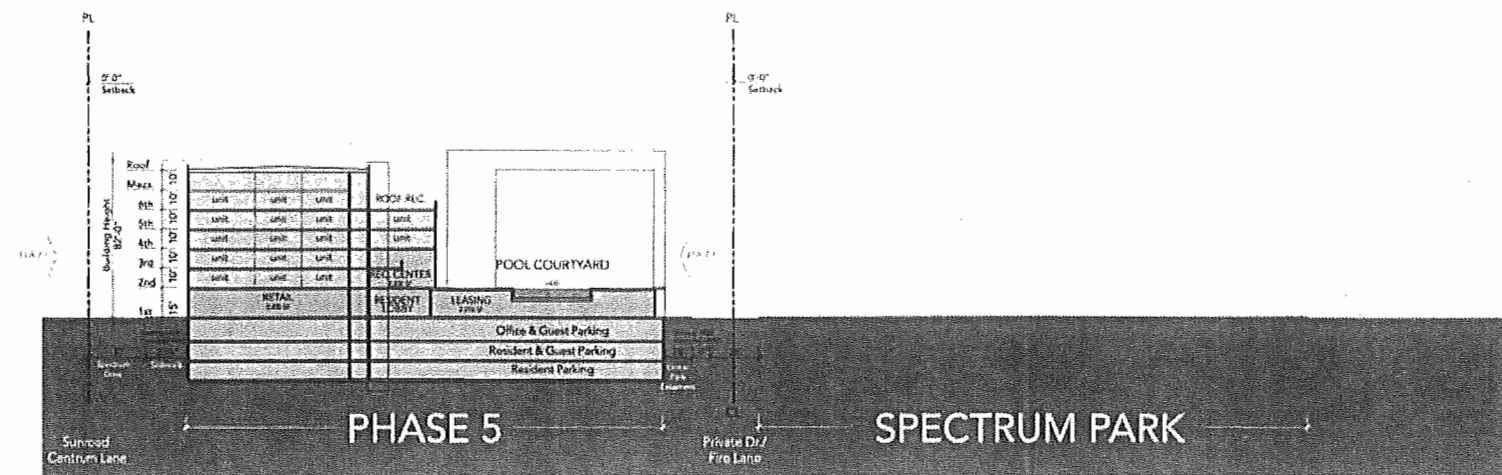
PLANNED DEVELOPMENT PERMIT- Sheet 17 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 8 December 2011

A-10.2
 PHASE 4 & 5
 SITE SECTIONS

0' 15' 30' 60' 90'

SUNROAD CENTRUM Residential
 San Diego, CA

PB 257079
APPROVED
EXHIBIT
 Approval Date: 8/31/11
 Permit No.: PD-10-0122









Please refer to Sheet A-7.1
 and A-11.D for structure
 height variation.

section
 E

PLANNED DEVELOPMENT PERMIT- Sheet 18 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 8 December 2011

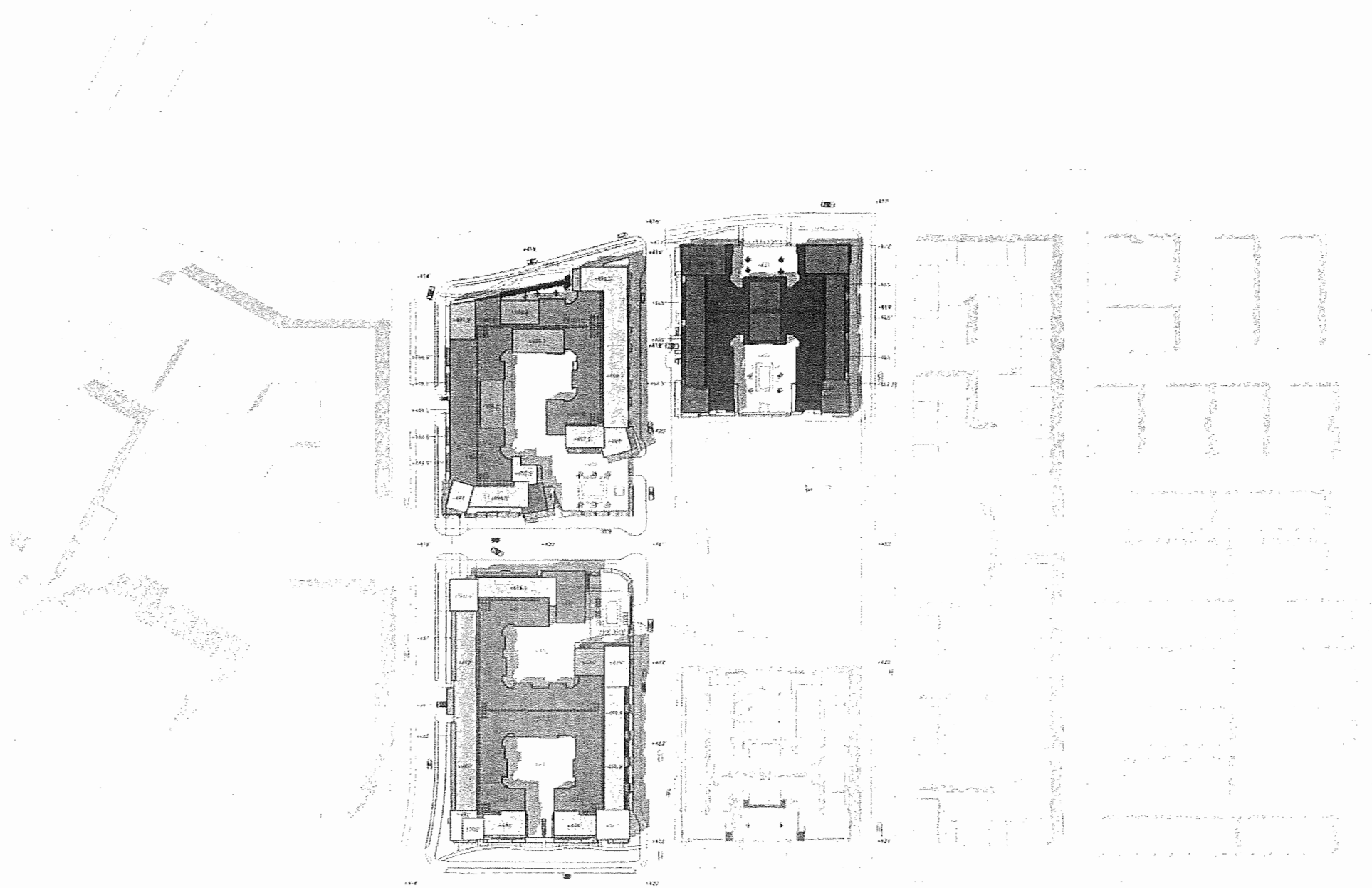
A-10.3
 PHASE 5
 SITE SECTIONS



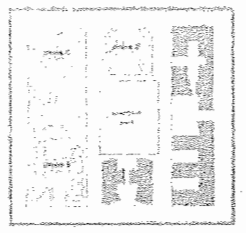
James P. Cox Architects, Inc. 
 Robert Dixon Group, Inc. 
 STEVENS-CRETO ENGINEERING, INC. 
 WERMERS PROPERTIES 
 SUNROAD ENTERPRISES 

0' 15' 30' 60' 90'

SUNROAD CENTRUM Residential San Diego, CA



PDS # 277011
 AL EX 'A'
 Approved Permits: 2011-12-15
 J. [Signature]



ALL MECHANICAL EQUIPMENTS ON THE ROOF ARE SCREENED IN COMPLIANCE TO THE NEW CENTURY MASTER PLAN

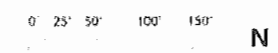
- Street Elevation
- Porchum Elevation
- Roof Elevation
- Condenser Units

PLANNED DEVELOPMENT PERMIT - Sheet 19 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 8 December 2011

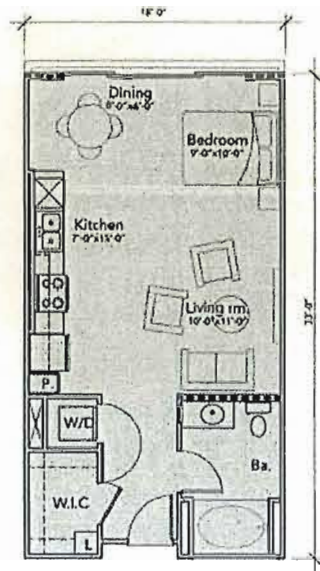
A-11.0

ROOF PLAN

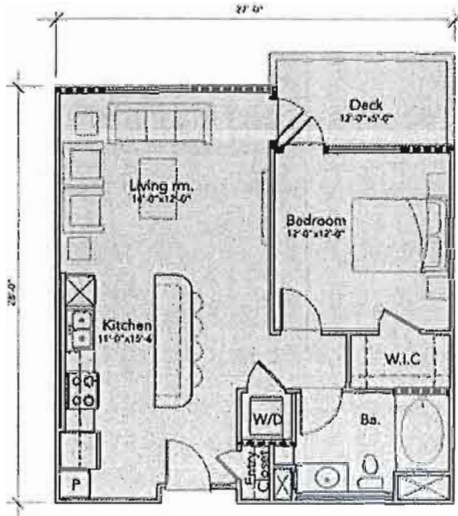
Thomas P. Cost Architects, Inc. **TPC**
 www.tpc-arch.com
 Planning Design Group, Inc.
PDG
 STEVENS CRESTO ENGINEERING, INC.
 CIVIL ENGINEERS - PLANNERS - ARCHITECTS
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT
SUNROAD ENTERPRISES



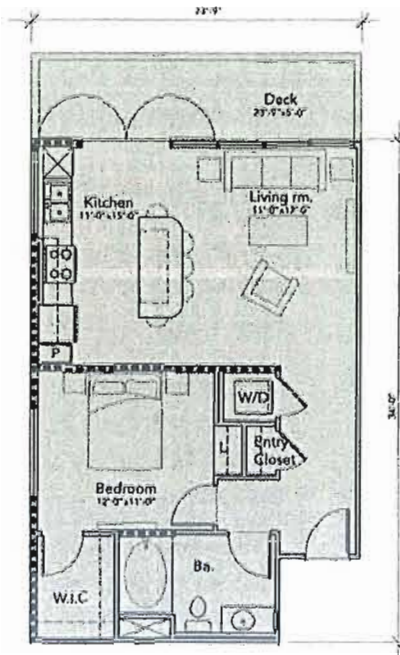
SUNROAD CENTRUM Residential
 San Diego, CA



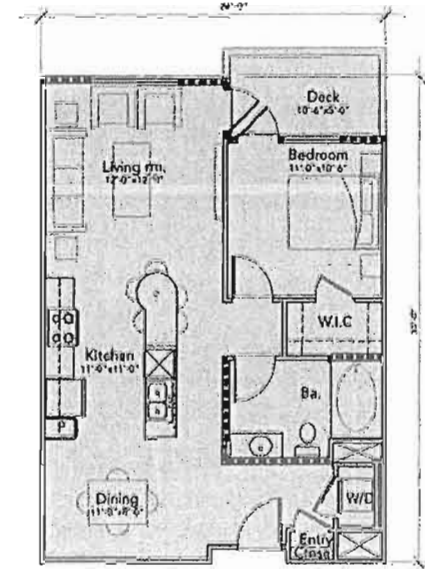
UNIT S1
583 s.f.



UNIT A1
720 s.f.
78 s.f. deck



UNIT A2
742 s.f.
132 s.f. deck

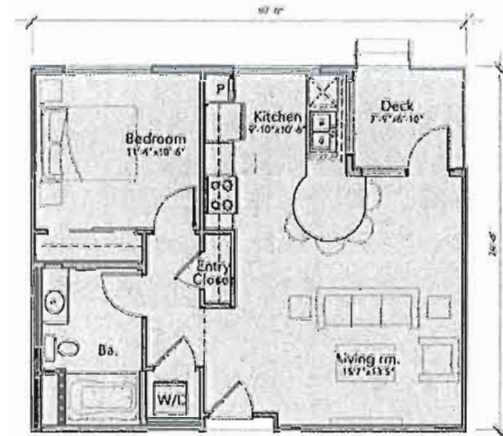


UNIT A3
743 s.f.
65 s.f. deck

APPROVED EXHIBIT
8/21/10
PLANNED DEVELOPMENT PERMIT
NO. 11-08-0001
DATE: 8/21/10



UNIT A4
784 s.f.
57 s.f. deck

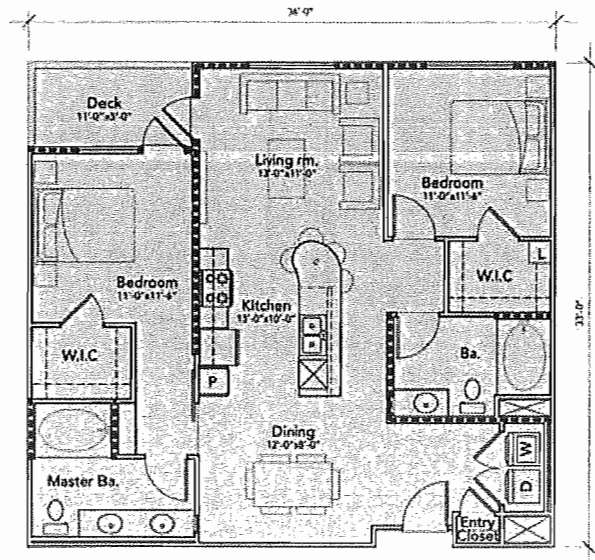


UNIT Aw1
681 s.f.
53 s.f. deck

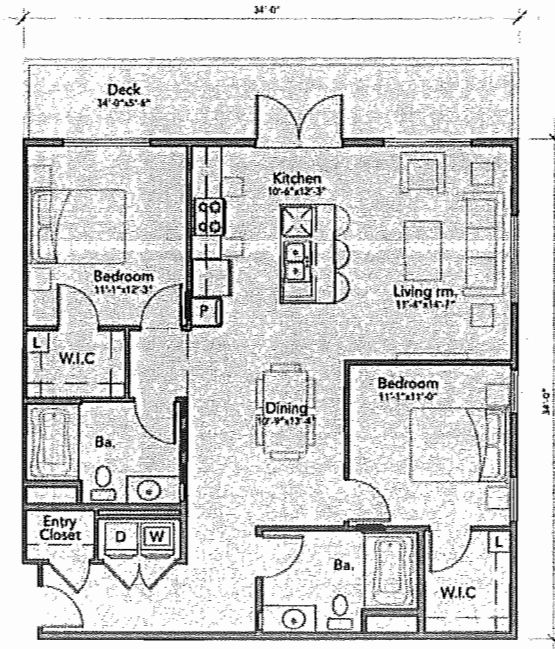
0' 2' 4' 8' 16'

PLANNED DEVELOPMENT PERMIT - Sheet 20 of 44
Original Submitting Date: 15 September 2011
1st Revision Submitted: 8 December 2011

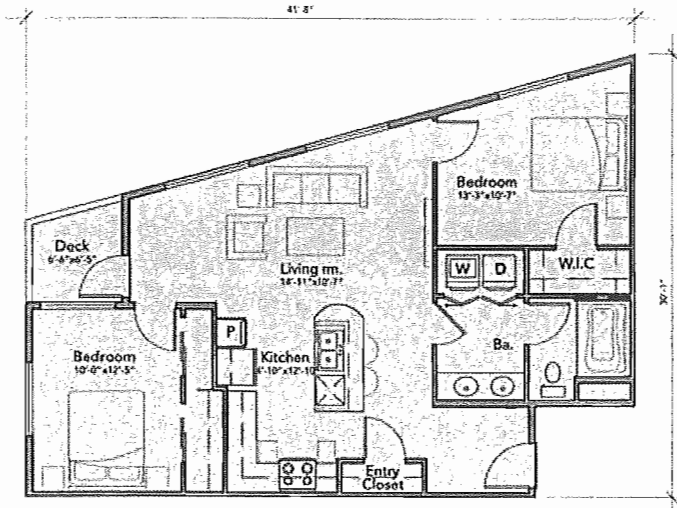
A-12.1
UNIT PLANS
STUDIO & 1-BR



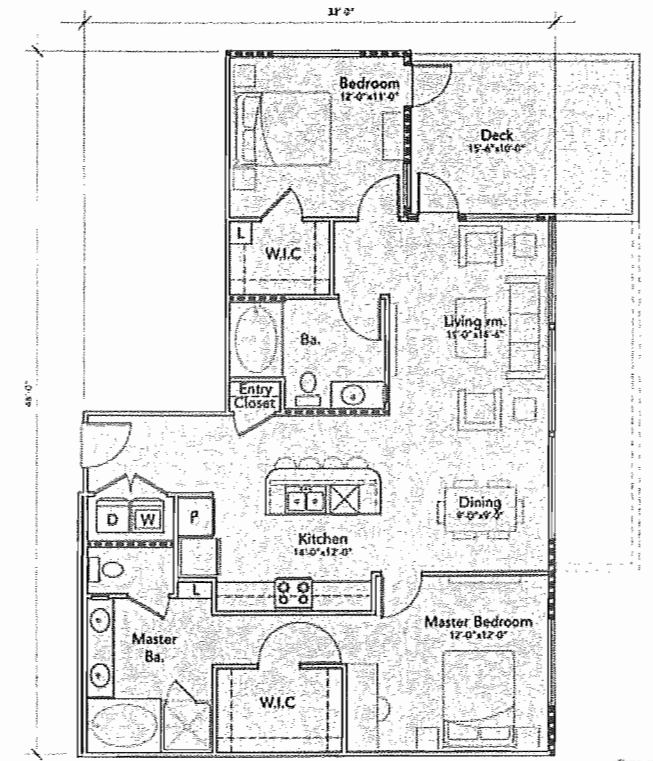
UNIT B1-1
 1,118 s.f.
 64 s.f. deck



UNIT B1-2
 1,150 s.f.
 187 s.f. deck



UNIT B1-3
 933 s.f.
 42 s.f. deck



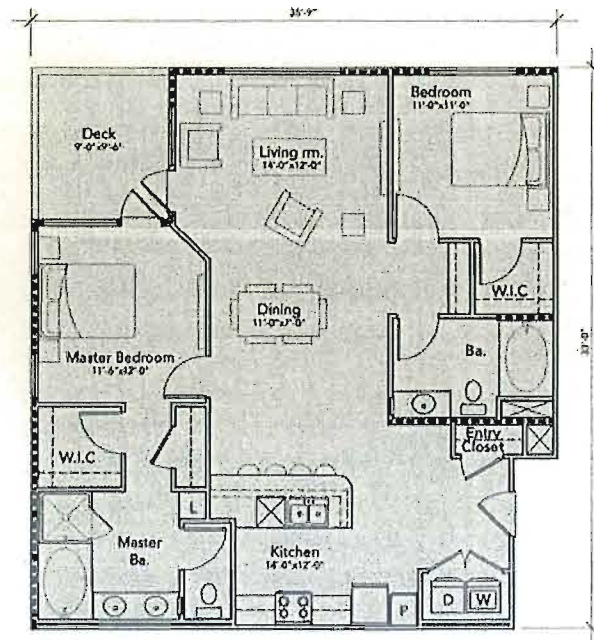
UNIT B2
 1,220 s.f.
 79 s.f. deck

PRJ# 2-57-07
ART EXH
 Approval Date: 8/1/11
 Permit No. 211-05557
 8/24/11

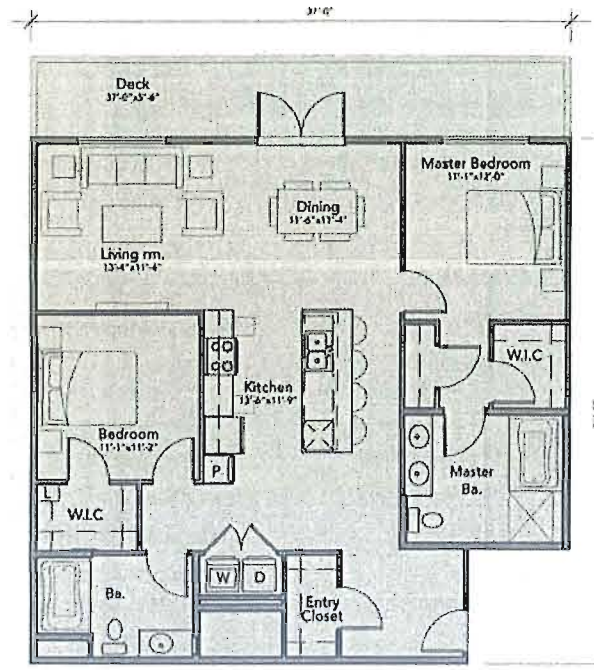
PLANNED DEVELOPMENT PERMIT - Sheet 21 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 8 December 2011

A-12.2
 UNIT PLANS
 2-BR

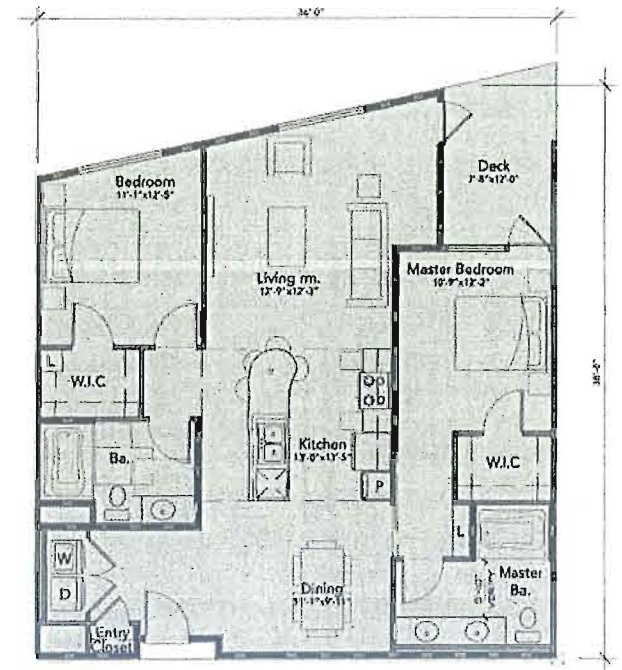
0' 2' 4' 8' 16'



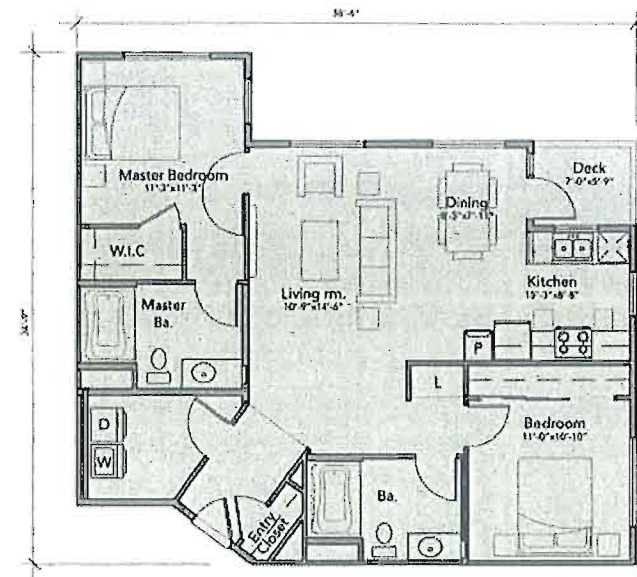
UNIT B3-1
1,241 s.f.
98 s.f. deck



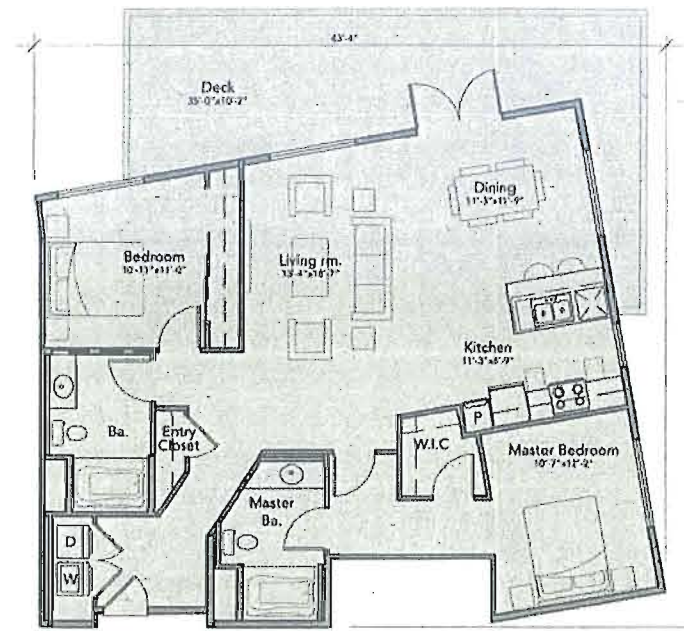
UNIT B4-1
1,268 s.f.
203 s.f. deck



UNIT B5
1,218 s.f.
92 s.f. deck



UNIT B3-2
1,098 s.f.
40 s.f. deck

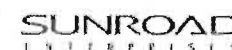


UNIT B4-2
1,249 s.f.
355 s.f. deck

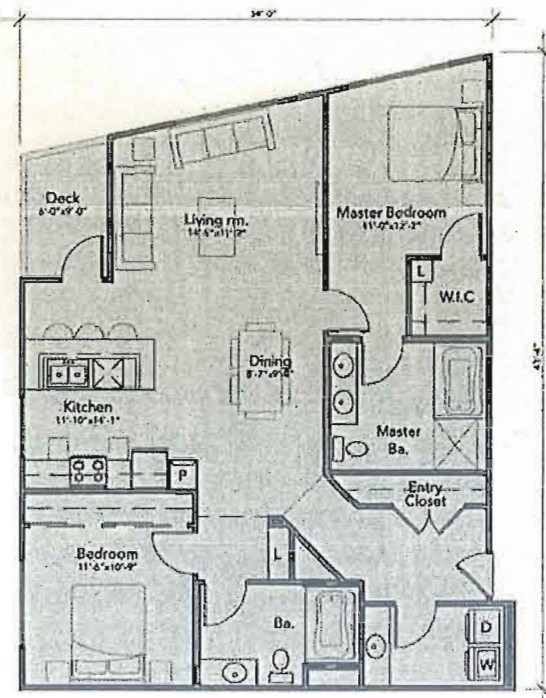
750 251079
APPROVED
EXHIBIT "A"
Approved Date: 5/15/11
Project No.: 11K-03-15-11
10/11/11 10:13:51

PLANNED DEVELOPMENT PERMIT- Sheet 22 of 44
Original Submittal Date: 15 September 2011
1st Revision Submittal: 8 December 2011

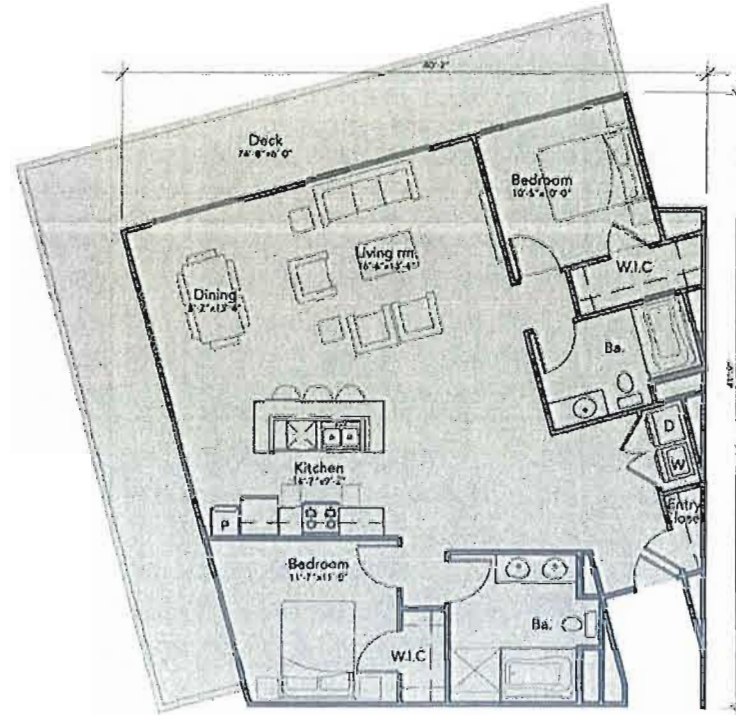
A-12.3
UNIT PLANS
2-BR



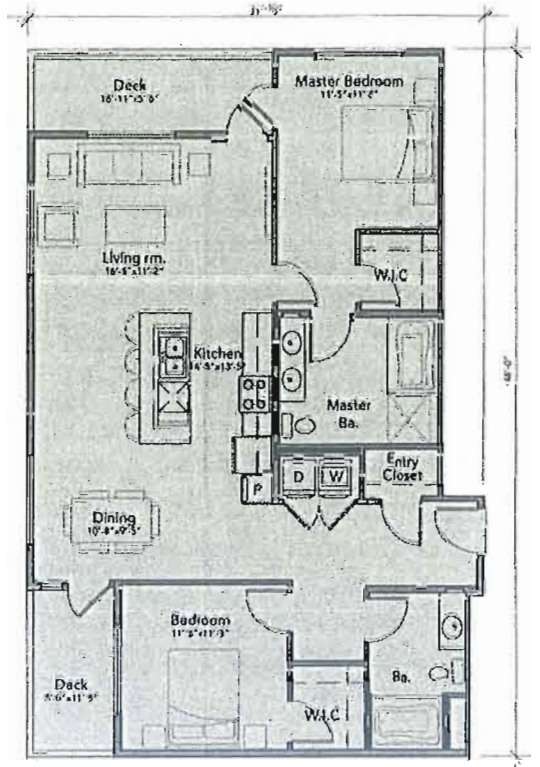
0 2 4 8 16'



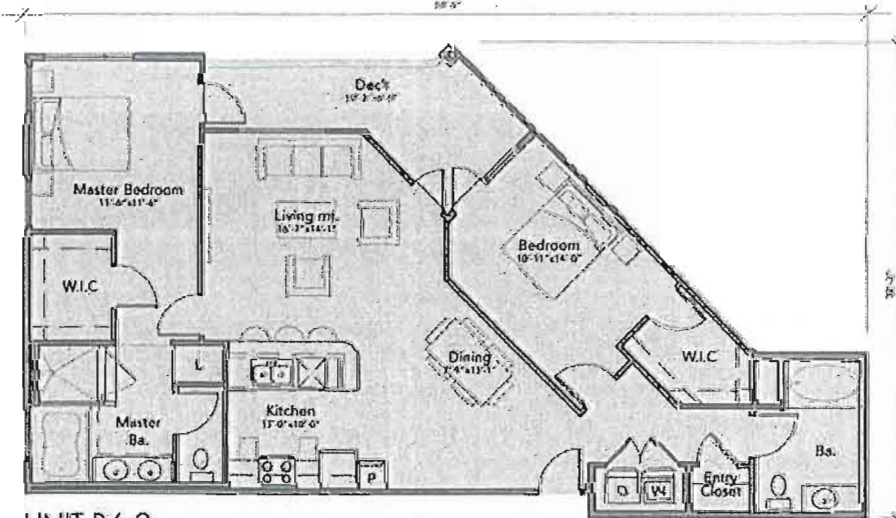
UNIT B6-1
 1,245 s.f.
 54 s.f. deck



UNIT B7
 1,295 s.f.
 448 s.f. deck



UNIT B8
 1,266 s.f.
 163 s.f. deck

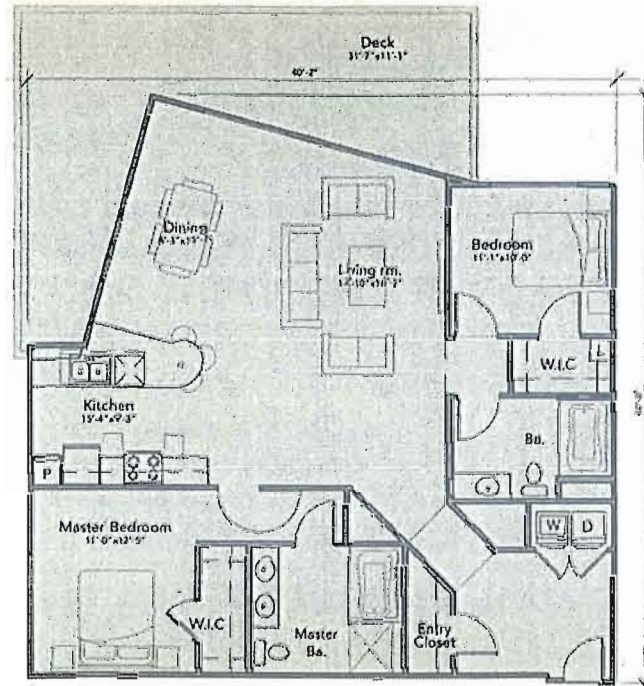


UNIT B6-2
 1,262 s.f.
 130 s.f. deck

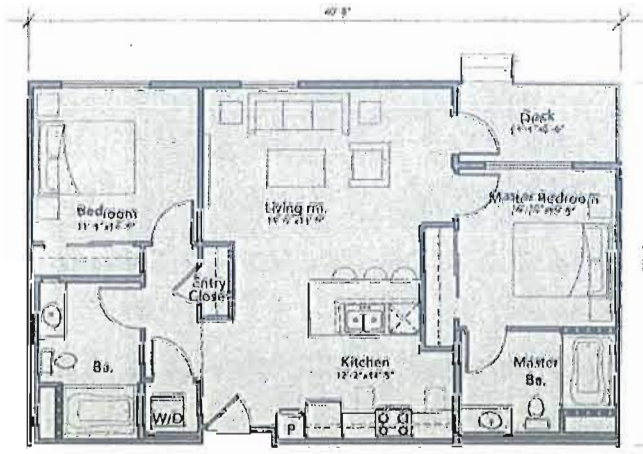


PLANNED DEVELOPMENT PERMIT - Sheet 23 of 44
 Original Submittal Date: 12/10/10
 1st Revision Submittal: 3 December 2011

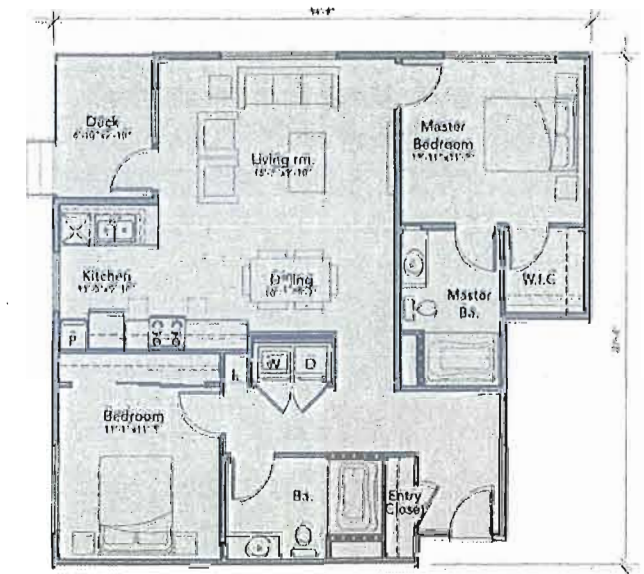
A-12.4
 UNIT PLANS
 2-BR



UNIT B9
 1,369 s.f.
 377 s.f. deck



UNIT Bw1
 936 s.f.
 61 s.f. deck

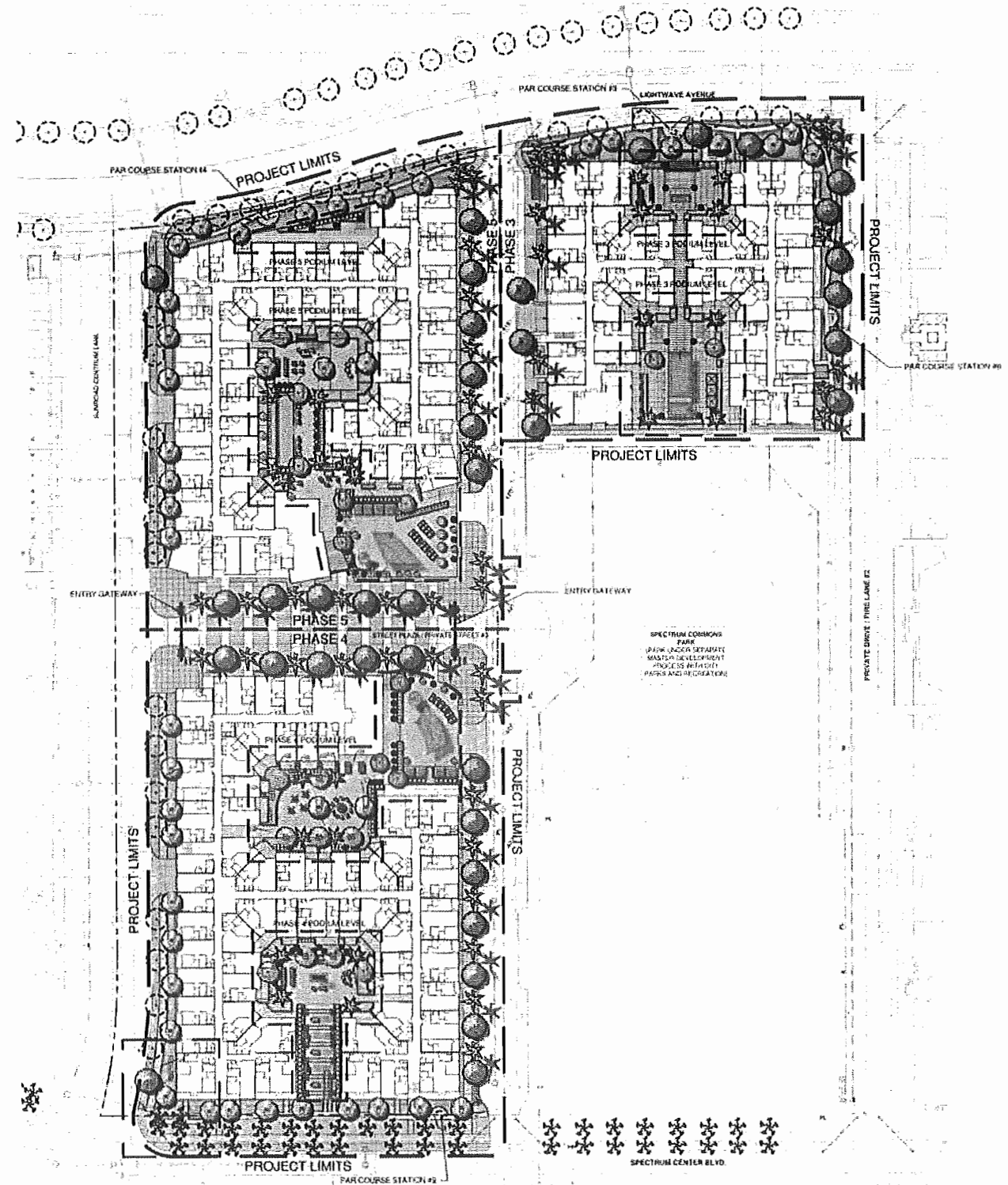


UNIT Bw2
 1,120 s.f.
 67 s.f. deck

APPROVED EXHIBIT
 1/16/11
 1/16/11

PLANNED DEVELOPMENT PERMIT - Sheet 34 of 44
 Original Submittal 8/16/10; 15 September 2011
 1st Revision Submittal: 8 December 2011

A-12.5
 UNIT PLANS
 2-BR



LANDSCAPE DESIGN CONCEPT

THE SUNROAD CENTRUM APARTMENT HOMES PHASE THREE, FOUR, AND FIVE ARE LOCATED ON THE WESTERN EDGE OF THE SUNROAD CENTRUM MIXED USE MASTER PLANNED DEVELOPMENT AS PART OF NEW CENTURY CENTER MULTI-USE COMMUNITY. THE LANDSCAPE WILL RESPOND BY BLENDING INTO THE SURROUNDING CONTEXT AND STREETSCAPE CHARACTER WHILE PROVIDING UNIQUE EXPERIENCES FOR PODIUM DECK COURTYARDS.

THE PROJECT CONSISTS OF TWO (2) FIVE STORY BUILDINGS AND ONE (1) FOUR STORY APARTMENT BUILDING WITH LANDSCAPED COURTYARDS BUILT ON PODIUM DECKS WITH PARKING BELOW. THE BUILDINGS LINE UP ON A NORTH-SOUTH AXIS TOUCHING LIGHTWAVE AVENUE ON THE NORTH AND SPECTRUM CENTER BOULEVARD TO THE SOUTH. AT THESE EDGES, THE PROJECT WILL PICK UP THE FORMAL PATTERN OF THE TREES, THE DOUBLE ROW OF SYAGRUS ROMAZOFFIANUM (QUEEN PALM) ON SPECTRUM CENTER BOULEVARD AND THE PLATANUS (FLOWERING PLUM) ON LIGHTWAVE AVENUE.

ON THE EAST EDGE OF THE PHASE FOUR AND FIVE APARTMENT BUILDINGS IS A NORTH-SOUTH ACCESS ROAD WITH PARALLEL PARKING AND WALKWAY LINED WITH A FORMAL ALTERNATING PATTERN OF THE EVERGREEN SHADE TREE, CANNICUM CALIFORNIA (CAMPHOR TREE) AND SYAGRUS ROMAZOFFIANUM (QUEEN PALM) AT APPROXIMATELY 20 FEET ON CENTER. THE PODIUM POOL COURTYARDS OF PHASE FOUR AND FIVE HAVE VIEWS OUT TOWARD THE STREET AND NEARBY PUBLIC PARK. THE STREET PLAZA BETWEEN PHASE FOUR AND FIVE IS TO HAVE BOLD BANDING AND ZERO HEIGHT (FLUSH) CURB TO REINFORCE THE PEDESTRIAN ORIENTATION AND WALKABILITY OF THE PROJECT.

EACH OF THE INTERIUM COURTYARDS FOR PHASE THREE, FOUR, AND FIVE ARE DISTINCTIVELY LANDSCAPED AND PROVIDE THE HOMES WITH TRANQUIL PASSIVE SPACES AS WELL AS SOCIAL SPACES FOR COMMUNITY ACTIVITIES. FURNITURE AND GARDEN ELEMENTS ANIMATE THE SPACES WHILE GARDEN LANDSCAPES AND SOUND EFFECTS SUCH AS FOUNTAIN WATER ASSIST IN PROVIDING A SENSE OF RELIEF AND RETREAT. THE COURTYARDS INCLUDE AMENITIES SUCH AS SPAS, OUTDOOR SEATING, POOLS, CABANAS, WATER & FIRE ELEMENTS, AND BENCHES WITH PICNIC TABLES.

THE PLANTING DESIGN CONCEPT INTENT IS FOR EACH PHASE THREE, FOUR, AND FIVE TO HAVE SIMILAR PLANT PALETTE AT THE STREET LEVEL AND A UNIQUE DIFFERENCE AT THE PODIUM LEVEL. UTILIZING A VARIETY OF DROUGHT TOLERANT PLANT MATERIAL IN BOLD MASSING OF PLANT SPECIES WILL PROVIDE INDIVIDUAL CHARACTER FOR EACH PHASE. EACH PHASE WILL CREATE A UNIQUE CHARACTER AND RELATIONSHIP TO THE BUILDING ARCHITECTURE AND SURROUNDING NEIGHBORHOOD CONTEXT.

PLANTING NOTES

1. ALL LANDSCAPE AND IRRIGATION SHALL CONFORM WITH THE NEW CENTURY CENTER MASTER PLAN DESIGN GUIDELINES, THE CITY OF SAN DIEGO LANDSCAPE STANDARDS, AND ALL OTHER LANDSCAPE RELATED CITY AND REGIONAL STANDARDS.
2. NON-Biodegradable ROOT BARRIERS SHALL BE INSTALLED AROUND ALL NEW TREES WITHIN 3" OF PAVING AND RAISED PLANTERS. NON-Biodegradable TREE ROOT BARRIERS SHALL BE INSTALLED WHERE TREES ARE PLACED WITHIN 5 FEET OF PUBLIC IMPROVEMENTS INCLUDING WALKS, CURBS, OR STREET PAVEMENTS OR WHERE NEW PUBLIC IMPROVEMENTS ARE PLACED ADJACENT TO EXISTING TREES. THE ROOT BARRIER WILL NOT APPEAR AROUND THE ROOT BALL (14 INCH).
3. THE SOIL SHALL BE AMENDED UTILIZING AN AGRICULTURAL SOILS REPORT.
4. DROUGHT TOLERANT AND LOW WATER DEMANDING PLANT MATERIAL SHALL BE UTILIZED IN ACCORDANCE TO THE CITY OF SAN DIEGO LANDSCAPE STANDARDS.
5. MULCH SHALL BE USED IN ALL FLOWER AND SHRUB BEDS.
6. THE PROJECT SHALL BE MAINTAINED UTILIZING PROPER MAINTENANCE AND MANAGEMENT PRACTICES.
7. MINIMUM TREE SEPARATION DISTANCE IMPROVEMENT (MINIMUM DISTANCE TO STREET TREE TRAFFIC SIGNALS) IS 30 FEET.
UNDERGROUND UTILITY LINES (EXCEPT SEWER): 5 FEET
SEWER LINES: 10 FEET
ABOVE GROUND UTILITY STRUCTURES: 16 FEET
DRIVEWAY ENTRIES: 10 FEET
INTERSECTIONS (INTERSECTING CURB LINES OF TWO STREETS): 25 FEET SEWER LINES: 10 FEET

IRRIGATION NOTES

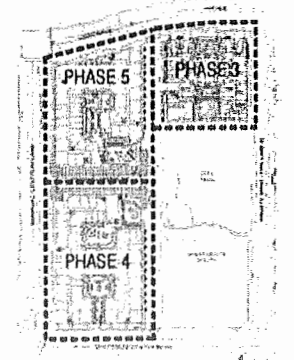
- IRRIGATION NOTES:**
1. ALL PLANTING AREAS TO BE IRRIGATED ACCORDING TO PLANT TYPE AND ENVIRONMENTAL EXPOSURE.
 2. ALL PLANTING AREAS SHALL RECEIVE DWPDM IRRIGATION COVERAGE BY MEANS OF AN AUTOMATICALLY CONTROLLED, ELECTRICALLY ACTIVATED UNDERGROUND PUPD IRRIGATION SYSTEM FOR WATER CONSERVATION AND TO MINIMIZE EROSION. STATE OF THE ART AUTOMATIC CONTROLLER WITH MASTER VALVE CAPABILITIES AND LOW PRECIPITATION RATE EQUIPMENT SHALL BE USED.
 3. PRIOR TO PLANTING, ALL SPRAY IRRIGATION SYSTEMS SHALL BE FULLY FUNCTIONAL. ALL PLANTING AREAS SHALL BE THOROUGHLY WATERED TO A UNIFORM DEPTH OF 6 INCHES IMMEDIATELY FOLLOWING PLANTING.
 4. A REDUCED PRESSURE BACKFLOW PREVENTER WILL BE USED TO PROTECT THE SOURCE OF THE WATER FROM POSSIBLE BACKFLOW CONTAMINATION.
 5. ALL PRESSURIZED MAINLINE AND LATERAL LINES WILL BE PVD INSTALLED BELOW GRADE.
 17. ALL PROPOSED IRRIGATION SYSTEMS WILL USE AN APPROVED RAIN SENSOR SHUTOFF DEVICE (14 INCH).
 6. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED PER LOCAL AND REGIONAL STANDARDS. IRRIGATION ZONES WILL BE SEPARATED BY PLANT WATER USE REQUIREMENTS.

MAINTENANCE NOTES

1. MAINTENANCE OWNER SHALL BE RESPONSIBLE FOR THE LONG TERM MAINTENANCE OF ALL LANDSCAPE AREAS. LANDSCAPE AREAS SHALL BE MAINTAINED FREE OF DEBRIS AND LITTER AND ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION. DISEASED OR DEAD PLANT MATERIAL SHALL BE SATISFACTORILY TREATED OR REPLACED PER THE CONDITIONS OF THE PERMIT.

LANDSCAPE SHEET INDEX

- L-0.1 LANDSCAPE SITE PLAN FOR PHASE 3, 4, AND 5
- L-1.0 LANDSCAPE CONCEPT LEGEND AND NOTES
- L-1.1 LANDSCAPE CONCEPT PLAN FOR PHASE 3
- L-1.2 LANDSCAPE CONCEPT PLAN FOR PHASE 4
- L-1.3 LANDSCAPE CONCEPT PLAN FOR STREET PLAZA
- L-1.4 LANDSCAPE CONCEPT PLAN FOR PHASE 5
- L-1.5 LANDSCAPE CONCEPT PLAN FOR PHASE 1
- L-1.6 LANDSCAPE CONCEPT PLAN FOR PHASE 2
- L-1.6 LANDSCAPE CONCEPT PLAN FOR PHASE 3
- L-2.1 LANDSCAPE CALCULATION PLAN FOR PHASE 3
- L-2.2 LANDSCAPE CALCULATION PLAN FOR PHASE 4
- L-2.3 LANDSCAPE CALCULATION PLAN FOR PHASE 5
- L-3.1 HYDROZONING DIAGRAM & WATER USE CALCULATIONS FOR PHASE 3
- L-3.2 HYDROZONING DIAGRAM & WATER USE CALCULATIONS FOR PHASE 4
- L-3.3 HYDROZONING DIAGRAM & WATER USE CALCULATIONS FOR PHASE 5
- L-4.1 LANDSCAPE SITE SECTIONS / RENDERINGS
- L-4.2 LANDSCAPE SITE SECTIONS / RENDERINGS



KEY MAP

PHASE 3, 4, & 5
APPROVED EXHIBIT
 Approved Date: 9/11/12
 Permit No: 12-001-012
 12/15/2011

PLANNED DEVELOPMENT PERMIT Sheet 25 of 44
 Original Submittal Date: 15 September 2011
 1st Revision Submittal: 8 December 2011

L-0.1

LANDSCAPE SITE PLAN FOR PHASE 3, 4, & 5

SDG Project No. 12-001-012
 Drawn By: NM/AS/NL
 Checked By: NM/GS
 Plot Date: 12/08/2011
 Scale: 1" = 40'-0"

SUNROAD CENTRUM Residential
 San Diego, CA

CONCEPT PLANTING LEGEND

STREET TREES	BOTANICAL NAME / COMMON NAME	CONTAINER SIZE	MATURE SIZE (HT x SPREAD)	FORM
STREET TREES	JACARANDA MIMOSOIDES / JACARANDA MANGONIA SPINOSA / SOUTH-SEA BANGKAYA	25% 30" GAL 25% 30" GAL	30' x 30' 40' x 30'	OVAL SPREADING
FLOWERING ACCENT TREES	LAURANTIDACEAE / HONEY NATCHÉZ / HATCHÉZ LAFREYTERIA HONGA / HONGA / TUGAWENA / JAPANESE CHAMPAGNE APPLE	30% 36" GAL 25% 18" GAL	18' x 18' 19' x 15'	ROUND ROUND
PATIO TREES	DIPIPRONA / BILAKERA / HOKOLEE / HOKOLEE DASIA / LEPTOPHYLLA / GOLD MEDALLION TREE	25% 24" GAL 25% 18" GAL	27' x 27' 27' x 27'	OPEN ROUND
FLORING ACCENT TREES	BAURUSIA MELALEUCA / ALPHONSE KARR / ALPHONSE KARR / BAMBOS MAGNOLIA LILY / GOLDEN GODESS / GOLDEN GODESS / BAMBOS	25% 24" GAL 25% 18" GAL	20' x 18' 20' x 18'	COLLAPSED COLLAPSED
LARGE PALMS	PHENIX DANAEENSIS / DANAEI ISLAND DATE PALM STYRACIS RANALZII / PALM / QUEEN PALM	25% 36" GAL 25% 36" GAL	30' x 40' 30' x 15'	YAC YAC
ACCENT SHRUBS	AGAVE ATTENUATA / AWAYE NAUAI / JAMPINIANA / CENTRAL AGAVE SUE SITTAK / CORAL ACE SANGRETRIA / TRINIDAD / GARDENIA / SHAME PLANT PHORADENDRON / JACA SHAMATI / NEW ZEALAND FLAX PICHONIA / FLECKED / FLECKED / FLECKED	25% 18" GAL 25% 18" GAL	3' x 3' 3' x 3' 3' x 3' 3' x 3' 3' x 3' 3' x 3'	SPREADING ROUND ROUND ROUND ROUND ROUND
FLOWERING SHRUBS & G.C.	CHALMIDACEAE / BUSH DOCK / HAWAIIAN PINE MIMOSA / BELLUM / BLUE LIVED DOGS	25% 18" GAL 25% 18" GAL	3' x 3' 3' x 3'	COLLAPSED SPREADING
ACCENT SHRUBS	CHALMIDACEAE / BUSH DOCK / HAWAIIAN PINE MIMOSA / BELLUM / BLUE LIVED DOGS	25% 18" GAL 25% 18" GAL	3' x 3' 3' x 3'	COLLAPSED SPREADING
ACCENT SHRUBS	CHALMIDACEAE / BUSH DOCK / HAWAIIAN PINE MIMOSA / BELLUM / BLUE LIVED DOGS	25% 18" GAL 25% 18" GAL	3' x 3' 3' x 3'	COLLAPSED SPREADING
ACCENT SHRUBS	CHALMIDACEAE / BUSH DOCK / HAWAIIAN PINE MIMOSA / BELLUM / BLUE LIVED DOGS	25% 18" GAL 25% 18" GAL	3' x 3' 3' x 3'	COLLAPSED SPREADING

CLIMBING VINES	BOTANICAL NAME / COMMON NAME	CONTAINER SIZE	MATURE SIZE (HT x SPREAD)	FORM
CLIMBING VINES	BOUQUINIAE / BARBARA KAY / BARBARA KAY / BOUQUINIAE BOUQUINIAE / BARBARA KAY / BARBARA KAY / BOUQUINIAE	25% 18" GAL 25% 18" GAL	15' x 20' 15' x 20'	SPREADING SPREADING
MODULAR WETLAND UNIT SHRUBS	CAREX SPINOSA / INDIAN SEDGE CAREX PROSTRATA / GLOTTED / FLECKED CAREX SPINOSA / INDIAN SEDGE CAREX PROSTRATA / GLOTTED / FLECKED	25% 18" GAL 25% 18" GAL	15' x 20' 15' x 20'	SPREADING SPREADING
EXISTING PLANT MATERIAL	JACARANDA MIMOSOIDES / JACARANDA MANGONIA SPINOSA / SOUTH-SEA BANGKAYA	25% 30" GAL 25% 30" GAL	30' x 30' 40' x 30'	OVAL SPREADING

CONSTRUCTION LEGEND (PHASE 3)	SYMBOL	DESCRIPTION
CONSTRUCTION LEGEND (PHASE 3)	1	ENHANCED PAVING COLOR AND TEXTURE TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 3)	2	INTERNAL COLOR CONCRETE PAVING TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 3)	3	CUSTOM LINEN FIBER FLOOR WITH STONE VENEER
CONSTRUCTION LEGEND (PHASE 3)	4	OUTDOOR SQUARE CANOPY TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 3)	5	Raised CAN PLANTER TO BE BUILT IN PRECISION BLOCK OR CAST IN PLACE AVAILABLE THROUGH BUSH BROS. AND BUSH BROS. APPROVED EQUAL FINISH. 18" x 18" x 20"
CONSTRUCTION LEGEND (PHASE 3)	6	3" TUBULAR STEEL FENCE
CONSTRUCTION LEGEND (PHASE 3)	7	3" TUBULAR STEEL GATE
CONSTRUCTION LEGEND (PHASE 3)	8	MARQUEES
CONSTRUCTION LEGEND (PHASE 3)	9	Light weight precast posts, various sizes to be selected by landscape architect
CONSTRUCTION LEGEND (PHASE 3)	10	FOUNTAIN / WATER FEATURE
CONSTRUCTION LEGEND (PHASE 3)	11	POOL
CONSTRUCTION LEGEND (PHASE 3)	12	SPA
CONSTRUCTION LEGEND (PHASE 3)	13	TUBULAR STEEL GATE WITH TERRAZZO DECK
CONSTRUCTION LEGEND (PHASE 3)	14	FEEDBACK PATIO LOCATIONS
CONSTRUCTION LEGEND (PHASE 3)	15	OUTDOOR FURNITURE TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 3)	16	CONCRETE SIDEWALK
CONSTRUCTION LEGEND (PHASE 3)	17	STANDARD DECOMPOSED GRANITE PATH
CONSTRUCTION LEGEND (PHASE 3)	18	PAN COURSE STATION

CONSTRUCTION LEGEND (PHASE 4)	SYMBOL	DESCRIPTION
CONSTRUCTION LEGEND (PHASE 4)	1	ENHANCED PAVING COLOR AND TEXTURE TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 4)	2	INTERNAL COLOR CONCRETE PAVING TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 4)	3	OUTDOOR FIRE PLACE
CONSTRUCTION LEGEND (PHASE 4)	4	LINE ART WITH CHAIRS CHAIRS TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 4)	5	Raised CAN PLANTER TO BE BUILT IN PRECISION BLOCK OR CAST IN PLACE AVAILABLE THROUGH BUSH BROS. AND BUSH BROS. APPROVED EQUAL FINISH. 18" x 18" x 20"
CONSTRUCTION LEGEND (PHASE 4)	6	3" TUBULAR STEEL FENCE
CONSTRUCTION LEGEND (PHASE 4)	7	3" TUBULAR STEEL GATE
CONSTRUCTION LEGEND (PHASE 4)	8	OUTDOOR FURNITURE TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 4)	9	Light weight precast posts, various sizes to be selected by landscape architect
CONSTRUCTION LEGEND (PHASE 4)	10	FOUNTAIN / WATER FEATURE
CONSTRUCTION LEGEND (PHASE 4)	11	POOL
CONSTRUCTION LEGEND (PHASE 4)	12	SPA
CONSTRUCTION LEGEND (PHASE 4)	13	OUTDOOR SQUARE CANOPY TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 4)	14	OVERHEAD TRUSS STRUCTURE
CONSTRUCTION LEGEND (PHASE 4)	15	OUTDOOR SQUARE CANOPY TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 4)	16	OUTDOOR CIRCULAR CANOPY TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 4)	17	OUTDOOR LOUNGE SET TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 4)	18	CHANGE LOUNGE TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 4)	19	SITE BENCH WITH BACK
CONSTRUCTION LEGEND (PHASE 4)	20	SITE BENCH WITH BACK
CONSTRUCTION LEGEND (PHASE 4)	21	OUTDOOR TABLE
CONSTRUCTION LEGEND (PHASE 4)	22	CIRCULAR OUTDOOR DINING SET TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 4)	23	RECTANGULAR OUTDOOR DINING SET TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 4)	24	Raised BAR WITH SEATING TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 4)	25	CONCRETE SIDEWALK
CONSTRUCTION LEGEND (PHASE 4)	26	STANDARD DECOMPOSED GRANITE PATH
CONSTRUCTION LEGEND (PHASE 4)	27	PAN COURSE STATION
CONSTRUCTION LEGEND (PHASE 4)	28	FIRE LACER PATIO LOCATIONS
CONSTRUCTION LEGEND (PHASE 4)	29	GREENSCREEN / SCREEN

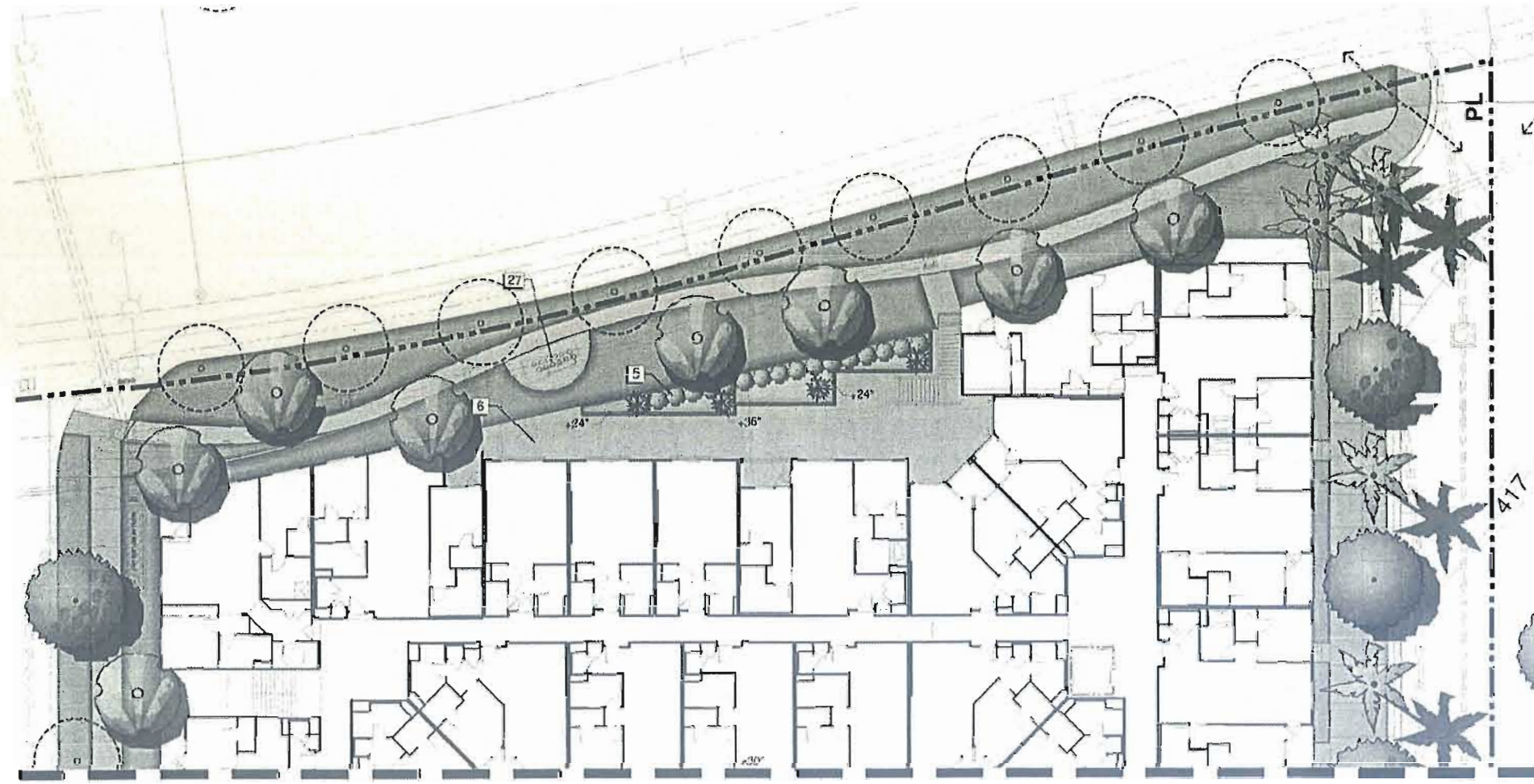
CONSTRUCTION LEGEND (PHASE 5)	SYMBOL	DESCRIPTION
CONSTRUCTION LEGEND (PHASE 5)	1	ENHANCED PAVING COLOR AND TEXTURE TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 5)	2	INTERNAL COLOR CONCRETE PAVING TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 5)	3	OUTDOOR FIRE PLACE
CONSTRUCTION LEGEND (PHASE 5)	4	LINE ART WITH CHAIRS CHAIRS TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 5)	5	Raised CAN PLANTER TO BE BUILT IN PRECISION BLOCK OR CAST IN PLACE AVAILABLE THROUGH BUSH BROS. AND BUSH BROS. APPROVED EQUAL FINISH. 18" x 18" x 20"
CONSTRUCTION LEGEND (PHASE 5)	6	3" TUBULAR STEEL FENCE
CONSTRUCTION LEGEND (PHASE 5)	7	3" TUBULAR STEEL GATE
CONSTRUCTION LEGEND (PHASE 5)	8	OUTDOOR FURNITURE TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 5)	9	Light weight precast posts, various sizes to be selected by landscape architect
CONSTRUCTION LEGEND (PHASE 5)	10	FOUNTAIN / WATER FEATURE
CONSTRUCTION LEGEND (PHASE 5)	11	POOL
CONSTRUCTION LEGEND (PHASE 5)	12	SPA
CONSTRUCTION LEGEND (PHASE 5)	13	OUTDOOR SQUARE CANOPY TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 5)	14	OVERHEAD TRUSS STRUCTURE
CONSTRUCTION LEGEND (PHASE 5)	15	OUTDOOR SQUARE CANOPY TO BE SELECTED BY LANDSCAPE ARCHITECT
CONSTRUCTION LEGEND (PHASE 5)	16	OUTDOOR CIRCULAR CANOPY TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 5)	17	OUTDOOR LOUNGE SET TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 5)	18	CHANGE LOUNGE TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 5)	19	SITE BENCH WITH BACK
CONSTRUCTION LEGEND (PHASE 5)	20	SITE BENCH WITH BACK
CONSTRUCTION LEGEND (PHASE 5)	21	OUTDOOR TABLE
CONSTRUCTION LEGEND (PHASE 5)	22	CIRCULAR OUTDOOR DINING SET TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 5)	23	RECTANGULAR OUTDOOR DINING SET TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 5)	24	Raised BAR WITH SEATING TO BE SELECTED BY INTERIOR DESIGNER
CONSTRUCTION LEGEND (PHASE 5)	25	CONCRETE SIDEWALK
CONSTRUCTION LEGEND (PHASE 5)	26	STANDARD DECOMPOSED GRANITE PATH
CONSTRUCTION LEGEND (PHASE 5)	27	PAN COURSE STATION
CONSTRUCTION LEGEND (PHASE 5)	28	FIRE LACER PATIO LOCATIONS
CONSTRUCTION LEGEND (PHASE 5)	29	GREENSCREEN / SCREEN



PHASED DEVELOPMENT PERMIT Sheet 26 of 44
Original Submittal Date: 10 September 2011
1st Revision Submittal 8 December 2011

L-1.0
LANDSCAPE
CONCEPT LEGEND
AND NOTES FOR
PHASE 3, 4, & 5

SUNROAD CENTRUM Residential San Diego, CA



MATCHLINE - SEE SHEET L-1.2

MATCHLINE - SEE SHEET L-1.2

CONSTRUCTION LEGEND (PHASE 5)

SYMBOL	DESCRIPTION
1	OUTDOOR FURNITURE AND SEATING TO BE SELECTED BY LANDSCAPE ARCHITECT
2	WATER SOURCE/CHANGING POINT (TO BE SELECTED BY LANDSCAPE ARCHITECT)
3	OUTDOOR FURNITURE
4	FIVE FT. TUSSEAN GRASS (TO BE SELECTED BY LANDSCAPE ARCHITECT)
5	PAVED GRASS PLANTER (TO BE SELECTED BY LANDSCAPE ARCHITECT)
6	5' FT. TUSSEAN GRASS (TO BE SELECTED BY LANDSCAPE ARCHITECT)
7	5' FT. TUSSEAN GRASS (TO BE SELECTED BY LANDSCAPE ARCHITECT)
8	OUTDOOR SEATING
9	SMALL PLANTER (TO BE SELECTED BY LANDSCAPE ARCHITECT)
10	FOUNTAIN/WATER FEATURE
11	POOL
12	SPA
13	WATERING SYSTEM (TO BE SELECTED BY LANDSCAPE ARCHITECT)
14	SHADEWASH TRUSS STRUCTURE
15	OUTDOOR SEATING CABANA (TO BE SELECTED BY LANDSCAPE ARCHITECT)
16	OUTDOOR SEATING CABANA (TO BE SELECTED BY LANDSCAPE ARCHITECT)
17	OUTDOOR SEATING SET (TO BE SELECTED BY LANDSCAPE ARCHITECT)
18	SHADE WASH TRUSS STRUCTURE
19	SHADE WASH TRUSS STRUCTURE
20	SHADE WASH TRUSS STRUCTURE
21	OUTDOOR SEATING TABLE
22	CIRCULAR OUTDOOR DINING SET (TO BE SELECTED BY LANDSCAPE ARCHITECT)
23	RECTANGULAR OUTDOOR DINING SET (TO BE SELECTED BY LANDSCAPE ARCHITECT)
24	PAVED GRASS PLANTER (TO BE SELECTED BY LANDSCAPE ARCHITECT)
25	CONCRETE SEWER
26	PAVED GRASS PLANTER (TO BE SELECTED BY LANDSCAPE ARCHITECT)
27	PAVED GRASS PLANTER (TO BE SELECTED BY LANDSCAPE ARCHITECT)
28	FIVE FOOTER PLANTER
29	LANDSCAPE LIGHTING

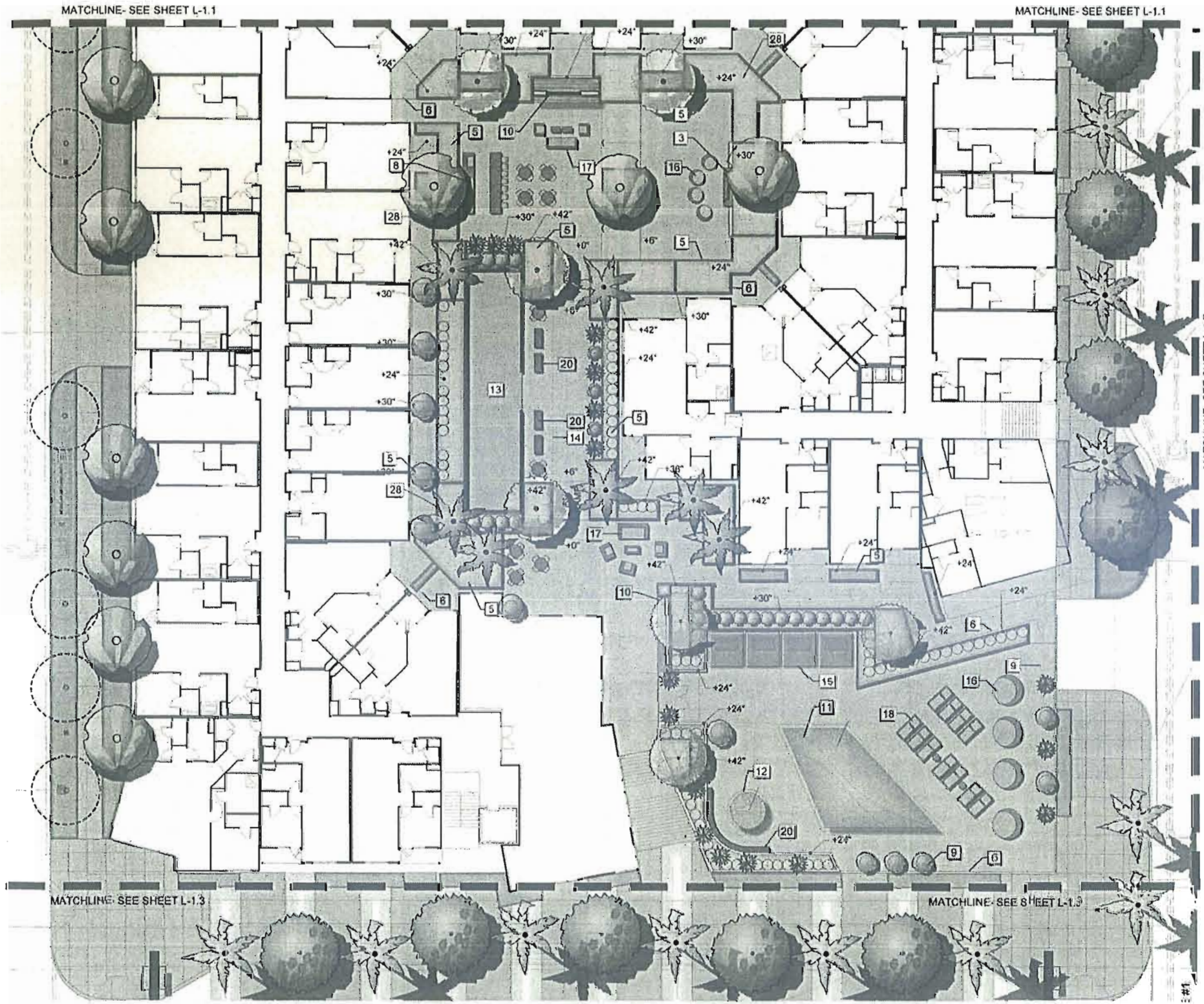
APPROVED EXHIBIT "A"
 APPROVAL DATE: 5/3/12
 APPROVAL BY: [Signature]

PLANNED DEVELOPMENT PERMITS SHEET 21 OF 44
 DATE SUBMITTED: 10/11/11
 L-1 REVISION SUBMITTED: 8/1/11

L-1.1
 LANDSCAPE
 CONCEPT PLAN
 PHASE 5

SDG Permit No. 11301
 Date of Permit: 11/11/11
 Project No. 11301
 Revision: 10-06-2011
 Scale: 1" = 40'

SUNROAD CENTRIUM Residential
 San Diego, CA



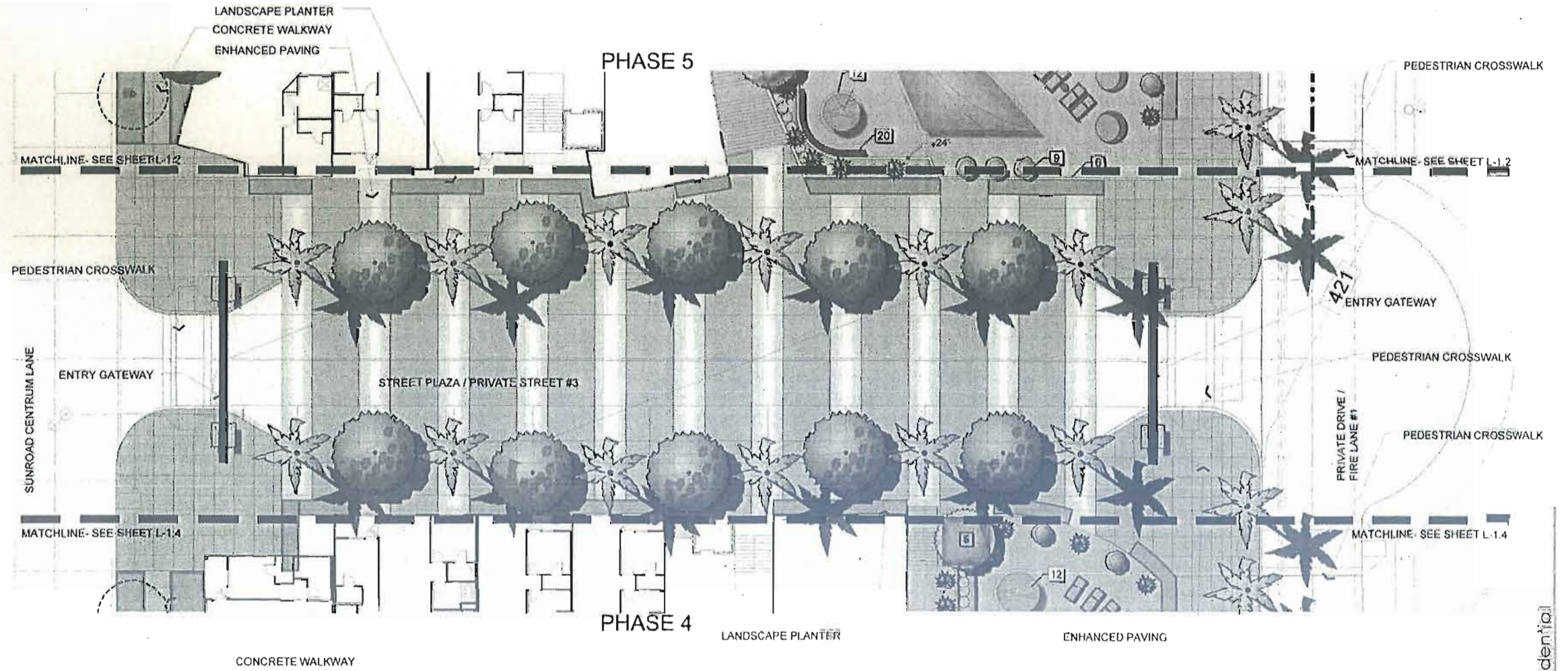
- CONSTRUCTION LEGEND (PHASE 5)**
- 1 BRICK DECKING
 - 2 BRICK PAVING (GOLDEN ANGLE PATTERNS TO BE SELECTED BY LANDSCAPE ARCHITECT)
 - 3 METALLIC POLISHED CONCRETE FINISH (TO BE SELECTED BY LANDSCAPE ARCHITECT)
 - 4 OUTDOOR FIREPLACE
 - 5 2" x 4" WOODEN PLANKS (TO BE SPECIFIED BY ARCHITECT)
 - 6 1/2" x 1/2" TYPICAL STEEL GATE
 - 7 1/2" x 1/2" TYPICAL STEEL GATE
 - 8 OUTDOOR KITCHEN
 - 9 1/2" x 1/2" TYPICAL STEEL GATE
 - 10 FOUNTAIN / WATER FEATURE
 - 11 POOL
 - 12 SPA
 - 13 SWIMMING POOL BOGE BALL COURT
 - 14 OUTDOOR SHOWER
 - 15 OUTDOOR WALKWAY (TO BE SELECTED BY LANDSCAPE ARCHITECT)
 - 16 OUTDOOR LIGHTING (TO BE SPECIFIED BY ARCHITECT)
 - 17 OUTDOOR LIGHTING (TO BE SPECIFIED BY ARCHITECT)
 - 18 GRASS COURSE (TO BE SELECTED BY ARCHITECT)
 - 19 SITE BENCH SEATING
 - 20 SITE BENCH SEATING
 - 21 OUTDOOR BENCH SEATING
 - 22 OUTDOOR OUTDOOR DINING SET (TO BE SPECIFIED BY ARCHITECT)
 - 23 RESTAURANT OUTDOOR DINING SET (TO BE SPECIFIED BY ARCHITECT)
 - 24 RAISED SPA WITH SEATING (TO BE SPECIFIED BY ARCHITECT)
 - 25 CONCRETE SIDEWALK
 - 26 1/2" x 1/2" TYPICAL STEEL GATE
 - 27 1/2" x 1/2" TYPICAL STEEL GATE
 - 28 FIRE LAYER APPLICATIONS
 - 29 GRASS COURSE (TO BE SELECTED BY ARCHITECT)

APPROVED
EXHIBIT "A"
APPROVED DATE: 10/3/12
APPROVED BY: [Signature]

PLANNED DEVELOPMENT PERMIT: 4208129 IN 4A
Original Submitted: 10 September 2011
1st Revision Submitted: 8 December 2011

L-1.2
LANDSCAPE
CONCEPT PLAN
PHASE 5

SUNROAD CENTRUM Residential
San Diego, CA

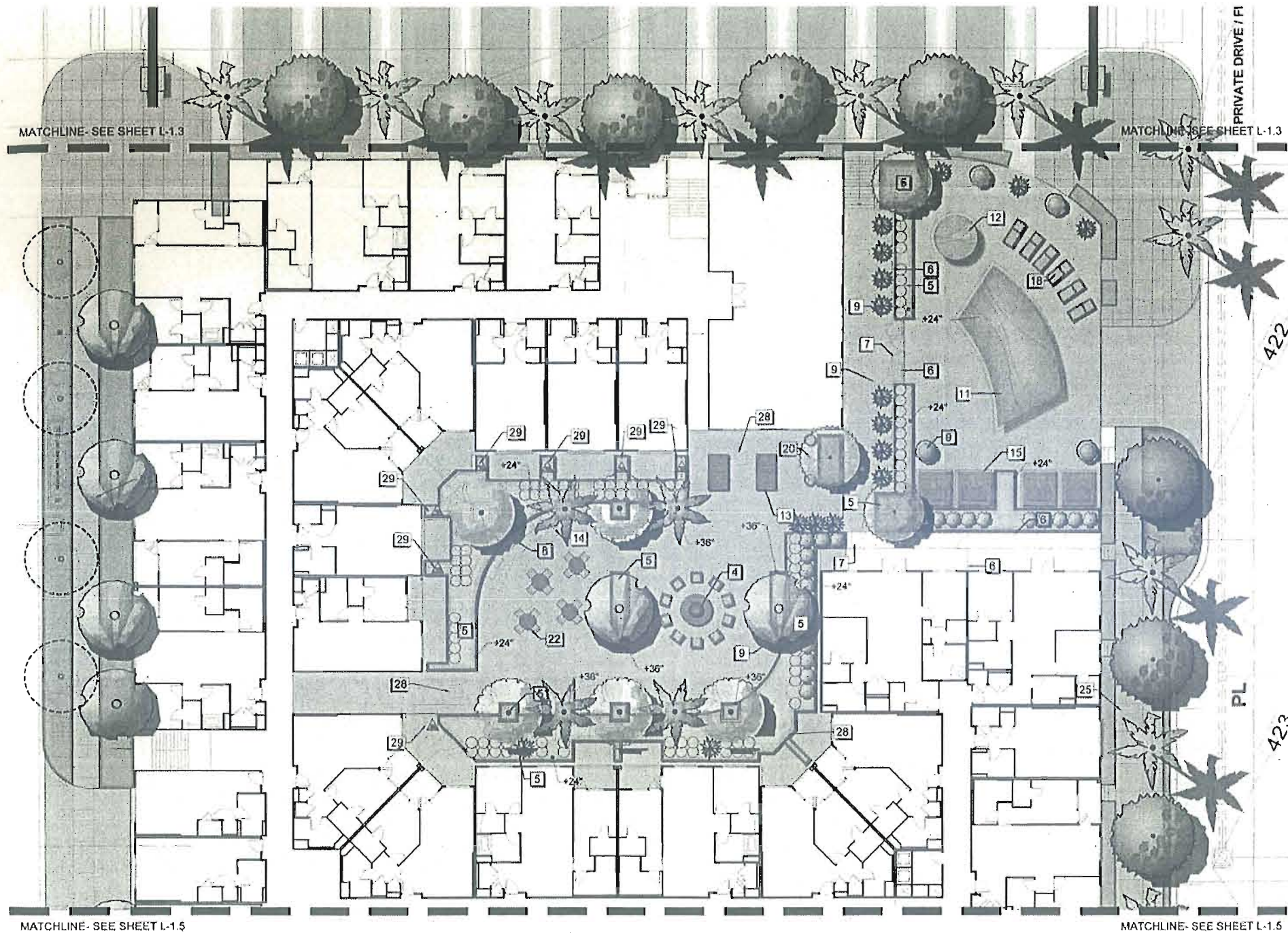


APPROVED EXHIBIT #19
 Approval Date: _____
 Permit No.: _____

PLANNED DEVELOPMENT PERMIT - Sheet 29 of 44
 Original Approval Date: 12 September 2011
 1st Revision Submittal: 8 December 2011

L-1.3
LANDSCAPE CONCEPT PLAN
STREET PLAZA

SUNROAD CENTRUM Residential
 San Diego, CA



- CONSTRUCTION LEGEND (PHASE 4)**
- | SYMBOL | DESCRIPTION |
|--------|--|
| 1 | ENHANCED PAVING (COLOR AND TEXTURE TO BE SELECTED BY LANDSCAPE ARCHITECT) |
| 2 | RECTANGULAR CONCRETE PAVING (TO BE SELECTED BY LANDSCAPE ARCHITECT) |
| 3 | OUTDOOR FURNITURE |
| 4 | FIRE PIT WITH CHAIRS (CHAIR TO BE SELECTED BY INTERIOR DESIGNER) |
| 5 | PAVED CONCRETE - TO BE MATCHED TO PREVIOUS BLOCK CURB AND BLOCK COURSE TO BE SELECTED BY LANDSCAPE ARCHITECT. BLOCK AVAILABLE THROUGH HOP IRICK AND BLOCK OR APPROVED LOCAL - PHONE 619 450 1200 |
| 6 | 1/2" TUBULAR STEEL FINISH |
| 7 | 1/2" TUBULAR STEEL GATE |
| 8 | OUTDOOR ARCHER |
| 9 | LIGHT WEIGHT PRECAST PILES - VARIOUS SIZES (TO BE SELECTED BY LANDSCAPE ARCHITECT) |
| 10 | FOUNTAIN WATER FEATURE |
| 11 | POOL |
| 12 | SPA |
| 13 | OUTDOOR GAME TABLE |
| 14 | OVERHEAD TRUSS STRUCTURE |
| 15 | OUTDOOR SQUARE TABLE (TO BE SELECTED BY LANDSCAPE ARCHITECT) |
| 16 | OUTDOOR CIRCULAR TABLE (TO BE SELECTED BY INTERIOR DESIGNER) |
| 17 | OUTDOOR LOUNGE SET (TO BE SELECTED BY INTERIOR DESIGNER) |
| 18 | CHAIR LOUNGE (TO BE SELECTED BY INTERIOR DESIGNER) |
| 19 | STEEL BENCH WITH BACK |
| 20 | STEEL BENCH WITH OUT BACK |
| 21 | OUTDOOR GAME TABLE |
| 22 | CIRCULAR OUTDOOR DINING SET (TO BE SELECTED BY INTERIOR DESIGNER) |
| 23 | RECTANGULAR OUTDOOR DINING SET (TO BE SELECTED BY INTERIOR DESIGNER) |
| 24 | WHEELCHAIR WITH SEATING (SEATING TO BE SELECTED BY INTERIOR DESIGNER) |
| 25 | CONCRETE SIDEWALK |
| 26 | STABILIZED DECOMPOSED GRANITE PATH |
| 27 | FIRE LOUNGE STATION |
| 28 | FIRE LADDER PAD LOCATIONS |
| 29 | DRAINAGE IN PAVEMENT |

PLANNED DEVELOPMENT PERMIT - Sheet 30 of 44

 Original Permit Date: 15 September 2011

 1st Revision Submitted: 8 December 2011

L-1.4

LANDSCAPE

CONCEPT PLAN

PHASE 4

SDG Project No: 11-001

 Drawn by: HM/MS/ML

 Checked by: NM/JCS

 Plot Date: 12/09/2011

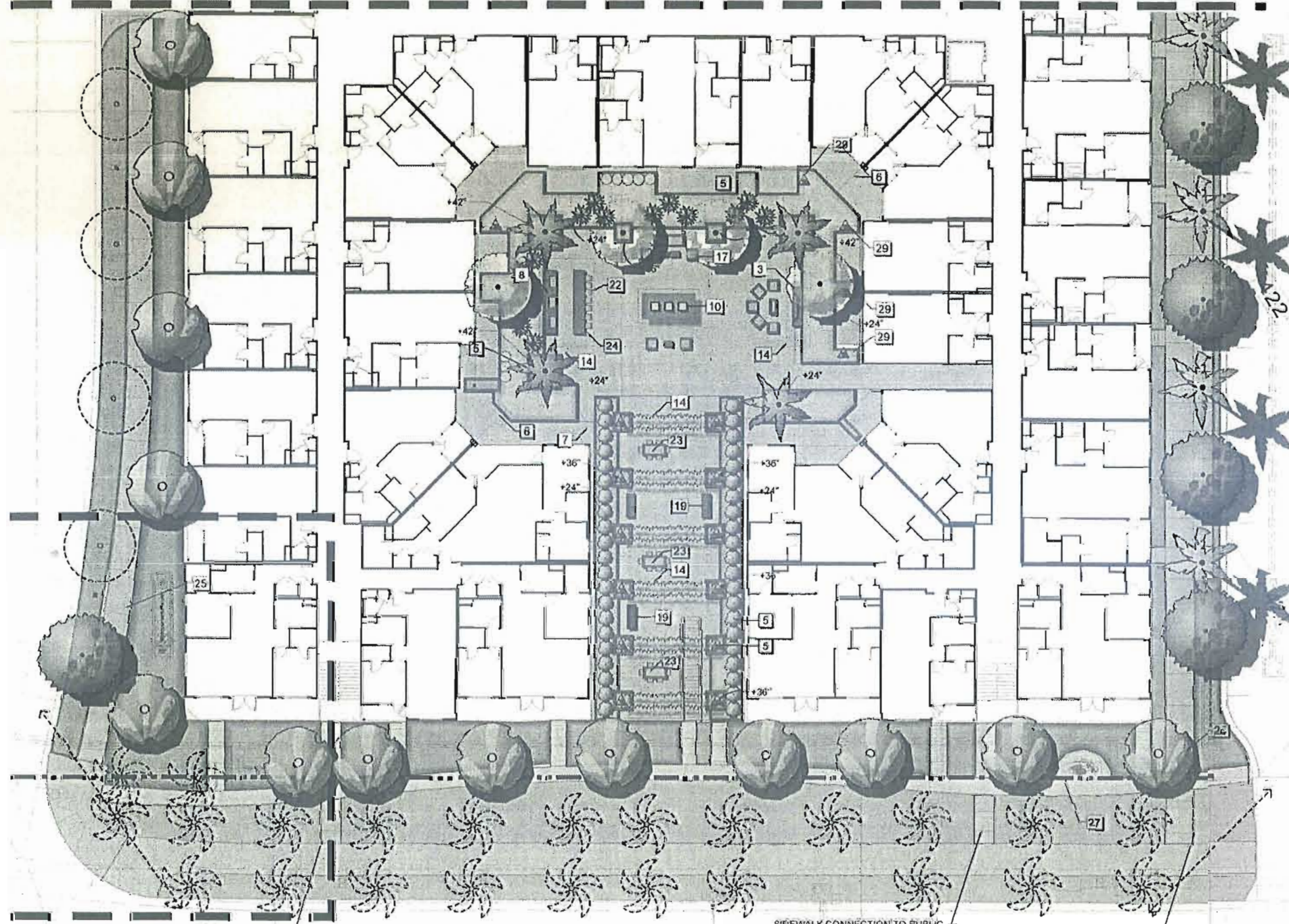
 Scale: 1" = 40' 0"

SUNROAD CENTRUM Residential

 San Diego, CA

MATCHLINE- SEE SHEET L-1.4

MATCHLINE- SEE SHEET L-1.4



- CONSTRUCTION LEGEND (PHASE 4)**
- 1. 1" DIA. BIRCH TREES
 - 2. 2" DIA. BIRCH TREES
 - 3. 3" DIA. BIRCH TREES
 - 4. 4" DIA. BIRCH TREES
 - 5. 5" DIA. BIRCH TREES
 - 6. 6" DIA. BIRCH TREES
 - 7. 7" DIA. BIRCH TREES
 - 8. 8" DIA. BIRCH TREES
 - 9. 9" DIA. BIRCH TREES
 - 10. 10" DIA. BIRCH TREES
 - 11. 11" DIA. BIRCH TREES
 - 12. 12" DIA. BIRCH TREES
 - 13. 13" DIA. BIRCH TREES
 - 14. 14" DIA. BIRCH TREES
 - 15. 15" DIA. BIRCH TREES
 - 16. 16" DIA. BIRCH TREES
 - 17. 17" DIA. BIRCH TREES
 - 18. 18" DIA. BIRCH TREES
 - 19. 19" DIA. BIRCH TREES
 - 20. 20" DIA. BIRCH TREES
 - 21. 21" DIA. BIRCH TREES
 - 22. 22" DIA. BIRCH TREES
 - 23. 23" DIA. BIRCH TREES
 - 24. 24" DIA. BIRCH TREES
 - 25. 25" DIA. BIRCH TREES
 - 26. 26" DIA. BIRCH TREES
 - 27. 27" DIA. BIRCH TREES
 - 28. 28" DIA. BIRCH TREES
 - 29. 29" DIA. BIRCH TREES

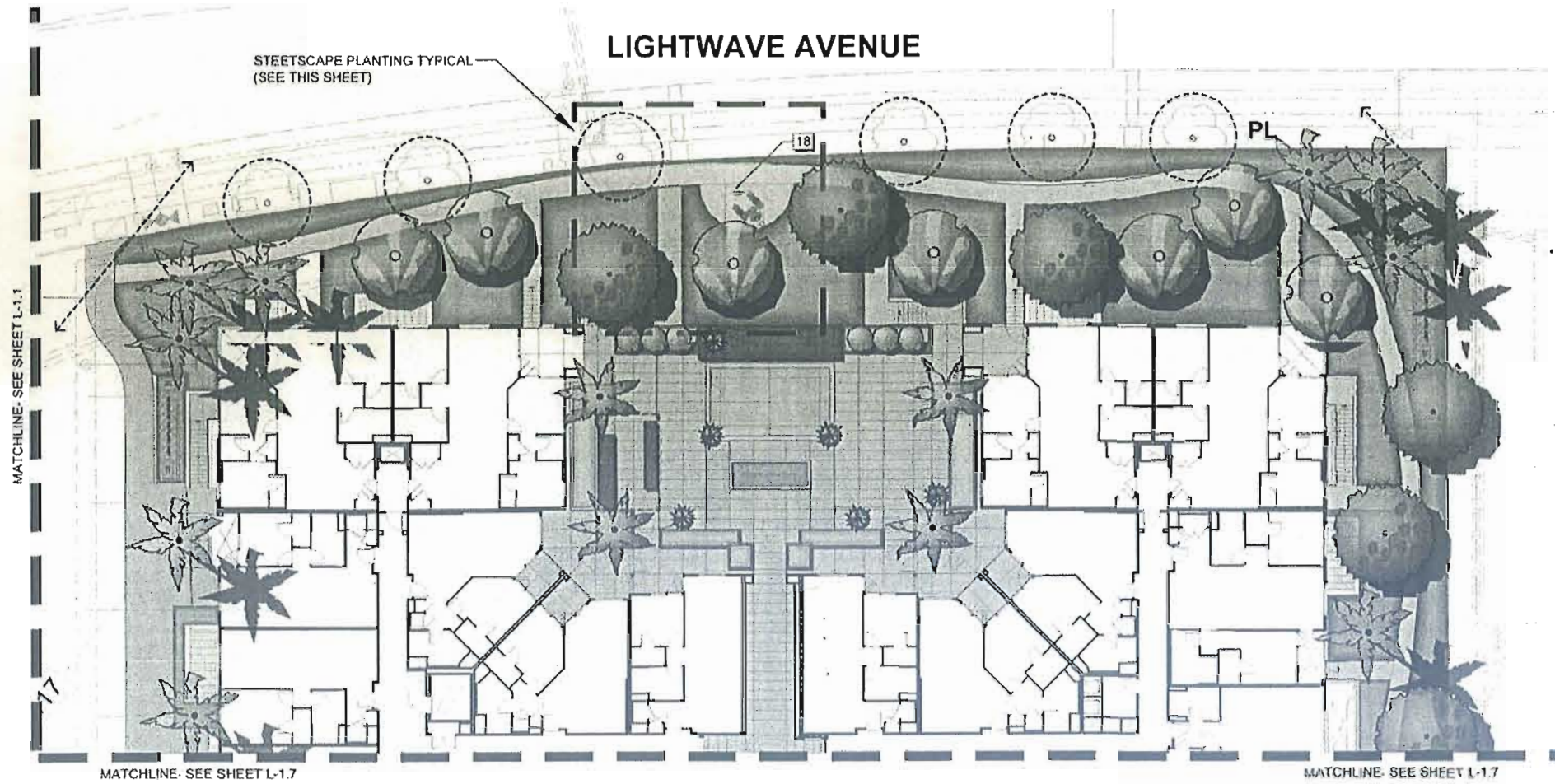
7/15/2011
APPROVED
EXHIBIT A
 PLANNED DEVELOPMENT PERMIT
 14 Revision Submitted: 8 December 2011

SIDEWALK CONNECTION TO PUBLIC
 SIDEWALK. ADJUST LOCATIONS
 REQUIRED TO AVOID CONFLICTS WITH
 EXISTING TREES WITHIN THE PUBLIC RIGHT
 OF WAY

SIDEWALK CONNECTION TO PUBLIC
 SIDEWALK. ADJUST LOCATION AS
 REQUIRED TO AVOID CONFLICTS WITH
 EXISTING TREES WITHIN THE PUBLIC RIGHT
 OF WAY

L-1.5
LANDSCAPE
CONCEPT PLAN
PHASE 4

SUNROAD CENTRUM Residential
 San Diego, CA

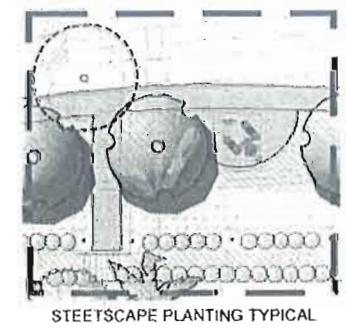


STREETSCAPE PLANTING TYPICAL
(SEE THIS SHEET)

LIGHTWAVE AVENUE

CONSTRUCTION LEGEND (PHASE 3)

- 1 ENHANCED PLANTING LOOK AND TEXTURE TO BE SELECTED BY LANDSCAPE ARCHITECT
- 2 NATURAL GRASS CONDITION PLANTING TO BE SELECTED BY LANDSCAPE ARCHITECT
- 3 CUSTOMER SPECIFIED PLANTING SPECIES
- 4 OUTDOOR SEATING CUBAN TO BE SELECTED BY LANDSCAPE ARCHITECT
- 5 PAVED GRASS PLANTING TO BE SELECTED BY LANDSCAPE ARCHITECT
- 6 1/2" RADIUM STEEL FINISH
- 7 1/2" RADIUM STEEL GATE
- 8 1/2" RADIUM STEEL GATE
- 9 1/2" RADIUM STEEL GATE
- 10 1/2" RADIUM STEEL GATE
- 11 POOL
- 12 SPA
- 13 TROPICAL STRIP GATE WITH RADIUM FINISH
- 14 FIRE ESCAPE - 1/2" RADIUM FINISH
- 15 1/2" RADIUM STEEL FINISH
- 16 CONCRETE SIDEWALK
- 17 STAIRS TO BE CONCRETE FINISH WITH
- 18 LANDSCAPE PLANTING



STREETSCAPE PLANTING TYPICAL



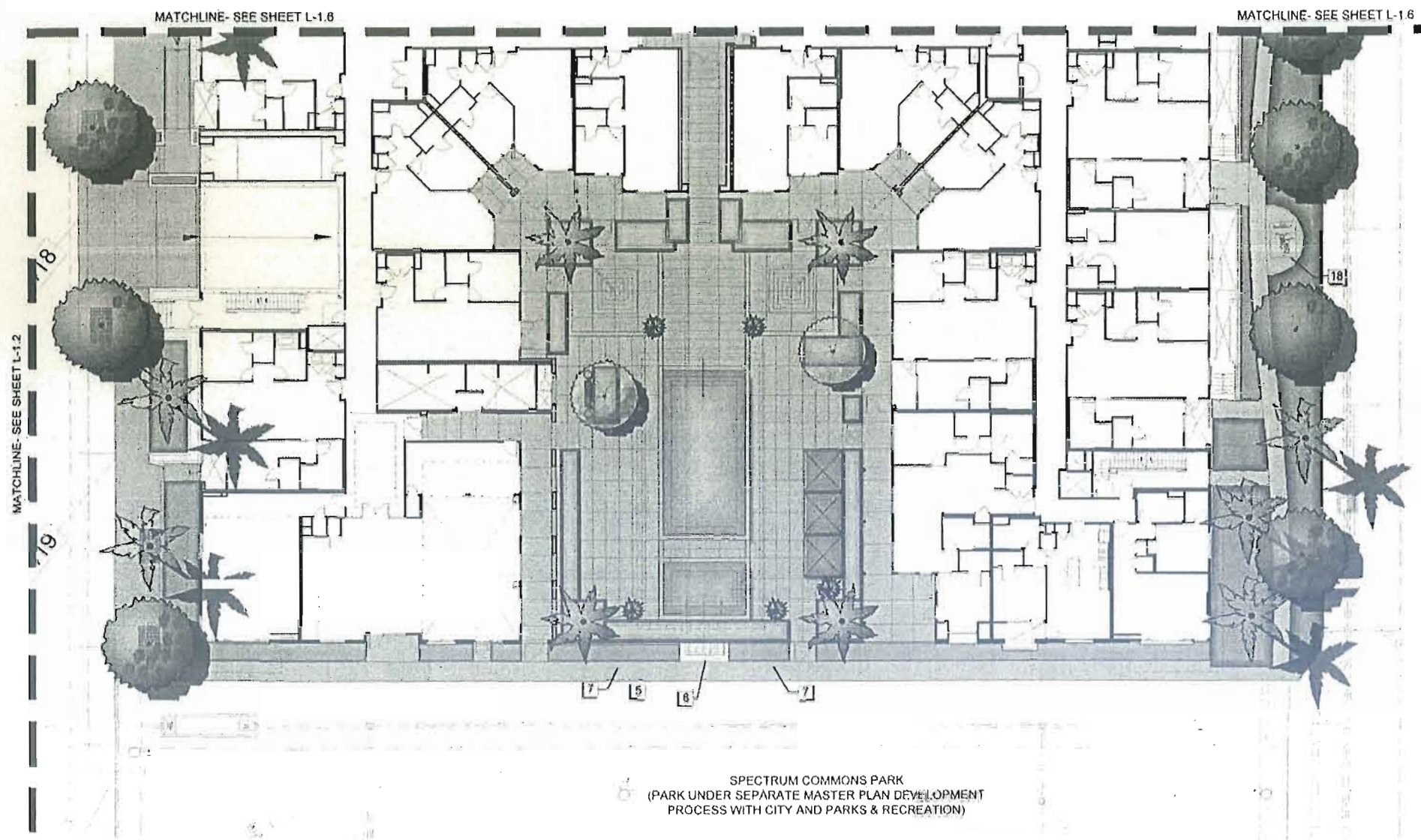
PLANNED DEVELOPMENT PERMIT - Sheet 32 of 44
Original Submit Date: 11/22/2011
1st Revision Submit Date: 8 December 2011

L-1.6

**LANDSCAPE
CONCEPT PLAN
PHASE 3**



SUNROAD CENTRUM Residential San Diego, CA



- CONSTRUCTION LEGEND (PHASE 3)**
- 1. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 2. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 3. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 4. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 5. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 6. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 7. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 8. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 9. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 10. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 11. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 12. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 13. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 14. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 15. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 16. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 17. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT
 - 18. 1" CONCRETED FINISHES TO BE SELECTED BY LANDSCAPE ARCHITECT

SPECTRUM COMMONS PARK
(PARK UNDER SEPARATE MASTER PLAN DEVELOPMENT
PROCESS WITH CITY AND PARKS & RECREATION)



PLANNED DEVELOPMENT PERMIT - Sheet 33 of 44
1st Revision submitted 10/26/2011

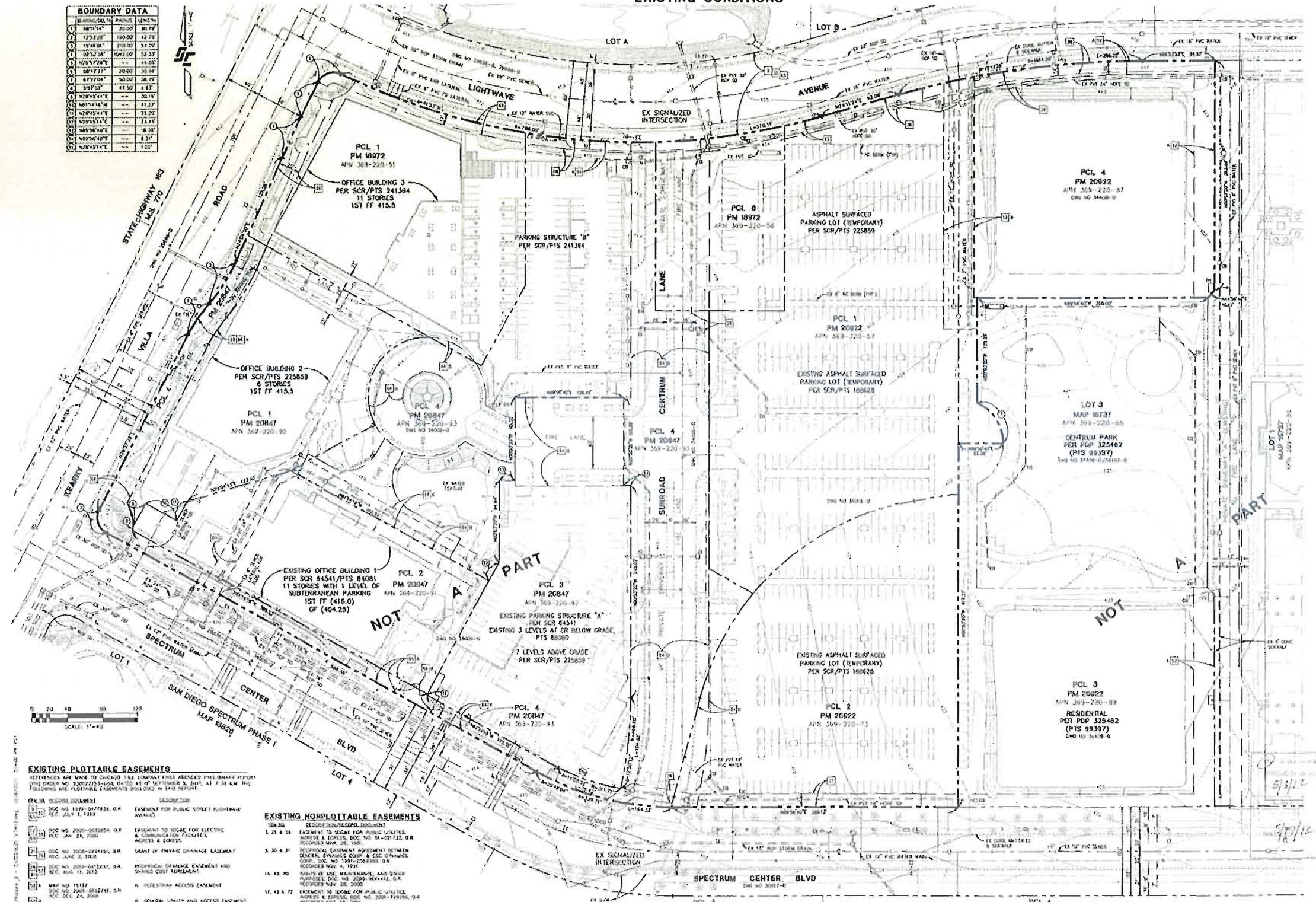
L-1.7
LANDSCAPE
CONCEPT PLAN
PHASE 3



SUNROAD CENTRUM Residential
San Diego, CA

**VESTING TENTATIVE MAP NO. 905834 / PLANNED DEVELOPMENT PERMIT
SUNROAD CENTRUM
EXISTING CONDITIONS**

BOUNDARY DATA	BEARING	DISTANCE
1	N 89° 14' 14" W	20.00
2	S 89° 14' 14" E	20.00
3	N 0° 00' 00" E	12.75
4	N 89° 14' 14" W	20.00
5	S 89° 14' 14" E	20.00
6	N 0° 00' 00" E	12.75
7	N 89° 14' 14" W	20.00
8	S 89° 14' 14" E	20.00
9	N 0° 00' 00" E	12.75
10	N 89° 14' 14" W	20.00
11	S 89° 14' 14" E	20.00
12	N 0° 00' 00" E	12.75
13	N 89° 14' 14" W	20.00
14	S 89° 14' 14" E	20.00
15	N 0° 00' 00" E	12.75
16	N 89° 14' 14" W	20.00
17	S 89° 14' 14" E	20.00
18	N 0° 00' 00" E	12.75
19	N 89° 14' 14" W	20.00
20	S 89° 14' 14" E	20.00
21	N 0° 00' 00" E	12.75
22	N 89° 14' 14" W	20.00
23	S 89° 14' 14" E	20.00
24	N 0° 00' 00" E	12.75
25	N 89° 14' 14" W	20.00
26	S 89° 14' 14" E	20.00
27	N 0° 00' 00" E	12.75
28	N 89° 14' 14" W	20.00
29	S 89° 14' 14" E	20.00
30	N 0° 00' 00" E	12.75



EXISTING PLOTTABLE EASEMENTS
 REFERENCES ARE MADE TO CHICAGO TITLE COMPANY FIRST AMENDED FIELD SURVEY REPORT VTS 0201 NO. 2002223-3454, CH 13 OF MAP BOOK 5, DIST. 41, 30 A.M. INC. FOLLOWING ARE PLOTTABLE EASEMENTS SHOWN ON SAID REPORT:

DOC NO.	DESCRIPTION
1	EASEMENT FOR PUBLIC STREET (ELECTRIC & COMMUNICATION FACILITIES, ACCESS & FOREST)
2	EASEMENT TO SOGAE FOR ELECTRIC & COMMUNICATION FACILITIES, ACCESS & FOREST
3	GRANT OF PRIVATE DRAINAGE EASEMENT
4	INDIVIDUAL DRAINAGE EASEMENT AND SHARED COST AGREEMENT
5	PEDESTRIAN ACCESS EASEMENT
6	GENERAL UTILITY AND ACCESS EASEMENT
7	EASEMENT TO THE CITY OF SAN DIEGO FOR LANDSCAPING, ACCESS & FOREST
8	PEDESTRIAN AND NON-MOTOR VEHICLE ACCESS EASEMENT
9	PRIVATE ACCESS TO BE CREATED BY SEPARATE DOCUMENT
10	PRIVATE DRAINAGE TO BE CREATED BY SEPARATE DOCUMENT

EXISTING NONPLOTTABLE EASEMENTS
 (SECTION 54.04, CHICAGO TITLE COMPANY)
 1. 25 & 26 EASEMENT TO SOGAE FOR PUBLIC UTILITIES, ACCESS & FOREST, DOC NO. 11-01732, OR RECORDED MAY 26, 1998
 2. 30 & 31 HISTORICAL EASEMENT AGREEMENT BETWEEN GENERAL DYNAMICS CORP. & COG DYNAMICS CORP., DOC NO. 1991-024818, OR RECORDED NOV. 4, 1991
 3. RIGHTS OF WAY, MAINTENANCE, AND OTHER PURPOSES, DOC NO. 2000-084416, OR RECORDED NOV. 20, 2000
 4. EASEMENT TO SOGAE FOR PUBLIC UTILITIES, ACCESS & FOREST, DOC NO. 2001-773709, OR RECORDED OCT. 12, 2001
 5. INVESTIGATION, MONITORING EASEMENT TO GENERAL DYNAMICS PROPERTY, DOC NO. 1998-043103, OR RECORDED JULY 21, 1998
 6. EASEMENT TO SOGAE FOR PUBLIC UTILITIES, ACCESS & FOREST, DOC NO. 1998-043103, OR RECORDED JULY 21, 1998
 7. EASEMENT TO SOGAE FOR PUBLIC UTILITIES, ACCESS & FOREST, DOC NO. 2000-084416, OR RECORDED NOV. 20, 2000

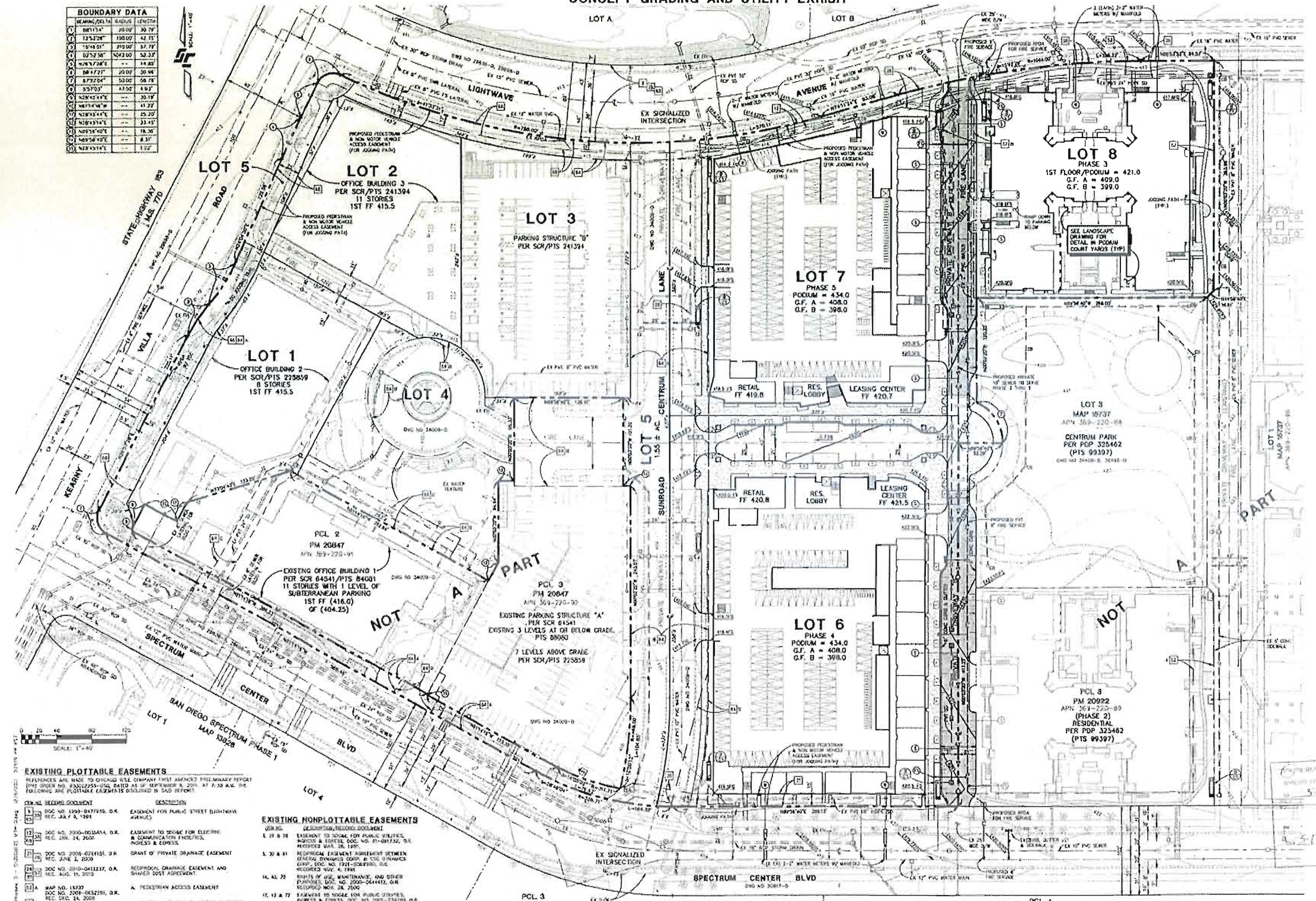
ENGINEER OF WORK
 STEVEN CRESTO ENGINEERING, INC.
 2000 CRENSHAW DRIVE, SUITE 300
 SAN DIEGO, CA 92124
 PHONE: (619) 584-2600
 FAX: (619) 584-2601
 DATE: 09/14/11



VESTING TENTATIVE MAP NO. 905834 / PLANNED DEVELOPMENT PERMIT

SUNROAD CENTRUM
CONCEPT GRADING AND UTILITY EXHIBIT

BOUNDARY DATA		
BEARING/DELTA	BLDG	LENGTH
081°11'4"	20.00'	30.29'
125°22'2"	105.00'	42.75'
124°42'0"	100.00'	37.73'
072°32'0"	104.00'	32.37'
074°32'0"	11.40'	14.40'
081°12'0"	20.00'	30.94'
072°22'0"	100.00'	58.78'
37°37'0"	47.50'	49.17'
030°14'0"	30.00'	30.17'
141°04'0"	11.00'	11.27'
028°43'0"	25.20'	25.20'
028°13'0"	33.45'	33.45'
009°14'0"	18.30'	18.30'
049°54'0"	8.31'	8.31'
022°03'0"	1.02'	1.02'



EXISTING PLOTTABLE EASEMENTS
REFERENCES ARE MADE TO CHICAGO TITLE COMPANY FIRST ADVANCED PRELIMINARY REPORT (PDR) ORDER NO. 83022253-DATED AS OF SEPTEMBER 8, 2009 AT 2:30 A.M. THE FOLLOWING ARE PLOTTABLE EASEMENTS DISCLOSED IN SAID REPORT:

DOC. NO.	DATE	DESCRIPTION
13	1991-08-17	EASEMENT FOR PUBLIC STREET BURNING AREAS
14	2000-03-04	EASEMENT TO SERVE FOR ELECTRIC & COMMUNICATIONS FACILITIES, INGRESS & EGRESS
15	2008-02-18	GRANT OF PRIVATE DRAINAGE EASEMENT
16	2008-04-12	NEIGHBORHOOD DRAINAGE EASEMENT AND SHARED COST AGREEMENT
17	2008-08-28	A. PEDESTRIAN ACCESS EASEMENT B. GENERAL UTILITY AND ACCESS EASEMENT
18	1999-07-20	EASEMENT TO THE CITY OF SAN DIEGO FOR LANDSCAPING, PLANTS & TREES
19	2000-03-04	A. PEDESTRIAN AND NON-MOTOR VEHICLE ACCESS EASEMENT B. PRIVATE ACCESS TO BE CREATED BY SEPARATE DOCUMENT C. PRIVATE DRAINAGE TO BE CREATED BY SEPARATE DOCUMENT

EXISTING NONPLOTTABLE EASEMENTS

DOC. NO.	DATE	DESCRIPTION
1	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
2	1991-08-17	REGULATORY EASEMENT AGREEMENT BETWEEN CHICAGO TITLE COMPANY AND CHICAGO TITLE COMPANY, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
3	1991-08-17	RIGHTS OF USE, MAINTENANCE, AND OTHER EASEMENTS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
4	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
5	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
6	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
7	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
8	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
9	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
10	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
11	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
12	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
13	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
14	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
15	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
16	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
17	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
18	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
19	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
20	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
21	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
22	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
23	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
24	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
25	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
26	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
27	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
28	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
29	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
30	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
31	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
32	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
33	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
34	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
35	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
36	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
37	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
38	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
39	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
40	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
41	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
42	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
43	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
44	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
45	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
46	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
47	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
48	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
49	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991
50	1991-08-17	EASEMENT TO SERVE FOR PUBLIC UTILITIES, INGRESS & EGRESS, DOC. NO. 81-08132, D.A. RECORDED MAY 28, 1991

ENGINEER OF WORK
 VIVIANO ORESTO ENGINEERING, INC.
 2645 DICKENS AVE. SUITE 200
 SAN DIEGO, CA 92108
 PHONE: (619) 594-5500
 FAX: (619) 594-5411
 DATE: 2-17-11
 SHEET 44 OF 44

ATTACHMENT 14

SUNROAD CENTRUM
 R E S I D E N T I A L
 SPECTRUM CENTER BLVD.
 SAN DIEGO, CA

VESTING TENTATIVE MAP NO. 905834
 PLANNED DEVELOPMENT PERMIT
 CONCEPT GRADING AND UTILITY PLAN

DATE: 2-17-11
 SHEET 44 OF 44
 C-3



Sheet Index

- A0.0 Title Sheet
- A0.1 Rendering
- A0.2 Rendering
- A0.3 Rendering

- A1.0 Site Plan
- A1.1 Open Space Plan
- A1.2 Project Summary

- A2.4.0 Elevations B4
- A2.4.1 Elevations B4
- A2.4.2 Elevations B4
- A2.5.0 Elevations B5
- A2.5.1 Elevations B5
- A2.5.2 Elevations B5

- A3.4.0 Building Plan B4
- A3.4.1 Building Plan B4
- A3.4.2 Building Plan B4
- A3.4.3 Building Plan B4
- A3.4.4 Building Plan B4
- A3.4.5 Building Plan B4
- A3.5.0 Building Plan B5
- A3.5.1 Building Plan B5
- A3.5.2 Building Plan B5
- A3.5.3 Building Plan B5
- A3.5.4 Building Plan B5
- A3.5.5 Building Plan B5

- A4.0 Site Sections
- A4.1 Site Sections

- A5.0 Unit Plans
- A5.1 Unit Plans
- A5.2 Unit Plans
- A5.3 Unit Plans
- A5.4 Unit Plans
- A5.5 Unit Plans

- A6.0 Perspectives
- A6.1 Perspectives
- A6.2 Perspectives
- A6.3 Perspectives

SUNROAD CENTRUM

TITLE SHEET

A0.0



SUNROAD ENTERPRISES

WERMERS PROPERTIES | DEVELOPMENT ACQUISITION STRATEGIST

SAN DIEGO, CA
11.05.2013 FOR SUBMITTAL

Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com





SUNROAD CENTRUM



SUNROAD
ENTERPRISES

WERMERS
PROPERTIES

DEVELOPMENT
ACQUISITION
MANAGEMENT

RENDERING

SAN DIEGO, CA
K T G T # 2011-0147

12.17.2011
11.05.2011 FOR SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A0.1



SUNROAD CENTRUM



SUNROAD
ENTERPRISES

WERMERS
PROPERTIES | DEVELOPMENT
ACQUISITION
MANAGEMENT

RENDERING

SAN DIEGO, CA
K T G Y # 2011-0112

12.17.2013
11.05.2013 1st SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A0.2



SUNROAD CENTRUM



SUNROAD
ENTERPRISES

WERMERS
PROPERTIES | DEVELOPMENT
ACQUISITION
MANAGEMENT

RENDERING

SAN DIEGO, CA
K T G Y # 2011-0117

12.17.2013
11.05.2013 FOR SUBMIT

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



Legal Description:

A portion of Parcel 6 and all of Parcel 7 of Parcel Map No.18972 in the City of San Diego, County of San Diego, State of California, per map thereof recorded in the office of the County Recorder of San Diego County May 24, 2002 as File No.2002-044396.

Parcel 1, of Parcel Map No.19193 in the City of San Diego, County of San Diego, State of California, per map thereof recorded in the office of the County Recorder of San Diego County March 28, 2003 as File No.2003-0354510.

A portion of Parcel 4 of Parcel Map No.20847 in the City of San Diego, County of San Diego, State of California, per map thereof recorded in the office of the County Recorder of San Diego County December 17, 2010 as File No.2010-0699822.

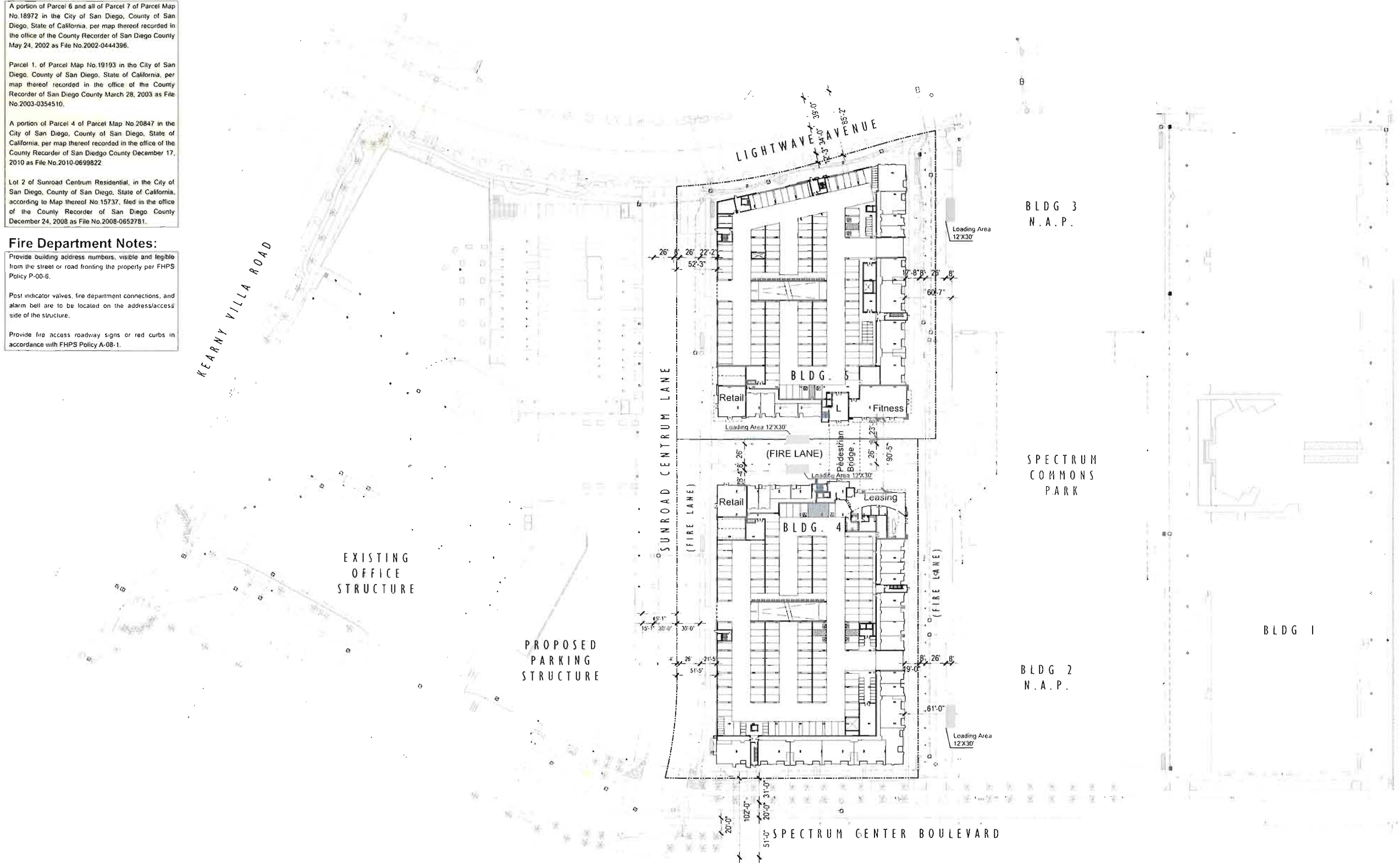
Lot 2 of Sunroad Centrum Residential, in the City of San Diego, County of San Diego, State of California, according to Map thereof No 15737, filed in the office of the County Recorder of San Diego County December 24, 2008 as File No.2008-0652781.

Fire Department Notes:

Provide building address numbers, visible and legible from the street or road fronting the property per FHPS Policy P-00-6.

Post indicator valves, fire department connections, and alarm bell are to be located on the address/access side of the structure.

Provide fire access roadway signs or red curbs in accordance with FHPS Policy A-08-1.



SUNROAD CENTRUM



SUNROAD ENTERPRISES

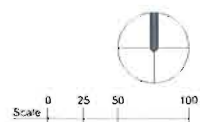
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

ARCHITECTURAL SITE PLAN

SAN DIEGO, CA
K T G T # 2011-0142

12.17.2013
11.05.2013 1st SUBMITTAL

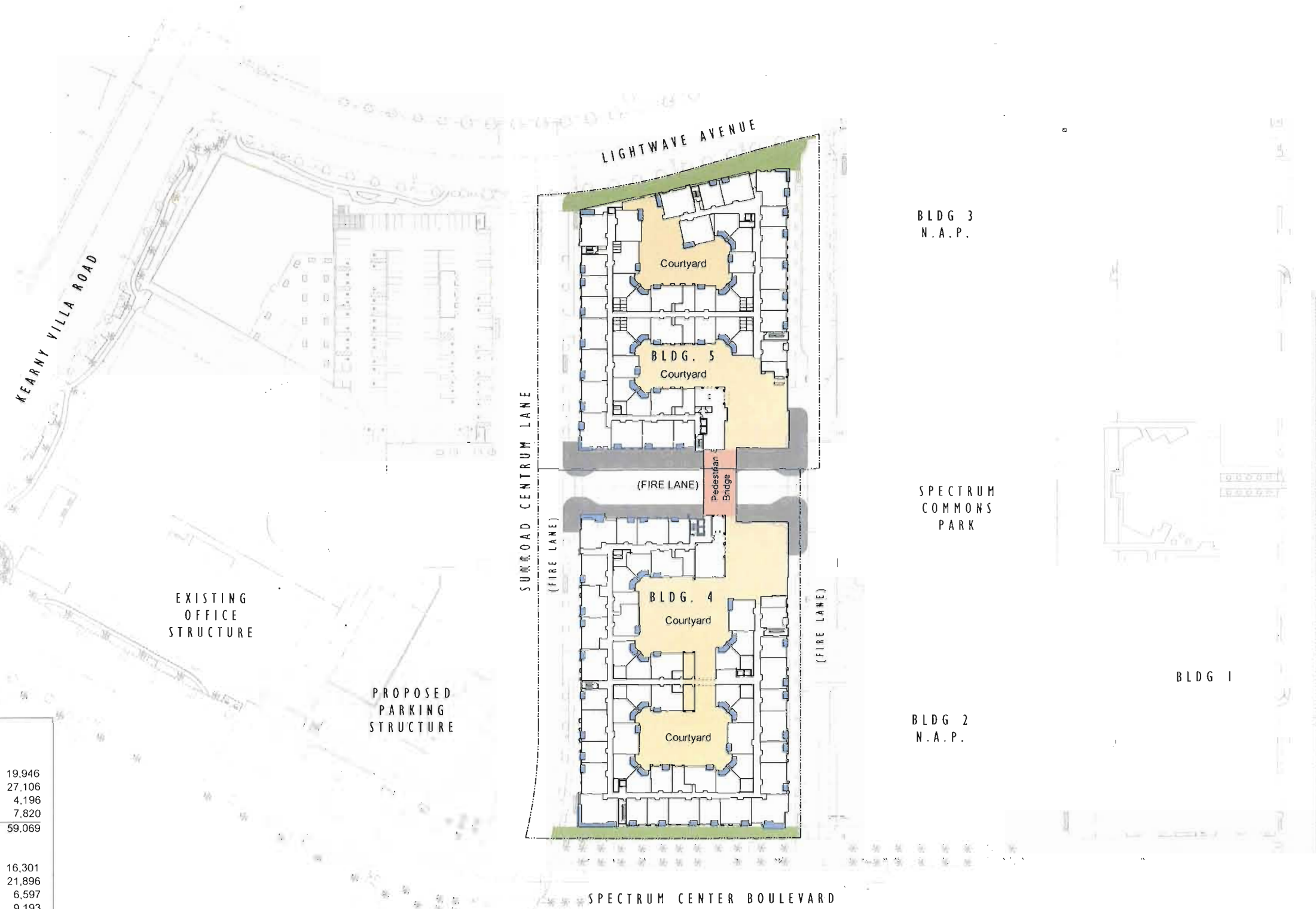
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



AI.0



OPEN SPACE REQUIREMENTS	
PHASE 4	
Private Decks	19,946
Podium Courtyard	27,106
Jogging Trail/Linear Park	4,196
Street Level Plaza	7,820
Total Provided Open Space	59,069
PHASE 5	
Private Decks	16,301
Podium Courtyard	21,896
Jogging Trail/Linear Park	6,597
Street Level Plaza	9,193
Total Provided Open Space	53,987
Pedestrian Bridge	3,240
Approved Exhibit "A"	130,045
Proposed	116,296



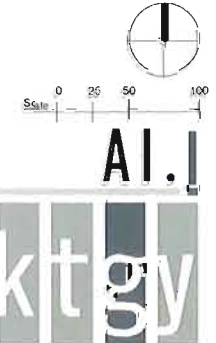
SUNROAD CENTRUM

SITE PLAN-PODIUM LEVEL



SAN DIEGO, CA
K I G T # 2011-0147 10.16.2013

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



Sunroad Centrum - Phase 4 & 5

1/20/14 2:01:04 PM
Revised: 10/31/2013

Current Unit Mix / Project Data

Unit Name	Unit Type	Private Deck Area (sq ft)	Private Deck Area (sq ft)	Units at Level 1	Units at Level 2	Units at Top Level	Gross Unit Area (sq ft)				%	
							Studio	1 BR	2 BR	3 BR		
Unit P-07	Studio	520	0	0	0	0	23	140	156	15	263,908	100%
Unit 1-1*	1 BR/1 BA	690	80	0	0	0	0	0	0	0	870	3.3%
Unit 1-2*	1 BR/1 BA	712	50	0	0	0	0	0	0	0	762	2.9%
Unit 1-2 (1/2)*	1 BR/1 BA	879	42	2	0	0	0	0	0	0	921	0.3%
Unit 1-3 (1/4)*	1 BR/1 BA	863	75	2	0	0	0	0	0	0	938	0.3%
Unit 1-3a (7/8)	1 BR/1 BA	791	67	2	0	0	0	0	0	0	858	0.3%
Unit 1-3a (7/8)	1 BR/1 BA	870	80	2	0	0	0	0	0	0	950	0.3%
Unit 1-4 (1/2)*	1 BR/1 BA	990	80	1	0	0	0	0	0	0	1,070	0.3%
Unit 1-4 (1/2)*	1 BR/1 BA	1072	80	1	0	0	0	0	0	0	1,152	0.3%
Unit 1-5 (1/4)*	1 BR/1 BA	790	97	2	0	0	0	0	0	0	887	0.3%
Unit 1-5a (7/8)	1 BR/1 BA	894	80	2	0	0	0	0	0	0	974	0.3%
Unit 2-1*	2 BR/2 BA	997	52	0	0	0	0	0	0	0	1,049	0.3%
Unit 2-2*	2 BR/2 BA	1040	52	0	0	0	0	0	0	0	1,092	0.3%
Unit 2-2a	2 BR/2 BA	1079	81	0	0	0	0	0	0	0	1,160	0.3%
Unit 2-2 (1/2)*	2 BR/2 BA	1112	76	3	0	0	0	0	0	0	1,188	0.3%
Unit 2-2 (1/2)*	2 BR/2 BA	1200	76	3	0	0	0	0	0	0	1,276	0.3%
Unit 2-3*	2 BR/2 BA	1134	68	0	0	0	0	0	0	0	1,202	0.3%
Unit 2-3a	2 BR/2 BA	1071	36	0	0	0	0	0	0	0	1,107	0.3%
Unit 2-4 (1/2)*	2 BR/2 BA	1166	31	0	0	0	0	0	0	0	1,197	0.3%
Unit 2-4 (1/2)*	2 BR/2 BA	1250	31	0	0	0	0	0	0	0	1,281	0.3%
Unit 2-5 (1/2)*	2 BR/2 BA	1183	38	0	0	0	0	0	0	0	1,221	0.3%
Unit 3-1*	3 BR/2 BA	1520	154	0	0	0	0	0	0	0	1,674	0.3%
Unit 3-1a	3 BR/2 BA	1429	188	0	0	0	0	0	0	0	1,617	0.3%
Unit 3-1b	3 BR/2 BA	1341	163	0	0	0	0	0	0	0	1,504	0.3%
Unit 3-1c	3 BR/2 BA	1359	164	0	0	0	0	0	0	0	1,523	0.3%
Blkg 4 Subtotal							23	140	156	15	263,908	100%
Blkg 5 Subtotal							15	130	98	19	219,210	100%
Total Project							38	270	254	34	483,118	100%

Substantial Conformance Review Comparison

Development standard	Approved Exhibit A - 2012.03.20	Proposed Design - 2013.10.29	Notes
Height	82/83	87, 84' and 85'	The building height has increased to 84' and 85' at the corner elements and leasing tower
Levels Above Grade	7	7	
Unit Count	550 units	550 units	
Average Unit Size	871 sq/910 sq	842 sq/856 sq	
Unit Mix	95 studio/248 1-bd/207 2-bd	38 studio/278 1-bd/209 2-bd/25 3-bd	
Retail Area	5100 sq	3000 sq	
Leasing/Lobby Area	8700 sq	5000 sq	
Parking Levels below grade	3	1	
Parking Levels above grade	1	2	
Pedestrian Bridge	none	Pedestrian bridge over private drive	
Front Setback	0'	0'	
Vehicular Parking Provided	1686	952	The required parking is 943 spaces. The total parking has been reduced because the multi-use parking has been provided on an adjacent site
Motorcycle Parking Provided	56	74	
Bicycle Parking Provided	291	226	The required bicycle parking is 226 spaces
Open Space Required	190 sf/unit= 104,500 sf	190 sf/unit= 104,500 sf	
Min Open Space Provided	130,045 sf	116,296 sf	The provided open space exceeds the required open space by approximately 10,000 sf
Gross Building Area	643,952 sq	660,415 sq	includes unit area, common area, lobbies, retail area, and recreation rooms
Garage Area	677,367 sq	387,877 sq	

Parking Comparison

	1998 Zoning required ratio	1998 Zoning required parking	current zoning required ratio	Current zoning required parking	Current Proposed Parking Provided	Approved Exhibit A Parking Provided
1 bedroom & Studio (>400 sf)	1.25	395	1.5	474	474	
2 bedroom	1.5	314	2	418	418	
3 bedroom	1.75	44	2.25	56	56	
Basic residential parking		753		948	948	
Basic supplemental parking	0.3	226		N/A	N/A	
Residential reduction parking	0.3	65		N/A	N/A	
Total residential parking		911		948	950	1069
Retail parking	0.005	15	0.005	15	15	26
Leasing/lobby parking	0.0033	17	0.0033	17	17	21
Multi-use parking					N/A	570
Total vehicle parking required				943	980	1686
Motorcycle parking					982	1686
1 bedroom & Studio (>400SF)			0.1	32		
2 bedroom			0.1	21		
3 bedroom			0.1	3		
Total motorcycle parking	0.05	36		56	74	56
Bicycle parking						
1 bedroom & Studio (>400SF)			0.4	127		
2 bedroom			0.5	105		
3 bedroom			0.6	15		
Total bicycle parking	0.3	226		247	226	291

Open Space Summary

Open Space Required	550 units x 190 sf/unit=104,500
Phase 4	
Private Decks	19,946
Podium Courtyard	27,106
Jogging Trail / Linear Park	4,196
Street Level Plaza	7,030
Total Phase 4 Open Space	59,068
Phase 5	
Private Decks	16,301
Podium Courtyard	23,696
Jogging Trail / Linear Park	6,597
Street Level Plaza	9,193
Total Phase 5 Open Space	55,787
Pedestrian Bridge	3,240
Total Proposed Open Space	116,296
Approved Exhibit "A"	130,045

SUNROAD CENTRUM



SUNROAD ENTERPRISES

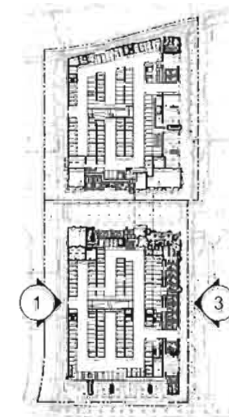
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

PROJECT SUMMARY

SAN DIEGO, CA
11/17/2013

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com





Key Map n.t.s.



1. WEST ELEVATION



3. EAST ELEVATION

- Material Legend**
1. Glass Curtain Wall
 2. Glass / Metal Railing
 3. Metal Cladding
 4. Metal Canopy
 5. Exterior Plaster
 6. Brick / Tile Veneer
 7. Metal Fins

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

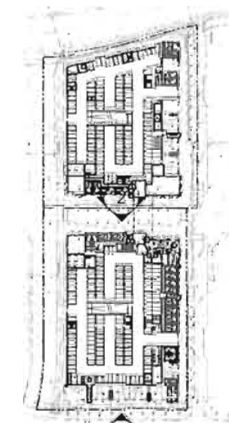
ELEVATIONS - BUILDING 4

SAN DIEGO, CA
C T G P # 2011-0117

12.17.2013
11.05.2013 ILL SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

Scale: 0 8 16 32
A2.4.0
ktgy



Key Map n.t.s.



2. NORTH ELEVATION



4. SOUTH ELEVATION

- Material Legend**
- 1. Glass Curtain Wall
 - 2. Glass / Metal Railing
 - 3. Metal Cladding
 - 4. Metal Canopy
 - 5. Exterior Plaster
 - 6. Brick / Tile Veneer
 - 7. Metal Fins

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES

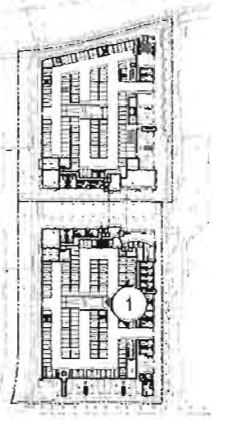
ELEVATIONS - BUILDING 4

SAN DIEGO, CA
K I G T H 2011-0147

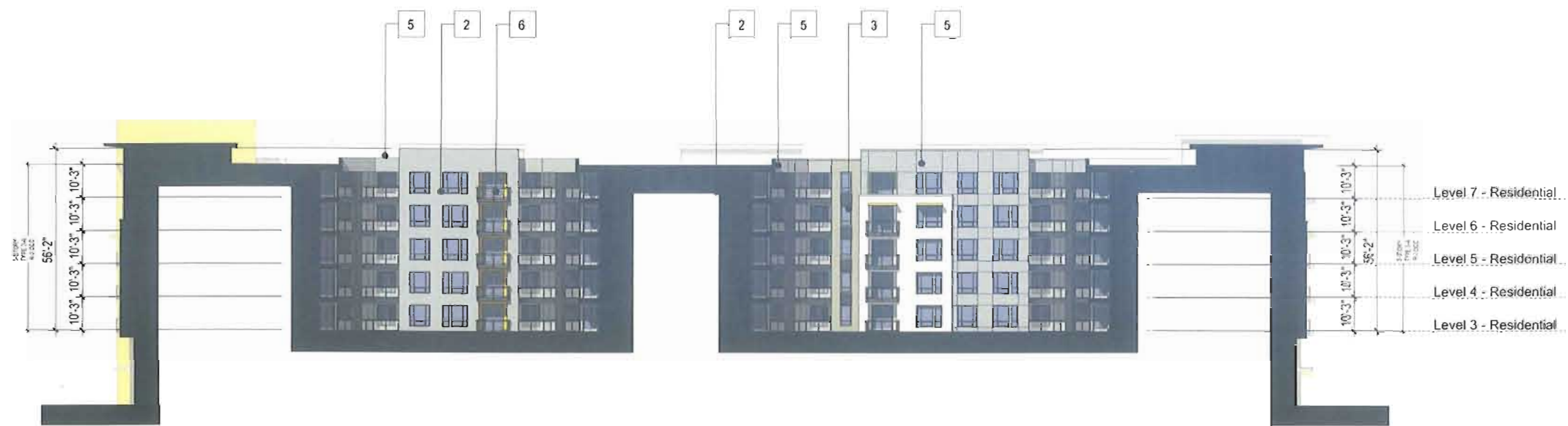
12.17.2013
11.05.2013 3rd SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

Scale 0 8 16 32
A2.4.1
ktgy



Key Map n.t.s.



1. WEST COURTYARD ELEVATION

- Material Legend**
- 1. Glass Curtain Wall
 - 2. Glass / Metal Railing
 - 3. Metal Cladding
 - 4. Metal Canopy
 - 5. Exterior Plaster
 - 6. Brick / Tile Veneer
 - 7. Metal Fins

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES | COMMERCIAL ACQUISITION MANAGEMENT

ELEVATIONS - BUILDING 4

SAN DIEGO, CA
K I G T # 2011-0141

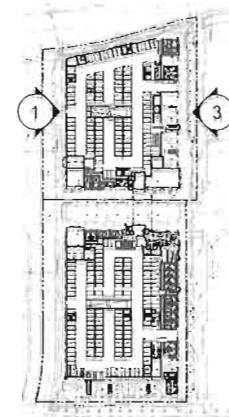
12.17.2011
11.05.2011 For SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A2.4.2





Key Map n.t.s.



1. WEST ELEVATION



3. EAST ELEVATION

- Material Legend**
- 1. Glass Curtain Wall
 - 2. Glass / Metal Railing
 - 3. Metal Cladding
 - 4. Corrugated Metal Cladding
 - 5. Cementitious Panel
 - 6. Exterior Plaster
 - 7. Brick / Tile Veneer
 - 8. Metal Fins

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

ELEVATIONS - BUILDING 5

SAN DIEGO, CA
X T G Y # 2011-0112

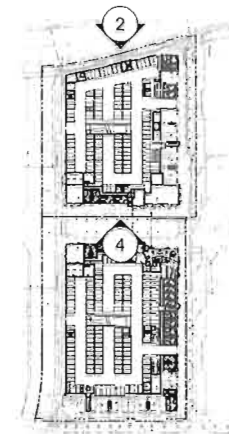
12.17.2013
11.05.2013 for SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A2.5.0





Key Map n.t.s.



2. NORTH ELEVATION



4. SOUTH ELEVATION

- Material Legend**
- 1. Glass Curtain Wall
 - 2. Glass / Metal Railing
 - 3. Metal Cladding
 - 4. Corrugated Metal Cladding
 - 5. Cementitious Panel
 - 6. Exterior Plaster
 - 7. Brick / Tile Veneer
 - 8. Metal Fins

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

ELEVATIONS-BUILDING 5

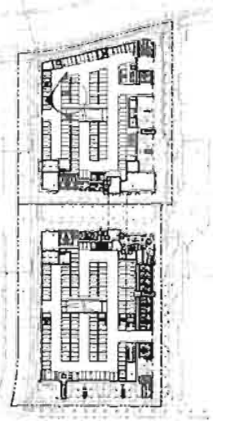
SAN DIEGO, CA
 K T G Y # 2011-0117

12.17.2013
 11.05.2013 1st SUBMITTAL

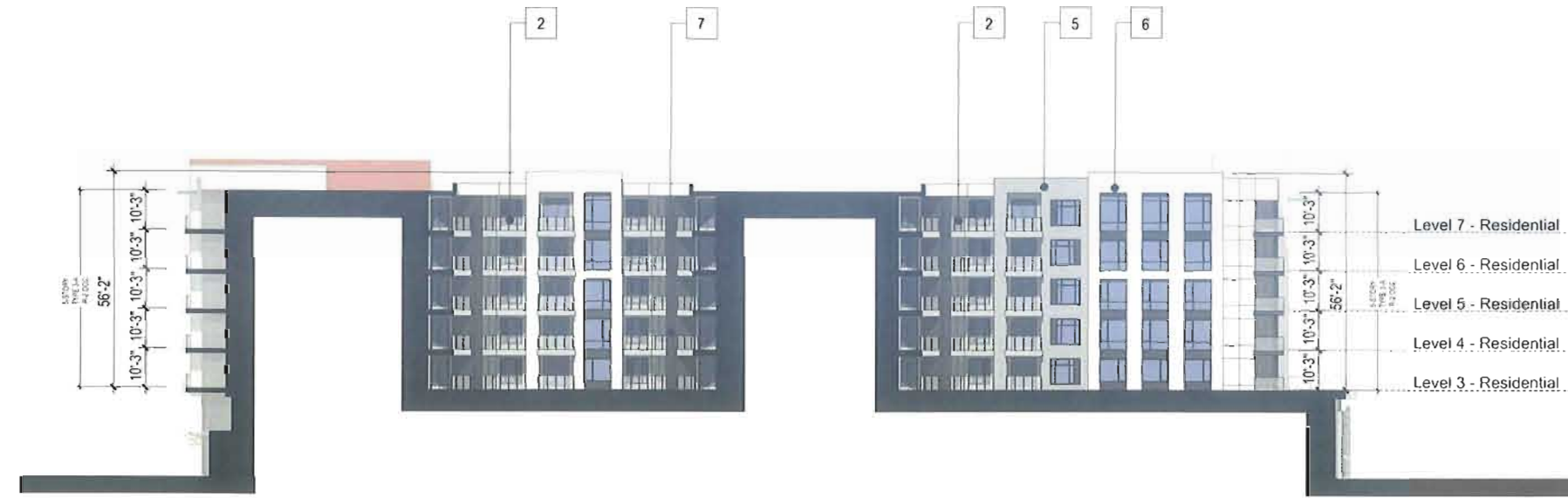
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com



A2.5.1



Key Map n.t.s.



1. WEST COURTYARD ELEVATION

Material Legend

- 1. Glass Curtain Wall
- 2. Glass / Metal Railing
- 3. Metal Cladding
- 4. Corrugated Metal Cladding
- 5. Cementitious Panel
- 6. Exterior Plaster
- 7. Brick / Tile Veneer
- 8. Metal Fins

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES DEVELOPERS ACQUISITION MANAGEMENT

ELEVATIONS-BUILDING 5

SAN DIEGO, CA
K T G Y P 2011-0147

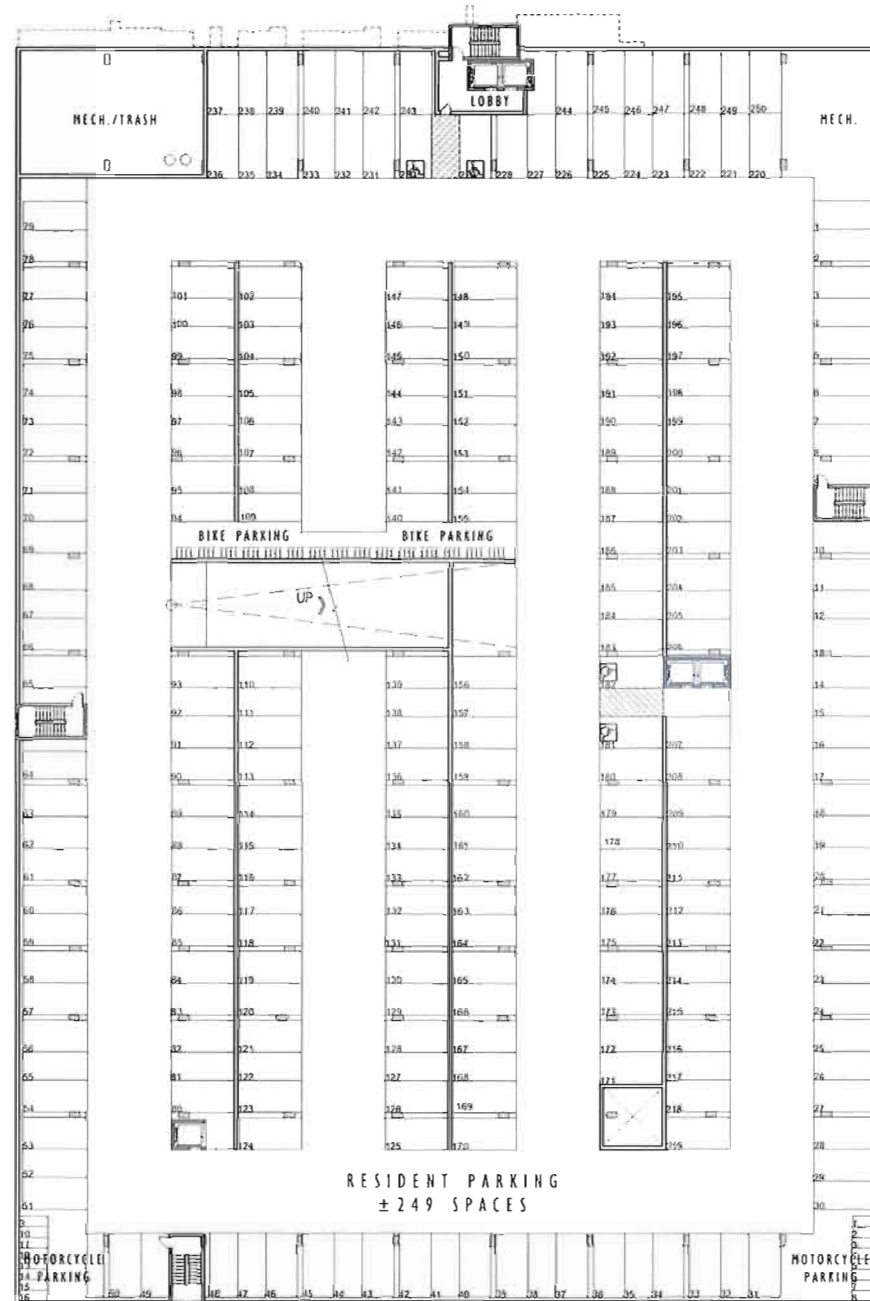
12.17.2013
11.05.2013 1st SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A2.5.2





SUNROAD CENTRUM



SUNROAD
ENTERPRISES

WERMERS
PROPERTIES

DEVELOPMENT
ACQUISITION
MANAGEMENT

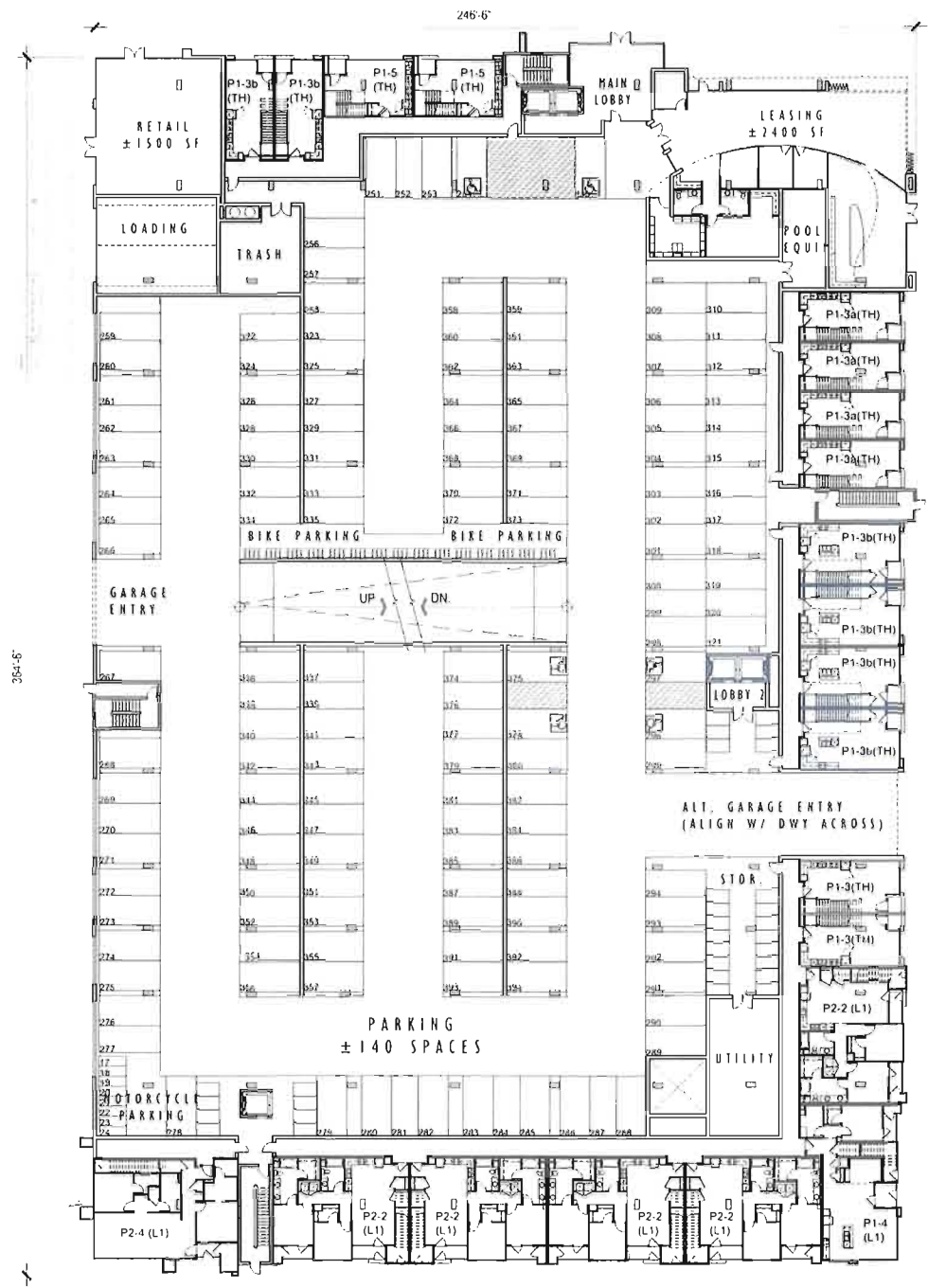
BUILDING 4
SUBTERRANEAN LEVEL

SAN DIEGO, CA
K I G T H 2011-0147

12.17.2013
11.05.2013 FOR SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com





SUNROAD CENTRUM



SUNROAD ENTERPRISES

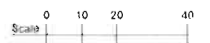
WERMERS PROPERTIES | DEVELOPMENT ACQUISITION MANAGEMENT

BUILDING 4
GROUND LEVEL

SAN DIEGO, CA
K T G Y # 2011-0147

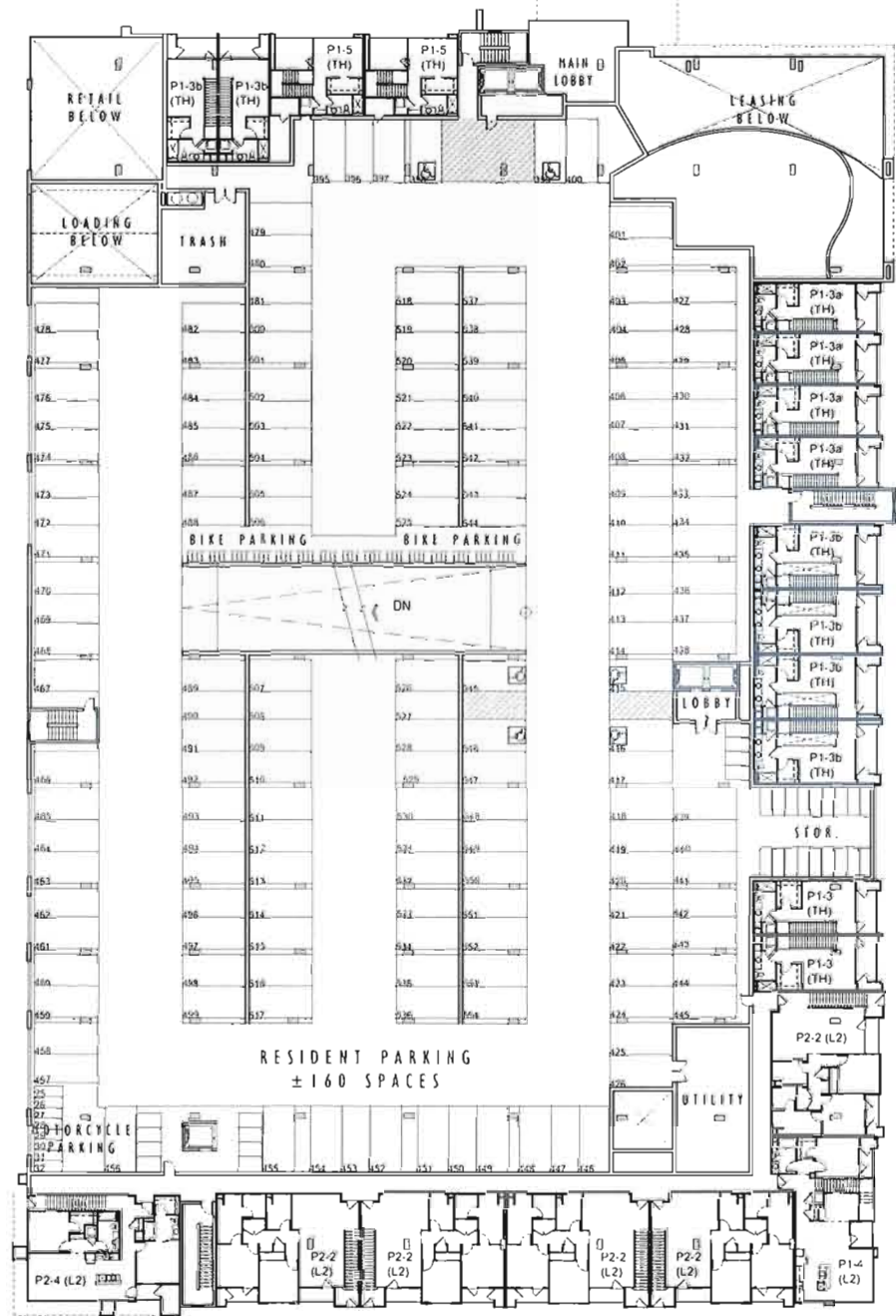
12.17.2013
11.05.2013 1st SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A3.4.1





SUNROAD CENTRUM

BUILDING 4
SECOND LEVEL



SUNROAD ENTERPRISES

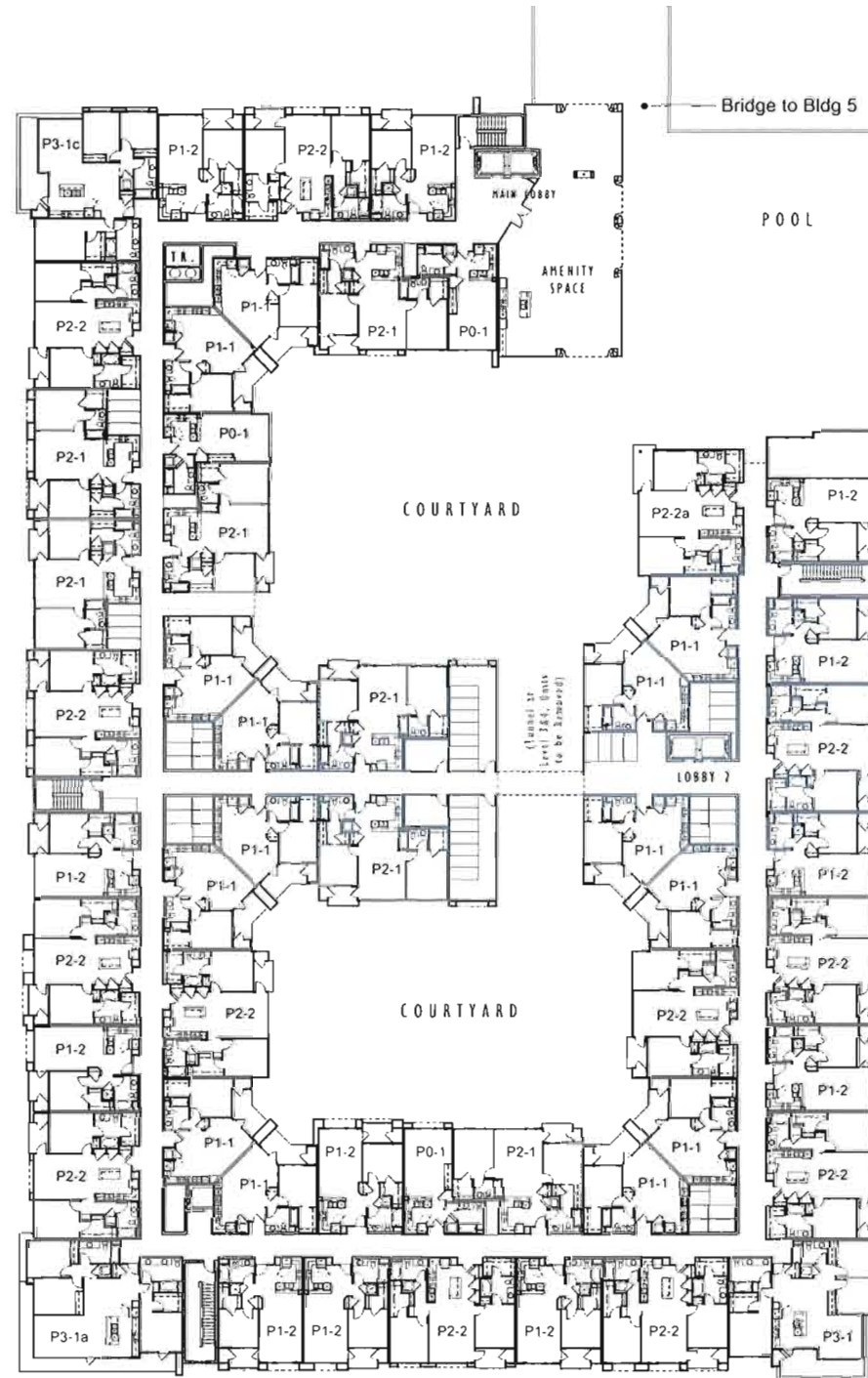
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

SAN DIEGO, CA
K I G T # 2011-0147

12.17.2013
11.05.2013 1st SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com





SUNROAD CENTRUM



SUNROAD ENTERPRISES

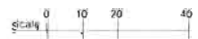
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

BUILDING 4
RESIDENTIAL LEVEL 03

SAN DIEGO, CA
1 T G T N 2011-0147

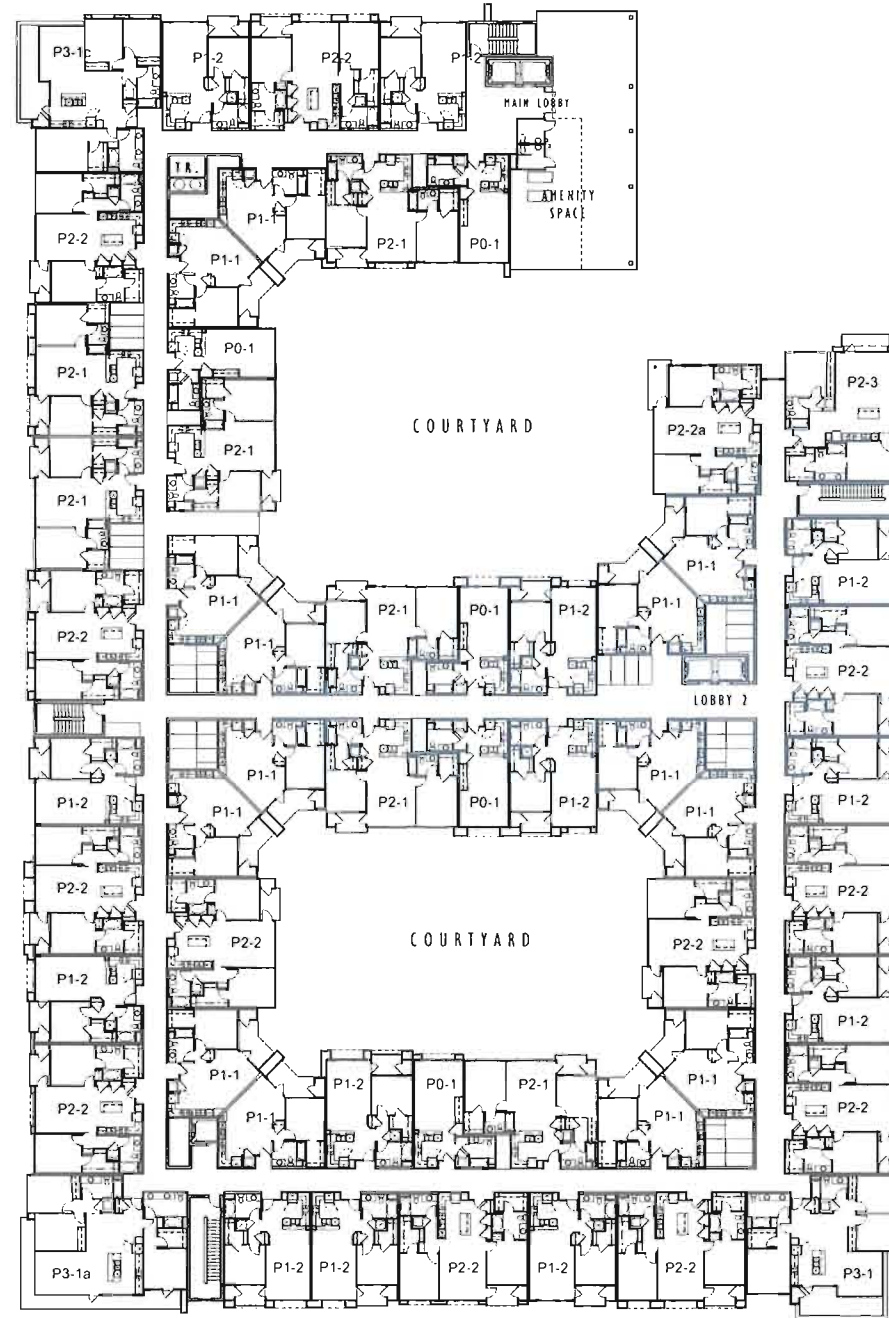
12.17.2013
11.05.2013 For SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A3.4.3





SUNROAD CENTRUM



SUNROAD
ENTERPRISES

WERMERS
PROPERTIES | DEVELOPMENT
ACQUISITION
MANAGEMENT

BUILDING 4
RESIDENTIAL LEVEL 05-06

SAN DIEGO, CA
R T G T # 2011-0147

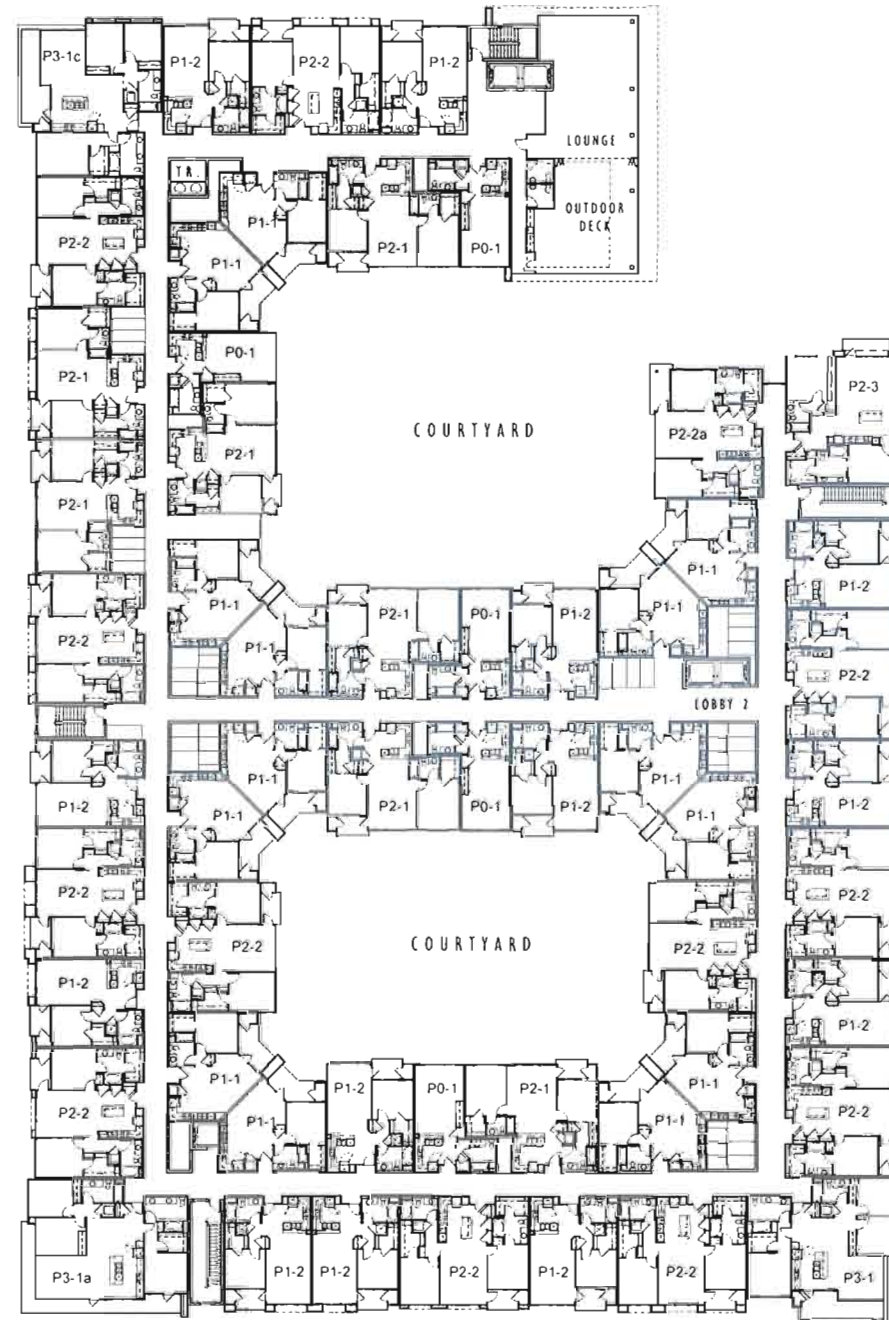
12.17.2013
11.05.2013 for SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A3.4.4





SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES

BUILDING 4
RESIDENTIAL LEVEL 07

SAN DIEGO, CA
E I G T # 2011-0147

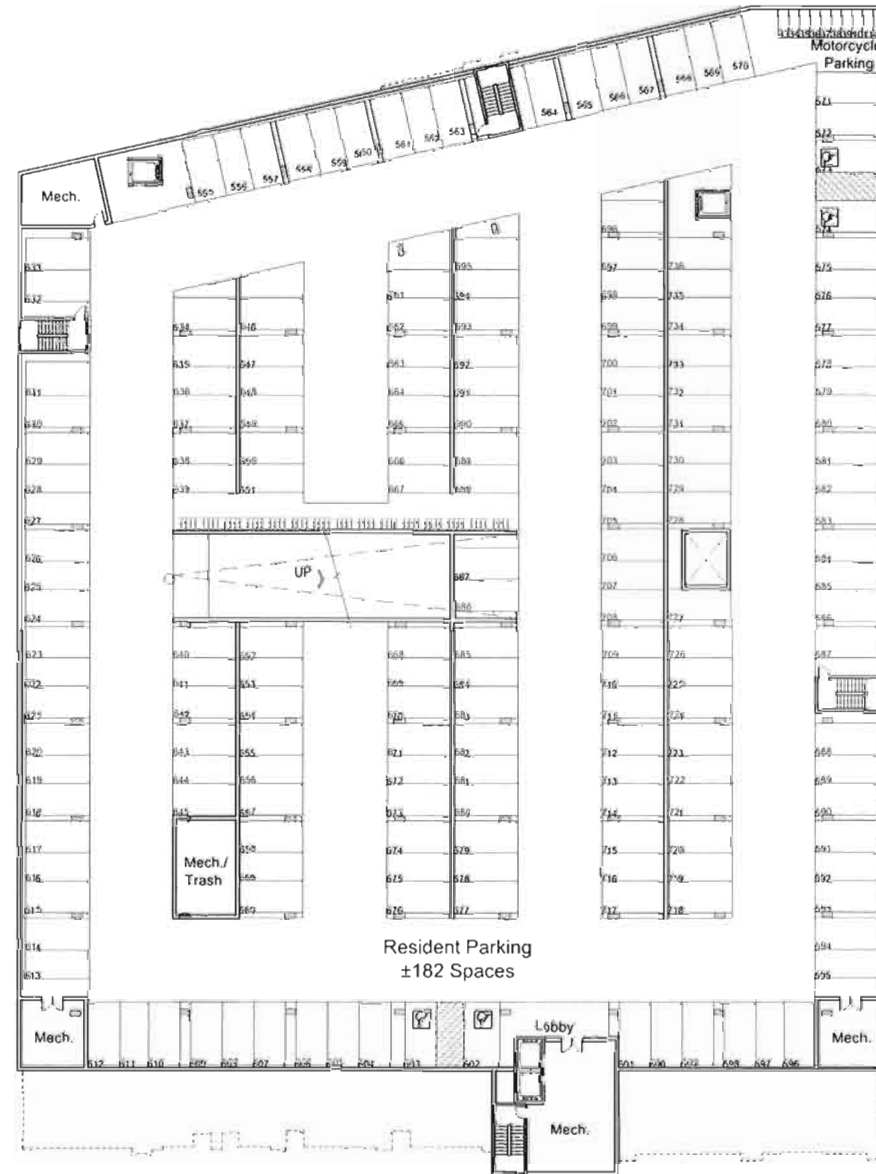
12.17.2013
11.05.2013 FOR SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

Scale 0 10 20 40

A3.4.5





SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

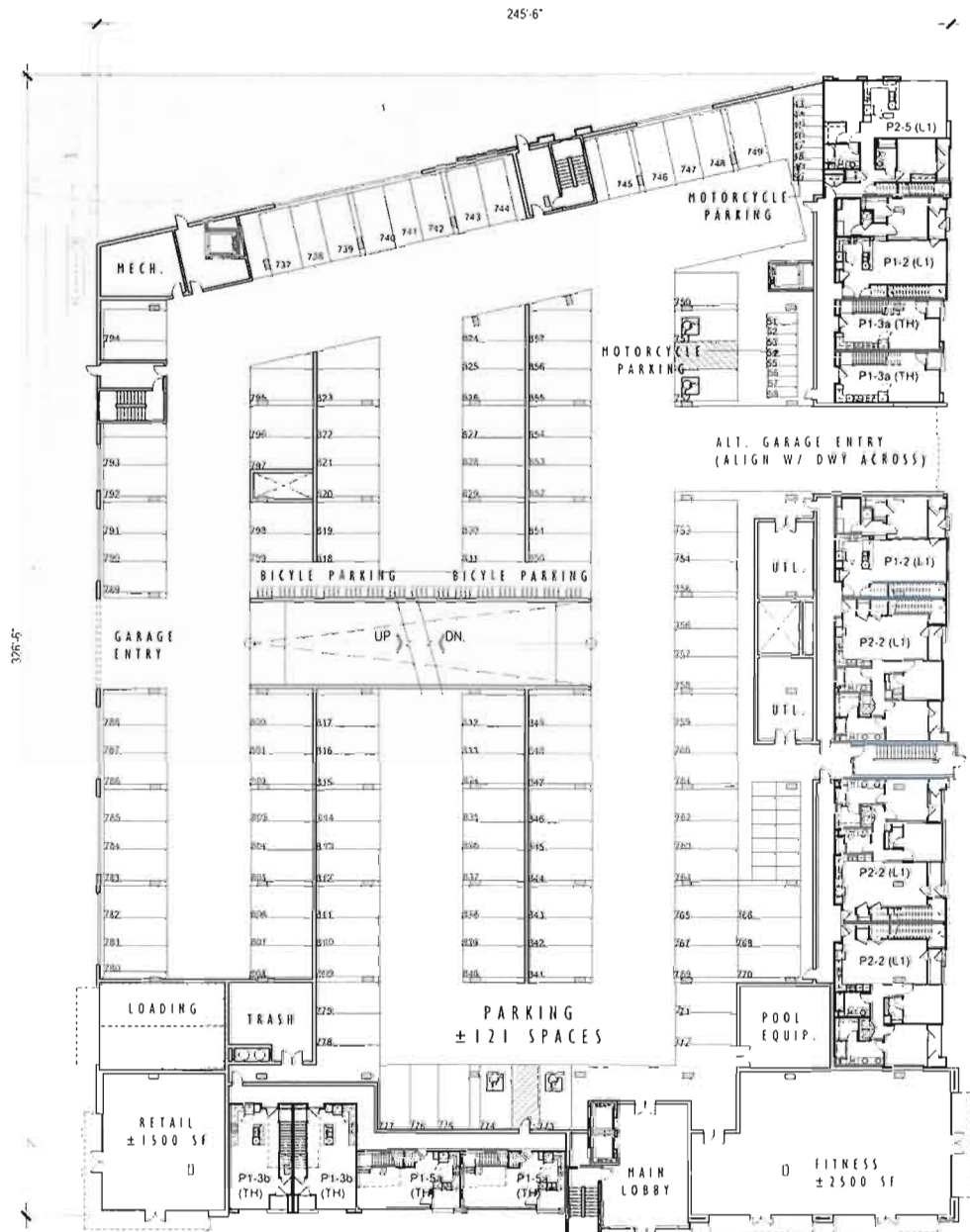
BUILDING 5
SUBTERRANEAN LEVEL

SAN DIEGO, CA
K I G T # 2011-0147

12.17.2013
11.05.2013 For SUBMITTAL

Architecture+Planning
17922 Filch
Irvine, CA 92614
949.851.2133
ktgy.com





SUNROAD CENTRUM



SUNROAD ENTERPRISES

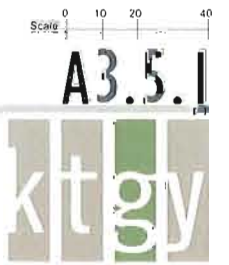
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

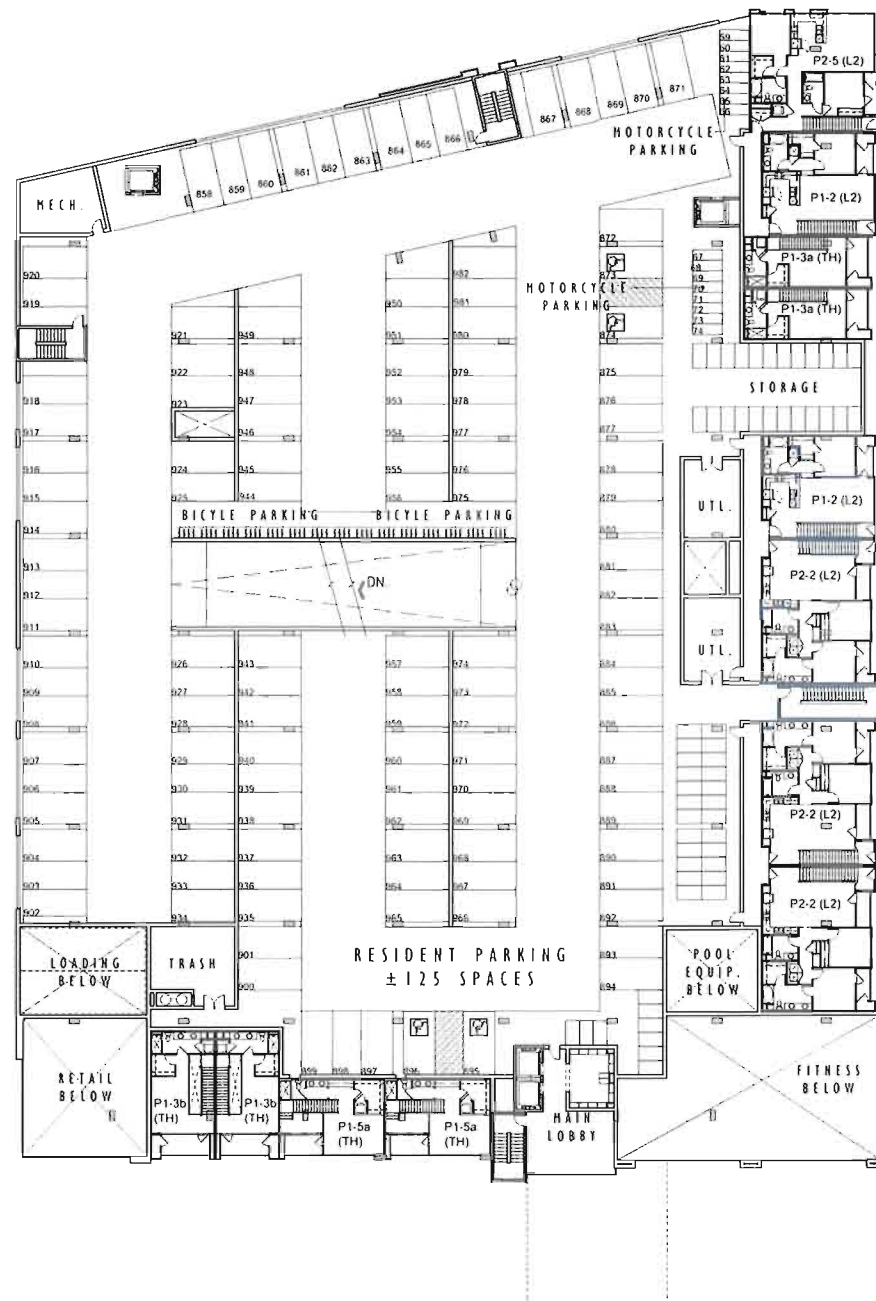
BUILDING 5
GROUND LEVEL

SAN DIEGO, CA
K T G T # 2011-0147

12.17.2013
11.05.2013 FOR SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com





SUNROAD CENTRUM

BUILDING 5
SECOND LEVEL

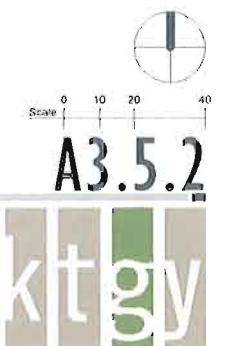
SAN DIEGO, CA
X T G Y # 2011-0147

12.17.2013
11 05 2013 1st SUBMITTAL

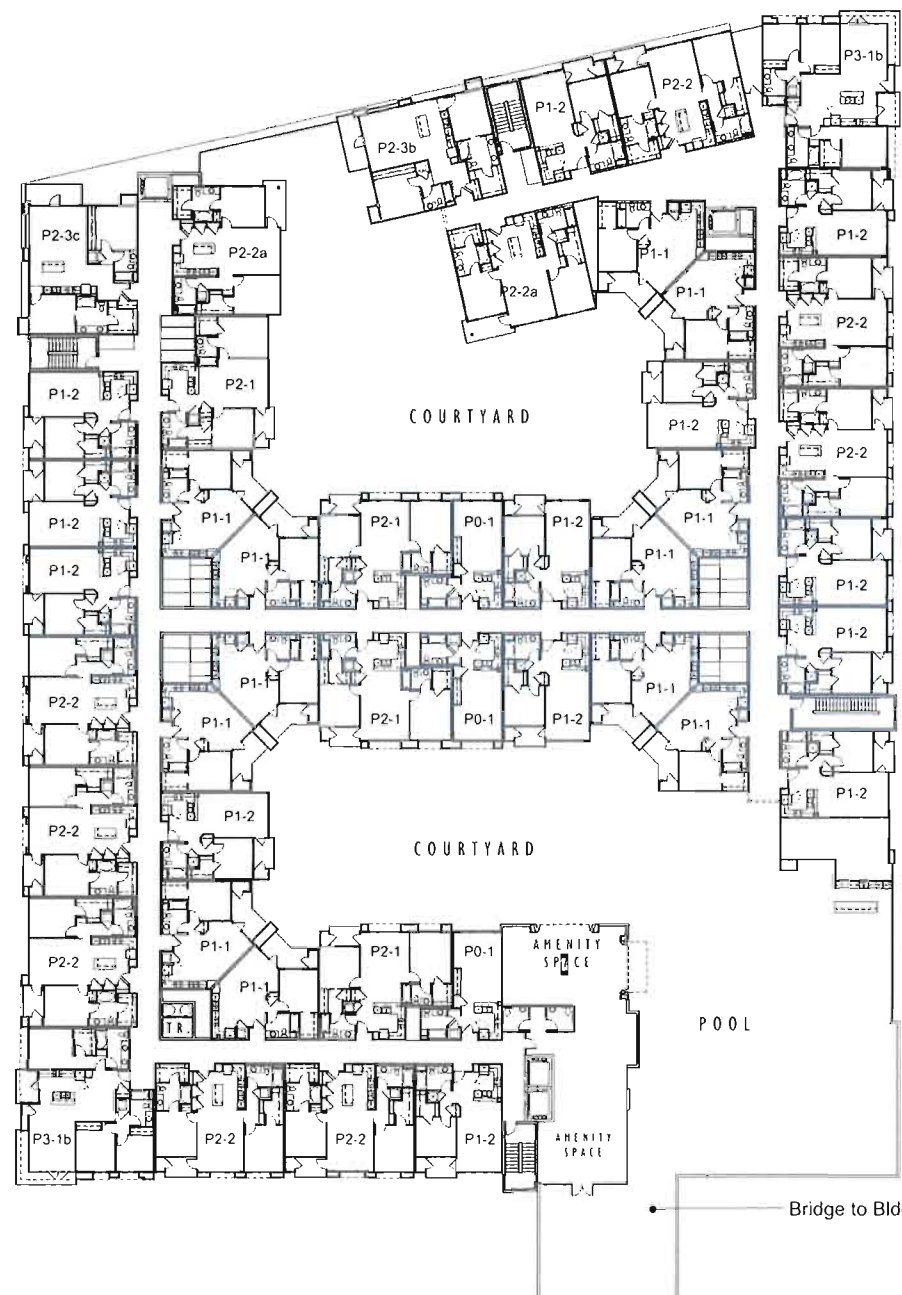


SUNROAD
ENTERPRISES

WERMERS
PROPERTIES | DEVELOPMENT
ACQUISITION
MANAGEMENT



Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES | DEVELOPMENT ACQUISITION MANAGEMENT

BUILDING 5
RESIDENTIAL LEVEL 03

SAN DIEGO, CA
K T G Y # 2013-0147

12.17.2013
11.05.2013 1st SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

Scale 0 10 20 40
A3.5.3
ktgy



SUNROAD CENTRUM



SUNROAD
ENTERPRISES

WERMERS
PROPERTIES | DEVELOPMENT
ACQUISITION
MANAGEMENT

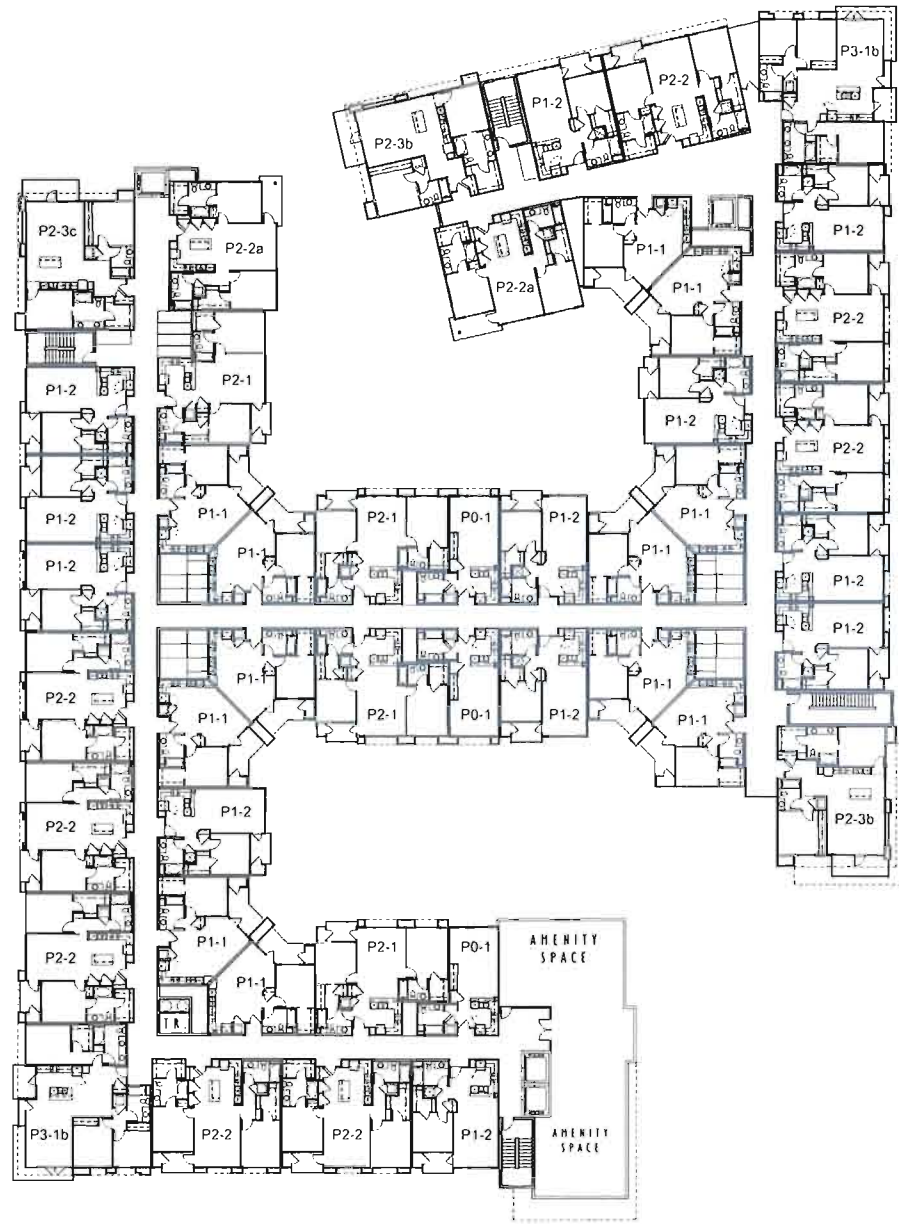
BUILDING 5
RESIDENTIAL LEVEL 05-06

SAN DIEGO, CA
X 1 G T # 2011-0147

12.17.2013
11.05.2013 For SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com





SUNROAD CENTRUM



SUNROAD ENTERPRISES

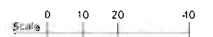
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

BUILDING 5
RESIDENTIAL LEVEL 07

SAN DIEGO, CA
K T G Y # 2011-0142

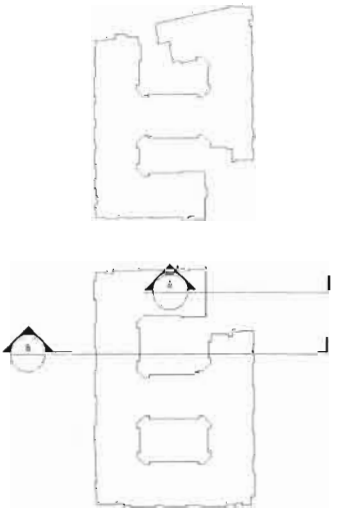
12.17.2013
11.05.2013 1st SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

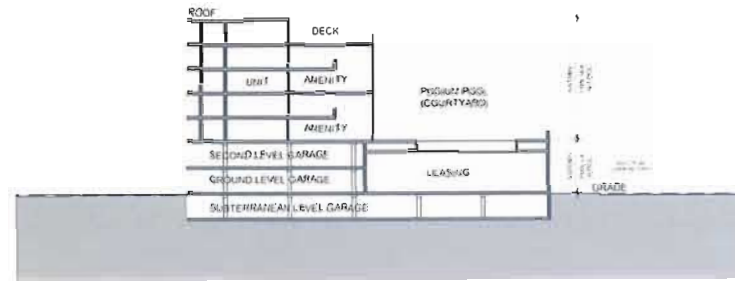


A3.5.5

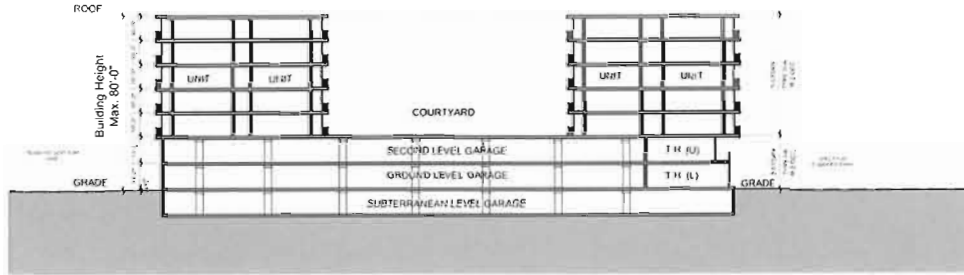




Key Map n.t.s.



Section A



Section B

SUNROAD CENTRUM



SUNROAD ENTERPRISES

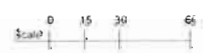
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

CONCEPT SITE SECTION

SAN DIEGO, CA
K T G T # 2011-0147

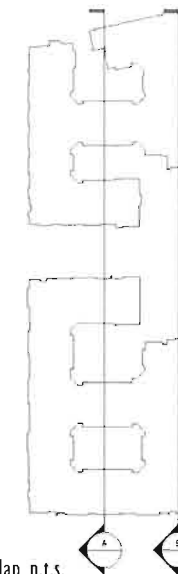
12.17.2013
11.05.2013 1st REVISION

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

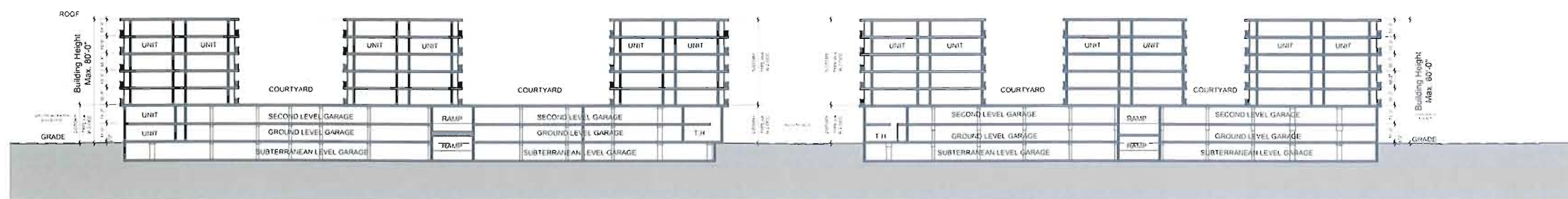


A4.0

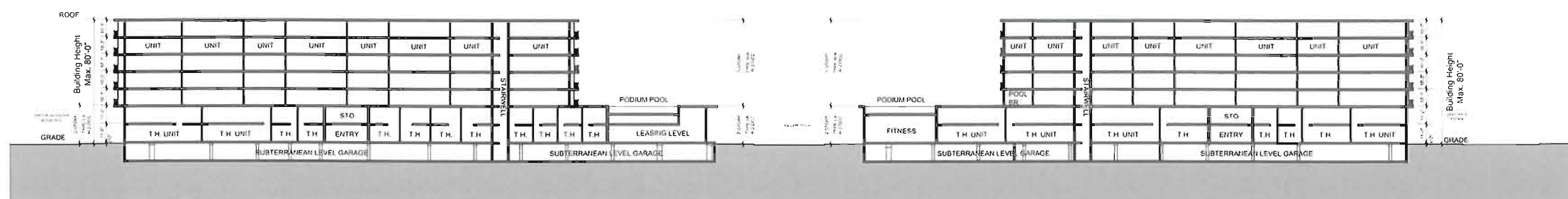




Key Map n.t.s.



Section A



Section B

SUNROAD CENTRUM



SUNROAD ENTERPRISES

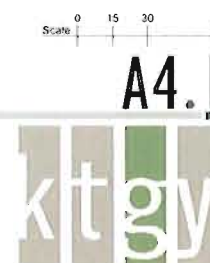
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

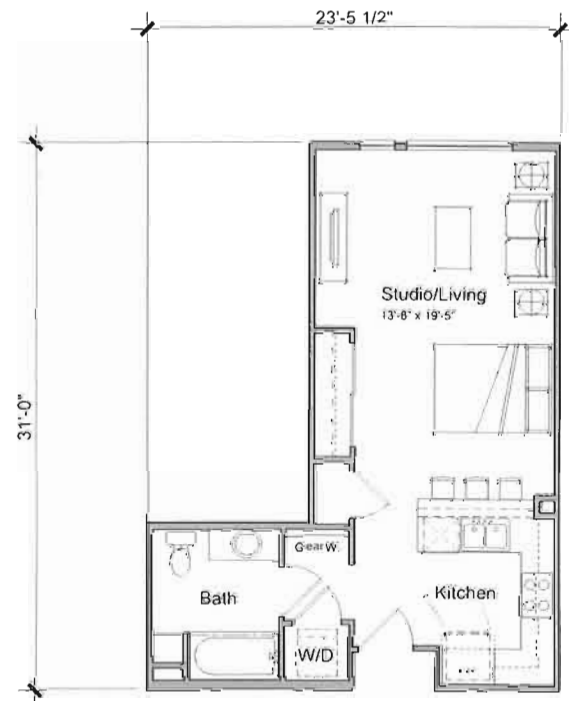
CONCEPT SITE SECTION

SAN DIEGO, CA
 X T C Y # 2011-0142

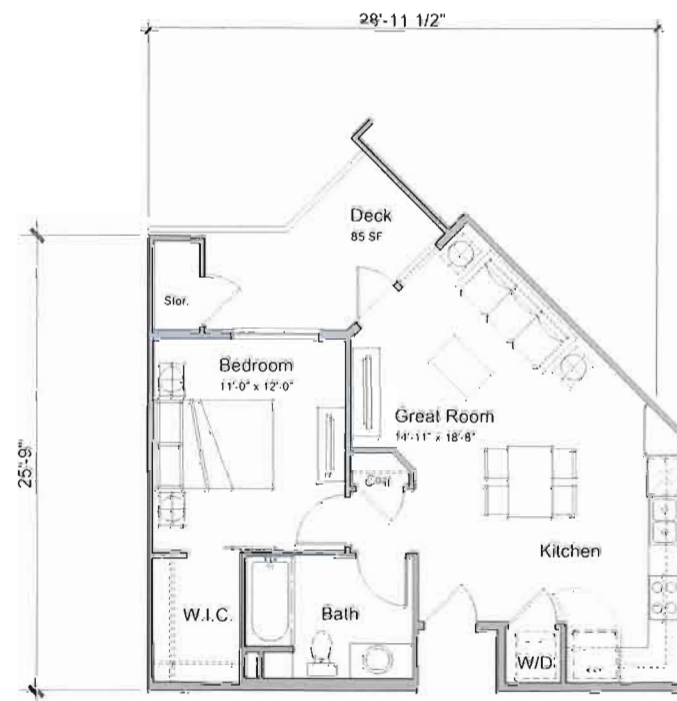
12.17.2013
 11/05/2013 1st SUBMITTAL

Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com





Plan 0-1
 Studio / 1 Bathroom
 525 SF
 (Total 36 Units)



Plan 1-1
 1 Bedroom / 1 Bathroom
 660 SF
 (Total 130 Units)



Plan 1-2
 1 Bedroom / 1 Bathroom
 712 SF
 (Total 121 Units)

SUNROAD CENTRUM



SUNROAD ENTERPRISES

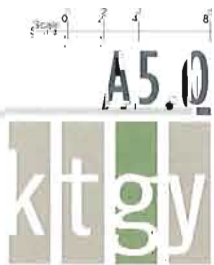
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

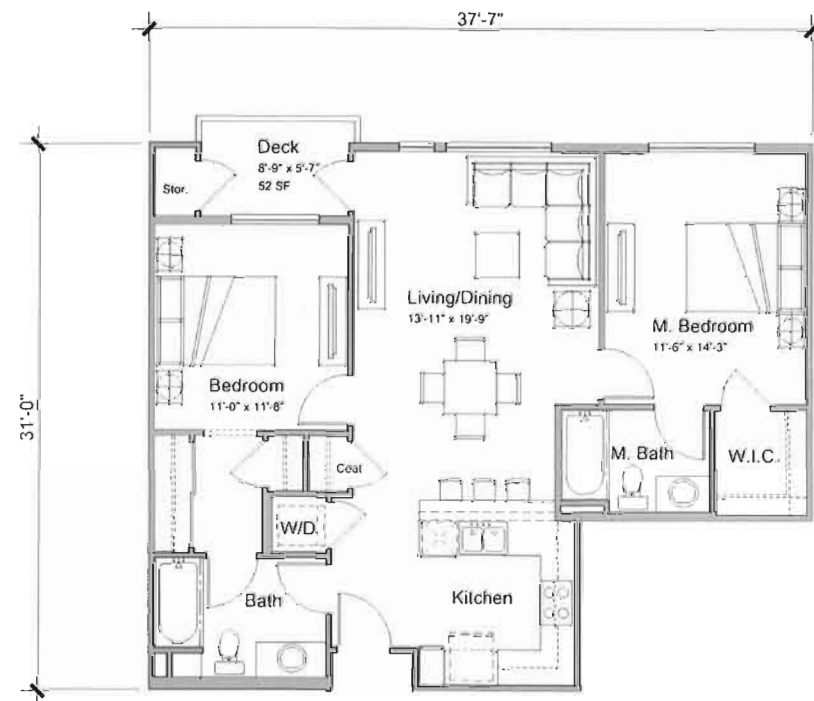
UNIT PLANS

SAN DIEGO, CA
 X T C Y # 2011-0117

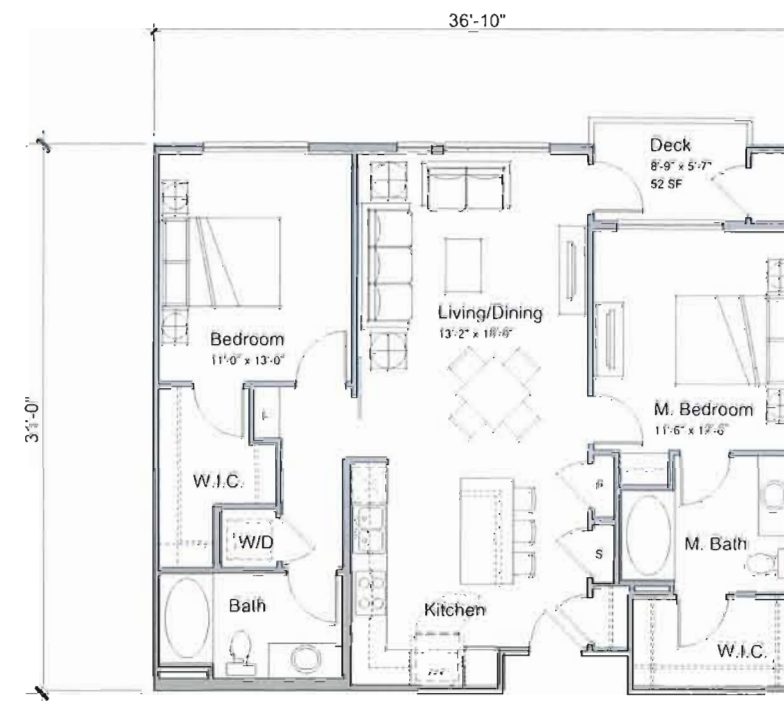
12.17.2013
 11.05.2013 1st SITE MEETING

Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com





Plan 2-1
 2 Bedroom / 2 Bathroom
 987 SF
 (Total 55 Units)



Plan 2-2
 2 Bedroom / 2 Bathroom
 1,080 SF
 (Total 115 Units)

SUNROAD CENTRUM



SUNROAD
 ENTERPRISES

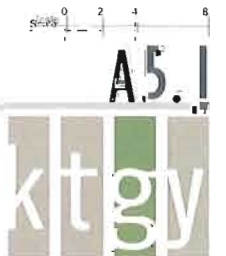
WERMERS
 PROPERTIES
COMMERCIAL
 ACQUISITION
 MANAGEMENT

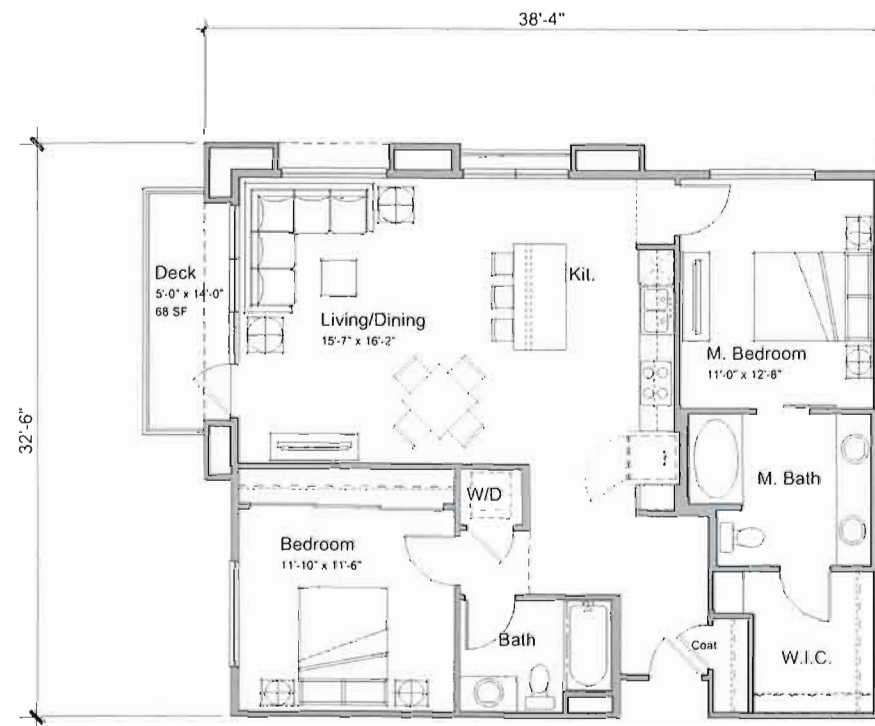
UNIT PLANS

SAN DIEGO, CA
 K T G Y # 2011-0147

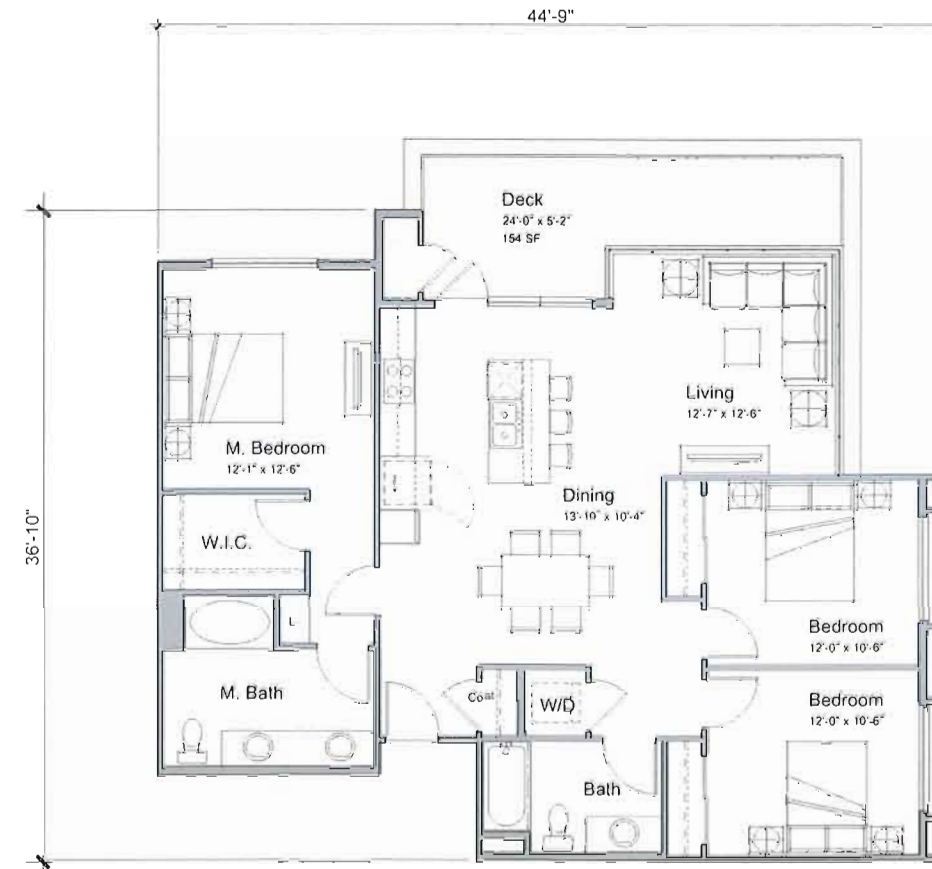
12.17.2013
 11.05.2013 1st SUBMITTAL

Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com





Plan 2-3
2 Bedroom / 2 Bathroom
1,134 SF
(Total 20 Units)



Plan 3-1
3 Bedroom / 2 Bathroom
1,320 SF
(Total 25 Units)

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

UNIT PLANS

SAN DIEGO, CA
K T G Y # 2011-0117

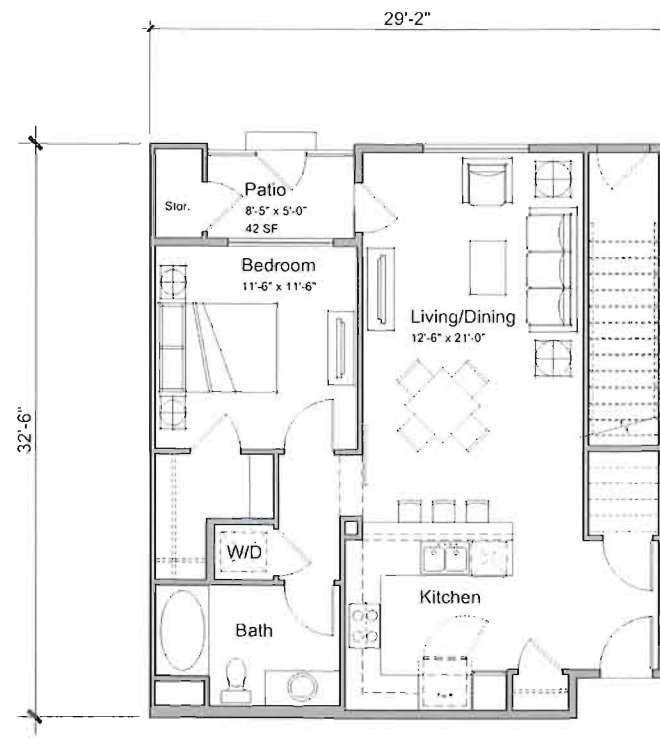
12.17.2013
11.05.2013 1st SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

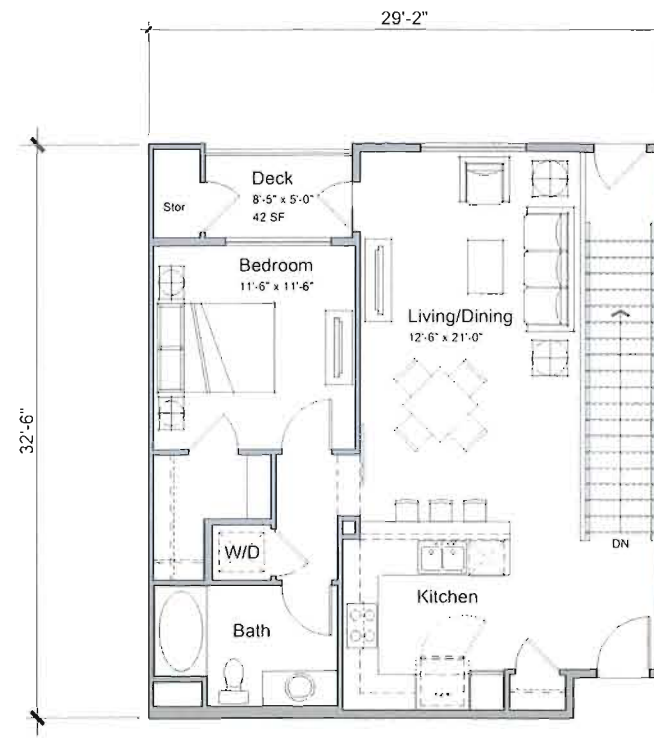


A5.2





Plan 1-2 (L1)
 1 Bedroom / 1 Bathroom
 805 SF
 (Total 2 Unit)



Plan 1-2 (L2)
 1 Bedroom / 1 Bathroom
 879 SF
 (Total 2 Unit)

SUNROAD CENTRUM



SUNROAD
 ENTERPRISES

WERMERS
 PROPERTIES | DEVELOPMENT
 ACQUISITION
 MANAGEMENT

UNIT PLANS

SAN DIEGO, CA
 A T C T # 2011-0147

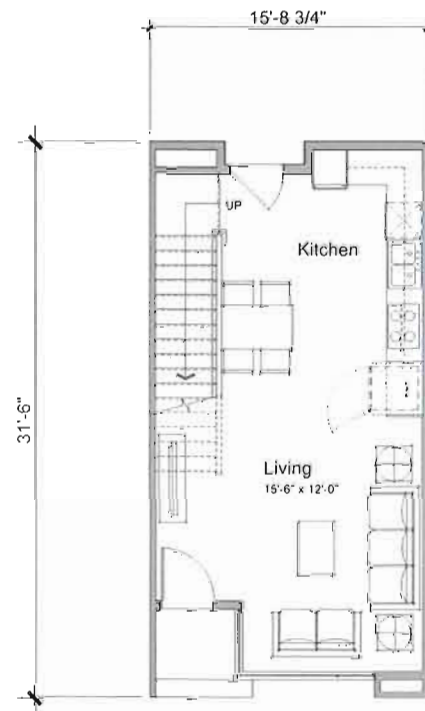
12.17.2013
 11.05.2013 For SUBMITTAL

Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com

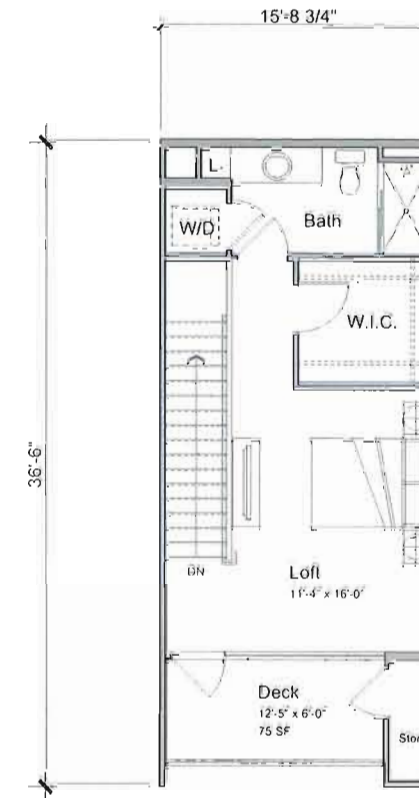


A5.3





First Floor Plan



Second Floor Plan

Plan 1-3 (Townhome)
 Loft / 1 Bathroom
 460+ 403 = 863 SF
 (Total 18 Units)



Plan 1-4 (L1)
 1 Bedroom+Den / 1 Bathroom
 992 SF
 (Total 1 Unit)



Plan 1-4 (L2)
 1 Bedroom+Den / 1 Bathroom
 1,072 SF
 (Total 1 Unit)

SUNROAD CENTRUM



SUNROAD ENTERPRISES

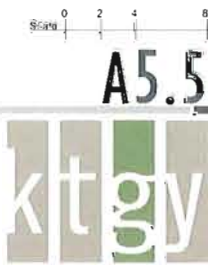
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

UNIT PLANS

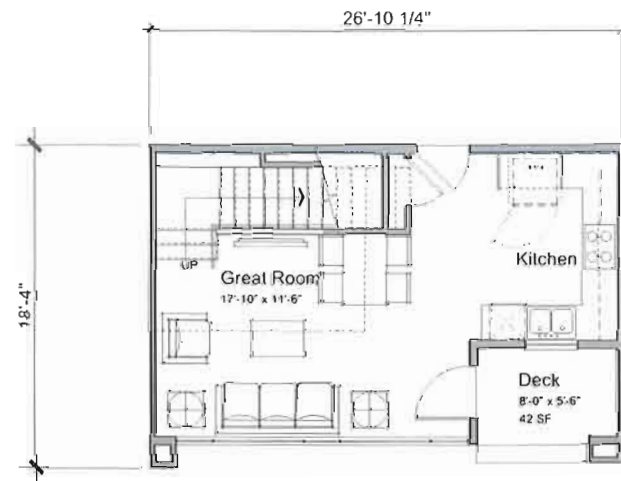
SAN DIEGO, CA
 K T G Y # 2011-0147

11.17.2013
 11.05.2013 For SUBMITTAL

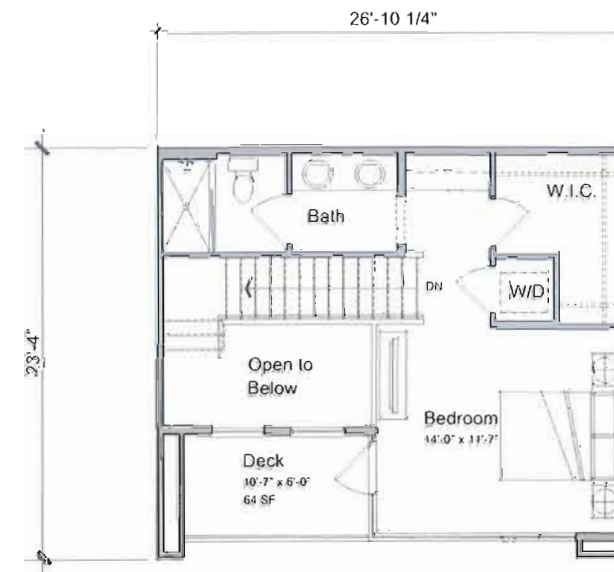
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com



A5.5



First Floor Plan



Second Floor Plan

Plan 1-5 (Townhome)
 Loft / 1 Bathroom
 412+ 392 = 804 SF
 (Total 4 Units)

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES

UNIT PLAN

SAN DIEGO, CA

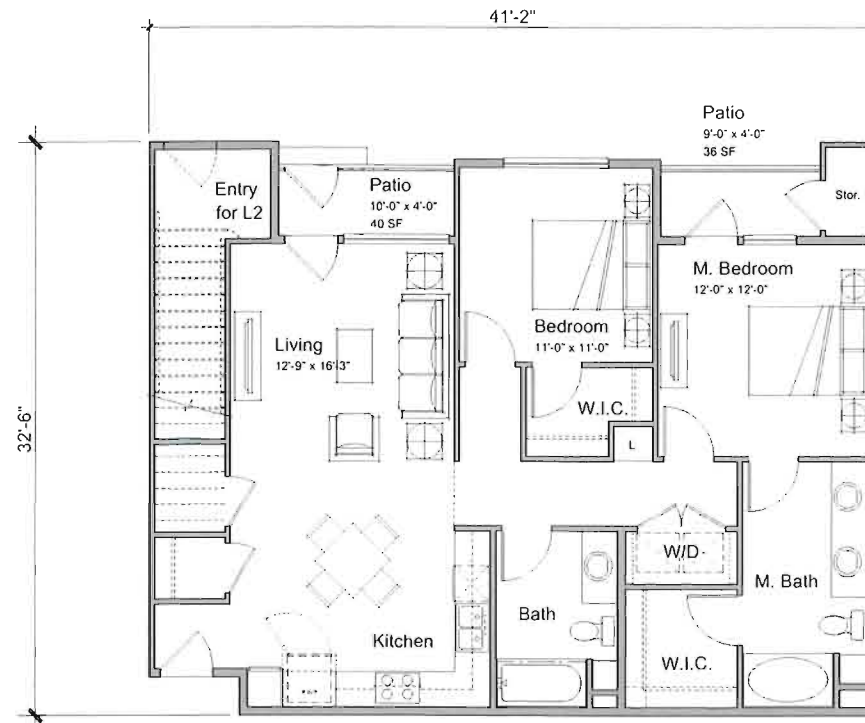
11.17.2011

11.05.2011 1st SUBMITTAL

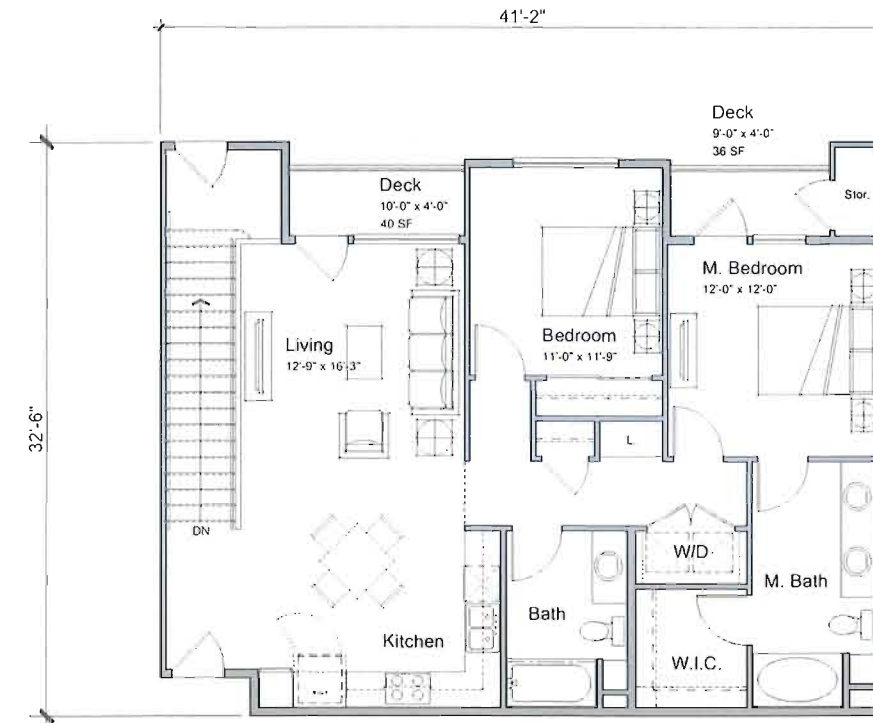
Architecture+Planning
 17922 Fitch
 Irvine, CA 92614
 949.851.2133
 ktgy.com



A5.6



Plan 2-2 (L1)
2 Bedroom / 2 Bathroom
1,112 SF



Plan 2-2 (L2)
2 Bedroom / 2 Bathroom
1,202 SF

SUNROAD CENTRUM



SUNROAD ENTERPRISES

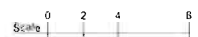
WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

UNIT PLANS

SAN DIEGO, CA
K I G T H 2011-0147

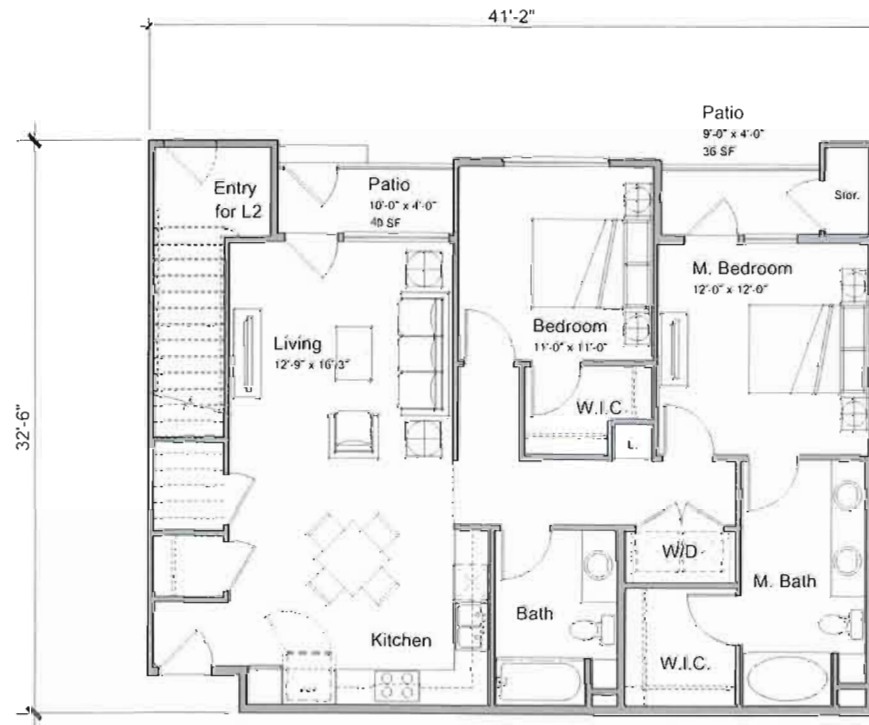
12.12.2013
11.05.2013 FOR SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

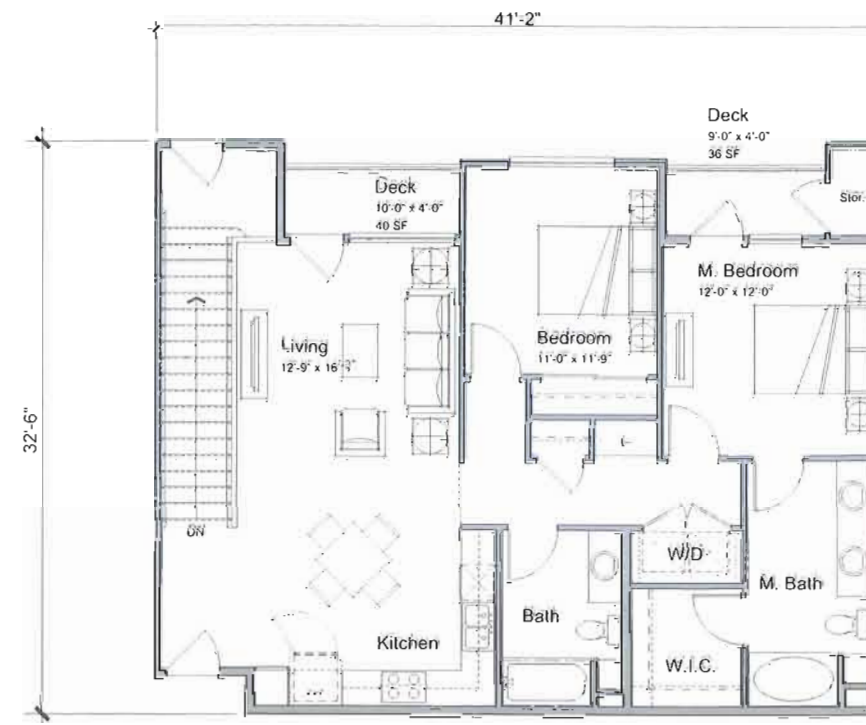


A5.7

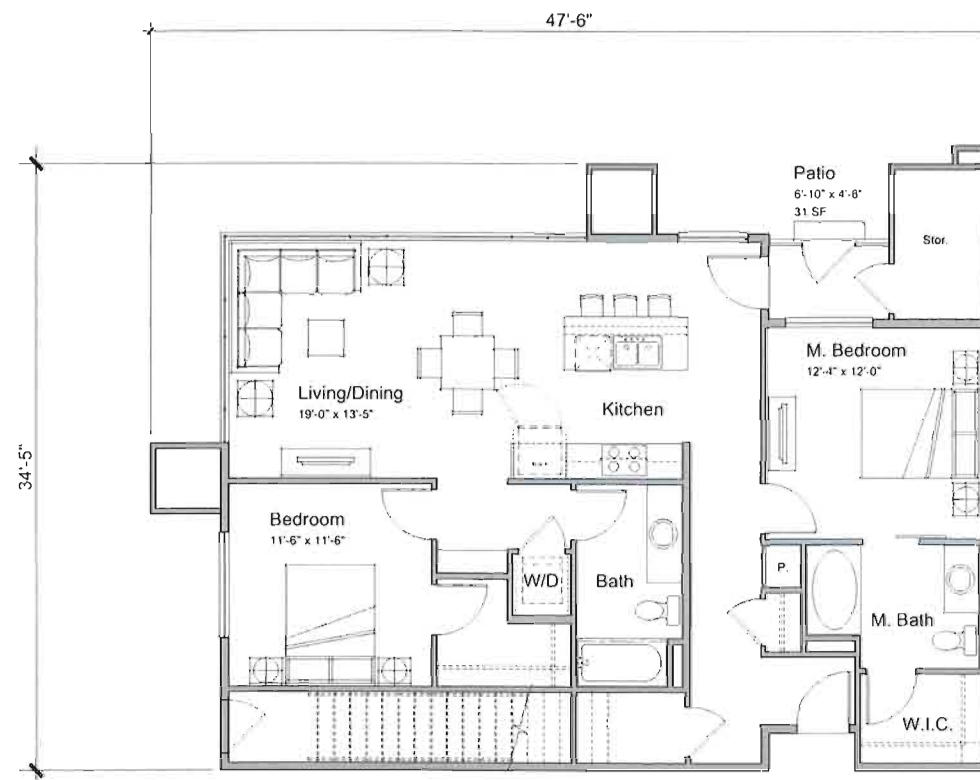




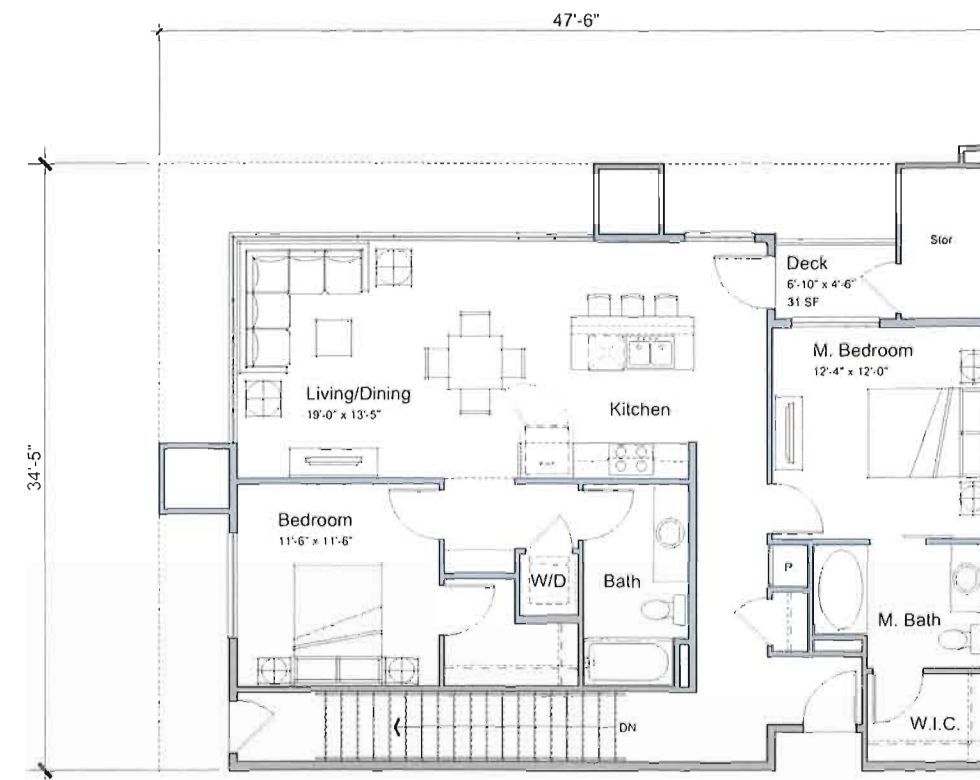
Plan 2-2 (L1)
2 Bedroom / 2 Bathroom
1,112 SF



Plan 2-2 (L2)
2 Bedroom / 2 Bathroom
1,202 SF



Plan 2-4 (L1)
2 Bedroom / 2 Bathroom
1,166 SF
(Total 1 Unit)



Plan 2-4 (L2)
2 Bedroom / 2 Bathroom
1,255 SF
(Total 1 Unit)

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

UNIT PLANS

SAN DIEGO, CA
X T G T H 2011-0117

11.17.2013
11.05.2013 for SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

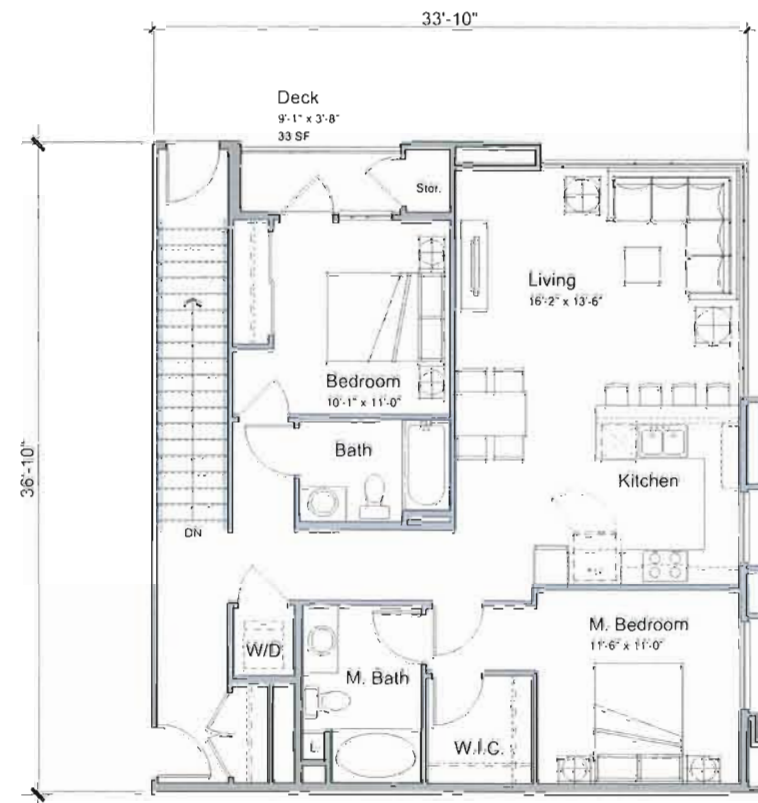


A5.8





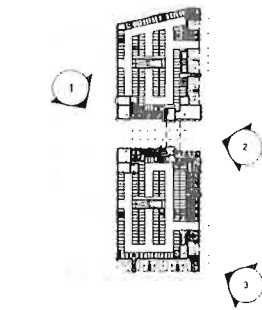
Plan 2-5 (L1)
2 Bedroom / 2 Bathroom
1,112 SF
(Total 1 Unit)



Plan 2-5 (L2)
2 Bedroom / 2 Bathroom
1,181 SF
(Total 1 Unit)



1. Aerial View from Firelane



Key Map n.t.s.



2. Overall Aerial View from the Park



3. Overall Aerial View - Southeast

SUNROAD CENTRUM



SUNROAD
ENTERPRISES

WERMERS
PROPERTIES | DEVELOPMENT
ACQUISITION
MANAGEMENT

PERSPECTIVES

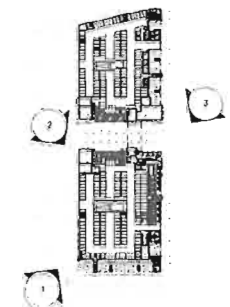
SAN DIEGO, CA
X T G T # 2011-0147

12.17.2013
11.05.2013 JAL SBB/HTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A6.0



Key Map n.t.s.



1. Southwest Corner - Street View



2. Northwest Corner - Street View



3. Leasing Office - Street View

SUNROAD CENTRUM



SUNROAD
ENTERPRISES

WERMERS PROPERTIES
DEVELOPMENT
ACQUISITION
MANAGEMENT

PERSPECTIVES

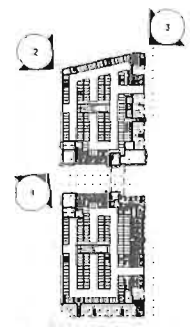
SAN DIEGO, CA
K T G Y # 2011-0147

12.17.2013
11.05.2013 for SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



A6.1



Key Map n.t.s.



1. Southwest Corner - Street View



2. Northwest Corner - Street View



3. Northeast Corner - Street View

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

PERSPECTIVES

SAN DIEGO, CA
K T G Y # 2011-0147

12.17.2013
11.05.2013 for SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com





Key Map n.t.s.



1. Sunroad Street View



2. North View from Pool Deck



3. South View from Pool Deck

SUNROAD CENTRUM



SUNROAD ENTERPRISES

WERMERS PROPERTIES DEVELOPMENT ACQUISITION MANAGEMENT

PERSPECTIVES

SAN DIEGO, CA
X T G Y # 2011-0142

12.17.2013
11.05.2013 for SUBMITTAL

Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com

